

# ATTACHMENT A

## Application Package



PLANNING DIVISION



File No. (internal use only):

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 07-31-2017

Location Address: 6311 Washington St  
Lot(s): 21-3 Block(s): 1 Subdivision: Beverly Park No 2  
Folio Number(s): 51-411-320-0020

Zoning Classification: RS-2 Land Use Classification: \_\_\_\_\_  
Existing Property Use: Academy Sq Ft/Number of Units: 1787/1  
Is the request the result of a violation notice? ( ) Yes ☒ No If yes, attach a copy of violation.  
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: 1 Sq Ft: 1787  
Value of Improvement: \$100,000 Estimated Date of Completion: \_\_\_\_\_  
Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Tiny Tots Academy LLC  
Address of Property Owner: 6311 Washington St Hollywood, FL 33023  
Telephone: 754-204-7749 Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant/Representative/Tenant (circle one): Mike Davis  
Address: 11936 NW 19 Ave Miami, FL 33167 Telephone: 786-426-9274  
Fax: 416-228-7148 Email Address: summit.davis@yahoo.com  
Date of Purchase: 03-16-2012 Is there an option to purchase the Property? Yes ( ) No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Patrick Brinson  
305-527-8703 Address: 111 NE 1st St Miami, FL 33132  
Email Address: 1652.pat@gmail.com



# PLANNING DIVISION



File No. (internal use only) \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 7/31/17

PRINT NAME: Hyacinth Gravel

Date: \_\_\_\_\_

Signature of Consultant/Representative: Mike Davis

Date: 07-31-2017

PRINT NAME: Mike Davis

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

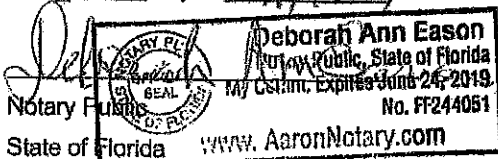
Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for expansion to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 31 day of July, 2017



State of Florida

[www.AaronNotary.com](http://www.AaronNotary.com)

Signature of Current Owner

Print Name

My Commission Expires: \_\_\_\_\_ (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



## TINY TOTS ACADEMY, INC.

6311 WASHINGTON STREET HOLLYWOOD, FL. 33023



12/21/2017

City of Hollywood,  
Hollywood, Fl.

Tiny Tots Academy Inc. has established with the State of Florida as a non-profit corporation 501©(3).

Tiny Tots Academy Inc. is **not** licensing to care for infants, our license capacity is for 29 children.

The children enrolled at Tiny Tots Academy Inc. are from 2 years old to 10 years old.

Five of our Volunteer Kindergarten (VPK) students attend from 9:00am to 12:00 pm. We have six-part time preschoolers that attend from 7:00am to 2:30pm. Additionally, we have a 17-passenger van that is used to transport the after schoolers and some of our children to and from school.

We have 2 full time teachers and 2-part time teachers on staff.

The purpose of the expansion is providing space for extracurricular activities and adequate cafeteria space which will be located on the east side of the building and will not interfere with the parking or any playground space.

One part-time staff starts at 7:30 a.m. until 12:00 p.m. and the other one 9:00 a.m. until 1: p.m.

Thanks,

Tiny Tots Academy, Inc.



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# Tiny Tots Academy, Inc.

6311 Washington Street

Hollywood, FL 33023

[ttacademyinc@gmail.com](mailto:ttacademyinc@gmail.com) 754-204-7749

April 24, 2018

To: Alexandra Carcamo  
Planning Division  
City of Hollywood,

File No: EN 18-084 (Special Exception)

**Your request for drop off and pick up times for the 5 private students being transported are in the following order:**

**Morning**

**7:10am – 7:18 approximately 2-3 children arrive**

**7:40am – 10:15am approximately 2 children arrive**

**Afternoon**

**12:00pm -1:00pm 3 students leave**

**4:00pm – 4:50pm 2 students leave**

*4 of the 5 students by private vehicles are twins.*



**In reference to #4 of the comments:**

**Q. A 17 passenger van used to transport children. Will there be private transportation use for drop out/pick up allowed? Yes.**

**Q. The school's capacity are 29 children with two part-time staff? Yes.**

**Hours for teachers: 1<sup>st</sup> teacher comes in at 7:00am-12:00pm**

**2<sup>nd</sup> teacher comes in at 12:00pm to 6:00pm**

**Owner office is off site.**

**Director/Teacher hours of service 7:00am -**

**4:00pm.**

Tiny Tots has an enrollment capacity of 29 children, but **not** all 29 children occupied the building at the same time. From 7:00am – 12:00pm we have approximately twenty children, the age range are from 1-10-year-old in the building. The bus transports nine students ages 2-7, six of are in walking distance of the school, and the other 5 are private transportation. **Four** of the above students are only there for 2 hours then get transported to their public school by our 17-passenger van, at 12:00pm 3 students shift ends. At 3:00pm the 17 passenger van picks up 10 after school children. One student is only there 1 day a week from 8:00am – 1:00pm, one student is their Monday, Wednesday and Friday from days 9:00am – 2:00pm. The approximately number of children in the building at the same time is about 23.

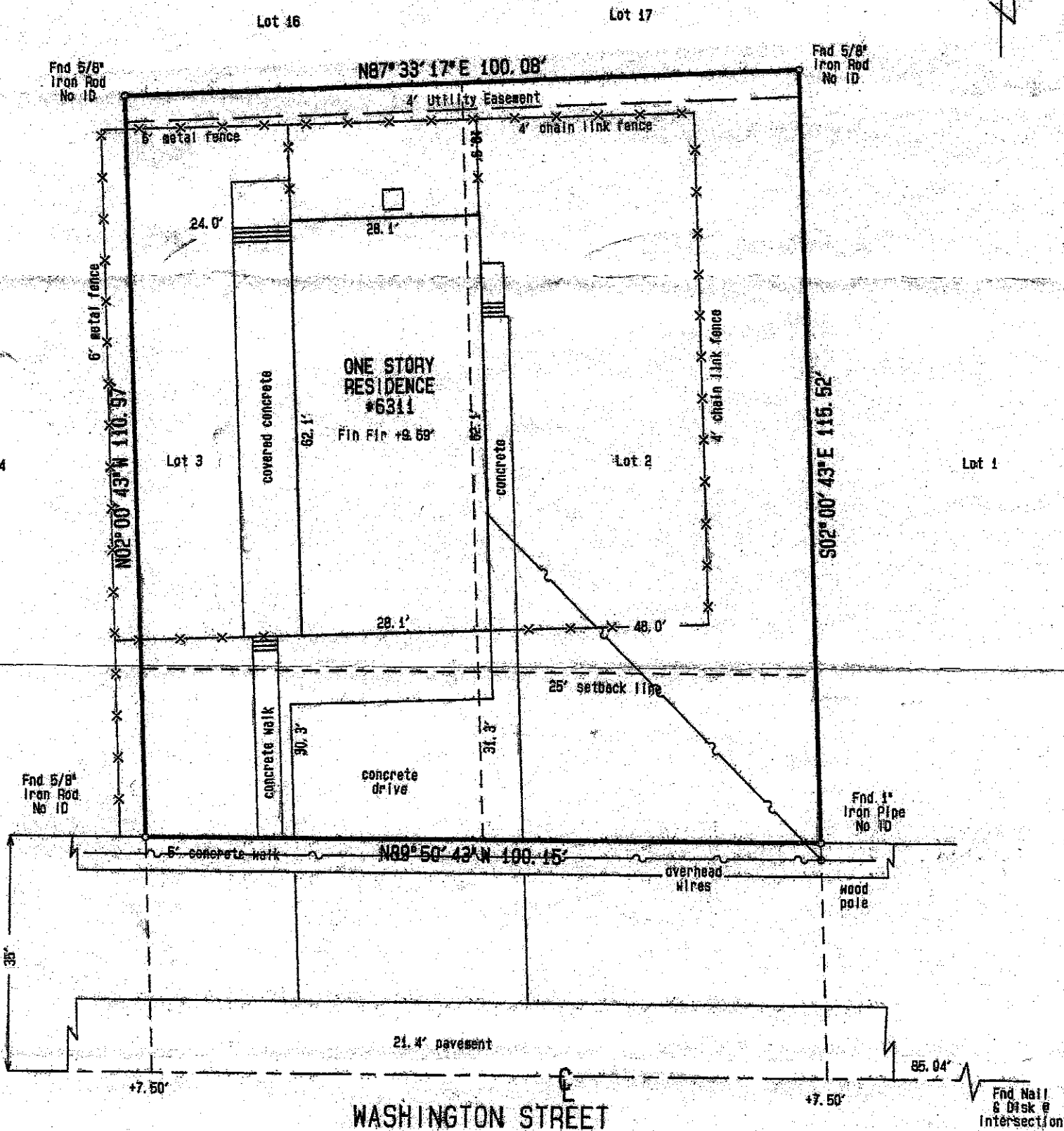
One of the teacher do not drive at all and is within walking distance of the school.



# SKETCH OF BOUNDARY SURVEY

## DESCRIPTION:

Lots 2 and 3, Block 1, BEVERY PARK NO. 2, according to the plat thereof, as recorded in Plat Book 33, Page 33 of the Public Records of Broward County, Florida.




- LEGEND**
- A/C - AIR CONDITIONER
  - BCR - BROWARD COUNTY RECORDS
  - BM - BENCHMARK
  - CBM - CALCULATED AND MEASURED
  - CB - CATCH BASIN
  - (D) - DEED
  - COV - COVERED
  - CONC - CONCRETE
  - FND - FOUND
  - FPL - FLORIDA POWER & LIGHT
  - H - HANDICAP PARKING SPACE
  - (M) - MEASURED
  - ORB - OFFICIAL RECORDS BOOK
  - (P) - PLAT
  - PB - PLAT BOOK
  - PS - PAGE
  - POS - POINT OF BEGINNING
  - POC - POINT OF COMMENCEMENT
  - R/W - RIGHT-OF-WAY
  - SF - SQUARE FEET

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*Mikki H. Ulrich*  
 MIKKI H. ULRICH  
 PROFESSIONAL SURVEYOR MAPPER #5853  
 STATE OF FLORIDA

FILENAME: BP2-1

ORDER NO.	FOR:	DATE	NOTES:	SCALE: 1" = 20'
1505001	Grazzai	5/6/2015	Certification of Authorization #7707	FIELD BOOK: 1020-1
REVISIONS			Certification to date of field work & not signature date. Bearings shown are based on the Centerline of Washington Street; N 89°50'43" W (per PB 33, PG 33, BCR) Elevations are per NAVD 1986. Subsurface features not located.	THIS SURVEY REFLECTS ALL EASEMENTS & RIGHTS OF WAY AS RECORDED PLAT 7/08 TITLE COMMITMENT IF SUPPLIED. UNLESS OTHERWISE STATED, NO OTHER TITLE VERIFICATION HAS BEEN PERFORMED BY THE UNDERSIGNED. TITLE COMMITMENT: *
1611009	Update Survey	11/23/2015		
 <b>DENI/CARNAHAN, INC.</b> P.O. BOX 938858, MARGATE, FLORIDA 33093 (954)971-0540 FAX (954)971-5980 LAND SURVEYS • SUBDIVISIONS • CONSTRUCTION SURVEYS			Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.	

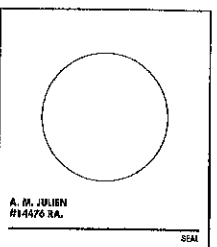






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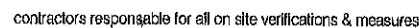


AS NOTE

SCALE

**A-2**

2 of 5



1. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN.
2. DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS COVERING THESE OPERATIONS. FEES SHALL BE PAID BY THE CONTRACTOR.
3. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT DEMOLITION SITE FROM BEING AN "ATTRACTIVE NUISANCE".
4. PERFORM REMOVAL WORK INDICATED ON DRAWINGS IN AN ORDERLY MANNER ACCORDING TO ACCEPTED CONSTRUCTION. PROTECT WORK SPECIFIED TO REMAIN. PROTECT ADJACENT AREAS FROM DAMAGE OR UNDUE DIRT AND DUST. WET DOWN DEBRIS OR RUBBISH, IF NECESSARY, TO MINIMIZE FLYING DUST.  
THESE DEMOLITION PLAN DRAWINGS WERE CREATED FROM EXISTING WORKING DRAWINGS AND ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, FINISHES, PARTITIONS, OR ANY OTHER NONSTRUCTURAL ITEMS MAY PROCEED AS INDICATED, WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.
6. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE PLANS.
7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT THE OWNERS PERSONNEL, OTHER TENANTS AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
8. THE CONTRACTOR SHALL ENSURE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTINUING OCCUPATION OF ADJACENT OPERATIONS WITHIN THE STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED TO THE SELECTIVE DEMOLITION OF PARTITIONS, ELECTRICAL, AND MECHANICAL SYSTEMS. THE CONTRACTOR SHALL INFORM THE OWNER OF A MINIMUM OF 72 HOURS OF DEMOLITION ACTIVITIES THAT WILL AFFECT NORMAL OPERATION OF THE BUILDING.
9. THE CONTRACTOR SHALL REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.





ARCHITECTURE + DESIGN

TINY TOTS ACADEMY  
ADDITION

6311 WASHINGTON STREET  
HOLLYWOOD, FLORIDA, 33024  
FOLIO N°. 51-411-320-0020

CONSTRUCTION  
DOCUMENTS

ISSUE DATE: 09/14/16  
PROJECT No. 16028  
DRAWN BY: RA  
APPROVED BY: AM

REVISIONS

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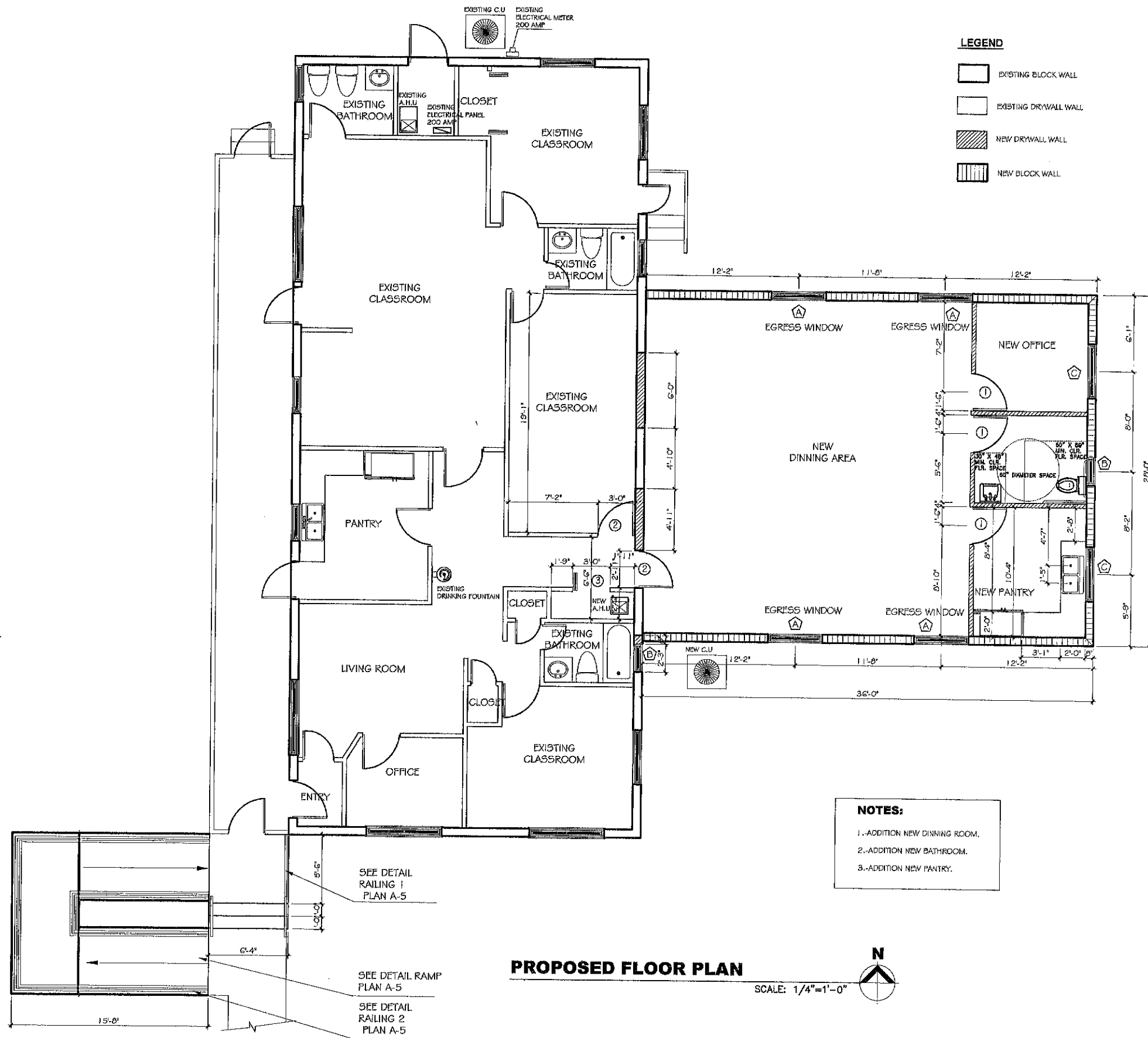
A.M. JULIEN  
514476 E.A.

PROPOSED FLOOR  
PLAN

AS NOTE

**A-3**

3 of 5



**NOTES:**

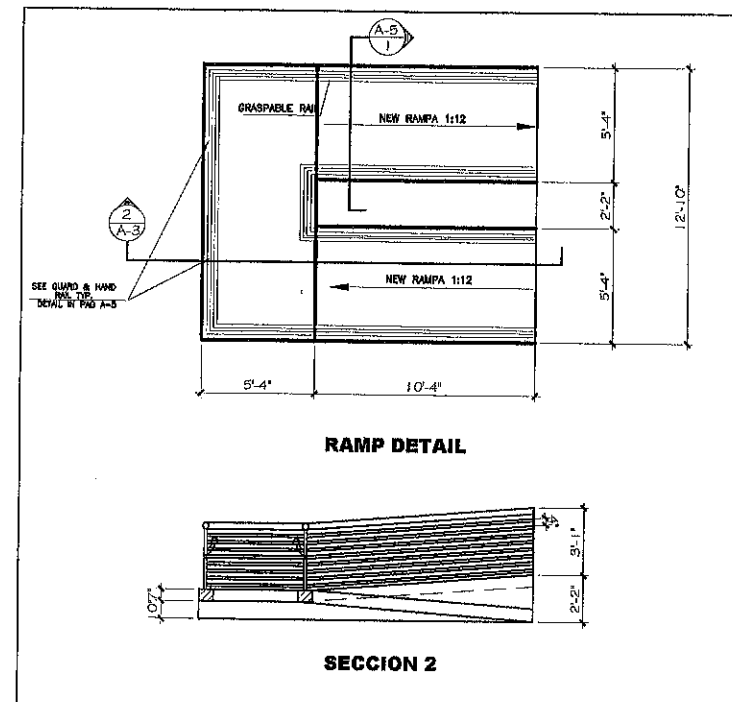
- 1) PROVIDE METRO-DADE COUNTY PRODUCT CONTROL APPROVAL FOR ALL EXTERIOR WINDOWS AND DOORS.
- 2) GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND MASONRY OPENINGS PRIOR TO CONSTRUCTION.
- 3) ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATED W/ THE ENGINEER.
- 4) INTERIOR PARTITION OF 3 1/2" - 5 1/2" METAL STUD @ 24" O.C. WITH 1/2" DRYWALL (SLEEK FINISH) ON BOTH SIDES. REFER TO FLOOR PLAN DIM./ LOCATION.
- 5) PROVIDE CONCRETE BACKING BOARD (DU-ROCK) ON WET WALLS.
- 6) BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.
- 7) CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE
- 8) SEPARATE PERMIT REQUIRED FOR ROOFING, WINDOWS AND DOORS.
- 9) SEE ELEVATIONS FOR WIND PRESSURES ON EXTERIOR WINDOWS AND DOORS.
- 10) FOR SECURITY ENTRY NOTES REFER TO BURGLARY NOTES SHEET A-3.
- 11) GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60 INCHES (1.5 M) ABOVE THE FLOOR OF THE TUB OR THE SHOWER.
- 12) SHOWERS AND SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.
- 13) PROVIDE FULL HEIGHT CERAMIC TILE FINISH IN ALL BATH AND SHOWER WALLS.

**LEGEND**

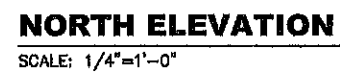
- EXISTING C.M.U WALL
- NEW 8" C.M.U WALL
- NEW 8" PARTITION WALL
- EXISTING PARTITION WALL
- NEW PARTITION WALL

**NOTES:**

- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED
- THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 2014, 5th EDITION, INCLUDING THE FLORIDA EXISTING BUILDING CODE.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, WALL ASSEMBLIES, ROOF CEILING ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84

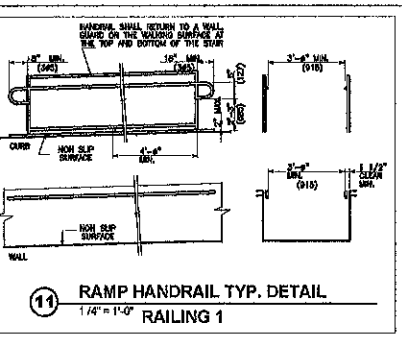
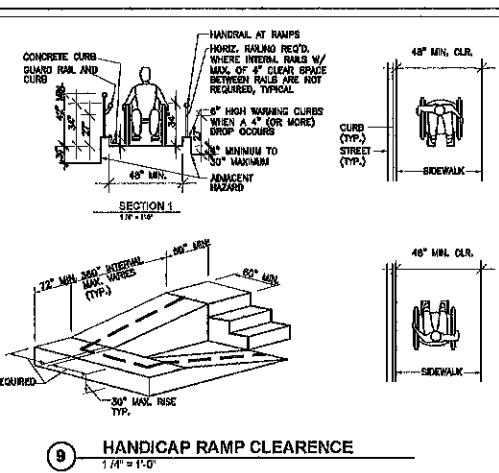
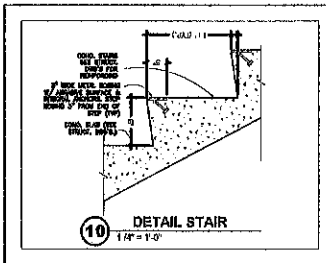
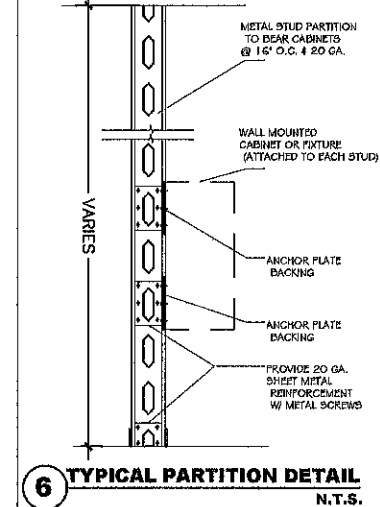
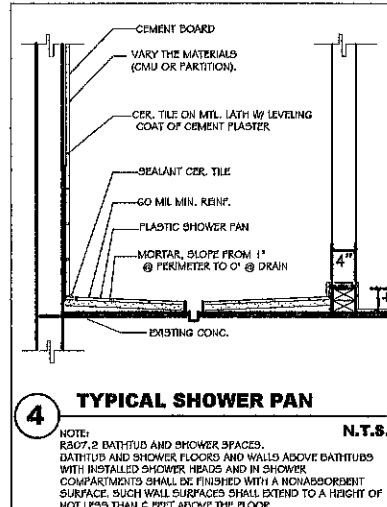
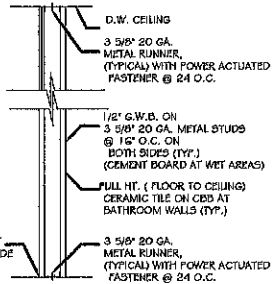
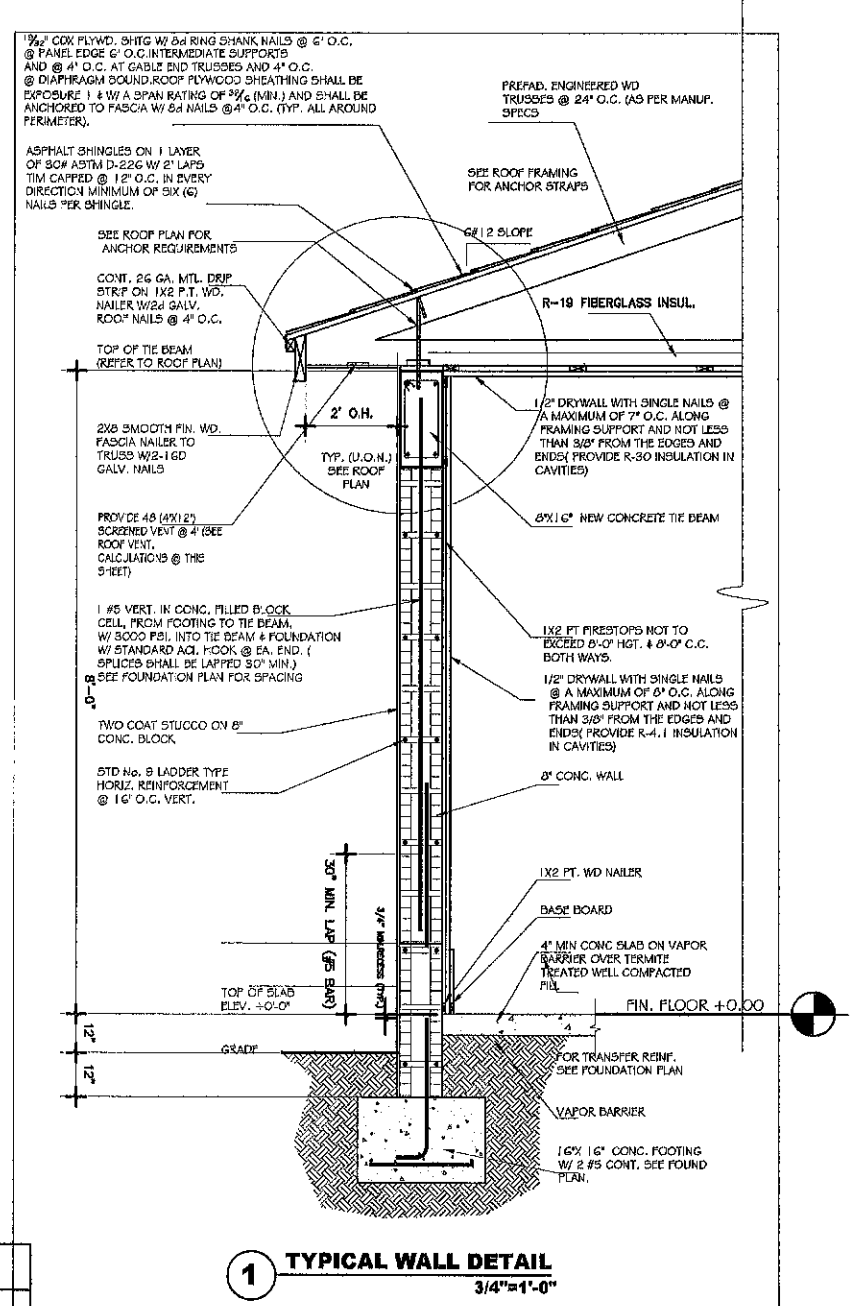
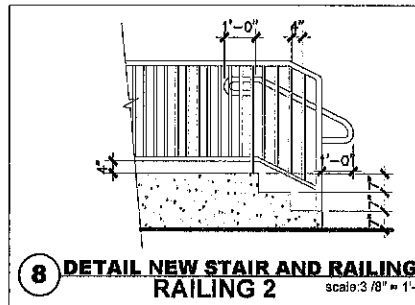
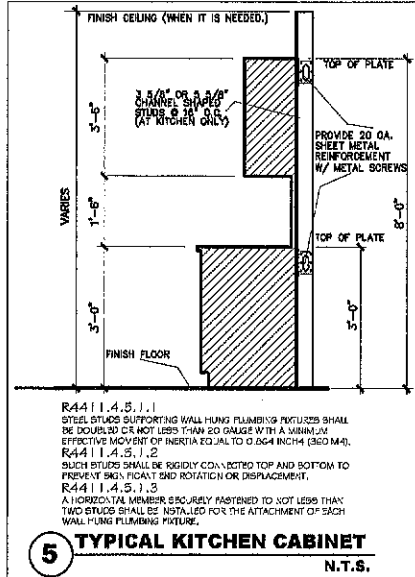
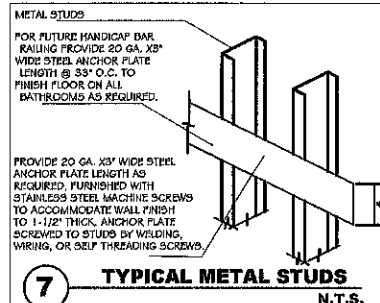
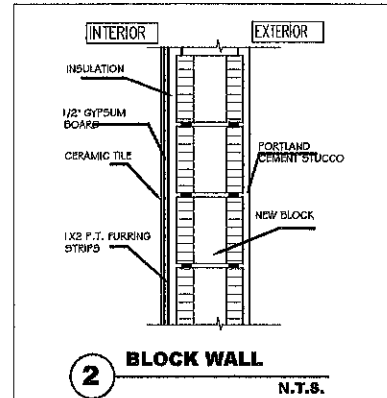
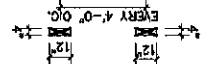








LONG. OF VENT =  $\frac{A/C \text{ AREA}}{150}$   
 LONG. OF VENT =  $\frac{2753}{150} = 18.3 \text{ SF}$   
 REQ. = 18 SF  
 4" x 13" = 0.33 SF 18 x 0.33 = 54 VENTS



No.	SIZE			MAT	JAMB	THRSHLD	REMARKS	TYPE	U-FACTOR	SHGC
	W	H	T							
1	3'-0"	6'-8"	1 3/4"	METAL	METAL		NEW EXTERIOR PRE HUNG DOOR N.O.A. FL12-1218.06			
2	6'-0"	6'-8"	1 3/4"	METAL	METAL		NEW INTERIOR PRE HUNG DOOR			
3	3'-0"	6'-8"	1 3/4"	METAL	METAL		NEW BIFOLD DOOR			

No.	SIZE		TYPE	THRSHLD	REMARKS	U-VALUE	SHD-COEF
	W	H					
A	53-1/8"	50-5/8"	NEW ALUMINUM HR. 34 N.O.A.#14-0908.14 (SHGC)	ALUMINUM	NEW WINDOW	0.55	0.50
B	26-1/2"	38-3/8"	NEW ALUMINUM HR. 33 N.O.A.#14-0908.14 (SHGC)	ALUMINUM	NEW WINDOW	0.55	0.50
C	53-1/8"	38-3/8"	NEW ALUMINUM HR. 33 N.O.A.#14-0908.14 (SHGC)	ALUMINUM	NEW WINDOW	0.55	0.50

ROOM	FLOOR	WALLS	CEILING	REMARKS
NEW CHILD CARE ROOM	CER. TILE	DRYWALL	DRYWALL	
NEW OFFICE	CER. TILE	DRYWALL	DRYWALL	
NEW BATHROOM	CER. TILE	TILE	DRYWALL	6'-0" HGT CER. TILE AROUND TUB
NEW PANTRY	CER. TILE	DRYWALL	DRYWALL	







AM

julien

ARCHITECTS  
INSPECTIONS  
VALUATIONS

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T. (305) 462-1792  
E. [ajulien@amjulien.com](mailto:ajulien@amjulien.com)  
License No. 14476 R.A.

ARCHITECTURE + DESIGN

TINY TOTS ACADEMY  
ADDITION

6311 WASHINGTON STREET  
HOLLYWOOD, FLORIDA, 33024  
FOLIO NO. 51-411-320-0020

CONSTRUCTION  
DOCUMENTS

ISSUE DATE: 08/15/16  
PROJECT No: 16028  
DRAWN BY: ISA  
APPROVED BY: AM

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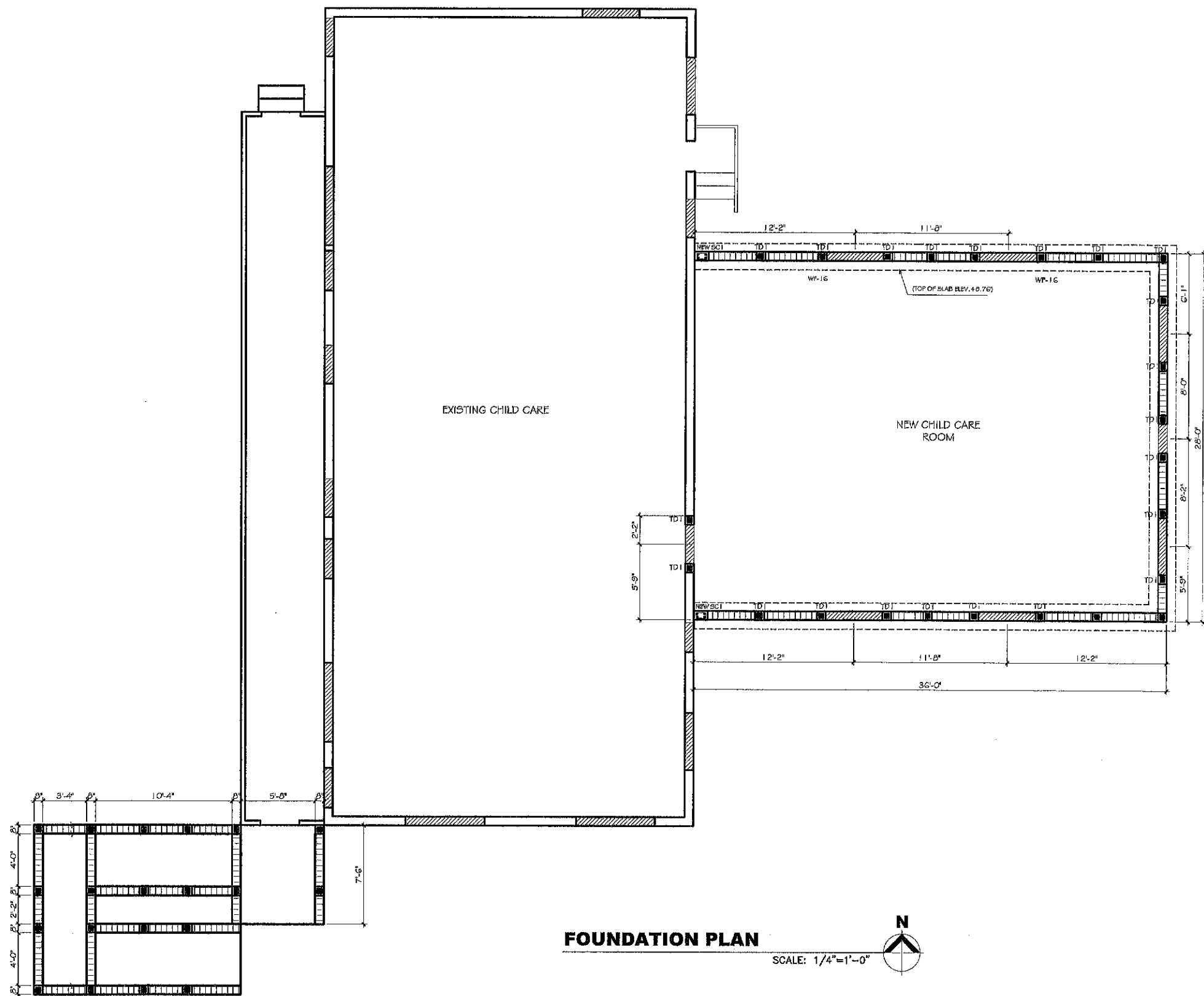
A. M. JULIEN  
01-4476 R.A.

FOUNDATION PLAN

AS NOTE

S-2

2 of 4



FOUNDATION PLAN

SCALE: 1/4"=1'-0"













## H.V.A.C. GENERAL NOTES:

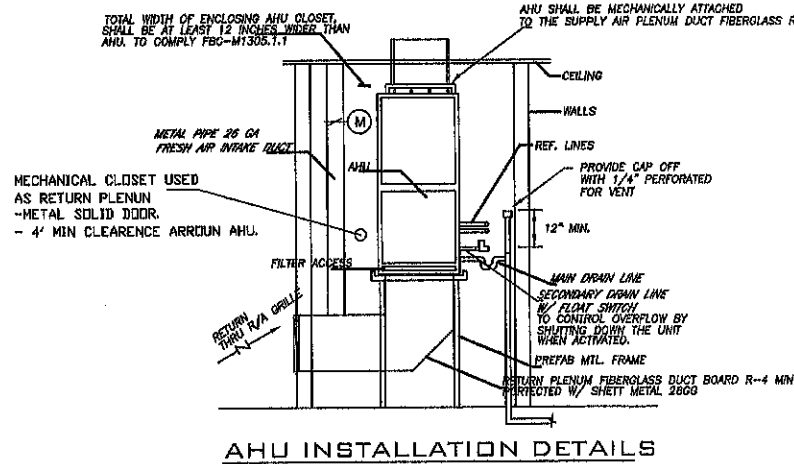
- THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, PERMITS, FEES, INSPECTIONS, TESTS, INSURANCE, ETC. REQUIRED FOR THE COMPLETION OF THE AIR CONDITIONING SYSTEM SHOWN ON THE DRAWINGS AND/ OR LISTED BELOW.
- VENTILATION DUCTWORK SHALL BE GALVANIZED STEEL WITH 30 GAUGES, DUCT CONSTRUCTION, BRACING AND SUSPENSION IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE LATEST EDITION OF THE A.S.H.R.A.E. GUIDE AND S.M.A.C.N.A. STANDARDS. DUCT SIZES SHOWN ARE "INSIDE" DIMENSIONS. VERIFY EXACT LOCATION OF DUCT WITH RESPECT TO STRUCTURE BEFORE FABRICATION.
- FLEXIBLE DUCT SHALL BE STEEL HELIX WIRE ON 7/8" CENTERS, ENCAPSULATED IN A CONTINUOUS SOFT VINYL FILM, JOINED BY MOLECULAR WELDING TO FORM AN AIR TIGHT INNER CORE, THE CORE IS TO BE INSULATED WITH FIBERGLASS INSULATION (R-8), AND SHEATHED IN A REINFORCED, ALUMINUM METALLIZED POLYESTER VAPOR BARRIER JACKET.
- AIR CONDITIONING SUPPLY AND RETURN DUCTWORK RUNNING IN ATTIC SPACE SHALL BE 1-1/2" (R-6 MIN.) FIBERGLASS U.L. 181 LISTED, CLASS 1 AIR DUCT. DUCTWORK SHALL BE FABRICATED IN ACCORDANCE WITH S.M.A.C.N.A. STANDARDS. DUCTWORK SHALL BE FACED ON ONE SIDE WITH A FIRE-RESISTANT FOIL-SCRM-KRAFT (FSK) VAPOR RETARDER, AND ITS AIRSTREAM SURFACE SHALL BE FACED WITH A TIGHTLY BONDED NON-WOVEN MAT. AIRSTREAM SURFACE MAT FACING SHALL BE TREATED WITH AN EPA-REGISTERED ANTI-MICROBIAL AGENT TO AID IN THE PREVENTION OF FUNGAL AND BACTERIAL GROWTH.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION AND IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- SUBMIT SHOP DRAWING OF ALL MATERIALS AND EQUIPMENT FOR APPROVAL PRIOR TO FABRICATION.
- UNDERCUT 1 INCH ALL INTERIOR DOORS.
- CUT ALL OPENINGS AND CHASES REQUIRED TO ACCOMMODATE THE WORK UNDER THIS DIVISION, AND REPAIR ALL FLOORS, WALLS, ETC., DAMAGED BY SUCH CUTTINGS. ALL WORK DONE UNDER THIS HEADING MUST CONFORM IN EVERY RESPECT TO FINISH AND QUALITY OF MATERIALS AND WORKMANSHIP SPECIFIED UNDER APPROPRIATE SECTIONS FOR THE BUILDING.
- TEMPERATURE CONTROL SHALL BE PROGRAMMABLE THERMOSTAT
- DUCT LOCATIONS MAY CHANGE DUE TO FIELD CONDITIONS
- DUCTWORK IN UNCONDITION SPACE SHALL BE R=8.0 AND DUCTWORK IN CONDITION SPACE SHALL BE R=4.0
- ALL CONDENSATE PIPING SHALL BE NO COMBUSTIBLE. INSULATE COND. PIPES ABOVE GROUND WITH 1/2 INCH ARMAFLEX INSULATION.
- GENERAL CONTRACTOR SHALL BE VERIFY ALL INSULATION VALUE USED FOR CALCULATIONS IN ENERGY AND/OR HEAT LOAD PROVIDED BY MECHANICAL ENGINEER.
- CONTRACTOR SHALL VERIFY AND COORDINATE EXISTING CONDITIONS OF THE BUILDING BEFORE INSTALLATION AND COORDINATE RUTE F REFRIGERANT LINES USING EXISTING A/C CHASES.
- IN THE EVENT ADDITIONAL CALCULATIONS ARE REQUIRED FOR A/C UNITS TIE DOWN @ ROOF, A LETTER FROM AN STRUCTURAL ENGINEER BE PROVIDED BY ARCHITECTH.
- EXPOSED SHEET ROUND DUCT SPIRAL I RECOMMEND INTERIOR INSULATION FOR FINAL INSPECTION AS PER FBC REQUIRED.
- TEST AND BALANCE REPORT ARE REQUIRED BY INDEPENDENT PROFESIONAL ENGINEER FOR FINAL INSPECTION AS PER FBC REQUIRED.

SPLIT SYSTEM SCHEDULE	
TOTAL CAP. (BTU/HR)	54 000
SENSIBLE CAP. (BTU/HR)	41 500
SUPPLY (CFM)	1600
HEATER (KW)	10
ESP-IN WG	0.3
AHU MIN CIRCUIT AMPACITY.	54
CU MIN CIRCUIT AMPACITY.	32.8
VOLTAGE	240V-1P
DISIGN MANUFACTURE	GOODMAN
AHU MODEL	ASPT60D1
CU MODEL	GSX16060
SEER	16
REFRIGERANT LINE SIZE	7/8"-3/8"
ENTERING AIR TEMP.	F DB/WB
AMBIENT AIR TEMP.	F DB
PROVIDE A FULLY PROGRAMMABLE THERMOSTAT. HONEYWELL PRO-4000	

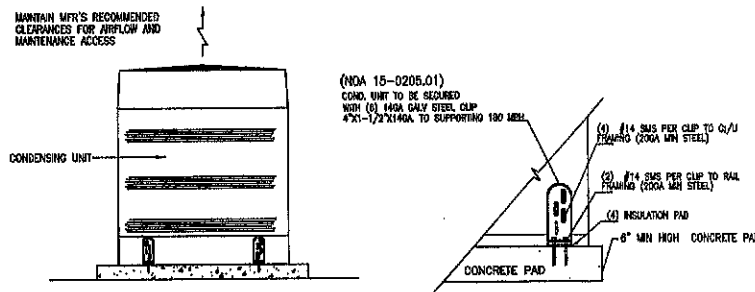
### MECHANICAL SCOPE OF WORK:

- IS LIMITED TO INSTALL 1 A/C UNIT AS SPECIFY IN THIS PLAN
- IS LIMITED TO INSTALL DUCT WORK SYSTEMS AND VENTILATION SYSTEMS AS SPECIFY IN THIS PLAN

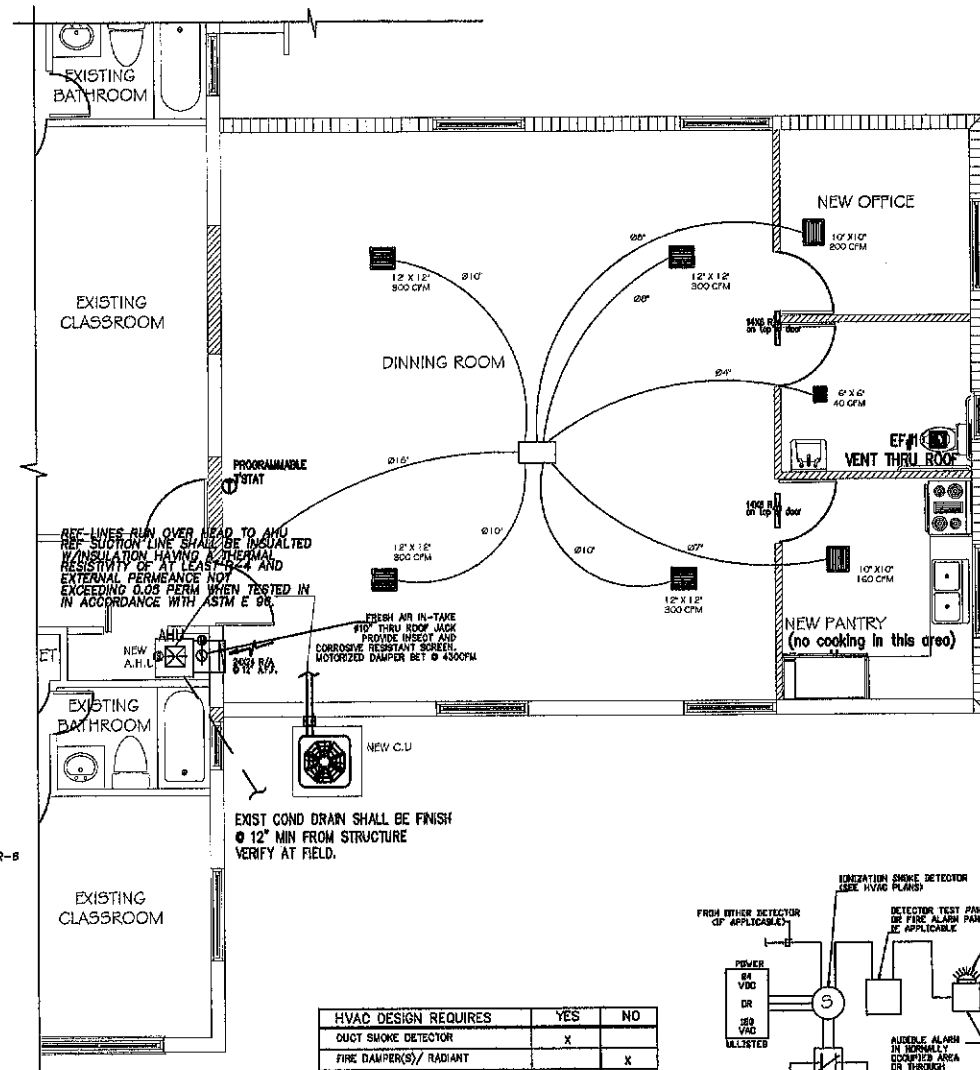
OUTDOOR AIR CALCULATIONS	
	AS PER FBC-2014 TABLE 403.3
10 cfm/pers X 25 pers/1000SQFT X 1000 SQFT + 0.18 cfm/sqft X 1000 sqft = 430 CFM	



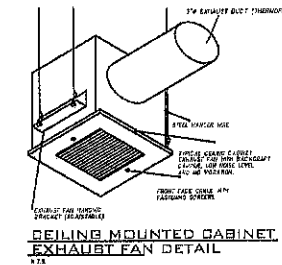
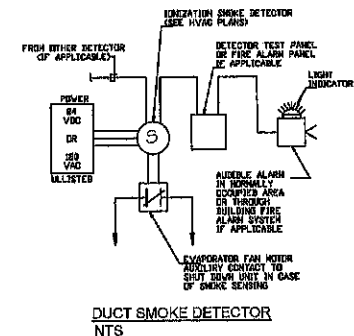
AHU INSTALLATION DETAILS



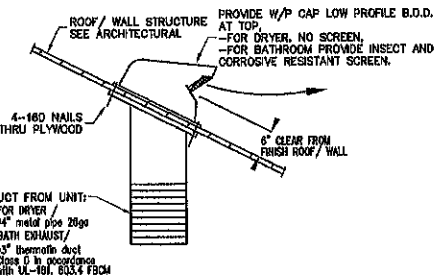
CONDENSING UNIT INSTALLATION DETAIL



HVAC DESIGN REQUIRES	YES	NO
DUCT SMOKE DETECTOR	X	
FIRE DAMPER(S)/ RADIANT		X
SMOKE DAMPER(S)		X
FIRE RATED ENCLOSURE		X
FIRE RATED ROOF CEILING ASSEMBLY		X
FIRE STOPPING		X
SMOKE CONTROL		X



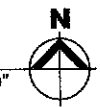
CEILING MOUNTED CABINET EXHAUST FAN DETAIL



TYPICAL ROOF/ WALL CAP DETAIL

## MECHANICAL PLAN

SCALE: 1/4"=1'-0"



PROCESS # C2015 091167

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CONSTRUCTION  
DOCUMENTS

ISSUE DATE: 08/16/16  
PROJECT No: 16028  
DRAWN BY: IRA  
APPROVED BY: AM

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MECHANICAL PLAN

SHEET TITLE

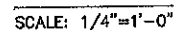
AS NOTE

SCALE

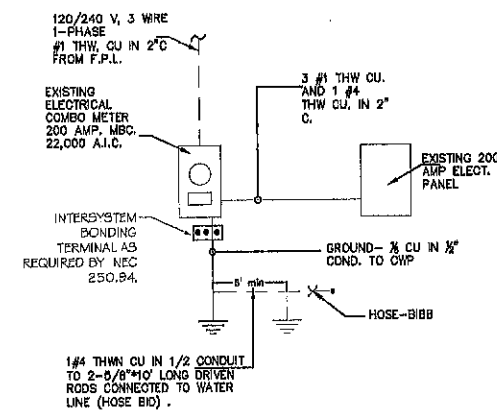
**M-1**

1 of 1





NEW ELECTRICAL HOUSE PANEL A					
CKT	DESCRIPTION	VOLT	WIRE	TRIP	VA
A1	GENERAL L&R	120	(14/3)	15	
A2	GENERAL L&R	120	(14/3)	15	
A3	GENERAL L&R	120	(14/3)	15	
A4	GENERAL L&R	120	(14/3)	15	
A5-7	SMALL APPLIANCE	120	(14/3)	20	500
A6	REFRIGERATOR	120	(14/3)	20	500
A7	SMALL APPLIANCE	120	(14/3)	20	500
A8	GENERAL L&R	120	(14/3)	15	
A9	GFI-BATH	120	(14/3)	20	150
A10	EXTERIOR LIGHT	120	(14/3)	15	
A11	GFI- EXTERIOR	120	(14/3)	20	150
A12-14	A.H.U.	240	(6/4)	50	800
A15-16	C.U.	240	(6/4)	50	800
A16-18	WATER HEATER	240	(10/4)	30	480
A 17	GENERAL L&R	120	(14/3)	15	
A18	NEW GENERAL L&R	120	(14/3)	15	
A20	NEW GENERAL L&R AND EXHAUST FAN	120	(14/3)	15	
A21	NEW REFRIGERATOR	120	(12/3)	20	150
A22-24	NEW SMALL APPLIANCE	120	(12/3)	20	500
A 25	NEW GFI-BATH	120	(12/3)	20	150
A26	NEW DISPOSAL	120	(12/3)	20	150
A25-27	NEW A.H.U.	240	(6/4)	50	800
A28-30	NEW C.U.	240	(6/4)	50	800
A31-32	SPACE				
TOTAL					2250
ELECTRICAL LOAD CALCULATION PANEL					
2753	SQFT'S VA/ SQF=			8259	
TOTAL LOAD WIRE=					2815
1. FIRST 30 KW AT 100%=					100
2. THE REMAINDER AT 40%=					74
3. AT 100%					80
TOTAL=					2540
25400 VA/240 VA=					105.83 Amp
PANEL = NEW 200 Amp					



### TYPICAL ELECTRICAL RAISER PANEL A

1. OUTSIDE RECEPTACLES, RECEPTACLES BATH AND ALL KITCHEN RECEPTACLES ON COUNTERTOPS SHALL BE GFI.
2. SMOKE DETECTOR HARDWIRE TO KITCHEN OR BATHROOM NON-SWITCHABLE NO GFI. LIGHTING CIRCUIT INTERCONNECTED AND W/ BATTERY BACK-UP ALSO SHALL BE ARRANGED SO THAT OPERATION OF ANY SMOKE DETECTOR SHALL CAUSE THE ALARM IN ALL SMOKE DETECTORS WITHIN THE DWELLING UNIT TO SOUND SIMULTANEOUSLY.
3. ELECTRICAL METER AND PANEL LOCATION MAY VARY AS PER SERVICE ENTRANCE LOCATION.
4. ELECTRICAL CONTRACTOR TO COORDINATE SERVICE WITH F.P.L.
5. MAXIMUM NUMBER OF OUTLETS PER CIRCUIT SHALL COMPLY WITH F.B.C.
6. NO APPLIANCES OR APPLIANCE OUTLETS SHALL BE INSTALLED BELOW BASE FLOOD ELEVATION.
7. SMALL APPLIANCE CIRCUITS LIMIT LOCATIONS & USE TO NEC 210.52
8. ALL PLUMBING AND ELECTRICAL ARE NEW, THERE ARE NOT TIE BETWEEN OLD AND NEW SYSTEM. ALL PLUMBING AND ELECTRICAL SYSTEMS HAS TO BE CAPPED AS REQUIREMENT.

- INDEPENDENT CIRCUITS FROM THOSE IN THE HABITABLE AREAS.
10. A/C COMPRESSOR SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION.
11. MAIN CIRCUIT BREAKER PANELS SHALL BE LOCATED ABOVE BASE FLOOD ELEV.
12. IT IS SUGGESTED THAT YOU COMPLY WITH F.P.L. TO LOCATED THE ELECTRICAL METER TO COMPLY WITH FEDERAL EMERGENCY MANAGEMENT AGENCY REQUIREMENTS.
13. PROVIDE TAMPER RESISTANT RECEPTACLES AS PER NEC 406.11.
14. ALL AREAS LISTED UNDER 210.12 MUST HAVE "AFPI" PROTECTION. ALL SD SHALL BE CONNECTED TO ONE CIRCUIT. ALL KITCHEN PRECEPT. SHALL BE GFI PROTECTED TAMPER RESISTANT OUTLETS.
15. SMOKE DETECTORS INSIDE AND OUTSIDE ALL SLEEPING AREAS FBC 907 CARBON MONOXIDE ALARM REQUIRED FBC R 315. PROVIDE CO ALARM FBC R315.
16. ~75% OF LAMPS MUST BE HIGH EFFICIENCY LIGHTING FBC E 404.



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REVISIONS	

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SEAL

LIFE SAFETY PLAN

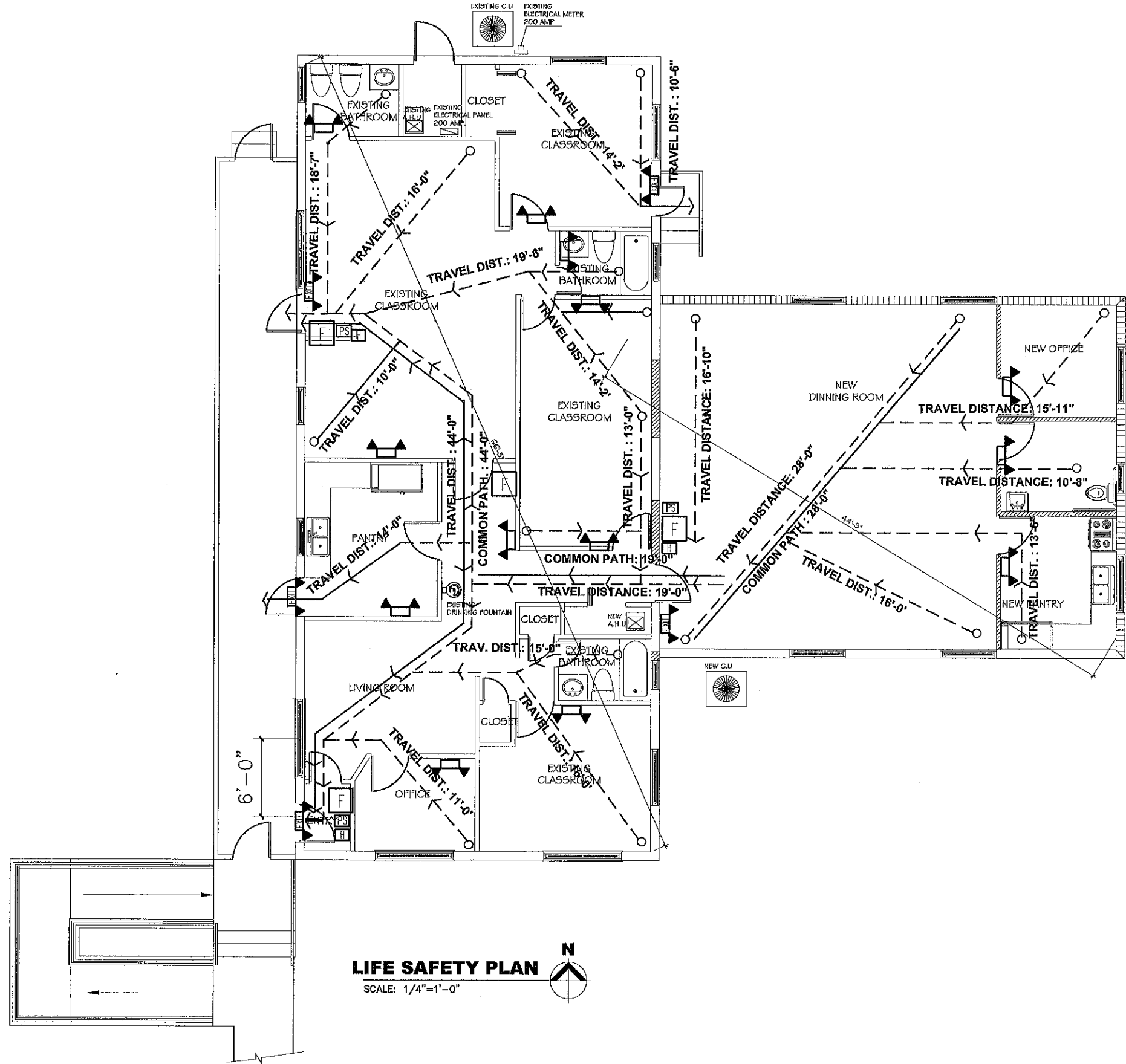
SHEET TITLE

AS NOTE

SCALE

FP-1

1 of 1



LEGEND:

- PS PULL STATION
- H HORN STROBE
- EMERGENCY LIGHT
- F FIRE EXTINGUISHER
- COMBO EXIT & EMERGENCY LIGHT
- TRAVEL DISTANCE
- COMMON PATH OF TRAVEL

- NOTE:
- 1-EMERGENCY LIGHTING SHALL COMPLY WITH NFPA 101 7.9 LIGHTS IN ADDITION TO THOSE SHOWN ON THIS PLAN MAY BE REQUIRED.
  - 2-NFPA-101 CHAPTER 43 43.1.1 CLASSIFICATION OF REHABILITATION WORK CATEGORIES 6 (ADDITION)
  - 3-ACADEMY: 35 GROSS/S.F.=1008 S.F./35 GROSS =28.8 OCUPANT LOADS NFTA 101-2015 TABLE 7.3.1.2 OCCUPANT LOAD FACTOR
  - 4-FLOOR SURFACE AT BOTH SIDE OF A INTERIOR DOORS MUST HAVE NO MORE THAN 1/2" CHANGE OF ELEVATION.








PLUMBING FIXTURES SHALL MEET THE LOCAL WATER  
FLOW RESTRICTIONS ADOPTED BY MIAMI-DADE WATER  
AND SEWER

PLUMBING FIXTURE OR FIXTURE FITTING	MAX. FLOW RATE OR QUANTITY
WATER CLOSET	1.28 gpm
LAVATORY (PRIVATE)	1.5 gpm
SHOWER HEADS	1.5 gpm
SINK FAUCETS	1.5 gpm

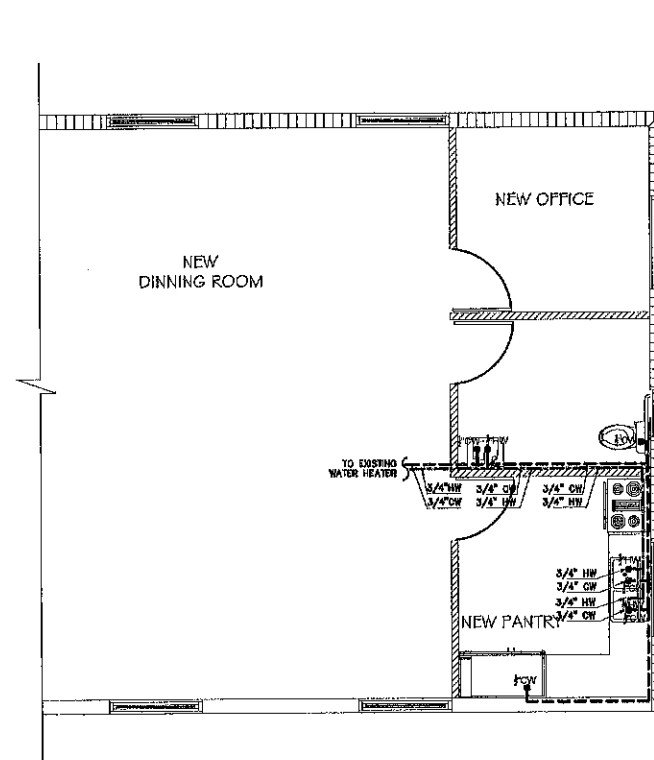
- 1.- SHOWER GLASS ENCLOSURES, IF APPLICABLE, ARE TO BE OF TEMPERED GLASS.
- 2.- BATHROOM FINISHED FLOORS TO BE IMPERVIOUS MATERIAL, AND CERAMIC TILE.
- 3.- ALL PLUMBING FIXTURE TO COMPLY WITH TABLE 4GR-2 OF SPBC.
- 4.- SHOWER HEAD TO HAVE ANTI-SCALD VALVE

THE PAIN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR FLOOR DRAIN OR EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES (152MM) AND NOT MORE THAN 24 INCHES (610mm) ABOVE THE ADJACENT GROUND SURFACE.  
PER. FBC PLUMBING 504.7.2

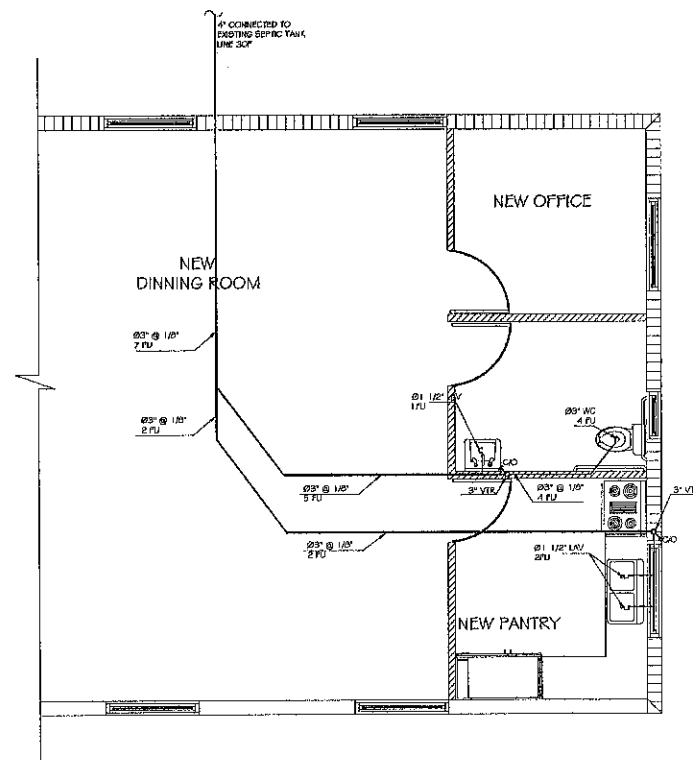
THE FLOW VELOCITY OF THE WATER DISTRIBUTION SYSTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBILITY OF WATER HAMMER. A WATER HAMMER ARRESTOR SHALL BE INSTALLED WHERE QUICK CLOSING-VALVE ARE UTILIZED, UNLESS OTHERWISE APPROVED. THE ARRESTOR SHALL BE LOCATED WITHIN AND EFFECTIVE RANGE OF THE QUICK CLOSING-VALVE. WATER HAMMER ARRESTOR SHALL CONFORM TO ASSE 1010. ACCESS SHALL BE PROVIDED TO WATER HAMMER ARRESTOR AS PER SEC 604.9

SYMBOL	FIXTURE TYPE	TRAP SIZE	C.W.	H.W.	DESCRIPTION
	WATER CLOSET	3"	1/2"	---	
	LAVATORY	1-1/2"	1/2"	1/2"	
	BATH TUB	2"	1/2"	1/2"	W/ ANTI-SCALD VALVES
	SHOWER	2"	1/2"	1/2"	W/ ANTI-SCALD VALVES
	KITCHEN SINK	1-1/2"	1/2"	1/2"	W/ GARBAGE DISPOSAL

NOTES:  
-MINIMUM SIZE OF ALL PLUMBING DRAIN LINE  
BELLOW FLOOR 2 INCH  
-2' DRAIN & LESS @ 1/2" PER FOOT SLOPE 3' DRAIN  
& HIGHER @ 1/8" PER FOOT SLOPE  
-SEE FIXTURE CLEARACE IN PLAN A-3.



SCALE:  $1/4" = 1' - 0"$



SCALE:  $1/4"=1'-0"$

