

PLANNING DIVISIONS:



2600 Hollywood Boulevard Room 315 Hollywood, FE 3302Z File No: (internal use only):

GENERAL APPLICATION

AND THE REST OF THE PERSON OF	APPLICATION TYPE (CHECK ONE):
	☐ Technical Advisory Committee ☐ Historic Preservation Board
DIAMOND BY	☐ City Commission ☐ Planning and Development Board
OOLD CDAST	Date of Application: <u>07-31-2017</u>
O CORATE O	Location Address: 6311 Washington St
Tel: (954) 921-3471	Location Address: 631/ Washington St Lot(s): 21-3 Block(s): 1 Subdivision: Bevery Park No Folio Number(s): 5/-4/1-320-0020 Zoning Classification: RS-2 Land Use Classification:
Fax: (954) 921-3347	Folio Number(s): 5/-4//-320 -0020
	Land Ode Crashingation.
This application must be completed in full and	Existing Property Use: ICasumy Sq Ft/Number of Units: 1787 / f
submitted with all documents	Is the request the result of a violation notice? () Yes (//No If yes, attach a copy of violation.
to be placed on a Board or Committee's agenda:	Has this property been presented to the City before? If yes, check all that apply and provide File
	Number(s) and Resolution(s):
The applicant is responsible	☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board ☐ City Commission ☐ Planning and Development
\for obtaining the appropriate \for \checklist for each type of	
√ application.	Explanation of Request:
\(\frac{1}{2}\)	
Applicant(s) or their authorized legal agent must be	Number of units/rooms: Sq.Ft:
present at all Board or Committee meetings	Value of Improvement: # 100,000 Estimated Date of Completion:
	Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase
At least one set of the	
submitted plans for each application must be signed	Name of Current Property Owner: Tiny TOtS ACalienty Fix
and sealed (i.e. Architect on Engineer).	Address of Property Owner: 1,3/1 1/6 th 2 of Low St. Hollywood, Ft. 33023
Eligities).	Telephone: 754-204-7749Fax: Email Address:
Documents and forms can be	Name of Consultant/Representative/Tenant (circle one): Milka Tracking
accessed on the City's website:	Address: 11936 NW 19 AVE Nami FL 3361 Telephone: 786-426-9274
http://www.hallywoodff.org/Dos	Fax: 4/6 228-1118 Email Address: Summit days a Yokoc. Com
cumentCenter/Home/View/21	Date of Purchase: <u>03-16-2012</u> Is there an option to purchase the Property? Yes () No (-) If Yes, Attach Copy of the Contract.
	List Anyone Else Who Should Receive Notice of the Hearing: <u>Patrick</u> <u>Brinson</u>
	305-527-8303 Address: 111 NE 15+8FL Man 1 FT 331
	Email Address: 1652, βενα βηλίτι Con

PLANNING DIVISION



2600 Hollywood Baulevard Room 315 Hollywood FE 33022 Fife No. (internatuse only).

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable. Signature of Current Owner: PRINT NAME: Date: ____ Signature of Consultant/Representative: Make Littus Date: 67-31-2017 PRINT NAME: MIKE DAVIS Signature of Tenant: Date: PRINT NAME: Date: **Current Owner Power of Attorney** I am the current owner of the described real property and that I am aware of the nature and effect the request for to my property, which is hereby made by me of I am hereby authorizing to be my legal representative before the (Board and/or Committee) relative to all matters concerning this application. Sworn to and subscribed before me day of 1414 201/ Signature of Current Owner Deborah Ann Eason Turjay Kubic, State of Florida My Catinn, Expires Sunt 24, 2019 No. FF244051 Print Name State of Florida WYAW. AaronNotary.com My Commission Expires:_____(Check One) Personally known to me; OR Produced Identification

TINY TOTS ACADEMY, INC.

6311 WASHINGTON STREET HOLLYWOOD, FL. 33023

12/21/2017

City of Hollywood, Hollywood, Fl.

Tiny Tots Academy Inc. has established with the State of Florida as a non-profit corporation 501@(3).

Tiny Tots Academy Inc. is **not** licensing to care for infants, our license capacity Is for 29 children.

The children enrolled at Tiny Tots Academy Inc. are from 2 years old to 10 years old.

Five of our Volunteer Kindergarten (VPK) students attends from 9:00am to 12:00 pm. We have six-part time preschoolers that attends from 7:00am to 2:30pm. Additionally, we have a 17-passenger van that is used to transport the after schoolers and some of our children to and from school.

We have 2 full time teachers and 2-part time teachers on staff.

The purpose of the expansion is providing space for extracurricular activities and adequate cafeteria space which will be located on the east side of the building and will not interfere with the parking or any playground space.

One part- time staff starts at 7:30 a.m. until 12:00 p.m. and the other one 9:00 a.m. until 1: p.m. Thanks,

Tiny Tots Academy, Inc.

Tiny Tots Academy, Inc.

6311 Washington Street Hollywood, Fl. 33023 ttacademyinc@gmail.com 754-204-7749

April 24, 2018

To: Alexandra Carcamo Planning Division City of Hollywood,

File No: EN 18-084 (Special Exception)

Your request for drop off and pick up times for the 5 private students being transported are in the following order:

Morning

7:10am – 7:18 approximately 2-3 children arrive 7:40am – 10:15am approximately 2 children arrive

Afternoon

12:00pm -1:00pm 3 students leave 4:00pm - 4:50pm 2 students leave 4 of the 5 students by private vehicles are twins. In reference to #4 of the comments:

Q. A 17 passenger van used to transport children. Will there be private transportation use for drop out/pick up allowed? Yes.

Q. The school's capacity are 29 children with two part-time staff? Yes.

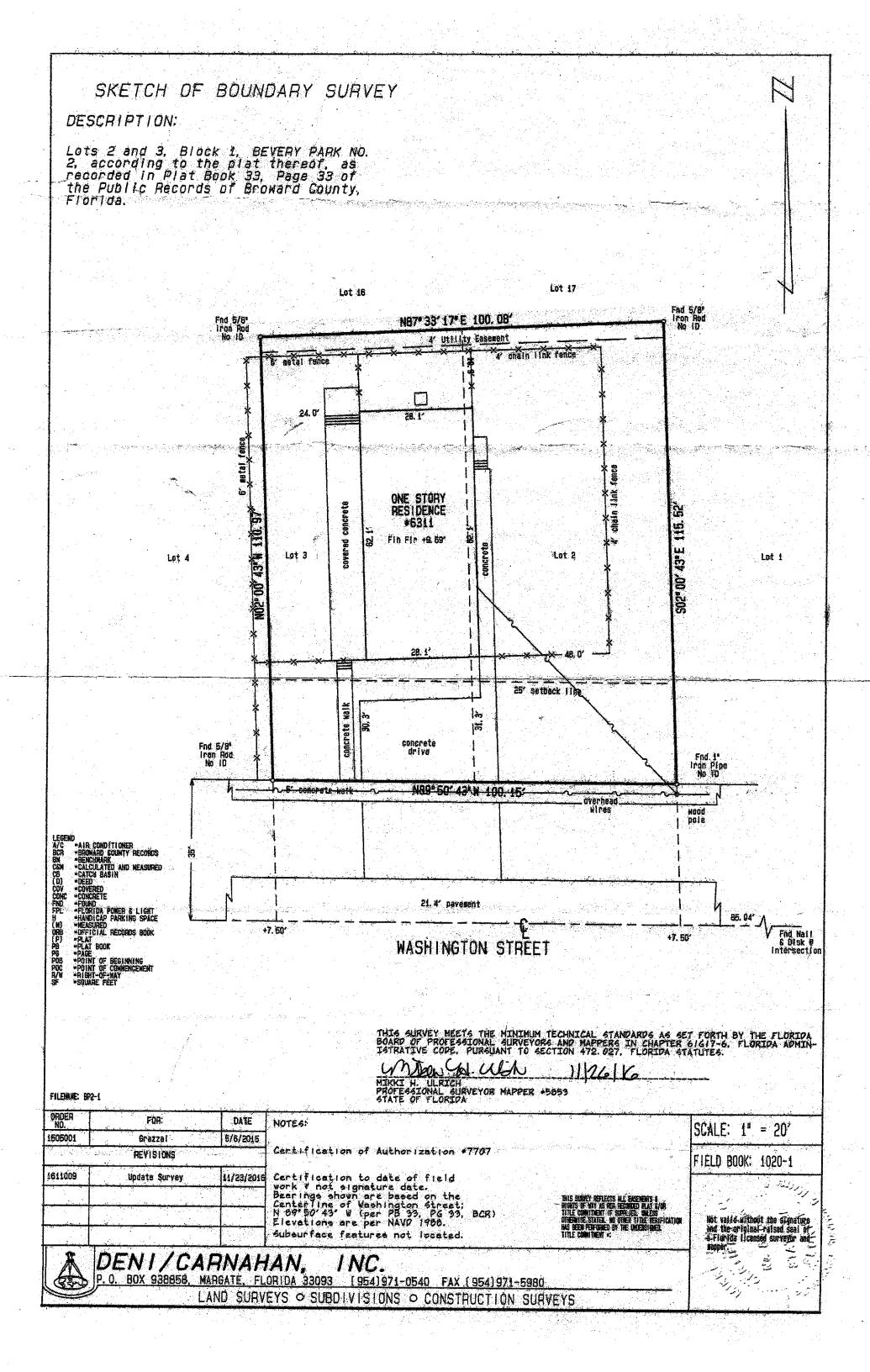
Hours for teachers: 1st teacher comes in at 7:00am-12:00pm 2nd teacher comes in at 12:00pm to 6:00pm Owner office is off site.

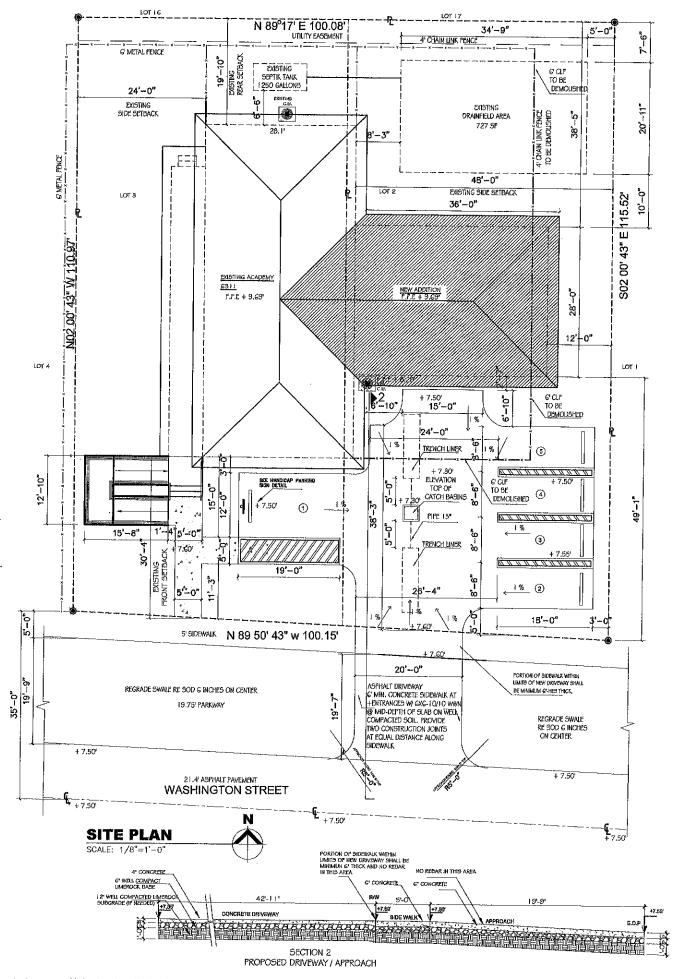
Director/Teacher hours of service 7:00am -

4:00pm.

Tiny Tots has an enrollment capacity of 29 children, but **not** all 29 children occupied the building at the same time. From 7:00am – 12:00pm we have approximately twenty children, the age range are from 1-10-year-old in the building. The bus transports nine students ages 2-7, six of are in walking distance of the school, and the other 5 are private transportation. **Four** of the above students are only there for 2 hours then get transported to their public school by our 17-passenger van, at 12:00pm 3 students shift ends. At 3:00pm the 17 passenger van picks up 10 after school children. One student is only there 1 day a week from 8:00am – 1:00pm, one student is their Monday, Wednesday and Friday from days 9:00am – 2:00pm. The approximately number of children in the building at the same time is about 23.

One of the teacher do not drive at all and is within walking distance of the school.





GENERAL NOTES:

- I. ALL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE, 2014 SIJ EDITION AND ALL LOCAL ORDINANCES
- 2. CONTRACTOR SHALL VERIFY ALL SIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SAFETY RELATED O.S.H.A. REQUIREMENTS DURING CONSTRUCTION,
- 4. ALL WORK SHALL BE PERFORMED BY A LICENSED AND INSURED STATE CERTIFIED GENERAL CONTRACTOR OR BY THE OWNER IF APPROVED BY THE LOCAL BUILDING DEPARTMENT OFFICIAL.

ENVIRONMENTAL PROTECTION:

- I. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLTICATO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A INDISANCE IN SURROUNDING AREAS, USE OF WATER TO CONTROL DUST WAL NOT SE ALLOWED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIC VASHE CONDITIONS AND HAS A PROFUND
- 2. TRAFFIC MAINTENANCE: CONDUCT REMOVAL OPERATIONS TO WAINTAIN TRAFFIC ALONG DITEITS GITRETS AND WALKENEY FREE OF DESKINS, REWOVE MAILES, REP PAYED STREETS AND WALKENEYS FREE OF DESKINS, REWOVE MAILES, AND THE MAILER TRACKED OR FALLEN ONTO TRAFFIC SUPPAGES,
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COLOTRUCTION MATERIALS. INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY COPT SHELL USE METHODS. APPROVED BY ME BEFORE BEGINNING CLEANLY. OPERATIONS USE OF BUOWERS TO DISTRIBUTE DUST 19 NOT ALLOWED.

JOB DESCRIPTION	1
CLASSIFICATION OF V	VORK
LEVEL OF ALTERATION PER FBC	
EXISTING BUILDING, CHARTER 504:	LEVEL 2
CLASSIFICATION OF	
REHABILITATION WORK:	6
AS PER NEPA TOTCHAPTER 43:	ADDITION
SCOPE OF WORK	
-ADDITION:	
-ADDITION NEW AREA WITH NEW BATH	TROOM, NEW OFFICE.
NEW PANTRY AND NEW DINNING ROC	M.
-ELIMINATION AND ADDITION OF NEW	EGRESS WINDOWS
AND DOOR COMPLY WITH MIN 32" C	LEAR WITH-FBC 1008.1.1
-ADDITION ELECTRICAL SYSTEM.	
-ADDITION MECHANICAL SYSTEM.	
-ADDITION PLUMBING SYSTEM.	

CODE IN EFFECT

FLORIDA BUILDING CODE, 2014 5ta EDITION BUILDING WITHOUT SPRINKLERS SYSTEM

SITE INVESTIGATION

BEFORE BIDDING, CONTRACTOR VISIT THE SITE TO INVESTIGATE THE EXISTING CONDITIONS AND TO NALYZE THE NATURE AND EXTENT OF THE WORK TO BE PERFORMED.

CONTRACTOR'S WORK INVOLVES EXISTING BUILDING SYSTEMS AND FACILITIES.

SUGHT VARIATION OF ROUTING AND CONSTRUCTION SHOULD BE ANTICIPATED BY THE CONTRACTOR IN ORDER TO AVOID CONFLICTS WITH EXISTING INSTALLATION AND THE INSTALLATION OF OTHER TRADES.

THESE VARIATIONS ARE INCLUDED IN CONTRACTORS SCOPE OF WORK, AND NO ADDITIONAL COST TO CONTRACTORS BID SHALL BE AUTHORIZED.

IF CONTRACTOR IDENTIFIES ANY DESCREPANCIES IN THE FIELD, CONTRACTOR IS TO NOTIFY OWNER & ARCHITECT AND AWAIT RESPONSE PRIOR TO CONTINUATION OF WORK.

GROUP E EDUCATIONAL

ACADEMY FACILITIES WITH -FBC 305,2

TABLE 503 ALLOWABLE BUILDING HEIGHT AND AREA TYPE II

INTERIOR FINISH/FLAME SPREAD LIMITATIONS

AREA	FLAME SPREAD RATING
EXITS	CLASS C
ACCESS TO EXITS	CLASS C
OTHER SPACES	CLASS A, B OR C
EXITS	CLASS I OR II
ACCESS TO EXITS	CLASS OR II
OTHERS SPACE	N/A
AD 0-25	CLA56 I-,45
AD 26-75	CLASS II22
AD 7G-200	
	ACCESS TO EXITS OTHER SPACES EXITS ACCESS TO EXITS OTHERS SPACE AD 0.25 AD 26-75

TABLE JOOS. I EGRESS WIDTH PER OCCUPANT SERVED 79 OCCUPANT x 0.2 = 15.8 INCH REQUIRED 6 EXIT OF 31-01 WIDTH MIN

ZONING INFORMATION

EXISTING ACADEMY NEW ADDITION= TOTAL= 2,753 S.F.

NET LOT AREA⇒ 11.365 S.F.

> ALLOWED PROVIDED

LOT COVERED(25%)= 2,841.25 3,F 2,753 S.f.= (24.22%) CK

SETBACKS FOR PROPERT	Y
REQUIRED :FRONT	25'-0"
PROPOSED : FRONT	30-4
REQUIRED : REAR 5% LOT LONG DIVIENSION	17'-3'
PROPOSED REAR	19-10
REQUIRED:	7'-6"
PROPOSED ISIDES	12-0
required (Street S,	N/A
PROPOSED :STREET S,	N/A

LEGEND NEW ADITION DEMOUTION

DRAWING INDEX ARCHITECTURAL

A-1 - ZONING INFORMATION AND SITE PLAN A-2.- DEMOLITION PLAN

A-3.- PROPOSED FLOOR PLAN A-4.- DETAILS A-5.- EXISTING AND NEW ELEVATIONS

MECHANICAL. M-1 .- MECHANICAL PLAN

ELECTRICAL E-1 .- ELECTRICAL PLAN

PLUMBING

P-1.- PLUMBING PLAN

SITE NOTES

CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EXISTING UTILITIES AND POINTS OF CONNECTION BEFORE COMMENCING ANY WORK.

LEGAL DESCRIPTION

LOT 2 AND 3 BLOCK 1, BEVERY PARK NO. 2, ACCORDING TO THE FLAT THEREOF, AS RECORDED IN PLAT BOOK 33, PAGE 33, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FOLIO: 51-411-320-0020

ZONING INFORMATION

ZONING - RESIDENTIAL DISTRICTS

TOTAL FOOTPRINT

RS-2 THROUGH RS-G

OCCUPANCY CLASSIFICATION:

ACADEMY FACILITIES GROUP E EDUCATIONAL PER FBC 305

OCCUPANCY CLASSIFICATION:

EDUCATIONAL

2,753 SF

FLORIDA BUILDING CODE, CHAPTER 3, SECTION 305 EDUCATIONAL, GROUP E.

OCCUPANCY LOAD:

EXISTING OCCUPANT LOADS FOR ACADEMY USE 35 NET

1745 9f/35=49,8 OCCUPANCY LOAD BUT PROVIDED IN USE 29 OCCUPANTS.

NEW OCCUPANT LOADS FOR ACADEMY USE 35 NET IN ADD AREA.

1008 SF/35=28.8 OCCUPANCY LOAD

PROPOSED TOTAL MAX. OCCUPANT LOADS FOR ACADEMY USE 35 NET 2753 SF/35=78.6 OCCUPANCY LOAD BUT PROVIDED IN USE 34 OCCUPANTS.

FLORIDA BUILDING CODE, CHAPTER 10, TABLE 1004.1.2, EDUCATIONAL AND TABLE 7.3.1.2, PER NEPA 101,

OCCUPANCY GROUP E INTERIOR FINISHES SHALL MEET NEPA-101 ALL WORK TO BE DONE SHALL MEET FLORIDA FIRE PREVENTION CODE 2015

TABLE 403.1

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURE NEW ADDITION

CLASSIFICATION: EDUCATIONAL OCCUPANCY + E

WATER CLOSETS
MALE AND FEMALE 50: OCCUPANCY LOAD OF: 79/50 = 1.58=2 WC LAVATORIES

MALE AND PEMALE | PER 50 OCCUPANCY LOAD: 79 / 50 = 1.56=2 SINK

DRINKING FOUNTAIN

I PER 100 OCCUPANCY LOAD: 79 / 100 =0.79= 1 DRINKING FOUNTAIN

PENETRATION NOTE

CONTRACTOR SHALL SEAL ALL PENETRATIONS THRU RECOMMENDATION FOR 1,2,3, \$ 4 HR. RATINGS.

OOCUPANCY STOUP "E"
INTERICR FINISHES SHALL MEET NIPA-101 TABLE A.10.2.2 ALL WORK TO BE
DONE SHALL MEET FLORIDA PIRE PREVENTION CODE 2015.

PARKING SPACES REQUIREMENTS

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 TO 25	I SPACES
FOR FLORIDA ACCESS FOR BUILDING CONST TABLE 208,2 PARKING	RUCTION 2012

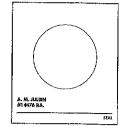
RCHITECTS VSPECTIONS ALUATIONS. 7550 1.w. 57th ave.Sulfe 208 304) 662 -1792 No. 14476 R.A. ARCHITECTURE + DESIGN

PROCESS # C2015 091167

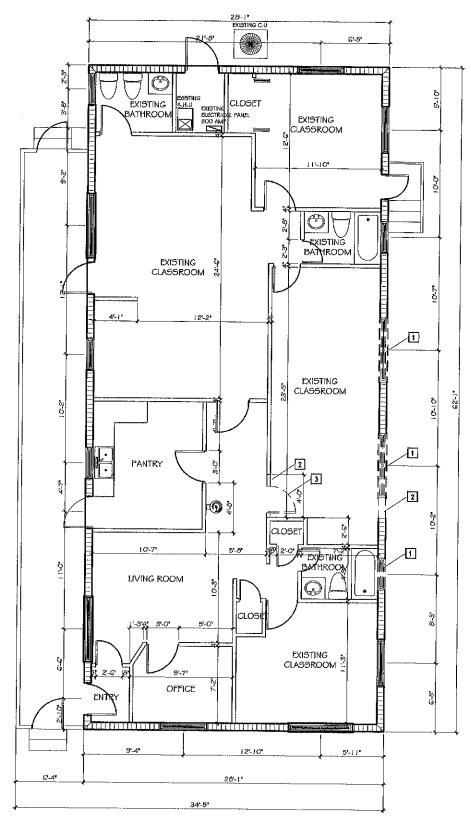
TINY TOTS ACADEMY ADDITION FOLIO Nº. 51-411-320-0020



These drawings and the designs here literarched are the cole property of Alfredo Aulien and party and be reproduced in who as he need without arrange property.



ZONING INFORM. SITE PLAN AS NOTE



DEMOLITION PLAN SCALE: 1/4"=1'-0"

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DEMOLITION PLAN LEGEND	LEGEND
1 EXISTING WINDOW TO BE REMOVED 2 EXISTING WALL TO BE REMOVED	EXISTING BLOCK WALL
3 EXISTING DOOR TO BE REWOVED	EXISITING DRYWALL WAI
SCOPE OF WORK	DEMOLISHED WALL
I-DEMCLISHED WINDOWS IN EXISTING CLASSROOM ROOM AND EXISTING BATHROOM. 2- DEMOUSHED DOOR IN EXISTING CLASSROOM. 3- DEMOUSHED EXTERIOR WALL IN EXISTING CLASSROOM.	

EXISTING CONDITIONS:

SITE PLAN

- EXISTING WORK NOT SPECIFIED FOR REMOVAL THAT IS TEMPORARLY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY REMOVAL WORK SHALL BE REPAIRED, PATCHED, OR REPLACED.
- INSPECT EXISTING CONDITIONS OF THE WORK, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR TO MOVEMENT DURING CUTTING AND PATCHING. AFTER UNCOVERING WORK, INSPECT CONDITIONS AFFECTING INSTALLATION OF PRODUCTS OR PERFORMANCE OF WORK.
- REPORT UNBATISFACTORY OR QUESTIONABLE CONDITIONS TO A/E IMMEDIATELY. DO NOT PROCEED WITH THE WORK
 UNTIL A/E HAS EVALUATED AND PROVIDED FURTHER INSTRUCTIONS.
- 4. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ENSURE STRUCTURAL INTEGRITY OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF THE WORK FROM DAMAGE. PROVIDE PROTECTION FROM ELEMENTS FOR PORTIONS OF THE WORK EXPOSED BY CUTTING AND PATCHING WORK. EXECUTE CUTTING AND DEMOLITION BY METHODS PREVENTING DAMAGE TO OTHER WORK AND PROVIDING PROPER SURFACES TO RECEIVE INSTALLATION OF NEW WORK.
- REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES: EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTIONS, TOLERANCES, AND FINISHES.
- EXISTING WORK MAY BE CUT, ALTERED, REMOVED, OR TEMPORARILY REMOVED AND REPLACED AS NECESSARY FOR THE PERFORMANCE OF WORK REQUIRED, EXCEPTION: UNLESS OTHERWISE INDICATED ON DRAWINGS, DO NOT CUT OR ALTER STRUCTURAL MEMBERS WITHOUT AUTHORIZATION BY THE ARE.
- 8. THE CONTRACTOR SHALL COVER OR FILL ALL HOLES AND OTHER HAZARDOUS OPENINGS CREATED BY REMOVAL
- RESTORE DAMAGED OR DEFACED AREAS OR ITEMS, REMAINING IN PLACE, OF WORK PERFORMED LINDER THIS
 CONTRACT TO COMPARABLE CONDITIONS EXISTING BEFORE THE WORK
- 10. ALL WORK SHALL COMPLY WITH THE NEW CODES FLORIDA BUILDING CODE, 2010 EDITION OF FDC INCLUDING THE FLORIDA EXISTING BUILDING CODE-FEBC, RESIDENTIAL NEW CODE AND ALL LOCAL ORDINANCES GOVERNING.
- 11. CONTRACTOR SHALL VERIFY A:L DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SAFETY RELATED O.S.H.A. REQUIREMENTS DURING CONSTRUCTION,
- 13. ALL WORK SHALL BE PERFORMED BY A LICENSED AND INSURED STATE CERTIFIED GENERAL CONTRACTOR OR BY THE OWNER IF APPROVED BY THE LOCAL BUILDING DEPARTMENT OFFICIAL.

DEMOLITION:

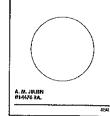
- 1. CREANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN.
- DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS COVERING THESE OPERATIONS. FEES SHALL BE PAID BY THE CONTRACTOR.
- DEMOUTION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT DEMOLITION SITE FROM BEING AN "ATRACTIVE NUISANCE".
- 4. PERFORM REMOVAL WORK INDICATED ON DRAWINGS IN AN ORDERLY MANNER ACCORDING TO ACCEPTED CONSTRUCTION, PROTECT WORK SPECIFIED TO REMAIN. PROTECT ADJACENT AREAS FROM DAMAGE OR UNDUE DIRT AND DUST. WET DOWN DEBRS OR RUBBISH, IF NECESSARY, TO MINIMIZE FLYING DUST.

 5. THESE DEMOUTION PLAN DRAWINGS WERE CREATED FROM EXISTING WORKING DRAWINGS AND ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO COCUR. VERIEV ALL CONDITIONS DEFORE PROCEEDING WITH THE DEMOUTION WORK IN ANY AREA. DEMOUTION OF DOORS, WINDOWS, FINISHES, PARTITIONS, OR ANY OTHER NONSTRUCTURAL FREMS MAY PROCEED AS INDICATED. WHERE DISCREPANCES INVOLVE STRUCTURAL THE ME PROPERIOR OF THE ARCHITECT AND SPACIES PLUCTURAS. INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.
- 6. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE PLAYS.
- 7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION TO FROTECT THE OWNERS PERSONNEL, OTHER TENANTS AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION
- 6. THE CONTRACTOR SHALL BUSINE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTRIUNG OCCUPATION OF ADJACENT OPERATIONS WITHIN THE STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED OF THE SELECTIVE DEMOLITION OF PARTITIONS, ELECTRICAL, AND MECHANICAL SYSTEMS. THE CONTRACTOR SHALL INFORM THE OWNER OF A MINIXUM OF 72 HOURS OF DEMOLITION ACTIVITIES THAT WILL AFFECT NORMAL OPERATION OF THE BUILDING.
- 9. THE CONTRACTOR SHALL REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.

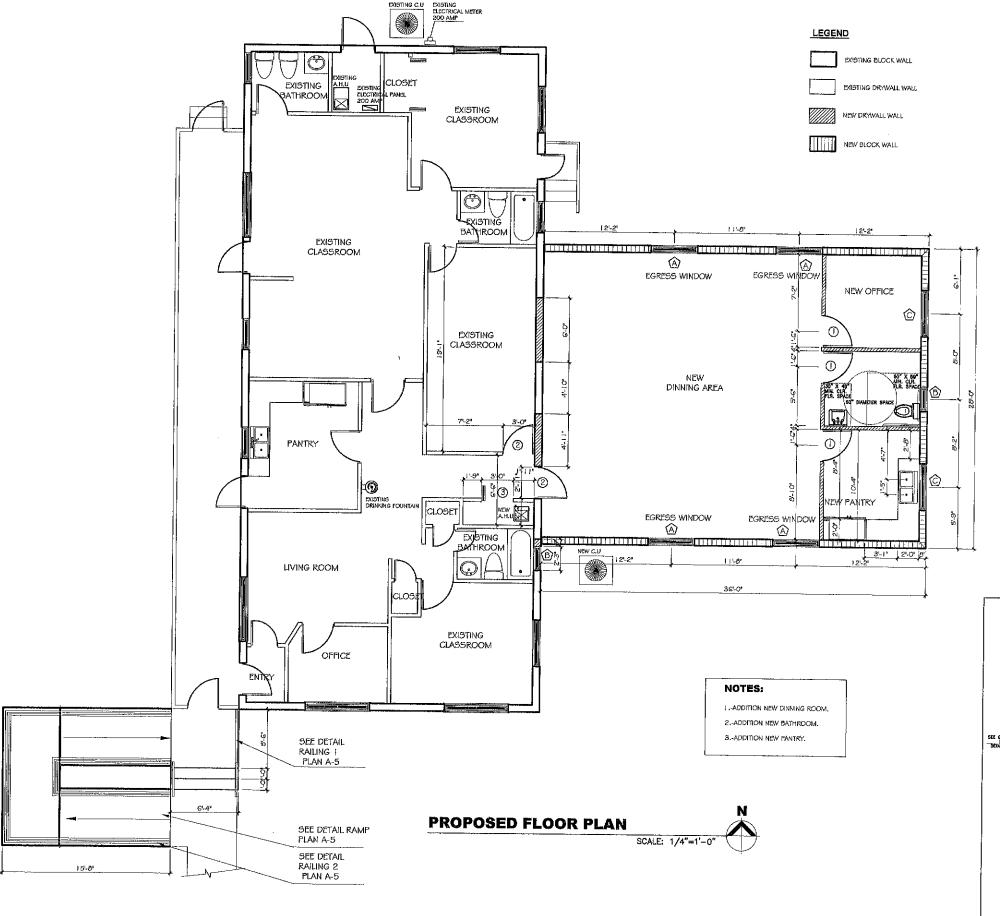
PROCESS # C2015 091167 ARCHITECTS INSPECTIONS VALUATIONS A. 7550 aw. 57th ave. Suite 208 Fl. 33143 f. (305) 662 -1792 f. akultan@embullan.com ARCHITECTURE + DESIGN

TINY TOTS ACADEMY ADDITION 6311 WASHINGTON STREET HOLLYWOOD, FLORIDA, 33024 FOLIO N. 51-411-320-0020

	RUCTION JMENTS
ISSUE PATE: 08/16	/16
PROJECT No.: 1602	28
DRAWN BYLIRA	
APPROVED BY: AM	L.
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DEMOLIT	ION PLAI
	BHEET TIME
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NOTES:

GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND MASONRY OFENINGS PRIOR TO CONSTRUCTION.

5) INTERIOR PARTITION OF 3 %'-5 %' METAL STUD @ 24" O.C. WITH ½" DRYWALL (SLEEK PINISH) ON BOTH SIDES, REFER TO FLOOR PLAN DIM./ LOCATION,

6) PROVIDE CONCRETE BACKING BOARD (DU-ROCK) ON WET WALLS.

7) BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.

8) CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE

9) SEPARATE PERMIT REQUIRED FOR ROOFING, WINDOWS AND DOORS.

LEGEND

EXISTING PARTITION WALL

NOTES:

-ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED
-THE CONSTRUCTION DOCUMENTS HAVE BEEN FREPARED IN COMPLIANCE
WITH THE FLORIDA BUILDING CODE 20 14, 5ta EDITION, INCLUDING THE
FLORIDA EXISTING FLORIDA BUILDING CODE.
-WALL AND CELLING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION
OF NOT GREATER THAN 200.

-Ingulation materials, including facings, such as vapor retarders or vapor permeable membranes installed within floor-ceiling assemblies, whal assemblies, roof-ceiling assemblies, crawl spaces and attics shall have a flame-spread index not to exceed 450 when tested in accordance with astm e 64

) PROVIDE METRO-DADE COUNTY PRODUCT CONTROL APPROVAL FOR ALL EXTERIOR WINDOWS AND DOORS,

4) ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATED W/ THE ENGINEER.

10) SEE ELEVATIONS FOR WIND PRESSURES ON EXTERIOR WINDOWS AND DOORS.

I F) FOR SECURITY ENTRY NOTES REFER TO BURGLARY NOTES SHEET A-3.

J 2) GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60 INCHES (1.5 M) ABOVE THE PLOOR OF THE TUB OR THE SHOWER.

3) SHOWERS AND SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.

14) PROVIDE PULL HEIGHT CERAMIC TILE PINISH IN ALL BATH AND SHOWER WALLS,

EXISTING C.M.U WALL

NEW 8" C.M.U WALL

NEW 6" PARTITION WALL

ZZZZZZZ NEW PARTITION WALL

CONSTRUCTION DOCUMENTS

631 I WASHINGTON STREET HOLLYWOOD, FLORIDA, 33024

PROCESS # C2015 091167

ARCHITECTS

INSPECTIONS ALUATIONS

License. No. 14476 R.A.

ADDITION

A. 7550 s.w. 57th ave. Sulta 208 Ft. 3314 T. (305) 662 -1792

ARCHITECTURE + DESIGN

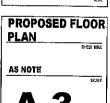
TINY TOTS ACADEMY

19\$UE DATE: 08/16/16

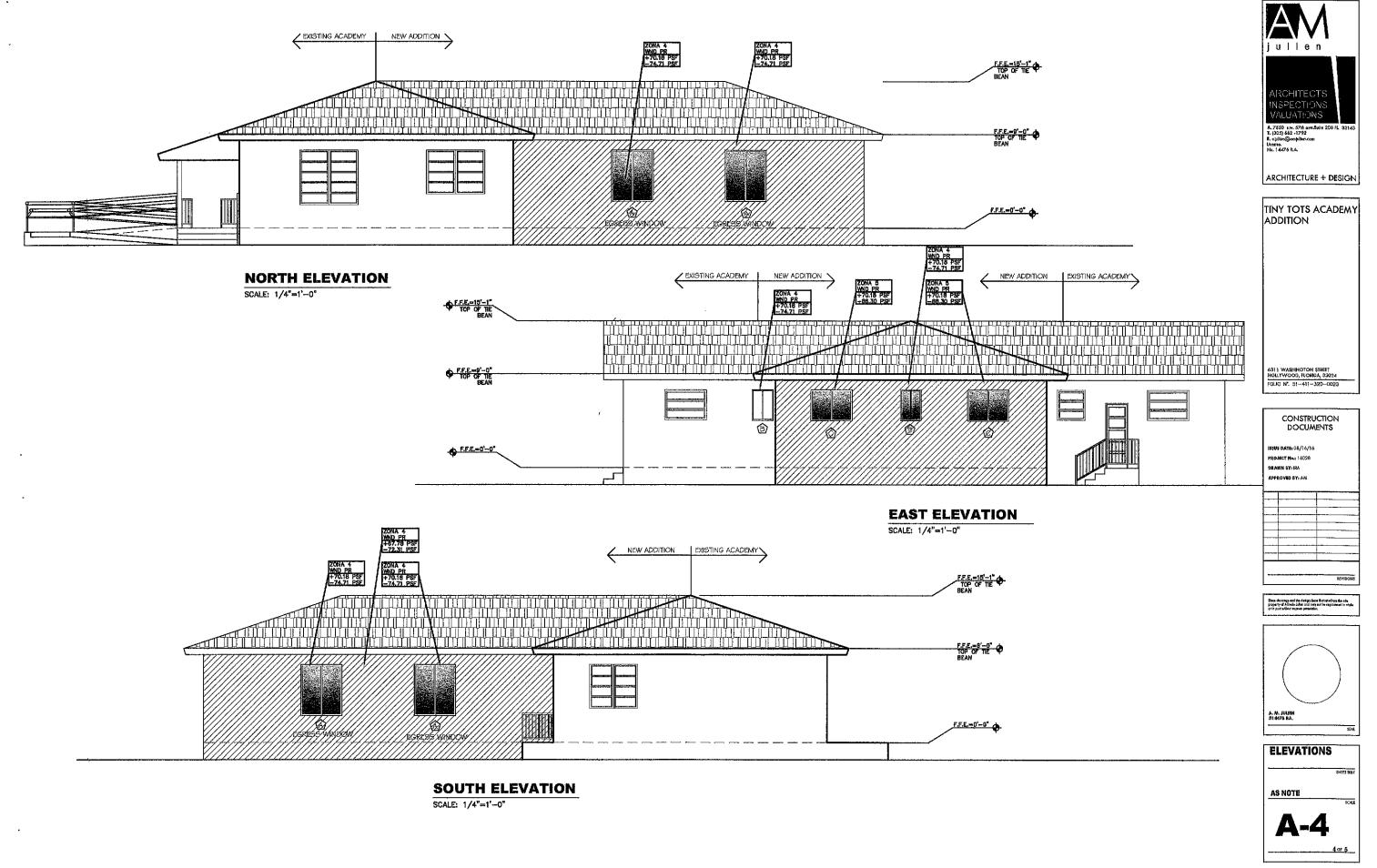
PROJECT No.1 16028

DRAWN BY: IRA PPROVED BY: AM

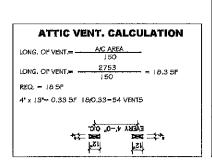
rene drawings and the designs bere illustrated are the safe openly of Allicedo Adlice and paymen be reproduced to what

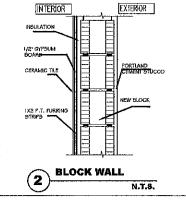


10'-4" RAMP DETAIL SECCION 2



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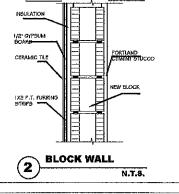
CEMENT BOARD

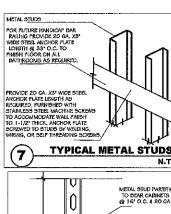
VARY THE MATERIALS (CMU OR PARTITION).

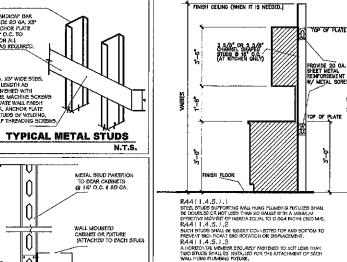
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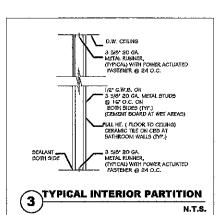
_PLASTIC SHOWER PAN

-Mortar, 5lope from 1° @ Perimeter to 0' @ Drain

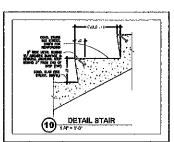






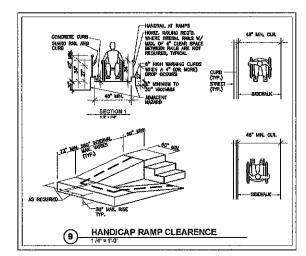


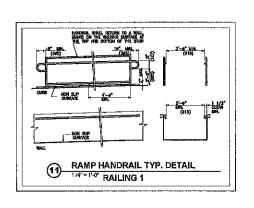




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ARIES C	N.T.S.
ANCHOR PLATE BACKING	
ANCHOR PLATE	. 41 02 42
BACKING	1 1-0 4
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REINFORCEMENT W/ METAL SCREWS	
6 TYPICAL PARTITION DETAIL	1 1 1 -01
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_	8 DETAIL NEW STAIR AND RAILING RAILING 2 scale:3 /8" = 1-0"
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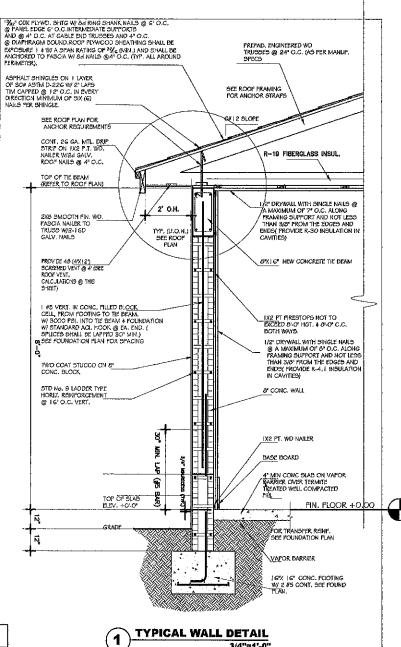
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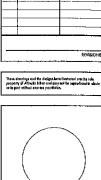
	DOOR SCHEDULE											
No.	No. SIZE		SIZE			МАТ	1AMB	THRSHLD	REMARKS	TYPF	U-FACTOR	SHGC
	W	Н	Т		5, 1, 15	TITIOTILLE	1121111111		D 77.010K	51100		
ı	3'-O'	G'-8"	1 3/4"	METAL.	METAL.		NEW EXTERIOR PRE HUNG DOOR N.O.A. FL12-1218.06					
2	6'-O"	6'-8"	1 3/4"	METAL.	METAL.		NEW INTERIOR PRE HUNG DOOR					
3	3 ^r -0"	6'-8"	1 3/4"	METAL.	METAL.		NEW BIFOLD DOOR					

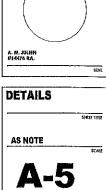
	WINDOW SCHEDULE										
No٠	S	IZE	TYPE	THRSHLD	REMARKS	U-VALUE	SHD-COEF				
	W	Н	1111	INLIMANING	U-VALUE	SHD-COLI					
A	53-1 <i> 8</i> " 50-5 <i> 8</i> "		NEW ALUMINUM HR 34 N.O.A.#14-0908.14 (SHGC)	ALUMINUM	NEW WINDOW	0,55	0.50				
В	26-1/2"	38-3/8"	NEW ALUMINUM HR № 33 N.O.A.#14-0908.14 (SHGC)	ALUMINUM	NEW WINDOW	O.55	0.50				
С	53-1/8º	38-3/8"	NEW ALUMINUM HR 33 N.O.A.#14-0908,14 (9HGC)	ALUMINUM	NEW WINDOW	0,55	0.50				



FINISH SCHEDULE				
ROOM	FLOOR	WALLS	CEILING	REMARKS
NEW CHILD CARE ROOM	CER. TILE	DRYWALL	DRYWALL	
NEW OFFICE	CER, TILE	DRYWALL	DRYWALL	
NEW BATHROOM	CER.TILE	TILE	DRYWALL	G'-O' HGT CER. TILE AROUND TUB
NEW PANTRY	CER.TILE	DRYWALL	DRYWALL	







GENERAL NOTES

1. THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATC. THE ARE NOT NITENDED TO BE SELECTED FOR ROUGHING-IN MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF.

2. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCT TO APPLY TO ANY SMIMAR STULATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT OFTAIL IS SHOWN.

3. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERY ALL GRADES, DIMES, LEVELS, CONDITIONS AND DIMEDIAGON IN THE DRAWNOS. LEVELS, CONDITIONS AND DIMEDIAGON OF HICKMESTERIOUS IN THE ABOVE TO THE ENGINEER DEFORE COMMENCIAN WORK. THE CONTRACTOR AND SUBCONTRACTORS SHALL LAYOUT THER WORK FROM ESTABLISHED REFERENCE POINTS AND SEE CONTRACTORS SHALL LAYOUT CHECKING AND HEAD AND REASUREMENTS IN CONNECTION WITH THEIR WORK.

ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.

4. PROTECTION

4. PROTECTION

5. PROTECTION

6. PRO

6. IF ANY ERRORS OR CHISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS THE CONTRACTOR SHALL MOTHET THE ENGINEER IN WRITING OF SUCH ORISSIONS OR ERRORS FROIC TO PROCEEDING WITH ANY WORK WHICH APPEARS IN CHESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH NOTICE, HE SHALL BE HELD REPORSIBLE FOR THE RESULT OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFINIOR THE SAME.

7. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWNINGS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWNINGS TO LOCATE DEPRESSED SLABS, SLOPES, DRAWNS, CUILETS, RECESSES, OPENIOS, REQLESS, BOLT SETTING SLEEVES, DIMERSIONS, ETC. POTENTIAL CONFLICTS SHALL SE TRANSMITTED TO THE A/E BEFORE PROCEEDING WITH THE WORK.

8. SUBMIT ONE SEPIA AND ONE PRINT OF SHOP DRAWINGS FOR ENGINEER'S REVIEW BEFORE STARTING FABRICATION.

3. NO SHOP DRAWINGS SHALL BE SUBMITTED FOR A/E REVIEW UNTIL AFTER THEY HAVE SEEN REVIEWED AND MOTED FOR CONSTRUCTION METHOD, DIMENSIONING AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR AND STANDED WITH IT. CONTRACTOR'S APPROVAL SEALL ENGINEER SIGNES ON PRESPACIONAL PROPERTY SEALL ENGINEER SIGNES ON PRESPACE OF CHECKNOME, AND REVERMING ANY SHOP DRAWINGS. ANY PERFORS OR CHISCHON AND THE DEPORTS OR CHISCHON MUST BE MADE GOOD BY CONTRACTOR, IRRESPECTIVE, OF RECEIPT, CHECKNOM OR REVIEW OF DRAWINGS BY ENGINEER AND EVEN THOUGH WORK IS DONE IN ACCURBOANCE WITH SUCH DRAWINGS.

10. VERRICATION OF PUSTING CONDITIONS: INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BULDING REQUIRES THAT CERTIAN ASSAURTIONS OF MADE REGARDING DESIGNATION OF THE PUBLIC OF THE WAY OF THE WA

11. THE REVIEW OF ALL STRUCTURAL SUBMITTALS BY THE STRUCTURAL ENGINEER OF RECORD SHALL BE TO INSURE THAT HIS INTENT HAS BEEN LINDERSTOOD AND THAT THE SPECIFIED CRITERIA HARE BEEN USED. A COPY OF ALL STRUCTURAL SUBMITTALS WILL BE RETAINED FOR RECORD REPRING PURPOSES ONLY.

13, WHERE A LINE OF STRUCTURE, OPENING LOCATION, OR DIMENSION IS CRITICAL AND BASED ON THE REQUIREDINGS OF ANOTHER TRADE OR SUBCONTRACTOR. THAT THE SUBCONTRACTOR AND ALL SUBULT A SHOP DRAWNED HE REGULARD OWNERSONAL HORSENGON UPON WHICH THE CONTRACTOR SHALL BAS THE LAYOUT AND CONSTRUCTION. THIS PROCEDURE IS MANDATORY FOR CORTAIN WALL SYSTEMS, ARCHITECTURAL PRECAST SYSTEMS AND ALL RECHARICAL AND ELECTRICAL OPENINGS.

TRUSS BRACING NOTES

1. TOP CHORD IS BRACED BY PROPERLY ATTACHED PLYWOOD SHEATHING.

THE BOTTOM CHORD SHALL BE BRACED WITH 2 x 4 40 10'-0" CENTER TO CENTER (RAT RUNS) ATTACHED WITH 2-164 INALS TO EACH TRUSS.
CELING FURRING STRIPS SHALL BE ATTACHED TO THE BOTTOM CHORD OF EVERY TRUSS.

3. TEMPORARY BRACING SHALL BE 1 x 4 "X" BRACING @ 12"-0" CENTER TO CENTER CROSSING A HIBMUN OF 4 TRUSSES EACH NAIL "X" BRACE TO ALL MEMBERS WITH 2-10d NAILS EACH.

4. PERMANENT DIAGONAL CHORD LATERAL BRACING SHALL BE MADE WITH 2 x 4 "T" BRACE FULL LENGTH NALED ● 4" CENTER TO CENTER WITH 18d NALED/F MEMBER EXCEEDS MAXIMUM LENGTH AS SPECIFIED BY TRUSS DESIGN ENGINEER SEE TRUSS SHOP DRAWINGS FOR REQUIRED LENGTHS,

S. DIAGONAL BRACING SHALL BE 2 x 4 "X" BRACE NAILED TO OPPOSITE SIDE WEB MEMBER AND REPEATED © 20"-0" INTERVALSATIACH WITH 2-164 NAILS © EACH END TO CHORDS AND TO SIDE OF WEBOR CONTINUOUS LATERAL BRACE.DIAGONAL BRACE MAY TRAVERSE MORE THAN 2 TRUSSES.DEPENDING ON TRUSS HEIGHT.

6. TERMINATE ALL BRACING INTO BLOCK WALLS WITH 2 \times 4 P.T. LEDGER ATTACHED TO WALL WITH 16d OUT NAILS AT 12" CENTER TO CENTER OTHERWISE ADD 2 \times 4 "1" BRACE TO LAST TRUSS EACH END, NAMED @ 6" CENTER TO CENTER STAGGERED.

ALL TEMPORARY, PERMANENT AND DIAGONAL BRACING AS DECRIBED ABOVE PLUS ANY
ADDITIONAL BRACING AS RECUIRED BY TRUSS DESIGNER ARE TO BE INSTALLED IN ACCORDANCE
WITH THE RECOMMENDATIONS OF TRUSS PLATE INSTITUTE.

ROOF SHEATHING

1. PLYWOOD ROOF SHEATHING SHALL HAVE A NET THICKNESS OF NOT LESS THAN 3/4" WHEN THE SPAN IS NOT MORE THAN 24", AND SHALL HAVE STAGGERED JOINTS CONTINUOUS OVER TWO OR MORE SPANS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

2. THE ALLOWABLE SPANS SHALL NOT EXCEED THOSE SET FORTH IN TABLE 28-D OF THE SOUTH FLORIDA BUILDING CODE, MRAMI-DADE COUNTY.

CONTRACTOR SHALL DEWATER SITE AS NECESSARY, SO THAT ALL CONCRETE CAN BE PLACED IN THE DRY. ALL BACKFILL SHALL BE ACCOMPLISHED USING MATERIAL, CONSISTING OF CRUSHED STONE, AMD/OR MATERIAL, APPROVED BY THE GEOTECHNICAL ENGINEER. THE BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMAL DENSITY AS DETURNABLE BY ASSITO THE DRY ALL BE CONFIDENTIAL SHALL BE FLACED ACQUIST WALLS MELON DON NOT HAVE PERMANENT FLOORS AT THE TOP AND BOTTOM MITHOUT PROVISIONS TON ADEQUATE TEMPORARY BRACING OF THOSE WALLS. PROVIDE ACCOUNT EXCHAINTAIN ADMINISTRATION OF THE MATERIAL SHALL BE PLACED ACQUIST SHALL SHALL BE ACCOUNTED.

CONCRETE:

1. CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"

2. ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING". PROJUCTION OF CONCRETE, DELIVENING, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING"

3. NO ADMIXTURES PERMITTED WITHOUT THE REVIEW OF THE ENGINEER.

4. FOR ALL CONCRETE TO BE PLACED IN SLABS (INCLUDING SLABS ON GRADE), THE SLUMP SHALL NOT EXCRED 4". NO WAIVERS OF THIS REQUIREMENT SHALL BE CONSIDERED. SLUMP OF OTHER CONCRETE SHALL NOT EXCRED 5".

5. ALL CONCRETE TO BE REGULAR WEIGHT WITH A DESIGN STRENGTH OF 3000 P.S.I. AT 28 DAYS (MINMUM 5 BAGS OF CEMENT IN EACH CU. YO. OF CONCRETE) UNLESS OTHERWISE NOTED.

B. CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL. CONTRACTOR SHALL DESIGN AND DEECT FORMWORK IN STRICT COMPLANCE WITH ACI 347. CONTRACTOR SHALL COGENIANTE ALL OPPINIOS AS REQUIRED FOR OTHER TRADES. OPENINIS WHERE SHOWN OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE TRADE REQUIRING THE OPENING AND PROVIDE CAMPERS AT ALL CORNERS IN CONCRETE WELFERS EXPOSED TO MEW. FORWARDS FOR EACH IN THE PROPERTY OF THE

7. PLACING OF CONCRETE IN ALL REINFORCED COLUMNS AND WALLS SHALL BE IN EQUAL JUFTS NOT EXCEEDING 7'-6" IN HIGHAT. CONCRETE SHALL BE PLACED THROUGH FLEEPHANT THANK" TUBULAK CHUTES LOCATED SUCH THAT THE FREE AIR DROP OF THE MIX DOES NOT EXCEED ONE FOOT.

8. SPECIFIED EXPANSION BOLTS SHALL BE OF THE SIZE INDICATED AND OF THE MAXIMUM EMBEDMENT LENGTH INTO THE CONCRETE. EXPANSION BOLTS AND ACCESSORES SHALL BE STANLESS STEEL DEEP MEDGE TYPE. LEAD SHELDS ARE NOT ACCEPTABLE. EXPANSION BOLTS ALL NOT BE SUBSTITUTED FOR SPECIFIED ANCHOR BOLTS WITHOUT THE

REINFORCING STEEL (SHOP DRAWING REQUIRED)

1. TO BE NEW BILLET STEEL CONFORMING TO THE LATEST A.S.T.M. A015 GRADE GO SPECIFICATIONS, FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF THE C.R.S.I. AND PLACED IN ACCORDANCE WITH A.C.I. 315 AND A.C.I. MANUAL OF STANDARD PRACTICE.

CCLUMN REINFORCEMENT: DOWELS TO BE SAME SIZE AND NUMBER AS VERTICALS
ABOVE. LAP 36 BAR DIAMETER OR MINIMUM OF 18" U.O.N. PROVIDE RIGIO TEMPLETS FOR
DOWEL LOCATION. PROVIDE STANDARD HOOKS FOR ALL VERTICAL REINFORCEMENT AT
NON-CONTINUOUS COLUMNS (U.O.N.).

3. ALL DOWELS FOR COLUMNS AND WALLS TO BE SECURED IN POSITION PRIOR TO CONCRETING, DRILLING OR PUSHING THE DOWELS INTO POSITION IN NET CONCRETE IS NOT PERMITTED.

4. CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWNISS: FDOTANGS 3", COLI 1-1/2" TO TIES, BEAMS 1-1/2" TO STIRRUPS, INTERIOR SLABS 3/4", EXPOSED SLABS 1-1/2", LABS ON GRADE 1-1/2", MEASURED FORM TOP OF SLAB.

5. SLAE AND BEAM REINFORCEMENT: PLACED IN ACCORDANCE WITH REINFORCING DIAGRAMS, LAPPED 36 BAR CHAMETER OR MINIMUM 18*, GOTTOM BARS SPUCCED ONLY AT MID-SAN. ALL TOP BARS SPUCCED ONLY AT MID-SAN. ALL TOP BARS HOUGH ONLY AT NON-CONTINUOUS EDGES (U.C.O.L.). ALL HOOKS TO BE STANDARD 30 DESIREE OR 160 DEGREE HOKES AS REQUIRED (U.C.O.L.)

ADDEO REINFORCEMENT: PROVIDE ADDITIONAL CORNER BARS BENT 30" MAINLAM EACH WAY AT CORNERS IN OUTER FACES OF ALL BEAMS TO MATCH ALL HORIZONTAL BARS. ALL TIE BEAMS SHALL HAVE MINIMUM FOUR #3 TIES @ 12" O.C. AT CORNERS, AT EACH BEND AND AT 48" O.C. ELECHMERE.

REINFORCEMENT SHOWN ON PLANS IS BOTTOM UNLESS MARKED "T" (TOP BARS). B. THE CONTRACTOR SHALL INFORM THE REBAR DETAILER OF HIS PROPOSED REBAR SUPPORT METHOD AND CONSTRUCTION SEQUENCES. ALL SUPPORT ITEMS AND SPLICES REQUIRED SHALL BE SO DETAILED AND PROVIDED.

SOIL STATEMENT:

SOIL OBSERVED TO BE SAND AND ROCK WITH BEARING CAPACITY OF 2000 PSF.

1. AT THE TIME OF CONSTRUCTION, A LICENSED ARCHTECT OR REGISTRED PROFESSIONAL ENGINEER SHALL SUBJUIT TO THE SHULDING OFFICIAL A LISTER ATTESTING THAT THE SITE HAS BEEN GISSERVED AND THE FOUNDATION CONDITIONS ARE SHALLAR TO THOSE UPON WHICH AND THE FOUNDATION CONDITIONS ARE SHALLAR TO THOSE UPON WHICH THE DESIGNED IS BASED, THE LETTER SHALL BE SIGNED AND SEAL.

2. THE IMPRESS SEAL OF THE ARCHITECT OR ENGINEER, AS APPLICABLE.

3. SPECIAL INSPECTORS, RETAINED BY THE OWNER, SHALL INSPECT AND SUPERVISE THE COMPACTION AND THE FOUNDATION.

AND SUPERVISE THE COMPACTION AND THE FOUNDATION.

4. SPECIAL INSPECTION INSPECTION OF THE REMPORCED UNIT MASONEY PHASE OF THIS PROJECT IS REQUIRED. SUCH INSPECTION SHALL COMPONE THE PROJECT IS REQUIRED. SUCH INSPECTION OF THE PROPERTY AND THE PROPERTY OF THE EMPORTION AGENCY OF UNDER THE SUPERVISION OF A FUNDAM REGISTERED PROFESSIONAL ENGINEER BY THE CONTRACTION TO SET UP A SCHEDULE OF INSPECTION PROOF TO SET UP A SCHEDULE OF MISPECTION PROFINED TO SETAL OF CONSTRUCTION, THE COST OF SICH INSPECTION PROFINED TO SETAL OF CONSTRUCTION, THE COST OF SICH INSPECTION FOR OTHER THAN THE EMPORCING AGENCY, SHALL BE PAID FOR BY THE OWNER.

TERMITES TREATMENT CERTIFICATION NOTE:

ESCION 1816
TERMITE PROTECTION.
1816.1 TERMITE PROTECTION.
1816.1 TERMITE PROTECTION.
TERMITE PROTECTION. SHALL BE PROVIDED BY REGISTERED
TERMITEDES, INCLUDING SOIL APPLIED PESTICIDES, BARTHAN SYSTEMS.
AND PESTICIDES, INCLUDING SOIL APPLIED PESTICIDES, BARTHAN SYSTEMS.
AND PESTICIDES, INCLUDING SOIL APPLIED TO THE APPLIED ON METHODS OF THE APPLIED ON THE TERMITE PROTECTIVE THE APPLIED ON THIS DISCUSSION SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE TOLD UNION STATEMENT.
THE BUILDING HAS RECEIVED A COMPANY THAT CHARACTURE THE THE CONTROL COMPANY THAT SHALL BE SOIL AND SET THE APPLIED OF THE PROPERTY OF

STRUCTURAL AND MISCELLANEOUS STEEL:

ALL STRUCTURAL STEEL TO SE DOMESTIC ASTM A-36 (Fy=36 K.S.I.) AND DESIGNED IN ACCORDANCE WITH THE LATEST ALS.C. "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS; AND THE ALS.C. CODE OF STANDARD PRACTICE.

2. HIGH STRENGTH BOLTS (ASTM-A325) TO BE 3/4" DIAMETER, UNLESS OTHERWISE SPECIFIED. PROVIDE MATCHING H.S. NUTS AND WASHERS.

3. ALL WELDING TO BE IN ACCORDANCE WITH AMERICAM WELDING SCCIETY (AWS)
"STRUCTURAL WELDING CODE — STEEL", DIT, AND AS INDICATED IT HE STRUCTURAL
DRAWMINGS. WELDING ELECTRODES, WELDING PROCESS, WINHING PROMESS AND INTERPASS
TEMPERATURES TO BE IN ACCORDANCE WITH THE AWS SPECIFICATIONS. ANY STRUCTURAL
STEEL DAMAGED IN WELDING TO BE REPLACED OR ACCEPTABLY REINFORCED, ALL FULL
PENIETRATION GROOVE WELDS TO BE SUBJECT TO RADOGRAPHIC, MAGNETIC PARTICLE,
ULTRASSING, AND LIQUID PENIETRAMIT INSPECIOUS CONDUCTED BY AN INDEPENDENT TESTING
AGENCY PAID BY THE OWNER. RUSTPROOF ALL FIELD WELDS WITH HEAVY DUTY
RUSTPROCPINE PAINT.

4. SPLICE LOCATIONS TO BE APPROVED BY ENGINEER.

5. SHOP COAT ALL STRUCTURAL STEEL WITH RUSTOLEM "769" RED PRIMER OR APPROVED EQUAL (U.O.N.)

G. SUBJECT ONE SEPIA AND ONE PRINT OF SHOP DRAWINGS FOR ENGINEER'S REVIEW BEFORE STARTING FABRICATION.

MASONRY WALLS AND PARTITIONS:

(SHOP DRAWINGS FOR REINFORCING REQUIRED) ALL MASONEY CONSTRUCTION TO BE ACCORDANCE WITH "SPECIFICATION FOR MASONEY STRUCTURES", ACI SOJI—88 AND ALL APPLICABLE LOCAL BUILDING CODE PROVISIONS. ALL MASONEY WALLS TO SE CONSTRUCTED ENTRELY OF LINITS CONFORMING TO ASTIN C-80 AND REPROCEDED WITH #8 GACE LADDER THRE HORIZONTAL MASONEY REPROFERED LOCATED AT 16" OC. ALL MASONEY TO BE LADD IN THRE "W MARTIAR (2007 PSI ON THE JOD) WITH FULL, HEAD AND BED JOINTS. ALL MASONEY CONSTRUCTION TO BE BOUND BY THE BEZMA MOST TRE COLUMN.

2. BLOCK CELLS AT WALL ENDS, CORNERS, INTERSECTIONS AND ADJACENT TO ALL CPENNES SHALL BE FILED WITH GROUT AND REINFORCED WITH MINIMUM ON #5 REINFORCING BAR VERTICAL. DOWELS SHALL BE USED TO PROVIDE CONTINUITY INTO THE STRUCTURE AND/OR BELOOK.

3. CONCRETE MASONRY UNITS (BLOCK) SHALL COMPLY WITH THE PROVISIONS OF THE STANDARD SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY, NOAM TR-78B OR AND STONEY.

HOLLOW BLOCK SHALL COMPLY TO ASTM C-90, TYPE 8, GRADE N-81, SOLID BLOCK SHALL COMPLY WITH ASTM C-145, TYPE 8, GRADE N8 AND USED ONLY WHERE PERMITTED BY ARCHITECT.

5. MORTAR SHALL COMPLY WITH ASTM C-279, TYPE M, WITH A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2500 PSI.

7. UNLESS OTHERWISE DETALED ON PLANS PROVIDE MINIMUM TE BEAMS 8"x12" REINFORCED WITH 265 TOP AND BOTTOM WITH FOUR 35 TIES © 12" OC. AT CORNERS, AT EACH BEND AND AT 48" O.C. ELEMENTER FOR 8" MASONITY PARTITIONS AND 4"x12" WITH 164 TOP AND BOTTOM FOR 4" MASONITY PARTITIONS, WHERE INDICATED OR REQUIRED. REINFORCING TO COMPLY WITH REINFORCING TEEL MOTES NO. 1, 3, 4, 5 AND 6.

B. UNLESS OTHERWISE DETAILED ON PLANS, PROVIDE MINIMUM B"x12" CONCRETE THE COLLAINS RENFORCED WITH 445 VERTICAL AND 43 TIES AT 8" O.C. DOWEL INTO STRUCTURE ABOVE AND BELOW AS DETAILED AND REQUIRED. THE CONCRETE SHALL BE PLACED IN THE MASONRY TOWN BEAUS AND COLUMNS AFTER MASONRY IS IN PLACE.

REINFORCED MASONRY LOAD BEARING

1LAY UP ALL 8" MASONRY UNITS PRIOR TO CONSTRUCTION OF THE SUPPORTED MEMBERS FOR THE SAME STORY. USE TYPE M MORTAR IN BEARING WALLS. LAY UP UNITS IN RUNNING BOHD,

CONSTRUCTION REMFORCED MASCHRY IN ACCORDANCE WITH ACI 534, BUILDING CODE REQUIREMENTS FOR CONCRETE MASCHRY STRUCTURES: AND OR "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASCHRY" N.C.M.A.

3. USE CONCRETE MASONRY UNITS CONFORMING TO ASTM COO GRADE N/I EXCEPT THE MAIN, COMPRESSIVE STRENGTH OF ANY UNIT IS 1900 PSI AND THE AVERAGE OF THREE UNITS IS 1500 PSI, USE ONLY MASONRY UNITS THAT ARE A MIN, OF SOX SOUD.

4. TEST ONE SET OF MASONRY UNITS IN ADVANCE OF BEGINNING OPERATIONS AND ONE SET DURING CONSTRUCTION FOR EACH 3000 SQ/FT. OF WALL AREA. SAMPLE FROM ACTUAL FIELD UNITS.

S.USE TYPE "M" MORTAR IN ACCORDANCE WITH ASTM C270. USE 3/8"
FULL BEDDED JOINTS FOR ALL MASONRY UNITS. REMOVE MORTAR
PROTUDEING RITO CELL CAVITES THAT ARE TO BE REMOVED COMPAND GROUTED. ALLOW A MIN. OF 24 HOURS FOR MORTAR.

6. USE 3000 PSI PUMP MIX READY MIX GROUT MADE WITH MAX. 3/6" AGGREGATE AND MAX. 9" SLUMP TEST SAMPLES FOR COMPRESSIVE STRENGTH TEST EVERY 30 YEARS OR EACH DAYS GROUTING.

7. USE HEAVY DUTY TYPE MASONRY REINFORCING IN EVERY OTHER COURSE. USE PREFABRICATED CORNERS AND TEES AT WALL INTERSECTIONS. OVERLAP DISSCONTINUOUS ENDS A MAIN OF 12" HORIZONTAL REINFORCING SHALL CONFERN TO ASTM A/82.

8. USE 3 GROUTED CELLS WITH #5 VERTICALS AT WALL INTERSECTIONS. EACH SIDE OF OPENINGS IN THE WALL AND AT THE ENDS OF WALLS . USE 1 #5 IN FALLED CELL, LCOR.

8.USE BAR SPACERS IN EVERY 6th COURSE WHERE CELLS ARE TO SE GROUTED.

O. PROVIDE CLEAN OUT CPENINGS FOR EACH GROUTED CELL. 11.USE ASTM A 815 GRADE BO REINFORCING STEEL

12. IN HIGH LIFT GROUTING USE A MAX. LIFT OF 5'-0" MIN. 1/2 HOUR AND MAX 1 HOUR BETWEEN LIFTS, WIBRATE EACH LIFT AND RECONSOLIDATE PREWOUS LIFT AFTER PLACING NEXT LIFT.

13. REINFORCING MASONRY WALL CONSTRUCTION SHALL BE INSPECTED BY AN ENGINEER OR ARCHITECT IN ACCORDANCE WITH ACI 531.

14, WHERE ANCHOR BOLTS ARE SET IN MASONRY WALL, FILL BLOCK CELLS WITH GROUT FOR BOLTED COURSE, ONE COURSE ABOVE AND TWO COURSES BLOW ANCHOR ELEVATION.

15.USE PRESSURE TREATED WOOD IN CONTACT WITH MASONRY. 16, PROVIDE POURED IN PLACE LINTELS OR HEADERS OVER ALL, MASONRY OPENINGS NOT FLUSH WITH STRUCTURAL FRAME.

7. HORIZONTAL REINFORCEMENT WHEN SPECIFIED ON PLANS SHALL BE EXTENDED MIN. 3" INTO STEEL COLLINI, CONCRETE DECASEMENT COLLINIS OR CONCRETE COLLINIS SHALL CAST WITH HORIMANN AND BARRIATO, NO. 3" 303 CORRUGATED DOVE TAIL ANCHOR W/ \$305 DOVE TAIL SLOY (OR COLLIA).

18. FOR WALL REINFORCEMENT, SEE PLANS.

STRUCTURAL NOTES

SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. SLABS ON FILL 2,000PSI.
MAXIMUM SIZE OF AGGREGATES: 3/4"

MAXIMUM PERMISSIBLE SLUMP: 5"

REINFORGING STEEL:

SHALL CONFORM TO A.S.T.M. A-815 GRADE 60, REINFORCING STEEL SHALL BE DETALED AND FABRIGATED ACCORDING WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES." LAP CONTINUOUS REINF. 30 BAR DIA. N BEAMS, 30 DA. IN SLABS. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDEPAM. HODK ALL DISCONTINUOUS TOP REINFORCE TURN ALL CONTINUOUS TOP REINFORCE TURN ALL CONTINUOUS TOP REINFORCE CUERA COVER FOR REINFORCH SHALL BE:

MINIMUM COVER	TOLERANCE +QR
3"	3/8"
1 1/2"	3/8"
2"	3/8"
1"	1/6*
3/4"	1/8"
	3/8"
1 1/2"	1/4"
	3" 1 1/2" 2" 1"

SHALL BE FLACED ON CLEAN, NON ORGANIC SOIL THROUGHLY MOISTENED HAMEDATALY BEFORE CONCRETE IS POURED. SLASS ON FILL SHALL EB POURED IN A CHECKERBOARD SEQUENCE, EACH FRACHERSHET OF WHICH IS NOT TO EXCEED A MADMANM AREA OF 625 SQ. FT. OR 30 LINEAR FT. IN ANY ONE DIRECTION.

1- PROVIDE POLYETHELENE MEMBRANE FOR ALL SLABS ON GRADE. (.006 IN. VISQUEEN.)
2- SLABS ON GRADE TO HAVE 1/2* EXPANSION JOINT MATERIAL ARGUNG COLUMINS AND
BLOCK WALLS.
3- ALL MASONRY WALLS ARE DESIGNED AS BEARING WALLS UNLESS OTHERWISE NOTED
ON SLABS, AND SHALL BE IN PLACE BEFORE SLABS AND TE COLUMNS ARE POURED.

1- LLARGER USED FOR JOISTS, RAPTERS, COLLARIS, BEAMS, AND/OR OTHER STRUCTURAL MEMBERS SHALL BE OF A STRESS GRADE NOT LESS THAN 1,200 PSI, NORMAN, RIBER STRESS IN BENDING (F), TRUSSES SHALL BE OF A STRESS GRADE NOT LESS THAN 826 PSI, NORMAL EXTENDE WALLS SHALL BE OF A STRESS OR STRESS IN BENDING (F) STUDS SHALL HAVE AN INSUPPORTED LENGTH OF NOT MORE THAN 10 FEET.

3- LUMBER USED FOR STUDS IN HEREOF NORMAL BLAND AND FEET.

4- STUDS SHALL NOT BE LESS THAN 2" x 4" WHERE EXCEEDING 14 FT., IN HEIGHT DETWEEN POINTS OF A LETTER STRESS OR BENDING (F).

AND A ROOF, STUDS SHALL NOT BE LESS THAN 2" x 4" WHERE SUPPORTED STRESS OR S

BUILDING CODES:

1-FLORIDA BUILDING CODE 2014 (HIGH VELOCITY HURRICANE ZONE SECTIONS). BUILDING CODE

2-AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE ACI 3-AMERICAN FOREST AND PAPER ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", 4-AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR MASCHRY STRUCTURAES" ACI 530-07 ("ACI 530").

TYPE OF MATERIAL FOR FIELD AND SOIL:

CLEAN MIXTURE OF SAND LIME ROCK FILL IN COMPACTED LAYERS NOT TO EXCEED 12" IN THICKHESS.COMPACT EACH LAYER TO A INNIMINAL OF 95% OF THE OPTIMUM DRY DEWISTY AS PER AASHTO 1180.

DL =	ROOF = 35.	(INCLUDE SE	LF WT)		Ա =	ROOF	- 20) PSF					
		(B	WIND LOA ASED ON ASCE			ATION -10 F		0 }					
2. WNC 3. WNE 4. INTE		CTOR (I) = EFF. (GCpI) = (+ (o) =	175 k ()=1.0) "C" /-0.18 9'-0	4.5'								
M.OPE	() COMPO		CLADDING	WIND	PRES			(· II	PSF)) 	OVERH		
AREA	T	WALLS	(-)	-		ROC F I						(-)	
	P (+) ZONES 4 & 5	ZONES 4	ZONES 5	ZG	NE 1		E 2	ZON	E 3	ZONE	1 & 2	ZON	3 Her
(n-)			-73	-50	~40	-106	-96	-106	-96	-110	-100	-180	171
10	55	-59	-/3	1 00	1								
	55 52	-59 -57	-6B	-49	-39	-96	86	-96	-86				
10				-	-39 -37	-96 -83	86 73	-95 -83	-86 -73				

PROCESS # C2015 091167

julien

ARCHITECTS

INSPECTIONS

VALUATIONS

A. 7550 s.w. 57th ave. Suite 208 N. 33143 Y. (305) 662 - 1792 E. ajullen@ampillen.com konse. Ło. 1447ó R.A.

ARCHITECTURE + DESIGN

TINY TOTS ACADEMY ADDITION

CONSTRUCTION DOCUMENTS:

FOLIO N. 51-411-320-0020

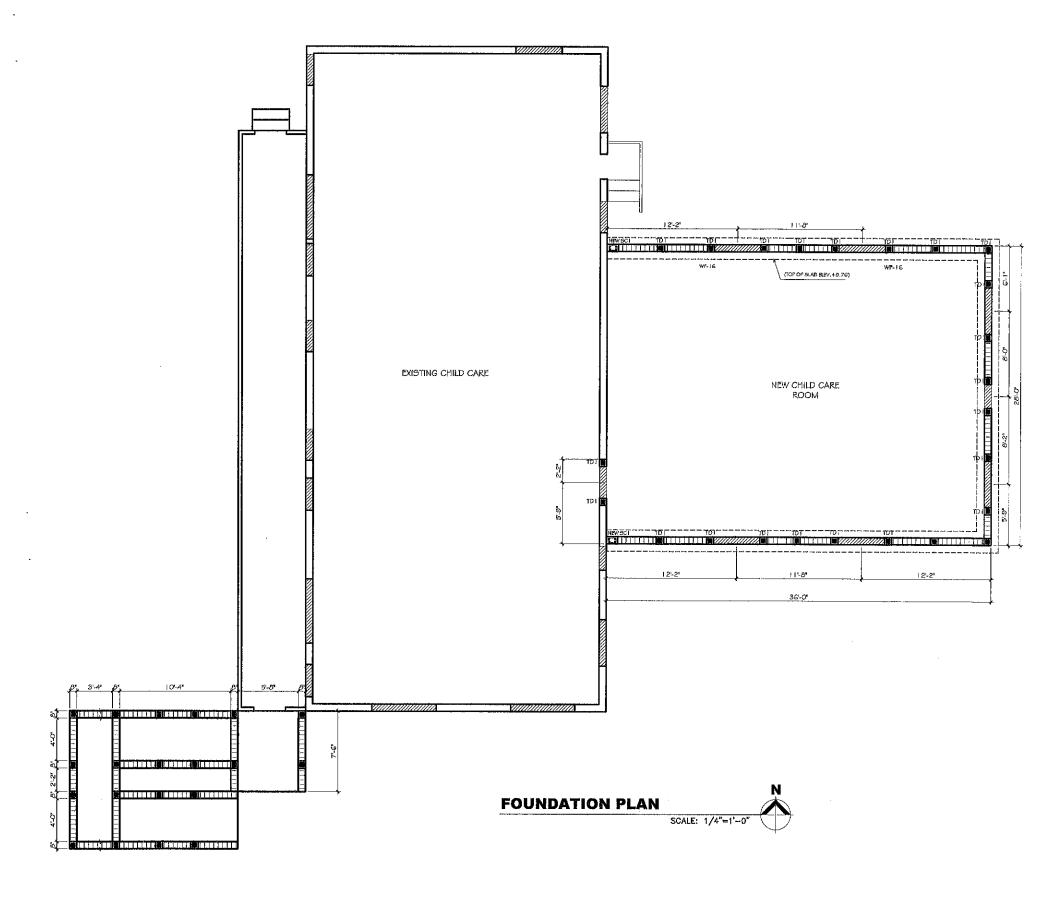
ISSUE DATE: 08/16/16 PROJECT No.: 16028 DRAWN BY: IRA

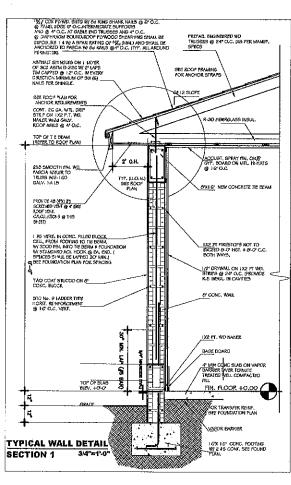
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STRUCTURAL PLAN AS NOTE **S-1**





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ARCHITECTURE + DESIGN

TINY TOTS ACADEMY ADDITION

6311 WASHINGTON STREET HOLLYWOOD, FLORIDA, 33024
FOLIO N°. 51–411–320–0020



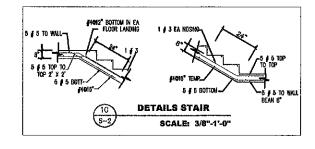
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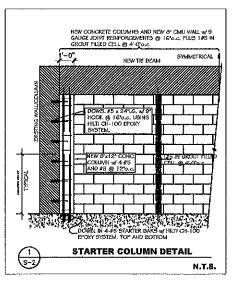


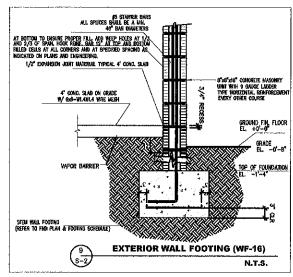
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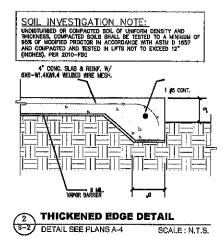
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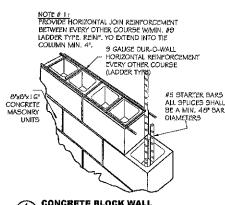
		F	OOTING SCHEDULE		
MARK SIZE I		REINFORCE	NG		
	THICKNESS	TRANSVERSE	LONGITUDINAL	REWARKS	
SC-1	8"X12"		4 /5 VERT. BARS BARS / 3 Ves 0 B O.C	•	NEW CONCRETE STARTER COLUMN
WF-16	16"XI6"		2 #5 LW.		16"X16" CONC. CONT. FTC. W/2 45 REINF. BARS CONT. PROVIDE 245 X 5"-0" CORNERS BARS BENT 30-IN EACH WAY AT CORNERS
TO 🔳	8"X8"		1 #5 CONT.		1 #5 REINF, BAR VERT, IN CONCRETE BLOCK CELL GROUTED @ 4" MAX. (TYP)

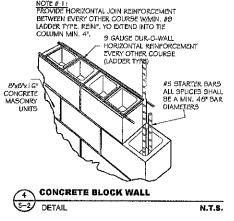


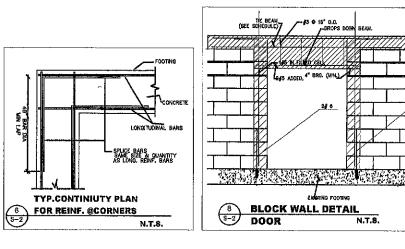


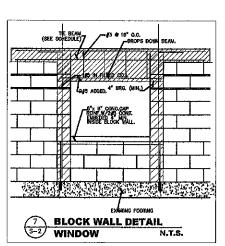


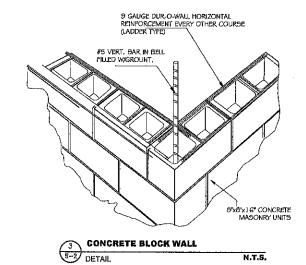


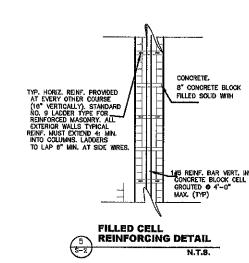


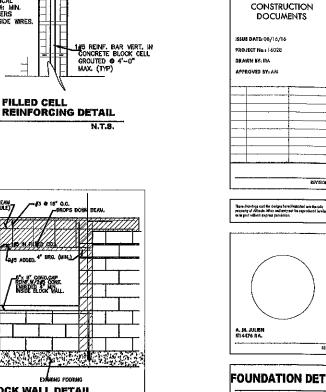


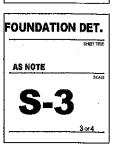












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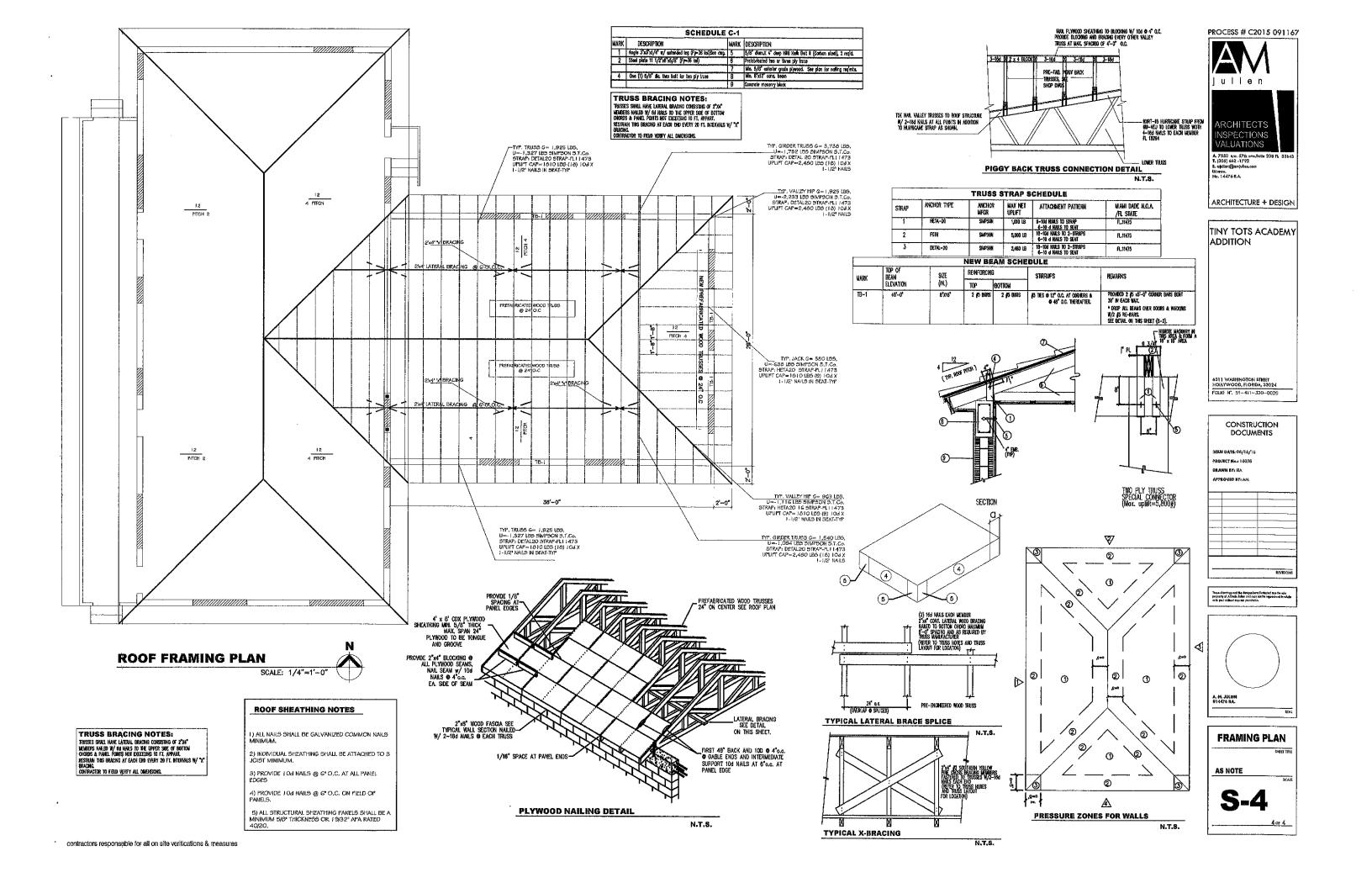
ARCHITECTURE + DESIGN

TINY TOTS ACADEMY

6311 WASHINGTON STREET HOLLYWOOD, FLORIDA, 33024

OLIO N. 51-411-320-0020

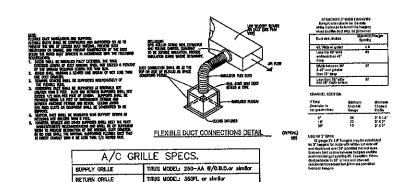
ADDITION

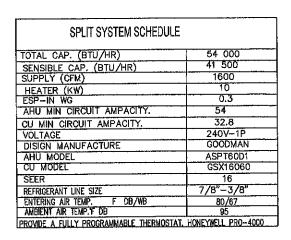


H.V.A.C. GENERAL NOTES:

- THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, PERMITS, FEES INSPECTIONS, TESTS, INSURANCE, ETC. REQUIRED FOR THE COMPLETION OF THE AIR CONDITIONING SYSTEM SHOWN ON THE GS AND/ OR LISTED BELOW.
- VENTILATION DUCTWORK SHALL BE GALVANIZED STEEL WITH 30 GAUGES, DUCT CONSTRUCTION, BRACING AND SUSPENSION IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE LATEST EDITION OF THE A.S.H.R.A.E. GUIDE AND S.M.A.C.N.A. STANDARDS. DUCT SIZES SHOWN ARE "INSIDE" DIMENSIONS. VERRY EXACT LOCATION OF DUCT WITH RESPECT TO STRUCTURE BEFORE FABRICATION.
- FLEXIBLE DUCT SHALL BE STEEL HELIX WIRE ON 7/8" CENTERS, ENCAPSULATED IN A CONTINUOUS SOFT VINYL FILM, JOINED BY MOLECULAR WELDING TO FORM AN AIR TIGHT INNER CORE, THE CORE IS TO BE INSULATED WITH FIBERGLASS INSULATION (R-8), AND SHEATHED IN A REINFORCED, ALUMINUM METALIZED POLYESTER VAPOR BARRIER JACKET.
- AR CONDITIONING SUPPLY AND RETURN DUCTWORK RUNNING IN ATTIC SPACE SHALL BE 1-1/2" (R-6 MIN.) FIBERCLASS U.L. 181 LISTED, CLASS 1 AIR DUCT. DUCTWORK SHALL BE FABRICATED IN ACCORDANCE WITH SM.A.C.M.A. STANDARDS. DUCTWORK SHALL BE FACED ON ONE SIDE WITH A FIRE-RESISTANT FOR-SCRIM-KRAFT (FSK) VAPOR RETARDER, AND ITS AIRSTREAM SURFACE SHALL BE FACED WITH A TIGHTLY BONDED NON-WOVEN MAT. AIRSTREAM SURFACE SHALL BE FACED WITH AN EPA-REGISTERED ANTI-MICROBIAL AGENT TO AID IN THE PREVENTION OF FUNGAL AND BACTERIAL GROWTH.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION AND IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- SUBMIT SHOP DRAWING OF ALL MATERIALS AND EQUIPMENT FOR APPROVAL PRIOR TO FABRICATION.
- UNDERCUT 1 INCH ALL INTERIOR DOORS.
- CUT ALL OPENINGS AND CHASES REQUIRED TO ACCOMODATE THE WORK UNDER THIS DIVISION, AND REPAIR ALL FLOORS, WALLS, ETC., DAMAGED BY SUCH CUTTINGS. ALL WORK DONE UNDER THIS HEADING MUST CONFORM IN EVERY RESPECT TO FINISH AND QUALITY OF ATERIALS AND WORKMANSHIP SPECIFIED UNDER APPROPIATE SECTIONS
- 9. TEMPERATURE CONTROL SHALL BE PROGRAMMABLE THERMOSTAT
- 10. DUCT LOCATIONS MAY CHANGE DUE TO FIELD CONDITIONS
- 11. DUCTWORK IN UNCONDITION SPACE SHALL BE RE AND DUCTWORK IN CONDITION SPACE SHALL BE R=4.0
- 12. ALL CONDENSATE PIPING SHALL BE NO COMBUSTIBLE. INSULATE COND. PIPES ABOVE GROUND WITH 1/2 INCH ARMAFLEX INSULATION.
- 13. GENERAL CONTRACTOR SHALL BE VERIFY ALL INSULATION VALUE USED FOR CALCUALTUIONS IN ENERGY AND/OR HEAT LOAD PROVIDED BY MECHANICAL ENGINEER.
- 14. CONTRATOR SHALL VERIFY AND COORDINATE EXISTING CONDITIONS OF THE BUILDING BEFORE INSTALLATION AND COORDINATE RUTE F REFRIGERANT LINES USING EXISTING A/C CHASES.
- 15. IN THE EVENT ADDITIONAL CALCULATIONS ARE REQUIRED FOR A/C UNITS TIE DOWN

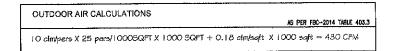
 © ROOF, A LETTER FROM AN STRUCTURAL INGINEER BE PROBIDED BY ARCHITECTH.
- 18. EXPOSED SHEET ROUND DUCT SPIRAL I RECOMMEND INTERIOR INSULATION FOR FINAL INSPECTION AS PER FBC REQUIRED.
- 17. TEST AND BALANCE REPORT ARE REQUIRED BY INDEPENDENT PROFESIONAL ENGINEER FOR FINAL INSPECTION AS PER FBC REQUIRED.

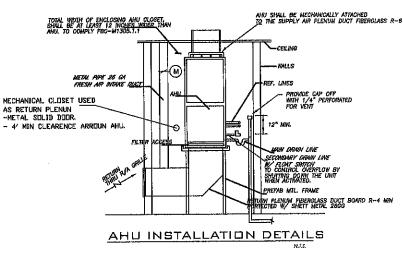


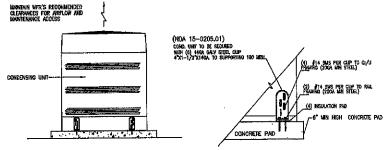


MECHANICAL SCOPE OF WORK;

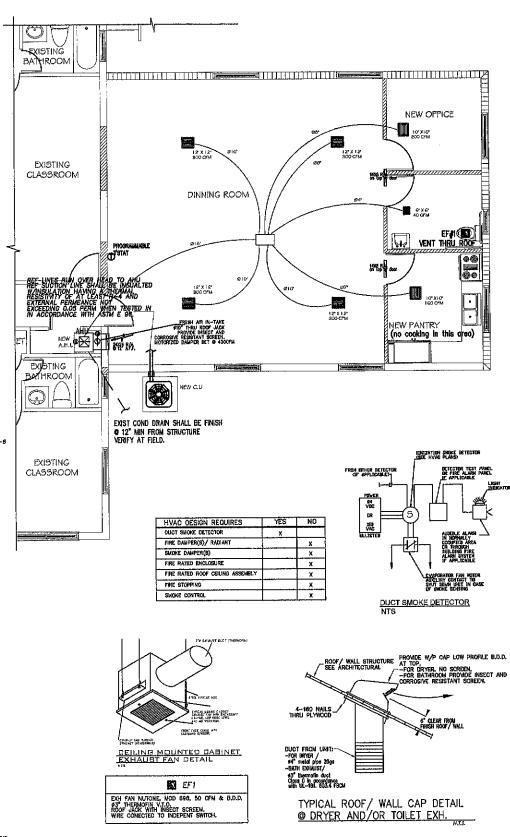
- IS LIMITED TO INSTALL 1 A/C UNIT AS SPECIFY IN THIS PLAN
- IS LIMITED TO INSTALL DUCT WORK SYSTEMS AND VENTILATION SYSTEMS AS SPECIFY IN THIS PLAN

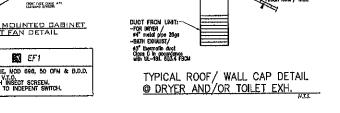




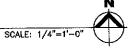


CONDENSING UNIT INSTALLATION DETAIL











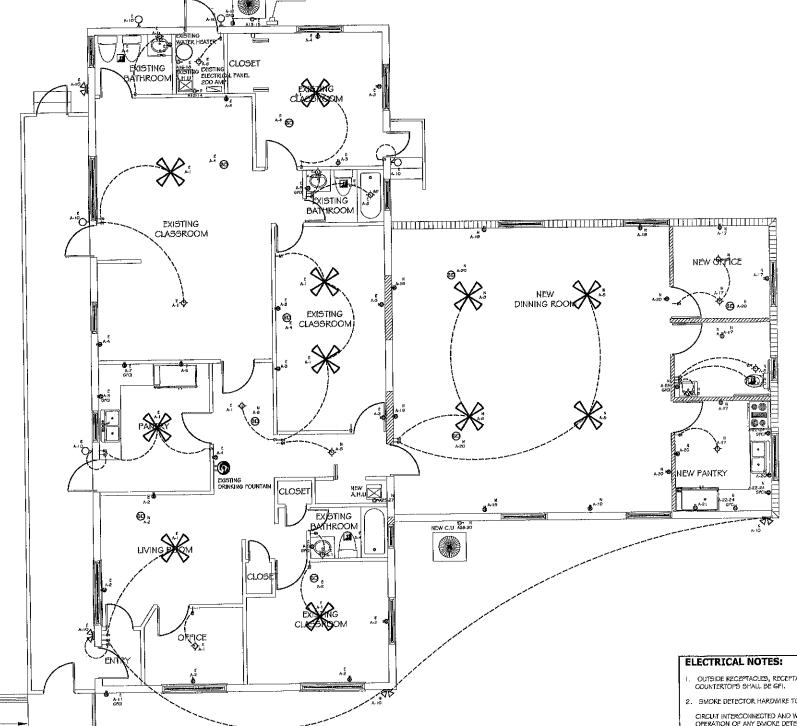
TINY TOTS ACADEMY ADDITION FOLIO N. 51-411-320-0020

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A. M. JULIEN #14476 RA.

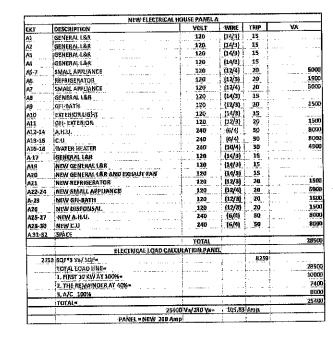
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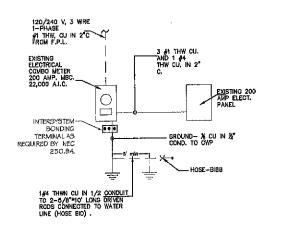
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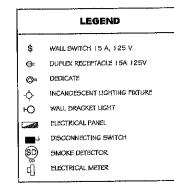
ELECTRICAL PLAN

SCALE: 1/4"=1'-0"





TYPICAL ELECTRICAL RAISER PANEL A



- OUTSIDE RECEPTACLES, RECEPTACLES BATH AND ALL KITCHEN RECEPTACLES ON
- . SMOKE DETECTOR HARDWIRE TO KITCHEN OR BATHROOM NON-SWITCHABLE NO GPI. LIGHTING CIRCUIT INTERCONNECTED AND W/ BATTERY BACK-UP ALSO SHALL BE ARRANGED SO THAT OPERATION OF ANY SMOKE DETECTOR SHALL CAUSE THE ALARM IN ALL SMOKE DETECTORS WITHIN THE DWELLING UNIT TO SOUND SIMULTANEOUSLY,
- 3. ELECTRICAL METER AND PANEL LOCATION MAY VARY AS PER SERVICE ENTRANCE LOCATION.
- 4. ELECTRICAL CONTRACTOR TO COORDINATE SERVICE WITH F.P.L.
- 5. MAXIMUM NUMBER OF OUTLETS PER CIRCUIT SHALL COMPLY WITH F.B.C.
- 6. NO APPLIANCES OR APPLIANCE OUTLETS SHALL BE INSTALLED BELOW BASE FLOOD
- 7. SMALL APPLIANCE CIRCUITS LIMIT LOCATIONS & USE TO NEC 210.52
- 8. ALL PLUMBING AND ELECTRICAL ARE NEW, THERE ARE NOT TIE BETWZEN OLD AND NEW SYSTEM , ALL PLUMBING AND ELECTRICAL SYSTEMS HAS TO BE CAPPED AS REQUIREMENT.

- ELECTRICAL OUTLETS (RECEPTACLES AND LIGHTING) BELOW BASE FLOOR ELEV. SHALL BE INSTALLED AT THE HIGHEST PERMITTED ELEV. AND SHALL BE INSTALLED ON (SEPARATE) INDEPENDENT CIRCUITS FROM THOSE IN THE HABITABLE AREAS.
- 10. A/C COMPRESSOR SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION.
- 11. MAIN CIRCUIT BREAKER PANELS SHALL BE LOCATED ABOVE BASE FLOOD ELEV.
- 12. IT IS SUGGESTED THAT YOU CONPER WITH F.P.L. TO LOCATED THE ELECTRICAL METER TO COMPLY WITH FEDERAL EMERGENCY MANAGEMENT AGENCY REQUIREMENTS.
- 13. PROVIDE TAMPER RESISTANT RECEPTACLES AS PER NEC 40G.11.
- 14. ALL AREAS LISTED UNDER 210.12 MUST HAVE "APCI" PROTECTION. ALL SO SHALL BE CONNECTED TO ONE CIRCUIT. ALL KITCHEN PRECEPT. SHALL BE GFI PROTECTED TAMPER RESISTANT OUTLETS ..
- 15- SMOKE DETECTORS INSIDE AND OUTSIDE ALL SLEEPING AREAS FBC 907 CARBON MONOXIDE ALARM REQUIRED FBC R 315, PROVIDE CO ALARM FBC R315.
- I G.-75% OF LAMPS MUST BE HIGH EFFICIENCY LIGHTING FBC E 404.



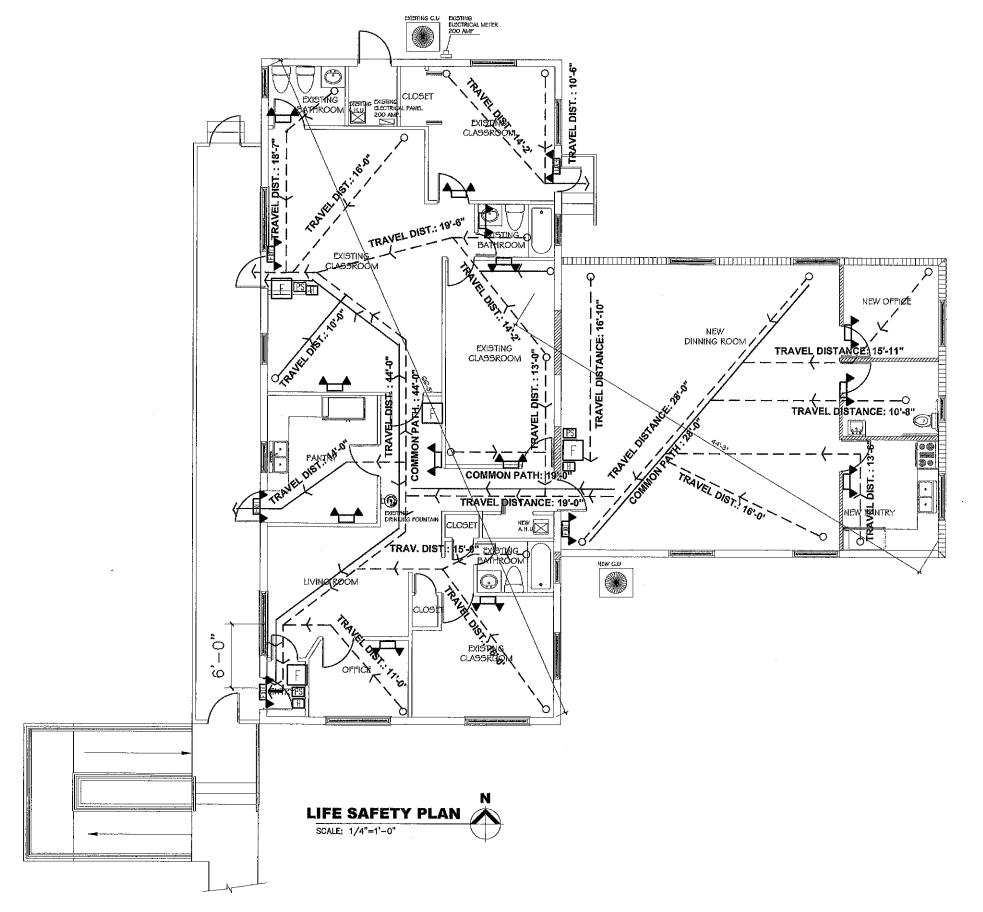
TINY TOTS ACADEMY ADDITION 6311 WASHINGTON STREET HOLLYWOOD, FLORIDA, 33024



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ELECTRICAL	PLAN
	SHEET TITLE
AS NOTE	
	ECAL
E-1	
	1 or 1



LEGEND:

PS PULL STATION
H HORN STROBE
EMERGENCY LIGHT
FIRE EXTINGUISHER
COMBO EXIT & EMERGENCY LIGHT
TRAVEL DISTANCE
COMMON PATH OF TRAVEL

NOTE:

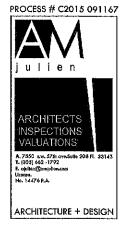
1—EMERGENCY LIGHTING SHALL COMPLY WITH NFPA 101 7.9 LIGHTS IN ADDITION TO THOSE SHOWN ON THIS PLAN MAY BE REQUIRED.

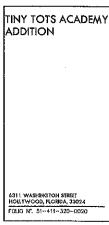
2-NFPA-101

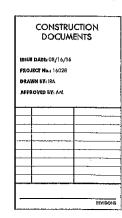
43.1.1 CLASIFICATION OF REHABILITATION WORK CATEGORIES 6 (ADDITION)

3-ACADEMY: 35 GROSS/S.F.=1008 S.F./35 GROSS =28.8 OCUPANT LOADS NFTA 101-2015 TABLE 7.3.1.2 OCCUPANT LOAD FACTOR

4-FLOOR SURFACE AT BOTH SIDE OF A INTERIOR DOORS MUST HAVE NO MORE THAN $\frac{1}{2}$ CHANGE OF ELEVATION.



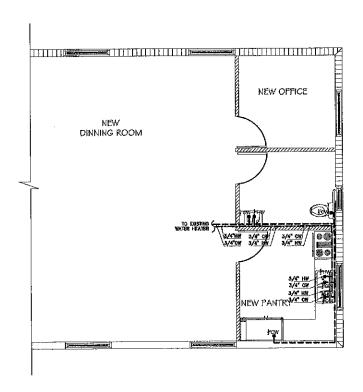


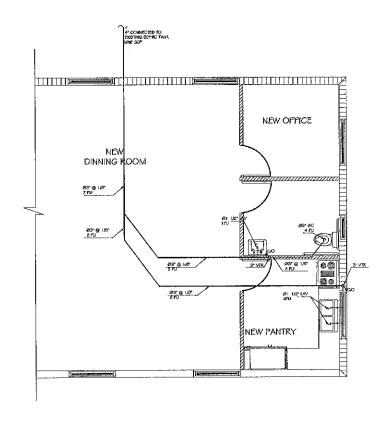


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1	LIFE	SAFE	TY PLAN
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AS PER MIAMI DADE ORD. SEC.8-31 FBCR 2903.2 PLUMBING FIXTURES SHALL MEET YHE LOCAL WATER FLOW RESTRICTIONS ADOPTED BY MIAMI-DADE WATER AND SEWER MAX, FLOW RATE OR QUANTITY PLUMBING FIXTURE OR FIXTURE FITTING WATER CLOSET 1.28 gpm LAVATORY (PRIVATE) 1.5 gpm SHOWER HEADS 1.5 gpm SINK FAUCETS 1.5 gpm

PLUMBING FIXTURE NOTES

- J.- SHOWER GLASS ENCLOSURES, IF APPLICABLE, ARE TO BE OF TEMPERED GLASS.
- 2.- BATHROOM FINISHED FLOORS TO BE IMPERVIOUS MATERIAL, AND CERAMIC TILE.
- 3.- ALL PLUMBING FIXTURE TO COMPLY WITH TABLE 4GR-2 OF 9FBC.
- 4.- SHOWER HEAD TO HAVE ANTI-SCALD VALVE

PAN DRAIN TERMINATION

THE PAIN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR FLOOR DRAIN OR EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES (152MM)AND NOT MORE THAN 24 INCHES (610mm) ABOVE THE ADJACENT GROUND SURFACE, PER. FBC PLUMBING 504.7.2

WATER HAMMER

THE FLOW VELOCITY OF THE WATTER DISTRIBUTION SYTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBLIUTY OF WATTER HAMMER. A WATER HAMMER ARRESTOR SHALL BE INSTALLED WHERE QUICK CLOSING-VALVE ARE UTILIZED, UNLESS OTHERWISE APPROVED. THE ARRESTOR SHALL BE LOCATED WITHIN AND EFFECTIVE RANGE OF THE QUICK CLOSING-VALVE. WATER HAMMER, ARRESTOR SHALL CONFORM TO ASSETTION, ACCESS SHALL BE PROVIDED TO WATER HAMMER ARRESTOR AS PER FEC 604.9

F	LUMBING	FIXTURE	SC	HED	DULE
SYMBOL	FIXTURE TYPE	TRAP SIZE	C,W.	H.W.	DESCRIPTION
	WATER CLOSET	3"	½ "	-	
0	LAVATORY	1-1/2	½ "	<i>1</i> ½"	
	BATH TUB	2"	1/2"	1/2"	W/ ANTI- SCALD VALVES
> <	SHOWER	2"	½ "	½"	W/ ANTI-SCALD VALVES
	KITCHEN SINK	f-1/2"	1/2"	1/2"	W/ GARBAGE DISPOSAL

NOTES.

-MINIMUM SIZE OF ALL PLUMBING DRAIN LINE
BELLOW FLOOR 2 INCH
-2" DRAIN & LESS @ 1/2" PER FOOT SLOPE 3" DRAIN
4 HIGHER Ø 1/3" PER FOOT SLOPE.

-SEE FIXTURE CLEARACE IN PLAN A-3.

TINY TOTS ACADEMY ADDITION

ARCHITECTURE + DESIGN

ARCHITECTS INSPECTIONS VALUATIONS

Licenson No. 34476 R.A.

PROCESS # C2015 091167

6311 WASHINGTON STREET HOLLYWOOD, FLORIDA, 33024 FOLIO N°. 51–411–320–0020

CONSTRUCTION DOCUMENTS ISSUE DATE: 08/16/16 PROJECT No.: 16028 DR AWN BY: IRA

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PLUMBING PLAN AS NOTE