

ATTACHMENT II
Staff Report – April 2016

**CITY OF HOLLYWOOD, FLORIDA
MEMORANDUM
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING**

DATE: April 14, 2016 **FILE:** 15-DPV-23
TO: Planning and Development Board
VIA: Leslie A. Del Monte, Planning Manager 
FROM: Arceli Redila, Planning Administrator 
SUBJECT: Art Ocean, LLC requests Variance, Design, and Site Plan for a 15 room hotel with accessory uses located at 315 Cleveland Street (Art Ocean Hotel).

REQUEST:

Variance, Design and Site Plan for a 15 room hotel with accessory uses.

Variance: To reduce the required number of parking spaces from 16 to 15 parking spaces.

Design and Site Plan.

RECOMMENDATION:

Variance: Approval.

Design: Approval, if Variance is granted.

Site Plan: Approval if Variance and Design are granted with condition the retail area on the ground floor shall remain an Active Use. *Such uses shall be accessible by the general public and shall provide a public entrance from the street. Such uses shall include retail, personal services, restaurants, coffee shops, libraries, municipal facilities, common area or lobbies.*

REQUEST

The Applicant, Art Ocean, LLC is requesting Variance, Design, and Site Plan approvals for a 15 room hotel with accessory uses located at 315 Cleveland Street, within the Beach Community Redevelopment Agency (CRA) in Hollywood's Central Beach. The subject site is approximately 12,800 gross square feet. It comprises three lots located east of A1A, on the northwest corner of Cleveland Street and Surf Road, primarily surrounded by motel/hotel, residential condominium, and commercial uses.

The project proposes a four-story 15-room hotel including an approximate 800 square foot retail space. The proposed building height is approximately 42 feet to the top of the roof; with vertical circulation and decorative elements it extends to approximately 54 feet to the highest projections, which is permitted in this Zoning District. A swimming pool and amenities will be provided on the second floor. Parking will be provided on the ground floor and screened with the use of active liners and landscaping.

The proposed design is contemporary with Florida Vernacular elements. The street-facing façades are articulated with large balconies with standing seam metal awnings. The predominant exterior color is a light color palette imparting a tropical beach style atmosphere.

Located on the ground floor is a small retail space of approximately 800 square feet, flush with the sidewalk and setback five feet from the front property line which is allowed in this Zoning District. Due to reduced building setbacks allowance for the retail use, **Staff is recommending condition that the retail area on the ground floor shall remain an Active Use. Such uses shall be accessible by the general public and shall provide a public entrance from the street. Such uses shall include retail, personal services, restaurants, coffee shops, libraries, municipal facilities, common area or lobbies.**

The subject site is located in the Beach Resort Commercial District where it requires one parking space per hotel room and one parking space per 1,000 square feet of retail space. As such, the project requires 16 parking spaces. The Applicant is requesting a Variance to reduce the required number of parking spaces from 16 to 15 parking spaces, waiving the one parking space for retail. The retail space at approximately 800 square feet is minimal, accessory to the hotel, and according to the Applicant, "it will be operated by the hotel itself." As such, it does not constitute a regional destination requiring additional parking. Staff supports the parking Variance request due to the retail space's unique location being associated and accessory to the hotel.

Additionally, adjacent to the east of the subject site is the Broadwalk Historic District, pedestrian thoroughfare, comprised of pedestrian-oriented uses and retail spaces do not require parking spaces. Redevelopment of this site will enhance the secondary pedestrian link role of Surf Road to the Broadwalk from the newly renovated streetscape on Cleveland Street. The proposed project incorporated pedestrian friendly design elements supporting the intent of the recommendations in the Master Plan, which is to encourage development of sustainable, mixed-use environment that embodies the uniqueness of Hollywood Beach. As such, the proposed project is consistent with long term vision for Hollywood Beach and the City of Hollywood.

SITE DATA

Owner/Applicant:	Art Ocean, LLC
Address/Location:	315 Cleveland Street
Net Area of Property:	9,699 sq. ft. (0.22 acres)
Gross Area of Property:	12,786 sq. ft. (0.29 acres)
Land Use:	General Business
Zoning:	Beach Resort Commercial District (BRT-25-C)
Existing Use of Land:	Hotel/Apartments

ADJACENT LAND USE

North:	General Business
South:	General Business
East:	General Business
West:	General Business

ADJACENT ZONING

North:	Beach Resort Commercial (BRT-25-C)
South:	Beach Resort Commercial (BRT-25-C)
East:	Broadwalk Historic District Commercial (BWK-25-HD-C)
West:	Beach Resort Commercial (BRT-25-C)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The proposed project is located in the General Business Land Use area. The goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.* The surrounding community has a mix of hotel/motels and apartment/condominiums. The project is consistent with the Comprehensive Plan based on the following Objectives:

Objective 3: *Prohibit any increase in the number of permanent residential dwelling units on the Coastal High Hazard Area above that permitted by the adopted Comprehensive Plan.*

Policy 3.1: *Continue to encourage commercial and seasonal uses along Central Beach and prohibit any increase in the number of permanent residential dwelling units above that permitted by the adopted Comprehensive Plan.*

Objective 4: *Promote improved architectural and streetscape design standards, code enforcement, economic development, neighborhood planning, and public information dissemination to maintain and enhance neighborhoods, businesses and tourist areas.*

Objective 5: *Encourage appropriate infill, redevelopment in blighted areas throughout the City and economic development in blighted business and tourist areas.*

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan is a compilation of policy priorities and recommendations designed to improve the appearance, appeal, and economic tax base of the City. It establishes a format for future direction and vision for the City.

Located within Sub-area 4, is Central Beach, which is bounded by Harrison Street to the south and Sherman Street to the north on the barrier island.

Guiding Principles:

- Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.
- Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.

Policy 4.5: *Promote the development of desired commercial uses in defined sector and pockets along the Broadwalk and Ocean Drive.*

Policy 4.6: *Require mixed-uses on the perimeter of new parking structures with pedestrian orientation and architectural features, where appropriate.*

Policy 4.16: *Recognize Central Beach as a prime focus of tourist activities.*

Policy 4.32: *Upgrade the quality of seasonal accommodations and commercial activities by promoting the renovation and construction of higher quality lodging.*

Policy 4.37: *Encourage development and redevelopment of hotel and motels in an effort to increase tourism.*

Policy CW.46: *Place emphasis on redevelopment along the major highway corridors; SR 7, US 1, Dixie Highway, Hollywood Boulevard and A-1-A by limiting expansion of residential areas, and deepening industrial and commercial zones to increase tax revenues.*

Policy CW.47: *Focus beach redevelopment efforts to capitalize on tourist economy.*

The proposed development is consistent with the City-Wide Master Plan as it fosters economic development and recognizes the Central Beach as an important place for development. The proposed development will create a more pleasing atmosphere and creates new economic opportunities. Associated Variance requested help the building further create pedestrian friendly atmosphere in the Beach area.

APPLICABLE CRITERIA

Analysis of CRITERIA and Findings for Variances as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

VARIANCE: To reduce the required number of parking spaces from 16 to 15 parking spaces.

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: The subject site is located in the Beach Community Redevelopment District, and one of its guidelines priority goals is to enhance public access and reduce reliance on cars within Hollywood Beach. As stated within the Hollywood Beach CRA Master Plan, *the impact of cars on the environment from CO₂ emission is a significant contributor to architectural monotony and unpleasant walking conditions*. Therefore, the Variance being requested is within the larger context and vision for Hollywood Beach.

The retail space at approximately 800 square feet is minimal, accessory to the hotel, and according to the Applicant, "it will be operated by the hotel itself." It does not constitute a regional destination and most likely will not generate a parking demand due to the nature of patron's visit. Therefore, reduction of one parking space will not affect the stability and appearance of the City.

FINDING: Consistent.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: As stated previously, the subject site is located on the northwest corner of Cleveland Street and Surf Road immediately adjacent to the Broadwalk, a pedestrian thoroughfare, comprised of pedestrian-oriented uses. Redevelopment of this site will enhance the secondary pedestrian link role of Surf Road to the Broadwalk from the newly renovated streetscape on Cleveland Street. As such, the requested Variance is compatible with surrounding uses and is not detrimental to the community.

FINDING: Consistent.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

ANALYSIS: The requested Variance will allow the property owners to build an economically feasible development while taking into consideration the surrounding uses and maintaining the basic intent of the regulations.

The proposed project incorporated pedestrian friendly design elements supporting the intent of the recommendations in the Master Plan, which is to encourage development of sustainable, mixed-use environment that embodies the uniqueness of Hollywood Beach. As such, the proposed Variance is consistent with and in furtherance of the Goals, Objectives, and Policies of the Comprehensive Plan and vision for Hollywood Beach.

FINDING: Consistent.

CRITERION 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: Redevelopment of this site will enhance the secondary pedestrian link role of Surf Road in the newly renovated streetscape on Cleveland Street. As stated by the Applicant, the Variance requests “enhance the Project as well as help to maintain the existing rhythm and feel of the community.”

FINDING: Consistent.

CRITERION 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

Analysis of CRITERIA and Findings for Design as stated in the City of Hollywood’s Zoning and Land Development Regulations, Article 5.

CRITERION 1: Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: The proposed design is contemporary with Florida vernacular elements. The street-facing façades are articulated with large balconies with standing seam metal awnings. The predominant exterior color is a light color palette imparting a tropical beach style atmosphere. On the ground floor, concealing the garage, is a retail space flush with the sidewalk and designed to promote pedestrian movement and connectivity.

FINDING: Consistent.

CRITERION 2: Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS: The proposed design is contemporary with Florida vernacular elements and “common elements that are found throughout the surroundings,” as state by the Applicant. The proposed design elements, detailing, and color pallet are consistent with the desired character of Central Beach. The project’s massing, scale, rhythm, and architectural elements are compatible with the adjacent neighborhood.

The proposed design supports the Hollywood Beach CRA Master Plan strategy to create pedestrian friendly streets by *distinguishing and enhancing the visitor experience of the Beach*. Therefore, the proposed design is compatible with both the building pattern and characteristics of the surrounding neighborhood.

FINDING: Consistent.

CRITERION 3: Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding molding, and fenestration.

ANALYSIS: The building mass reflects a simple composition of basic architectural details. The project proposes a four-story building at approximately 42 feet in height with vertical circulation and decorative elements it extends to approximately 54 feet to the highest projection. Street-facing facades are articulated with large balconies with standing seam metal awnings. Other exterior building materials include smooth stucco, and various metal elements. The predominant exterior color is a light color palette imparting a tropical beach style atmosphere.

FINDING: Consistent.

CRITERION 4: Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The landscape design enhances the design of the buildings while adding visual appeal to the neighborhood. The plan proposes an array of native trees and shrubs including Sabal Palms and Sylvester Palms along street frontages. Landscaping will also be provided on the upper floors to help soften the built environment.

FINDING: Consistent.

SITE PLAN

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 6 of Zoning and Land Development Regulations on December 7, 2015. Staff recommends approval if Variance and Design are granted, with condition **that the retail area on the ground floor shall remain an Active Use. Such uses shall be accessible by the general public and shall provide a public entrance from the street. Such uses shall include retail, personal services, restaurants, coffee shops, libraries, municipal facilities, common area or lobbies.**

ATTACHMENTS

Attachment A: Application Package
Attachment B: Land Use & Zoning Map
Attachment C: Correspondence

ATTACHMENT A

Application Package

DEPARTMENT OF PLANNING



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 3/10/14

Location Address: 315 Cleveland Street - Art Ocean

Lot(s): 5, 6, 7 Block(s): 8 Subdivision: Hollywood Beach

Folio Number(s): 514212011230 First Addition

Zoning Classification: BET-25-C Land Use Classification: Hotel

Existing Property Use: Hotel Apartments Sq Ft/Number of Units: 4409 Sq Ft.

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☒ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Planning & Development Review of a New 15 Room Hotel

Number of units/rooms: 15 Sq Ft: 10,600

Value of Improvement: 1.6 million Estimated Date of Completion: 1/2017

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Art Ocean LLC

Address of Property Owner: 907 Main Dr. Weston FL 33327

Telephone: 954-605-5735 Fax: _____ Email Address: guzandizaga@gmail.com

Name of Consultant/Representative/Tenant (circle one): Joseph B. Kaller

Address: 2417 Hollywood Blvd Telephone: 954-950-5746

Fax: 954-950-2841 Email Address: Joseph.B.Kaller@architects.com

Date of Purchase: 5/1/2013 Is there an option to purchase the Property? Yes () No (✓)

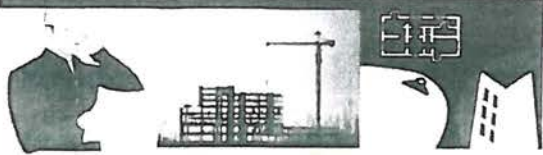
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 03/10/16

PRINT NAME: Gustavo Usamizaga Date: _____

Signature of Consultant/Representative: [Signature] Date: _____

PRINT NAME: Joseph B. Kauter Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Planning & Development Review to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Joseph B. Kauter to be my legal representative before the Planning & Development Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 10 day of March 2016

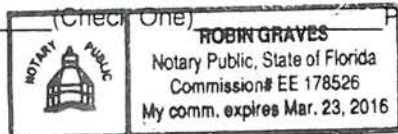
[Signature]

Notary Public State of Florida

[Signature]
SIGNATURE OF CURRENT OWNER

Gustavo Usamizaga
PRINT NAME

My Commission Expires: 323.16



Personally known to me; OR _____

PROPOSED NEW BOUTIQUE HOTEL

ART OCEAN HOTEL

315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

PROJECT DESCRIPTION:

NEW FOUR STORY BOUTIQUE HOTEL WITH FIFTEEN NON-SUITE ROOMS, POOL AND POOL DECK.

LEGAL DESCRIPTION:

LOTS 5, 6 and 7, BLOCK 8 OF "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

GENERAL CRITERIA STATEMENT
ART OCEAN HOTEL
315 MCKINLEY STREET
15-DP-23
March 9, 2016

1. Architectural and Design Components. Architecture refers to the Architectural elements of exterior building surfaces. Architectural Details should be commensurate with the building mass. The use of traditional materials for new Architectural Details is recommended. Design of the Building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

Art Ocean Hotel is located in the Central Beach Community of the City of Hollywood. It is on the northwest corner of Surf Road and Cleveland Street, a stone's throw away from the Broadwalk. The Hotel is four stories in height with the First Floor housing a small Entrance Lobby, Retail Space and Parking hidden from street view. The Second through Fourth Floors have five (non-Suite) Room each with the Second Floor also having the Pool and Pool Deck area for the Hotel guests.

The Hotel was specifically designed to maintain a connectivity to the street and the pedestrian movement on the street. Entrances to the Lobby and the Retail Space are flush with the sidewalk and room balconies face outwards so that guests can people watch and take advantage of ocean views. The Pool is located in the rear of the Building, but there is a visual connectivity that is maintained with the Beach and Broadwalk.

The Hotel is placed in such a way that it does not feel closed off from the Community but a part of it.

The style of Architecture is that of Modern Florida Vernacular or "Caribbean Style". Standing seam metal roofs, stone veneer and a light color palette evoke a beach style that Florida is known for. The rhythm of the massing is compatible with the surrounding structures.

2. Compatibility. The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

The surrounding Community is made up of small, single story, two story and multi-story hotels and condominiums. The Architecture is an eclectic mix of Ranch, Streamline Modern, Florida Vernacular and Mediterranean Revival. There are common elements that are found throughout the surroundings. Deep eaves and roof overhangs, decorative moldings, breezeways and exterior courtyards and decks. All of these characteristics have been incorporated into the design and flow of the Hotel in a way that allows it to fit right into the area.

3. Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings. Architectural details included, but are not limited to, banding, molding and fenestration.

The Hotel is small in scale and massing and there is an emphasis on punching the façade with windows and doors that mimics the rhythm of the surrounding Buildings. The Covered Entryways and Balconies facing the street promote a visual connection between the guests and pedestrians. Street level storefronts provide visual interest by being both transparent to see in but also reflective of the newly renovated streetscapes doubling the number of palms and plantings in the eyes of passerby's.

4. Landscaping. Landscaped area should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

Because of the Hotel's very strong relationship to the street, the landscape was designed specifically to merge seamlessly with the soft and hardscape of the existing street and sidewalk. The pavers will compliment the existing and the plantings will do the same. Landscaping will also be provided at upper floors to help soften the built environment. The trees and shrubs being proposed are salt tolerant and native which will ensure that they thrive.

VARIANCE CRITERIA STATEMENT
ART OCEAN
315 CLEVELAND STREET
15-DP-23
March 14, 2016

The Variances being requested are as follows:

- The number of Parking Spaces required for Retail is 1 Space, the number being provided is 0.

- A. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City:

The Variances being requested does not affect the stability and appearance of the City. The lack of one required parking space for the retail will not negatively impact the intent of the parking requirements because the retail space is so small that it will be operated by the Hotel itself. The stability and appearance is maintained by the use of pavers and landscaping that will match the existing street improvements. The lack of parking for a very small 757 Sq. Ft. of retail space is negligible.

- B. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the Community:

The Variances being requested will not be detrimental to the Community but rather will enhance the Community. The reason for the lack of the parking for the retail space because other spaces required on the First Floor like the Lobby, Trash Room and stairwells limited the number of parking spaces that could fit. The Variance being requested still allows the First Floor portion of the Building that faces the street to provide a buffer between the street and the garage which in turn provides a more pedestrian friendly environment.

- C. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City:

The Variances being requested are consistent with the goals of the Comprehensive Plan of the City of Hollywood. In the City Wide Master Plan for the Hollywood Beach Area, the Economic Development Action Agenda stated goals for the Beach Area. There included:

1. Improving the image of Hollywood Beach
2. Improving conditions of Buildings, Parking and Facades.
3. Work with the Chamber of Commerce and other Business Groups and those who have a vested interest in the Commercial success of the Beach.
4. Upgrade the quality of seasonal accommodations.
5. Encourage development and redevelopment of hotels in an effort to increase tourism.

These goals are clearly met with the Art Ocean Hotel Development. It emphasizes the vision of preserving the character of the Community while enhancing the built, natural and economic environments.

The City Wide Master Plan for Sub Area for (Hollywood Beach) also outlines supporting policies for Economic Development and Re-Development. The Policies mention working with partnerships to obtain mutually beneficial goals.

- D. That the need for the requested Variance is not economically based or self-imposed.

The requested Variances are not based on an economic or self imposed hardship. Instead, the Variances are based on the land configuration and making the best use of the Site while trying to meet the requirements of the Florida Building Code and the City of Hollywood Land Development Code. In trying to design a high quality product that respects its surroundings, and makes pedestrian movement and safety a priority; it meant having to request certain Variances. These Variances enhance the Project as well as helps to maintain the existing rhythm and feel of the Community.

- E. That the Variance is necessary to comply with State or Federal Law and is the minimum Variance Necessary to comply with the applicable law.

The Variances being requested do not conflict with any State or Federal Laws. With or without the requested Variances, all laws, State and Federal will be followed.



314 CLEVELAND ST.



1815 N. SURF RD



1901 N. SURF ROAD



315 CLEVELAND ST



327 CLEVELAND ST.



1907 N. SURF RD.

ART OCEAN HOTEL

315 CLEVELAND STREET, HOLLYWOOD FL 33020

MAIN BUILDING COLOR
BENJAMIN MOORE
WHITE CHRISTMAS 872



MAIN BUILDING COLOR
BENJAMIN MOORE
MARBLE CANYON 227



LEDGER STONE FINISH
BEACHWALK

ART OCEAN HOTEL

315 CLEVELAND STREET, HOLLYWOOD FL 33020



IMPACT RESISTANT GLASS AND
ALUMINUM GUARD RAIL WITH
WOOD TOP RAIL



ALUMINUM GUARD RAIL WITH
HORIZONTAL PICKETS

ART OCEAN HOTEL

315 CLEVELAND STREET, HOLLYWOOD FL 33020

STANDING SEAM METAL ROOF



FIRE RETARDANT CANVAS
AWNING
SUNBRELLA
TRESKO GINGER



STOREFRONT DOORS



ART OCEAN HOTEL

315 CLEVELAND STREET, HOLLYWOOD FL 33020

TURTLE FRIENDLY BACKLIT
REVERSE CHANNEL LETTER SIGNAGE



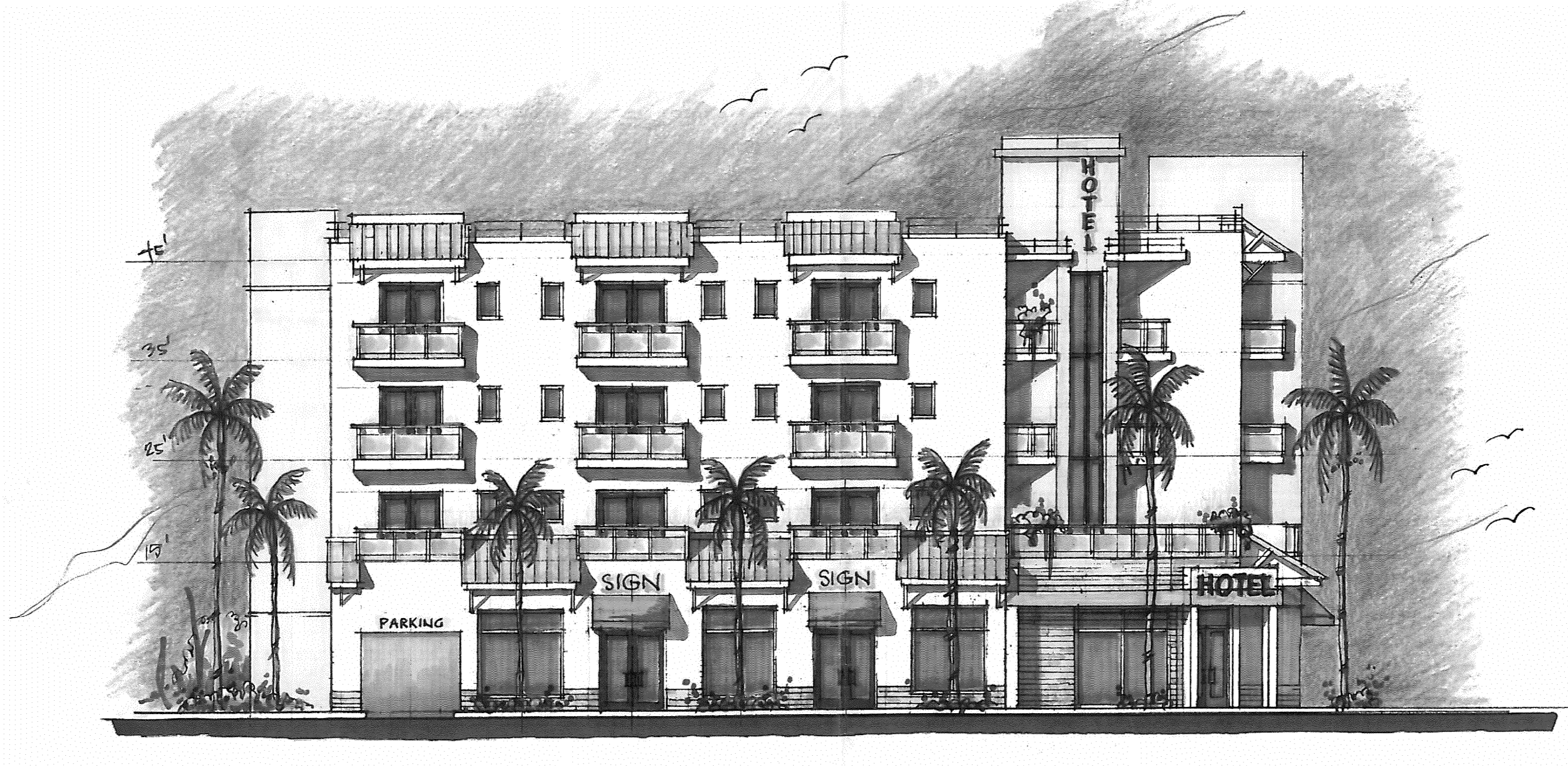


315 CLEVELAND ST.





ART OCEAN HOTEL Hollywood



MEETING DATES

ECONOMIC ROUND TABLE MEETING - OCTOBER 10, 2013

PRELIMINARY T.A.C. MEETING - JUNE 1, 2015

FINAL T.A.C. MEETING - TBD

PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 2014 (5TH ED.)
FLORIDA FIRE PREVENTION CODE, 5TH ED (2014)
NFPA 101, LIFE SAFETY CODE, 5TH ED (2014)

JURISDICTION:

CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

PROJECT TEAM

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
PHONE: (954) 920-5146
FAX: (954) 926-2841
EMAIL: joseph@kallerarchitects.com

OWNER

ART OCEAN LLC
CONTACT: MR. GUSTAVO USANDIZAGA
ADDRESS: 9611 MARINA DRIVE
WESTON, FL 33321
CELL: (954) 605-5135
EMAIL: GUSANDIZAGA@gmail.com

SURVEYOR

MCLAUGHLIN ENGINEERING COMPANY
CONTACT: JERALD A. MCLAUGHLIN
ADDRESS: 4000 JILL MCLAUGHLIN AVE. (NE 3RD AVE.)
FORT LAUDERDALE, FL 33301
PHONE: (954) 163-1611
FAX: (954) 163-1615
EMAIL: admin@mecl4000.com

LANDSCAPE ARCHITECT

TONNING AND ASSOCIATES INC.
CONTACT: MR. WAYNE TONNING
ADDRESS: 799 JEFFREY STREET
BOCA RATON, FL 33481
PHONE: (561) 414-8269
FAX: (561) 893-5911
EMAIL: tonningr@aol.com

CIVIL ENGINEER

CHARLES O. BUCKALEW
CONTACT: CHARLES BUCKALEW
ADDRESS: 801 SOUTH OCEAN DRIVE
HOLLYWOOD, FL 33019
PHONE: (954) 921-0516
EMAIL: cbuck16610@aol.com

DRAWING INDEX

T-1 COVER SHEET
SURVEY

SP-0 BUILDING DATA
SP-1 SITE PLAN AND SITE DATA
SP-2 SITE DETAILS
SP-3 DUMPSTER AND SIGNAGE DETAILS

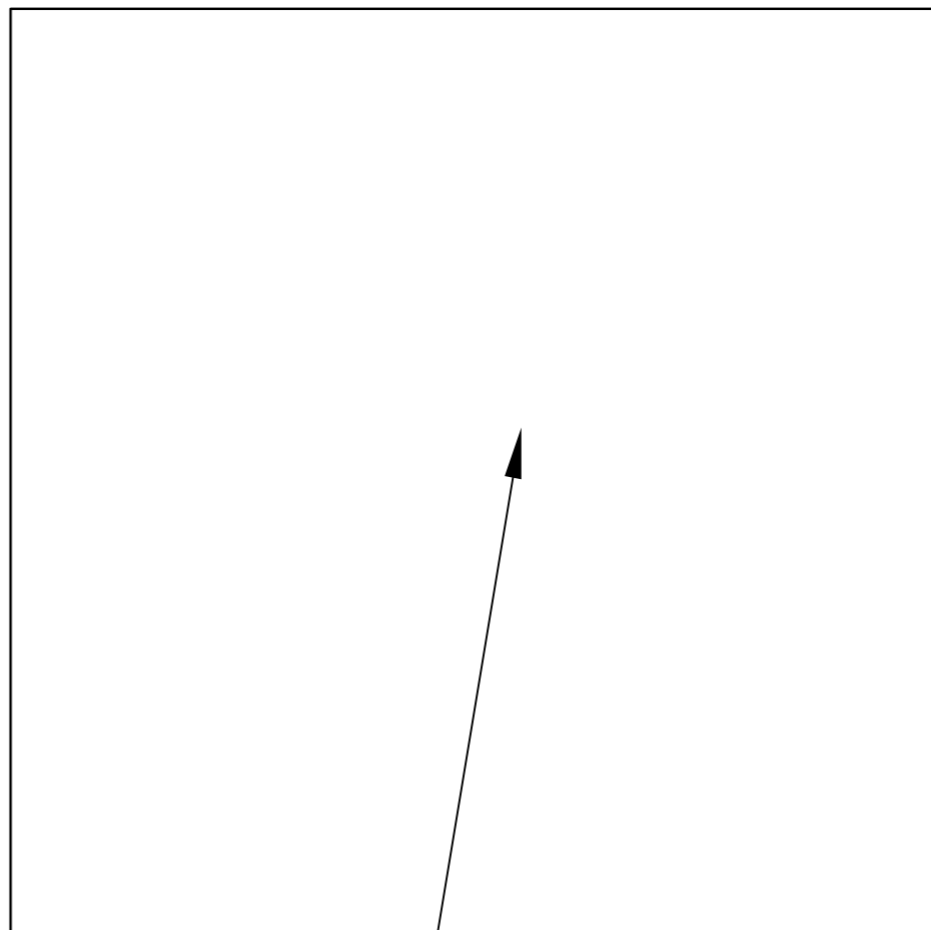
C-1 PAVING AND DRAINAGE/ WATER AND SEWER
C-2 CONSTRUCTION DETAILS
C-3 CONSTRUCTION DETAILS
C-4 EROSION CONTROL PLAN

LI-1 IRRIGATION PLAN AND DETAILS
LP-1 LANDSCAPE PLAN AND DETAILS

FP-1 FLOOD PROOFING PLAN

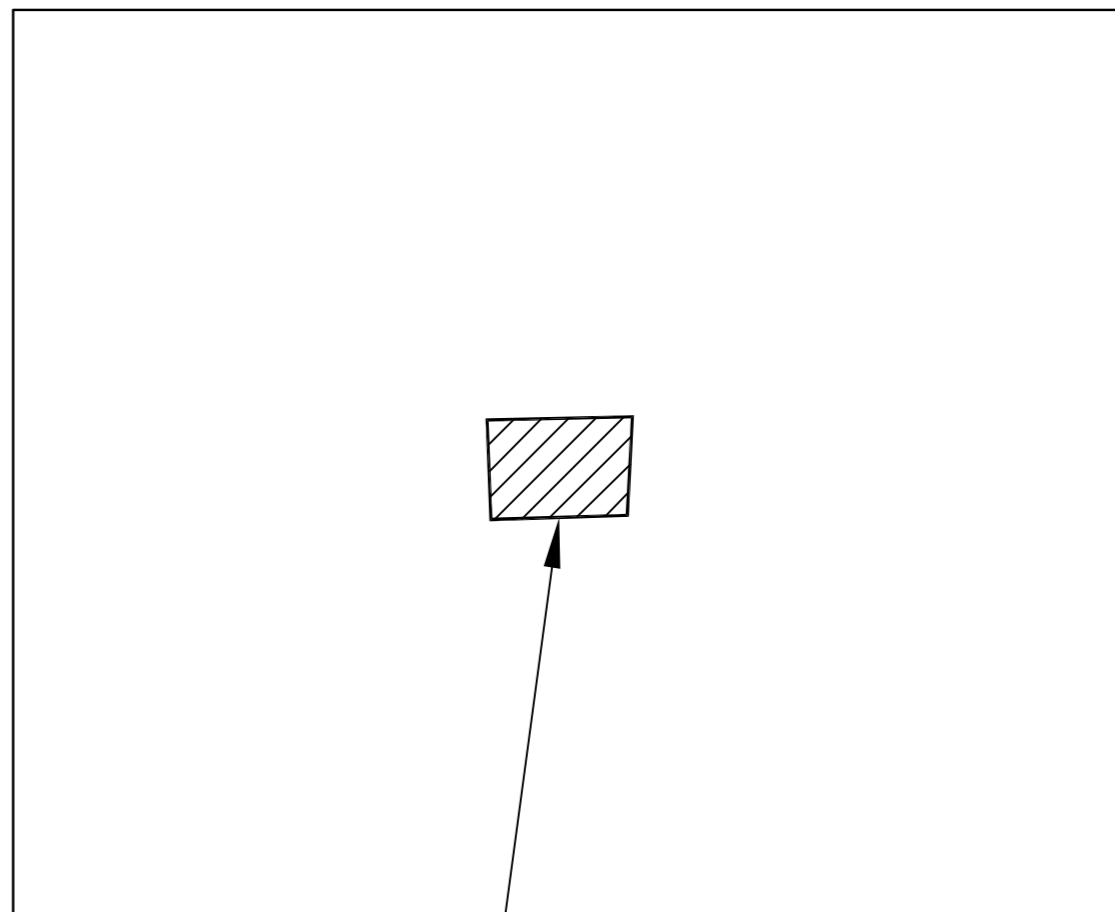
A-1 FIRST FLOOR PLAN
A-2 SECOND FLOOR PLAN
A-3 THIRD FLOOR PLAN
A-4 FOURTH FLOOR PLAN
A-5 ROOF PLAN
A-6 BUILDING ELEVATION
A-7 BUILDING ELEVATION
A-8 BUILDING ELEVATION
A-9 BUILDING ELEVATION
A-10 ACTIVE USES AND TRANSPARENCY
A-11 CONTEXTUAL STREET ELEVATIONS
A-12 TYPICAL ROOM BLOW UP PLAN
A-13 SETBACK DIAGRAM
A-14 AREA OF ALLOWABLE OPENINGS IN WALL

LOCATION MAP



SITE

AERIAL



SITE



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&
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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE

COVER SHEET
FINAL TAC

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-22-15	FINAL TAC
3		
4		
5		
6		
7		
8		
9		
10		

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PROJECT No.: 13117
DATE: 04/15/15
DRAWN BY: JAIME
CHECKED BY: JBK

SHEET

T-1



McLAUGHLIN ENGINEERING COMPANY

(LB# 285)

400 N.E. 3rd AVE.

FORT LAUDERDALE, FLORIDA, 33301

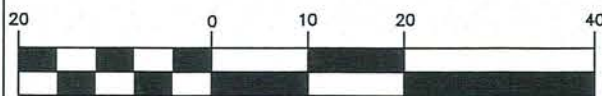
ENGINEERING - SURVEYOR

EMAIL: meco400@aol.com WEB: www.MECO400.com

PHONE: (954)763-7611

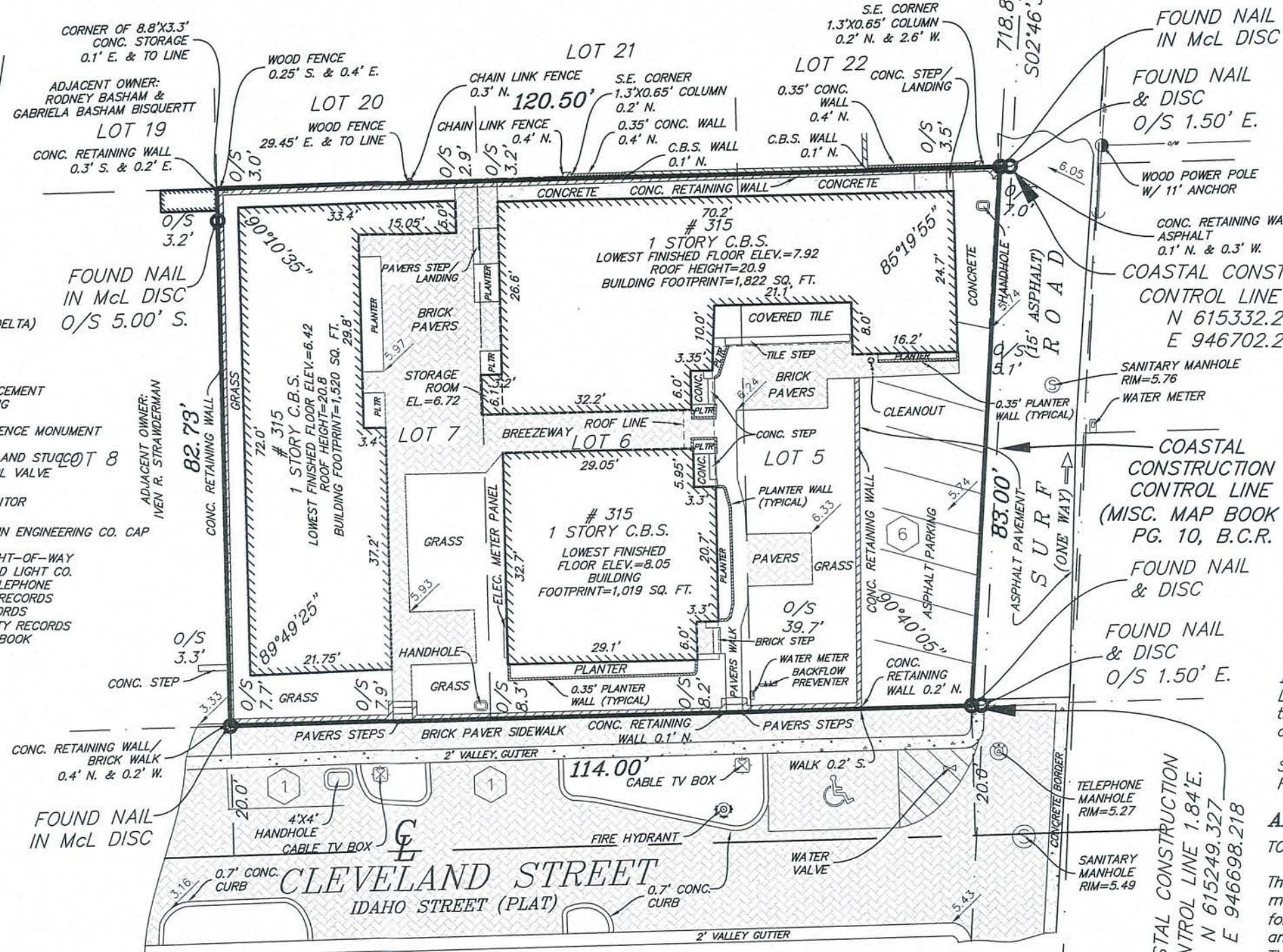
FAX: (954)763-7615

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

ALTA/ACSM LAND TITLE SURVEY LOTS 5, 6 & 7, BLOCK 8, HOLLYWOOD BEACH 1st ADDITION, PLAT BOOK 1, PAGE 31, B.C.R.



LEGEND

- Δ = CENTRAL ANGLE (DELTA)
- A OR L = RADIUS
- CH.BRG. = CHORD BEARING
- TAN.BRG. = TANGENT BEARING
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- O/S = OFFSET
- P.R.M. = PERMANENT REFERENCE MONUMENT
- CONC. = CONCRETE
- C.B.S. = CONCRETE, BLOCK AND STUCCO
- I.C.V. = IRRIGATION CONTROL VALVE
- W.M. = WATER METER
- B.F.P. = BACK FLOW PREVENTOR
- ELEV. = ELEVATION
- W/MCL CAP = WITH MCLAUGHLIN ENGINEERING CO. CAP
- A/C = AIR CONDITIONING
- C = CENTERLINE OF RIGHT-OF-WAY
- F.P.L. = FLORIDA POWER AND LIGHT CO.
- S.B.T. = SOUTHERN BELL TELEPHONE
- B.C.R. = BROWARD COUNTY RECORDS
- D.C.R. = DADE COUNTY RECORDS
- P.B.R. = PALM BEACH COUNTY RECORDS
- O.R. = OFFICIAL RECORDS BOOK
- P.G. = PAGE
- R/W = RIGHT-OF-WAY
- C.O. = CLEAN OUT
- C.L.F. = CHAIN LINK FENCE

NOTES:

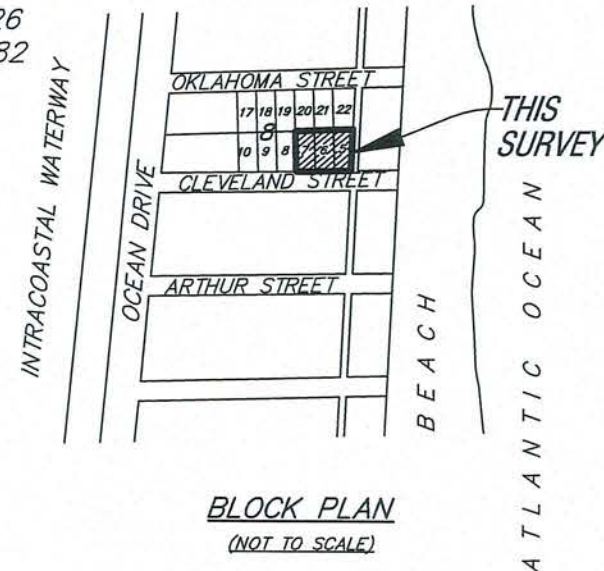
- This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.
- Underground improvements if any not located.
- This drawing is not valid unless sealed with an embossed surveyors seal.
- Boundary survey information does not infer Title or Ownership.
- All iron rods 5/8", unless otherwise noted.
- Reference Bench Mark: Box Cut in concrete curb on the East right-of-way of Boardwalk and centerline of Arthur Street. ELEVATION = 7.90(NGVD29), 6.32(NAVD88).
- Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: 5.15, Elev.=5.74
- This property lies in Flood Zones "AE", Elev.=9.0 Per Flood Insurance Rate Map No. 12011C0588 Dated: July 21, 2014. Community Panel No. 125113. Flood Zones shown hereon are approximate.
- Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from <http://www.tech.army.mil/>

AREA NOTE:

PROPERTY SQUARE FOOTAGE=9,699 SQ. FT.
PROPERTY, INCLUDING HALF RIGHT-OF-WAY=12,736 SQ. FT.

"NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL"

FOUND
MONUMENT R-110
N 616034.126
E 946828.382



BLOCK PLAN
(NOT TO SCALE)

TITLE NOTES:

There are no Easements, reservations or rights of way of record per Ownership and Encumbrance Report, by Nerdinsky Law Group, File No. 315 CLEVELAND STREET, HOLLYWOOD, FL, Dated November 9th, 2015.

- Matters per Plat Book 1, Page 31 of the Public Records of Broward County, Florida affects this property as shown.
- Easement per Deed Book 25, Page 46 and Deed Book 336, Page 359 of the Public Records of Broward County, Florida may affect this property (no documents supplied)
- Ordinance per O.R. Book 14022, Page 900 of the Public Records of Broward County, Florida and O.R. Book 14066, Page 945 of the Public Records of Broward County, Florida affects this property (nothing plottable).

LEGAL DESCRIPTION:

Lots 5, 6, and 7, Block 8, HOLLYWOOD BEACH FIRST ADDITION, according to the plat thereof, as recorded in Plat Book 1, Page 31, of the public records of Broward County, Florida.

Said lands situate, lying and being in the City of Hollywood, Broward County, Florida and containing 9,699 square feet or 0.2227 acres, more or less.

ALTA/ACSM CERTIFICATION:

TO: Art Ocean, LLC;

This is to certify that this map and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys "jointly established and adopted by ALTA and NSPS.

The undersigned further certifies that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Date of last field work May 6th, 2015.

CERTIFICATION:

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 1st day of April, 2013.
Revised Certification added this 25th day of April, 2013.

Resurveyed with ALTA/ACSM standards this 6th day of May, 2015.

Revised to add Title Notes this 16th day of November, 2015.

Revised Title Notes and Square Footage added this 6th day of January, 2016.

McLAUGHLIN ENGINEERING CO.

MONUMENT T-111
(NOT FOUND)

N 615040.407
E 946779.881

Jerald A. McLaughlin
Professional Surveyor and Mapper No. 5269
State of Florida

DRAWN BY: RDR, RT, JMM/jr, RDR
CHECKED BY:

FIELD BOOK NO. TDS, LB# 320/33, Print

JOB ORDER NO. U-8046, V-0266, V-0943

C:\RUDY\2015\V0943\dwg\V0943.dwg 1/6/2016 2:28:31 PM EST

FILE NO. 13-1-038 (15) (NAVD88)

HOTEL UNIT DATA

LOCATION	ROOM #	ROOM NAME	AREA		NET AREA		BEDS /BATHS
			AC	ROOM BALCONY	AC	BALCONY	
2ND FLOOR	1	201	469	50	2294	280	1/1
	2	202	394	40			1/1
	3	203	501	50			1/1
	4	204	427	55			1/1
	5	205	503	85			1/1
3RD FLOOR	6	301	469	50	2294	230	1/1
	7	302	394	40			1/1
	8	303	501	50			1/1
	9	304	427	40			1/1
4TH FLOOR	10	305	503	50	2294	230	1/1
	11	401	469	50			1/1
	12	402	394	40			1/1
	13	403	501	50			1/1
	14	404	427	40			1/1
	15	405	503	50			1/1
TOTAL NET AREA					6882	740	

AREAS

LOCATION	SPACE	AREA		NET AREA	
		AC	NON AC	AC	NON AC
1ST FLOOR	RETAIL	757		1175	608
	LOBBY/OFFICE	418			
	MECH/ELEC		136		
	TRASH ROOMS		88		
	ELEVATORS		80		
	STAIRWELLS		304		
2ND FLOOR	TERRACE/ CORR.		1325	2437	4395
	HOTEL ROOMS	2294			
	BALCONIES		280		
	RESTROOMS		133		
	POOL EQUIP		130		
	POOL DECK		2084		
	LAUNDRY	143			
	ELEVATORS		80		
	STAIRWELLS		363		
3RD FLOOR	HOUSEKEEPING	133		2427	1918
	VERANDAH/ CORR.		1245		
	HOTEL ROOMS	2294			
	BALCONIES		230		
	ELEVATORS		80		
	STAIRWELLS		363		
4TH FLOOR	HOUSEKEEPING	133		2427	1666
	VERANDAH/ CORR.		993		
	HOTEL ROOMS	2294			
	BALCONIES		230		
	ELEVATORS		80		
	STAIRWELLS		363		
TOTAL NET AREA				8466	8587

ROOM ACCESSIBILITY

LOCATION	ROOM NAME	ROOM TYPE	ROLL-IN SHOWER	HC BATHS	COMMUN.
2ND FLOOR	201	KING			
	202	KING			
	203	KING			
	204	KING		X	X
	205	KING			
3RD FLOOR	301	KING			
	302	KING			
	303	KING			X
	304	KING			
4TH FLOOR	401	KING			
	402	KING			
	403	KING			X
	404	KING			
	405	KING			
TOTAL			0	1	3



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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE

SITE & BUILDING DATA

REVISIONS

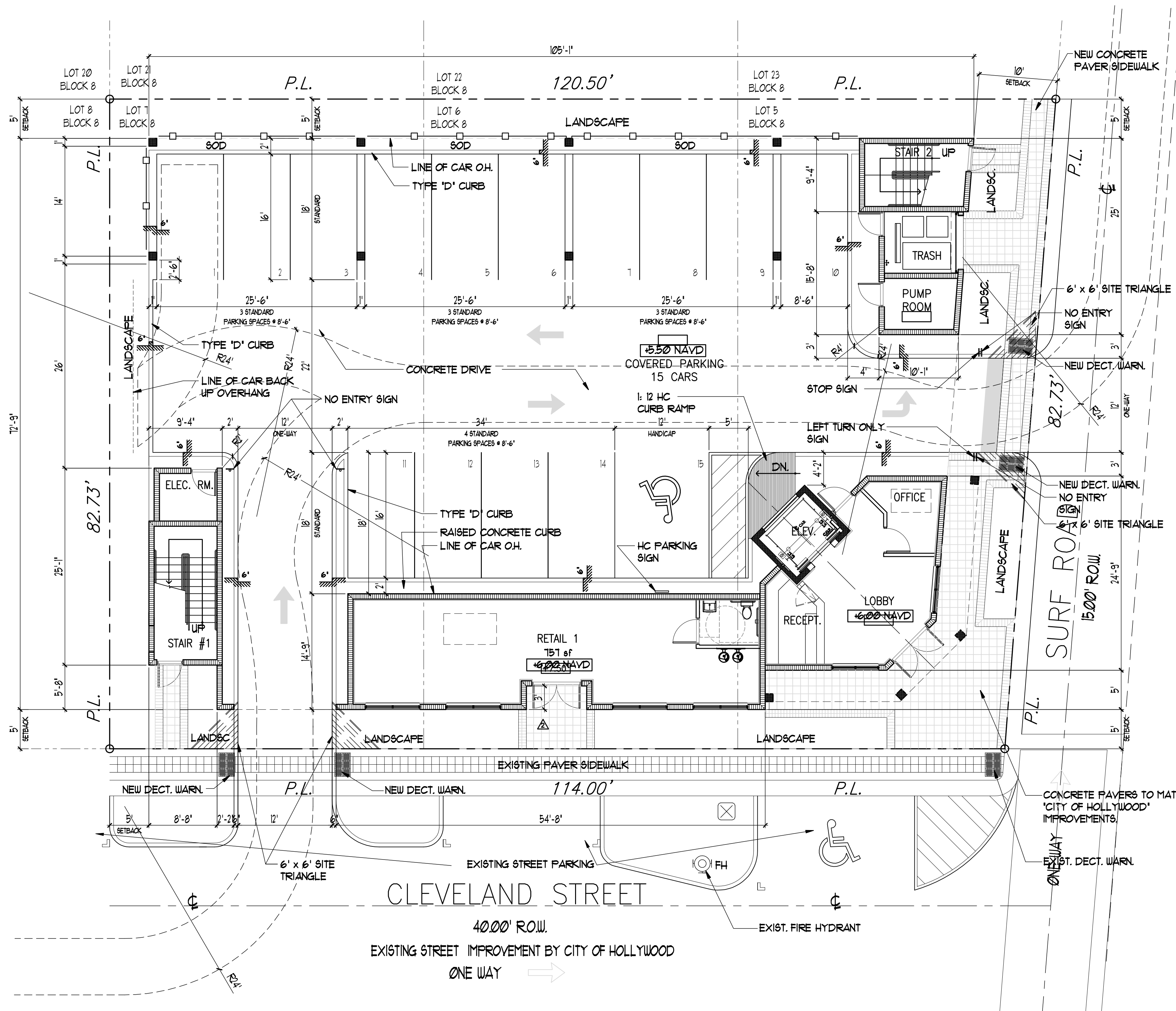
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

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PROJECT No.: 13117
DATE: 04/15/15
DRAWN BY: JAIME
CHECKED BY: JBK

SHEET

SP-0



LEGEND:

- SIDE WALK PAVERS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS
- LINE OF REQUIRE SETBACK
- LINE OF ROOF/ CANOPY OR BALCONY ABOVE
- POOL DECK AREAS
- POWDER COATED ALUMINUM FENCE



1 SITE PLAN

SCALE: 1" = 10'-0"

2 GREEN BUILDING PRACTICES

- GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE 12-2011-026**
- RADIANT BARRIER
ROOF - SEALORFLEX COOL ROOF - REFLECTO WHITE
WALLS - AL-FOIL REFLECTIVE
 - WINDOWS AND GLAZING
LOW E, TINTED DOUBLE GLAZING- U FACTOR 0.56, SHGC 0.25
 - DOORS
INSULATED AND FIRE RATED
 - ENERGY STAR ROOFING
SEALORFLEX COOL ROOF - REFLECTO WHITE.
 - PROGRAMMABLE THERMOSTATS
 - OCCUPANCY SENSORS
 - DUAL FLUSH TOILETS
 - 80% OF PLANT MATERIAL NATIVE
 - ENERGY EFFICIENT OUTDOOR LIGHTING
 - INSULATED PIPING
 - RECYCLING AREA
 - ENERGY STAR APPLIANCES
 - ONE LOW FLOW SHOWERHEAD
 - POOL SOLAR WATER HEATING SYSTEM
 - PERVIOUS PAVEMENT
 - 80% OF PLANTS AND TREES PER SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS
 - ENERGY EFFICIENT OUTDOOR LIGHTING
 - ENERGY EFFICIENCY 10% BETTER THAN STANDARD ESTABLISHED BY ASHRAE.
 - TANKLESS WATER HEATERS
 - PERV 8 AC FILTERS
- ADDITIONAL PRACTICES**
- 8" REINFORCED CONCRETE ROOF STRUCTURE
 - 10% ENE 50Y BASED CLOSED CELL SPRAY INSULATION
 - ELECTRICAL AND MECHANICAL ROOMS OUTSIDE OF AIR-CONDITIONED SPACES
 - DEEP OVERHANGS AT ROOF AND BALCONY LEVELS.

NOTES

- ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.
- NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.
- NOTE:
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD: 9.0' NAVD.
- FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT THE TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.
- SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.
- FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FF.P.C. 2014 NFPA 101 SECTION 28.3.4
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

LEGAL DESCRIPTION

LOTS 5, 6 and 7, BLOCK 8 OF "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESSES

315 CLEVELAND STREET
HOLLYWOOD, FL 33019

SITE INFORMATION

EXISTING ZONING:	BEACH RESORT COMMERCIAL DISTRICT - BRT-25-C	
LAND USE DESIGNATION:	GENERAL BUSINESS	
NET LOT AREA:	9,699 SQUARE FEET (0.2227 AC)	
GROSS LOT AREA:	12,736 SQUARE FEET (0.292 AC)	
DENSITY:	ALLOWED 50 ROOMS PER GROSS AC 0.292 X 50 = 15 ROOMS	PROVIDED 15 ROOMS

PARKING		REQUIRED		PROVIDED	
UNITS	1 SPACES PER ROOM	= 15 SPACES		15 SPACES	
RETAIL AND OFFICES		= 1 SPACE		* INCL. 1 HC PARKING SPACE	
TOTAL		= 16 SPACES		15 SPACES	
SETBACKS:					
		REQUIRED		PROVIDED	
		BASE	TOWER	BASE	TOWER
(a)	SURF ROAD (EAST)	5'-0"	10'-0"	5'-0"	10'-0"
(b)	INTERIOR (NORTH)	5'-0"	5'-0"	5'-0"	5'-0"
(c)	CROSS STREET (SOUTH)	10'-0"	10'-0"	5'-0"	10'-0"
		5'-0"	RETAIL		
(d)	INTERIOR (WEST)	5'-0"	5'-0"	5'-0"	5'-0"
* CROSS STREET BUILDING TOWER SETBACKS MAY MATCH BUILDING BASE SETBACKS FOR UP TO 40% OF THE SITE FRONTAGE.					

BUILDING SUMMARY

BUILDING HEIGHT:	ALLOWED 50'-0"	PROVIDED 42'-0"
BUILDING AREAS:		
HOTEL	INTERIOR	COVERED TERRACES/ BALCONIES
FIRST FLOOR	1783.0 S.F.	
SECOND FLOOR	3143.0 S.F.	3689.0 S.F.
THIRD FLOOR	2870.0 S.F.	1475.0 S.F.
FOURTH FLOOR	2870.0 S.F.	1223.0 S.F.
TOTAL	10666.0 S.F.	6387.0 S.F.
TOTAL BUILDING AREA		10666.0 S.F.

PERVIOUS AREA:	
FIRST FLOOR	1569 S.F.
SECOND FLOOR	229 S.F.
-NOT INCLUDING PAVERS, DECKING ETC.	

VARIANCE BOX:		
	REQUIRED	PROVIDED
RETAIL PARKING	1 SPACE PER 1000 SF 783 SF/1000 SF = 1 SPACE	0 SPACES

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SEAL

JOSEPH B. KALLER
FLORIDA P.A. # 0009229

PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
SITE PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC

PROJECT No.: 13117
DATE: 04/15/15
DRAWN BY: JAIME
CHECKED BY: JBK

SHEET
SP-1

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(NTS)

6' RADIUS

2'-0"

1'-0"

5'

1'-0"

4"

CONFIRM ALL DIMENSIONS WITH LOCAL GOVERNMENTAL AGENCY COLOR TO BE WHITE

23°

2'-0"

1'-0"

1'-6"

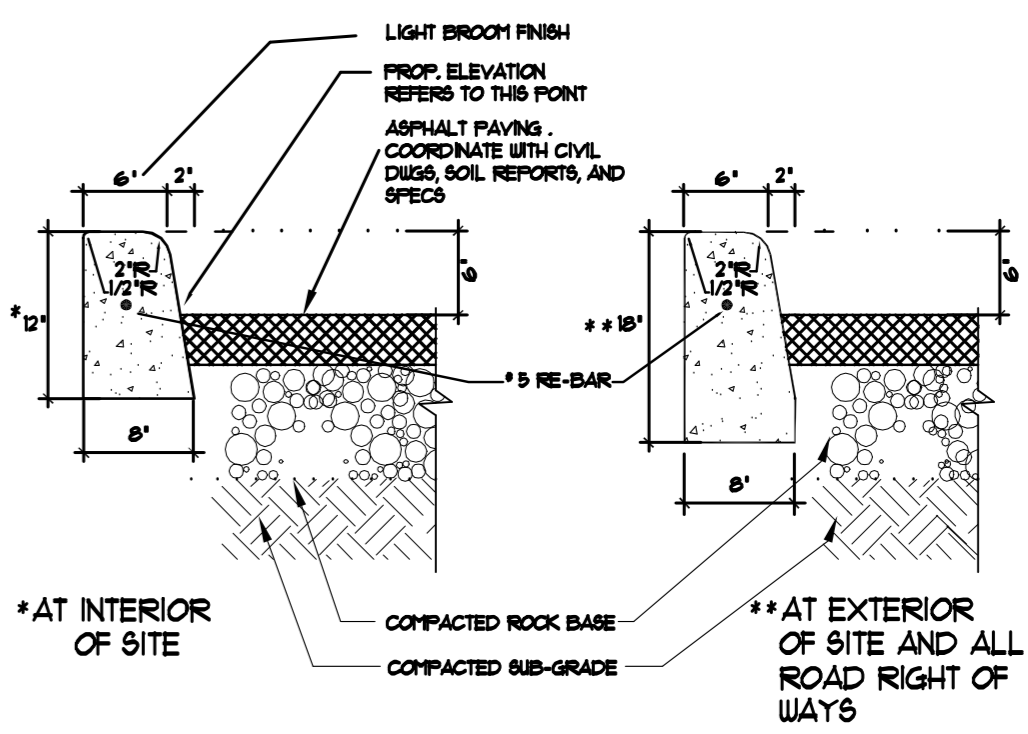
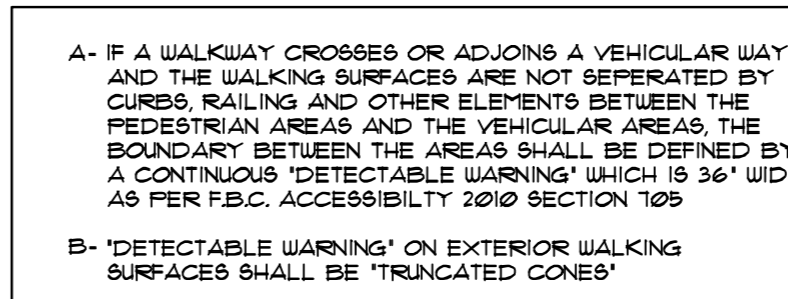
3'-0"

1'-6"

8'

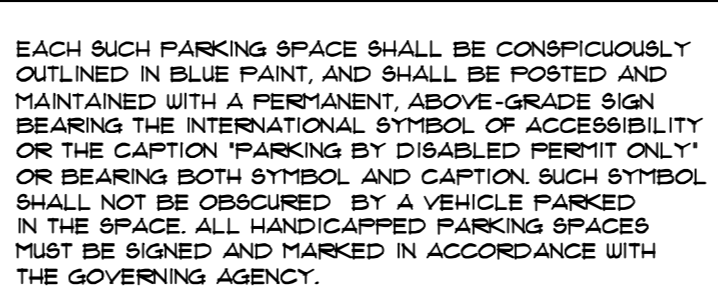
CENTER OF PARKING SPACE

(NTS



(NTS)

7	TYP. TYPE D CONCRETE CURB
---	---------------------------



(NTS)

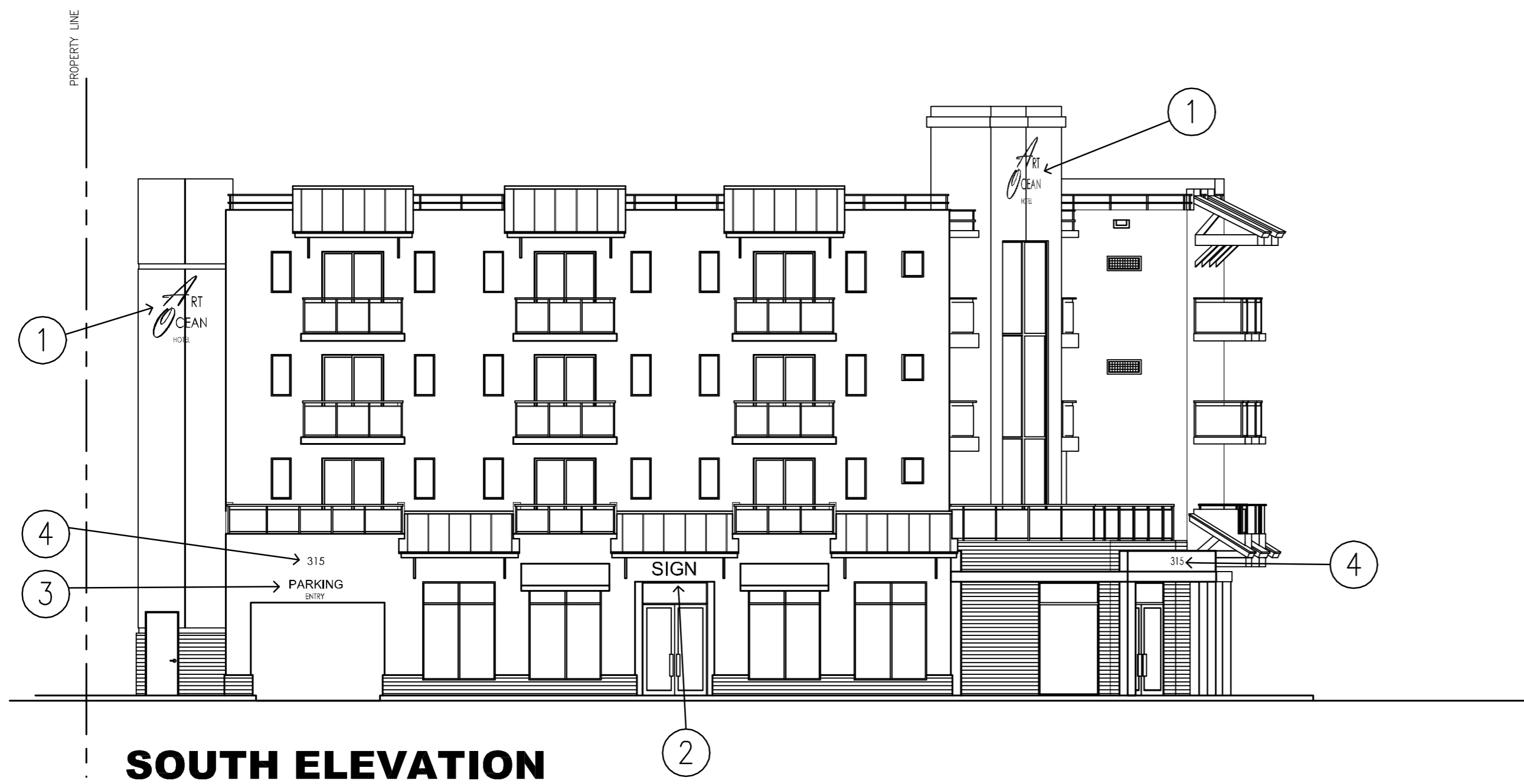


9 | TYP. CONC. SLAB JOINTS

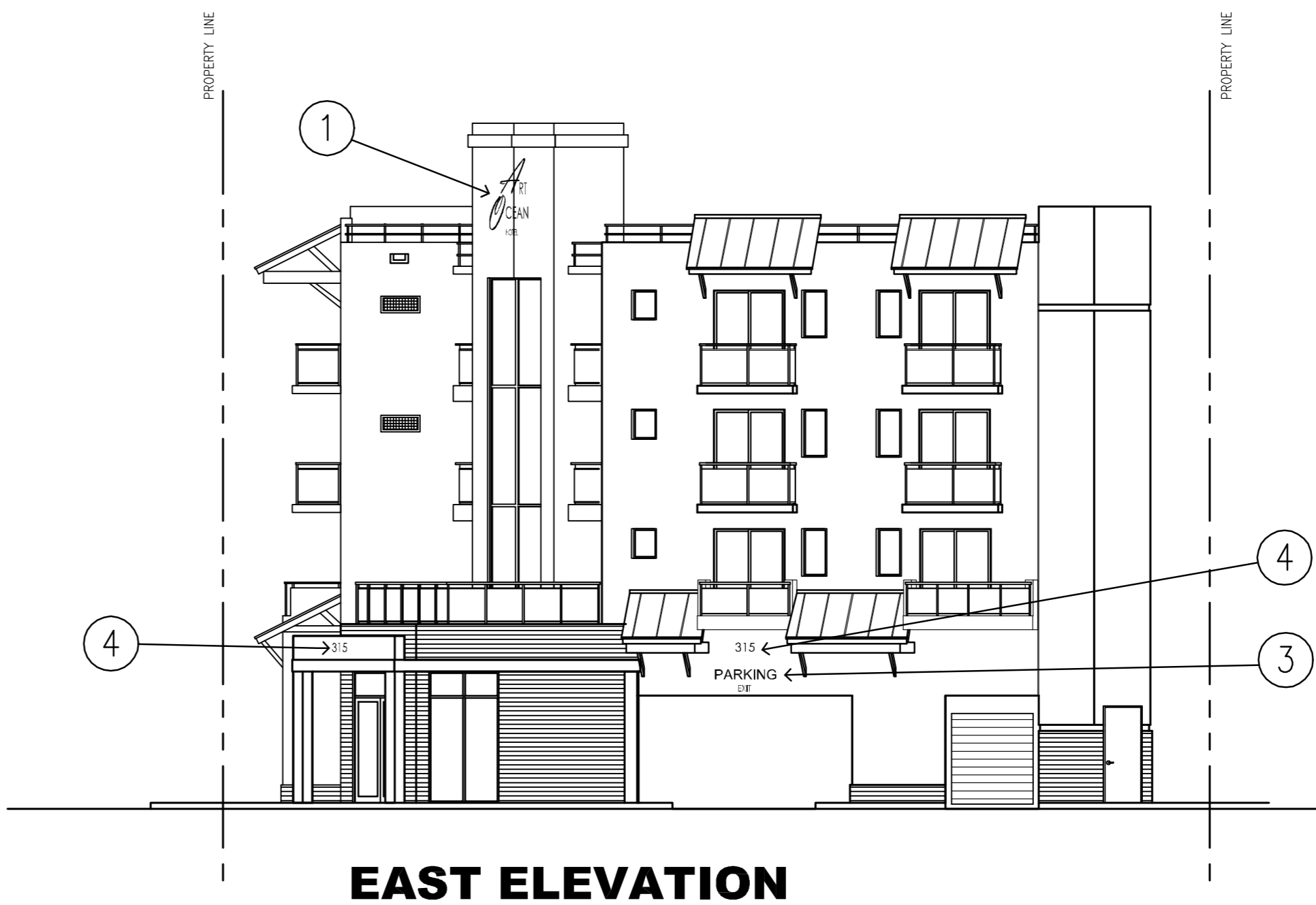
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC
"	"	"
"	"	"
"	"	"
"	"	"
"	"	"

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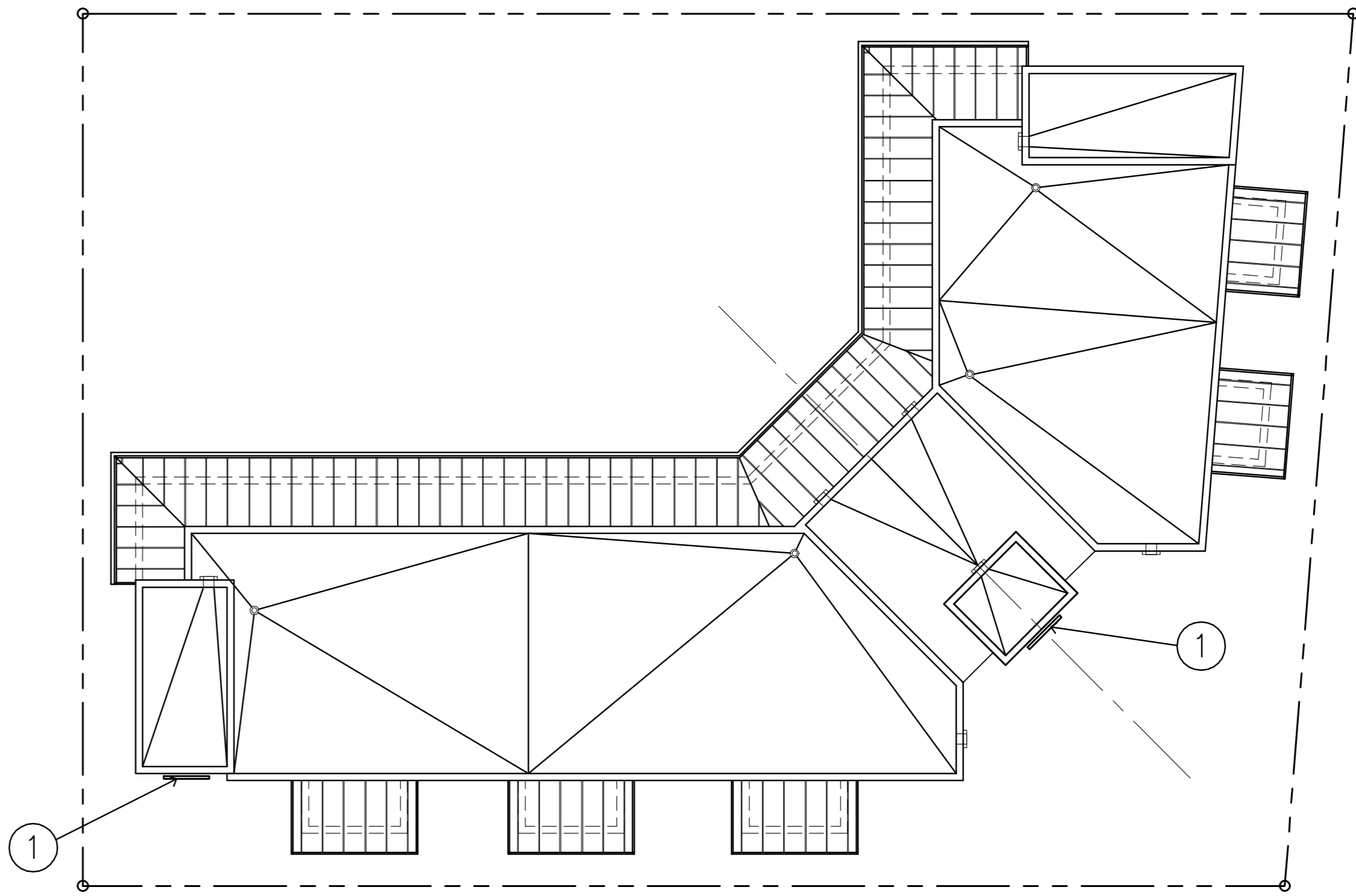
PROJECT No.: 13117
DATE: 04/15/15
DRAWN BY: JAIME
CHECKED BY: JBK



SOUTH ELEVATION



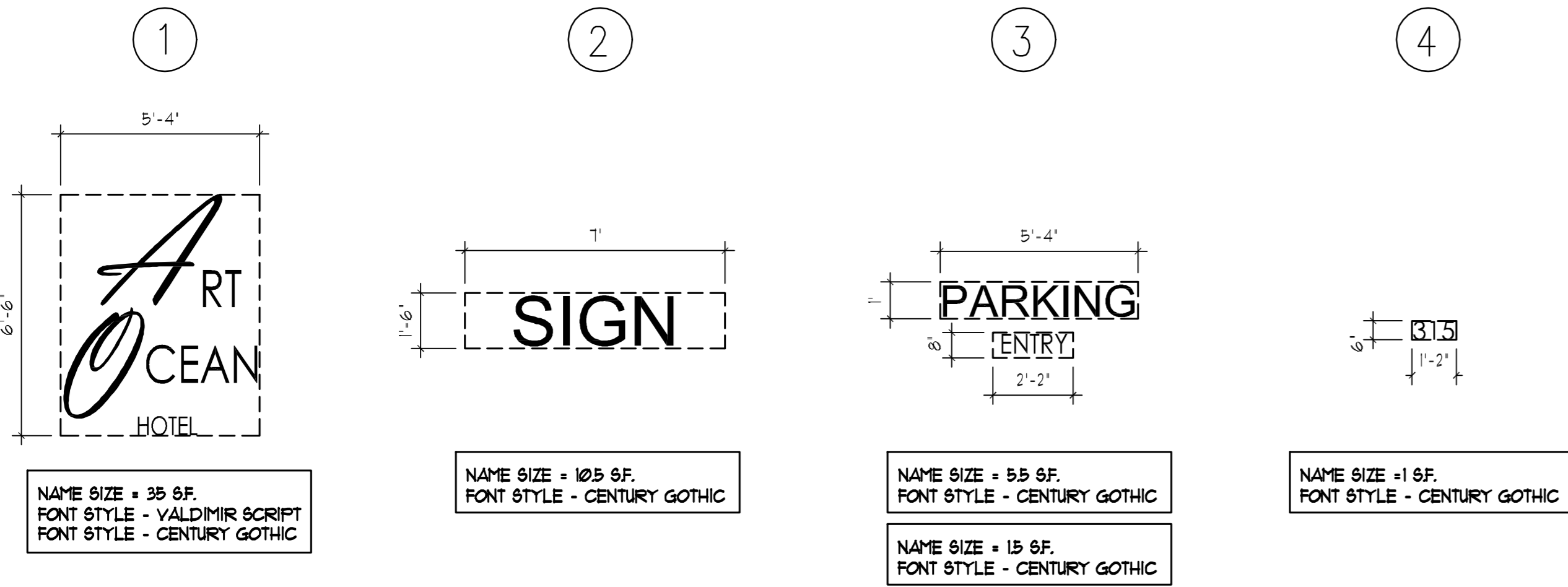
EAST ELEVATION



ROOF PLAN

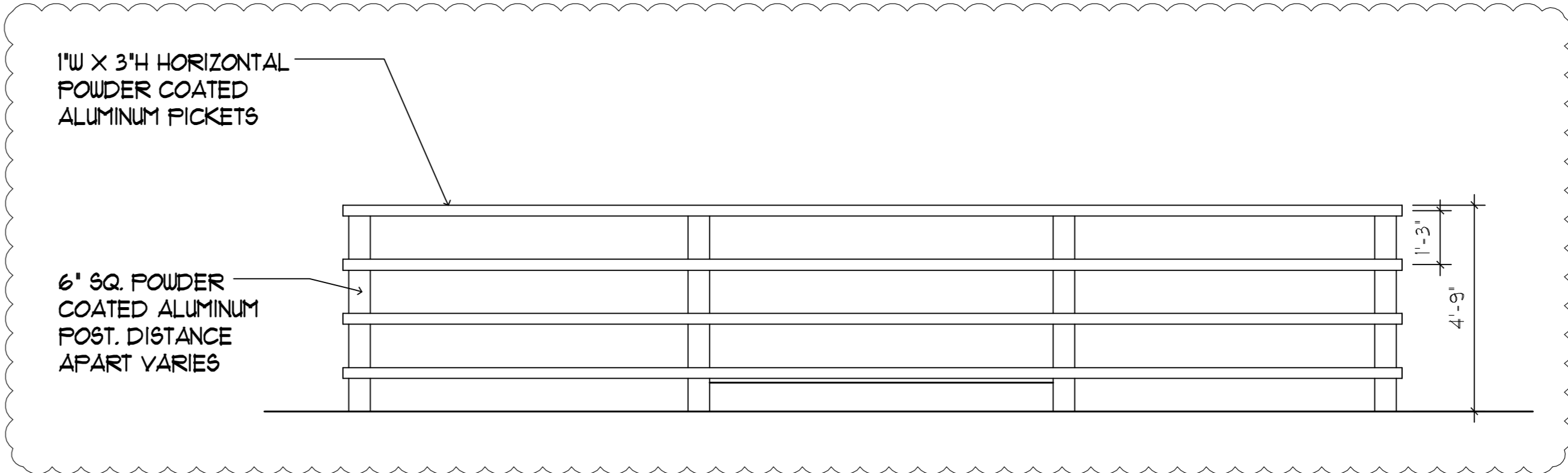
2 SIGN LOCATION

SCALE: NTS



1 SIGN DETAILS

SCALE: NTS



3 FENCE DETAILS

SCALE: 3/16\"/>

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPER 108 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.



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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE

SIGN DETAILS
FENCE DETAILS

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC

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PROJECT No.: 13117
DATE: 04/15/15
DRAWN BY: JAIME
CHECKED BY: JBK

SHEET

SP-3



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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
PAVING, GRADING &
DRAINAGE PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	1-5-16	Added Pavement Rest.

PROJECT No.: 13117
DATE: 04/15/15
DRAWN BY: JAIME
CHECKED BY: JBK

SHEET

C-1

LEGAL DESCRIPTION

LOTS 1 THROUGH 8, 15, 16, 17 AND 18, IN BLOCK 6 OF
"HOLLYWOOD BEACH SECOND ADDITION", ACCORDING TO THE
PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 6 OF
THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESSES

315 CLEVELAND STREET
HOLLYWOOD, FL 33019

SITE INFORMATION

EXISTING ZONING: BEACH RESORT COMMERCIAL DISTRICT - BRT-25-C
LAND USE DESIGNATION: GENERAL BUSINESS
NET LOT AREA: 9,699 SQUARE FEET (0.2227 AC)
GROSS LOT AREA: 12,786.15 SQUARE FEET (0.2935 AC)
DENSITY: ALLOWED: 50 ROOMS PER GROSS AC
0.2935 X 50 = 15 ROOMS
PROVIDED: 15 ROOMS

GENERAL CONDITION NOTES

- THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
SOUTHERN BELL TELEPHONE & TEL. CO.
CABLE CONSTRUCTION BUREAU
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES

- ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12" ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
- ALL DRAINS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SITUATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLUMBING OR PLASTIC COVERS OVER THE DRAINS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
- WHERE NEW ASPHALT MEETS OR ADJUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
- ALL PROPOSED GRADES (ELEVATIONS) REFER TO FINISHED GRADES (SEE PLAN DWG.).
- SITE GRADING SHALL BE W/M 0.1" OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO SPALL.
- ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
- ALL LIMELOCK SHALL BE COMPACTED TO 98% PER AASHTO T-190 & HAVE NOT LESS THAN 80% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMELOCK SHALL BE PRIME.
- PIPE SPECIFICATIONS - THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-198
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-198
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
PCMP = PERFORATED CMP, FDOT SECTION 945
DP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE

PAVEMENT MARKINGS & SIGNING STANDARD NOTES

- STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
- ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 8" & NOT GREATER THAN 7". THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6" TO A MAXIMUM OF 12" FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6" FROM THE CROSS TRAFFIC PAVEMENT.
- STOP BARS SHALL BE 24" WHITE.
- ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
- ALL PAVEMENT MARKINGS IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO FDOT OR LOCAL CITY/COUNTY STANDARDS.

LEGEND

- LIMITS OF CONC. SIDEWALKS, PORCHES & PADS
- LIMITS OF ASPH. PAVEMENT, LIMELOCK BASE & SUBGRADE
- EXIST. PROPERTY LINE, SITE BOUNDARY
- CENTERLINE
- EXIST. EDGE OF PAVEMENT
- EXIST. GRADE ELEVATION
- PROPOSED ELEVATIONS
- SURFACE DRAINAGE FLOW ARROW
- TYPE "D" CONC. CURB (AS APPLICABLE)
- CATCH BASIN W/ EXFILTRATION TRENCH

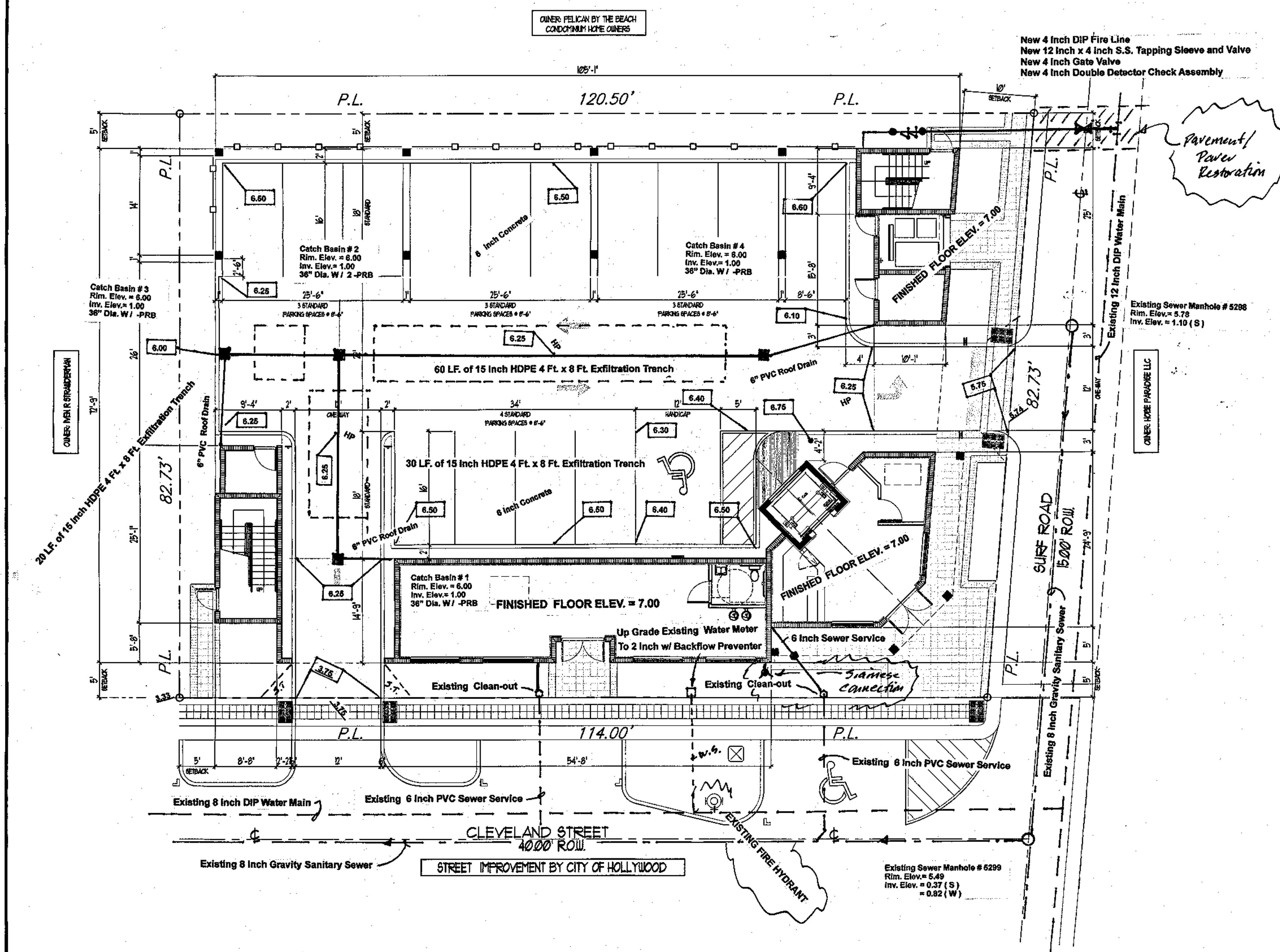
NOTE:
ALL ELEVATIONS SHOWN ARE BASED ON NAVD DATUM OF 1988.



1 SITE PLAN

SCALE: 1" = 10'-0"

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WATER MAIN SYSTEM NOTES:

- ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-96 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-95.
- FITTINGS SHALL BE CAST IRON OR DUCTILE IRON MEETING ANSI/AWWA C-153-94/A21.53 SPECIFICATIONS, WITH 250 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-95.
- GATE VALVES 4" AND LARGER SHALL BE RESILIENT SEAT AND SHALL MEET ANSI/AWWA C-509-94 SPECIFICATIONS, LATEST REVISION. VALVES MUST BE MUELLER (O.A.E.). VALVE BOXES SHALL BE OPELIKA #19 (O.A.E.). CONTROL VALVES 3" AND SMALLER SHALL BE NIBCO T-133 OR T-136. NO SUBSTITUTIONS.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD.
- BACTERIOLOGICAL TESTS SHALL BE CONDUCTED BY THE CONTRACTOR.
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- ALL PIPE ETC. SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI (FIRE MAINS TO BE TESTED TO 200 PSI) FOR 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER ANSI/AWWA SPECIFICATIONS OF C600-93 LEAKAGE FORMULA:

Q=ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S=TOTAL LENGTH OF PIPE TESTED IN FEET.
D=DIAMETER OF THE PIPE TESTED IN INCHES.
P=AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- DISINFECTION MAINS SHALL COMPLY WITH ANSI/AWWA C-651-92 STANDARD. BACTERIOLOGICAL SAMPLING POINT SHALL BE AS DESIGNATED ON THE ENGINEERING PLANS.
- MINIMUM CLEARANCE BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 2', AND MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 3" WHERE DEFLECTION IS REQUIRED.
- 48 HOURS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT "CALL SUNSHINE" (1-800-432-1770), F.P. & L., AND CABLE TV IN ORDER TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFLICTS WITH EXISTING UTILITIES SHALL BE REPORTED TO THE ENGINEER AND CITY. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- TAPPING SLEEVES SHALL BE MUELLER H-615 (O.A.E.). TAPPING VALVES 4" AND LARGER SHALL BE RESILIENT WEDGE TYPE MEETING ANSI/AWWA C509-94. ALL TAPPING VALVES SHALL HAVE A FULL-SIZE CUTTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THERON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF ONE JOINT FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

TESTING:

- AN AS-BUILT SURVEY OF THE WATER SYSTEM, PREPARED BY A REGISTERED SURVEYOR SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL INSPECTION. THE AS-BUILT SURVEY SHALL SHOW LOCATIONS AND PIPE ELEVATIONS AT EACH VALVE, FITTING, BEND, AND AT INTERVALS NOT TO EXCEED 100 FT.



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SEAL

ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

CONSTRUCTION DETAILS

REVISIONS		
No.	DATE	DESCRIPTION
1	5-30-12	PRELIM TAC

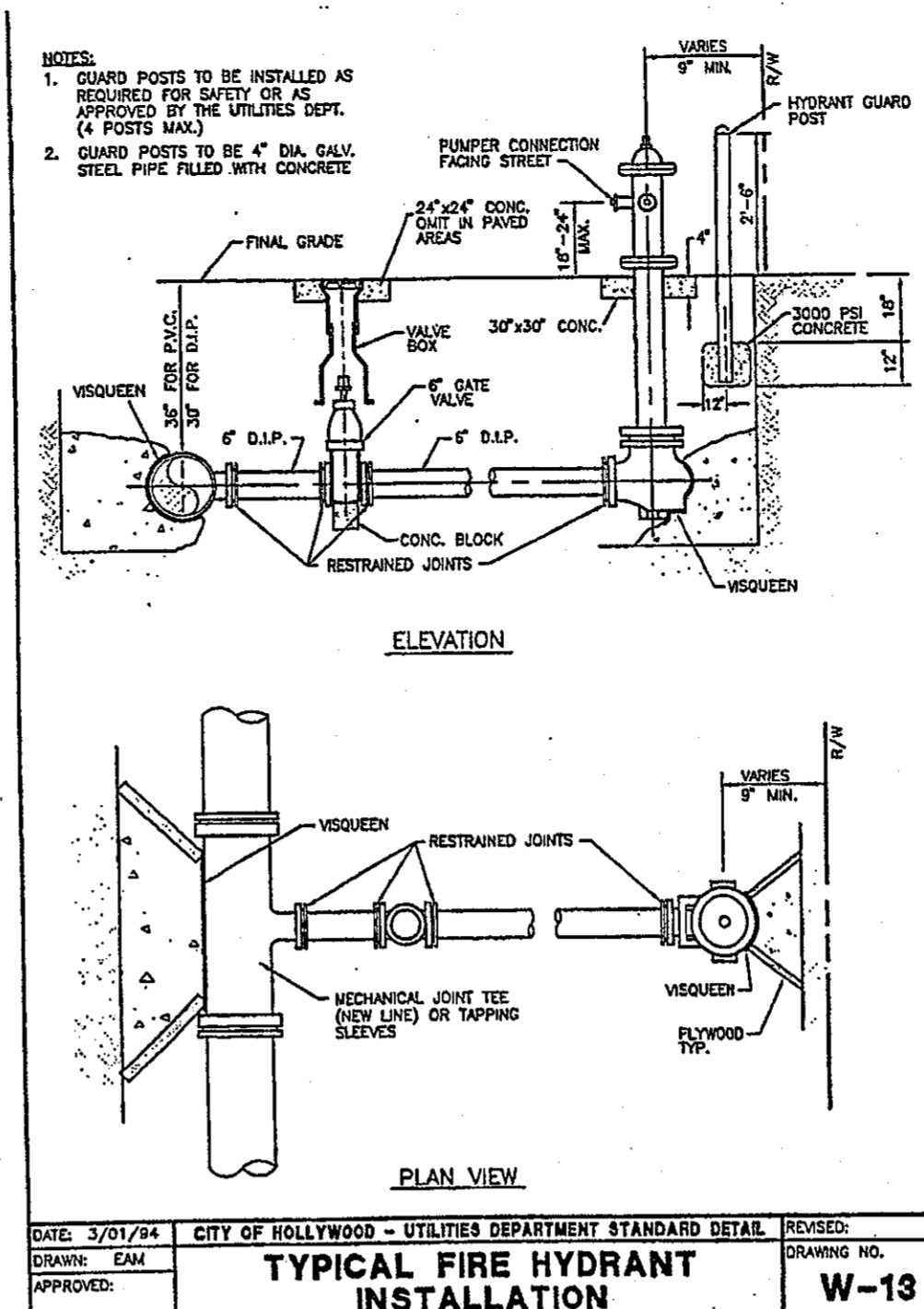
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DATE: 4-18-12
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CHECKED BY: JBK

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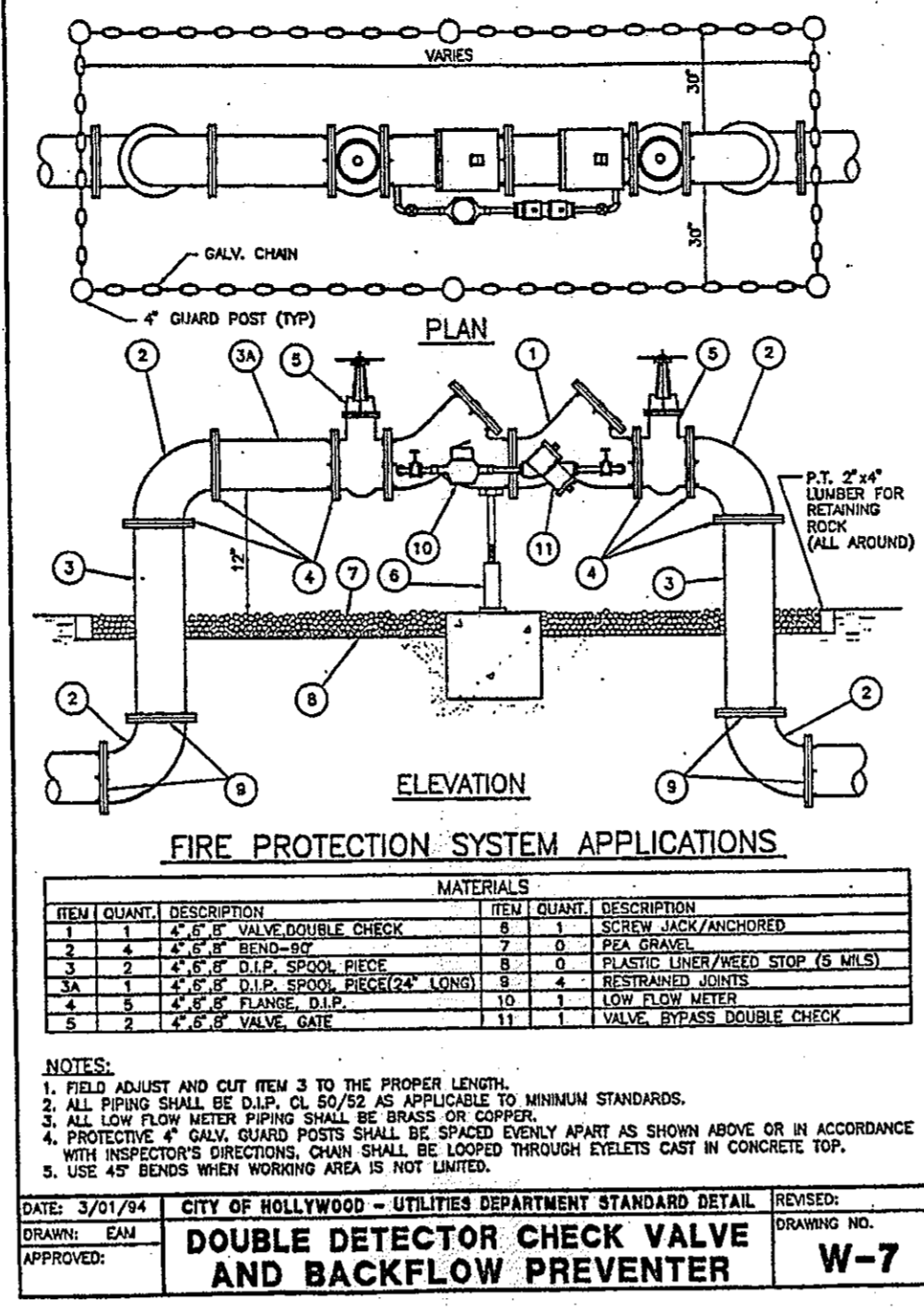
C-3

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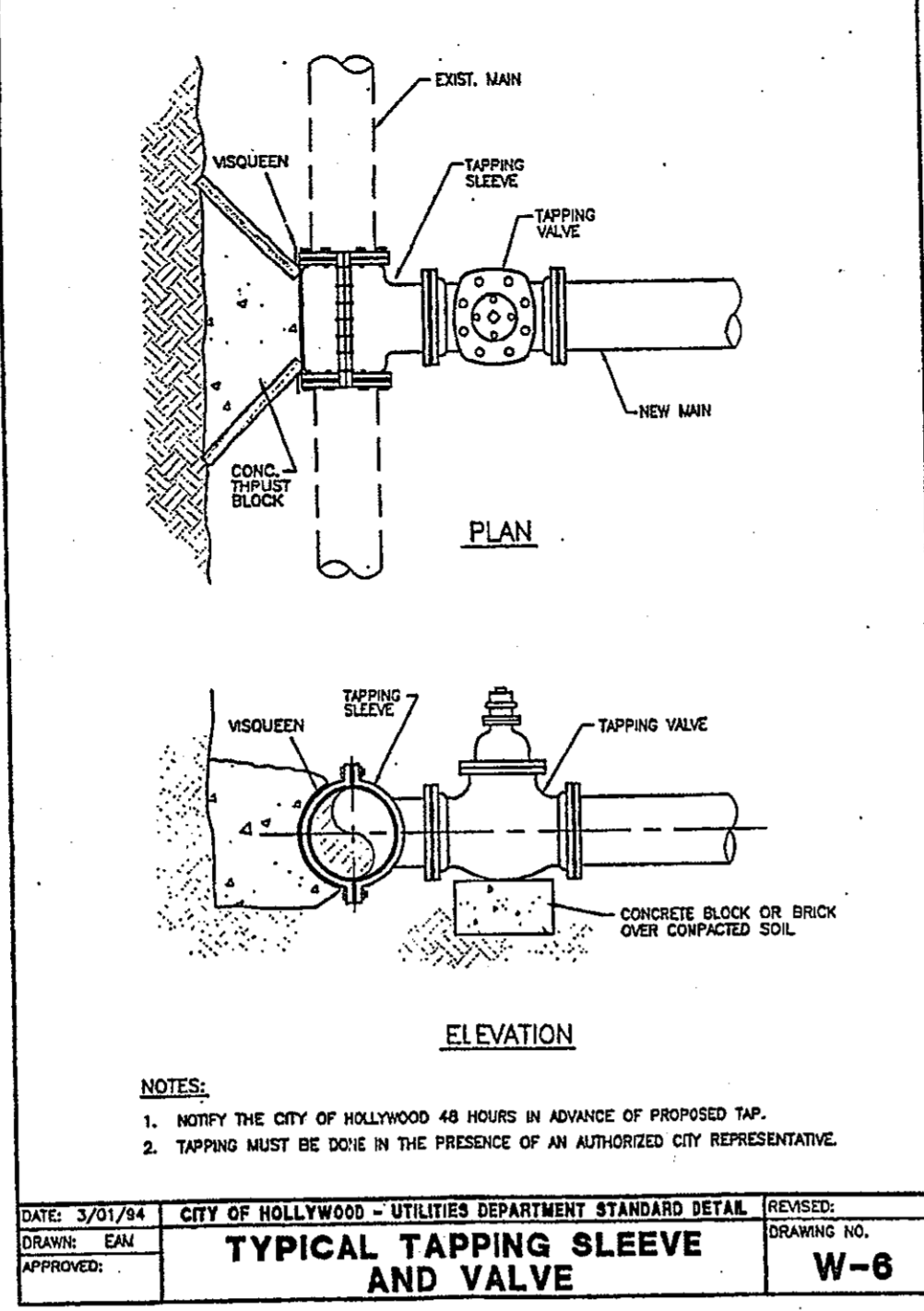
CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24842



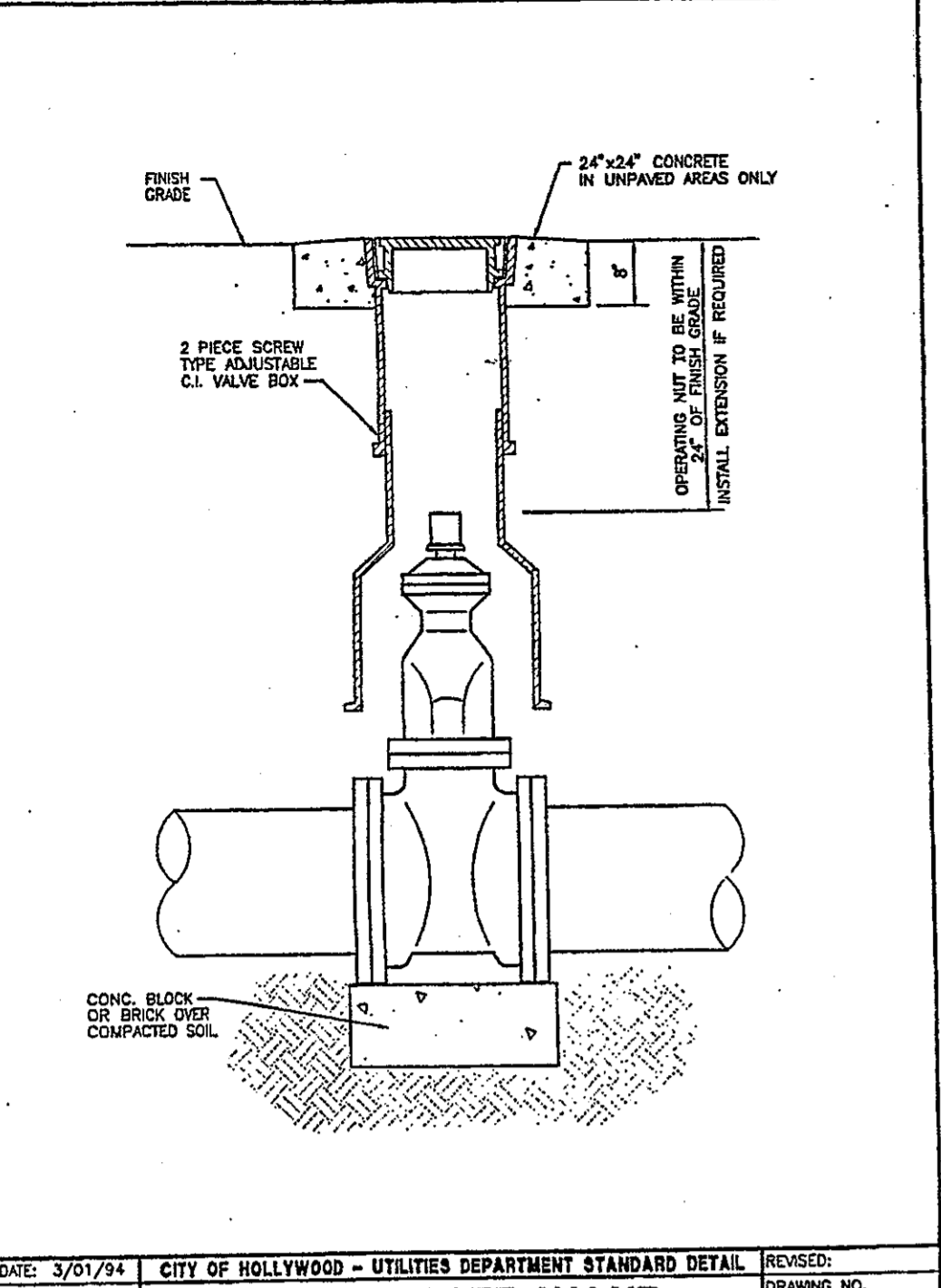
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APPROVED:



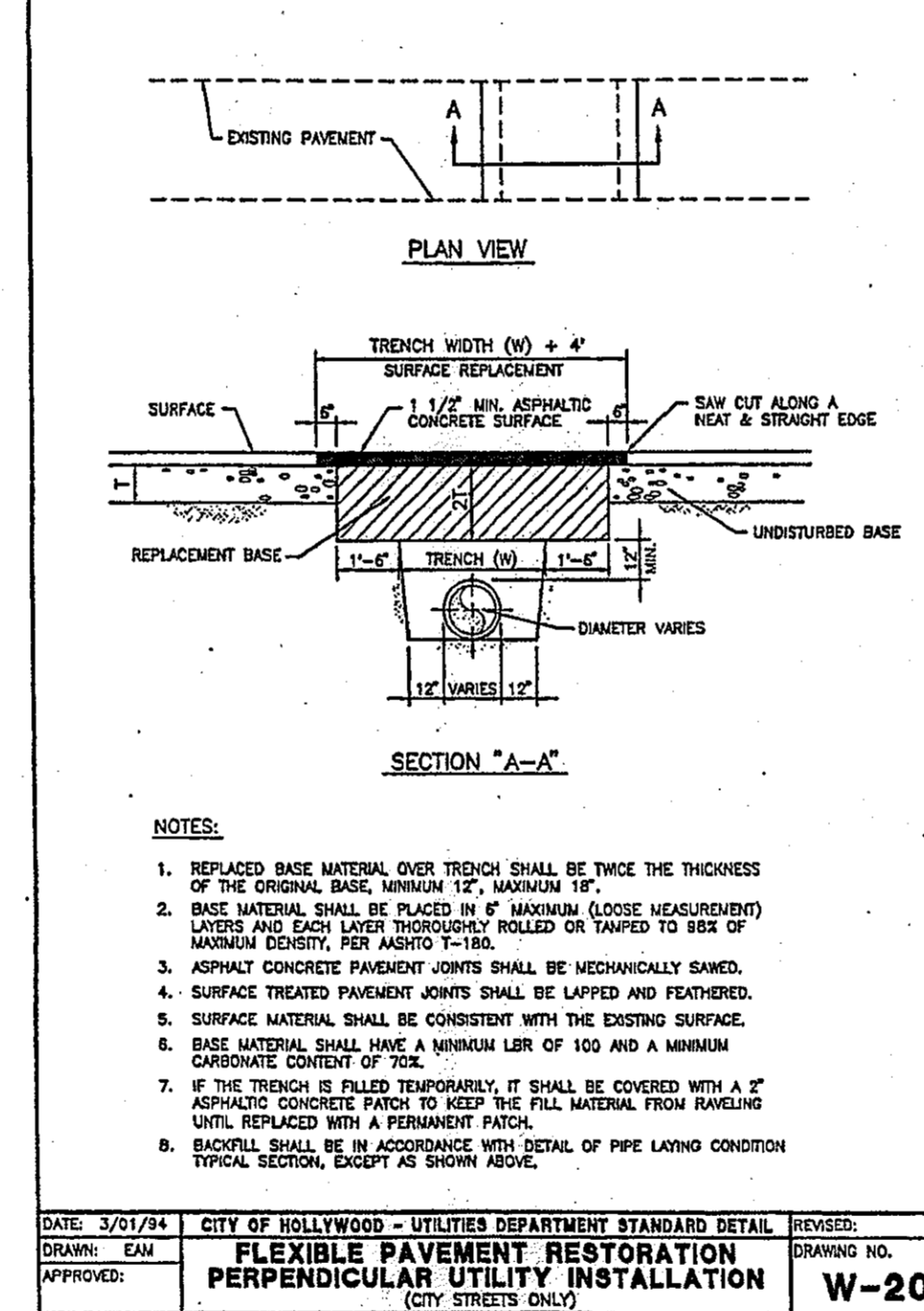
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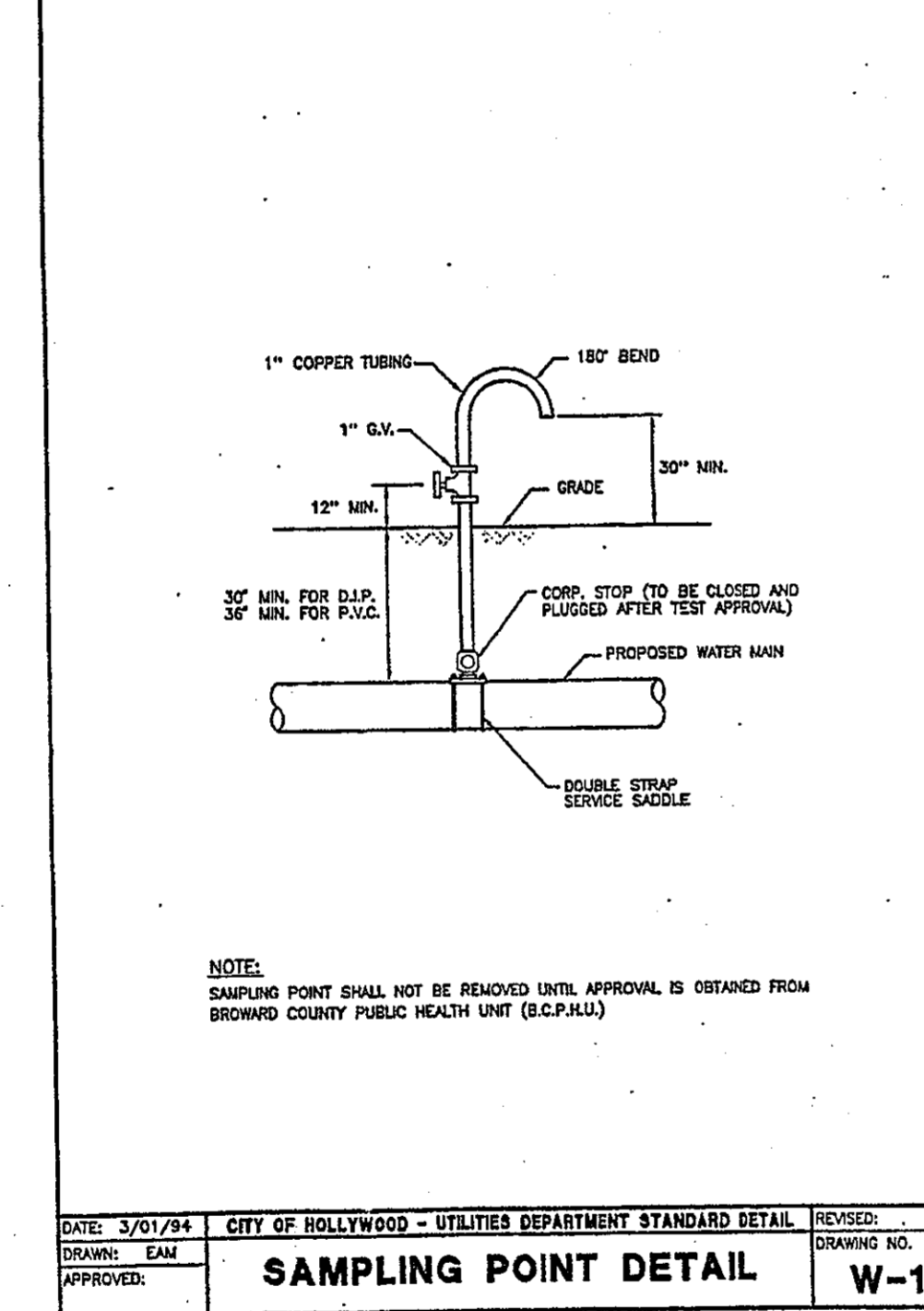
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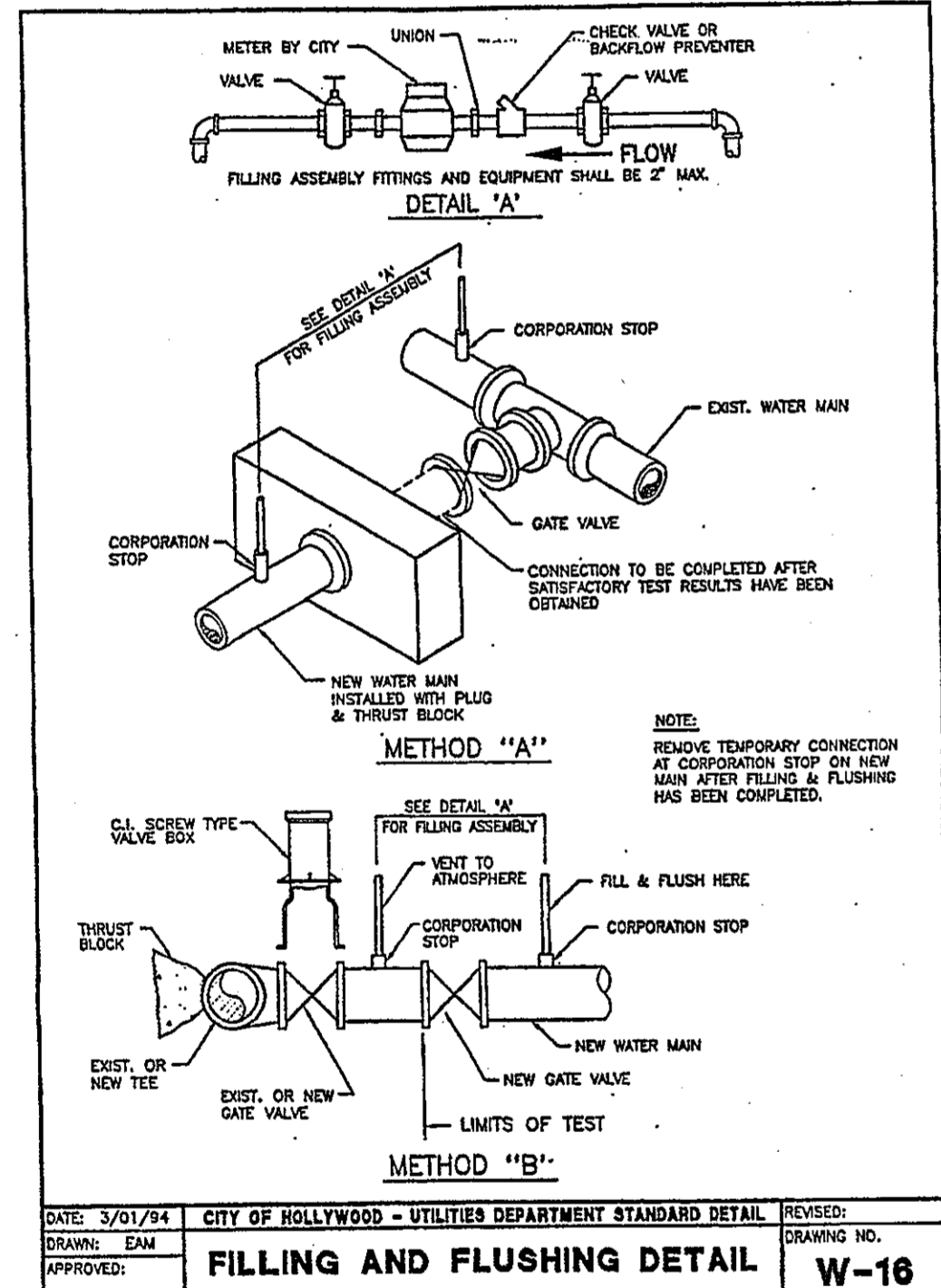
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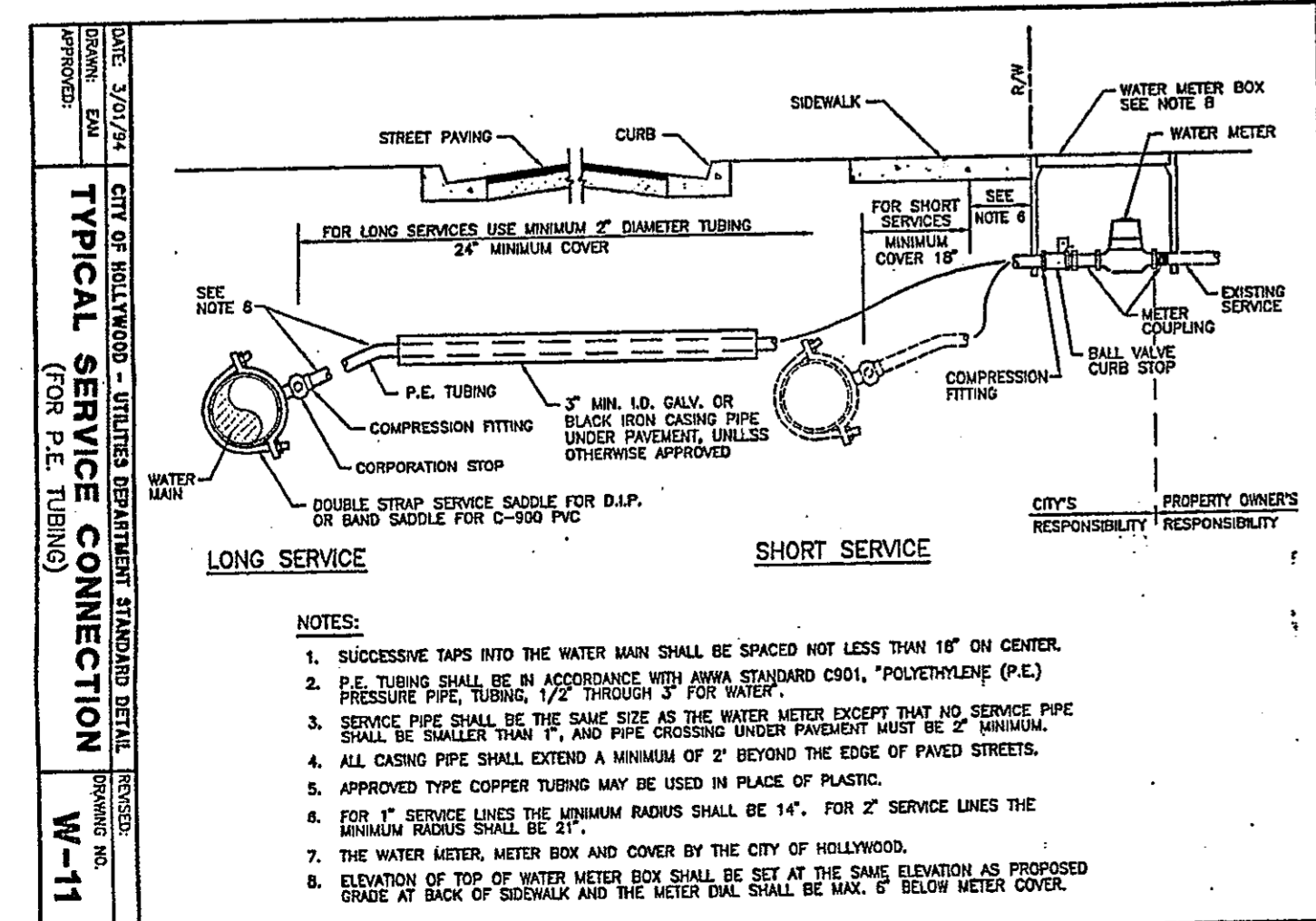
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DRAWN: EAM DRAWING NO. W-20
APPROVED:



DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED:
DRAWN: EAM DRAWING NO. W-17
APPROVED:



DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED:
DRAWN: EAM DRAWING NO. W-16
APPROVED:



DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED:
DRAWN: EAM DRAWING NO. W-11
APPROVED:

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Project No.: 12044
Date: 4-18-12
Drawn By: TMS
Checked By: JBK

SHEET

C-3

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FLORIDA REG. NO. 24842



BMPs BEST MANAGEMENT PRACTICES

This plan has been prepared to ensure compliance with appropriate conditions of the Palm Beach County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C., and the South Florida Water Management District Chapter 400-4, F.A.C. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. Outfall erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation where the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION

- 1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.
- 1.2 Preserved wetlands shall be protected prior to the start of site work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjacent preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.

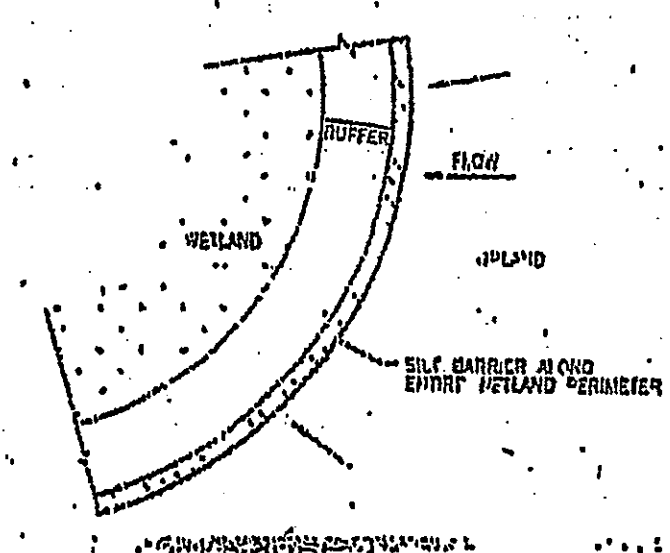


FIGURE 1

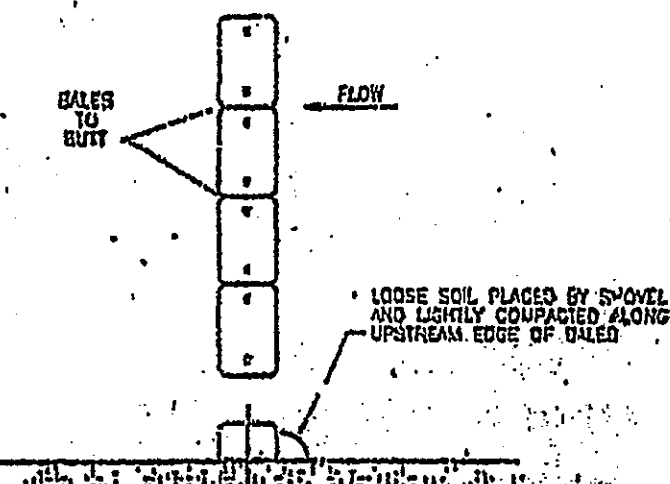


FIGURE 3

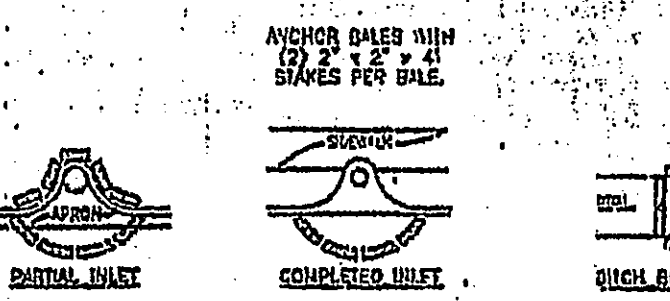


FIGURE 6

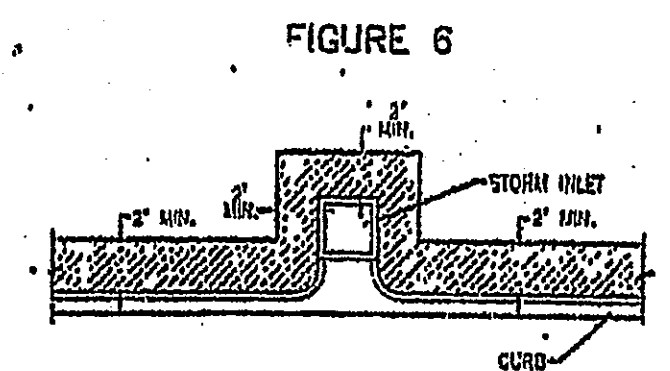


FIGURE 9

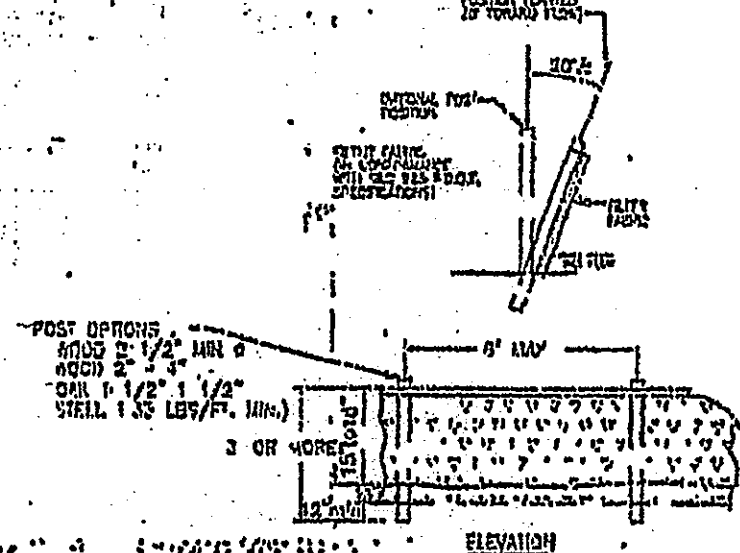


FIGURE 2

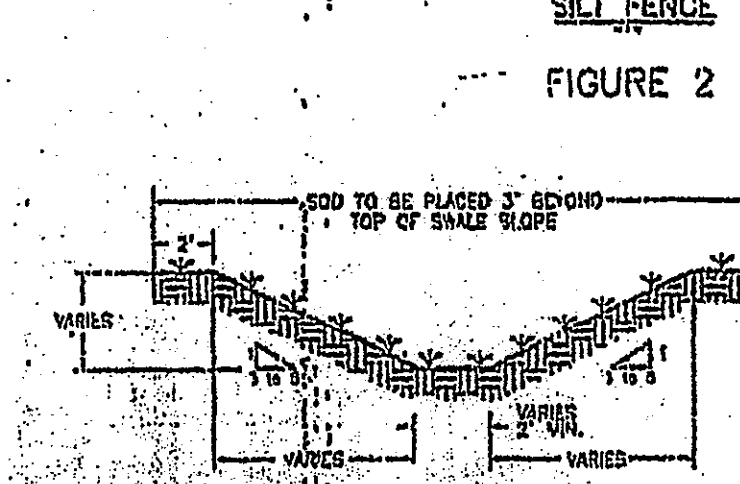


FIGURE 4

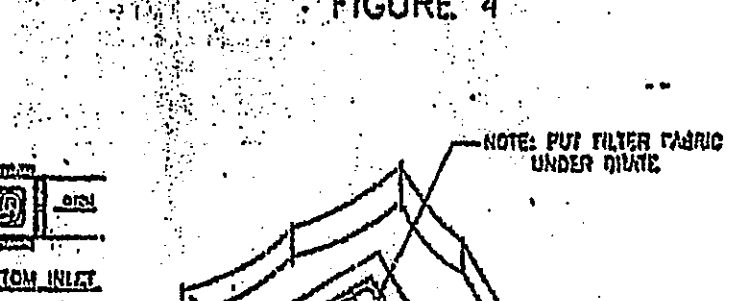


FIGURE 7

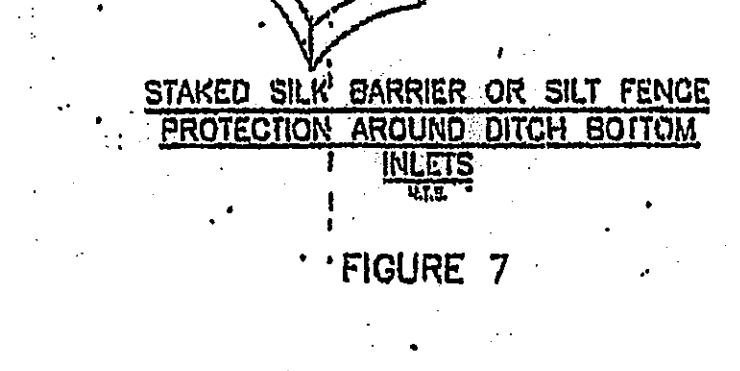


FIGURE 11

- 3.3 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.
- 3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or a body of water, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

SECTION 2 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

- 4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.
- 4.2 Where practical, stormwater shall be conveyed by a culvert. Swales shall be constructed as shown in Figure 5.
- 4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:

- a. In general, erosion shall be controlled at the furthest practical upstream location.
- b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until settling around inlets is complete.
- c. Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broom sills, hay bales or silt across around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.

- 4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 3 CONTROL OF WIND EROSION

- 5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:

- a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
- b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
- c. At any time both during and after site construction on that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

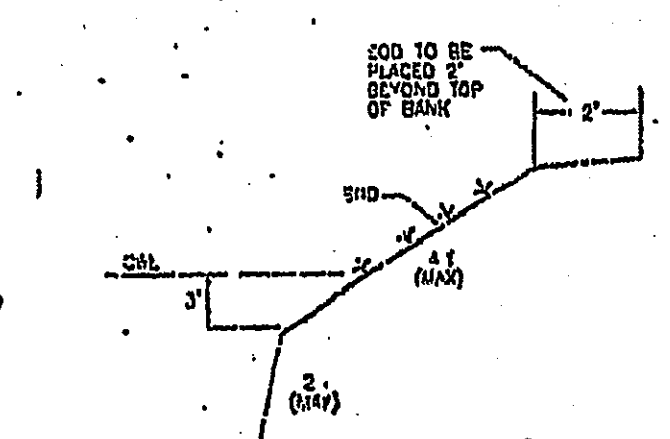


FIGURE 5

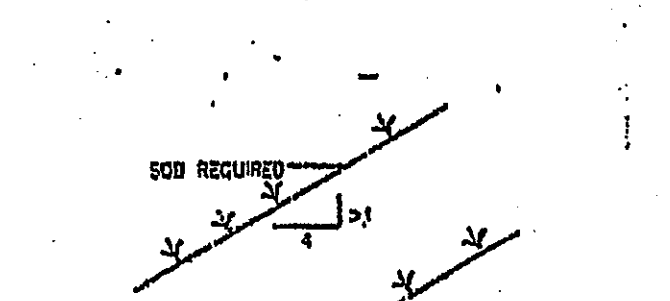


FIGURE 8

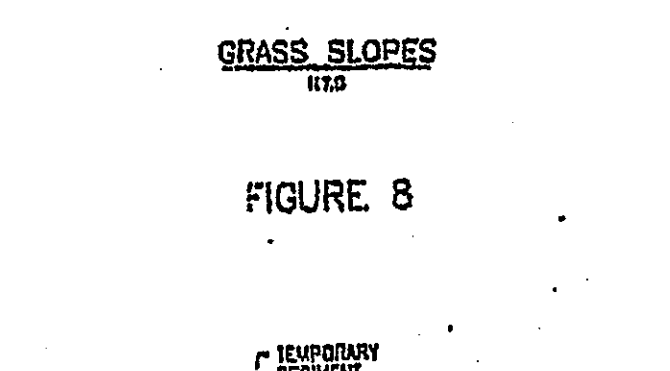
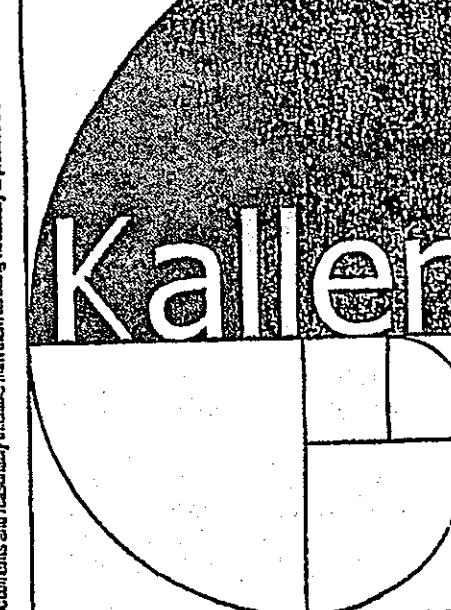


FIGURE 10

NOTES: 1) ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING REPRODUCTION PROCESSES
2) CONTRACTOR TO MAINTAIN DEBRIS ON-SITE, VEHICLES SHALL BE FREE OF EXCESS DEBRIS PRIOR TO ENTERING CITY OR COUNTY RIGHT-OF-WAYS.

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SEAL

PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
EROSION CONTROL PLAN

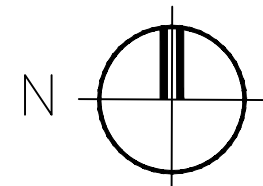
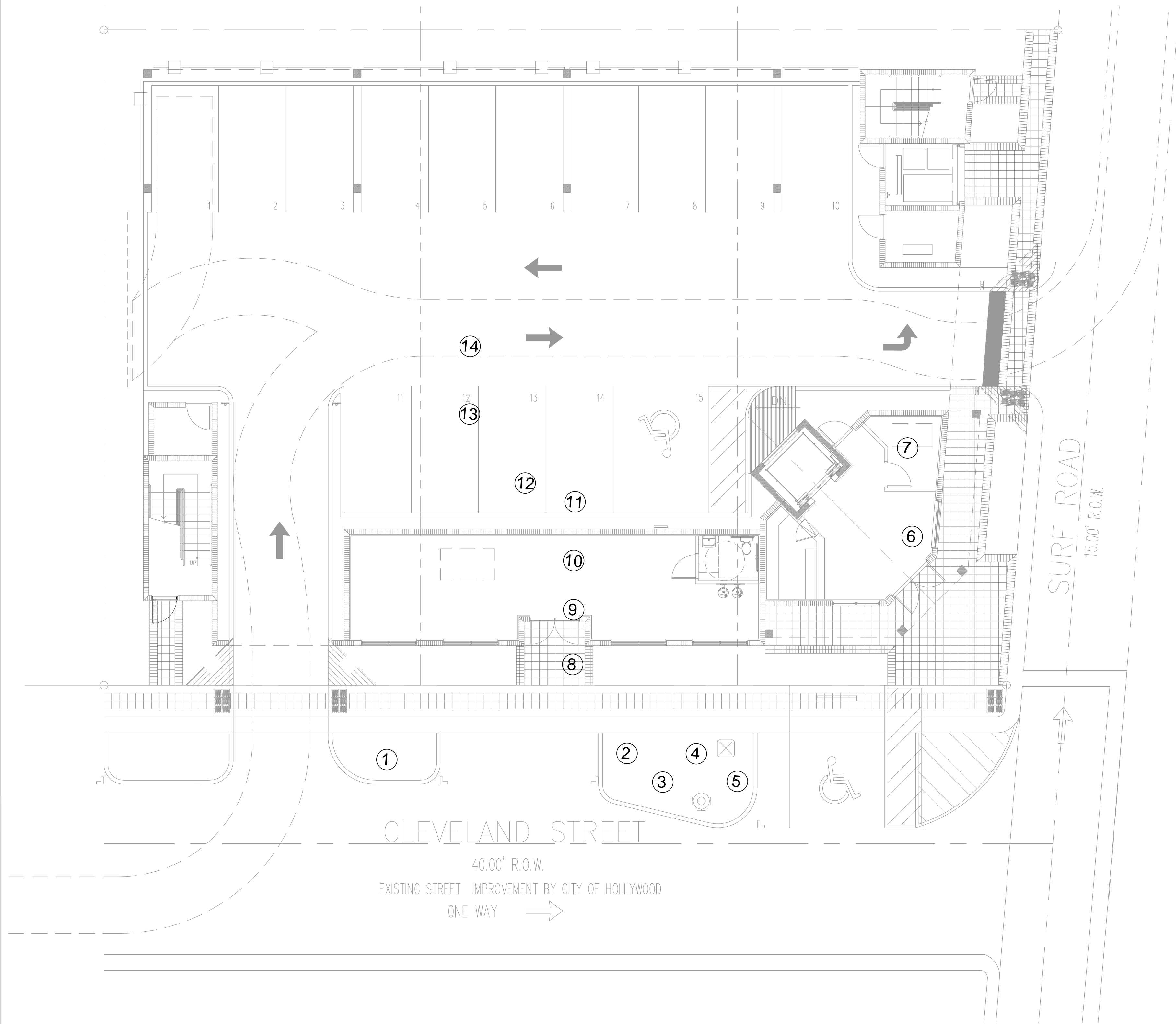
REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 12044
DATE: 4-18-12
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

C-4

CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24942



EXISTING LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



315 Cleveland Street – Hollywood, Florida								
Tree #	Type	Caliper	Height	Canopy	Disposition			Condition
					Remove	Remain	Relocate	
1	Coconut Palm	10"	20'	500 SF		x		Good
2	Coconut Palm	10"	20'	500 SF		x		Good
3	Coconut Palm	10"	20'	500 SF		x		Good
4	Coconut Palm	10"	20'	500 SF		x		Good
5	Coconut Palm	10"	20'	500 SF		x		Good
6	Coconut Palm	10"	12'	500 SF	x			Good
7	Coconut Palm	10"	15'	500 SF	x			Good
8	Solitaire Palm	4'	15'	100 SF	x			Good
9	Solitaire Palm	4'	15'	100 SF	x			Good
10	Solitaire Palm	4'	15'	100 SF	x			Good
11	Solitaire Palm	4'	15'	100 SF	x			Good
12	Coconut Palm	10"	15'	500 SF	x			Good
13	Solitaire Palm	4'	15'	100 SF	x			Good
14	Solitaire Palm	4'	15'	100 SF	x			Good

SEAL

PROJECT NO. 15-152
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 11-15-15
DWG. NO. LE-1
SHT. NO. 1 of 1
REVISIONS :
01-07-16

DRWG. TITLE : EXISTING LANDSCAPE PLAN

PROJECT : ART OCEAN HOTEL

315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

CLIENT :

JOSEPH B KALLER AND ASSOCIATES



Landscape Architect – Florida License #6666709
4855 NW 92 Terrace
Coral Springs, Florida 33067
Tel: 561-414-8265 Email: wtonning@tonningandassociates.com

WAYNE K. TONNING, RLA
RLA #6666709

PROPOSED PLANT LIST

TREES / PALMS

Code	Drought	QTY.	Botanical Name / Common Name
LJ	V	2	Ligustrum japonicum / Japanese Ligustrum
SP (N)	V	30	Sabal palmetto / Sabal Palm
PD	V	2	Phoenix sylvestris / Sylvester Palm
PL	V	2	Psidium litifolia / Cattley Guava
WB	V	4	Wodyeta bifurcata / Foxtail Palm
ACCENTS / SHRUBS / GROUNDS			COVERS
AMD	V	14	Asparagus densiflorus 'Meyers' / Myers Foxtail Fern
CIR (N)	V	100	Chrysoballnus icaco / Red Tip Cocoplum
FMG	V	149	Ficus macrocarpa Green Island / Green Island Ficus
IVD (N)	V	85	Ilex vomitoria / Dwarf Ilex
JNC (N)	V	37	Juniperus conferta / Shore Juniper
OJ		350	Ophiopogon japonicum / Mondo Grass
PM	V	15	Podocarpus macrophylla / Podocarpus
PMC	V	4	Podocarpus macrophylla / Podocarpus columns
PS (N)	V	78	Pennisetum setaceum / Purple Fountain Grass
SAV	V	8	Schefflera arboricola / Trinetite
VRI (N)	V	9	Vriesia sp / Vriesia

MISCELLANEOUS

(N)	Florida Native Plant Species
L	Low Drought Tolerance
M	Moderate Drought Tolerance
V	Very Drought Tolerant

NOTES:

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

Specifications

B&B Field Grown, 10-12' OA
B&B Field Grown, 12-14-16' OA, Staggered heights
B&B Field Grown, 10-12' OA
20 Gal., 8-10' OA

B&B Field Grown, 10-12' OA

3 Gal., 24" OA, 2' OC
3 Gal., 24" OA, 2' OC
3 Gal., 24" OA, 2' OC
3 Gal., 18" OA, 2' OC
3 Gal., 24" OA, 2' OC
1 Gal., 12" OA, 12" OC
3 Gal., 24" OA, 2' OC
3 Gal., 24" OA, 2' OC
3 Gal., 24" OA, 2' OC
3 Gal., 24" OA, 24" OC
3 Gal., 24" OA

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

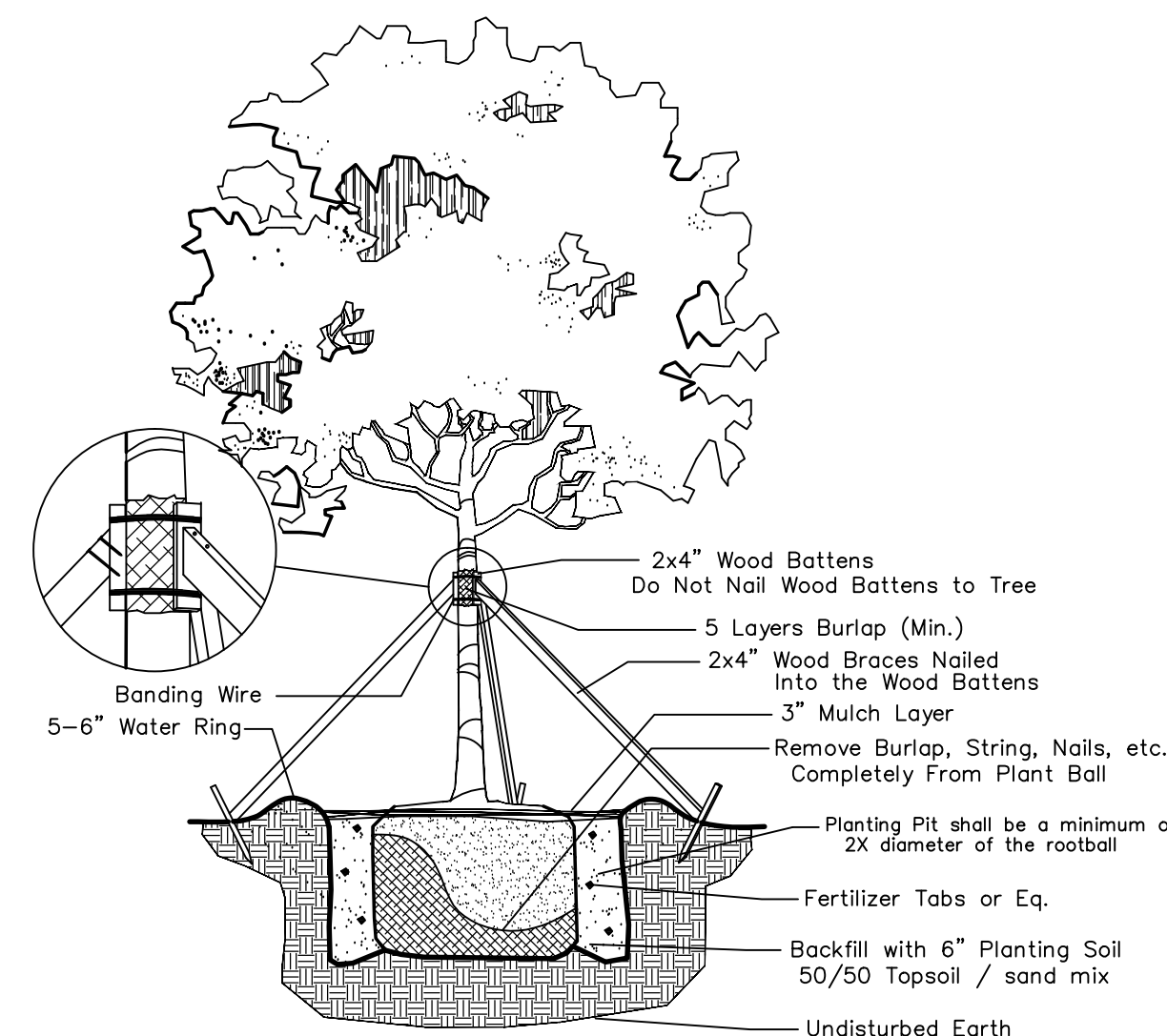
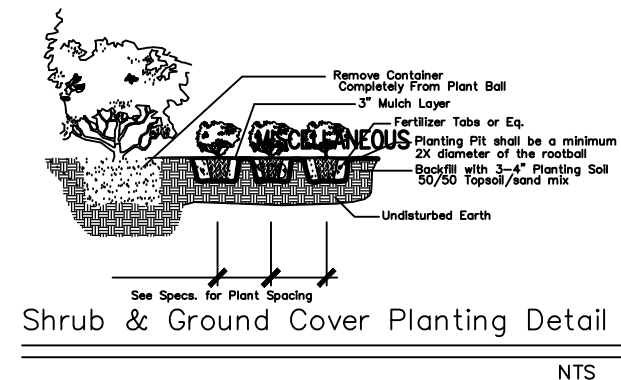
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The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

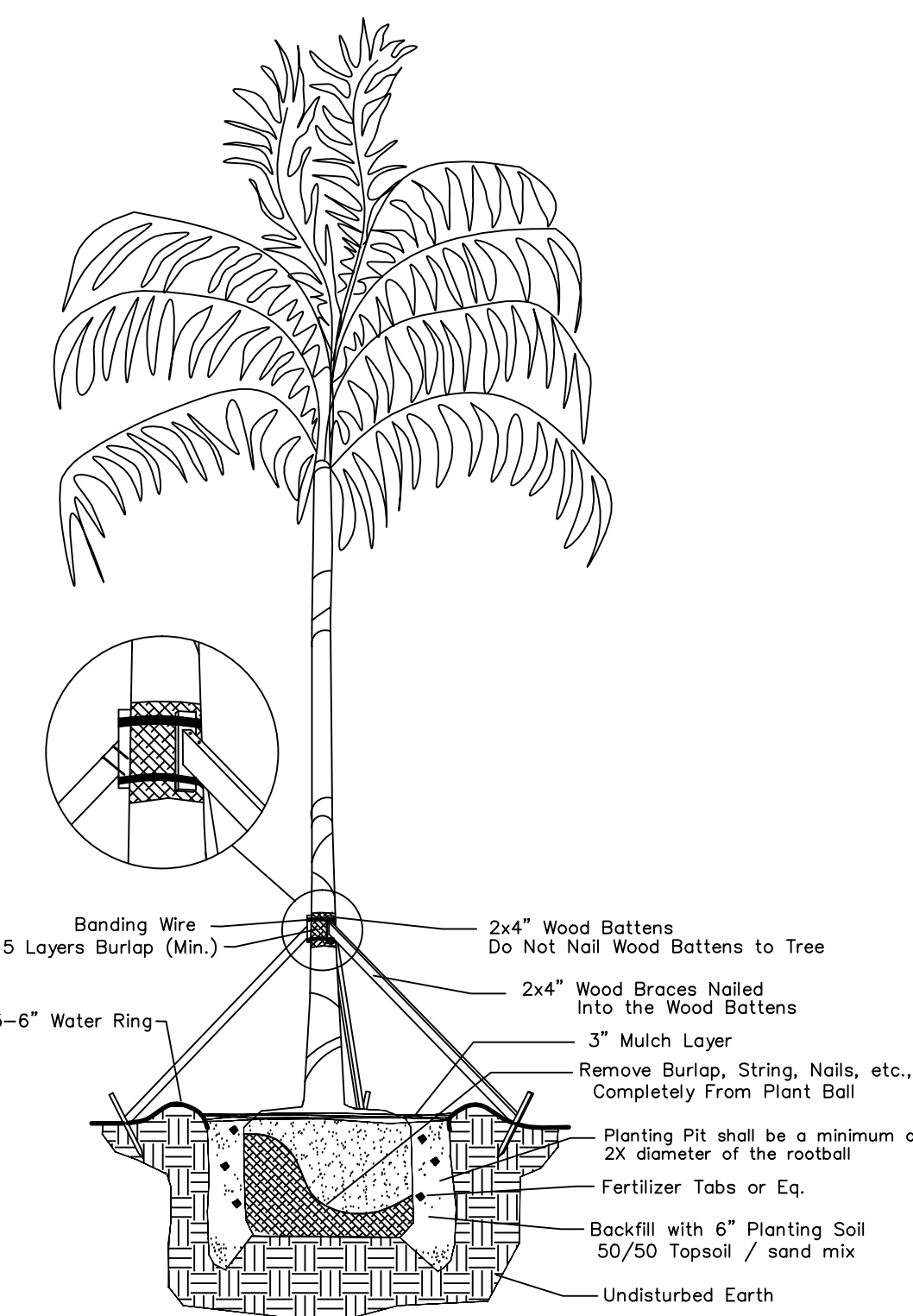
General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive *Stenotaphrum secundatum*, St. Augustine 'Floratum' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.



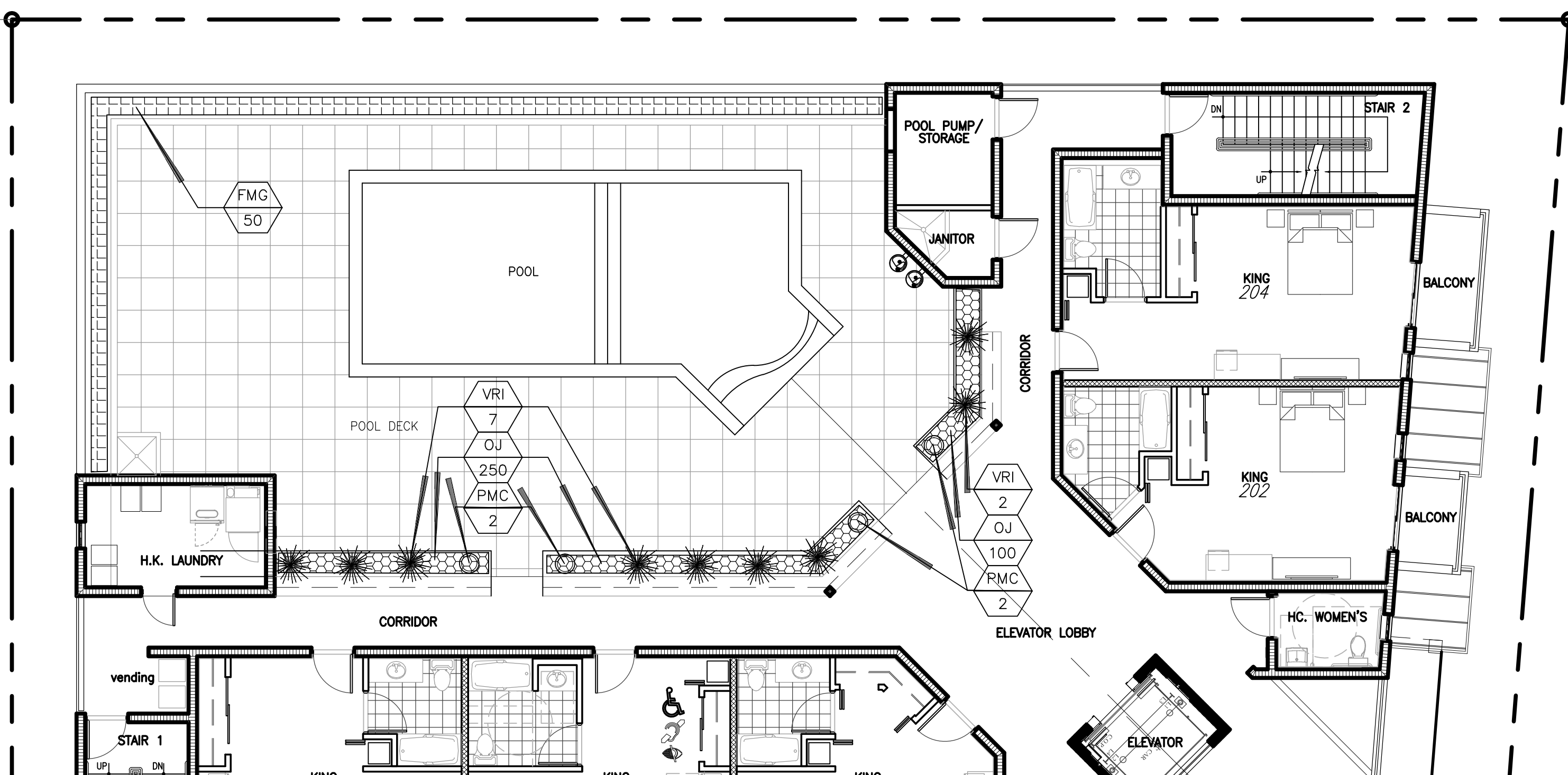
Large Tree Planting Detail

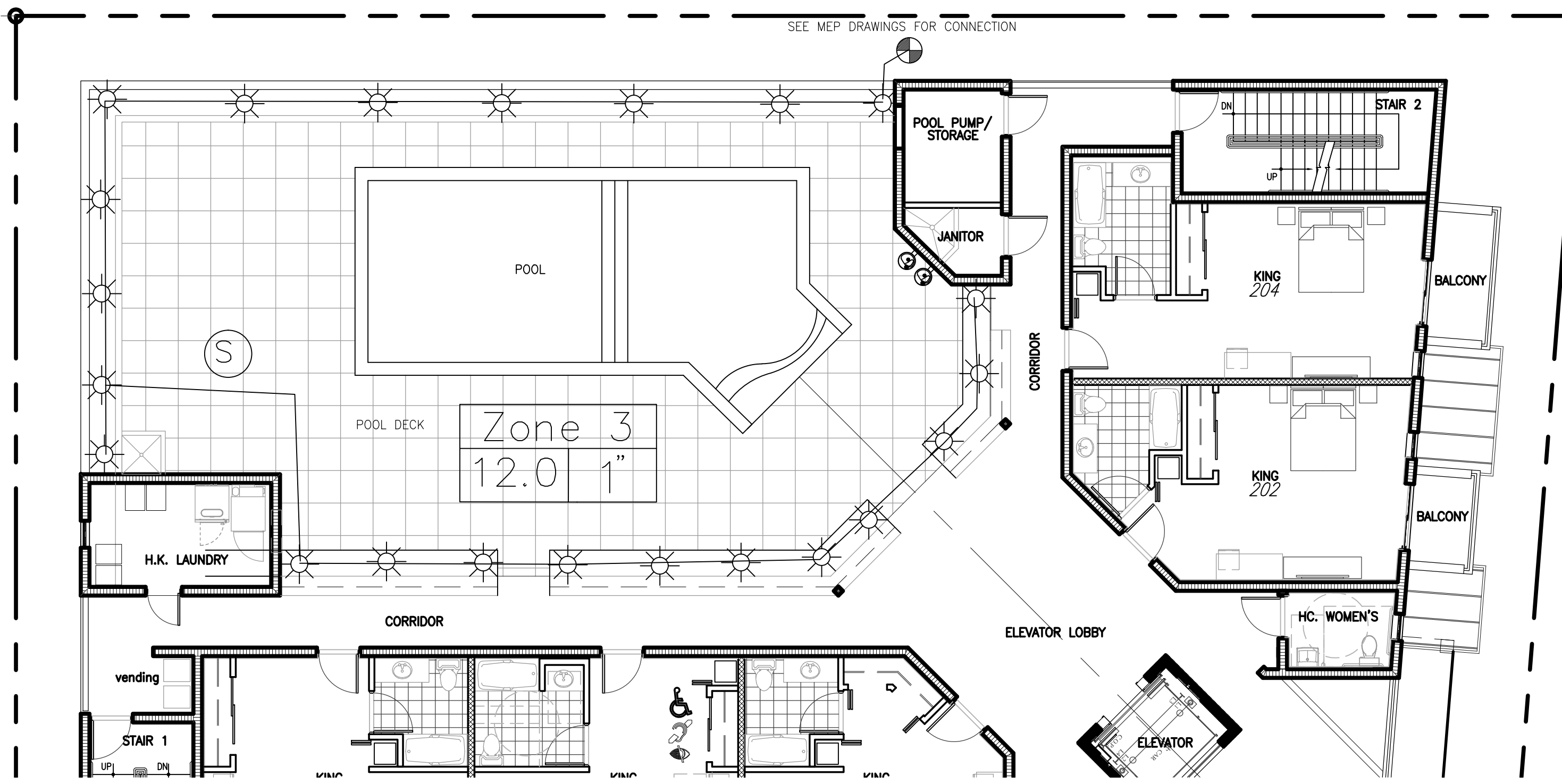
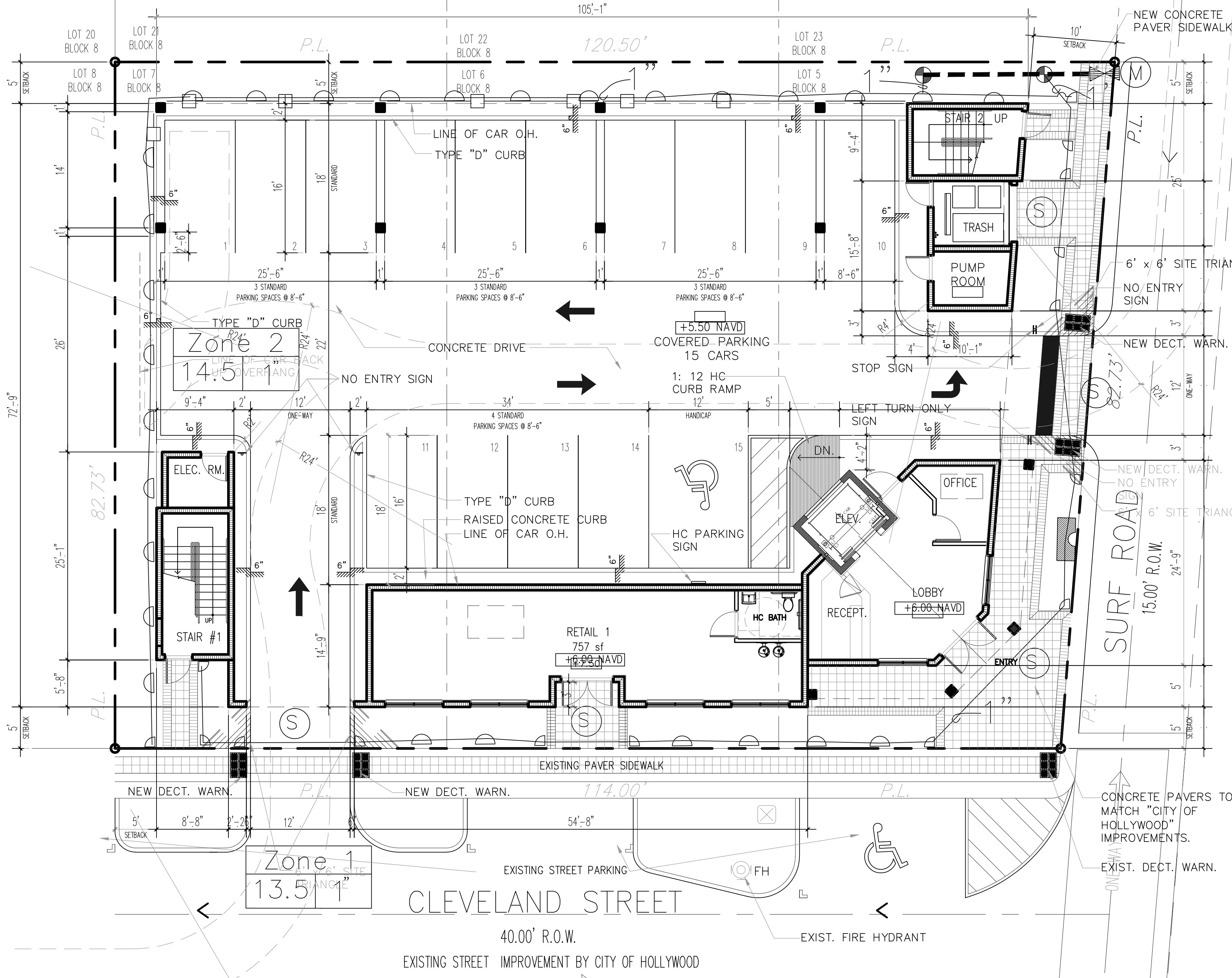
NTS



Palm Planting Detail

Not to Scale





IRRIGATION LEGEND:

- MAIN LINE - 1-1/4" Feed From City Water Source
- LATERAL ZONE LINES - SDR PVC as noted
- ZONE BOUNDARIES
- BACK FLOW: See Point of Connection Detail.
- CONTROLLER - Toro Custom Command Series Electric 4 station controller #CC-P-4 mounted on Northeast corner of structure, with a Rain Check automatic rain sensor shutoff switch mounted outside on eave of structure.
- ZONE VALVES - Toro 252 Series.
- PROPOSED WATER METER - 1" or per City Code.
- SLEEVES - Sch. 40, 2 Sizes Larger. NOTE - Pipe Size Shown is the Lateral Size, NOT the Sleeve Size
- 6" PDP-UP SPRAY - Toro 570 Series MPR Spray Nozzles as Required. NOTE - All of the below may not be used
- 15' Series - 15-Q-PC - 1/4" 15-T-PC - 1/3" 15-H-PC - 1/2" 15-TT-PC - 2/3" 15-TQ-PC - 3/4" 15-F-PC - Full
- 12' Series - 12-Q-PC - 1/4" 12-T-PC - 1/3" 12-H-PC - 1/2" 12-TT-PC - 2/3" 12-TQ-PC - 3/4" 12-F-PC - Full
- 10' Series - 10-Q-PC - 1/4" 10-T-PC - 1/3" 10-H-PC - 1/2" 10-TT-PC - 2/3" 10-TQ-PC - 3/4" 10-F-PC - Full
- 8' Series - 8-Q-PC - 1/4" 8-T-PC - 1/3" 8-H-PC - 1/2" 8-TT-PC - 2/3" 8-TQ-PC - 3/4" 8-F-PC - Full
- 4S-SST-PC 4 x 18'
- 4-EST-PC 4 x 15'
- 4-CST-PC 4 x 30'
- 6" PDP-UP FLOOD BUBBLER - Toro 570 Series MPR Pressure Compensating Nozzles as Required.
- HDSE BIB
- SYSTEM DESIGN OPERATING PRESSURE = Between 35 and 40 psi.

Zone 2

37.6

11.1

Zone Number

Valve Size

GPM per Zone

4" PDP-UP ROTOR - Hunter PGM Rotor W/ Appropriate Nozzle as Required

IRRIGATION NOTES:

Piping:
Main Lines: PVC SDR 26, Class 160 Solvent Weld.
Zone Lines: PVC, 1/2 in. and 3/4 in. are not used. Min. pipe is 1 in. 315 PSI: 1 in. = SDR 21. 200 PSI: 1-1/4 in. and greater = SDR 26, 160 PSI. All solvent weld.
All end of the line unmarked pipe = 1 in. (min.).
Sleeves and suction Line: PVC, SCH 40.
Fittings: SCH 40 PVC
Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.
Allow all main lines to cure for 24 hours before pressuring.
All pipe, fittings, and solvents to conform to latest ASTM specs.
Depth of Lines: Main Line and wiring = 18 in. depth, min. Suction Line = 24 in. depth, nominal. Zone Lines 1-1/2 in. and smaller = 10 in. depth, min.
Control Wires: AWG 14 for all hot wires and AWG 12 for common. Solid copper type UF UL listed for direct burial. Run wires under main and tape every 20 feet. Run spares, two min. Splice wires only in a valve box. All splices shall be moisture proof using Snap It or DBY UL connectors. Common shall be white, hot shall be red or color coded. Spare shall be black. Run in conduit where no Main line runs.
Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.
All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.
Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.
Contractor shall verify all underground utilities prior to commencement of work.
The perimeter irrigation and landscape may be required to be installed prior to either both pump stations and all main line / valve wiring. A separate plan showing modifications and alternate water source will be provided prior to construction. The modifications will not impact upon the design intent or substantially affect the construction plan.

Point of Connection

Main Line Thrust Blocks

Zone Valve Detail

Shrub Riser Spray Detail

IRRIGATION PLAN

SCALE: 1/8" = 1'-0"

0 8' 16' 32'

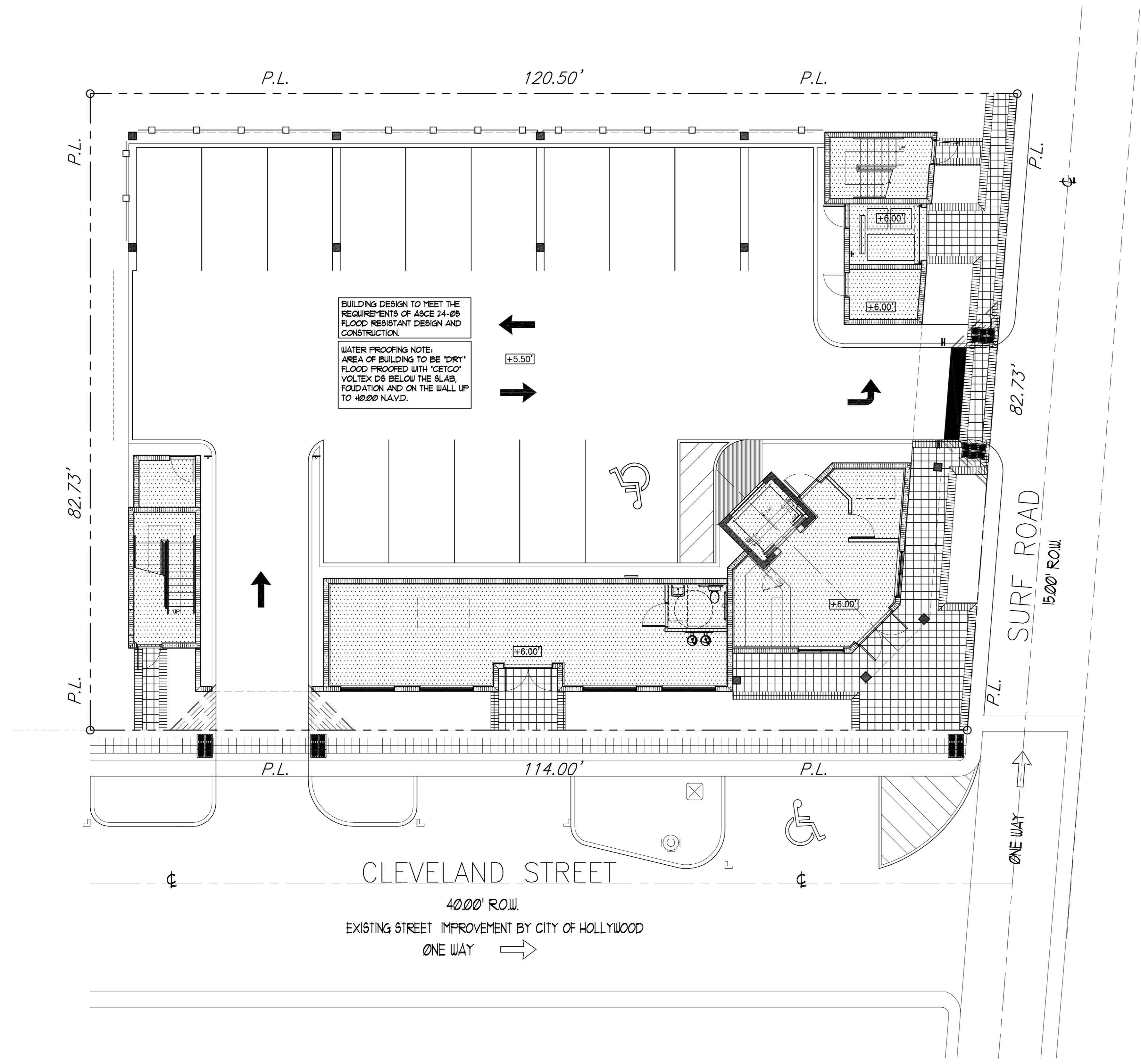
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Landscape Architecture & Land Planning
Landscape Architect - Florida License #6666709
4855 NW 92 Terrace
Coral Springs, Florida 33067
Tel. 561-414-8269 Email: wtonning@tonningandassociates.com

DRWG. TITLE : IRRIGATION PLAN
PROJECT : ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA
CLIENT : JOSEPH B KALLER AND ASSOCIATES

SEAL

PROJECT NO. 15-152
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 11-15-15
DWG. NO. LI-1
SHT. NO. 1 of 1
REVISIONS : 01-07-16

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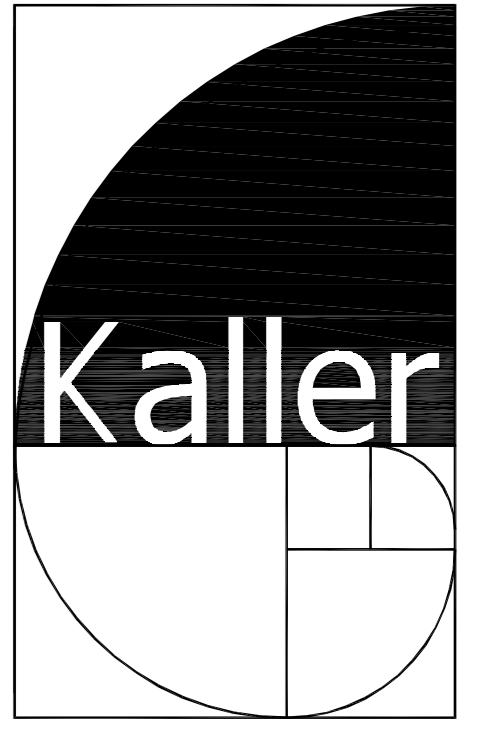


1 SITE PLAN
SCALE: 1" = 10'-0"

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA:
PER ASCE 24-05:

STRUCTURE CATEGORY	CATEGORY II	
ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+10.00' N.A.V.D.
DRY FLOOD PROOFING OF NON-RESIDENTIAL STRUCTURES (TABLE 6-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+10.00' N.A.V.D.

NOTE:
NOT WITHSTANDING INFORMATION PROVIDED HEREIN, ALL WORK PERFORMED BY THE G.C. AND THE SUB-CONTRACTORS, UNDER THIS SET OF CONSTRUCTION DOCUMENTS AND BUILDING PERMIT, MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA BUILDING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE 101, THE FLORIDA FIRE PREVENTION CODES, AND ALL OTHER CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.



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joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
SITE PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC
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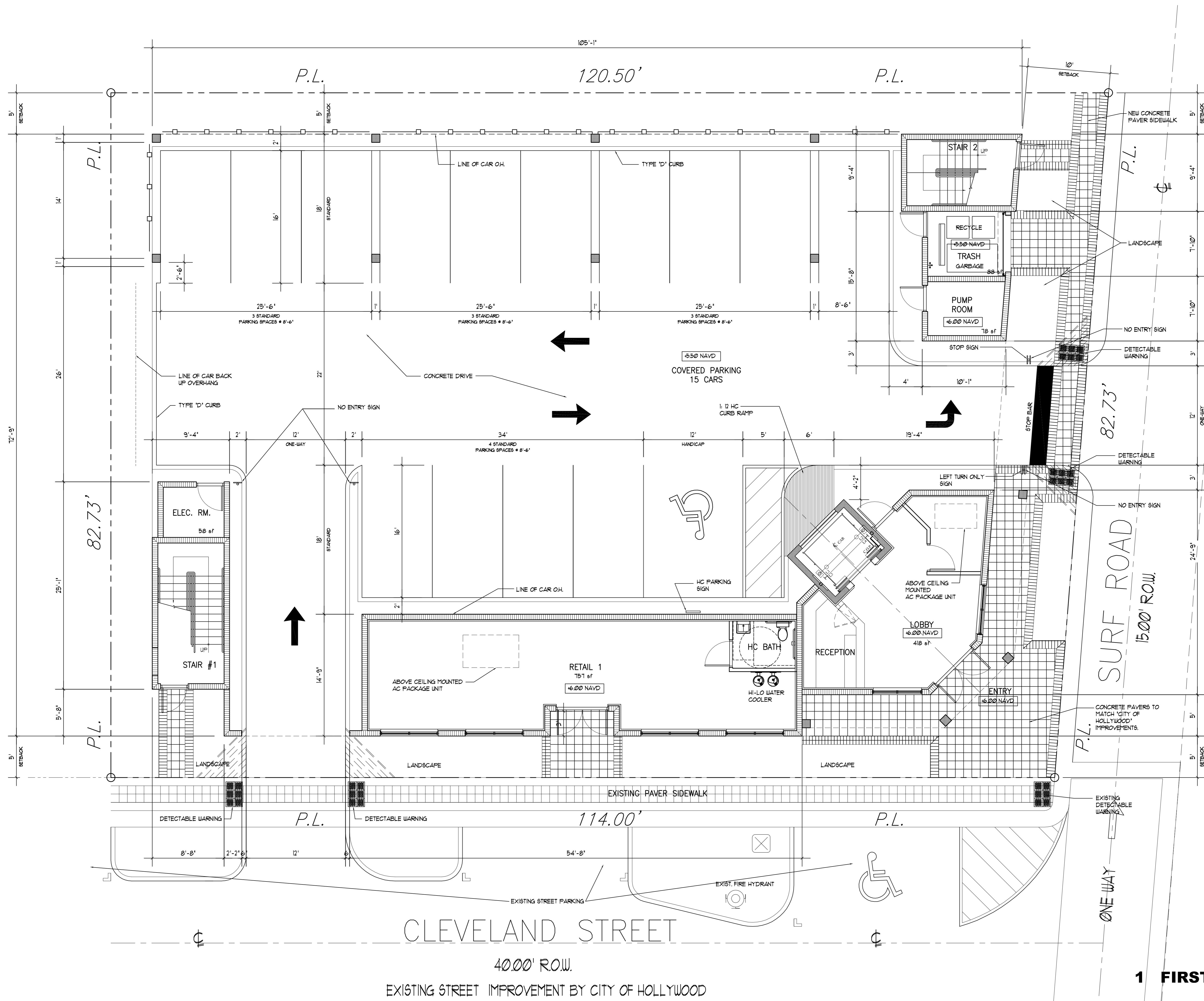
PROJECT No.: 13117
DATE: 04/15/15
DRAWN BY: JAIME
CHECKED BY: JBK

SHEET

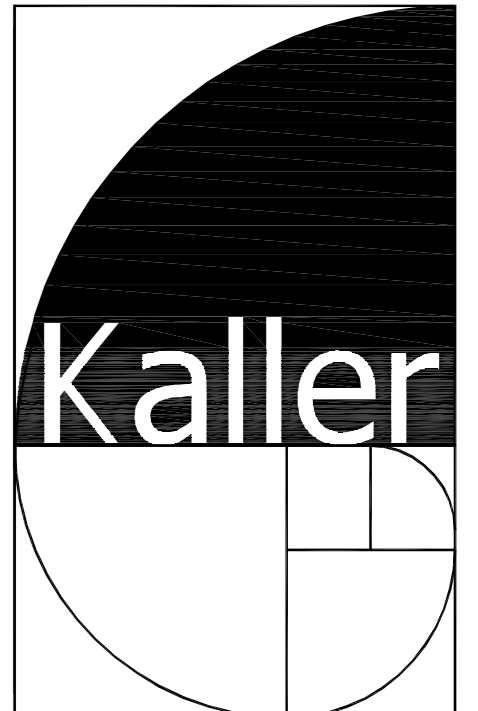
FP-1

Bidders shall use complete sets of Bidding Documents in preparing bids; neither the Owner nor Architect assumes responsibility for errors or misinterpretations resulting from the use of photocopies or preliminary sets of Bidding Documents. The filer of the Change Documents is to take all responsibility for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and shall be required by one and be as well as required by all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably practicable from time as being necessary to produce the intended results.

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1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



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HOLLYWOOD, FLORIDA

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SHEET

A-1



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PROJECT FILE

ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE

SECOND FLOOR PLAN

No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC
-	-	-
-	-	-
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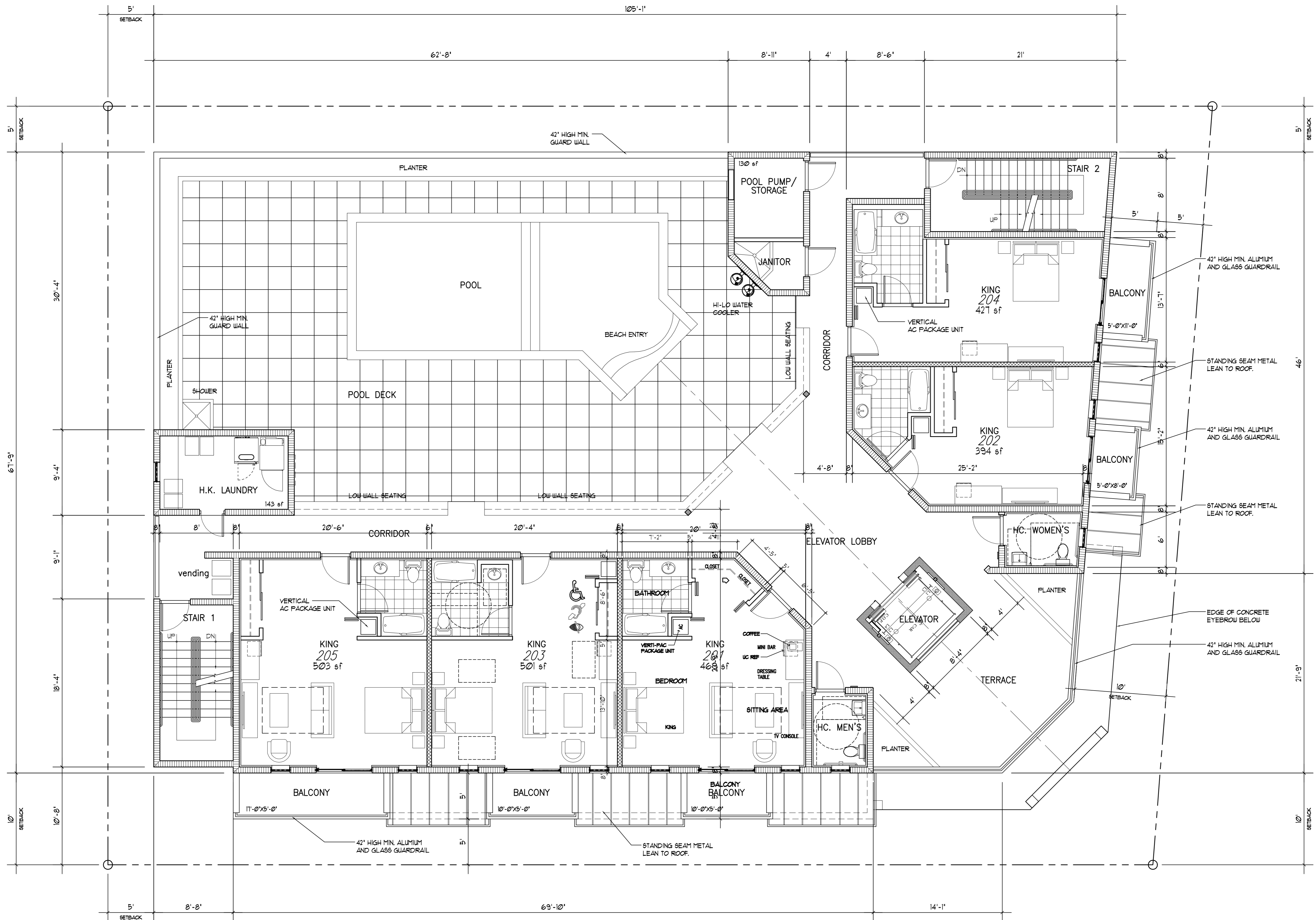
HEET

A-2



1 SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"





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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
THIRD FLOOR PLAN

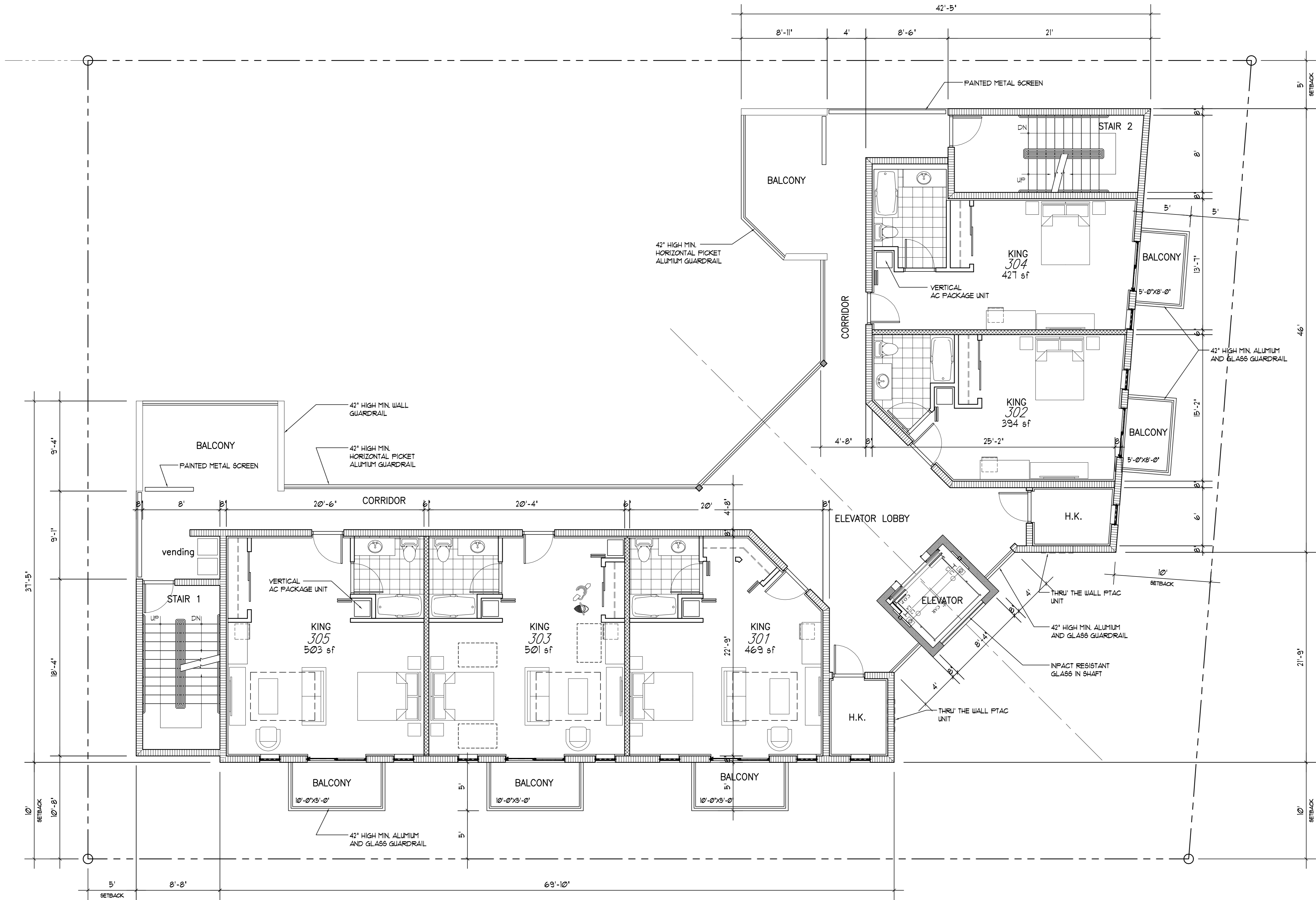
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2	12-21-15	FINAL TAC

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SHEET

A-3



1 THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"



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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
FOURTH FLOOR PLAN

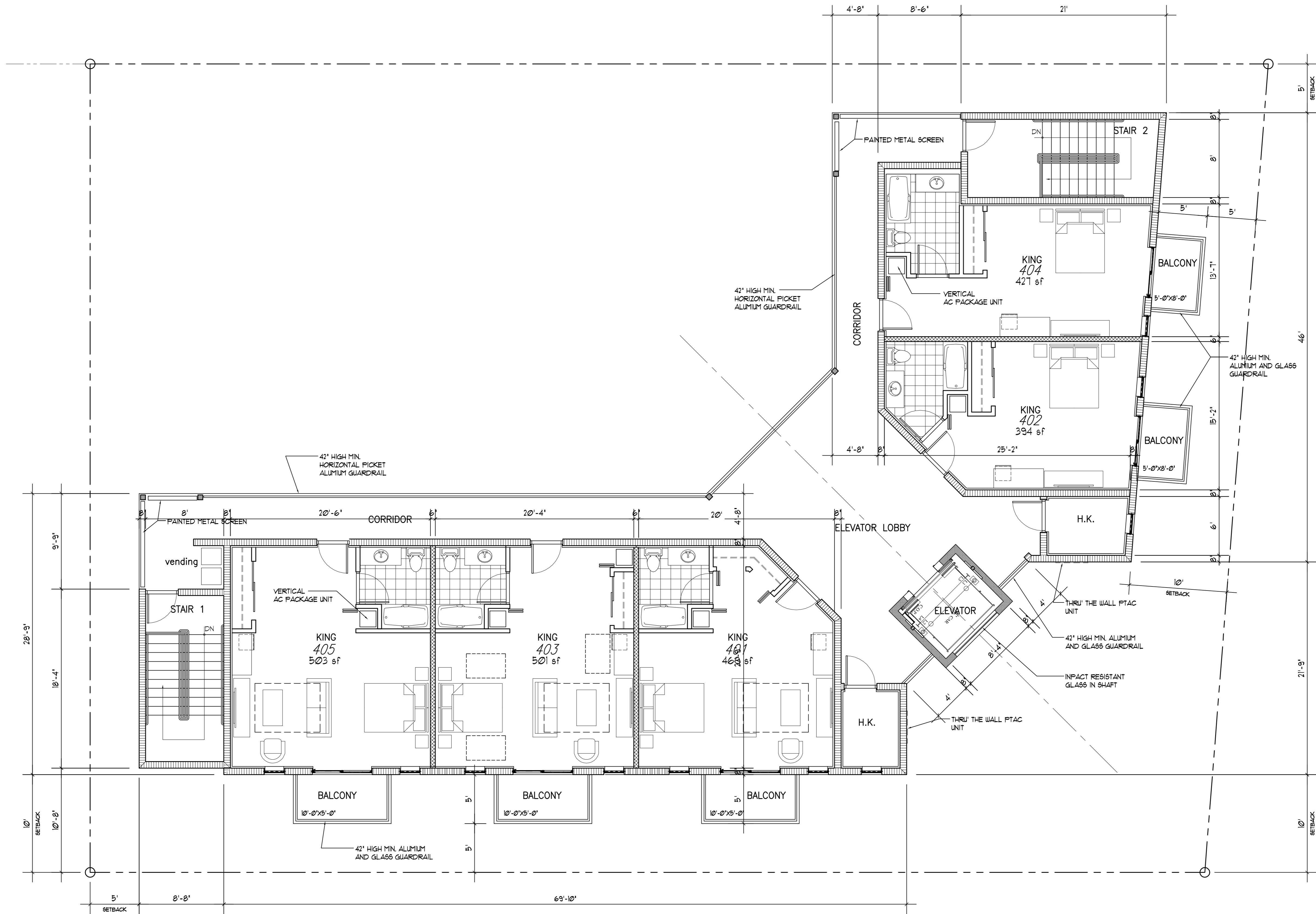
REVISIONS		
No.	DATE	DESCRIPTION
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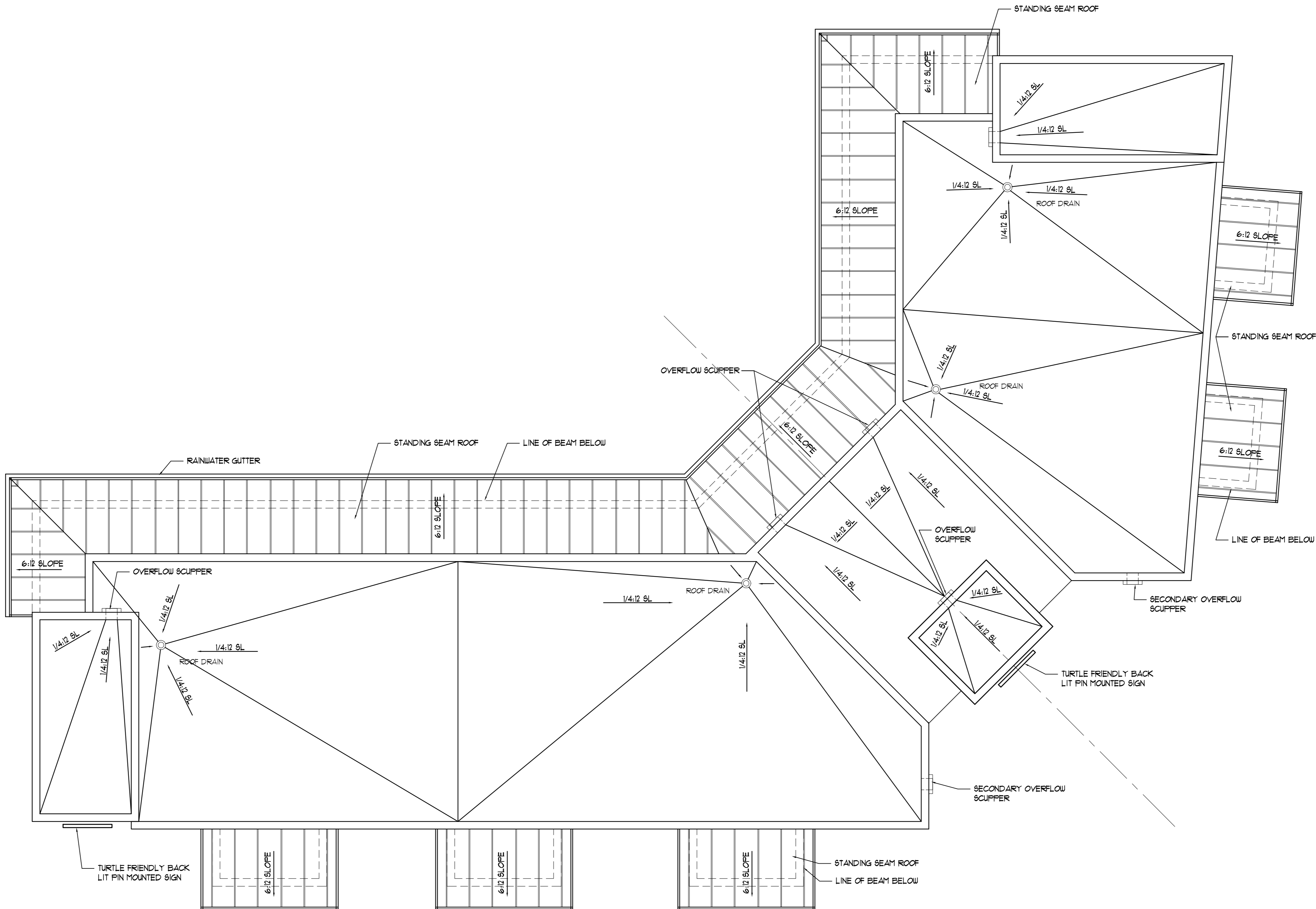
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1 FOURTH FLOOR PLAN

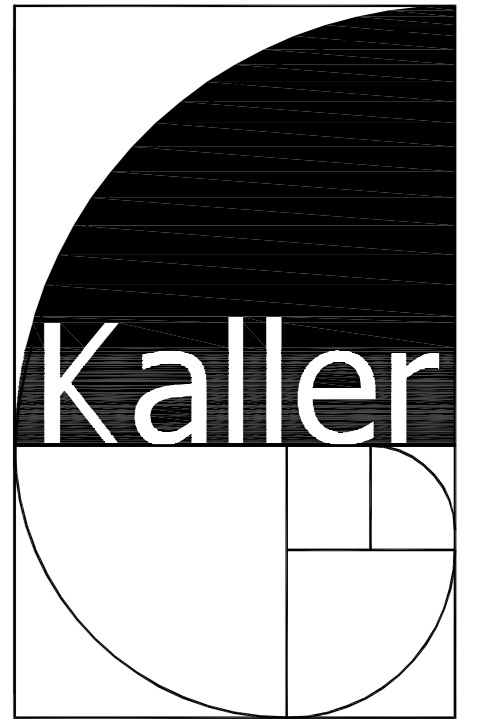
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1 ROOF PLAN

SCALE: 3/16" = 1'-0"



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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
ROOF PLAN

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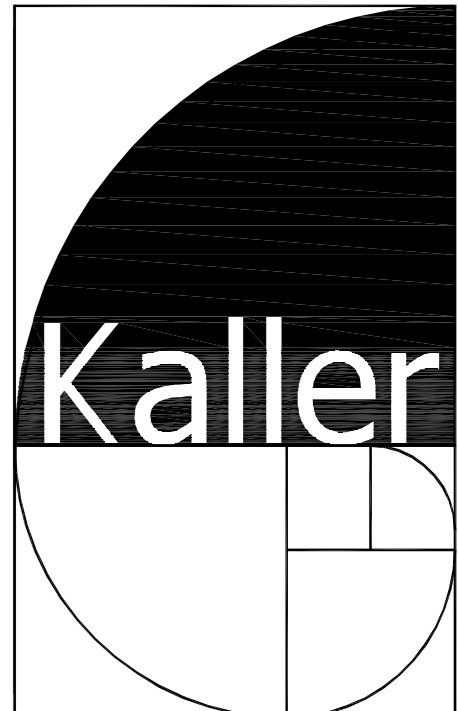
A-5

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1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT DOORS.
2. TURTLE FRIENDLY TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. CUT STONE VENEER WALL FINISH
4. 42' MIN. HIGH TINTED TEMPERED GLASS AND ALUMINUM GUARD RAILING
5. POWDER COATED BACK LIT TURTLE FRIENDLY REVERSE CHANNEL LETTER SIGNAGE
6. TURTLE FRIENDLY TINTED IMPACT RESISTANT WINDOWS
7. SMOOTH STUCCO WALL FINISH
8. 1" WIDE VERTICAL STUCCO SCORING
9. REFUSE/ RECYCLING ENCLOSURE
10. STANDING SEAM METAL LEAN TO ROOF
11. POWDER COATED ALUMINUM RAILING
12. CONCRETE WALL GUARD RAILING
13. IMPACT RESISTANT ROLL-UP DOOR
14. IMPACT RESISTANT HOLLOW METAL DOOR
15. POWDER COATED FIXED METAL SHUTTERS
16. CANVAS AWNINGS
17. 42' MIN. HIGH HORIZONTAL PICKET GUARD RAILING
18. 6' WIDE HORIZONTAL STUCCO SCORING
19. THRU' THE WALL PTAC UNITS
20. FIXED VENTILATION LOUVRES
21. SECONDARY OVERFLOW SCUPPER
22. RAIN WATER LEADER

1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
ELEVATIONS

REVISIONS		
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A-6

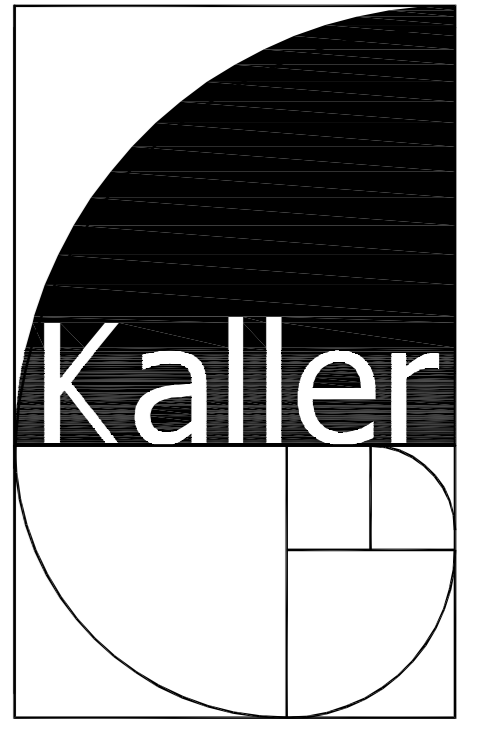
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18. 6" WIDE HORIZONTAL STUCCO SCORING
19. THRU' THE WALL PTAC UNITS
20. FIXED VENTILATION LOUVRES
21. SECONDARY OVERFLOW SCUPPER
22. RAIN WATER LEADER

1 EAST ELEVATION

SCALE: 3/16" = 1'-0"



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ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC

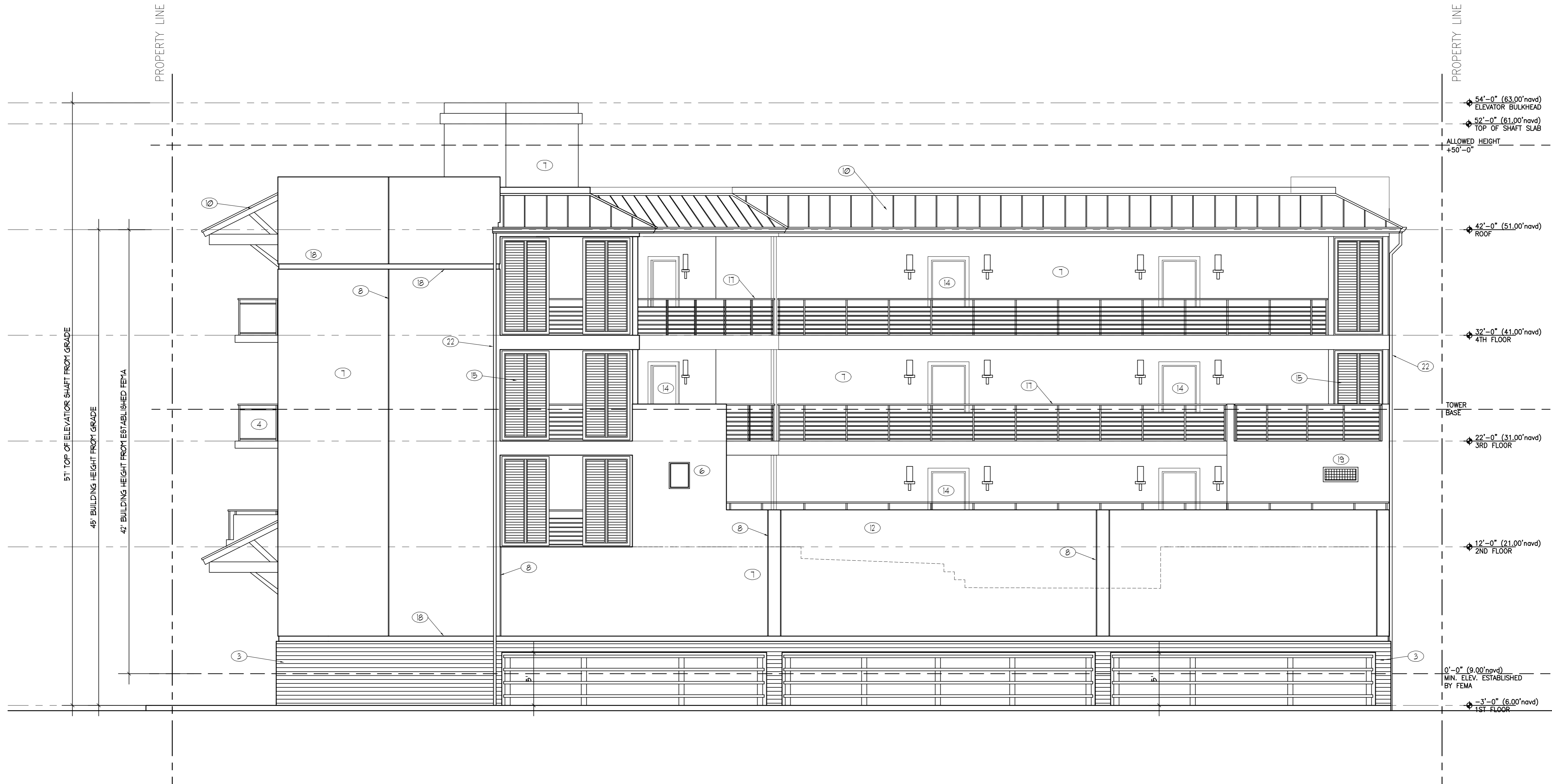
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SHEET

A-7

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7. SMOOTH STUCCO WALL FINISH
8. 1" WIDE VERTICAL STUCCO SCORING
9. REFUSE/ RECYCLING ENCLOSURE
10. STANDING SEAM METAL LEAN TO ROOF
11. POWDER COATED ALUMINUM RAILING
12. CONCRETE WALL GUARD RAILING
13. IMPACT RESISTANT ROLL-UP DOOR
14. IMPACT RESISTANT HOLLOW METAL DOOR
15. POWDER COATED FIXED METAL SHUTTERS
16. CANVAS AWNINGS
17. 42" MIN. HIGH HORIZONTAL PICKET GUARD RAILING
18. 6" WIDE HORIZONTAL STUCCO SCORING
19. THRU' THE WALL PTAC UNITS
20. FIXED VENTILATION LOUVRES
21. SECONDARY OVERFLOW SCUPPER
22. RAIN WATER LEADER

1 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
ELEVATIONS

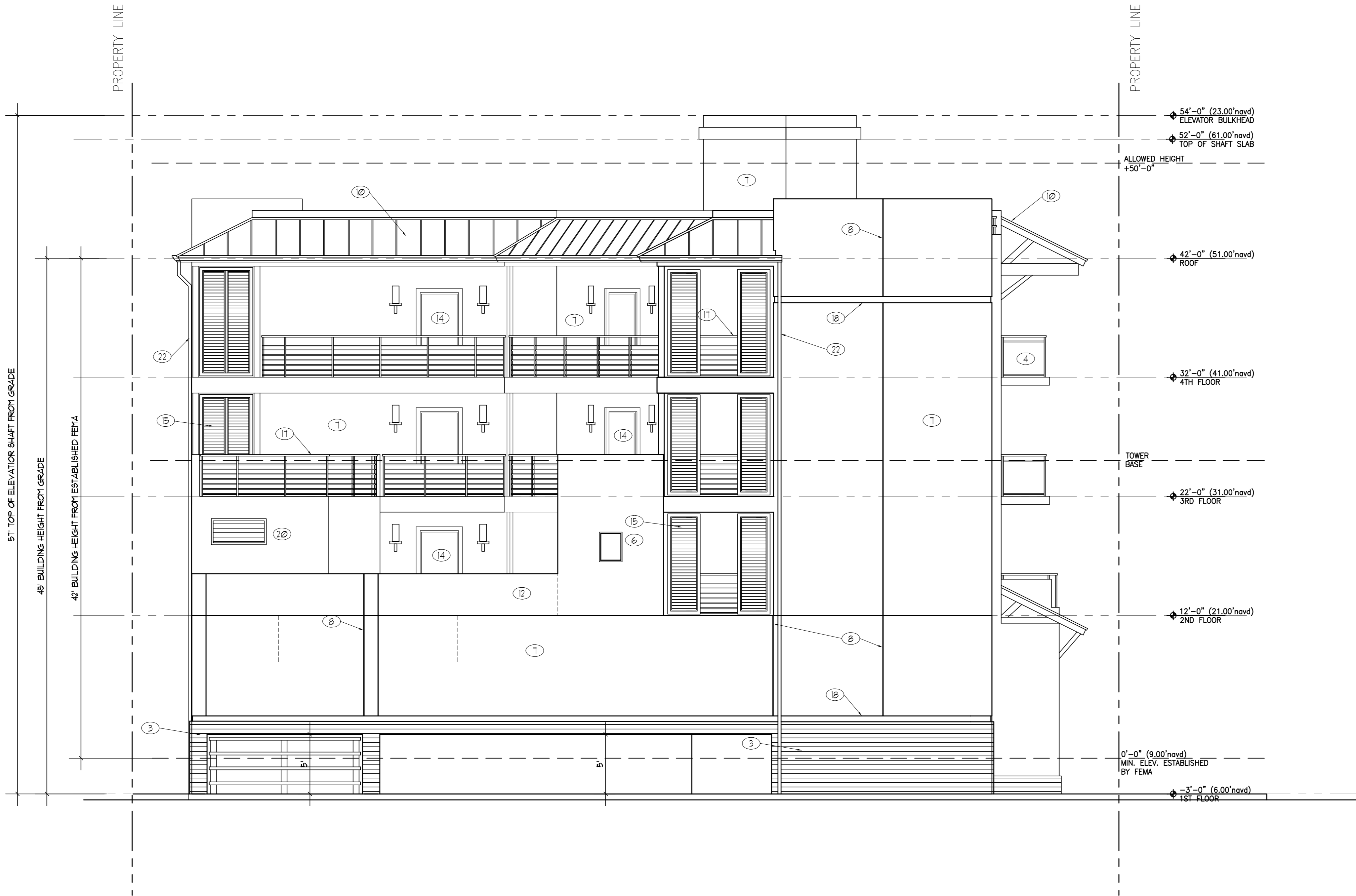
REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC

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SHEET

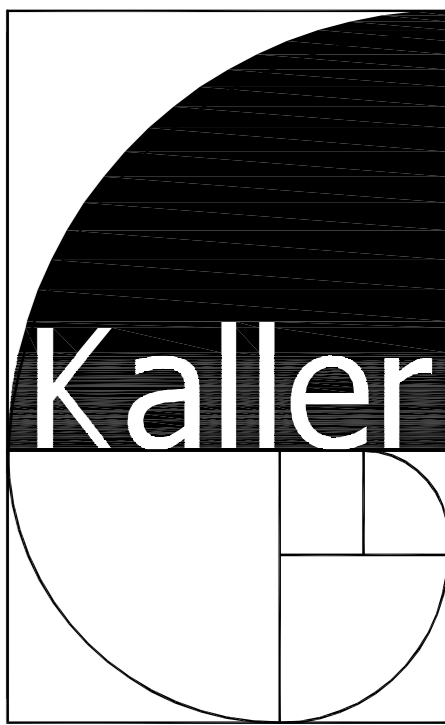
A-8



1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT DOORS.
2. TURTLE FRIENDLY TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. CUT STONE VENEER WALL FINISH
4. 42" MIN. HIGH TINTED TEMPERED GLASS AND ALUMINUM GUARD RAILING
5. POWDER COATED BACK LIT TURTLE FRIENDLY REVERSE CHANNEL LETTER SIGNAGE
6. TURTLE FRIENDLY TINTED IMPACT RESISTANT WINDOWS
7. SMOOTH STUCCO WALL FINISH
8. 1" WIDE VERTICAL STUCCO SCORING
9. REFUSE/ RECYCLING ENCLOSURE
10. STANDING BEAM METAL LEAN TO ROOF
11. POWDER COATED ALUMINUM RAILING
12. CONCRETE WALL GUARD RAILING
13. IMPACT RESISTANT ROLL-UP DOOR
14. IMPACT RESISTANT HOLLOW METAL DOOR
15. POWDER COATED FIXED METAL SHUTTERS
16. CANVAS AWNINGS
17. 42" MIN. HIGH HORIZONTAL PICKET GUARD RAILING
18. 6" WIDE HORIZONTAL STUCCO SCORING
19. THRU' THE WALL PTAC UNITS
20. FIXED VENTILATION LOUVRES
21. SECONDARY OVERFLOW SCUPPER
22. RAIN WATER LEADER

1 WEST ELEVATION

SCALE: 3/16" = 1'-0"



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SHEET TITLE
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC
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SHEET

A-9



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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
CLEVELAND STREET
ACTIVE LINERS

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC
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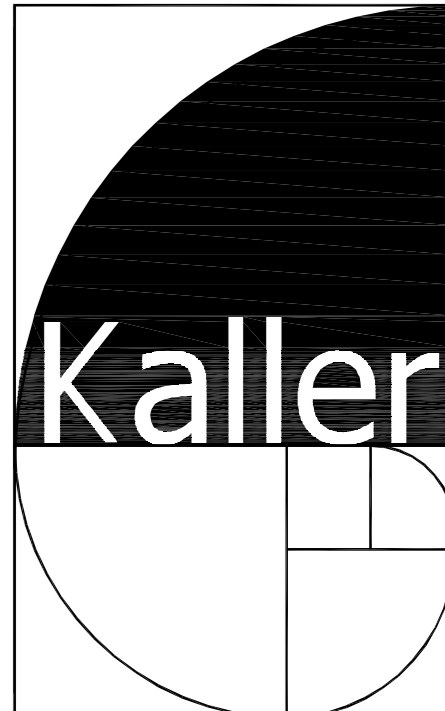
A-10

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1 CONTEXTUAL STREET ELEVATIONS

SCALE: 3/32" = 1'-0"



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ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
CONTEXTUAL STREET
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
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2	12-21-15	FINAL TAC
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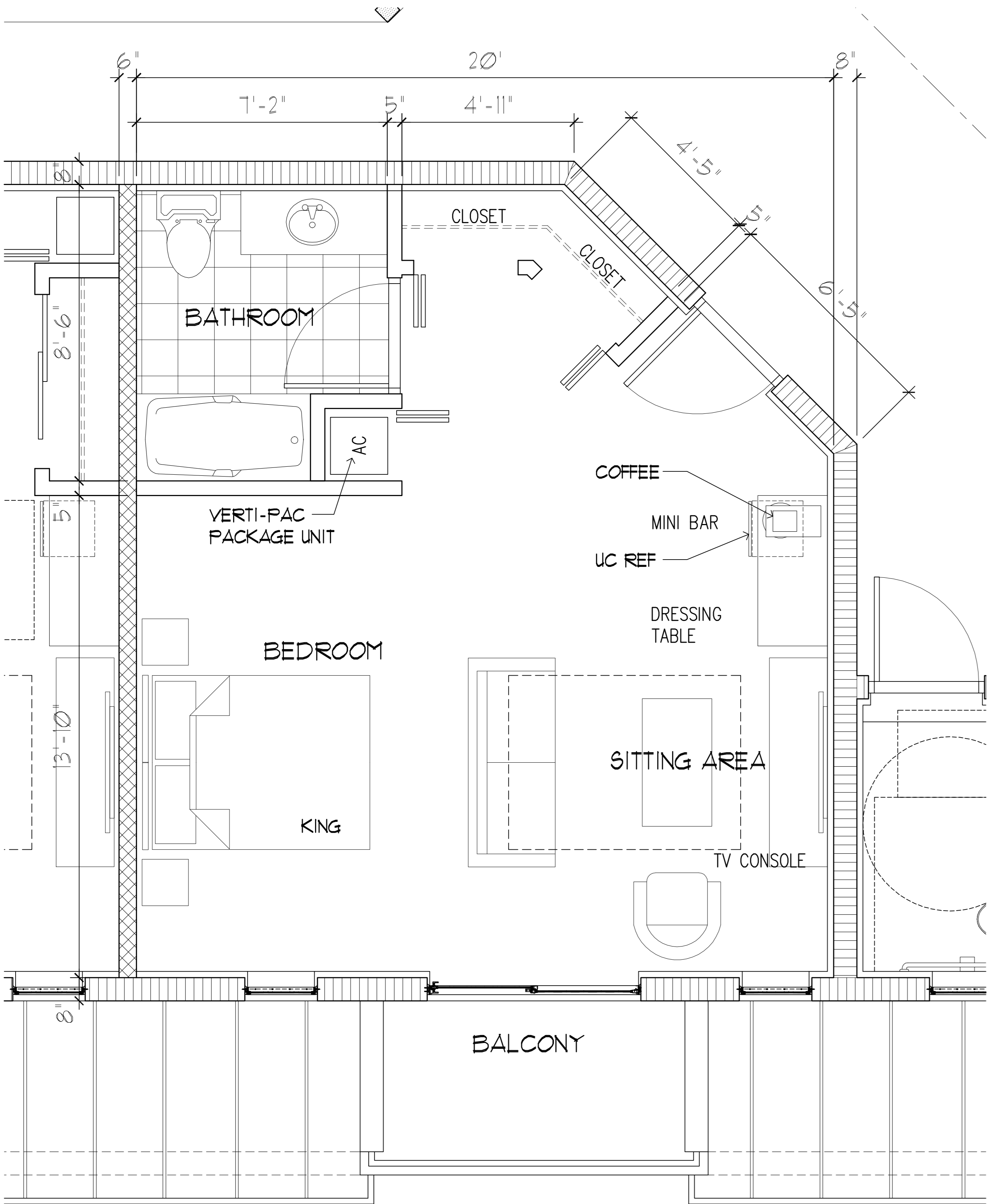
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SHEET

A-11

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1 TYPICAL ROOM BLOW UP PLAN

SCALE: 1/2" = 1'-0"



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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
TYPICAL ROOM
BLOW UP PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	7-2-15	PRELIM TAC
2	12-21-15	FINAL TAC
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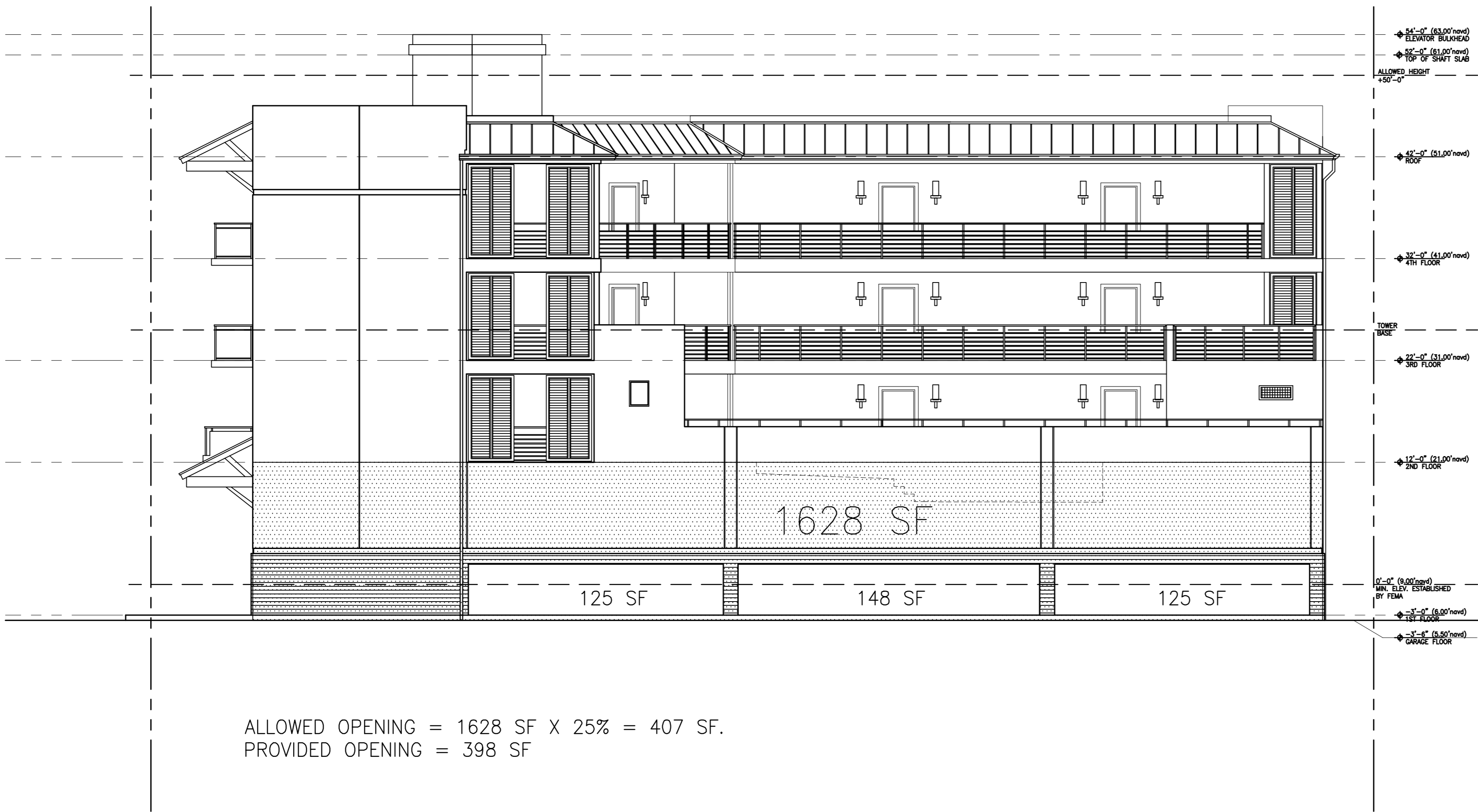
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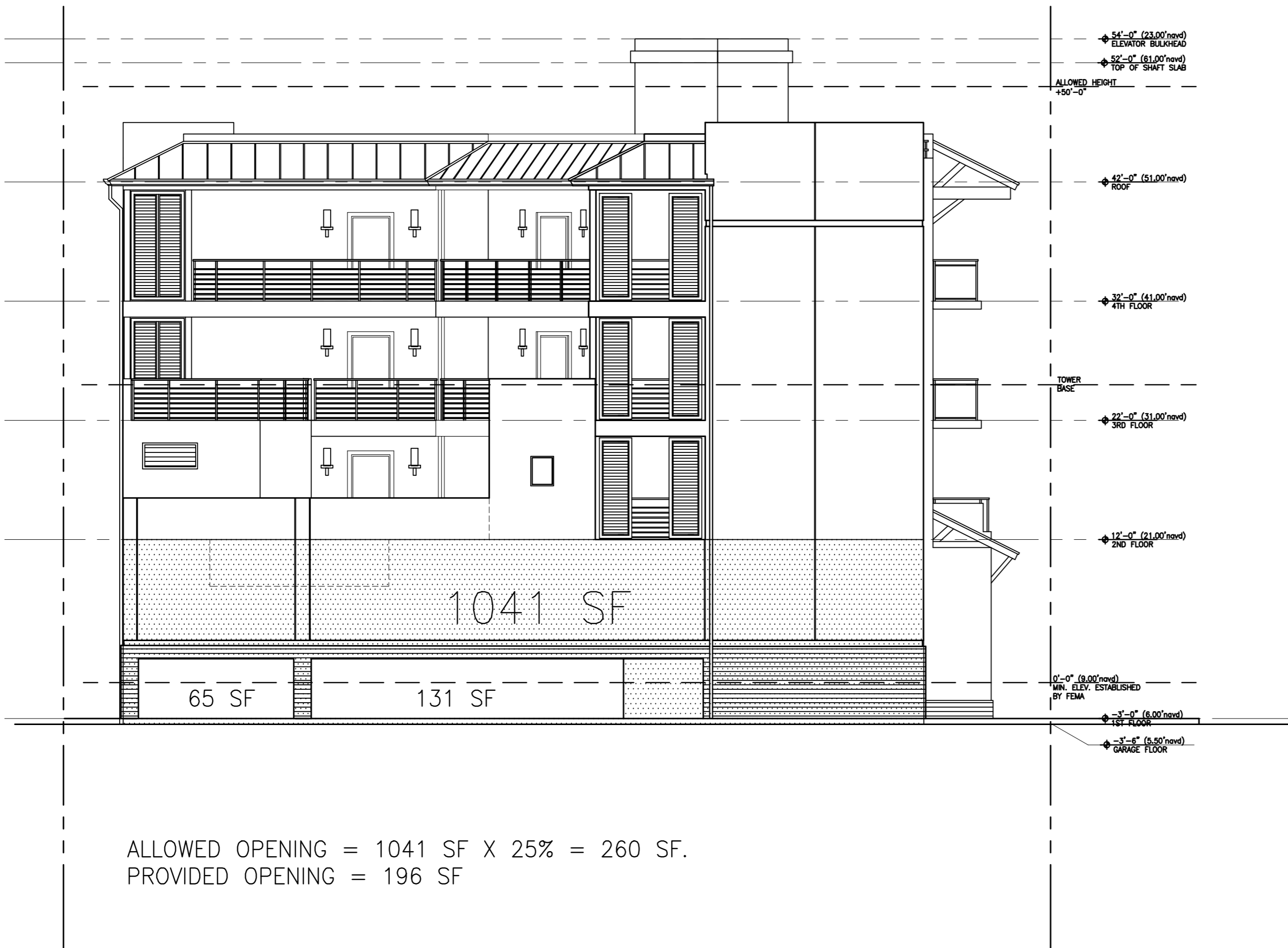
SHEET

A-12

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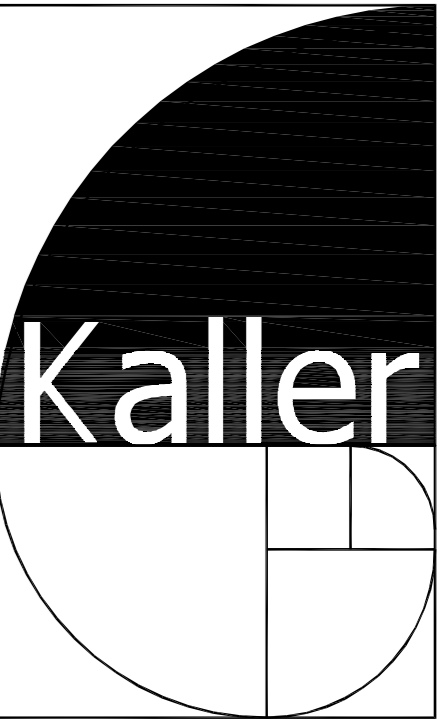
ALLOWED OPENING = 1628 SF X 25% = 407 SF.
PROVIDED OPENING = 398 SF



ALLOWED OPENING = 1041 SF X 25% = 260 SF.
PROVIDED OPENING = 196 SF

1 ELEVATIONS SHOWING PERCENTAGE OF ALLOWABLE OPENINGS

SCALE: 3/32" = 1'-0"



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PROJECT TITLE
ART OCEAN HOTEL
315 CLEVELAND STREET
HOLLYWOOD, FLORIDA

SHEET TITLE
ALLOWABLE OPENINGS

REVISIONS		
No.	DATE	DESCRIPTION
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SHEET

A-14


ATTACHMENT B


Land Use & Zoning Map



DEVELOPMENT SERVICES
PLANNING

Legend

 Subject Parcel

 Streets

LAND USE

 GBUS

 OSR

ZONING

 BWK-25-HD-C

 BRT-25-C

Historic_Sites

 HPOD-3



0 15 30 60 Feet



ATTACHMENT C

Correspondence

**CITY OF HOLLYWOOD
COMMUNITY REDEVELOPMENT AGENCY
MEMORANDUM**

DATE: April 8, 2016 **FILE:** CRA 2016-06

TO: Jaye Epstein, AICP, Director, Planning and Development Services

FROM: Jorge Camejo, AICP, CRA Executive Director 

SUBJECT: CRA Recommendation Regarding Variances For Art Ocean Hotel
315 Cleveland Street, Hollywood Florida

ISSUE:

CRA recommendation regarding a variance for a hotel development located at 315 Cleveland Street, Hollywood, Florida.

EXPLANATION:

CRA staff has reviewed the request for a variances on the number of parking space. We believe this project will enhance and support the goals of the beach CRA and act as a catalyst to future development in the Beach District of the Community Redevelopment Agency.

RECOMMENDATION:

The CRA staff supports this project and believes it will enhance and support the goals of the Hollywood Beach CRA.

Cc: Andria Wingett, Assistant Director, Department of Planning
Arceli Redila, Planning Administrator
Yimey Bickford, Administrative Assistant II