

File Name: P:\Projects\2016\169004 Memorial Hospital South\Survey\Sketch\16-9004.1-V-TS-3701 Hillcrest Drive-Tobin.dwg - (Plotted by: Michael Mossey on Tuesday, March 27, 2018 6:23:42 PM)

SEE SHEET 2 - DETAIL "A"

SYMBOL LEGEND

- = SIGN
- = WATER VALVE
- = GAS VALVE
- = IRRIGATION VALVE
- = FIRE HYDRANT
- = WATER METER
- = BACKFLOW PREVENTOR/CHECK VALVE
- = ELECTRIC HANDHOLE
- = WOOD POST
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- = GREASE TRAP/MANHOLE
- = FIBER OPTIC
- = LAMP POST
- = CLEANOUT
- = FENCE
- = OVERHEAD ELECTRIC
- = WOOD POWER POLE W LIGHT
- = DOUBLE DETECTOR CHECK VALVE

ABBREVIATIONS

- CONC. = CONCRETE
- CATV = CABLE TELEVISION
- D.B. = DEED BOOK
- P.B. = PLAT BOOK
- PG. = PAGE
- B.C.R. = BROWARD COUNTY RECORDS
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- LB = LICENSED BUSINESS
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- R/W = RIGHT-OF-WAY
- NL&D = NAIL AND DISK
- F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
- S.R. = STATE ROAD
- C.B.A. = CONCRETE BLOCK W STUCCO
- W = WITH
- COL. = COLUMN
- BLDG. = BUILDING
- C&G = CURB & GUTTER
- ALUM. = ALUMINUM FENCE
- PRM = PERMANENT REFERENCE MONUMENT
- E-O-P = EDGE-OF-PAVEMENT
- FPL = FLORIDA POWER & LIGHT
- O.A. = OFFICIAL RECORDS BOOK
- NAVD88 = NORTH AMERICAN DATUM OF 1988
- CLF = CHAIN LINK FENCE
- TC = TITLE COMMITMENT
- IP = IRON PIPE
- IR = IRON ROD
- IRC = IRON ROD & CAP
- FND = FOUND
- GRAV. = GRAVEL
- CL = CENTERLINE
- (P) = PLAT
- (C) = CALCULATED
- (D) = DEED
- P.O.B. = POINT OF BEGINNING
- Δ = CENTRAL ANGLE
- R = RADIUS
- L = ARC LENGTH
- ASPH. = ASPHALT
- TYP. = TYPICAL

OWNERSHIP AND ENCUMBRANCE REPORT

First American Title Insurance Company, Ownership and Encumbrance Report, Customer Reference Number: 3701 Hillcrest Dr, First American File Number: 1062-3938029 (updated and revised 3-8-18). Searched from: May 2, 2006 to March 1, 2018 at 8:00 a.m., has been reviewed and Schedule B Exceptions as they pertain to survey matters are as follows:

Encumbrances

Ordinance: O.R.B. 30239, Pg. 959, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Ordinance: O.R.B. 30239, Pg. 963, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Resolution No. 06-DPV-33; O.R.B. 43034, Pg. 1932, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Conveyance Agreement: O.R.B. 44241, Pg. 512, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Easement; P.B. 69, Pg. 10, B.C.R.; PLAT INFORMATION SHOWN HEREON INCLUDING 15 FT UTILITY EASEMENT.

BOUNDARY & TOPOGRAPHIC SURVEY NOTES:

- Calvin, Giordano & Associates, did not research title for this property and the plats, rights-of-way, and easements as shown hereon are per First American Title Insurance Company, Ownership and Encumbrance Report, Customer Reference Number: 3701 Hillcrest Dr, First American File Number: 1062-3938029 (updated and revised 3-8-18), Searched from: May 2, 2006 to March 1, 2018 at 8:00 a.m..
- The purpose of this Map Survey is to prepare a Boundary and Topographic Survey of a portion of the Regional Memorial Hospital South complex, located at 3600 Washington Street, Hollywood, Florida, 33021.
- Not valid without the signature and original raised seal of a Florida Professional Surveyor & Mapper.
- Underground improvements and/or encroachments were not located as part of this survey task.
- Unless otherwise noted hereon, record and measured values are in substantial agreement.
- This survey is classified as commercial/high risk and exceeds the minimum relative distance accuracy of 1 foot in 10,000 feet as required by the Florida Standards of Practice requirements (Chapter 5J-17.050 through 5J-17.052 F.A.C.), the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- The horizontal features shown hereon are plotted to within 1/20 of the map scale.
- Horizontal and vertical data shown hereon was obtained utilizing a "TOPCON ES-105" Total Station and "TDS-NOMAD" Data Collection System.
- Bearings shown hereon are assumed and referenced to the East line of Block 9, HILLWOOD SECTION THREE, as recorded in Plat Book 69, Page 10, B.C.R., have a bearing of S 00°18'53" W.
- Horizontal feature location is to the center of the symbol and may be enlarged for clarity.
- The elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD88) and referenced to Broward County Engineering Department (B.C.E.D.) Benchmark No. 1433, Elevation = 6.54' (NAVD88) (Published as Elevation = 8.14 (NGVD29) being a square cut in NW corner of concrete sidewalk at #2550 Park Road, and to National Geodetic Survey (NGS) Designation - M 312, Elevation= 13.44' (NAVD88).
- The property as described and shown hereon as a Flood Zone designation of Zone AH (EL10) and Zone X, per the Flood Insurance Rate Map (FIRM), Map Number: 12011C0568H, Community Number: City of Hollywood 125113, Panel: 56B, Suffix: H, Effective Date: 08/18/2014.

CERTIFICATION

To: Harwin-Tobin 3701, LLC

This is to certify that this drawing and the survey on which it is based upon were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, and includes Table A Items: 1, 2, 3, 4, 5, 8, 7a, 9, 11(a), 13, 16.

I, Steven M. Watts, do hereby state that this Map of Boundary and Topographic Survey was done under my direct supervision and is accurate to the best of my knowledge and belief. I further state that this Map of Boundary and Topographic Survey was completed in accordance with the Standards of Practice requirements for Surveying and Mapping in the State of Florida as stated in Rule 5J-17 of the Florida Administrative Code, pursuant to Florida Statutes Chapter 472.027.

Last Date of Field Survey: March 13, 2018

CALVIN, GIORDANO & ASSOCIATES, INC.

Signature: *Michael M. Mossey*
Michael M. Mossey, PSM
Professional Surveyor and Mapper
Florida Registration No. 5660

LEGAL DESCRIPTION: O.R.B. 45526, PG. 1058, B.C.R.

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 9, RUN SOUTH 00 DEGREES 18 MINUTES 53 SECONDS WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH 37TH AVENUE, 95.47 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A 120.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 75 DEGREES 30 MINUTES 00 SECONDS, AN ARC DISTANCE OF 151.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 72 DEGREES 48 MINUTES 53 SECONDS WEST, 111.23 FEET; THENCE NORTH 00 DEGREES 18 MINUTES 53 SECONDS EAST 242.63 FEET TO A POINT ON THE NORTH LINE OF SAID BLOCK 9; THENCE SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 190.00 FEET TO THE POINT OF BEGINNING. CONTAINING 39,029 SQUARE FEET (0.896 ACRES).

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS™
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
Phone: 954.921.7781 • Fax: 954.921.8807

Certificate of Authorization 6791

3701 HILLCREST DRIVE
HOLLYWOOD, FL

ALTA/NSPA LAND TITLE SURVEY
BOUNDARY & TOPOGRAPHIC SURVEY
TOBIN CONSTRUCTION GROUP, INC.

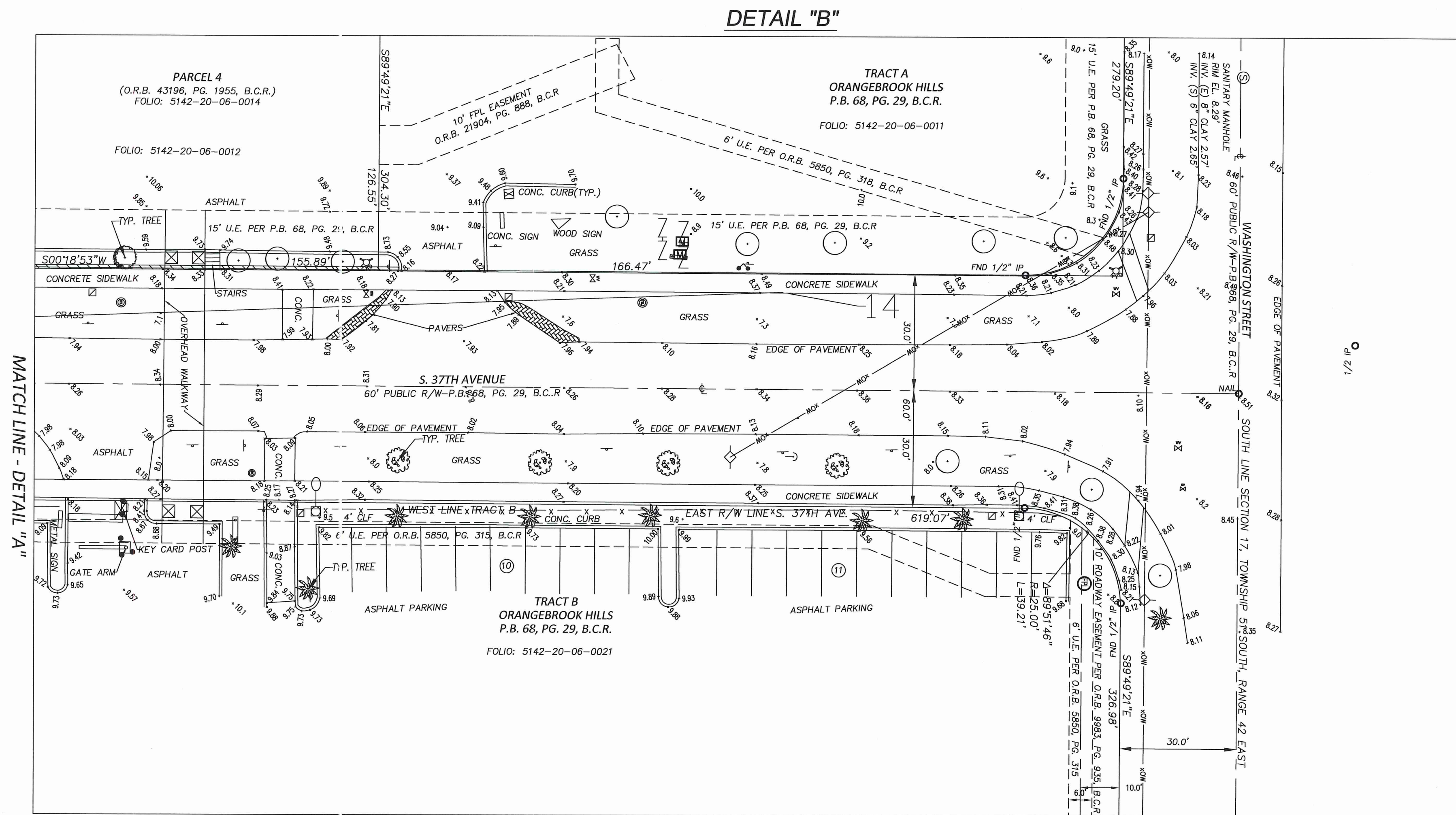
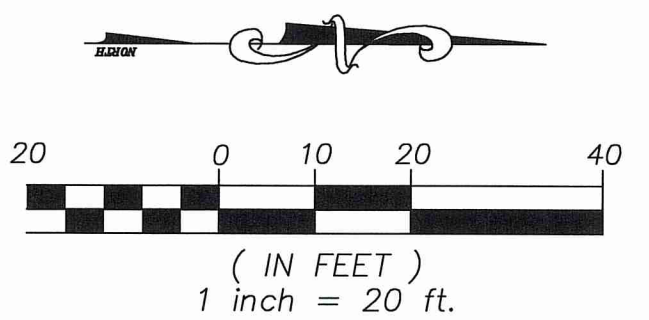
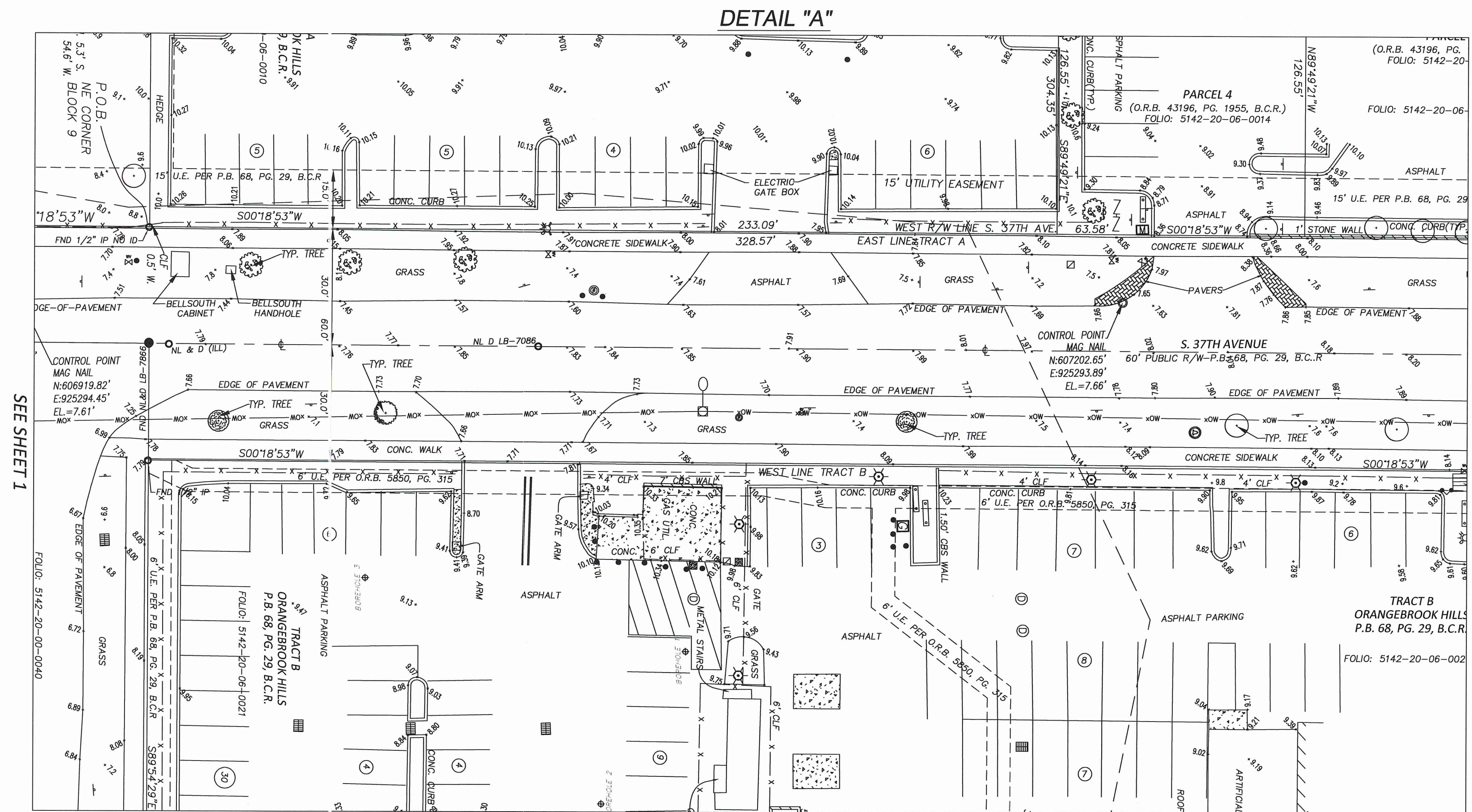
SEAL
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER
MICHAEL M. MOSSEY
PSM NO. 5660

SCALE
1" = 20'
PROJECT No.
16-9004.1
FIELD BOOK
791 & 904B

SHEET:
1
OF 2

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1	3/27/18	CHANGE SIGNATURE	MMM						DESIGNED DATE
									DRAWN 03/15/2018 DATE PD
NO	DATE	REVISION	BY	NO	DATE	REVISION		BY	CHECKED 03/15/2018 DATE SMW

CHECKED 03/15/2018
DATE SMW

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ALTA/NSPA LAND TITLE SURVEY
BOUNDARY & TOPOGRAPHIC SURVEY
TOBIN CONSTRUCTION GROUP, INC.

SCALE	1" = 20'
PROJECT No	16-9004.1
FIELD BOOK	791 & 904B

2
OF 2

TOBIN OFFICE BUILDING

3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021



TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON ARCHITECTS

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com

AA-0002897

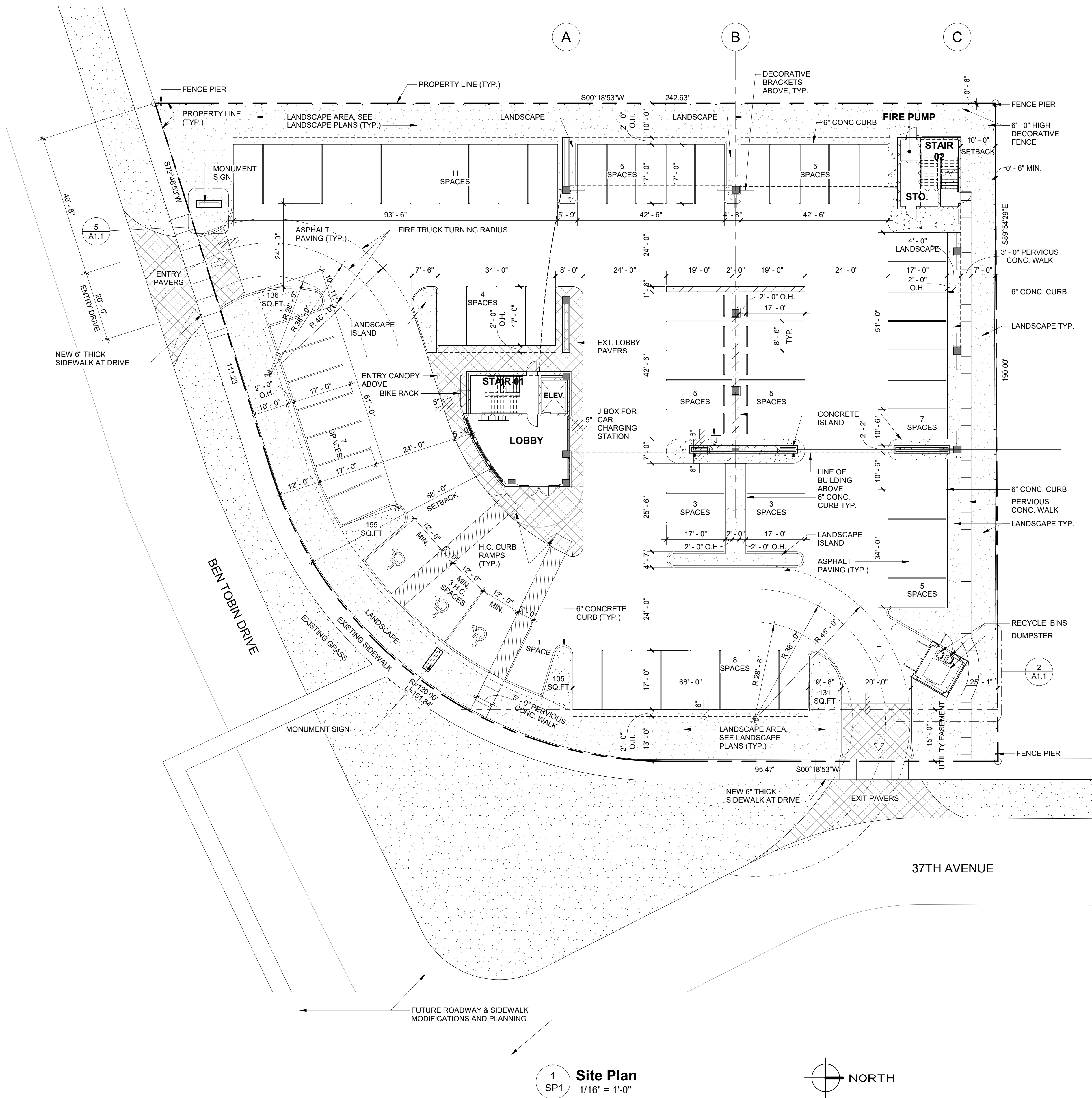
Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
ZH, YD
Checked By :
SW
Date:
04/02/2018

REVISIONS

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PROJECT TEAM		INDEX OF DRAWINGS		MEETINGS SCHEDULE		SITE LOCATION MAP
OWNER: HARLIN-TOBIN 3701, LLC. 1101 BEN TOBIN DRIVE HOLLYWOOD, FL 33021 TELEPHONE: (954) 989-3000	LANDSCAPE ARCHITECT: DAVE BODKER LANDSCAPE ARCHITECTURE / PLANNING, INC. 601 N. CONGRESS AVE, SUITE 105-A DELRAY BEACH, FL 33445 TELEPHONE: (561) 276-6311	ARCHITECTURE T1 COVER SHEET 1 SURVEY SP1 SITE PLAN A1.1 GROUND FLOOR PLAN A1.2 SECOND FLOOR PLAN A1.3 THIRD FLOOR PLAN A1.4 ROOF PLAN A2.0 EXTERIOR ELEVATIONS A2.1 EXTERIOR ELEVATIONS	CIVIL C-1 PAVING AND DRAINAGE PLAN C-2 WATER AND SEWER PLAN C-3 PAVEMENT MARKING AND SIGNAGE PLAN C-4 STORMWATER POLLUTION PREVENTION PLAN	TYPE	DATE	 1 T1 SITE LOCATION MAP N.T.S. NORTH
				PACO	01-22-2018	
ARCHITECT: SALTZ MICHELSON ARCHITECTS 3501 GRIFFIN ROAD FORT LAUDERDALE, FL 33312 TELEPHONE: (954) 266-2700	CIVIL ENGINEER: HOLLAND ENGINEERING, INC. 3900 HOLLYWOOD BLVD. HOLLYWOOD, FL 33021 TELEPHONE: (954) 367-0371	LANDSCAPE L-1 LANDSCAPE PLAN L-2 LANDSCAPE SPECS & NOTES		PRELIMINARY TAC	03-05-2018	
				FINAL TAC	04-16-2018	



GREEN BUILDING INITIATIVES	
A.	Central air conditioner of 18 SEER or higher.
B.	Radiant barrier – Energy Star qualified – applied to attic or crawlspace.
C.	Energy efficient (Low e) windows. All windows shall conform to the Energy Star rating criteria for South Florida as approved by the NFRC (National Fenestration Rating Council).
D.	Energy efficient doors. All doors shall conform to the Energy Star rating criteria for South Florida.
E.	Energy Star approved roofing materials.
F.	Programmable thermostats.
G.	Occupancy/vacancy sensors.
H.	Dual flush toilets. These toilets when flushed use less than one gallon to flush liquid and 1.6 gallons or less for solids (USGBC). Plans shall indicate dual flush toilet. System must be verified by plumbing inspector at final inspection.
I.	All energy-efficient outdoor lighting. Suggested lights for outdoor spaces include fluorescent bulbs and fixtures with electronic ballasts (more efficient than magnetic types), low pressure sodium or mercury vapor, photovoltaic systems, LED lighting and low voltage landscape lights that run on a timer. All energy-efficient outdoor lighting shall be verified by electrical inspector at final inspection.
J.	Tankless water heater in lieu of a standard tank water heater. Documentation of energy savings must be provided. Product approvals should be provided with plans and shall indicate total energy demand. Tankless water heater shall be shown on plans and shall pass all required inspections.
K.	Electric vehicle-charging-station infrastructure.

SITE DATA	
ZONING:	PUD-R
LAND USE:	COMPLEX
OCCUPANCY:	BUSINESS (GROUP B) OFFICES
CONSTRUCTION TYPE:	TYPE II B
GROSS LOT AREA:	30,029 S.F. OR 0.896 ACRES
FLOOR AREA:	
1ST FLOOR AREA:	
COMMON AREA:	482 S.F.
OFFICE AREA:	0 S.F.
VERTICAL CIRCULATION:	557 S.F.
TOTAL:	1,039 S.F.
2ND FLOOR AREA:	
COMMON AREA:	434 S.F.
OFFICE AREA:	7,837 S.F.
VERTICAL CIRCULATION:	310 S.F.
TOTAL:	8,581 S.F.
2ND FLOOR TERRACE:	725 S.F.
3RD FLOOR AREA:	
COMMON AREA:	0 S.F.
OFFICE AREA:	8,114 S.F.
VERTICAL CIRCULATION:	235 S.F.
TOTAL:	8,349 S.F.
3RD FLOOR TERRACE:	1,166 S.F.
TOTAL FLOOR AREA:	18,000 S.F.
BUILDING SETBACKS	
REQUIRED:	NONE
PROPOSED:	
FRONT (S.E. SIDE)=	58'-0"
EAST SIDE =	75'-5"
WEST SIDE =	10'-0"
REAR (NORTH SIDE) =	10'-0"
BUILDING HEIGHT	
MAXIMUM ALLOWED:	UNLIMITED
PROPOSED:	
HIGHEST POINT OF THE BUILDING (TOP OF TOWER ON ROOF = 74'-4")	
BUILDING IS THREE STORIES	
50'-0" TO BUILDING ROOF LINE.	
PARKING	
REQUIRED:	18,000 S.F. / 250 S.F. / CARS = 72 SPACES
PROVIDED:	72 SPACES (3 H.C. SPACES)
IMPERVIOUS AREA	
REQUIRED:	29,176 S.F.
LANDSCAPE AREA PROVIDED:	9,854 S.F. (25% OF SITE AREA)
REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.	
PERVIOUS AREA	
REQUIRED:	10% MINIMUM PERVIOUS AREA
LANDSCAPE AREA PROVIDED:	9,854 S.F. (25% OF SITE AREA)
REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.	
REFER TO LANDSCAPE DRAWINGS FOR VUA CALCULATIONS	
LEGAL DESCRIPTION	
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:	
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GENERAL NOTE	
1. BUILDING WILL BE PROVIDED WITH A BI-DIRECTIONAL AMPLIFIER (BDA).	
2. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE 1 F.C. AND 0.5 F.C. ADJACENT TO RESIDENTIAL PROPERTIES.	
3. ALL SIGNAGE SHALL COMPLY WITH ZONING AND LAND USE DEVELOPMENT REGULATIONS	

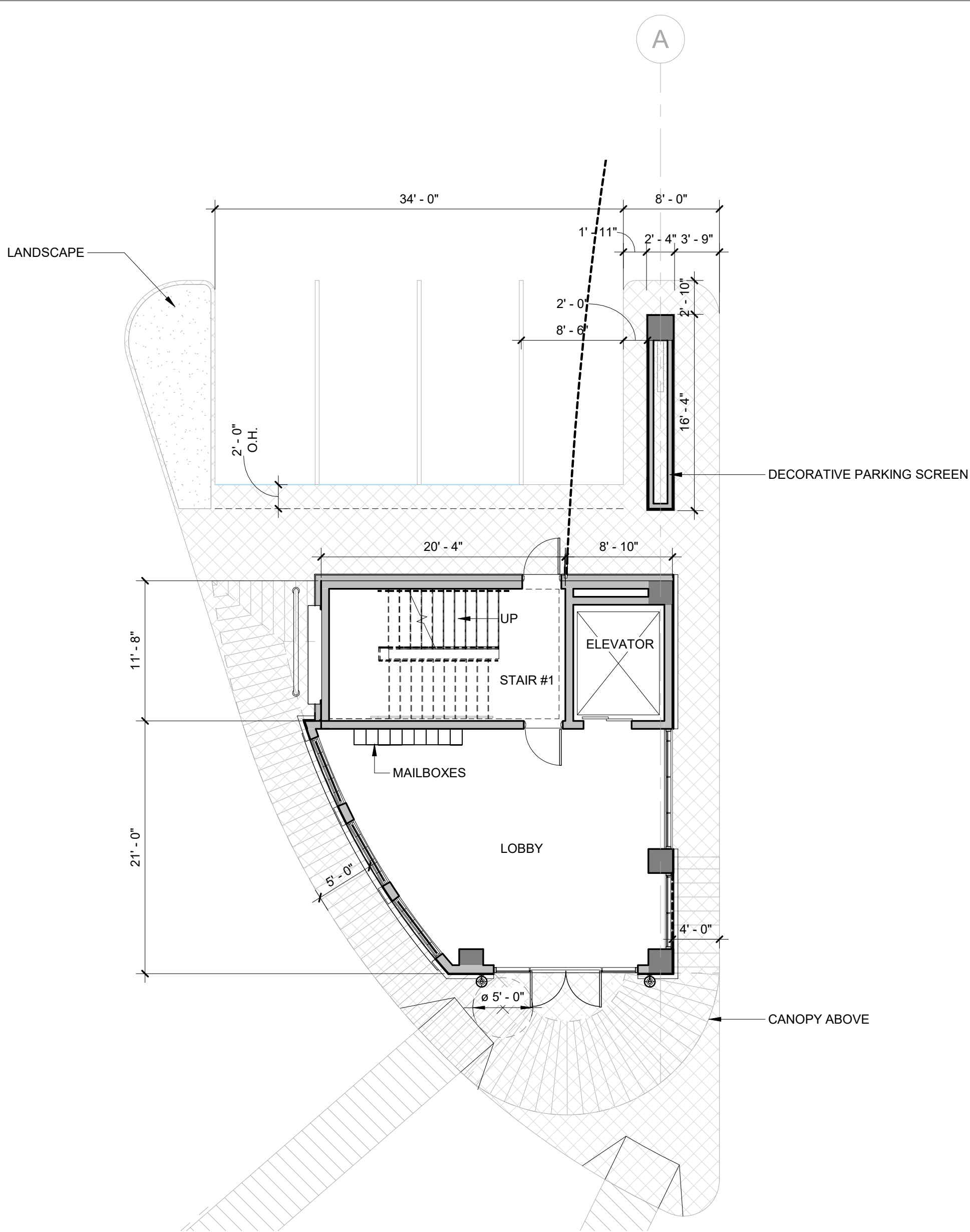
TOBIN OFFICE BUILDING
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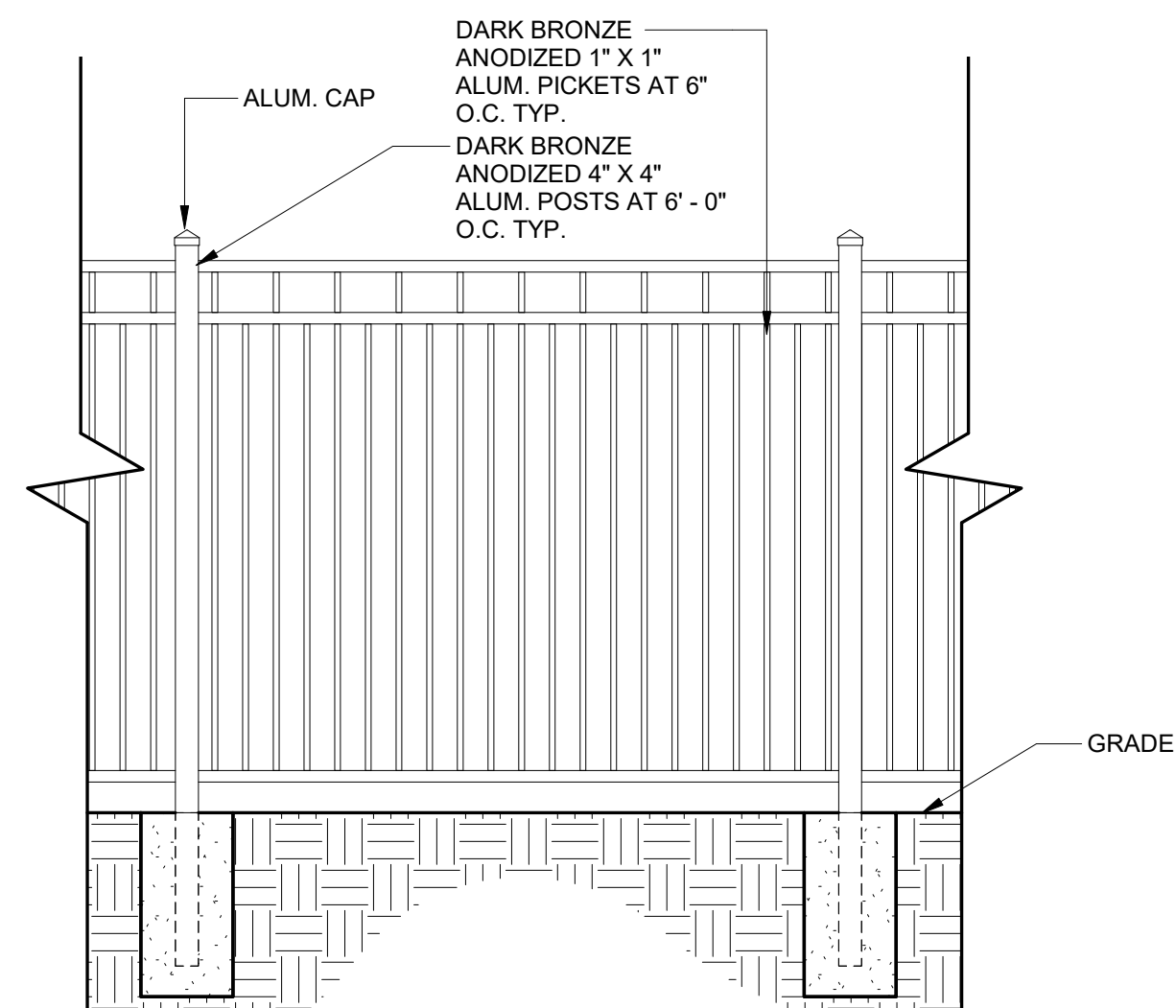
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Project No. :
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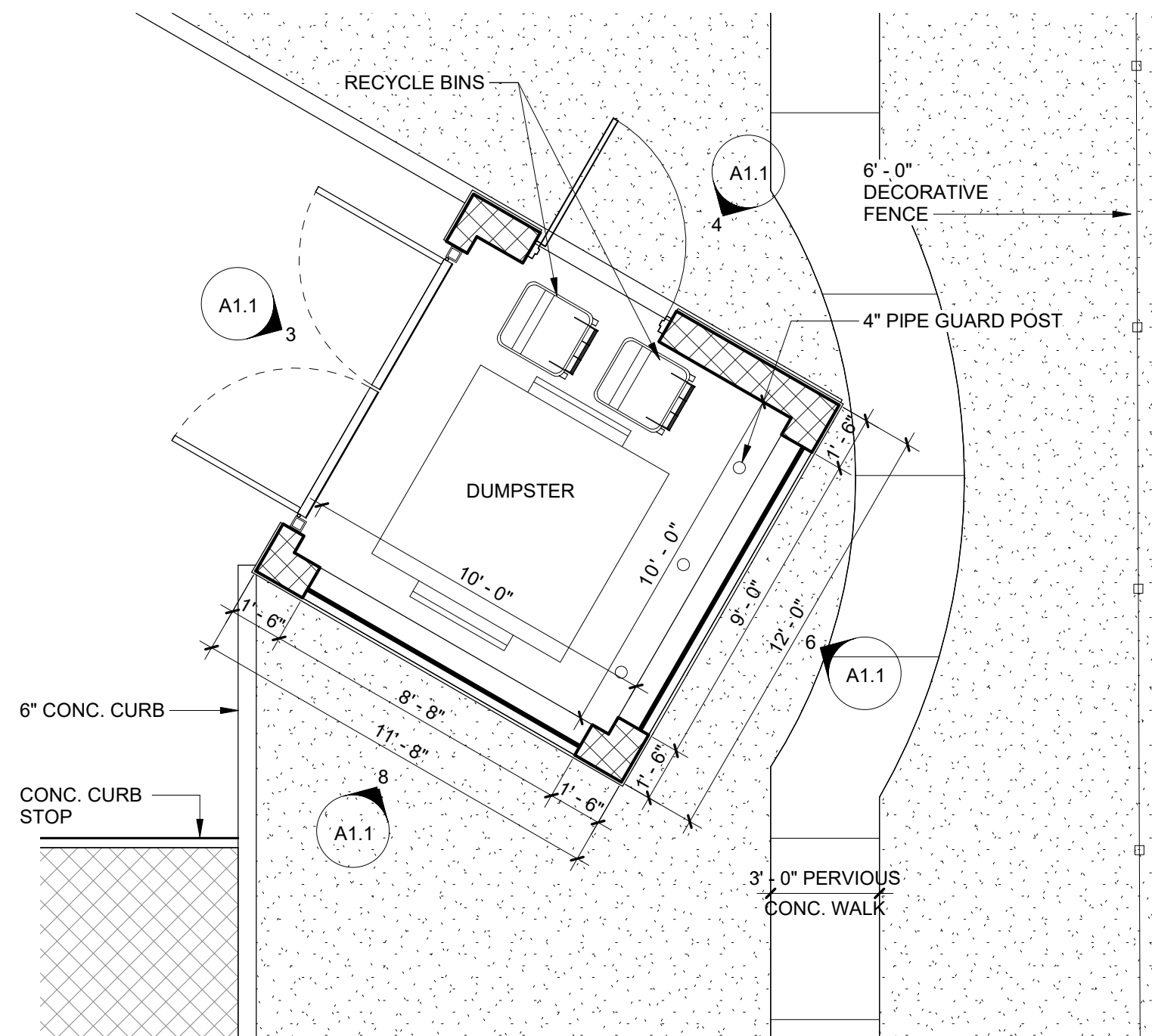
REVISIONS



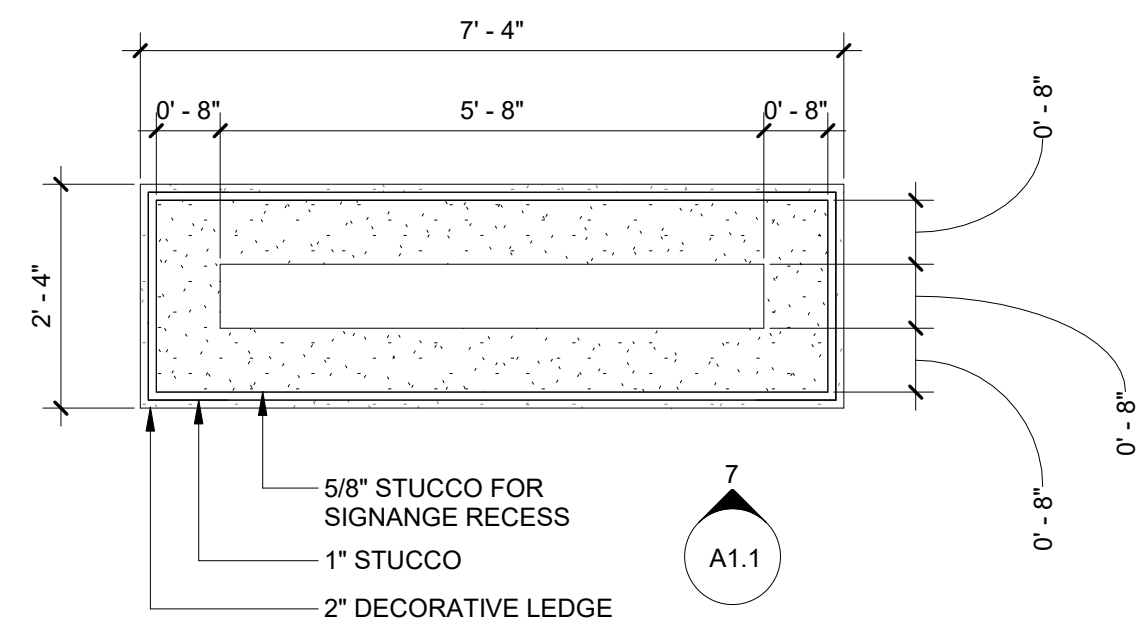
1
A1.1
GROUND FLOOR PLAN
1/8" = 1'-0"



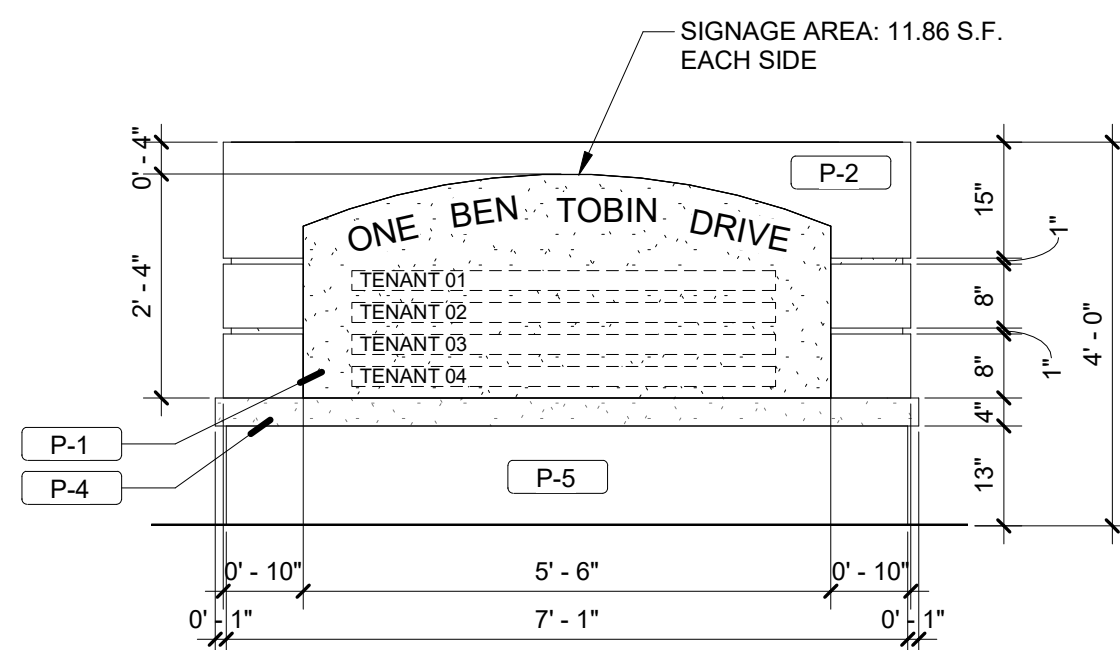
9
A1.1
PERIMETER FENCE
1/2" = 1'-0"



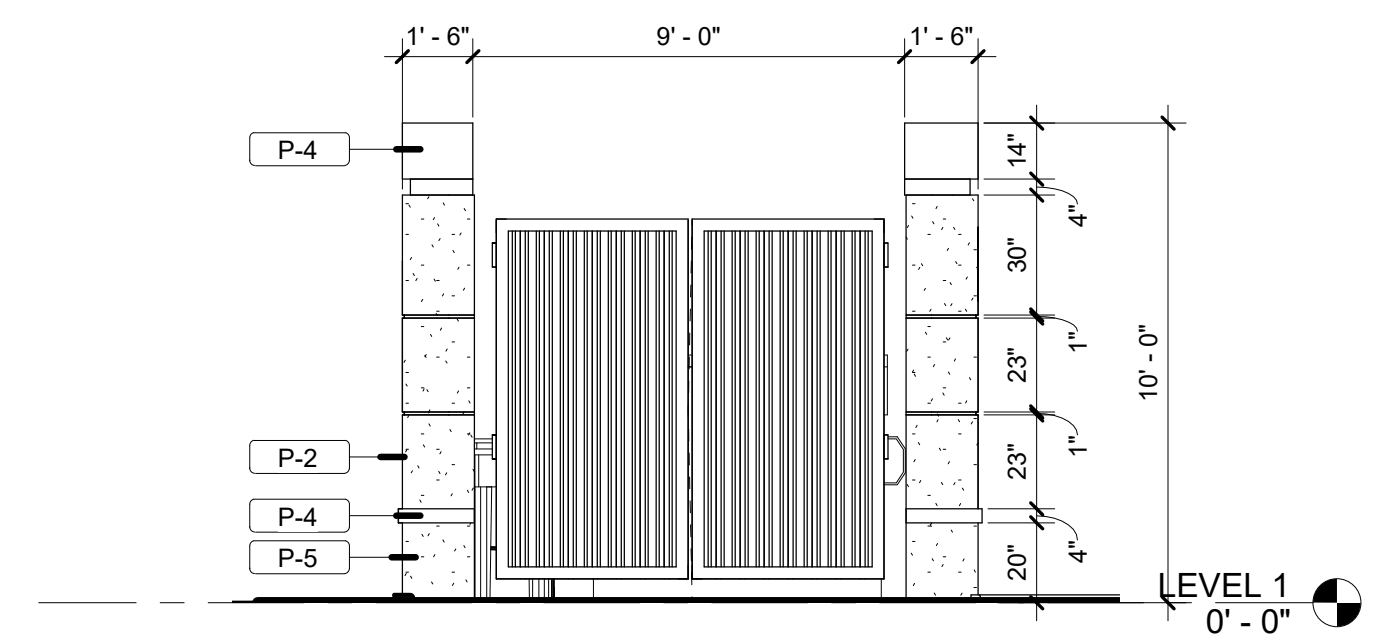
2
A1.1
Site Plan-Dumpster Enlarged Plan
1/4" = 1'-0"



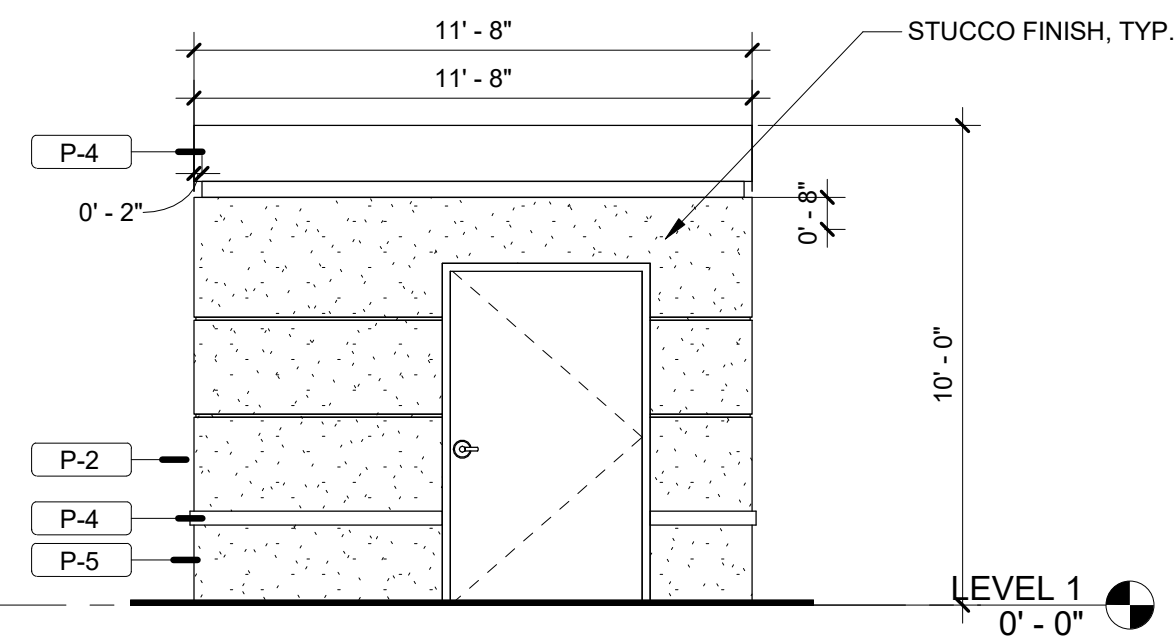
5
A1.1
MONUMENT SIGN, TYP.
1/2" = 1'-0"



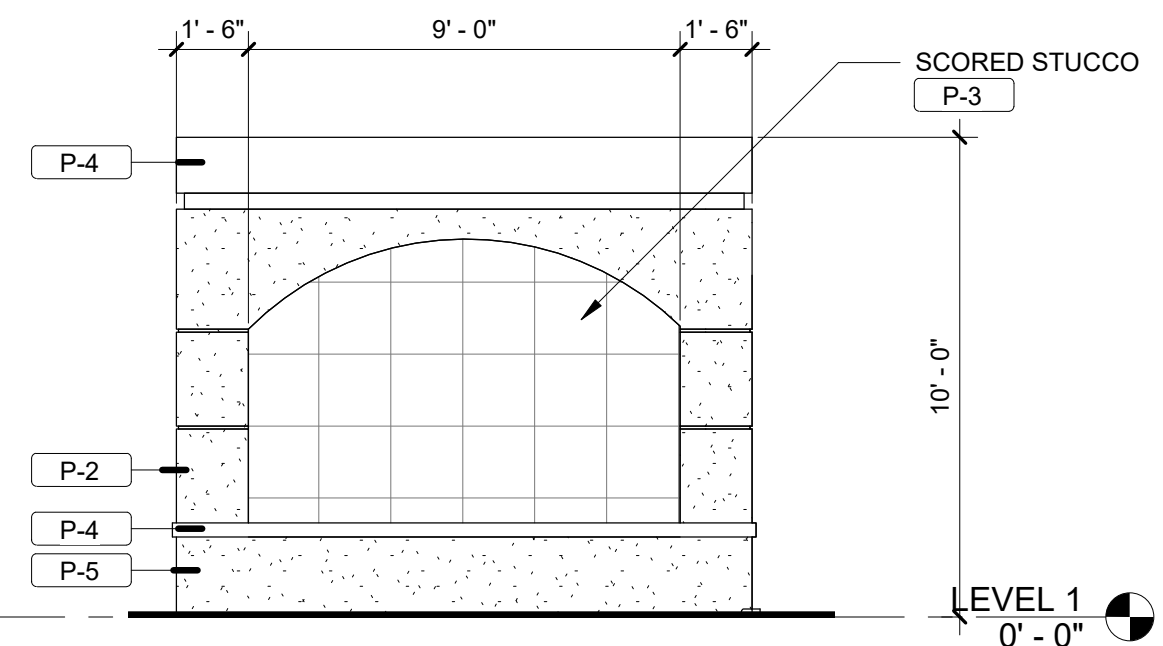
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A1.1
MONUMENT SIGN
1/2" = 1'-0"



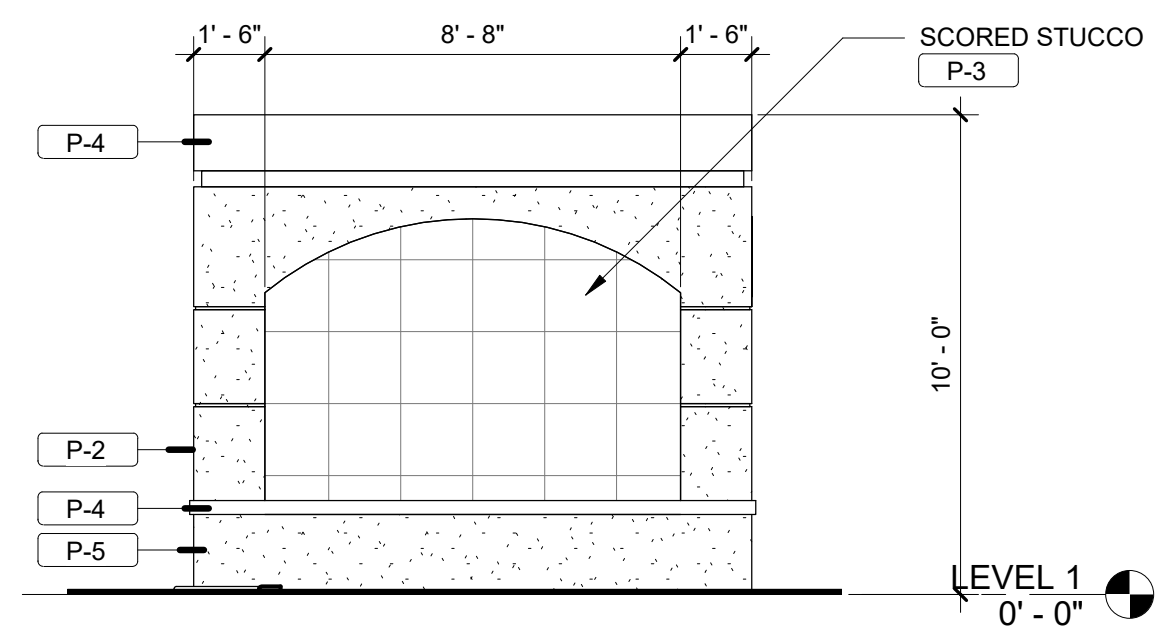
3
A1.1
DUMPSTER 01 - GATE
1/4" = 1'-0"



4
A1.1
DUMPSTER 02 - SIDE
1/4" = 1'-0"



6
A1.1
DUMPSTER 03 - REAR
1/4" = 1'-0"



8
A1.1
DUMPSTER 04 - SIDE
1/4" = 1'-0"

COLOR LEGEND	
SYMBOL	FINISH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
B-1	BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RAILINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH
NOTE: REFER TO COLOR BOARD FOR PAINT COLORS	

TOBIN OFFICE BUILDING
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AA-0002897

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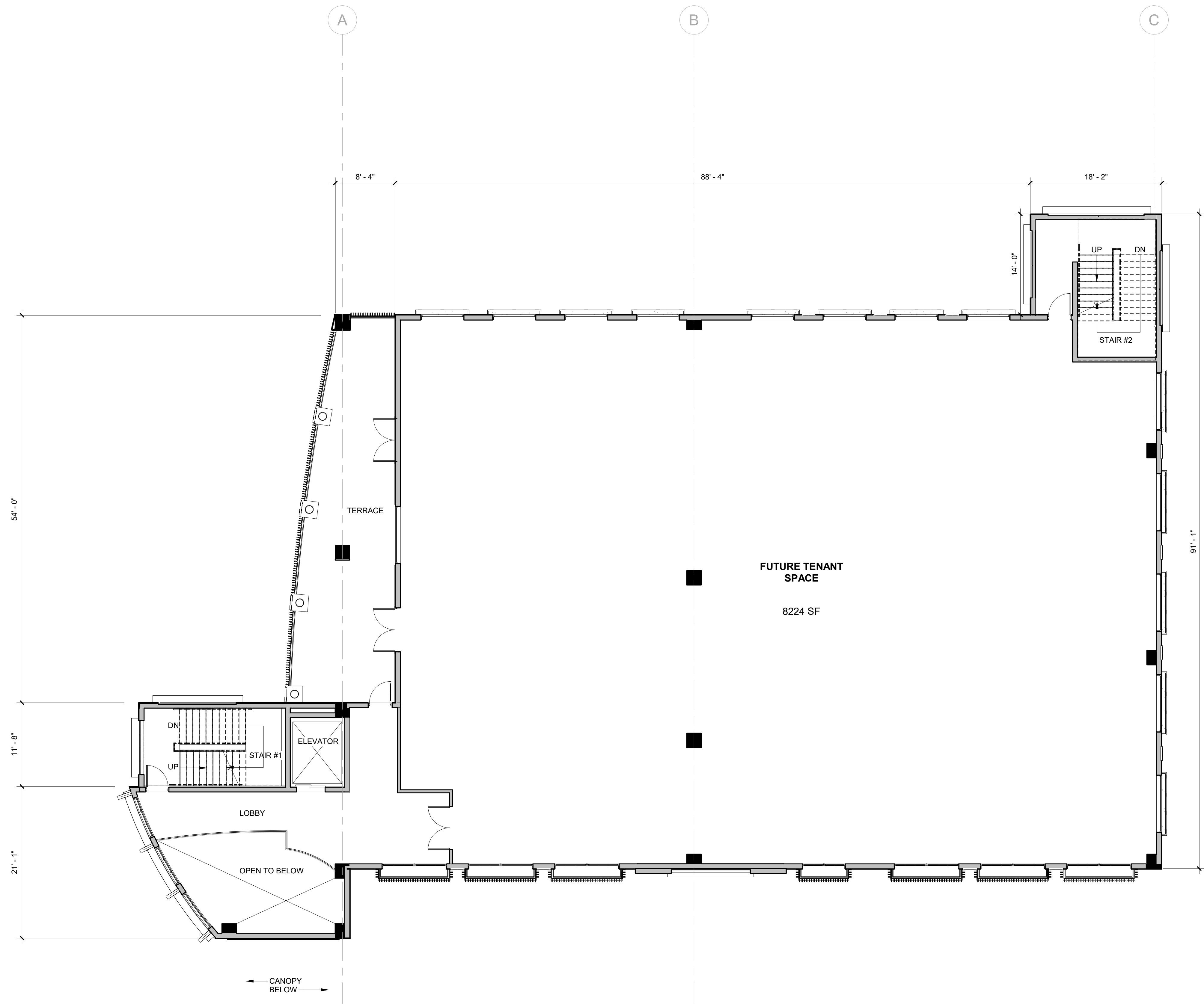
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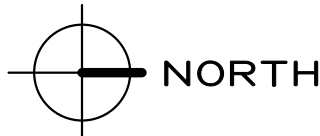
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1
A1.2

SECOND FLOOR PLAN

1/8" = 1'-0"



TOBIN OFFICE BUILDING
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SALTZ MICHELSON
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3501 Griffin Road
Ft. Lauderdale, FL 33312
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AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182

Drawn By :
ZH, YD

Checked By :
SW

Date:
04/02/2018

REVISIONS

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A1.3

THIRD FLOOR PLAN

1/8" = 1'-0"



TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

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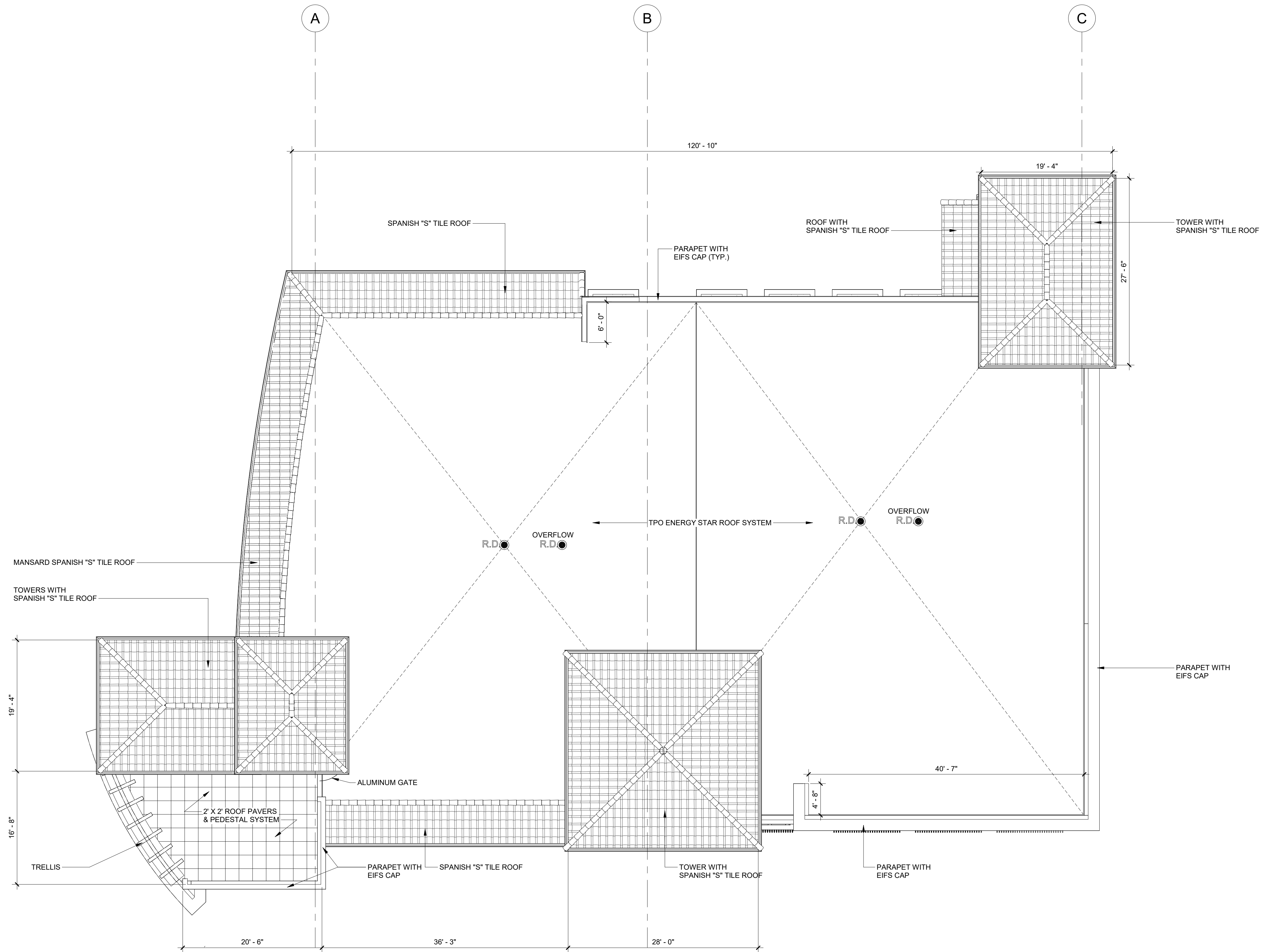
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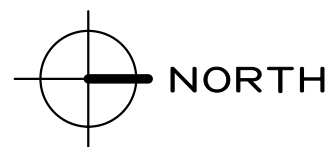
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1
A1.4
ROOF PLAN
1/8" = 1'-0"



TOBIN OFFICE BUILDING
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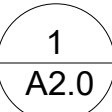
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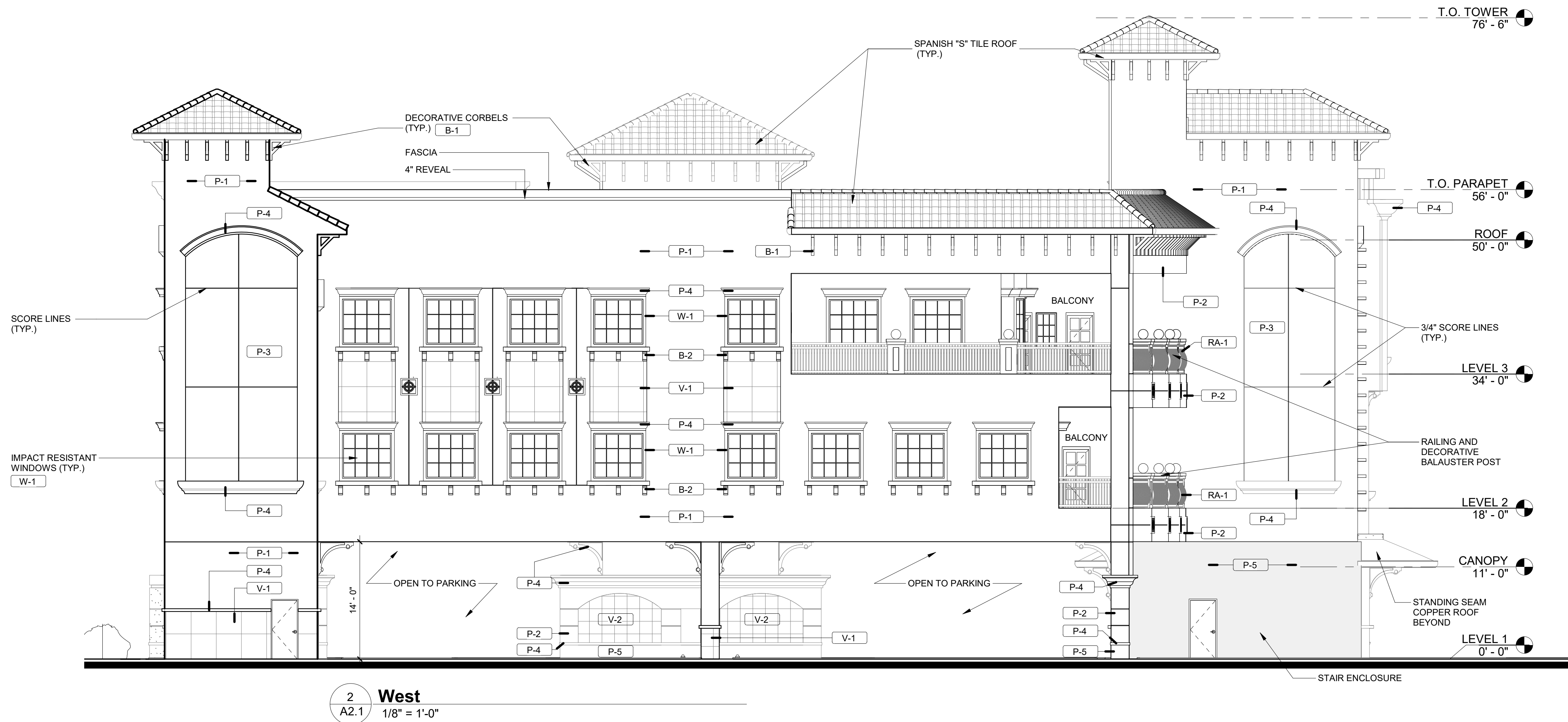
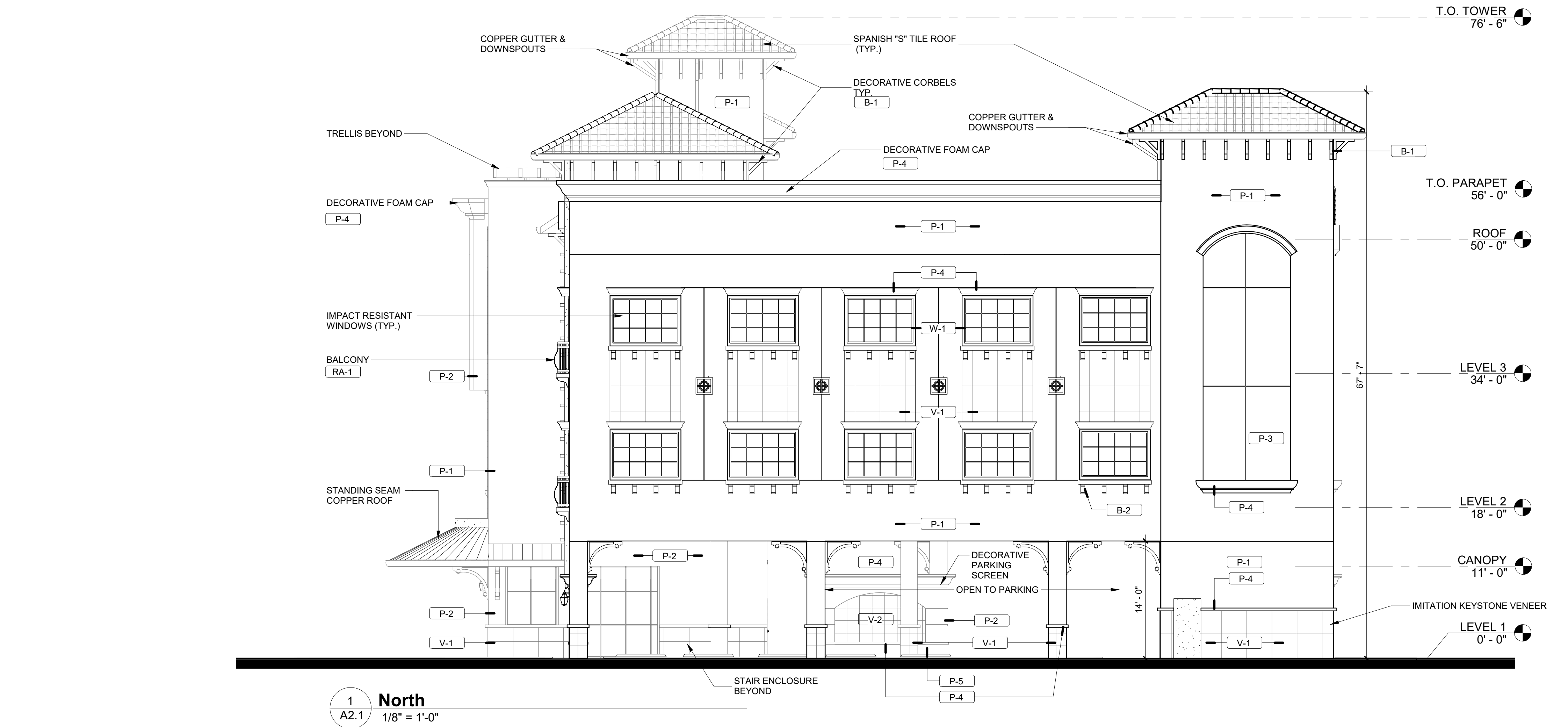
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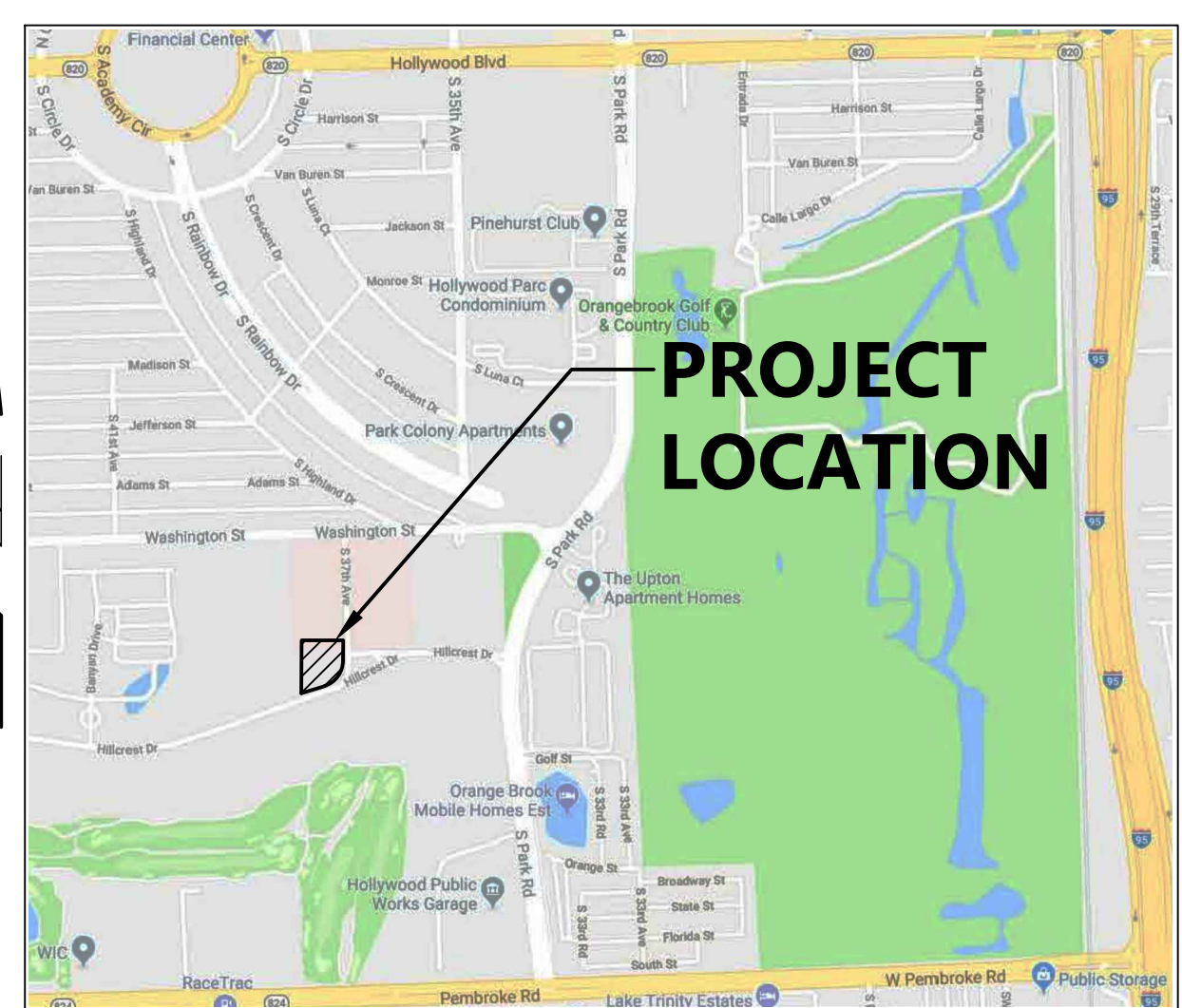
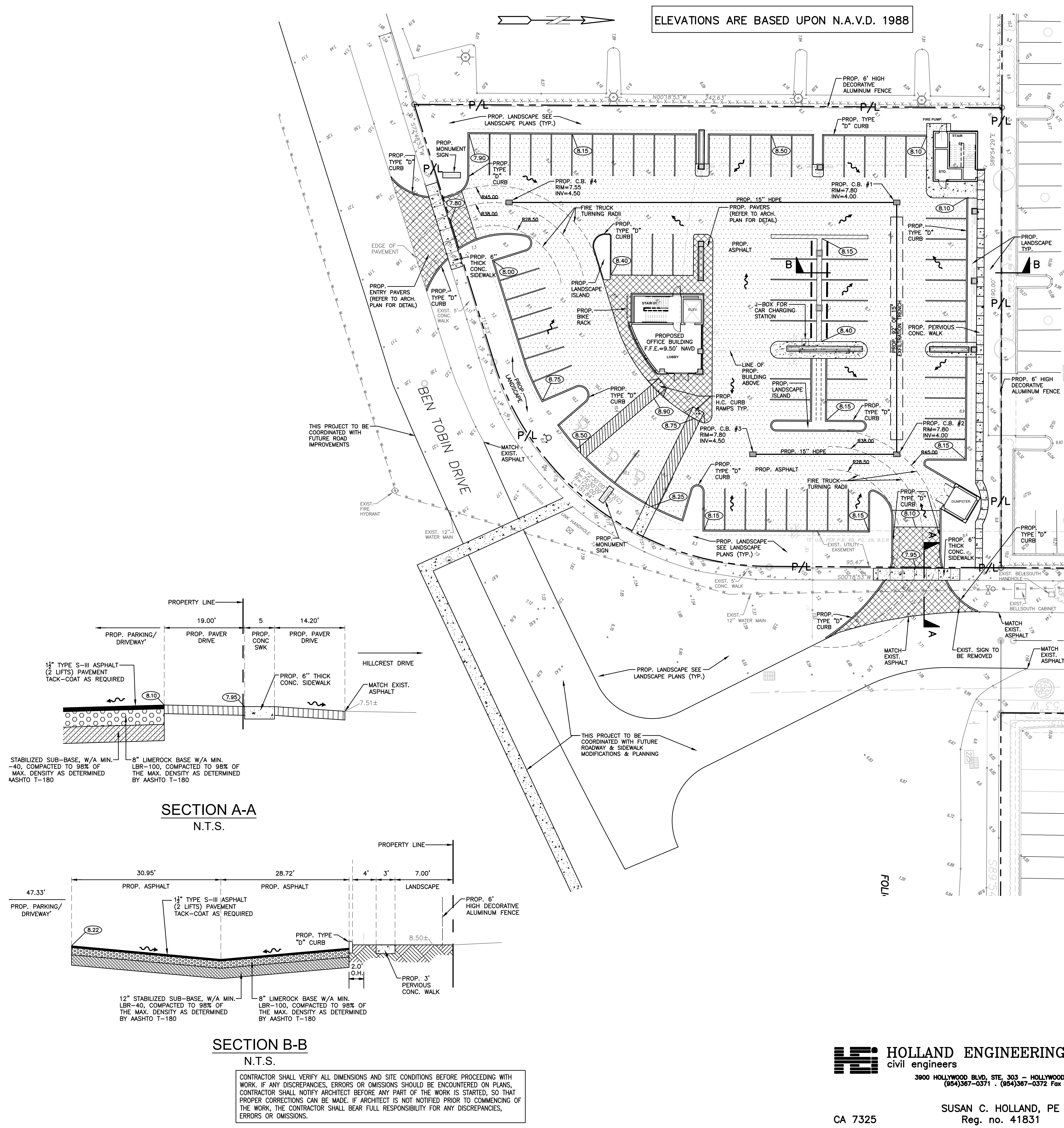
COLOR LEGEND	
SYMBOL	FINISH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RALINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH

NOTE: REFER TO COLOR BOARD FOR
PAINT COLORS



COLOR LEGEND	
SYMBOL	FINISH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
B-1	BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RAILINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH
NOTE: REFER TO COLOR BOARD FOR PAINT COLORS	



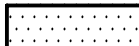
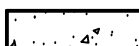
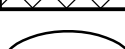


LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA.

- NOTES:
1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
 2. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
 3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
 4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
 5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
 6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
 7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
 8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
 9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
 10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
 11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
 12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
 13. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

LEGEND			
	PROPOSED ASPHALT		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE		PROPOSED PIPING
	PROPOSED PAVERS		EXISTING PIPING AND APPURTENANCES
	PROPOSED ELEVATION		EXISTING CATCH BASIN
	PROPOSED SURFACE FLOW	+ 7.10	EXISTING ELEVATION
 SIGN	PROPOSED SIGN (AS INDICATED)	LP 	EXISTING CONCRETE LIGHT POLE
 CO	PROPOSED CLEANOUT	 WM	PROPOSED WATER METER
			EXISTING FENCE

PAVING & DRAINAGE PLAN
SCALE: 1"=20'

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

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Project No. :
2017-182
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AA
Checked By :
SCH
Date:
04/02/18

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SUSAN C. HOLLAND, PE
Reg. no. 41831

CA 7325

C-1

TOBIN OFFICE BUILDING
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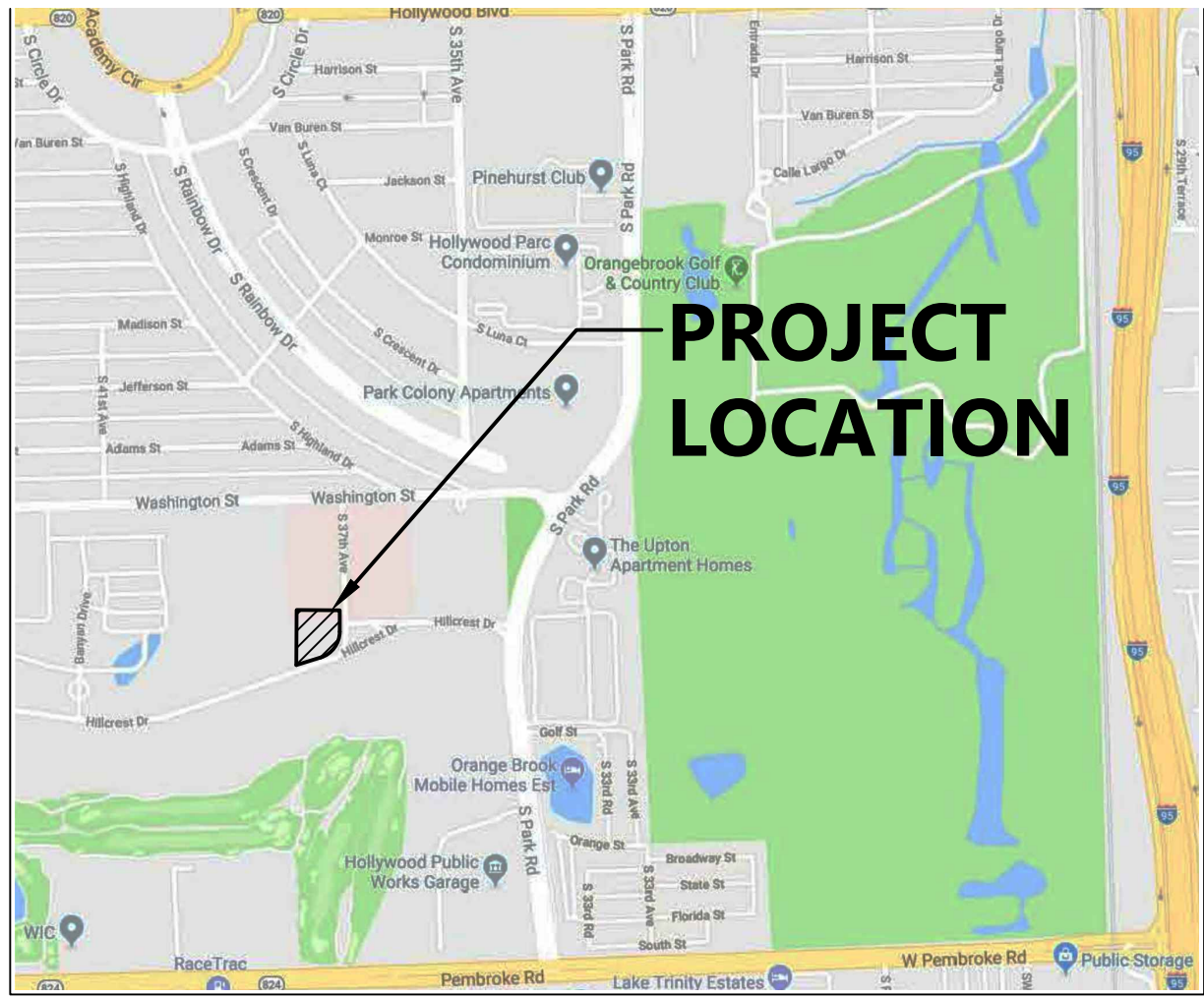
Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
AA
Checked By :
SCH
Date:
04/02/18

REVISIONS

C-2

18-01



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA.

ELEVATIONS ARE BASED UPON N.A.V.D. 1988

NOTE:

UNDERGROUND FIRE MAIN WORK WILL BE
COMPLETED BY A CONTRACTOR HOLDING A
CLASS I, II, OR V LICENCE PER FS 633.102.

NOTES:

1. REFER TO PLUMBING PLANS FOR
COORDINATION WITH BUILDING WATER,
SEWER AND FIRE SERVICES.
2. CONTRACTOR TO FIELD LOCATE
EXISTING SEWER LATERAL AND CONFIRM
DEPTH OF PIPE.
3. CONTRACTOR TO FIELD LOCATE ALL
EXISTING UNDERGROUND UTILITIES AND
CONFIRM DEPTH PRIOR TO
CONSTRUCTION.
4. INSTALLATION OF ALL UTILITIES TO
BE COORDINATED TO PREVENT PIPE
CONFLICTS

FIRE FLOW CALCULATIONS

Tobin Building
A Three Story Commercial Building
3701 Hillcrest Drive, Hollywood

These calculations are for a three (3) story commercial building, with a total ground floor square footage of 1,120 SF. The entire building is non-combustible construction.

Fire Flow Area = 18,000 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total floor area of all floor levels. The total square footage of the three floors is 18,000 square feet.

Per Table 18.4.5.2.1, the fire flow requirement is 1,500 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

1,500 gpm X 75% = 1,125 gpm (fire flow credit)

1,500 gpm - 1,125 gpm = 375 gpm

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm

Per the hydrant flow test, 1,100 gpm is available

WATER AND SEWER DEMAND

18,000 SF OFFICE BUILDING X 0.20 GPD/SF = 3,600 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN
SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON
ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE
PER NFPA 1, 16.4.3.1.1.



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Reg. no. 41831

CA 7325

LEGEND

	PROPOSED ROADWAY RESTORATION AREA		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE SIDEWALK		PROPOSED PIPING
	PROPOSED ELEVATION		EXISTING PIPING AND APPURTENANCES
	PROPOSED SURFACE FLOW		EXISTING CATCH BASIN
	PROPOSED SIGN (AS INDICATED)		EXISTING ELEVATION
	PROPOSED CLEANOUT		EXISTING CONCRETE LIGHT POLE
			PROPOSED WATER METER
			EXISTING FENCE

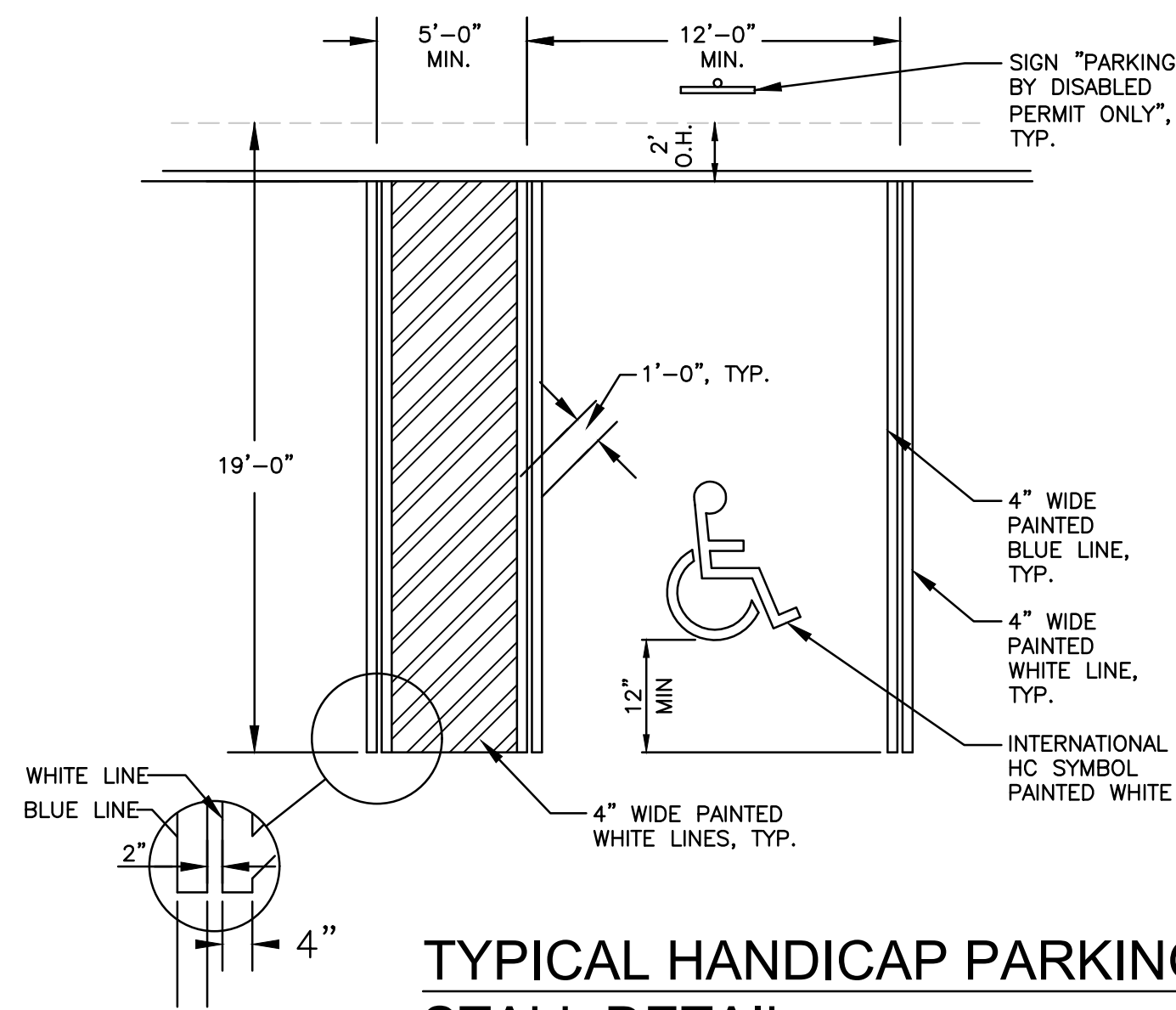
WATER & SEWER PLAN

SCALE: 1"=30'

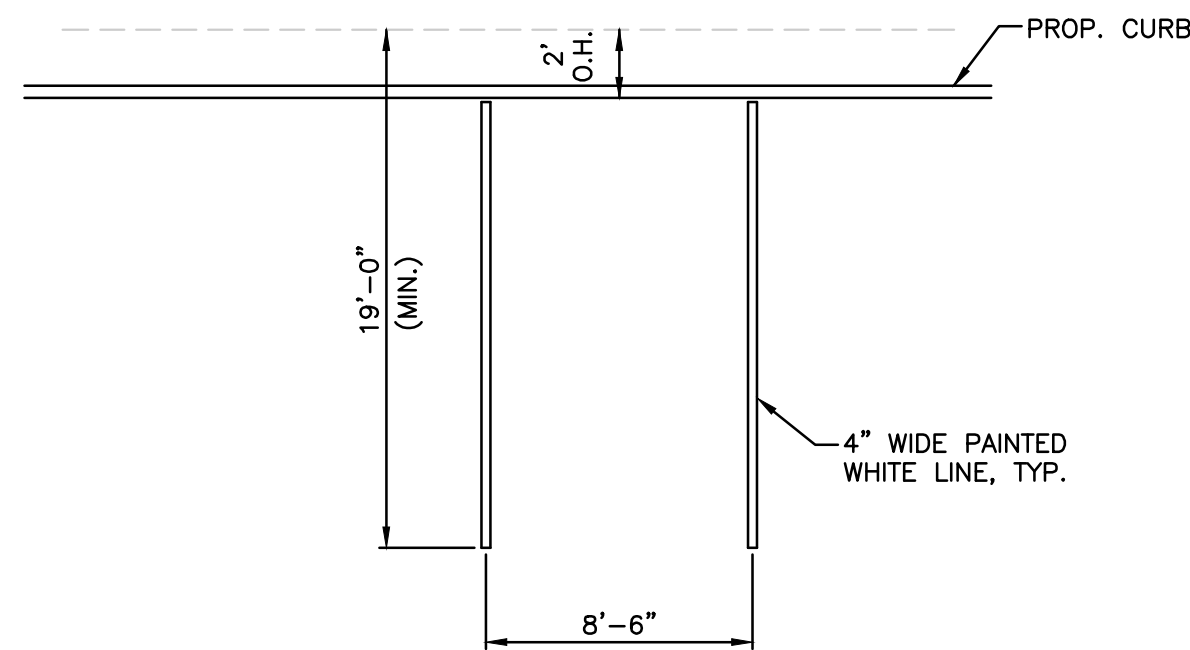
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ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE
ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK.
ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED
IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE
UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL
TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE
ALLOWED.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH
WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS,
CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT
PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF
THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES,
ERRORS OR OMISSIONS.

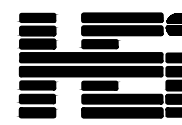
TRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH
K. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS,
TRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT
PER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF
WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES,
ORS OR OMISSIONS.



**TYPICAL HANDICAP PARKING
STALL DETAIL
N.T.S**



**TYPICAL REGULAR PARKING
STALL DETAIL
N.T.S**

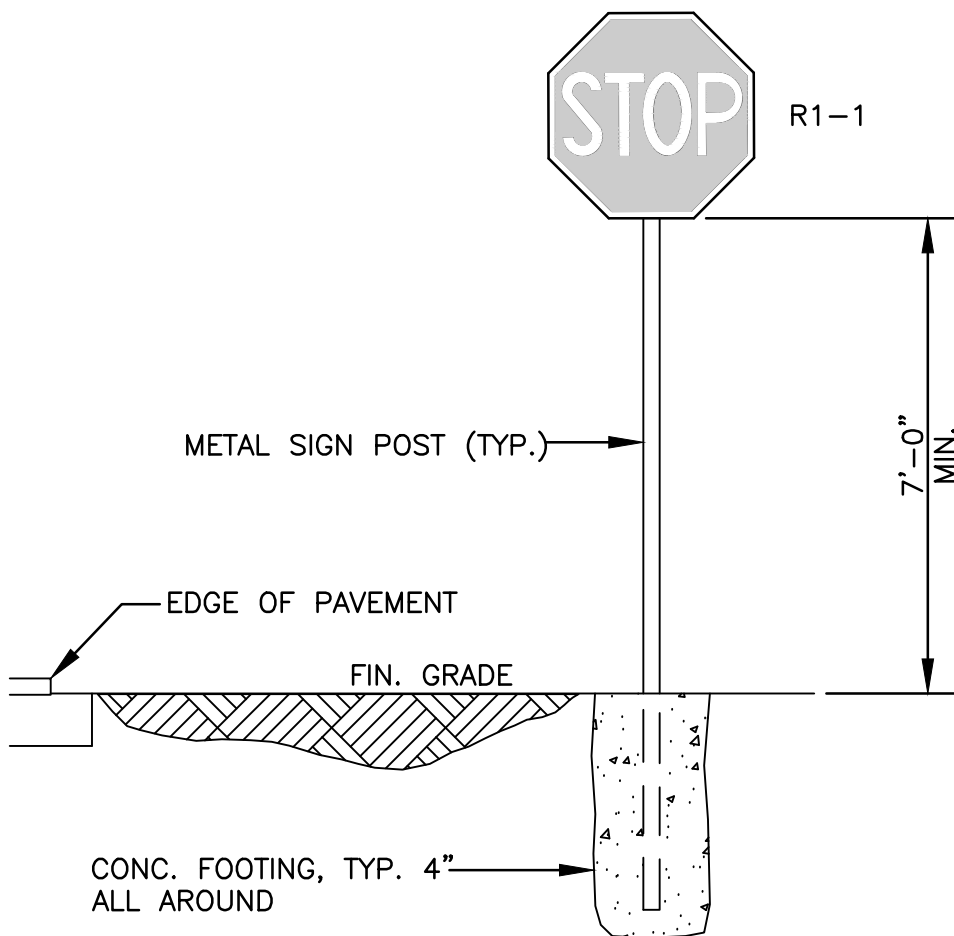
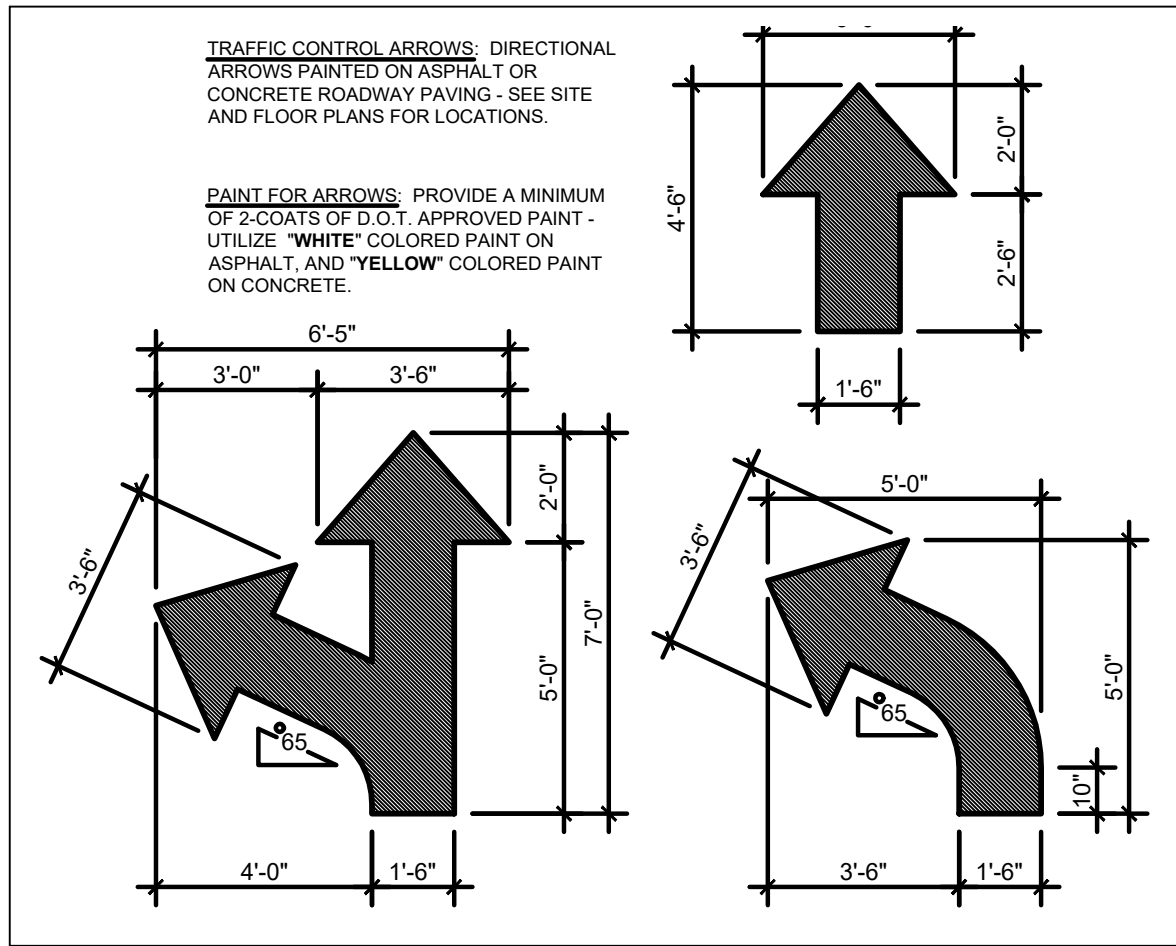


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NOTE:
ALL SIGNAGE WILL COMPLY WITH ZONING
& LAND DEVELOPMENT REGULATIONS.



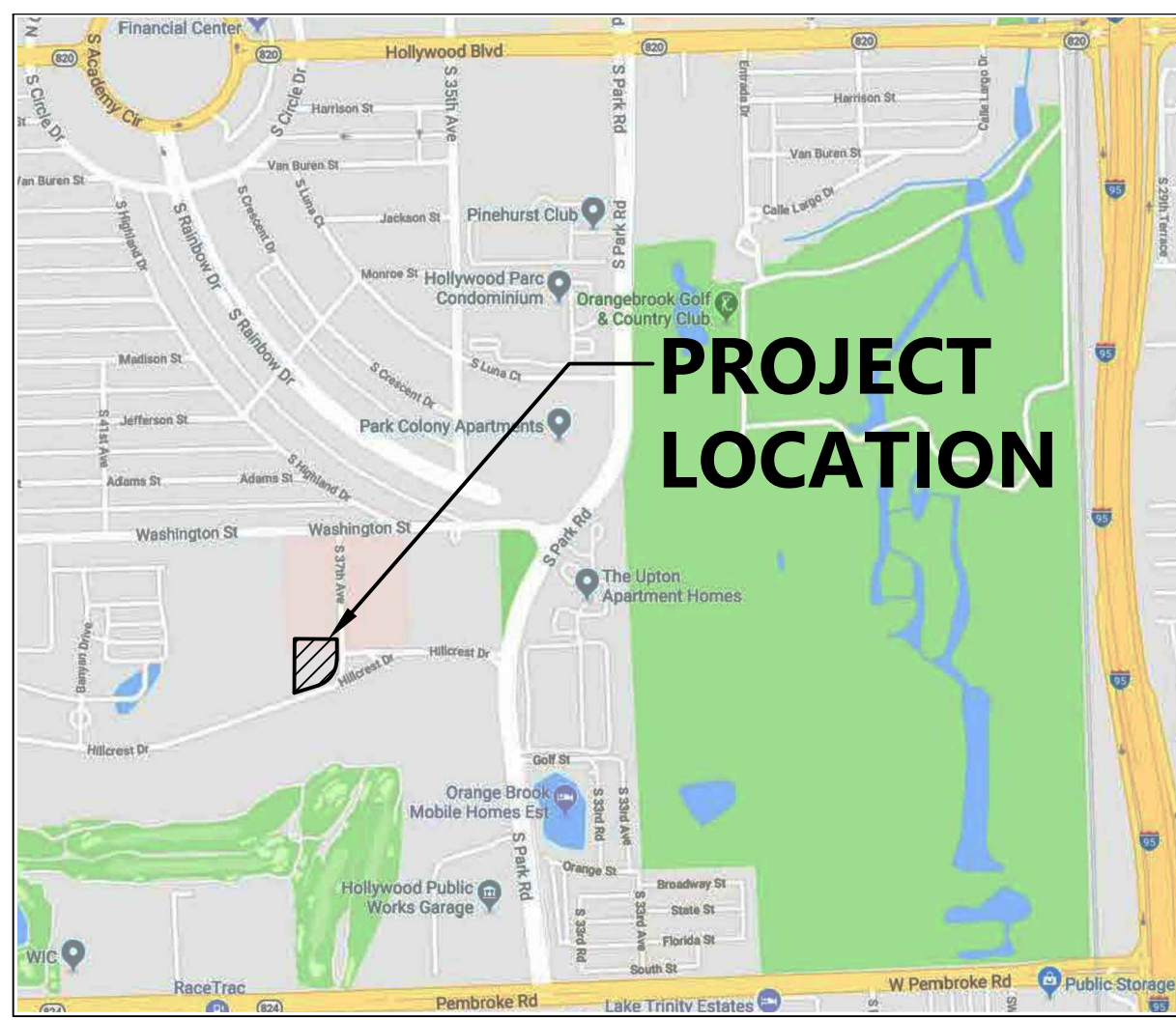
TYPICAL SIGN INSTALLATION

LEGEND

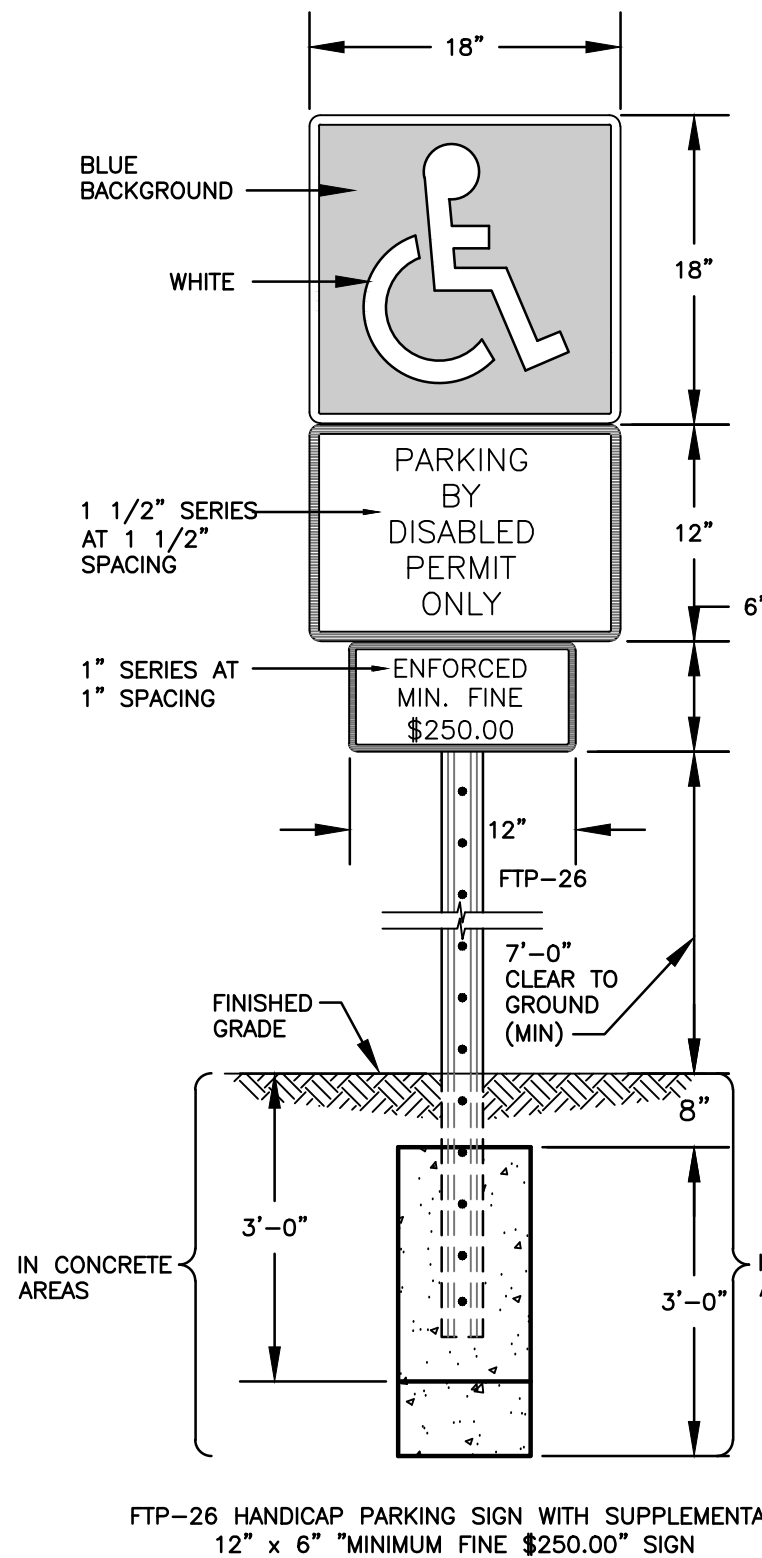
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	PROPOSED CONCRETE		PROPOSED PIPING
	PROPOSED PAVERS		EXISTING PIPING AND APPURTENANCES
	PROPOSED ELEVATION		EXISTING CATCH BASIN
	PROPOSED SURFACE FLOW		EXISTING ELEVATION
	PROPOSED SIGN (AS INDICATED)		EXISTING CONCRETE LIGHT POLE
	PROPOSED CLEANOUT		PROPOSED WATER METER
			EXISTING FENCE

PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1"=20'



LOCATION MAP
NOT TO SCALE



NOTES:

1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP STALL, WHERE APPLICABLE.
4. SIGNS IN CONCRETE AREAS TO BE EMBEDDED FOR A DEPTH OF 3'-FEET.

**HANDICAP PARKING SIGN
NTS**

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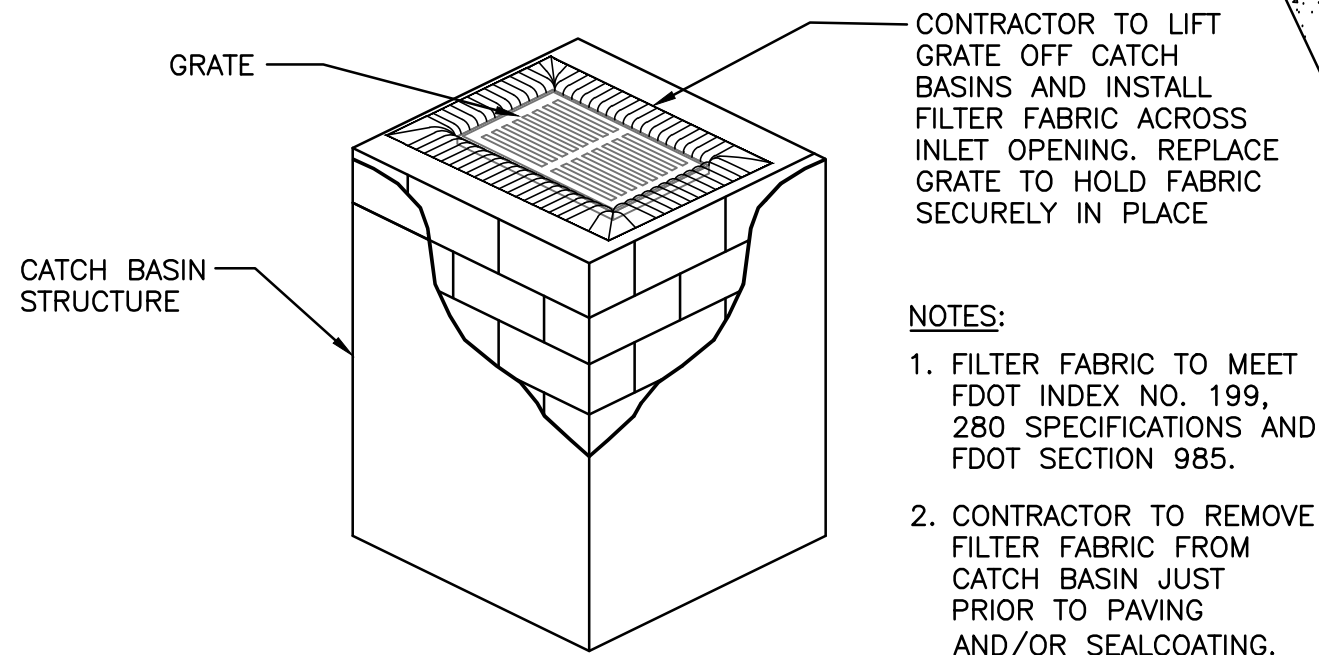
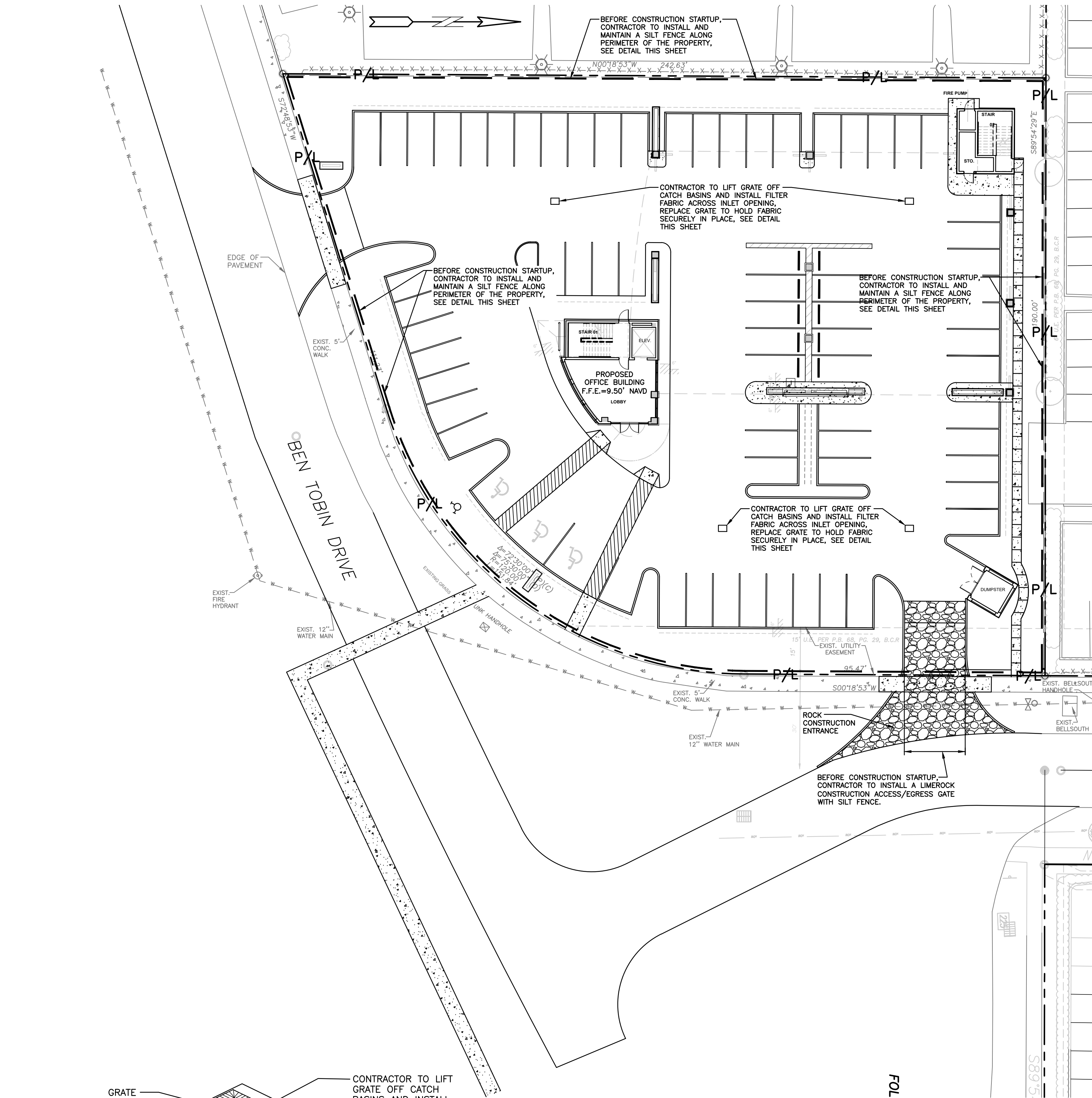
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Drawn By :
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Checked By :
SW
Date:
04/02/18

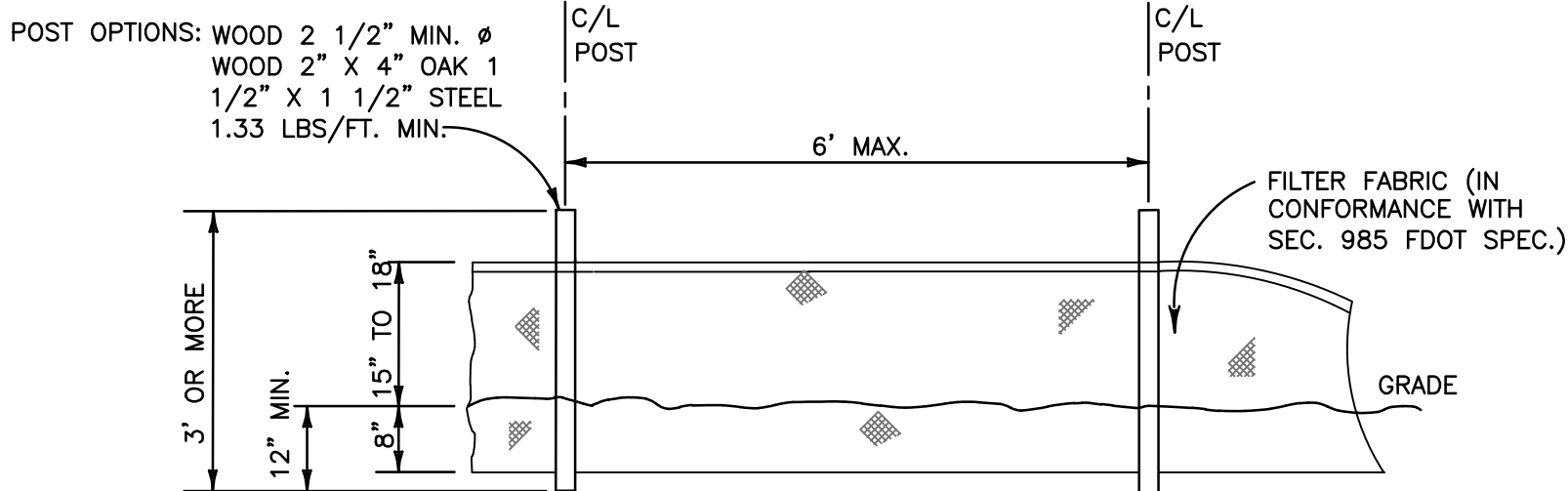
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3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021



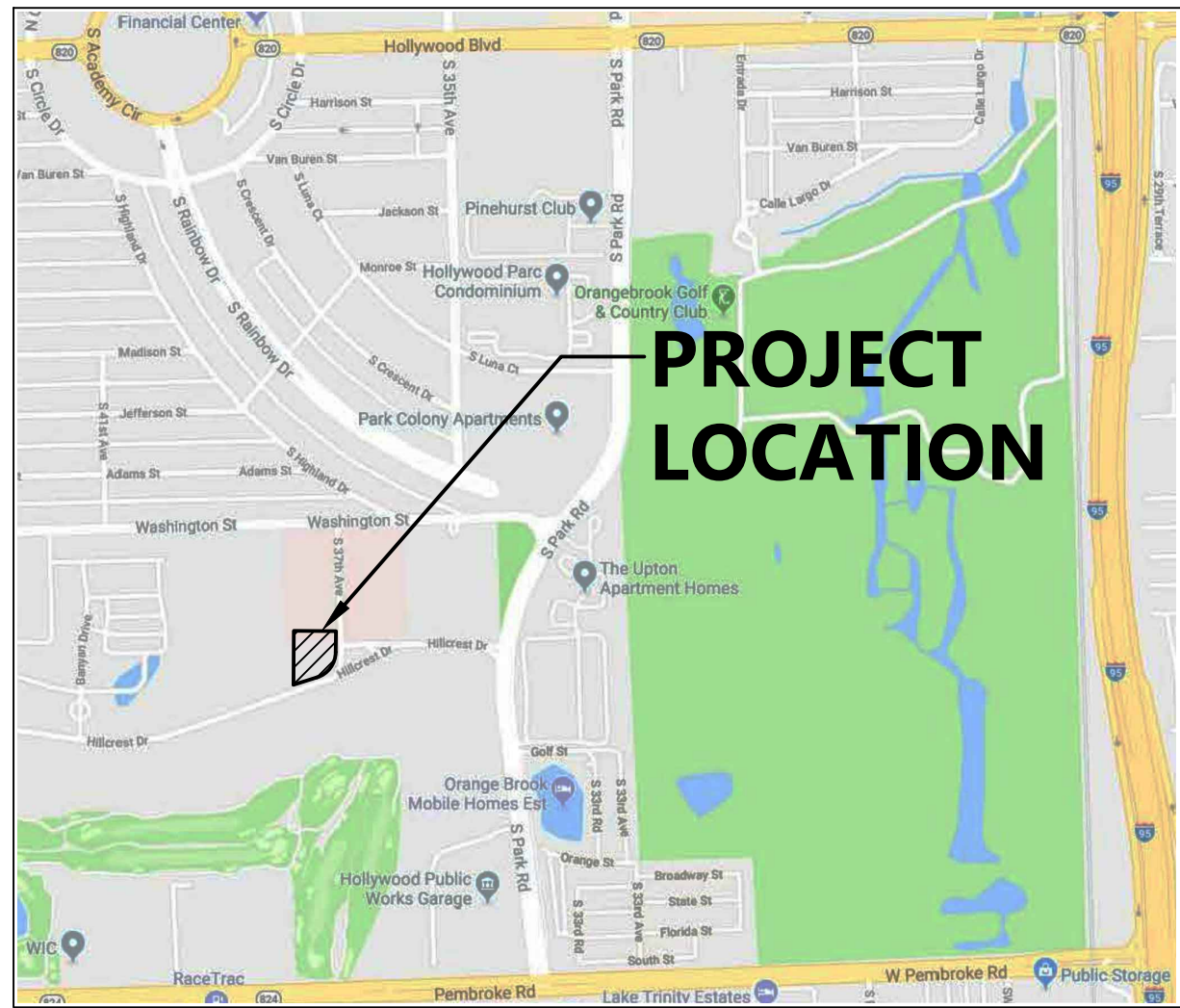
**POLLUTION PREVENTION
FOR CATCH BASIN**
N.T.S.

- NOTES:**
1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
 2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.



TYPE III SILT FENCE
NTS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. TO MEET LEED REQUIREMENTS.
12. PROVIDE SILT FENCE AROUND WORK AREA DURING INSTALLATION OF NEW 8" SANITARY SEWER MAIN.

LEGEND

- | | | | |
|--|------------------------------|--|-----------------------------------|
| | PROPOSED ASPHALT | | EXISTING RPZ BACKFLOW PREVENTER |
| | PROPOSED CONCRETE | | PROPOSED PIPING |
| | PROPOSED PAVERS | | EXISTING PIPING AND APPURTENANCES |
| | PROPOSED ELEVATION | | EXISTING CATCH BASIN |
| | PROPOSED SURFACE FLOW | | EXISTING ELEVATION |
| | PROPOSED SIGN (AS INDICATED) | | EXISTING CONCRETE LIGHT POLE |
| | PROPOSED CLEANOUT | | PROPOSED WATER METER |
| | | | EXISTING FENCE |



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SUSAN C. HOLLAND, PE
Reg. no. 41831

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

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AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
ZH
Checked By :
SW
Date:
04/02/18

REVISIONS

C-4

STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1"=20'



THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.

NTS



1. WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION .
2. SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD .
3. NEW SURFACING MATERIALS SHALL BE CONSISTENT W/ EXIST. & SHALL HAVE BUTT JOINTS (2" MIN. THK.) .
4. COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-99, 180
5. ALL ROADWAY REPAIRS SHALL BE DONE WITHIN 10% RESPECTIVE GOVERNING AUTHORITY HAVING JURISDICTION
6. MECHANICAL COMPACTION NOT ALLOWED BELOW 12" DEPTH (SEE DETAIL) .
7. DENSITY TESTS - MIN. 2 PER SUB-BASE, MIN. 2 PER LIMEROCK, PER CUT . CITY ENGINEERING DEPT. RECEIVES 2 COPIES OF RESULTS .

NTS



LOCATION :

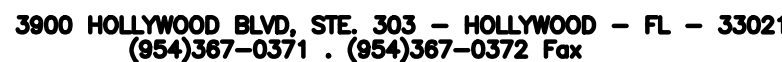
NOTES:

1. EXPANSION JOINTS EVERY 50' O.C.
2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
3. 8" THK. SIDEWALK ACROSS DRIVEWAYS

NTS



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



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SCALE: N.T.S.

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REVISIONS

C-5

18-01