PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):

GENERAL APPLICATION

	APPLICATION TYPE (CHECK ONE):
Hallywood	☐ City Commission ☐ Historic Preservation Board ☐ Planning and Development ☐ 2018 ☐ Date of Application: 04/02/2018
Tel: (954) 921-3471 Fax: (954) 921-3347 This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.	Location Address: 1812 ROOSEVELT HOLLYWOOD, IT FRANK C DICKEY SUB ot(s): 10 & 11 Block(s): 1 Subdivision: BUS B LOTS 30,31,32 BLK 1 Folio Number(s): 5142 10 25 0090 Zoning Classification: FH-2 Land Use Classification: G Existing Property Use: VACANT HOME Sq Ft/Number of Units: 36,000 / 20 UNITS Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation. Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s):
The applicant is responsible for obtaining the appropriate checklist for each type of application.	☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board ☐ City Commission ☐ Planning and Development Explanation of Request: New 4 sory apartment building
Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings. At least one set of the	Number of units/rooms: 19 Sq Ft: 20,691 Value of Improvement: 1,700,000 Estimated Date of Completion: JUNE 2019 Will Project be Phased? () Yes (X)No If Phased, Estimated Completion of Each Phase
submitted plans for each application must be signed and sealed (i.e. Architect or Engineer). Documents and forms can be accessed on the City's website	Name of Current Property Owner: XLT INVESTMENT CORP Address of Property Owner: 16450 NE 35 AVE MIAMI FL 33160 Telephone: 305-680-2800 Fax: Email Address: maribona1000@gmail.com Name of Consultant/Representative/Tenant (circle one): Bernie Maribona Address: 2011 NE 137 St NMB Fl. 33181 Telephone: 305-680-2800
at http://www.hollywoodfl.org/Do cumentCenter/Home/View/21	Fax: Email Address: _maribona1000@gmail.com Date of Purchase: Is there an option to purchase the Property? Yes () No (X) If Yes, Attach Copy of the Contract. List Anyone Else Who Should Receive Notice of the Hearing: N/A
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PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

My Commission Expires:

File No. (internal use only):

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (i) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historia Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawingstmade on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable. Signature of Current Owner: Date: PRINT NAME: Signature of Consultant/Representative: Date: Date: Signature of Tenant: ____ Date: PRINT NAME: **Current Owner Power of Attorney** I am the current owner of the described real property and that I am aware of the nature and effect the request for Luistoneus.c to my property, which is hereby made by me or I am hereby authorizing (Board and/or to be my legal representative before the T.A.C. bemiewanboons. Committee) relative to all matters concerning this application. Sworn to and subscribed before me Signature-of Current Owner Notory Public State of Florida Dalmy Martinez **Print Name** Notary Public State of Florida

(Check One) Personally known to me; OR Produced Identification



June 4, 2018

XLT Investment Corp. 16450 NE 35 Ave.

North Miami Beach, FL

FILE NUMBER: 18-DP-22

SUBJECT: Site Plan Review for a 20 unit residential development (Roosevelt Apartments).

SITE DATA

Owner/Applicant: XLT Investment Corp. Address/Location: 1812 Roosevelt Street

Gross Area of Property: TBD Net Area of Property: TBD

Land Use: Regional Activity Center

Zoning: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)

Existing Use of Land: Commercial Use

ADJACENT LAND USE

North:
South:
Regional Activity Center

ADJACENT ZONING

North: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
South: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
East: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
West: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL

ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).



A. APPLICATION SUBMITTAL

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

- 1. Provide drawing Cover Sheet including:
 - a. Name of development.
 - b. Page index.
 - c. Location map.
 - d. Names and contact information for all consultants.

Response: Refer to new Cover Sheet

2. Indicate meeting dates (not submittal dates), and subsequent revision dates on Cover Sheet and Title Blocks on all sheets.

Response: Revised accordingly

3. Ensure digital survey provided is the full ALTA survey.

Response: OK

4. Provide net area on survey (not specifically indicated).

Response: Revised accordingly

- 5. Ensure Ownership & Encumbrance Report shall be revised as follows:
 - a. Indicate O&E Report was searched from time of platting or 1953, whichever is earliest. Indicate on survey.
 - b. Legal Description of Property (as reflected on the survey).
 - c. Ensure O&E Report is reflected on survey and site plan, e.g. utilities/overhead lines, easements, etc.
 - d. Provide listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or play book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.).

Response: Revised accordingly

6. Survey shall be based on the current title work (O&E), dated within 30 days of submittal. Such date shall be noted on the survey document.

Response: Revised accordingly

7. Ensure that O&E Report, Survey, and Site Plan are consistent.

Response: Revised accordingly

8. Work with the Engineering Division to ensure the survey includes the appropriate elements such as, abutting and internal streets and their widths, including existing curbcuts/driveways to surrounding properties within 100 feet are included.

Tel: 305-403-7926

Response: Revised accordingly



9. Site Data:

- a. Legal Descriptions including subdivision name, plat book, page number, lot and block or metes and bounds.
- b. Current Land Use designation.
- c. Coordinate the Net & Gross property size in S.F. & acres to match the survey.
- d. Allowed and proposed heights.
- e. Amount of dwelling units per floor, total of each and total floor area of each type of unit including a breakdown of air-conditioned & non-air-conditioned space (balconies, garages, terraces, restrooms, power equipment rooms, meter rooms, etc.) Response: Revised Accordingly
- 10. Work with the Engineering Division to ensure the survey includes the appropriate elements such as, abutting and internal streets and their widths, including existing curbcuts/driveways to surrounding properties within 100 feet are included.

Response: O.K.

11. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

Response: O.K.

12. Provide details and height of all proposed walls, fences, and gates. All fencing shall be decorative. This includes balconies.

Response: No walls or fences provided other than building walls. Height of railings and balconies on elevation sheets.

13. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Website:

http://www.broward.k12.fl.us/propertymgmt/Growth_Management/meetings/Docs/Public SchoolImpact Application.pdf

Response: Application has been submitted

14. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal.

Response: OK

15. Additional comments may be forthcoming.

Response: OK

16. Provide written responses to all comments with next submittal.

Response: Provided



B. ZONING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016- 02.

Response: Refer to note on sheet SP-1.1

- 2. What is the purpose of the second entry door in Unit #4 on the 2nd thru 4th floors? *Response: Removed, refer to floor plans.*
- 3. Provide Balcony setback dimensions on Site Plan.

Response: Revised, refer to sheet SP-1.1

4. On site calculation table, revise the required setback to 5' not 0'. *Response: Refer to note on sheet SP-1.1*

5. How is the dumpster being rolled out? Will pick-up occur inside the building?

Response: Dumpster roll out to Alley and will be picked up.

C. ARCHITECTURE AND URBAN DESIGN

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Provide volumetric shifts on the front façade.

Response: Revised, refer to elevation sheet

Terrence Comiskey A.I.A., Architect (tcomiskey@hollywoodfl.org) 954-921-3900

1. Sheet SP-1.1: How is recycling being done in the building? Is there a special trash chute that can switch between recycling and regular trash? (Typical)

Response: Refer to A-1.2 showing trash abd recycling chute. Garbage and recycling containers will be wheeled out to front of property for pick

2. Sheet SP-1.1: Is there paving material under the bike rack?

Response: Refer to Sheet SP-1.1 extended pavers

3. I don't see anything in the floor plans to accommodate a Janitor's Closet and mop sink. Where are cleaning supplies stored?

Response: Refer to Sheet A-1.2 and A-1.3



4. Sheet A-2.1: Stucco control joints should be shown (Typical for all elevations). *Response: Refer to elevation sheets*

5. Please provide more information on the ground level "Decorative Screen".

Response: Decorative screen is aluminum with 2" x"2 opening as a back drop from landscape and more than 50 % open.

6. Sheet A-1.3: Do both stairs go to the roof? It appears so in the floor plan.

Response: Refer to roof plan. Only one roof scuttle has been provided

7. A Roof Plan was not included. Will all equipment be properly screened?

Response: Refer to Sheet A-1.4

8. How are you meeting the City's Green Building requirements?

Response: Refer to notes on Sheet SP-1.1

D. SIGNAGE

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided.

Response: No signage on building only street number

2. Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

Response: Revised, refer to sheet SP-1.1

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Response: OK

E. LIGHTING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential).

Response: Refer to note on Sheet SP-1.1

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Submittal shall indicate compliance with Green Building Ordinance (O-2011-06). Include a list with a minimum of ten (10) green building practices.

Tel: 305-403-7926

Response: Refer to note SP-1.1



2. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

Response: Refer to notes on Sheet SP-1.1

3. Building Department may request copies of appropriate/preferred green building registration with next submittal.

Response: OK

G. ENGINEERING

Luis Lopez, City Engineer (<u>llopez@hollywoodfl.org</u>) 954-921-3251 Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915

1. Provide site data to show the number of residential units and size being proposed.

Response: Refer to Sheet SP-1.1

2. Verify lot dimensions as per survey.

Response: OK

3. Indicate on plans ground cover material(s) on the property outside of the decorative paver areas.

Response: Refer to Landscape Plans

4. The minimum required width of parking spaces which are adjacent to a wall or physical obstruction on one side shall be 9.5 ft.

Response: Revised, refer to sheet SP-1.1

5. It appears curbing is being proposed along the driveway opening. Provide curb ramp with detectable warning at sidewalk as necessary.

Response: Refer to Sheet SP-1.1

6. Indicate on plans for corner setback requirement to be met. Corner setback area is the area lying adjacent to a street or alley as delineated by a line connecting points measured 25 feet distant along the property lines from the intersection of a street or six feet along the property lines at the intersection of an alley and a street. Corner chord at the intersection of the two alleys may be required.

Response: Provided



7. Provide civil plans for the proposed work. Include items such as drainage improvements, water and sewer connections, curbing, all vehicle turning radii (provide sufficient vehicle turning radii for trash trucks at the alleys), sight triangles and details as well as change in elevations to show that handicap accessibility has been met. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. With the level of construction activities necessary for the proposed development, full road width pavement resurfacing abutting to the site (adjacent alleys Roosevelt Street) will be necessary, please indicate on civil plans.

Response: Refer to Sheet C-1

8. Extend pavers at the dumpster additional five feet to the south.

Response: Provided

9. Park impact fees will be required prior to issuance of Building Permit.

Response: OK

10. All outside agency permits must be obtained prior to issuance of City building permit.

Response: OK

11. More comments may follow upon review of the requested information.

Response: OK

H. LANDSCAPING

Jill Cohen, Landscape Architect (lclark@hollywoodfl.org) 954-921-3900

1. No comments received.

Response: Refer to New Landscape plans

I. UTILITIES

Wilford Zephyr, Engineer (<u>wzephyr@hollywoodfl.org</u>) 954-924-2985 James Rusnak, Engineer (<u>jrusnak@hollywoodfl.org</u>) 954-921-3302

1. Provide plans showing how water & sewer services will be provided. Plans must include water & sewer demand calculations.

Response: Refer to New Civil plans

2. Provide Paving, Grading & Drainage plans showing how storm water storage will be provided.

Response: Refer to New Civil plans



J. BUILDING

Philip Sauer, Chief Building Official (psauer@hollywoodfl.org) 954-921-3025

1. Application is substantially compliant.

Response: OK

K. FIRE

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

1. TAC review is limited to water supply for firefighting purposes and fire dept. access. A full architectural review will be completed when an application and plans are submitted to the third-floor building dept.

Response: OK, building will be sprinklerd and will have fire alarm.

2. Water supply must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921- 3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements.

Response: Fire flow provided

3. As a result of that test, show any existing and new fire hydrants on civil drawings. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

Response: OK

4. A fire sprinkler system is required for all new apartments per NFPA 101, 30.3.5. Provide a note as such on the plans.

Response: Added note

5. A fire alarm system is required per NFPA 101, 30.3.4.

Response: OK

6. Provide a note on civil drawings that underground fire main work will be completed by a contractor holding a Class I, II, or V license per FS 633.102.

Response: Provided

7. how the location of the fire dept. connection, fire line and size up to the building on civil drawings.

Tel: 305-403-7926

Response: OK



L. PUBLIC WORKS

Charles Lassiter, Environmental Services Supervisor (<u>classiter@hollywoodfl.org</u>) 954-967-4207

1. No comments received.

Response: Provided

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application is required.

Response: Provided

N. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Are units for rent or sale?

Response: rental

2. Are any units affordable to households making less than 80% of the Area Median Income? (\$48,850 for household of 2; \$69,950 for household of 4)

Response: owner will provide info

- 3. Sheet SP-1.1
 - a. Is project gated? Show details of decorative fence.
 - b. Is there an access gate to the dumpster? Include recycling.

Response: No gate, yes to dumpster and recycling

4. Sheet A-1.2 & A-1.3 – what is the purpose of the doorway from the great room of unit #4 into the common hall?

Response: Removed

5. Sheet A-2.1 – Recommend a treatment on the stucco wall to break up the plane.

Response: Provided

6. Sheet A-2.1 - 2.4 – Show details of decorative screen at garage elevations. It looks like a cage in the drawing.

Response: Provided

7. Sheet A-2.3 – What is the "C.J." label?

Response: control joint



8. How is roof accessed? Where is mechanical equipment?

Response: roof scuttle through stair

O. ECONOMIC DEVELOPMENT

Brian Rademacher, Corridor Redevelopment Manager (<u>brademacher@hollywoodfl.org</u>) 954-924-2922

1. Is parking ingress/egress only on Roosevelt or available via alley on south end?

Response: yes

2. This building is a good addition to N. Federal Highway in the RAC. Since visible from N. Federal would be good to add articulations or design that adds style & texture to corridor (on all visible elevations).

Response: OK

P. POLICE DEPARTMENT

Christine Adamcik, Police (<u>cadamcik@hollywoodfl.org</u>) 954-967-4371 Steven Bolger, Police (<u>sbolger@hollywoodfl.org</u>) 954-967-4500 Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-964371

1. No comments received.

Response: Provided

DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980 SusanGoldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980Not applicable

O. PARKING AND INTERGOVERNMENTAL AFFAIRS

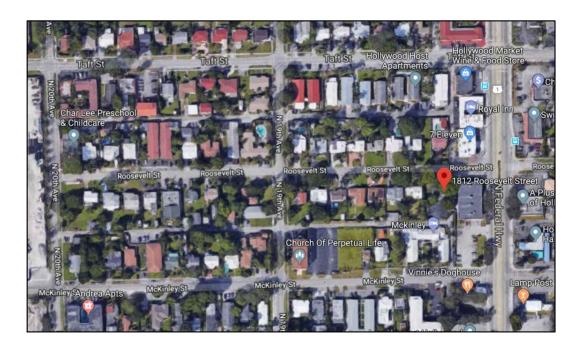
Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549
Tamikia Bacon, Parking Operations Manager {tbacon@hollywoodfl.org) 954-921-3548
1. Application is substantially compliant.

R. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodf/.org) 954-921-3471

1. Additional comments may be forthcoming.

PROPOSED 20 UNIT MULTI-FAMILY DEVELOPMENT FOR: XLT INVESTMENT CORP. 16450 NE 35 AVE. NORTH MIAMI BEACH, FLORIDA.

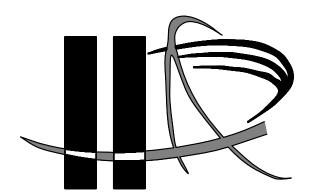


LOCATION MAP JOB ADDRESS: 1812 ROOSEVELT STREET

SHEET INDEX

COVER SHEET
SURVEY
SP-1.1 SITE PLAN
SITE DATA
BUILDING CALCULATION
GENERAL NOTES
D-1.1 DEMOLITION PLAN
A-1.1 FIRST FLOOR PLAN
A-1.2 SECOND & THIRD FLOOR PLAN
A-1.3 FOURTH FLOOR PLAN
A-1.4 ROOF PLAN
A-2.1 EAST ELEVATION
A-2.2 NORTH ELEVATION
A-2.3 WEST ELEVATION
A-2.4 SOUTH ELEVATION
C-1 PAVING & DRAINAGE PLAN
WATER & SEWER PLAN
L-1 LANDSCAPE PLAN
L-2 TREE MITIGATION PLAN
L-3 LANDSCAPE DETAILS





LLR Architects, Inc.

ARCHITECTURE & PLANNING

12980 SW 52 STREET MIRAMAR, FLORIDA 33027

(0)- 305-403-7926 (F)- 305-403-7928 E-MAIL: llarosa@larosaarchitectcts.com

AYLWARD ENGINEERING CIVIL ENGINEERING

3222 RIDGE TRACE DAVIE,FLORIDA 33328

(0) - 954 - 424 - 5852

E-MAIL: AYLWARDENGINEER@GMAIL.COM

MLA GROUP SCOTT MC CLURE RLA LANDSCAPE ARCHITECTURE

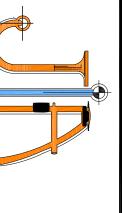
1016 NE 45TH STREET OAKLAND, FLORIDA 33334

(0) - 954 - 763 - 7041

E-MAIL: MLAGROUPINC@YAHOO.COM

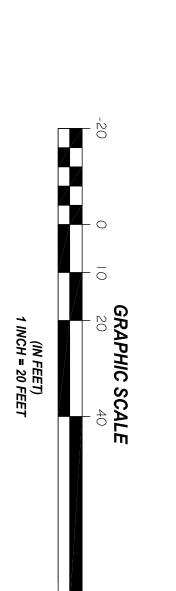
SUBMITTAL DATE: 06/04/2018

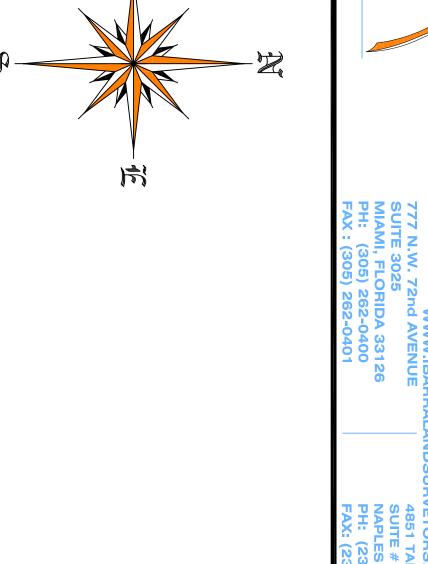
MEETING DATE: 06/18/2018

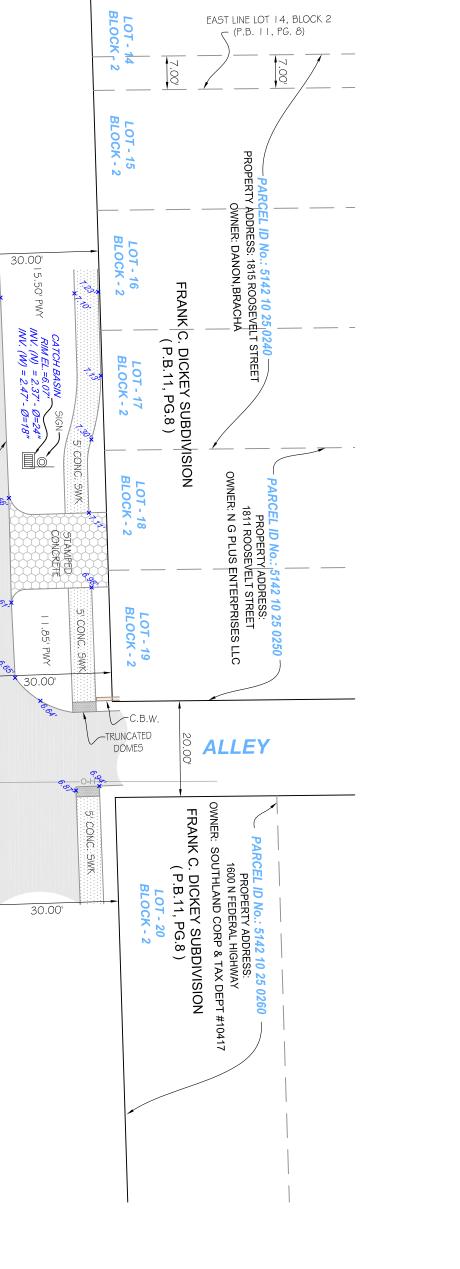


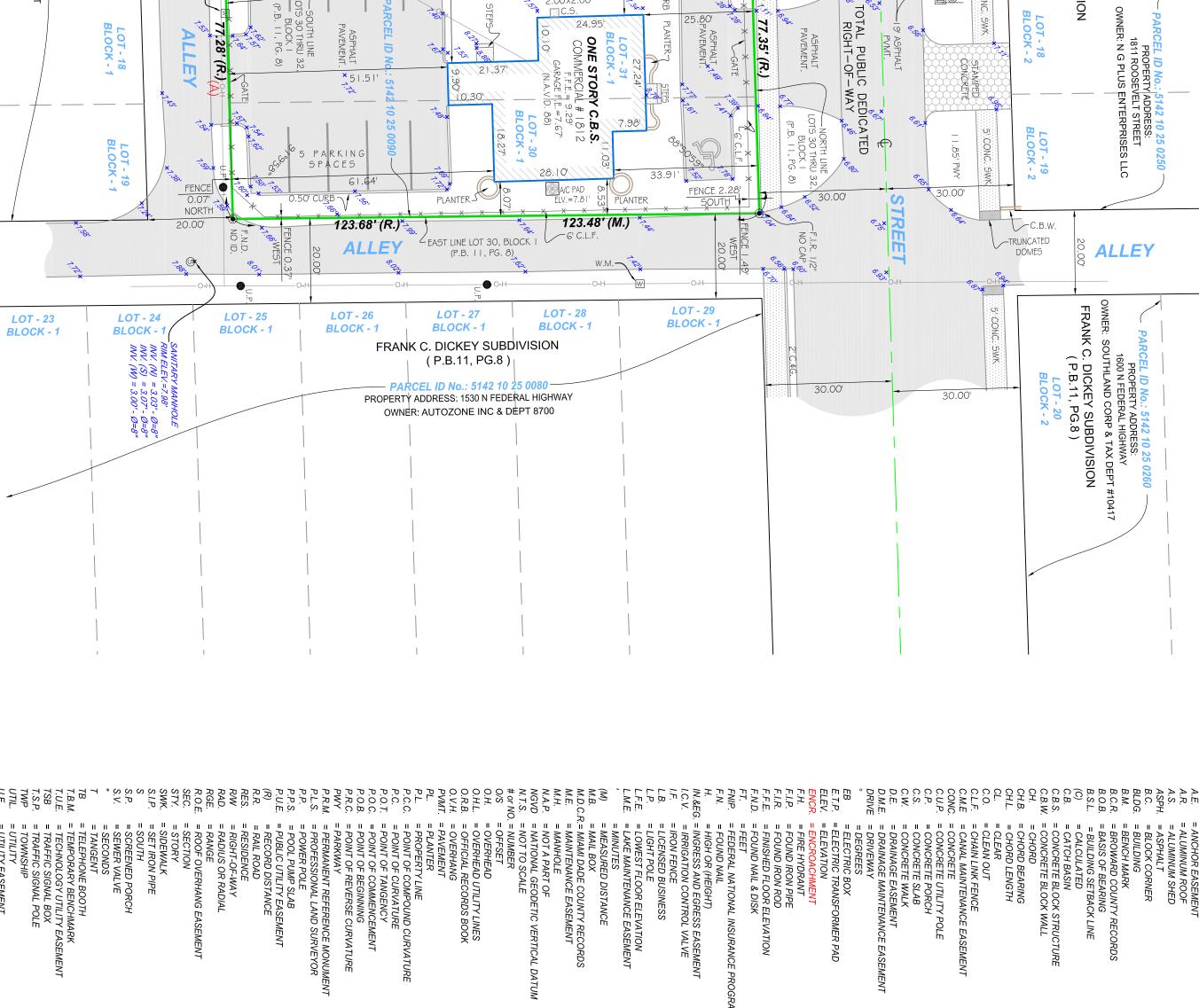
ional and urvey **Mappers**

NSPS Land Title Survey









LOT - 35 BLOCK - 1 EAST LINE LOT 35, BLOCK | (P.B. | |, PG. 8)

FRANK C. DICKEY SUBDIVISION (P.B.11, PG.8) LOT - 34

BLOCK - 1 PARCEL ID No.: 5142 10 25 0110 -PROPERTY ADDRESS: 1816 ROOSEVELT STREET OWNER: COUSINEAU, FRANCE COUSINEAU, MICHELINE ETAL

LOT - 33

BLOCK - 1

123.60' (M.)

2.00'X2.00'

7.65'

WEST LINE LOT 32, BLOCK | (P.B. | | 1, PG. 8)

123.70' (R.)

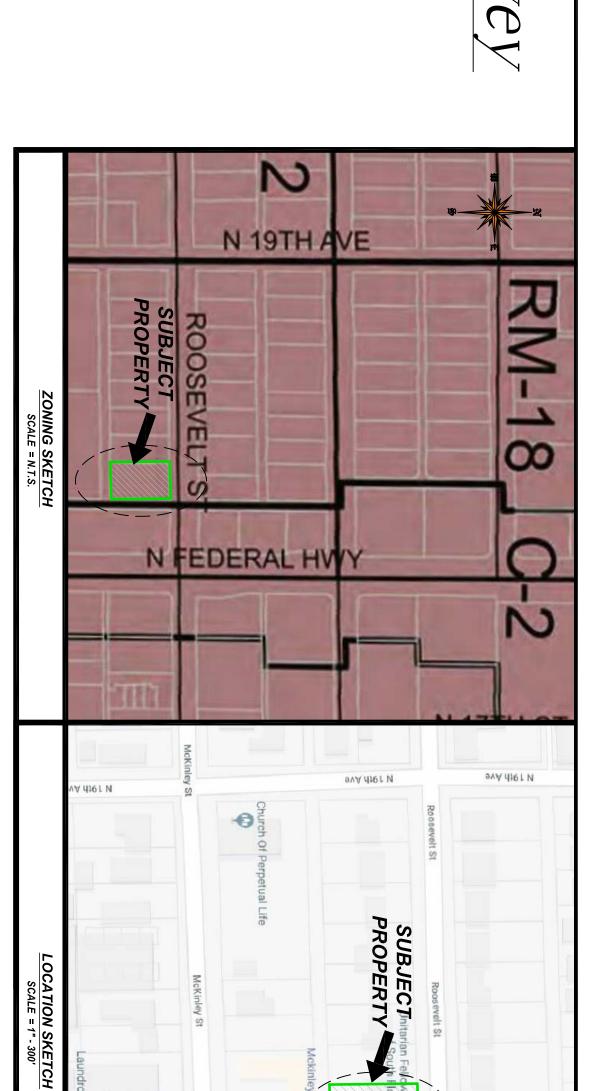
0.50' CURB ~

×51.51

5 PARKINO SPACES

.35' (R.)

FENCE 2.08' SOUTH



1B. THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM AND DISTANCE AND CLOSURE REQUIREMENTS WERE SURVEYS MEASUREMENTS WHICH CONTR	SURVEYOR'S CERTIFICATE: 1A. THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE;	

ABBREVIATIONS

1C. PROPER FIELD PROCEDURES, INSTRUMENTATION AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE,DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS."

ONED SETBACKS MUST BE CHECKED WITH THE CITY OF HOLLYWOOD RIOR TO ANY CONSTRUCTION OR DESIGN WORK. THE LOCATION OF THE SUBJECT PROPERTY IS IN ZONE RM-18, MUL SETBACKS ARE AS PER CITY OF HOLLYWOOD:

(RM-18)
FRONT = 20 FEET
SIDE (STREET) = 15 FEET
SIDE (INTERIOR) =5 FEET
REAR= 20 FEET

4. MUNICIPAL WATER, MUNICIPAL STORM SEWER AND MUNICIPAL SANITARY FACILITIES, TELEPHONE, AND ELECTRIC SERVICES OF PUBLIC UTILITIES ARE AVAILABLE AT THE BOUND. OF THE PROPERTY IN THE LOCATIONS AS SHOWN ON THE SURVEY. THE PROPERTY HAS DIRECT PEDESTRIAN ACCESS TO AND FROM PU AINTAINED STREETS OR HIGHWAYS KNOWN AS ROOSEVELT STREET.

THE SUBJECT PROPERTY DOES SERVE ADJOINING PROPERTY FOR VISIBLE SUBSURFACE RAINAGE STRUCTURES, VISIBLE WATER COURSES, UTILITIES, STRUCTURAL SUPPORT OR GRESS & EGRESS.

THE LAND AREA OF THE SUBJECT PROPERTY IS IN TOTAL \pm 9, 561.24 CRES AS DESCRIBED IN THE LEGAL DESCRIPTION. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD 4ZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE 7OPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS 2MMUNITY NO. 125113 PANEL NO. 0569, SUFFIX "H", AND HAVING A BASE FLOOD OF N/A FEET, 2ARING AN EFFECTIVE DATE OF 08/18/2014. QUARE FEET OR ± 0.22

9. THERE ARE 11 REGULAR PARKING SPACES AND 1 MARKED HANDICA ON THE SUBJECT PROPERTY. THE TOTAL BUILDING AREA (BASED UPON EXTERIOR FOOTPRINT OF JRFACE, NOT INTERIOR USABLE FLOOR SPACE) IS 1, 282 SQUARE FEI BUILDING ON GROUND ET. PED PARKING SPACES

ELEVATIONS ARE REFERRED TO BROWARD COUNTY BENCHMARK N EVATION 11.076 FEET OF N.G.V.D. OF 1929, CONVERTED TO N.A.V.D. 1 'SUBTRACTING (-1.601), ELEVATION IS 9.475 FEET OF N.A.V.D. 1988 . L REET & OLD DIXIE HIGHWAY. No. BCED BM 1895, 1988 BY USING VERTCON LOCATED AT TAFT S ARE ENTITLED TO SURATE.

13. THERE IS NO VISIBLE OBSERVED EVIDENCE OF CURRENT EARTH MO 12. FLOOR ELEVATION OF EXISTING BUILDING IS 9.29 FEET N.A.V.D. 1988. 11. THE PARTIES LISTED ABOVE AND THEIR SUCCESSORS AND ASSIGNS RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACC

14. THERE IS NO VISIBLE OBSERVED EVIDE OR SANITARY LANDFILL.

D WASTE DUMP, SUMP

AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.

ZONING REPORT HAS NOT BEEN PROVIDED FOR REFERENCE TO SURVEYOR BY THE PLANNING & ZONING RESOURCE COMPANY.

UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.

BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING

LOTS 30, 31 AND 32, OF BLOCK 1. FRANK C. DICKEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, S RECORDED IN PLAT BOOK 11, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION: THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

O

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N Federal Hwy

TITLE COMMITMENT NOTES:

THAT I HAVE REVIEWED THE COMMITMENT AND ALL ITEMS ARE SHOWN ON THE SURVEY. THE ITEMS SHOWN HERE FORTH ARE PER SCHEDULE B-II OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FILE NUMBER 503693, ISSUING OFFICE FILE NUMBER: 17-077, DATED SEPTEMBER 28, 2017, AT 11:00 P.M.; ITEM N. 6 ALL MATTERS CONTAINED ON THE PLAT OF FRANK C. DICKEY SUBDIVISION, AS RECORDED IN PLAT BOOK 11, PAGE 8, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. DOES APPLY, ANY MATTER WHICH MAY BE PLOTTABLE IS SHOWN HEREON.

	_###			_*		——————————————————————————————————————	
= NON-VEHICULAR ACCESS R/W 00 = EXISTING ELEVATIONS	= UTILITY EASEMENT = LIMITED ACCESS R/W	= BUILDING SETBACK LINE	= IRON FENCE	= CHAIN LINK FENCE	= CONCRETE BLOCK WALL	— = OVERHEAD UTILITY LINES	LEGEND

INVESTMENT CORP, 1812 ROOSEVEI A FLORIDA LIMITED LIABILITY COMPANY LT STREET, HOLI YWOOD EI 22000

FRANK C. DICKEY SUBDIVISION (P.B.11, PG.8)

NCROACHMENT NOTES:

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THIS MAP OR PLAT AND THE SURVE ANSPS LAND TITLE SURVEYS," JOINT 16,19, OF TABLE A THEREOF. THE FIE

THIS IS TO CERTIFY THAT I REQUIREMENTS FOR ALTA 1,2,3,4,5,7(A),7(B-1),8,9,13,16

)HN IBARRAROFESSIONAL LAND SURVEYOR NO.: 5204 **STATE OF FLORIDA** (NOT VAL ORIDA LICENSED SURVEYOR AND MAPPER).
EVISED SURVEY:

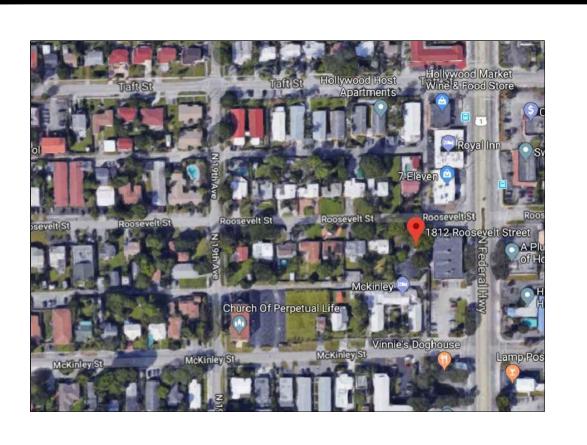
03/30/2018

NSPS SURVEY" OF THE PROPERTY DESO DS OF PRACTICE AS SET FORTH BY THE VANT TO 472.027, FLORIDA STATUTES.

EY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL ITLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS ELD WORK WAS COMPLETED ON MARCH 26, 2018:
IS LAW FIRM PLLC AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:
SURVEYOR'S CERTIFICATION
JPON TITLE COMMITMENT FILE No. 503693 NG AGENT: TORRENS LAW FIRM PLLC, SUING OFFICE FILE NUMBER: 17-077 AMERICAN LAND TITLE ASSOCIATION ECTIVE DATE OF SEPTEMBER 28, 2017 AT 11:00 PM
VELT STREET, HOLLYWOOD, FL 33020

	VISION, AND	OF A		IDARD DETAIL	7 7 1 1	
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL SEAL OF A FLORINAL ICENSED SUBJECTION AND MADEED SUBJECTION AND MADEED SEAL OF A FLORINAL ICENSED SUBJECTION AND MADEED SUBJ	CONTRACTOR SURVEY	NO. 5204 STATE OF	L.B.# 7806	LAND SURVEYORS	And Assoc., Inc.	Iohn Ibarra

TELEPHONE: (3	Job Number:	SECTION 10, TOV PARCEL ID No.:	HOLLYWOOD, FL, 33020 Project Location: BROW	
777 N.W. 72nd AVENUE SUITE3025 MIAMI, FLORIDA 33126 TELEPHONE: (305) 262-0400 FAX (305) 262-0401 www.ibarralandsurveyors.com	DRAWN BY: PP Job Number: 18-001358-1	SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST PARCEL ID No.: 5142 10 25 0090	1812 ROOSEVELT STREET, HOLLYWOOD, FL, 33020 Project Location: BROWARD COUNTY	;



NORTH

LOCATION PLAN

. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017-EDITION, ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, NATIONAL

- 2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT
- 3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
- 5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT, ANY WORK THAT PROCEED'S OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
- 6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
- 7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
- 8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY ARISING OUT OF WORK OF THE CONTRACTOR.
- 9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE, CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
- 10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NNOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
- II. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
- 12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
- 13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS

GENERAL NOTES

LOT 30-31, IN BLOCK 1, OF "FRANK C. DICKEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK II AT PAGE 8 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE CALCULATIONS:		PARKING CALCULATIONS:		
TOTAL SITE AREA:	9,557 S.F. OR .21		REQUIRED	PROVID
BUILDING COMMON AREA DRIVEWAY CONC. SLAB TOTAL IMPERVIOUS AREA=	577 S.F. 6,240 S.F. 190 S.F. 7,007 S.F. (73.4%)	1 PARKING SPACE PER UNIT & 1 GUST PARKING SPACES PER 10 UNITS	2Ø 2	
TOTAL PERVIOUS AREA=	2,55Ø S.F. (26.6%)	TOTAL PARKING SPACES	22	22
TOTAL IMPERVIOUS AREA=	7,007 S.F. (73.4%)	SETBACK CALCULATIONS	;	
BUILDING FOOTPRINT AREA	7,132 SF.		REQUIRED	PROVID

BUILDING FOOTPRINT AREA	7,132 S.F.	
TOTAL PERVIOUS AREA=	2,550 S.F. (26.6%)	FRONT
F.A.R. CALCULATIONS:		REAR ALLEY
TOTAL SITE AREA: 9,557 S.F. × 3.0=	28,671 S.F.	INT-SIDE
GROUND FLOOR (NOT TRASH ROOM)	529 S.F.	HEIGHT CALCULA
2ND. FLOOR PLAN (NOT TRASH ROOM, ELEC. ROOM & BALCONY)	6,780 S.F.	TEIGHT CALCULA

2ND, FLOOR PLAN	6.78Ø S.F.	
(NOT TRASH ROOM, ELEC. ROOM & BALCONY)	J, 100 G	
3RD. FLOOR PLAN (NOT TRASH ROOM, ELEC. ROOM & BALCONY)	6,780 S.F.	MAX. HEIGHT ALLOWED:
4TH. FLOOR PLAN	6,480 S.F.	
(NOT TRASH ROOM, ELEC. ROOM, BALCONY & STAIRS)		LAND. USE DESIGNATION: FH-2
F.A.R. PROVIDED	20,569 S.F.	
F.A.R. ALLOWED	28,671 S.F.	GREEN BUILDING PRACTIC (F) ENERGY EFFICIENT DO

- OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION FLORIDA INFRASTRUCTURE, PLEASE SEE ORDINANCE O 2016-02. 2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING (N) DUAL FLUSH TOILETS.
- & LEND DEVELOPMENT REGULATION.

- 3. OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
- 4. MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM Ø.5 IF ADJACENT TO RESIDENTIAL). 5. A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS
- BUILDING DEPENDING PER NFPA 1, 11.10 AND BROWARD AMENDMENT 118.2 6. GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT
- INTO COMMON AREAS.
- 1. BIKE RACK TO BE INSTALLED AS SHOWN 8. WHITE ROOF TO REFLECT LIGHT.

PARKING CALCULATIONS:		
	REQUIRED	PROVIDED
I PARKING SPACE PER UNIT & I GUST PARKING SPACES PER IØ UNITS	2 <i>Ø</i> 2	
OTAL PARKING SPACES	22	22

	REQUIRED	PROVIDED
FRONT	15'	15'
REAR	5'	5'- 0"
ALLEY	5'	5'-0"
INT-SIDE	Ø '	Ø'

HEIGHT CALCULATIONS:		
	REQUIRED	PROVIDED
MAX. HEIGHT ALLOWED:	10 STORIES OR 140'	50'-0"

REEN BUILDING PRACTICE

INFRASTRUCTURE.

(E) ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH

- (H) PROGRAMMABLE THERMOSTATS
- (P) AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT
- RECOMMENDATIONS (LATEST EDITION). (Q) ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. (R) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT
- (T) ALL HOT WATER PIPES INSULATED. (U) MERY OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT.

THEN STANDARD ESTABLISHED BY ASHRAE (LATEST EDITION)

(Y) TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER. (W) ELECTRIC VEHICLE-CHARGING-STATION

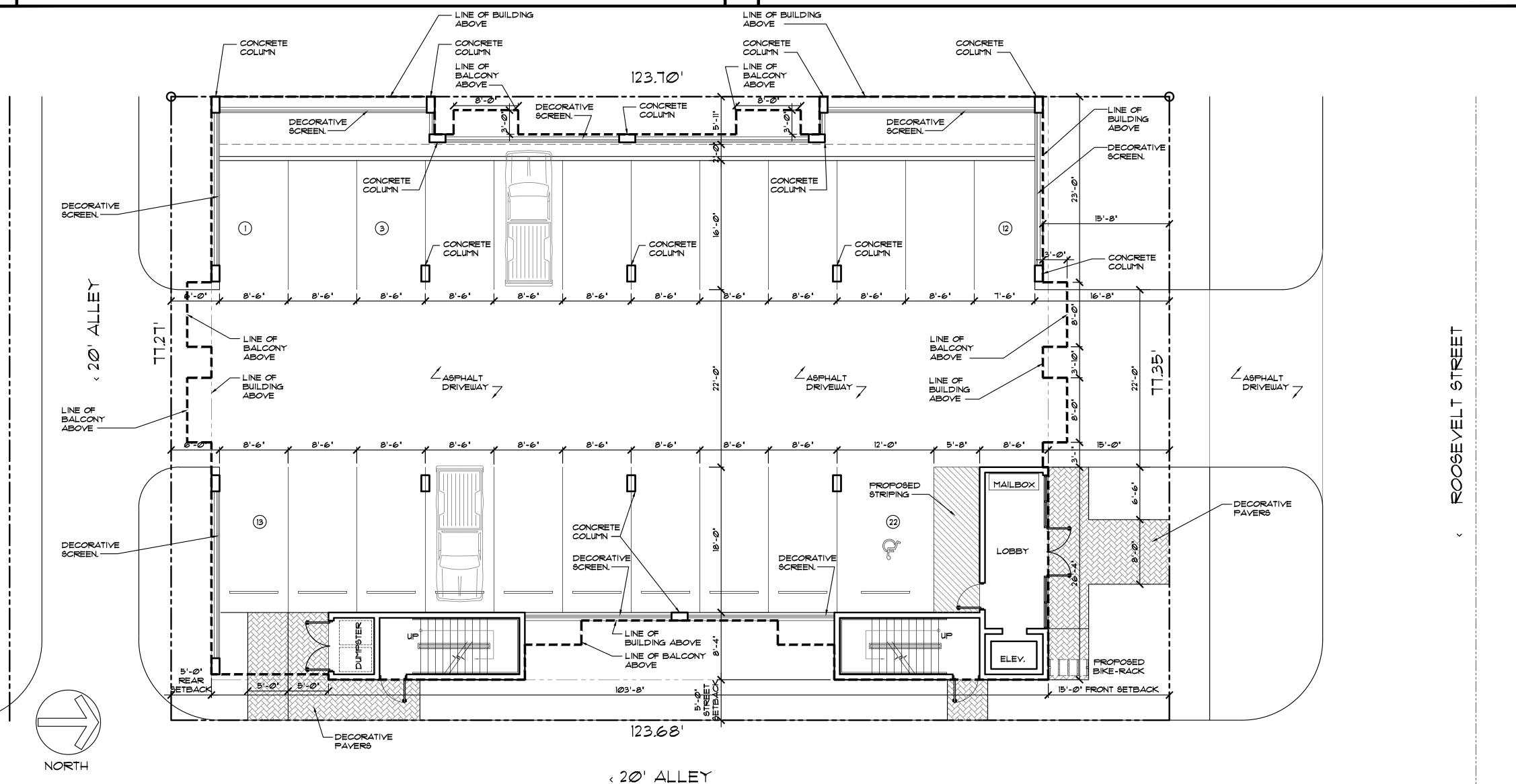
	LOBBY	UNIT # 1 (TWO BED.)	UNIT # 2 (ONE BED.)	UNIT # 3 (ONE BED.)	UNIT # 4 (TWO BED.)	UNIT # 5 (TWO BED.)	UNIT # 6 (ONE BED.)	UNIT # 6A (THREE BED.)	UNIT # 7 (ONE BED.)	
IST. FLOOR COMMON AREA =	577 S.F.	-	-	-	-	-	-	-	-	577 S.F.
2ND. FLOOR LIVING AREA=	-	898 S.F.	664 S.F.	664 S.F.	1,049 S.F.	886 S.F.	656 S.F.	-	656 S.F.	5,473 S.F
COVERED BALCONY AREA=	-	24 S.F.	24 S.F.	24 S.F.	85 S.F.	24 S.F.	24 S.F.	-	24 S.F.	229 S.F
TOTAL UNIT AREA =	-	922 S.F.	688 S.F.	688 S.F.	1,134 S.F.	910 S.F.	68Ø S.F.	-	680 S.F.	5,7 <i>0</i> 2 S.F
COMMON AREA =	-	-	-	-	•	-	1	-	-	1,430 S.F
TOTAL GROSS AREA:	-									7,132 S.F.
3RD. FLOOR LIVING AREA=	-	898 S.F.	664 S.F.	664 S.F.	1,049 S.F.	886 S.F.	656 S.F.	-	656 S.F.	5,473 S.F
COVERED BALCONY AREA=	-	24 S.F.	24 S.F.	24 S.F.	85 S.F.	24 S.F.	24 S.F.	-	24 S.F.	229 S.F
TOTAL UNIT AREA=	-	922 S.F.	688 S.F.	688 S.F.	1,134 S.F.	91Ø S.F.	68Ø S.F.	-	680 S.F.	5,7 <i>0</i> 2 S.F
COMMON AREA =	-	-	-	-	•	-	1	-	-	1,430 S.F
TOTAL GROSS AREA:	-									7,132 S.F.
3RD. FLOOR LIVING AREA=	-	898 S.F.	664 S.F.	664 S.F.	1,049 S.F.	886 S.F.	-	1,312 S.F.	-	5,473 S.F
COVERED BALCONY AREA=	-	24 S.F.	24 S.F.	24 S.F.	85 S.F.	24 S.F.	•	48 S.F.	1	229 S.F
TOTAL UNIT AREA =	-	922 S.F.	688 S.F.	688 S.F.	1,134 S.F.	910 S.F.	ı	1,360 S.F.	1	5,7 <i>0</i> 2 S.F
COMMON AREA=	-	-	-	-	•	-	ı		-	1,430 S.F
TOTAL GROSS AREA=	-									7,132 S.F.
TOTAL GROSS AREA=										21,973 S.F

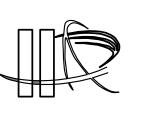
BUILDING CALCULATION

2ND. FLOOR	3RD, FLOOR	4TH, FLOOR	TOTAL UNITS
4 UNITS (1 BED.)	4 UNITS (1 BED.)	2 UNITS (1 BED.)	10 UNITS (1 BED.)
3 UNITS (2 BED.)	3 UNITS (2 BED.)	3 UNITS (2 BED.)	9 UNITS (2 BED.)
Ø UNITS (3 BED.)	Ø UNITS (3 BED.)	1 UNITS (3 BED.)	1 UNIT (3 BED.)
T UNITS	7 UNITS	6 UNITS	20 UNITS

SITE DATA

BUILDING CALCULATION





LLR Architects, Inc.

ARCHITECTURE & PLANNING 12980 SW 52 STREET MIRAMAR, FLORIDA 33027 (0)- 305-403-7926 (F)- 305-403-7928

-MAIL: LLAROSAGLAROSAAR

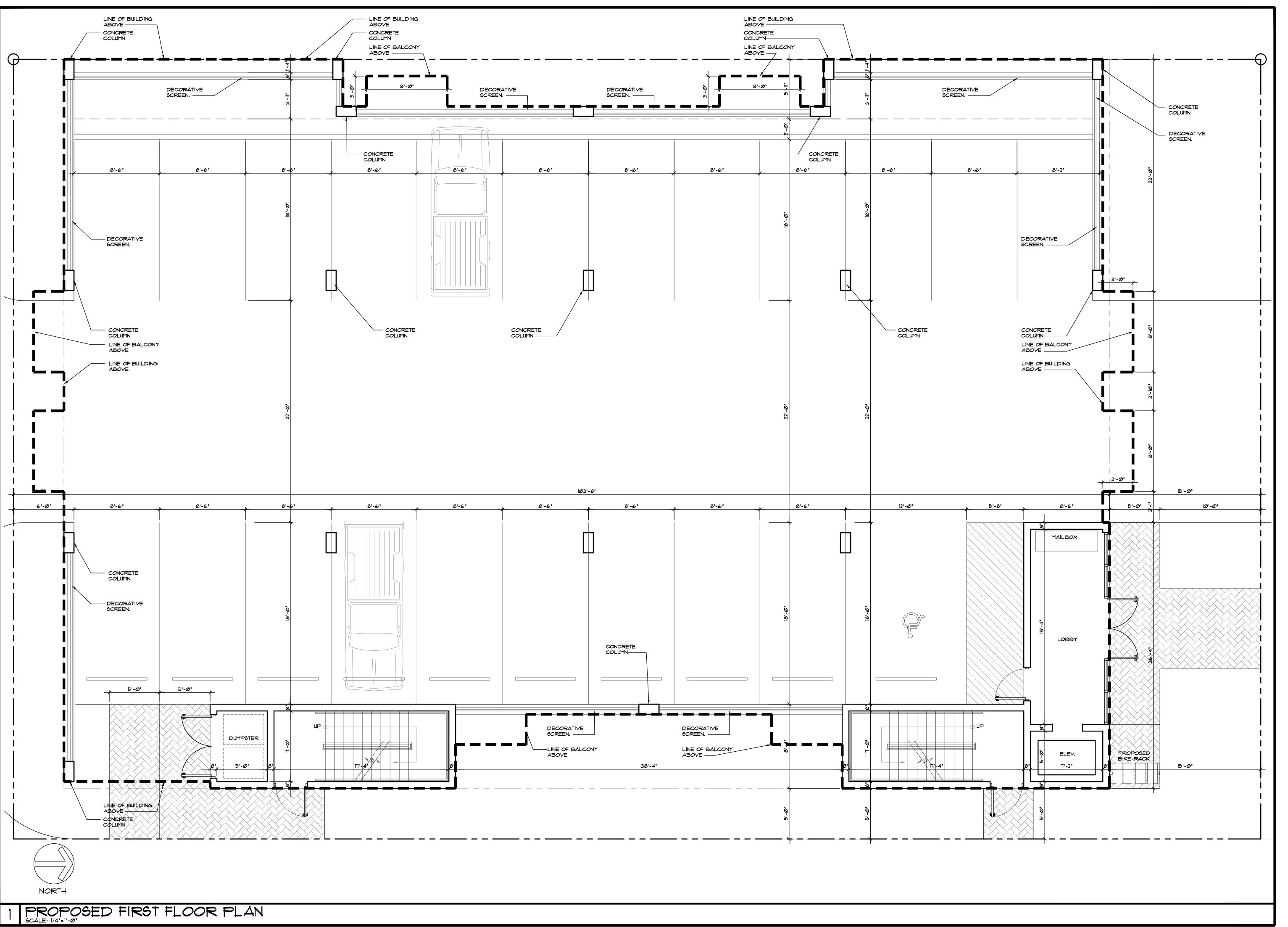
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LUIS LA ROSA

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LEGAL DESCRIPTION

PROPOSED SITE PLAN



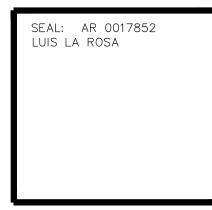


12980 SW 52 STREET MIRAMAR, FLORIDA 33027

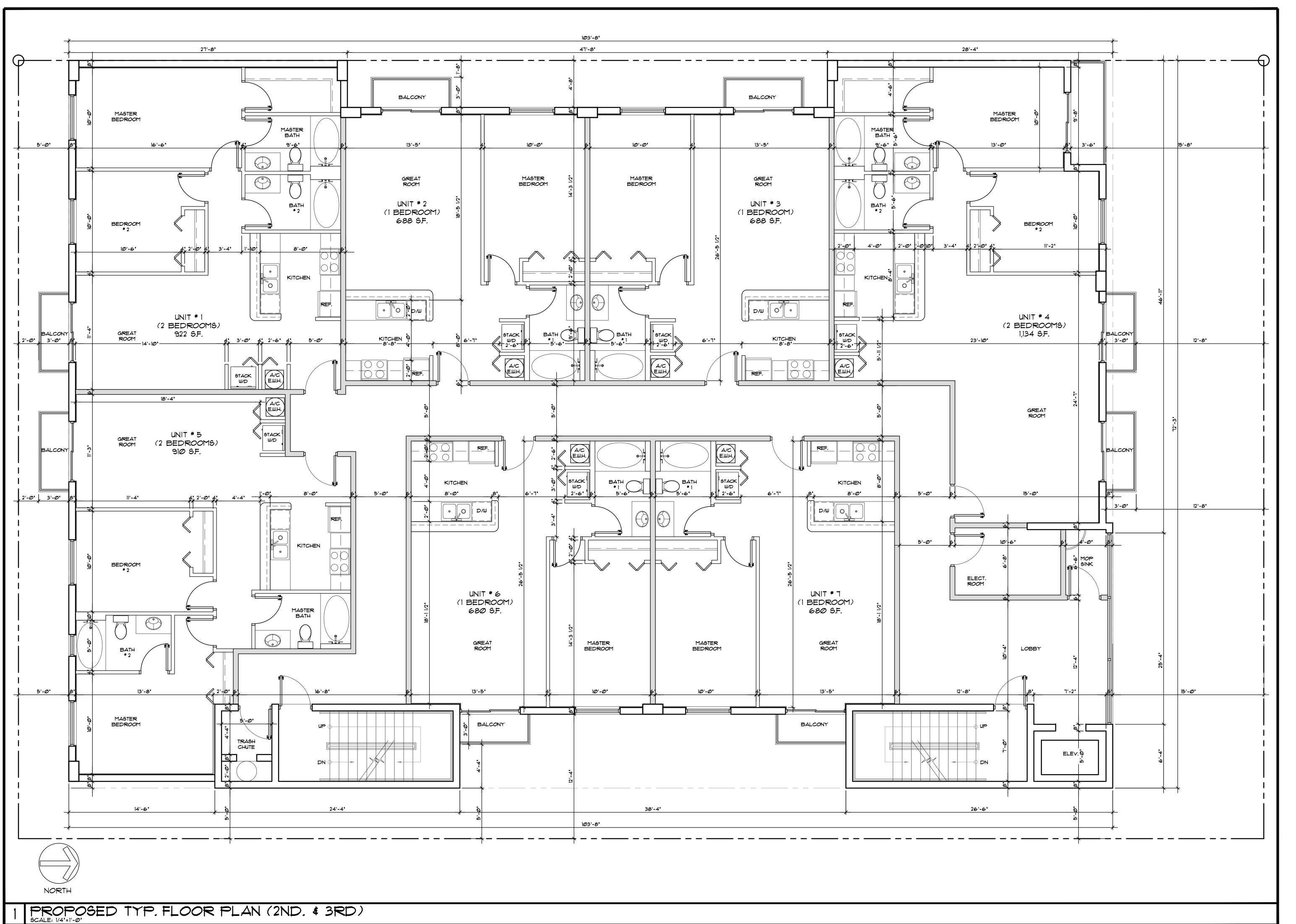
(O)- 305-403-7926 (F)- 305-403-7928 E-MAIL: llarosa@larosaarchitectcts.com

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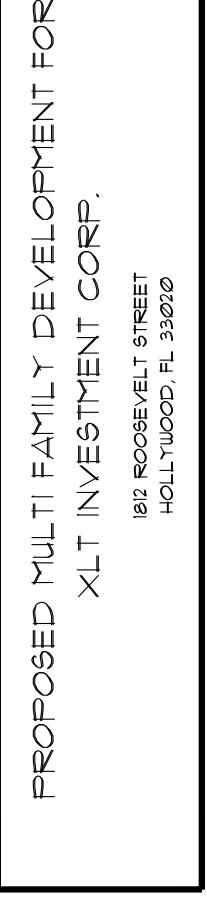




ARCHITECTURE & PLANNING

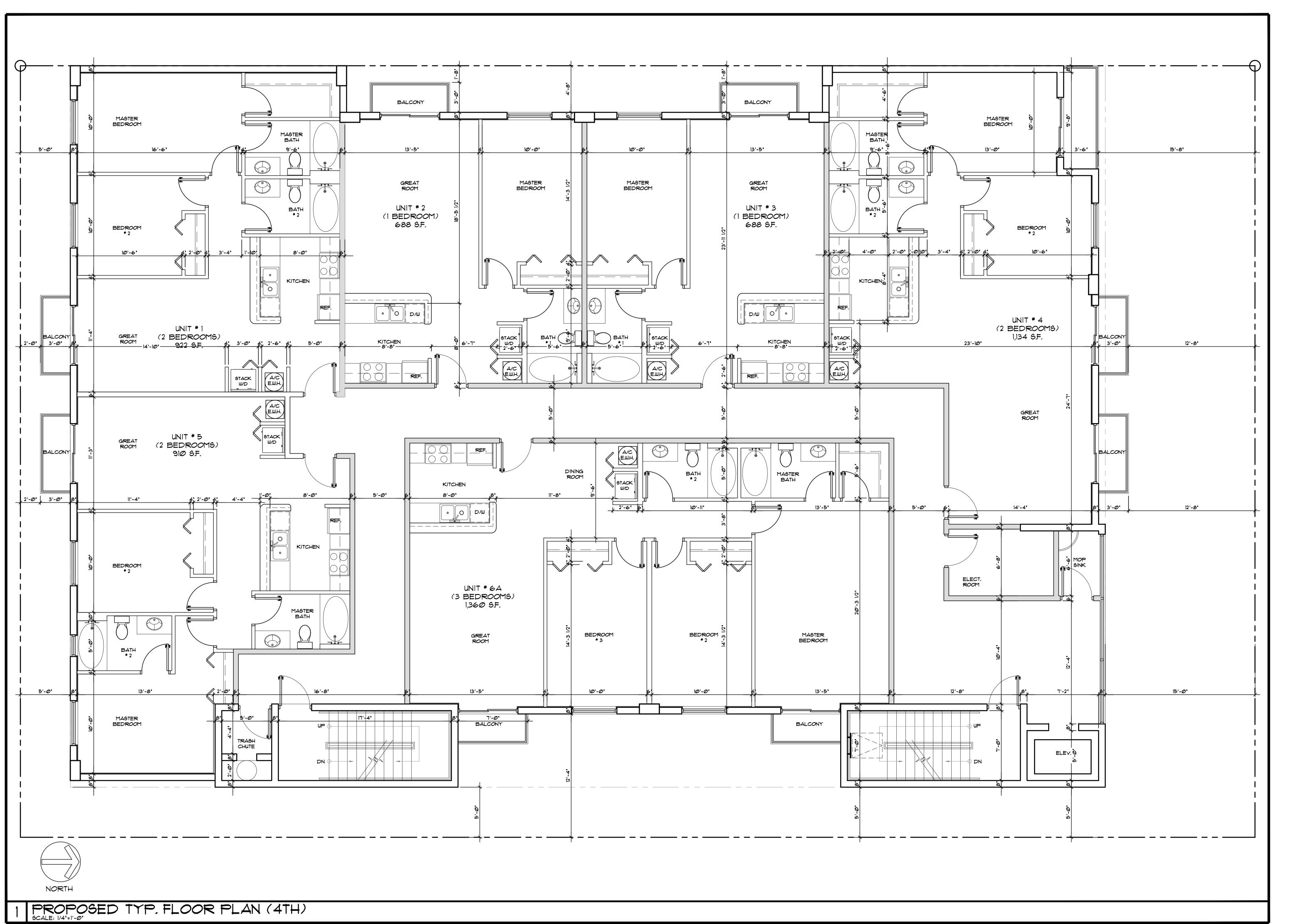
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F)- 305-403-7928 E-MAIL: llarosa@larosaarchi	тестстѕ.сом
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2980 SW 52 STREET MIRAMAR, FLORIDA 33027	

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ARCHITECTURE & PLANNING

12980 SW 52 STREET
MIRAMAR, FLORIDA 33027

(O)- 305-403-7926
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E-MAIL: ilarosa@larosaarchitectcts.com

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PROPOSED MULTI FAMILY DEVELOPMENT FOR XLT INVESTMENT CORP.

1812 ROOSEVELT STREET HOLLYWOOD, FL 33,828

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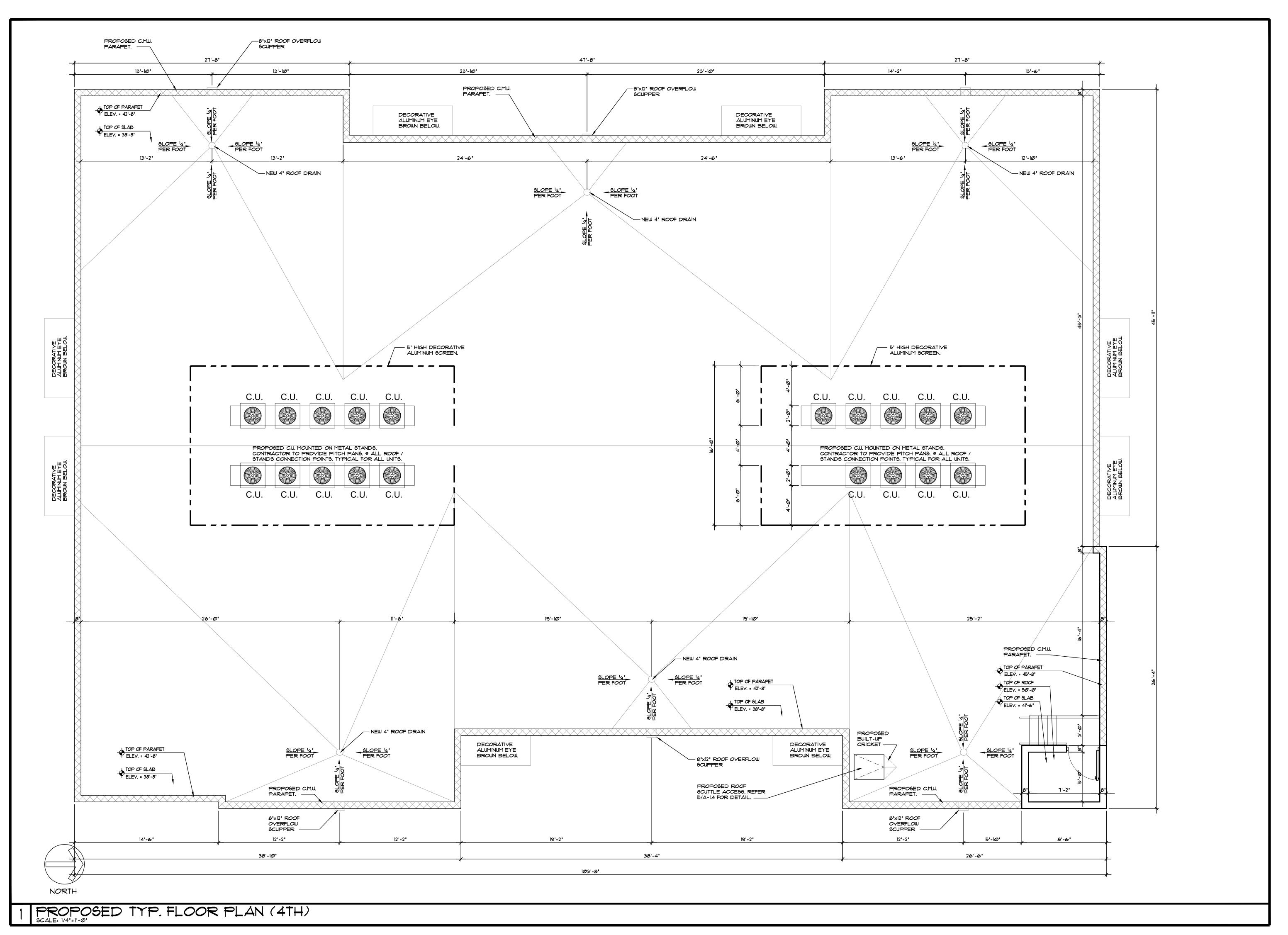
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E-MAIL: LLAROSA@LAROSAARCHITECTCTS.CO

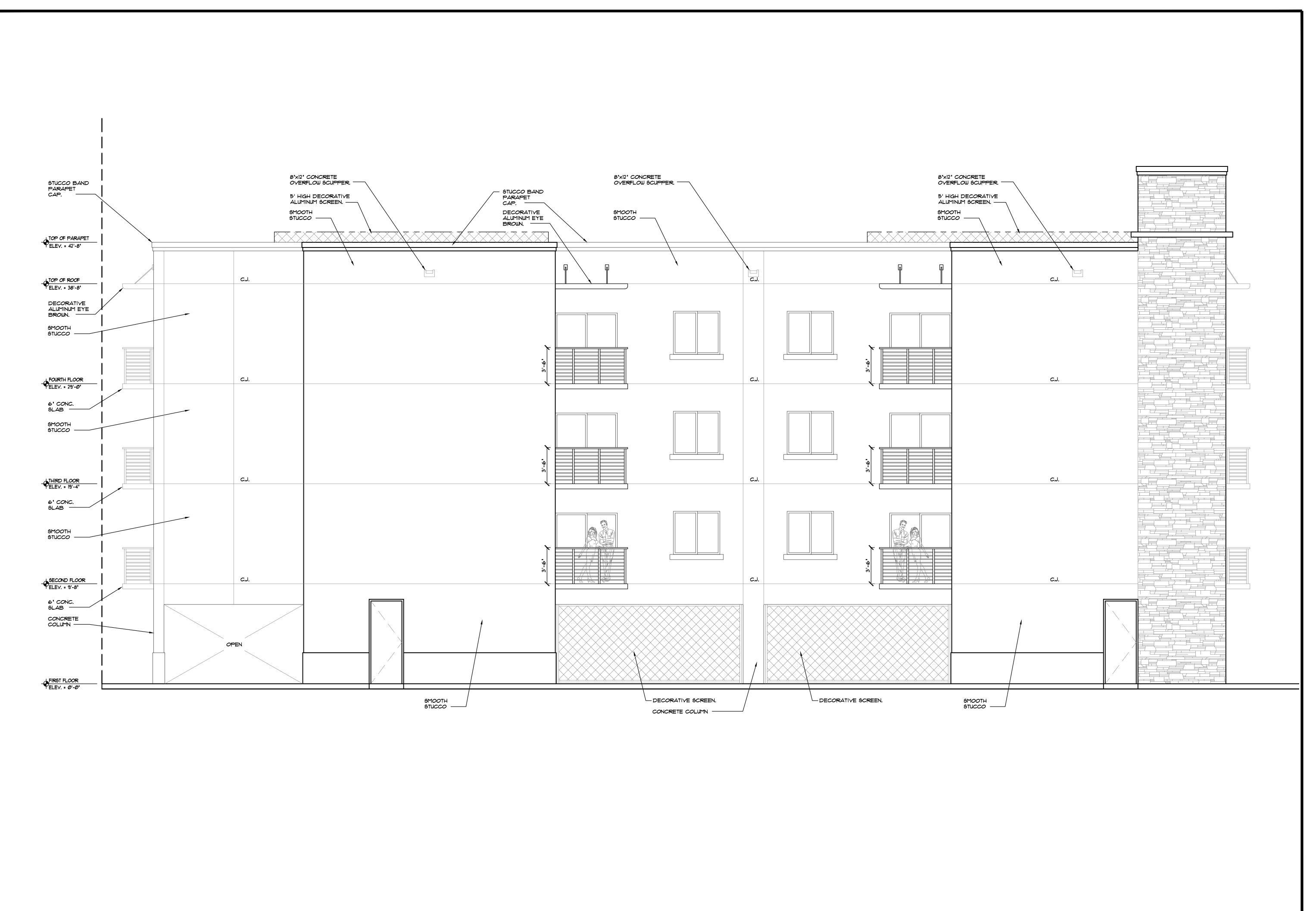
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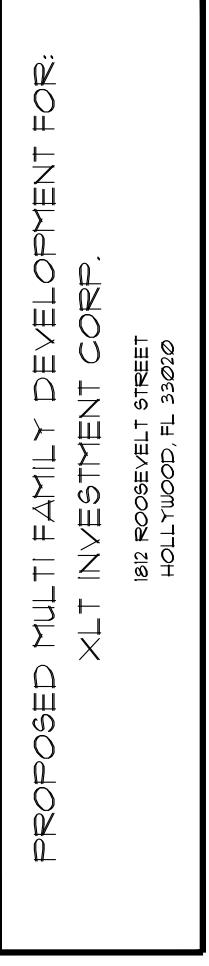


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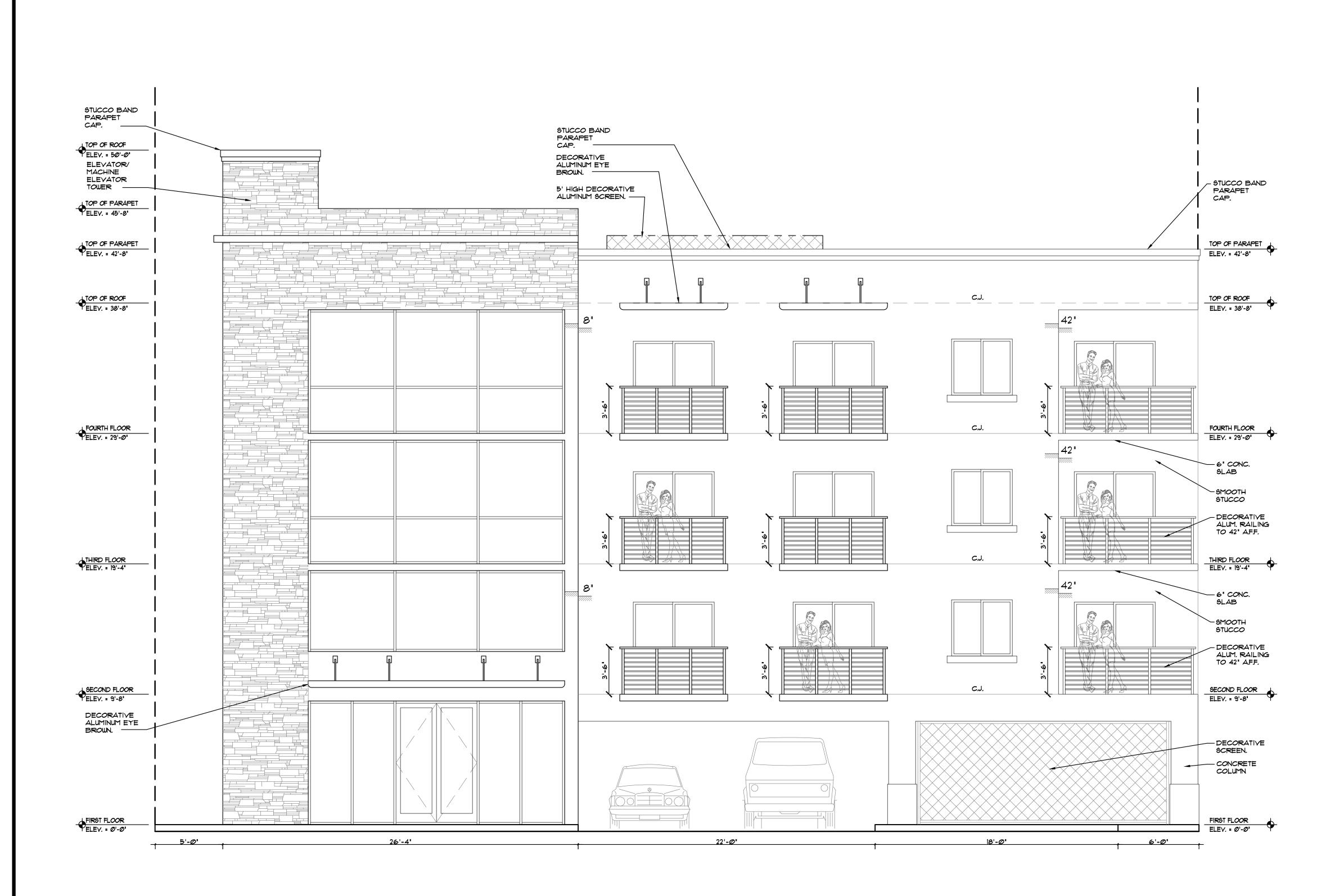


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PROPOSED MULTI FAMILY DEVELOPMENT FOR:

XLT INVESTMENT CORP.

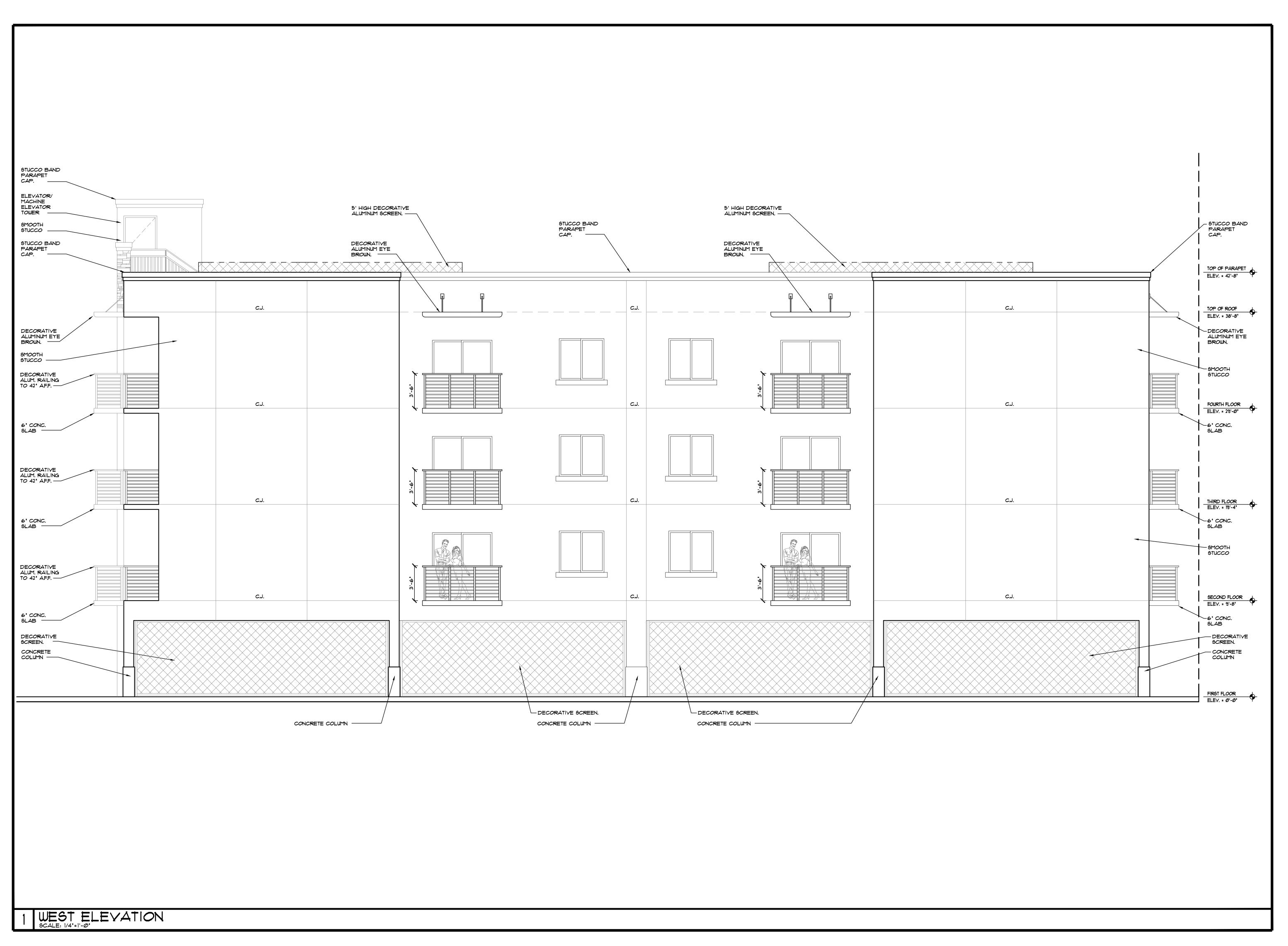
1812 ROOSEVELT STREET

HOLLYWOOD, FL 33020

SEAL: AR 0017852 LUIS LA ROSA

A-2.2

NORTH ELEVATION (ROOSELVELT STREET)



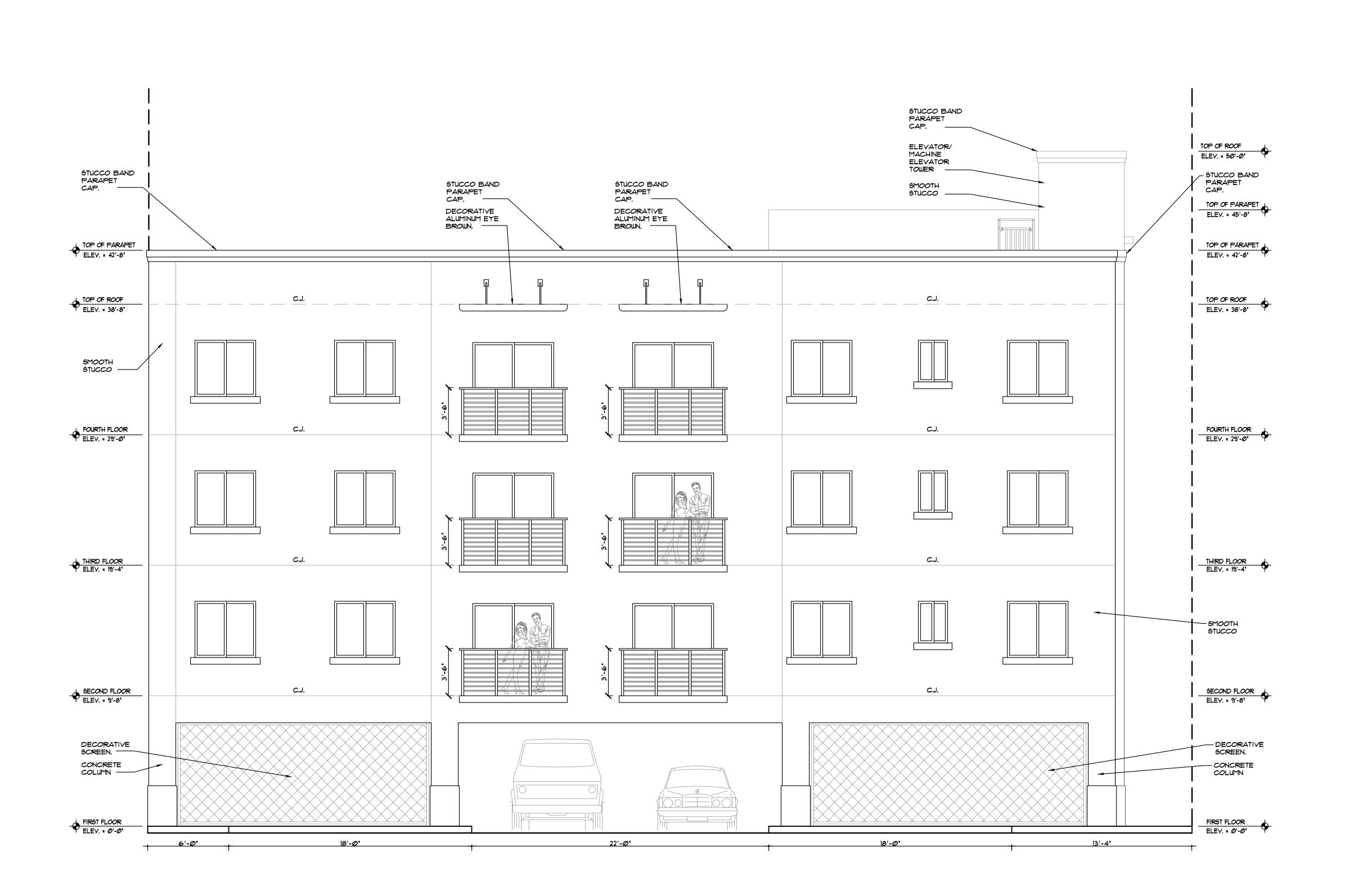


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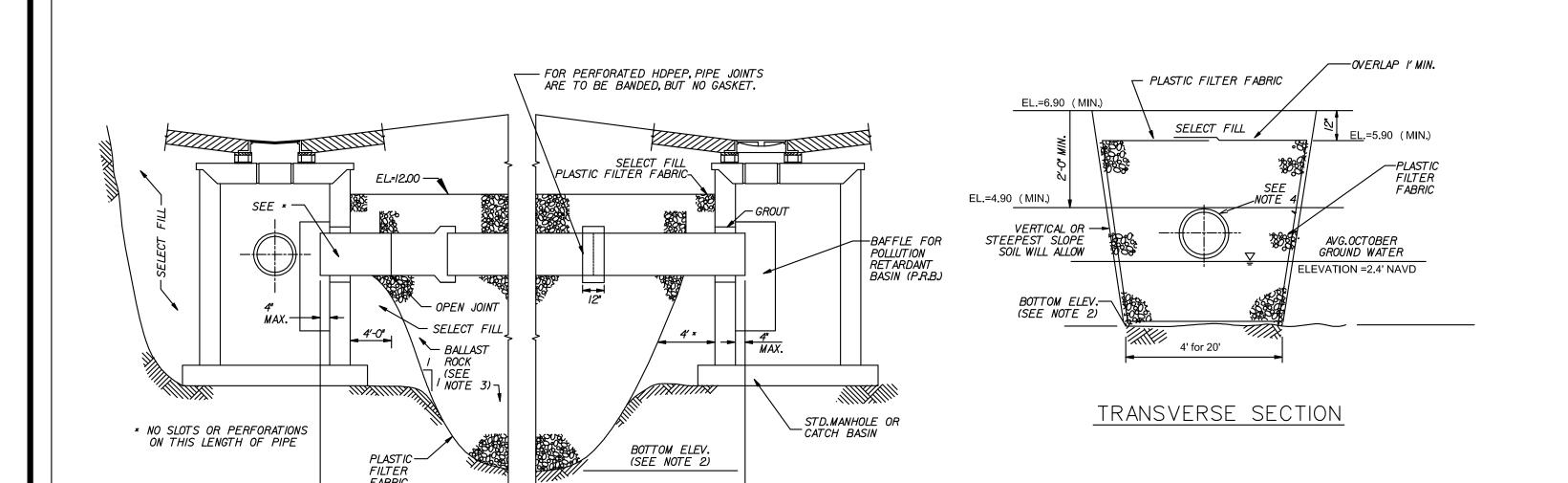
PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.

1812 ROOSEVELT STREET
HOLLYWOOD, FL 33@2@

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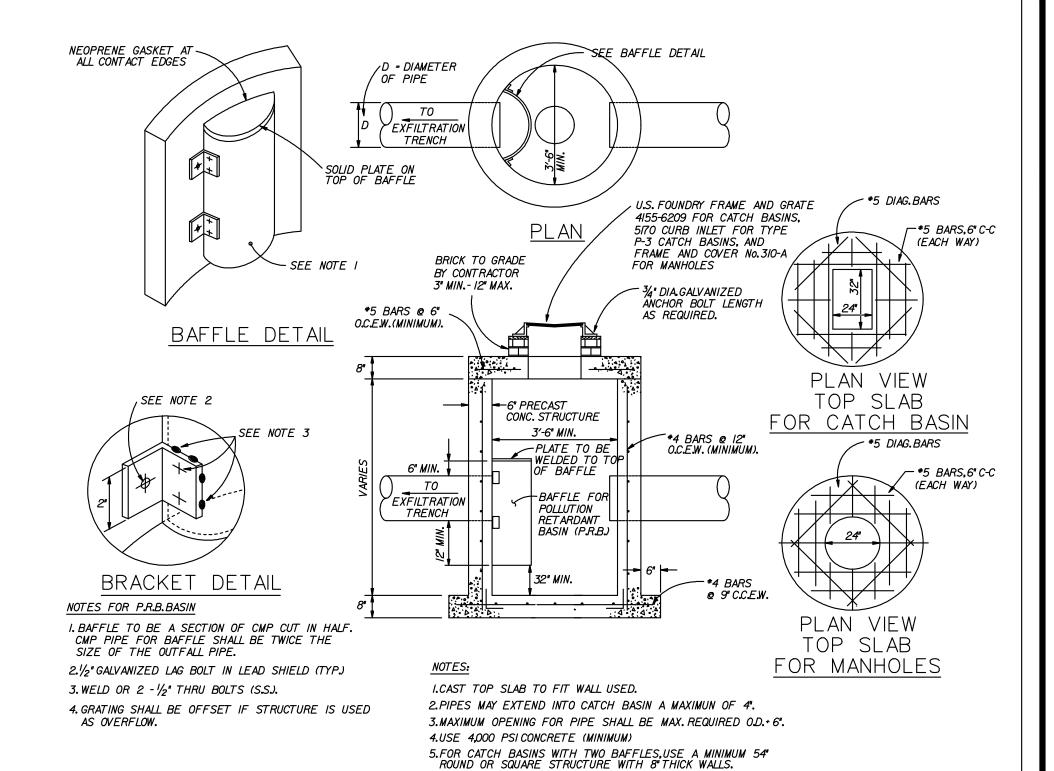
LONGITUDINAL SECTION

LENGTH OF FRENCH DRAIN

(UP TO 50 LF ONE STRUCTURE)

I. PLASTIC FILTER FABRIC (AT EA.SIDE TOP & BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.

- 2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-O" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
- 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR.IF IT DOES TAKE PLACE,ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH



PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770 . FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

> WATER SEWER SURVEY MARKINGS

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY

FLORIDA POWER AND LIGHT COMPANY BELL SOUTH MIAMI-DADE WATER & SEWER DEPARTMENT MIAMI TCI CABLEVISION PEOPLE'S GAS SYSTEM, INC. FLORIDA DEPARTMENT OF TRANSPORTATION

- 4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929
- 5. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO WASD AND DADE COUNTY FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.
- 7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FP&L, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY
- 8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.
- 9. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.
- 10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE DADE COUNTY PRIOR TO COMMENCING WORK.
- 11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR
- 12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.



1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES. PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRAC-FOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.

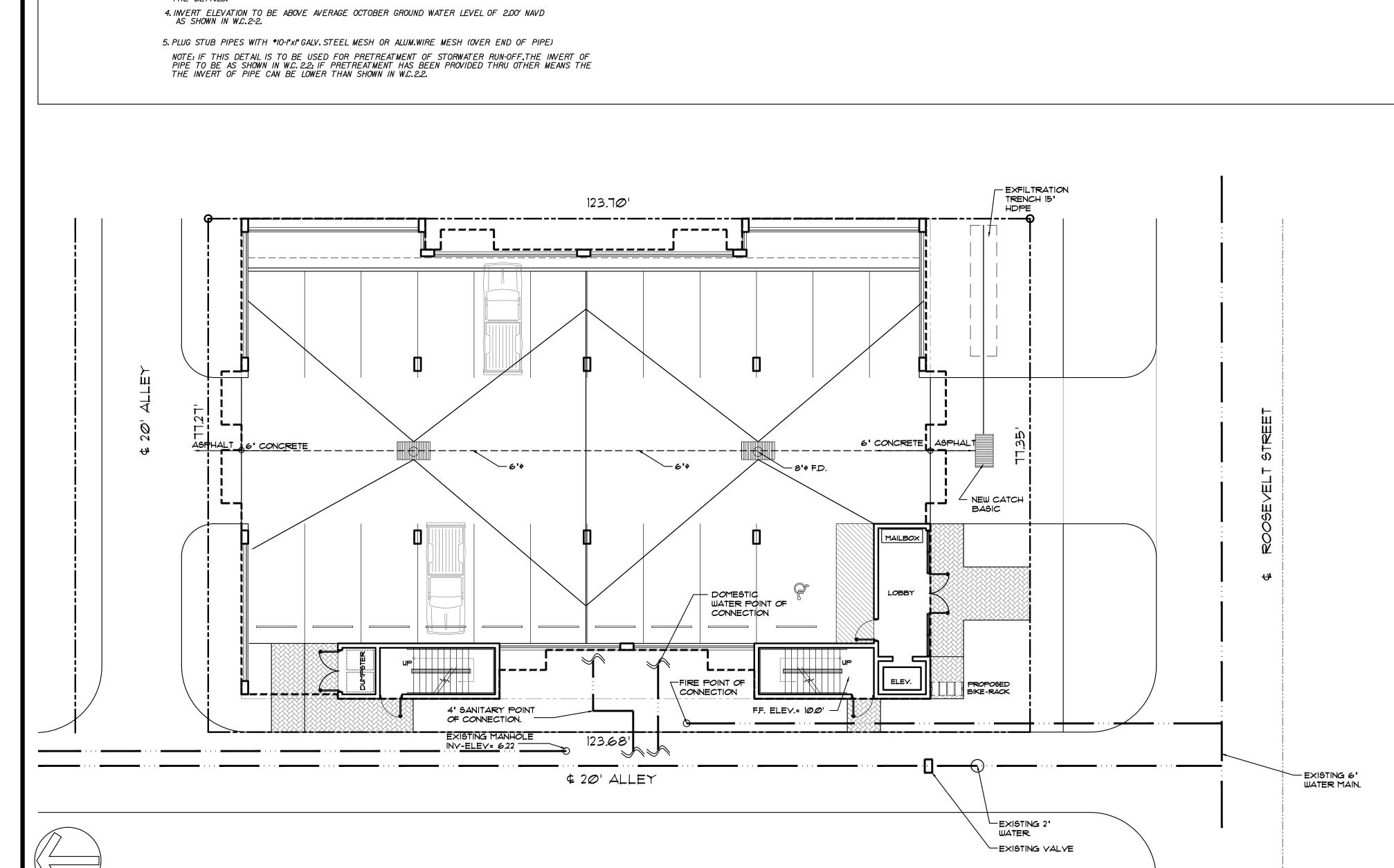
2. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

YELLOW ORANGE COMMUNICATION, CATV BLUE GREEN PROPOSED EXCAVATION

MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT

- EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT





12980 SW 52 STREET

(O)- 305-403-7926

MIRAMAR, FLORIDA 33027

(F)- 305-403-7928 E-MAIL: LLAROSA@LAROSAARCHITECTCTS.C REVISION: BY: 6/18/2018 $2 \setminus T.A.C.$

LUIS LA ROSA

CHECKED L.L.R. Ø3/27/18 AS NOTED Ø18-ØØ8

ZONING DISTRICTS PR-MIXED USE LOT AREA = 9,557 SF. .21 ACRES PERVIOUS AREA PROVIDED = 2,550 SF. (26.6%) VUA = 1,056 SF.TOTAL IMPERVIOUS 7,007 SF. (73.4%)

LANDSCAPE REQUIREMENTS:

LOTS WITH A WIDTH GREATER THAN 50' SHALL PROVIDE 25% OF THE VUA IN LANDSCAPING 6,240 SF. OF VUA X .25 = 1,560 SF. REQUIRED PROVIDED = 1,560 SF

PERIMETER LANDSCAPE: (1) STREET TREE PER 30LF. ROOSEVELT ST. 78/30 = 3 REQUIRED EXISTING = 2

BUFFERS: 5' WIDE (1) TREE PER 20 LF. NORTH: 78/20 = 4 REQUIRED PROPOSED = 4SOUTH: 78/20 = 4 REQUIRED PROPOSED = 4WEST: N/A EAST: 124/20 = 6 REQUIRED PROPOSED = 3

ON LOT REQUIREMENTS: (1) TREE PER 1,000 SF. OF PERVIOUS LOT AREA PERVIOUS AREA 2,550 /1,000 = 3 TREES REQUIRED PROPOSED = 2

TOTAL TREES REQUIRED ON SITE = 20 PROPOSED = 15 TREES/PALMS NATIVES TREES REQUIRED 60% = 12 PROPOSED NATIVES = 4

TOTAL SHRUBS PROVIDED = 693 NATIVE SHRUBS REQUIRED 346 (50%) PROPOSED NATIVE SHRUBS = 350

NOTE: AN IRRIGATION PLAN SHALL BE PROVIDED AT TIME OF PERMIT SUBMITTAL

TREE MITIGATION DATA:

TREES REMOVED =7 (164")

DUE TO LIMITED GREEN SPACE ON SITE REPLACEMENT TREES SHALL BE MITIGATED EQUAL PAYMENT INTO THE TREE PRESERVATION FUND

WD PP.

SOD

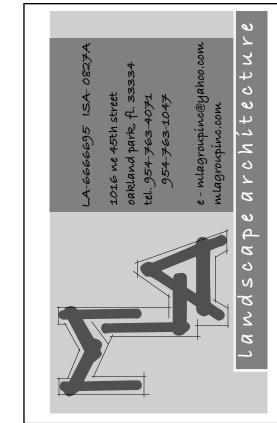
CLR12

VALUE SHAL BE DETERMINED BY THE CITY.









REVISIONS:

CORP.

SPECIFICATION

SUN OR SHADE\ AS NEEDED

HIGH DROUGHT TOLERANCE

HIGH DROUGHT TOLERANCE

6' X 4' SPR. ACCENT SHRUB

HIGH DROUGHT TOLERANCE

HIGH DROUGHT TOLERANCE

HIGH DROUGHT TOLERANCE

1GAL FULL 6-8BIBS MIN

36" X 24" SPR. 24" O.C.

1 GAL. SPACE 6-8" O.C.

MED DROUGHT TOLERANT

1 GAL. 12"X12" 12"-15" O.C. LOW DROUGHT TOLERANCE

12"X15" 18" O.C. MEDIUM DROUGHT TOLERANCE

HIGH DROUGHT TOLERANCE

HIGH DROUGHT TOLERANCE

NATIVE, HIGHT DROUGHT TOLERANCE 110

CONTRACTOR TO VERIFY

QUANTITY SHADE/SUN

10"X10" 12"-15" O.C.

36"X 30" O.A. 5 PPP MIN.

24"X 24" 24" O.C. NATIVE

36" X 24" 24" O.C.

12" FULL TO POT

CRINUM ASIATICUM CRINUM LILLY,

CLR6 CLUSIA ROSEA PITCH APPLE

CST3 CODIAEUM SHOESTRING CROTON

DIETES IRIDIOIDES AFRICAN IRIS

LIRIOPE MUSCARI GREEN LIRIOPE

NEC1 NEPHROLEPIS EXALTATA
"COMPACTA" BOSTON FERN

PBM3 PHILODENDRON SELLOUM BURLE MARX

PNUT ARACHIS GLABRATA BENTH PERENNIAL PEANUT

PODOCARPUS MACROPHYLA YEW PODOCARPUS

ST. AUGUSTINE FLORITAM

ILEX SCHELLINGS

DWF ILEX

IV3

QUEEN EMMA PURPLE

CHRYSOBALANUS ICACO COCtOPLUM HEDGE

QUANTITY

TO THE BEST OF MY KNOWLEDGE THE PLANS AND MLA Group , Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN

DATE DRAWN: 5-30-18

SHEET TITLE: LANDSCAPE PLAN

SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE

PERMISSION OF SAME" © MLA Group Inc.

SCALE: 1"=10'

SHEET NO.

- HEAVY SURFACE ROOT ZONE MULCH ONLY IV3 50 **OVER HEAD** ELECT. LINE NOTE: ALL LANDSCAPE MATERIALS - 10'X10' SIGHT TRIANGLE 10'X10' SIGHT TRIANGLE WITHIN SIGHT TRIANGLES SHALL BE TYP. BOTH SIDES TYP. BOTH SIDES MAINTAINED BELOW 36" IN HT. AT **EXISTING TREES TO REMAIN** ALL TIMES SHALL BE CORRECTIVELY PRUNED PER ANSI-300 STD'S. ALL PRUING SHALL BE PROPOSED MULTI PROP LINE SUPERVISED BY A CERTIFIED ARBORIST **FAMILY** SOD TO EDGE OF ROAD MULCH ONLY OVER LARGE SURFACE ROOTS 60 WALKWAY | WALKWAY | \rightarrow | 123.68' CLR5 10 - CN10 — PBM3 < 20' ALLEY CLR5 20 └─ VM18 MASTER PLANT LIST PLANT NAME BROM3 BROMELIADS IMPERIALIS 20 **AUTO PARTS** HIGH DROUGHT TOLERANCE

NOTES:

MULCH ALL LANDSCAPE AREAS WITH GRADE B OR BETTER NON CYPRESS NON COLORED BLEND MULCH. ALL EXISTING LANDSCAPE MATERIALS IN POOR CONDITION OR MISSING AT TIME OF C.O. SHALL BE REPLACED WITH SAME SPECIES AND SIZE.

REFER TO SHEET L-3 FOR LANDSCAPE DETAILS AND SPECIFICATIONS REFER TO SHEET L-2 FOR EXISITNG TREE INVENTORY

CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST SHOULD A DISCREPANCEY

CONTRACTOR SHALL NOTIFY THE CITY LANDSCAPE REVIEWER PRIOR TO ANY CHANGES IN APPROVED LANDSCAPE MATERIALS

ALL LANSDCAPE WORK SHALL MEET THE MIN. REQUIREMENTS PER THE CITY OF HOLLYWOOD LANDSCAPE CODE.

IRRIGATION DESIGN AND SPECIFICATIONS SHALL BE PROVIDED AT TIME OF PERMIT.

CONTRACTOR SHALL DO TAKE OFF FROM PLANTING PLANS. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS OR CHANGES IN DESIGN.

SET BACK

LL12 —

PBM3 —

CAS3 -

PM7 —

SINGLE

FAMILY

PNUT —

AP12 —

MULCH

RESIDENTIAL

— MULCH

RETAIL

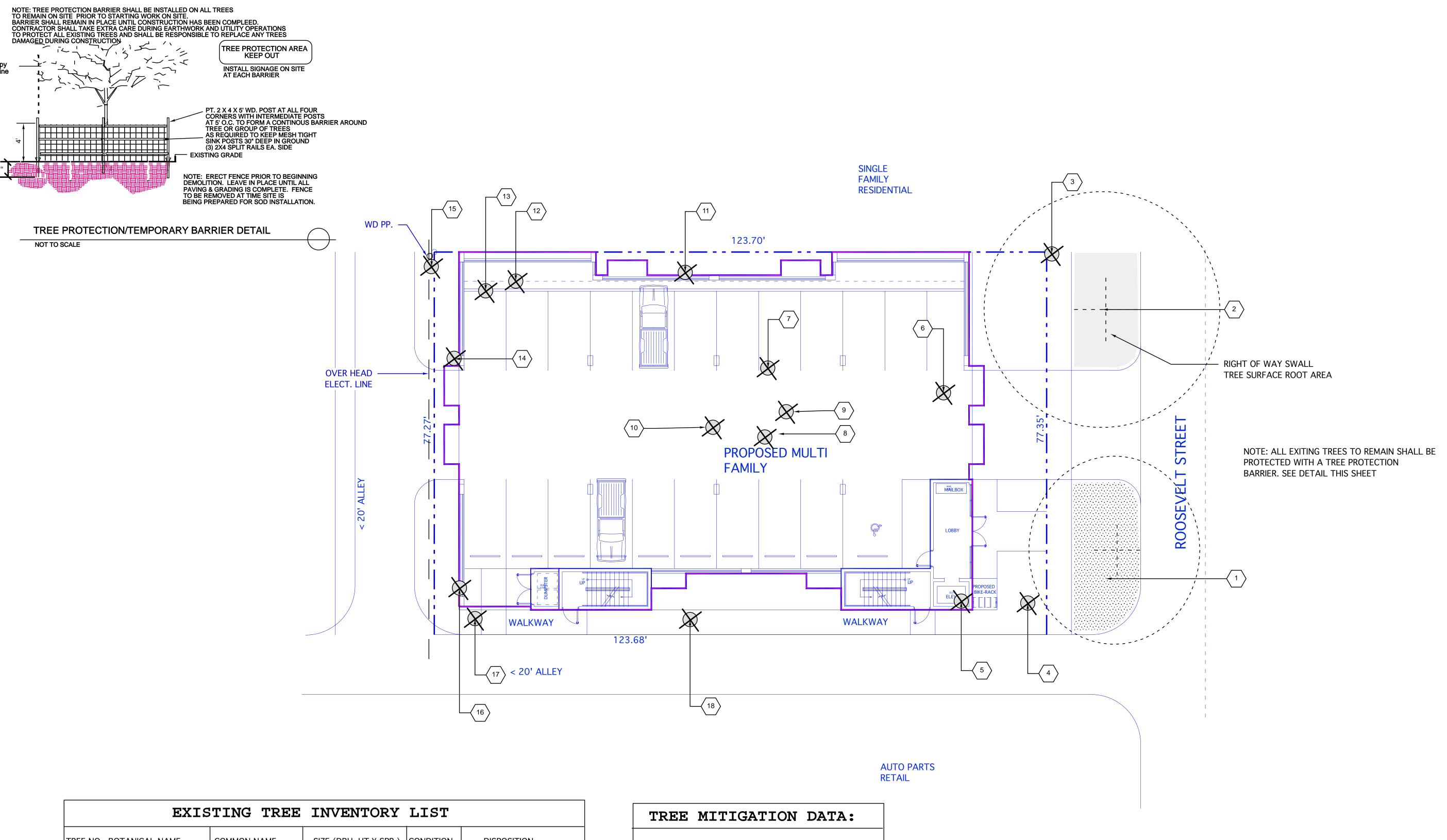
35

120

→ MULCH

MASTER PLANT LIST

KEY	PLANT NAME SPECIFICATION		QUANTITY
LL12	LIGUSTRUM LUCIDUM TREE LIGUSTRUM	12' X 6' SPR. B&B MULTI-STEM- MIN MATCHED 5' C.T. NO CROSSING BRANCHES HIGH DROUGHT TOLERANCE	5
<u>AP12</u>	PTYCHOSPERMA ELEGANS ALEXANDRA PALM	8' CT 3" DBH. MIN. MATCH HTS. B&B HIGH DROUGHT TOLERANCE	3
CLR12	CLUSIA ROSEA PITCH APPLE / SIGNATURE TREE	12' X 6' SPR. B&B 2.5" DBH. 4.5' CT. NATIVE, HIGH DROUGHT TOLERANCE	4
ADP2	VEITCHIA MERILLII ADONIDIA PALM	6' -8' CT DBL TRUNKS 3" DBH. MIN. HIGH DROUGHT TOLERANCE	1
VM18	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	6'-10' ' CT. STAGGER HTS. SINGLE TRUNK, B&B, FG HIGH DROUGHT TOLERANCE	4
<u>CN10</u>	CASSIA NEMOPHOLIA DESERT CASSIA	10'X5' SPR. 1.5" CAL. 4' CT. HIGH DROUGHT TOLERANCE	2



	EXIS	TING TREE	INVENTORY	LIST	
TREE N	NO. BOTANICAL NAME	COMMON NAME	SIZE (DBH. HT.X SPR.)	CONDITION	DISPOSITION
1.	BUCIDA BUSERAS	BLACK OLIVE	22" DBH. 35'X42'	70%	REMAIN IN RIGHT OF WAY
2.	BUCIDA BUSERAS	BLACK OLIVE	36" DBH. 40'X45'	74%	REMAIN IN RIGHT OF WAY
3.	VEITCHIA MERELLII	CHRISTMAS PALM	12' CT. LEANING	65%	REMOVE /MITIGATE
4.	BUCIDA BUSERAS	BLACK OLIVE	16" DBH. 30'X35'	60%	REMOVE/MITIGATE
5.	BUCIDA BUSERAS	BLACK OLIVE	34" DBH. 30'X45'	68%	REMOVE/MITIGATE
6.	Bursera Simaruba	GUMBO LIMBO	16" DBH. 25'X25'	75%	REMOVE/MITIGATE
7.	Bursera Simaruba	GUMBO LIMBO	24" DBH. 40'X35'	68%	REMOVE/MITIGATE
8.	VEITCHIA MERELLII	CHRISTMAS PALM	12'-16' CT. CLUSTER	78%	REMOVE/MITIGATE
9.	VEITCHIA MERELLII	CHRISTMAS PALM	14' CT.	78%	REMOVE/MITIGATE
10.	VEITCHIA MERELLII	CHIRSTMAS PALM	14' CT.	78%	REMOVE/MITIGATE
11.	AVACADO SPP.	AVACADO	28" DBH.	60%	REMOVE
12.	Bursera Simaruba	GUMBO LIMBO	8" 18'X12'	80%	REMOVE/MITIGATE
13.	DYPSIS LUTESCENS	ARECA PALM	10' OA. CLUMP	78%	REMOVE
14.	SABAL PALMETTO	CABBAGE PALM	3' CT. 10' OA.	70%	REMOVE
15.	Bursera Simaruba	GUMBO LIMBO	4" DBH. 14'X10'	60%	REMOVE/MITIGATE
16.	SCHEFFLERA	UMBRELLA TREE	3" DBH. 12'X9'	65%	REMOVE
17.	Bursera Simaruba	GUMBO LIMBO	10" DBH. 14'X15'	80%	REMOVE/MITIGATE
18.	SWIETENIA MACROPHYLLA	MAHOGANY	24" DBH. 40'X35'	55%	REMOVE/MITIGATE

NOTE: NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT ISSUED BY THE CITY OF HOLLYWOOD

TREES REMOVED =7 (164")

DUE TO LIMITED GREEN SPACE ON SITE REPLACEMENT TREES SHALL BE MITIGATED EQUAL PAYMENT INTO THE TREE PRESERVATION FUND VALUE SHAL BE DETERMINED BY THE CITY.

PLAN KEY

EXISTING TREE/PALM TO REMAIN IN PLACE

EXISTING PALM TO REMOVE

LA-EEEEE95 ISA-0827A

1016 ne 45th street
oakland park, fl. 33334
tel. 954-763-1047
954-763-1047
e-ndagroupinc@yahoo.com
mlagroupinc.com
mlagroupinc.com

SHEET TITLE:

EXISTING TREE DISPOSITION PLAN

4 UNIT TOWNHOMES FOR DISON STREET LLC

PROPOSED 4 UNIT TOV
MADISON STREET

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SEAL

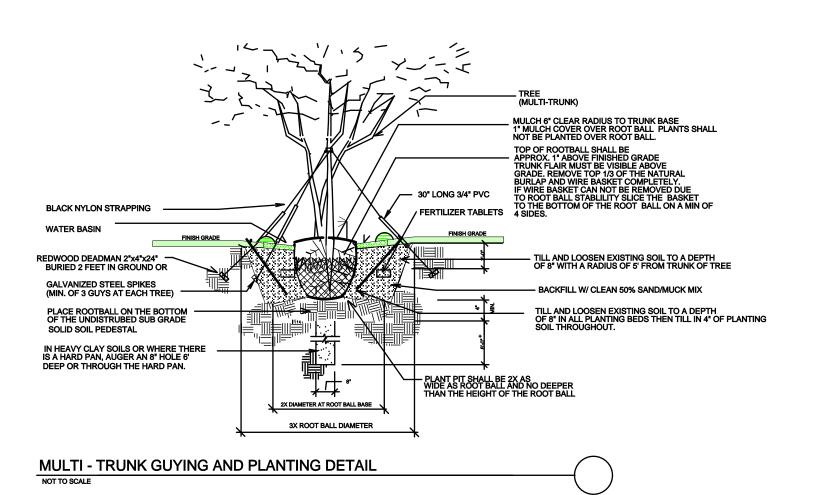
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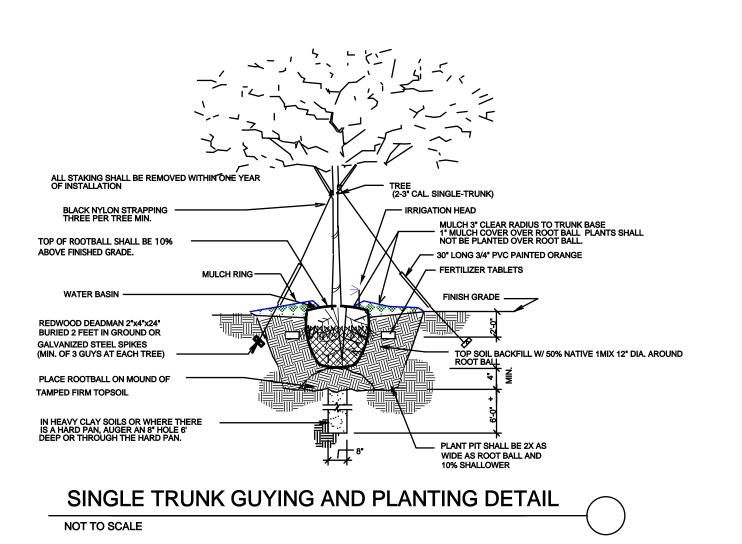
DATE DRAWN: 5-30-18

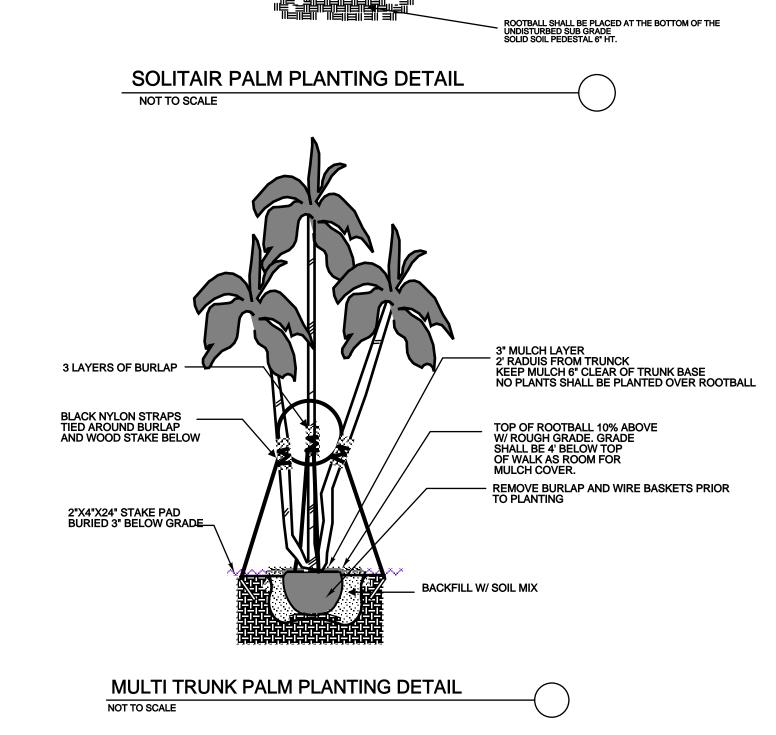
SHEET NO.

L-2

of-3







I" TEMPORARY WATERING BASIN

-EXISTING SUBSOIL

BACKFILL MIXTURE. PLANTING HOLE SHALL BE A MIN. OF 2X THE SIZE OF THE ROOT BALL

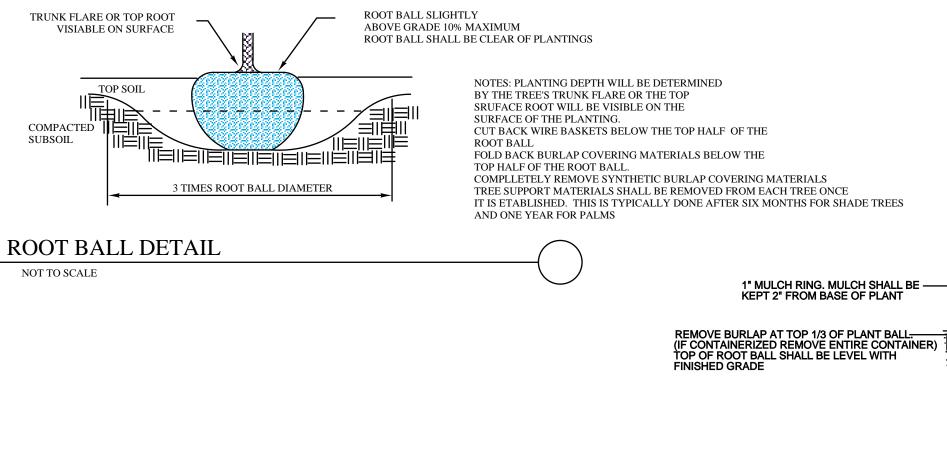
OP OF ROOTBALL 10% ABOVE W ROUGH GRADE

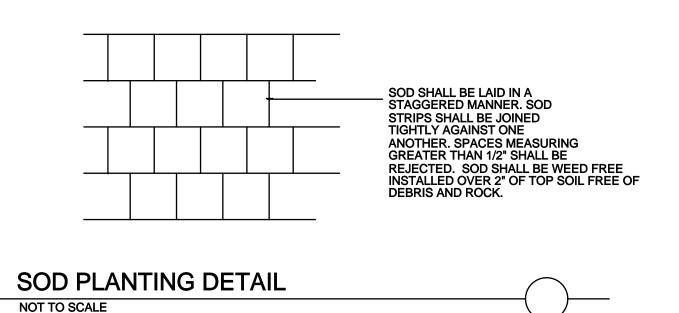
JRLAP PRIOR TO INSTALLATION

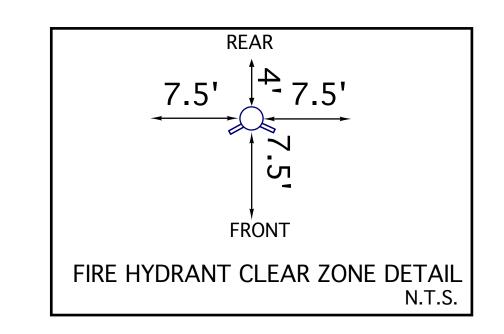
3 LAYERS OF BURLAP

BLACK NYLON STRAPS TIED AROUND BURLAP AND WOOD STAKE BELOW

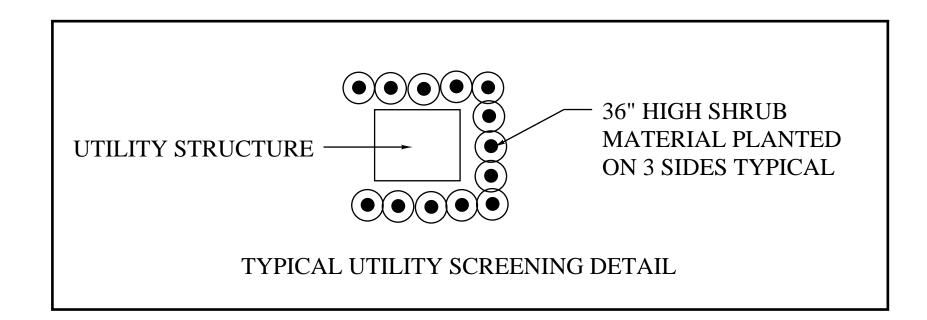
2"X4"X24" STAKE PAD BURIED 3" BELOW GRADE







SHRUB PLANTING DETAIL



GENERAL LANDSCAPE NOTES

- 1. CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WIL TAKE PRECEDENCE OVER THE PLANT LIST.
- 2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK
- 3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS". CURRENT EDITION RESPECTIVELY.
- 4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- 5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (I YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- 6. ALL SOD TO BE ST. AUGUSTIN FLORATAM SOLID, UNLESS OTHERWISE NOTED. SOD SHALL BE WEED AND PEST FREE. SOD SHALL BE LAID ON A SMOOTH SURFACE WITH TIGHT JOINTS CUT TO CONFORM TO PLANTERS AND CURBS.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF <u>EUCALYPTUS MULCH/FLORIMULCH</u>, & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE) MULCH TYPE SHALL BE FREE OF ARSENIC BY PRODUCTS
- 8. ALL TREES FIELD GROWN UNLESS OTHERWISE NOTED.
- 9. LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS. TRANSPORTATION, WARRANTY, PEMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE PROVIDED BY OTHERS.
- 10. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- 11. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- 12. LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- 13. PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- 14. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- 15. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- 16. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.

INSPECTION OR ESTABLISHMENT

LANDSCAPE ARCHITECT UPON REQUEST

- 17. LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TMES WHILE WORK IS IN PROGRESS.
- 18. THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- 19. METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- 20. PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FRONDS), GAL. (GALLON CAN), 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD), HVY (INDICATED HEAVY), MIN (INDICATES MINIMUM).
- 21. SUBSTITUTIONS: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- 22. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF NATURE" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- 23. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10%
 ABOVE FINAL GRADE SURROUNDING THE PLANTING AREA. NO PLANT MATERIAL SHALL BE ACCEPTED IF
 PLANTED TOO DEEP. ALL GUYS AND STAKING SHALL BE REMOVED WITHIN ONE YEAR AFTER FINAL
- 24. DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR
- 25. COMMERCIAL FERTILIZER FOR TREES, SHURBS AND GROUND COVER COMMERCIAL FERTILIZER SHALL BE NUTRI PAK® 3 YR. TIME RELEASE FERTILIZER PACKET DISTRIBUTED BY HORT- ENTERPRISES INC. EQUAL SUBSTITUTIONS MAY BE ACCEPTED NUTRI PAK FERTILIZER PACKETS ARE AVAILABLE IN SPECIAL NUTRIENT FORMULATIONS FOR SPECIFIC PLANT TYPES EG. TREES, SHRUBS, FLOWERING PLANTS, POTTED PLANTS AND PALMS.

- NEW TREE AND SHRUB APPLICATIONS: PLACE PACKET 6"-8" DEEP, SPACED EVENLY AROUND OUTER EDGES OF ROOTS 12 INCHES ON CENTER.
 PERENNIALS: PLACE PACKETS 6"-8" DEEP NEAR ROOTS ESTABLISHED PLANTINGS:
- TREES: USE 1 PACKET PER INCH OF TRUNK DIAMETER SPACED EVENLY AROUND DRIP LINE BURY 6"-8" BELOW SOIL IN UPRIGHT POSITION, TAP HOLE CLOSED WITH HEEL OF YOUR FOOT. SHRUBS: USE 1 PACKET FOR EVERY 12 INCHES OF HEIGHT OR SPREAD.
- GENERAL SLOW RELEASE FERTILIZERS WITH MICOR NUTRIENTS MAY BE APPLIED WITH LOW OR NO PHOSPHORUS SUCH AS A 13-0-13
- LOW PHOSPHORUS SHALL MEAN 2% OR LESS.

 APPLICATION RATES SHALL BE ADHEARED TO AS WRITTEN ON THE PRODUCT LABEL. POSTPONE FERTILIZING WHEN ONE INCH OR MORE OF RAIN IS EXPECTED.
- 26. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRLAMIDE COLOLYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES IT'S WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:
- 1 PAC PER TREE 36" BALL SIZE 2 PAC PER TREE –OVER 36" BALL SIZE
- 1 PAC PER 20 GAL. CONTAINER
 0.5 PACS PER 7-10 GAL. CONTAINER
 0.25 PACS PER 3 GAL. CONTAINER
- 0.25 PACS PER 3 GAL. CONTAINER 0.12 PACS PER 1GAL. CONTAINER
- 27. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
- 28. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE. PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION
- 29. IRRIGATION: AN AUTOMATIC RUST FREE UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED TO ENSURE 100% COVERAGE WITH 100% OVERLAP. CONTRACTOR SHALL PROVIDE A RAIN SENSOR AND ADJUST HEADS TO AVOID OVERSPRAY ONTO BUILDING WALLS, WALKS, UTILITIES, DRIVES ECT. CONTRACTOR SHALL PAINT ALL ABOVE GROUND RISERS FLAT BLACK.
- 30. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIALS PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
- 31. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKES, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER
- 32. MAINTENENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE.

 MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE
- 33. (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES) TIE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION

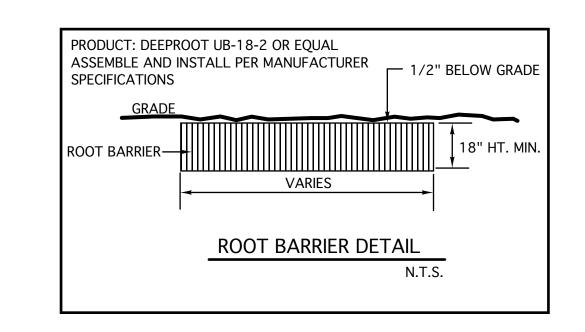
PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS. SHALL BE REPAIRED PROMPTLY

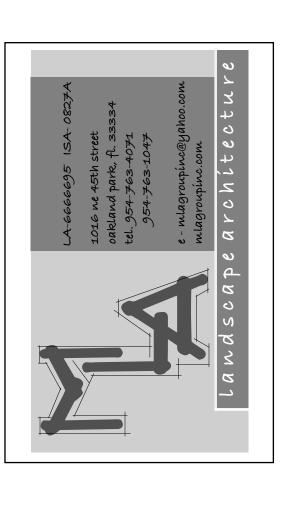
- 34. MULCH. MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL.
- 35. SOD. AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PLAMETTO AND SHALL BE IRRIGATED. ALL SOD SHALL HAVE A MIN. OF 2" OF TOPSOIL. SEE NOTE NO. 6 ABOVE.
- REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES, AND FILLED WITH CLEAN FILL AND TOPSOIL TO A LEVEL 3" BELOW THE TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. ALL LANDSCAPED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 6" AND REPLACED WITH CLEAN FILL. A MIN 2" OF TOPSOIL SHALL BE
- INSTALLED BELOW ALL SODDED AREAS.

 37. A LANDSCAPE PERMITS SHALL BE VERIFIED AND OBTAINED BY THE LANDSACPE CONTRACTOR. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.
- 38. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBITT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE GOVERNING MUNICIPALITY.
- MINIMUM SOIL DEPTH:
- REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
- ROOTBALL SOIL:
 REQUIRED: TREES SHALL RE
- REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.

 NATIVE SOIL:
- REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.

 ARID PLAMS:
- REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
- 39. USE OF ORGANIC MULCHES:
 A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC MULCH MATERIAL, AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
- 40. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
- 41. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS: ALL INVASIVE AND EXOTIC VEGETATION SHALL BE REMOVED FROM SITE INCLUDING WITHIN ABUTTING RIGHTS-OF WAY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NITDA MAY BE USED FOR A HEDGE WITH A 5' SEPARATION FROM WATER LINES. FICUS HEDGES SHALL NOT BE PLANTED WITIN UTILITY EASEMENTS.
- 42. SHRUBS SHALL BE CONSIDERED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE GOVERNING MUNICIPALITY.
- 43. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE No. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 18 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE A MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANT SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG AS THE PROCEEDING IS ACHIEVED





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SHEET TITLE:

LANDSCAPE DETAILS AND SPECIFICATIONS

ELOPMENT

FAMILY DEVELO

PROJECT:

"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE

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