

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (Internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: _____

Location Address: Adams Street (See attached Project Narrative)

Lot(s): See Legal Description Block(s): See Legal Description Subdivision: See Legal Description

Folio Number(s): See attached Project Narrative

Zoning Classification: DH-2 & DH-3 Land Use Classification: Regional Activity Center (RAC)

Existing Property Use: Vacant Land Sq Ft/Number of Units: 120 units

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No prior requests

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 120 total units (72) 1-Bedroom (48) 2-Bedroom Sq Ft: _____

Value of Improvement: 15,000,000 Estimated Date of Completion: 12/31/2019

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: City of Hollywood Dept of Community and Economic Development / Downtown Hollywood Community Redevelopment Agency

Address of Property Owner: 2600 Hollywood Blvd, Hollywood FL 33020

Telephone: 954-921-3271 Fax: 954-921-3390 Email Address: _____

Name of Consultant/Representative/Tenant (circle one): Pinnacle at Peacefield, LTD (Timothy Wheat)

Address: 9400 S. Dadeland Blvd, Suite 100, Miami FL 33156 Telephone: 305-710-8603

Fax: 305-859-9858 Email Address: twheat@pinnaclehousing.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes (x) No ()

If Yes, Attach Copy of the Contract. **See Attached Purchase and Sale Agreement**

List Anyone Else Who Should Receive Notice of the Hearing: _____

Keith Pollakoff, Attorney Address: 200 E. Las Olas Blvd, Fort Lauderdale FL 33301
Email Address: keith.pollakoff@saul.com

Keith and Associates, Inc 301 E. Atlantic Blvd, Pompano Beach FL 33060
Michael Vonder Meulen, AICP mvondermeulen@keith-associates.com

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: _____

AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

PRINT NAME: _____

Date: _____

Signature of Consultant/Representative: _____

Date: 1/29/18

AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

PRINT NAME: Timothy P. Wheat, for Pinnacle at

Date: _____

Peacefield, Ltd.

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney (see attached purchase & sale agreements, where Power of Attorney is granted under Paragraph 8 of said agreements)

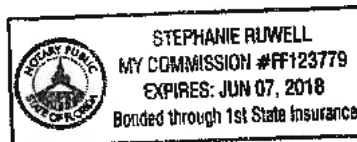
I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 29th day of January

Notary Public

State of Florida

My Commission Expires: 06/07/18 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

Print Name

February 2nd, 2018

City of Hollywood
Planning Division
2600 Hollywood Boulevard
Hollywood, FL 33020

RE: Pinnacle at Peacefield - Project Narrative

On behalf of the current property owners (City of Hollywood and the Downtown Hollywood Community Redevelopment Agency), Pinnacle at Peacefield Ltd. is an authorized agent, as per the Purchase and Sale Contracts dated 12/16/2016 (as amended) of property described in the attached legal description. The Applicant's authorized representative, Timothy P. Wheat, has submitted this application seeking site plan approval for an age and income-restricted multi-family residential project.

The project location is along Adams Street, between South 24th Avenue and South Dixie Highway, within the City of Hollywood's Reginal Activity Center District. Pinnacle at Peacefield is a proposed 120 unit, multi-family development, providing quality affordable rental housing for seniors. It will be financed utilizing Housing Tax Credits allocated from the Florida Housing Finance Corporation, and as such will be income and use restricted for a period of fifty (50) years.

The project proposes (3) separate parcels (Site-1, Site-2, and Site-3), where each parcel will feature a three-story multi-family building, associated parking, landscaping and common recreational and activity elements. Each building will feature two unit types with either a one or two bedroom floor plan.

Project amenities include access to each site, open space area for active and passive recreation, parking and greenspace. Each site will feature a two-way internal road around the building with surface parking that was designed in a way to preserve as many existing specimen trees as possible.

Site-1 and Site-2 are zoned as Dixie Highway Medium Intensity Multi-Family (DH-2). Site-3 is zoned as Dixie Highway High Intensity Multi-Family (DH-3). The surrounding properties have a land use of Regional Activity Center, as well as zoning categories of DH-2 and DH-3.

Keith and Associates looks forward to working with the City of Hollywood on this project. Please feel free to contact us if you have any questions or need any further information. You may contact me at 954-788-3400.

Sincerely,

Michael Amodio

Michael Amodio
Keith and Associates

CC: Timothy Wheat, Pinnacle at Peacefield, LTD



AA0002517

March 28, 2018

Alexandra Carcamo
Principal Planner
City of Hollywood
Department of Development Services
2600 Hollywood Blvd, Suite 315
Hollywood, FL 33022-9045

RE: Design Criteria for "Pinnacle at Peacefield"

Dear Ms. Carcamo:

We are honored to represent the Pinnacle at Peacefield team as the architect for this exciting new affordable senior community, which has been nearly 20 years in the making in the South Central Hollywood community. Pinnacle at Peacefield is located on three individual sites along Adams Street west of US-1 owned by the City of Hollywood and the Hollywood Community Redevelopment Agency. This age-restricted rental community will house a total of 120 apartments for seniors, along with leasing management offices, associated amenities, fitness centers, community rooms, computer stations, and outdoor patio areas.

This is the 6th affordable multi-family housing community our firm has designed for the developer, Pinnacle Housing Group, in Broward County. With each effort, we emphasize the tried and true methods we have learned together in creating and building these quality products, combining them with new elements to promote aesthetic beauty, constructability, functionality and sustainability. Pinnacle at Peacefield therefore represents the next step in this evolutionary design approach.

The challenges of this development are unique because of the separation of the three sites along Adams Street. Therefore, we have designed each one to function as independent living "pods" while preserving the harmony between each pod and their interrelationship with other uses. The buildings all have a formal lobby which houses a seating area and an elevator which services the three story buildings. The first floors will include a fitness center, community room, open air patios, and art in public places. There are apartment on the first to third floors offering many choices for the new

Page 1 of 5

residents. The leasing and management office is in the largest of the three buildings on the western site. In addition, each building will have its own emergency generator to operate the elevator and common areas in the event of a power outage.

Background and History

Being that this development is located along Adams Street, the name, "Pinnacle at Peacefield", is derived from the name of the elegant family home of President John Adams. Given the historical context of the development's name, it is also important to give some historical context to the development.

The development of Pinnacle at Peacefield is not just the result of the adoption of any single revitalization plan or strategy, it is the result of many such adopted City and CRA plans encouraging a development of this type. The City created and adopted a City-wide Economic Development Strategic Plan in April of 1994, which was crafted by committees of private citizens, business leaders, civil activists and elected officials. Specific action began in 1999, with the adoption of Resolution 1999-230 by the City Commission. This resolution authorized the formation of Neighborhood Revitalization Strategy Areas for the Liberia and South Central (a.k.a. Highland Gardens) communities. The development site for Pinnacle at Peacefield is located in South Central/Highland Gardens. Subsequently, the City Commission approved the Five Years Plans for both communities through Resolution 2001-87.

In order to fund and implement specific revitalization strategies under these plans, the City Commission approved Resolution 2001-135 in April of 2001 which amended an existing Section 108 Loan Guarantee application to HUD. When seeking a Section 108 Loan Guarantees, HUD requires official action on an overall strategic plan and the designation of certain target area and activities within that support the plan. The City's application included several critical affordable housing activities, designed to revitalize key neighborhoods in the City. One of the listed activities was the "Adams Street Project" which has become the development site for Pinnacle at Peacefield. Subsequently, the City received approval for \$3,386,393 in funding to eventually help purchase the Adams Street Project properties. Section 108 funds require meeting the National Objectives for CDBG and require that a minimum of 51% of the resulting beneficiaries have incomes that do not exceed 80% of the area-wide median income. The total cost of the Section 108 Loan Guarantee was \$8,285,000, which included not just Adams Street but also other targeted housing development programs, support for community development organization activities, and an economic development incentive program.

The adopted Section 108 Loan Guarantee application amendment, filed by Hollywood with HUD on April 18, 2001, became the operational document going forward for the implementation of the overall revitalization plan in these critical areas, including the South Central/Highland Gardens neighborhood, which had previously been designated a Neighborhood Revitalization Strategy Area through the Five Year Plan for the South Central community. Not only was a plan established, this plan specifically targeted the Adams Street site for this proposed use.

These plans noted a fundamental issue with redevelopment in Hollywood – that while progress had been made on economic growth, residential neighborhoods that surround the economic development areas were not showing the progress that was expected by the City. Being a “built-out” urban core city, Hollywood does not possess large developable parcels, and over 60% of the housing stock is more than 30 years old. According to the Section 108 plan, “these two factors leave the City with large parcels of functionally obsolete rental housing and pockets of income isolation.”

Soon thereafter the award of the Section 108 Loan, the City began to implement the plan, starting with land acquisition along Adams Street, and the process of acquiring 42 functionally obsolete rental units and relocating the resident families occurred. The City also began to address deficiencies in public works, for example, two-thirds of the Adams Street project area did not have sanitary sewer. The City undertook a major sanitary sewer and drainage improvement activity for the project. Because of the location and configuration of the existing drainage system a complete renovation of the drainage system was necessary. In July of 2005, the City Commission approved a contract to execute Water and Sewer improvements for Adams and Washington Street. As part of the overall Capital Improvement effort, plans and specifications were developed to install new light poles, replace existing sidewalks, plant new Palm and Oak trees, and sod the swales along both the north and south side of Adams Street. On September 6, 2006, the City contracted to provide these enhancements.

The strategy area listed above overlaps with the boundaries of the Hollywood Community Redevelopment Agency (CRA). The CRA operates under an adopted Master Plan, long-range Strategic Plan, and has adopted a Five-Year Capital Improvement Program, all of which contain various plans for the entire CRA district including Adams Street. The CRA joined the acquisition efforts by acquiring parcels on the eastern edge of the development site, bordering the City-owned parcels lying to the west and Dixie Highway with its commercial development potential to the east. This included a 4-story apartment building which had become the scourge of the surrounding community for its poor condition and drug use. Recognizing the CRA-owned parcels’ blighting impact on the neighborhood, on March 3, 2010, the City Commission authorized the use of City Neighborhood Stabilization Program funds to demolish the vacant and abandoned CRA owned structures. All told, the CRA invested another \$6,320,171 and when combined with the City funds as detailed above, the City's total direct investment has reached \$15,532,463 which specifically supports the development of Pinnacle at Peacefield.

Pinnacle at Peacefield is the end result of these sustained efforts and contextually reflects the desires of the City to infuse the area with quality in-fill affordable housing. Seniors housing was selected as the development type based on the desires expressed by numerous residents to the development team over the past ten years, and the pressing, growing need for Hollywood’s seniors to have quality age-in-place options for their residents.

Design Review Criteria

In addition to the conformance with the city’s long-range plans as detailed above, the development specifically address the design criteria for the city as follows:

Architectural and Design Components: The three sites have been harmoniously designed to enhance the streetscape by placing the parking on the sides and rear of the lots and to emphasize the building along the street. This approach results in an increased street-side setback and more open space while offering a green belt that pedestrians can enjoy relative to the built environment. This is consistent with the recommendations for Sub-Area 3 in the City-Wide Master Plan (Volume 1), which states "land assembly should be encouraged and larger parcels should be evaluated for their merits to contribute and improve the area" and among the specific recommendation for development, suggests the creation of landscape buffers as well as additional setbacks to "preserve the integrity of the residential areas." We provided balconies so our residents can in part place their "eyes on the street", but with the more generous setback they can also enjoy a sense of privacy, which is also enhanced by surveillance technology. The Modern Florida Vernacular architecture being utilized for Pinnacle at Peacefield encompasses the use of stucco textures, building massing with hip roofs with a recessed freeze, balconies and metal awnings that are all commensurate with each building's mass and intended to promote functionality. As stated previously, the "flow" of each of the three building gives the feeling of continuity, even when separated, but each can operate independently of each other, allowing seniors to safely congregate within their own building for fellowship, recreation and resident-based services.

Compatibility: The challenge in the large-scale assembly for redevelopment encouraged through the history of the development, various plans for the development site as conceived by the city as outlined above, the newly-adopted Regional Activities Center (RAC) for the area, and the City-Wide Master Plan for Sub-Area 3 generally is how to create compatibility for the site relative to surrounding uses, given that the goal long-term, especially as intended by the RAC is to usher in a new era of development with greater densities than heretofore existed. This is why, after consultation with community stakeholders, we opted for a lower density design not exceeding three stories, when the RAC allows consideration of much greater height especially on the CRA parcels. Thus, we created an architectural character of the community that suggests a "village of residences" in the modern Florida vernacular style, adding density to the streetscape as it intended with the newly-adopted Regional Activities Center (RAC) for the area, but not overwhelming the existing uses. Each of the design elements found in this architecture can be found in varying designs, both old and new, in the South Central Hollywood area.

Scale/Massing: As stated above, the use of the Modern Florida Vernacular architecture encompasses the use of stucco textures, and traditional materials to emphasize the design elements while not overwhelming the core design. The result are rhythms of massing horizontally and vertically along with variations of texture and color that provide these new buildings with the appropriate proportions and pedestrian scale that is necessary to blend into and compliment the neighborhood. The visual movement of the buildings along the street is fairly seamless while hiding the intensity of the multi-family elements such as parking behind it, and not out of scale with the existing streetscape and what will be developed in this area in the future, as the RAC spurs new investment and redevelopment.

Landscaping: The landscape plan for this development provides an enhanced streetscape because of the aforementioned deeper setback of the residential buildings, blending in a carefully-selected variety of native and other compatible plant species, with special attention to both aesthetic beauty and

drought-tolerance. The combination of the building elevation, fencing and landscape are intended to operate harmoniously along the street scape. In addition, a great deal of attention has been given to the significant preservation of existing, specimen-height trees on the properties, including Live Oaks, Slash Pines and Ficus trees. Design elements have been "micro-sited" where necessary to avoid tree roots and drip-edges of the existing trees that were able to be preserved.

Our team has labored to ensure a plan which pays tribute to the City's long-awaited efforts to secure quality affordable housing for seniors in the South Central/Highland Gardens community, and to serve as a model and catalyst for future redevelopment. We look forward to presenting this development to the Planning and Development Board for final approval.

Sincerely,



Joseph J. Pasquale

cc: Keith M. Poliakoff, Esq.
Timothy P. Wheat
David Font

COLOR LEGEND

COLOR LEGEND

B1	BODY COLOR	ULTRA PURE WHITE (PR-W15)		
B2	BODY COLOR	WARM LIGHT TAN (ARISTOCRAT IVORY (ECC-52-2)		
T1	TRIM COLOR (FREIZE, SOFFIT, FASCIA)	ULTRA PURE WHITE (PR-W15)		
G1	GLASS COLOR	TINTED		
A1	AWNING/SHADE STRUCT. & ADDITIONAL DETAILS AS NOTED	MEADOW GLEN (ECC-12-2)		
A2	HARDIE BOARD HORIZONTAL SIDING	SW 7501 THRESHOLD TAUPE (SHERWIN WILLIAMS)		

NOTE: BEHR PAINT COLORS AND CODES UNLESS OTHERWISE NOTED.

LEGAL DESCRIPTION

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

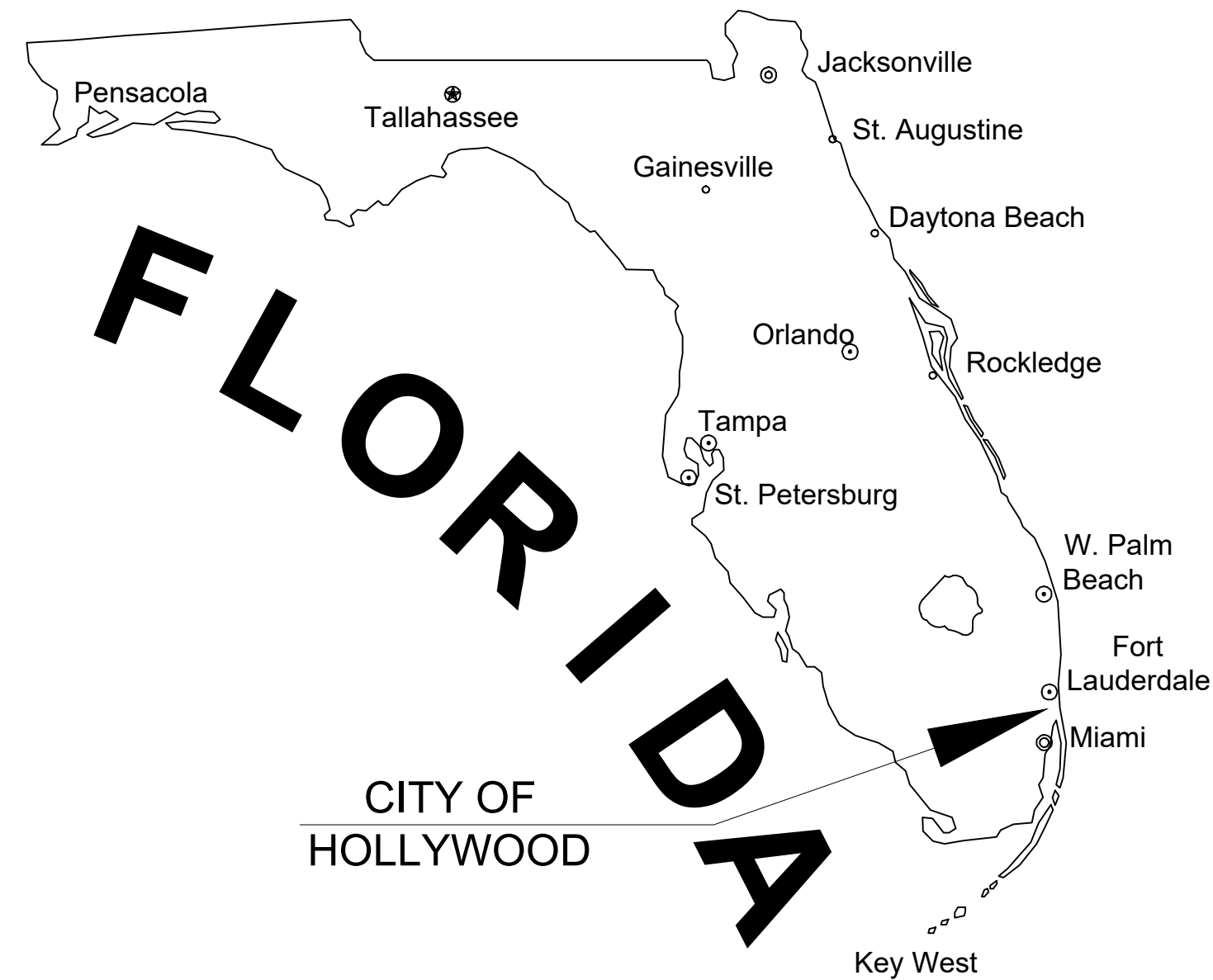
TOGETHER WITH:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALSO TOGETHER WITH:

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OF LESS.



PINNACLE AT PEACEFIELD FOR PDB MEETING 05/10/2018

ADAMS STREET CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

LAND DESCRIPTION:

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

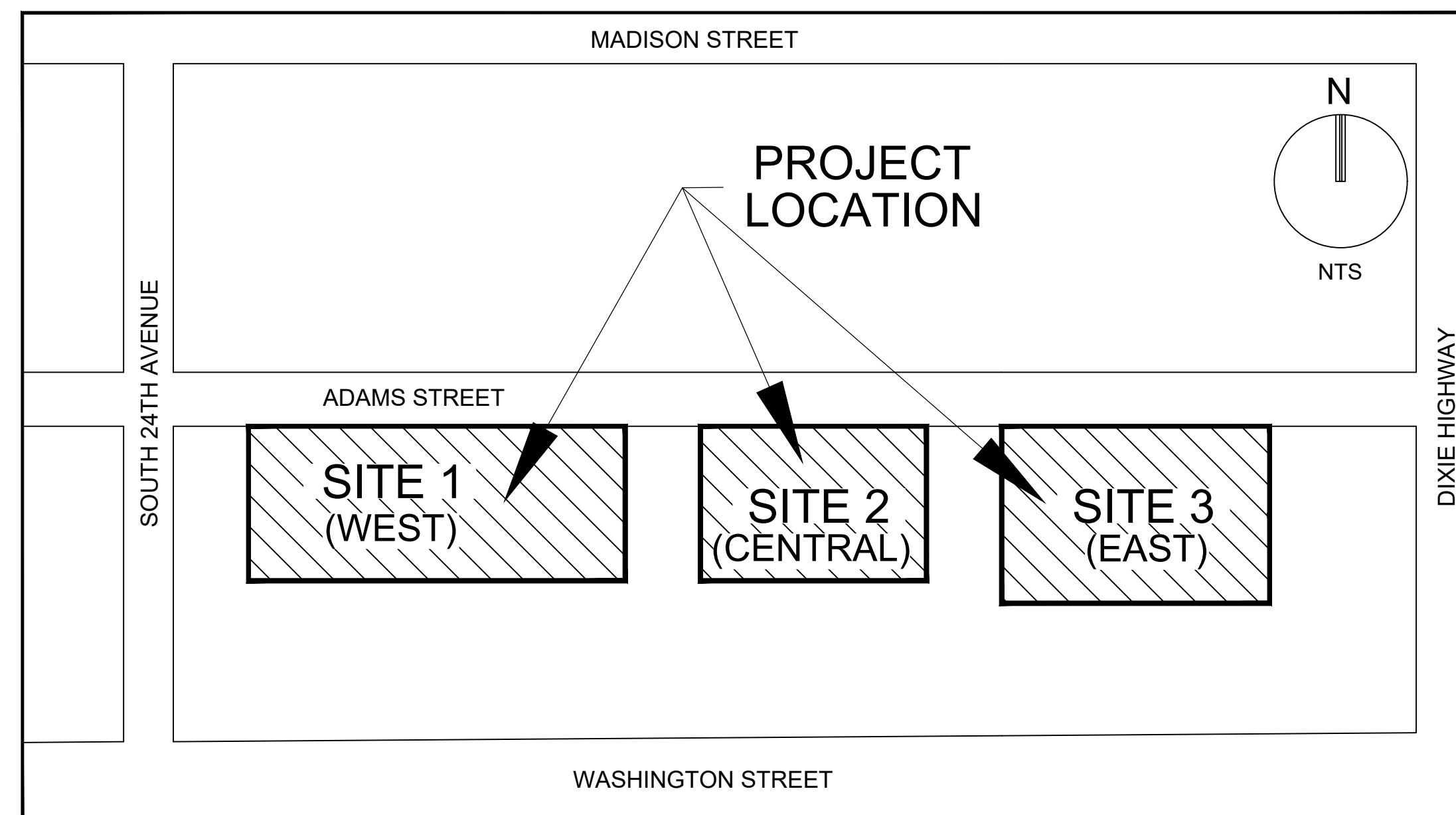
TOGETHER WITH:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

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SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OR LESS.



LOCATION MAP
SECTION 15, TOWNSHIP 51S, RANGE 42E



PREPARED FOR:
PINNACLE AT PEACEFIELD, LTD. 9400 S.
Dadeland Blvd, Suite 100, Miami FL 33156

INDEX OF SHEETS	
Sheet Identification	Sheet Title
--	COVER
S-1 TO S-2	ALTA SURVEY
SP-100	OVERALL KEY PLAN
SP-101	SITE PLAN SITE 1
SP-102	SITE PLAN SITE 2
SP-103	SITE PLAN SITE 3
ARCHITECTURAL	
A-0.0	ARCHITECTURAL COVER + RENDERING
A-1.0	SITE SECTION ENTRY MONUMENT
A-1.1	STREET PROFILE DOOR SIGNAGE
A-2.0 TO A-2.2	WEST BUILDING FLOOR PLANS
A-2.4 TO A2.6	CENTRAL/EAST BLDG. FLOOR PLANS
A-3.0 - A-3.1	UNIT FLOOR PLANS
A-3.6	TRASH ROOMS
A-4.0 TO A-4.1	WEST BUILDING ELEVATIONS/SECTION
A-4.2 TO A-4.3	CENTRAL/EAST BUILDING ELEVATIONS/SECTIONS
E-1.1 TO E-1.2	PHOTOMETRIC SITE PLAN/FIXTURE SPEC
CIVIL ENGINEERING	
GI-001	CIVIL GENERAL NOTES
GI-002	CONSTRUCTION SPECIFICATIONS
CG-101 TO CG-103	EROSION CONTROL PLAN
CP-101 TO CP-103	SCHEMATIC PAVING, GRADING, AND DRAINAGE
CP-301 TO CP-304	SCHEMATIC PAVING AND GRADING SECTIONS
CP-501 TO CP-503	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101 TO CU-103	SCHEMATIC WATER AND SEWER PLANS
CU-501 TO CU-506	WATER AND SEWER DETAILS
CM-101 TO CM-103	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501	PAVEMENT MARKING AND SIGNAGE DETAILS
LANDSCAPE	
LA-1A	WEST SITE-MITIGATION PLAN
LA-2A	WEST SITE-LANDSCAPE PLAN
LA-3A	WEST SITE-LANDSCAPE DETAILS
LA-4A	WEST SITE-LANDSCAPE NOTES
LA-5A	WEST SITE-RENDERED LANDSCAPE ELEVATION
LA-1B	CENTRAL SITE-MITIGATION PLAN
LA-2B	CENTRAL SITE-LANDSCAPE PLAN
LA-3B	CENTRAL SITE-LANDSCAPE DETAILS
LA-4B	CENTRAL SITE-LANDSCAPE NOTES
LA-5B	CENTRAL SITE-RENDERED LANDSCAPE ELEVATION
LA-1C	EAST SITE-MITIGATION PLAN
LA-2C	EAST SITE-LANDSCAPE PLAN
LA-3C	EAST SITE-LANDSCAPE DETAILS
LA-4C	EAST SITE-LANDSCAPE NOTES
LA-5C	EAST SITE-RENDERED LANDSCAPE ELEVATION



PROJECT No. 10067.00
04/12/2018

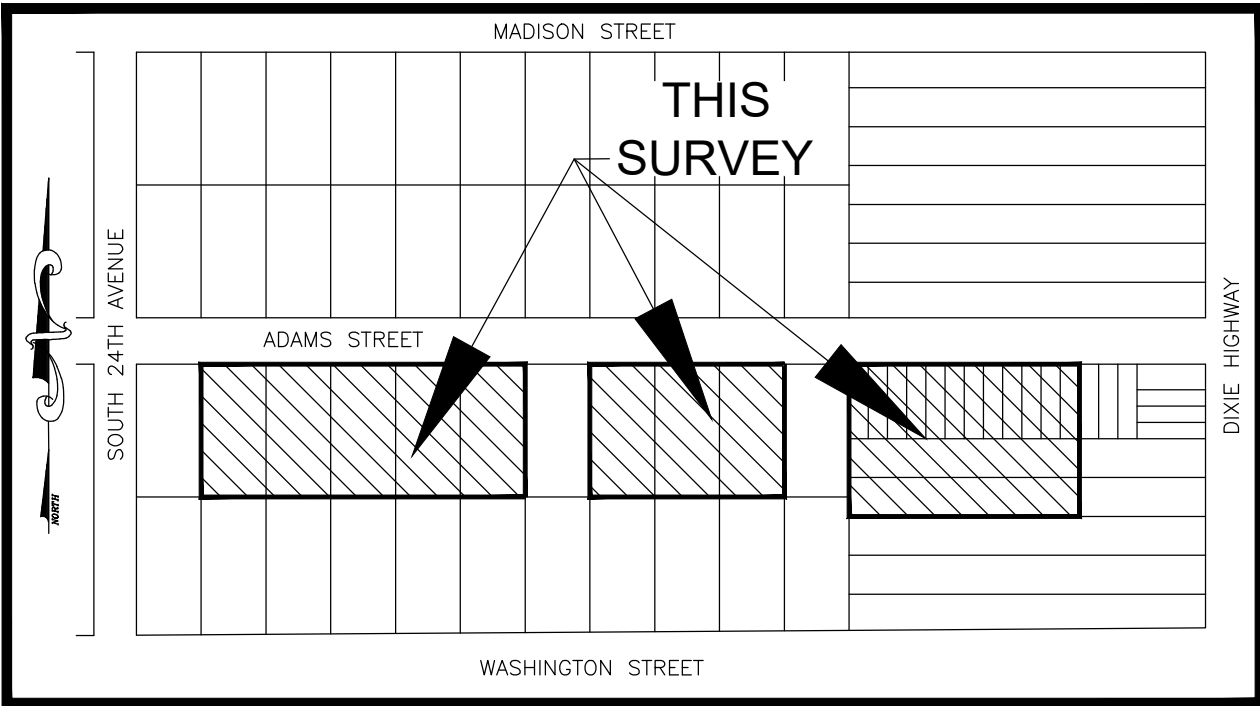
THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



UTILITY TABLE:

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV	BOTTOM OF BOX	COMMENT
DRAINAGE MANHOLE - 1	8.65'	15" CMP	2.45(N)	0.05'	
		15" CMP	2.47(S)		
		24" CMP	3.14(E)		
		24" CMP	3.05(W)		
DRAINAGE MANHOLE - 2	8.08'	15" CMP	2.67(N)	0.36'	
		15" CMP	2.73(S)		
		24" CMP	3.16(E)		
		24" CMP	2.96(W)		
DRAINAGE MANHOLE - 3	7.90'	15" CMP	3.33(N)	1.38'	
		15" CMP	3.47(S)		
		24" CMP	3.41(E)		
		24" CMP	3.40(W)		
DRAINAGE MANHOLE - 4	7.98'	15" CMP	3.60(N)	1.18'	
		15" CMP	3.56(S)		
		24" CMP	3.72(W)		
CATCH BASIN - 1	8.48'	15" CMP	BAFFLE (S)	0.94'	TOP OF BAFFLE 4.35'
CATCH BASIN - 2	8.44'	15" CMP	BAFFLE (N)	0.49'	TOP OF BAFFLE 4.72'
CATCH BASIN - 3	7.88'	15" CMP	BAFFLE (S)	0.68'	TOP OF BAFFLE 4.92'
CATCH BASIN - 4	7.85'	15" CMP	BAFFLE (N)	0.85'	TOP OF BAFFLE 4.95'
CATCH BASIN - 5	7.68'	15" CMP	5.48(N)	1.38'	
CATCH BASIN - 6	7.61'	15" CMP	5.61(S)	1.31'	
CATCH BASIN - 7	7.64'	15" CMP	5.44(S)	1.59'	
CATCH BASIN - 8	7.66'	15" CMP	5.56(N)	2.36'	
CATCH BASIN - 9	7.99'	15" CMP	BAFFLE (N)	(-) 1.01'	TOP OF BAFFLE 2.93'
CATCH BASIN - 10	8.13'	15" CMP	0.82(S)	(-) 0.72'	
		24" CMP	0.97(E)		
		24" CMP	1.06(W)		

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV
SANITARY MANHOLE - 1	9.16'	8" PVC 8" PVC	(-) 2.37(S) (-) 2.20(E)
SANITARY MANHOLE - 2	8.83'	8" PVC	(-) 2.58(N)
		8" PVC 8" PVC	(-) 1.87(S) (-) 2.54(W)
SANITARY MANHOLE - 3	8.96'	8" PVC 8" PVC	(-) 1.09(N) (-) 0.99(E)
SANITARY MANHOLE - 4	8.56'	8" PVC 8" PVC	(-) 0.03(E) (-) 0.13(W)
SANITARY MANHOLE - 5	8.65'	8" PVC	1.04(SE)
		8" PVC	1.22(W)
SANITARY MANHOLE - 6	8.73'	8" PVC	3.07(W)
SANITARY MANHOLE - 7	8.63'	8" PVC	(-) 0.37(E)
		8" PVC	(-) 0.50(W)
SANITARY MANHOLE - 8	8.90'	8" PVC	1.20(NW)
		8" PVC	1.29(E)
SANITARY MANHOLE - 9	8.94'	8" PVC	1.63(NE)
		8" PVC	1.54(W)
SANITARY MANHOLE - 10	8.87'	8" PVC	1.82(SW)
		8" PVC	1.82(E)
SANITARY MANHOLE - 11	8.40'	8" PVC	1.51(E)
		8" PVC	1.50(W)
SANITARY MANHOLE - 12	8.55'	8" CLAY	2.88(E)
		8" PVC	3.13(W)



LOCATION SKETCH
NOT TO SCALE

AREA:

GROSS AREA: 264,150 SQUARE FEET 6.06 ACRES
NET AREA: 241,550 SQUARE FEET 5.54 ACRES

ZONING:

ZONING INFORMATION SHOWN HEREON IS TAKEN FROM THE ZONING SECTION OF THE DUE DILIGENCE REPORT PREPARED BY KEITH & ASSOCIATES INC., UNDER JOB NUMBER 10067.00, DATED NOVEMBER 3, 2017. THE SITE IS LOCATED WITHIN THE CITY OF HOLLYWOOD REGIONAL ACTIVITY CENTER, HOWEVER THERE ARE NO EXISTING RESIDENTAL/HOTEL UNITS AND/OR COMMERCIAL UNITS AS THE SITE IS CURRENTLY VACANT.

SITE 1=LOTS 13-17
SITE 2=LOTS 19-21
SITE 3=LOTS 9-19 & LOTS 4-5

AREA	ZONING	FRONT SET BACK	REAR SET BACK	SIDE SET BACK
SITE 1	DH-2	15'	20'	10'
SITE 2	DH-2	15'	20'	10'
SITE 3	DH-3	15'	20'	10'

MAX FLOOR AREA RATIO	BUILDING HEIGHT RESTRICTIONS
SITE 1=1.75 (179,375 SQUARE FEET)	4 STORIES (45' MAX)
SITE 2=1.75 (107,625 SQUARE FEET)	4 STORIES (45' MAX)
SITE 3=3.00 (210,408 SQUARE FEET)	5 STORIES (55' MAX)

PARKING REQUIREMENTS

SITE 1=71 SPACES, 60 (RESIDENCIES)	6 (GUEST) 5 (LEASING OFFICE)
SITE 2=36 SPACES, 30 (RESIDENCIES)	3 (GUEST) 3 (MANAGEMENT OFFICE)
SITE 3=36 SPACES, 30 (RESIDENCIES)	3 (GUEST) 3 (MANAGEMENT OFFICE)

TITLE REPORT EASEMENTS, RESTRICTIONS, AND OTHER MATTERS PER FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER : 1062-3930882 (REVISION B), EFFECTIVE DATE: APRIL 09, 2018 @ 8:00 AM							
ENCUMBRANCE NUMBER	DESCRIPTION	OFFICIAL RECORDS BOOK AND PAGE	AFFECTS		PLOTTED ON SURVEY		COMMENT
			YES	NO	YES	NO	
1	AMENDED EASEMENT DEED	O.R.B. 50264, PAGE 1803	X			X	NO PLOTTABLE MATTERS
2	AMENDED EASEMENT DEED	O.R.B. 49885, PAGE 466	X			X	NO PLOTTABLE MATTERS
3	QUIT CLAIM DEED	O.R.B. 12686, PAGE 451		X		X	LOT 4&5 SOUTH OF SURVEY
4	QUIT CLAIM DEED	O.R.B. 12686, PAGE 450	X			X	NO PLOTTABLE MATTERS
5	QUIT CLAIM DEED	O.R.B. 4987, PAGE 341	X			X	NO PLOTTABLE MATTERS
6	AGREEMENT TO RELEASE	O.R.B. 3937, PAGE 908	X			X	NO PLOTTABLE MATTERS
7	RELEASE TO REVERTER	O.R.B. 3850, PAGE 978	X			X	NO PLOTTABLE MATTERS
8	RELEASE TO REVERTER	O.R.B. 3850, PAGE 977	X			X	NO PLOTTABLE MATTERS
9	EASEMENT AGREEMENT	O.R.B. 1937, PAGE 334	X		X		AFFECTS SHOWN ON SURVEY
10	AGREEMENT	O.R.B. 571, PAGE 319	X		X		AFFECTS SHOWN ON SURVEY
11	RELEASE TO REVERTER	O.R.B. 546, PAGE 44		X	X		LOT 5&6 SOUTH OF SURVEY
12	RELEASE TO REVERTER	O.R.B. 533, PAGE 75		X	X		LOT 5&6 SOUTH OF SURVEY

TITLE REPORT EASEMENTS, RESTRICTIONS, AND OTHER MATTERS PER FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER : 1062-3924907 (REVISION B), EFFECTIVE DATE: APRIL 09, 2018 @ 8:00 AM							
ENCUMBRANCE NUMBER	DESCRIPTION	OFFICIAL RECORDS BOOK AND PAGE	AFFECTS		PLOTTED ON SURVEY		COMMENT
			YES	NO	YES	NO	
1	PLAT	PLAT BOOK 1, PAGE 26	X		X		AFFECTS SHOWN ON SURVEY
2	DEED	DEED BOOK 470, PAGE 304	X			X	NO PLOTTABLE MATTERS
3	RELEASE TO REVERTER	DEED BOOK 638, PAGE 469	X			X	NO PLOTTABLE MATTERS
4	RELEASE TO REVERTER	O.R.B. 1939, PAGE 417	X			X	NO PLOTTABLE MATTERS
5	RESOLUTION	O.R.B. 2280, PAGE 80		X		X	FOR 1-95 RIGHT OF WAY
6	RELEASE TO REVERTER	O.R.B. 3360, PAGE 807	X			X	NO PLOTTABLE MATTERS
7	DEDICATION OF UTILITY EASEMENT	O.R.B. 40558, PAGE 1734	X		X		AFFECTS SHOWN ON SURVEY
8	RESOLUTION NO. 07-DPV-42	O.R.B. 45564, PAGE 24	X			X	NO PLOTTABLE MATTERS
9	WARRANTY DEED	DEED BOOK 16, PAGE 276	X			X	NO PLOTTABLE MATTERS
10	WARRANTY DEED	DEED BOOK 96, PAGE 37	X			X	NO PLOTTABLE MATTERS

SURVEY NOTES:

- LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD BY FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE REPORT FILE NO. 1062-390882 (REVISION B) AND TITLE REPORT FILE NO. 1062-3924907 (REVISION B) BOTH DATED APRIL 09, 2018 @ 8:00 AM.
- OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH 02°06'57" WEST ALONG THE WEST LINE OF BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1988 (NAVD 1988). SAID ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARK M 312; A BRASS DISK ON THE TOP OF A RETAINING WALL AT THE CITY HALL BUILDING NEAR THE INTERSECTION OF HOLLYWOOD BOULEVARD AND SOUTH 26TH AVENUE, 17 FEET +/- SOUTHEAST OF THE NORTHEAST CORNER OF THE BUILDING, 8 FEET +/- EAST OF THE EAST WALL OF THE BUILDING AND 3.6 FEET SOUTH OF THE NORTH END OF THE RETAINING WALL; ELEVATION= 13.44'. LOADING DOCK OF THE SEARS ROEBUCK CO. SERVICE BUILDING, 92' NORTHEAST OF THE CENTER OF THE CROSSING OF NORTHEAST 38TH STREET, 34.2' EAST OF AND ACROSS SIDE TRACK FROM THE EAST RAIL OF THE NORTHBOND TRACK, AND 1.4' NORTH OF THE SOUTHWEST CORNER OF THE LOADING PLATFORM, ELEVATION= 13.44' AND BENCHMARK BC 529; A BRASS DISC STAMPED "B.C. 529" IN THE TOP OF A CONCRETE MONUMENT AT THE INTERSECTION OF DIXIE HIGHWAY AND WILEY COURT, 39 FEET +/- EAST OF THE CENTERLINE OF DIXIE HIGHWAY AND 18 FEET +/- SOUTHEAST OF A UTILITY POLE; ELEVATION= 7.68'.
- THE OWNERSHIP OF FENCES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
- THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE STANDARDS OF PRACTICE (RULE 5J-17, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL WHICH MAY HAVE BEEN ENLARGED FOR CLARITY. ALL MAPPED FEATURES SHOWN HEREON WERE OBTAINED BY KEITH & ASSOCIATES, INC. FOR THE PURPOSE OF THIS SURVEY. DISTANCES SHOWN HEREON ARE IN U.S. FEET.
- THE INTENDED DISPLAY SCALE OF THIS SURVEY IS 1" = 40' OR SMALLER.
- THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS +/- 0.02' FOR HARD SURFACE ELEVATIONS AND 0.1' FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL LOCATION ACCURACY IS +/- 0.1'.
- UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.
- THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983 WITH THE NATIONAL SPATIAL REFERENCE SYSTEM 2011 ADJUSTMENT APPLIED (83/NSRS2011), TRANSVERSE MERCATOR, FLORIDA EAST ZONE.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12011C0569H, COMMUNITY NO. 125113, EFFECTIVE DATE 8-18-2014, THIS PROPERTY LIES IN ZONE AH, BASE FLOOD ELEVATION (9) AND ZONE X 0.2% ANNUAL CHANCE OF FLOOD HAZZARD, BASE FLOOD ELEVATION (NONE).
- PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$ 5- MILLION DOLLARS TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

CERTIFICATION:

THIS SURVEY IS MADE FOR THE BENEFIT OF: PINNACLE AT PEACEFIELD, LTD. A FLORIDA LIMITED PARTNERSHIP; REGIONS BANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR AS DEFINED IN THE CONDITIONS OF THIS POLICY; FIRST AMERICAN TITLE INSURANCE COMPANY; SHUTTS & BOWEN, LLP; DOWNTOWN HOLLYWOOD COMMUNITY REDEVELOPMENT AGENCY;

THE UNDERSIGNED, LEE POWERS, PROFESSIONAL LAND SURVEYOR NO. 6805 DOES HEREBY CERTIFY TO THE AFORESAID PARTIES, AS OF THE DATE SET FORTH BELOW THAT I HAVE MADE A CAREFUL SURVEY OF A TRACT OF LAND DESCRIBED AS FOLLOWS:

PARCEL 1:

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH ALL APPLICABLE LAWS REGULATING SURVEYING IN THE STATE OF FLORIDA AND WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 8, 9, 11, 13, 14, 16, 17, 19, AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 15, 2017.

1. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY EXCEPT AS NOTED; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SUBJECT PROPERTY EXCEPT AS SHOWN HEREON; AND THERE ARE NO PARTY WALLS. ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS ("REA'S") HAVE BEEN DENOTED ON THE SURVEY. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY. THE LIMITS OF ANY REA'S OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE LAND SUBJECT TO THE SURVEY ARE REPORTED.

2. THE SUBJECT PROPERTY IS THE SAME AS THE PROPERTY DESCRIBED IN THOSE CERTAIN TITLE REPORTS NO. 1062-390882 (REVISION B) AND 1062-3924907 (REVISION B) ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF APRIL 09, 2018 @ 8:00 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SUBJECT PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

3. THE SUBJECT PROPERTY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA. THE PROPERTY LIES WITHIN SPECIAL FLOOD HAZARD ZONE AH, BASE FLOOD ELEVATION (9.0) AND WITHIN AN OTHER FLOOD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD AREA IS DELINEATED WITH SHADING OR OTHERWISE CLEARLY MARKED TO SHOW THE AREAS HAVING A ZONE DESIGNATION OF "X, AREAS INSIDE OF 0.2% ANNUAL CHANCE OF FLOOD", BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 12011C0569H H, WITH A DATE OF IDENTIFICATION OF AUGUST 18, 2014, FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

4. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO ADAMS STREET, A DEDICATED PUBLIC STREETS OR HIGHWAYS. THE WIDTHS OF ALL ADJACENT RIGHTS-OF-WAY ARE INDICATED BY PERPENDICULAR ARROWS ON THE SURVEY DRAWING TO CONFIRM THAT THE SUBJECT PROPERTY IS TIED TO SAME.

5. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, OR ANY APPARENT DITCHES, DIKES, SLUICES OR CANALS OF THE SITE.

6. THERE IS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OR ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

7. THE TOTAL NUMBER OF PARKING SPACES ON THE SUBJECT PROPERTY IS ZERO, AS THE SITE IS VACANT LAND.

LEE POWERS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 6805

DATE: APRIL 12, 2018

LAST DATE OF FIELD WORK: 11/15/17

DATE	REVISION	BY
2/28/18	TITLE REPORTS ADDED	DOB
4/12/18	REVISED TITLE REPORT	DOB

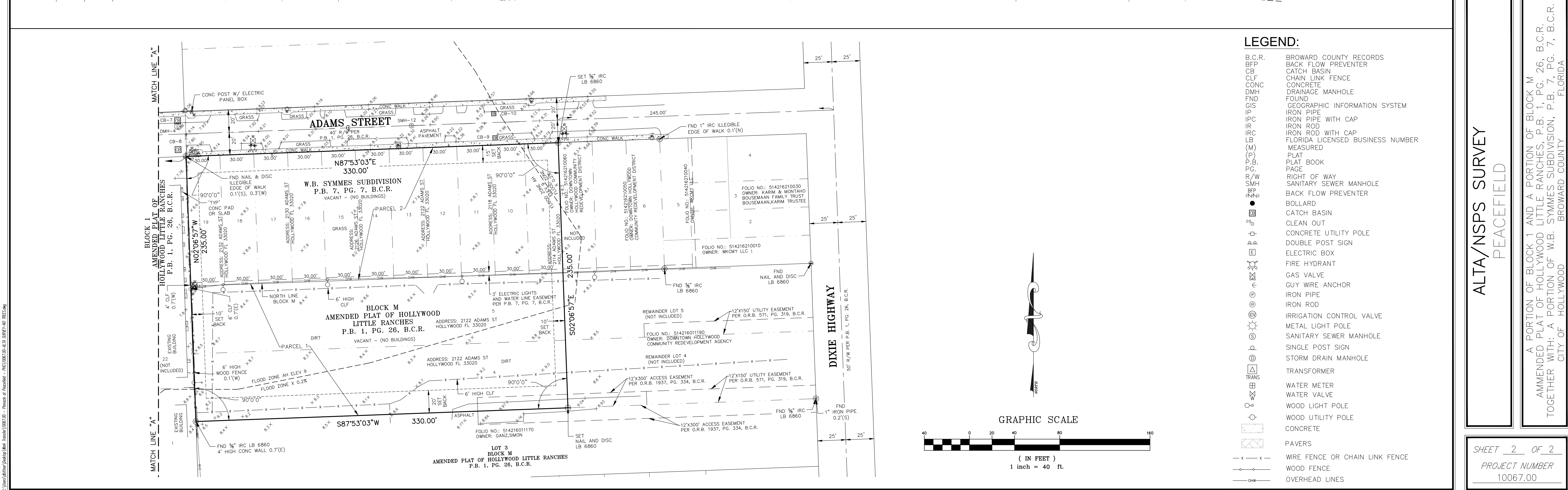
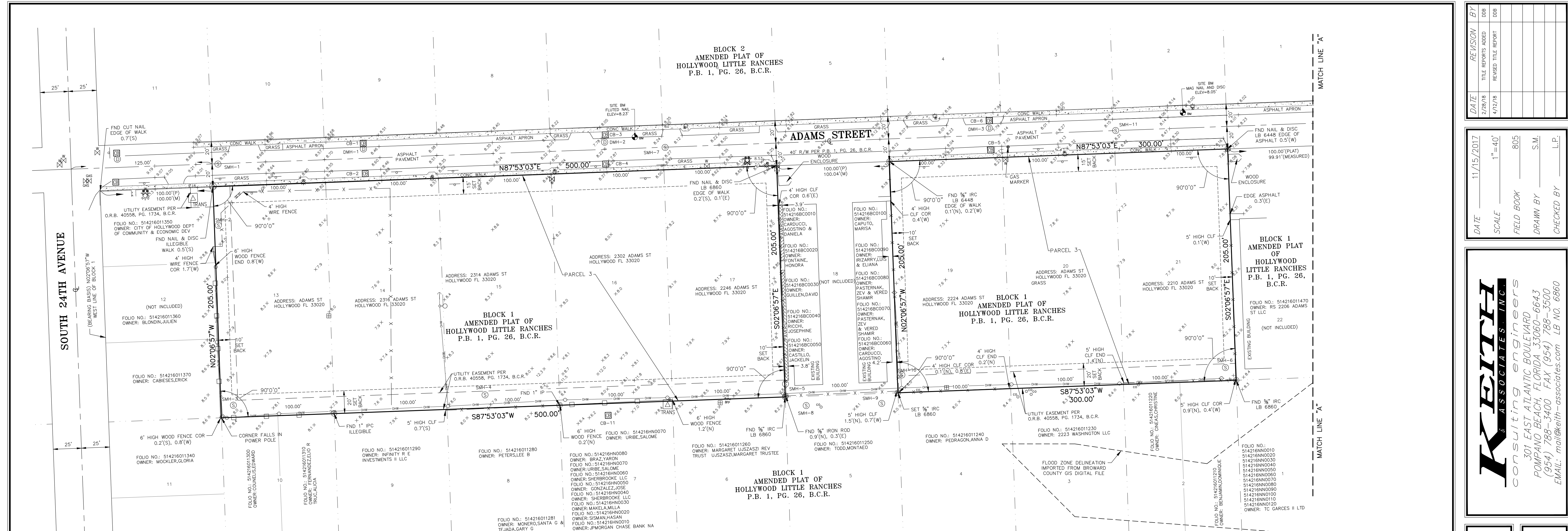
DATE	11/15/2017
SCALE	1" = 40'
FIELD BOOK	805
DRAWN BY	S.M.
CHECKED BY	L.P.

KEITH & ASSOCIATES, INC.
consulting engineers
301 EAST ATLANTIC BOULEVARD
POMPANO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@keith-associates.com LB NO. 6860

ALTA/NSPS SURVEY
PEACEFIELD

A PORTION OF BLOCK 1 AND A PORTION OF BLOCK M
AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, P.B. 1 PG. 26, B.C.R.
TOGETHER WITH: A PORTION OF W.B. SYMMES SUBDIVISION, P.B. 7, PG. 7, B.C.R.
CITY OF HOLLYWOOD BROWARD COUNTY FLORIDA

SHEET	1	OF	2
PROJECT NUMBER	10067.00		



REVISION	BY
2/28/18	DOB
4/12/18	DOB
	REVISED TITLE REPORT

DATE	11/15/2017
SCALE	1"=40'
FIELD BOOK	805
DRAWN BY	S.M.
CHECKED BY	L.P.

KEITH ASSOCIATES, INC.
consulting engineers
301 EAST ATLANTIC BOULEVARD
POMPAHO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@keith-associates.com LB NO. 6860

ALTA/NSPS SURVEY
PEACEFIELD

A PORTION OF BLOCK 1 AND A PORTION OF BLOCK M
AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, P.B. 1, PG. 26, B.C.R.
TOGETHER WITH: A PORTION OF W.B. SYMMES SUBDIVISION, P.B. 7, PG. 7, B.C.R.
CITY OF HOLLYWOOD BROWARD COUNTY FLORIDA

PLAN PURPOSE:

THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

NOTES:

1.

REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
2.

REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION
3.

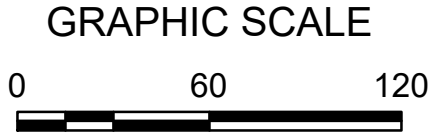
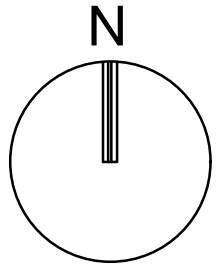
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
5.

THE MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 IF ADJACENT TO RESIDENTIAL.
6.

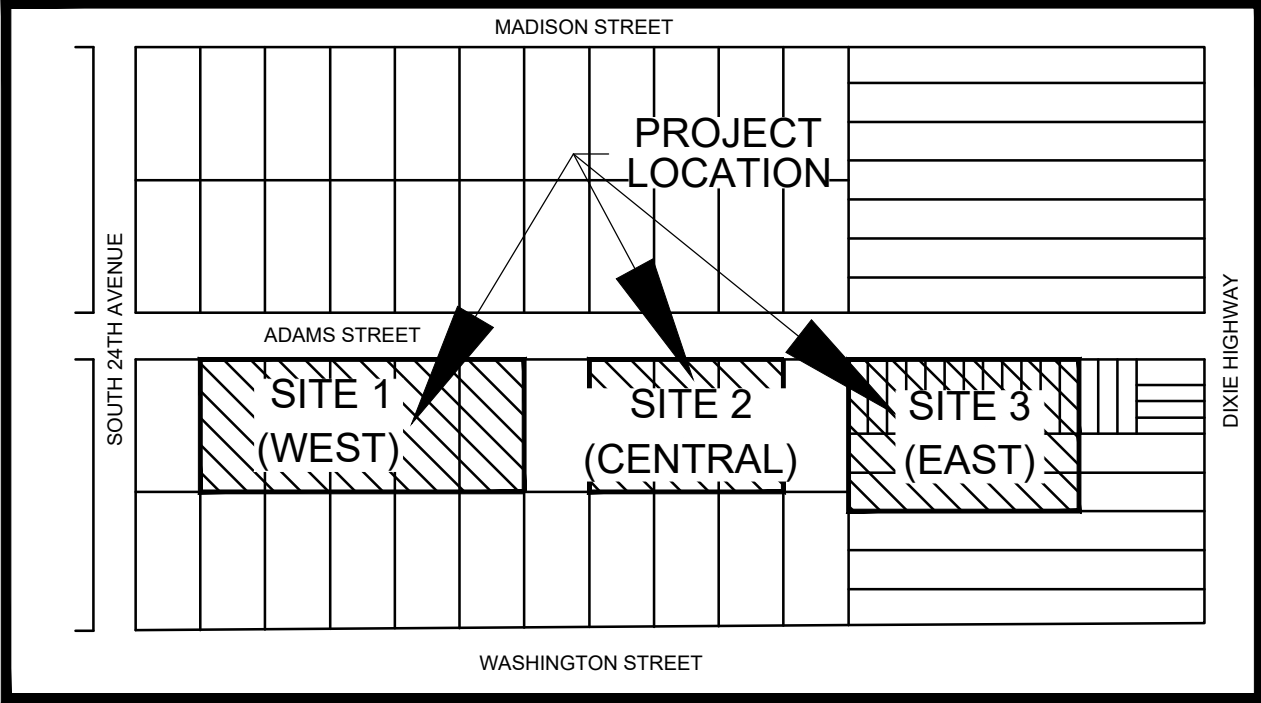
THIS PROJECT WILL ACHIEVE CERTIFICATION TO THE ICC 700 NATIONAL GREEN BUILDING STANDARD. PROJECT ID #: 342GQL
7.

THE BUILDINGS WILL COMPLY WITH NFPA 1,11.10* AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.
8.

THE PROJECT HAS ADDRESSED THE (1) BUILDING COMMENT IN THE FINAL TAC STAFF REPORT WITH RESPONSE LETTER DATED MARCH 30TH, 2018.



SCALE: 1"=60'
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
(NOT TO SCALE)

SITE INFORMATION: SITE 1

NUMBER OF DWELLING UNITS:
ONE-BEDROOM UNITS AIR-CONDITIONED (686 SF): 34 UNITS

TWO-BEDROOM UNITS AIR-CONDITIONED (929 SF): 24 UNITS

TOTAL UNITS: 58 UNITS

NET SITE AREA: 102,500 S.F. / 2.35 ACRES

PROPOSED FAR = GROSS BUILDING SF / SITE AREA
61,980 SF / 102,500 SF = 0.60

SITE INFORMATION: SITE 2

NUMBER OF DWELLING UNITS:
ONE-BEDROOM UNITS AIR-CONDITIONED (686 SF): 19 UNITS

TWO-BEDROOM UNITS AIR-CONDITIONED (929 SF): 12 UNITS

TOTAL UNITS: 31 UNITS

NET SITE AREA: 61,500 S.F. / 1.41 ACRES

PROPOSED FAR = GROSS BUILDING SF / SITE AREA
34,301 SF / 61,500 SF = 0.56

SITE INFORMATION: SITE 3

NUMBER OF DWELLING UNITS:
ONE-BEDROOM UNITS AIR-CONDITIONED (686 SF): 19 UNITS

TWO-BEDROOM UNITS AIR-CONDITIONED (929 SF): 12 UNITS

TOTAL UNITS: 31 UNITS

NET SITE AREA: 77,550 S.F. / 1.78 ACRES

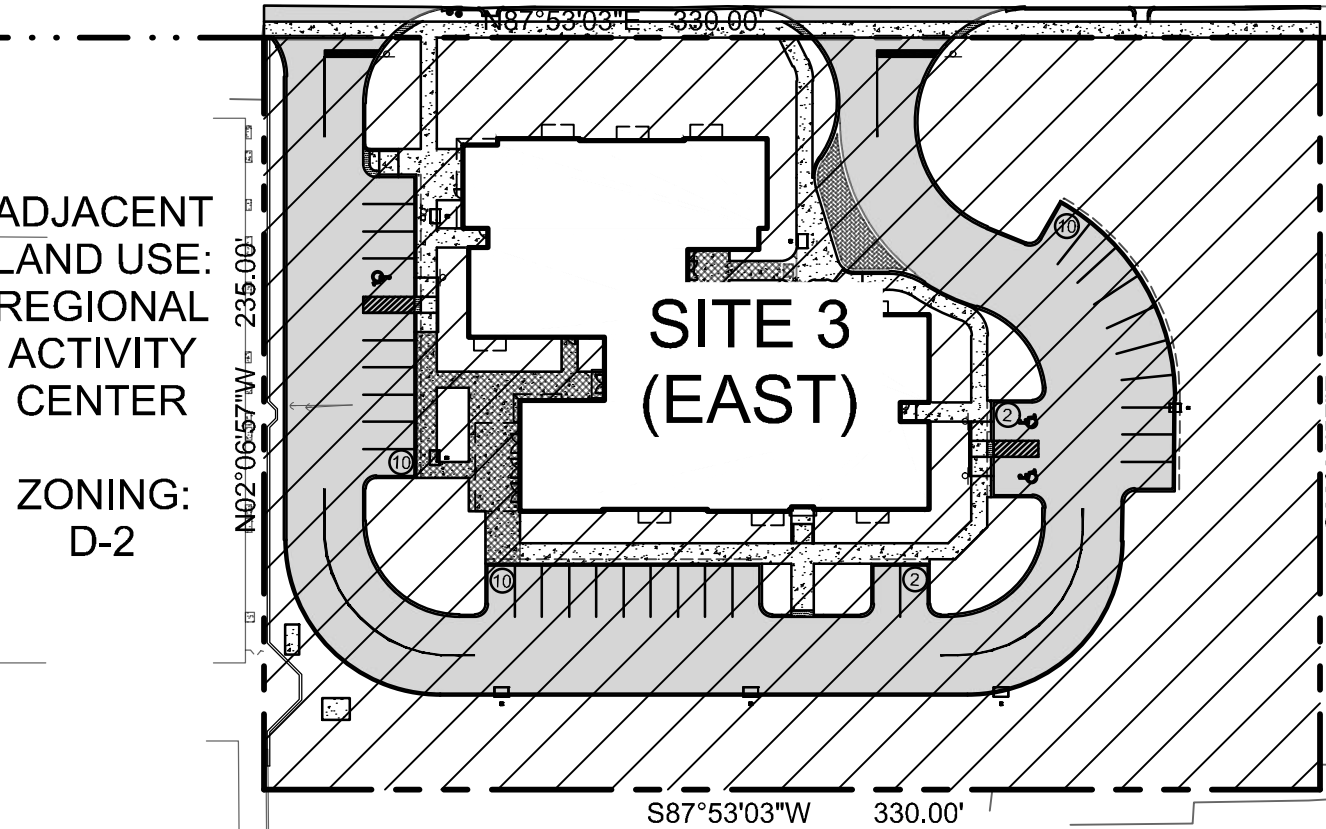
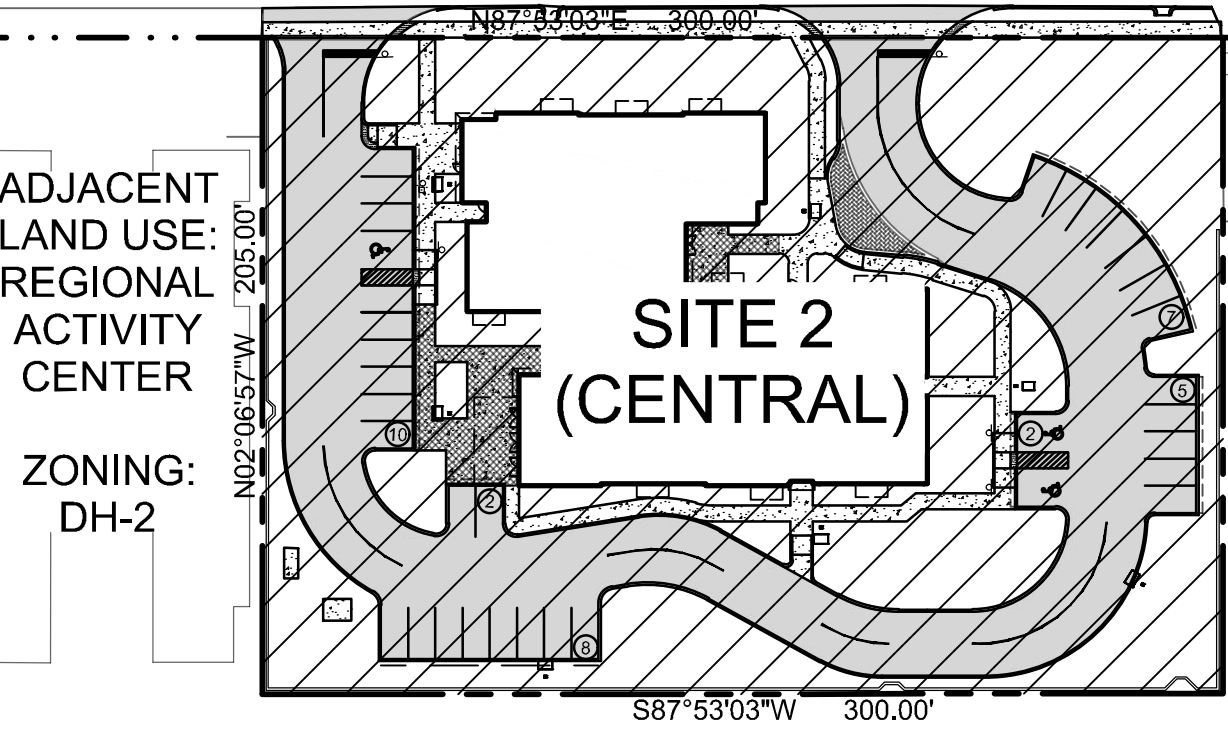
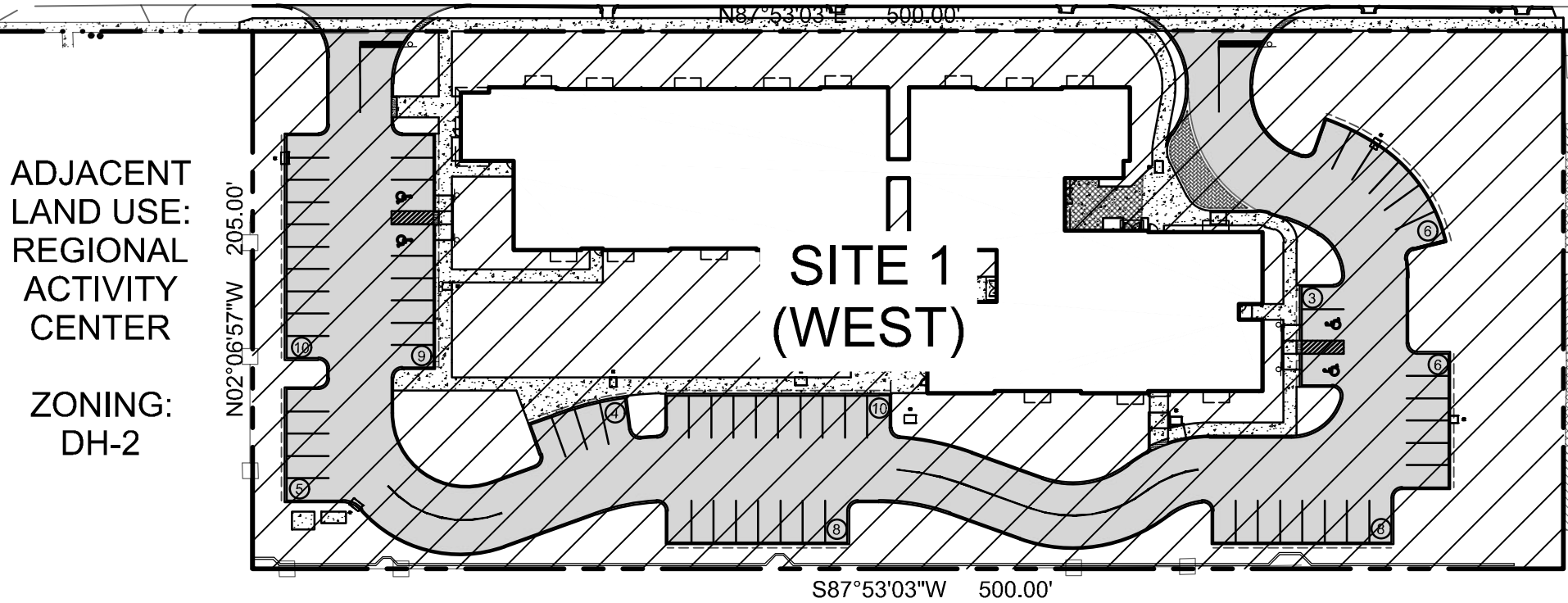
PROPOSED FAR = GROSS BUILDING SF / SITE AREA
34,301 / 77,550 SF = 0.45

ADJACENT LAND USE:
REGIONAL ACTIVITY CENTER
ZONING: DH-2

ADJACENT LAND USE:
REGIONAL ACTIVITY CENTER
ZONING: DH-2

ADJACENT LAND USE:
REGIONAL ACTIVITY CENTER
ZONING: DH-3

ADJACENT LAND USE:
REGIONAL ACTIVITY CENTER
ZONING: DH-3



LEGAL DESCRIPTION: SITE 1

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION: SITE 2

TOGETHER WITH:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION: SITE 3

ALSO TOGETHER WITH:

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OR LESS.



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

OVERALL
KEY PLAN

SHEET NUMBER

SP-100

PDB SUBMITTAL

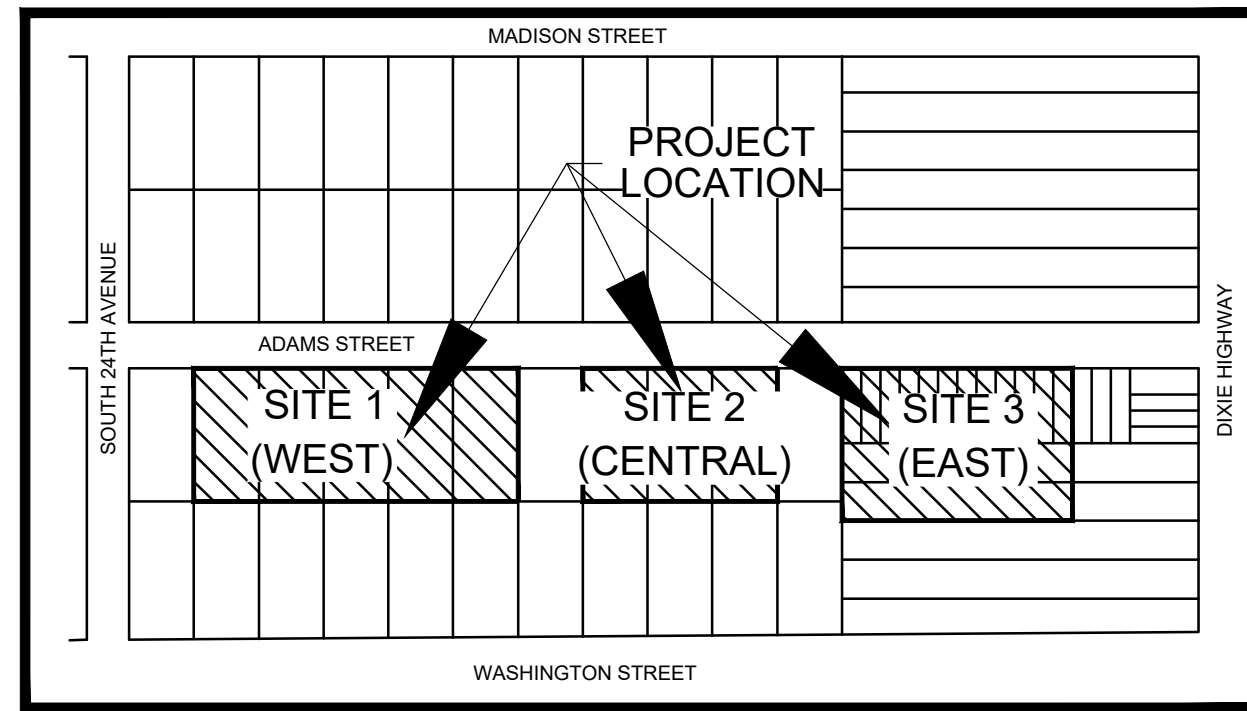
PROJECT NO. 10067.00

PLAN PURPOSE:

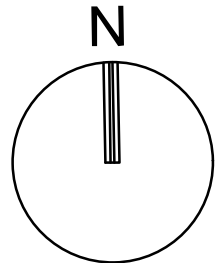
THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
- REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
- THE MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 IF ADJACENT TO RESIDENTIAL.
- THIS PROJECT WILL ACHIEVE CERTIFICATION TO THE ICC 700 NATIONAL GREEN BUILDING STANDARD.
- THE BUILDINGS WILL COMPLY WITH NFPA 1,11.10* AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.
- CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE PROPOSED LIGHTING PLANS.
- THE PROJECT HAS ADDRESSED THE (1) BUILDING COMMENT IN THE FINAL TAC STAFF REPORT WITH RESPONSE LETTER DATED MARCH 30TH, 2018.



VICINITY MAP
(NOT TO SCALE)



GRAPHIC SCALE

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

KEITH & ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED

DATE ISSUED: FEBRUARY 2018

DRAWN BY: MC

DESIGNED BY: SB

CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

**SITE PLAN
SITE 2
(CENTRAL)**

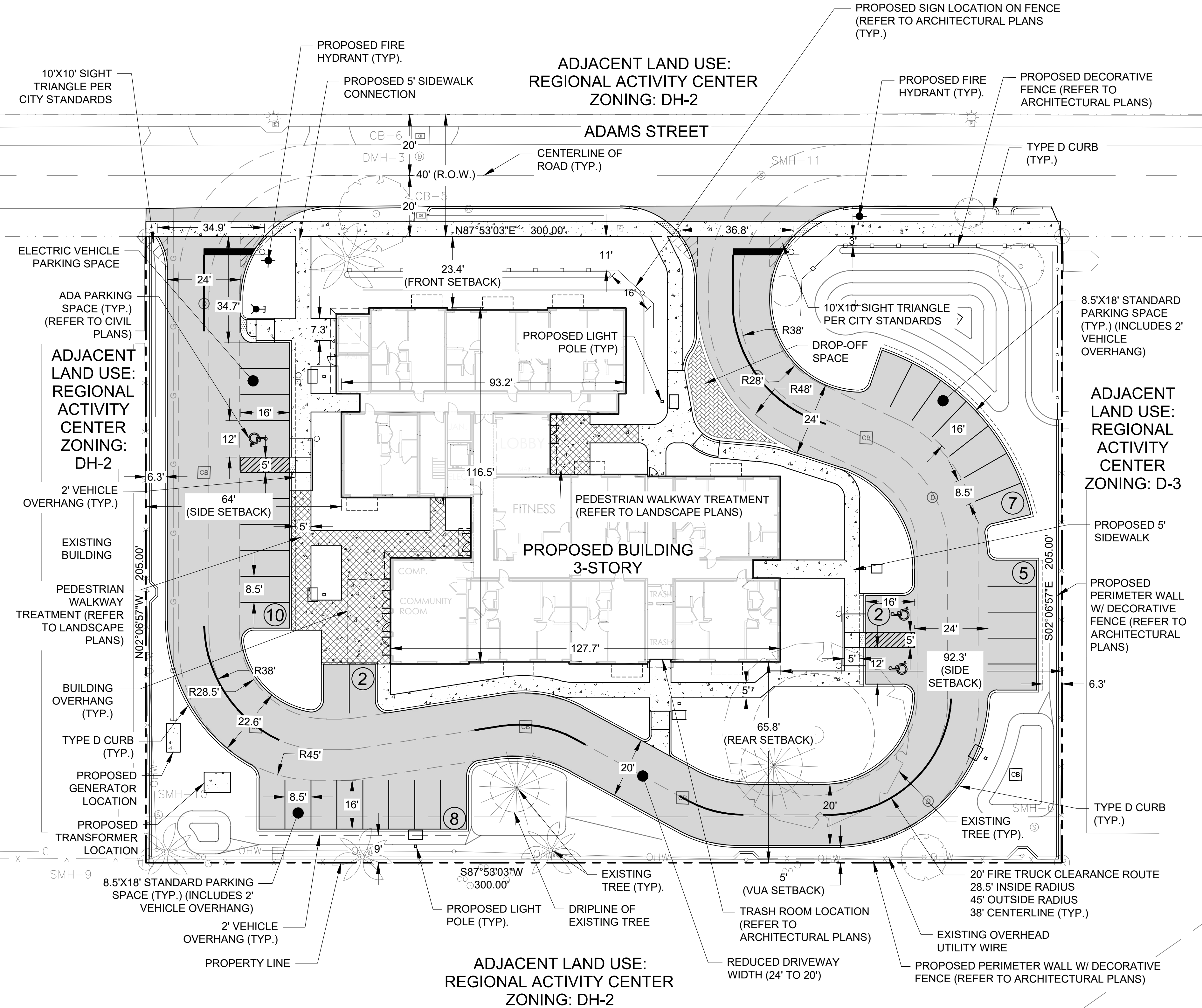
SHEET NUMBER

SP-102

PDB SUBMITTAL

PROJECT NO. 10067.00

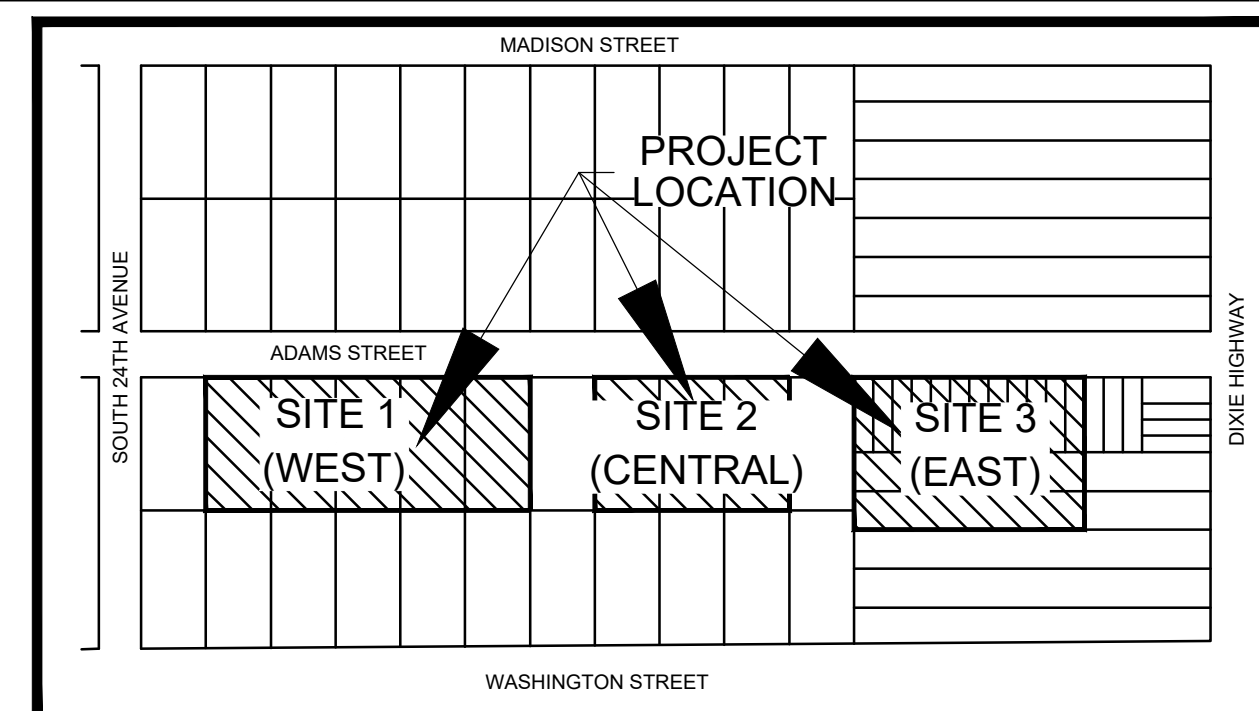
SITE DATA TABLE: SITE-2			
PROJECT ADDRESS: ADAMS STREET, HOLLYWOOD, FL 33020			
PROJECT INFORMATION: LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER - TRANSITION CORE FUTURE ZONING DESIGNATION: DIXIE HIGHWAY MEDIUM INTENSITY MULTI-FAMILY (DH-2)			
NET SITE AREA (S.F.)	61,500	1.41	AC
TOTAL BLDG SF	34,301		
SERVICE PROVIDERS POTABLE WATER: CITY OF HOLLYWOOD SANITARY SEWER: CITY OF HOLLYWOOD SOLID WASTE: WASTE PRO			
ZONING DISTRICT REQUIREMENTS:			
PROPOSED BUILDING HEIGHT	REQUIRED: 45' MAX	PROVIDED: 32'-8"	
SETBACK REQUIREMENTS			
PROPOSED BUILDING	REQUIRED	PROVIDED	
FRONT SETBACK	15'	23.4' FT.	
INTERIOR SIDE SETBACK (EAST)	10'	92.3' FT.	
INTERIOR SIDE SETBACK (WEST)	10'	64' FT.	
REAR YARD	20'	65.8' FT.	
SITE AREA CALCULATIONS: SITE 2			
NET SITE AREA:	SQ. FT.	%	ACRE
	61,500	100%	1.41
IMPERVIOUS AREA	PROVIDED		
	SQ. FT.	%	ACRE
PROPOSED BUILDING FOOTPRINT	11,913	19.4%	0.27
VEHICLE USE AREAS	20,430	33.2%	0.47
SIDEWALKS/CONCRETE	4,956	8.1%	0.11
VEHICLE OVERHANG	413	0.7%	0.009
PERVIOUS AREA			
	SQ. FT.	%	ACRE
LANDSCAPED OPEN SPACE	23,788	38.7%	0.55
LANDSCAPE SETBACK AREA	7,905	12.9%	0.181
INTERIOR LANDSCAPE AREA	15,883	25.8%	0.36
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	61,500	100%	1.41
LANDSCAPE AREA CALCULATIONS:			
INTERIOR LANDSCAPED AREA (MIN. 25% OF V.U.)	5,108	15,883	78%
LANDSCAPED OPEN SPACE (MIN. 20% OF SITE)	12,300	23,788	39%
PARKING DATA:			
REQUIRED			
MULTI-FAMILY			
1 PER DU	31		
1 PER 10 DU FOR GUESTS	3		
TOTAL PARKING REQUIRED	34		
TOTAL PARKING PROVIDED	34	(INCLUDES 3 ADA SPACES)	



THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

1. REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
2. REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION
3. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS

- | | | | |
|----|--|----|---|
| 5. | THE MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 IF ADJACENT TO RESIDENTIAL. | 8. | STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE PROPOSED LIGHTING PLANS. |
| 6. | THIS PROJECT WILL ACHIEVE CERTIFICATION TO THE ICC 700 NATIONAL GREEN BUILDING STANDARD. | 9. | THE PROJECT HAS ADDRESSED THE (1) BUILDING COMMENT IN THE FINAL TAC STAFF REPORT WITH RESPONSE LETTER DATED MARCH 30TH, 2018. |
| 7. | THE BUILDINGS WILL COMPLY WITH NFPA 1,11.10* AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM. | | |



A diagram of a circular object, possibly a lens or a mirror, with a vertical line passing through its center. The letter 'N' is positioned above the line, indicating a specific point or feature.

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE
CHANGED FROM ORIGINAL.
VERIFY SCALE USING BAR SCALE ABOVE.

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

[illegible]

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
--------	----------

DATE ISSUED: FEBRUARY 2018

DRAWN BY: MC

DESIGNED BY:	SB	2018 -

CHECKED BY:	JT
-------------	----

SITE DATA TABLE: SITE-3			
PROJECT ADDRESS: ADAMS STREET, HOLLYWOOD, FL 33020			
PROJECT INFORMATION: LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER - URBAN CORRIDOR ZONING DESIGNATION: DIXIE HIGHWAY HIGH INTENSITY MULTI-FAMILY (DH-3)			
NET SITE AREA (S.F.)	77,550	1.78	AC
TOTAL BLDG SF	34,301		
SERVICE PROVIDERS			
POTABLE WATER	CITY OF HOLLYWOOD		
SANITARY SEWER	CITY OF HOLLYWOOD		
SOLID WASTE	WASTE PRO		
ZONING DISTRICT REQUIREMENTS:			
PROPOSED BUILDING HEIGHT	REQUIRED 55' MAX	PROVIDED 32'-8"	
SETBACK REQUIREMENTS			
	REQUIRED	PROVIDED	
PROPOSED BUILDING			
FRONT SETBACK	15'	31.4'	FT.
INTERIOR SIDE SETBACK (EAST)	0'	122.2'	FT.
INTERIOR SIDE SETBACK (WEST)	10'	64'	FT.
REAR YARD	20'	87.8'	FT.
SITE AREA CALCULATIONS: SITE 3			
	SQ. FT.	%	ACRE
NET SITE AREA:	77,550	100%	1.78
	PROVIDED		
	SQ. FT.	%	ACRE
IMPERVIOUS AREA			
PROPOSED BUILDING FOOTPRINT	11,913	15.4%	0.27
VEHICLE USE AREAS	21,793	28.1%	0.50
SIDEWALKS/CONCRETE	5,104	6.6%	0.12
VEHICLE OVERHANG	438	0.6%	0.010
PERVIOUS AREA			
LANDSCAPED OPEN SPACE*	38,302	49.4%	0.88
LANDSCAPE SETBACK AREA	9,515	12.3%	0.218
INTERIOR LANDSCAPE AREA	28,787	37.1%	0.66
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	77,550	100%	1.78
LANDSCAPE AREA CALCULATIONS:			
	REQUIRED	PROVIDED	
INTERIOR LANDSCAPED AREA (MIN. 25% OF VOA)	5,448	28,787	132%
*NO MINIMUM LANDSCAPED OPEN SPACE REQUIREMENT IN DH-3 ZONING DISTRICT			
PARKING DATA:			
	REQUIRED		
MULTI-FAMILY			
1 PER DU	31		
1 PER 10 DU FOR GUESTS	3		
TOTAL PARKING REQUIRED	34		
TOTAL PARKING PROVIDED	34	(INCLUDES 3 ADA SPACES)	

SHEET TITLE

SITE PLAN
SITE 3
(EAST)

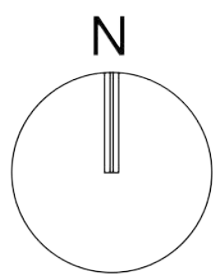
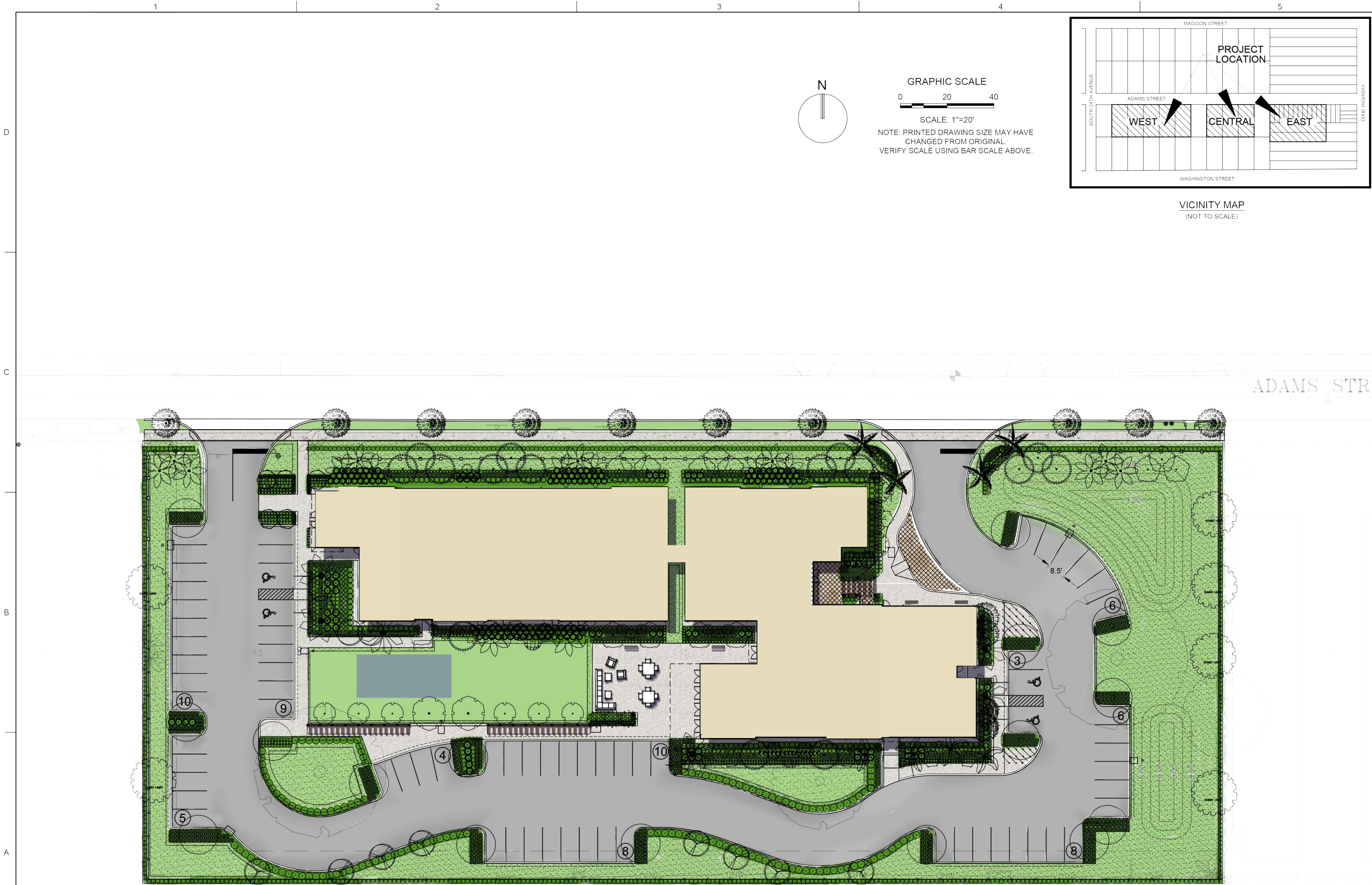
SHEET NUMBER

SP-103

PDB SUBMITTAL

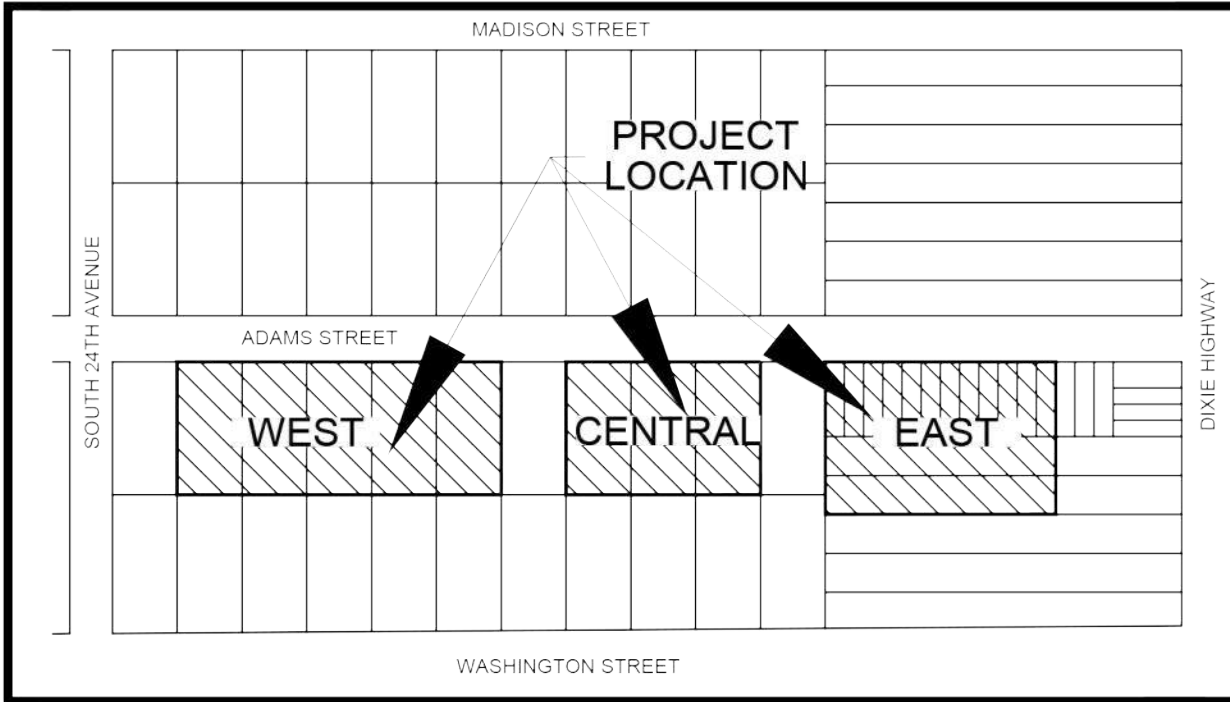
PROJECT NO.	10067.00
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SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE
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VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
(NOT TO SCALE)



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BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

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UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

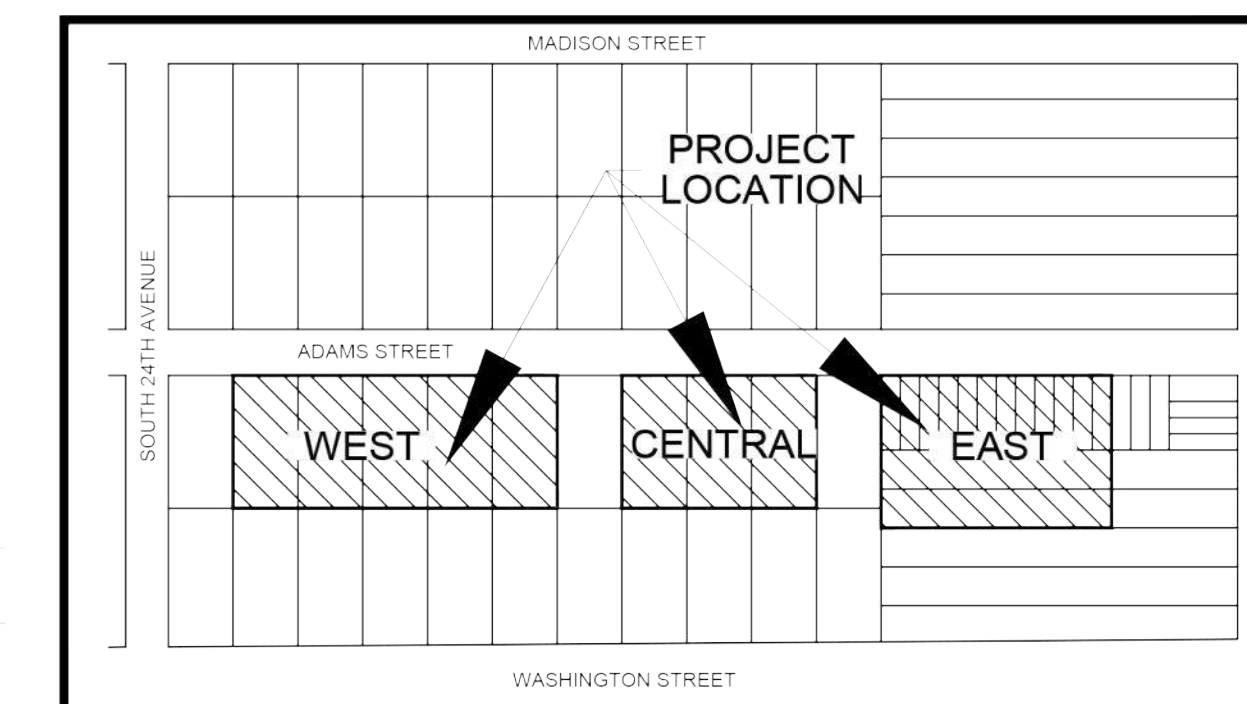
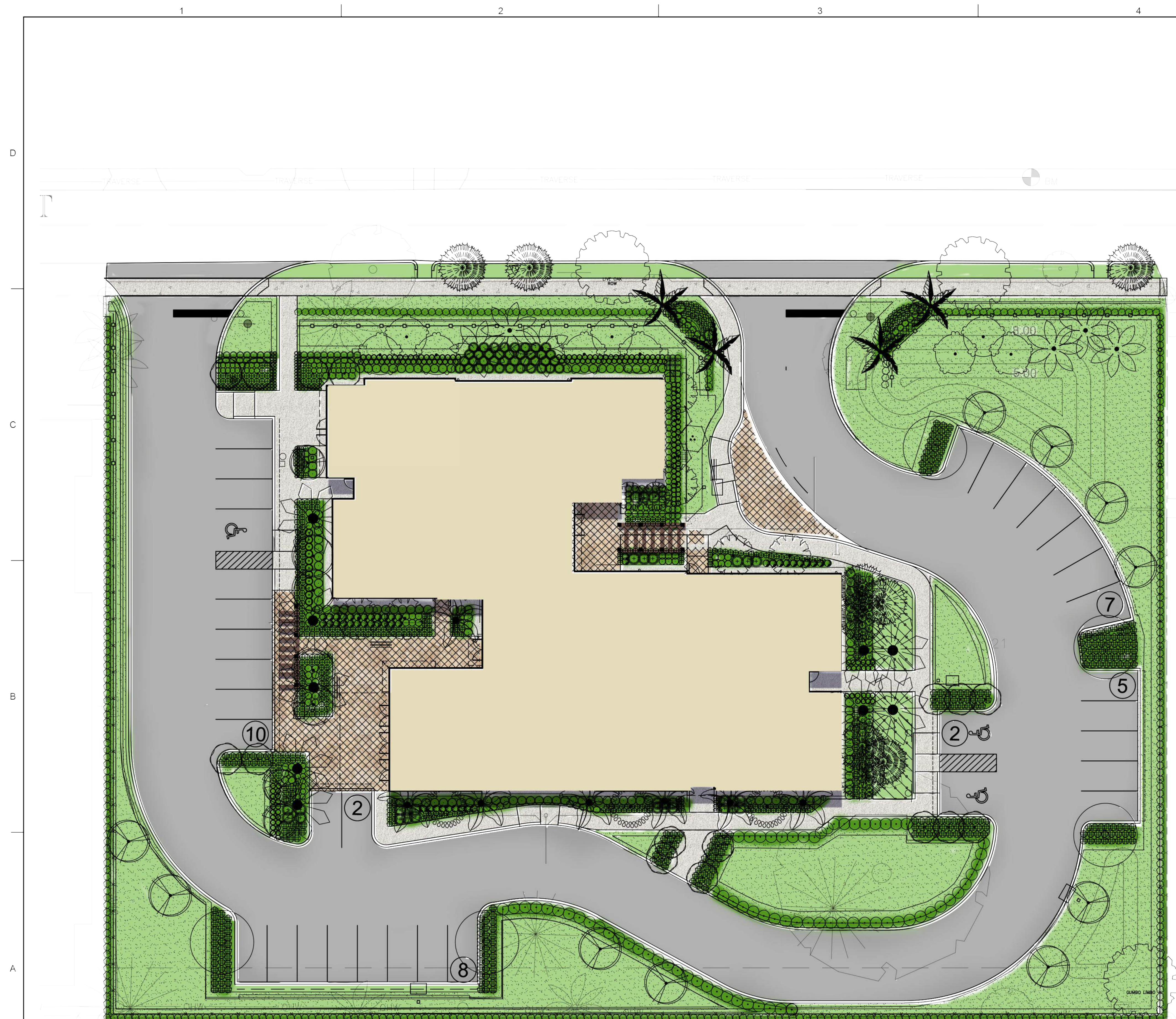
COLOR SITE PLAN
WEST SITE

SHEET NUMBER

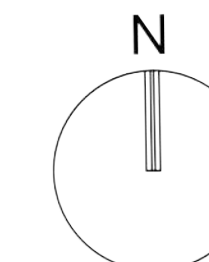
PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00

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VICINITY MAP
(NOT TO SCALE)



KEITH
& ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

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Authorization # - 7928

BID / CONTRACT NO.

REVISIONS

[illegible]

PRELIMINARY PLAN
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ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
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DATE ISSUED:	FEBRUARY 2018
--------------	---------------

DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC

DRAWN BY:	MC
DESIGNED BY:	SB

DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

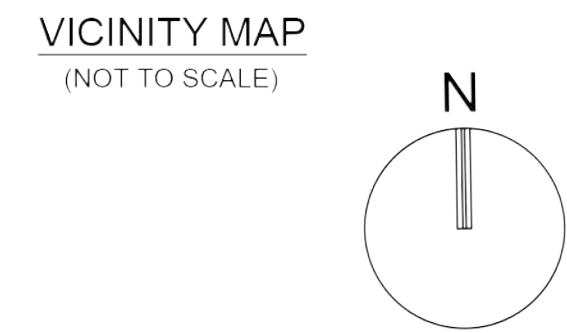
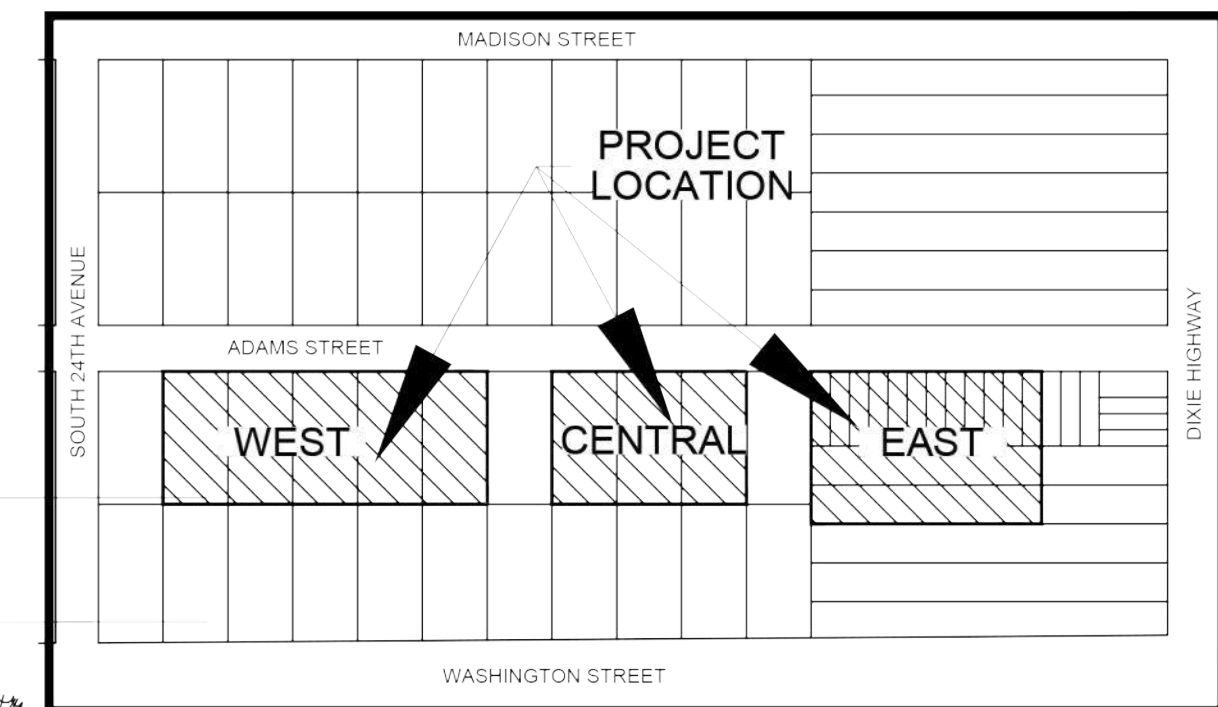
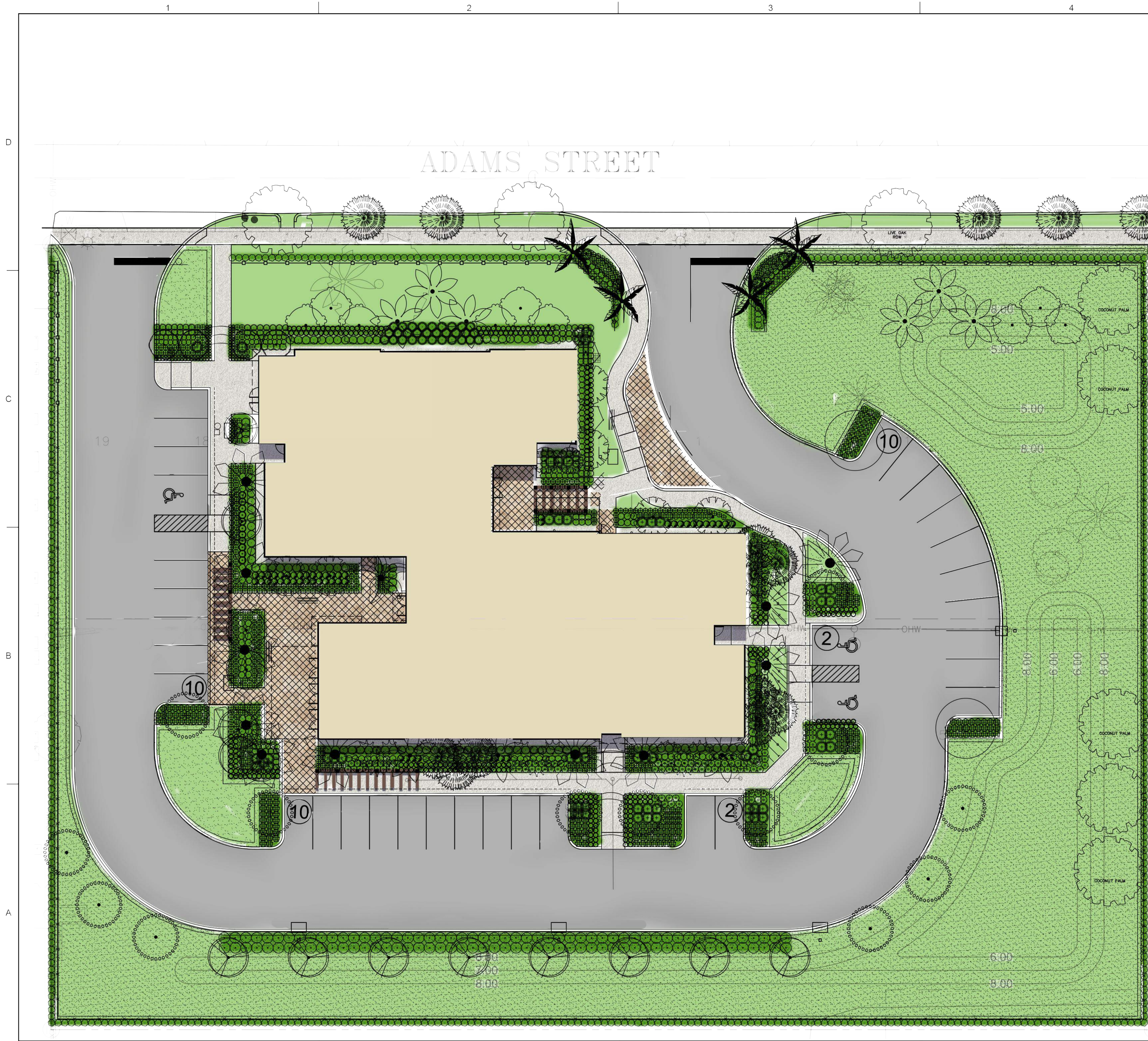
SHEET TITLE

COLOR SITE PLAN
CENTRAL SITE

SHEET NUMBER

PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00



KEITH & ASSOCIATES, INC.
consulting engineers
301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400


Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
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**Pinnacle at
PEACEFIELD**

ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
DRAWN BY: MC
DESIGNED BY: SB
CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

COLOR SITE PLAN
EAST SITE

SHEET NUMBER

PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00

Drawing Name: N:\10067.00 - Pinnacle at Peacefield - Final Engineering Cadd\10067.00.dwg User: jthiele Date: 2/27/2018 2:30pm Plot Date: Feb 27, 2018 2:30pm Plotter: jthiele

PINNACLE AT PEACEFIELD

HOLLYWOOD FL



101 N. 21ST AVENUE, SUITE 300
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F 954 332-0184
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PINNACLE AT PEACEFIELD

ADAMS STREET
HOLLYWOOD FL

PROJECT NO. 104
DATE: 10/09/10

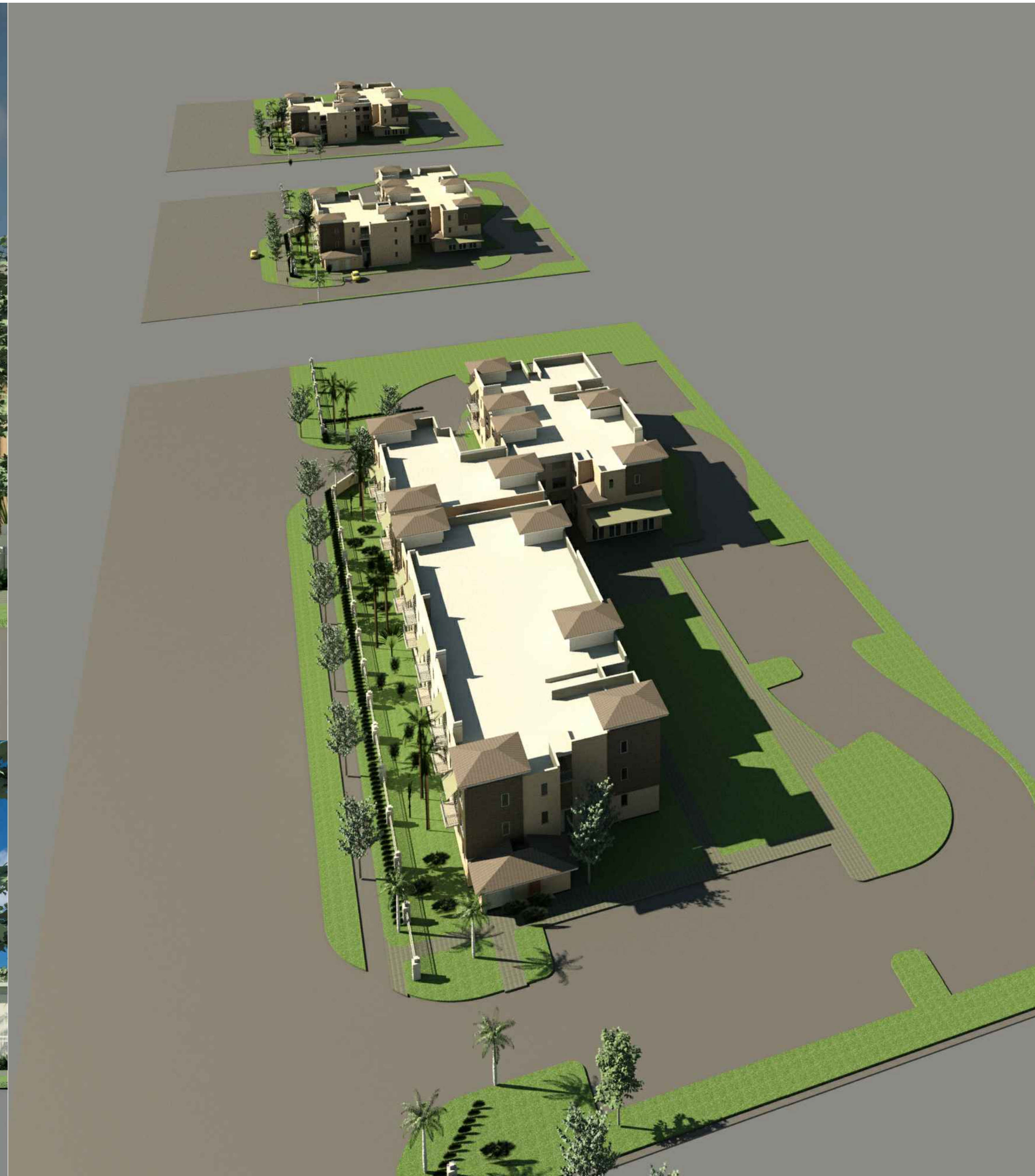
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01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING & DEVELOPMENT BOARD SUBMITTAL CHECKLIST

RENDERINGS
NO VEGETATION

A-0.0
SITE PLAN APPROVAL

PINNACLE AT PEACEFIELD

HOLLYWOOD, FL



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PINNACLE AT PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104

DATE: 10/09/10

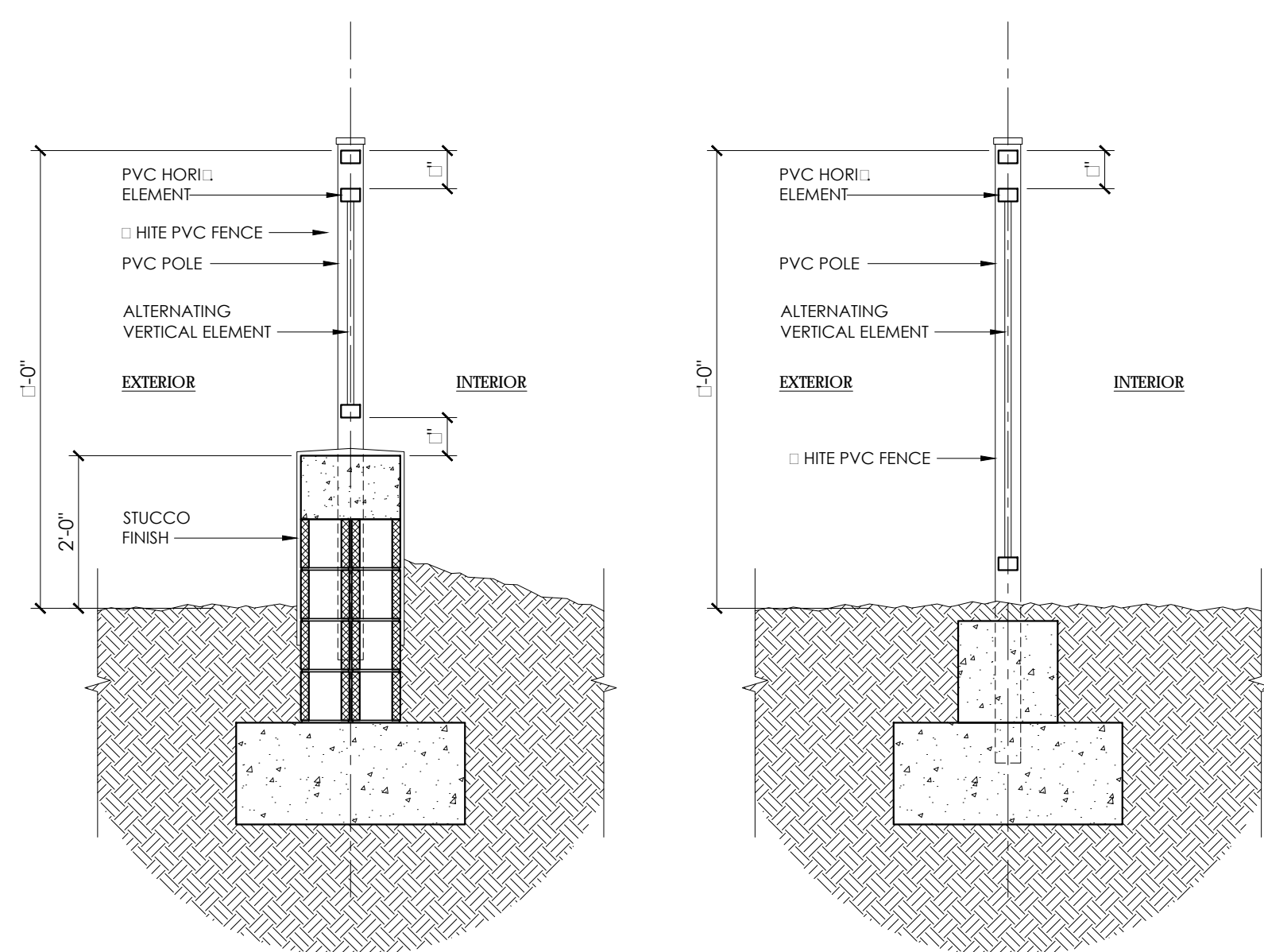
REVISIONS

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01/31/18 SITE PLAN APPROVAL PAGE
03/07/18 SITE PLAN APPROVAL PAGE
FINAL TAC
03/30/18 PLANNING & DEVELOPMENT
BOARD SUBMITTAL CHECKLIST

RENDERINGS AND
COVER SHEET

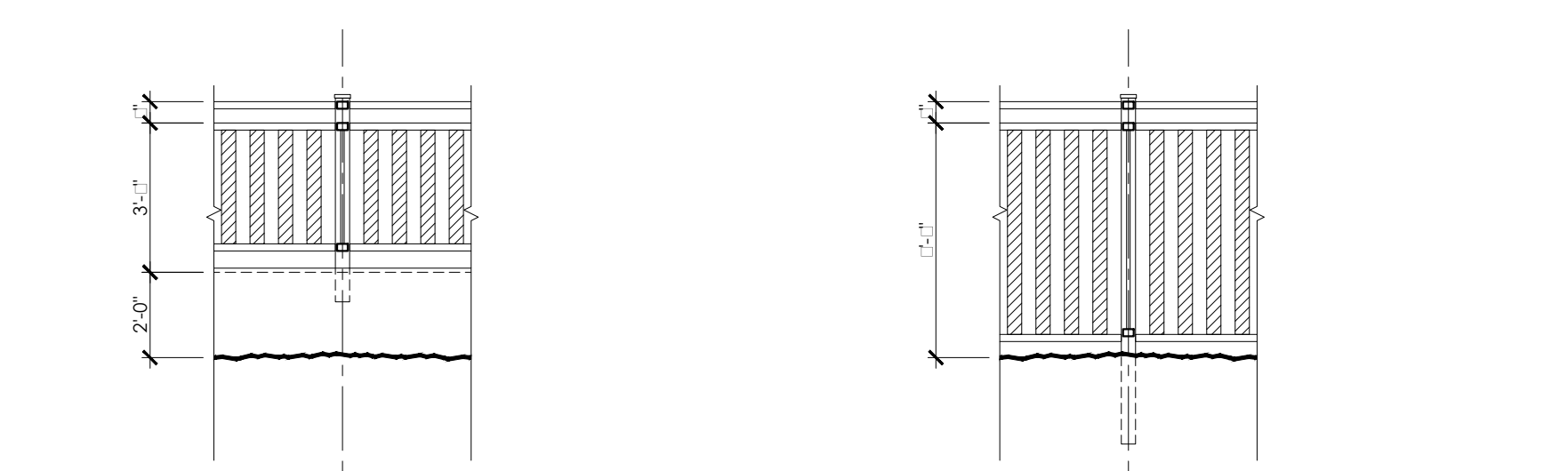
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SITE PLAN APPROVAL



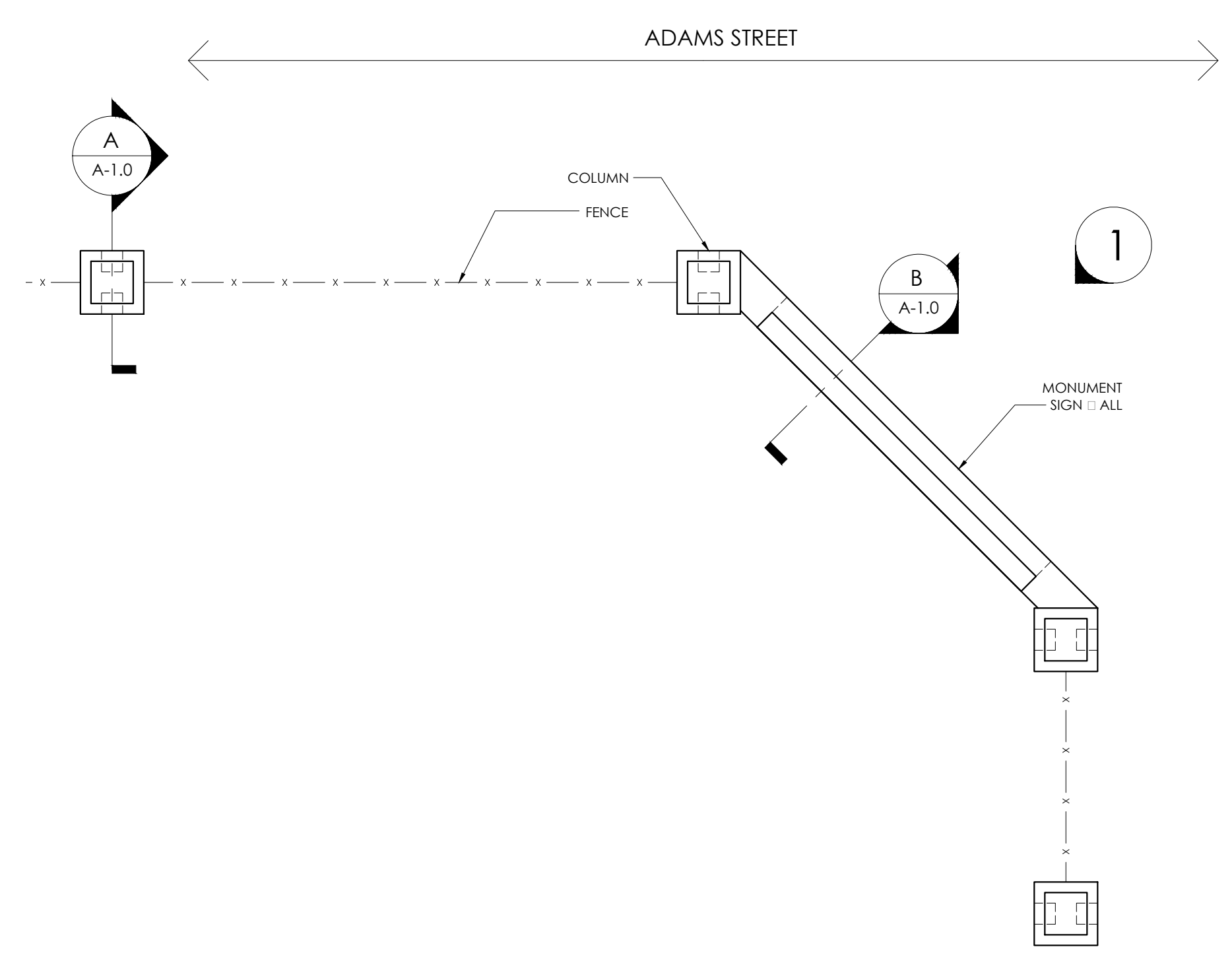
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SCALE: 1/2" = 1'-0"

PVC FENCE SECTION - EAST - EST SIDE
SCALE: 1/2" = 1'-0"

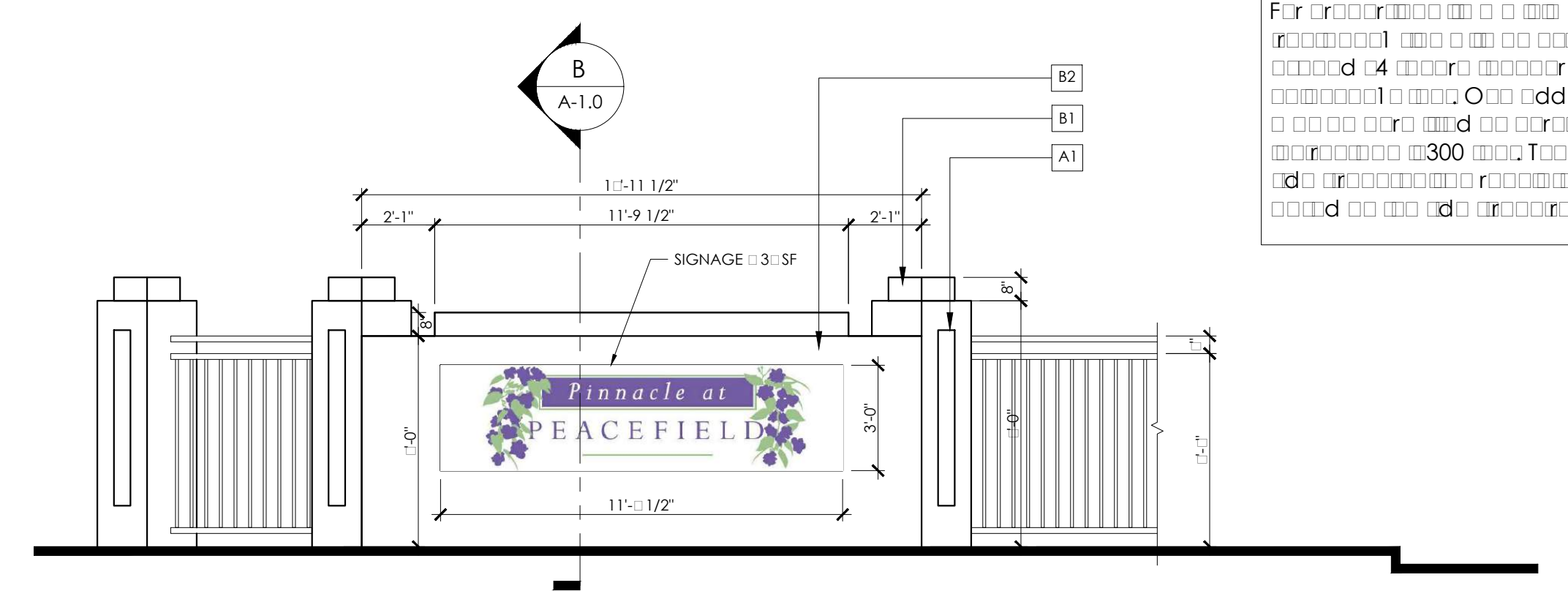


PVC FENCE ELEVATION - SOUTH SIDE
SCALE: 1/4" = 1'-0"

PVC FENCE ELEVATION - EAST - EST SIDE
SCALE: 1/4" = 1'-0"

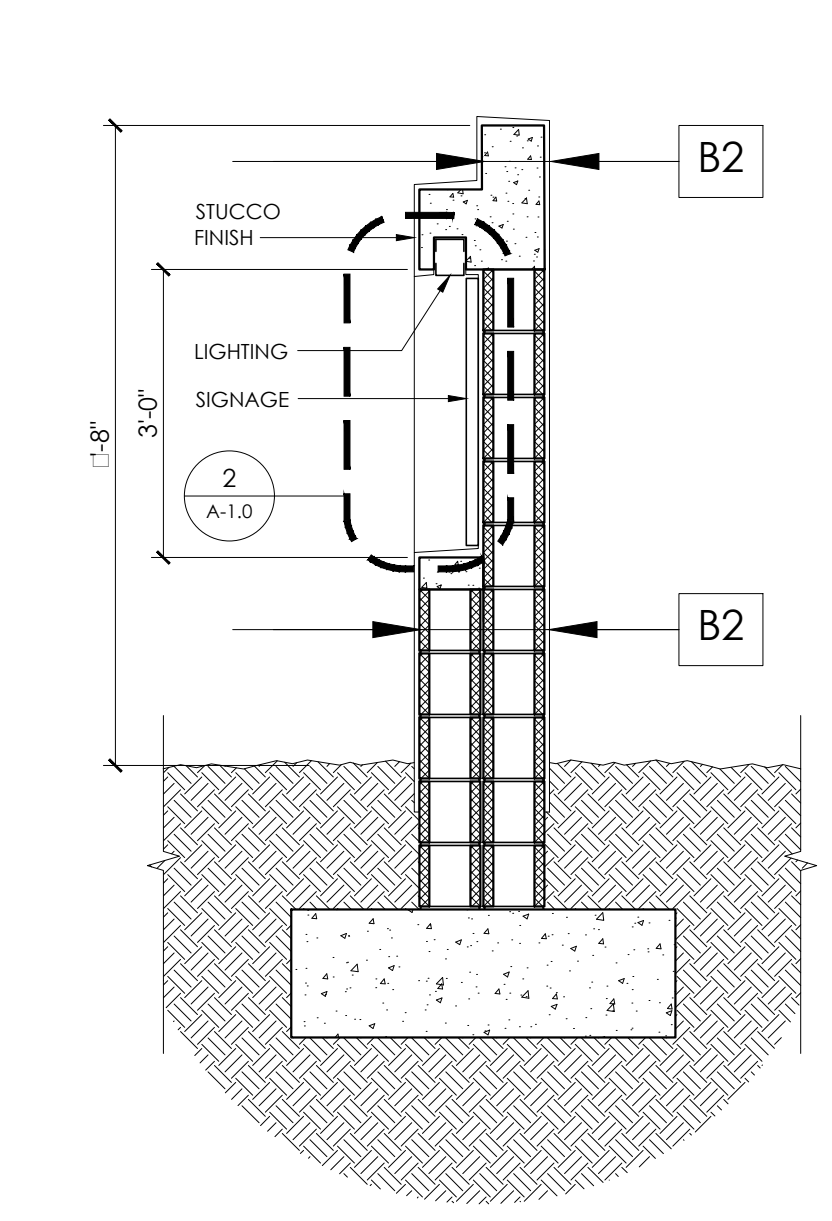


MONUMENT SIGN COLUMNS - FENCE PARTIAL PLAN
SCALE: 1/4" = 1'-0"

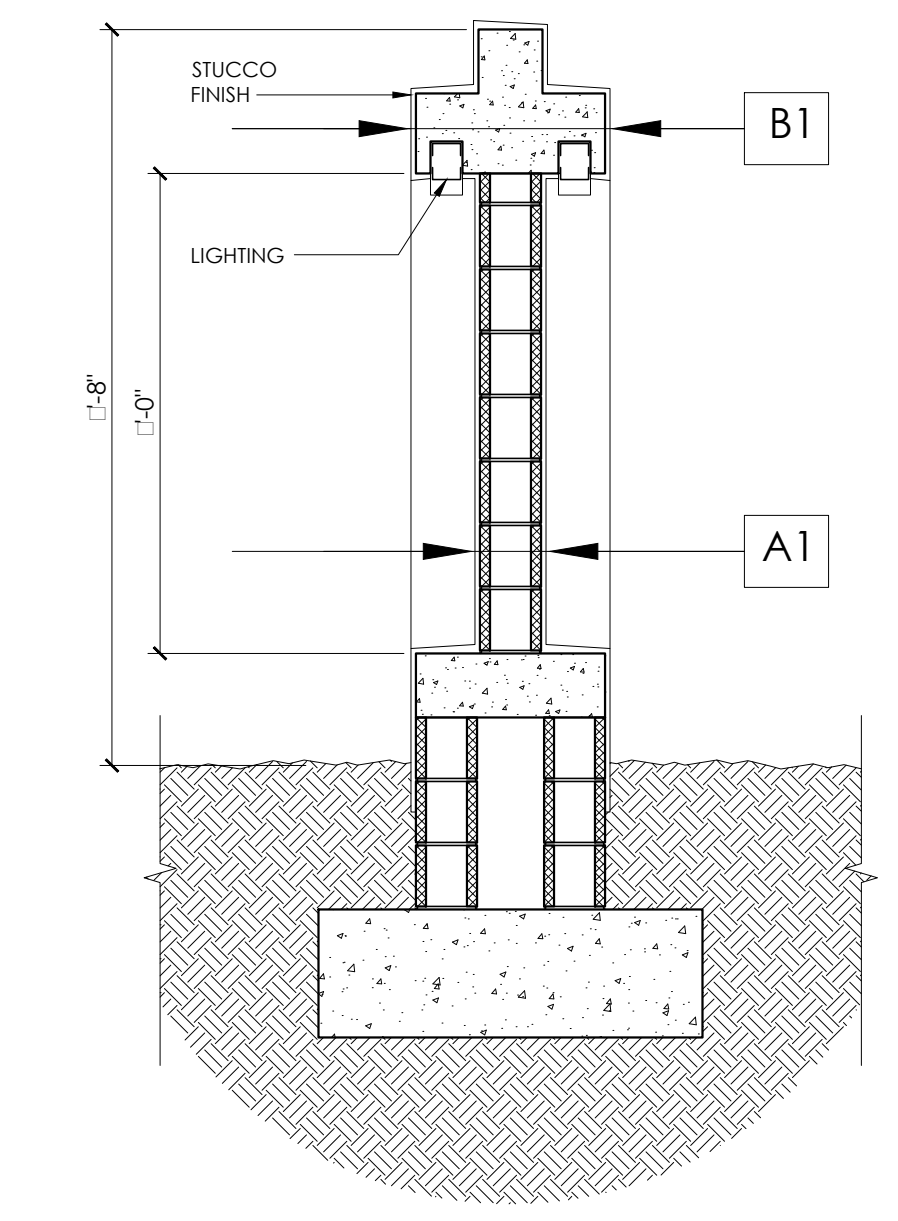


MONUMENT SIGN ELEVATION
SCALE: 1/4" = 1'-0"

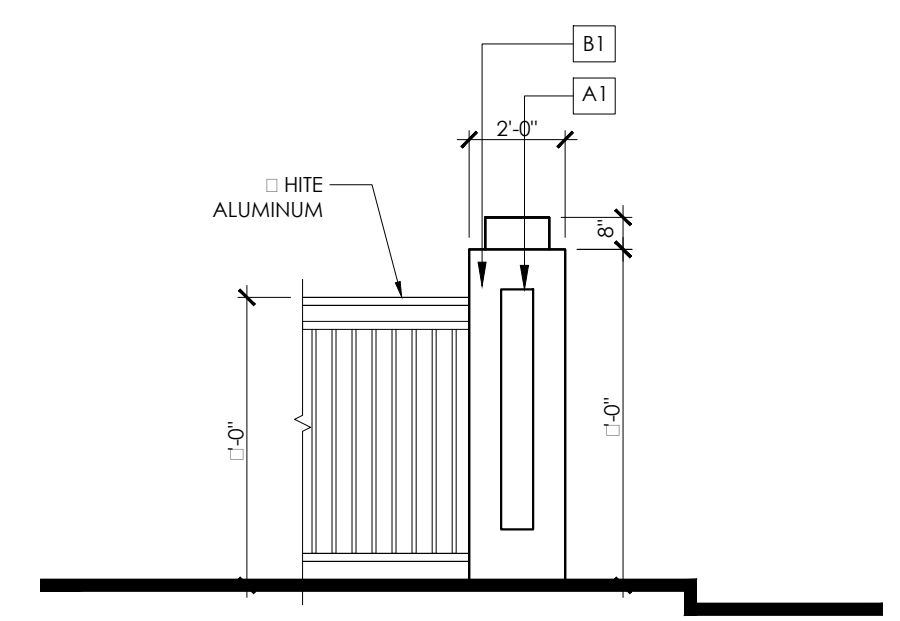
CONTRACTOR TO PROVIDE ALL MATERIALS AND LABOR FOR THE MONUMENT SIGN. THE SIGN SHALL BE 300" HIGH AND 11'-9 1/2" WIDE. THE SIGN SHALL BE 300" HIGH AND 11'-9 1/2" WIDE. THE SIGN SHALL BE 300" HIGH AND 11'-9 1/2" WIDE.



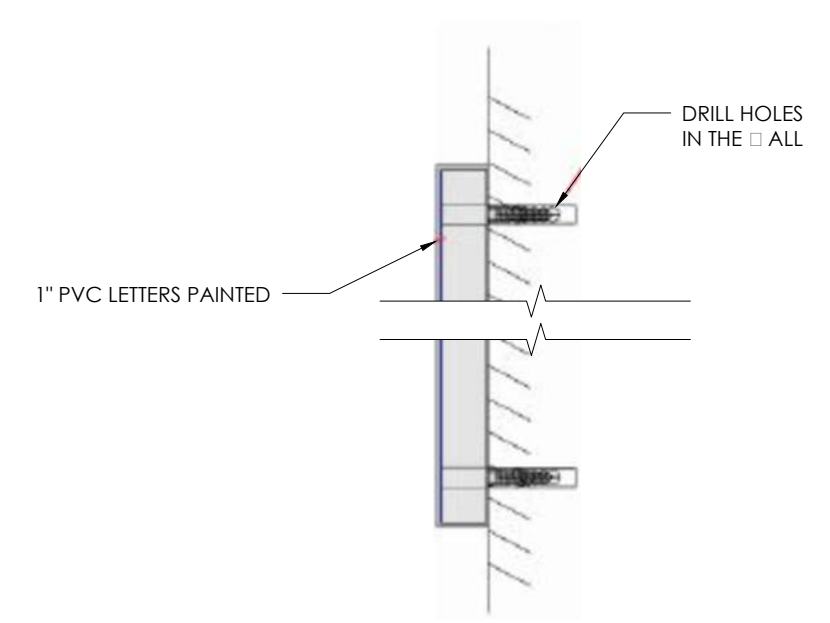
MONUMENT SIGN SECTION
SCALE: 1/2" = 1'-0"



FENCE COLUMN SECTION
SCALE: 1/2" = 1'-0"

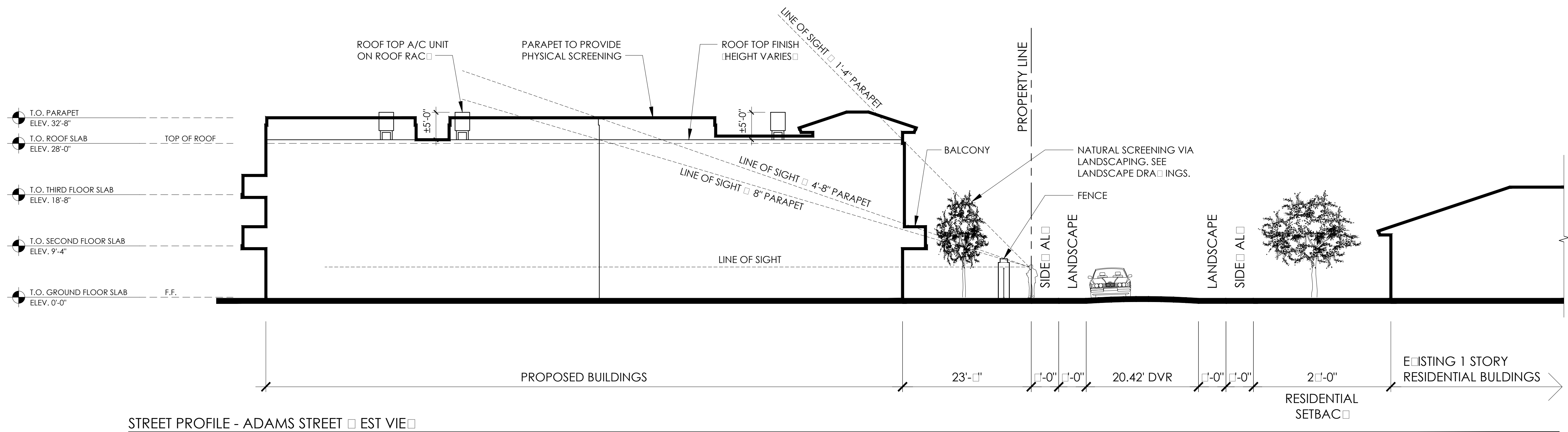


COLUMN - FENCE ELEVATION
SCALE: 1/4" = 1'-0"



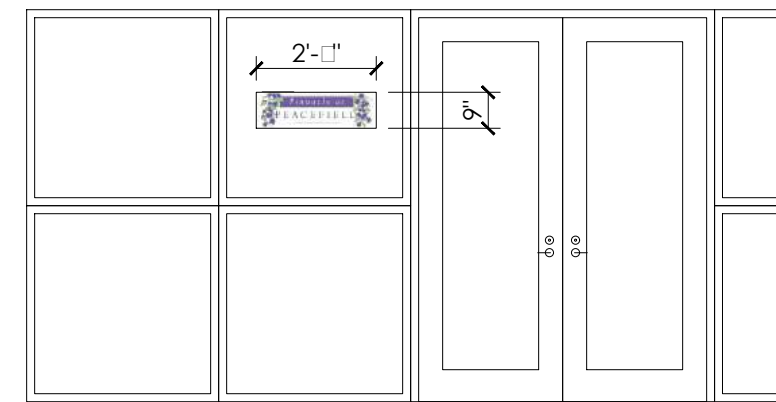
MONUMENT SIGN PVC LETTERS DETAIL
NOT TO SCALE

COLOR LEGEND	
COLOR LEGEND	
[B1] BODY COLOR	ULTRA PURE - HITE - PR-1
[B2] BODY COLOR	ARM LIGHT TAN - ARISTOCRATIC IVORY - ECC-2-2
[T1] TRIM COLOR (FREESTYLE FASCIA)	ULTRA PURE - HITE - PR-1
[G1] GLASS COLOR	TINTED
[A1] ANILING/SHADE STRUCT. ADDITIONAL DETAILS AS NOTED	MEADO - GLEN - ECC-12-2
[A2] HARDIE BOARD HORIZONTAL SIDING	S - 01 THRESHOLD TAUPE - SHERIDAN - WILLIAMS
NOTE: BEHR PAINT COLORS AND CODES UNLESS OTHERWISE NOTED.	



STREET PROFILE - ADAMS STREET □ EST VIE□

Cd H Cd Cd Ord - Ar 8
8.3 O D d S
l d d r d 20
d



LOBBY SIGNAGE

LEASING OFFICE SIGNAGE

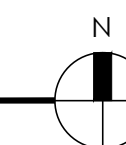
1'-0"

8"

Pinnacle at
PEACEFIELD
Leasing Office

ENLARGED DOOR SIGNAGE

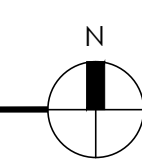
SCALE 3" = 1'-0"





SECOND FLOOR PLAN - EST BUILDING

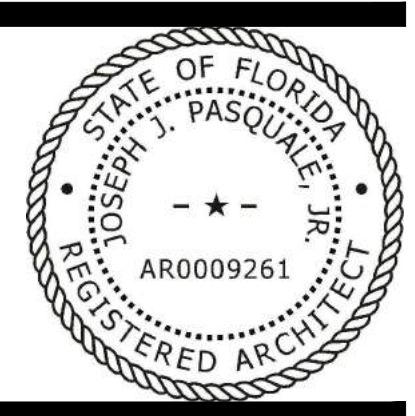
SCALE 1/16" = 1'-0"



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PINNACLE AT
PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

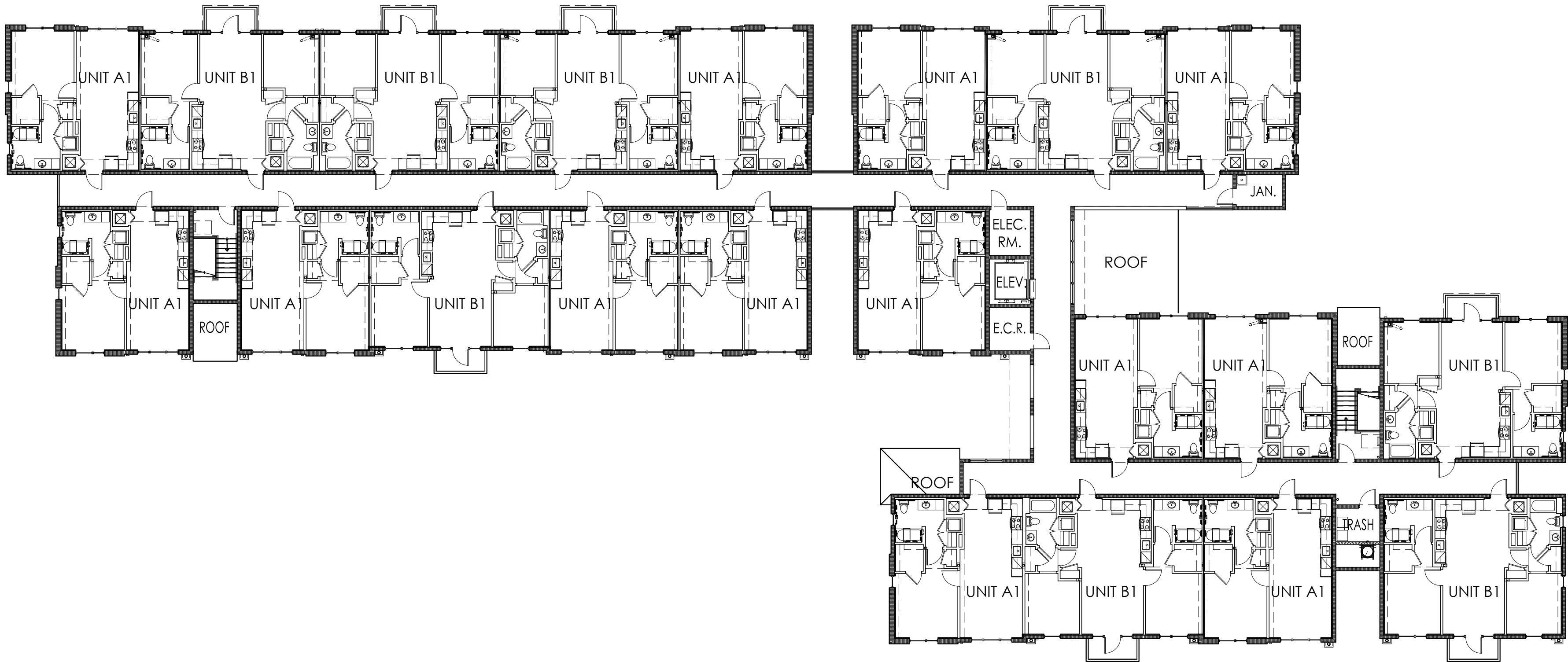
PROJECT NO. 104
DATE 10/09/10

REVISIONS	
12/01/10	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING DEVELOPMENT BOARD SUBMITTAL CHECKLIST

EST BUILDING
SECOND FLOOR PLAN

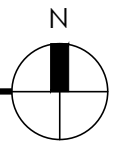
A-2.1

SITE PLAN APPROVAL



THIRD FLOOR PLAN - EST BUILDING

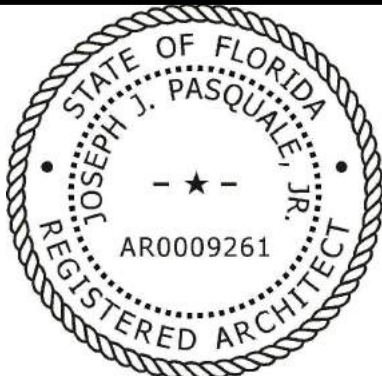
SCALE 1/16" = 1'-0"



101 N. 21ST AVENUE, SUITE 300
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F 954.332-0180
AA0002

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CHECKED P.A.



PINNACLE AT
PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104
DATE 10/09/10

REVISIONS	
12/01/10	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING DEVELOPMENT BOARD SUBMITTAL CHECKLIST

EST BUILDING
THIRD FLOOR PLAN

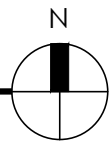
A-2.2

SITE PLAN APPROVAL



FIRST FLOOR PLAN - CENTRAL / EAST BUILDING

SCALE 1/16" = 1'-0"



UNIT LEGEND

UNIT A1	UNIT A-FHA-TUB	3 TOTAL 0 FLOOR ONLY
UNIT A2	UNIT A-FHA-SHOWER	
UNIT A3	UNIT A-UFAS-SHOWER	
UNIT A4	UNIT A-VISION IMPAIRED-TUB	1 TOTAL 0 FLOOR ONLY
UNIT B1	UNIT B-FHA-TUB	0 TOTAL 0 FLOOR ONLY
UNIT B2	UNIT B-FHA-SHOWER	
UNIT B3	UNIT B-UFAS-SHOWER	
UNIT B4	UNIT B-VISION IMPAIRED-TUB	0 TOTAL 0 FLOOR ONLY



PINNACLE AT
PEACEFIELD
ADAMS STREET
HOLLYWOOD, FL

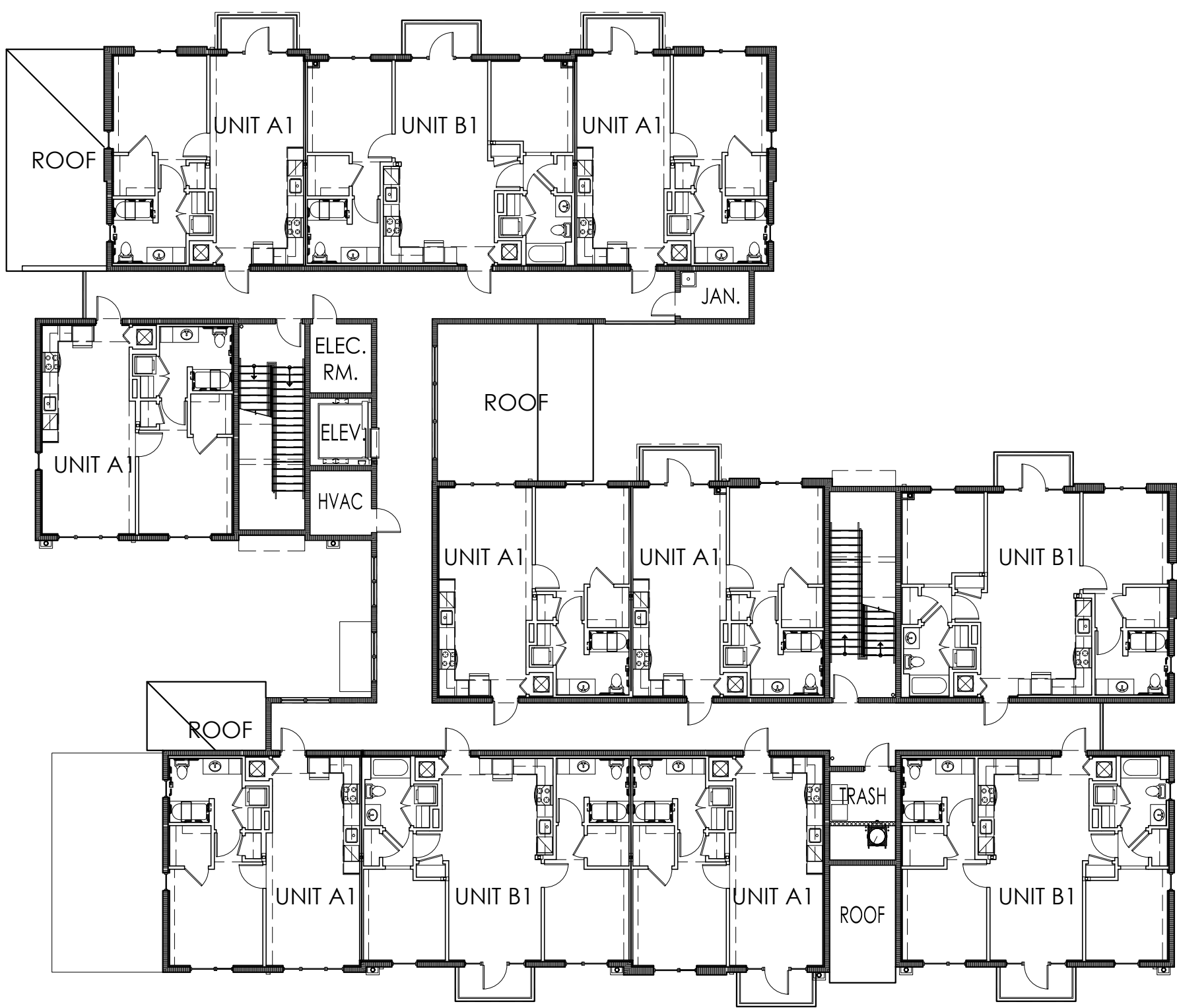
PROJECT NO. 104
DATE 10/09/10

REVISIONS	
12/01/10	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PAGE
03/07/18	SITE PLAN APPROVAL PAGE
	FINAL TAC
03/30/18	PLANNING DEVELOPMENT
	BOARD SUBMITTAL CHECKLIST

CENTRAL/EAST BLDG.
FIRST FLOOR PLAN

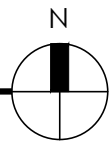
A-2.4

SITE PLAN APPROVAL



SECOND FLOOR PLAN - CENTRAL / EAST BUILDING

SCALE 1/16" = 1'-0"



DESIGNED P.A.

DRAWN P.A.

CHECKED P.A.



PINNACLE AT
PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104

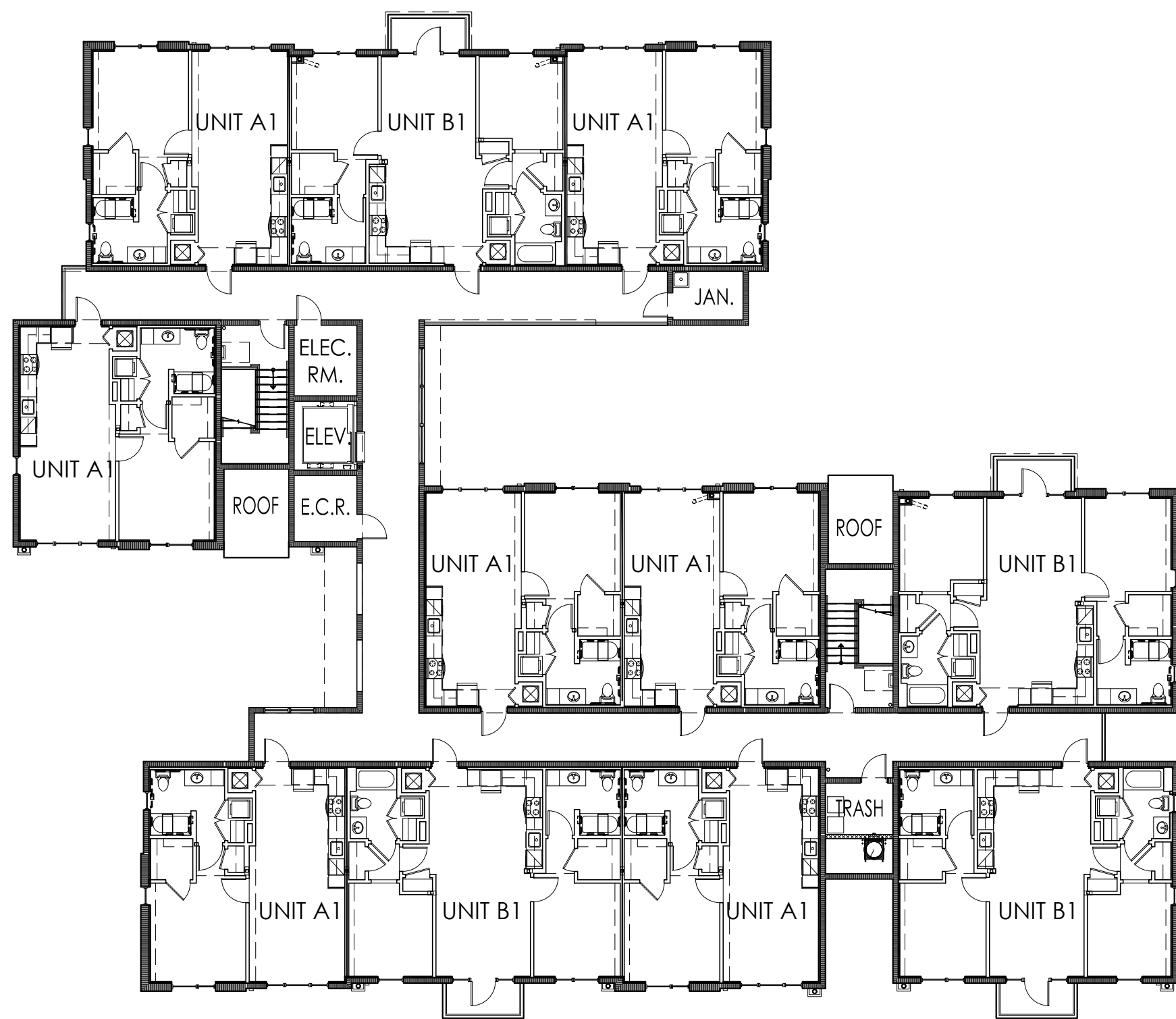
DATE 10/09/10

REVISIONS	
12/01/10	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING BOARD DEVELOPMENT BOARD SUBMITTAL CHECKLIST

CENTRAL/EAST BLDG.
SECOND FLOOR PLAN

A-2.

SITE PLAN APPROVAL



THIRD FLOOR PLAN - CENTRAL / EAST BUILDING

SCALE 1/16" = 1'-0"

101 N. 21ST AVENUE, SUITE 300
FORT LAUDERDALE, FL 33309
T 954.332-0184
F 954.332-0184

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PINNACLE AT
PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

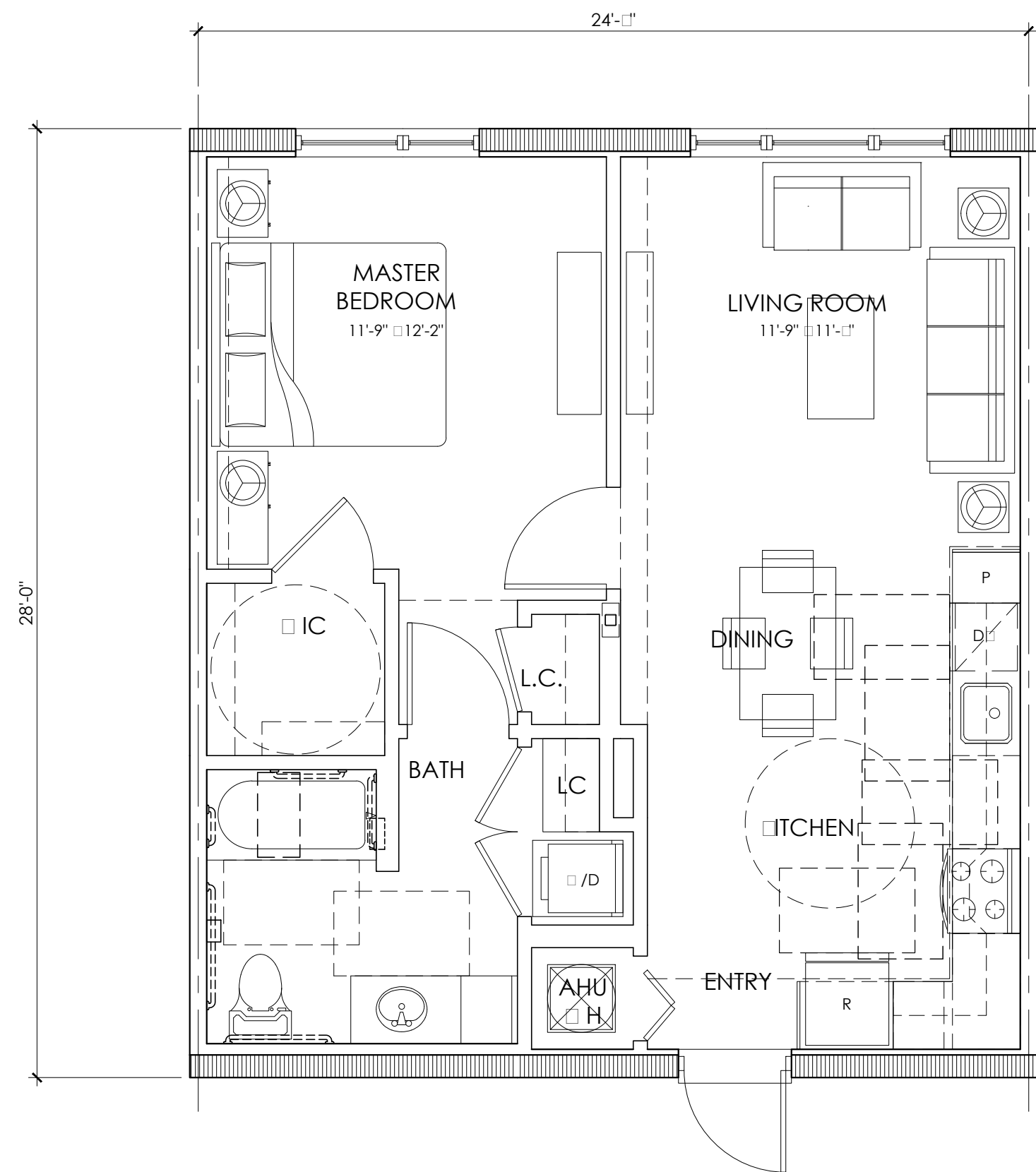
PROJECT NO. 104
DATE 10/09/11

REVISIONS	
12/01/11	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING BOARD DEVELOPMENT BOARD SUBMITTAL CHECKLIST

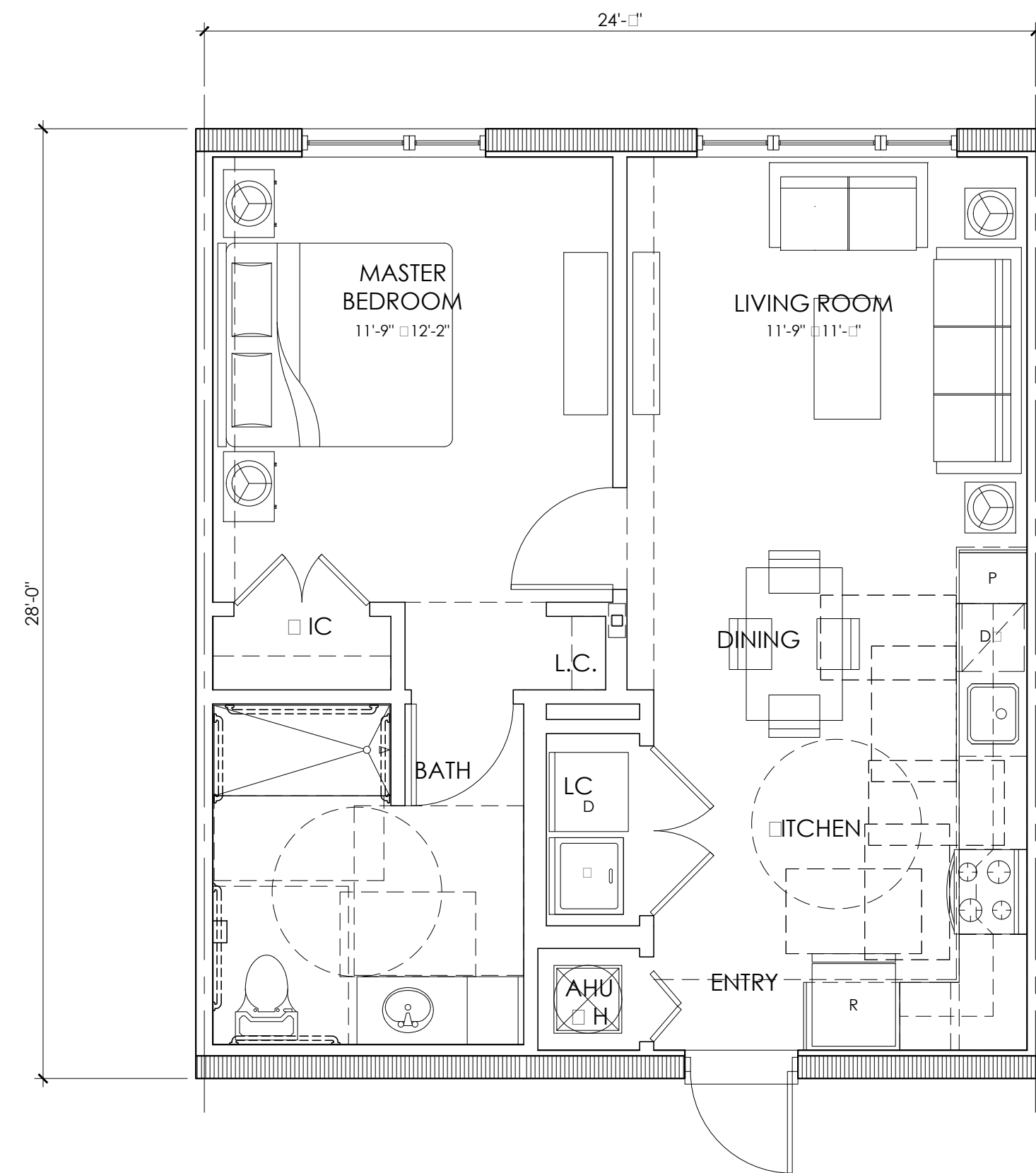
CENTRAL/EAST BLDG.
THIRD FLOOR PLAN

A-2.

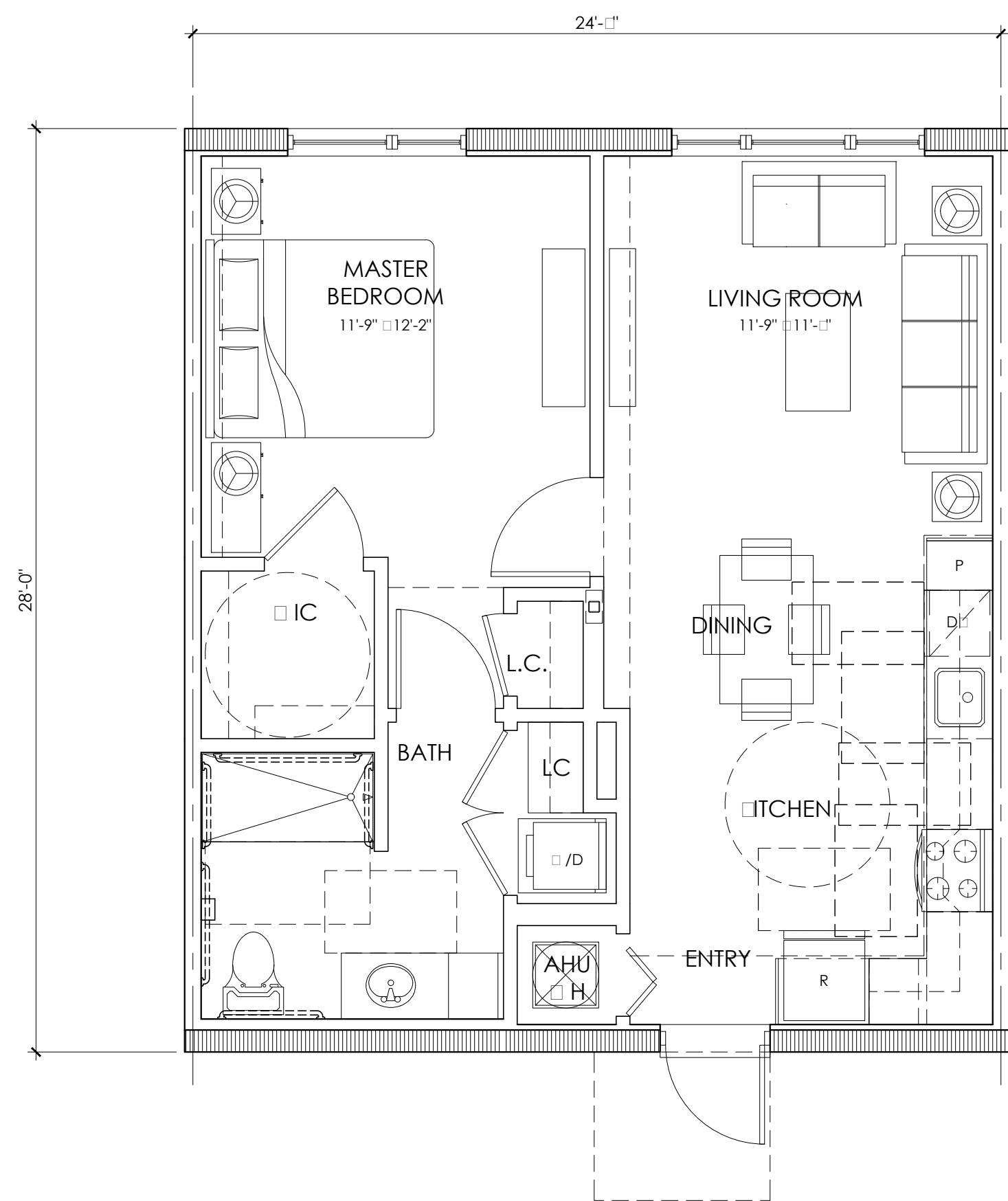
SITE PLAN APPROVAL



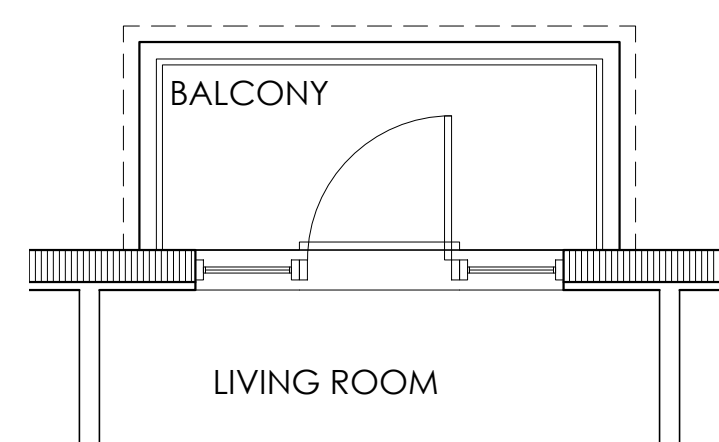
FLOOR PLAN - UNIT A1 - TUB - FHA
FLOOR PLAN - UNIT A4 - TUB - FHA ☐ VISION IMPAIRED ☐
SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE ☐ 8 ☐ S.F.



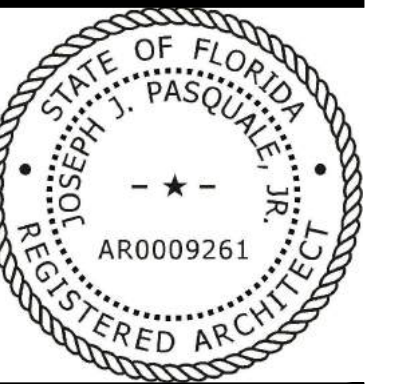
FLOOR PLAN - UNIT A3 - SHOWER - UFAS
SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE ☐ 8 ☐ S.F.



FLOOR PLAN - UNIT A2 - SHOWER - FHA
SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE ☐ 8 ☐ S.F.



PARTIAL FLOOR PLAN -
TYPICAL UNIT BALCONY
SCALE 1/4" = 1'-0" BALCONY AREA ☐ 44 S.F.
SEE FLOOR PLANS FOR
LOCATIONS ☐ HERE APPLIES ☐



PINNACLE AT PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

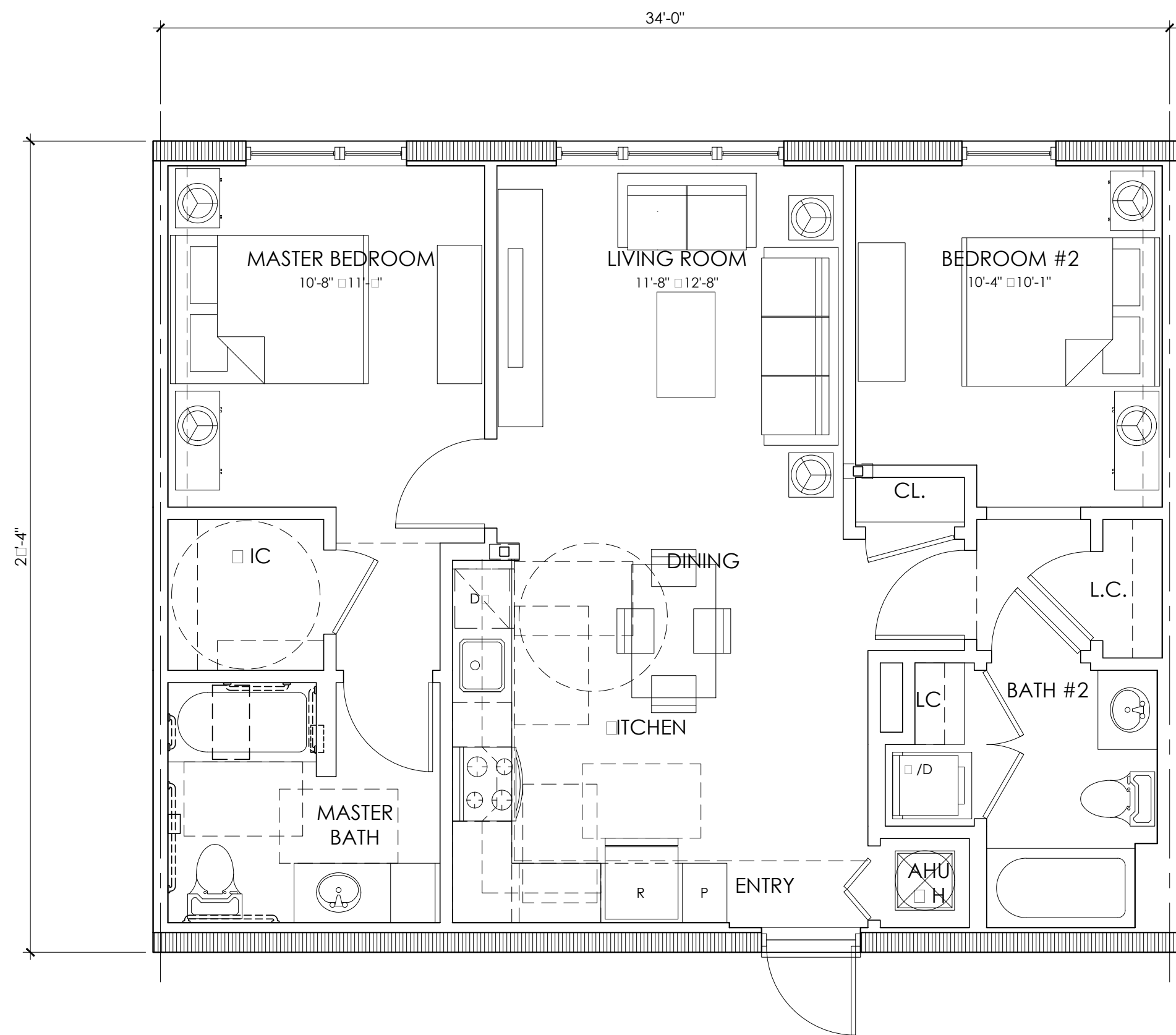
PROJECT NO. 104
DATE: 10/09/10

REVISIONS
12/01/10 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE
03/07/18 SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18 PLANNING & DEVELOPMENT BOARD SUBMITTAL CHECKLIST

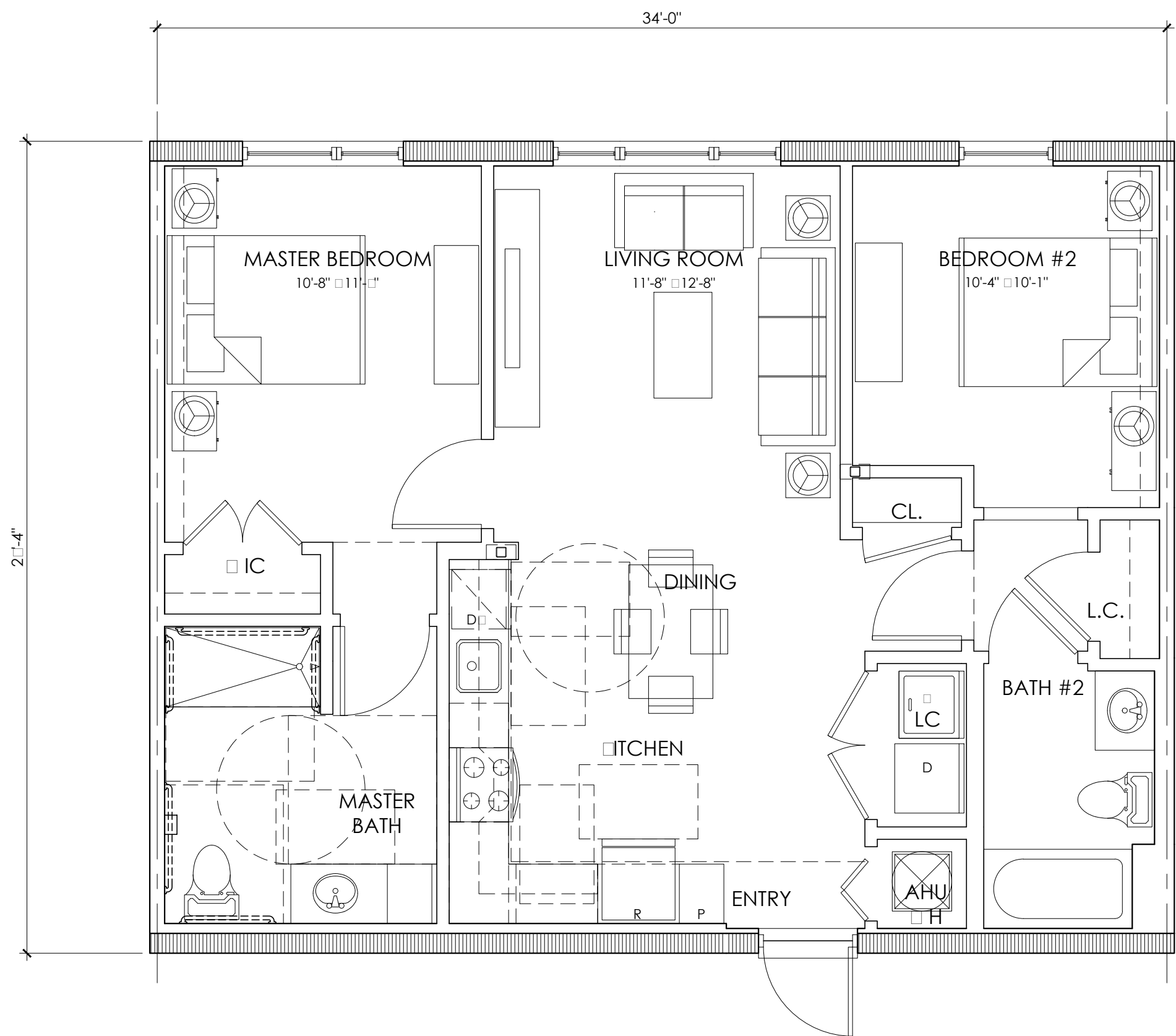
UNITS A1 A2 A3 A4

A-3.0

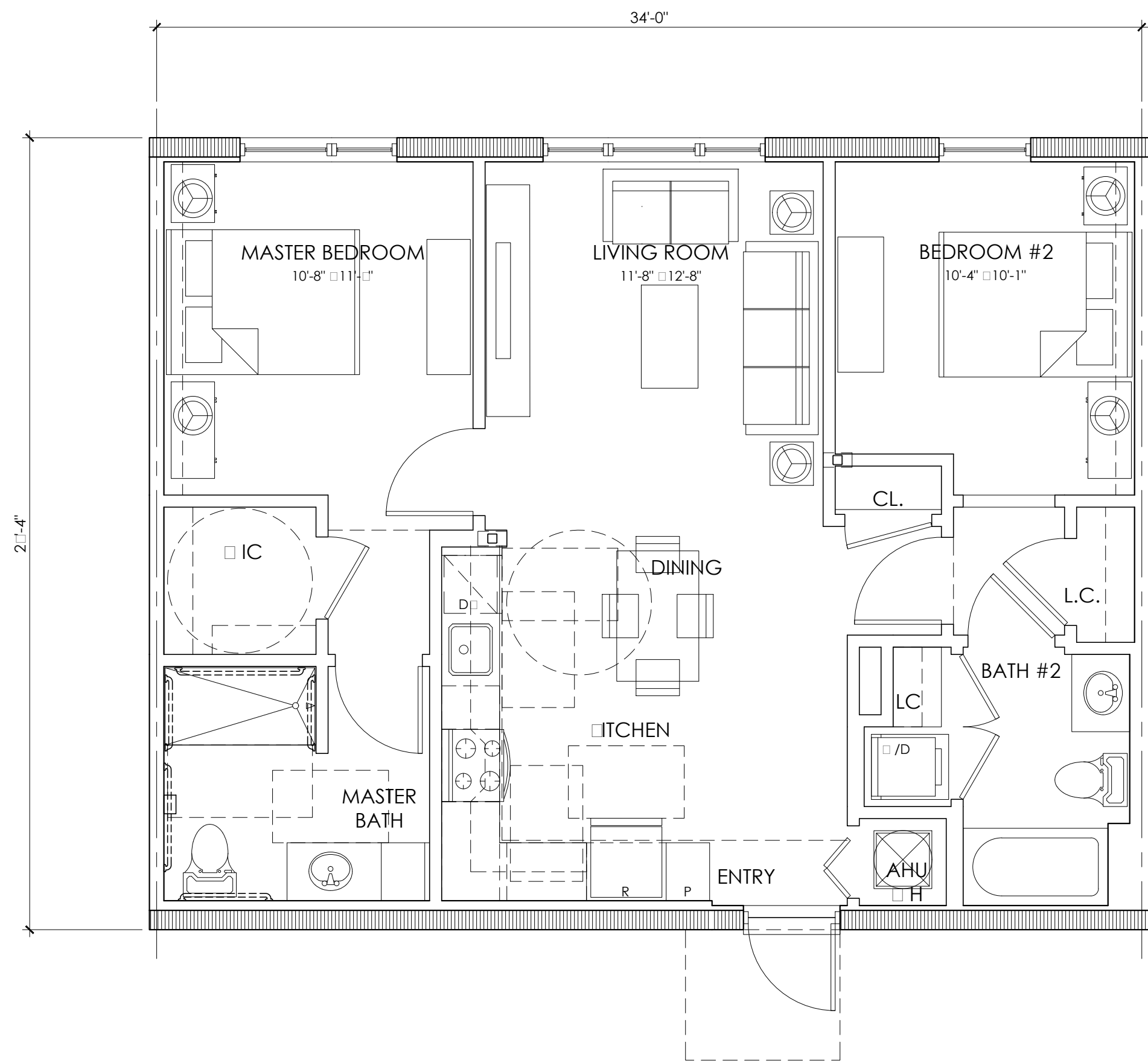
SITE PLAN APPROVAL



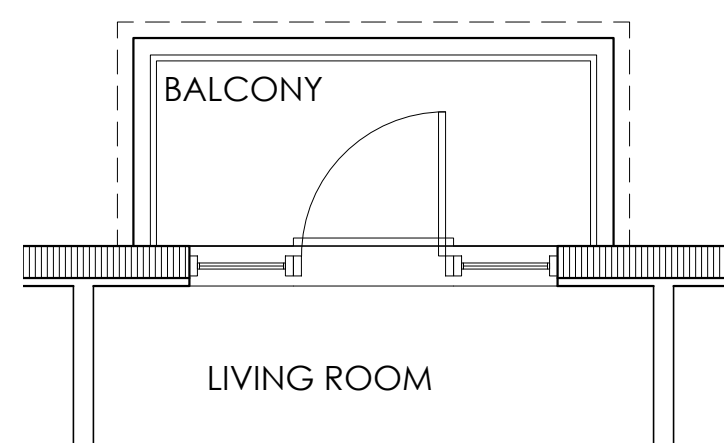
FLOOR PLAN - UNIT B1 - TUB - FHA
FLOOR PLAN - UNIT B4 - TUB - FHA ☐ VISION IMPAIRED ☐
SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE 929 S.F.



FLOOR PLAN - UNIT B3 - SHOWER - UFAS
SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE 929 S.F.



FLOOR PLAN - UNIT B2 - SHOWER - FHA
SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE 929 S.F.



PARTIAL FLOOR PLAN -
TYPICAL UNIT BALCONY
SCALE 1/4" = 1'-0" BALCONY AREA 44 S.F.
SEE FLOOR PLANS FOR
LOCATIONS WHERE APPLIES

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DESIGNED BY PKA
DRAWN BY PKA
CHECKED BY PKA



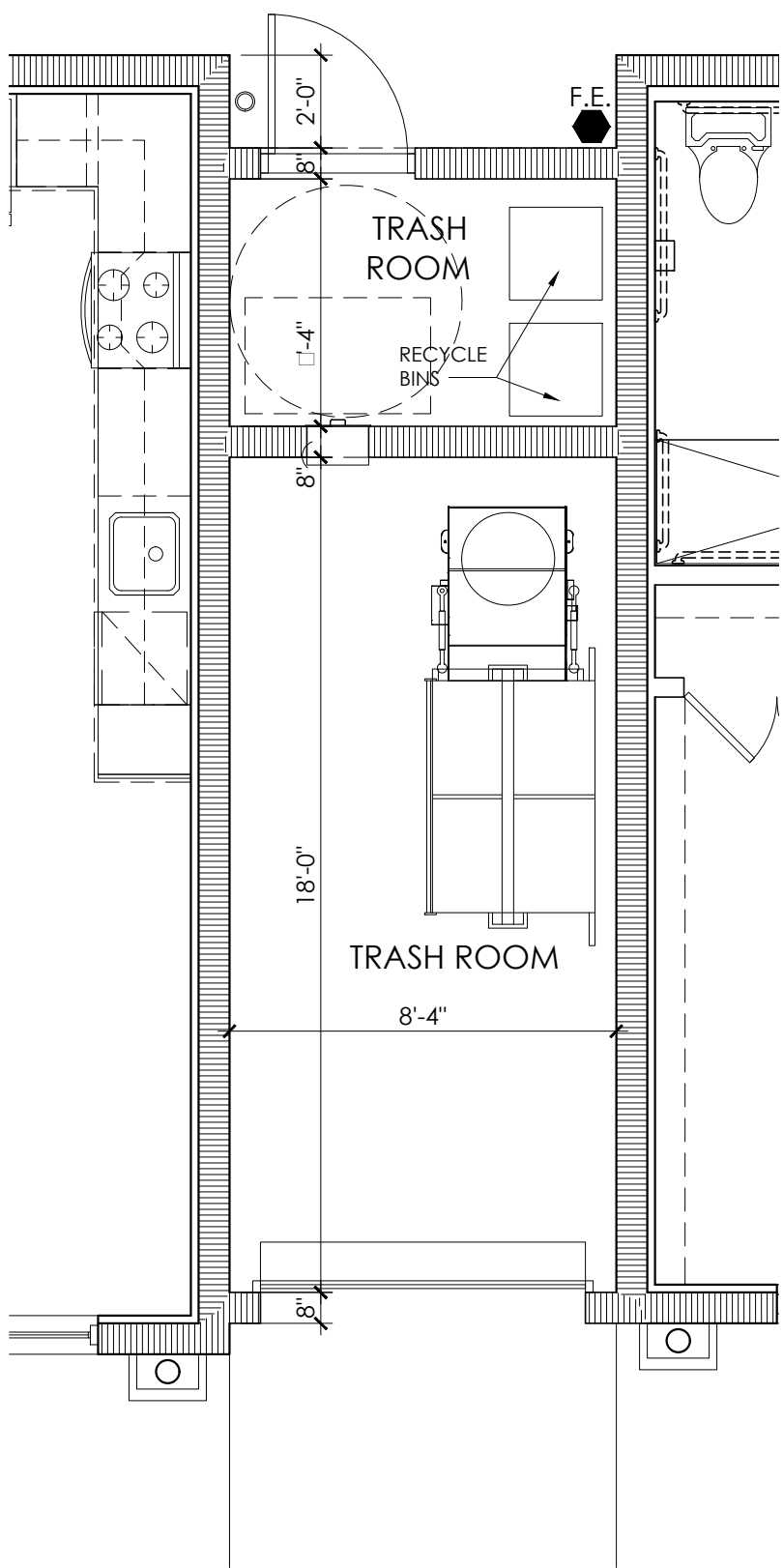
**PINNACLE AT
PEACEFIELD**

ADAMS STREET
HOLLYWOOD, FL

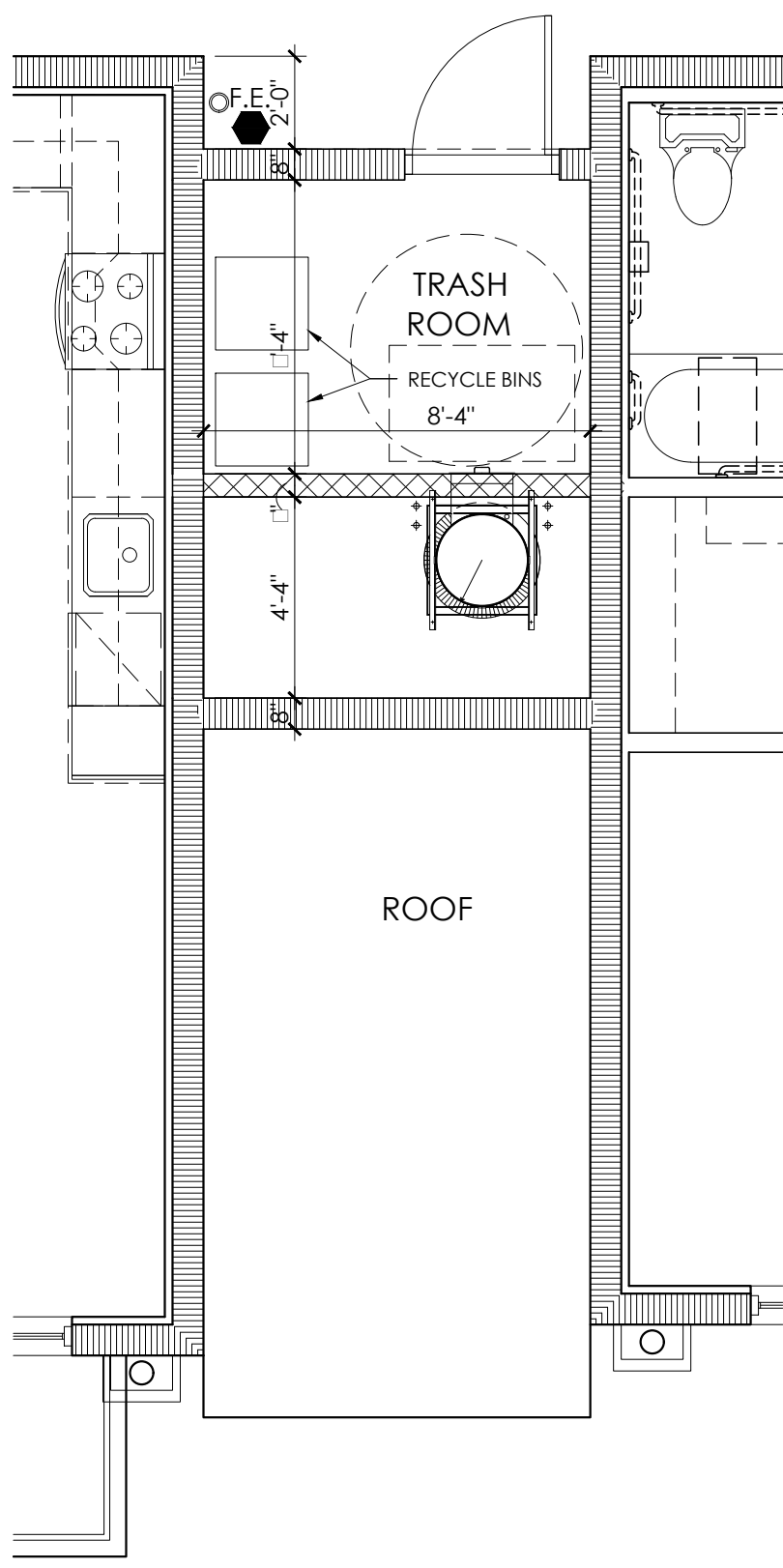
PROJECT NO. 104
DATE: 10/09/10

REVISIONS	
12/01/10	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING & DEVELOPMENT BOARD SUBMITTAL CHECKLIST

UNITS B1 B2 B3 B4



FIRST FLOOR - TRASH ROOM
FLOOR PLAN
SCALE 1/4" = 1'-0"



SECOND AND THIRD FLOOR - TRASH ROOM
FLOOR PLAN
SCALE 1/4" = 1'-0"

FLOOR PLAN KEYNOTES



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PINNACLE AT
PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104
DATE: 10/09/10

REVISIONS	
12/01/10	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING & DEVELOPMENT BOARD SUBMITTAL CHECKLIST

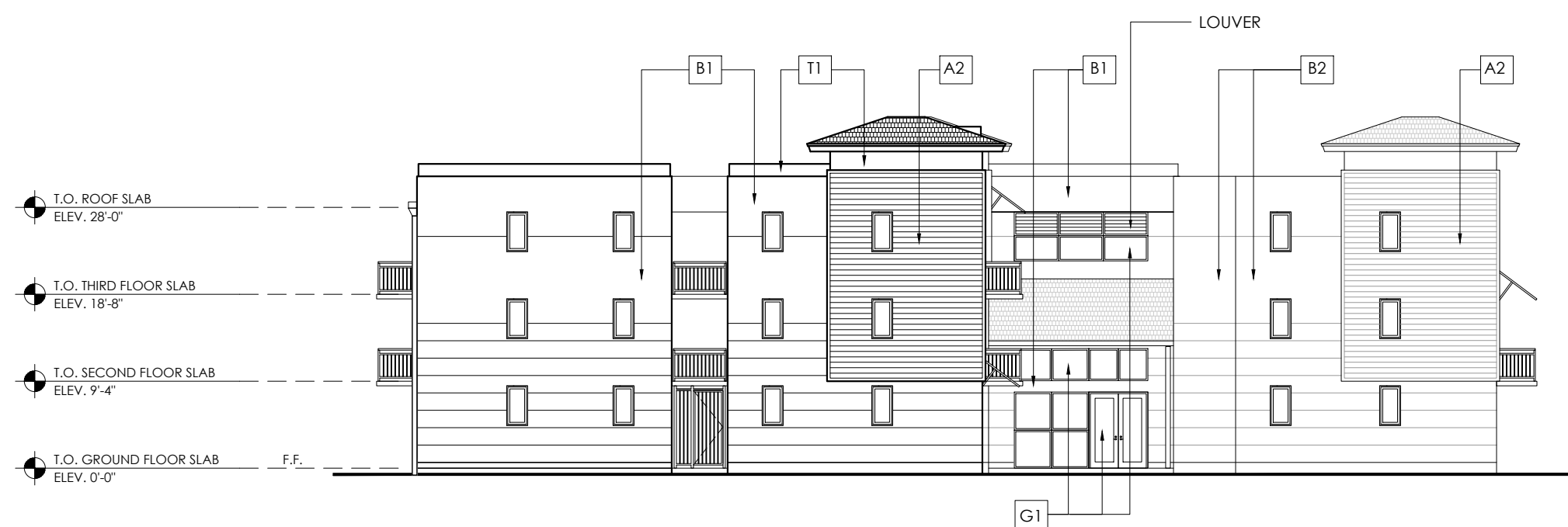
TRASH ROOMS

A-3.

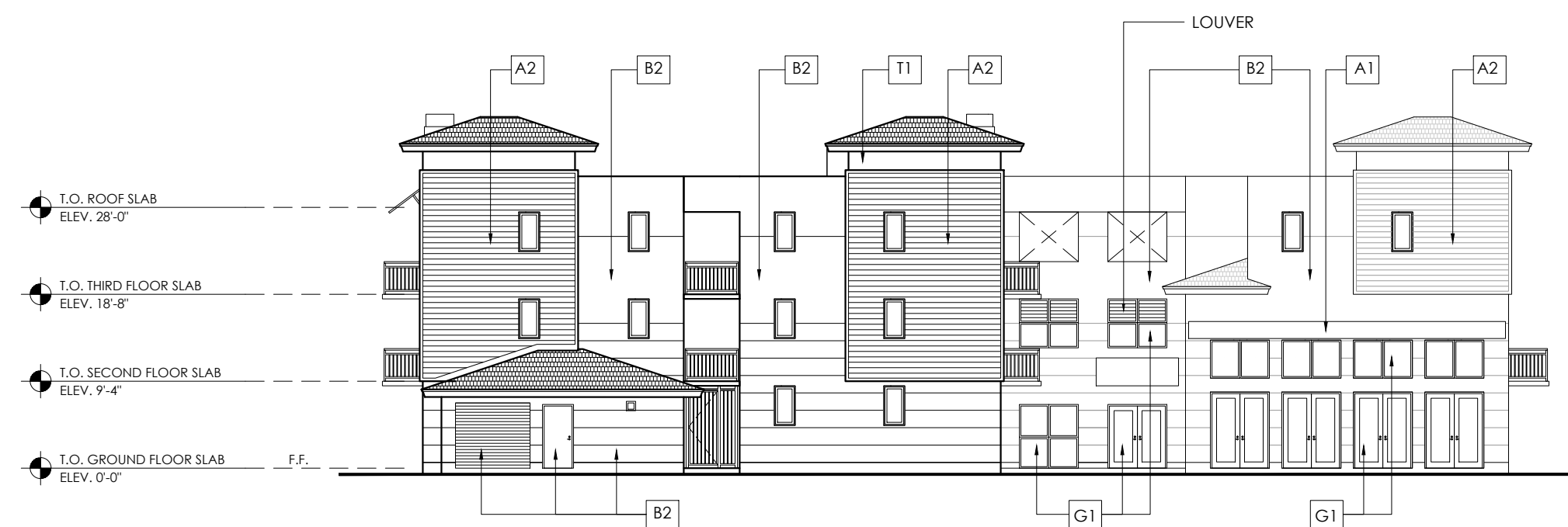
SITE PLAN APPROVAL



EST BUILDING - NORTH ADAMS ST. ELEVATION
SCALE 1/16" = 1'-0"



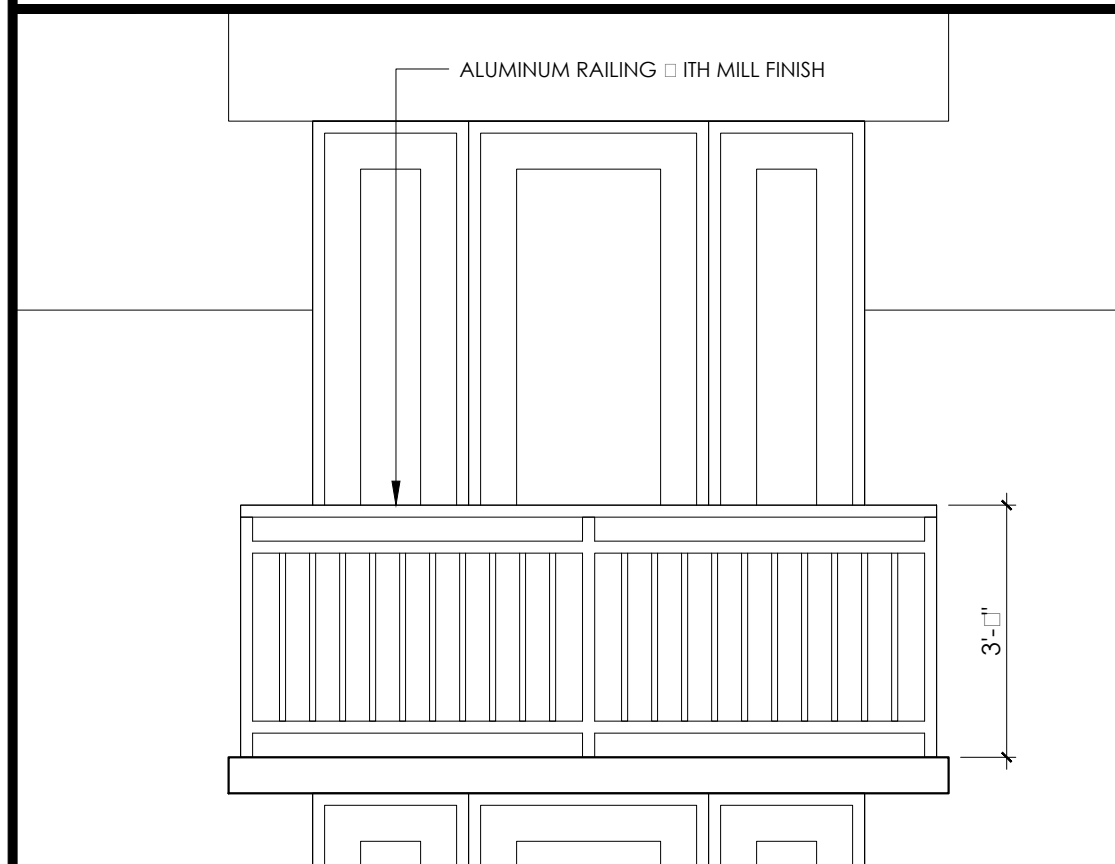
EST BUILDING - EAST LOBBY ENTRY ELEVATION
SCALE 1/16" = 1'-0"



EST BUILDING - EAST ELEVATION
SCALE 1/16" = 1'-0"



EST BUILDING - SOUTH REAR ELEVATION
SCALE 1/16" = 1'-0"



BALCONY RAILING
SCALE 3/8" = 1'-0"

COLOR LEGEND

COLOR LEGEND	
[B1] BODY COLOR	ULTRA PURE WHITE (PR-11)
[B2] BODY COLOR	ARM LIGHT TAN (ARISTOCRAT IVORY (EC-2-2))
[T1] TRIM COLOR (FREESTYLE SOFFIT FASCIA)	ULTRA PURE WHITE (PR-11)
[G1] GLASS COLOR	TINTED
[A1] ANODIZING SHADE STRUCTURE (ADDITIONAL DETAILS AS NOTED)	MEADOW GLEN (EC-12-2)
[A2] HARDIE BOARD HORIZONTAL SIDING	SHERIDAN THRESHOLD TAUPESHERIDAN (ILLIAMS)

NOTE: BEHR PAINT COLORS AND CODES UNLESS OTHERWISE NOTED.

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DRAWN BY: P.A.

CHECKED BY: P.A.



PINNACLE AT PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104

DATE: 10/09/11

REVISIONS

12/01/11 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE
03/07/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC
03/30/18 PLANNING BOARD DEVELOPMENT
BOARD SUBMITTAL CHECKLIST

EST BUILDING ELEVATIONS

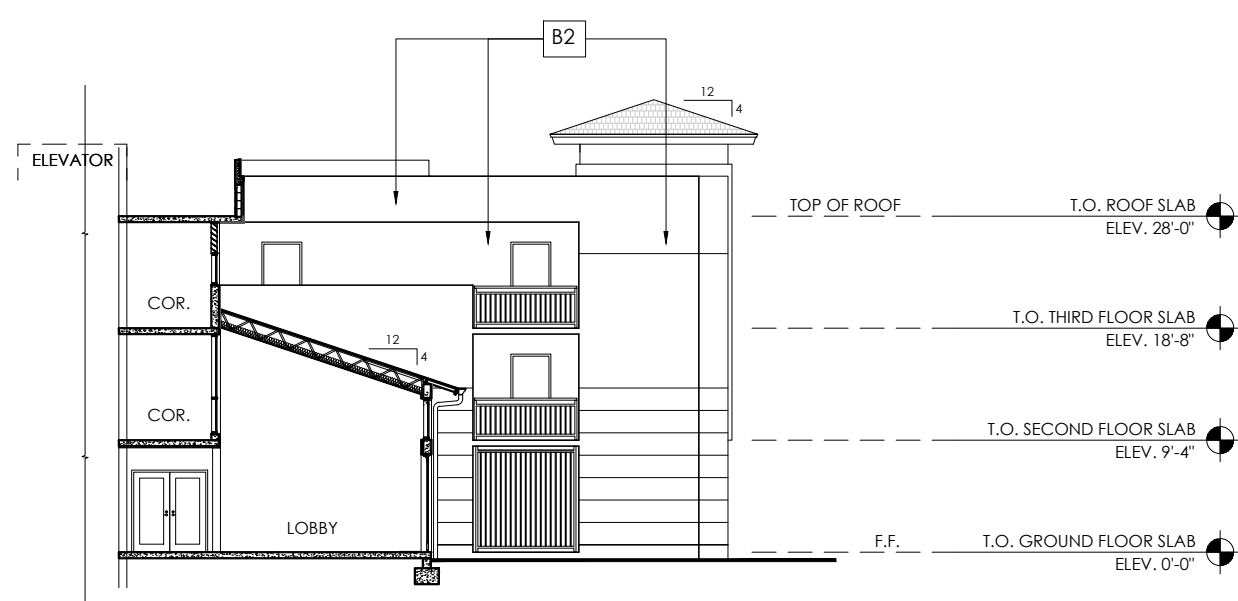
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SITE PLAN APPROVAL



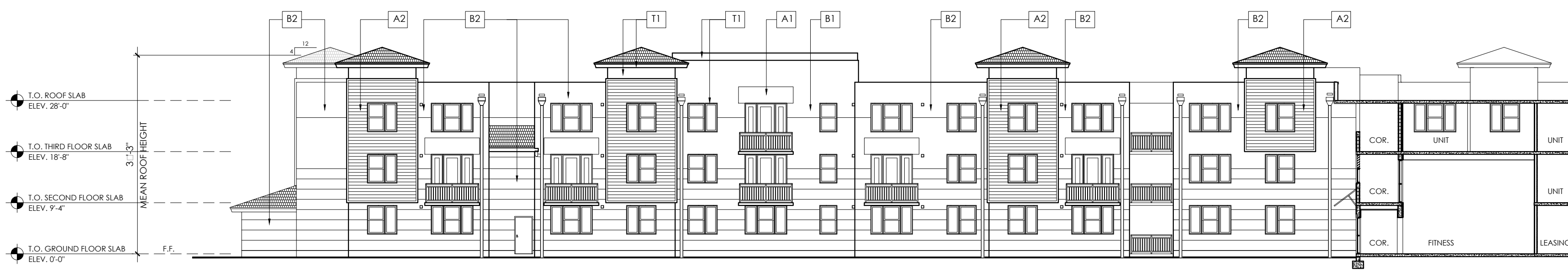
EST BUILDING - NORTH STREET
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



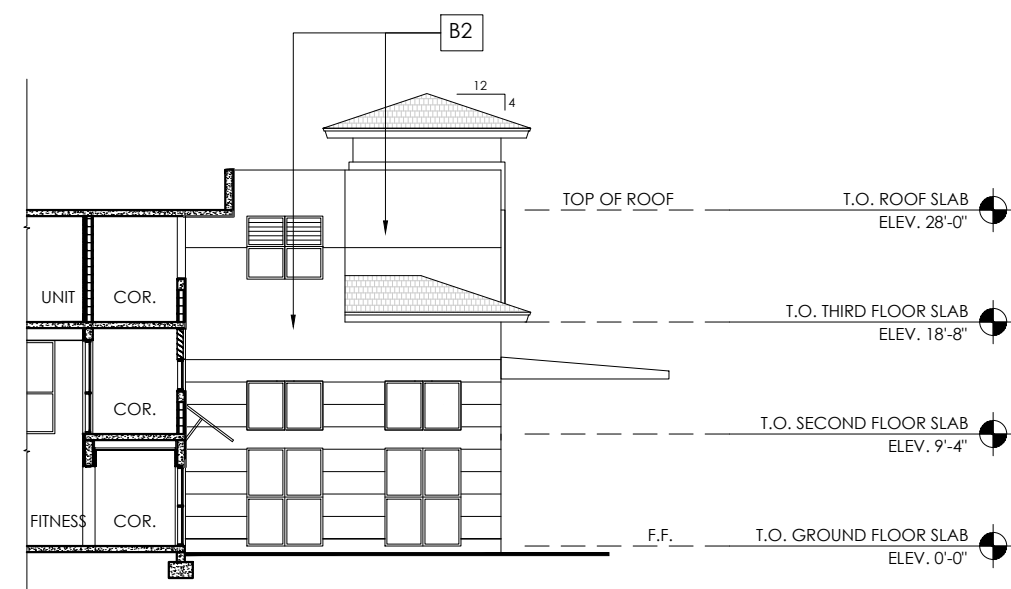
EST BUILDING - SOUTH
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



EST BUILDING - SOUTH REAR
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"



EST BUILDING - NORTH STREET
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"

COLOR LEGEND

COLOR LEGEND	
[B1] BODY COLOR	ULTRA PURE WHITE (PR-1) 100
[B2] BODY COLOR	ARM LIGHT TAN / ARISTOCRATIC IVORY (ECC-12-2) 100
[T1] TRIM COLOR (FREESTIFF FASCIA)	ULTRA PURE WHITE (PR-1) 100
[G1] GLASS COLOR	TINTED
[A1] ANILING/SHADE STRUCT. (MEADO) GLEN (ECC-12-2)	ADDITIONAL DETAILS AS NOTED
[A2] HARDIE BOARD (HORIZONTAL SIDING)	S001 THRESHOLD TAUPE (SHERIDAN) WILLIAMS

NOTE: BEHR PAINT COLORS AND CODES UNLESS OTHERWISE NOTED.

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PINNACLE AT PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104

DATE 10/09/11

REVISIONS

12/01/11 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PAGE
03/07/18 SITE PLAN APPROVAL PAGE
FINAL TAC
03/30/18 PLANNING DEPARTMENT
BOARD SUBMITTAL CHECKLIST

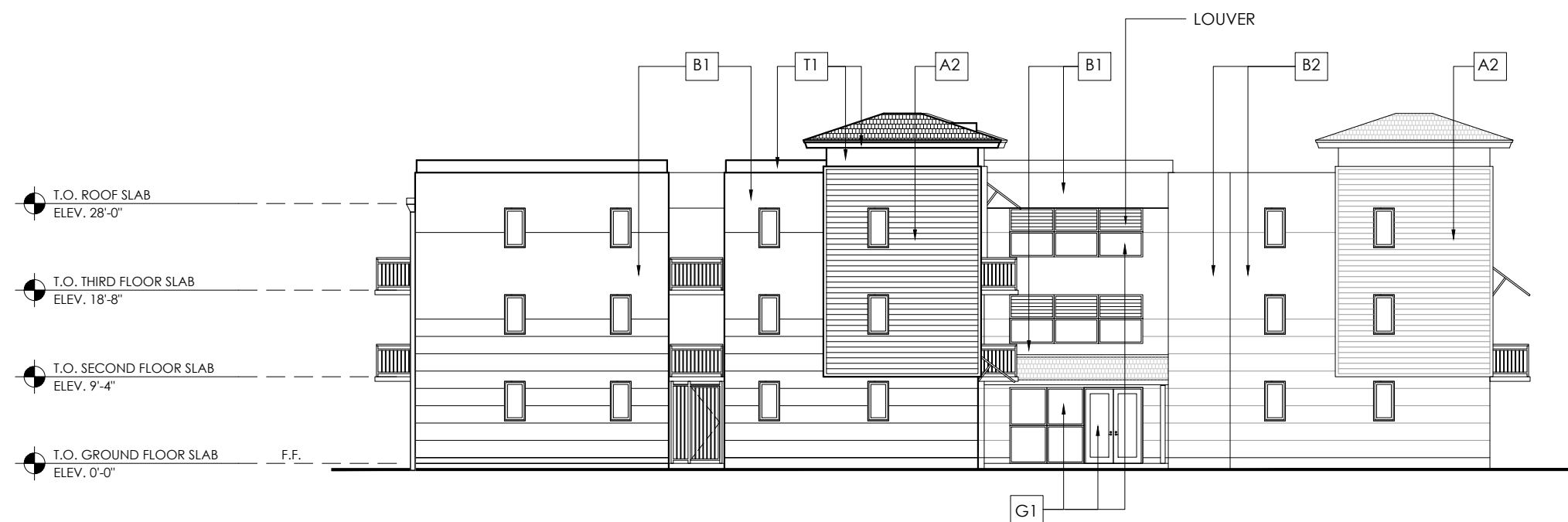
EST BUILDING SECTION/ELEVATIONS

A-4.1

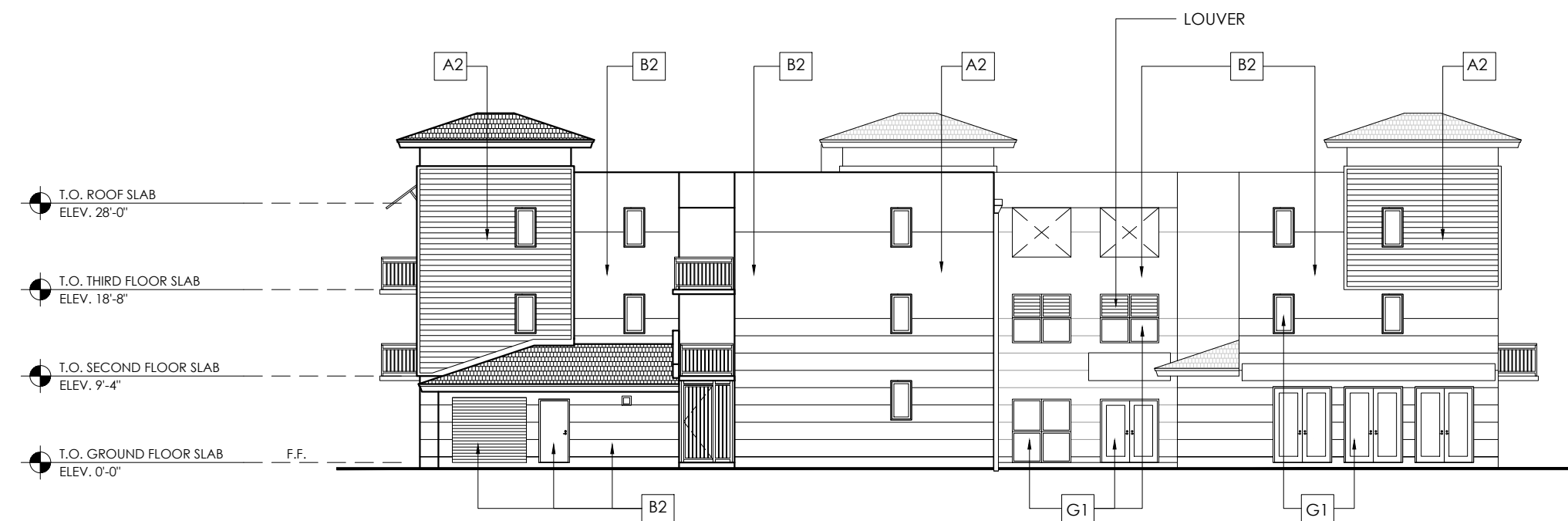
SITE PLAN APPROVAL



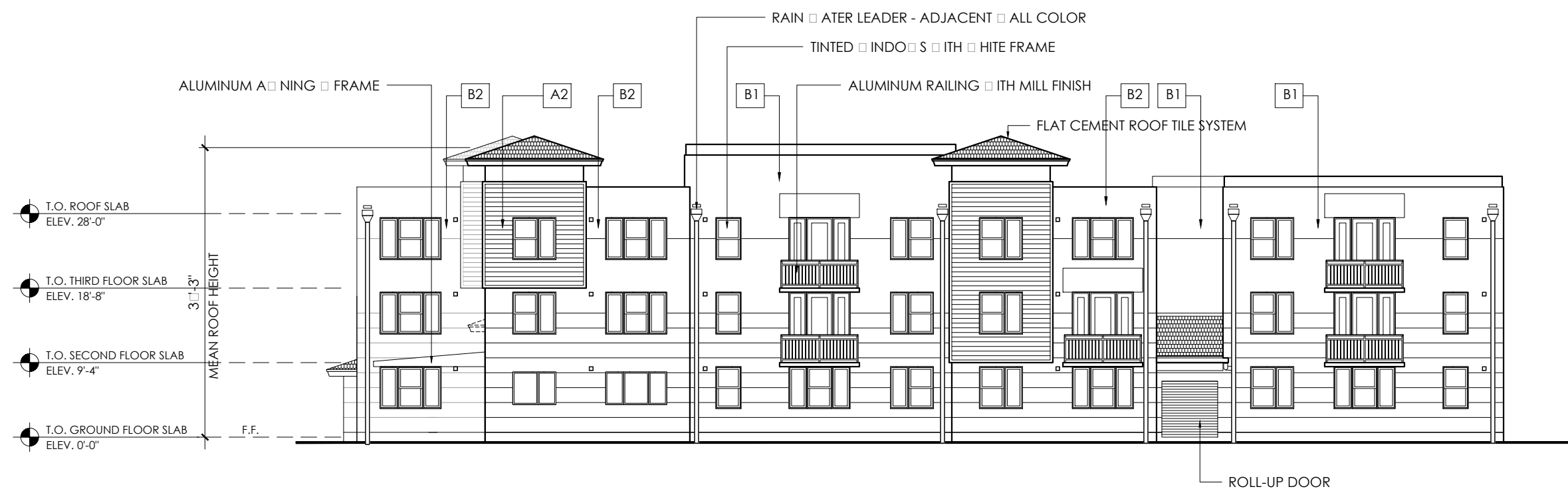
CENTRAL/EAST BLDG. - NORTH ADAMS ST. ELEVATION
SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - EAST LOBBY ENTRY ELEVATION
SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - WEST ELEVATION
SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - SOUTH REAR ELEVATION
SCALE 1/16" = 1'-0"

COLOR LEGEND

COLOR LEGEND		
[B1]	BODY COLOR	ULTRA PURE WHITE (PR-111)
[B2]	BODY COLOR	ARM LIGHT TAN / ARISTOCRAT IVORY (ECC-12-2)
[T1]	TRIM COLOR (FREESTIFF FASCIA)	ULTRA PURE WHITE (PR-111)
[G1]	GLASS COLOR	TINTED
[A1]	ANODIZING/SHADE STRUCT. (ADDITIONAL DETAILS AS NOTED)	MEADOWS GLEN (ECC-12-2)
[A2]	HARDIE BOARD HORIZONTAL SIDING	S01 THRESHOLD TAUPESHERIDEN (ILLIAMS)

NOTE: BEHR PAINT COLORS AND CODES UNLESS OTHERWISE NOTED.

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PINNACLE AT
PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104
DATE 10/09/11

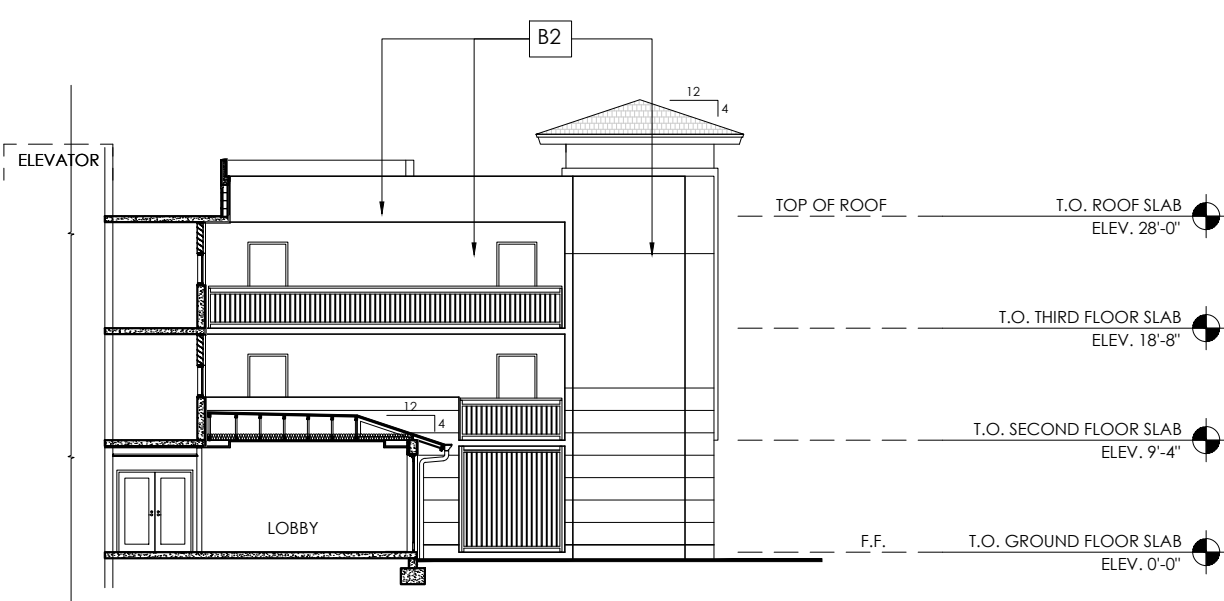
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12/01/11	PACO SUBMITTAL
01/31/18	SITE PLAN APPROVAL PACKAGE
03/07/18	SITE PLAN APPROVAL PACKAGE FINAL TAC
03/30/18	PLANNING DEVELOPMENT BOARD SUBMITTAL CHECKLIST

CENTRAL/EAST BUILD.
ELEVATIONS



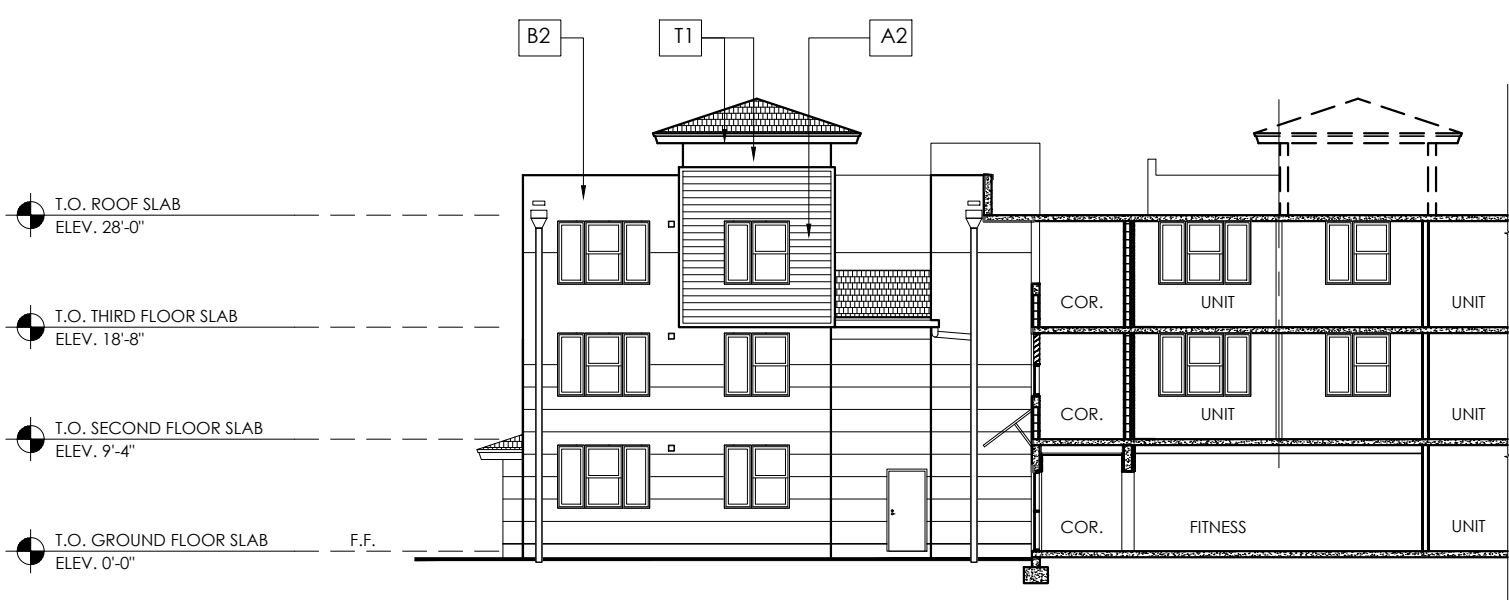
CENTRAL/EAST BLDG. - NORTH STREET
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



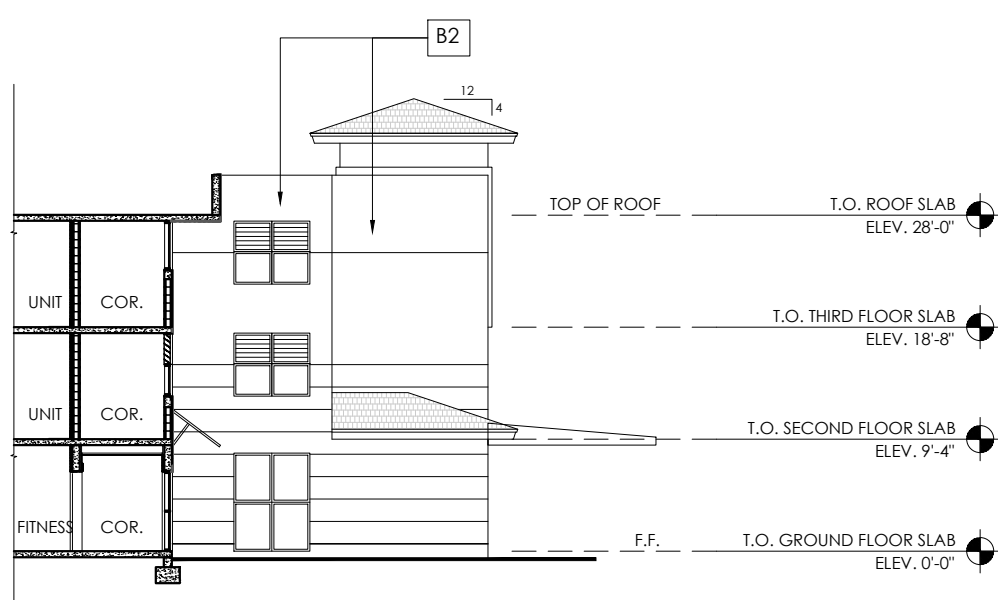
CENTRAL/EAST BLDG. - SOUTH
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - SOUTH REAR
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - NORTH STREET
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"

COLOR LEGEND

COLOR LEGEND		
[B1]	BODY COLOR	ULTRA PURE WHITE (PR-1) 100
[B2]	BODY COLOR	ARM LIGHT TAN (ARISTOCRAT IVORY (ECC-12-2))
[T1]	TRIM COLOR (FREI-E-SOFFIT-FASCIA)	ULTRA PURE WHITE (PR-1) 100
[G1]	GLASS COLOR	TINTED
[A1]	ANNING/SHADE STRUCT. (MEADO GLEN (ECC-12-2))	
[A2]	HARDIE BOARD (HORIZONTAL SIDING)	S001 THRESHOLD TAUPESHERIDG IN WILLIAMS

NOTE: BEHR PAINT COLORS AND CODES UNLESS OTHERWISE NOTED.

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PINNACLE AT PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 104
DATE 10/09/10

REVISIONS
12/01/10 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE
03/07/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC
03/30/18 PLANNING & DEVELOPMENT
BOARD SUBMITTAL CHECKLIST

CENTRAL/EAST BUILD. SECTION/ELEVATIONS

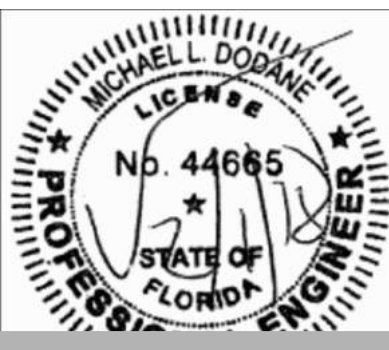
A-4.3

SITE PLAN APPROVAL

DESIGNED MLD

DRAWN MLD

CHECKED MLD



PINNACLE AT PEACEFIELD

ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 1746

DATE: 02/15/18

REVISIONS

12/01/17 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE
03/05/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC
03/30/18 PLANNING & DEVELOPMENT BOARD SUBMITTAL

PHOTOMETRIC SITE PLAN NOTES

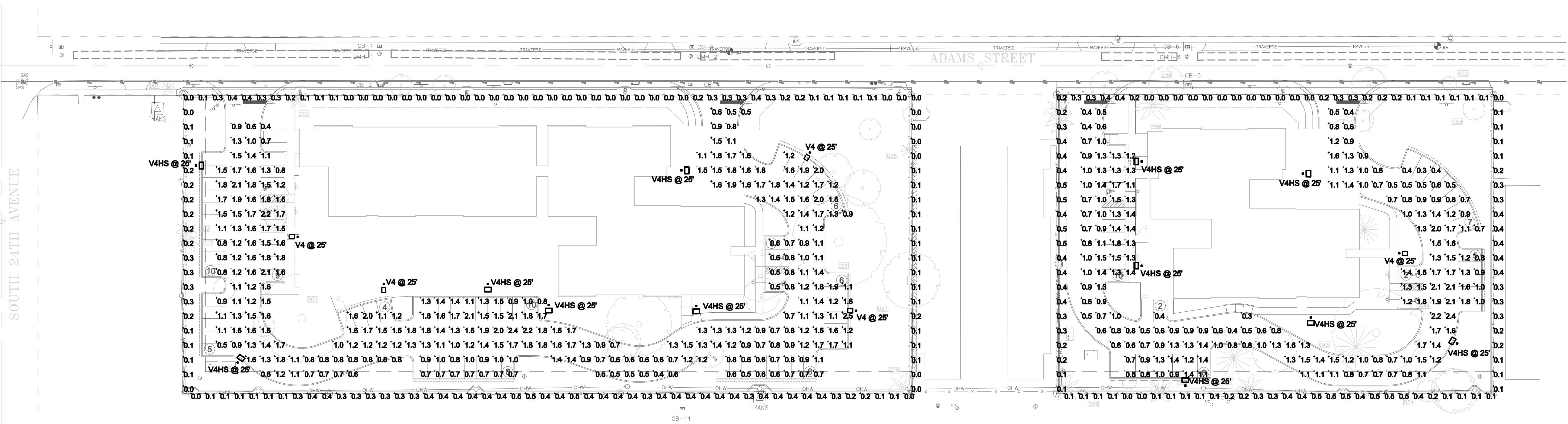
LIGHTING FIXTURES AND LAYOUT WERE DESIGNED IN STRICT ACCORDANCE WITH THE BROWARD COUNTY, FLORIDA - CODE OF ORDINANCES, CHAPTER 39 - ZONING, ARTICLE XII. - OFF-STREET PARKING AND LOADING. IF SUBSTITUTIONS OF THE LIGHTING FIXTURES SPECIFIED ARE PROPOSED, CONTRACTOR SHALL SUBMIT A COMPUTER GENERATED PHOTOMETRIC CALCULATION SIMILAR TO THE PHOTOMETRIC PLAN SHOWN ON THIS SHEET TO DEMONSTRATE THE PROPOSED SUBSTITUTES PROVIDE EQUAL OR GREATER PERFORMANCE THAN THE FIXTURES SPECIFIED. CONTRACTOR SHALL ENSURE THAT THE PHOTOMETRIC PERFORMANCE OF THE SUBSTITUTE FIXTURES MEETS ALL REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION. ALL LUMEN DEPRECIATION FACTORS RECOMMENDED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA FOR THE LAMP TYPES USED SHALL BE APPLIED TO THE CALCULATION.

ALL FIXTURES SHALL BE LISTED BY THE MANUFACTURER AS MEETING IES FULL CUTOFF CRITERIA PER LOCAL CODE REQUIREMENTS. ALL POLES SHALL BE RATED TO CARRY THE EPA AND WEIGHT OF THE FIXTURES AND ACCESSORIES IN THE WIND LOAD APPLICABLE TO THIS SITE.

PROVIDE 36" TALL POURED CONCRETE PROTECTIVE BASE FOR POLES LOCATED IN PARKING AREAS WHERE THE POLE IS NOT PROTECTED BY A CURB. BASE SHALL BE STEEL REINFORCED AND HAVE A CHAMFERED SLOPED TOP FOR DRAINAGE.

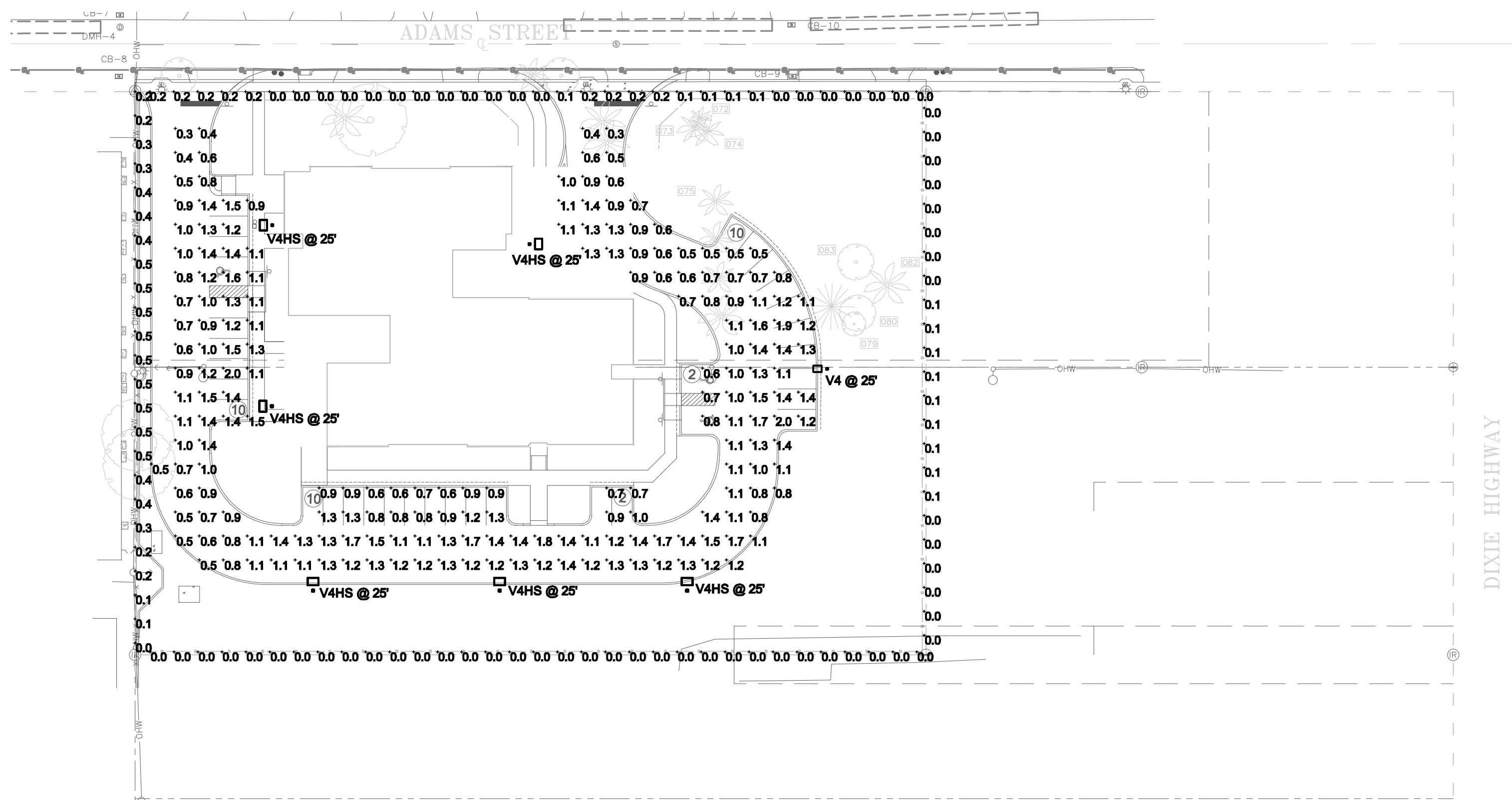
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area - Central	+	1.1 fc	2.4 fc	0.3 fc	8.0:1	3.7:1
Parking Area - East	+	1.1 fc	2.0 fc	0.3 fc	6.7:1	3.7:1
Parking Area - West	+	1.2 fc	2.6 fc	0.4 fc	6.3:1	3.0:1
Property Line - Central	+	0.2 fc	0.6 fc	0.0 fc	N/A	N/A
Property Line - East	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
Property Line - West	+	0.2 fc	0.6 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp
	V4	6	BEACON PRODUCTS	VP-S-36NB-80-4K-T4	SMALL VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 1148116	1	VP-S-36NB-80-4K-T4.lvs	9182
	V4HS	18	BEACON PRODUCTS	VP-S-36NB-80-4K-T4-BLC	SMALL VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 3038	1	VP-S-36NB-80-4K-T4-BLC.lvs	5584



PHOTOMETRIC SITE PLAN (WEST AND CENTRAL PROPERTIES)

SCALE: 1" = 40'-0"



PHOTOMETRIC SITE PLAN (EAST/CRA PROPERTY)

SCALE: 1" = 40'-0"



