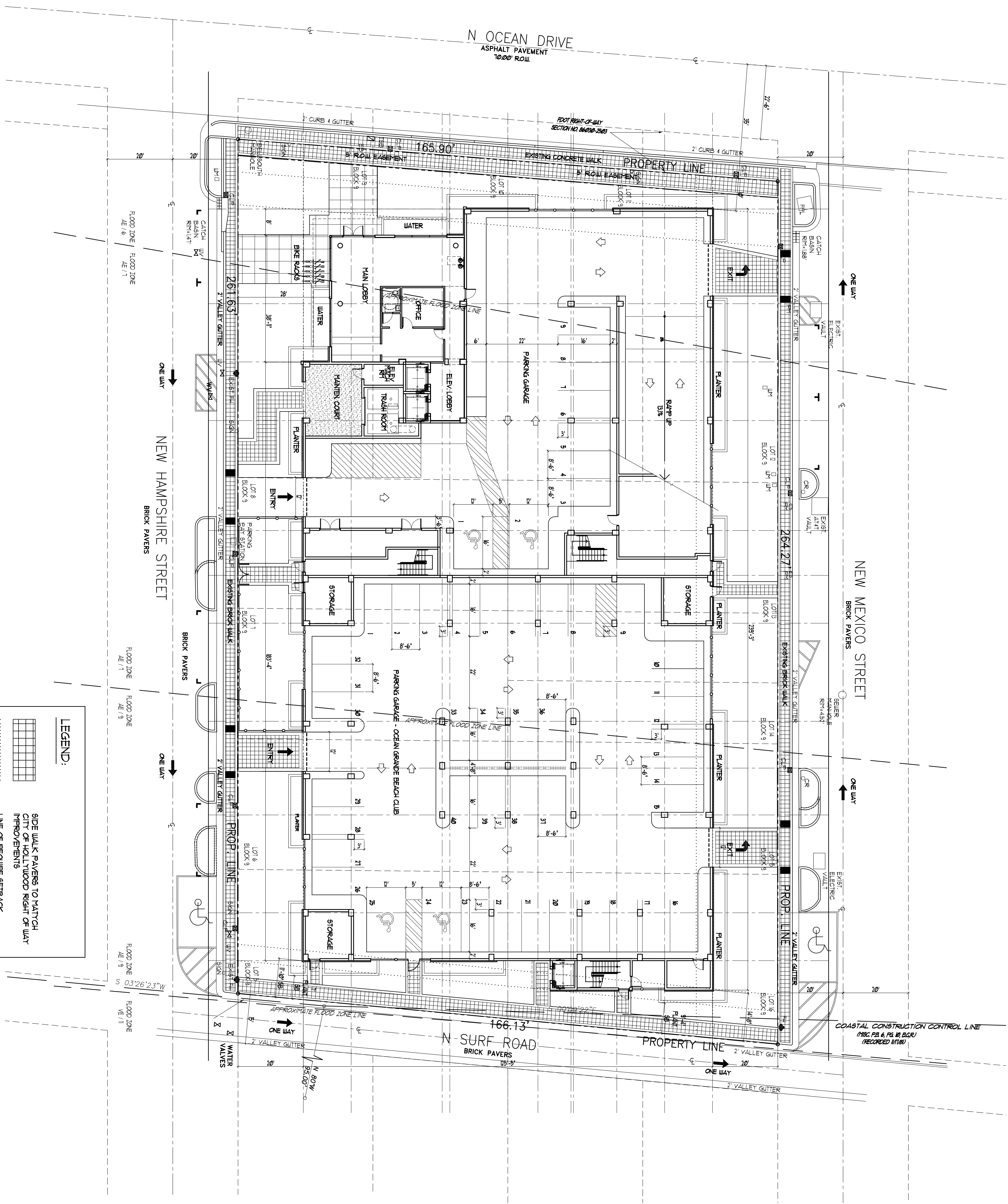




LEGEND:

SIDE WALK PAVEMENTS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS

LINE OF REQUIRED SETBACK LINE OF ROOF/CANOPY OR BALCONY ABOVE

STONE PAVERS AT MAIN ENTRY

POULDER COATED ALUMINUM FENCE

BROOM FLOAT FINISH CONCRETE SLAB

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

NOTE:
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 300' NAVD.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FPPC, 2014 NFPA 101 SECTION 28.3.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108.1 LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

GREEN CERTIFICATION:
GREEN BUILDING CERTIFICATION PATH IS INTENDED FOR THIS PROJECT.

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA:

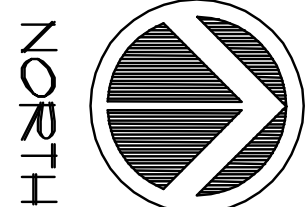
PER ASCE 24-05:

STRUCTURE CATEGORY	CATEGORY II
ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	HIGHER
DRY FLOOD PROOFING OF NON-RESIDENTIAL STRUCTURES (TABLE 6-1)	HIGHER

NOTE:
NOT WITHSTANDING INFORMATION PROVIDED HEREIN, ALL WORK PERFORMED BY THE G.C. AND THE SUB-CONTRACTORS, UNDER THIS SET OF CONSTRUCTION DOCUMENTS AND BUILDING PERMIT, MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA BUILDING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE 101, THE FLORIDA FIRE PREVENTION CODES, AND ALL OTHER CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.

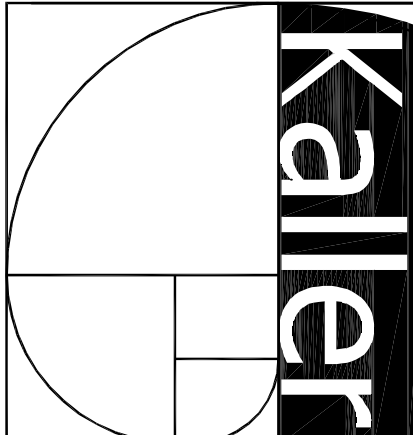
1 SITE PLAN

SCALE: 1/8" = 1'-0"



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PROJECT TITLE

BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

JOSEPH B. KALLER
FLORIDA R.A. # 0007289

SHEET TITLE

SITE PLAN AND NOTES

REVISIONS

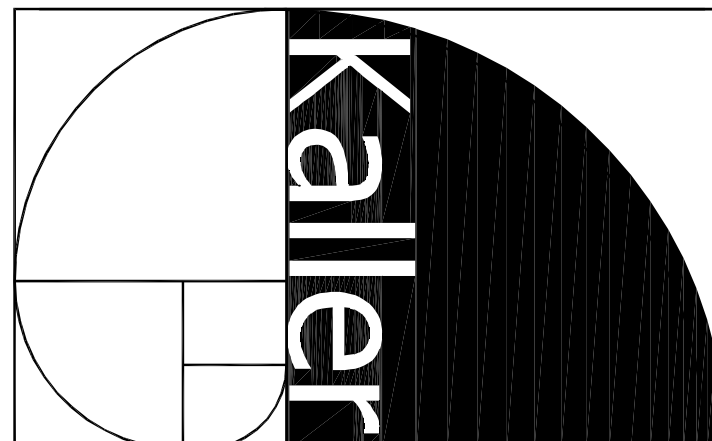
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2	4-17-18	PRELIM TAC

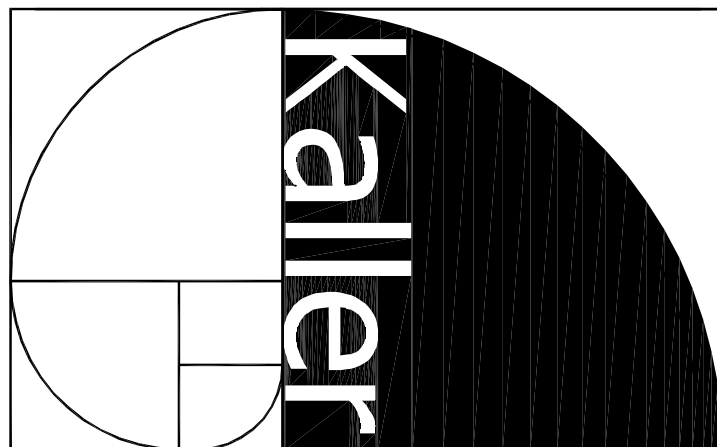
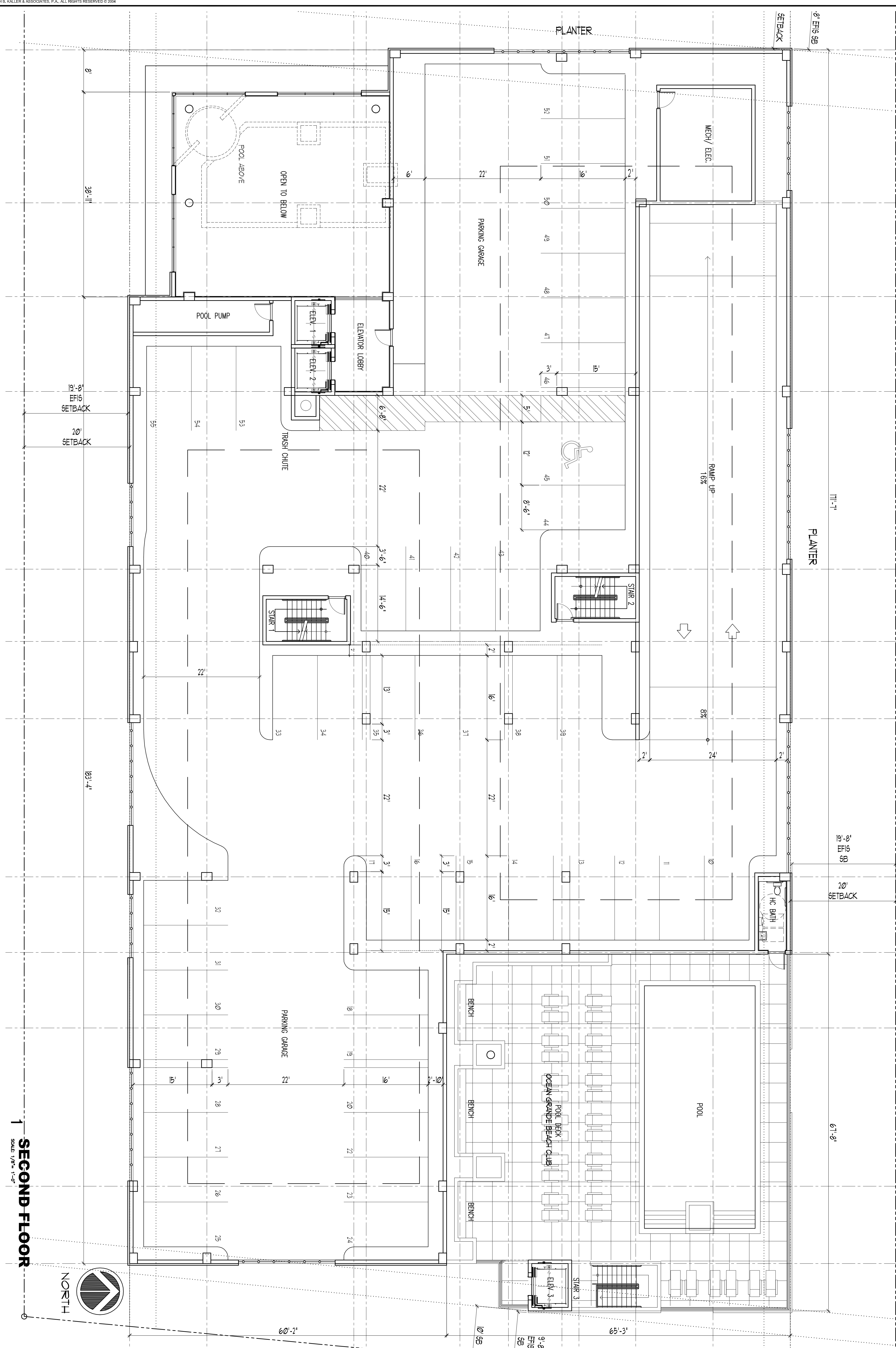
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DATE: 2-20-18
DRAWN BY: TMS
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SHEET

SP-1





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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
SECOND FLOOR PLAN

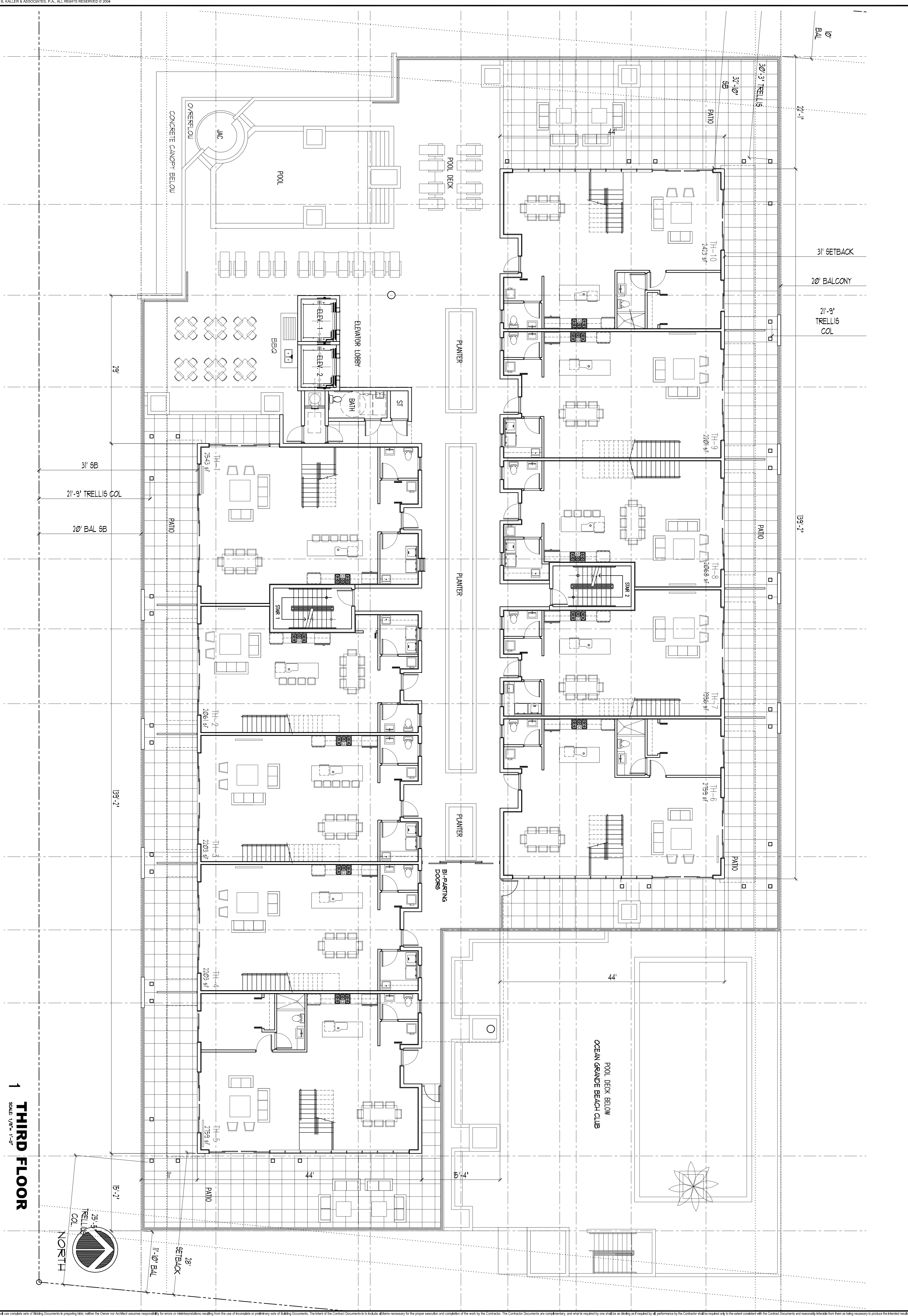
REVISIONS	
NO.	DATE DESCRIPTION
1	4-10-18 OWNER REV
2	4-12-18 PRELIM T/C

PROJECT NO.: 17198
DATE: 2-20-18
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SHEET

A-2

1 OF 13



1 THIRD FLOOR

SCALE: 1/8" = 1'-0"

A-3

SHEET

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NO.	DATE	REVISIONS	DESCRIPTION
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2	4-17-18	PRELIM T/C	

SHEET TITLE

THIRD FLOOR PLAN

PROJECT TITLE

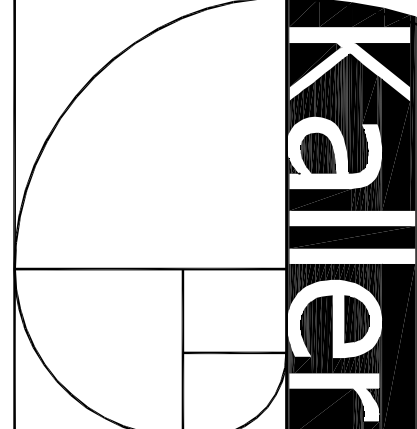
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

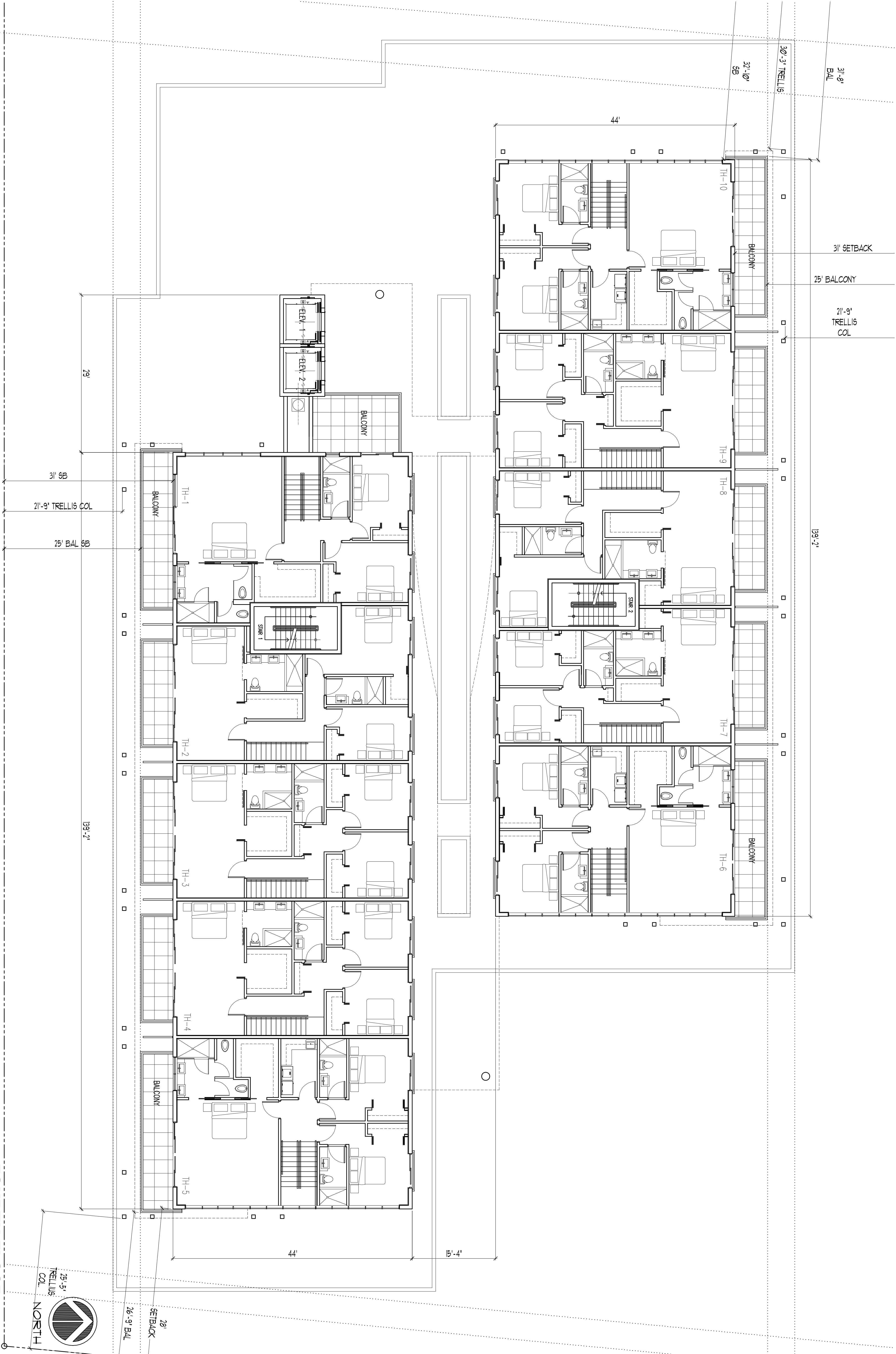
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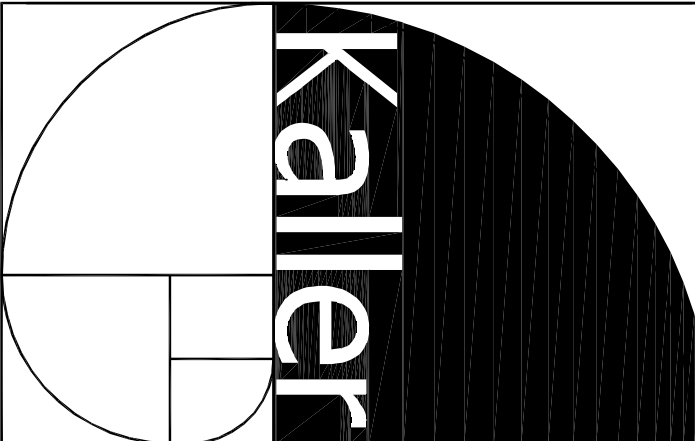
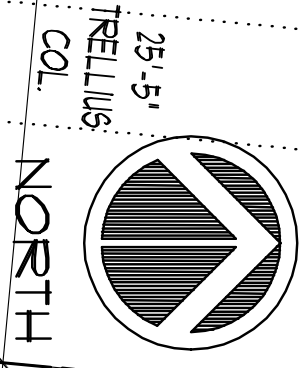
JOSEPH B. KALLER
+ ASSOCIATES PA





1
SCALE: 1/8" = 1'-0"

FOURTH FLOOR



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PROJECT TITLE
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3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

JOSEPH B. KALLER
FLORIDA R.A. # 0007289

SHEET TITLE
FOURTH FLOOR PLAN

REVISIONS			
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1	4-10-18	OWNER REV	
2	4-17-18	PRELIM T/C	

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SHEET

A-4



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FLORIDA R.A. # 00092239

PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
FIFTH FLOOR PLAN

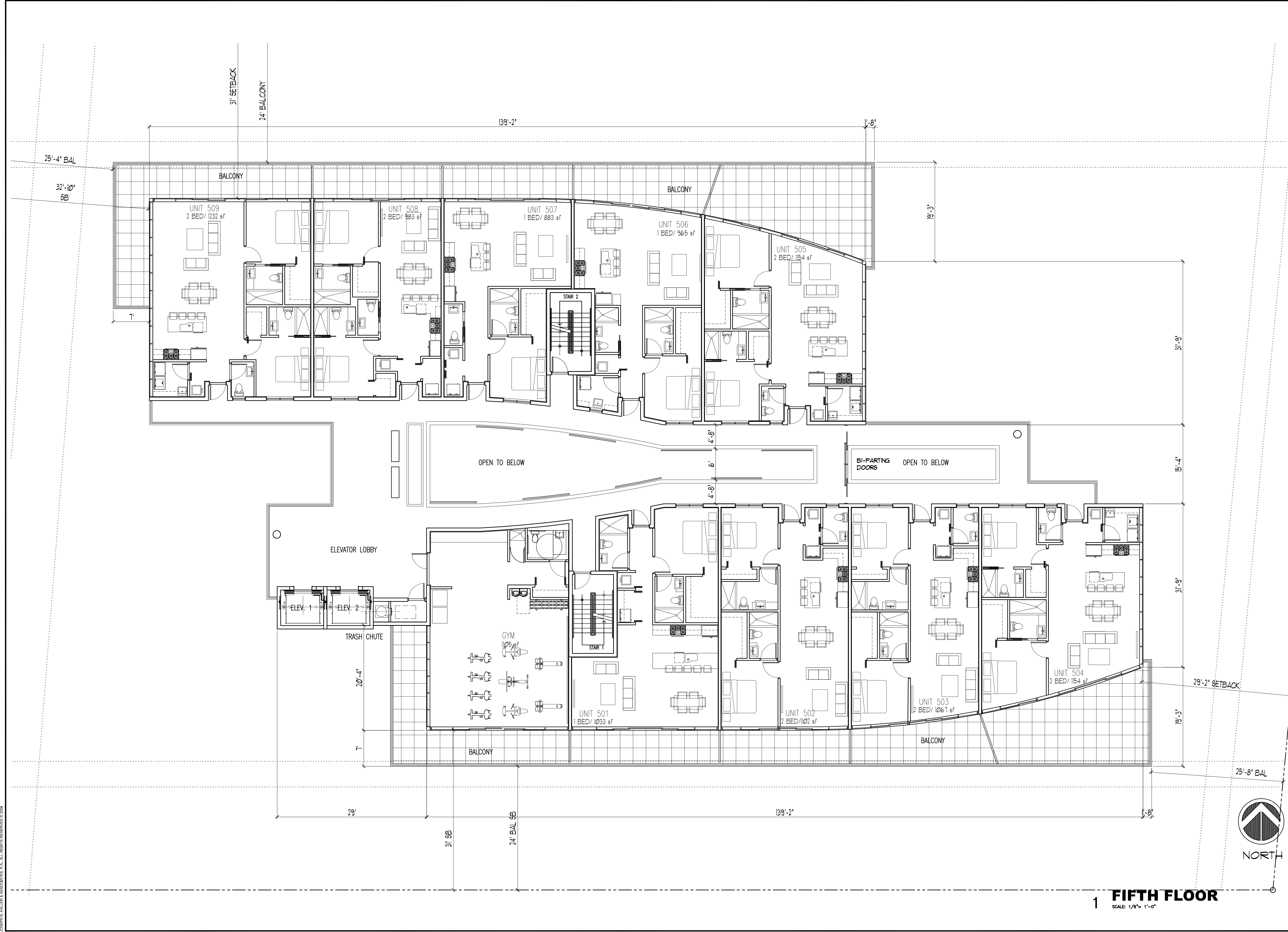
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2	4-17-18	PRELIM TAC

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SHEET

A-5



1 FIFTH FLOOR

SCALE: 1/8"= 1'-0"





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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
SIXTH FLOOR PLAN

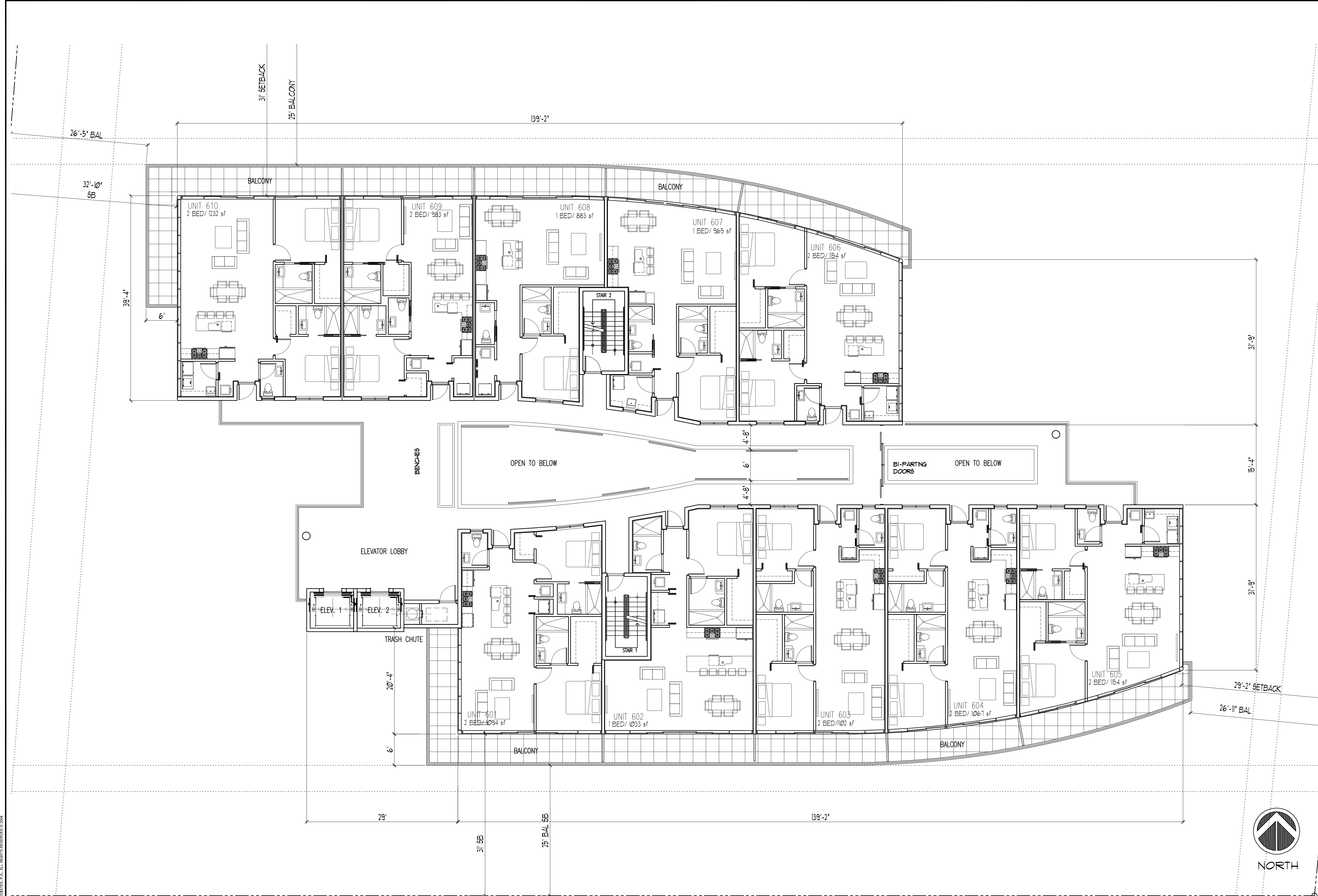
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2	4-17-18	PRELIM TAC

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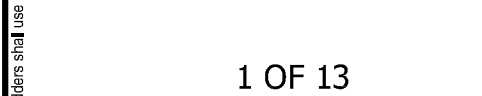
PROJECT No.: 17198
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SHEET

A-6



1 SIXTH FLOOR
SCALE: 1/8" = 1'-0"





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PROJECT TITLE

BEACHSIDE RESIDENCES

33300 N. SURF RD. + 322 NEW MEXICO ST

33319 N. OCEAN DRIVE + VACANT SITES

HOLLYWOOD, FL 33019

PROJECT TITLE

SHEET TITLE

ROOF

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC

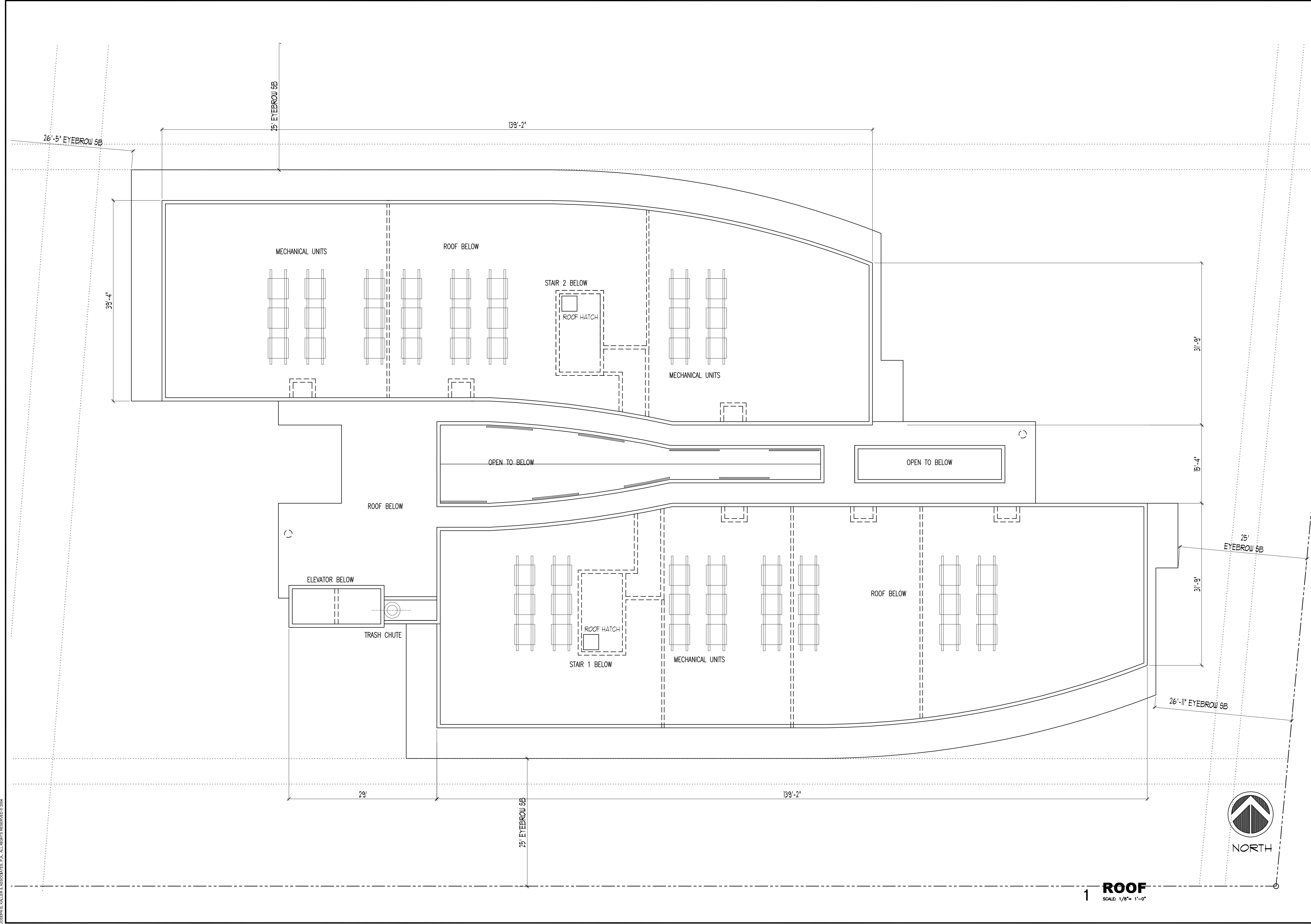
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CHECKED BY: JBK

SHEET

A-8

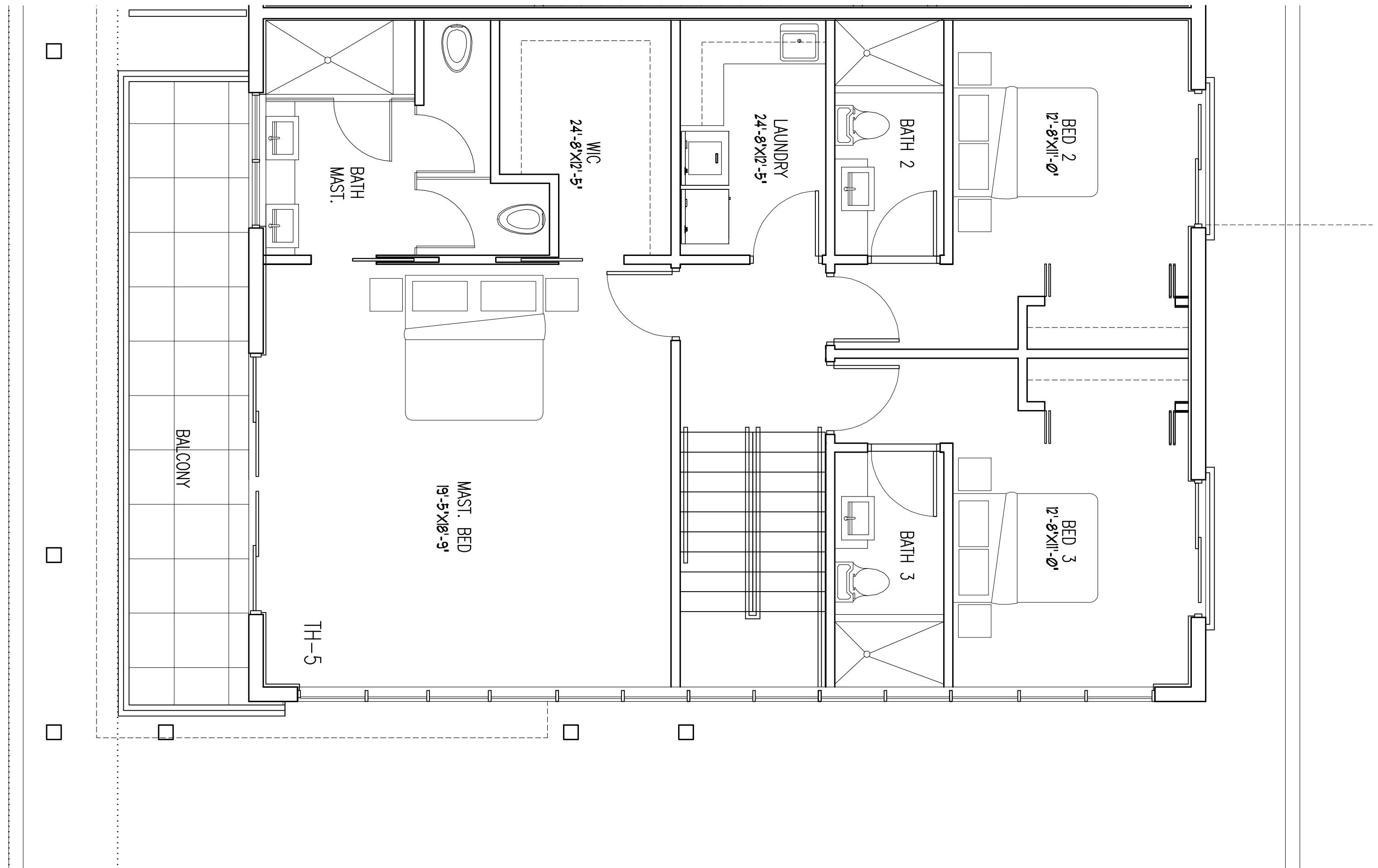
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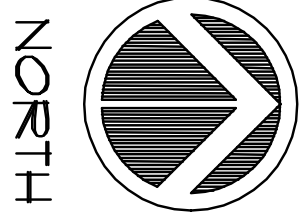


LEVEL ONE

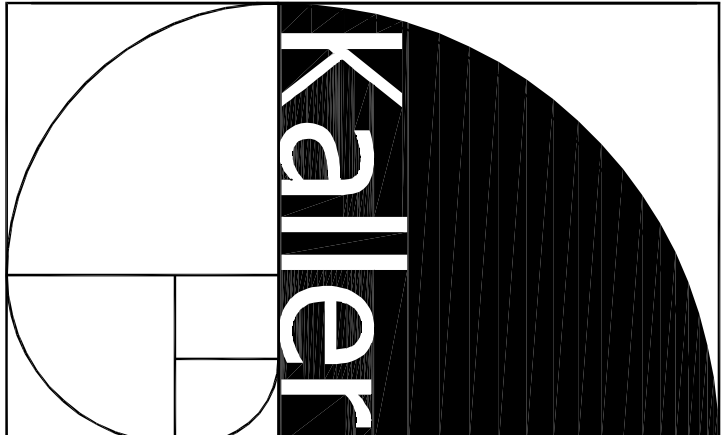
TOWNHOUSE 5
4 BEDROOM/ 4 1/2 BATHROOMS



LEVEL TWO



1 TYPICAL UNIT PLANS
SCALE: 1/4" = 1'-0"



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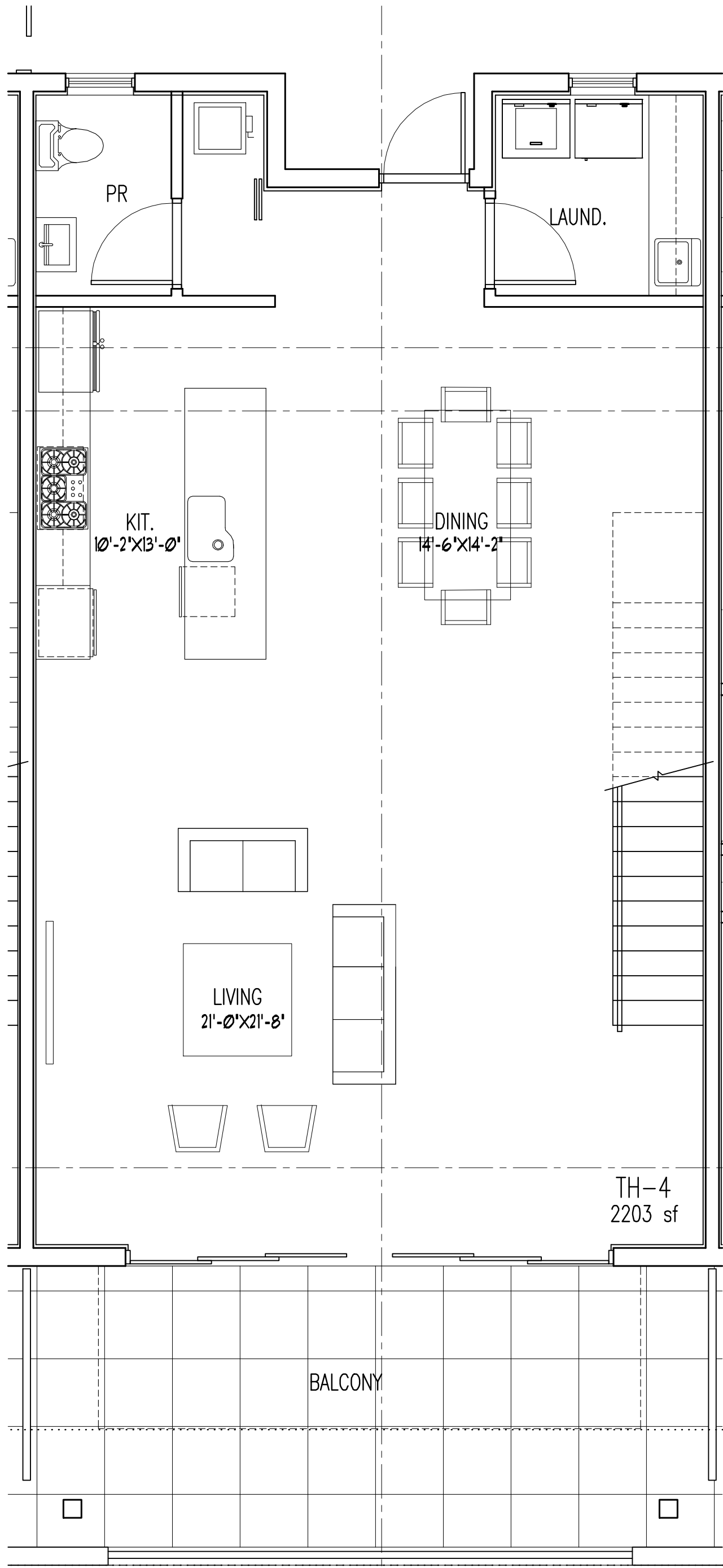
PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
UNIT BLOW UP PLANS

REVISIONS			
NO.	DATE	DESCRIPTION	
1	4-10-18	OWNER REV	
2	4-17-18	PRELIM T/C	

PROJECT NO.: 17198
DATE: 2-20-18
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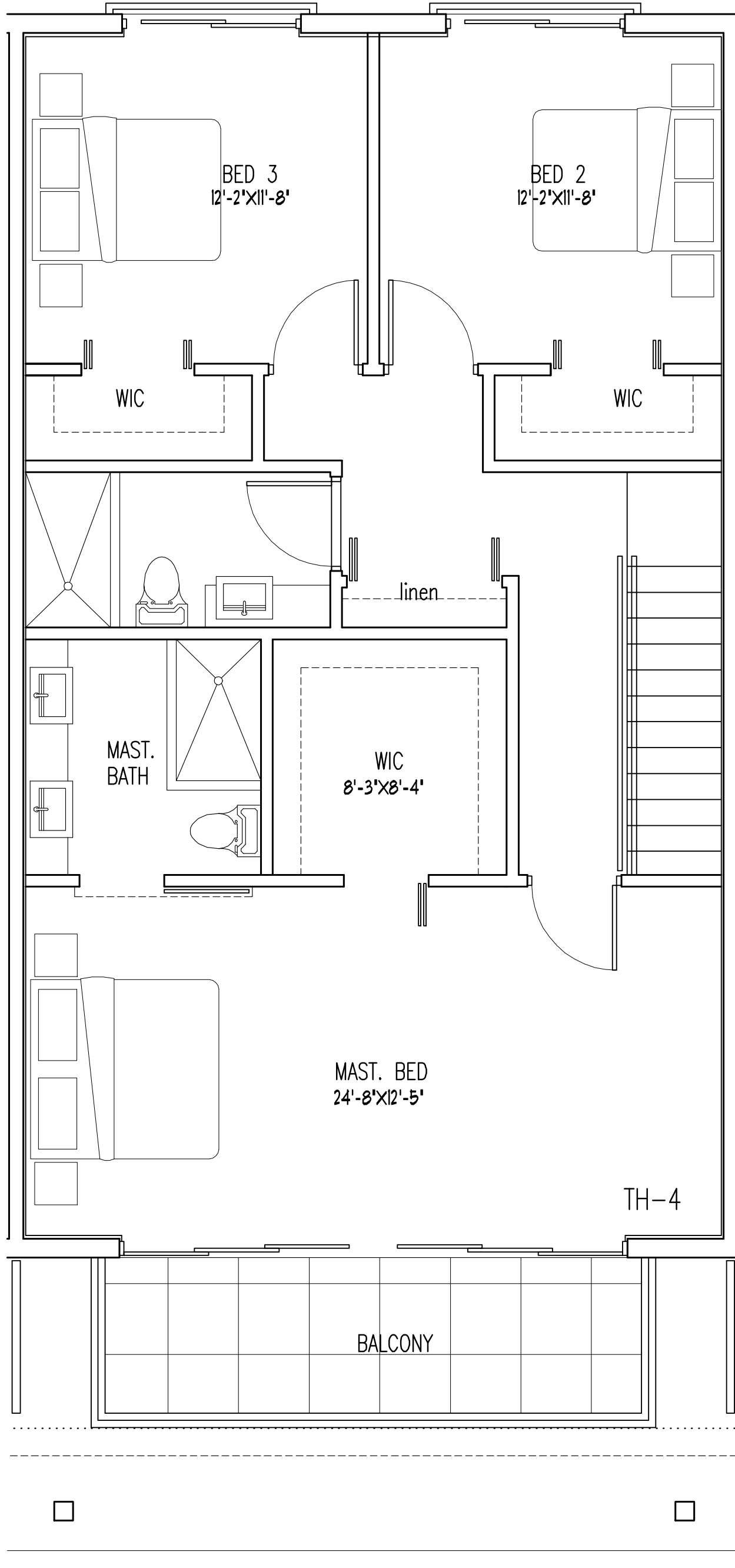
SHEET



LEVEL ONE

TOWNHOUSE 4

3 BEDROOM/ 2 1/2 BATHROOMS



LEVEL TWO



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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

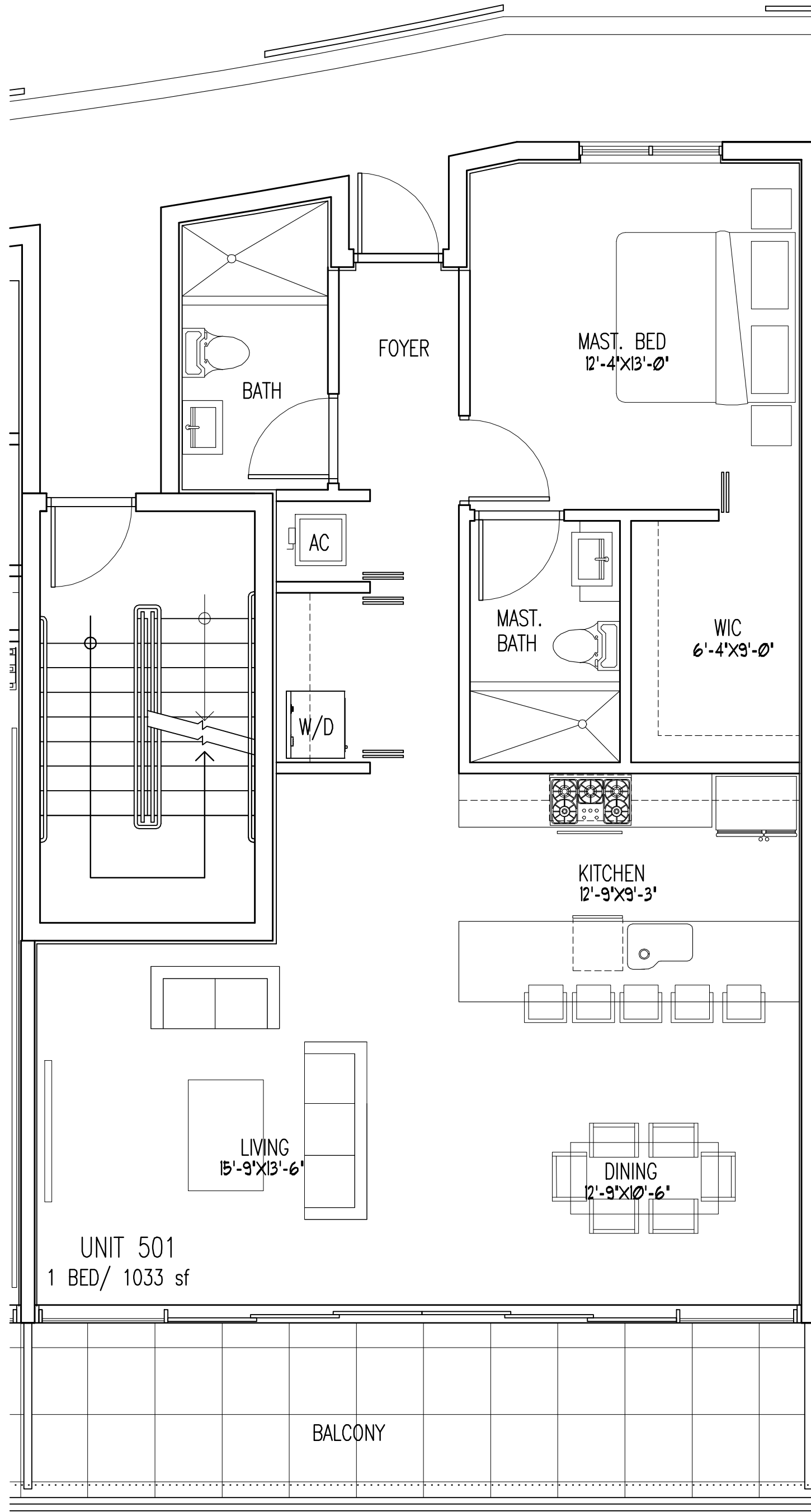
SHEET TITLE
UNIT BLOW UP PLANS

REVISIONS		
No.	DATE	DESCRIPTION
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2	4-17-18	PRELIM TAC

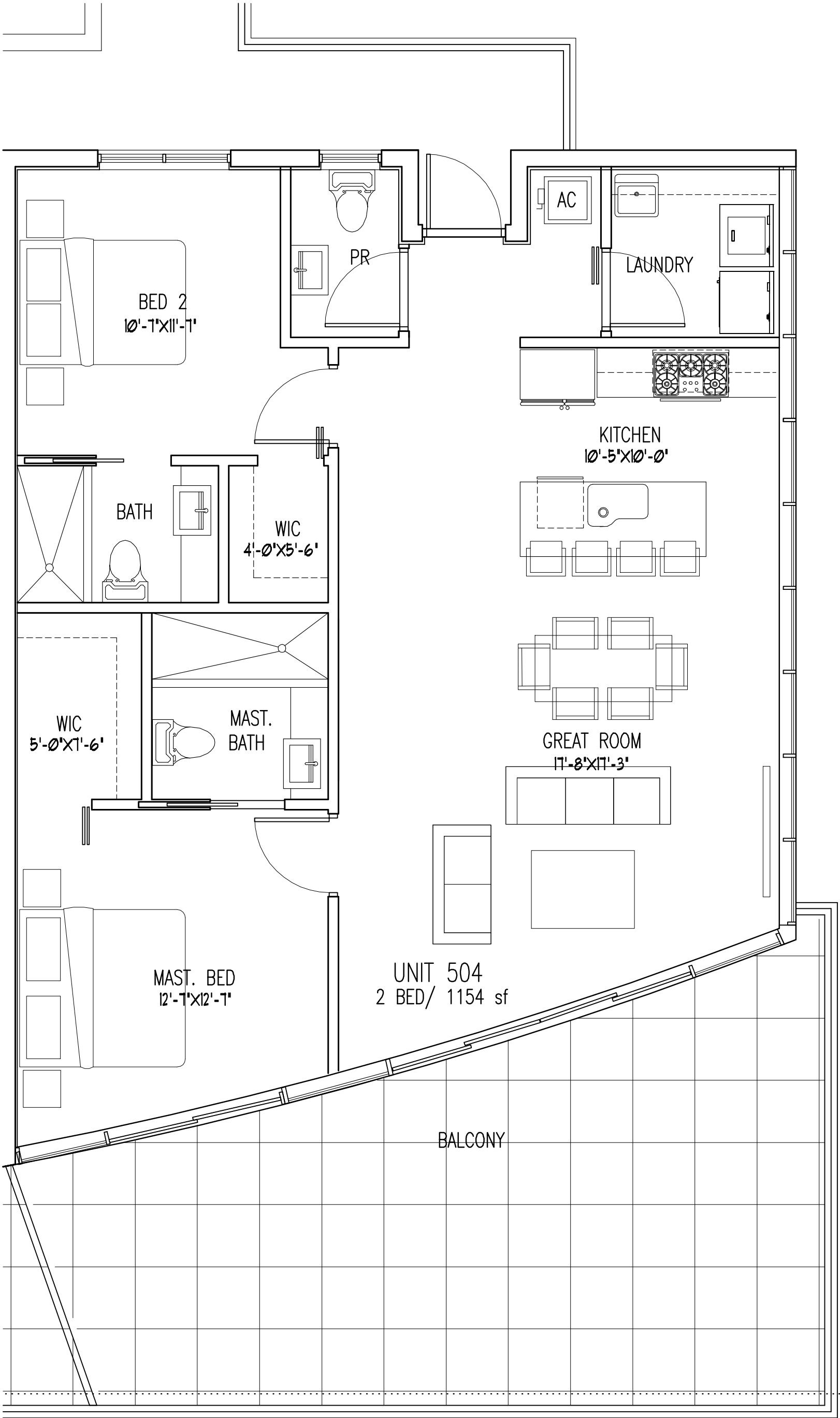
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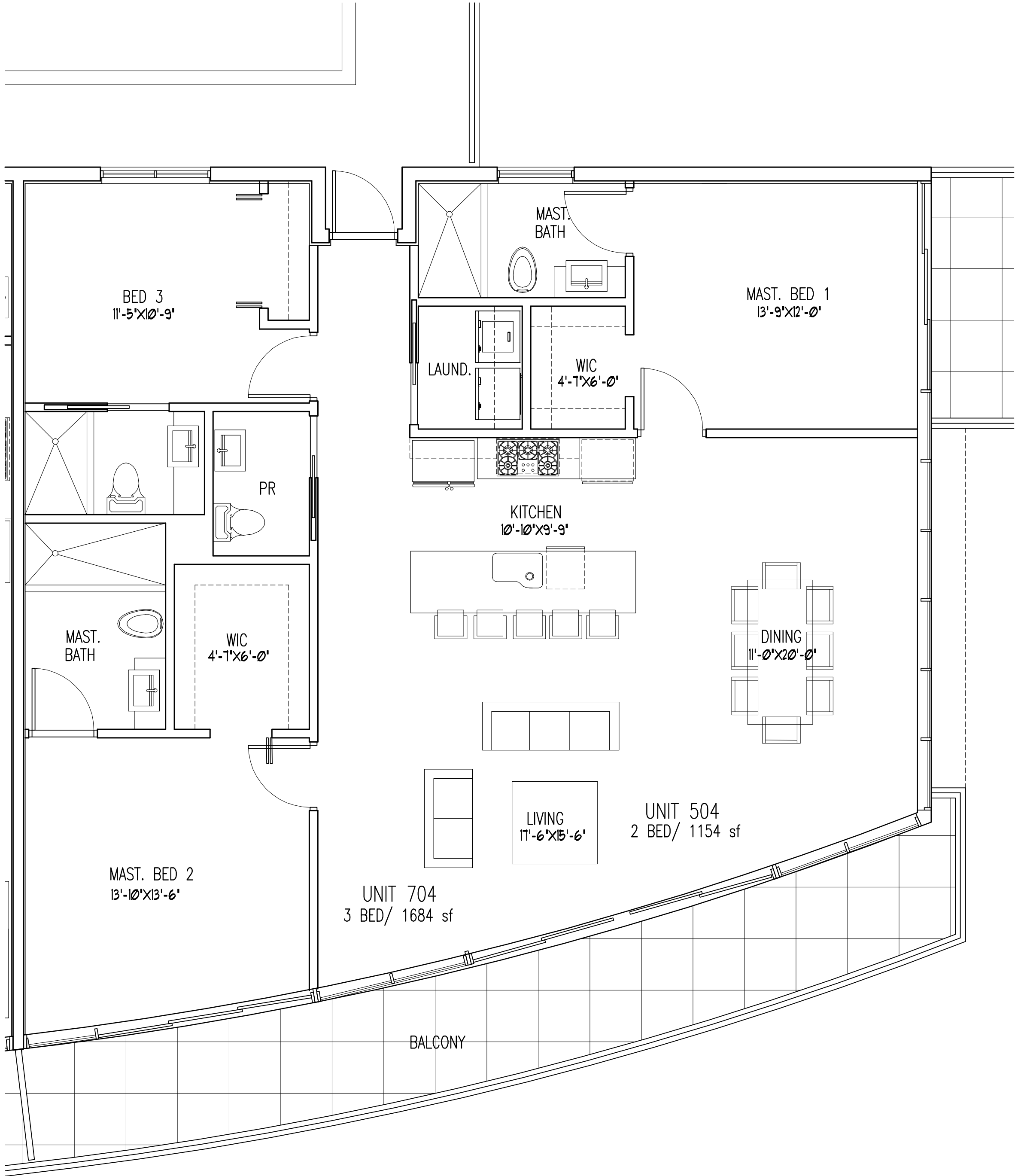
SHEET



UNIT 501
1 BEDROOM/ 2 BATHROOMS



UNIT 504
2 BEDROOM/ 2 1/2 BATHROOMS



UNIT 704
3 BEDROOM/ 3 1/2 BATHROOMS



1 TYPICAL UNIT PLANS
SCALE: 1/4" = 1'-0"



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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
UNIT BLOW UP PLANS

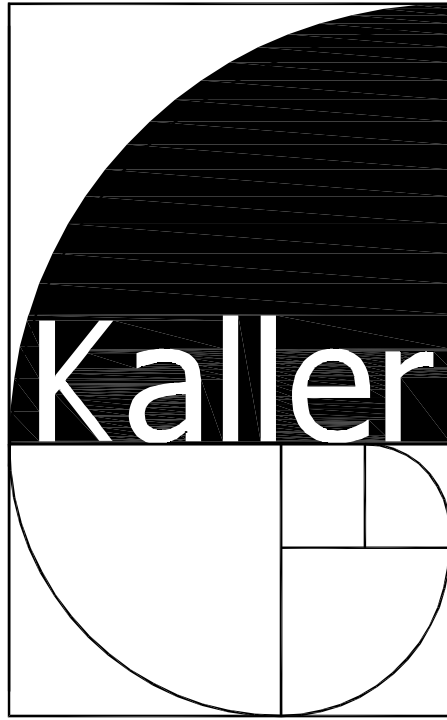
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No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC

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SHEET

A-16



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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	4-6-18	OWNER REV
2	4-17-18	PRELIM TAC

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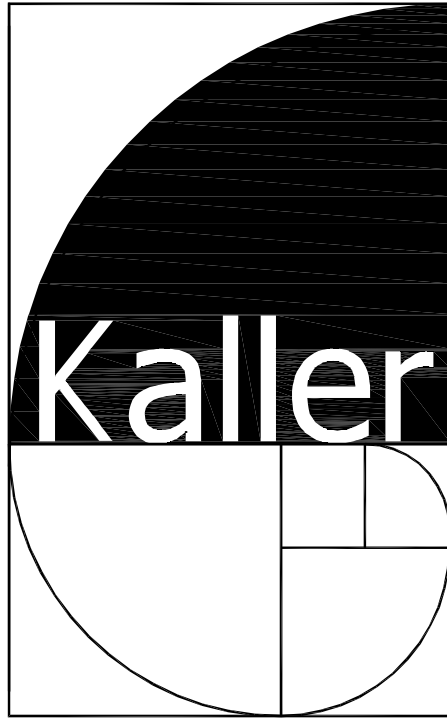
A-10

1 OF 13



1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. TINTED IMPACT RESISTANT WINDOWS
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. POWDER COATED GALVANIZED METAL TRELLIS
7. WATERFALL WATER FEATURE
8. GLASS ENCLOSED SPA
9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
10. CONCRETE CANOPY
11. CONCRETE COLUMN
12. CONCRETE EYEBROW
13. VERTICAL PLANT CABLE TRELLIS
14. THREE DIMENSIONAL PRECAST CONCRETE WALL FEATURE
15. POWDER COATED METAL COLUMN
16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC

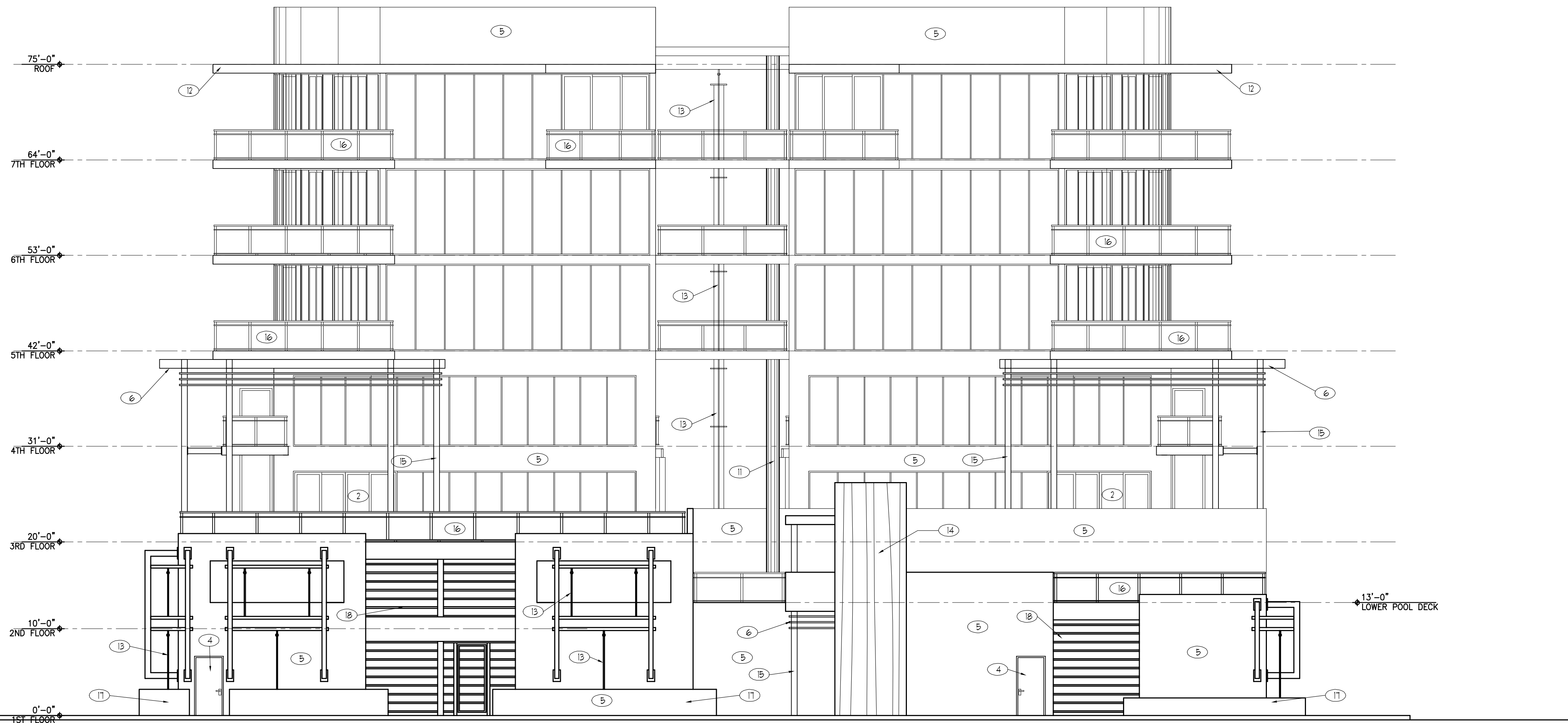
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DATE: 2-20-18
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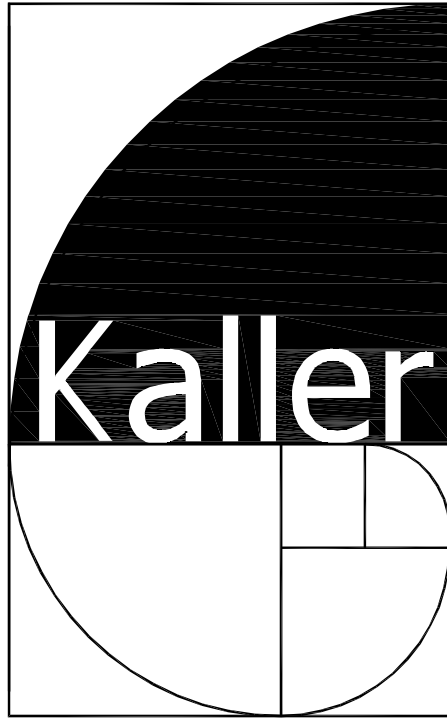
A-11

1 OF 13



1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. TINTED IMPACT RESISTANT WINDOWS
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. POWDER COATED GALVANIZED METAL TRELLIS
7. WATERFALL WATER FEATURE
8. GLASS ENCLOSED SPA
9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
10. CONCRETE CANOPY
11. CONCRETE COLUMN
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13. VERTICAL PLANT CABLE TRELLIS
14. THREE DIMENSIONAL PRECAST CONCRETE WALL FEATURE
15. POWDER COATED METAL COLUMN
16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN

1 EAST ELEVATION
SCALE: 1/8"= 1'-0"



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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC

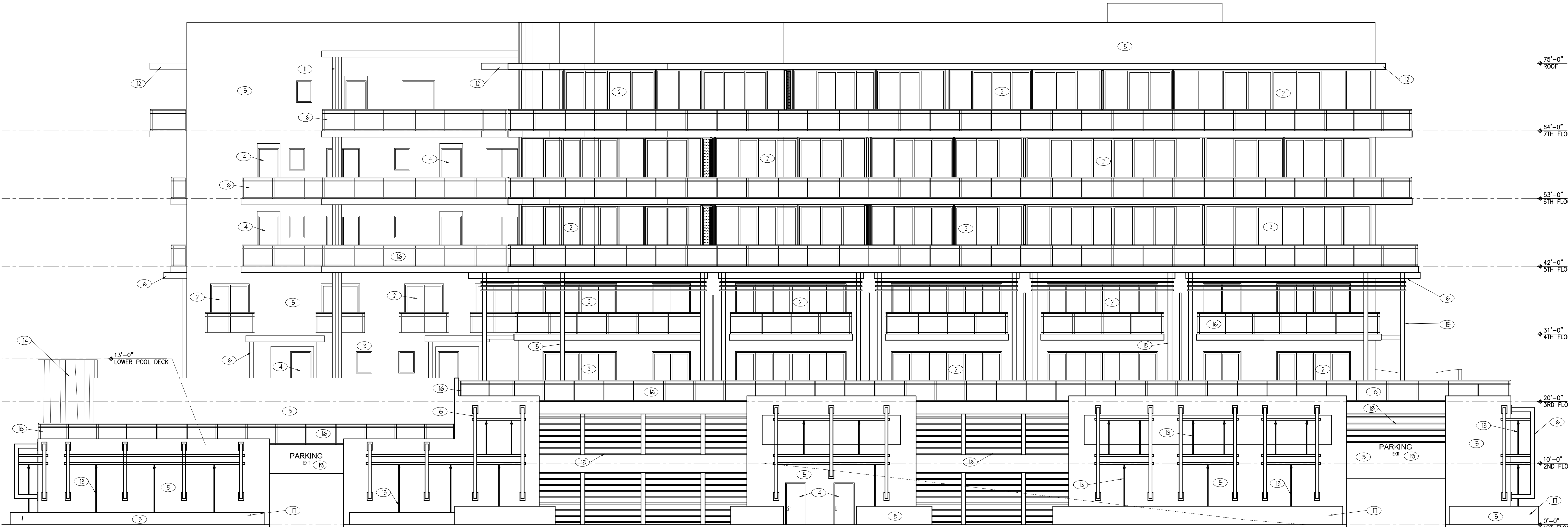
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DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-12

1 OF 13



- 1. TINTED IMPACT RESISTANT STOREFRONT
- 2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
- 3. TINTED IMPACT RESISTANT WINDOWS
- 4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 5. SMOOTH STUCCO WALL FINISH
- 6. POWDER COATED GALVANIZED METAL TRELLIS
- 7. WATERFALL WATER FEATURE
- 8. GLASS ENCLOSED SPA
- 9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
- 10. CONCRETE CANOPY
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- 16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
- 17. RAISED PLANTERS
- 18. POWDER COATED GALVANIZED METAL SCREEN
- 19. REVERSE CHANNEL LETTER BACKLIT SIGN

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



JOSEPH B. KALLER
+
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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 00092239

PROJECT TITLE

BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE

CONTEXTUAL STREET
ELEVATION

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC

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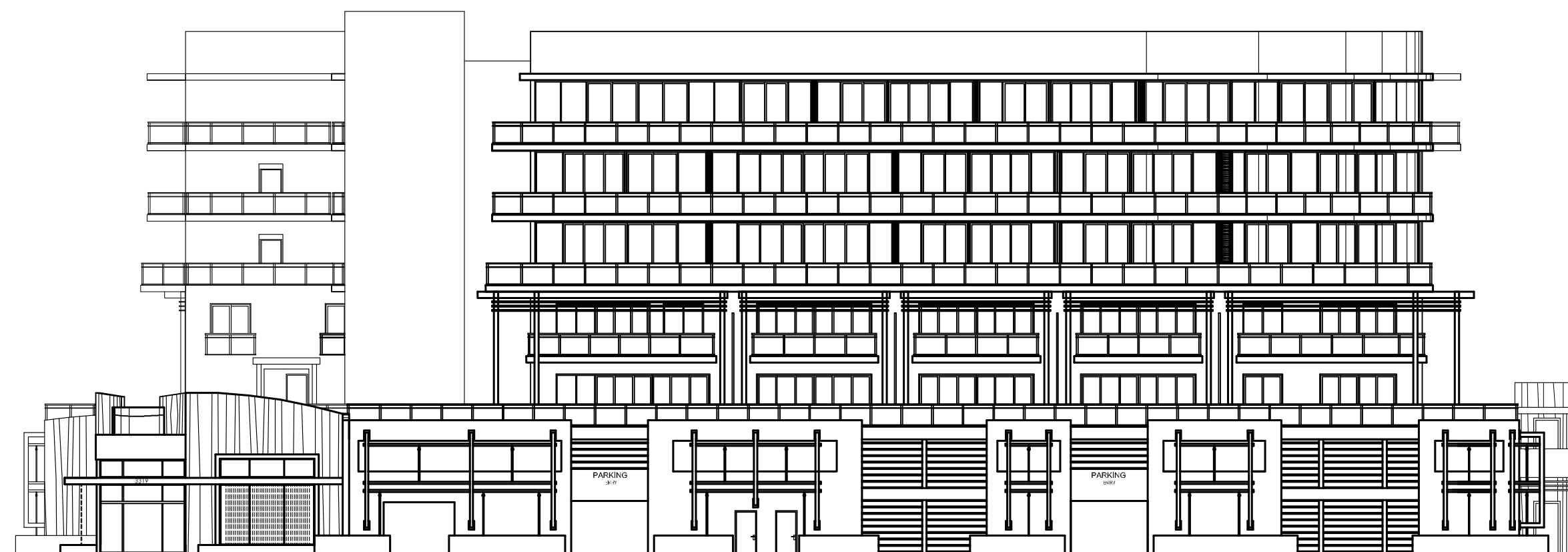
SHEET

A-13

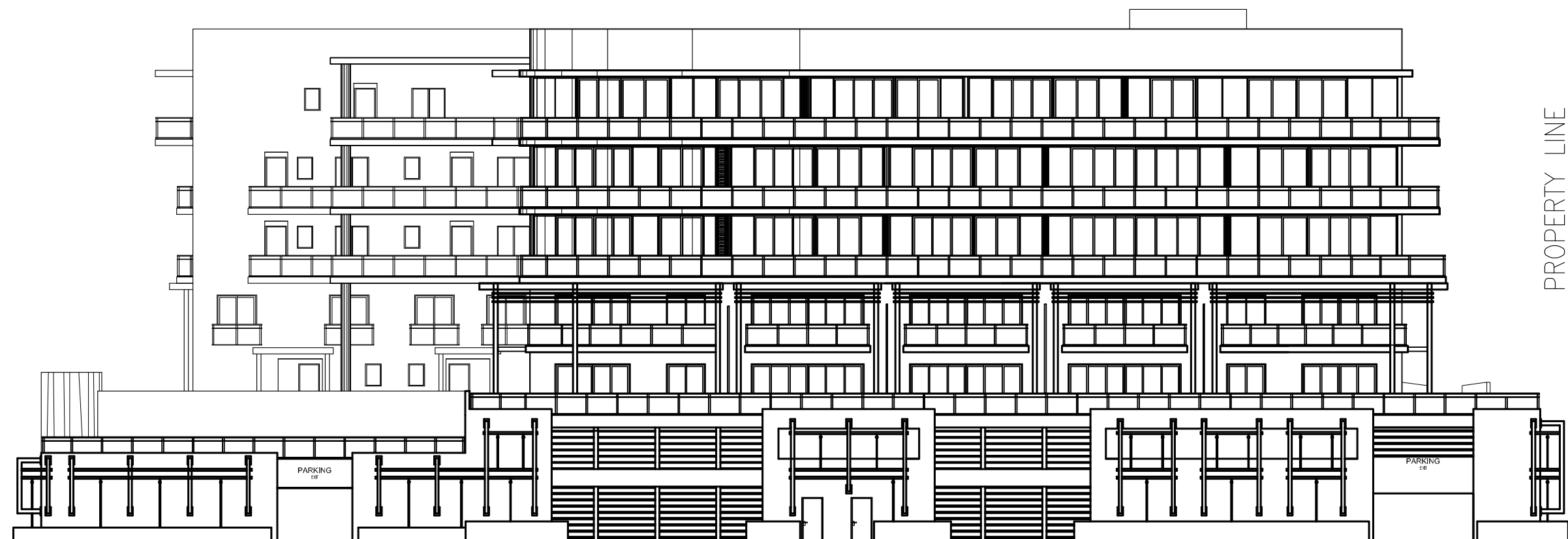
1 OF 13



N. OCEAN DRIVE LOOKING EAST



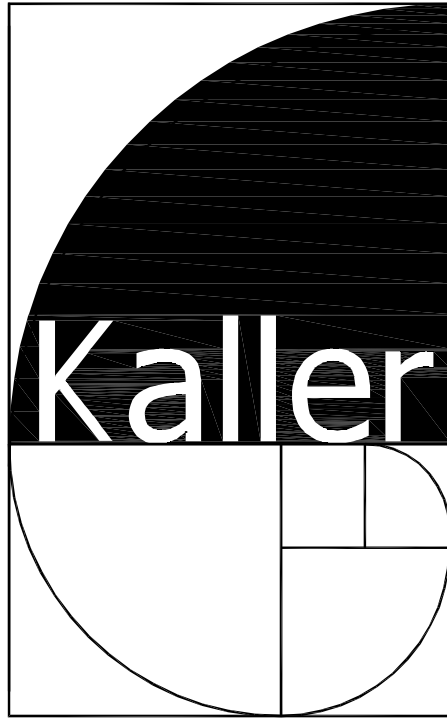
NEW HAMPSHIRE STREET LOOKING NORTH



NEW MEXICO STREET LOOKING SOUTH

1 CONTEXTUAL STREET ELEVATION

SCALE: 1"= 20'-0"



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SEAL

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SHEET TITLE
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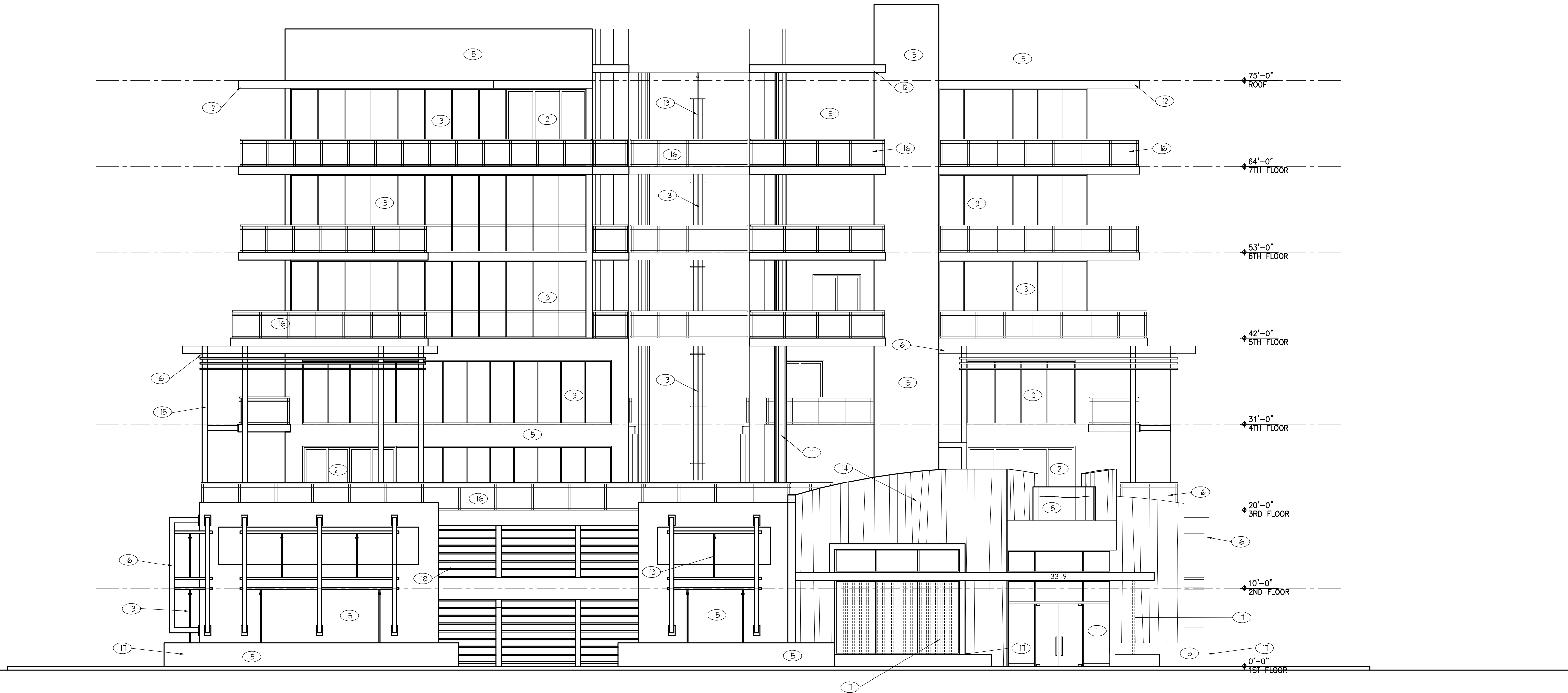
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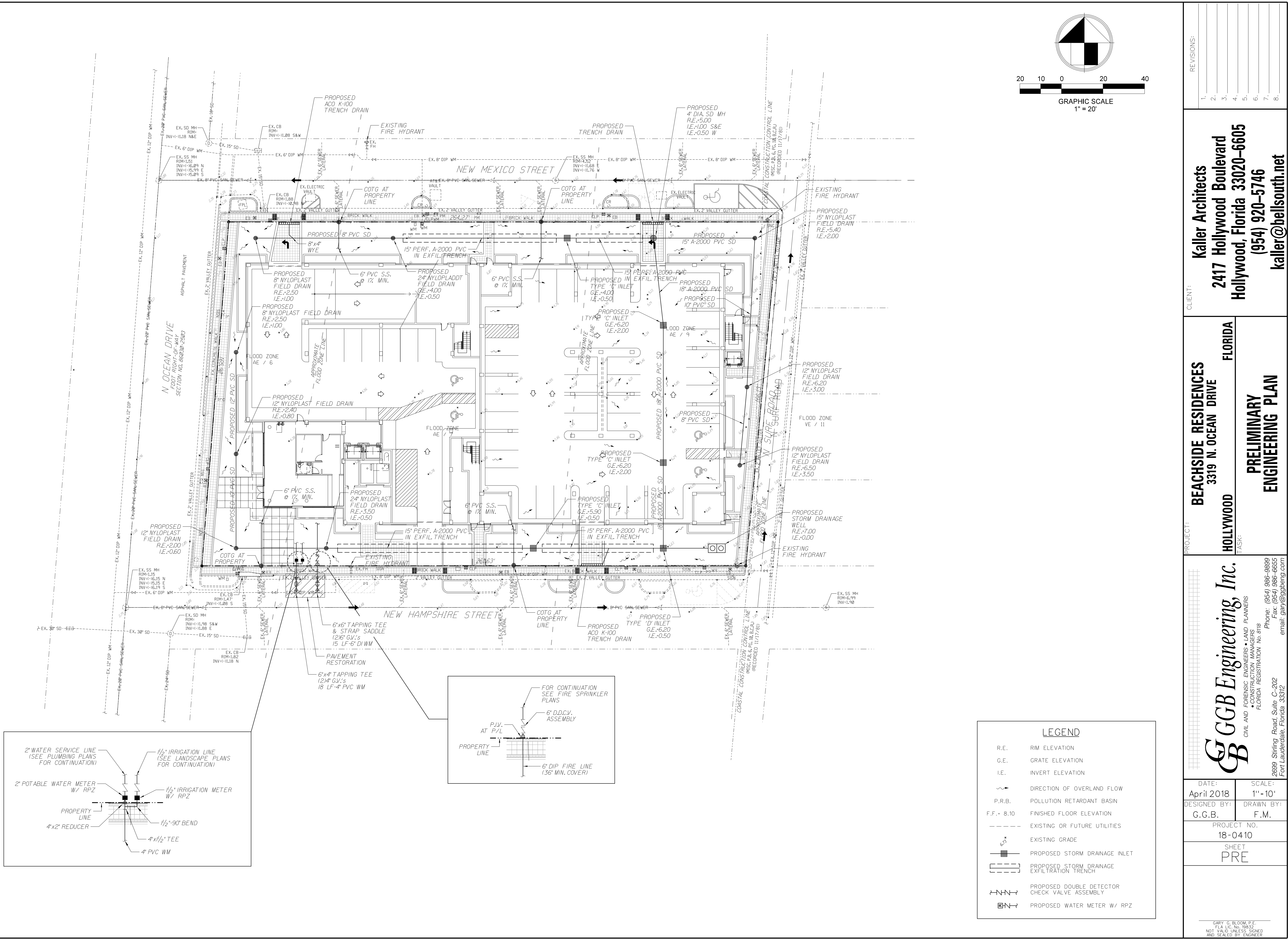
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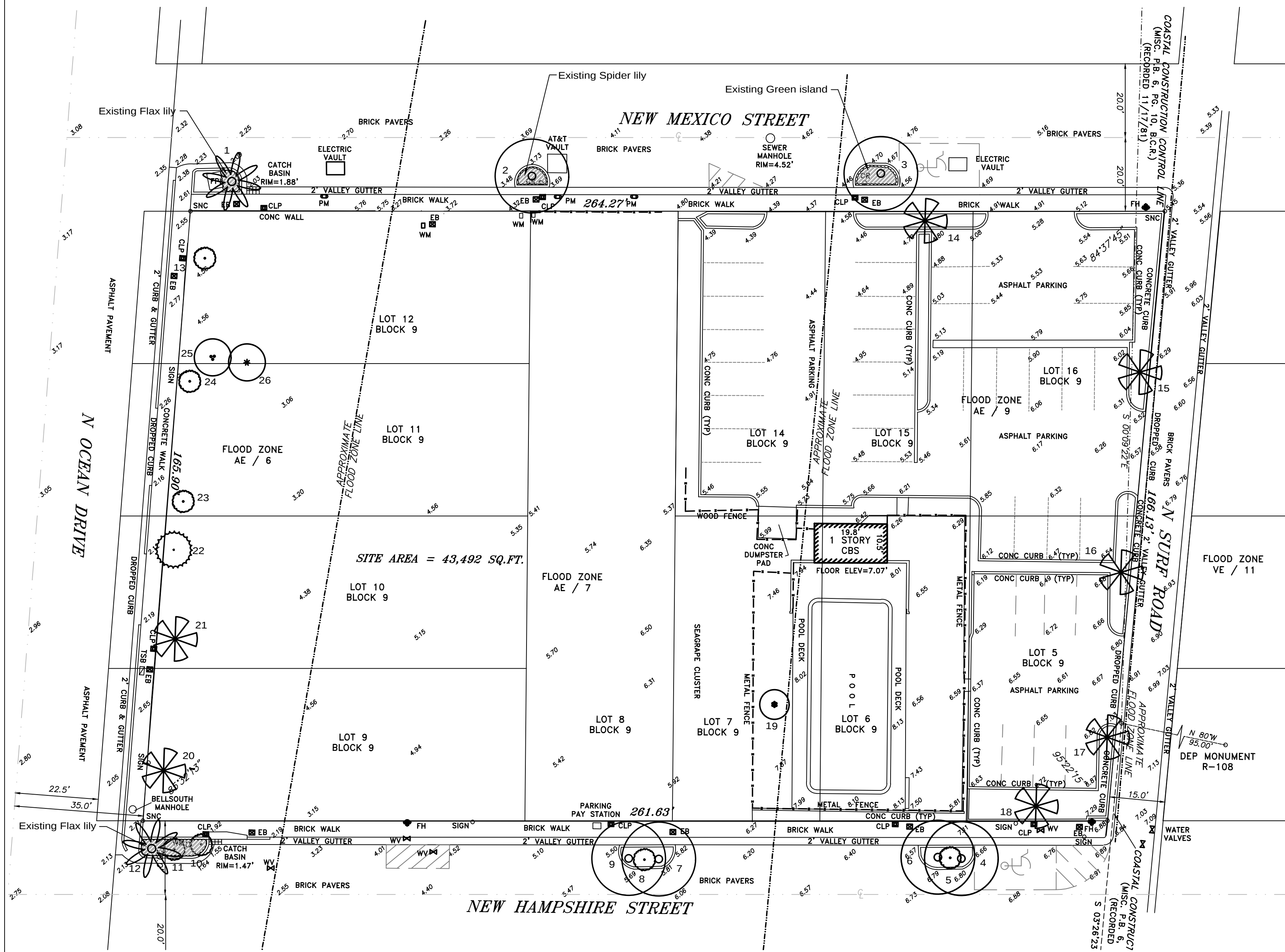
1 OF 13



1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. TINTED IMPACT RESISTANT WINDOWS
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. POWDER COATED GALVANIZED METAL TRELLIS
7. WATERFALL WATER FEATURE
8. GLASS ENCLOSED SPA
9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
10. CONCRETE CANOPY
11. CONCRETE COLUMN
12. CONCRETE EYEBROW
13. VERTICAL PLANT CABLE TRELLIS
14. THREE DIMENSIONAL PRECAST CONCRETE WALL FEATURE
15. POWDER COATED METAL COLUMN
16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN

1 WEST ELEVATION
SCALE: 1/8" = 1'-0"





EXISTING TREES INVENTORY

	Common/Botanical name	Size	Condition	Action
1	Medjool Date Palm/ <i>Phoenix dactylifera</i>	14" C 14' CT	80% good	Remain
2	Coconut Palm/ <i>Cocos nucifera</i>	12" C 20' CT	75% good	Remain
3	Coconut Palm/ <i>Cocos nucifera</i>	14" 20' CT	65% good	Remain
4	Coconut Palm/ <i>Cocos nucifera</i>	12" 20' CT	65% good	Relocate
5	Thatch Palm/ <i>Thrinax radiata</i>	6" C 6' CT	75% good	Relocate
6	Coconut Palm/ <i>Cocos nucifera</i>	12"C 18" CT	70% good	Relocate
7	Coconut Palm/ <i>Cocos nucifera</i>	12"C 14" CT	65% good	Remain
8	Thatch Palm/ <i>Thrinax radiata</i>	6" C 6' CT	80% good	Remain
9	Coconut Palm/ <i>Cocos nucifera</i>	12"C 16" CT	65% good	Remain
10	Thatch Palm/ <i>Thrinax radiata</i>	6" C 6' CT	80% good	Remain
11	Thatch Palm/ <i>Thrinax radiata</i>	6" C 6' CT	80% good	Remain
12	Medjool Date Palm/ <i>Phoenix dactylifera</i>	18"C 14' CT	65% good	Remain
13	Thatch Palm/ <i>Thrinax radiata</i>	4"C 35' CT	75% good	Remove
14	Foxtail Palm/ <i>Vodyetia bifurcata</i>	4"C 7' OAH	10% poor	Remove
15	Foxtail Palm/ <i>Vodyetia bifurcata</i>	4"C 8' OAH	10% poor	Remove
16	Foxtail Palm/ <i>Vodyetia bifurcata</i>	4"C 10' OAH	20% poor	Remove
17	Foxtail Palm/ <i>Vodyetia bifurcata</i>	5"C 12' OAH	30% poor	Remove
18	Foxtail Palm/ <i>Vodyetia bifurcata</i>	4"C 7' OAH	10% poor	Remove
19	Adinidia Palm/ <i>Adonidia merrilli</i>	8"C 7' CT double	60% fair	Remove
20	Foxtail Palm/ <i>Vodyetia bifurcata</i>	8"C 16' CT	50% fair	Remove
21	Foxtail Palm/ <i>Vodyetia bifurcata</i>	8"C 16' CT	50% fair	Remove
22	Sabal Palm/ <i>Sabal palmetto</i>	12"C 12' CT	80% good	Remove
23	Thatch Palm/ <i>Thrinax radiata</i>	8"C 8/22' CT double	70% good	Relocate
24	Thatch Palm/ <i>Thrinax radiata</i>	8"C 12/24' CT double	80% good	Relocate
25	Ligustrum/ <i>Ligustrum japonicum</i>	8" 12'x8' multistem	50% fair	Remove
26	Frangipani/ <i>Plumeria</i> spp	5"C 16'x8'	70% good	Remove

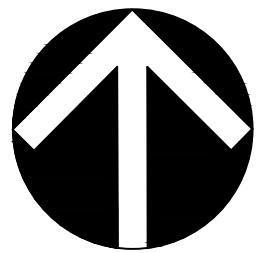


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COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
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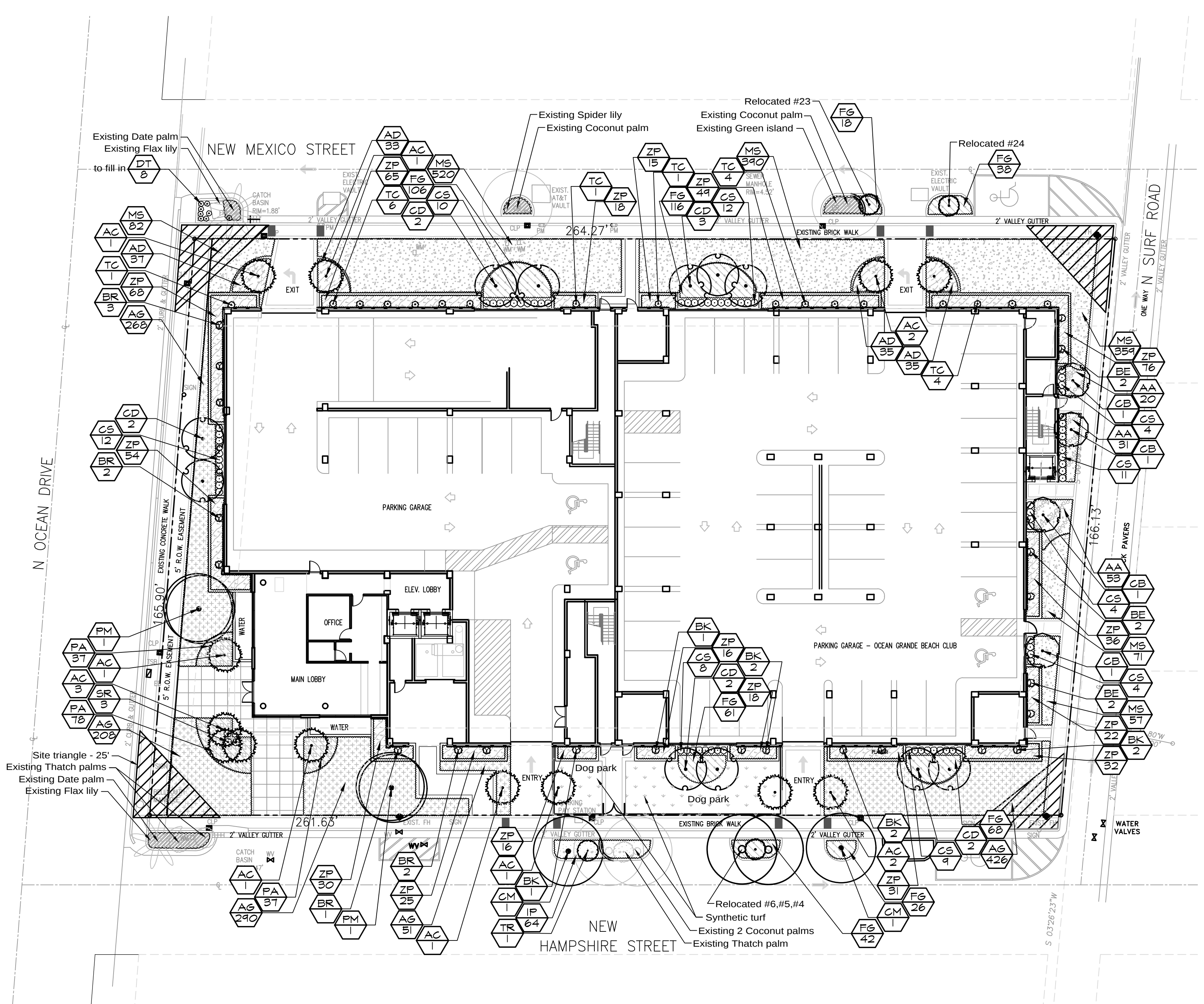


SCALE	1" = 20'-0"
DESIGNED BY	GF GW
DRAWN BY	GF GW
CHECKED BY	GF GW
CAD DWG.	
DATE	04.26.18
REVISIONS	

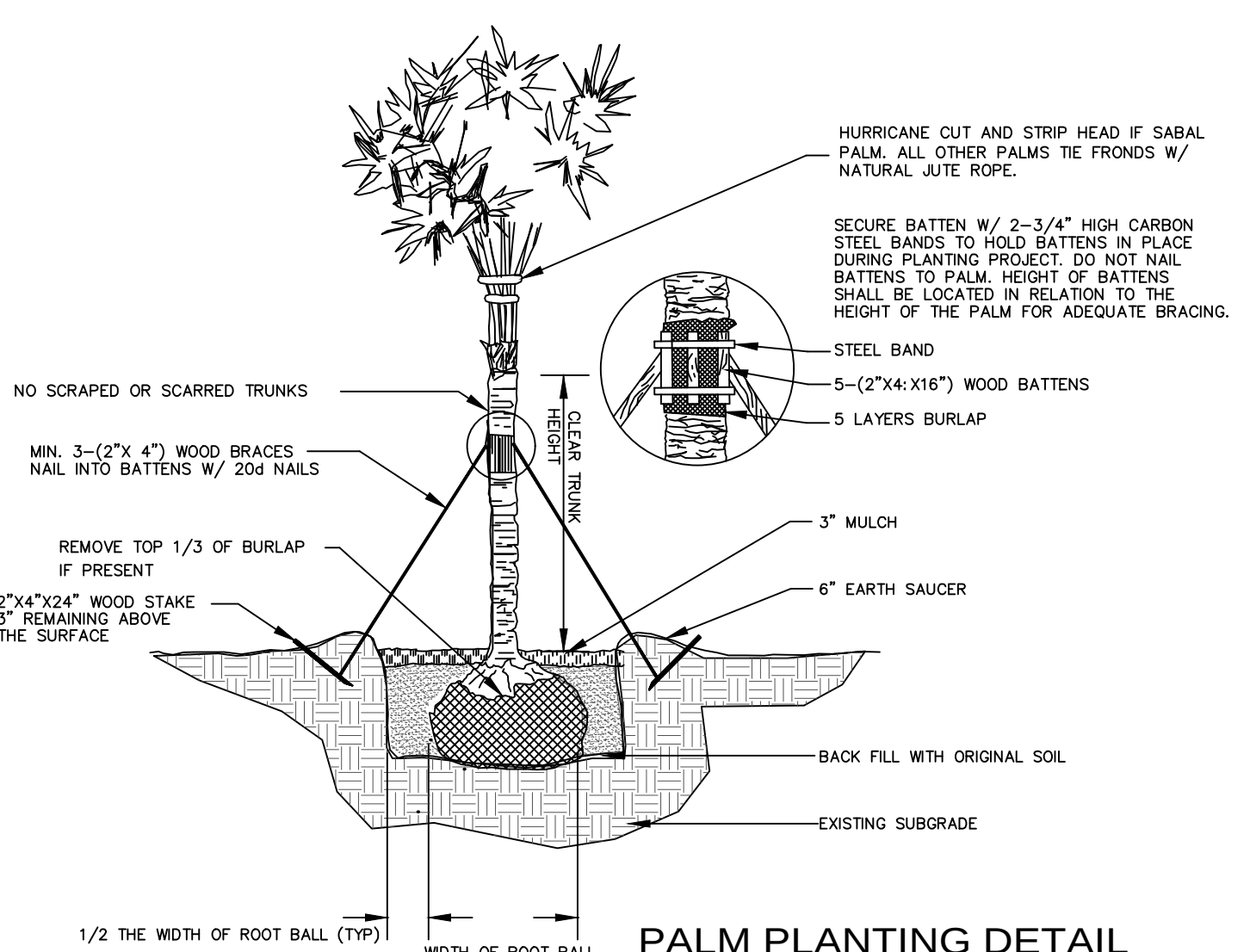
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TREE REMOVAL PLAN

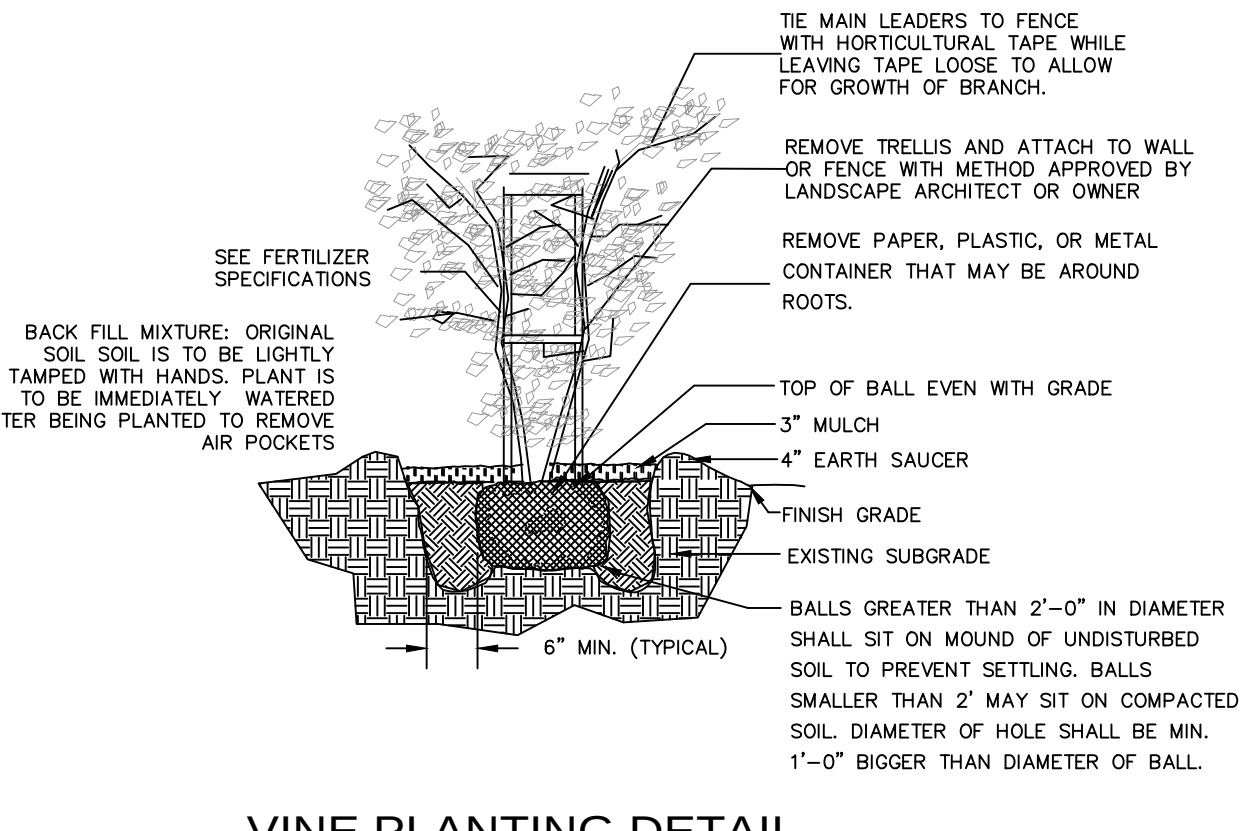
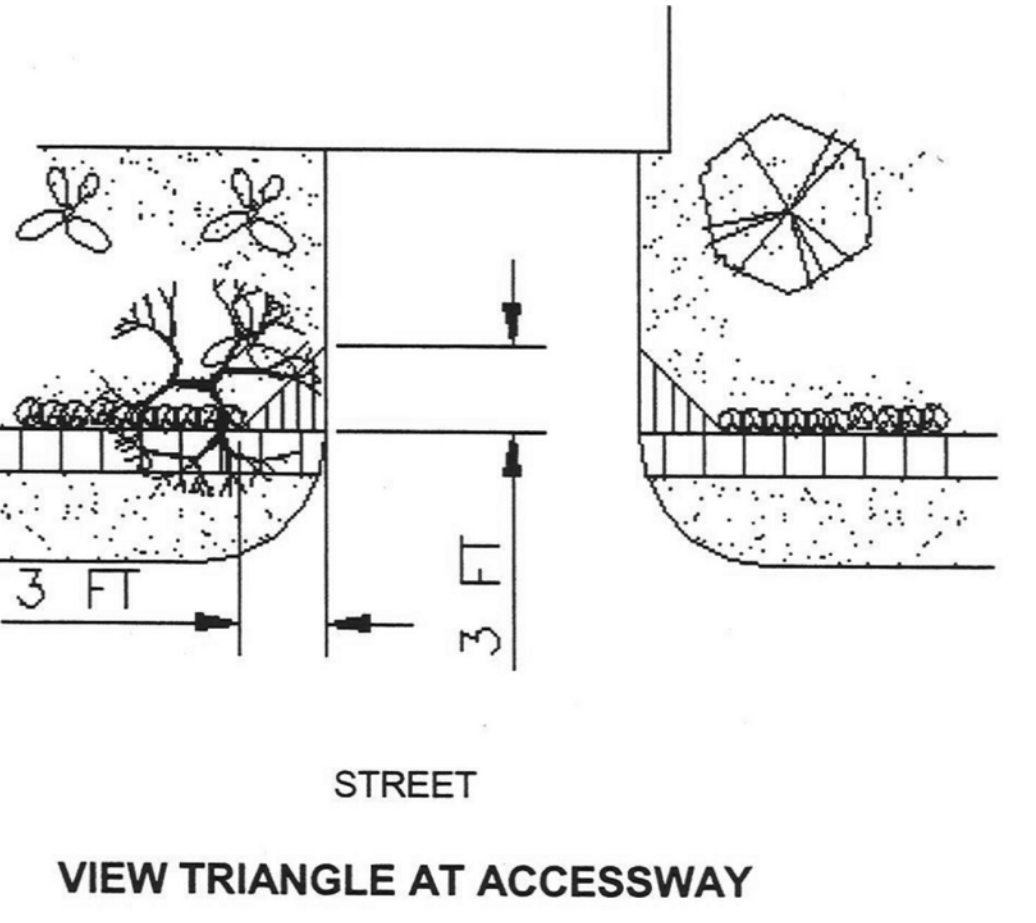
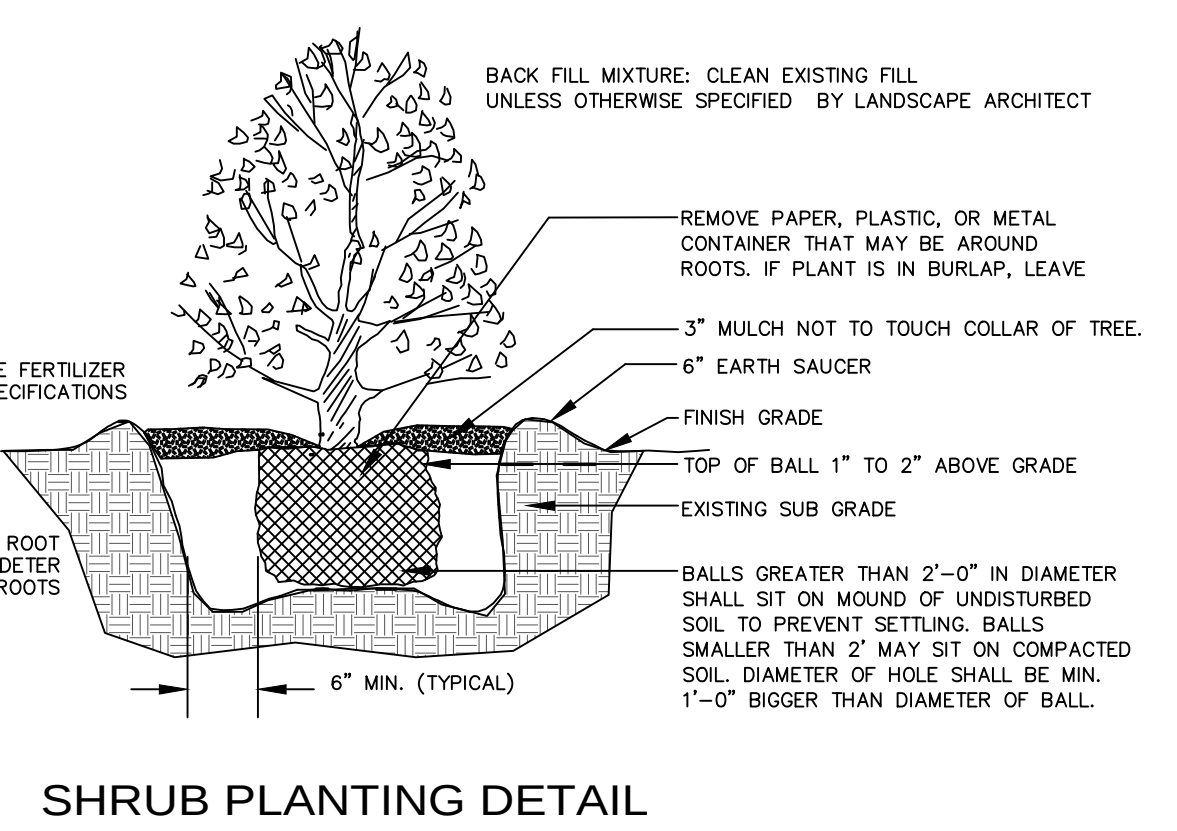
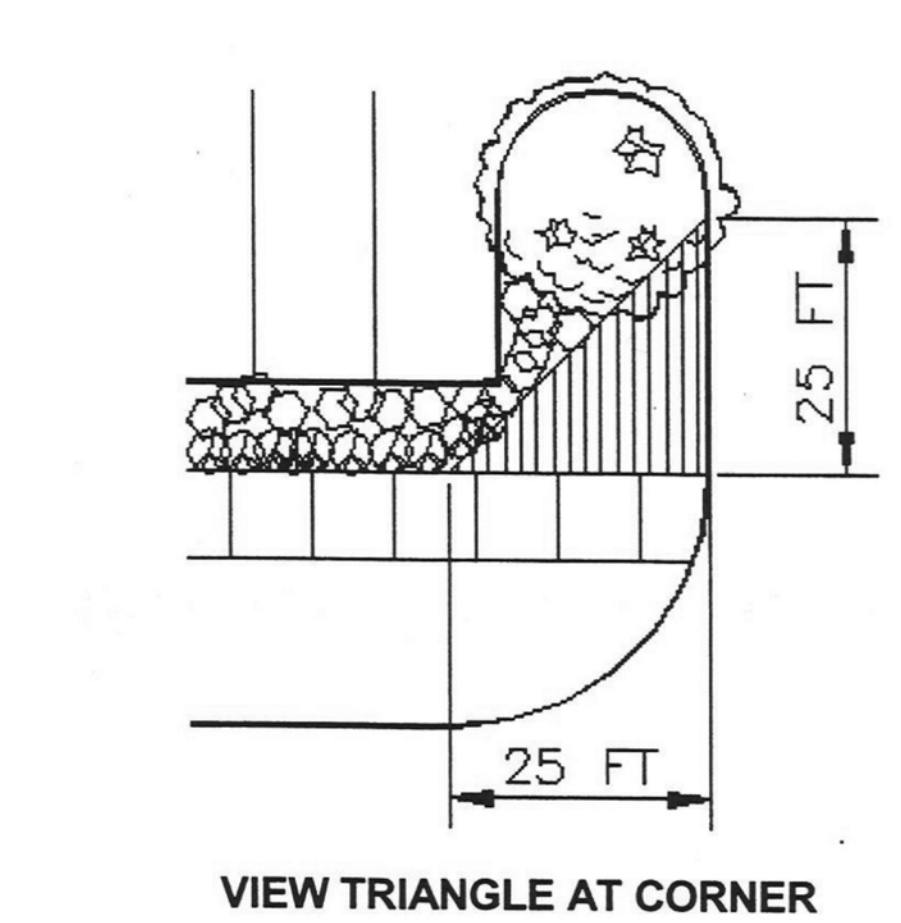
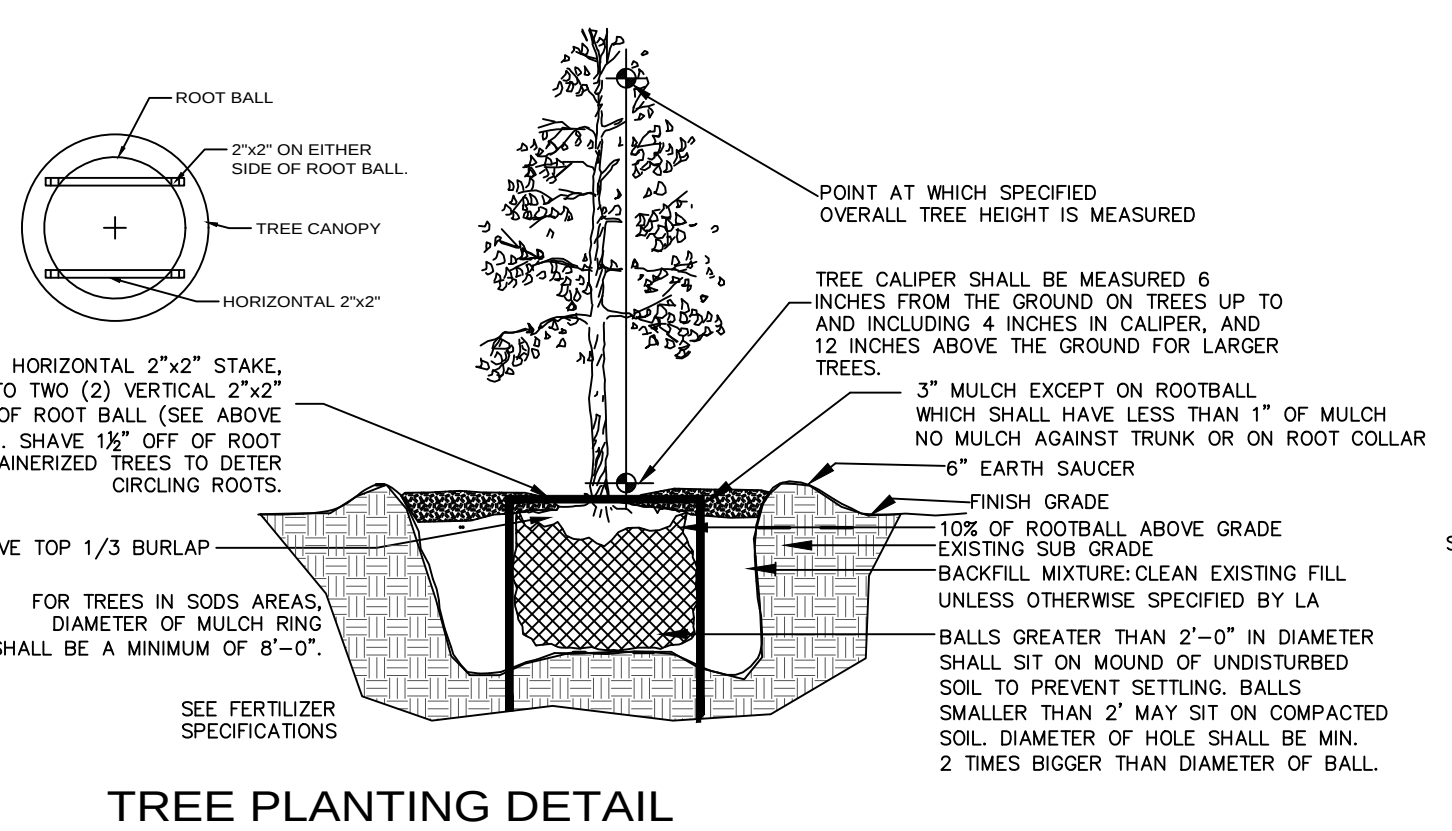


PLANT SCHEDULE				
TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
AC	13	Adonidia merrillii single / Christmas Palm, matched	12' CT single	AS SHOWN
CD	11	Coccoloba diversifolia / Pigeon Plum	12' OA 2" DBH	AS SHOWN
CF	9	Coccothrinax argentata / Florida Silver Palm	6' OA	AS SHOWN
CM	2	Cocos nucifera 'Maypan' / Maypan Coconut Palm	20' CT	AS SHOWN
CB	4	Cordia boissieri / White Geiger	12' OA 2" DBH	AS SHOWN
DP	2	Dictyosperma album / Princess Palm	6' CT	AS SHOWN
PM	2	Phoenix dactylifera 'Medjool' / Date Palm	16' CT	AS SHOWN
TR	1	Thrinax radiata / Florida Thatch Palm	6' CT	AS SHOWN
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
BK	8	Bougainvillea x 'Barbara Karst' / Bougainvillea Karst	25 gal	AS SHOWN
BE	6	Bougainvillea x 'Palm Beach' purple / Palm Beach Bougainvillea	25 gal	AS SHOWN
BR	8	Bougainvillea x 'Raspberry Ice' / Raspberry Ice Bougainvillea Trellis	25 gal	AS SHOWN
CS	74	Clusia guttifera / Small Leaf Clusia	7 gal 3' OA	36" O.C.
DT	8	Dianella tasmanica / Flax Lily	3 gal	18" O.C.
SR	3	Streitzia reginae / Orange Bird Of Paradise	15 gal	AS SHOWN
TG	14	Thunbergia grandiflora / Sky Flower	25 gal pole grown	AS SHOWN
TC	17	Trachelospermum jasminoides 'Confederate' / Confederate Jasmine	25 gal	AS SHOWN
SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
AA	104	Agapanthus africanus / Lily of the Nile	3 gal 18" OA	18" o.c.
AG	1,243	Arachis glabrata / Perennial Peanut	1 gal	18" o.c.
AD	140	Asparagus densiflorus 'Myers' / Myers Asparagus	3 gal 12" OA	18" o.c.
CN	313	Clusia rosea 'Nana' / Dwarf Pitch Apple	3 gal 15"OA	15" o.c.
FG	542	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal 12" OA	15" o.c.
IP	64	Ipomoea pes-caprae / Railroad vine	1 gal	18" o.c.
MS	1,527	Mimosa strigillosa / Sensitive Plant	1 gal	18" o.c.
PA	152	Plumbago auriculata / Blue Plumbago	3 gal 15"OA	18" o.c.
ZP	571	Zamia pumila / Coontie	3 gal 15"OA	18" o.c.



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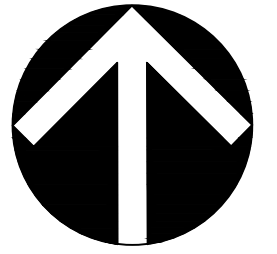
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LANDSCAPE PLAN - 1ST FLOOR, PLANT LIST

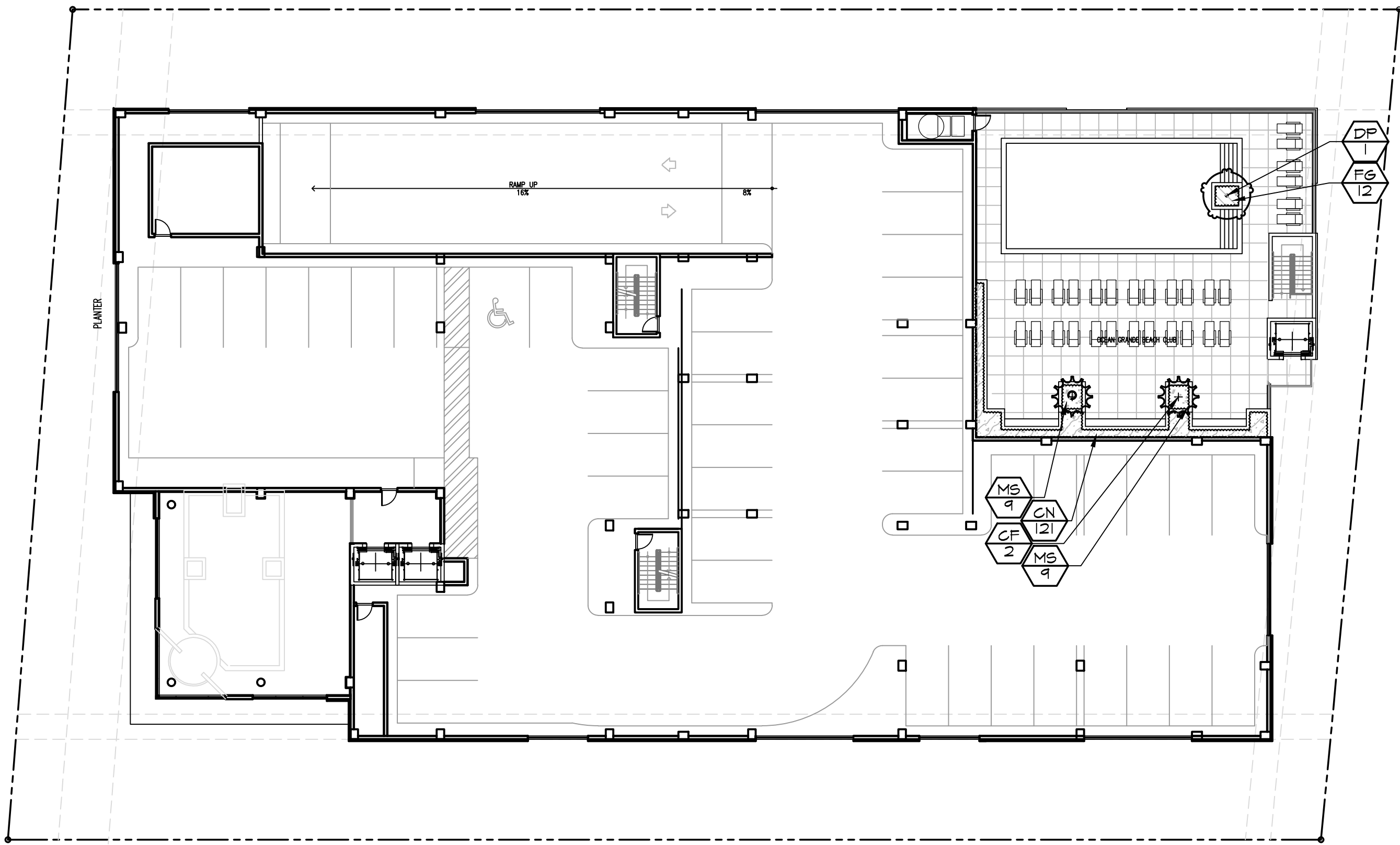
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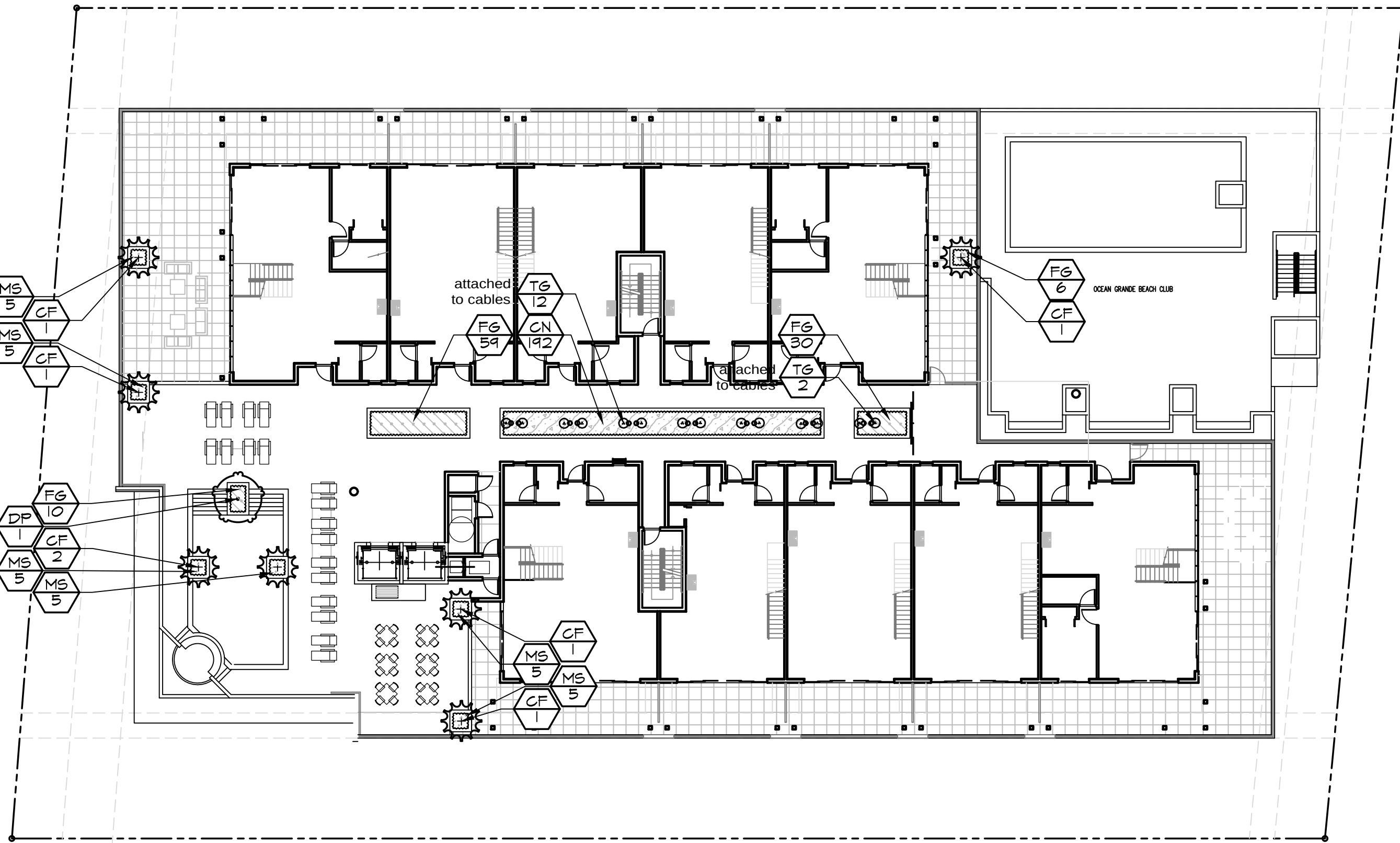


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FOR PLANT LIST SEE LP-1



A 2nd FLOOR
Scale 1"=20'



B 3rd FLOOR
Scale 1"=20'

City of Hollywood Landscape Requirements BRT-25

Condition	Requirement	Provided
PERIMTER LANDSCAPE		
-One Tree per 50' of street frontage (858/50=18)	YES	YES
-Existing/relocated trees in ROW islands (2 Medjool, 6 Coconut, 6 Thatch Palm)		14
-Proposed additional trees in ROW Islands (2 Coconut, 1 Thatch Palm)		3
-Proposed perimeter trees within lot lines (2 Medjool Date Palms)		2
VEHICULAR USE AREA		
-Terminal Islands at ends of all parking areas	N/A	N/A
OPEN SPACE (Min 40% open landscape area)		
-Site area 43,492SF x 40%	17,397sf required	9950sf provided
-One Tree per 1000SF required open space (17,397/1000)	18	19
(13 Adonidia (4), 11 Pigeon Plum, 4 Geiger)		
-Required tree species/variety	3	4
-Minimum 60% of required trees as Native (11 Pigeon Plum 12'oah, 2"DBH)	11	11
-Maximum 50% of required trees may be palms (13 Adonidia @ 3:1 palm to tree count =4 trees)	9 (max)	4
DESIGN REVIEW		
-Complies with Design Review Guidelines for Landscaping	YES	YES
VIEW TRIANGLE		
-Clear site triangles at all drives and intersections	YES	YES
IRRIGATION		
-Provide 100%+ coverage by auto sprinkler system (In accordance with City of Hollywood and SFWMD)	YES	YES
OTHER		
-Apply Xeriscape principles to proposed landscape design	YES	YES
-Utilize plant species compatible with highly saline areas	YES	YES
-Trees to be 12'oah, 2" DBH at time of planting	YES	YES
-Palms to have minimum 6'CT at time of planting	YES	YES
-50% of all required shrubs to be Florida Native	YES	YES

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malaysian Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2' in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998.
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILORGANITE PER 6 CU. YDS.
- TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- APPLY 3" MELALEUCA/EUCALYPTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS.
- ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
- LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

- PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

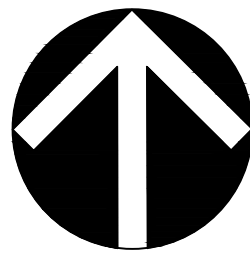


IF YOU DIG FLORIDA...
CALL US FIRST!
1-800-432-4770
SUNSHINE STATE ONCALLING
OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.

Gabriela Fojt
LA 6667277

The Mirror of Paradise Inc.
3924 N. Ocean Blvd.
Fort Lauderdale
FL 33308
Tel (954) 478 3064
www.florida-landscape.com



SCALE	AS NOTED
DESIGNED BY	GF GW
DRAWN BY	GF GW
CHECKED BY	GF GW
CAD DWG.	
DATE	04.26.18
REVISIONS	

BEACHSIDE RESIDENCES CONDOMINIUM

3319 N. OCEAN BLVD
HOLLYWOOD, FL 33019

LANDSCAPE PLAN - 2ND AND 3RD FLOOR
CODE REQUIREMENTS, NOTES



3305 N. OCEAN DR.





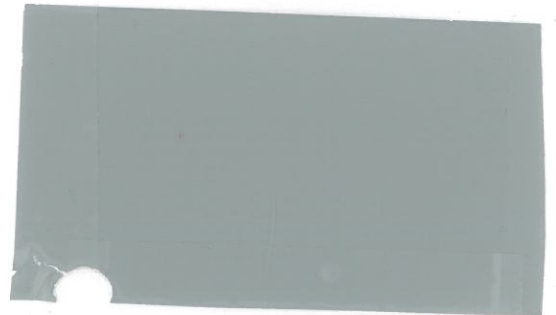
Beachside RESIDENCES

HOLLYWOOD FL

main building color
benjamin moore OC-55
paper white



accent color
benjamin moore 1614
delray grey



metal trellis
bronze



metal fence
bronze

Beachside RESIDENCES

HOLLYWOOD FL

storefront



green screen
bronze



roll up gate

Beachside RESIDENCES

HOLLYWOOD FL



vertical cable trellis

glass edge spa



railing

**CITY OF HOLLYWOOD
PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT
PARK IMPACT FEE APPLICATION**

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development? Yes ☒ No ☐

If YES was selected please provide the following information. In NO was selected please do not complete application.

(PRINT LEGIBLY OR TYPE)

1. Owners Name: VVG Real Estate Investments, LLC
2. Project Name: Beachside Residences
3. Project Address: 3319 North Ocean Drive
4. Contact person: Joseph B. Kauter
5. Contact number: 954-920-5746
6. Type of unit(s): Single Family ☐ Multi-Family ☒ Hotel/Motel ☐
7. Total number of residential and/or hotel/motel units: 310
8. Unit Fee per residential dwelling based on sq. ft.: Various 883-2759 sq ft.
9. Unit Fee per hotel/motel room: \$1,250.00
10. Total Park Impact Fee: \$81,250.00 Date: 4/20/18

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts at 954.921.3404 or dvazquez@hollywoodfl.org should there be any questions.

6 Units @ \$1875.00
15 Units @ \$2175.00
6 Units @ \$2375.00
5 Units @ \$2525.00
4 Units @ \$2650.00

CITY OF HOLLYWOOD
PARK IMPACT FEE SCHEDULE

<u>Land Use Type</u>	<u>Fee</u>
Residential Dwelling Unit (single or multi-family)	
Less than 500 sq. ft. ¹	\$1,650.00
501 to 1,000 sq. ft	\$1,875.00
1,001 to 1,500 sq. ft.	\$2,175.00
1,501 to 2,000 sq. ft.	\$2,375.00
2,001 to 2,500 sq. ft.	\$2,525.00
2,501 to 3,000 sq. ft.	\$2,625.00
3,001 to 3,500 sq. ft.	\$2,725.00
3,501 to 4,000 sq. ft.	\$2,825.00
More than 4,000 sq. ft.	\$2,900.00
Hotel / Motel Room	\$1,250.00

¹ Square feet, as used in this section, refers to enclosed, gross floor area excluding parking garages, screened enclosures and unfinished attics.