

EROSION CONTROL NOTES:

1.

THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
2.

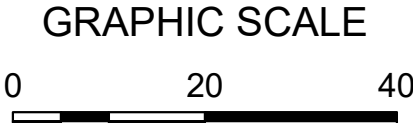
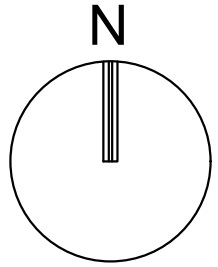
MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
3.

CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
4.

THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
5.

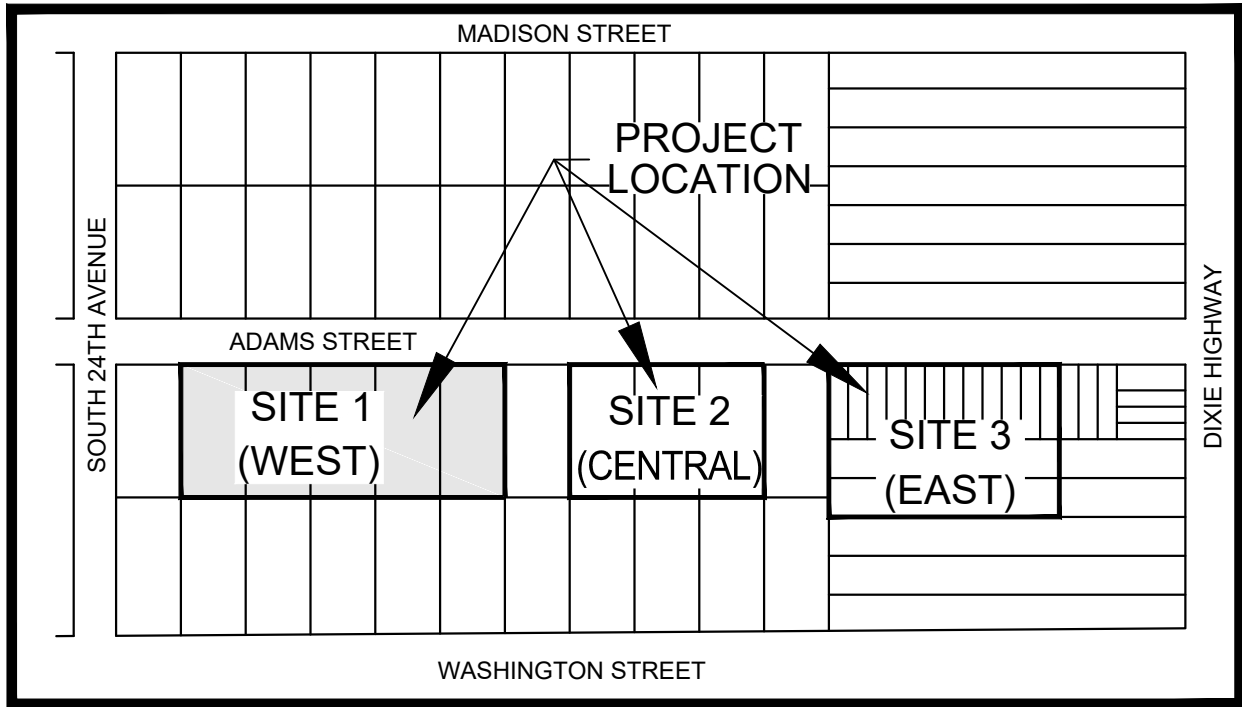
ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODDED, REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
6.

REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.



SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL.
VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
(NOT TO SCALE)

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

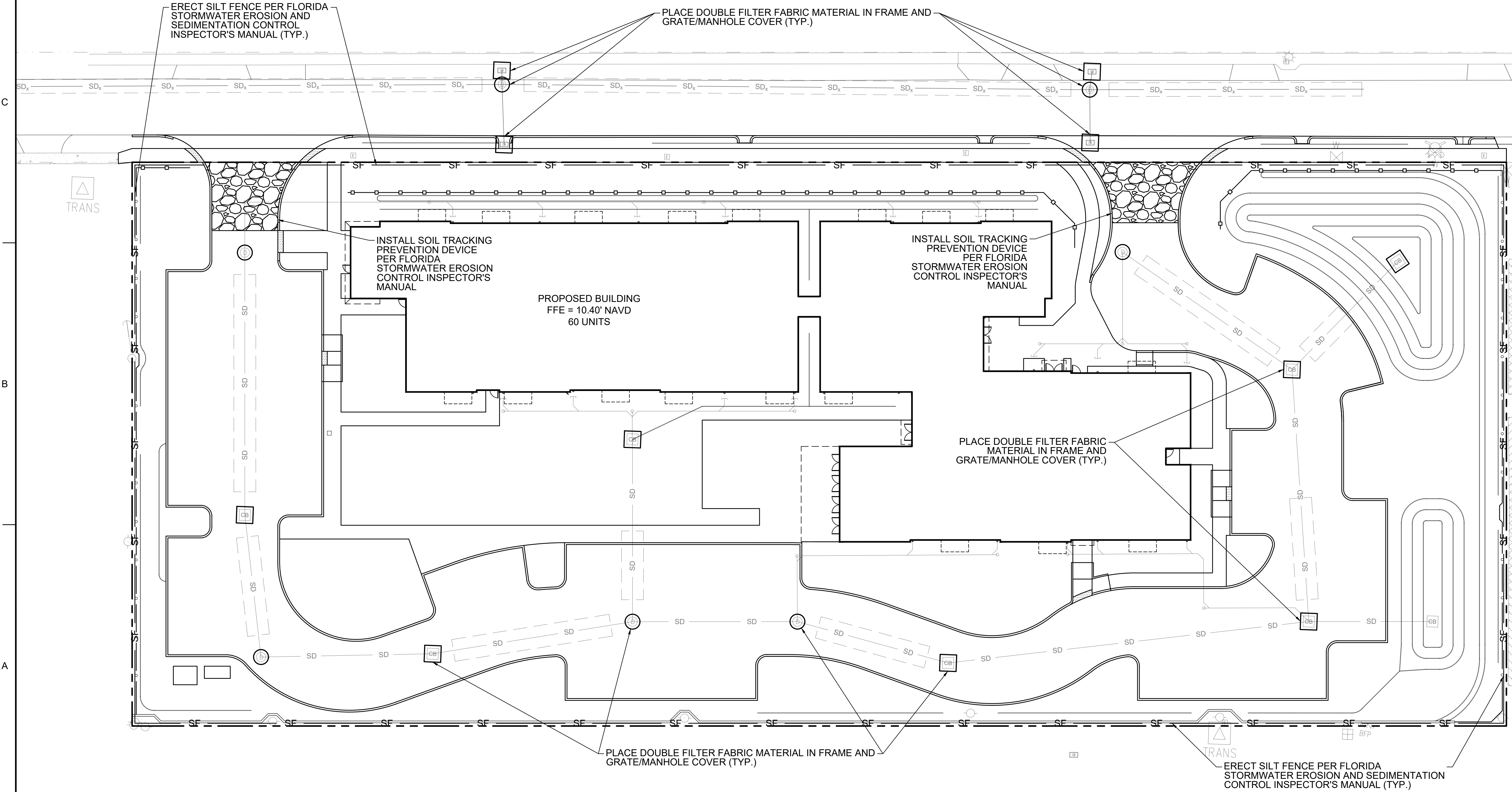
EROSION CONTROL
PLAN SITE 1 (WEST)

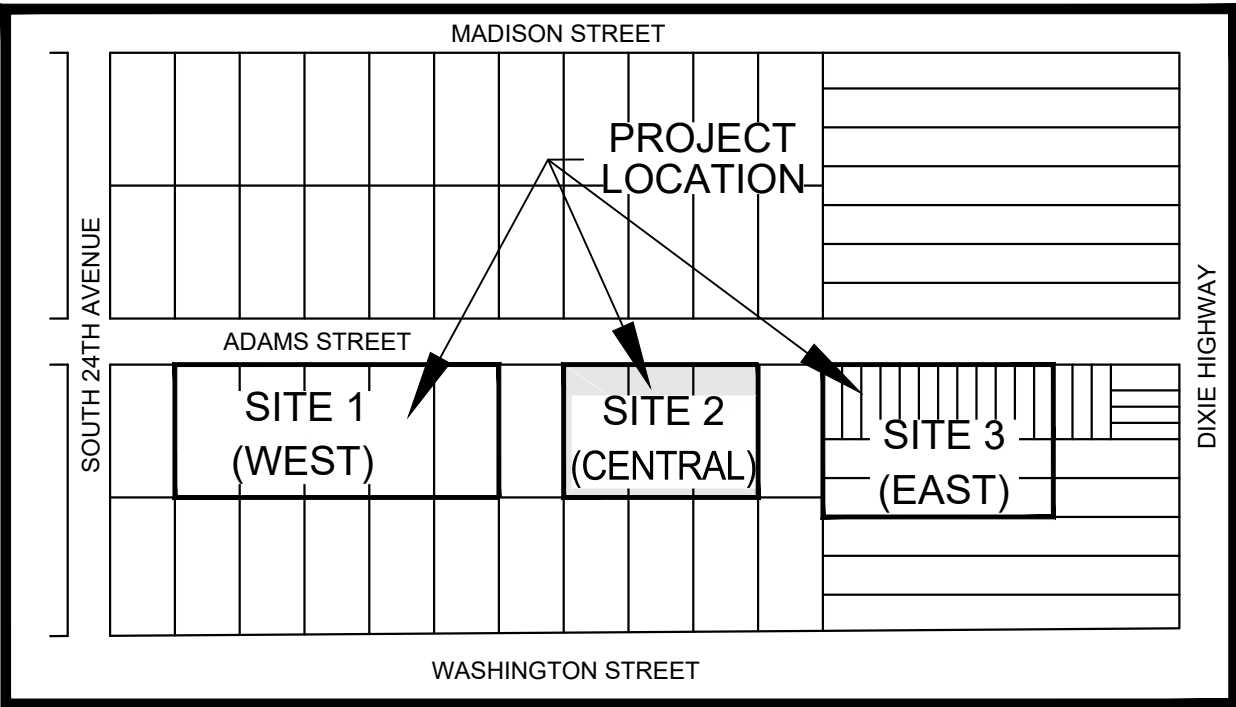
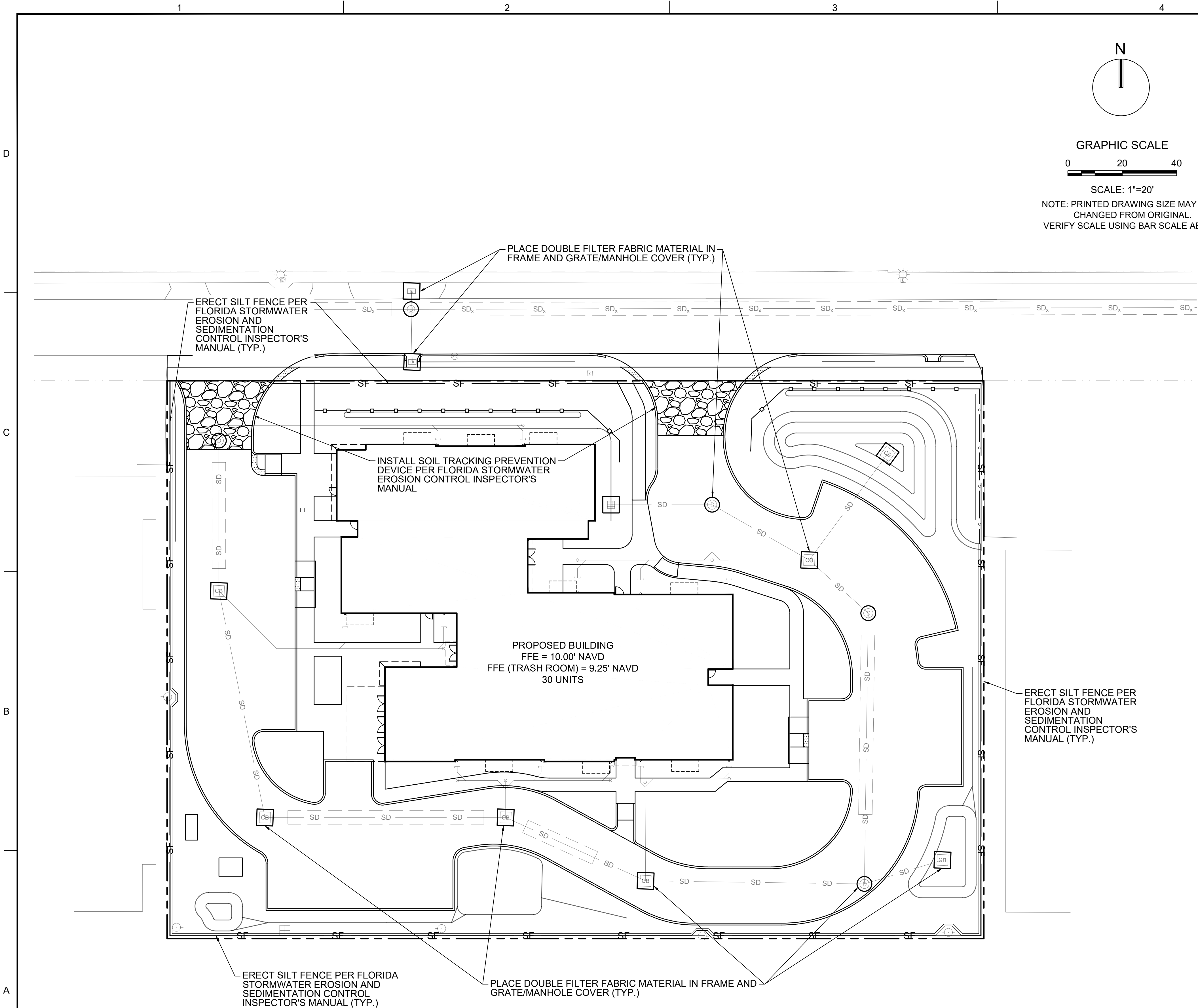
SHEET NUMBER

CG-101

PDB SUBMITTAL

PROJECT NO. 10067.00





VICINITY MAP
(NOT TO SCALE)

EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
3. CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
5. ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODDED, REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
6. REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

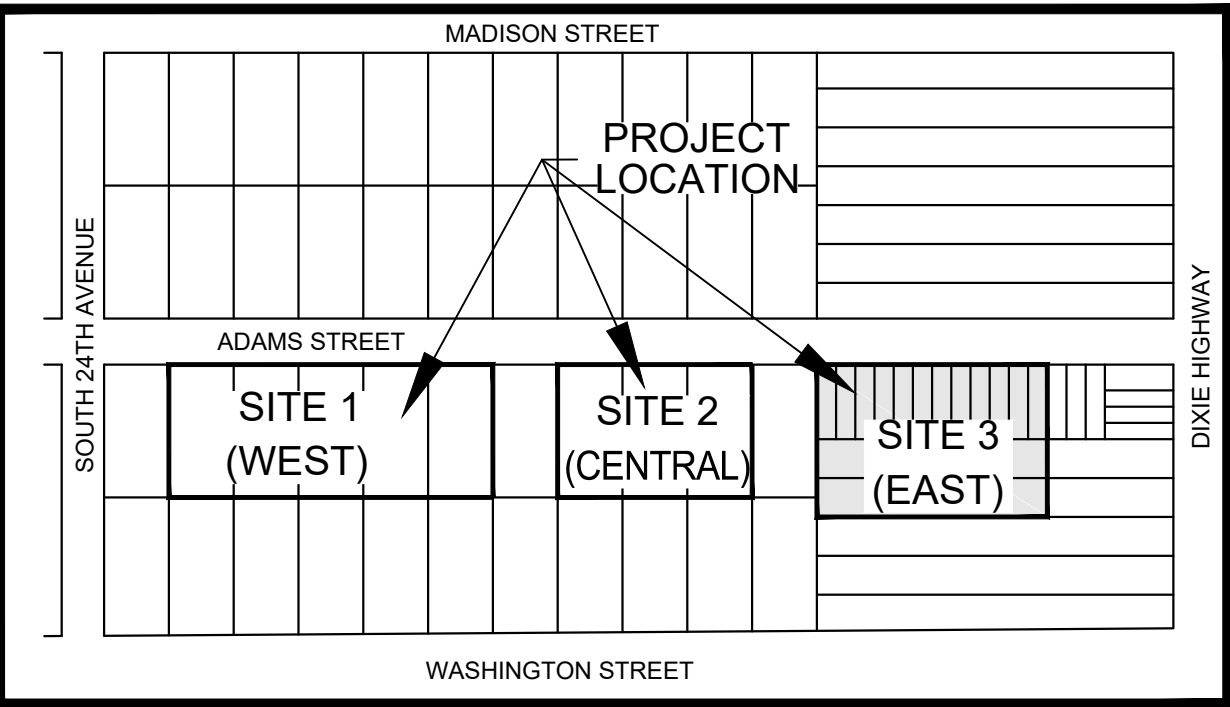
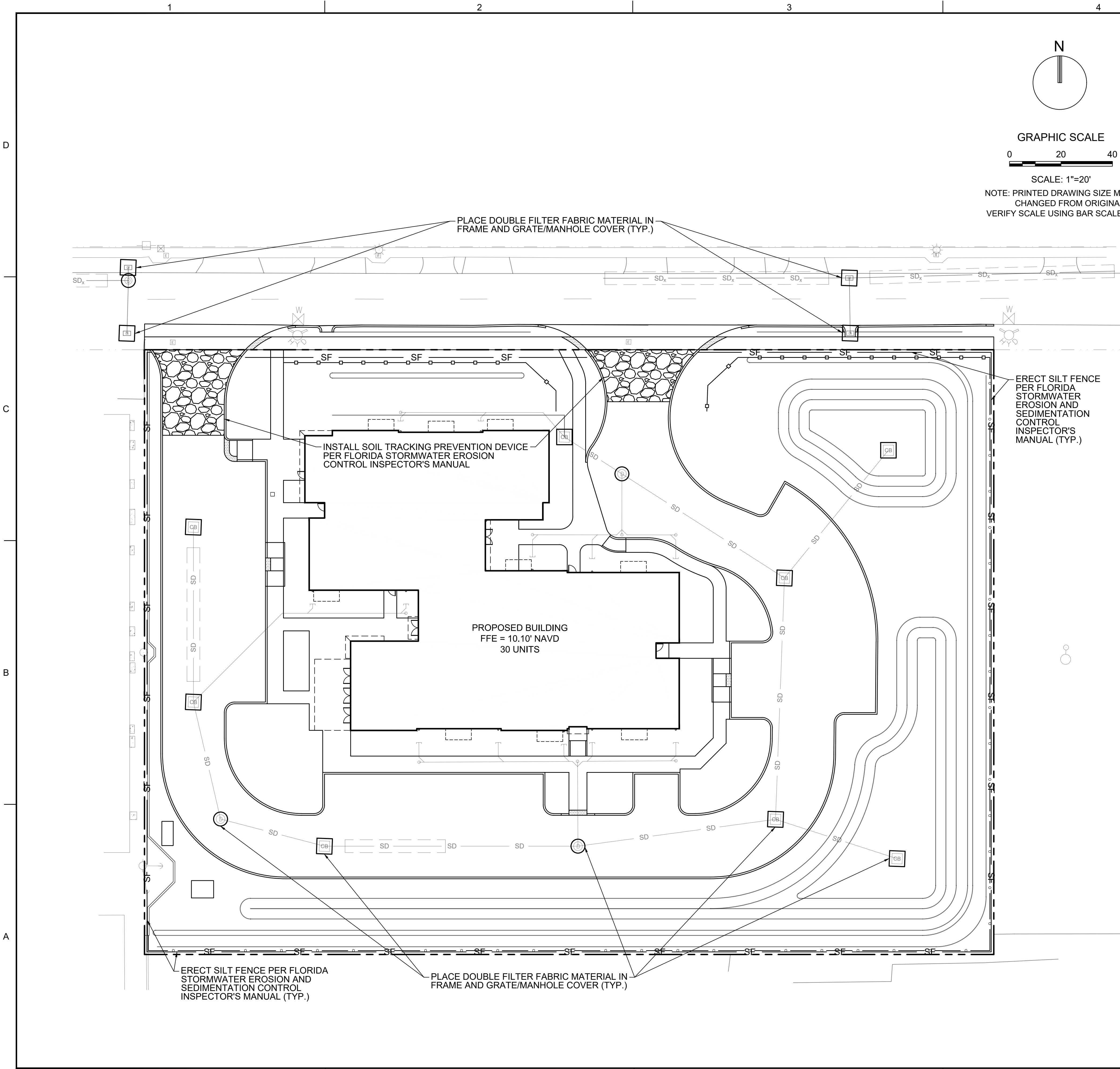
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
**EROSION CONTROL
PLAN SITE 2
(CENTRAL)**

SHEET NUMBER
CG-102

PDB SUBMITTAL

PROJECT NO. **10067.00**



VICINITY MAP
(NOT TO SCALE)

EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
3. CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
5. ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODDED, REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
6. REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

**EROSION CONTROL
PLAN SITE 3 (EAST)**

SHEET NUMBER

CG-103

PDB SUBMITTAL

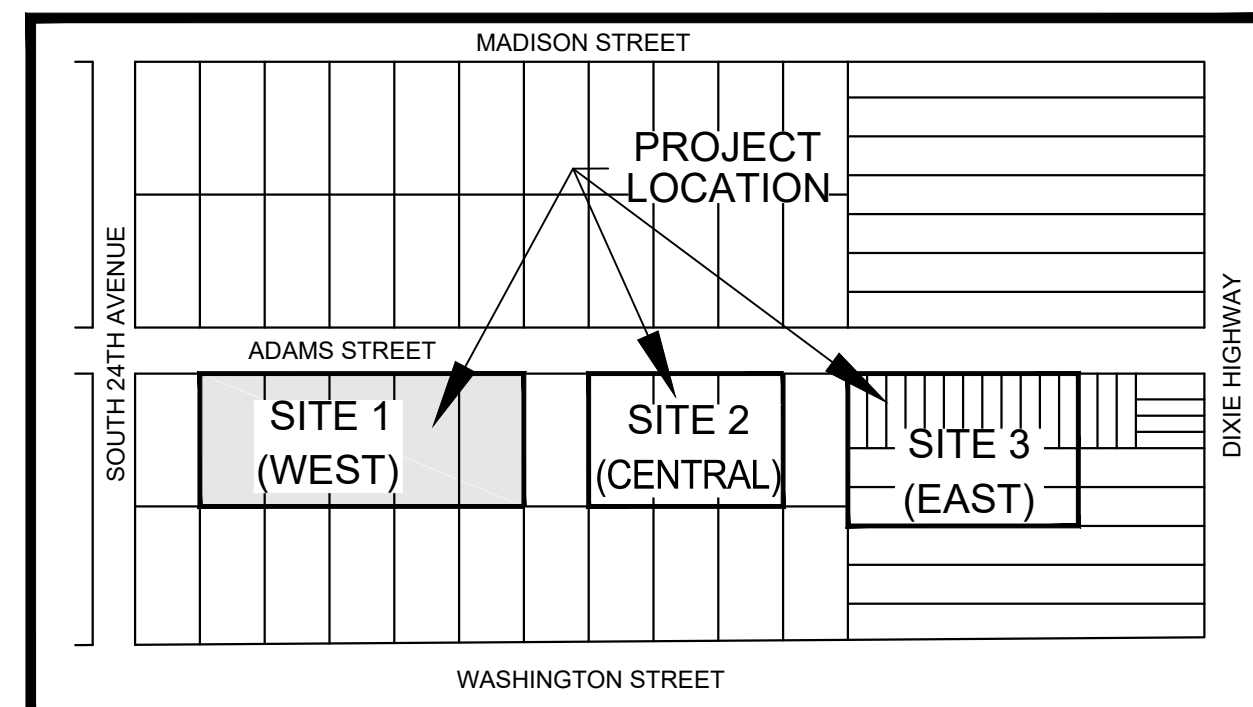
PROJECT NO. **10067.00**

The diagram illustrates a proposed drainage system layout. At the top, a dashed line represents the 'PROPOSED DRAINAGE MANHOLE (MH)'. Below it, a rectangular box labeled 'CB' represents the 'PROPOSED CATCH BASIN (CB)'. Further down, a horizontal line with a break in the middle is labeled 'SD', representing the 'PROPOSED EXFILTRATION TRENCH'. Below this, two points are marked with arrows: '9.80' and 'MEG', representing 'PROPOSED GRADE ELEVATION (NAVD)' and 'MATCH EXISTING GRADE (MEG)' respectively. Below these, two more points are marked with arrows: '10.30' and '9.80', representing 'PROPOSED TOP OF CURB ELEVATION (NAVD)' and 'PROPOSED PAVEMENT ELEVATION (NAVD)' respectively. Below these, a horizontal line represents the 'EXISTING UTILITY EASEMENT'. Below that, a dashed line represents the 'PROPERTY LINE'. Below the property line, a gray rectangular area represents the 'PROPOSED ASPHALT PAVEMENT'. At the bottom, a textured rectangular area represents the 'PROPOSED CONCRETE'.

1. ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD)
2. ALL ROOF DRAIN PIPES MUST BE INSTALLED AT A MINIMUM 1.00% SLOPE.
3. REFER TO THE PLUMBING/ROOF PLANS FOR ROOF DRAIN CONTINUATION.
4. CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE PROPOSED LIGHTING PLANS.
5. CONTRACTOR TO TAKE CARE NOT TO DAMAGE EXISTING PAVEMENT WHEN SAWCUTTING AND INSTALLING THE CURBING AND FLUMES ON ADAMS STREET. CONTRACTOR SHALL REPAIR ANY DAMAGED ASPHALT AND PAVEMENT MARKINGS TO THE ENGINEER'S SATISFACTION AT NO ADDITIONAL COST.
6. CONTRACTOR TO TAKE CARE NOT TO DAMAGE EXISTING TREES TO REMAIN WHEN INSTALLING THE CURBING AND REGRADING THE SWALE ALONG ADAMS STREET.
7. EXISTING 4' SIDEWALK ON ADAMS STREET TO BE REMOVED AND REPLACED WITH 5' CONCRETE SIDEWALK AS DENOTED BELOW.



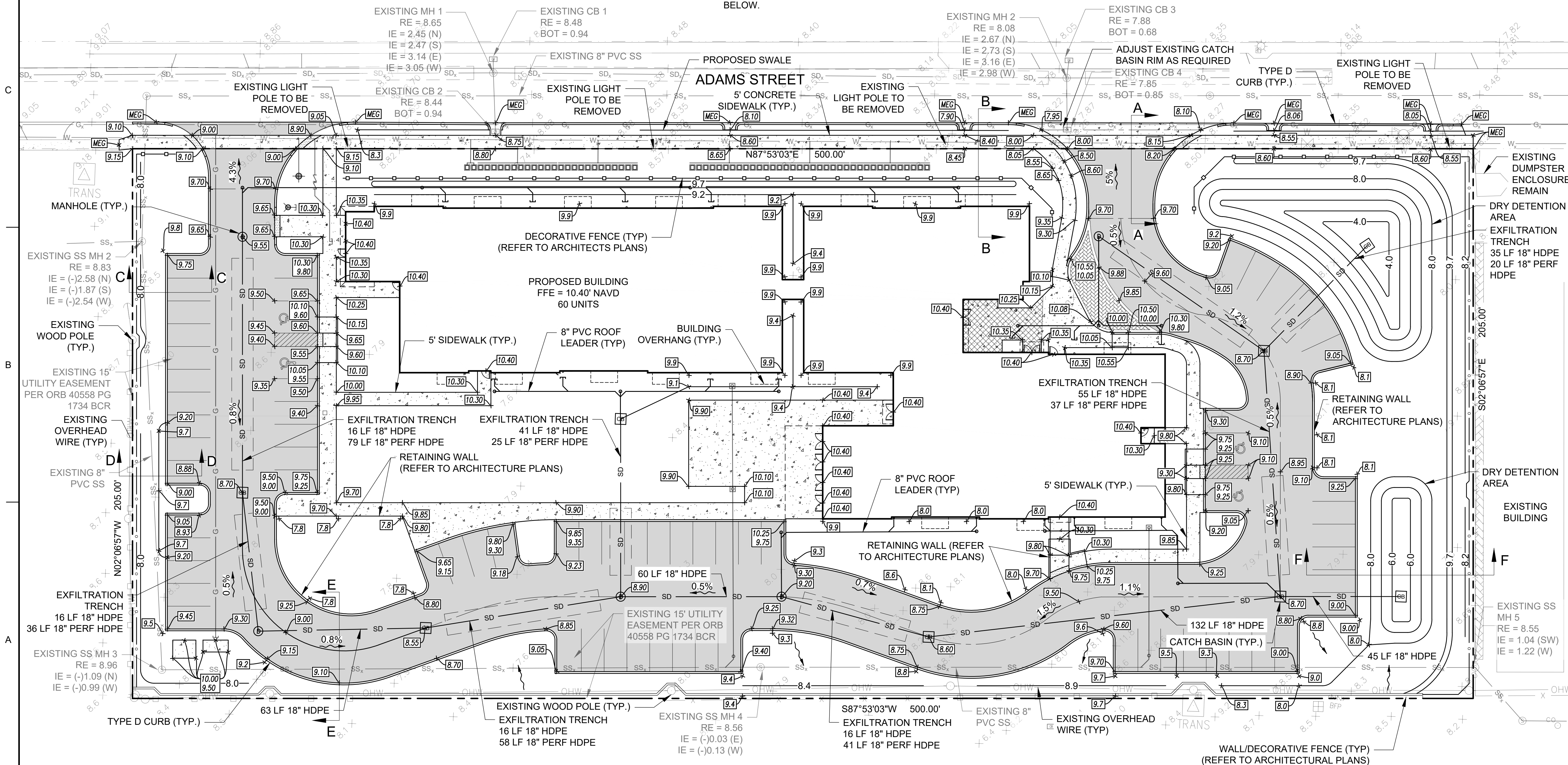
NOTE: PRINTED DRAWING SIZE MAY HAVE
CHANGED FROM ORIGINAL.
VERIFY SCALE USING BAR SCALE ABOVE.

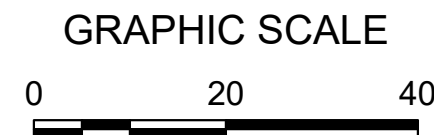


VICINITY MAP
(NOT TO SCALE)

Florida Certificate of
Authorization # - 7928

PROJECT NO.	10067.00
-------------	----------





The map illustrates the project location within a street grid. Madison Street runs horizontally across the top. Adams Street runs horizontally across the middle. Washington Street runs horizontally across the bottom. South 24th Avenue runs vertically on the left side, and Dixie Highway runs vertically on the right side. Three sites are identified: Site 1 (West) is located between Adams Street and Washington Street, to the west of the intersection with Washington Street. Site 2 (Central) is located at the intersection of Adams Street and Washington Street. Site 3 (East) is located between Adams Street and Washington Street, to the east of the intersection with Washington Street. A large arrow points from the text 'PROJECT LOCATION' to Site 2.

KEITH
& ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

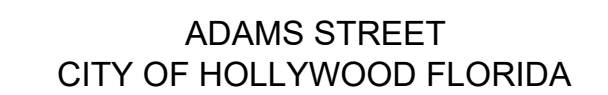
PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

[illegible]

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

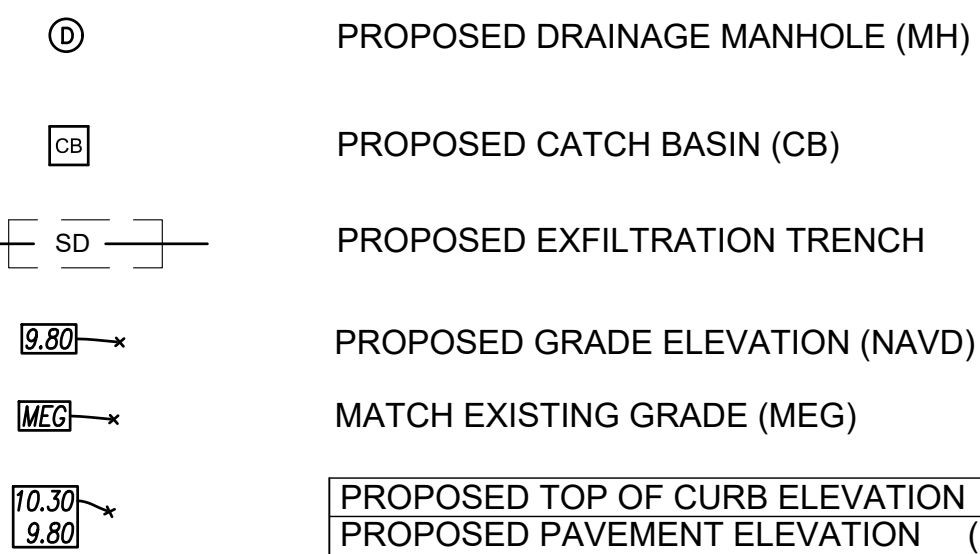
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
SCHEMATIC PAVING,
GRADING, AND
DRAINAGE SITE 2
(CENTRAL)

SHEET NUMBER
CP-102

PDB SUBMITTAL

PROJECT NO. 10067.00



PROPOSED TOP OF CURB ELEVATION (NAVD)
PROPOSED PAVEMENT ELEVATION (NAVD)

EXISTING UTILITY EASEMENT

EXISTING WATER MAIN

EXISTING SANITARY SEWER

EXISTING STORM DRAIN

EXISTING OVERHEAD LINE

EXISTING GAS LINE

EXISTING SANITARY SEWER MANHOLE

EXISTING DRAINAGE STRUCTURES

EXISTING SPOT ELEVATION

EXISTING FIRE HYDRANT

EXISTING GATE VALVE

PROPERTY LINE

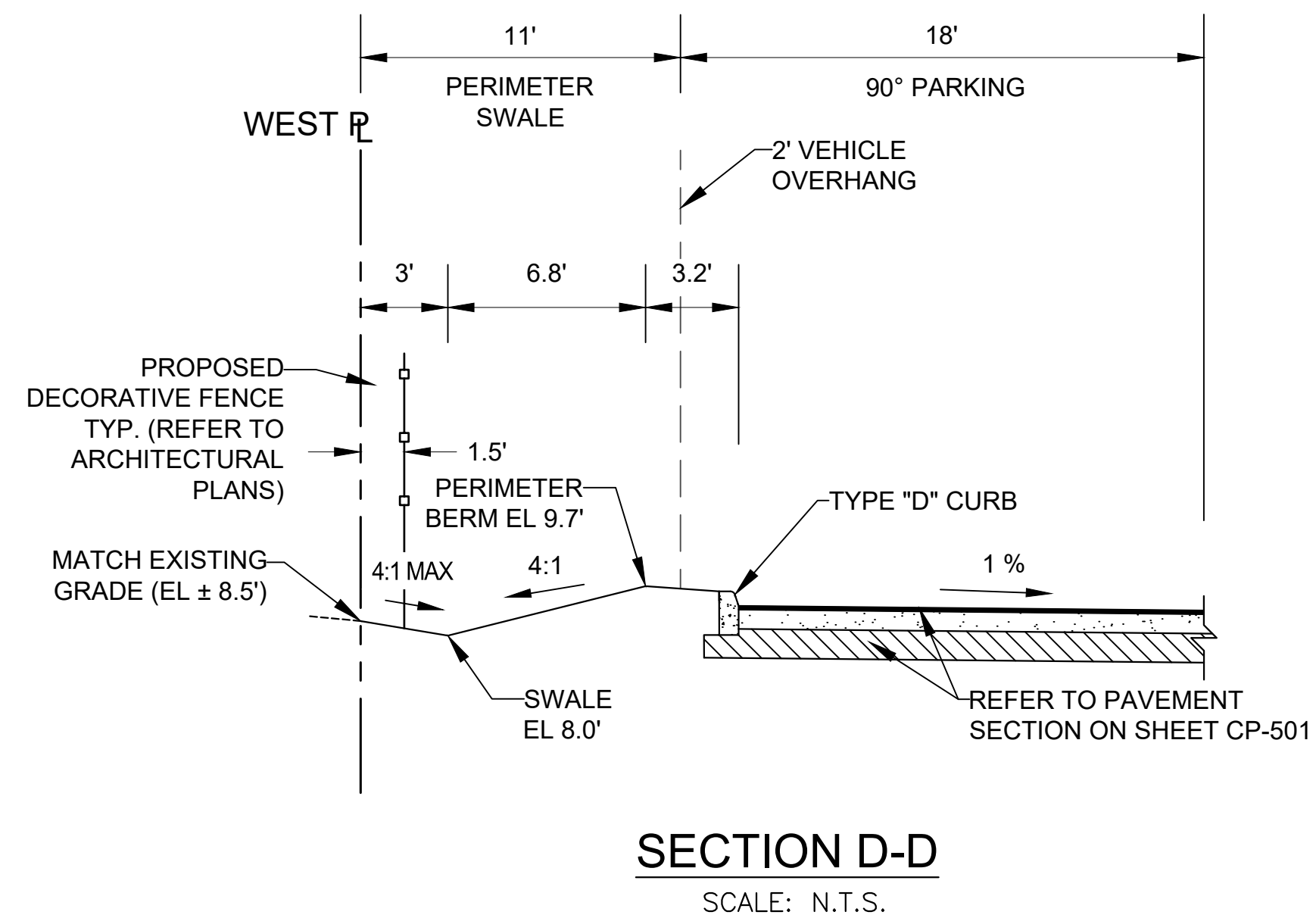
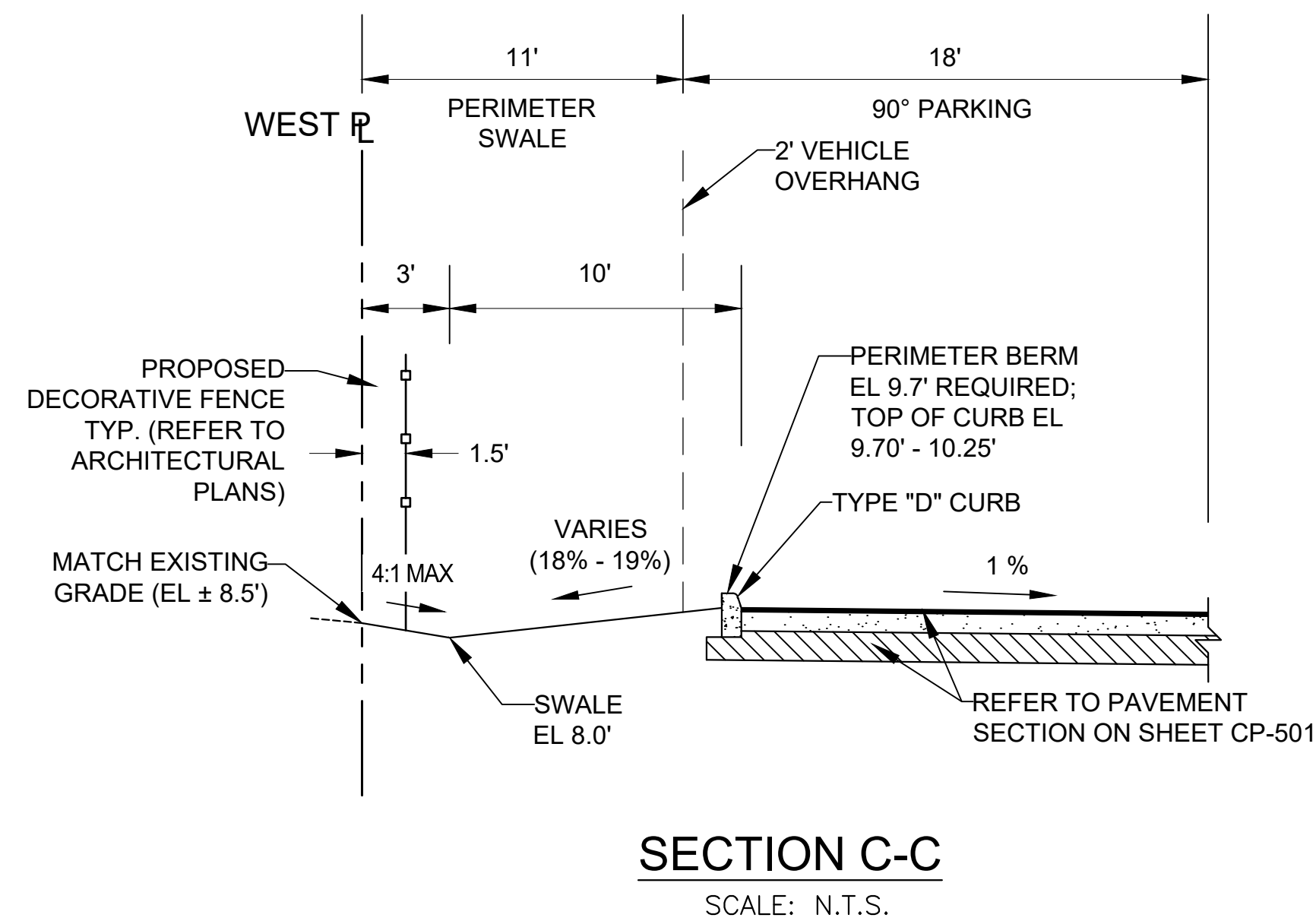
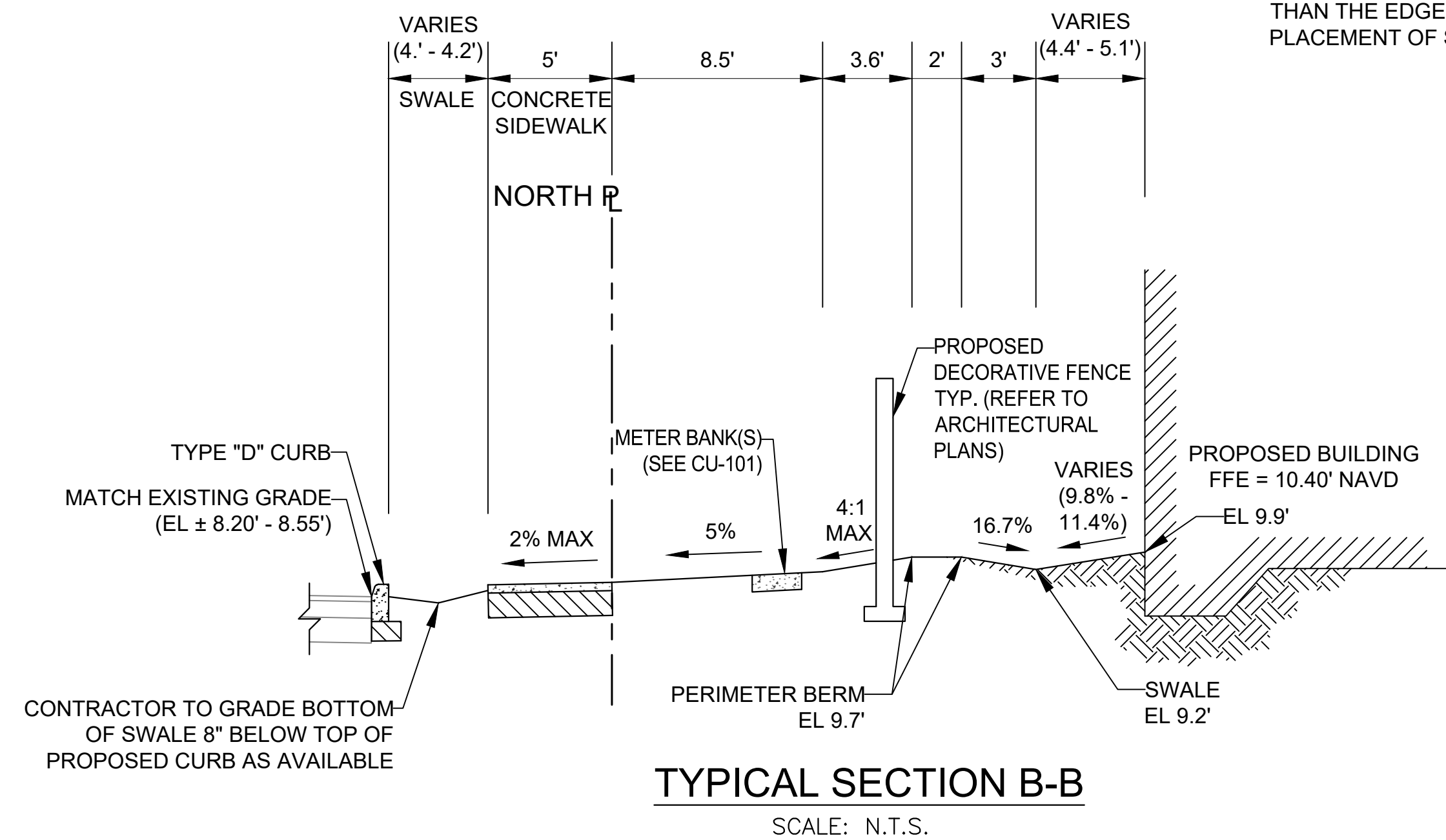
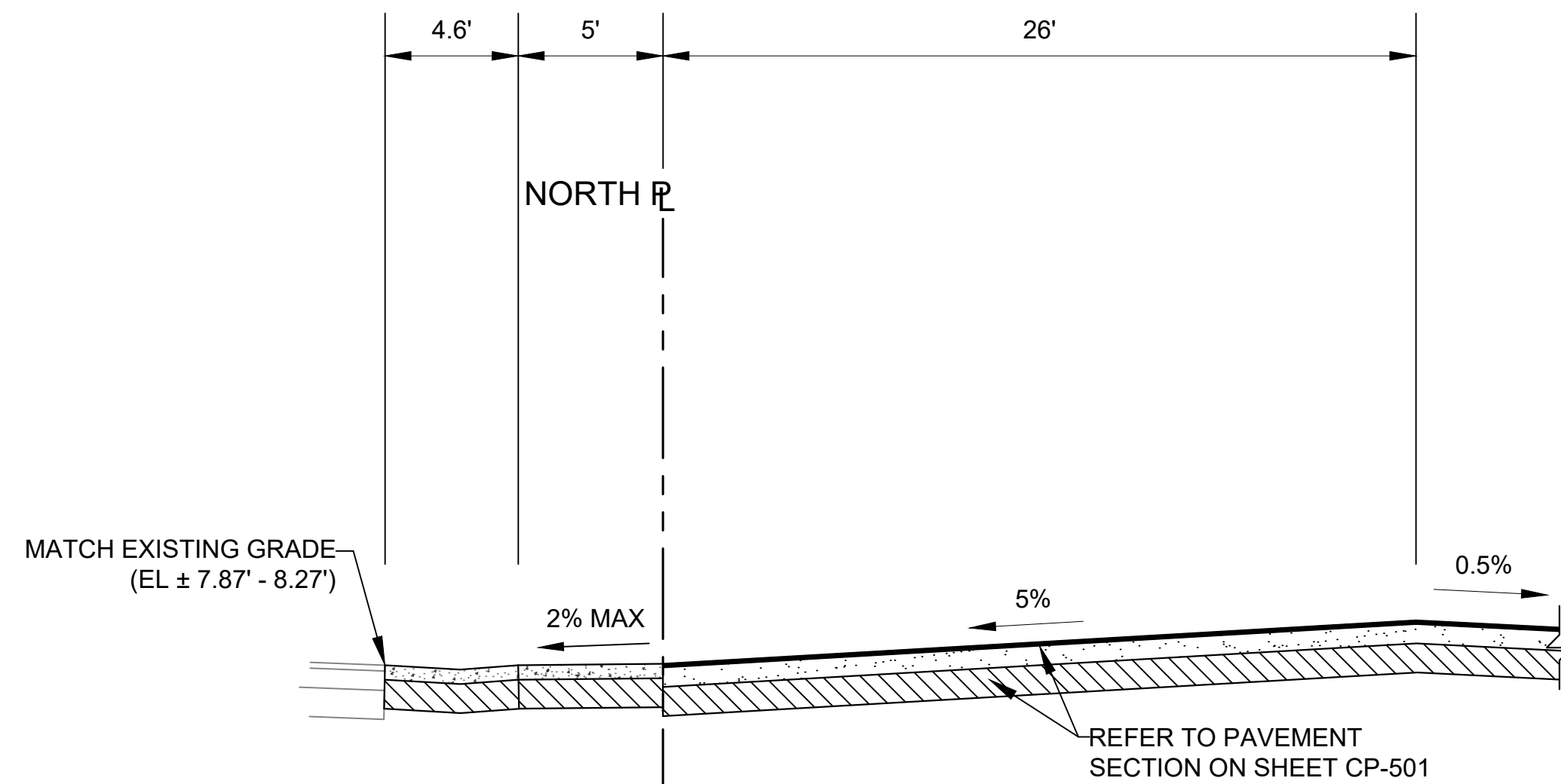
PROPOSED ASPHALT PAVEMENT

PROPOSED CONCRETE

(REFER TO HARDSCAPE PLANS)

NOTES

1. ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD)
2. ALL ROOF DRAIN PIPES MUST BE INSTALLED AT A MINIMUM 1.00% SLOPE.
3. REFER TO THE PLUMBING/ROOF PLANS FOR ROOF DRAIN CONTINUATION.
4. CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE PROPOSED LIGHTING PLANS.
5. CONTRACTOR TO TAKE CARE NOT TO DAMAGE EXISTING PAVEMENT WHEN SAWCUTTING AND INSTALLING THE CURBING AND FLUMES ON ADAMS STREET. CONTRACTOR SHALL REPAIR ANY DAMAGED ASPHALT AND PAVEMENT MARKINGS TO THE ENGINEER'S SATISFACTION AT NO ADDITIONAL COST.
6. CONTRACTOR TO TAKE CARE NOT TO DAMAGE EXISTING TREES TO REMAIN WHEN INSTALLING THE CURBING AND REGRADING THE SWALE ALONG ADAMS STREET.
7. EXISTING 4' SIDEWALK ON ADAMS STREET TO BE REMOVED AND REPLACED WITH 5' CONCRETE SIDEWALK AS DENOTED BELOW.



- GENERAL NOTES:

1. REFER TO SHEETS CP-101 THROUGH CP-103 FOR GRADES
2. GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO TO THREE INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD

KEITH
& ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

[illegible]

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED

DATE ISSUED: FEBRUARY 2018

DRAWN BY: MC

DESIGNED BY: SB

CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
SCHEMATIC PAVING
AND GRADING
SECTIONS SITE 1
(WEST)

SHEET NUMBER
CP-301

PDB SUBMITTAL

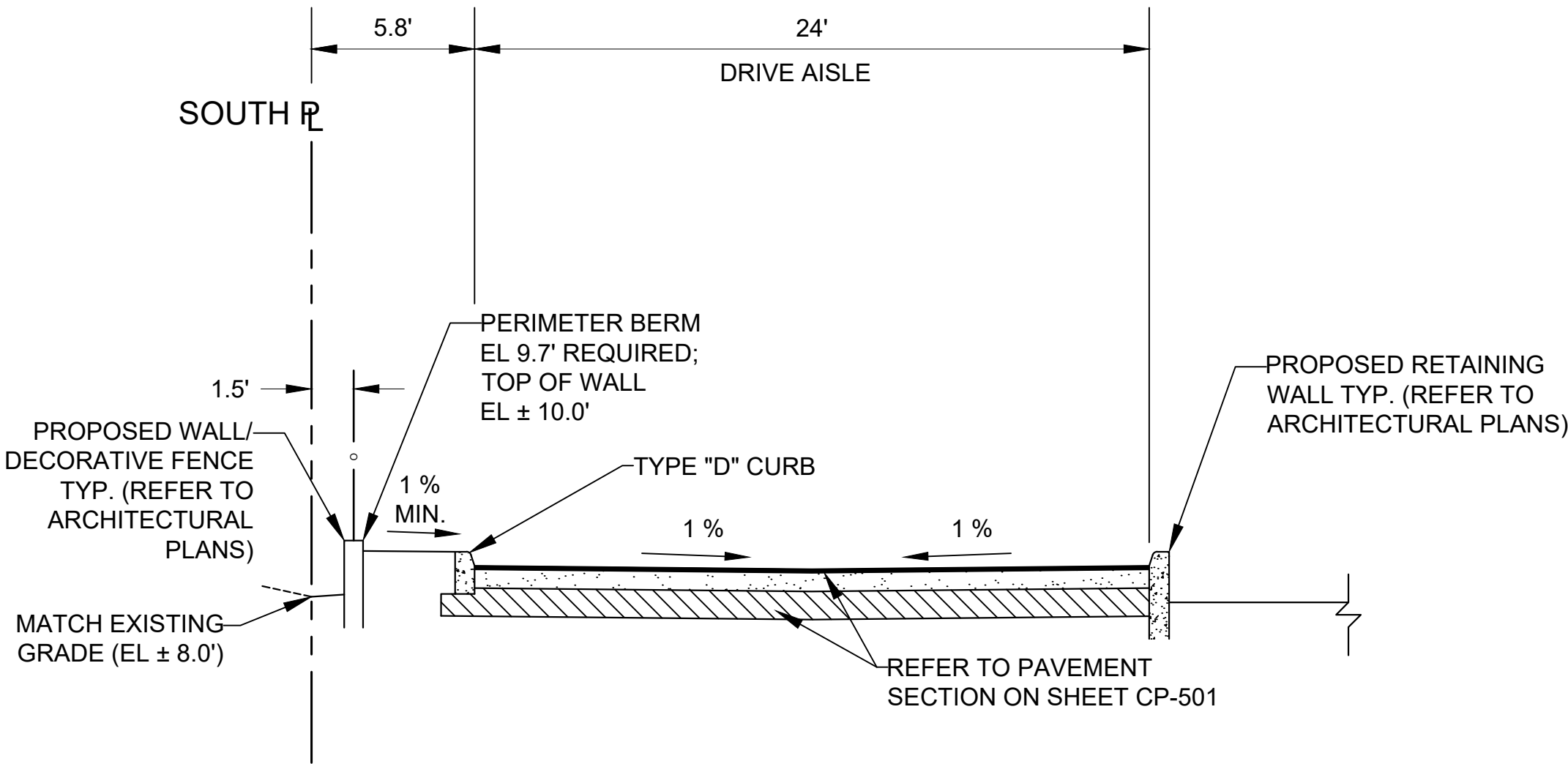
PROJECT NO. 10067.00

D

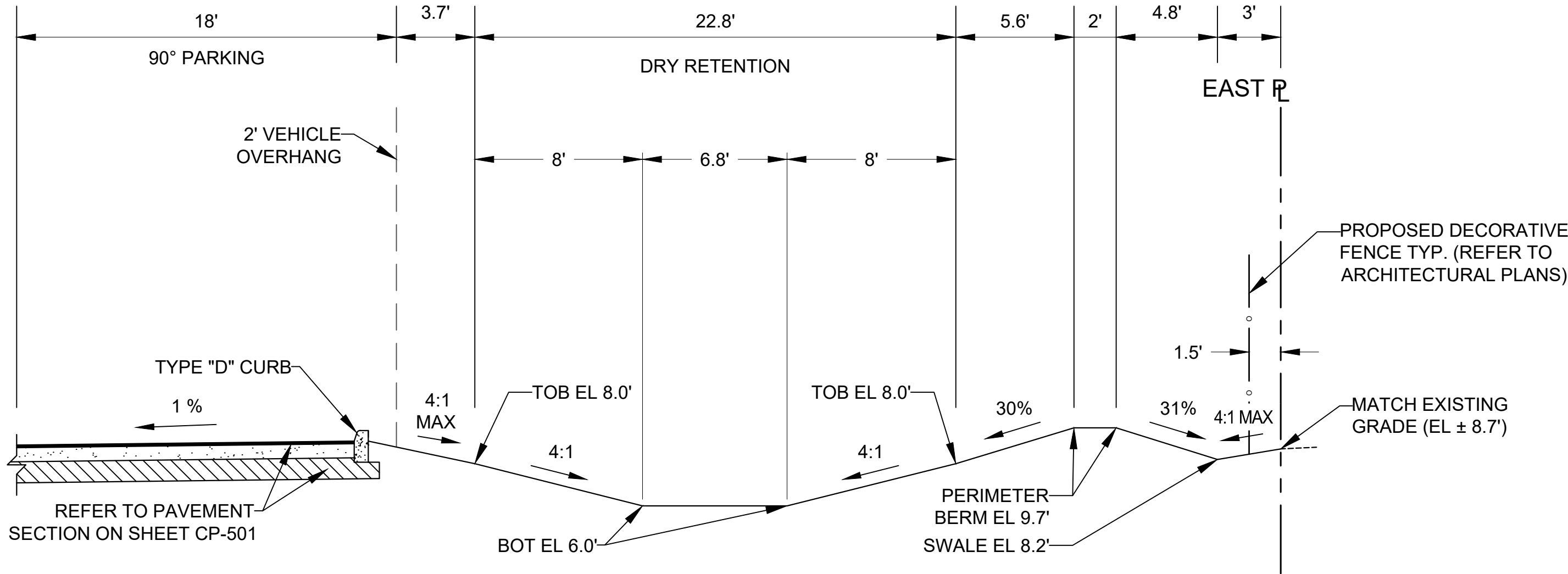
C

B

A



SECTION E-E
SCALE: N.T.S.



SECTION F-F
SCALE: N.T.S.

GENERAL NOTES:

1. REFER TO SHEETS CP-101 THROUGH CP-103 FOR GRADES
2. GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO TO THREE INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

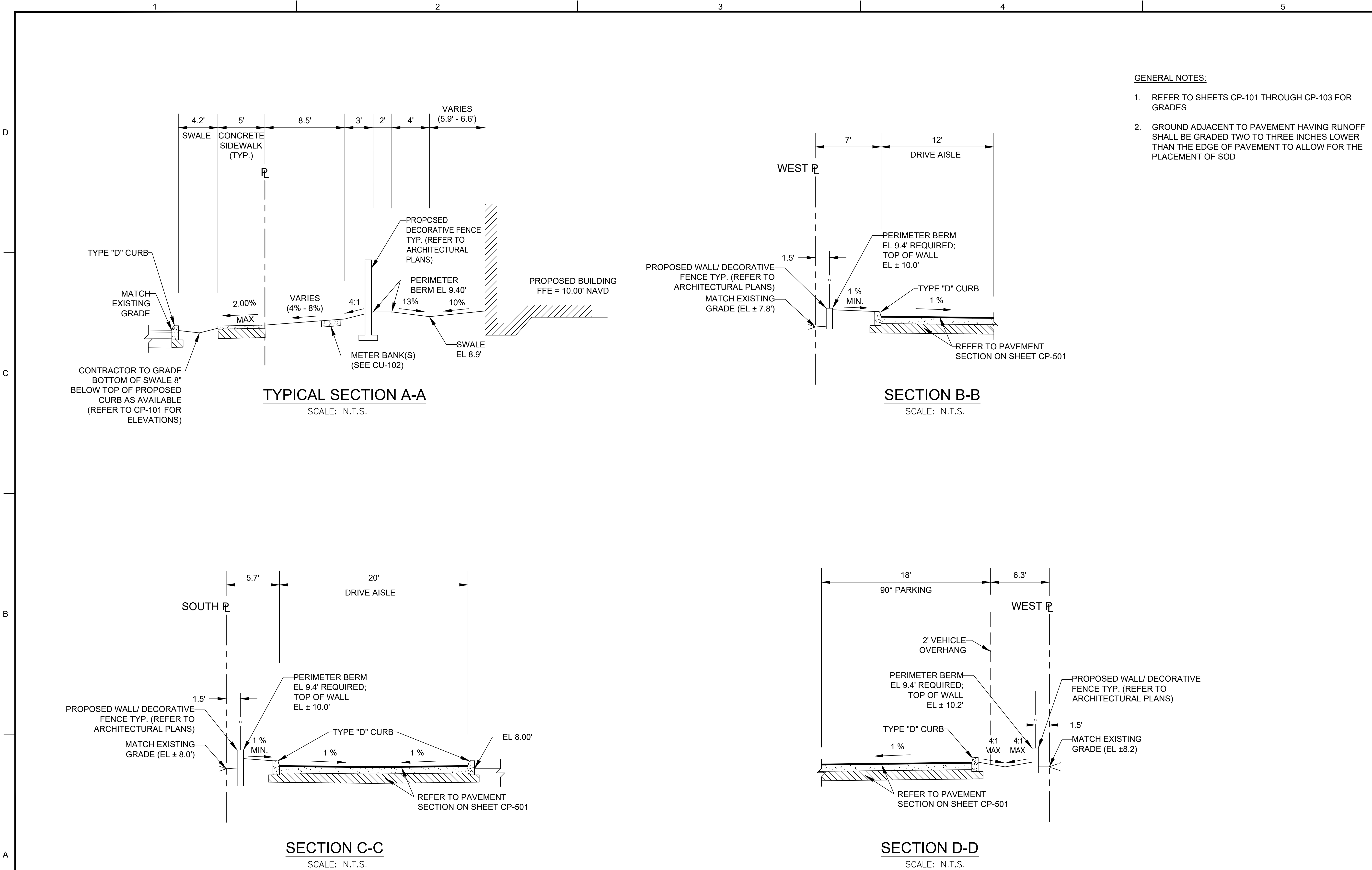
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
**SCHEMATIC PAVING
AND GRADING
SECTIONS SITE 1
(WEST)**

SHEET NUMBER
CP-302

PDB SUBMITTAL

PROJECT NO. **10067.00**



- GENERAL NOTES:
1. REFER TO SHEETS CP-101 THROUGH CP-103 FOR GRADES
 2. GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO TO THREE INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
**SCHEMATIC PAVING
AND GRADING
SECTIONS SITE 2
(CENTRAL)**

SHEET NUMBER
CP-303

PDB SUBMITTAL

PROJECT NO. **10067.00**

Drawing name: N:\1010067.00 - Pinnacle at Peacefield - PHG\Engineering\Cadd\10067.00 CP-301 Paving & Grading Sections.dwg Layout Name: CP-303 Printed on: Mar 30, 2018 - 2:18pm



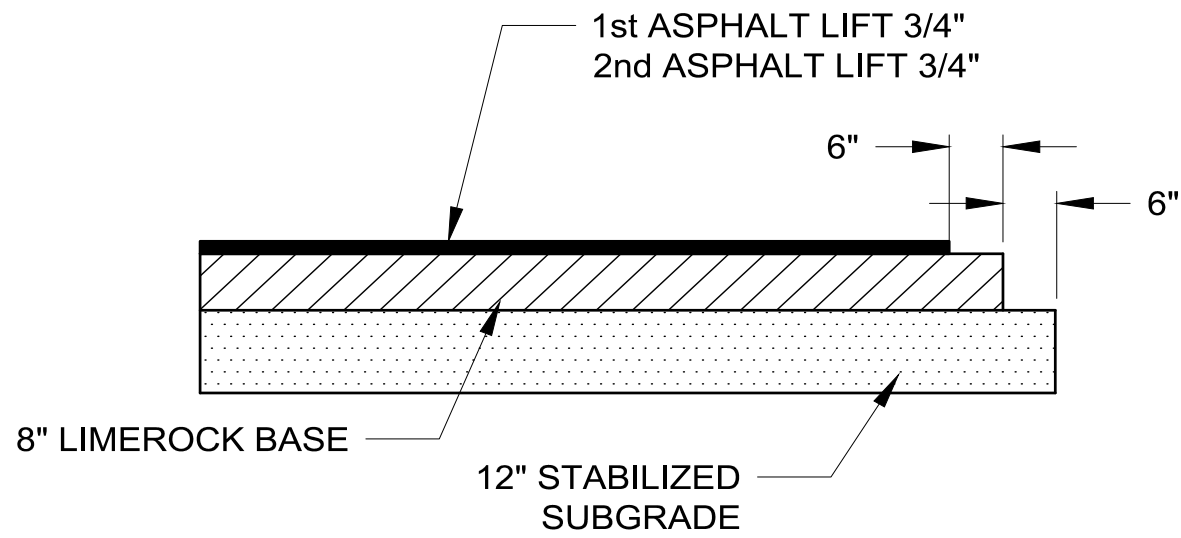
- Florida Certificate of
Authorization # - 7928

D

C

B

A



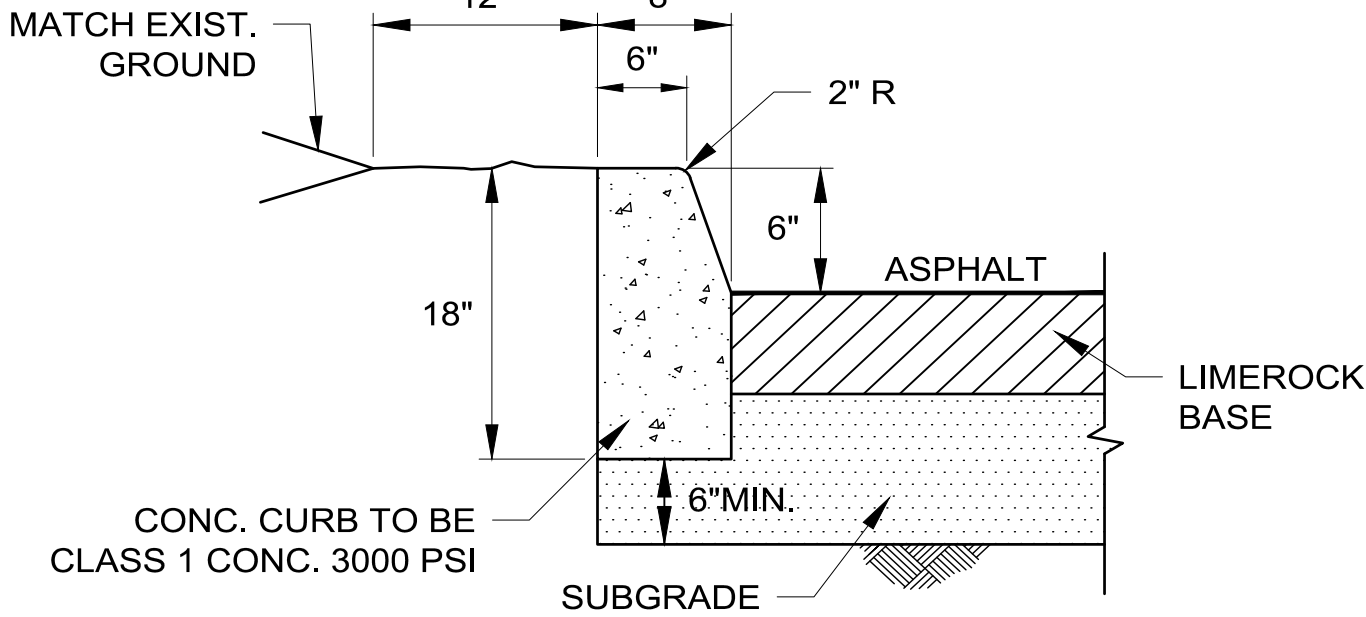
ASPHALTIC CONCRETE VEHICULAR:
FIRST LIFT - 3/4" FDOT - S-III OR APPROVED EQUAL
SECOND (FINAL) LIFT - 3/4" FDOT - S-III OR APPROVED EQUAL
ASPHALT SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS
OF FDOT STANDARDS SPECIFICATIONS SECTION 331.
SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL FINAL
LANDSCAPE/HARDSCAPE HAS BEEN INSTALLED.

PRIME AND TACK COAT:
LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS
OF FDOT STANDARDS SPECIFICATIONS SECTION 300.

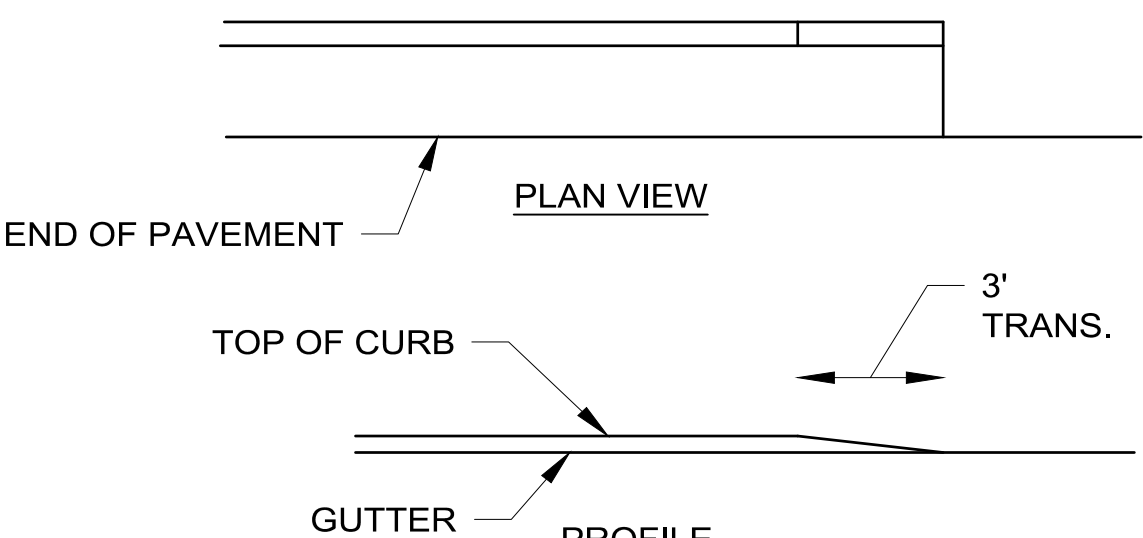
APPLICATION RATES:
PRIME COAT - 0.10 GALLONS PER SQ. YD.
TACK COAT - 0.08 GALLONS PER SQ. YD.

BASE:
8" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY
(AASHTO T-180), LIMEROCK BASE TO CONFORM WITH THE
REQUIREMENTS OF FDOT SPECIFICATIONS SECTIONS 200 AND 911.

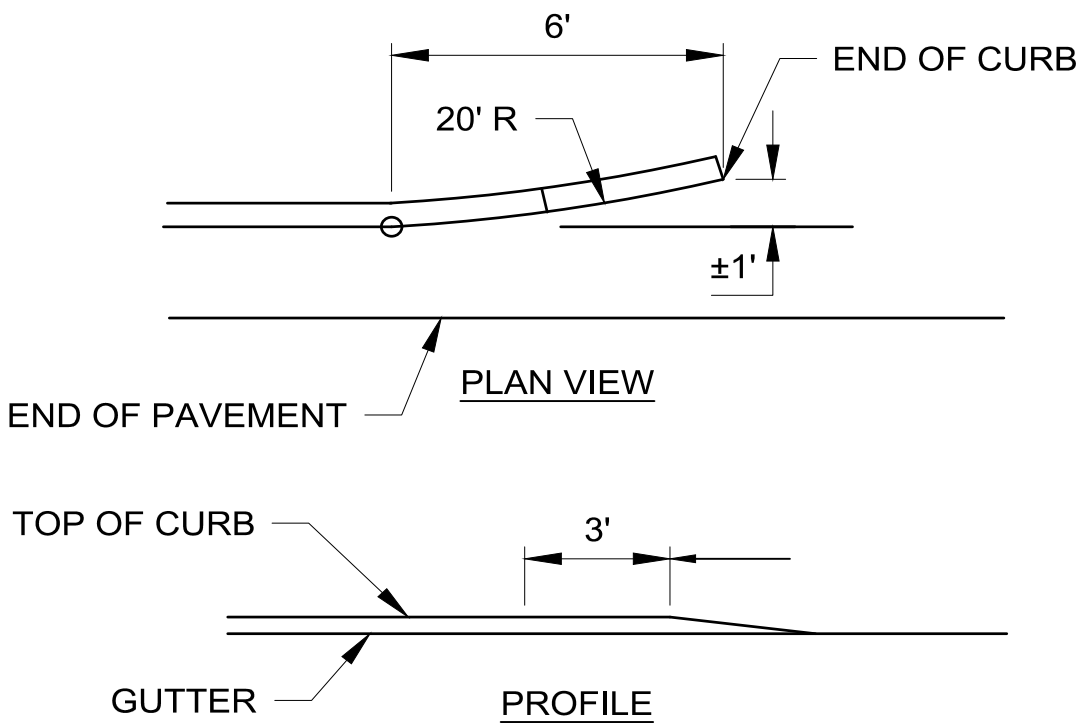
SUBGRADE:
12" STABILIZED SUBGRADE COMPACTED TO 98% OF MAXIMUM
DENSITY (AASHTO T-180); MINIMUM LBR = 40.



NOTE:
ALL TYPE "D" CURB SHALL BE IN ACCORDANCE WITH
THE STANDARD REQUIREMENTS OF FDOT INDEX 300.



STRAIGHT END



FLARED END

CURB & GUTTER FLARED AND STRAIGHT ENDS

1

ASPHALT PAVEMENT DETAIL

SCALE: NOT TO SCALE

2

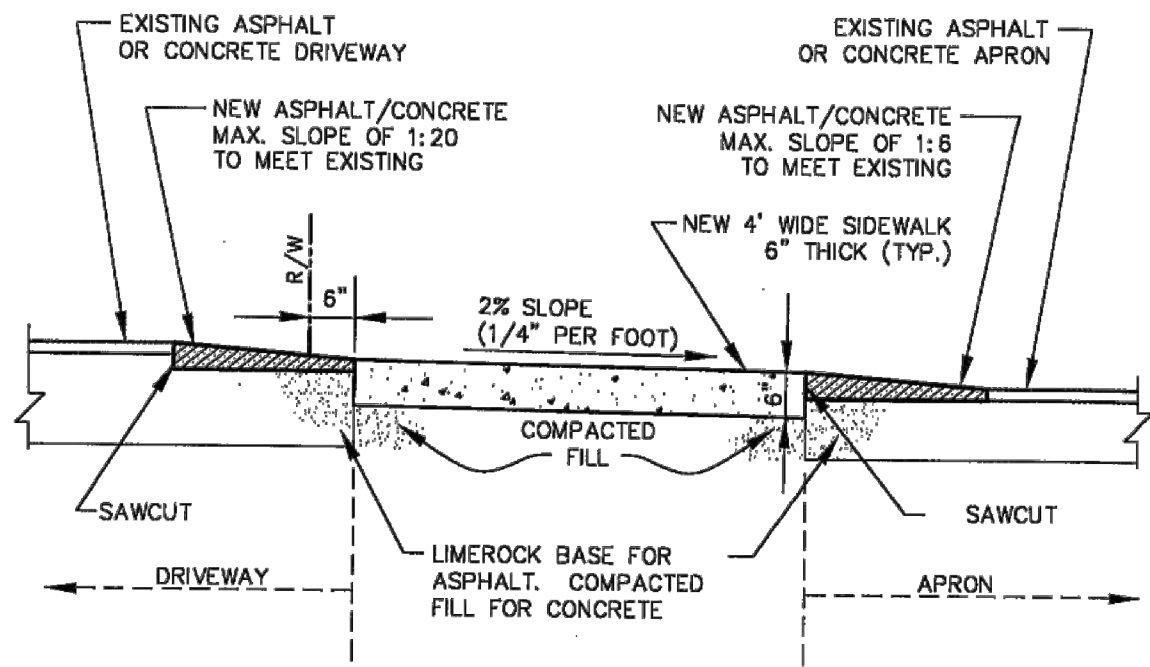
TYPE 'D' CURB DETAIL

SCALE: NOT TO SCALE

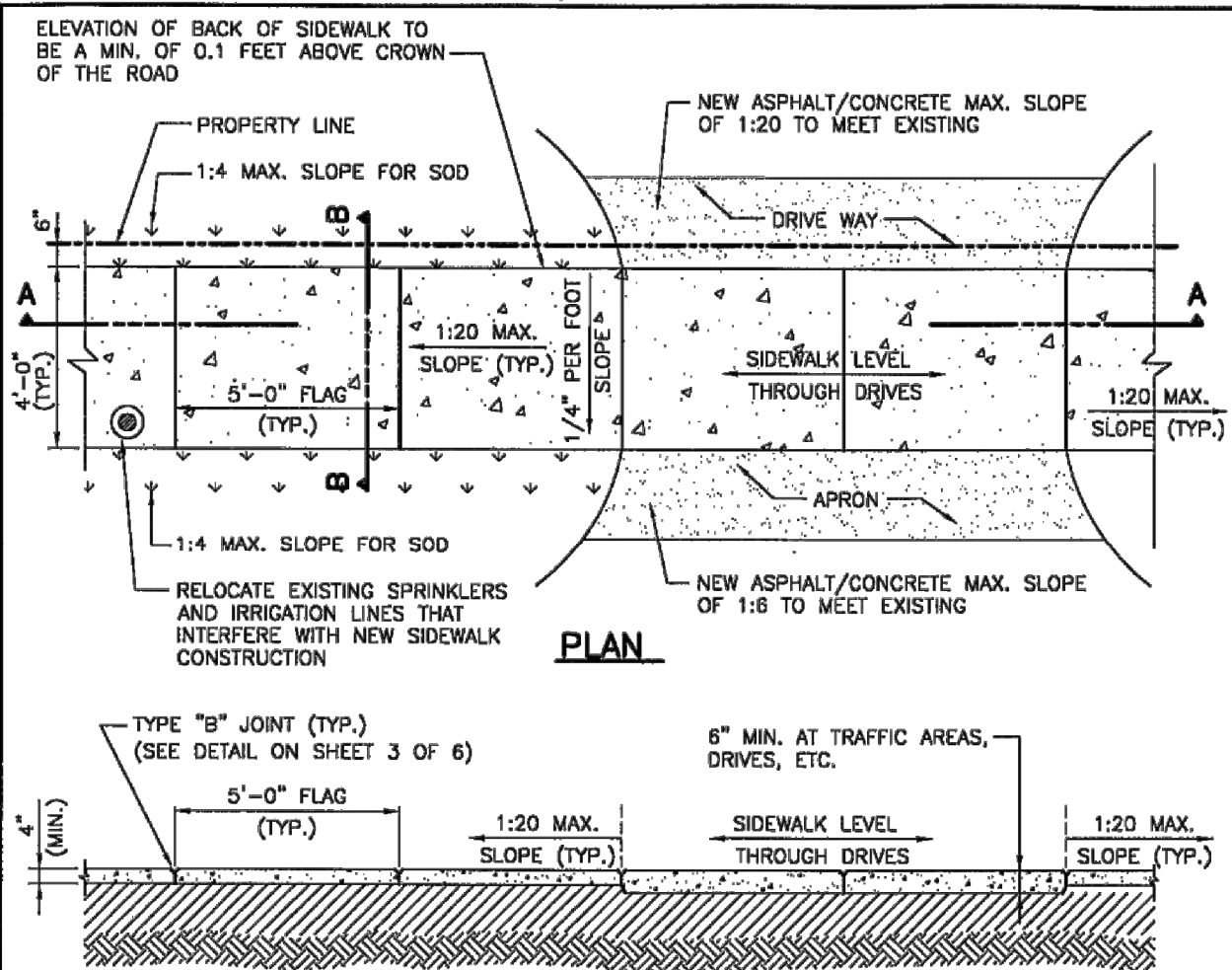
3

CURB & GUTTER FLARED AND STRAIGHT ENDS

SCALE: NOT TO SCALE



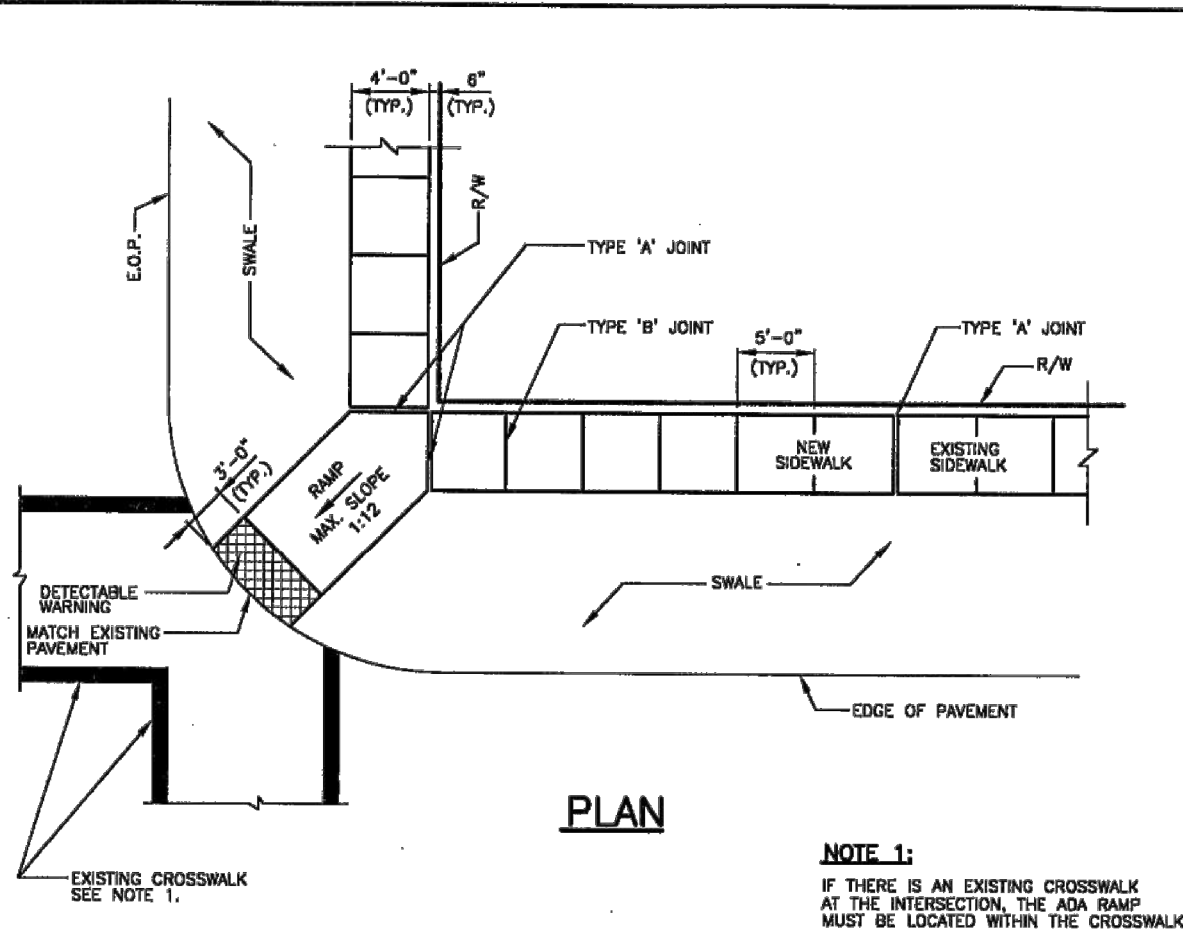
SECTIONAL VIEW AT DRIVES



SECTION A-A

SECTION B-B

NOTE:
ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE
CONTRACT SPECIFICATIONS.
LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.



NOTE 1:
IF THERE IS AN EXISTING CROSSWALK
AT THE INTERSECTION, THE ADA RAMP
MUST BE LOCATED WITHIN THE CROSSWALK.

SIDEWALK JOINTS

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.D. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALKS ADJUT CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.
'B'	5'-0" CENTER TO CENTER ON SIDEWALKS.

CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF ECONOMIC DEVELOPMENT AND DEVELOPMENT ADMINISTRATION ENGINEERING DIVISION STANDARD DETAIL SECTIONAL VIEW AT DRIVES	DESIGNED BY	SCALE	N.T.S.	APPROVED BY
	DRAWN BY	PROJECT No.		CITY ENGINEER
	CHECKED BY	ACCT. No.		
	DATE	CAD/DWG No.	SFTY2-SWKDET	1 OF 6 SHEETS

CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF ECONOMIC DEVELOPMENT AND DEVELOPMENT ADMINISTRATION ENGINEERING DIVISION STANDARD DETAIL SIDEWALK CONSTRUCTION DETAIL	DESIGNED BY	SCALE	N.T.S.	APPROVED BY
	DRAWN BY	PROJECT No.		CITY ENGINEER
	CHECKED BY	ACCT. No.		
	DATE	CAD/DWG No.	SFTY2-SWKDET	2 OF 6 SHEETS

CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF ECONOMIC DEVELOPMENT AND DEVELOPMENT ADMINISTRATION ENGINEERING DIVISION STANDARD DETAIL SIDEWALK CONSTRUCTION DETAIL	DESIGNED BY	SCALE	N.T.S.	APPROVED BY
	DRAWN BY	PROJECT No.		CITY ENGINEER
	CHECKED BY	ACCT. No.		
	DATE	CAD/DWG No.	SFTY2-SWKDET	3 OF 6 SHEETS

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

SHEET TITLE
PAVING, GRADING,
AND DRAINAGE
DETAILS

SHEET NUMBER
CP-501

PDB SUBMITTAL

PROJECT NO. 10067.00



DETECTABLE WARNING DETAIL
("TRUNCATED DOMES")



Florida Certificate of
Authorization # - 7928

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

DESIGNED BY:	SD
CHECKED BY:	IT

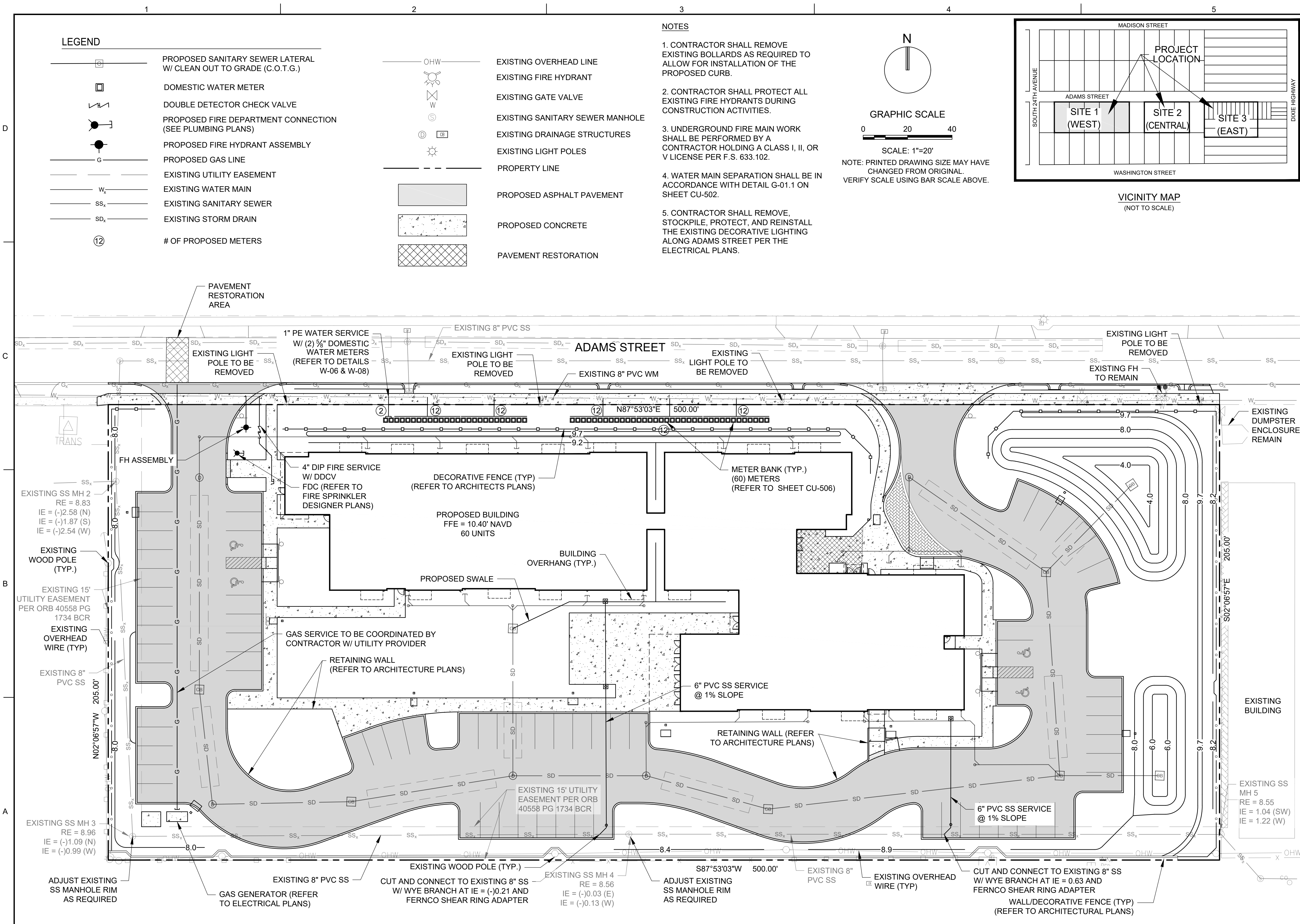
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

PAVING, GRADING, AND DRAINAGE DETAILS

CP-503

PDB SUBMITTAL

PROJECT NO. 10067.00

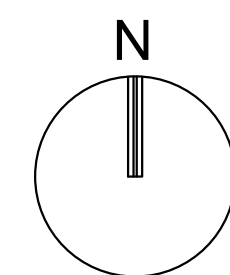


LEGEND

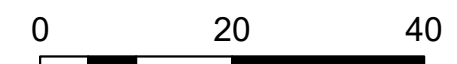
- PROPOSED SANITARY SEWER LATERAL W/ CLEAN OUT TO GRADE (C.O.T.G.)
- DOMESTIC WATER METER
- DOUBLE DETECTOR CHECK VALVE
- PROPOSED FIRE DEPARTMENT CONNECTION (SEE PLUMBING PLANS)
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED GAS LINE
- EXISTING UTILITY EASEMENT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- # OF PROPOSED METERS
- EXISTING OVERHEAD LINE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING DRAINAGE STRUCTURES
- EXISTING LIGHT POLES
- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PAVEMENT RESTORATION

NOTES

- CONTRACTOR SHALL REMOVE EXISTING BOLLARDS AS REQUIRED TO ALLOW FOR INSTALLATION OF THE PROPOSED CURB.
- CONTRACTOR SHALL PROTECT ALL EXISTING FIRE HYDRANTS DURING CONSTRUCTION ACTIVITIES.
- UNDERGROUND FIRE MAIN WORK SHALL BE PERFORMED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER F.S. 633.102.
- WATER MAIN SEPARATION SHALL BE IN ACCORDANCE WITH DETAIL G-01.1 ON SHEET CU-502.
- CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE ELECTRICAL PLANS.

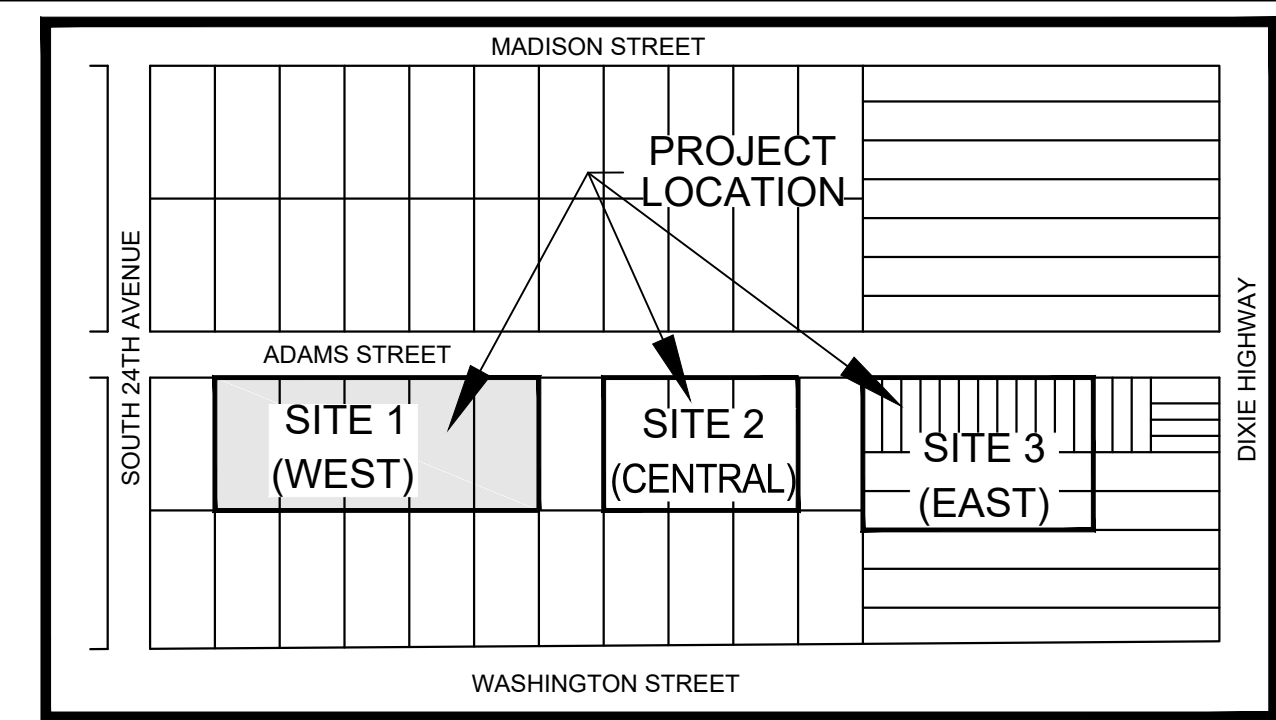


GRAPHIC SCALE



SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP

(NOT TO SCALE)



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

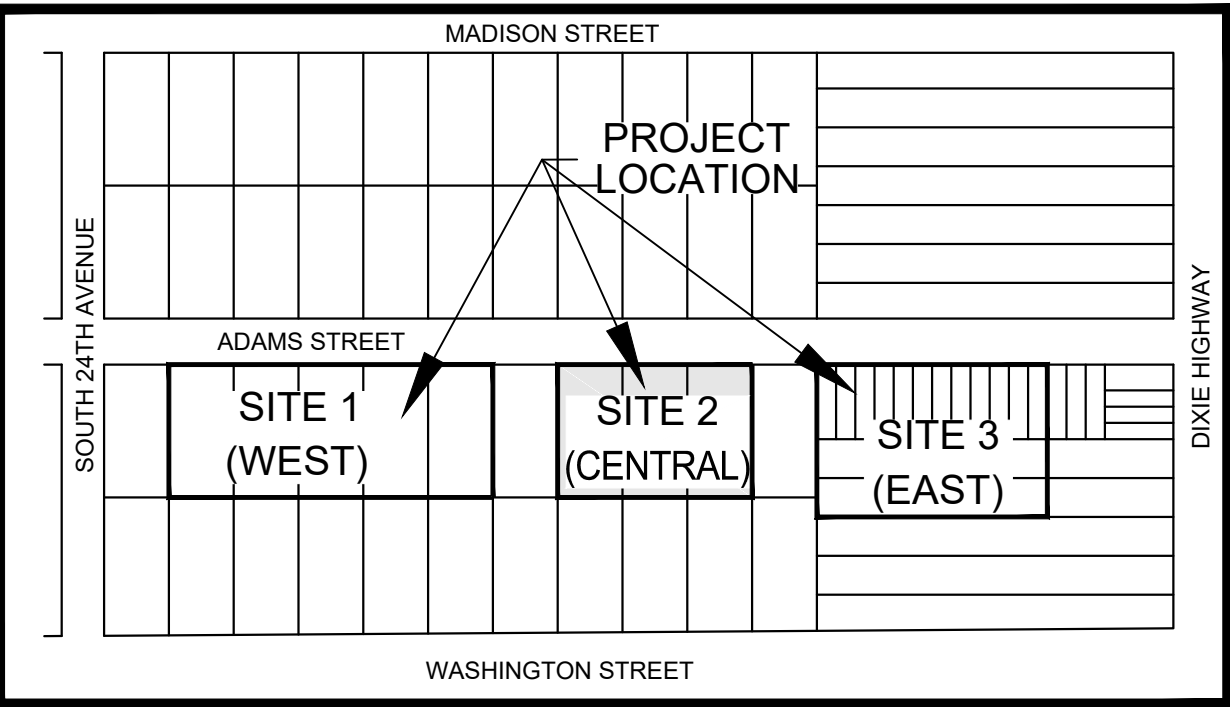
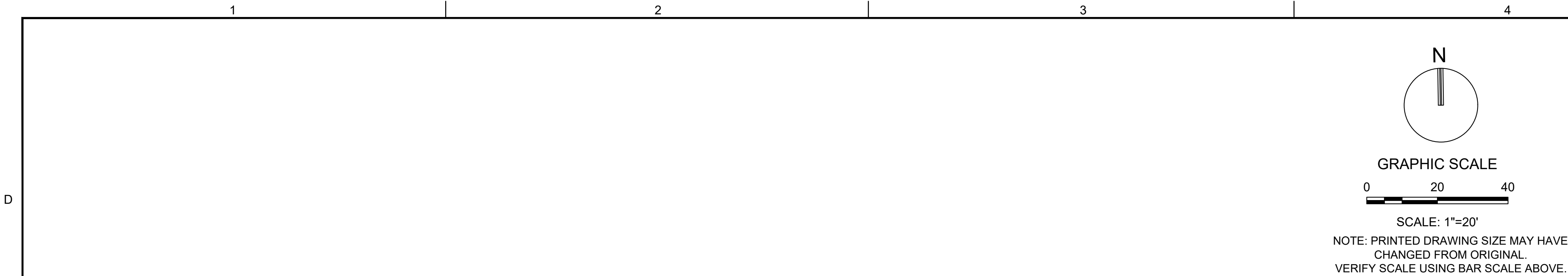
SHEET TITLE
SCHEMATIC WATER
AND SEWER PLAN
SITE 1 (WEST)

SHEET NUMBER
CU-101

PDB SUBMITTAL

PROJECT NO. 10067.00

Drawing name: A:\10067.00 - Pinnacle at Peacefield - PHCE\Engineering\Cadd\10067.00 CU-101 W&S Plans.dwg Plotted on: Mar 30, 2018 - 11:58am Plotted by: mcarlissa Layout Name: CU-101



VICINITY MAP
(NOT TO SCALE)

LEGEND

	PROPOSED SANITARY SEWER LATERAL W/ CLEAN OUT TO GRADE (C.O.T.G.)
	DOMESTIC WATER METER
	DOUBLE DETECTOR CHECK VALVE
	PROPOSED FIRE DEPARTMENT CONNECTION (SEE PLUMBING PLANS)
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED GAS LINE
	EXISTING UTILITY EASEMENT
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING OVERHEAD LINE
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING DRAINAGE STRUCTURES
	EXISTING LIGHT POLES
	PROPERTY LINE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE
	PAVEMENT RESTORATION
	# OF PROPOSED METERS

NOTES

1. CONTRACTOR SHALL REMOVE EXISTING BOLLARDS AS REQUIRED TO ALLOW FOR INSTALLATION OF THE PROPOSED CURB.
2. CONTRACTOR SHALL PROTECT ALL EXISTING FIRE HYDRANTS DURING CONSTRUCTION ACTIVITIES.
3. UNDERGROUND FIRE MAIN WORK SHALL BE PERFORMED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER F.S. 633.102.
4. WATER MAIN SEPARATION SHALL BE IN ACCORDANCE WITH DETAIL G-01.1 ON SHEET CU-502.
5. CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE ELECTRICAL PLANS.

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

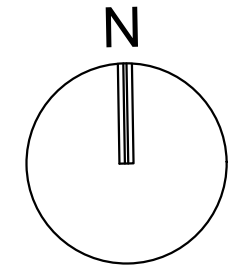
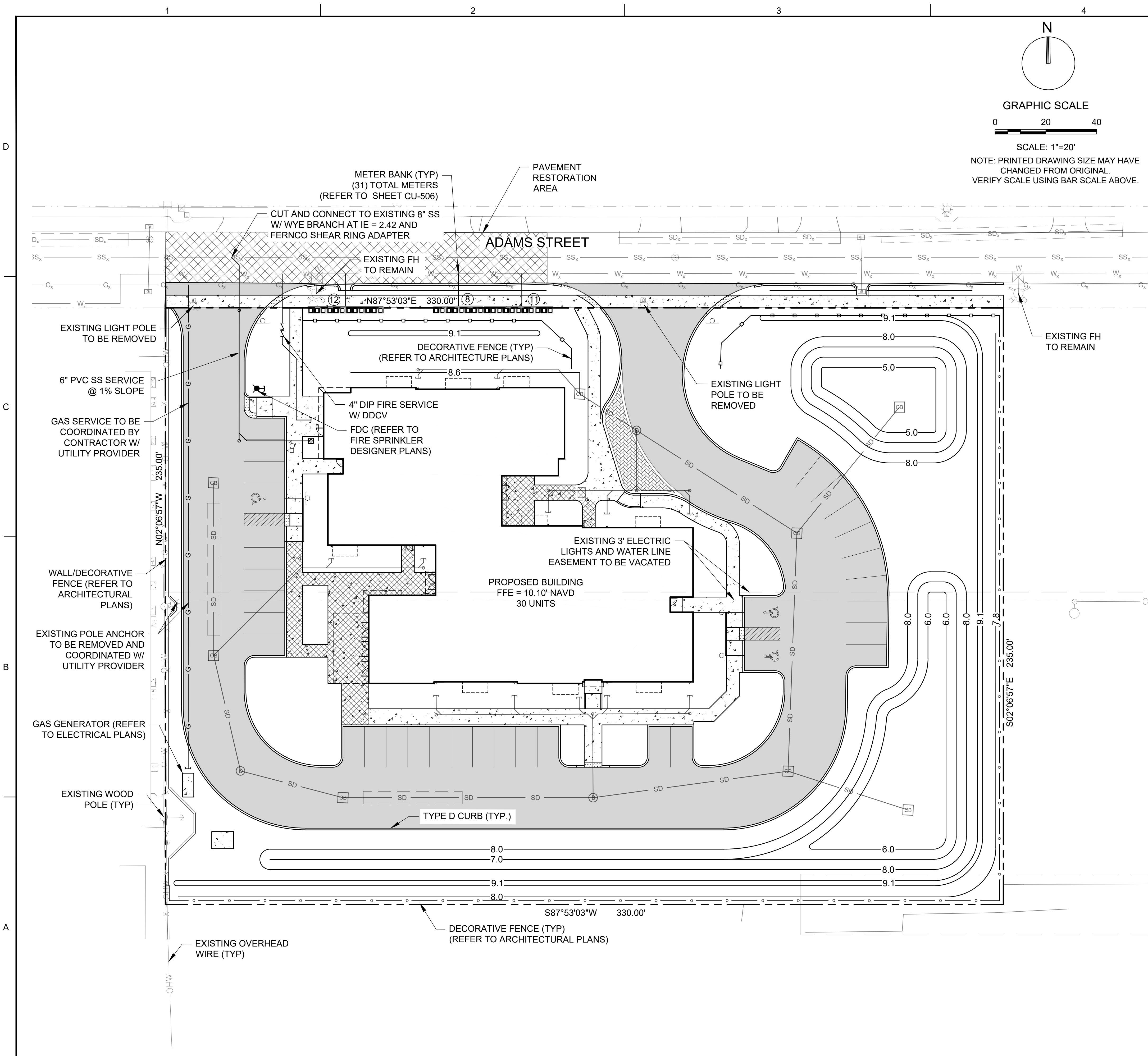
SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

SHEET TITLE
**SCHEMATIC WATER
AND SEWER PLAN
SITE 2 (CENTRAL)**

SHEET NUMBER
CU-102

PDB SUBMITTAL

PROJECT NO. **10067.00**

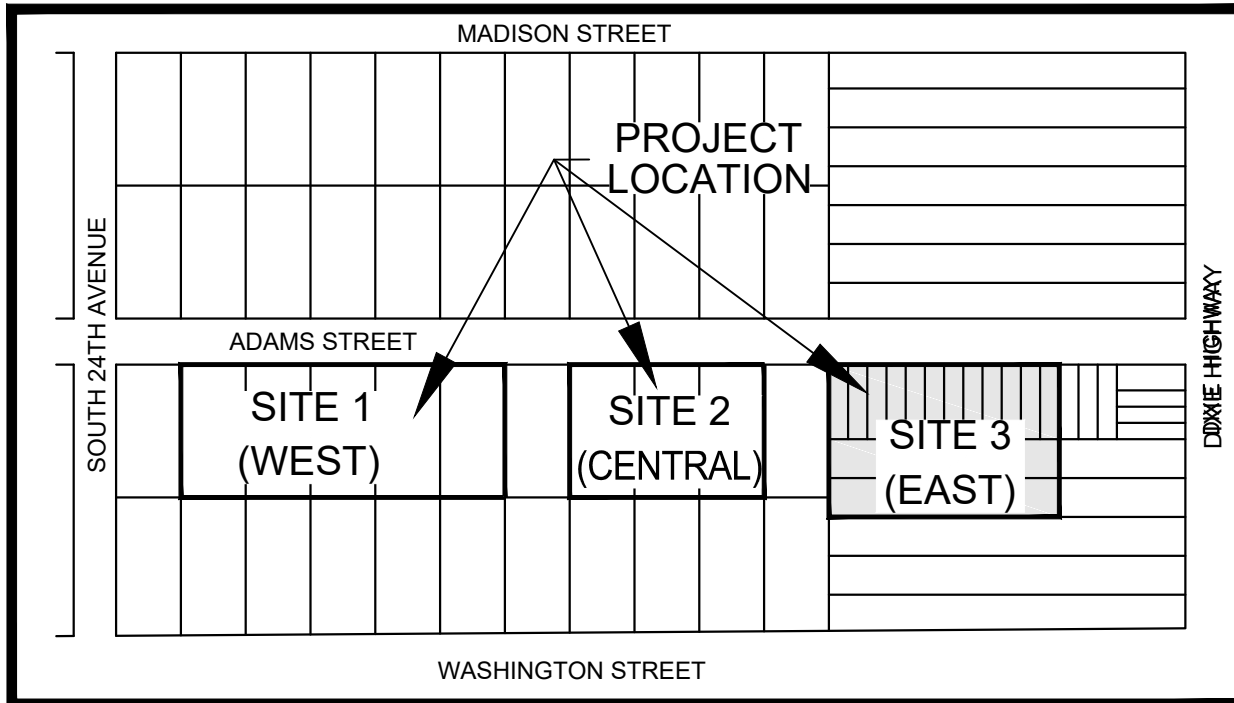


GRAPHIC SCALE

0 20 40

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE
CHANGED FROM ORIGINAL.
VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP

(NOT TO SCALE)

LEGEND

- PROPOSED SANITARY SEWER LATERAL
W/ CLEAN OUT TO GRADE (C.O.T.G.)
- DOMESTIC WATER METER
- DOUBLE DETECTOR CHECK VALVE
- PROPOSED FIRE DEPARTMENT CONNECTION
(SEE PLUMBING PLANS)
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED GAS LINE
- PROPOSED UTILITY EASEMENT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING OVERHEAD LINE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING DRAINAGE STRUCTURES
- EXISTING LIGHT POLES
- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PAVEMENT RESTORATION
- # OF PROPOSED METERS

NOTES

- CONTRACTOR SHALL REMOVE EXISTING BOLLARDS AS REQUIRED
TO ALLOW FOR INSTALLATION OF THE PROPOSED CURB.
- CONTRACTOR SHALL PROTECT ALL EXISTING FIRE HYDRANTS
DURING CONSTRUCTION ACTIVITIES.
- UNDERGROUND FIRE MAIN WORK SHALL BE PERFORMED BY A
CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER F.S.
633.102.
- WATER MAIN SEPARATION SHALL BE IN ACCORDANCE WITH
DETAIL G-01.1 ON SHEET CU-502.
- CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND
REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS
STREET PER THE ELECTRICAL PLANS.

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
**SCHEMATIC WATER
AND SEWER PLAN
SITE 3 (EAST)**

SHEET NUMBER
CU-103

PDB SUBMITTAL

PROJECT NO. 10067.00

Drawing name: N:\1010067.00 - Pinnacle at Peacefield - PHCE\Engineering\Cadd\10067.00 CU-101 WAS Plans.dwg Plotted on: Mar 30, 2018 - 11:18am Plotted by: mcarlissa Layout Name: CU-103

D


C

B

A


GENERAL NOTES:

- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES	REVISED: 06/08/2014 DRAWING NO. G-00
---	---	---	--


GENERAL NOTES (CONTINUED):

- CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
- SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
- ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
- THE CONTRACTOR SHALL NOT ENCRoACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
- MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.1
--	---	---	--

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
- ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.2
---	---	---	--



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED

DATE ISSUED: FEBRUARY 2018

DRAWN BY: MC

DESIGNED BY: SB

CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

**WATER AND SEWER
DETAILS**

SHEET NUMBER

CU-501

PDB SUBMITTAL


PROJECT NO. 10067.00

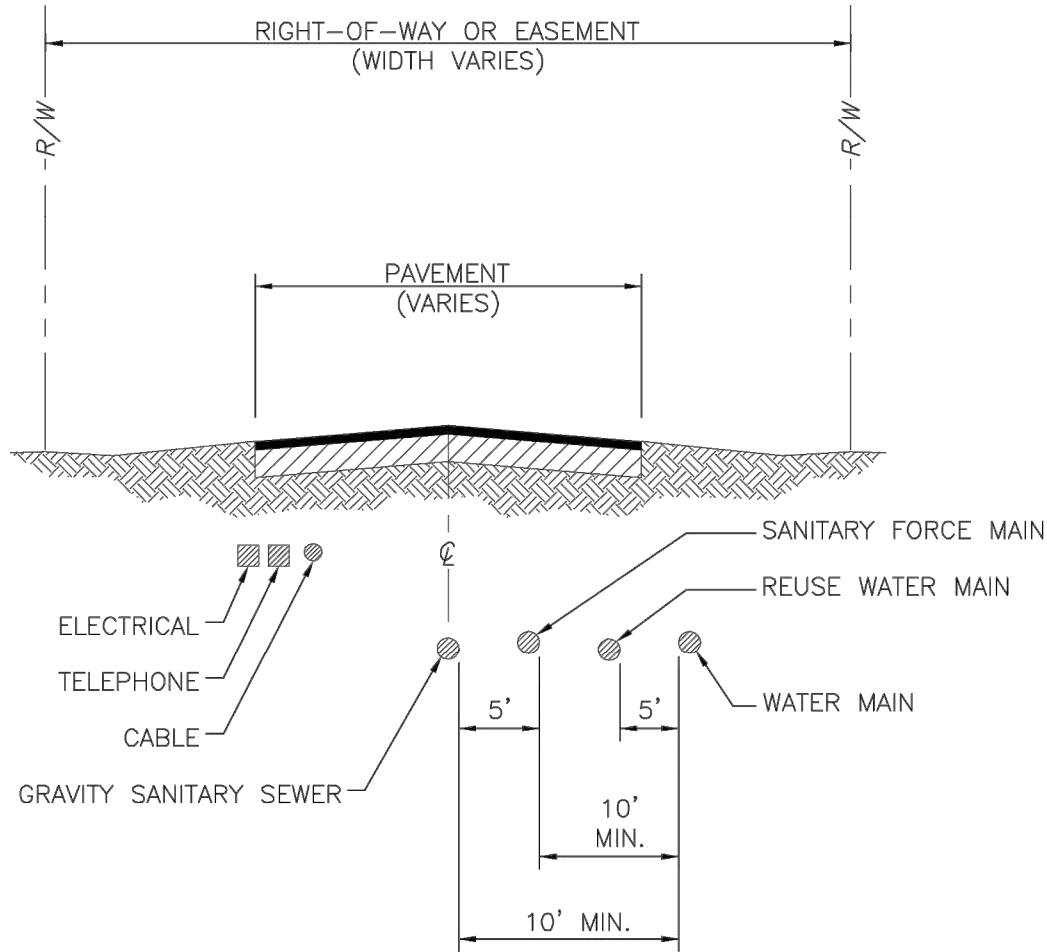
GENERAL NOTES (CONTINUED):


- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



- WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.3
---	---	---	--




	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL UTILITY ACCOMMODATION WITHIN RIGHT-OF-WAY OR EASEMENT	REVISED: 06/08/2014 DRAWING NO. G-01
--	---	--	--

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

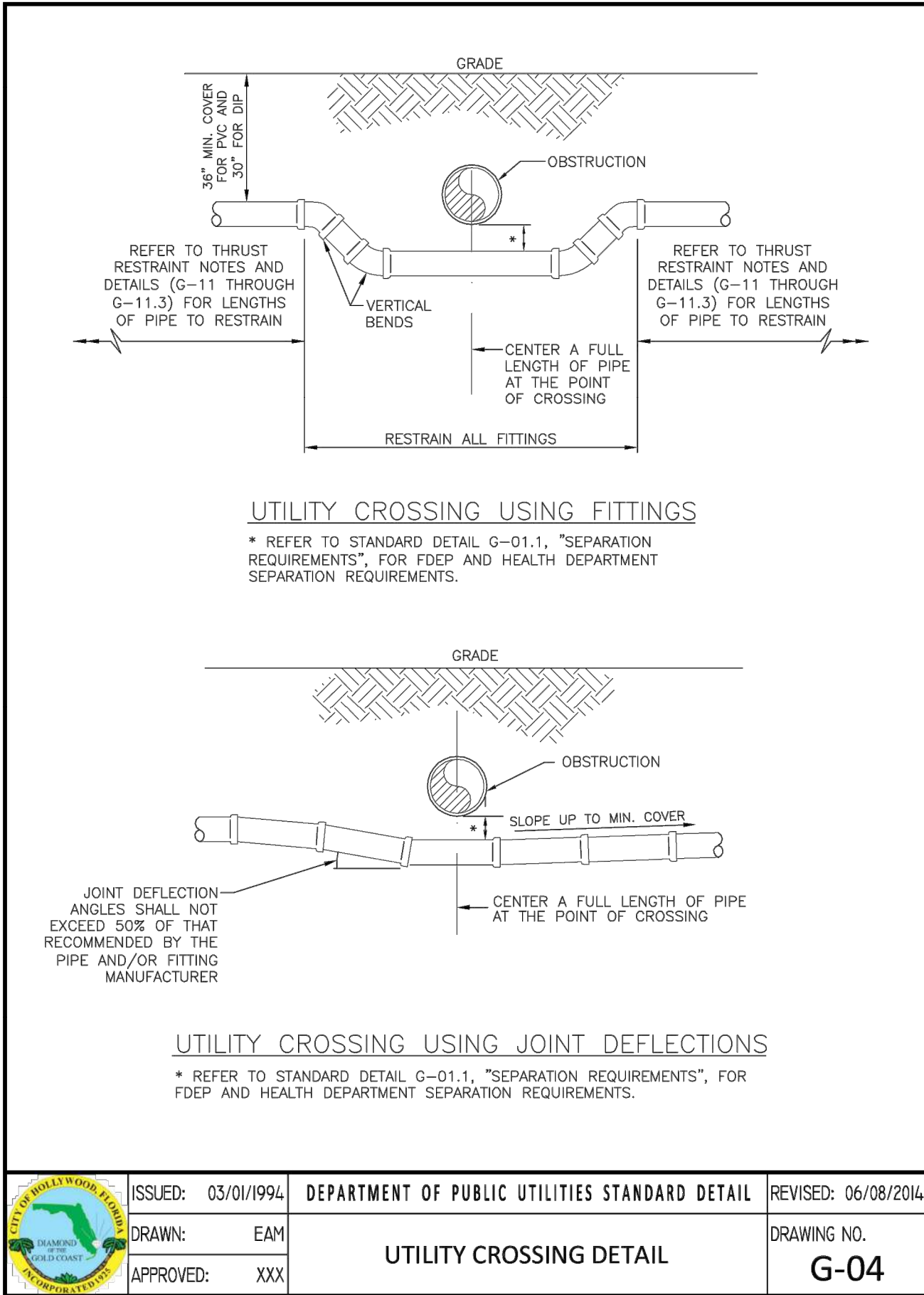
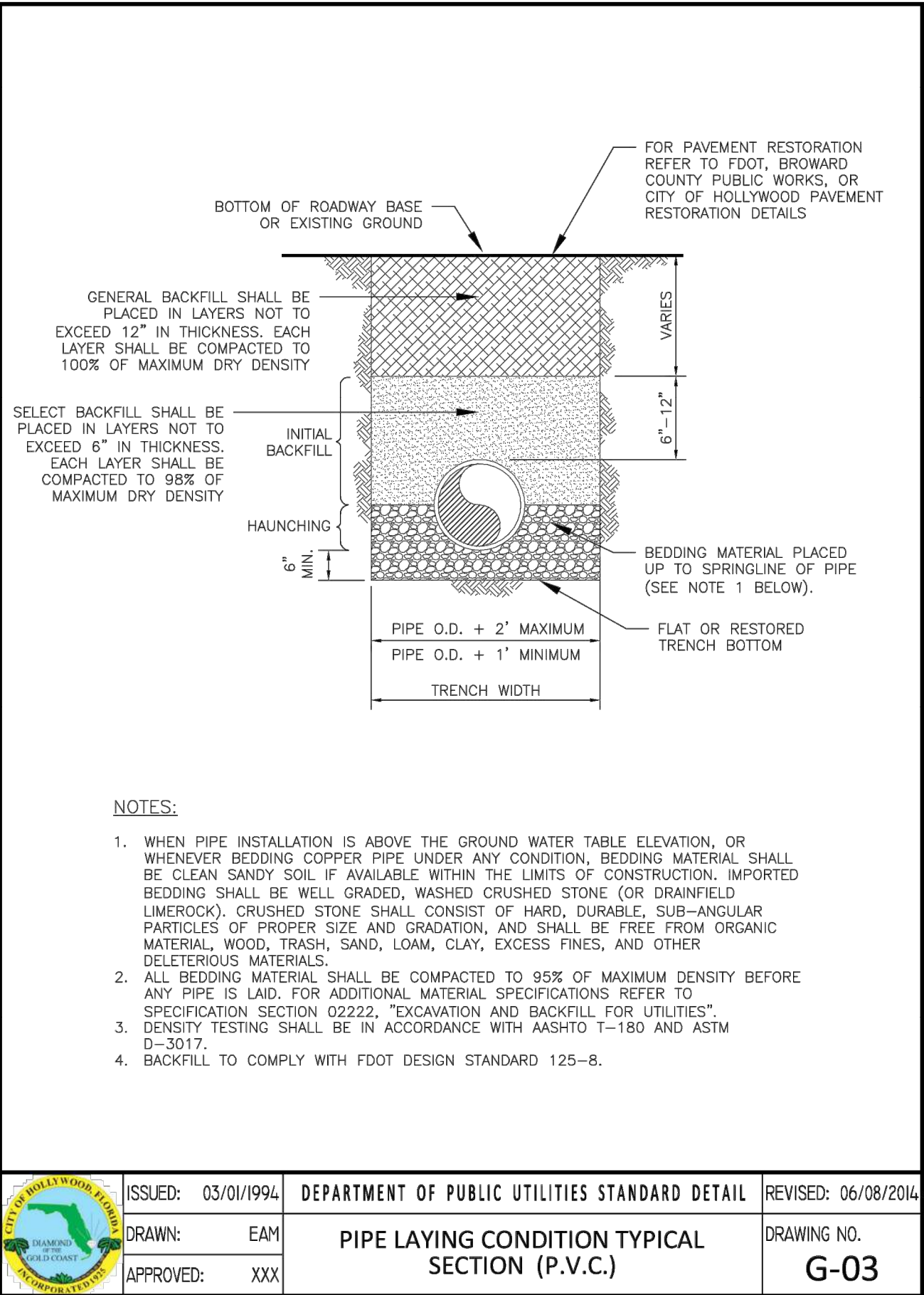
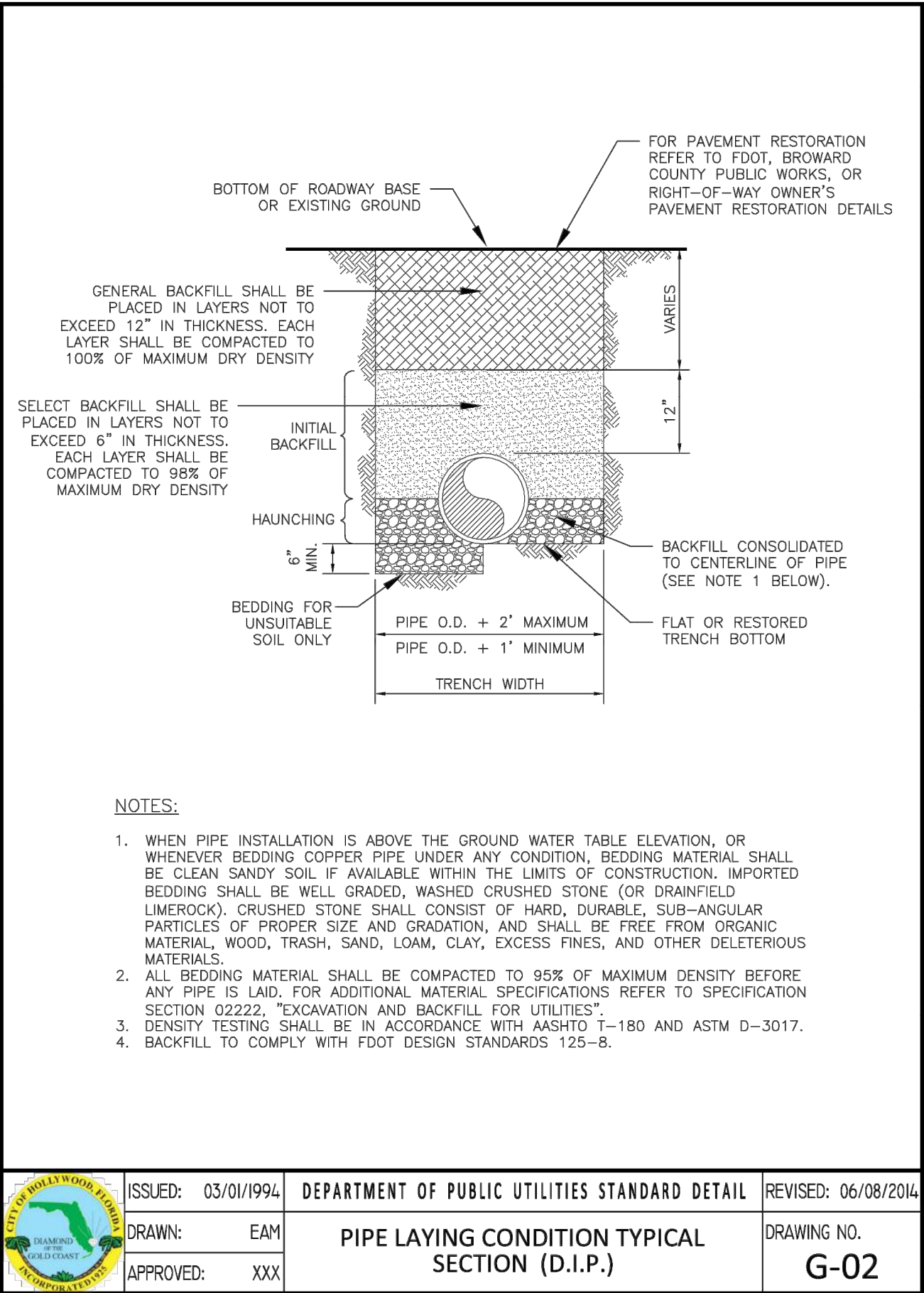
OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	3 ft minimum	12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inch is preferred	Alternate 3 ft minimum
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	10 ft preferred 6 ft minimum	12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inch is preferred	Alternate 6 ft minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL SEPARATION REQUIREMENTS OF F.D.E.P.	REVISED: 11/06/2017 DRAWING NO. G-01.1
---	---	--	--

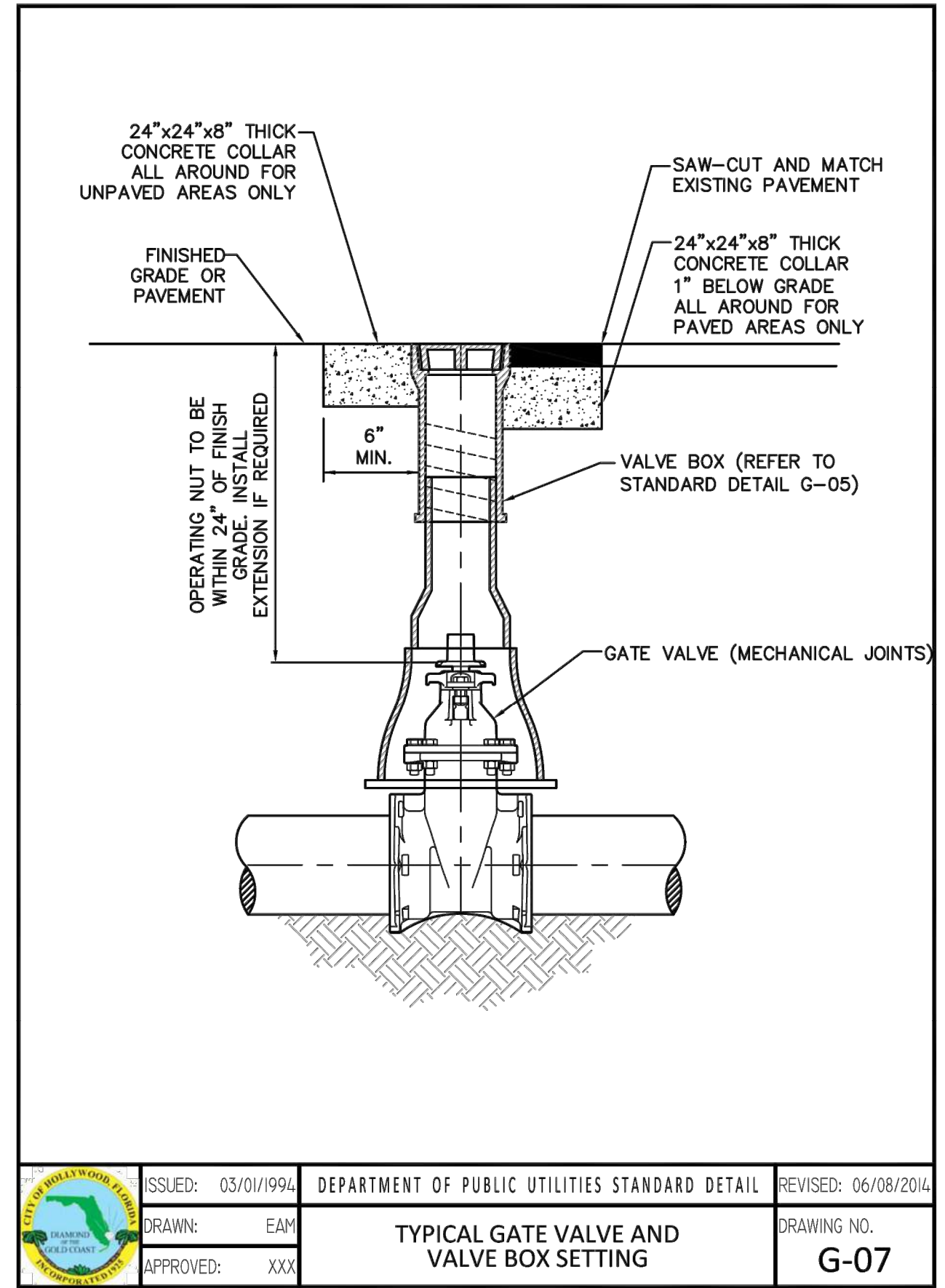
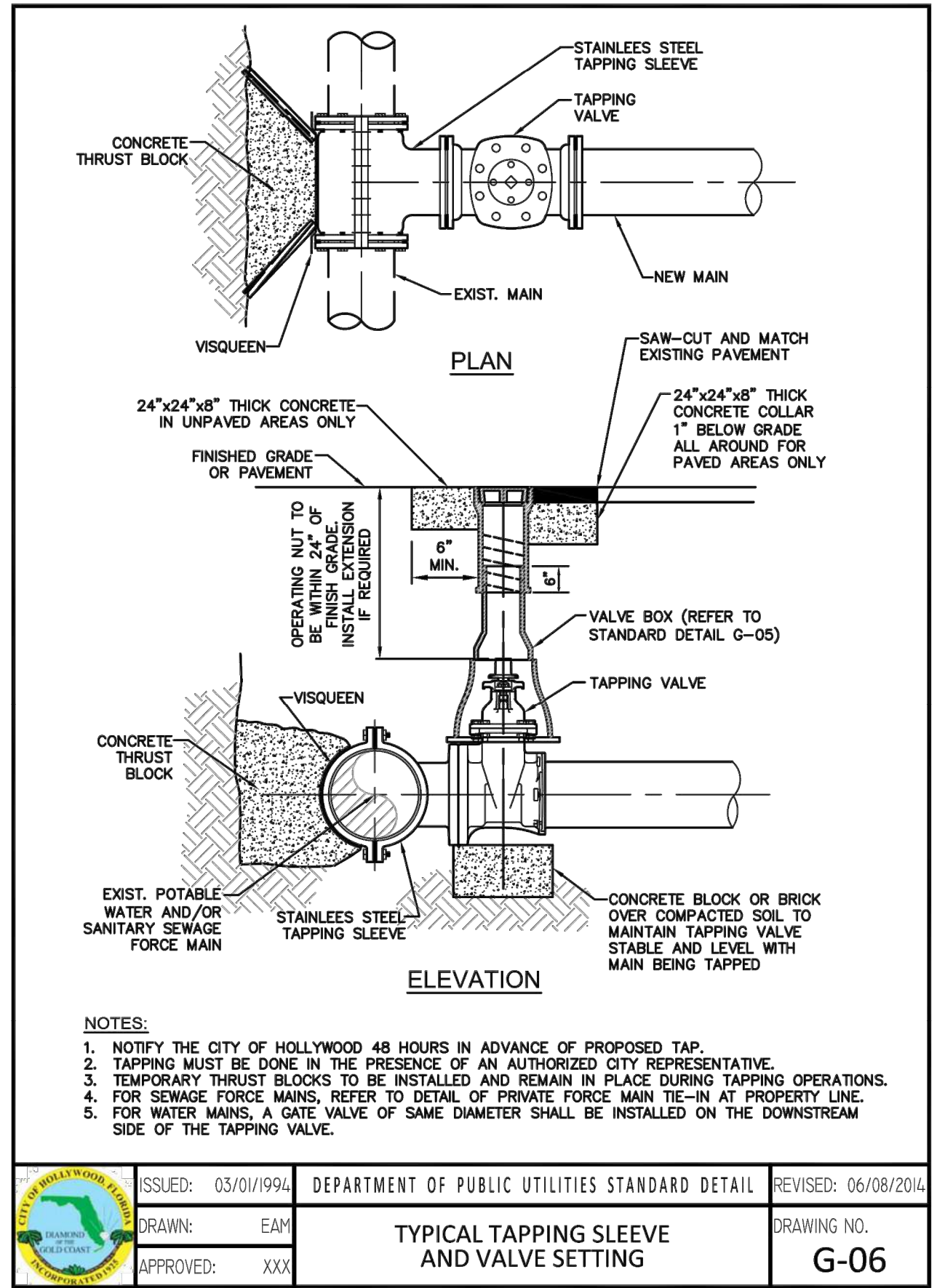
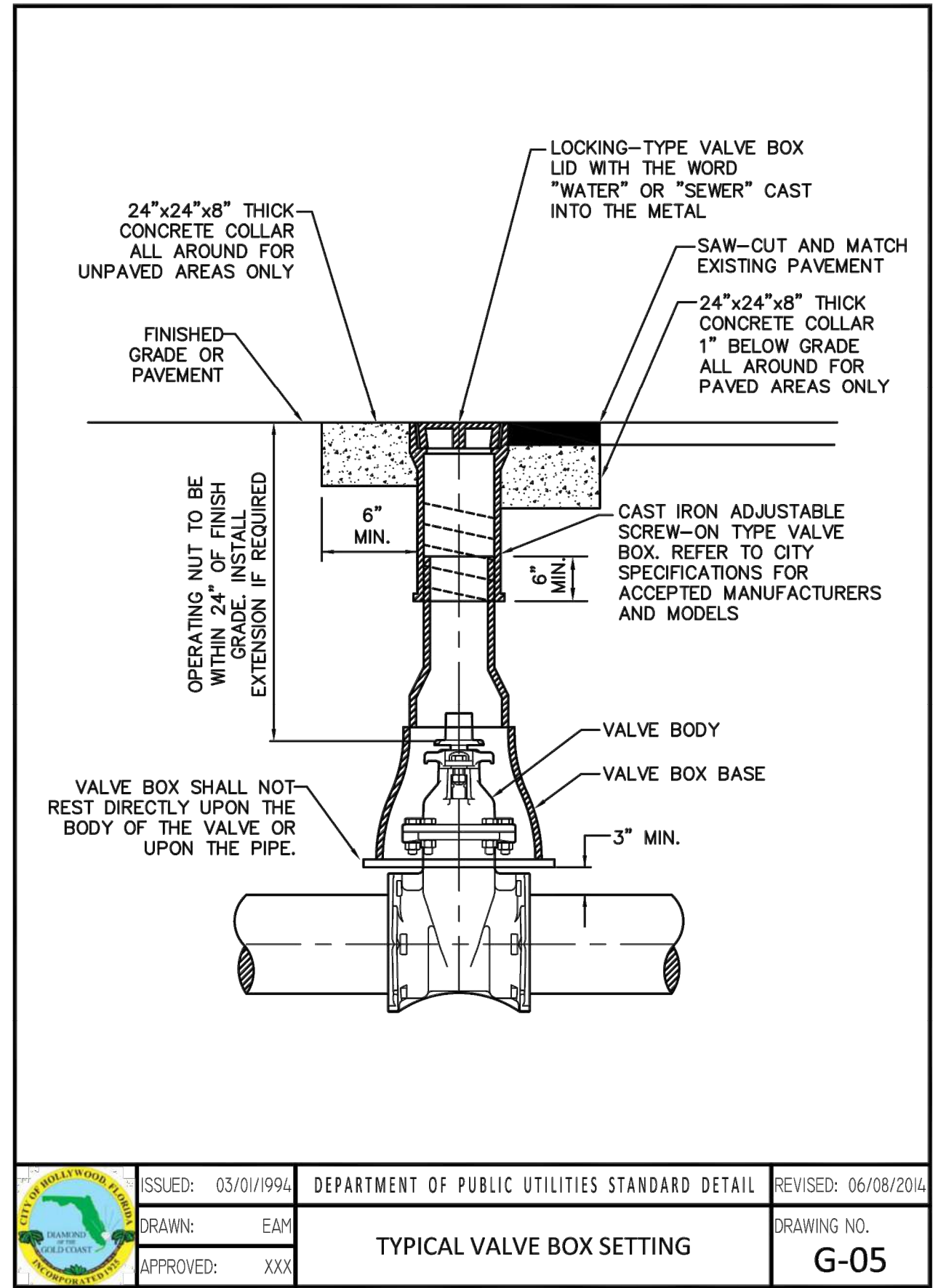
D

C



B

A



KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. :		
REVISIONS		
NO.	DESCRIPTION	DATE
PRELIMINARY PLAN NOT FOR CONSTRUCTION		
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.		



ADAMS STREET CITY OF HOLLYWOOD FLORIDA	
SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

**WATER AND SEWER
DETAILS**

SHEET NUMBER

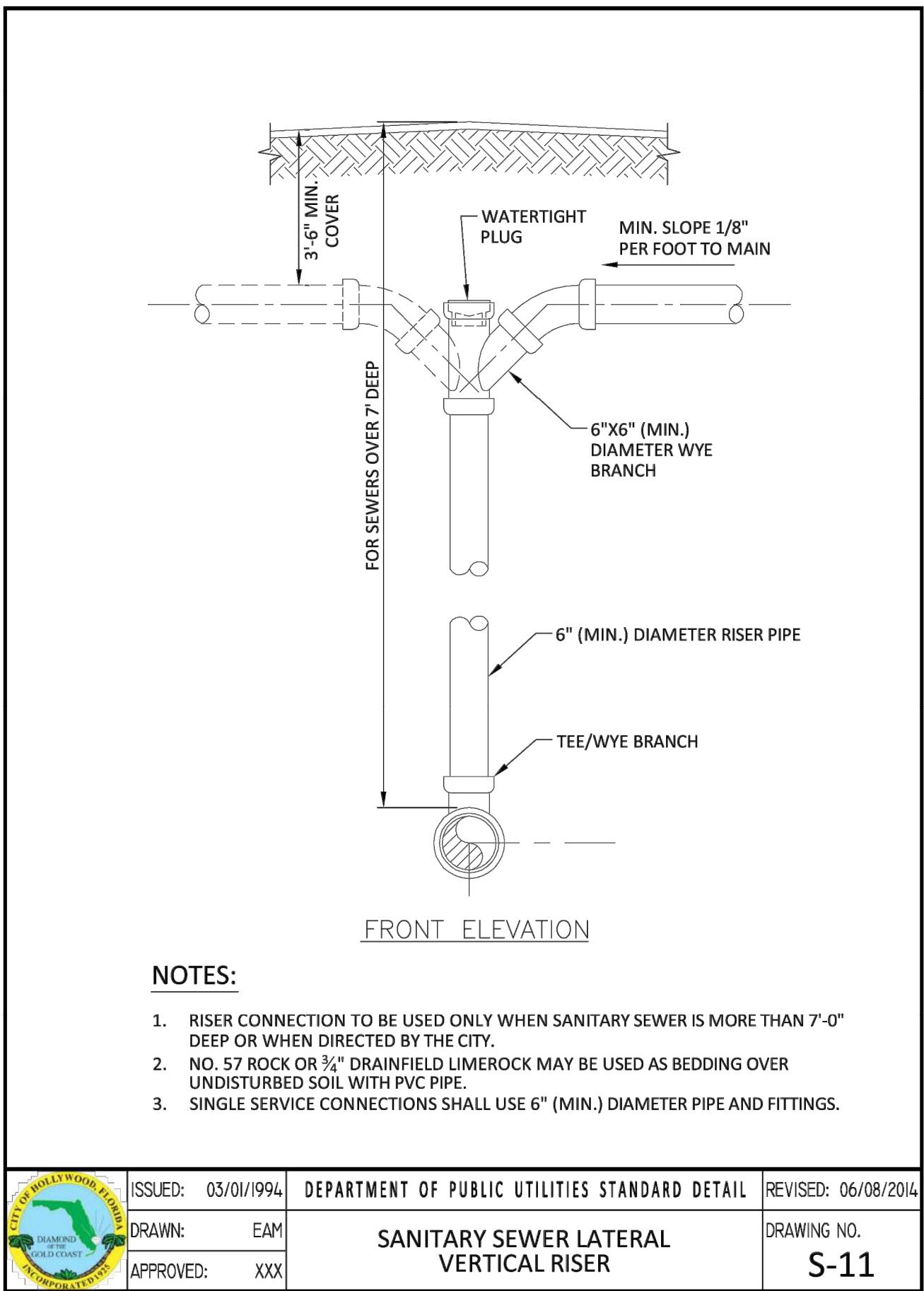
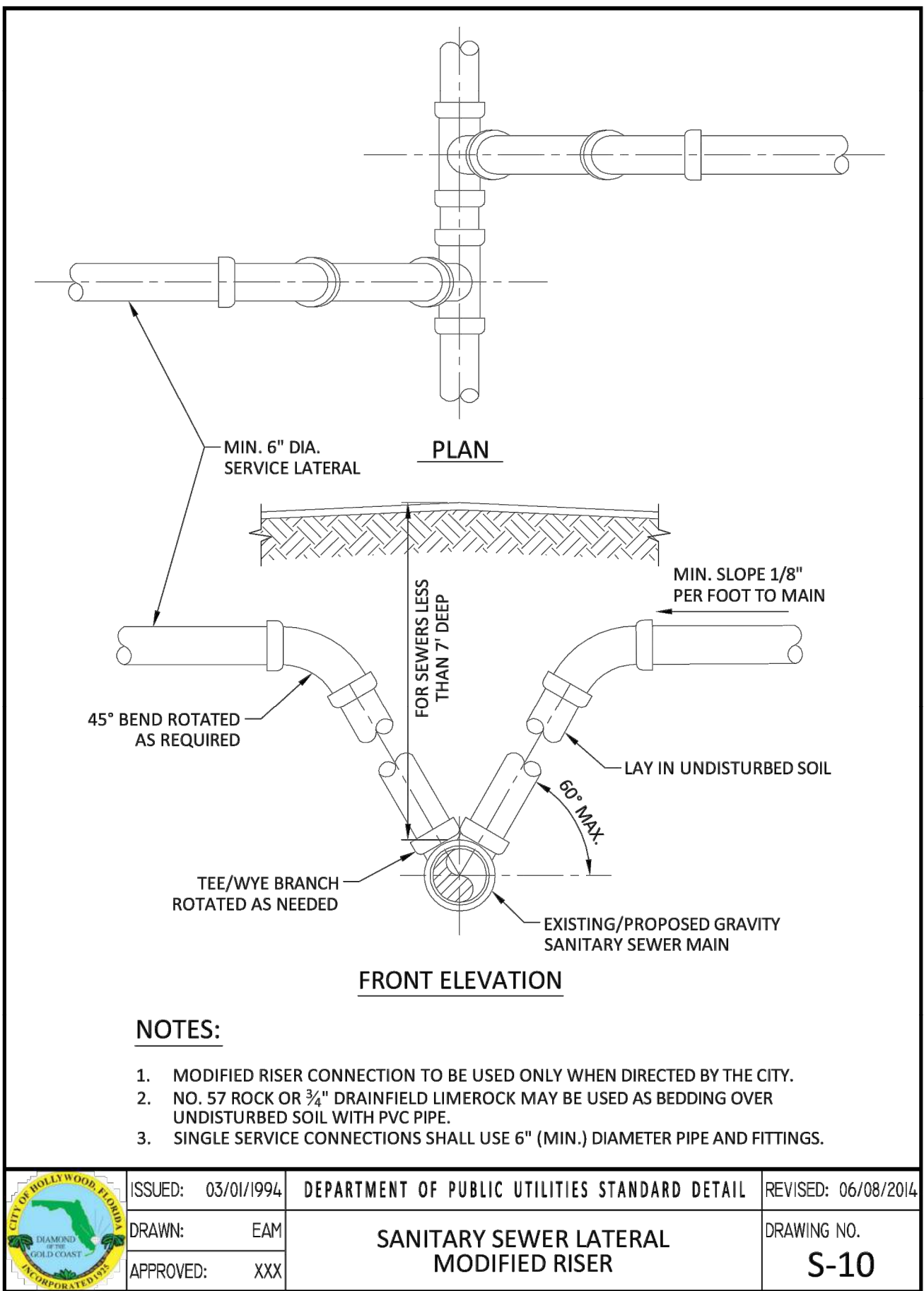
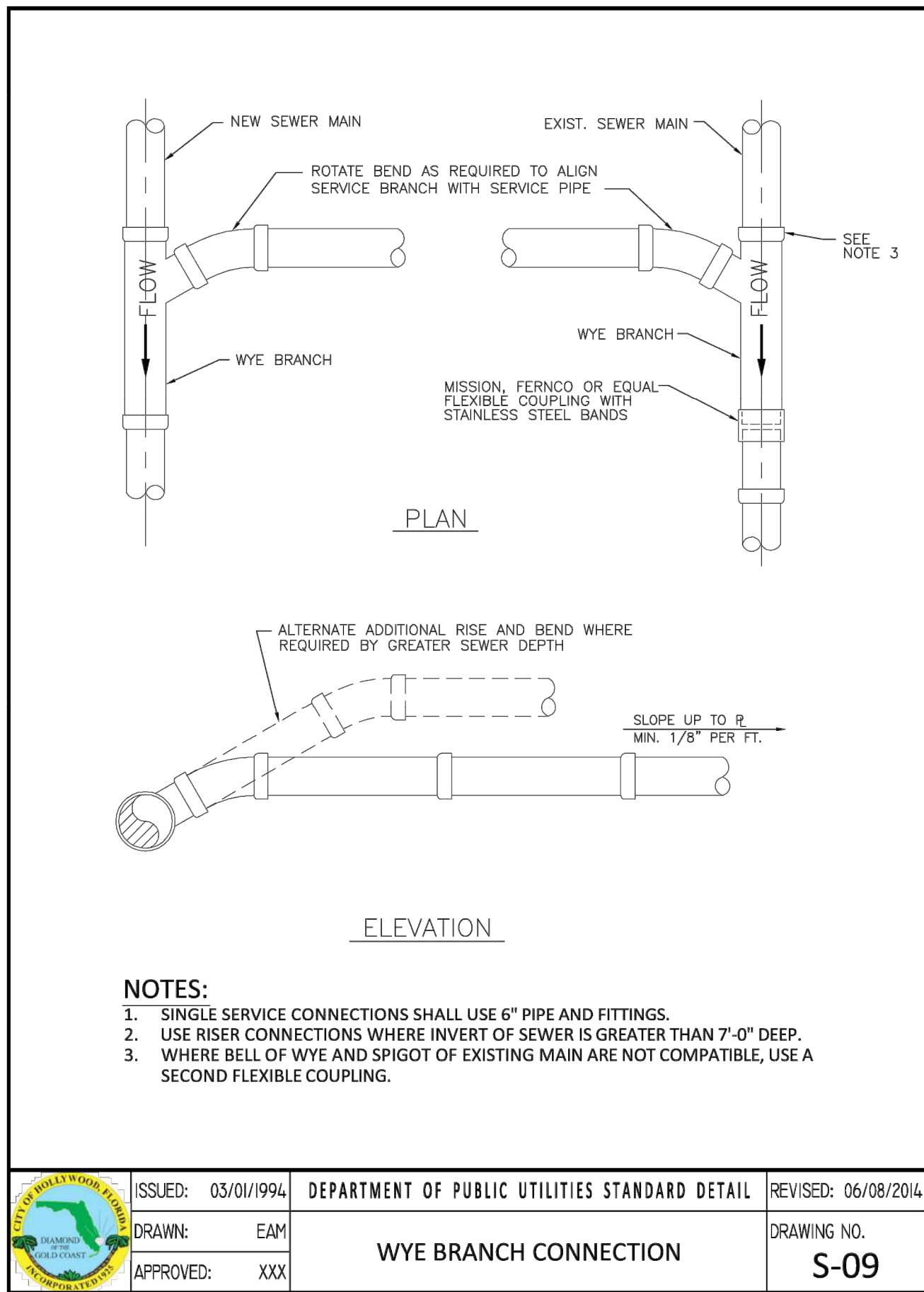
CU-502

PDB SUBMITTAL

PROJECT NO. 10067.00

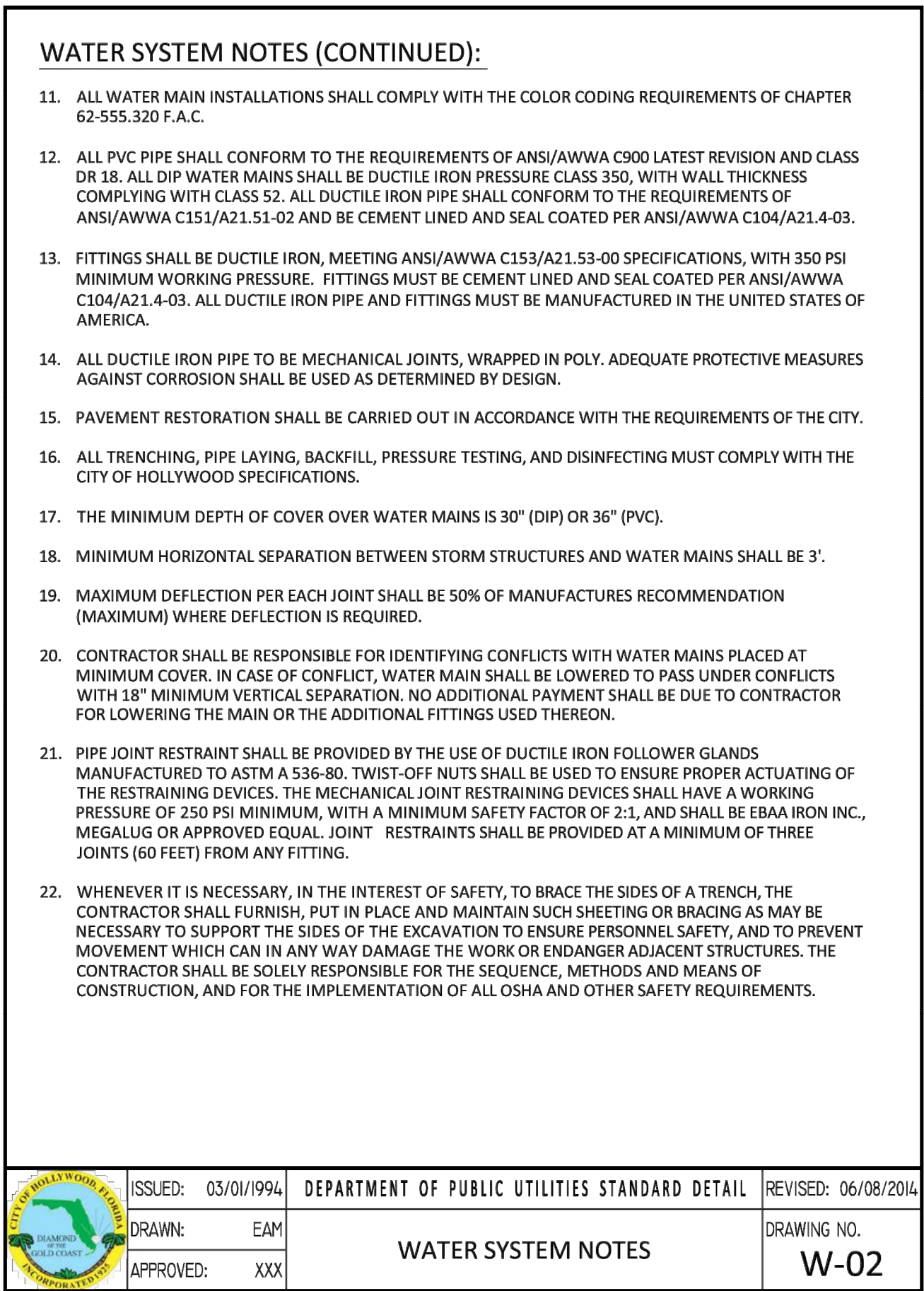
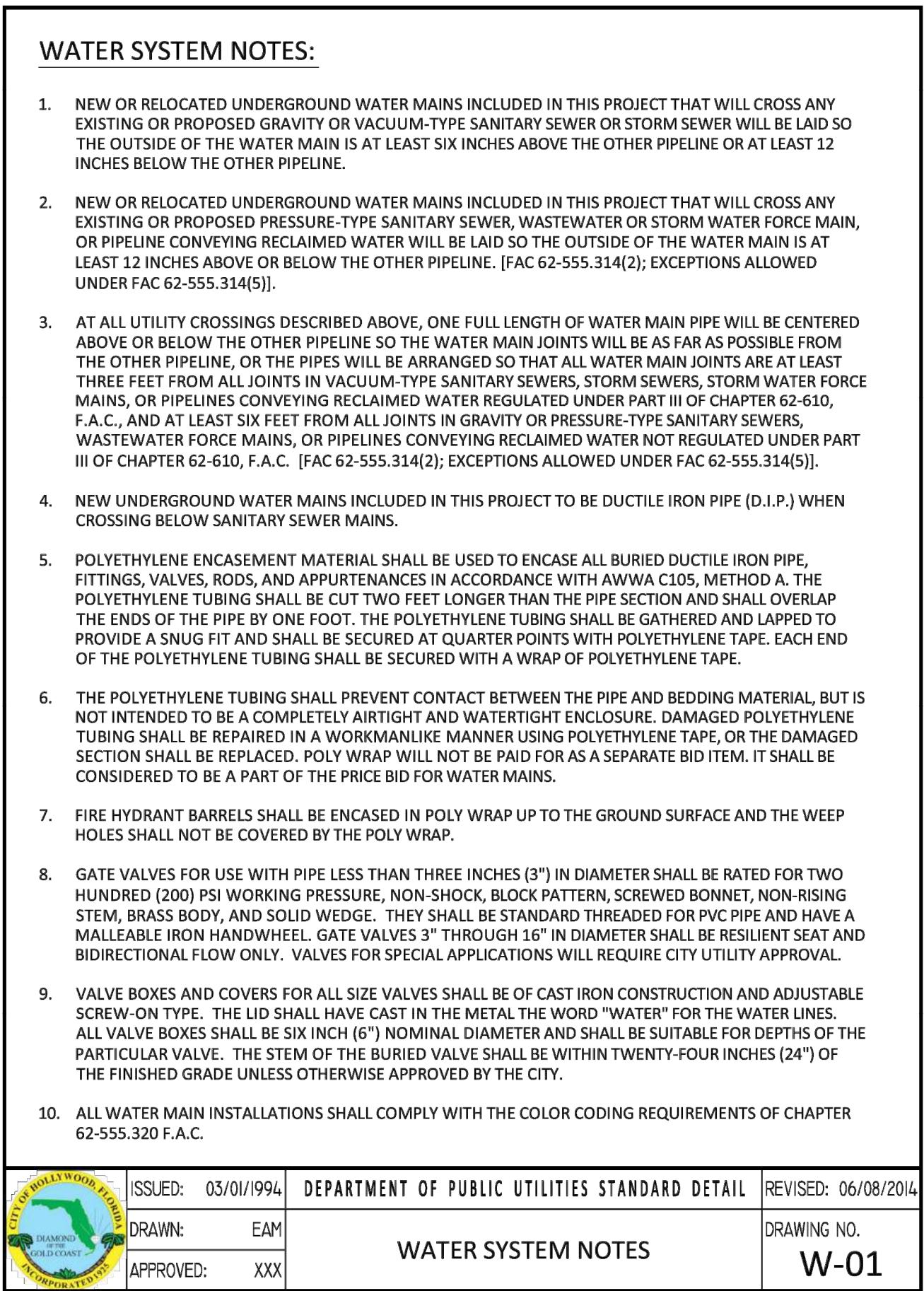
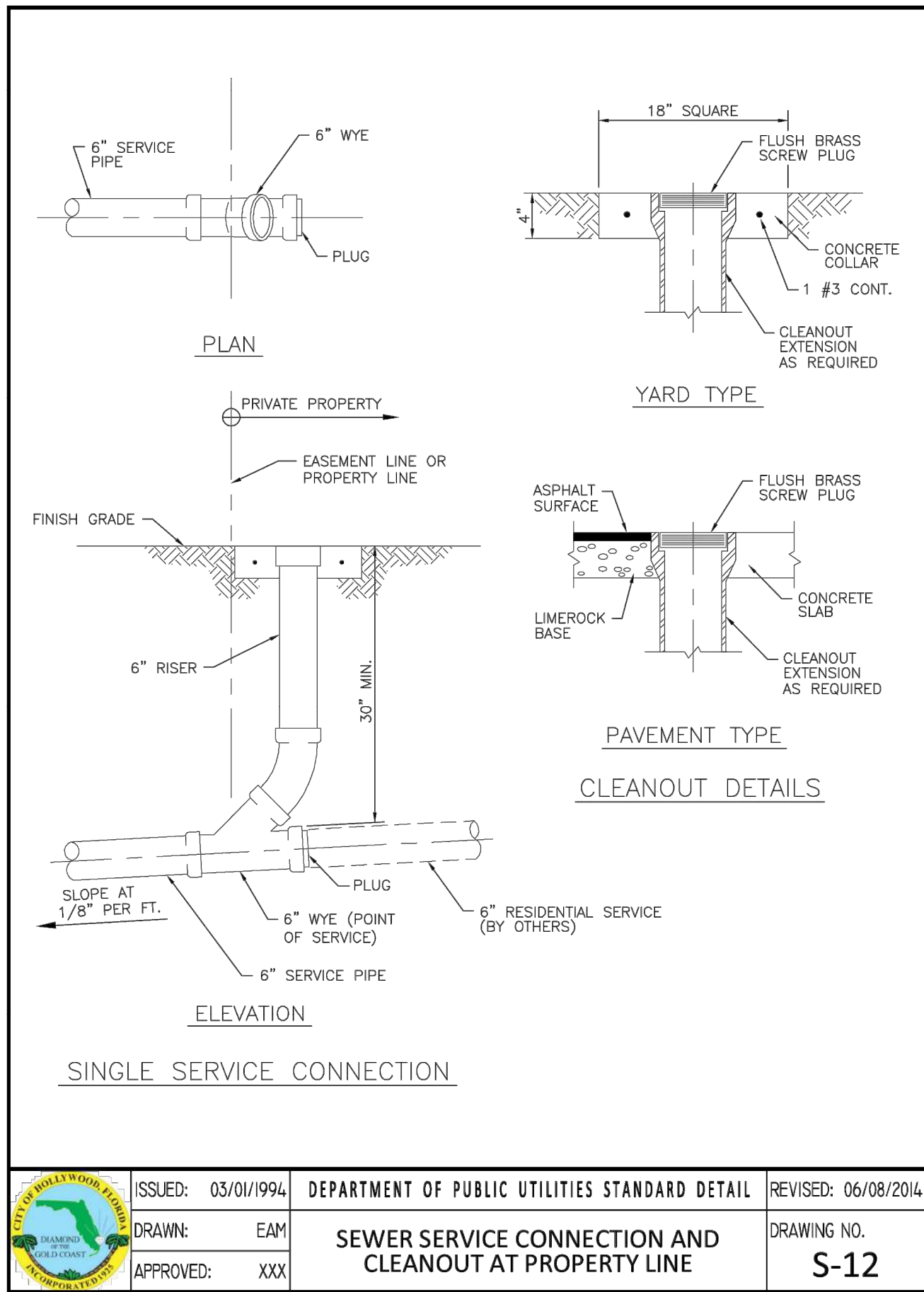
D

C



B

A



KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :		
REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

**WATER AND SEWER
DETAILS**

SHEET NUMBER

CU-504

PDB SUBMITTAL

PROJECT NO. 10067.00

D


C

B

A

NOTES:


1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS.
2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FDOT CLEAR DRIVING ZONE.
4. WITHIN FDOT R/W, WHERE SPACE IS RESTRICTED THE FIRE HYDRANT MAY BE LOCATED 2' FROM THE FACE OF THE CURB AS LONG AS THERE IS A MINIMUM 4' UNOBSTRUCTED SIDEWALK BEHIND THE HYDRANT, AND THE HYDRANT BASE IS 4" OR LESS FROM GRADE IN ACCORDANCE WITH F.D.O.T. INDEX 700.
5. GUARD POSTS SHALL NOT BE ALLOWED WITHIN FDOT R/W.
6. OTHER THAN FDOT R/W, GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6" LEFT/RIGHT OF C. OF THE FIRE HYDRANT. EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
7. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
8. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

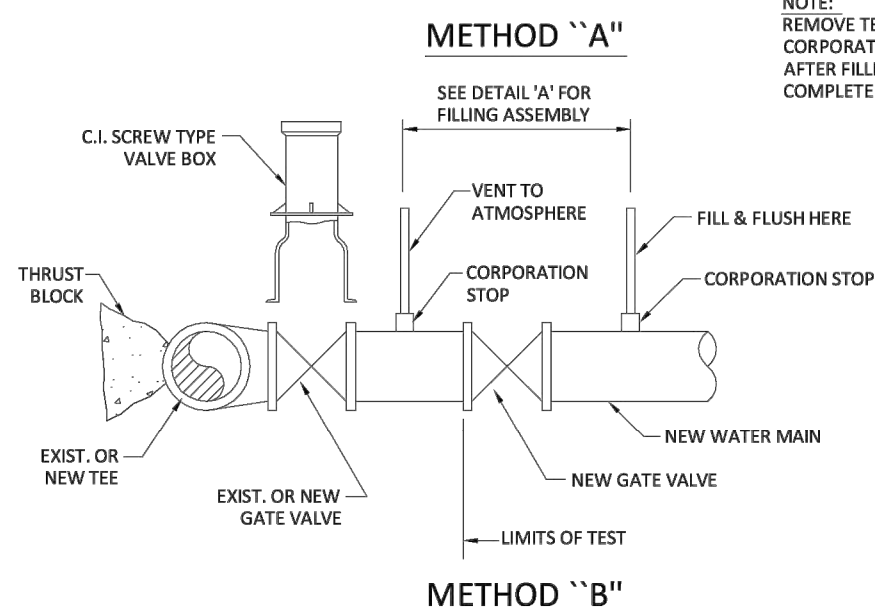
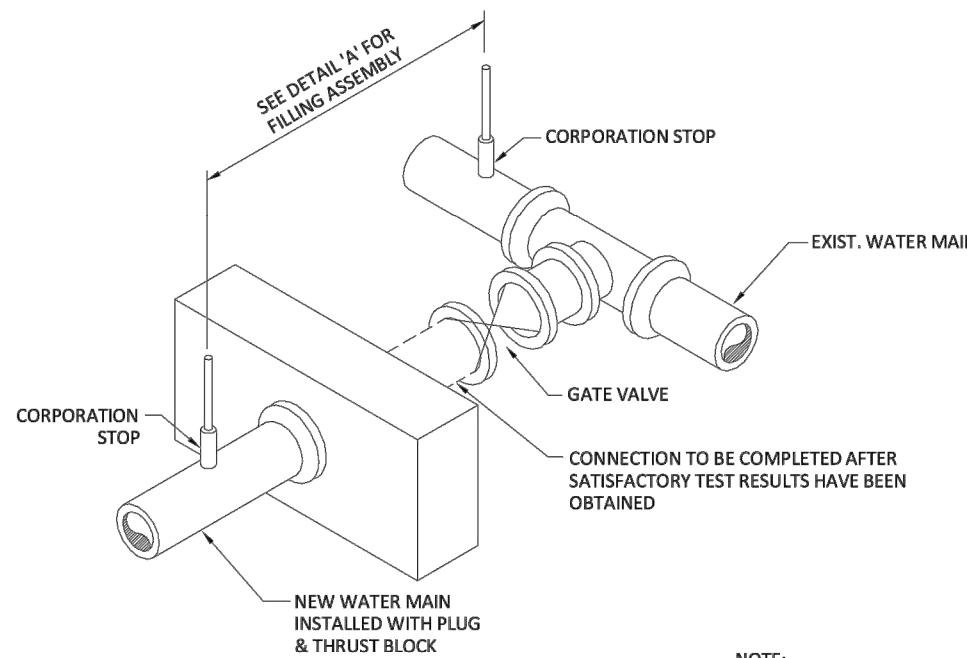
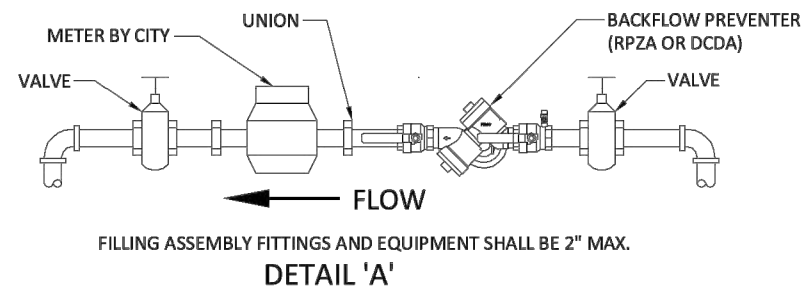
	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL FIRE HYDRANT NOTES	REVISED: 06/08/2014 DRAWING NO. W-13.1
---	---	--	--


WATER MAIN TESTING AND DISINFECTION NOTES:

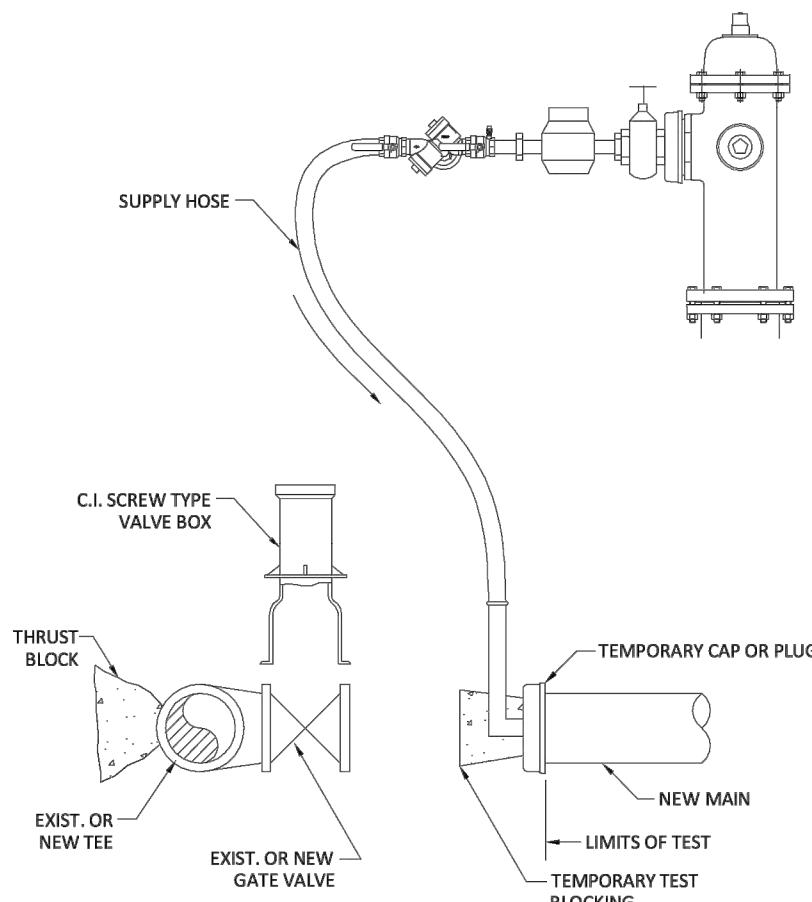
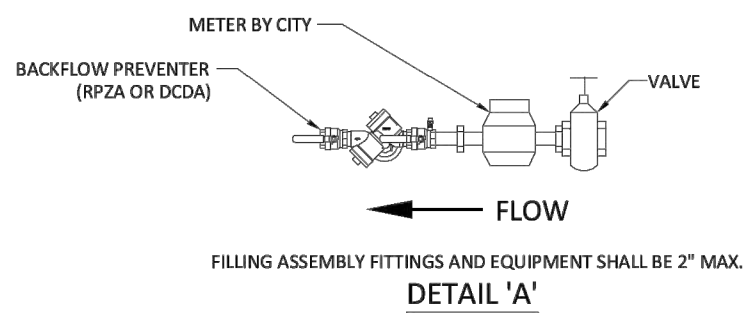
1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:
$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL WATER MAIN TESTING AND DISINFECTION NOTES	REVISED: 06/08/2014 DRAWING NO. W-14
---	---	---	--

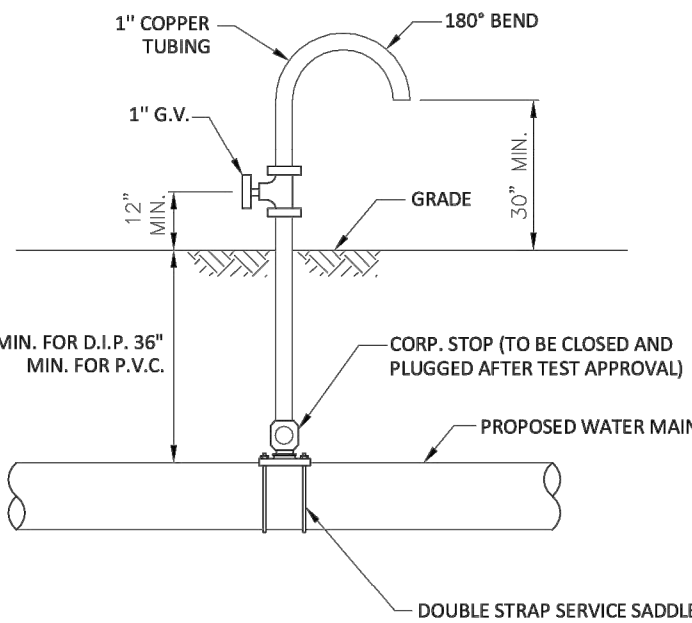


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL FILLING AND FLUSHING DETAILS	REVISED: 06/08/2014 DRAWING NO. W-15
---	---	--	--



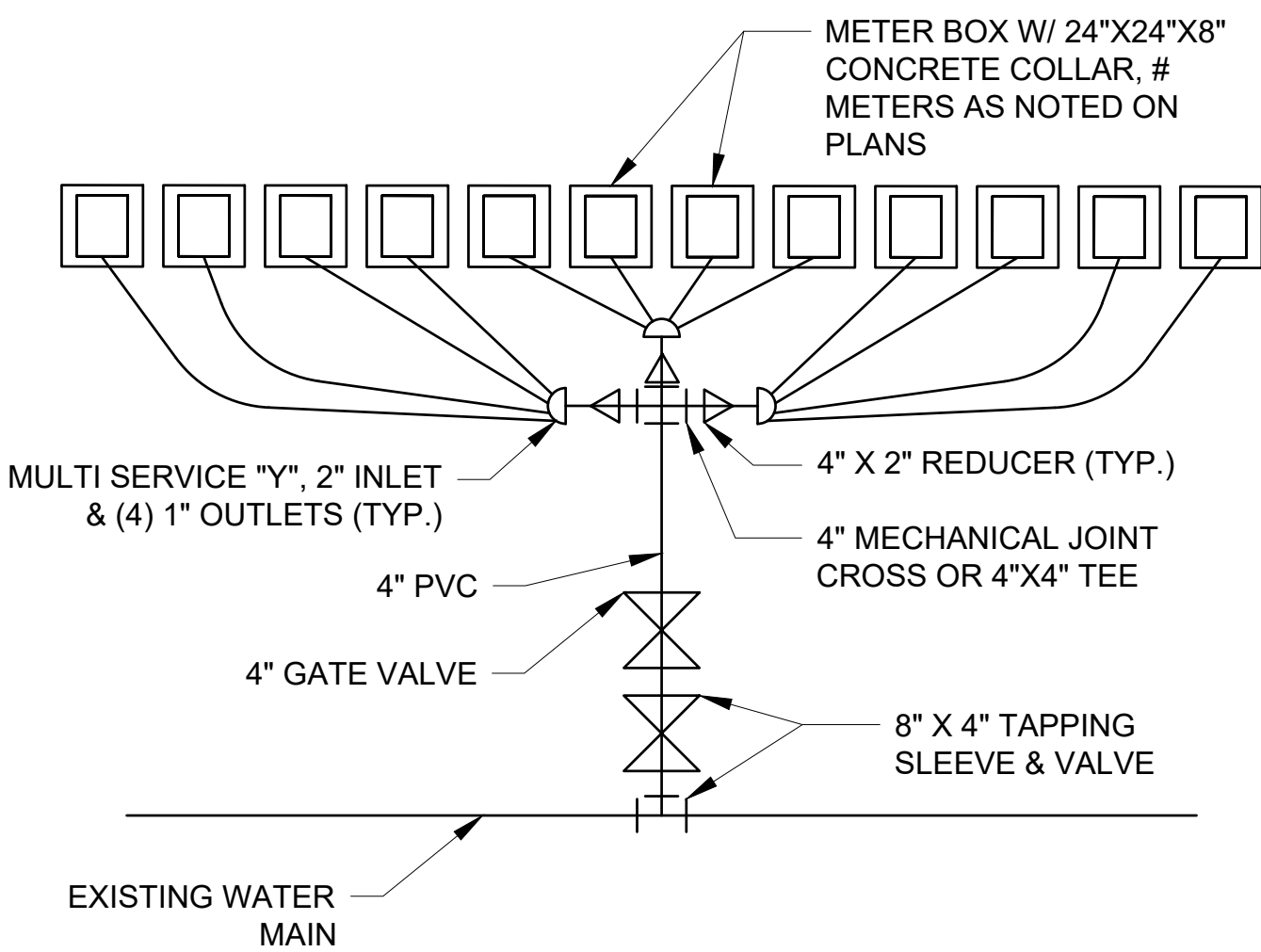
- NOTES:
1. HOSE MUST BE REMOVED DURING THE HYDROSTATIC PRESSURE TEST.
 2. REMOVE TEMPORARY CONNECTION ON NEW MAIN AFTER FILLING & FLUSHING HAS BEEN COMPLETED.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL CROSS CONNECTION FILLING AND FLUSHING DETAILS	REVISED: 06/08/2014 DRAWING NO. W-15.1
---	---	---	--



- NOTES:
1. SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY HEALTH DEPARTMENT.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL SAMPLING POINT DETAIL	REVISED: 06/08/2014 DRAWING NO. W-16
---	---	---	--



NOTES:

REFER TO CITY OF HOLLYWOOD DETAIL W-06.1 FOR ADDITIONAL INFORMATION

1

METER BANK DETAIL

SCALE: NOT TO SCALE



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

WATER AND SEWER
DETAILS

SHEET NUMBER

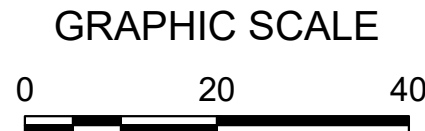
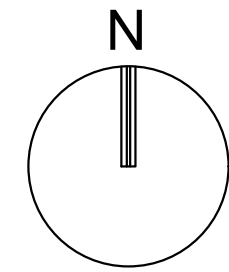
CU-506

PDB SUBMITTAL

PROJECT NO. 10067.00

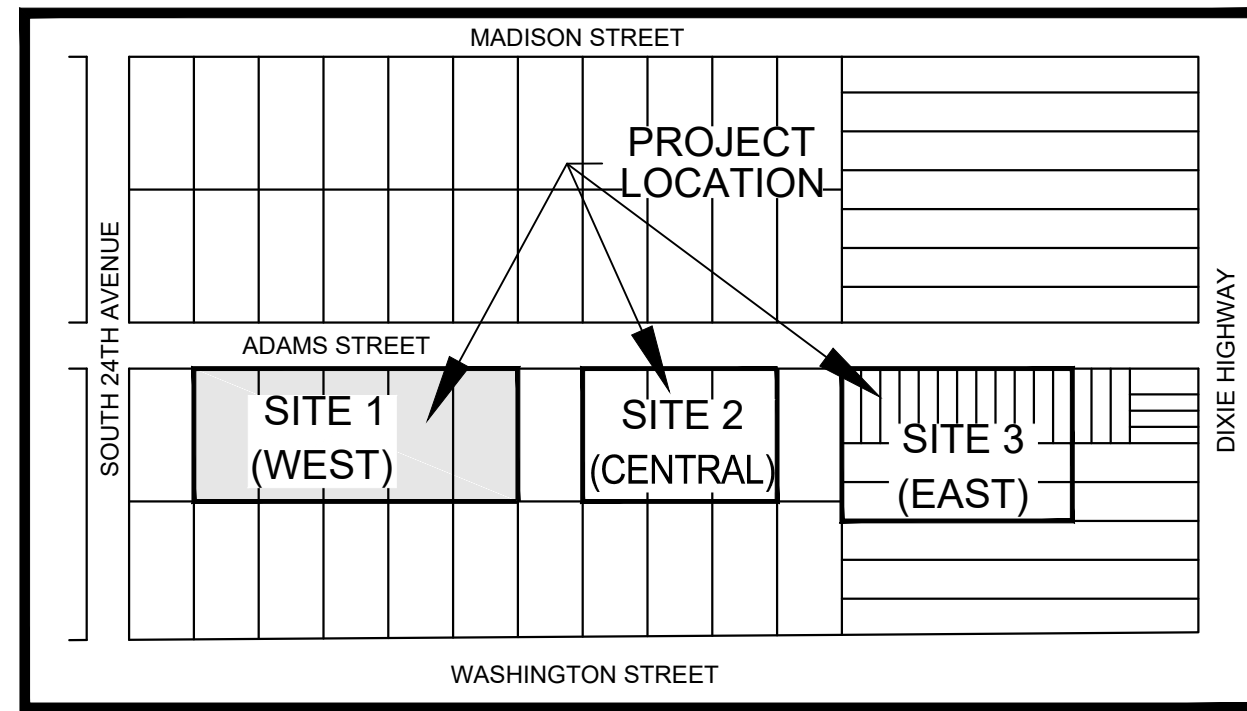
PAVEMENT MARKING AND SIGNAGE NOTES:

- EXISTING NO PARKING SIGNS WITHIN THE RIGHT OF WAY SWALE SHALL BE REMOVED IN AREAS OF PROPOSED CURBING.
- ALL EXISTING TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS IN CONFLICT WITH THE PROPOSED TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS WILL BE REMOVED OR RELOCATED BY THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS (CURRENT EDITION), AND THE CITY OF HOLLYWOOD'S ZONING AND LAND DEVELOPMENT REGULATIONS.
- MARKINGS SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS, SECTION 711, DESIGN STANDARDS, INDEX 17346, AND THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS AND SPECIFICATIONS (CURRENT EDITION).
- ALL ON-SITE MARKINGS SHALL BE PAINT EXCEPT 24" SOLID WHITE STOP BAR WHICH SHALL BE THERMOPLASTIC OR AS INDICATED ON PLANS.
- VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF SIGN POSTS.
- ALL PAVEMENT MARKINGS AND SIGNING DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS (CURRENT ADDITION).
- THE CONTRACTOR SHALL PROVIDE A COPY OF THEIR BROWARD COUNTY CERTIFICATE OF COMPETENCY PRIOR TO SUBMITTING FINAL INSPECTION REQUEST TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION.
- ALL SIGNS TO FOLLOW FDOT INDEX 17302 - CASE V (LOCATION IN BUSINESS OR RESIDENTIAL AREAS) AND INDEX 11860 - MIN. INSTALLATION REQUIREMENTS.
- ALL FDC SIGNAGE SHALL BE INSTALLED PURSUANT TO CITY STANDARDS AND SHALL HAVE RED LETTERING, NOT LESS THAN 3 INCHES IN HEIGHT, ON WHITE BACKGROUND. EACH SIGN SHALL BE 18 INCHES WIDE BY 24 INCHES IN HEIGHT, AND SHALL BE CONSISTENT WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT EDITION).
- ALL FIRE HYDRANTS REQUIRE BLUE REFLECTORS IN THE ROADWAY TO INDICATE FIRE HYDRANT LOCATIONS.
- FIRE DEPARTMENT CONNECTION PER CITY REQUIREMENTS, REFER TO PLUMBING PLAN. INSTALL "FIRE DEPARTMENT CONNECTION, NO PARKING" SIGN TO BE FDOT AND CITY COMPLIANT AS REQUIRED.
- STOP BARS SHALL BE A MINIMUM OF 4 FEET BEHIND THE CROSSWALK.



SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
(NOT TO SCALE)

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

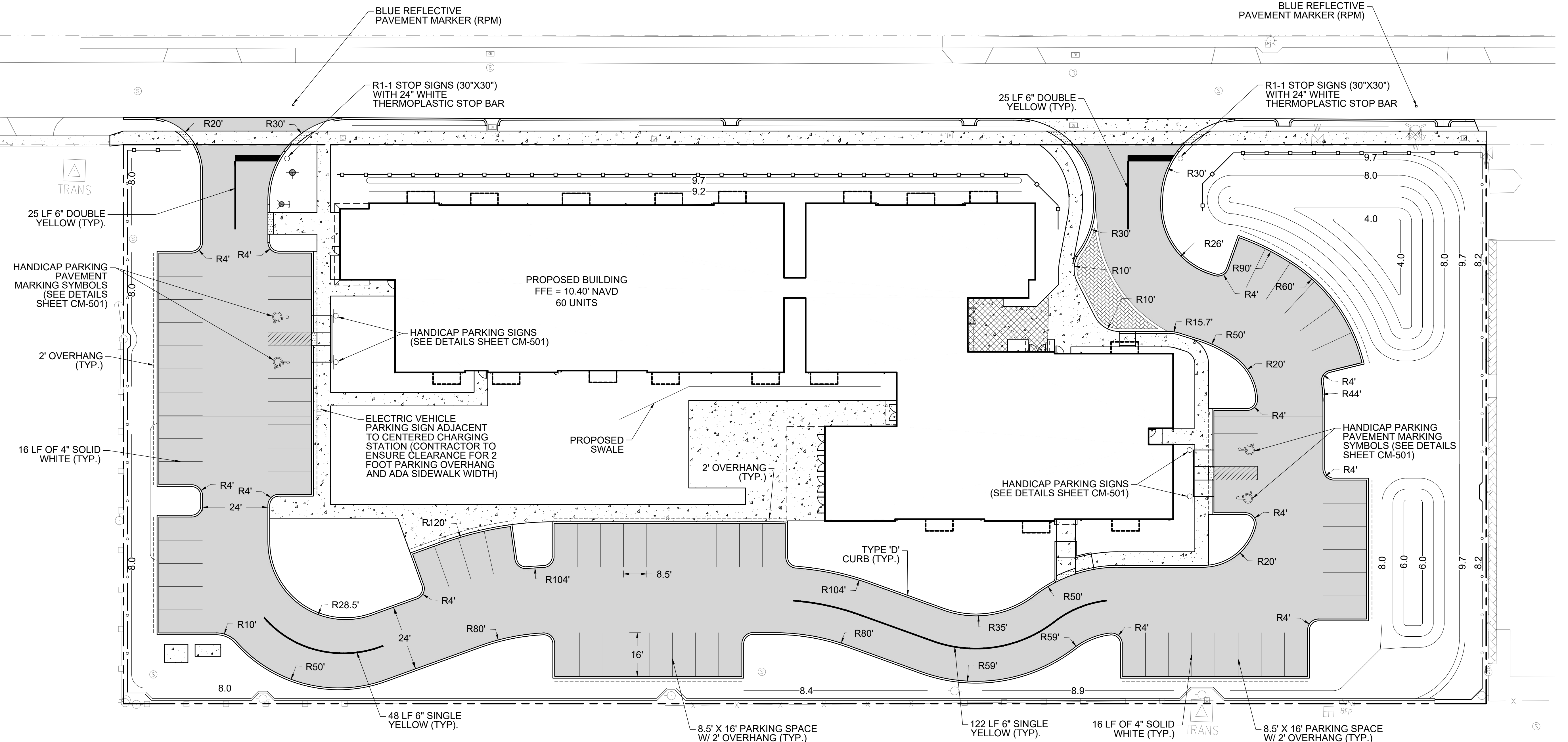
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

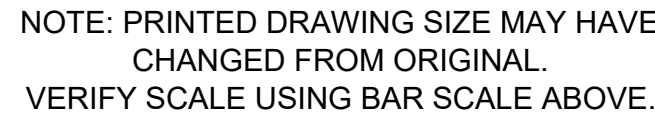
SHEET TITLE
**PAVEMENT MARKING
AND SIGNAGE PLAN
SITE 1 (WEST)**

SHEET NUMBER
CM-101

PDB SUBMITTAL

PROJECT NO. 10067.00





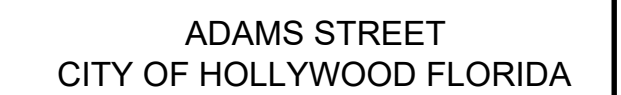
Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

[illegible]

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

PAVEMENT MARKING AND SIGNAGE PLAN SITE 2 (CENTRAL)

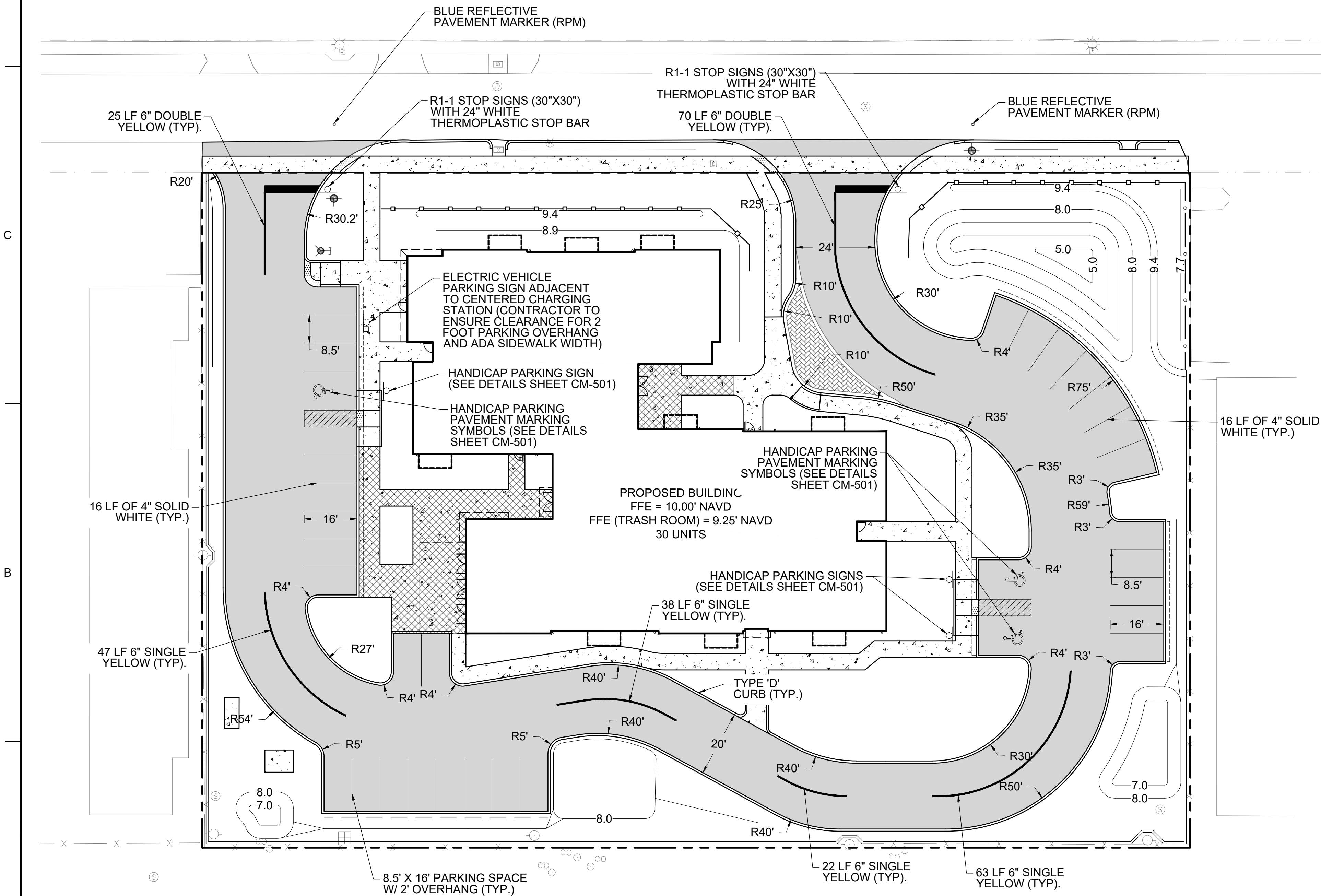
CM-102

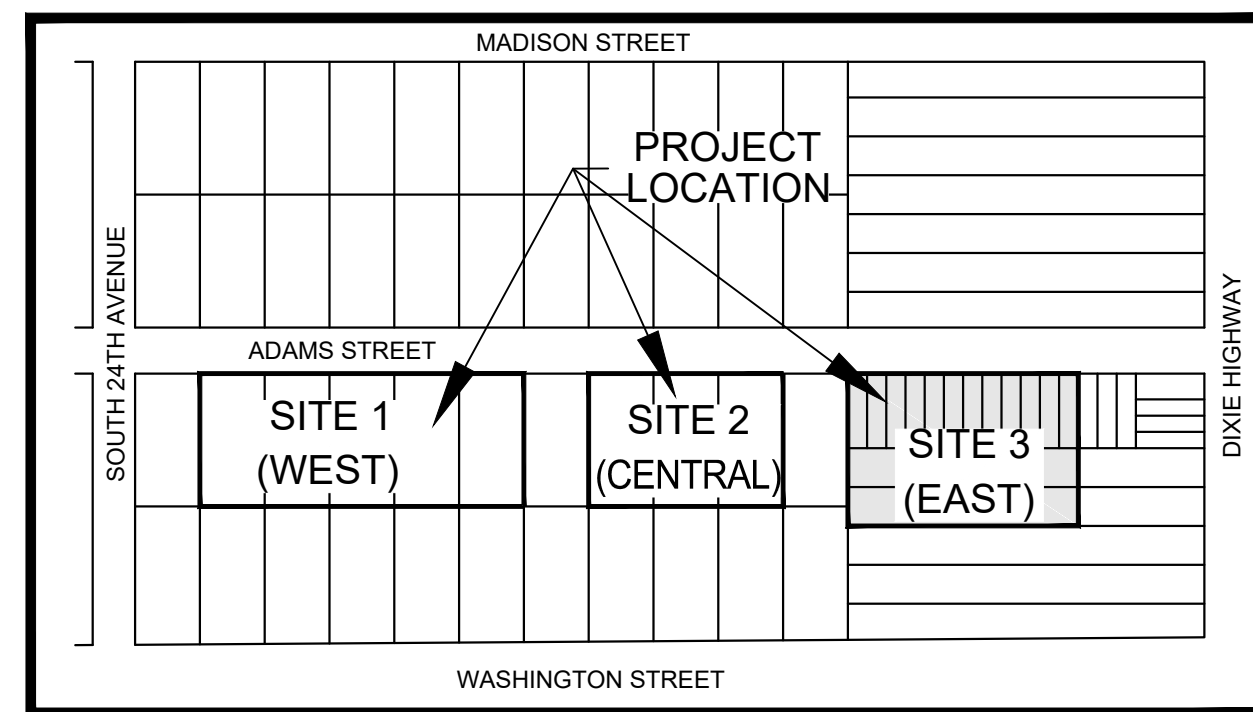
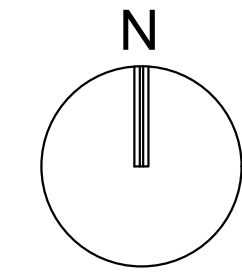
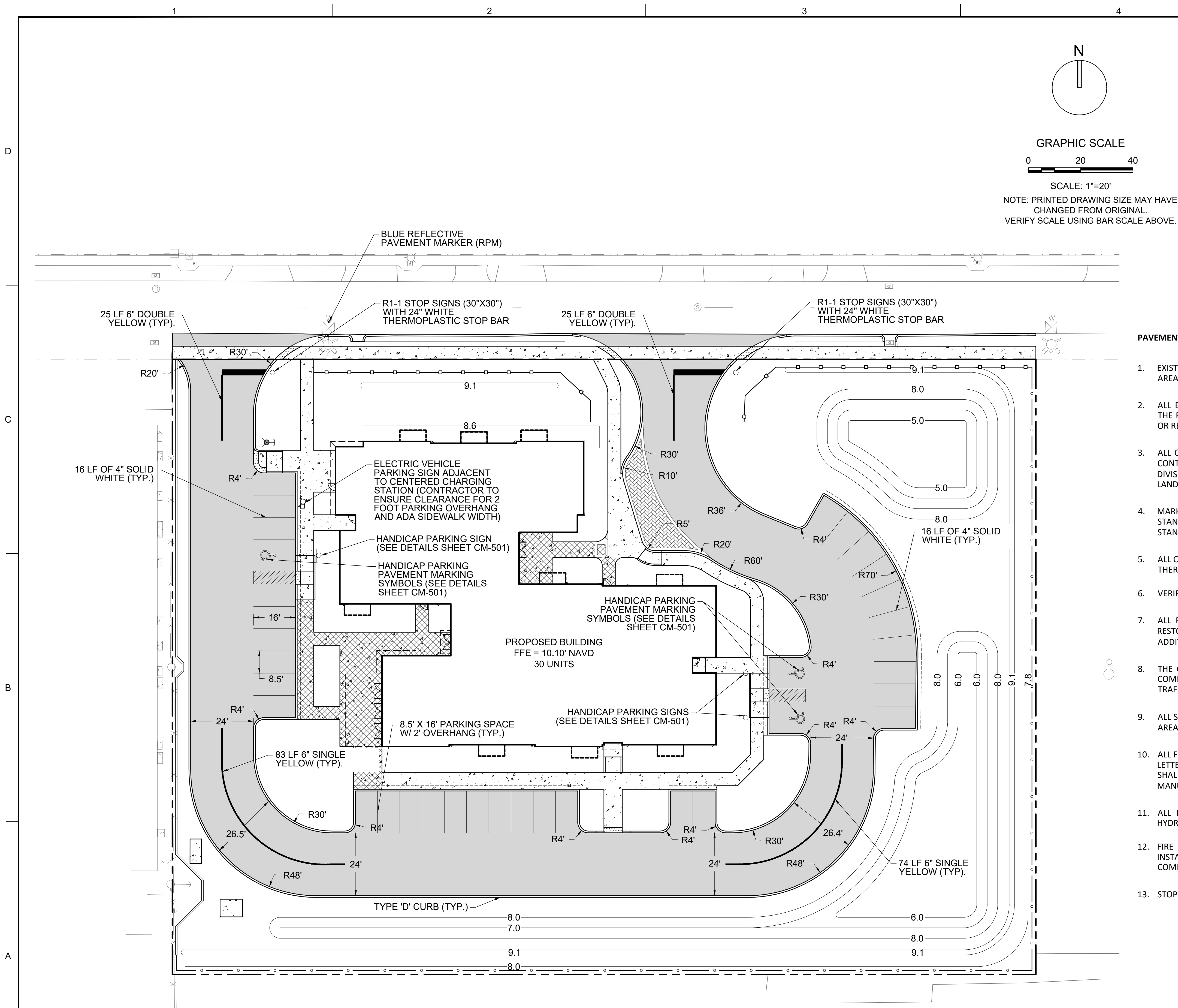
PDB SUBMITTAL

PROJECT NO. 10067.00

- PAVEMENT MARKING AND SIGNAGE NOTES:**

1. EXISTING NO PARKING SIGNS WITHIN THE RIGHT OF WAY SWALE SHALL BE REMOVED IN AREAS OF PROPOSED CURBING.
2. ALL EXISTING TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS IN CONFLICT WITH THE PROPOSED TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS WILL BE REMOVED OR RELOCATED BY THE CONTRACTOR.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS (CURRENT EDITION), AND THE CITY OF HOLLYWOOD'S ZONING AND LAND DEVELOPMENT REGULATIONS.
4. MARKINGS SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS, SECTION 711, DESIGN STANDARDS, INDEX 17346, AND THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS AND SPECIFICATIONS (CURRENT EDITION).
5. ALL ON-SITE MARKINGS SHALL BE PAINT EXCEPT 24" SOLID WHITE STOP BAR WHICH SHALL BE THERMOPLASTIC OR AS INDICATED ON PLANS.
6. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF SIGN POSTS.
7. ALL PAVEMENT MARKINGS AND SIGNING DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS (CURRENT ADDITION).
8. THE CONTRACTOR SHALL PROVIDE A COPY OF THEIR BROWARD COUNTY CERTIFICATE OF COMPETENCY PRIOR TO SUBMITTING FINAL INSPECTION REQUEST TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION.
9. ALL SIGNS TO FOLLOW FDOT INDEX 17302 - CASE V (LOCATION IN BUSINESS OR RESIDENTIAL AREAS) AND INDEX 11860 - MIN. INSTALLATION REQUIREMENTS.
10. ALL FDC SIGNAGE SHALL BE INSTALLED PURSUANT TO CITY STANDARDS AND SHALL HAVE RED LETTERING, NOT LESS THAN 3 INCHES IN HEIGHT, ON WHITE BACKGROUND. EACH SIGN SHALL BE 18 INCHES WIDE BY 24 INCHES IN HEIGHT, AND SHALL BE CONSISTENT WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT EDITION).
11. ALL FIRE HYDRANTS REQUIRE BLUE REFLECTORS IN THE ROADWAY TO INDICATE FIRE HYDRANT LOCATIONS.
12. FIRE DEPARTMENT CONNECTION PER CITY REQUIREMENTS, REFER TO PLUMBING PLAN. INSTALL "FIRE DEPARTMENT CONNECTION, NO PARKING" SIGN TO BE FDOT AND CITY COMPLIANT AS REQUIRED.
13. STOP BARS SHALL BE A MINIMUM OF 4 FEET BEHIND THE CROSSWALK.





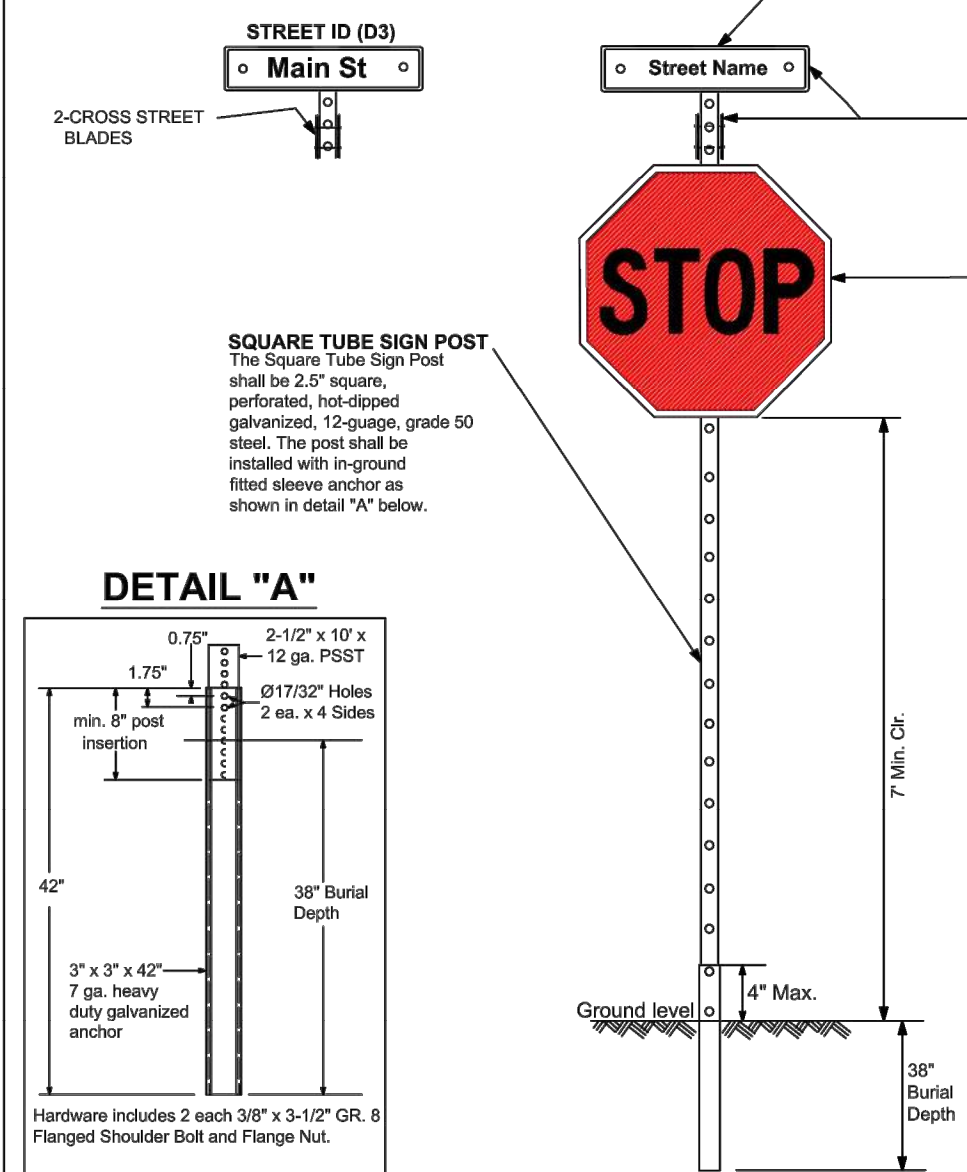
KEITH
& ASSOCIATES, INC.
consulting engineers

PROJECT NO. 10067.00

FOR SIGN ASSEMBLIES WITH MAXIMUM 8.75
SQUARE FOOT PANEL AREA

FOR SIGN ASSEMBLIES WITH GREATER THAN 8.75
SQUARE FOOT PANEL AREA WITH SUPPLEMENTAL SIGN

Typical Details



STREET ID MATERIALS:
BORDER AND LETTERS
SILVER DIAMOND GRADE
TYPE XI SHEETING
LETTERING OF STREET NAME SIGNS SHALL BE
COMPOSED OF A COMBINATION OF LOWERCASE
LETTERS WITH INITIAL UPPERCASE LETTERS

GREEN BACKGROUND
GREEN TRANSLUCENT INK SILK-SCREENED
CLEAR-COATED OR ELECTRO-OUT (EC) FILM
1172 GREEN OR EQUIVALENT

SIZE
SEE MUTCD TABLE 2D-2 (PG 163)
FOR MINIMUM LETTER HEIGHTS
LENGTH VARIES BY STREET NAME

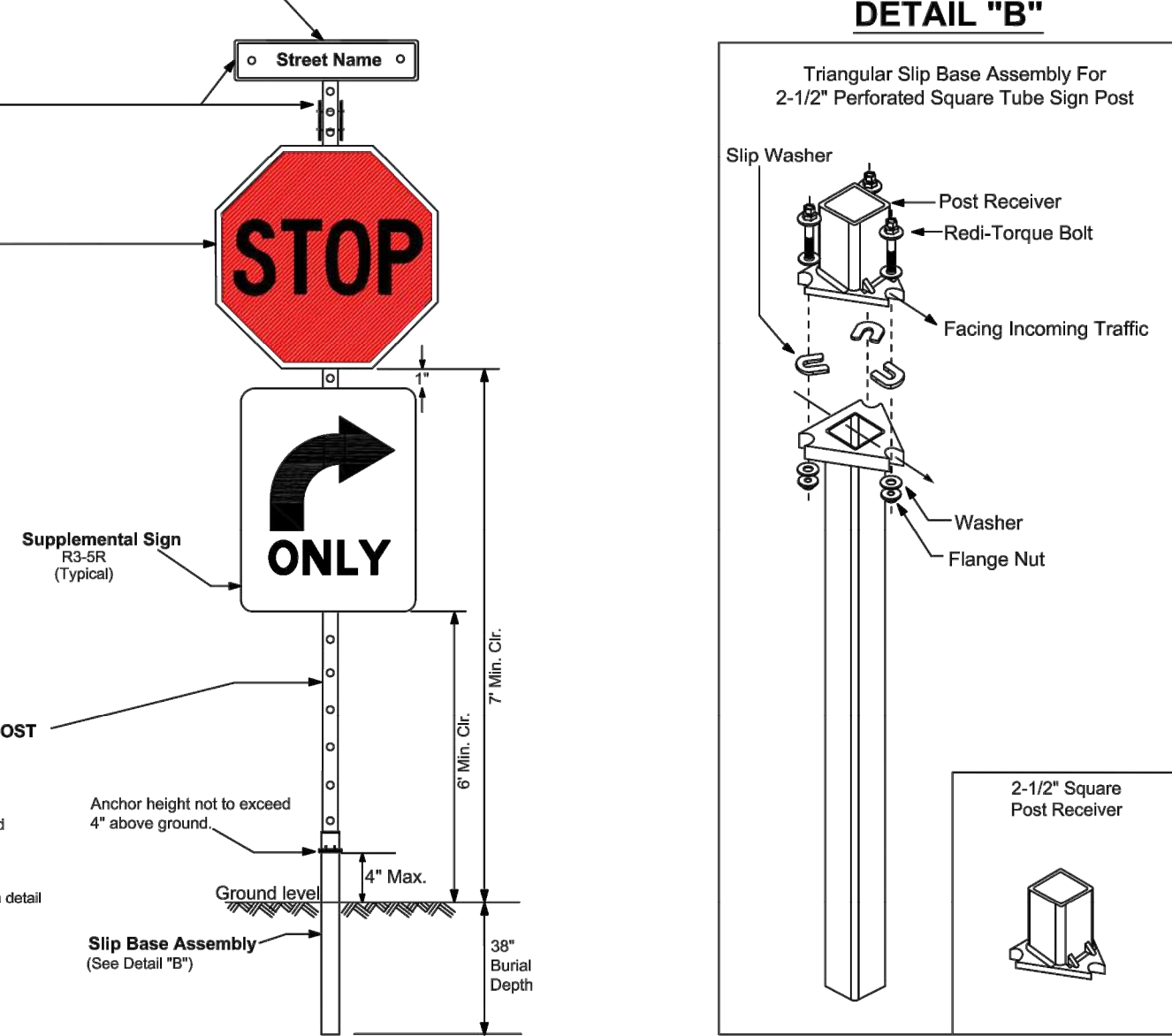
HARDWARE
#18 THREADED STEEL ZINC BOLTS,
GRADE 5, 5/16" x 3/4", W/ NYLON
WASHERS.

REGULATORY SIGN
R-11 DEPICTED THE TOP OF
THE STOP SIGN SHALL BE MOUNTED
FLUSH TO THE TOP OF THE POST WHEN
NO STREET ID IS PRESENT. ANY SIGN
INSTALLED BACK TO BACK WITH THE
STOP SIGN SHALL BE SMALLER THAN
THE STOP SIGN.

STOP, DO NOT ENTER OR YIELD
WHITE DIAMOND-GRADE, TYPE XI SHEETING
PRESSURE-SENSITIVE RED TRANSLUCENT
INK SILK-SCREENED CLEAR-COATED OR
EC FILM 1172 RED OR EQUIVALENT OVER
DIAMOND GRADE

NOTE:
ALL TYPE XI SHEETING UTILIZED
MUST BE ON THE FOOT APL LIST.

Typical Details



Notes:
1. Dimensions and certain details for the parts used to assemble the slip base connections are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Basic Wind Speed per 2013 AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and interims.
2. For standard ground sign installation, see detail entitled "Ground Sign Assembly Details".

REVISIONS

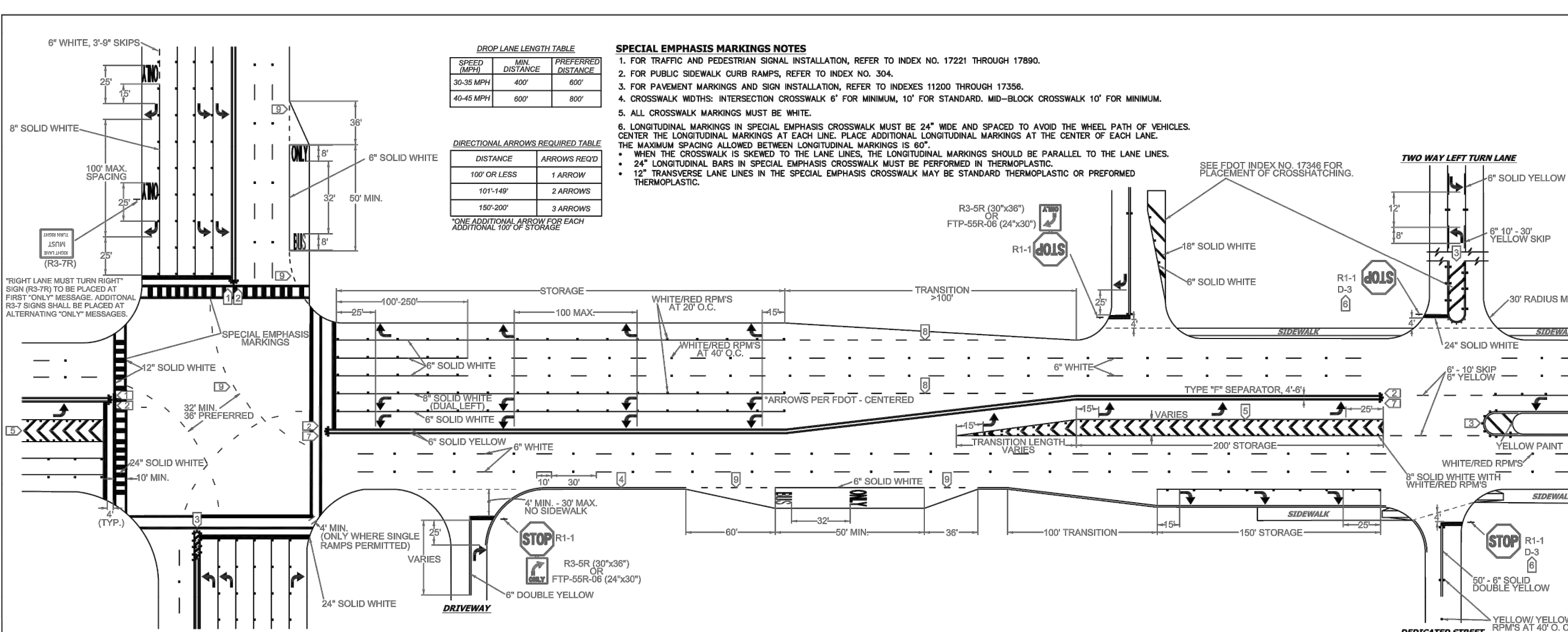
DATE	DESCRIPTION
06-07-2016	N/A
03-21-2017	UPDATED POST SIZE



**PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION**
DESIGN BY: CARMELO CARATOZZO, P.E.
DRAWN BY: STEPHON RAMOUTAR
CHECKED BY: ANDREW SEBO, P.E., P.T.O.E.

STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS

SHEET
NO.
1 OF 1



- NOTES**
1. ALL PAVEMENT MARKINGS SHALL BE ALKID BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
 2. ALL PAVEMENT MARKINGS ON PAPER SYSTEMS SHALL BE 3M 380/381 SERIES TAPE OR EQUIVALENT AND APPLIED WITH P80 ADHESIVE AS PER MANUFACTURERS SPECIFICATIONS.
 3. ALL PAVEMENT MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION, AND FOOT DESIGN STANDARDS.
 4. SEE FOOT INDEX NO. 17332 FOR PLACEMENT OF RPM'S (FOR BULLNOSE RPM TREATMENT, SEE LEGEND NO. 1).
 5. RPM'S SHALL BE CLASS "B" OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
 6. FOOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
 7. FOR BIKE LANE DETAILS SEE FOOT INDEX NO. 17347.
 8. MARKINGS IN AND ADJACENT TO BIKE LANES SHALL BE THERMOPLASTIC WITH A MIXTURE OF 50% GLASS SPHERES AND 50% SHARP SILICA SAND APPLIED AT A RATE DETERMINED BY THE MANUFACTURER'S SPECIFICATIONS.
 9. EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SAND BLASTING.
 10. ALL STOP LINES TO BE 4' BEHIND CROSSWALK OR SIDEWALK.
 11. PAVEMENT MARKING REFLECTIVITY SHALL BE UNIFORM ACROSS THE ENTIRE STRIPE AND SHALL HAVE A MINIMUM REFLECTIVITY READING OF 250 MILICANDELS FOR WHITE AND 175 MILICANDELS FOR YELLOW.
 12. ALL PRODUCTS MUST BE ON FOOT'S APPROVED PRODUCTS LIST (APL).

- LEGEND**
1. **YELLOW/YELLOW RPM DETAILS**
DIRECTION OF TRAVEL
CENTERLINE
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
 2. **MEDIAN NOSE PAINT DETAILS**
RAISED SEPARATOR
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
 3. **PAINTED MEDIAN DETAILS**
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL

4. **EDGE LINE DETAILS**
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
5. **CHEVRON DETAILS - CROSSWALK AREAS AND IN FRONT OF CURB RAMPS**
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
6. **STREET NAME BLADE DETAILS**
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL

7. **TYPE IV SEPARATOR DETAILS**
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
DIRECTION OF TRAVEL
8. **STOP SIGN NOTE**
WHERE SIDE ROADS INTERSECT A MULTI-LANE STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 45 MPH OR HIGHER, THE MINIMUM SIZE OF THE STOP SIGNS FACING THE SIDE ROAD APPROACHES, EVEN IF THE SIDE ROAD ONLY HAS ONE APPROACH LANE, SHALL BE 36"x36".
WHERE SIDE ROADS INTERSECT A MULTI-LANE (INCLUDING TURN LANE) STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 40 MPH OR LOWER, THE MINIMUM SIZE OF THE STOP SIGN FACING THE SIDE ROAD APPROACHES SHALL BE 36"x36".

9. **STOP SIGN NOTE**
WHERE SIDE ROADS INTERSECT A MULTI-LANE STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 45 MPH OR HIGHER, THE MINIMUM SIZE OF THE STOP SIGNS FACING THE SIDE ROAD APPROACHES, EVEN IF THE SIDE ROAD ONLY HAS ONE APPROACH LANE, SHALL BE 36"x36".
WHERE SIDE ROADS INTERSECT A MULTI-LANE (INCLUDING TURN LANE) STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 40 MPH OR LOWER, THE MINIMUM SIZE OF THE STOP SIGN FACING THE SIDE ROAD APPROACHES SHALL BE 36"x36".

REVISIONS

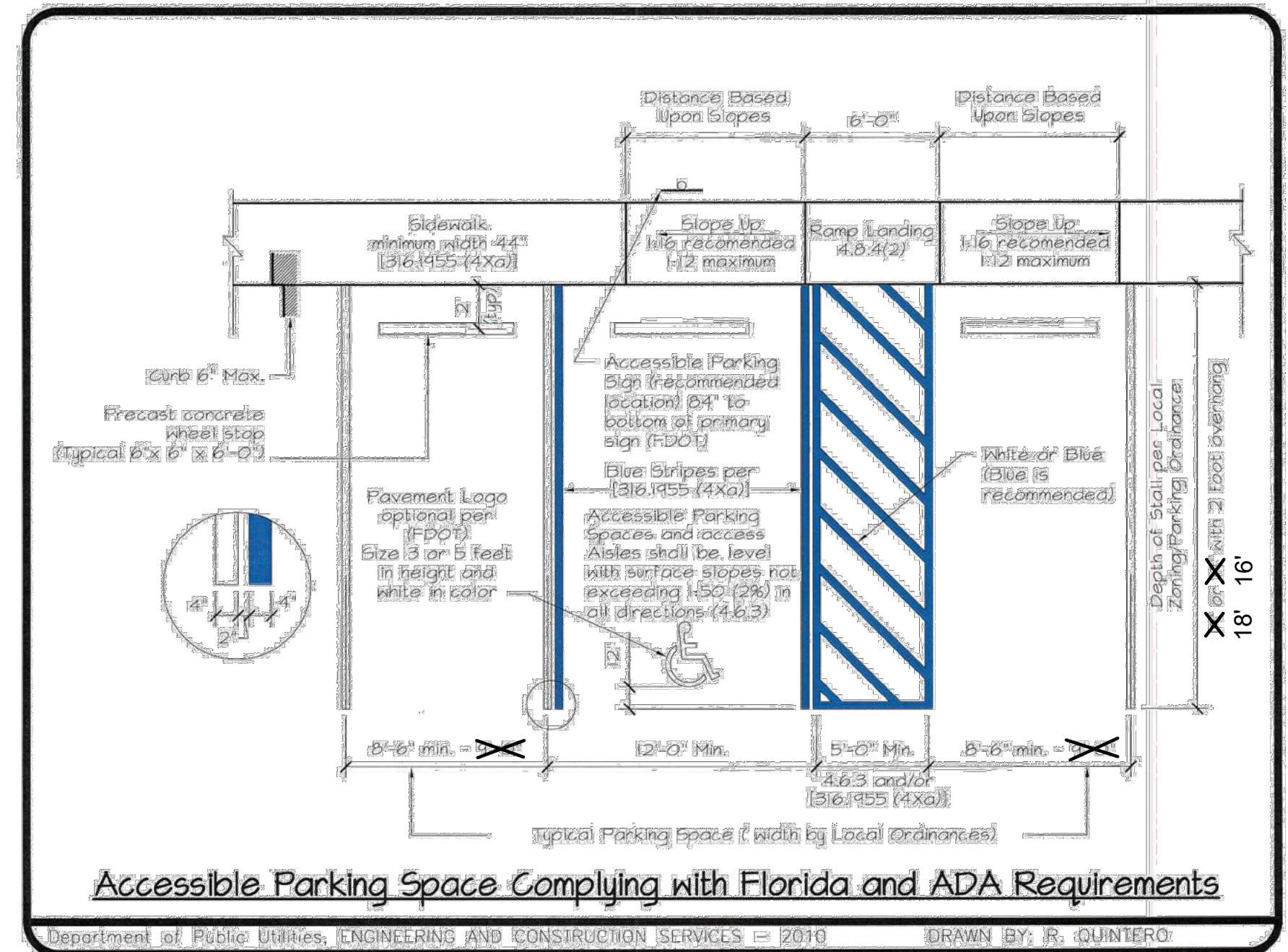
DATE	DESCRIPTION
01-15-2016	N/A



**PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION**
DESIGN BY: CARMELO CARATOZZO, P.E.
DRAWN BY: STEPHON RAMOUTAR
CHECKED BY: ANDREW SEBO, P.E., P.T.O.E.

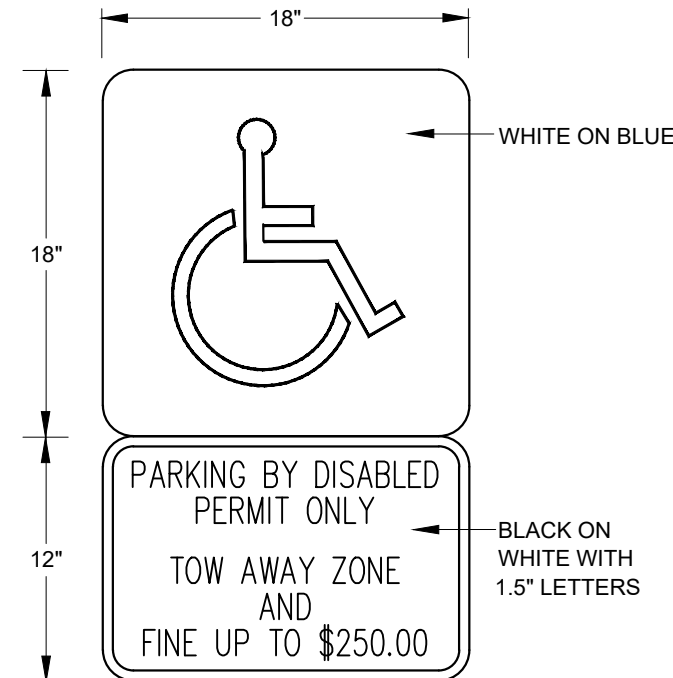
PAVEMENT MARKINGS AND SIGNS DETAILS

SHEET
NO.
1 OF 1

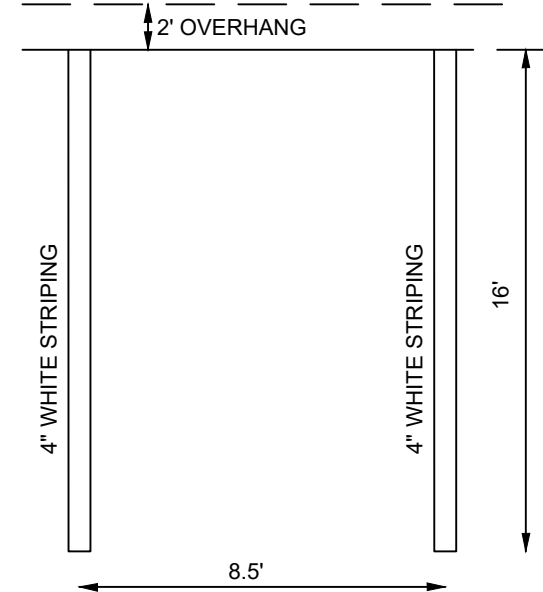


Accessible Parking Space Complying with Florida and ADA Requirements

Department of Public Utilities, ENGINEERING AND CONSTRUCTION SERVICES - 2016 DRAWN BY: R. QUINTERO



HANDICAP PARKING SIGN N.T.S.



PARKING STALL DETAILS N.T.S.



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED

DATE ISSUED: FEBRUARY 2018

DRAWN BY: MC

DESIGNED BY: SB

CHECKED BY: JT

SHEET TITLE

**PAVEMENT MARKING
AND SIGNAGE
DETAILS**

SHEET NUMBER

CM-501

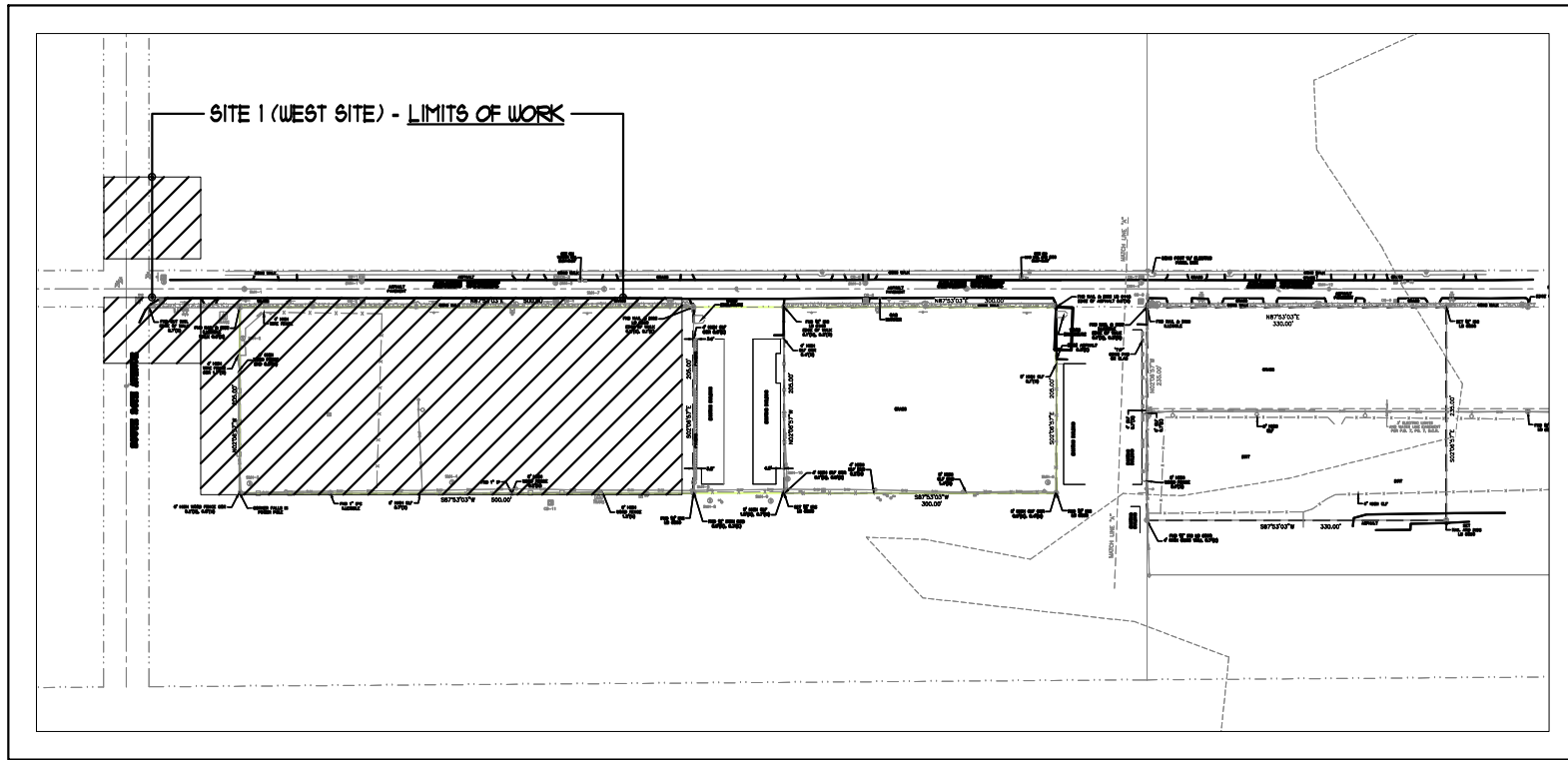
PDB SUBMITTAL

PROJECT NO. 10067.00

PLANT SCHEDULE WEST SITE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
	*B5	14	Bursera simaruba / Gumbo Limbo	F.G. 1'6" x 8" spread min.		
	CC2	2	Casoa burttiana / Casoa	FG, 8'-10" OA, 2'DBH min.		
	CG	4	Cattleya guaya / Cattley Guaya	25 gal./Multi-Trunk/7'-9" O.A. Ht.		
	CS3	15	Clerodendrum quadriloculare / Starburst / Starburst Clerodendrum	#25 6"-8" OA		
	*CD	9	Coccoloba diversifolia / Pigeon Plum	F.G., 12'-14' x 6" spread min.		
	CN	21	Coccoa nuxera / Coconut Palm	12'-14" CT, Single Matched		
	ED	6	Elaeocarpus decipiens TM / Japanese Blueterry Tree	FG		10'-12" OA Ht.
	FT	4	Ficus decipiens / Japanese Fern Tree	FG, 8'-10" OA		
	U2	3	Lagerstroemia indica / Crape Myrtle	F.G. 1'6" x 8" min., Multi		
	PS	4	Phoenix sylvestris / Wind Date Palm	FG, 8'-10" CT		
	PM3	5	Psychospermia macarthurii / Macarthur Palm	12'-14" CT, Single Matched		
	*QV	31	Quercus virginiana / Southern Live Oak	FG, 12'-14" OA	37Gal	
	*TR2	5	Thrinax radiata / Florida Thatch Palm	25 gal		
	*TR	12	Thrinax radiata / Florida Thatch Palm	FG		4'-5" O.A.
	TU	14	Tibouchina urvilleana / Princess Flower	15 gal		
	VMA	6	vetoua merrillii / Christmas Palm	45G or FG, 8'-10" min.		
	WS	5	Wodyetia bifurcata / Foxtail Palm	6" to 10", C.T. match		
SHRUBS						
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		
	AD	14	Acalypha wilkesiana 'Inferno' / Copper-Leaf	3 gal		
	AL3	58	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger	7 gal/1'4"		
	BH4	15	Bougainvillea x 'New River' / Bougainvillea New River	7 gal, TRI		
	BR2	20G	Bromelad / Assorted Bromelads	1 gal		
	BB	40	Bulbine bulbosa / Bulbine Lily	3 gal		
	*CK	655	Chrysobalanus icaco 'Red Tip' / Red Tip Coccoloba	3G, 24" MIN.		
	C55	19G	Cleome guttata / Small-Leaf Cleome	7 gal		
	CDD	83	Codadium x 'Gold Dust' / Gold Dust Croton	3 gal		
	*CE	457	Conocarpus erectus / Green Buttonwood	3G, 24" MIN.		
	C59	24	Conocarpus erectus 'Sericeus' / Silver Buttonwood	3G, 24" MIN.		
	CK3	96	Cordyline terminalis 'Red Sister' / Red Sister Ti Plant	3 gal		
	CG	73	Croton augustum 'Queen Emma' / Queen Emma Croton	15 gal		
	FM	88	Ficus microcarpa 'Green Island' / Green Island Ficus	3G, 18" min.		
	*IV	27	Ilex venisora 'Schellings Dwarf' / Dwarf Yaupon Holly	3G, 18" min.		
	IK2	169	Ixora coccinea 'Mau Red' / Mau Ixora	3 gal		
	UR	20	Unopoe mascon 'Variegata' / Variegated Lily Turf	1 gal		
	PL	148	Pentas dwarf / Dwarf Pentas	1 Gal., Salton		
	PT	213	Philosporum tobira 'Tunari' x Variegated Dwarf / Variegated Dwarf Philsoporum	3 gal		
	PO2	254	Podocarpus macrophyllus 'Dwarf Pringles' / Dwarf Podocarpus	3G, 10" min.		
	ST3	190	Schefflera arboricola 'Treetite' / Schefflera	3 gal		
	*T	28G	Triplacum dactyloides / Takahatchee Grass	3G, 24" MIN.		
GROUND COVERS						
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPACING		
	AG	346 sf	Arachis glabrata / Perennial Peanut			
	SOD	23,473 sf	Stenotaphrum secundatum / St. Augustine Grass			
* REMOVED NATIVE SPECIES (VARIED SPECIES CODE REQUIRED) (REMOVED)						
A - TOTAL SUM OF PROVIDED NATIVE SHRUBS = 1,444						
D - TOTAL SUM OF PROVIDED NATIVE TREES + PALMS = 10						
I - TOTAL A OF PROVIDED NATIVE TREES = 3						
TOTAL A OF PROVIDED NATIVE TREES (REMOVED) = 3						

SITE 1 (WEST SITE) - LANDSCAPE SCHEDULE



SITE 1 (WEST SITE) - PROJECT LOCATION & LIMITS OF WORK

NT9

MITIGATION LEGEND:

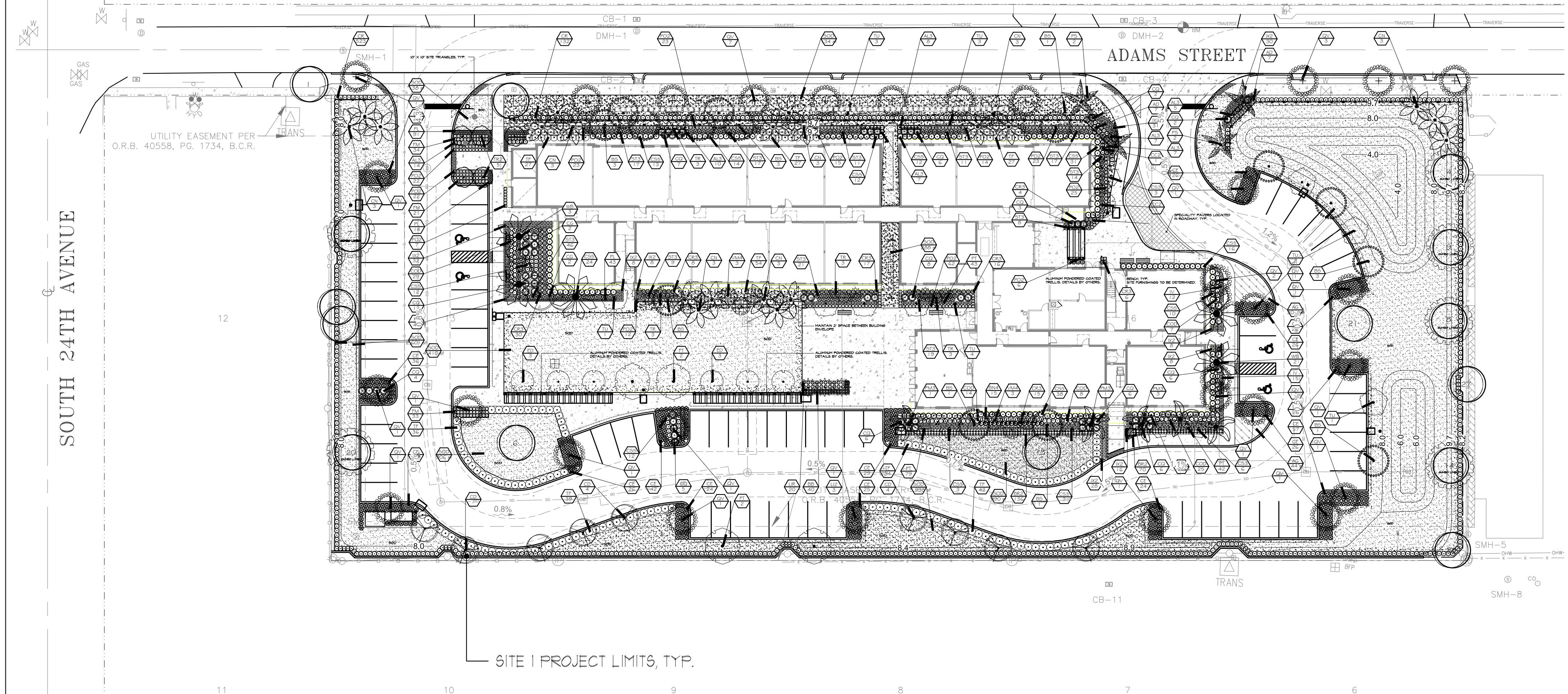
- EXISTING TREE / PALM TO REMAIN
- EXISTING TREE / PALM TO RELOCATE

NOT FOR CONSTRUCTION

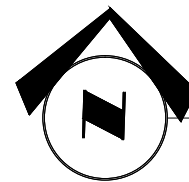
THESE PLANS HAVE NOT BEEN APPROVED
BY THE GOVERNING AGENCY
AND ARE SUBJECT TO CHANGE.

SITE 1 (WEST SITE) - PROPOSED LANDSCAPE PLAN

NOTE: SEE SHEET LA-1A FOR EXISTING TREE/
PALM DATA AND MITIGATION STATUS



0 30 60 90 feet
SCALE: 1" = 30'



SITE 1 (WEST SITE) - LANDSCAPE PLAN & SCHEDULE

SCALE: 1" = 30'-0"

DAVIDFONTDESIGN
INTERIOR | EXTERIOR
7551 WILLES ROAD, SUITE 1059
CORAL SPRING, FLORIDA 33067
PH: 954.283.8839 FAX: 954.773.9841
EMAIL: INFO@DAVIDFONTDESIGN.COM



PINNACLE AT PEACEFIELD
ADAMS STREET
HOLLYWOOD, FLORIDA



DAVID FONT, ASLA, RLA
LA 6666822

REVISIONS:

- COMMENT RESPONSES 2.20.2018
- COMMENT RESPONSES 4.2.2018

SUBMITTAL

4/2/2018

LA-2A

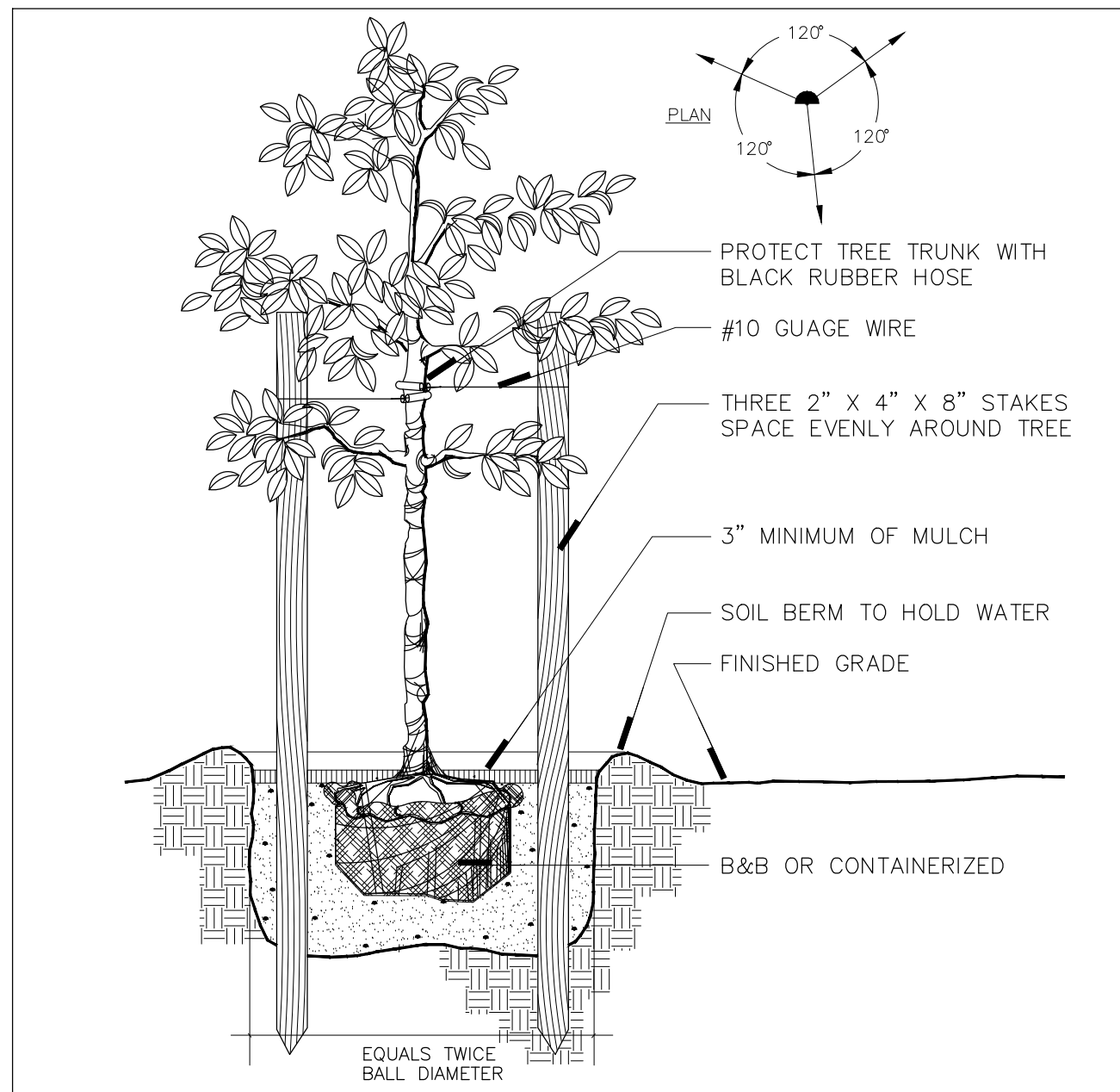
LANDSCAPE NOTES

1. PLANT MATERIAL SHALL CONFORM TO THE GRADES AND STANDARDS FOR FLORIDA NO. 1 OR BETTER AS DESCRIBED IN 'GRADES AND STANDARDS FOR NURSERY PLANTS' (LATEST EDITION) BY THE FLORIDA DEPARTMENT OF AGRICULTURE, CONSUMER SERVICES DIVISION.
2. TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.
3. ALL TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM SIZES SHOWN.
4. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES. IF NECESSARY, AMMEND TOPSOIL WITH HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL.
5. PLANTING PITS: ALL TREES AND SHRUBS SHALL BE PLANTED IN A PLANTING SOIL CONSISTING OF A MIXTURE OF 50% MUCK AND 50% CLEAN, BROWN SAND. PLANTING HOLES WILL BE TWICE THE SIZE OF THE ROOT BALL OF THE TREE OR SHRUB BEING PLANTED.
6. MULCHING: ALL EXPOSED SOIL AREAS IN PLANTING BEDS, INCLUDING HEDGE ROWS, SHALL BE KEPT WEED FREE AND MULCHED TO A MINIMUM THREE (3) INCH DEPTH, EXCEPT THAT NO MULCH SHALL BE REQUIRED IN ANNUAL BEDS. THE TYPE OF MULCH SHALL BE SHREDDED AND COMPOSTED MELALEUCA TREE, GRADE 'B'. AT A MINIMUM, PROVIDE A 24 INCH RING OF MULCH AROUND TREE TRUNKS LOCATED IN GRASS AREAS.
** ONLY NON-CYPRESS MULCH IS ALLOWED AND THE MULCH BE KEPT AT LEAST 6 INCHES AWAY FROM TREE AND PALM TRUNKS. NO DYED MULCH SHALL BE USED ON THE SITE.
7. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT MATERIAL QUANTITIES, INCLUDING SOD, SOIL AND MULCH.
8. TREES AND PALMS SHALL BE GUYED OR STAKED AS PER THE DETAILS.
9. EXISTING IRRIGATION SYSTEM TO BE ADJUSTED SO THAT IT PROVIDES 100 PERCENT COVERAGE, RUST- FREE WITH 50 PERCENT MINIMUM OVERLAP AND AN AUTOMATIC RAIN SENSOR. PROVIDE USE OF BUBBLERS ON ALL TREE AND PALM INSTALLATION.
10. THE IRRIGATION SYSTEM SHALL INCLUDE A RAIN SENSOR DEVICE WHICH WILL LIMIT THE OPERATION OF THE SYSTEM IF SUFFICIENT RAINFALL HAS OCCURED.
11. SOD: THE SPECIES OF GRASS FOR LAWNS SHALL BE ST. AUGUSTINE 'FLORATAM' AND SHALL BE INSTALLED AS SOLID SOD.
12. COORDINATE THE FINAL PLACEMENT OF TREES WITH THE PLACEMENT OF LAMP POST LIGHTING.
13. CONTRACTOR SHALL ENSURE THAT ADEQUATE WATER IS SUFFICIENTLY ESTABLISH PLANT MATERIAL UNTIL IRRIGATION IS 100% OPERABLE.
14. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION NEWLY INSTALLED PLANTINGS TO SUPPLIED IN NECESSARY QUANTITIES TO ALL FROM THE L.A. OR CLIENT
15. IN AREAS WHERE PAVED SURFACES ABUT SOD OR MULCH, THE FINAL GRADE LEVEL OF BOTH SURFACES SHOULD BE EVEN.
16. NO STREET TREE SHALL BE PLANTED LESS THAN (25) FEET FROM ANY STREET CORNER, MEASURED FROM THE POINT OF INTERESCTING CURBS OR ROADWAY PAVEMENT EDGES.
17. ALL MATERIAL SHALL BE FERTILIZED WITH THE APPROPRIATE FERTILIZER OR TABLETS IMMEDIATELY UPON INSTALLATION.
18. LANDSCAPE AREAS, INCLUDING LANDSCAPED ISLANDS, WITHIN OR ABUTTING VEHICULAR USE AREAS SHALL BE EXCAVATED TO A DEPTH OF TWO AND A HALF FEET (2 1/2 ') TO ENSURE THAT ADEQUATE PLANTING SOIL EXISITS. PARKING LOT BASE COURSE MATERIAL, LIMEROCK, ASPHALT, AND OTHER SIMILAR MATERIAL SHALL BE REMOVED TO A DEPTH OF TWO AND A HALF FEET (2 1/2')
19. EXISTING TREES AND PALMS REMAINING MUST BE STRUCTURALLY PRUNED BY PROFESSIONALLY LICENSED TREE COMPANY.
20. ALL TREES SHOULD BE PLANTED SO THAT THE TRUNK FLAIR IS VISIBLE AT THE TOP OF THE ROOT BALL. THE TOP OF THE ROOT BALL SHALL BE PLANTED SO THAT IT IS 5% TO 10% ABOVE FINISH GRADE. SOIL MUST NOT BE PLACED OVER THE ROOT BALL.

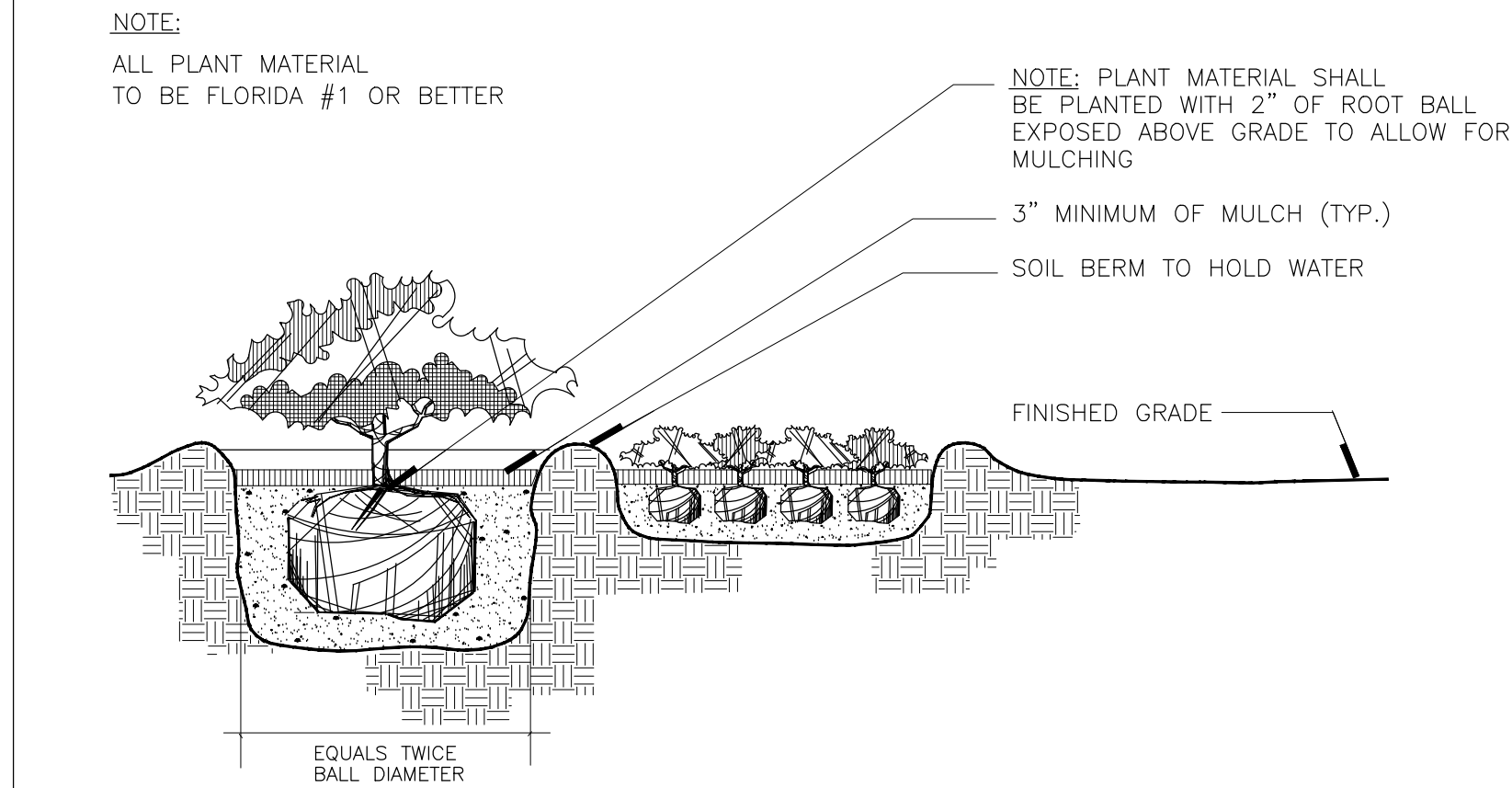
Landscape Requirements: West Site

Zoning Designation: DH-1 (Dixie Highway Multi-Family Distnct)

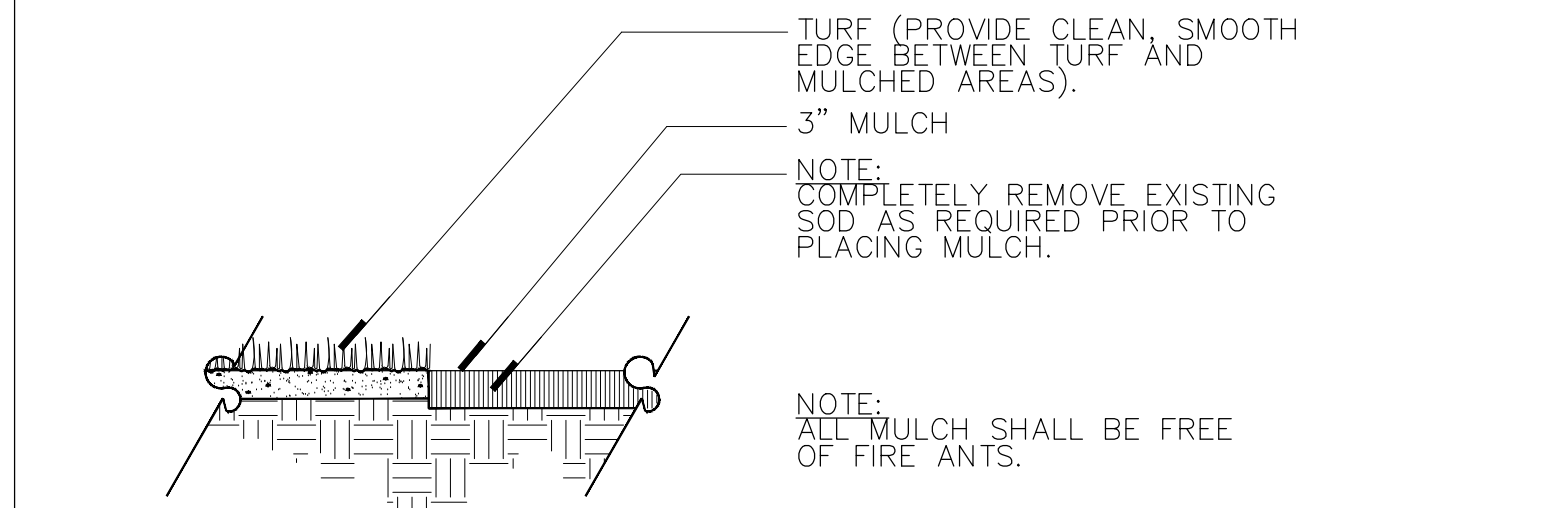
- Net Lot Total Area (Sq. Ft. and Acres): 102,500 SF (2.35 Acres)
Net Lot Total Open Space (Sq. Ft. and Acres): 42,598 SF (0.97 Acres)
- Open Space Requirement: Total Site Pervious Area = 42,598 SF
1. Required: Minimum % of the Total Pervious Area to be Landscaped = 40%
Provided = 42%
- 2. Required: One Tree (Min. 12' Ht.) per 1,000 SF of Total Pervious Area = 43
Provided = 43
- Perimeter Landscape Requirement: Total LF of Street Frontage = 423 LF
Required: One Street Tree (Min. 12' Ht.) per 50 LF of Street Frontage = 8
Provided = 8
- Vehicular Use Requirement:
1. Required: % of the VUA which shall be Landscaped = 25%
Provided = 25%
- 2. Required: One Tree (Min. 12' Ht.) per Terminal Island = 18
Provided = 18
- Grand Total - Trees:
1. Trees Required - Grand Total = 69
Provided = 69
- 2. Required: Minimum Number of Tree Species Allowed = 6
Provided = 6
- 3. Max. % of Palms to count toward Tree Requirements (@ 3:1) = 50%
Provided = 50%
- 4. Required: Minimum % of Native Trees / Palms Allowed = 60%
Provided = 60%
- 5. Required: Minimum % of Native Shrubs = 50%
Provided = 50%



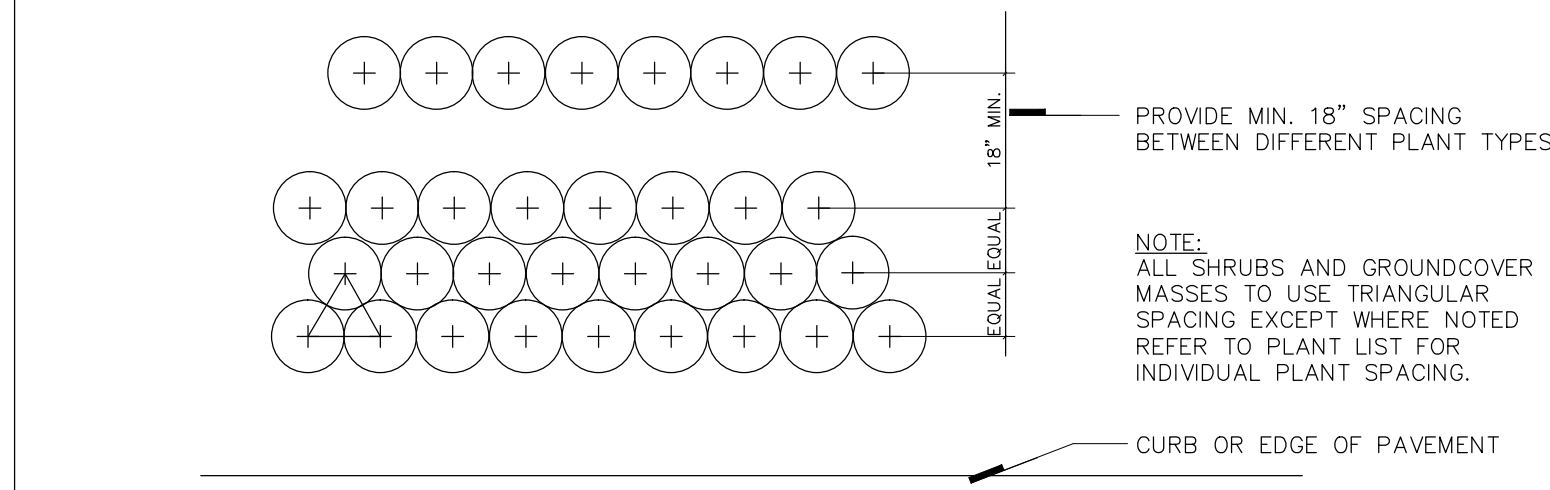
A TREE DETAIL
SECTION NOT TO SCALE



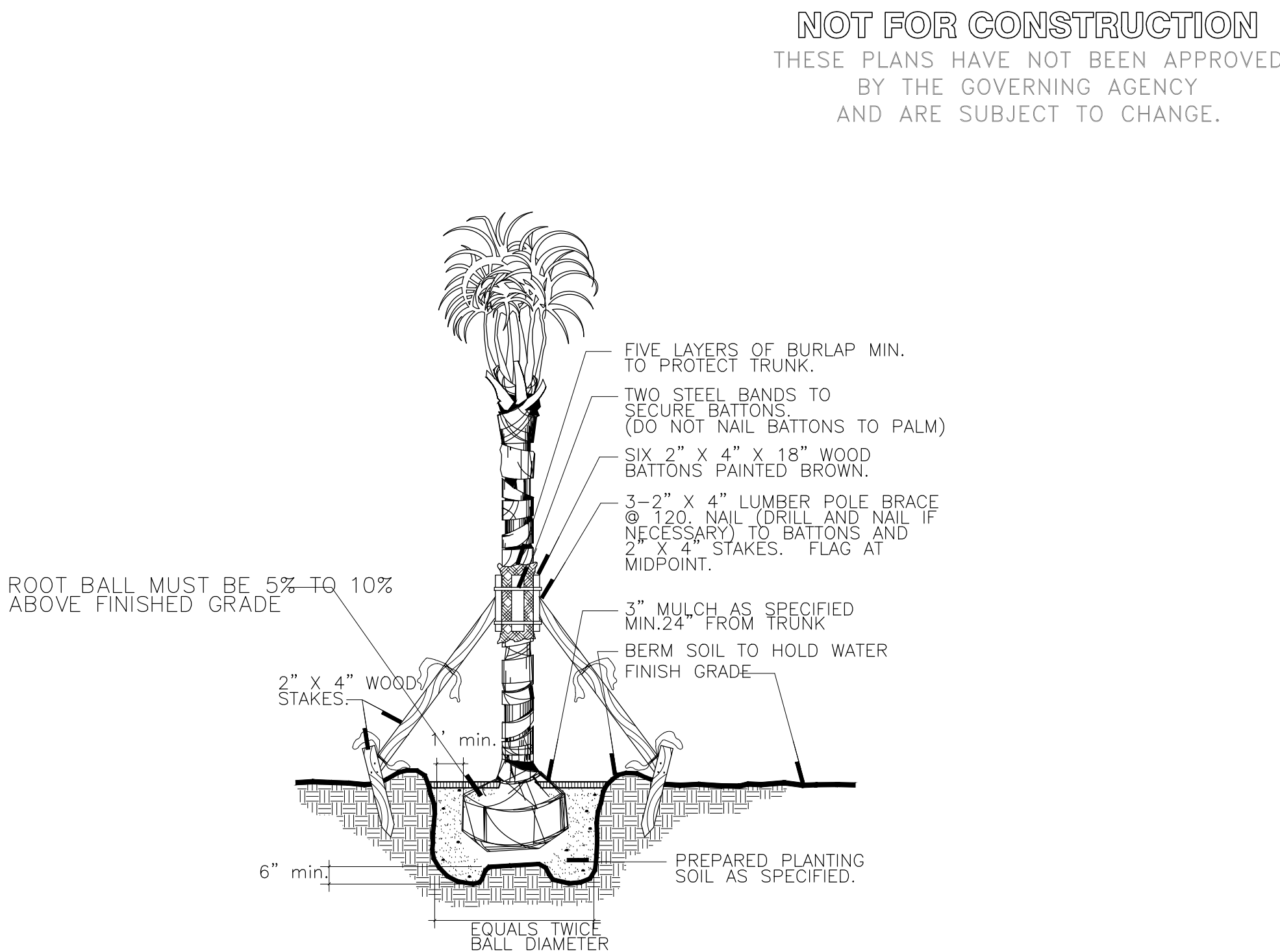
B SHRUB AND GROUND COVER DETAIL
SECTION NOT TO SCALE



C TURF/MULCH DETAIL
SECTION NOT TO SCALE



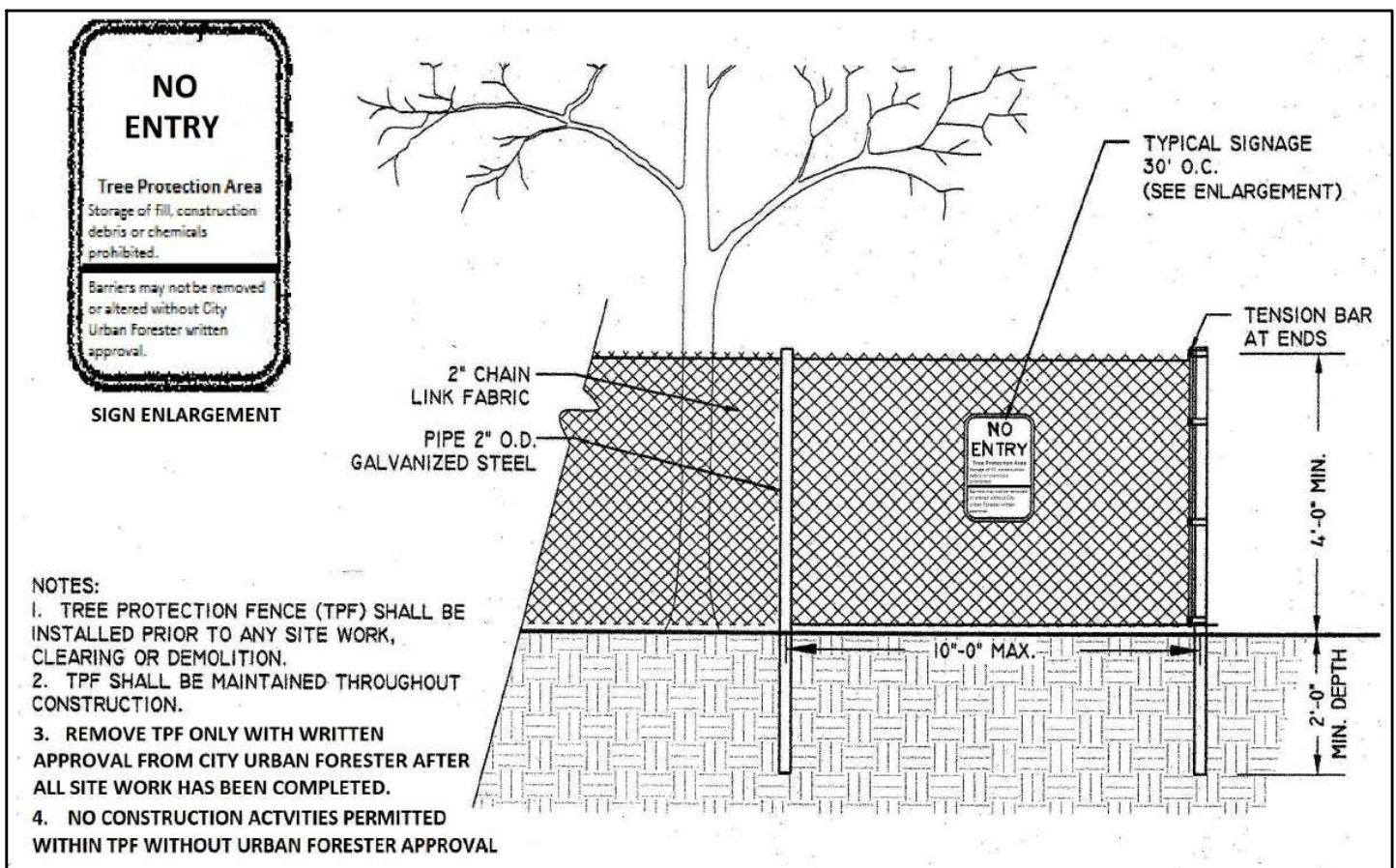
D SHRUB/GROUND COVER SPACING DETAIL
PLAN NOT TO SCALE



E PALM DETAIL
SECTION NOT TO SCALE

Always call 811 two full business days before you dig

Sunshine811.com



F TREE PROTECTION FENCE DETAIL
SECTION NOT TO SCALE

DAVID FONT DESIGN
INTERIOR | EXTERIOR
7551 WILES ROAD, SUITE 105B
CORAL SPRING, FLORIDA 33067
PH: 954.283.8839 FAX: 954.773.9841
EMAIL: INFO@DAVIDFONTDESIGN.COM



PINNACLE AT PEACEFIELD
A D A M S S T R E E T
H O L L Y W O O D , F L O R I D A



DAVID FONT, ASLA, PLA
LA 6666822

REVISIONS:
COMMENT RESPONSES 2.30.2018
COMMENT RESPONSES 4.2.2018

SUBMITTAL
4/2/2018

LA-3A

Applicable Documents:

A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period.

Scope of Work:

A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident thereto.

B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, grading, fertilizing, mulching, staking and guying where required, watering, pruning where required, and installation, weeding, cleanup, maintenance and guarantee.

C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary.

D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work. These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive separate, additional compensation for this.

E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The contractor's unit prices shall be the basis for said payment. The final amount of payment may or may not be the total sum of the contract depending on the number of units installed.

F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance.

G. The Landscape Contractor will coordinate his work with all other trades at the job site.

Quality Assurance:

A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architect retains the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory or defective material at any time during the progress of work. The Landscape Contractor shall remove rejected trees or shrubs within 7 days from the project site.

B. Responsibility for Assuring Quality Work:

(1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation, coordination with other contracts or service in the project area and coordination between the nursery and the project.

(2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material on the project.

(3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape materials and work.

C. Grade Standards:

(1) Plant material shall be Florida #1 or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

(2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions, plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. Plant materials which have been cut back from larger grades to meet certain specification requirements will be rejected.

(3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, burns, disfiguring roots, sun-scaled injuries, abrasion of the bark, plant diseases, insect pest eggs, borers, and all forms of infestations or objectionable disfigurement.

Delivery, Handling and Storage:

A. Delivery and Handling:

(1) Movement of nursery stock shall comply with all Federal, State, and local laws, regulations, ordinances, codes, etc.

(2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and protect while stored at the site.

(3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plants shall be covered to prevent wind damage during transit.

(1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting.

Submittals & Approval:

A. Written request for approval to substitute a plant species or a plants designation (B4B, UB4B, CG etc.), type, grade, quality, size, quantity, etc. due to the non-availability of the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is unavailable.

B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the material is delivered and installed on the project.

C. Submit shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.

D. If requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.

E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered and installed on the project. Submit a sample of the mulch for approval by the Landscape Architect.

H. If requested by the Owner or Landscape Architect, submit sources of the material before the material is delivered and installed on the project.

I. Submit prints of shop drawing for all staking and guying methods to be used if the ones indicated in these Specifications and on the Plans are not to be implemented. Staking and guying methods before they are implemented in the The Landscape Architect will approve all shop drawings of project.

J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth, or survival, that would affect the guarantee of plant material.

K. Submit in writing any hindrance to the timely completion of the installation.

L. Submit and Certificate of Inspection of plant material as may be required by, State, local or Federal Authorities.

Substitutions:

A. When the specifies plant designation (B4B, UB4B, CG etc.), type, grade, quality, size, quantity, etc. of a material is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along with written, documented proof that the plant designation (B4B, UB4B, CG, etc.), type, grade, quality, size, quantity, etc. of material is not available. The Landscape Architect shall approve all substitutions before they are delivered and installed. Do not deliver and install any material, which is anticipated to be a substitute, before it has been submitted in writing and approved as a substitute by the Landscape Architect. Also, any changes, if any, to the contract amount, because of an approved substitute, shall be established in writing between the Owner and the Contractor before the material substitute is delivered and installed on the project.

Guarantee:

A. The guarantee shall not begin until the day final written acceptance is given.

B. All plant material, except sod, trees and palms, shall be guaranteed for a minimum of 1 year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final acceptance.

C. The guarantee shall be null and void for plant material which is damaged or dies as a result of 'Acts of God' and to hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these 'Acts of God'.

D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the guarantee period.

Replacement:

A. The guaranteeing of a plant material shall be construed to mean the complete and immediate replacement of plant material within 3 calendar days if it is:

(1) Not in a healthy growing condition and thus renders it below the minimum quality indicated in the Specifications.

(2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in the Specifications.

(3) It is dead.

B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.

C. Size, Quality, and Grade:

(1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original specified plant, at its initial planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.

However, if for some reason, the plant to be replaced is smaller than the size originally specified, the guarantee replacement shall be at least equal to the originally specifies size.

(2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. The guarantee period shall begin at time of acceptable replacement.

(3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.

Plan and Specification Interpretation:

A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision. In resolving conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications.

Permits and Codes:

A. The Contractor shall procure all necessary permits to accomplish all of the work.

B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal jurisdiction the project is located in.

Changes and Additional Work:

A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for.

'Job Site, 'Project Site Etc.:

A. The words 'job site', 'project site', 'Job', 'project' and 'site' shall be synonymous with one another when used in these documents.

Safety On and Off the Job Site:

A. In performing the scope of work, all safety on or off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or off the job site.

B. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

On Site Observations and Inspections:

A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.

B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in advance.

C. An inspections at the growing site does not preclude the right of rejection at the project site.

D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or work omitted, or work performed which is not in accordance with the contract requirements, shall not bar the Landscape Architect from subsequently rejecting such work at a later date.

E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not intended to take charge, direct, run or manage the implementation of the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

Plant Material

A. Plant material shall be nursery grown except:

(1) Where specified as collected material

(2) Where approved by the Landscape Architect for such plant material which is only available as a collected item from sources such as residences.

B. Except where another grade is specifically called for in the Plans, all plant material, including landscape material specified, shall be no less than Florida #1, or better, at the time of installation and final acceptance. Existing plant material to remain or to be relocated shall be excluded from this requirement.

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, healthy, vigorous and free from insects, plant diseases and injuries.

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

(1) Trees, Shrubs, and Groundcover:

a. Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's 'Grades and Standards for Nursery Plants, Part I and Part 2' as follows:

CALIFER	MIN. BALL DIA.	MIN. BALL DEPTH
1 - 15'	16"	75% of dia.
2 - 25'	20"	65% of dia.
15 - 2'	22"	60% of dia.
15 - 175'	24"	65% of dia.
25 - 35'	26"	65% of dia.
35 - 4'	28"	65% of dia.
4 - 45'	30"	60% of dia.
45 - 5'	32"	60% of dia.
5 - 55'	34"	60% of dia.
55' or more	Increase in proportion	60% of dia. up to 48", then decrease in proportion for larger size diameter.

b. Height: The height of plant material shall be measured from finish grade and continue up to where the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoots, branches, limbs or fronds, which extend out beyond the main mass of the plant.

E. Die-Back and Leaf Drop: plant material showing signs of die-back of leaf-drop will not be accepted and must be removed from the project immediately if so directed by the Landscape Architect. Therefore, any plant material with tendencies toward leaf-drop or die-back must be root pruned early enough to provide a sound network of hair roots prior to relocation.

F. Mechanical Destruction of Foliage: Mechanical destruction of foliage resulting from root pruning shall not affect more than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be accepted.

G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists on plant material, it shall be completely removed prior to planting on the project.

H. Palms:

(1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling.

(2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's 'Grades and Standards for Nursery Plants', tying palms shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie Palm fronds to accommodate an owners 'grand opening'. The Contractor may re-tie the palm after the event. This untieing will not affect the guarantee or represent an additional cost to the owner.

(3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.

(4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.

I. Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Department of Agriculture's 'Grades and Standards for Nursery Plants'.

J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.

K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.

Sod:

A. Sod shall be solid sod and shall be standard quality grade. Note: Quality grade shall be based on the standards of sod quality grades (premium, standard or commercial) as established by the Turf Grass Producers Association of Florida Inc. The sod shall be well matted with roots and of firm, tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch, up to one half inch allowable (uncompressed). the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being out for placement. The sod shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted.

Planting Soil:

A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand, and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition.

Water:

A. Potable, from municipal water supplies or other sources which are approved by a public health department.

Mulch:

A. Mulch shall be:

(1) 'Floramulch'

Fertilizer:

A. New and existing Trees and Palms: Fertilize with 8-2-12 palm fertilizer with micronutrients per manufacturer's recommendations.

B. New and existing Shrubs, and Groundcover: Fertilize with 8-2-12 palm fertilizer with micronutrients at a rate of 1/2 lb. per 1000 SF of area.

C. Annuals: Fertilize with Omocote - Sierra Blend 14-14-14 or approved equal.

D. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's analysis.

E. All fertilizer shall comply with the State of Florida fertilizer laws.

Staking and Guying:

A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to the plant material with nails. A method of staking and guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms so that the top of the grade in order to eliminate the need or requirement of staking or guying.

B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in.

EXECUTION

Inspection:

A. Utilities (Above Ground and Underground):

(1) The work area may have existing utilities, such as, but not limited to, irrigation, phone, electric and storm sewer. The location of some of these existing utilities have been indicated on the Plans.

However, no guarantee is implied that the Plans are accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular location.

(2) The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities or other facilities which are disrupted due to his or her additional outside services which may be necessary to prosecute repairs on a continuous 'around the clock' basis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All costs involved in the repairs and restoring disrupted service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.

(3) Should utilities, structures, etc., be encountered which interfere with the work, the Landscape Architect shall be consulted immediately in order for a decision to be made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated.

(4) The Contractor shall not purposefully disrupt or disconnect any type of utility whatsoever without first obtaining the written permission of the Landscape Architect. Requests for disconnection must be in writing and received by the Landscape Architect at least 72 hours prior to the time of the requested interruption.

Grades:

A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas conforms to surrounding grades and is at the proper elevation with relation to walks, paving, drain structures and other site conditions, unless indicated otherwise on the plans.

B. Plant Area Next to Pavement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads, drives, walks, terraces, decks and slopes shall be set so that the TOP OF THE MULCH IS 16" INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans.

Preparation:

A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based on information from the plans.

B. Spacing of Groundcover 4 Shrubs: The location of a planting bed (shrub or groundcover) next to another bed, walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly without growing into the other bed, walkway, structure, etc.

C. The rootballs of B4B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting.

D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limestone which may interfere with adequate vertical clearance and/or proper plant survival and growth and therefore removal of this material is part of the scope of work for the project. The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material as required, by such means as digging, drilling or rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant survival and growth.

E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered.

F. Excavation of Plant Holes:

(1) General:

a. Excavation of plant holes shall be roughly cylindrical in shape with the sides approximately vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for anticipated structures or unanticipated factors which are a conflict.

b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the Landscape Architect.

Installation:

A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting.

B. Setting of Plants:

(1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tamped in place, then partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots; the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and tamped to grade. Subsoil removed from tree pit shall not be mixed or used in any way with the topsoil mixture.

(2) All sabal and queen palms shall be backfilled with clean thoroughly washed in during the planting operation.

(3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or palm pit and maintained in place.

(4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large for hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks, grinding, bark slippage, limb breakage and any other damage that might occur by improper handling or negligence.

(5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.

(6) Container grown plant material shall be carefully removed from the container so as not to disturb the root system.

C. Sod:

(1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner:

a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1000 square feet.

b. Remove stones and foreign matter over two inches in diameter from the top two inches of soil.

c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping.

(2) Placing Sod:

a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams and joint lines of water flow in saules. Place sod in rows at right angles to slope.

b. Water sod every day for a period of three weeks.

c. Fertilize sod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1000 square feet of lawn.

d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State or Federal Department of Agriculture.

(3) Maintenance of Sod:

a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.

b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as necessary.

D. Planting Beds:

(1) Spread six inches of topsoil mixture uniformly over the entire planting area.

(2) Spread 50% organic fertilizer at a rate of 4 pounds per 1000 square feet uniformly over the groundcover area.

(3) Rotor mix, or by other approved method, to a depth of twelve inches.

(4) Fine grade to remove all trash, rocks, and debris to depth indicated.

(5) Regrade to finish grade before adding two inches mulch.

(6) Thoroughly water and firm the plants into the soil mixture.

E. Mulch:

(1) Areas to be mulched shall have existing weeds and vegetation removed, including root systems, before applying mulch.

(2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material.

(3) The mulch shall be uniformly applied to a depth of approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as indicated on the plans.

F. Watering:

(1) Initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of the root zone. Avoid erosion, puddling, and washing soil away from the roots.

(2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as necessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task. It cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the irrigation system, if there is one hand water during this period.

(3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such means as a water truck or tank.

G. Pruning and Thinning:

(1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations. Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant.

(2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during any pruning and thinning.