

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: Adams Street (See attached Project Narrative)

Lot(s): See Legal Description Block(s): See Legal Description Subdivision: See Legal Description

Folio Number(s): See attached Project Narrative

Zoning Classification: DH-2 & DH-3 Land Use Classification: Regional Activity Center (RAC)

Existing Property Use: Vacant Land Sq Ft/Number of Units: 120 units

Is the request the result of a violation notice? ( ) Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No prior requests

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: 120 total units (72) 1-Bedroom (48) 2-Bedroom Sq Ft: \_\_\_\_\_

Value of Improvement: 15,000,000 Estimated Date of Completion: 12/31/2019

Will Project be Phased? ( ) Yes (x) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: City of Hollywood Dept of Community and Economic Development / Downtown Hollywood Community Redevelopment Agency

Address of Property Owner: 2600 Hollywood Blvd, Hollywood FL 33020

Telephone: 954-921-3271 Fax: 954-921-3390 Email Address: \_\_\_\_\_

Name of Consultant Representative Tenant (circle one): Pinnacle at Peacefield, LTD (Timothy Wheat)

Address: 9400 S. Dadeland Blvd, Suite 100, Miami FL 33156 Telephone: 305-710-8603

Fax: 305-859-9858 Email Address: twheat@pinnaclehousing.com

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes (x) No ( )

If Yes, Attach Copy of the Contract. **See Attached Purchase and Sale Agreement**

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Keith Poliakoff, Attorney Address: 200 E. Las Olas Blvd, Fort Lauderdale FL 33301  
Email Address: keith.poliakoff@saul.com

Keith and Associates, Inc 301 E. Atlantic Blvd, Pompano Beach FL 33060  
Michael Vonder Meulen, AICP mvondermeulen@keith-associates.com

# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
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File No. (internal use only): \_\_\_\_\_

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: \_\_\_\_\_

AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: 1/29/18

AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

PRINT NAME: Timothy P. Wheat, for Pinnacle at

Date: \_\_\_\_\_

Peacefield, Ltd.

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

### Current Owner Power of Attorney

(see attached purchase & sale agreements, where Power of Attorney is granted under Paragraph 8 of said agreements)

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

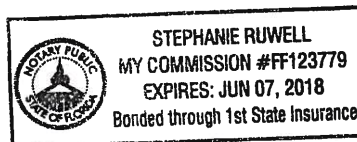
Sworn to and subscribed before me this 29<sup>th</sup> day of January

\_\_\_\_\_

Notary Public

State of Florida

My Commission Expires: 06/07/18 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



Signature of Current Owner

AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

Print Name





# CITY OF HOLLYWOOD

## Technical Advisory Committee Submittal Checklist

### QUICK FACTS:

- Scheduled appointment with assigned Planner required for all submittals.
- No applications are automatically scheduled for ANY meetings. Application must be determined to be complete by Staff before any processing occurs.
- Each package SHALL be complete, folded, and stapled.
- Fee Calculation

Residential:  
\$2,287 + \$56 per unit

All others:  
\$2,287 + \$67 per 1,000  
gross sq. ft.

Fee will be paid twice  
(Preliminary and Final)

- TAC typically meets twice a month as follows (except for January, August, and December):

	01/17
02/06	02/21
03/06	03/20
04/03	04/24
05/01	05/15
06/05	06/19
07/17	07/31
09/05	09/18
10/02	10/16
11/06	11/20
12/04	

Meeting dates are subject to change.

- Prior to Final TAC, the Planning Division will provide one (1) original notification letter, envelopes, and signs for public notification. Mailing notification and property posting must be completed by the applicant at least ten (10) days prior to meeting date.

Provide 20 copies (unless otherwise specified) of complete 24" x 36" packages containing the items below and one complete package fully signed and sealed with all original documents. Incomplete applications will not be routed and will be postponed until all required components are submitted.

### Requirements for Preliminary Site Plan Review:

- ☒ General Application
- ☒ Application Fee
- ☒ Ownership and Encumbrance Report (O&E) (2)
- ☒ Cover Sheet with Location Map
- ☒ Certified Alta Survey
- ☒ Dimensioned Site Plan
- ☒ Dimensioned Building Elevations
- ☒ CD containing all documents listed above in PDF/JPG format (1)
- ☒ Dimensioned Typical Floor Plans (include all levels for parking garages)

### Requirements for Final Site Plan Review: (in addition to above items)

- ☒ Street Profile/Elevation (including adjacent buildings)
- ☒ Dimensioned Landscape Plans
- ☒ Dimensioned Schematic Paving, Grading and Drainage Plan
- ☒ Color Rendering
- ☒ Original Set of Color Chips (1)
- ☐ Wildlife Protection (if applicable)
- ☒ Written Responses to Preliminary TAC comments
- ☒ CD containing all documents listed above in PDF/JPG format (1)
- ☒ Public Notice: Mailing Notification and Property Posting Requirements (1)
- ☒ Criteria Statement(s) for each request indicating consistency with all applicable criteria found in Article 5 of the Zoning and Land Development Regulations which may include the following: *Variances, Design, and Special Exceptions* (Available online at [www.amlegal.com](http://www.amlegal.com)).

Please refer to Article 5 of the City of Hollywood's Zoning and Land Development Regulations for a detailed description of each item listed above or visit our website at [www.hollywoodfl.org](http://www.hollywoodfl.org)

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# CITY OF HOLLYWOOD

## Guide to TAC Submittal Checklist

This document is an outline of site plan review procedures as listed in the Technical Advisory Committee Submittal Checklist. For additional information please refer to Chapter 162 of the Code of Ordinances.

### General Requirements:

#### Pre-application Conference

Applicant must meet with an Office of Planning staff member prior to preparing and submitting a package for site plan review.

#### Applicable Projects

- All new construction and modifications to existing residential developments which result in five or more dwellings on a single lot
- All new nonresidential development
- Existing nonresidential modifications which result in an increase of eleven or more parking spaces

#### Exemptions (Additional exemptions are listed under Chapter 162)

- Modifications/additions to existing residential developments which result in a total of four or less dwellings
- New construction/interior remodeling to commercial development which results in an increase of ten or less parking spaces

### Requirements for Preliminary Site Plan Review:

*One of the required packages shall be signed and sealed by the appropriate professional(s). All packets shall include the following:*

#### 1. Ownership & Encumbrance Report (O&E)

- ☒ Dated within 30 days of submittal packet
- ☒ Indicate it was searched from time of platting or 1953 (earliest of the two)
- ☒ Legal description of property
- ☒ Names of all current owners
- ☒ Names of all outstanding mortgage holders or a no lien affidavit
- ☒ Listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.)
- ☒ Listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so)

#### 2. Cover Sheet

- ☒ Name of development and phase (if applicable)
- ☒ Page Index
- ☒ Preliminary or Final TAC and meeting date
- ☒ Title (see Site Plan)
- ☒ Location map

#### 3. Certified ALTA Survey

- ☒ Based on and dated after O&E
- ☒ Extend to centerline of all adjacent streets and alleys



- ☑ Angles and bearings, including light and utility poles, catch basins, manholes, and fire hydrants
- ☑ Natural features (topography: existing and proposed contours and/or spot grades)
- ☑ Location of buildings, including the location and size of berms, walls, underground facilities, intersections, bridges, sidewalks, driveways, curbs and streets
- ☑ Abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet
- ☑ Easements and/or dedications with O.R. or plat book(s) and page number(s)
- ☑ Net & gross property size in square feet and acreage (provide gross for residential/hotel developments)
- ☑ If located within Regional Activity Center include the existing residential/hotel units and/or commercial square footage

#### 4. Site Plan

- ☑ Title Block:
  - Development name, address or general location
  - Site Plan date and subsequent revision dates
  - Architect/Engineer's name, addresses, and telephone number
- ☑ Tabular Information:
  - Legal Description including subdivision name, plat book page number, lot and block or metes and bounds if unplatted
  - Current Land Use & Zoning designations and, if applicable, requested Land Use & Zoning designations
  - Required and provided building setbacks
  - Required and provided amounts for pervious and impervious in square footage, acreage and percentage (i.e. buffer areas, landscape areas, building footprint, vehicular use area, etc.) \*\*Include calculations where necessary
  - Height of structure(s)
  - Required and proposed parking amounts, including handicap, guest and loading (show calculations)
  - List any requested variances (include provided and required amounts)
  - Note stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential)

*Residential/Hotel Development*

  - Net & Gross property size in square feet and acres
  - Total floor area of each type of unit/room including a breakdown of airconditioned and non-airconditioned space (balconies, garages, terraces, etc).
  - Number of dwelling units/rooms in each building including the number of bedrooms/bathrooms for each unit type If zero lot line, site widths as measured along the chord at the frontage
  - Total square footage of each building or structure
  - Total floor area of any recreation building
  - Total number of allowed and proposed dwelling units/rooms and density per acre (including calculation)

*Non-Residential Development*

  - Net size of the site in square feet and acres
  - Total gross floor area of the building, including a breakdown of common areas (restrooms, power equipment rooms, and meter rooms)
- ☑ Zoning Information:
  - Distances between existing and proposed buildings, parking lots, easements, rights-of-ways, and property lines
  - Dumpster enclosure location(s), including area for recycling containers
  - Dimension of building lengths
  - Location, size and content of any proposed signage
  - Dimension for all proposed parking types including driveways and access ways
  - Vehicular circulation system showing required radii, dimensioned sight distance triangles and non-access line as per shown on the plat
  - Dimension of existing and proposed sidewalks, pedestrian access ways, crosswalks and drop curbs
  - If applicable, dimensions for required stacking
  - Regulatory signage and pavement markings in compliance with the Manual of Uniform Traffic Control Devices
  - Dimensions and locations of any existing and proposed easements or right-of-ways on or adjacent to the site. Provide

- documentation relating to the abandonment or dedication(s) of easements or right-of-ways
- If applicable, provide the agreement(s) and supporting legal documentation for proposed easements
- Identify 'D' or 'F' curbing for all vehicle impact points
- Location and identification of building projections (i.e. air conditioner pads, mail boxes, light poles, overhead utility lines, back flow preventors, balconies, roof overhangs, etc.)
- Provide method of mail delivery
- Identify locations of existing and proposed fire-hydrants on-site or the closest off-site locations

☐ General Information:

- Environmentally sensitive designated properties (urban wilderness, LAPC or MNRA) must provide a signed and sealed survey prepared no more than 30 days prior to the date of submittal. In tabular form, provide trees to remain, to be removed, relocated or which will incur dripline encroachment due to site development
- If wetlands exist on-site, provide applicable permits from outside permitting agencies
- If not environmentally sensitive, provide a tree sketch showing all trees that are two inches in diameter at breast height (DBH) or more and their locations. Provide information in tabular form (botanical name, common name, and caliper measurement) showing trees which are to remain, be removed, relocated or designating which trees will incur dripline encroachment due to site development. Clumps of nuisance species trees can be located as clouded area on sketch.
- Placement of trees in utility easements must be approved by the City's Engineering Division, Department of Public Utilities and the City's Arborist

☐ Phased Development (if phased the following apply)

- Development plan shall show all proposed phase lines showing circulation, required parking to support each phase, landscaping, amenities and that full utility service through the site is provided at all times
- All phase lines shall be drawn so that it is clearly delineated that each phase can stand on its own to provide for the health safety and welfare of the public
- Residential developments: all proposed amenities must receive Certificates of Occupancy or final inspections in the first phase of the development, prior to Certificate of Occupancy of any residential structures
- A backbone master plan for the entire projects water, sewer and access needs is required along with the phasing plan

5. **Building Elevations**

- ☒ For building height, refer to Height of a Building and Established Grade definitions in the City's Zoning and Land Development Regulations
- ☒ Provide dimensioned elevations of all buildings or typical
- ☒ List all building materials and treatments
- ☒ If applicable, provide the location and height/size of fences, walls, dumpster enclosures and signage

**Requirements for Final Site Plan Review:** (in addition to above items)

1. **Typical Floor Plan** (If buildings are compatible provide a typical floor plan. Parking garages, all levels are required.)

- ☒ Full dimensions for each room/parking area
- ☒ Exterior dimensions

2. **Landscape Plans** (Plots of 10,000 feet or more require plans from a registered Landscape Architect or Architect.)  
*Tabular Information*

- ☒ Plant material details and specifications
- ☒ Percentage of native trees and shrubs
- ☒ Botanical name, common name, caliper measurement, and tree disposition in required and provided amounts
- ☒ Breakdown of required and provided street trees, buffer areas, perimeter and open space (include calculations where necessary)

☒ Note indicating provision of 100% irrigation

*Reflected on Plans*

☒ Lift stations, dumpsters, retaining walls, backflow preventors and transformer vaults (with landscape treatments)

☒ Existing and provided street, buffer area, perimeter and open space tree locations

☒ Directional signage, lighting, overhead power lines, underground utilities and existing/proposed easements

3. **Wildlife Protection** (Applicable to development of natural areas over one acre)

☐ Provide a written report from qualified consultant evaluating land area's existing conditions, wildlife population numbers and type and specific action plan for the safe capture and relocation of the identified animal population.

☐ Detailed budget and cost estimate for proposed action plan must also be included in report

☐ City must approve an action plan prior to land clearing, demolition or permits being issued

☐ Total dollar amount from consultant report placed in an escrow account for animal relocation plan

4. **Schematic Drainage Plan**

☒ Location of existing and proposed potable water and sewage collection facilities

☒ Proposed point of connections to existing water and sewer facilities

☒ Proposed new utilities easements

☒ Estimated flows and calculations

☒ Schematic water distribution, sewage collection and drainage plans including proposed locations and diameters of piping systems, manhole locations, lift stations, point of connection to the City's system, proposed drainage outfall connection

☒ Direction of drainage flow

☒ Proposed average private road grades, corners and floor elevation for proposed buildings (mean sea level)

☒ Base floor elevations

☒ Proposed stormwater drainage report complying with South Florida Management District regulations

☒ Location and sizes of existing storm drain pipes and headwalls

☒ Proposed manholes, drainage swales and catch basins

5. **Street Profile**

☒ Elevations showing general character and relationship with surrounding properties

6. **Color Renderings**

☒ Color representation of the elevations showing textures, architectural features, fences, etc.

7. **Color Chips**

☒ One set of original color swatches reflecting proposed colors for all structures

8. **Additional Information** (may be required by TAC when applicable)

☐ Permits: Driveway connection permits required by state, federal and local agencies and copy of permit application

☐ Proof of Concurrency: Projects requiring Site Plan review or Developments of Regional Impact (DRI's) are required to provide proof of concurrency in accordance with City's Comprehensive Plan and Chapter 163 of Florida Statutes and Satisfaction of Broward County concurrency standards (<http://broward.org/development/devreviewsvcs.htm>)

☐ Parking study or traffic circulation study including signalization and geometric improvements

☐ Protection of natural areas, native species, potable water well fields, and dune systems and provision of effective erosion control and protection against hazardous waste

☐ Demonstrate there will be no adverse affects on endangered or threatened plant or animal species and will to the greatest extent possible protect natural areas, native species, potable water wellfields, dune systems, provide effective erosion



control and will protect against hazardous waste

- ☐ Maximum clustering of buildings and impervious areas
- ☐ Bicycle and pedestrian paths connecting to development and combination of landscaping with adjacent properties
- ☐ Specifically delineated dimensions between columns and/or other structures and provision of a sealed survey establishing compliance with previously designated dimensions
- ☐ TAC may further require that following construction of footings and establishment of batter-boards for column construction at grade level, that the developer provide to the TAC, a sealed survey establishing compliance with the previously designated critical dimensions

**9. Written Response to Final TAC Comments**

- ☒ Typed response to all comments from each department

**10. CD (Package information in PDF/JPG format only)**

- ☒ Preliminary Requirements: Application and items 2-5 above
- ☒ Final Requirements: items 1, 2, 5, and 6 above

**11. Public Notice: Mailing Notification and Property Posting**

- ☒ Notification letter and appropriate amount of City envelopes and signs will be provided by the Office of Planning
- ☒ Applicant to obtain certified letter, map and mailing list/labels for properties within 500 feet
- ☒ Copy of notification sent to property owners shall also be sent to the Office of Planning
- ☒ Certification Letter assuming responsibility for completion
- ☒ Any of the following licensed professionals may prepare and mail the notification package: Engineer, Architect, Landscape Architect, Real Estate Broker, Real Estate Appraiser, Land Surveyor, Urban Planner or Attorney
- ☒ Property must be posted 10 days prior the Final TAC public hearing and pictures must be submitted

*This document should be used as a guide. Please refer to the City of Hollywood Code of Ordinances, Chapter 162 for a full, detailed list of requirements.*

**March 5th, 2018**

City of Hollywood  
Planning Division  
2600 Hollywood Boulevard  
Hollywood, FL 33020

**Project Name:** Pinnacle at Peacefield

**Location:** South of Adams Street, East of 24<sup>th</sup> Ave, North of Washington Street, and West of Dixie Highway

**RE: File #: 18-DP-01**

**Final TAC Submittal**

**Keith & Associates, Inc. Project No. 10067.00**

Dear City of Hollywood Reviewers:

Based on your Preliminary TAC Review comments dated February 20<sup>th</sup>, 2018 Keith and Associates (K&A) offers the following responses to your comments/questions:

**A. APPLICATION SUBMITTAL COMMENTS**

**Alex Carcamo ([acarcamo@holleywoodfl.org](mailto:acarcamo@holleywoodfl.org)) 954-921-3471**

1. Provide plat determination letter from the County. If platting is necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

**RESPONSE: The plat determination letter has been provided to the City. A copy is also attached to this submittal.**

2. Ensure all Folios, lots, and blocks, are listed on the General Application.

**RESPONSE: All folios, lots, and block information are attached to the application**

3. Survey shall be based on the current title work (O&E), dated within 30 days of submittal. Such date shall be noted on the survey document.

**RESPONSE: Acknowledged, The updated title work within 30 days, and a survey reflecting current title work, are enclosed.**

4. Work with the Engineering Division to ensure the survey includes the appropriate elements such as, abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet are included.

**RESPONSE: The attached survey includes all of the information along Adams Street and within our sites required for the design, and accurately represents the current conditions of the area.**

5. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

**RESPONSE: Acknowledged, we will coordinate with Public Works and Engineering.**

6. Overall Site Plan and Site Plans for each site should reflect ground floor details, not just the building footprint. Revise accordingly.

**RESPONSE: Overall Site Plan and Site Plan Sheets have been revised to show the ground floor details of the buildings, as requested.**

7. Provide details and height of all proposed walls, fences, and gates. All fencing shall be decorative. This includes balconies.

**RESPONSE: Details for the proposed entry feature, columns and fencing refer to sheets A 1.1 and A 1.2. The fencing will be PVC fence except along Adams Street, which shall be aluminum picket fence, per Preliminary TAC discussion.**

8. All elevations and renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

**RESPONSE: Rendered elevations provided shall be consistent with the species and height using a two-year conceptual growth assumption. See sheets LA-5A, LA-5B, LA-5C.**

9. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Website: [http://www.broward.k12.fl.us/propertymgmt/Growth\\_Management/meetings/Docs/PublicSchoolImpactApplication.pdf](http://www.broward.k12.fl.us/propertymgmt/Growth_Management/meetings/Docs/PublicSchoolImpactApplication.pdf)

**RESPONSE: A Broward County Concurrency Review Application has been submitted to Broward County Public Schools. A copy of the School**



**Capacity Availability Determination (SCAD) Letter is provided with this submittal.**

10. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal.

**RESPONSE: We have maintained contact with neighborhood associations since the development was conceived. We have met with United Neighbors of South Hollywood on numerous occasions, most recently on December 11, 2017 and plan to meet with them again before appearing before the Planning and Zoning Board. We have also met with the Highland Gardens neighborhood association previously, and again on February 28, 2018.**

11. Additional comments may be forthcoming.

**RESPONSE: Comment acknowledged.**

12. Provide written responses to all comments with next submittal.

**RESPONSE: Comment acknowledged.**

## **B. ZONING COMMENTS**

**Alex Carcamo ([acarcamo@holleywoodfl.org](mailto:acarcamo@holleywoodfl.org)) 954-921-3471**

1. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016- 02.

**RESPONSE: We have added one electric vehicle charging station on each site. Refer to site plan sheets SP-101 to SP-103 for locations.**

2. The driveway minimum is 22'. Revise accordingly in Site 2 Site Plan.

**RESPONSE: We have indicated a narrowing of the drive isle in the rear of the building on Site 2 from 22' to 20' for an approximately 125' length, which does not abut any parking spaces, in order to save 2 specimen-quality Slash Pines and 1 Live Oak tree with a significant canopy. These trees are deemed to be in very good condition and the value in saving them (Slash Pines generally do not survive transplant) we believe greatly exceeds the value of complying with the minimum driveway width. We respectfully request the City grant an administrative waiver to provide for the narrower driveway width. We also believe that the narrow driveway width, combined with the serpentine manner in which the roadway is curved to preserve the tree canopy, will offer aesthetic and practical benefits, such as traffic calming.**

3. Provide different material when pedestrian connection traverses vehicular areas.  
**RESPONSE: Refer to sheets LA-2A, LA-2B, LA-2C for the vehicular hardscape designation areas. Concrete is maintained through the driveways at the driveway entrances for public sidewalk crossings.**
4. Indicate the required and provided number of loading spaces on Site Data. Provide dimensions on Site Plan.  
**RESPONSE: The required and provided number of loading spaces has been added to the site data table for Site #1 (West) per code section 7.2.B.8.**

### **C. ARCHITECTURE AND URBAN COMMENTS**

**Alex Carcamo ([acarcamo@holleywoodfl.org](mailto:acarcamo@holleywoodfl.org)) 954-921-3471**

1. Rain water leader should not be exterior to the building. Revise accordingly.  
**RESPONSE: Exterior rain water leaders have been removed from the front elevation, and will appear on the rear elevation only as discussed during the February 20, 2018 TAC Meeting.**
2. For the parking areas (roof and ground), consider using material with high albedo to limit absorption of sunlight and reduce urban heat island effect or consider using permeable paving material which reduces runoff and increases water penetration.  
**RESPONSE: This is economically impossible for this development. The design as presented complies with applicable pervious/imperious requirements.**

**Terrence Comiskey A.I.A., Architect ([tcomiskey@hollywoodfl.org](mailto:tcomiskey@hollywoodfl.org)) 954-921-3900**

1. Sheet A-0.0: No canvas awnings in the project, only metal or Bahama.  
**RESPONSE: The note on the elevation sheets A4.0 – A4.3 demonstrates metal awnings.**
2. Sheet CU-103: Several existing decorative light poles are called out to be removed. Will they be relocated along the street?  
**RESPONSE: The existing decorative light poles will be removed and stored for future installation. A lighting plan will be provided to indicate the proposed location of the poles to comply with the minimum requirements**

**with the City. Additional coordination with City staff will be scheduled prior to permitting. Light poles will not be located within the sidewalks when relocated as requested.**

3. No enlarged unit plans were included for review.

**RESPONSE: Unit plans are on sheet A3.0.**

4. Sheet LA-2A: It appears that shrubs are being installed outside the fence line. How will they be maintained? (Typical)

**RESPONSE: They are within the property and as such, will be maintained by the Owner consistent with the overall property landscape plan.**

5. Sheet A-4.0: Exterior stucco score lines should be indicated. (Typical)

**RESPONSE: Exterior stucco score lines have been added in accordance with the FBC requirements. Decorative stucco score lines on building ends have been removed since PACO, we have replaced with an exterior cladding material as requested which is one the color boards submitted a the first TAC submittal.**

6. Sheet A-2.0: Are the trash rooms refrigerated? (Typical)

**RESPONSE: The trash room is not refrigerated but vented and climate controlled (AC).**

#### **D. SIGNAGE COMMENTS**

**Alex Carcamo ([acarcamo@holleywoodfl.org](mailto:acarcamo@holleywoodfl.org)) 954-921-3471**

1. For review, full signage package shall be provided.

**RESPONSE: The sign package from a signage company has been included in the submission package. In addition we have added the code noted to Sheet A 1.0 and A 1.1.**

2. Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

**RESPONSE: A note has been added to the site plan sheets SP-100 – SP-103, as requested.**

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.



**RESPONSE: A separate permit will be submitted for any sign which is illuminated.**

#### **E. LIGHTING COMMENTS**

**Alex Carcamo ([acarcamo@holleywoodfl.org](mailto:acarcamo@holleywoodfl.org)) 954-921-3471**

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential).

**RESPONSE: A note has been added to the site plan (SP-101 - SP-103) and the photo metric plan demonstrates the lighting level foot candles at the property line which do not exceed the maximum foot candles per the code.**

#### **F. GREEN BUILDING & ENVIRONMENTAL COMMENTS**

**Alex Carcamo ([acarcamo@holleywoodfl.org](mailto:acarcamo@holleywoodfl.org)) 954-921-3471**

1. Work with Building Division to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary

**RESPONSE: The development will be certified green by the National Green Building Standard (NGBS)/ICC 700 certification program. Although not a specific listed method of certification, we understand that such certification will be acceptable to the City. Submitted herein is the signed contract between the Owner and Abney + Abney Green Solutions to serve as green certifier for the development, and proof of the development's registration with NGBS. Please note that both Pinnacle Housing Group and Mr. Abney were recently named 2017 NGBS Partners of Excellence: <http://www.homeinnovation.com/ngbsgreenpoe2017>**

#### **G. ENGINEERING COMMENTS**

**Luis Lopez, City Engineer ([llopez@hollywoodfl.org](mailto:llopez@hollywoodfl.org)) 954-921-3251**

**Clarissa Ip, Engineering Support Services Manager ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org)) 954-921-3915**

1. On the civil plans, indicate vehicle turning radii, cross-section details of drainage retention areas with side slopes, pavement marking and signage plans and details. For water and sanitary sewer connection, show area of pavement restoration within City rights-of-way.

**RESPONSE: As requested this information has been added and denoted on the plans. Turning radii and dimensions are denoted on sheets CM-101**

through CM-103, Pavement restoration areas have been denoted on sheets CU-101 through CU-103, and sections have been provided which include the detention area slopes (4:1) on sheet CP-301 through CP-303.

2. Site 1 and Site 2 parking and road are within the 15' Utility Easement along the south side of the properties.

**RESPONSE:** This is a request that is atypical of construction requirements within easements. We have made every effort to avoid encroachment in the easement and have attempted to minimize impacts to the greatest extent possible. However, the neighborhood concerns about building heights and our efforts to preserve existing trees have placed a great deal of pressure on our design. Despite our best efforts, there are exterior fencing, berms, curbing, portions of parking spaces and drive isles and landscaping in part of these easements. We agree as follows: 1) we will protect the City's utilities during construction and repair any cost of damage to city utility services during construction, 2) we will assume any and all costs of reconstruction of our improvements within the easement after completion of the development should the city need to enter the easement and conduct repair or improvement activities.

3. Provide details for ADA accessible parking and routes.

**RESPONSE:** Details for ADA ramps have been added to sheet CP-503, and all three sites have been designed to make them accessible from any sidewalk connection from the street into the property.

4. Provide drop curb flush with the pavement at the Loading/Drop-off areas.

**RESPONSE:** The sidewalk adjacent to the drop-off locations have been made flush with the pavement, however drop curb will not be used since we are not proposing the use of Type "F" curb and gutter.

5. Provide radial return for all proposed curbing at all drive access.

**RESPONSE:** Dimensions of all radii have been provided on sheets CM-101 through CM-103.

6. Provide Curbing on Adam Street.

**RESPONSE:** Type D curb has been added along Adams Street fronting the property for all three sites. Flumes were also included to allow for the drainage patterns of the existing road to remain unchanged.

7. Sidewalks exist along property on Adam Streets, indicate on plans to be replaced.

**RESPONSE:** The proposed 5' sidewalk along Adams Street has been denoted and a note has been added to the plans (#7) on sheets CP-101 through CP-103.

8. Provide hatch pattern for areas of pedestrian walk paths on the site. Indicate material and include in legend accordingly.

**RESPONSE:** Refer to sheets LA-2A, LA-2B, LA-2C for the vehicular hardscape designation areas. Concrete is maintained through the driveways at the driveway entrances for public sidewalk crossings.

9. Show location of curb ramps and any detectable warnings; provide details.

**RESPONSE:** Location of curb ramps are shown on sheets CP-101 through CP-103 and details for truncated domes have been added to sheet CP-503.

10. Indicate on plans for sidewalks to be flush and installed through driveway openings.

**RESPONSE:** The plans have been revised to depict the sidewalk through the driveways.

11. Catch Basin 4 is located within the vehicle drive area of the driveway, review possibility to eliminate this condition.

**RESPONSE:** The possibility of modifying the current proposed condition where the existing catch basin is located within the proposed driveway is not ideal as it could create ponding and affect the existing drainage system operation. However, the existing structure has been incorporated in the proposed design of the driveway including a modified drop curb that will allow the runoff to get to the system and swale areas.

12. Coordination will be required for the existing City decorative light poles. Some poles are shown to be removed. Poles need to be protected from damage during construction.

**RESPONSE:** The existing decorative light poles will be removed and stored for future installation. A note has been added to sheets CP-101 through CP-103 and CU-101 through CU-103. A lighting plan will be provided to indicate the proposed location of the poles to comply with the minimum requirements with the City. Additional coordination with City staff will be scheduled prior to permitting. Light poles will not be located within the sidewalks when relocated as requested.



13. Existing light poles are not shown on Sheet CU-103, please add.

**RESPONSE: All existing light poles are shown and denoted on sheets CP-101 through CP-103 and CU-101 through CU-103. Refer to response above regarding poles.**

14. Unity of Title will be required.

**RESPONSE: Acknowledged and we will unify the property folios with the Broward County Property Appraiser's office before application for building permits.**

15. All outside agency permits must be obtained prior to issuance of building permit.

**RESPONSE: Comment acknowledged.**

16. More comments will follow upon receipt and review of the requested information.

**RESPONSE: Comment acknowledged.**

#### **H. LANDSCAPING COMMENTS**

**Lindsay Clark, Landscape Architect ([lclark@hollywoodfl.org](mailto:lclark@hollywoodfl.org)) 954-921-3900**

1. Include Native/Non-native column in plant legend.

**RESPONSE: Native and non-native planting designations will be included on sheets LA-3A, LA-3B, LA-3C planting schedules. Native landscape ordinance calculations (Required and Proposed) shall be found on sheets LA-4A, LA-4B, LA-4C.**

2. Verify tabulations for existing trees to remain/remove/relocate are consistent with what is shown on the proposed planting plan.

**RESPONSE: Tabulations for all existing trees and palms will be reviewed and verified to reflect what is designated on the planting plans, sheets LA-1B, LA-2B, and LA-2C .**

## **I. UTILITIES COMMENTS**

**Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985 James Rusnak, Engineer (jrusnak@hollywoodfl.org) 954-921-3302**

Drainage:

1. Provide pre and post drainage calculations for the 3 sites.

**RESPONSE: Post-development calculations have been provided for your review. The proposed finished floor elevations comply with the 100-year 3-day storm event stage, and we are meeting the 25-year 3-day storm event with a perimeter berm and/or knee/retaining wall. The 5-year 1-hour storm event was calculated for the parking lot flood protection, which we are meeting or exceeding the required exfiltration trench.**

2. Coordinate existing right of way drainage to work with new curbing along both sides of Adams Street. Water and Sewer:

**RESPONSE: We believe it should not be our responsibility to alter the drainage system or provide curbing on the north side of Adams Street. We have agreed to accept the comment from Engineering and provide curbing on the south side of Adams Street at each of our three properties without modifying the existing drainage pattern or system in the roadway.**

3. Sewer flows are being reviewed by City of Hollywood.

**RESPONSE: Comment acknowledged.**

4. Update utility plan to show existing utility easement for the sewer along the rear property of site 1 and 2.

**RESPONSE: The existing utility easement has been added and denoted on sheets CU-101 and CU-102.**

5. Coordinate architect and landscaping plans to keep items such as structures, fences and plantings out and off of the utility sewer line easement along the rear property.

**RESPONSE: As indicated in G(2) above, this is a request that is atypical of construction requirements within easements. We have made every effort to avoid encroachment in the easement and have attempted to minimize impacts to the greatest extent possible. However, the neighborhood concerns about building heights and our efforts to preserve existing trees have placed a great deal of pressure on our design. Despite our best efforts, there are exterior fencing, berms, curbing, portions of parking spaces and drive isles and landscaping in part of these easements. We**

agree as follows: 1) we will protect the City's utilities during construction and repair any cost of damage to city utility services during construction, 2) we will assume any and all costs of reconstruction of our improvements within the easement after completion of the development should the city need to enter the easement and conduct repair or improvement activities.

6. Applicant to address utility comments prior to final sign off.

**RESPONSE: Comment acknowledged.**

#### **J. BUILDING COMMENTS**

**Philip Sauer, Chief Building Official ([psauer@hollywoodfl.org](mailto:psauer@hollywoodfl.org)) 954-921-3025**

1. No Comments Received

#### **K. FIRE COMMENTS**

**Janet A. Washburn, Fire Marshal/Division Chief ([jwashburn@hollywoodfl.org](mailto:jwashburn@hollywoodfl.org)) 954-921-3554**

1. Water supply must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921- 3046. After the results are completed, show on the plan the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements. Add any additional hydrants to be the plan if needed after test results are completed. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

**RESPONSE: Refer to attached calculations.**

2. Provide a note on civil drawings that underground fire main work will be completed by a contractor holding a Class I, II, or V license per FS 633.102.

**RESPONSE: A note (#4) has been added to sheets CU-101 through CU-103.**

3. Show on the plan that building will be in compliance with NFPA 1, 11.10\* Two-Way Radio Communication Systems. (there is also a Broward Building code amendment 118.2 on requirements).

**RESPONSE: The buildings will comply with NFPA 1,11.10\* and Broward County Code Amendment for Two Way Communication System. Refer to note on Sheet A2.0 and SP-100 – SP-103.**

4. What is the gas service for?

**RESPONSE:** Gas service is proposed for the three generators (one at each building) which will power the common areas and elevators in the event of a power loss.

#### **L. PUBLIC WORKS COMMENTS**

**Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207**

1. The trash room is located behind a roll up door, but I do not see a floor plan for the trash room. Also, how is access provided? Is trash collected down a chute or is there a door for residential access. These comments are relevant to all three sites.

**RESPONSE:** There are trash chutes on the second and third floors in each building, in the same location. The first floor has a direct chute to a trash container in the trash room. These spaces are demonstrated on the Building Plans Sheets A 2.0 through A 2.6 and an enlarged plan on sheet A 3.6.

2. Recycling in the City of Hollywood is mandatory, so the trash room needs to accommodate for residential recycling materials also. These comments are relevant to all three sites.

**RESPONSE:** We will accommodate recycling materials in the trash room on the first floor. We will coordinate this with the trash company that services the city.

#### **M. PARKS, RECREATION AND CULTURAL ARTS COMMENTS**

**David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404**

1. Park Impact Fee application is required.

**RESPONSE:** The Park Impact Fee Application has been provided with this submittal. Please see attached.

#### **N. COMMUNITY DEVELOPMENT COMMENTS**

**Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271**

1. Sheets A-2.0/2.1/2.2 – Include cardinal directions

**RESPONSE:** The building plans are orientated the same as the site plan and a north arrow is on the building plan sheet at the end of the title of the plan.

Provide room dimensions of the apartment units

**RESPONSE:** We have added sheet A 3.0, Unit Floor Plans which demonstrates the dimensions under the room titles.

2. Do the units have washer/dryer?

**RESPONSE:** The units have a washer/dryer hookup in each unit, where residents may lease the equipment at an additional monthly charge, as is typical in Housing Tax Credit-financed communities. The cost of the monthly lease has not been determined at this time.

3. Sheets A-2.0/A2.1 – The trash rooms in these two buildings appear to be quite a distance from the westernmost units.

**RESPONSE:** We have located the trash rooms in the same location in all three buildings, close to the elevators. The tenants will most likely take their garbage to the trash room on their way to the common areas or on their way out. For any resident needing assistance with their trash, the management company will provide door to trash room service for those with special needs or physical limitations, as is customary in senior communities.

4. Sheet A-4.0 – Would prefer rainwater leaders not face the street.

**RESPONSE:** Exterior rain water leaders have been removed from the front elevation, and will appear on the rear elevation only as discussed during the February 20, 2018 TAC Meeting. See comment C(1).

A. The plans do not show a walkway outside of the pedestrian gate facing Adams Street.

**RESPONSE:** The area in question is not a pedestrian entry into the building from the street but simply a breezeway. The elevation indicates a fence for security purposes.

5. Sheets CP-101/102/103 – Delete any proposed chain link fencing and replace with decorative fencing/wall.



**RESPONSE:** The chain link fence has been removed from the plans and details have been added on Sheets Sheet A 1.0 and A 1.1. The fencing will be PVC fence except along Adams Street, which shall be aluminum picket fence, per Preliminary TAC discussions.

6. Show notes regarding proposed compliance with green building authorities.

**RESPONSE:** Indicated In Section E above.

7. Continue meeting with both neighborhood civic associations throughout the development review process:

**RESPONSE:** Acknowledged, and see response in A(10) above

Highland Gardens Civic Asso – 954-962-0975

United Neighbors of South Hollywood – helenandred@gmail.com

#### **O. ECONOMIC DEVELOPMENT COMMENTS**

**Brian Rademacher, Corridor Redevelopment Manager**  
**([brademacher@hollywoodfl.org](mailto:brademacher@hollywoodfl.org)) 954-924-2922**

1. No comments Received

#### **P. POLICE DEPARTMENT COMMENTS**

**Christine Adamcik, Police ([cadamcik@hollywoodfl.org](mailto:cadamcik@hollywoodfl.org)) 954-967-4371**

**Steven Bolger, Police ([sbolger@hollywoodfl.org](mailto:sbolger@hollywoodfl.org)) 954-967-4500**

**Doreen Avitabile, Police ([davitabile@hollywoodfl.org](mailto:davitabile@hollywoodfl.org)) 954-967-4371**

1. No Comments Received

#### **Q. DOWNTOWN AND BEACH CRA COMMENTS**

**Jorge Camejo, Executive Director ([jcamejo@hollywoodfl.org](mailto:jcamejo@hollywoodfl.org)) 954-924-2980**

**Susan Goldberg, Deputy Director ([sgoldberg@hollywoodfl.org](mailto:sgoldberg@hollywoodfl.org)) 954-924-2980**

1. The façade should give more definition to the building.

**RESPONSE:** The façade of the building, since PACO has been redesigned. It is now designed to create a rhythm of movement and articulation along the street, with the use of different parapet heights, roof elements, balconies, projections, additional cladding materials and colorful metal awnings, as indicated in the attached rendering.

2. The building has no base—this could be achieved with a material treatment around the first floor of the building.

**RESPONSE:** Every building does not require a base designed into the façade. We have set this building off the street and provided a landscaped base to this building, which we believe is the design that suits the seniors' population who would prefer a greater sense of privacy. The materials shown on the landscape plan varies in height for 24" to 60" which provides additional rhythm to this very attractive modern building. We have provided an elevation sheet demonstrating the landscaping in the landscape architects set of drawings.

3. The architectural elements at the corner could pop up more and be further defined through both shape and definition of materials.

**RESPONSE:** As results of the PACO meeting we have increase the heights of the "pop-up" elements and also created a variation in the parapet heights along details with the accent colors. We added a cladding material to the "pop-up" elements as requested. We believe these significant aesthetic changes are better reflected in the attached rendering.

4. The pinnacle building in Oakland Park appears to be of better quality—this development should meet or exceed the quality of that development.

**RESPONSE:** This development has the same architect as the one seen in Oakland Park. Pinnacle at Peacefield is designed as a modern building, completely different in architectural style from the Craftsman design of Oakland Preserve, and will be of superior quality for a variety of design and functionality reasons, such as efficiency in design, use of materials, provision of balconies and exponentially larger community/common areas. Quality is better defined through the continuous evolution and improvement of our product, which has been the cornerstone of the developer and the architect in the 16 years they have worked together on developments in Broward County.

## **R. PARKING AND INTERGOVERNMENTAL AFFAIRS COMMENTS**

**Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549**

**Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548**

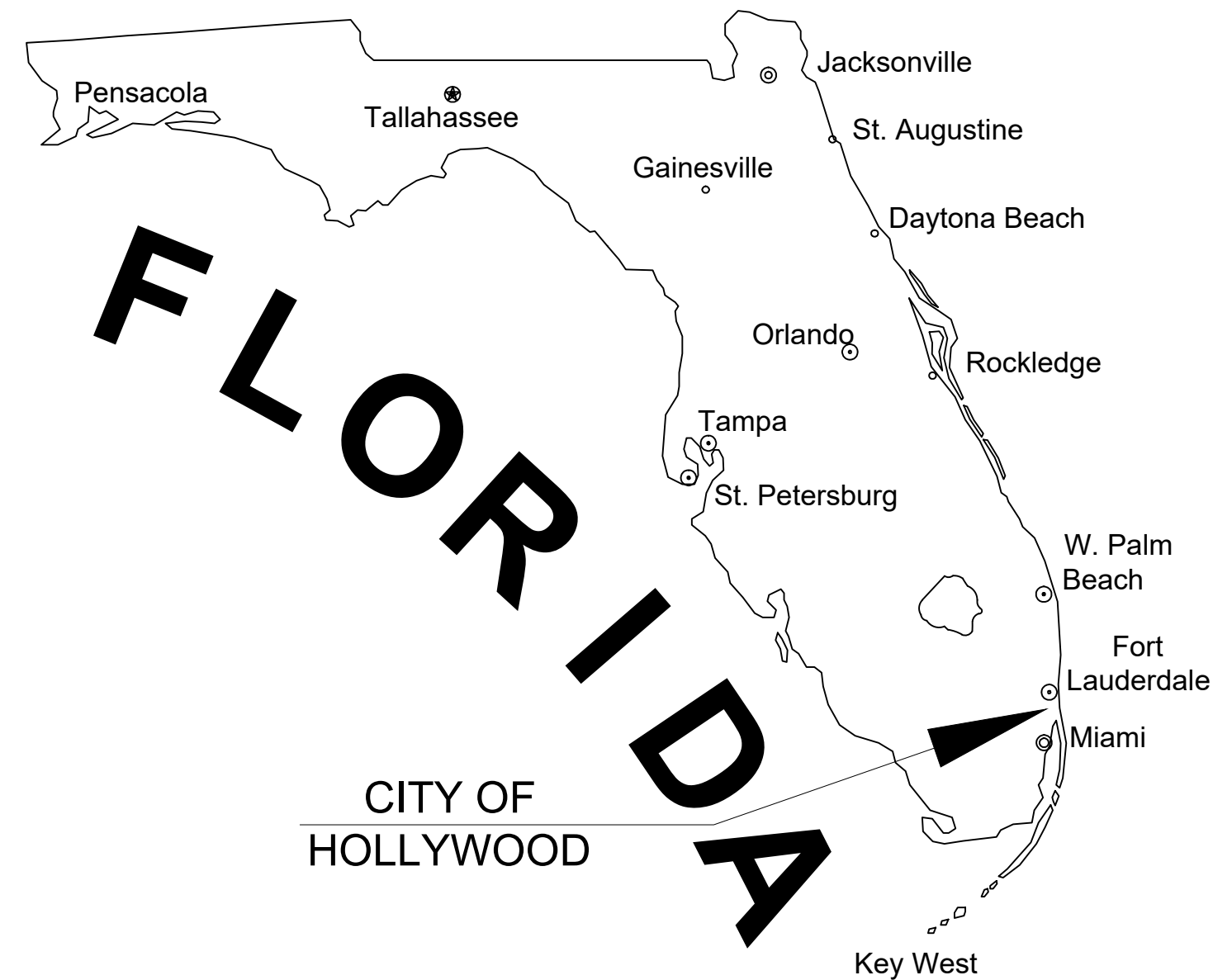
1. Application is substantially compliant

**S. ADDITIONAL COMMENTS**

**Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471**

1. Additional comments may be forthcoming

**RESPONSE: Comment Acknowledged**



# PINNACLE AT PEACEFIELD FOR FINAL TAC MEETING 03/19/2018

## ADAMS STREET CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

### LAND DESCRIPTION:

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

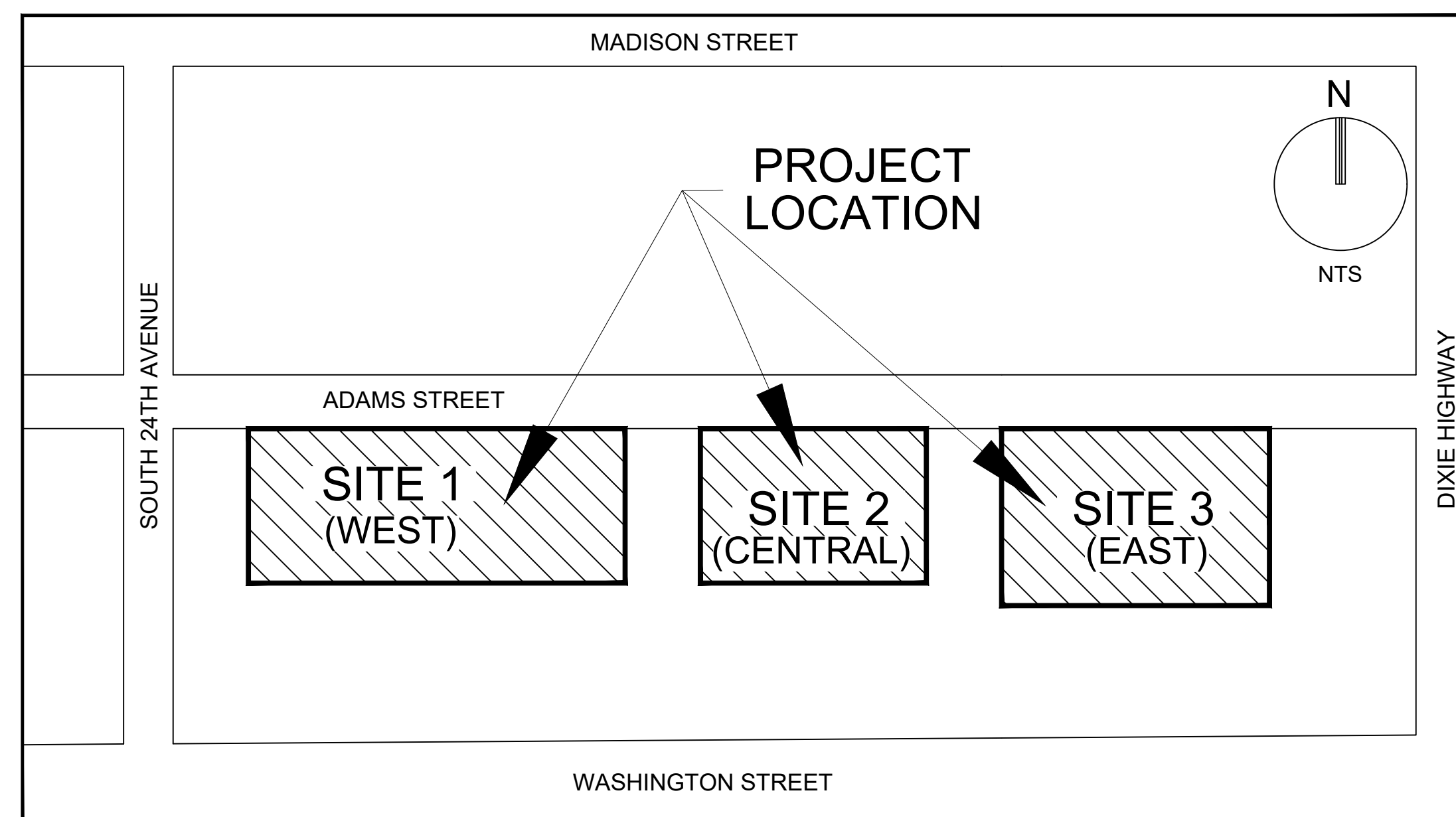
### TOGETHER WITH:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

### ALSO TOGETHER WITH:

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OR LESS.



LOCATION MAP  
SECTION 15, TOWNSHIP 51S, RANGE 42E



PREPARED FOR:  
PINNACLE AT PEACEFIELD, LTD. 9400 S.  
Dadeland Blvd, Suite 100, Miami FL 33156

INDEX OF SHEETS	
Sheet Identification	Sheet Title
--	COVER
S-1 TO S-2	ALTA SURVEY
SP-100	OVERALL KEY PLAN
SP-101	SITE PLAN SITE 1
SP-102	SITE PLAN SITE 2
SP-103	SITE PLAN SITE 3
ARCHITECTURAL	
A-0.0	ARCHITECTURAL COVER + RENDERING
A-1.0	SITE SECTION ENTRY MONUMENT
A-1.1	STREET PROFILE DOOR SIGNAGE
A-2.0 TO A-2.2	WEST BUILDING FLOOR PLANS
A-2.4 TO A2.6	CENTRAL/EAST BLDG. FLOOR PLANS
A-3.0	UNIT FLOOR PLANS
A-3.6	TRASH ROOMS
A-4.0 TO A-4.1	WEST BUILDING ELEVATIONS/SECTION
A-4.2 TO A-4.3	CENTRAL/EAST BUILDING ELEVATIONS/SECTIONS
E-1.1 TO E-1.2	PHOTOMETRIC SITE PLAN/FIXTURE SPEC
CIVIL ENGINEERING	
GI-001	CIVIL GENERAL NOTES
GI-002	CONSTRUCTION SPECIFICATIONS
CG-101 TO CG-103	EROSION CONTROL PLAN
CP-101 TO CP-103	SCHEMATIC PAVING, GRADING, AND DRAINAGE
CP-301 TO CP-303	SCHEMATIC PAVING AND GRADING SECTIONS
CP-501 TO CP-503	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101 TO CU-103	SCHEMATIC WATER AND SEWER PLANS
CU-501 TO CU-506	WATER AND SEWER DETAILS
CM-101 TO CM-103	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501	PAVEMENT MARKING AND SIGNAGE DETAILS
LANDSCAPE	
LA-1A	WEST SITE-MITIGATION PLAN
LA-2A	WEST SITE-LANDSCAPE PLAN
LA-3A	WEST SITE-LANDSCAPE DETAILS
LA-4A	WEST SITE-LANDSCAPE NOTES
LA-5A	WEST SITE-RENDERED LANDSCAPE ELEVATION
LA-1B	CENTRAL SITE-MITIGATION PLAN
LA-2B	CENTRAL SITE-LANDSCAPE PLAN
LA-3B	CENTRAL SITE-LANDSCAPE DETAILS
LA-4B	CENTRAL SITE-LANDSCAPE NOTES
LA-5B	CENTRAL SITE-RENDERED LANDSCAPE ELEVATION
LA-1C	EAST SITE-MITIGATION PLAN
LA-2C	EAST SITE-LANDSCAPE PLAN
LA-3C	EAST SITE-LANDSCAPE DETAILS
LA-4C	EAST SITE-LANDSCAPE NOTES
LA-5C	EAST SITE-RENDERED LANDSCAPE ELEVATION

THESE PLANS MAY HAVE BEEN  
REDUCED IN SIZE BY REPRODUCTION.  
THIS MUST BE CONSIDERED WHEN  
OBTAINING SCALED DATA.



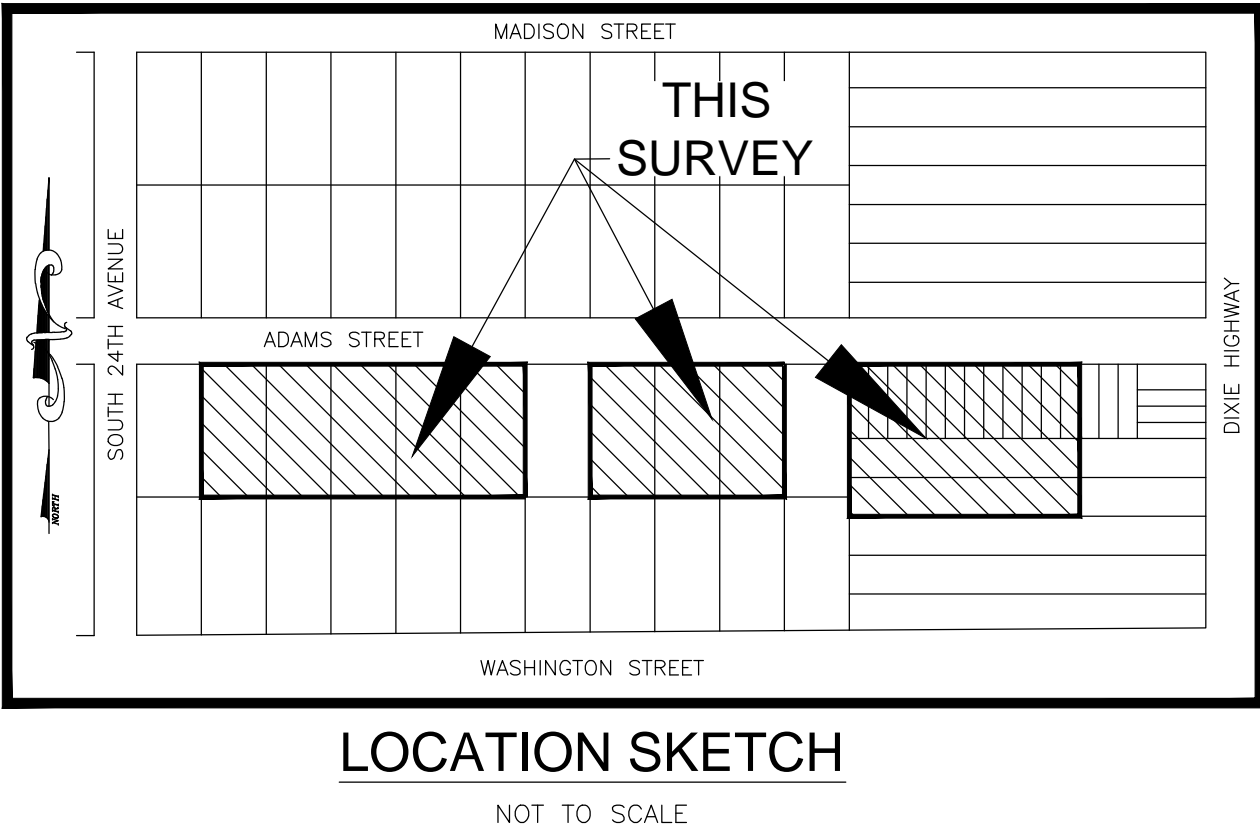
PROJECT No. 10067.00  
02/05/2018



UTILITY TABLE:

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV	BOTTOM OF BOX	COMMENT
DRAINAGE MANHOLE - 1	8.65'	15" CMP 15" CMP 24" CMP 24" CMP	2.45(N) 2.47(S) 3.14(E) 3.05(W)	0.05'	
DRAINAGE MANHOLE - 2	8.08'	15" CMP 15" CMP 24" CMP 24" CMP	2.67(N) 2.73(S) 3.16(E) 2.98(W)	0.36'	
DRAINAGE MANHOLE - 3	7.90'	15" CMP 15" CMP 24" CMP 24" CMP	3.33(N) 3.47(S) 3.41(E) 3.40(W)	1.38'	
DRAINAGE MANHOLE - 4	7.98'	15" CMP 15" CMP 24" CMP	3.60(N) 3.56(S) 3.72(W)	1.18'	
CATCH BASIN - 1	8.48'	15" CMP	BAFFLE (S)	0.94'	TOP OF BAFFLE 4.35'
CATCH BASIN - 2	8.44'	15" CMP	BAFFLE (N)	0.49'	TOP OF BAFFLE 4.72'
CATCH BASIN - 3	7.88'	15" CMP	BAFFLE (S)	0.68'	TOP OF BAFFLE 4.92'
CATCH BASIN - 4	7.85'	15" CMP	BAFFLE (N)	0.85'	TOP OF BAFFLE 4.95'
CATCH BASIN - 5	7.68'	15" CMP	5.48(N)	1.38'	
CATCH BASIN - 6	7.61'	15" CMP	5.61(S)	1.31'	
CATCH BASIN - 7	7.64'	15" CMP	5.44(S)	1.59'	
CATCH BASIN - 8	7.66'	15" CMP	5.56(N)	2.36'	
CATCH BASIN - 9	7.99'	15" CMP	BAFFLE (N)	(-) 1.01'	TOP OF BAFFLE 2.93'
CATCH BASIN - 10	8.13'	15" CMP 24" CMP 24" CMP	0.82(S) 0.97(E) 1.06(W)	(-) 0.72'	

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV
SANITARY MANHOLE - 1	9.16'	8" PVC 8" PVC	(-) 2.37(S) (-) 2.20(E)
SANITARY MANHOLE - 2	8.83'	8" PVC 8" PVC 8" PVC	(-) 2.58(N) (-) 1.87(S) (-) 2.54(W)
SANITARY MANHOLE - 3	8.96'	8" PVC 8" PVC	(-) 1.09(N) (-) 0.99(E)
SANITARY MANHOLE - 4	8.56'	8" PVC 8" PVC	(-) 0.03(E) (-) 0.13(W)
SANITARY MANHOLE - 5	8.55'	8" PVC 8" PVC	1.04(SE) 1.22(W)
SANITARY MANHOLE - 6	8.73'	8" PVC	3.07(W)
SANITARY MANHOLE - 7	8.53'	8" PVC 8" PVC	(-) 0.37(E) (-) 0.50(W)
SANITARY MANHOLE - 8	8.90'	8" PVC 8" PVC	1.20(NW) 1.29(E)
SANITARY MANHOLE - 9	8.94'	8" PVC 8" PVC	1.63(NE) 1.54(W)
SANITARY MANHOLE - 10	8.87'	8" PVC 8" PVC	1.82(SW) 1.82(E)
SANITARY MANHOLE - 11	8.40'	8" PVC 8" PVC	1.51(E) 1.50(W)
SANITARY MANHOLE - 12	8.55'	8" CLAY 8" PVC	2.88(E) 3.13(W)



DATE	REVISION	BY
2/28/18	TITLE REPORTS ADDED	DOB

DATE	11/15/2017
SCALE	1" = 40'
FIELD BOOK	805
DRAWN BY	S.M.
CHECKED BY	L.P.

**KEITH & ASSOCIATES, INC.**  
consulting engineers  
301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954) 788-3400 FAX (954) 788-3500  
EMAIL: mail@keith-associates.com LB NO. 6860

AREA:

GROSS AREA: 264,150 SQUARE FEET 6.06 ACRES  
NET AREA: 241,550 SQUARE FEET 5.54 ACRES

ZONING:

ZONING INFORMATION SHOWN HEREON IS TAKEN FROM THE ZONING SECTION OF THE DUE DILIGENCE REPORT PREPARED BY KEITH & ASSOCIATES INC., UNDER JOB NUMBER 10067.00, DATED NOVEMBER 3, 2017. THE SITE IS LOCATED WITHIN THE CITY OF HOLLYWOOD REGIONAL ACTIVITY CENTER, HOWEVER THERE ARE NO EXISTING RESIDENTAL/HOTEL UNITS AND/OR COMMERCIAL UNITS AS THE SITE IS CURRENTLY VACANT.

SITE 1=LOTS 13-17  
SITE 2=LOTS 19-21  
SITE 3=LOTS 9-19 & LOTS 4-5

AREA	ZONING	FRONT SET BACK	REAR SET BACK	SIDE SET BACK
SITE 1	DH-2	15'	20'	10'
SITE 2	DH-2	15'	20'	10'
SITE 3	DH-3	15'	20'	10'

MAX FLOOR AREA RATIO	BUILDING HEIGHT RESTRICTIONS
SITE 1=1.75 (179,375 SQUARE FEET)	4 STORIES (45' MAX)
SITE 2=1.75 (107,625 SQUARE FEET)	4 STORIES (45' MAX)
SITE 3=3.00 (210,408 SQUARE FEET)	5 STORIES (55' MAX)

PARKING REQUIREMENTS

SITE 1=71 SPACES, 60 (RESIDENCIES)	6 (GUEST) 5 (LEASING OFFICE)
SITE 2=36 SPACES, 30 (RESIDENCIES)	3 (GUEST) 3 (MANAGEMENT OFFICE)
SITE 3=36 SPACES, 30 (RESIDENCIES)	3 (GUEST) 3 (MANAGEMENT OFFICE)

TITLE REPORT EASEMENTS, RESTRICTIONS, AND OTHER MATTERS PER FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER : 1062-3930882 (REVISION A), EFFECTIVE DATE: FEBRUARY 16, 2018 @ 8:00 AM							
ENCUMBRANCE NUMBER	DESCRIPTION	OFFICIAL RECORDS BOOK AND PAGE	AFFECTS		PLOTTED ON SURVEY		COMMENT
			YES	NO	YES	NO	
1	AMENDED EASEMENT DEED	O.R.B. 50264, PAGE 1803	X			X	NO PLOTTABLE MATTERS
2	AMENDED EASEMENT DEED	O.R.B. 49885, PAGE 466	X			X	NO PLOTTABLE MATTERS
3	QUIT CLAIM DEED	O.R.B. 12686, PAGE 451		X		X	LOT 4&5 SOUTH OF SURVEY
4	QUIT CLAIM DEED	O.R.B. 12686, PAGE 450	X			X	NO PLOTTABLE MATTERS
5	QUIT CLAIM DEED	O.R.B. 4987, PAGE 341	X			X	NO PLOTTABLE MATTERS
6	AGREEMENT TO RELEASE	O.R.B. 3937, PAGE 908	X			X	NO PLOTTABLE MATTERS
7	RELEASE TO REVERTER	O.R.B. 3850, PAGE 978				X	NO PLOTTABLE MATTERS
8	RELEASE TO REVERTER	O.R.B. 3850, PAGE 977	X			X	NO PLOTTABLE MATTERS
9	EASEMENT AGREEMENT	O.R.B. 1937, PAGE 334	X		X		AFFECTS SHOWN ON SURVEY
10	AGREEMENT	O.R.B. 571, PAGE 319	X		X		AFFECTS SHOWN ON SURVEY
11	RELEASE TO REVERTER	O.R.B. 546, PAGE 44		X		X	LOT 5&6 SOUTH OF SURVEY
12	RELEASE TO REVERTER	O.R.B. 533, PAGE 75		X		X	LOT 5&6 SOUTH OF SURVEY

TITLE REPORT EASEMENTS, RESTRICTIONS, AND OTHER MATTERS PER FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER : 1062-3924907 (REVISION A), EFFECTIVE DATE: FEBRUARY 16, 2018 @ 8:00 AM							
ENCUMBRANCE NUMBER	DESCRIPTION	OFFICIAL RECORDS BOOK AND PAGE	AFFECTS		PLOTTED ON SURVEY		COMMENT
			YES	NO	YES	NO	
1	PLAT	PLAT BOOK 1, PAGE 26	X		X		AFFECTS SHOWN ON SURVEY
2	DEED	DEED BOOK 470, PAGE 304	X			X	NO PLOTTABLE MATTERS
3	RELEASE TO REVERTER	DEED BOOK 638, PAGE 469	X			X	NO PLOTTABLE MATTERS
4	RELEASE TO REVERTER	O.R.B. 1939, PAGE 417	X			X	NO PLOTTABLE MATTERS
5	RESOLUTION	O.R.B. 2280, PAGE 80		X		X	FOR 1-95 RIGHT OF WAY
6	RELEASE TO REVERTER	O.R.B. 3360, PAGE 807	X			X	NO PLOTTABLE MATTERS
7	DEDICATION OF UTILITY EASEMENT	O.R.B. 40558, PAGE 1734	X		X		AFFECTS SHOWN ON SURVEY
8	RESOLUTION NO. 07-DPV-42	O.R.B. 45564, PAGE 24	X			X	NO PLOTTABLE MATTERS
9	WARRANTY DEED	DEED BOOK 16, PAGE 276	X			X	NO PLOTTABLE MATTERS
10	WARRANTY DEED	DEED BOOK 96, PAGE 37	X			X	NO PLOTTABLE MATTERS

SURVEY NOTES:

- LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD BY FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE REPORT FILE NO. 1062-390882 (REVISION A) AND TITLE REPORT FILE NO. 1062-3924907 (REVISION A) BOTH DATED FEBRUARY 16, 2018 @ 8:00 AM.
- OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH 02°06'57" WEST ALONG THE WEST LINE OF BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1988 (NAVD 1988). SAID ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARK M 312; A BRASS DISK ON THE TOP OF A RETAINING WALL AT THE CITY HALL BUILDING NEAR THE INTERSECTION OF HOLLYWOOD BOULEVARD AND SOUTH 26TH AVENUE, 17 FEET +/- SOUTHEAST OF THE NORTHEAST CORNER OF THE BUILDING, 8 FEET +/- EAST OF THE EAST WALL OF THE BUILDING AND 3.6 FEET SOUTH OF THE NORTH END OF THE RETAINING WALL; ELEVATION= 13.44'. LOADING DOCK OF THE SEARS ROEBUCK CO. SERVICE BUILDING, 92' NORTHEAST OF THE CENTER OF THE CROSSING OF NORTHEAST 38TH STREET, 34.2' EAST OF AND ACROSS SIDE TRACK FROM THE EAST RAIL OF THE NORTHBOND TRACK, AND 1.4' NORTH OF THE SOUTHWEST CORNER OF THE LOADING PLATFORM, ELEVATION= 13.44' AND BENCHMARK BC 529; A BRASS DISC STAMPED "B.C. 529" IN THE TOP OF A CONCRETE MONUMENT AT THE INTERSECTION OF DIXIE HIGHWAY AND WILEY COURT, 39 FEET +/- EAST OF THE CENTERLINE OF DIXIE HIGHWAY AND 18 FEET +/- SOUTHEAST OF A UTILITY POLE; ELEVATION= 7.68'.
- THE OWNERSHIP OF FENCES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
- THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE STANDARDS OF PRACTICE (RULE 5J-17, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL WHICH MAY HAVE BEEN ENLARGED FOR CLARITY. ALL MAPPED FEATURES SHOWN HEREON WERE OBTAINED BY KEITH & ASSOCIATES, INC. FOR THE PURPOSE OF THIS SURVEY. DISTANCES SHOWN HEREON ARE IN U.S. FEET.
- THE INTENDED DISPLAY SCALE OF THIS SURVEY IS 1" = 40' OR SMALLER.
- THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS +/- 0.02' FOR HARD SURFACE ELEVATIONS AND 0.1' FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL LOCATION ACCURACY IS +/- 0.1'.
- UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.
- THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983 WITH THE NATIONAL SPATIAL REFERENCE SYSTEM 2011 ADJUSTMENT APPLIED (83/NSRS2011), TRANSVERSE MERCATOR, FLORIDA EAST ZONE.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12011C0569H, COMMUNITY NO. 125113, EFFECTIVE DATE 8-18-2014, THIS PROPERTY LIES IN ZONE AH, BASE FLOOD ELEVATION (9) AND ZONE X 0.2% ANNUAL CHANCE OF FLOOD HAZZARD, BASE FLOOD ELEVATION (NONE).
- PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$ 5- MILLION DOLLARS TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

CERTIFICATION:

THIS SURVEY IS MADE FOR THE BENEFIT OF: PINNACLE AT PEACEFIELD, LTD. A FLORIDA LIMITED PARTNERSHIP; REGIONS BANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR AS DEFINED IN THE CONDITIONS OF THIS POLICY; FIRST AMERICAN TITLE INSURANCE COMPANY; SHUTTS & BOWEN, LLP; DOWNTOWN HOLLYWOOD COMMUNITY REDEVELOPMENT AGENCY;

THE UNDERSIGNED, LEE POWERS, PROFESSIONAL LAND SURVEYOR NO. 6805 DOES HEREBY CERTIFY TO THE AFORESAID PARTIES, AS OF THE DATE SET FORTH BELOW THAT I HAVE MADE A CAREFUL SURVEY OF A TRACT OF LAND DESCRIBED AS FOLLOWS:

PARCEL 1:

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH ALL APPLICABLE LAWS REGULATING SURVEYING IN THE STATE OF FLORIDA AND WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 8, 9, 11, 13, 14, 16, 17, 19, AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 15, 2017.

1. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY EXCEPT AS NOTED; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SUBJECT PROPERTY EXCEPT AS SHOWN HEREON; AND THERE ARE NO PARTY WALLS. ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS ("REA'S") HAVE BEEN DENOTED ON THE SURVEY. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY. THE LIMITS OF ANY REA'S OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE LAND SUBJECT TO THE SURVEY ARE REPORTED.

2. THE SUBJECT PROPERTY IS THE SAME AS THE PROPERTY DESCRIBED IN THOSE CERTAIN TITLE REPORTS NO. 1062-390882 (REVISION A) AND 1062-3924907 (REVISION A) ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2018 @ 8:00 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SUBJECT PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

3. THE SUBJECT PROPERTY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA. THE PROPERTY LIES WITHIN SPECIAL FLOOD HAZARD ZONE AH, BASE FLOOD ELEVATION (9.0) AND WITHIN AN OTHER FLOOD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD AREA IS DELINEATED WITH SHADING OR OTHERWISE CLEARLY MARKED TO SHOW THE AREAS HAVING A ZONE DESIGNATION OF "X, AREAS INSIDE OF 0.2% ANNUAL CHANCE OF FLOOD", BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 12011C0569H H, WITH A DATE OF IDENTIFICATION OF AUGUST 18, 2014, FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

4. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO ADAMS STREET, A DEDICATED PUBLIC STREETS OR HIGHWAYS. THE WIDTHS OF ALL ADJACENT RIGHTS-OF-WAY ARE INDICATED BY PERPENDICULAR ARROWS ON THE SURVEY DRAWING TO CONFIRM THAT THE SUBJECT PROPERTY IS TIED TO SAME.

5. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, OR ANY APPARENT DITCHES, DIKES, SLUICES OR CANALS OF THE SITE.

6. THERE IS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OR ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

7. THE TOTAL NUMBER OF PARKING SPACES ON THE SUBJECT PROPERTY IS ZERO, AS THE SITE IS VACANT LAND.

LEE POWERS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 6805

DATE: FEBRUARY 28, 2018

LAST DATE OF FIELD WORK: 11/15/17

ALTA/NSPS SURVEY  
PEACEFIELD

A PORTION OF BLOCK 1 AND A PORTION OF BLOCK M  
AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, P.B. 1, PG. 26, B.C.R.  
TOGETHER WITH: A PORTION OF W.B. SYMMES SUBDIVISION, P.B. 7, PG. 7, B.C.R.  
CITY OF HOLLYWOOD BROWARD COUNTY FLORIDA

SHEET 1 OF 2  
PROJECT NUMBER  
10067.00





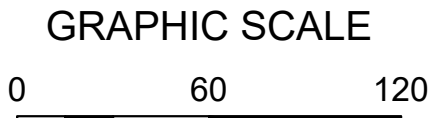
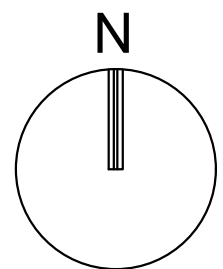


PLAN PURPOSE:

THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

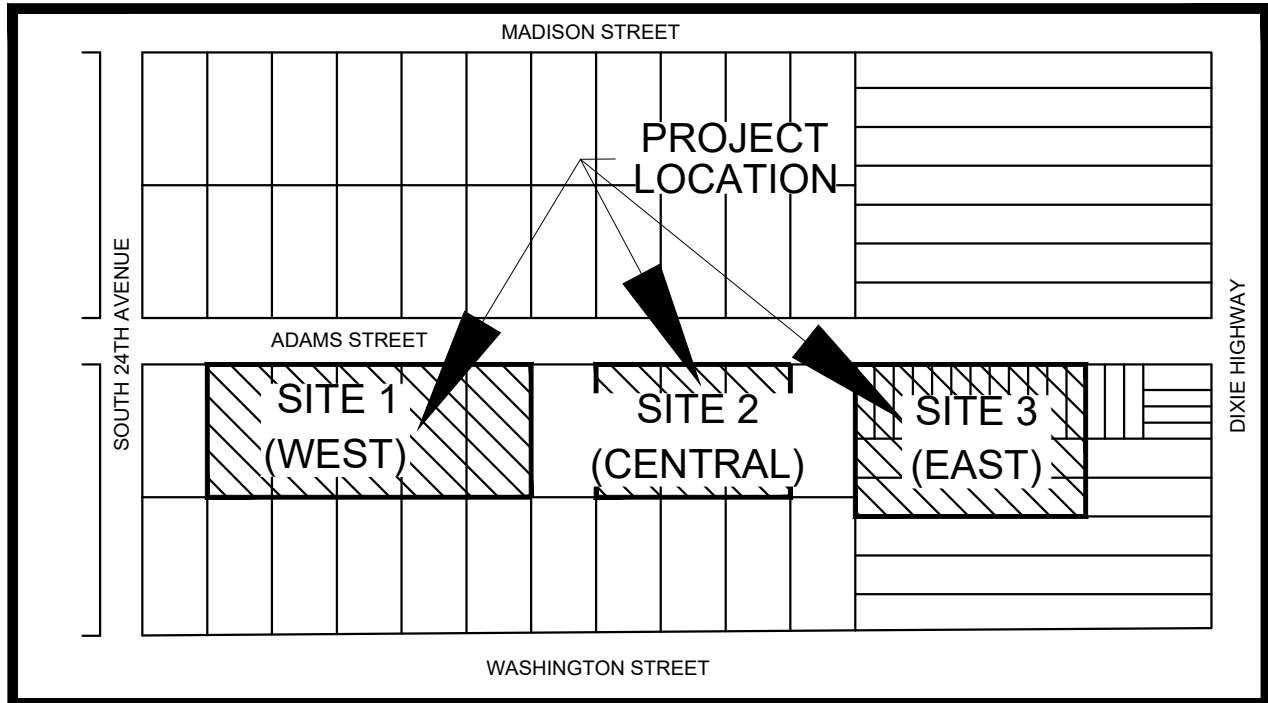
NOTES:

- REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
- REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
- THE MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 IF ADJACENT TO RESIDENTIAL.
- THIS PROJECT WILL ACHIEVE CERTIFICATION TO THE ICC 700 NATIONAL GREEN BUILDING STANDARD. PROJECT ID #: 342GQL
- THE BUILDINGS WILL COMPLY WITH NFPA 1,11.10\* AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.



SCALE: 1"=60'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP  
(NOT TO SCALE)

SITE INFORMATION: SITE 1

NUMBER OF DWELLING UNITS:  
ONE-BEDROOM UNITS (630 SF): 34 UNITS  
TWO-BEDROOM UNITS (856 SF): 24 UNITS  
TOTAL UNITS: 58 UNITS

NET SITE AREA: 102,500 S.F. / 2.35 ACRES

DENSITY:  
ALLOWED: 1.75 FAR (275 UNITS)  
PROPOSED: 0.60 FAR (58 UNITS)

ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-2

SITE INFORMATION: SITE 2

NUMBER OF DWELLING UNITS:  
ONE-BEDROOM UNITS: 19 UNITS  
TWO-BEDROOM UNITS: 12 UNITS  
TOTAL UNITS: 31 UNITS

NET SITE AREA: 61,500 S.F. / 1.41 ACRES

DENSITY:  
ALLOWED: 1.75 FAR (165 UNITS)  
PROPOSED: 0.58 FAR (31 UNITS)

ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-2

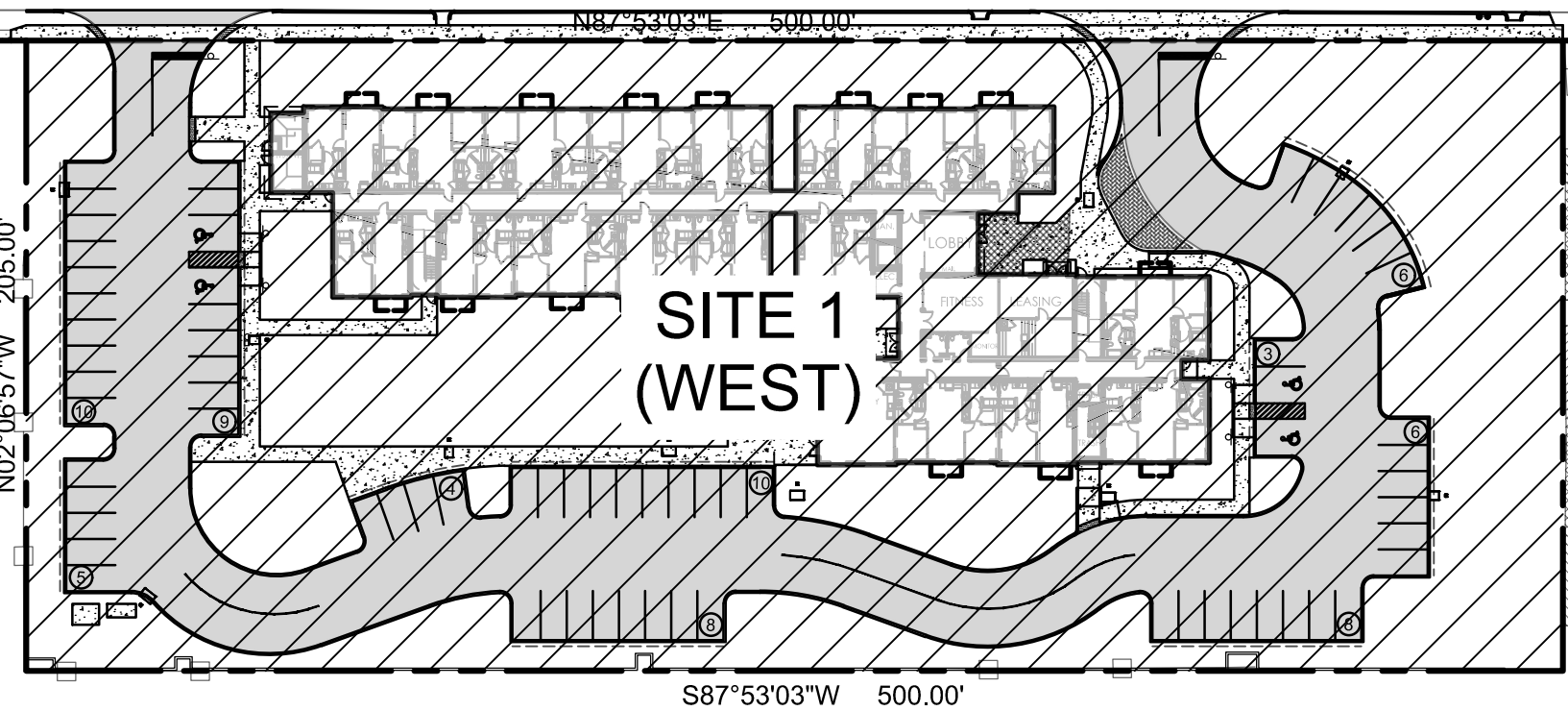
SITE INFORMATION: SITE 3

NUMBER OF DWELLING UNITS:  
ONE-BEDROOM UNITS: 19 UNITS  
TWO-BEDROOM UNITS: 12 UNITS  
TOTAL UNITS: 31 UNITS

NET SITE AREA: 77,550 S.F. / 1.78 ACRES

DENSITY:  
ALLOWED: 3.0 FAR (420 UNITS)  
PROPOSED: 0.46 FAR (31 UNITS)

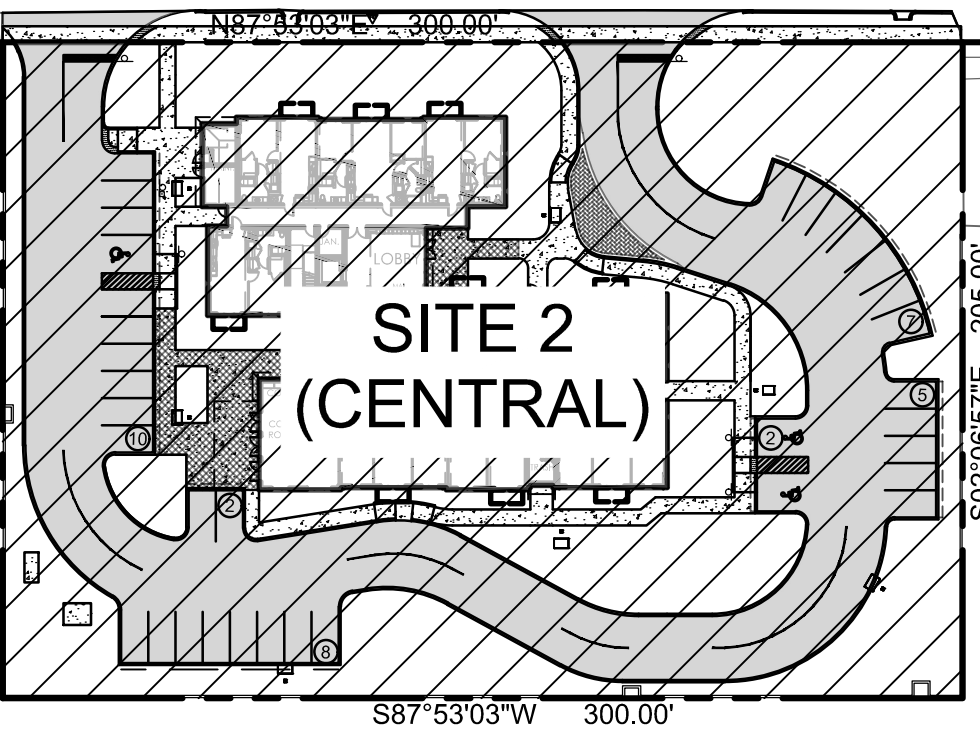
ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-3



ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-2

LEGAL DESCRIPTION: SITE 1

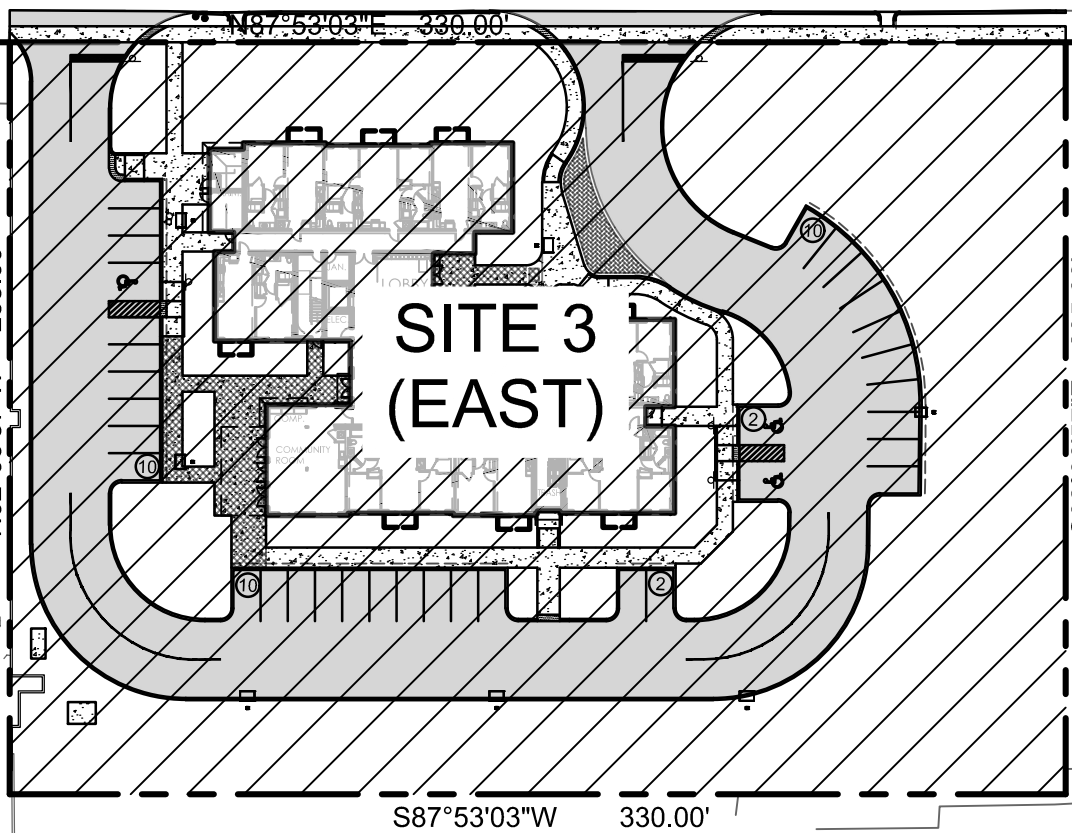
ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-2

LEGAL DESCRIPTION: SITE 2

TOGETHER WITH:  
ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-3

LEGAL DESCRIPTION: SITE 3

ALSO TOGETHER WITH:  
THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OR LESS.

**KEITH & ASSOCIATES, INC.**  
consulting engineers

301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

2160 NW 82<sup>nd</sup> Avenue  
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET  
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.  
FLORIDA REG. NO. 33256  
(FOR THE FIRM)

SHEET TITLE

OVERALL  
KEY PLAN

SHEET NUMBER

SP-100

PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00



SITE DATA TABLE: SITE-1				
PROJECT ADDRESS: ADAMS STREET, HOLLYWOOD, FL 33020				
PROJECT INFORMATION: LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER - TRANSITION CORE FUTURE ZONING DESIGNATION: DIXIE HIGHWAY MEDIUM INTENSITY MULTI-FAMILY (DH-2)				
NET SITE AREA (S.F.)	102,500	2.35	AC	
TOTAL BLDG SF	20,916			
SERVICE PROVIDERS				
POTABLE WATER	CITY OF HOLLYWOOD			
SANITARY SEWER	CITY OF HOLLYWOOD			
SOLID WASTE	WASTE PRO			
ZONING DISTRICT REQUIREMENTS:				
PROPOSED BUILDING HEIGHT	REQUIRED 45' MAX	PROVIDED 32'-8"		
SETBACK REQUIREMENTS				
PROPOSED BUILDING	REQUIRED	PROVIDED		
FRONT SETBACK	15'	21.5' FT.		
INTERIOR SIDE SETBACK (EAST)	10'	114.9' FT.		
INTERIOR SIDE SETBACK (WEST)	10'	79.5' FT.		
REAR YARD	20'	67.7' FT.		

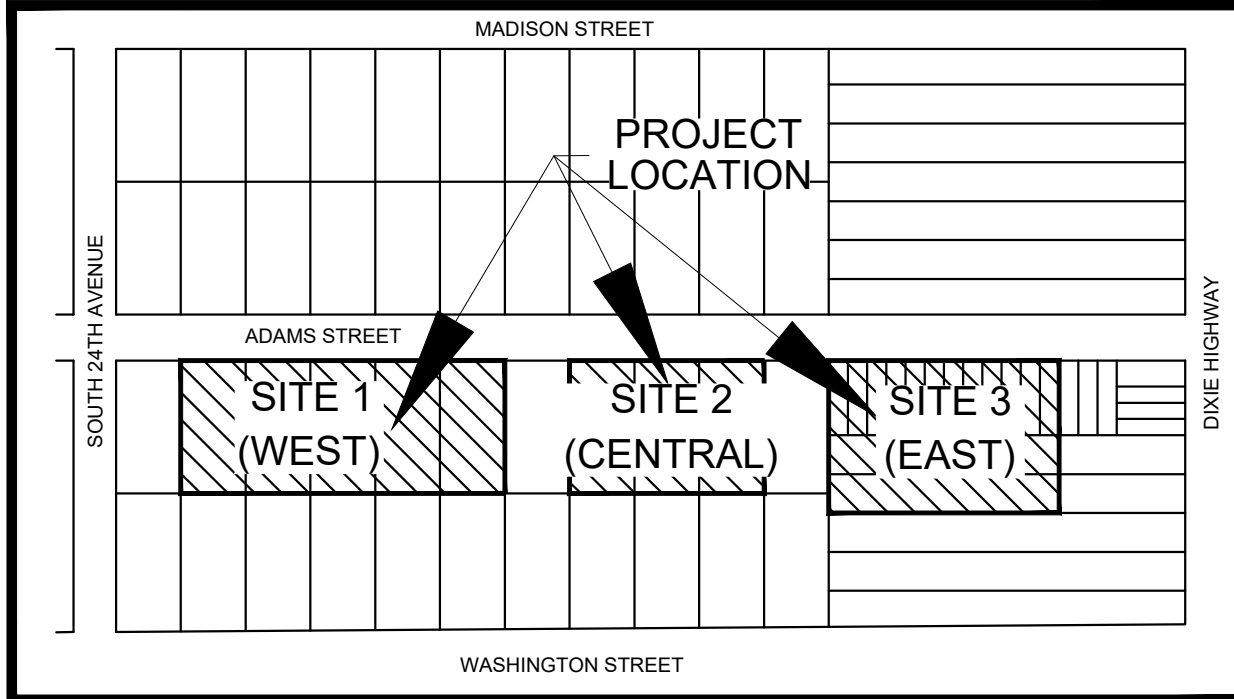
**PLAN PURPOSE:**

THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

SITE AREA CALCULATIONS: SITE 1			
NET SITE AREA:	SQ. FT.	%	ACRE
	102,500		2.35
IMPERVIOUS AREA			
PROPOSED BUILDING FOOTPRINT	20,660	20.2%	0.47
VEHICLE USE AREAS	30,515	29.8%	0.70
SIDEWALKS/CONCRETE	7,621	7.4%	0.17
VEHICLE OVERHANG	850	0.8%	0.02
PERVIOUS AREA			
LANDSCAPE OPEN SPACE	42,854	41.8%	0.98
LANDSCAPE SETBACK AREA	12,623	12.3%	0.290
INTERIOR LANDSCAPE AREA	30,231	29.5%	0.69
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	102,500	100%	2.35
LANDSCAPE AREA CALCULATIONS:			
INTERIOR LANDSCAPED AREA (MIN. 25% OF VI)	REQUIRED 7,629	PROVIDED 30,231	99%
LANDSCAPED OPEN SPACE (MIN. 20% OF SITE)	20,500	42,854	42%

PARKING DATA:	
MULTI-FAMILY	REQUIRED
1 PER DU	58
1 PER 10 DU FOR GUESTS	5.8
2.5 SPACES / 1,000 SF (LEASING OFFICE)	2.5
TOTAL PARKING REQUIRED	66.3
TOTAL PARKING PROVIDED	69 (INCLUDES 4 ADA SPACES)
LOADING SPACE (PER ARTICLE 7.2.B.8)	
	1 (1) 10'X25' LOADING SPACE PROVIDED

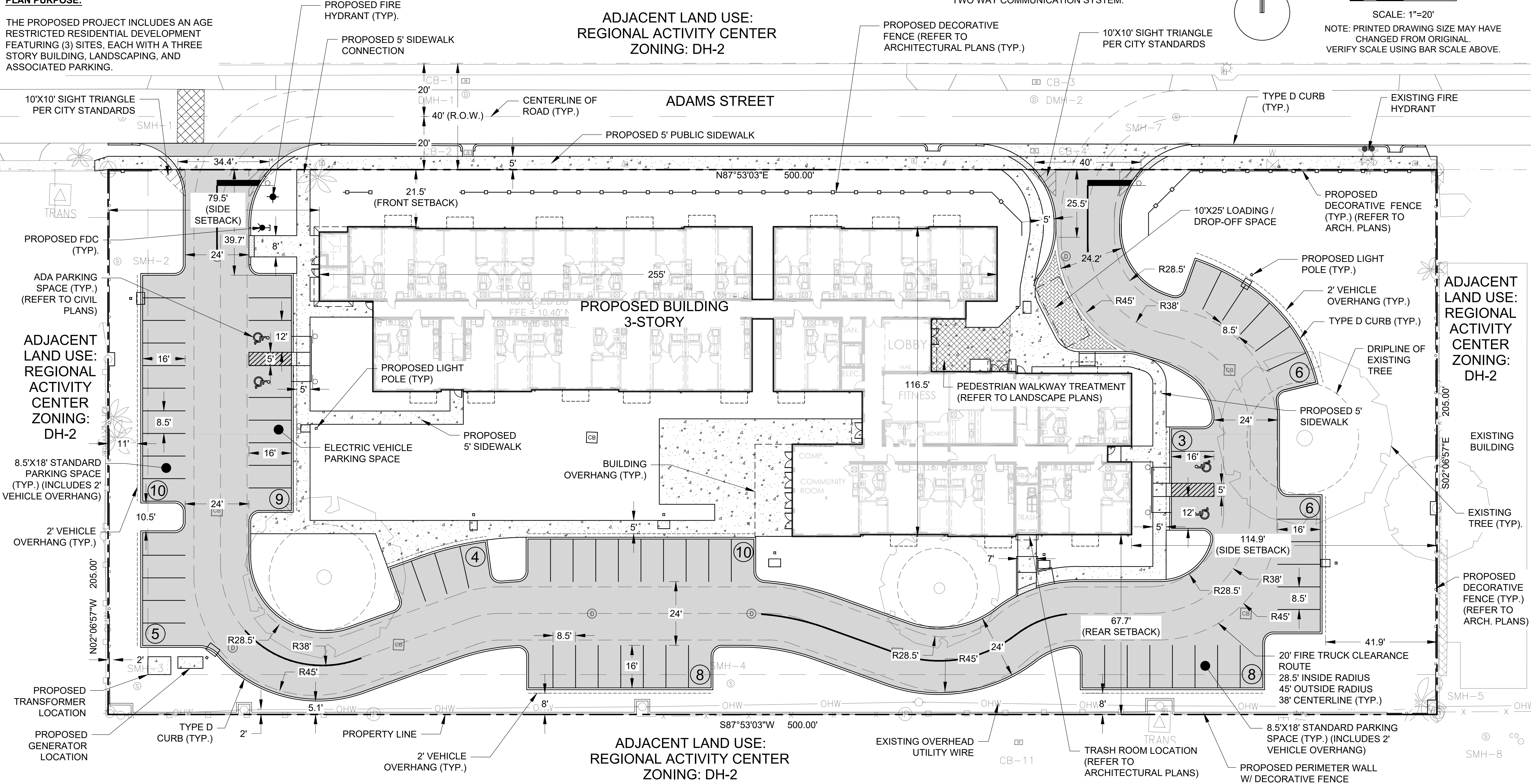
- NOTES:**
- REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
  - REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION
  - ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
  - THE MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 IF ADJACENT TO RESIDENTIAL.
  - THIS PROJECT WILL ACHIEVE CERTIFICATION TO THE ICC 700 NATIONAL GREEN BUILDING STANDARD.
  - THE BUILDINGS WILL COMPLY WITH NFPA 1,11.10" AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.



**VICINITY MAP**  
(NOT TO SCALE)

**GRAPHIC SCALE**

0 20 40  
SCALE: 1"=20'  
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



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Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :		
REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

**Pinnacle at  
PEACEFIELD**

ADAMS STREET  
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.  
FLORIDA REG. NO. 33256  
(FOR THE FIRM)

**SHEET TITLE**

**SITE PLAN  
SITE 1  
(WEST)**

**SHEET NUMBER**

**SP-101**

PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00



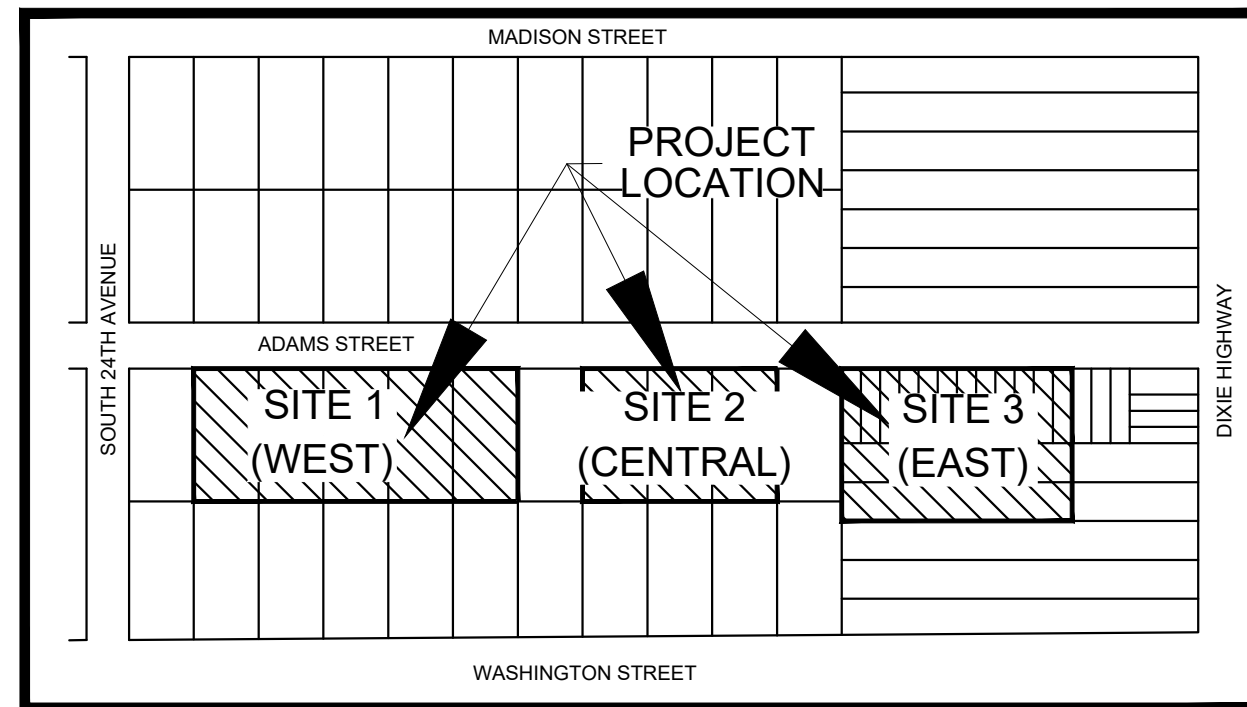
PLAN PURPOSE:

THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

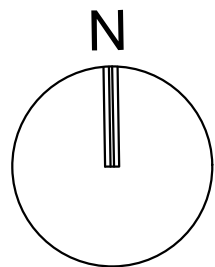
NOTES:

1. REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
2. REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION
3. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS

5. THE MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 IF ADJACENT TO RESIDENTIAL.
6. THIS PROJECT WILL ACHIEVE CERTIFICATION TO THE ICC 700 NATIONAL GREEN BUILDING STANDARD.
7. THE BUILDINGS WILL COMPLY WITH NFPA 1,11.10" AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.
8. CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE PROPOSED LIGHTING PLANS.



VICINITY MAP  
(NOT TO SCALE)



GRAPHIC SCALE  
0 20 40

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

**KEITH & ASSOCIATES, INC.**  
consulting engineers

301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue  
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET  
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED

DATE ISSUED: FEBRUARY 2018

DRAWN BY: MC

DESIGNED BY: SB

CHECKED BY: JT

JAMES A. THIELE, P.E.  
FLORIDA REG. NO. 33256  
(FOR THE FIRM)

SHEET TITLE

**SITE PLAN  
SITE 2  
(CENTRAL)**

SHEET NUMBER

**SP-102**

PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00

SITE DATA TABLE: SITE-2			
<b>PROJECT ADDRESS:</b> ADAMS STREET, HOLLYWOOD, FL 33020			
<b>PROJECT INFORMATION:</b> LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER - TRANSITION CORE FUTURE ZONING DESIGNATION: DIXIE HIGHWAY MEDIUM INTENSITY MULTI-FAMILY (DH-2)			
NET SITE AREA (S.F.)	61,500	1.41	AC
TOTAL BLDG SF	11,831		
<b>SERVICE PROVIDERS</b> POTABLE WATER: CITY OF HOLLYWOOD SANITARY SEWER: CITY OF HOLLYWOOD SOLID WASTE: WASTE PRO			
<b>ZONING DISTRICT REQUIREMENTS:</b>			
PROPOSED BUILDING HEIGHT	REQUIRED: 45' MAX	PROVIDED: 32'-8"	
<b>SETBACK REQUIREMENTS</b>			
<b>PROPOSED BUILDING</b>			
FRONT SETBACK	15'	23.4'	FT.
INTERIOR SIDE SETBACK (EAST)	10'	92.3'	FT.
INTERIOR SIDE SETBACK (WEST)	10'	64'	FT.
REAR YARD	20'	65.8'	FT.
<b>SITE AREA CALCULATIONS: SITE 2</b>			
NET SITE AREA:	SQ. FT.	%	ACRE
	61,500	100%	1.41
IMPERVIOUS AREA	PROVIDED		
	SQ. FT.	%	ACRE
PROPOSED BUILDING FOOTPRINT	11,851	19.3%	0.27
VEHICLE USE AREAS	20,594	33.5%	0.47
SIDEWALKS/CONCRETE	5,175	8.4%	0.12
VEHICLE OVERHANG	413	0.7%	0.009
PERVIOUS AREA			
	SQ. FT.	%	ACRE
LANDSCAPED OPEN SPACE	23,467	38.2%	0.54
LANDSCAPE SETBACK AREA	7,827	12.7%	0.180
INTERIOR LANDSCAPE AREA	15,640	25.4%	0.36
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	61,500	100%	1.41
<b>LANDSCAPE AREA CALCULATIONS:</b>			
LANDSCAPED OPEN SPACE (MIN. 25% OF LANDSCAPED OPEN SPACE (MIN. 20% OF SITE)	REQUIRED: 5,149	PROVIDED: 15,640	76%
	12,300	23,467	38%
<b>PARKING DATA:</b>			
<b>REQUIRED</b>			
MULTI-FAMILY			
1 PER DU	31		
1 PER 10 DU FOR GUESTS	3		
TOTAL PARKING REQUIRED	34		
TOTAL PARKING PROVIDED	34	(INCLUDES 3 ADA SPACES)	

ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-2

ADAMS STREET

PROPOSED BUILDING  
3-STORY

ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-2

ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: D-3

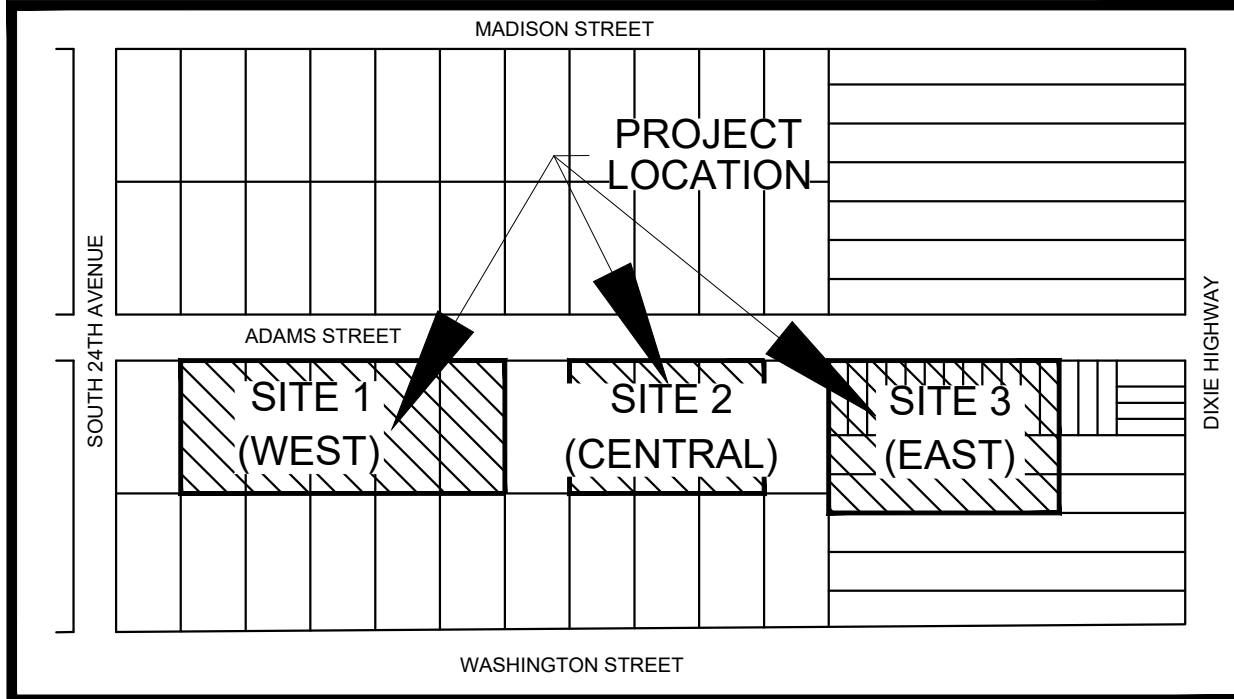


PLAN PURPOSE:

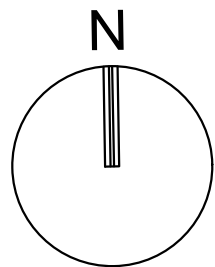
THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
- REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
- THE MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 IF ADJACENT TO RESIDENTIAL.
- THIS PROJECT WILL ACHIEVE CERTIFICATION TO THE ICC 700 NATIONAL GREEN BUILDING STANDARD.
- THE BUILDINGS WILL COMPLY WITH NFPA 1,11.10\* AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.
- CONTRACTOR SHALL REMOVE, STOCKPILE, PROTECT, AND REINSTALL THE EXISTING DECORATIVE LIGHTING ALONG ADAMS STREET PER THE PROPOSED LIGHTING PLANS.



VICINITY MAP  
(NOT TO SCALE)



GRAPHIC SCALE

0 20 40

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

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PH: (954) 788-3400

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Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
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ADAMS STREET  
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED  
DATE ISSUED: FEBRUARY 2018  
DRAWN BY: MC  
DESIGNED BY: SB  
CHECKED BY: JT

SHEET TITLE

**SITE PLAN  
SITE 3  
(EAST)**

SHEET NUMBER

**SP-103**

PRELIMINARY TAC SUBMITTAL

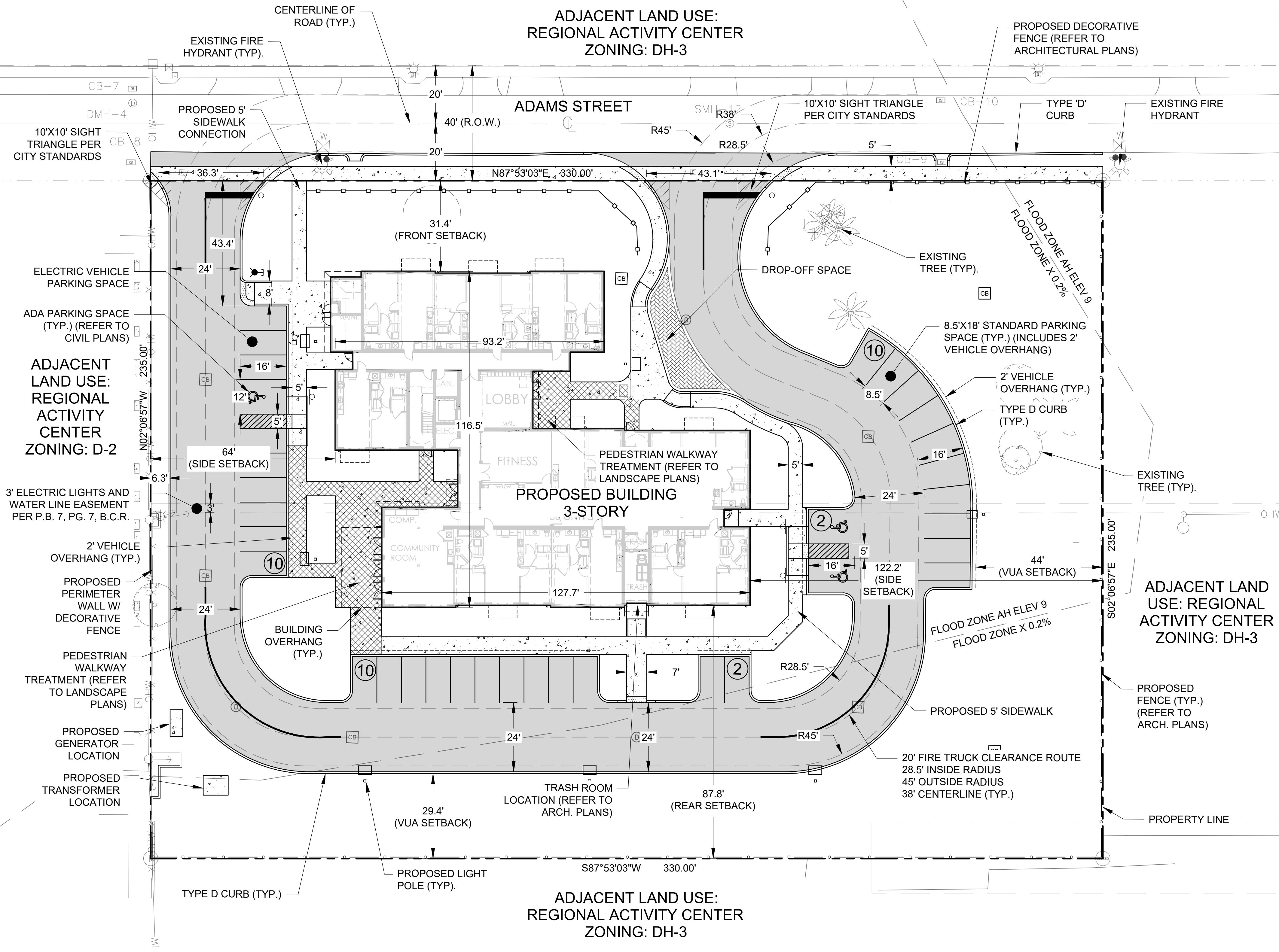
PROJECT NO. 10067.00

ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-3

**PROPOSED BUILDING  
3-STORY**

ADJACENT LAND  
USE: REGIONAL  
ACTIVITY CENTER  
ZONING: DH-3

ADJACENT LAND USE:  
REGIONAL ACTIVITY CENTER  
ZONING: DH-3

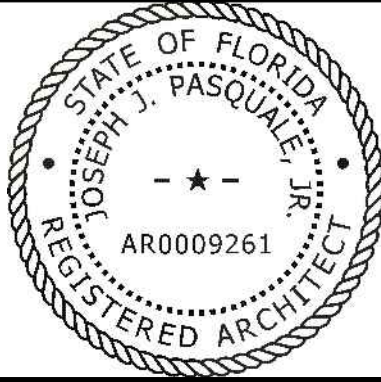


SITE DATA TABLE: SITE-3			
<b>PROJECT ADDRESS:</b> ADAMS STREET, HOLLYWOOD, FL 33020			
<b>PROJECT INFORMATION:</b> LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER - URBAN CORRIDOR ZONING DESIGNATION: DIXIE HIGHWAY HIGH INTENSITY MULTI-FAMILY (DH-3)			
NET SITE AREA (S.F.)	77,550	1.78	AC
TOTAL BLDG SF (INCLUDES FUTURE ENVELOPE)	11,831		
<b>SERVICE PROVIDERS</b> POTABLE WATER: CITY OF HOLLYWOOD SANITARY SEWER: CITY OF HOLLYWOOD SOLID WASTE: WASTE PRO			
<b>ZONING DISTRICT REQUIREMENTS:</b>			
PROPOSED BUILDING HEIGHT	REQUIRED 55' MAX	PROVIDED 32'-8"	
<b>SETBACK REQUIREMENTS</b>			
PROPOSED BUILDING	REQUIRED	PROVIDED	
FRONT SETBACK	15'	31.4' FT.	
INTERIOR SIDE SETBACK (EAST)	0'	122.2' FT.	
INTERIOR SIDE SETBACK (WEST)	10'	64' FT.	
REAR YARD	20'	87.8' FT.	
<b>SITE AREA CALCULATIONS: SITE 3</b>			
NET SITE AREA:	SQ. FT.	%	ACRE
	77,550	100%	1.78
IMPERVIOUS AREA	SQ. FT.	%	ACRE
	PROVIDED		
PROPOSED BUILDING FOOTPRINT	11,851	15.3%	0.27
VEHICLE USE AREAS	21,806	28.1%	0.50
SIDEWALKS/CONCRETE	5,116	6.6%	0.12
VEHICLE OVERHANG	438	0.6%	0.010
<b>PERVIOUS AREA</b>			
LANDSCAPED OPEN SPACE*	38,339	49.4%	0.88
LANDSCAPE SETBACK AREA	9,515	12.3%	0.218
INTERIOR LANDSCAPE AREA	28,824	37.2%	0.66
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	77,550	100%	1.78
<b>LANDSCAPE AREA CALCULATIONS:</b>			
INTERIOR LANDSCAPED AREA (MIN. 25% OF VUA)	REQUIRED 5,452	PROVIDED 28,824	132%
*NO MINIMUM LANDSCAPED OPEN SPACE REQUIREMENT IN DH-3 ZONING DISTRICT			
<b>PARKING DATA:</b>			
REQUIRED			
MULTI-FAMILY			
1 PER DU	31		
1 PER 10 DU FOR GUESTS	3		
TOTAL PARKING REQUIRED	34		
TOTAL PARKING PROVIDED	34	(INCLUDES 3 ADA SPACES)	



# PINNACLE AT PEACEFIELD

## HOLLYWOOD, FL



### PINNACLE AT PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

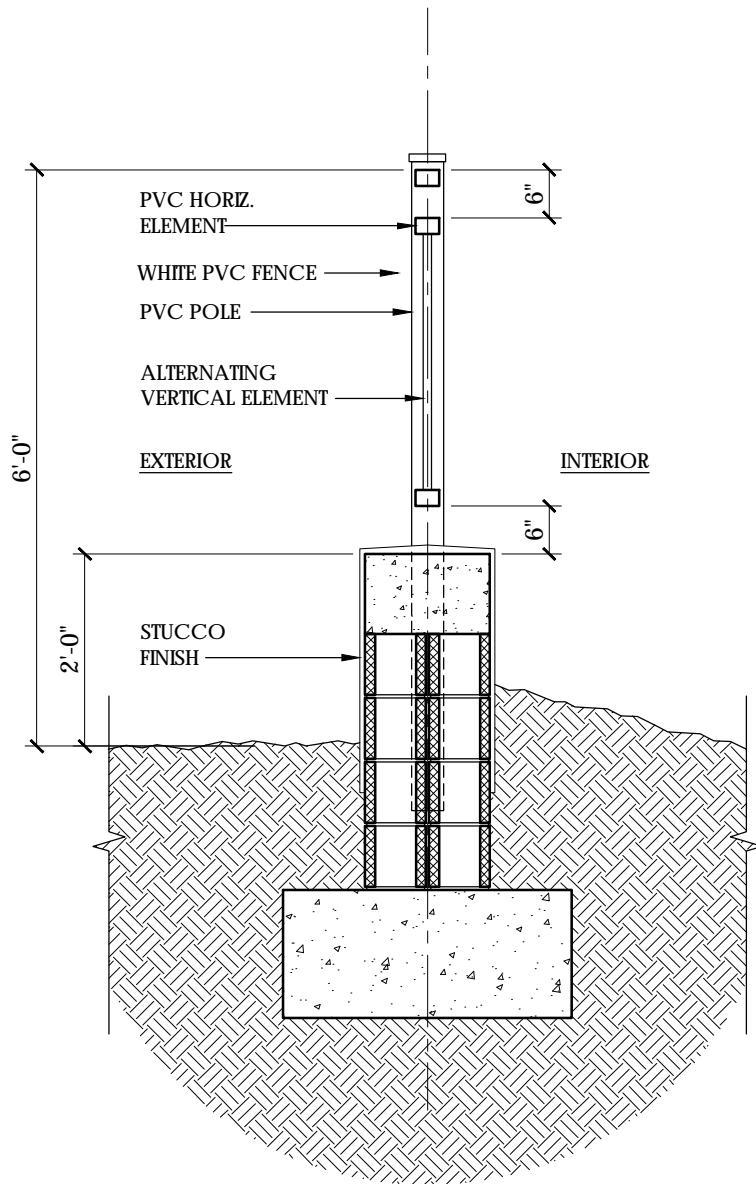
REVISIONS  
12/01/17 PACO SUBMITTAL  
01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

RENDERINGS AND  
COVER SHEET

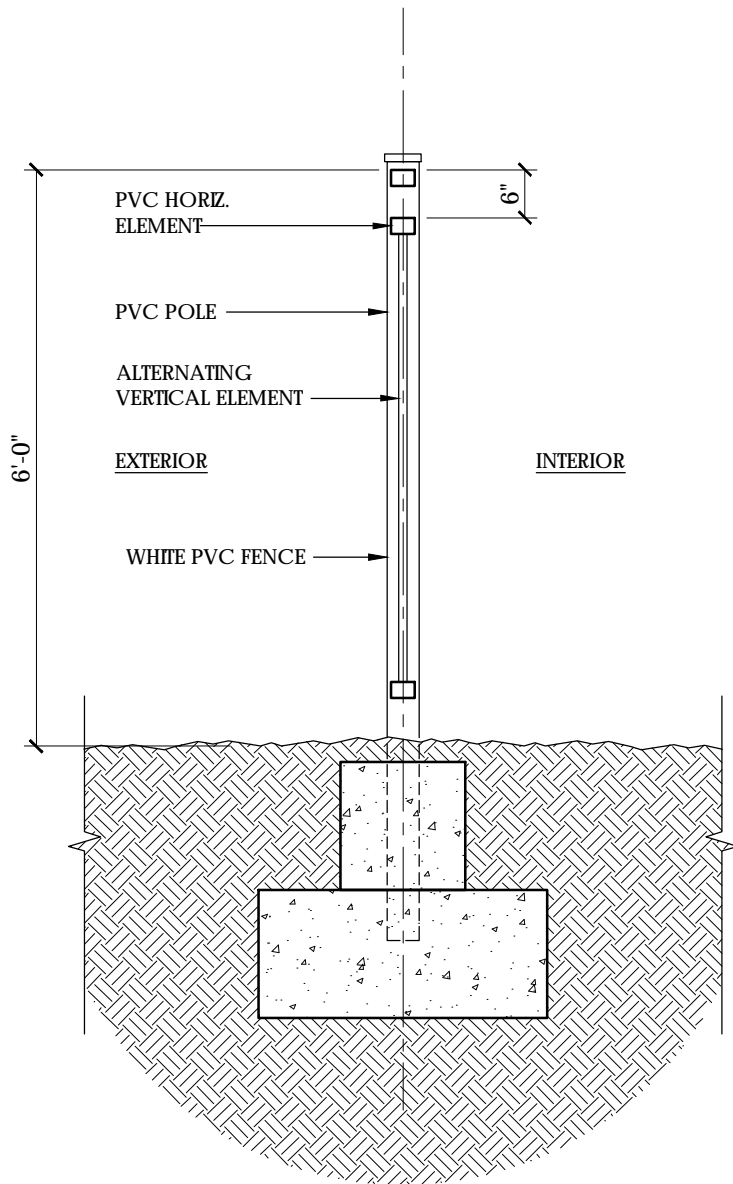
A-0.0

SITE PLAN APPROVAL

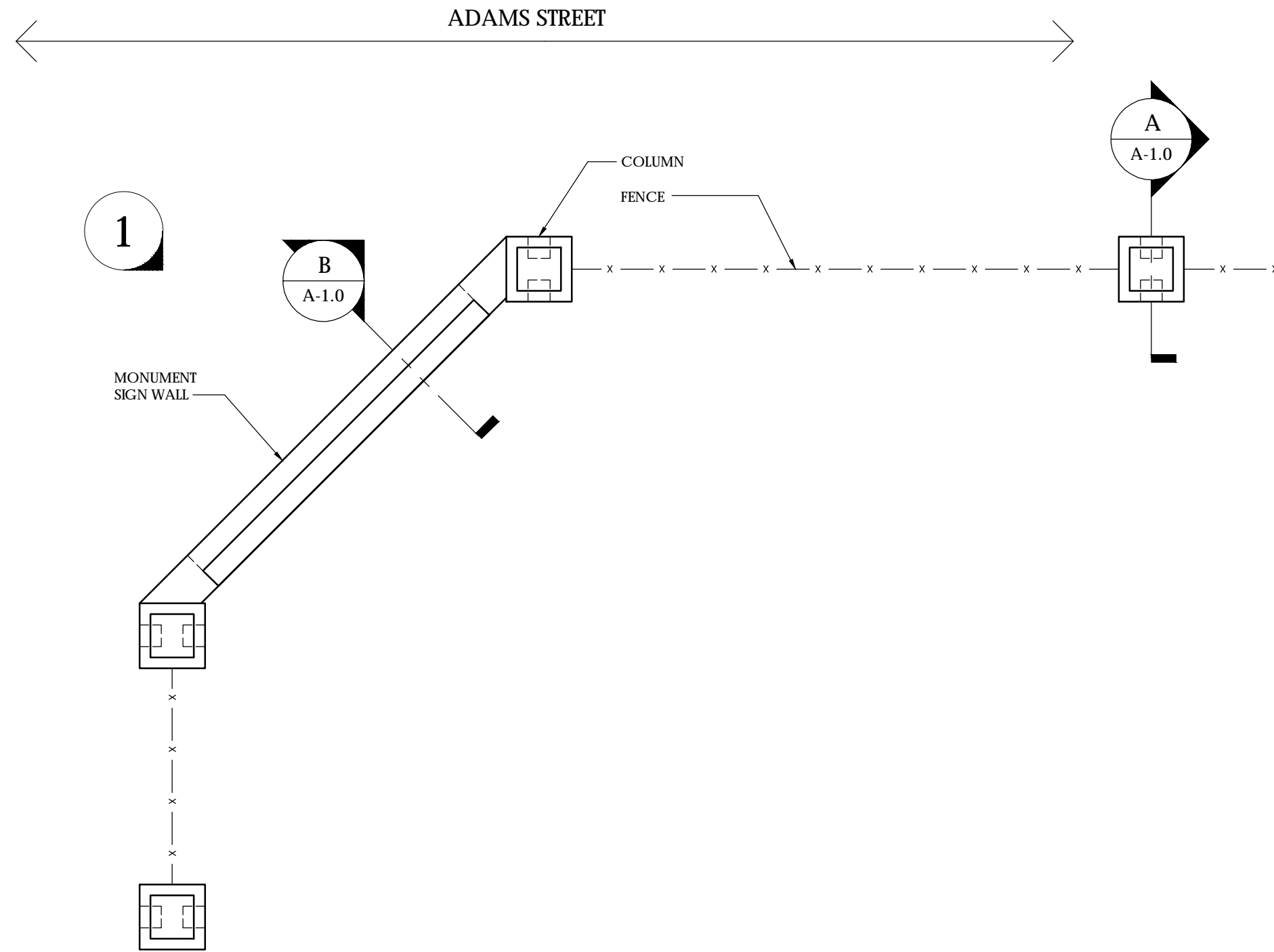




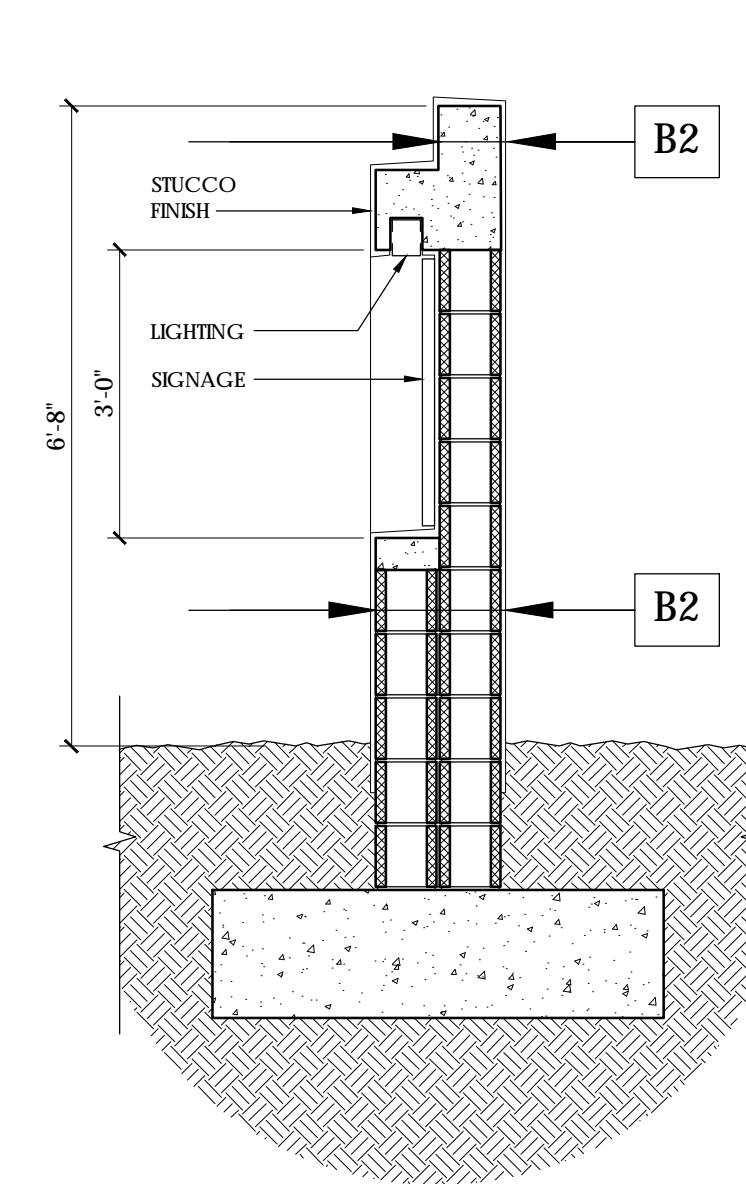
PVC FENCE SECTION (SOUTH SIDE)  
SCALE: 1/2" = 1'-0"



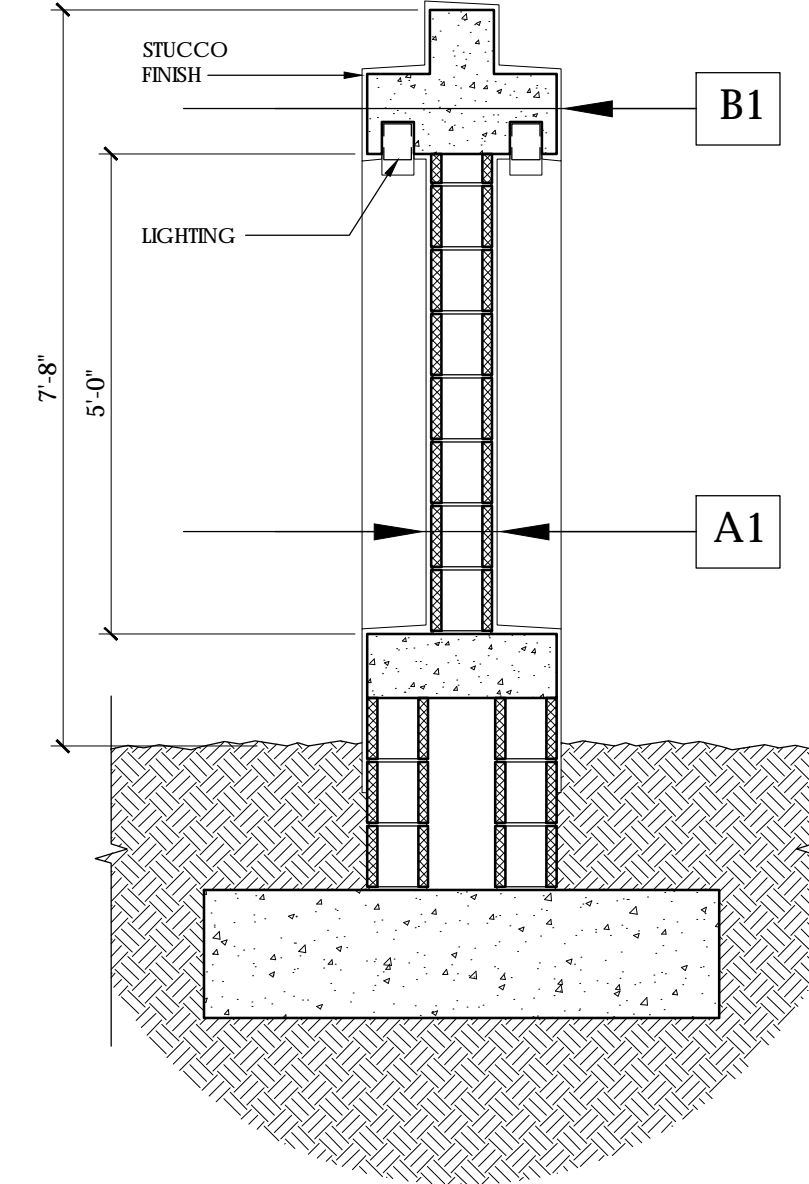
PVC FENCE SECTION (EAST & WEST SIDE)  
SCALE: 1/2" = 1'-0"



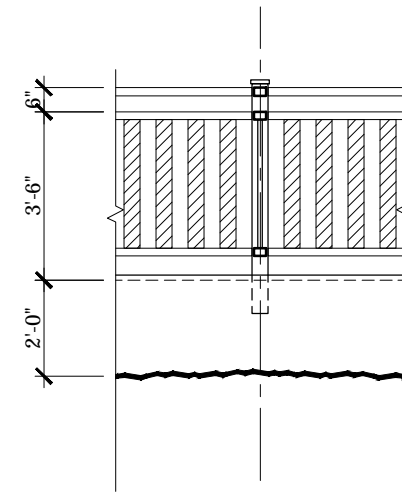
MONUMENT SIGN, COLUMNS & FENCE PARTIAL PLAN  
SCALE: 1/4" = 1'-0"



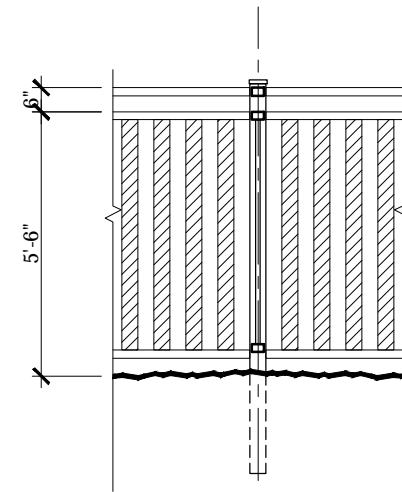
MONUMENT SIGN SECTION  
SCALE: 1/2" = 1'-0"



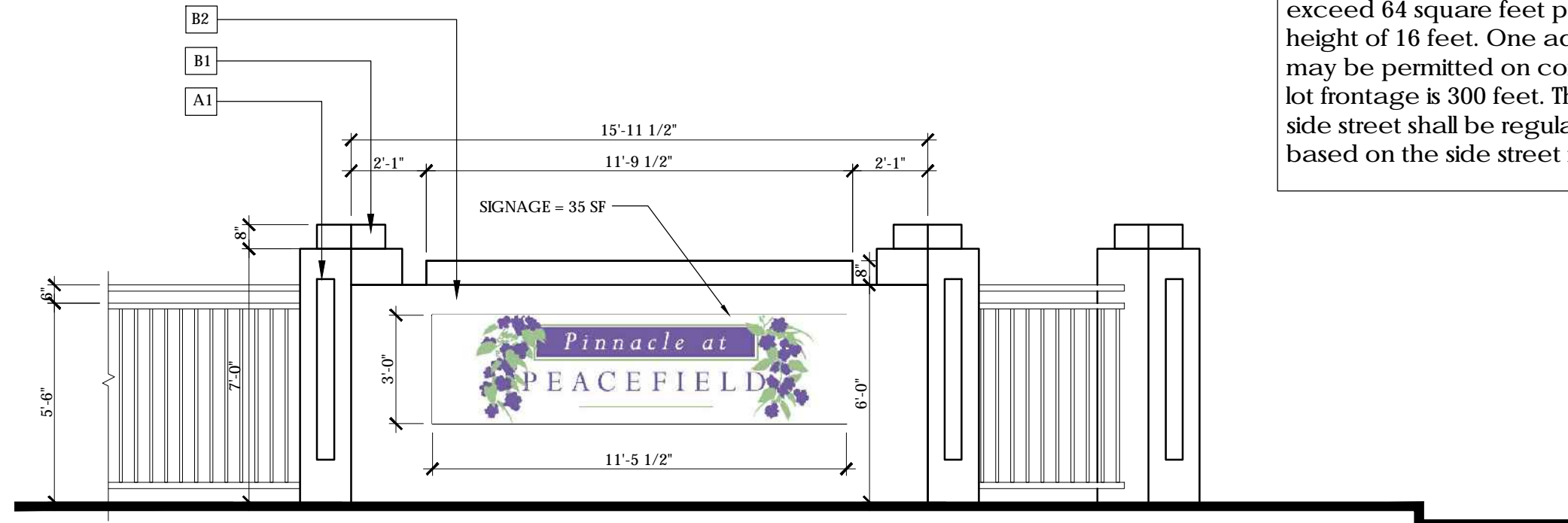
FENCE COLUMN SECTION  
SCALE: 1/2" = 1'-0"



PVC FENCE ELEVATION (SOUTH SIDE)  
SCALE: 1/4" = 1'-0"

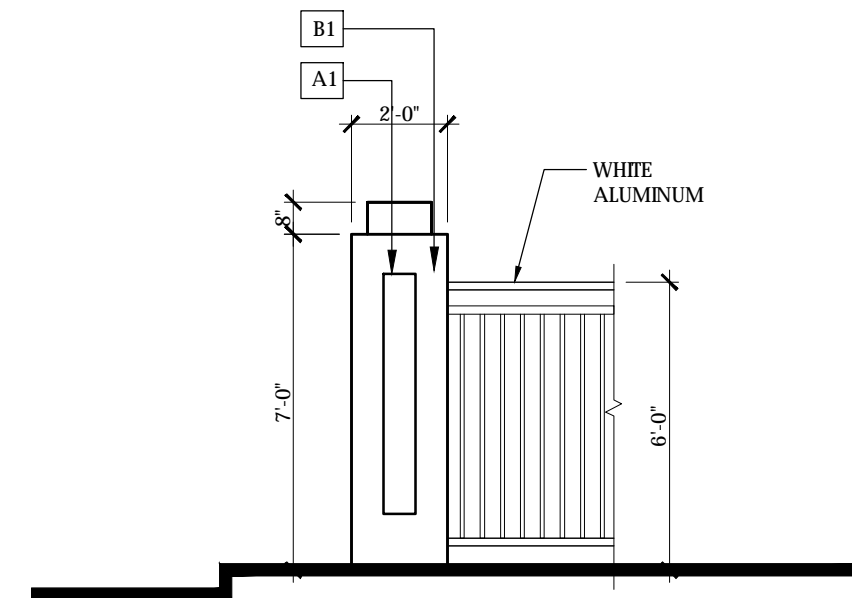


PVC FENCE ELEVATION (EAST & WEST SIDE)  
SCALE: 1/4" = 1'-0"



MONUMENT SIGN ELEVATION  
SCALE: 1/4" = 1'-0"

City of Hollywood Code of Ordinances - Article 8:  
8.5(3), Office Districts , Monument Sign:  
For properties with a minimum of 300 feet of street  
frontage: 1 sign with an overall sign area not to  
exceed 64 square feet per side and a maximum  
height of 16 feet. One additional monument sign  
may be permitted on corner lots where the primary  
lot frontage is 300 feet. The height and area of the  
side street shall be regulated as indicated above  
based on the side street frontage.



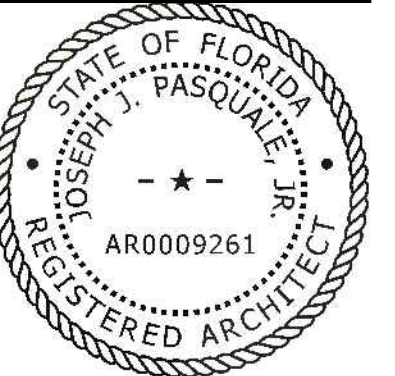
COLUMN & FENCE ELEVATION  
SCALE: 1/4" = 1'-0"

## COLOR LEGEND

### COLOR LEGEND

[B1]	BODY COLOR	WARM LIGHT TAN (ARISTOCRAT IVORY (ECC-52-2)	
[B2]	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
[T1]	TRIM COLOR	ULTRA PURE WHITE	
[G1]	GLASS COLOR	TINTED	
[A1]	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2	
[A2]	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS	

NOTE: BEHR PAINT COLORS AND CODES.



## PINNACLE AT PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

### REVISIONS

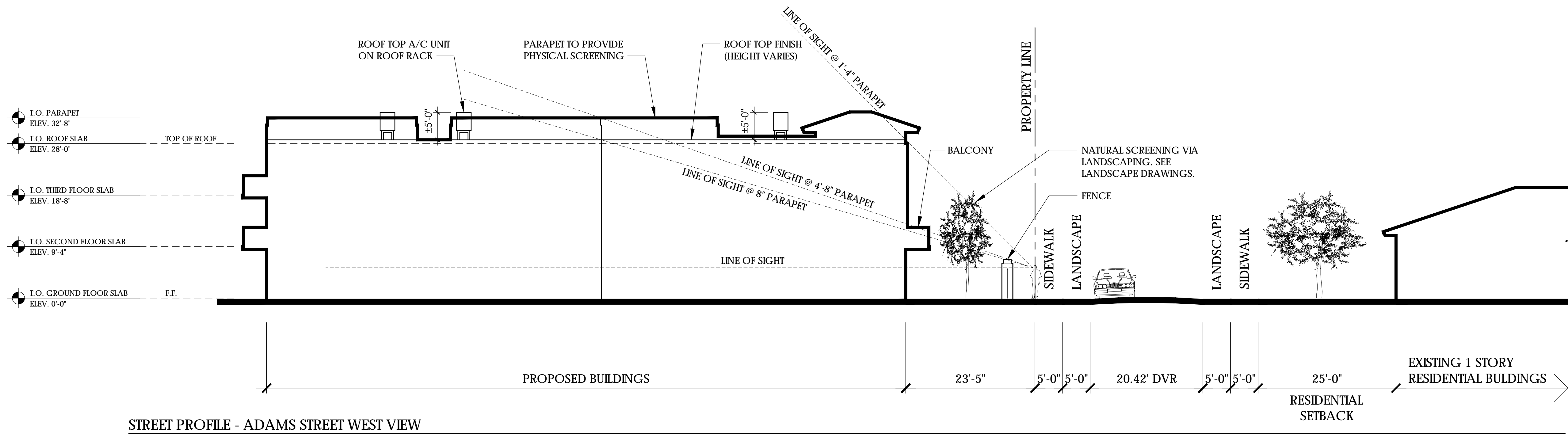
12/01/17 PACO SUBMITTAL  
01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

## SITE SECTION ENTRY MONUMENT

A-1.0

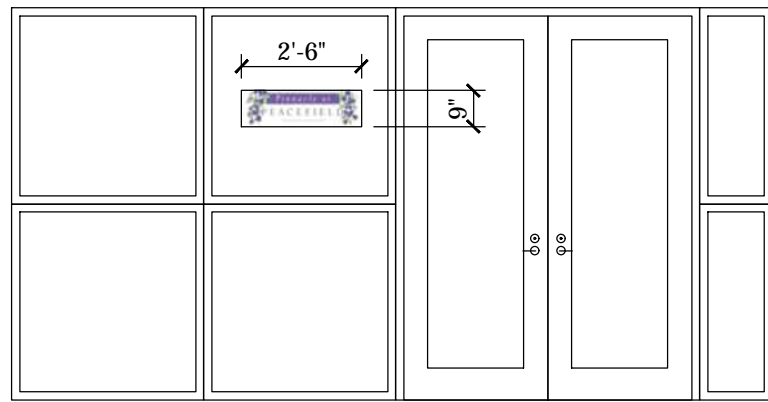
SITE PLAN APPROVAL



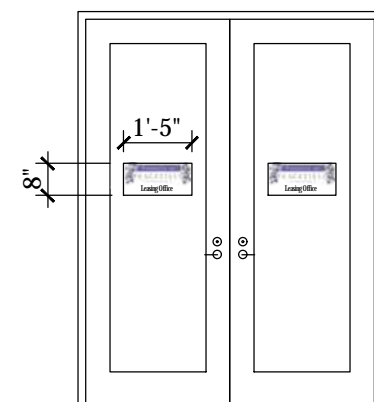


STREET PROFILE - ADAMS STREET WEST VIEW  
SCALE: 3/32" = 1'-0"

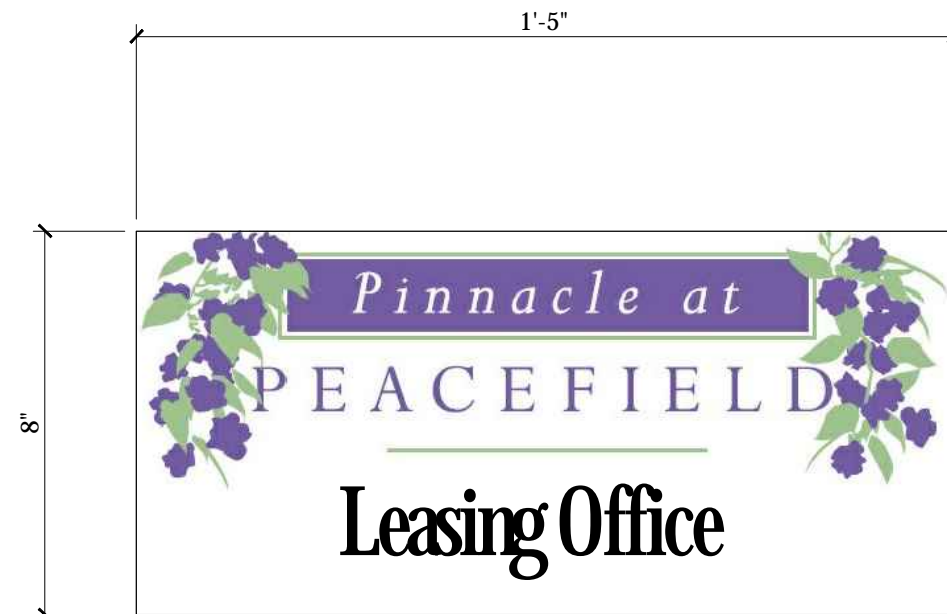
City of Hollywood Code of Ordinances - Article 8:  
8.5(3), Office Districts , Window Sign:  
15 % of the window area not to exceed 20 square  
feet.



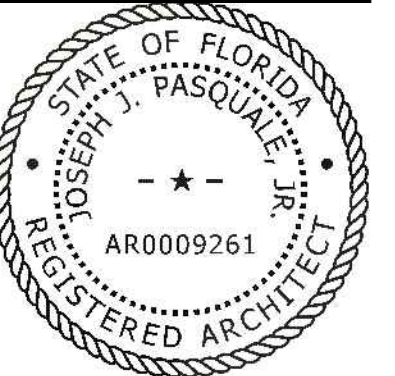
LOBBY SIGNAGE  
SCALE: 1/4" = 1'-0"



LEASING OFFICE SIGNAGE  
SCALE: 1/4" = 1'-0"



ENLARGED DOOR SIGNAGE  
SCALE: 3" = 1'-0"



PINNACLE AT  
PEACEFIELD  
ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

REVISIONS  
12/01/17 PACO SUBMITTAL  
01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

STREET PROFILE  
DOOR SIGNAGE

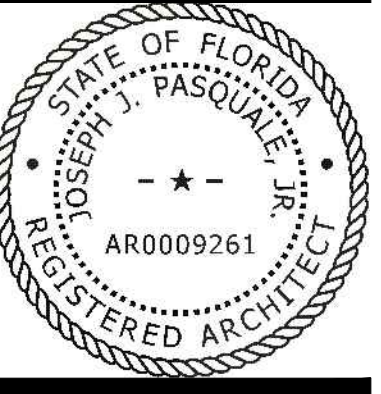
A-1.1

SITE PLAN APPROVAL

DESIGNED PKA

DRAWN PKA

CHECKED PKA



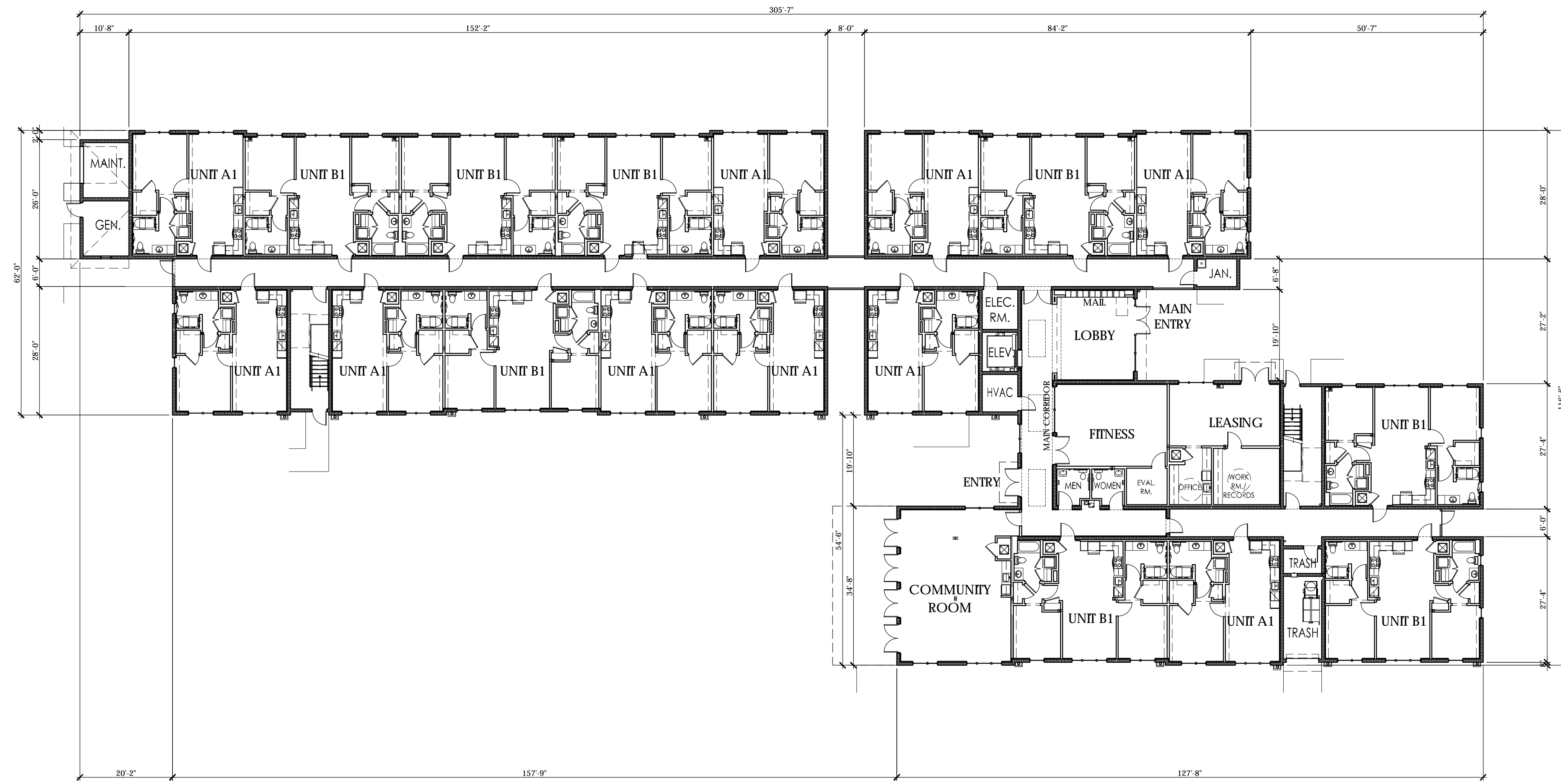
PINNACLE AT  
PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

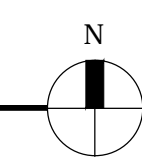
PROJECT NO. 1746  
DATE: 10/09/17

## R E V I S I O N S

12/01/17 PACO SUBMITTAL  
01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC



## FIRST FLOOR PLAN - WEST BUILDING



## CODE NOTES

2017 FBC:

OCCUPANCY	R2
CONSTRUCTION TYPE	III B
NFPA 101	

NOTE:  
THE BUILDINGS WILL COMPLY WITH NFPA 1-11.10\* AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.

WEST BUILDING  
FIRST FLOOR PLAN

A-2.0

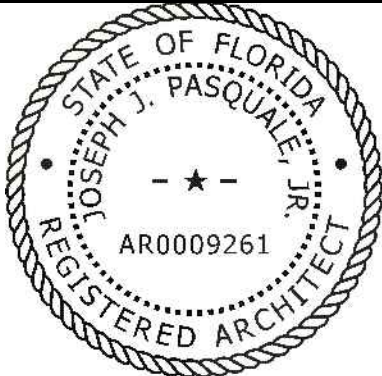
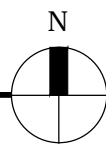
### SITE PLAN APPROVAL





SECOND FLOOR PLAN - WEST BUILDING

SCALE 1/16" = 1'-0"

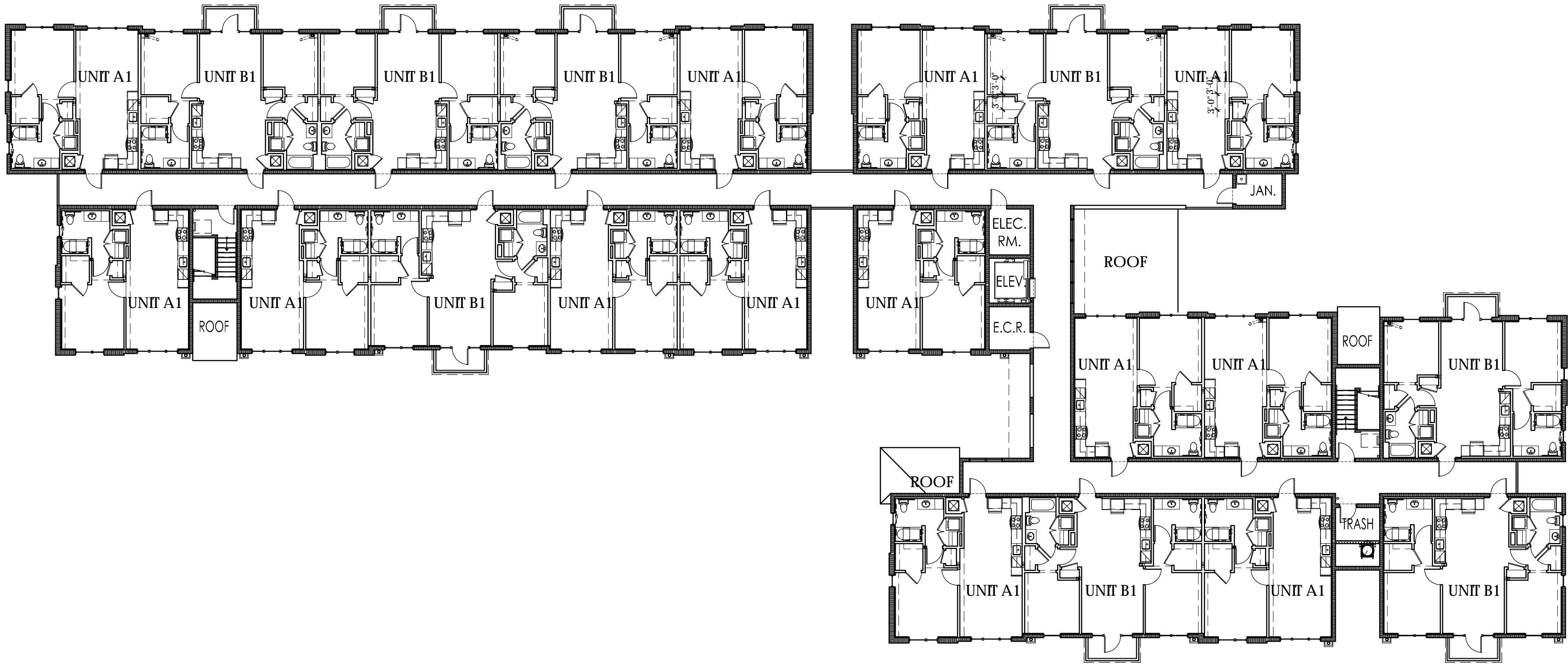


PINNACLE AT  
PEACEFIELD  
ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

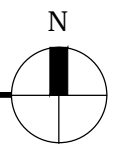
REVISIONS
12/01/17 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE
03/05/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC

WEST BUILDING  
SECOND FLOOR PLAN



THIRD FLOOR PLAN - WEST BUILDING

SCALE 1/16" = 1'-0"



5101 N.W. 21ST AVENUE, SUITE 360  
FORT LAUDERDALE, FL 33309  
T: (954) 332-0184  
F: (954) 332-0187  
AA0002517

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DESIGNED PKA  
DRAWN PKA  
CHECKED PKA



PINNACLE AT  
PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

REVISIONS
12/01/17 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE
03/05/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC

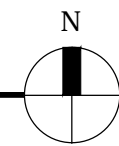
WEST BUILDING  
THIRD FLOOR PLAN





FIRST FLOOR PLAN - CENTRAL / EAST BUILDING

SCALE 1/16" = 1'-0"



5101 N.W. 21ST AVENUE, SUITE 360  
FORT LAUDERDALE, FL 33309  
T: (954) 332-0184  
F: (954) 332-0187  
AA0002517

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DESIGNED PKA  
DRAWN PKA  
CHECKED PKA



PINNACLE AT  
PEACEFIELD

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REVISIONS
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01/31/18 SITE PLAN APPROVAL PACKAGE
03/05/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC

CENTRAL/EAST BLDG.  
FIRST FLOOR PLAN

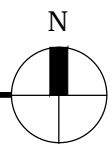
A-2.4

SITE PLAN APPROVAL



SECOND FLOOR PLAN - CENTRAL / EAST BUILDING

SCALE 1/16" = 1'-0"



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PINNACLE AT  
PEACEFIELD

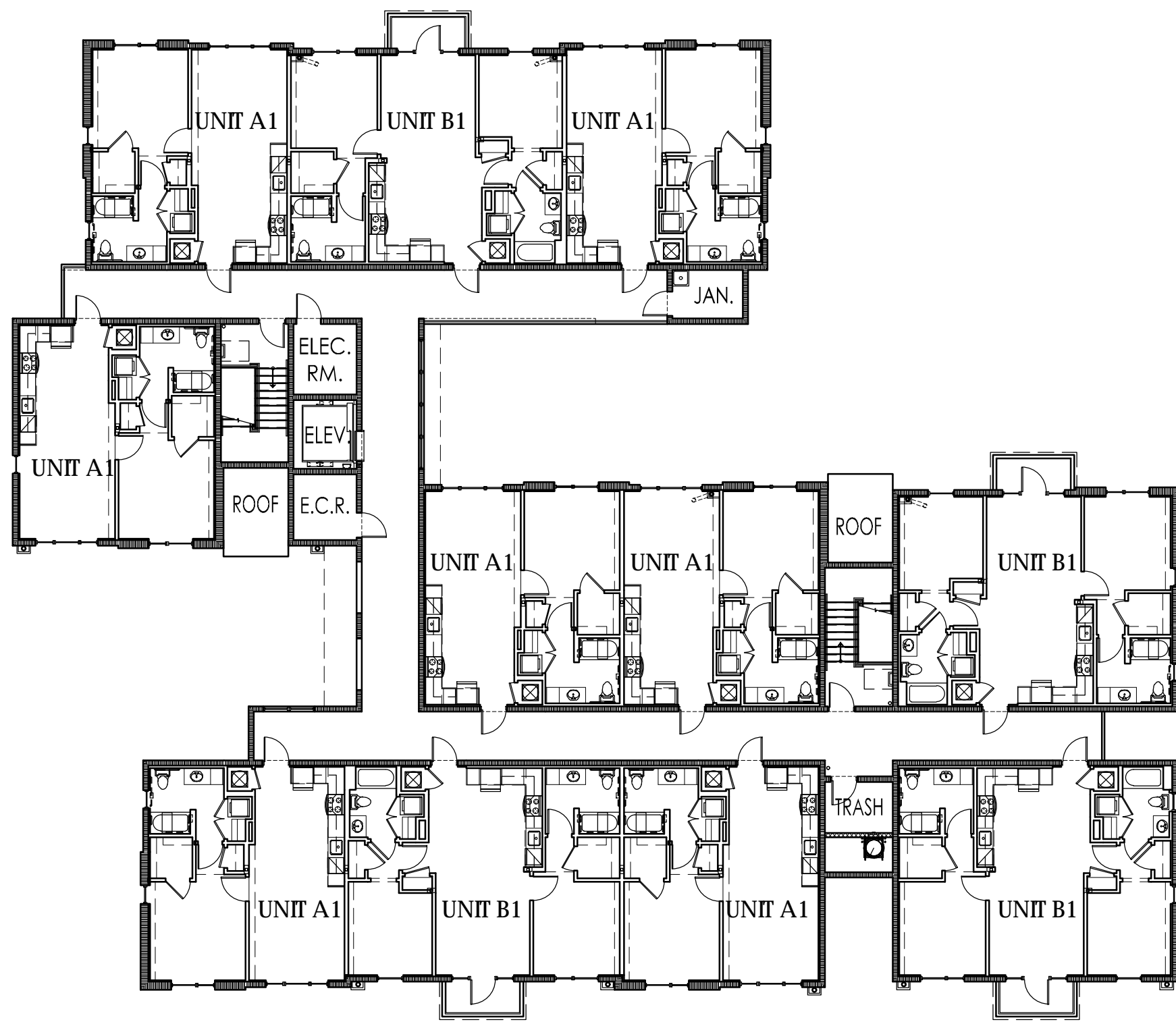
ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

REVISIONS
12/01/17 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE
03/05/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC

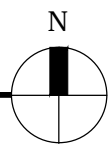
CENTRAL/EAST BLDG.  
SECOND FLOOR PLAN





THIRD FLOOR PLAN - CENTRAL / EAST BUILDING

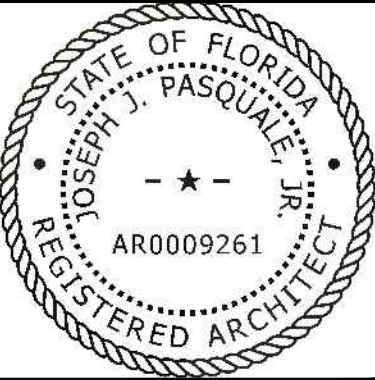
SCALE 1/16" = 1'-0"



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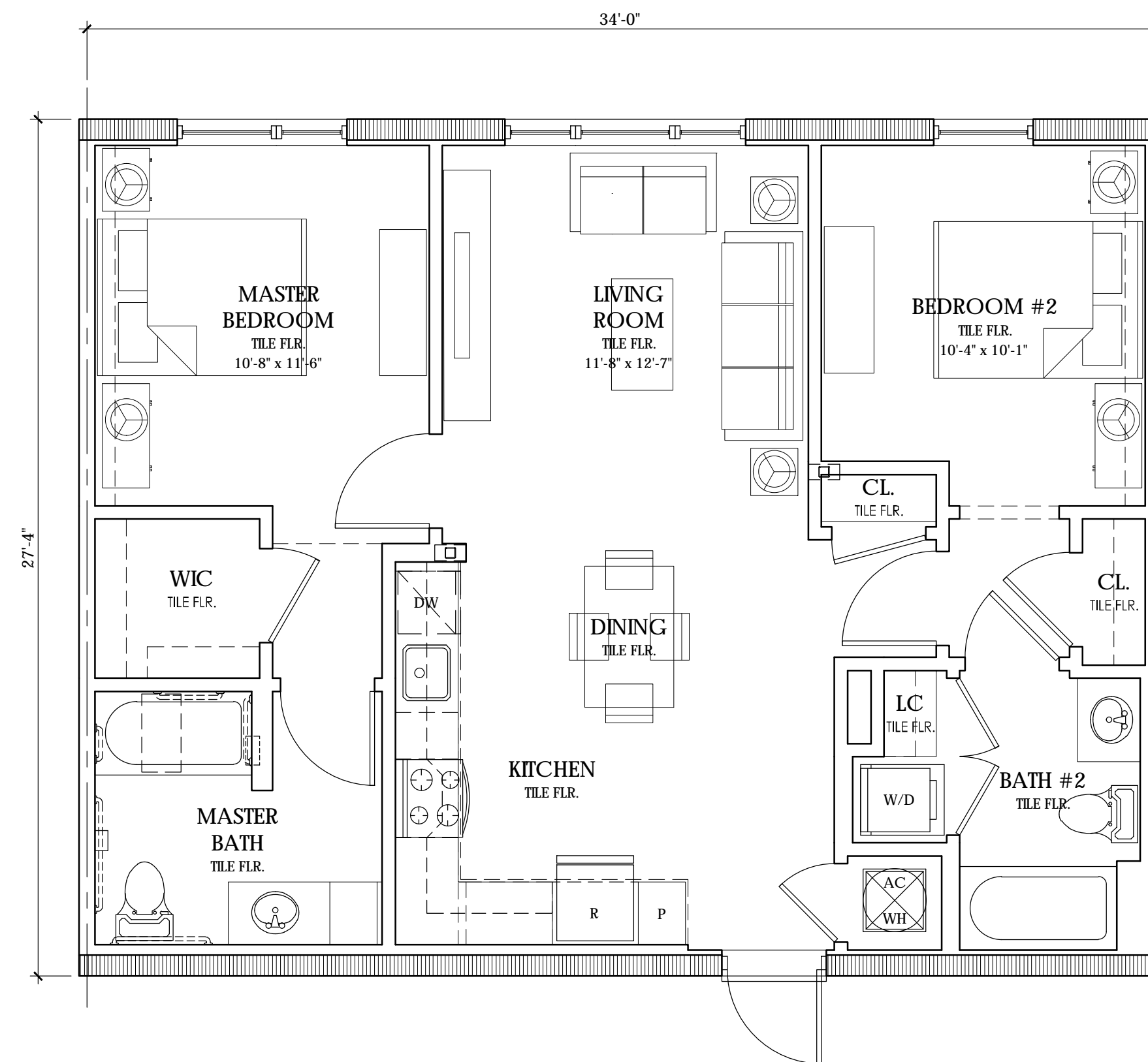
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PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

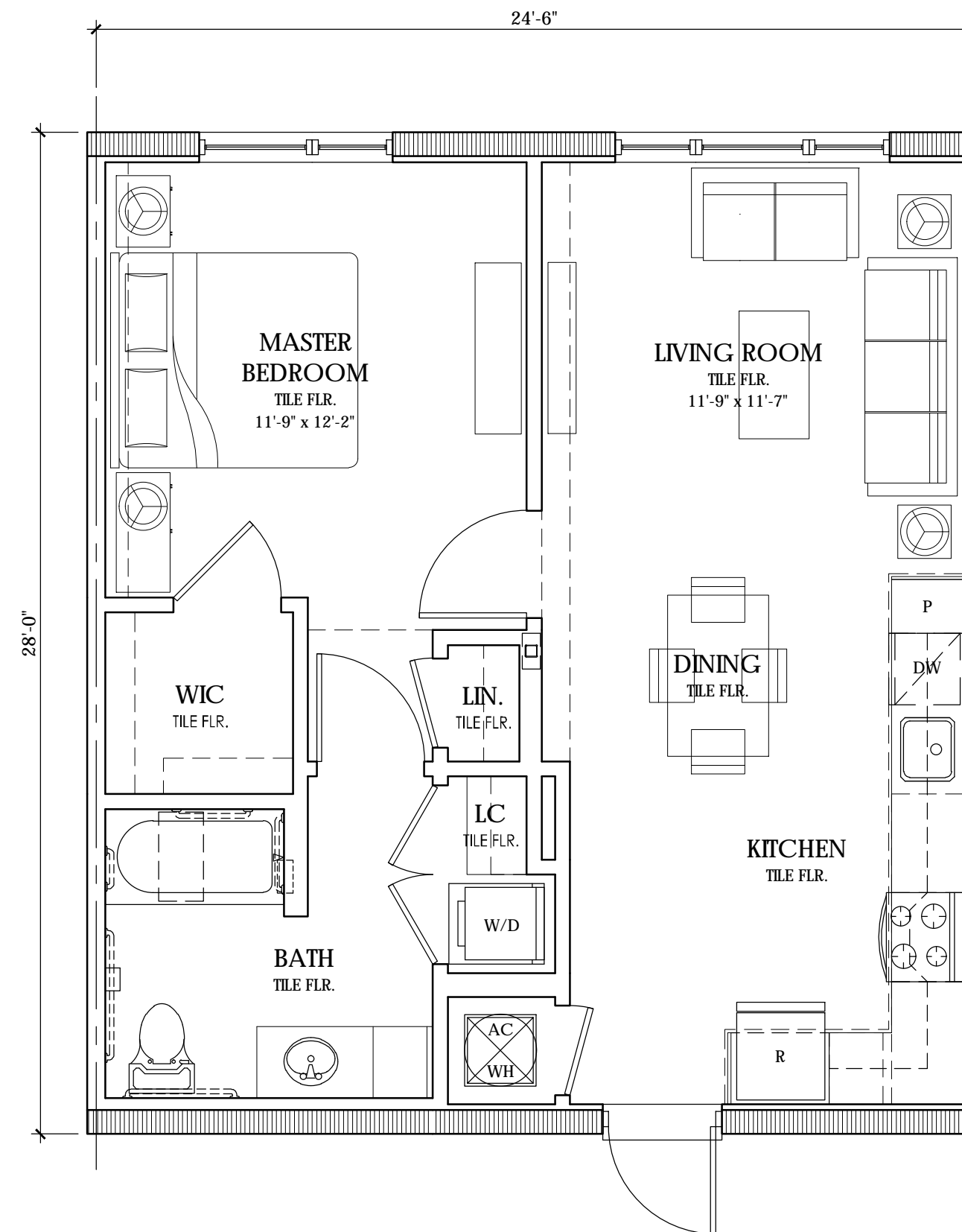
PROJECT NO. 1746  
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01/31/18 SITE PLAN APPROVAL PACKAGE
03/05/18 SITE PLAN APPROVAL PACKAGE
FINAL TAC

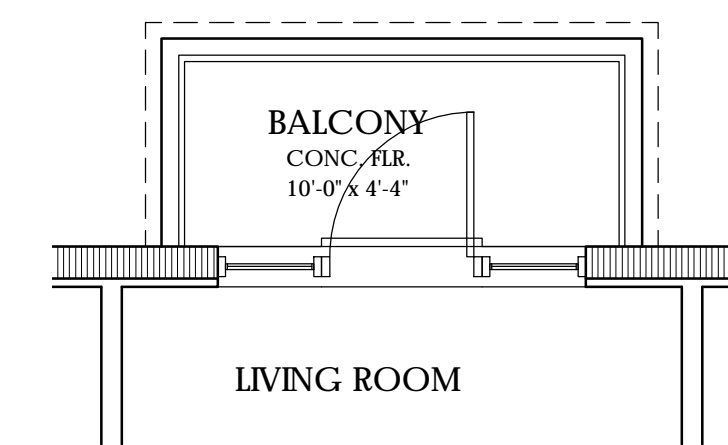
CENTRAL/EAST BLDG.  
THIRD FLOOR PLAN



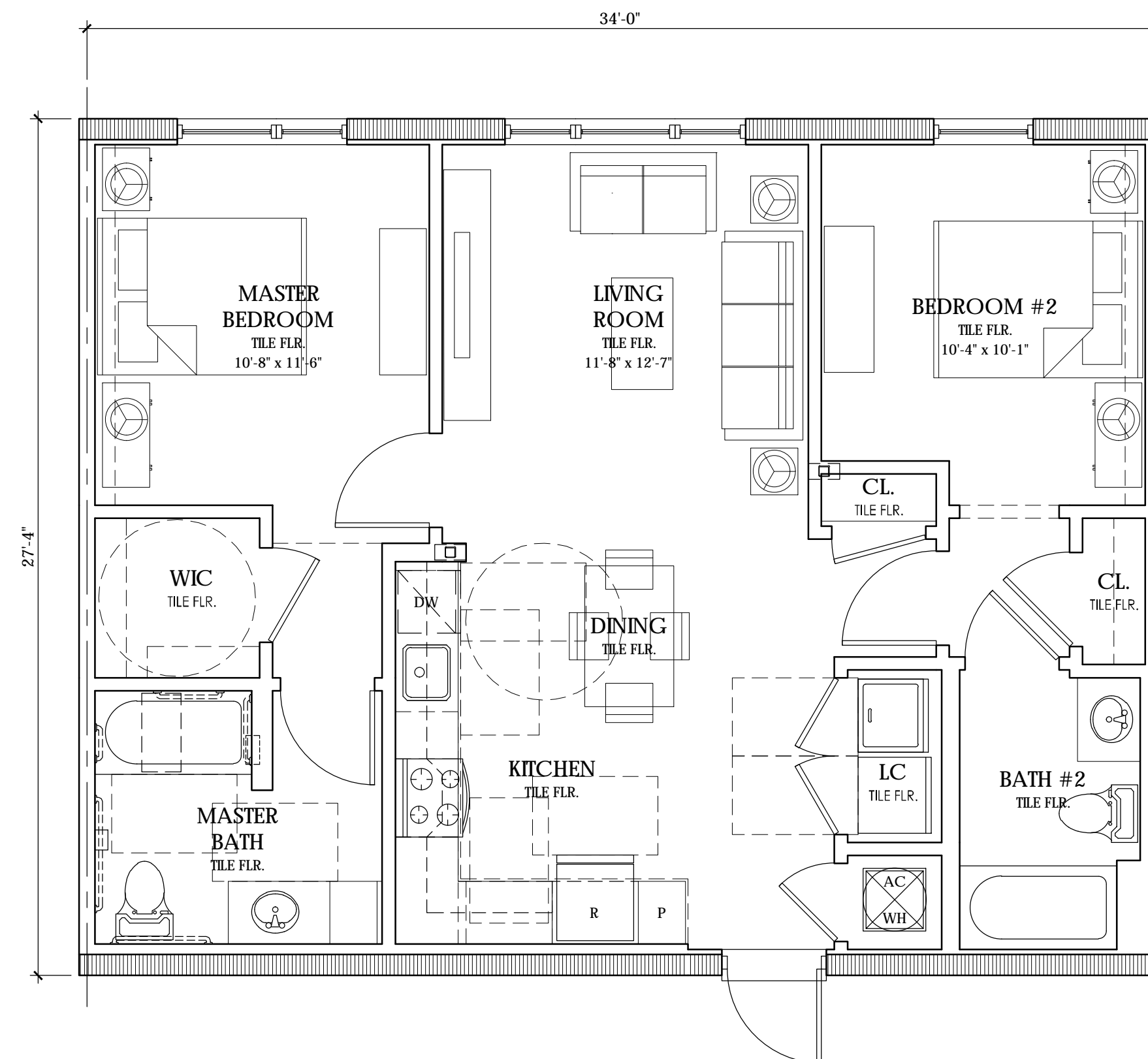
**FLOOR PLAN - UNIT B1**  
 SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE: 929 S.F.



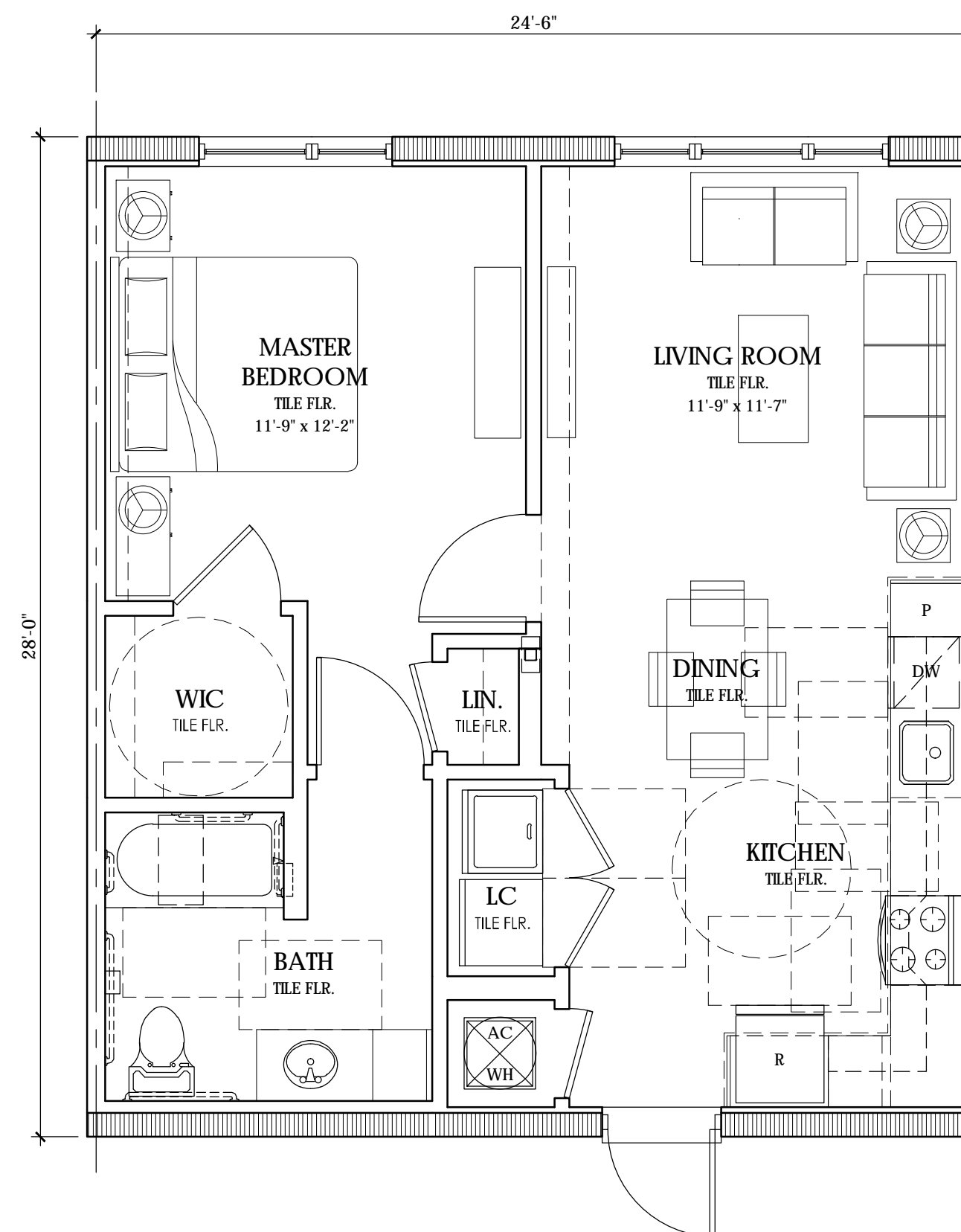
**FLOOR PLAN - UNIT A1**  
 SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE: 686 S.F.



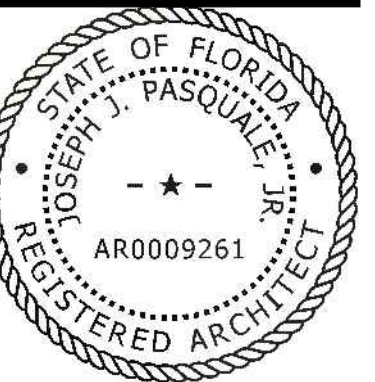
**PARTIAL FLOOR PLAN - TYPICAL UNIT BALCONY**  
 SCALE 1/4" = 1'-0" BALCONY AREA: 43.4 S.F.  
 (SEE FLOOR PLANS FOR LOCATIONS WHERE APPLIES)



**FLOOR PLAN - UNIT B2 (UFAS)**  
 SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE: 929 S.F.



**FLOOR PLAN - UNIT A2 (UFAS)**  
 SCALE 1/4" = 1'-0" RENTABLE SQUARE FOOTAGE: 686 S.F.



**PINNACLE AT PEACEFIELD**  
 ADAMS STREET  
 HOLLYWOOD, FL

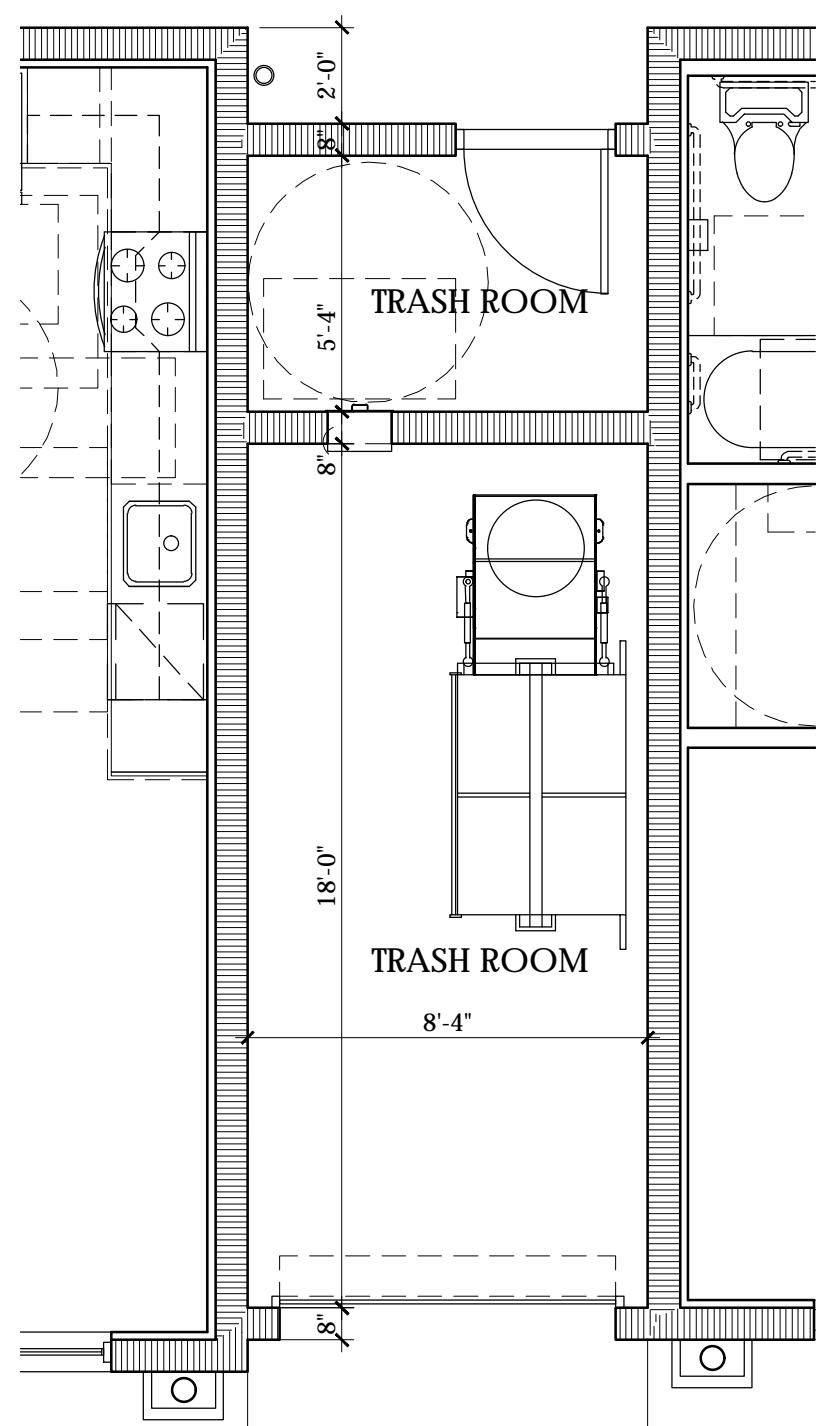
PROJECT NO. 1746  
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 12/01/17 PACO SUBMITTAL  
 01/31/18 SITE PLAN APPROVAL PACKAGE  
 03/05/18 SITE PLAN APPROVAL PACKAGE  
 FINAL TAC

**UNIT FLOOR PLANS**

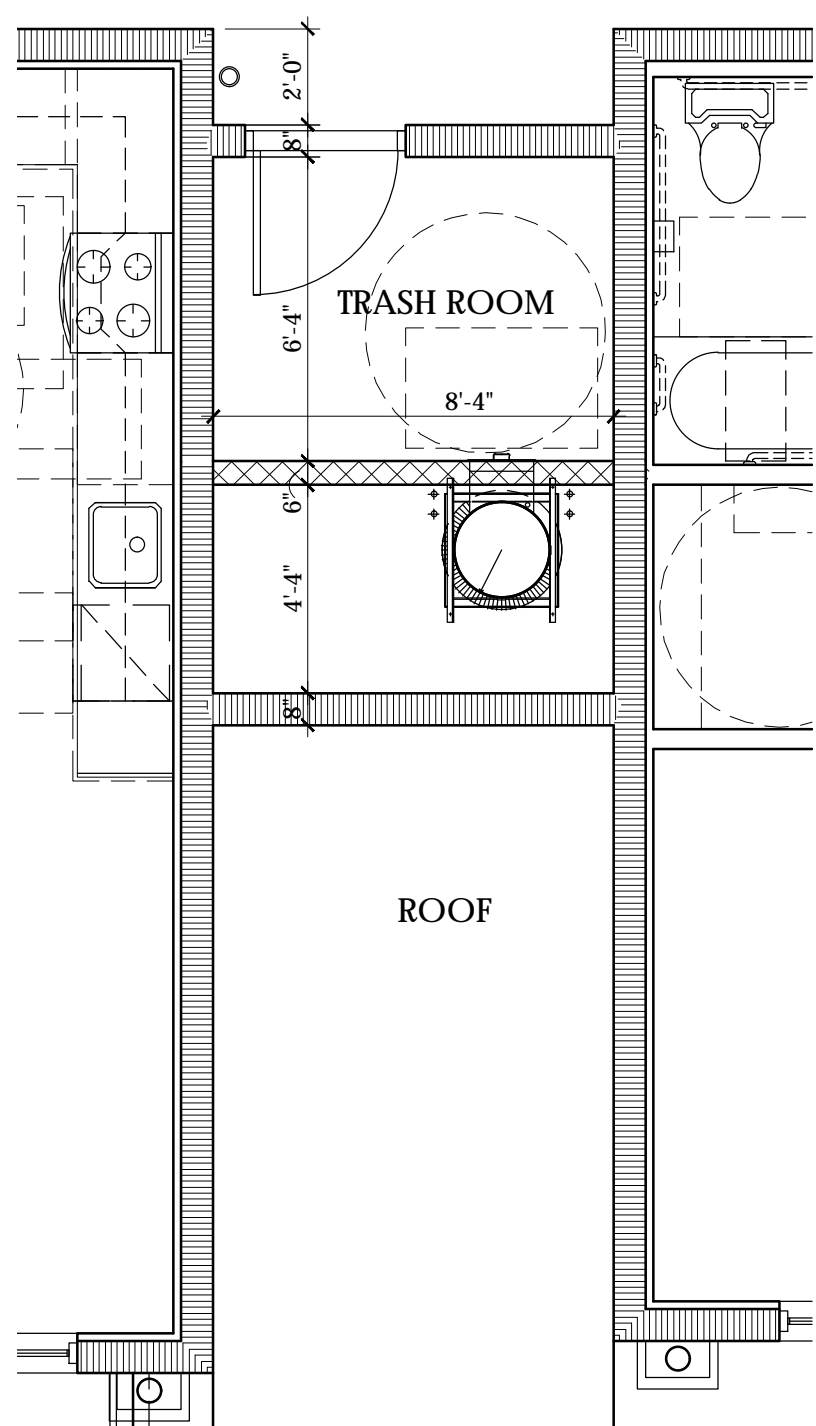
**A-3.0**

SITE PLAN APPROVAL



FIRST FLOOR - TRASH ROOM  
FLOOR PLAN

SCALE 1/4" = 1'-0"



SECOND AND THIRD FLOOR - TRASH ROOM  
FLOOR PLAN

SCALE 1/4" = 1'-0"

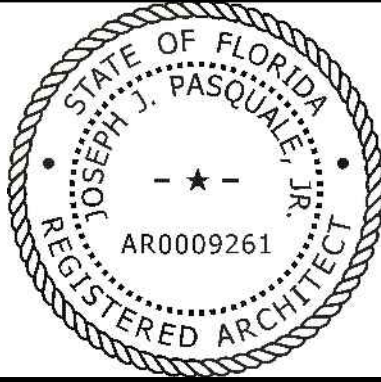
FLOOR PLAN KEYNOTES



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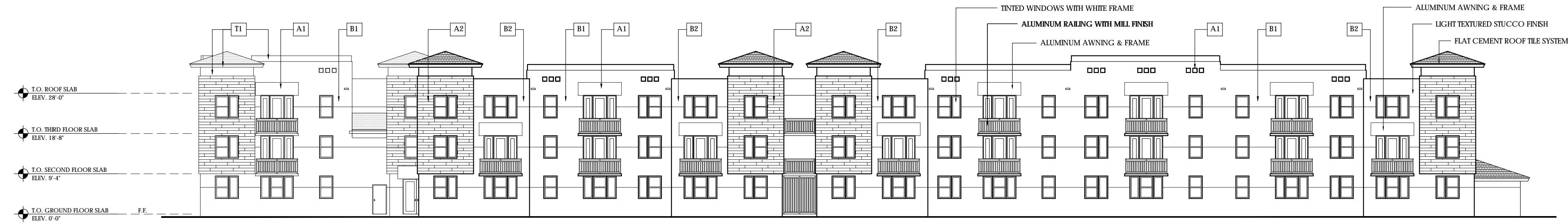
ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

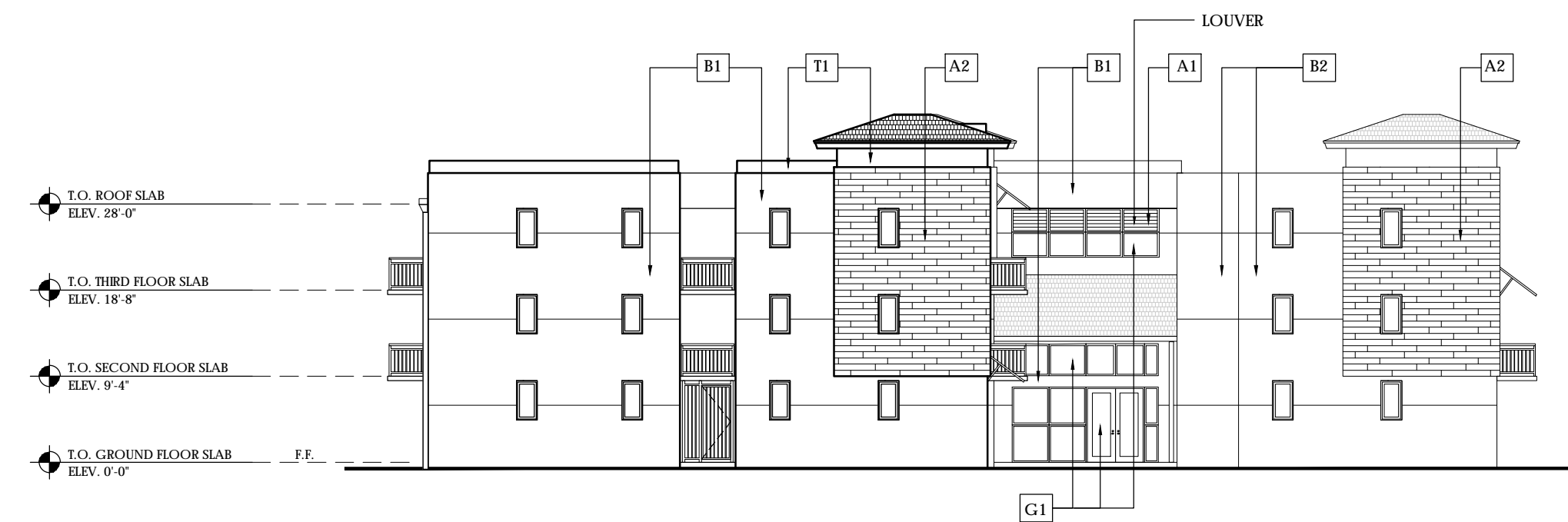
R E V I S I O N S  
12/01/17 PACO SUBMITTAL  
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03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

TRASH ROOMS





WEST BUILDING - NORTH (ADAMS ST.) ELEVATION  
SCALE 1/16" = 1'-0"



WEST BUILDING - EAST (LOBBY ENTRY) ELEVATION  
SCALE 1/16" = 1'-0"

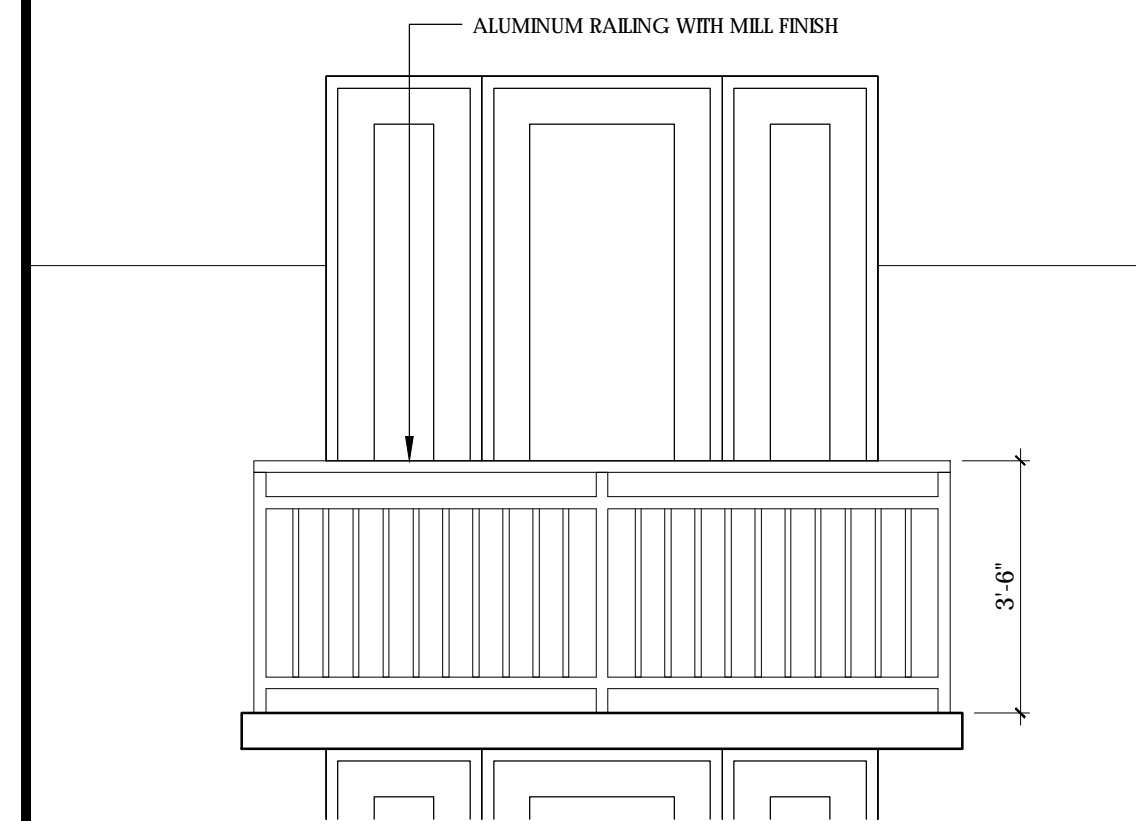


WEST BUILDING - WEST ELEVATION  
SCALE 1/16" = 1'-0"



WEST BUILDING - SOUTH (REAR) ELEVATION  
SCALE 1/16" = 1'-0"

## ELEVATION KEYNOTES



BALCONY RAILING  
SCALE 3/8" = 1'-0"

## COLOR LEGEND

COLOR LEGEND		
[B1]	BODY COLOR	WARM LIGHT TAN (ARISTOCRAT IVORY (ECC-52-2)
[B2]	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)
[T1]	TRIM COLOR	ULTRA PURE WHITE
[G1]	GLASS COLOR	TINTED
[A1]	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2
[A2]	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS

NOTE: BEHR PAINT COLORS AND CODES.

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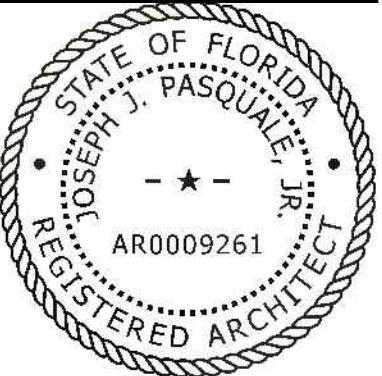
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## PINNACLE AT PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746

DATE: 10/09/17

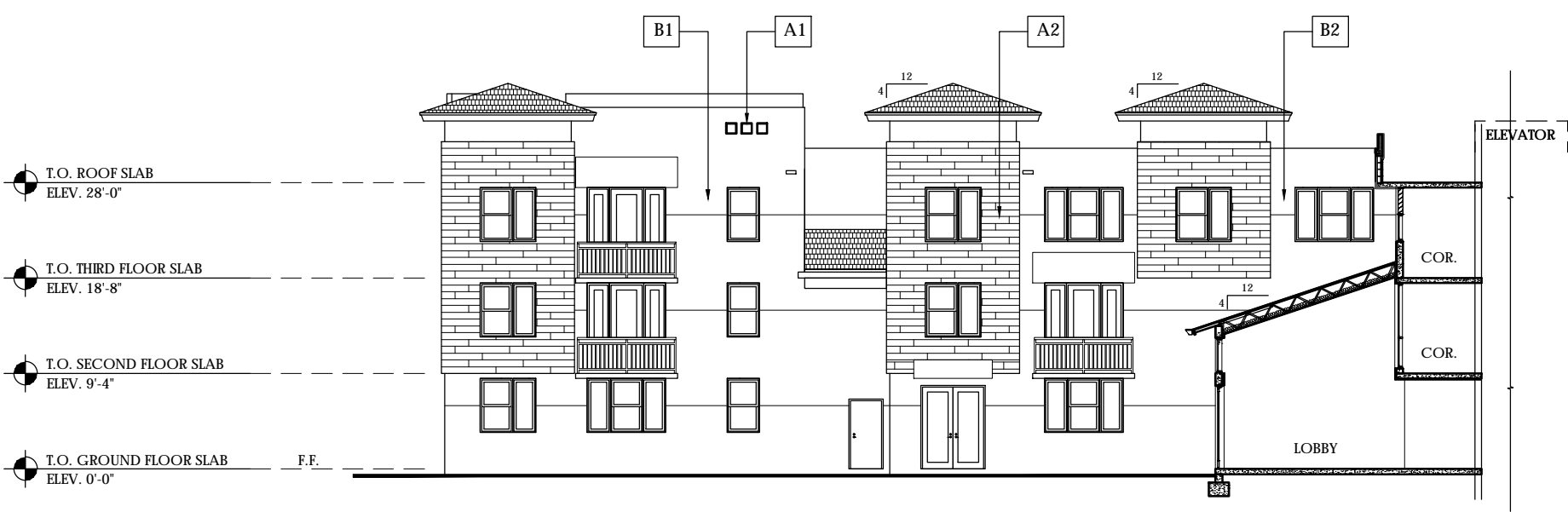
## REVISIONS

12/01/17 PACO SUBMITTAL  
01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

## WEST BUILDING ELEVATIONS

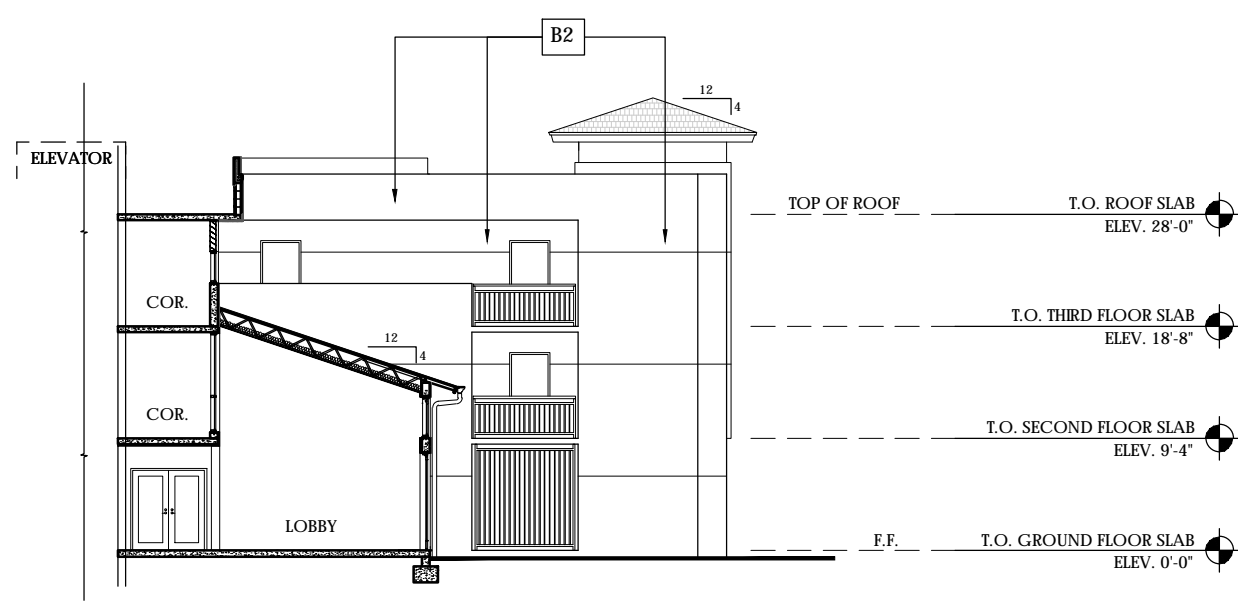
A-4.0

SITE PLAN APPROVAL



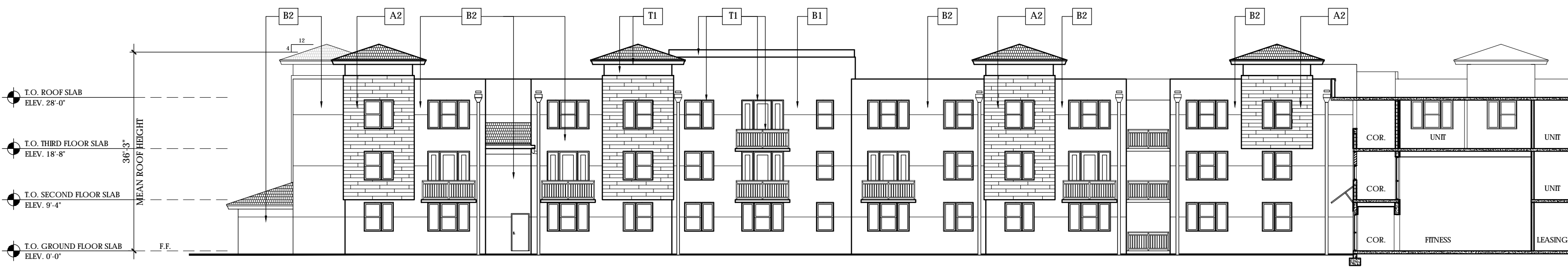
WEST BUILDING - NORTH (STREET)  
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



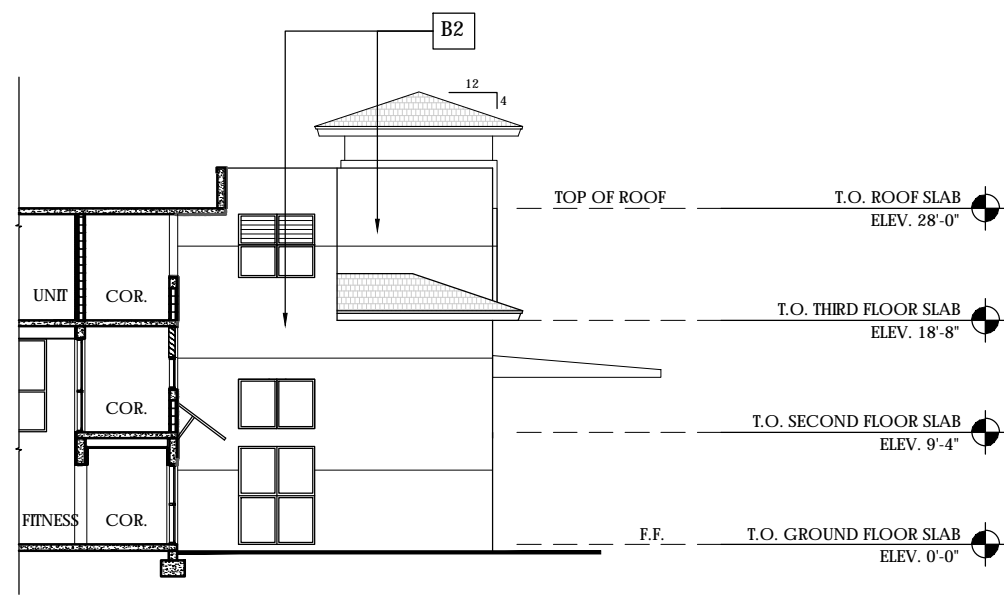
WEST BUILDING - SOUTH  
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



WEST BUILDING - SOUTH (REAR)  
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"



WEST BUILDING - NORTH (STREET)  
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"

## COLOR LEGEND

### COLOR LEGEND

[B1]	BODY COLOR	WARM LIGHT TAN (ARISTOCRAT IVORY (ECC-52-2))	
[B2]	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
[T1]	TRIM COLOR	ULTRA PURE WHITE	
[G1]	GLASS COLOR	TINTED	
[A1]	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2	
[A2]	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS	

NOTE: BEHR PAINT COLORS AND CODES.

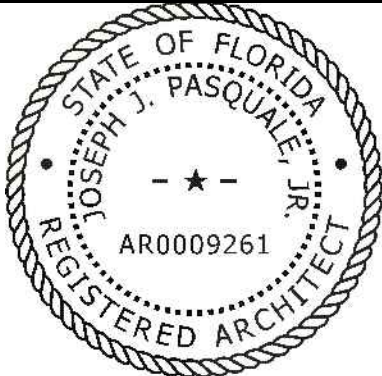
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## PINNACLE AT PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

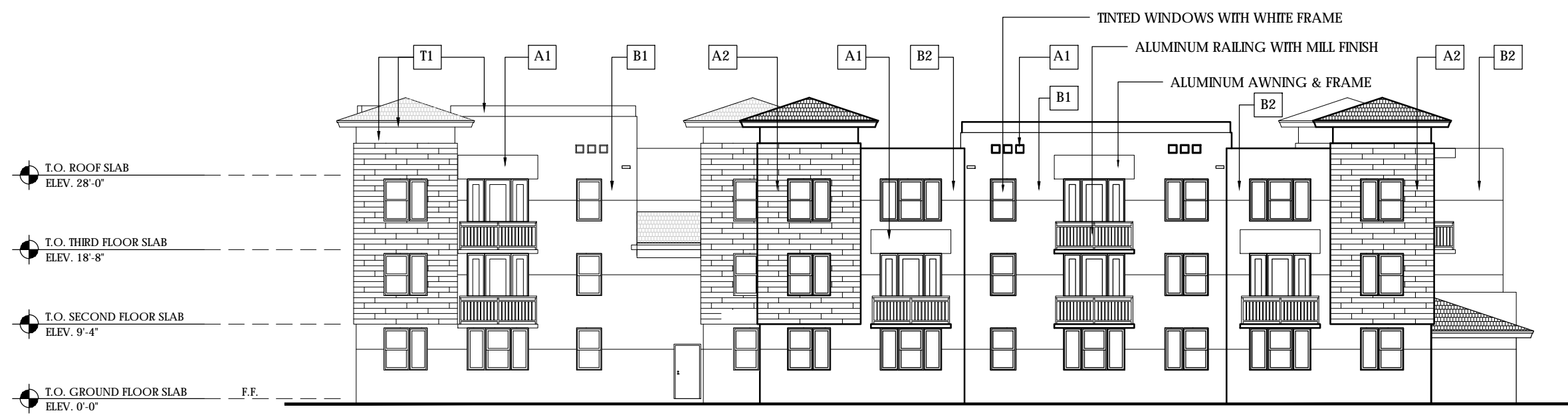
REVISIONS  
12/01/17 PACO SUBMITTAL  
01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

## WEST BUILDING SECTION/ELEVATIONS

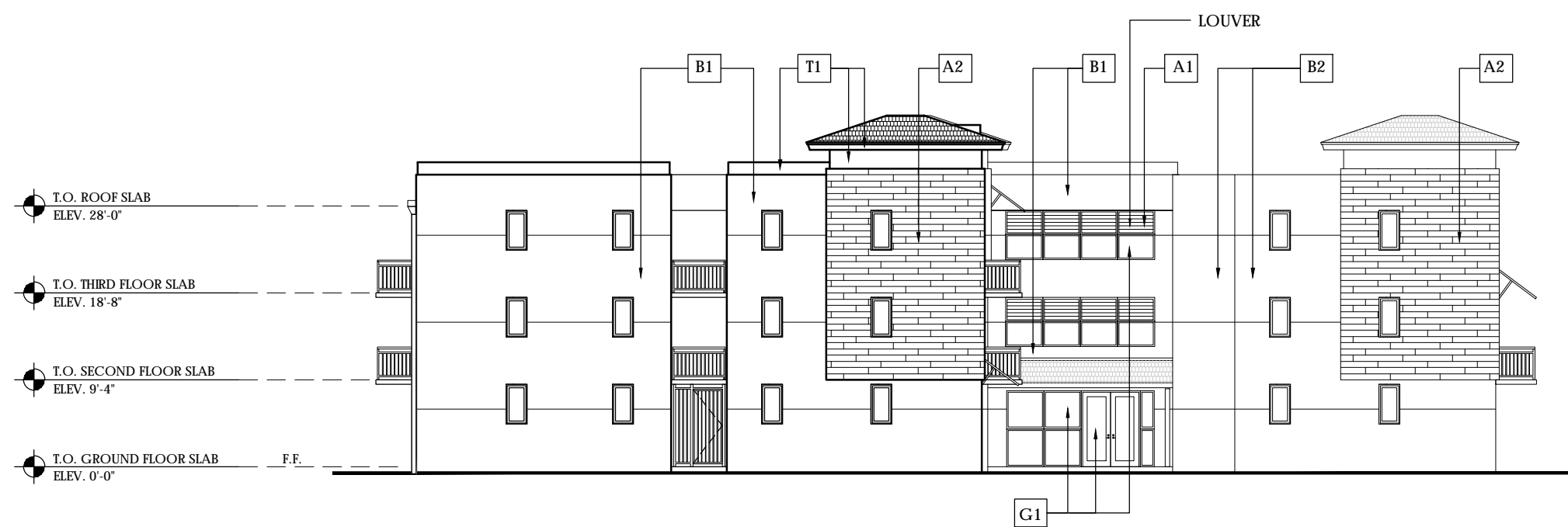
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SITE PLAN APPROVAL

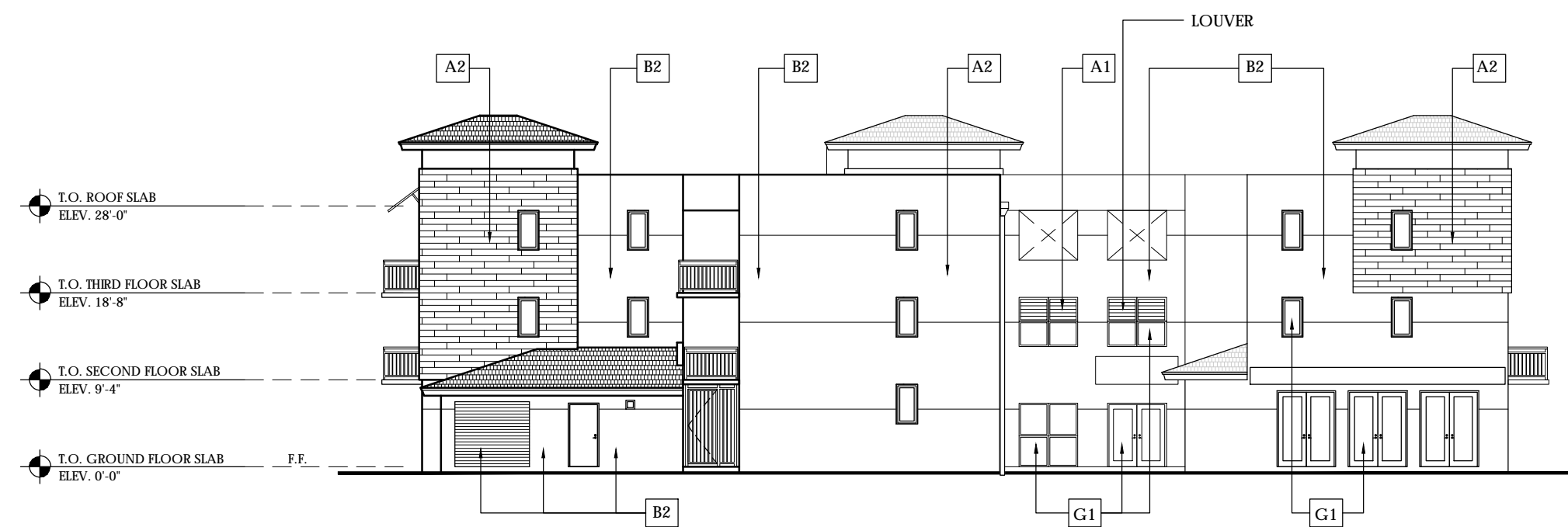




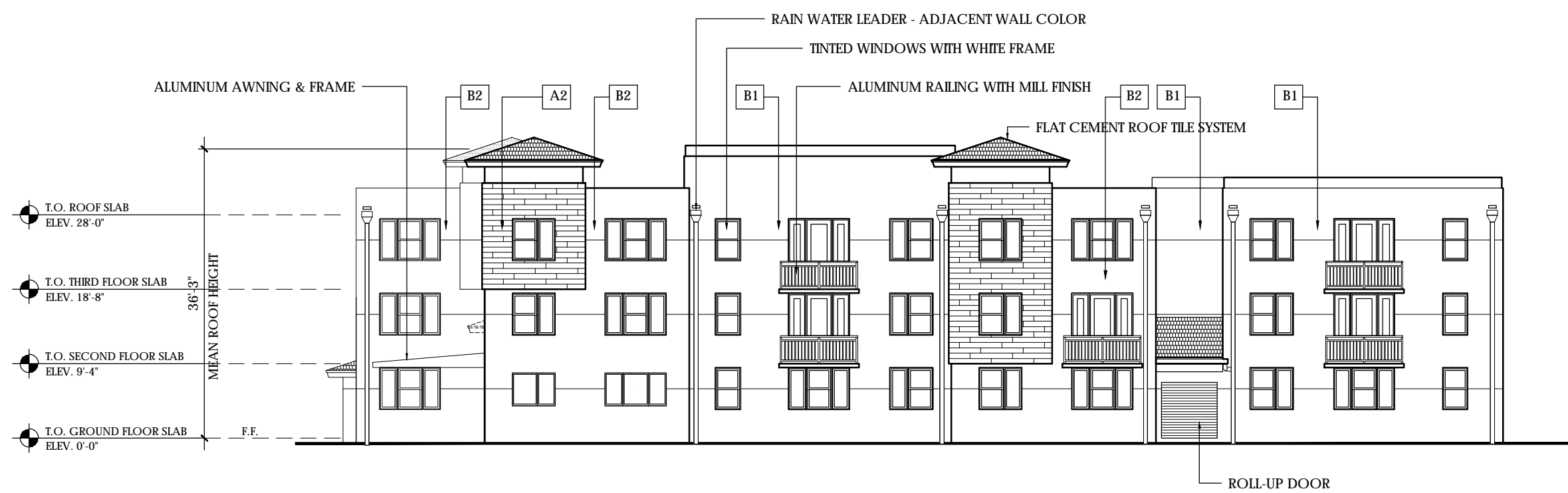
**CENTRAL/EAST BLDG. - NORTH (ADAMS ST.) ELEVATION**  
SCALE 1/16" = 1'-0"



**CENTRAL/EAST BLDG. - EAST (LOBBY ENTRY) ELEVATION**  
SCALE 1/16" = 1'-0"



**CENTRAL/EAST BLDG. - WEST ELEVATION**  
SCALE 1/16" = 1'-0"



**CENTRAL/EAST BLDG. - SOUTH (REAR) ELEVATION**  
SCALE 1/16" = 1'-0"

## COLOR LEGEND

### COLOR LEGEND

[B1]	BODY COLOR	WARM LIGHT TAN (ARISTOCRAT IVORY (ECC-52-2))	
[B2]	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
[T1]	TRIM COLOR	ULTRA PURE WHITE	
[G1]	GLASS COLOR	TINTED	
[A1]	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2	
[A2]	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS	

NOTE: BEHR PAINT COLORS AND CODES.

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## PINNACLE AT PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746

DATE: 10/09/17

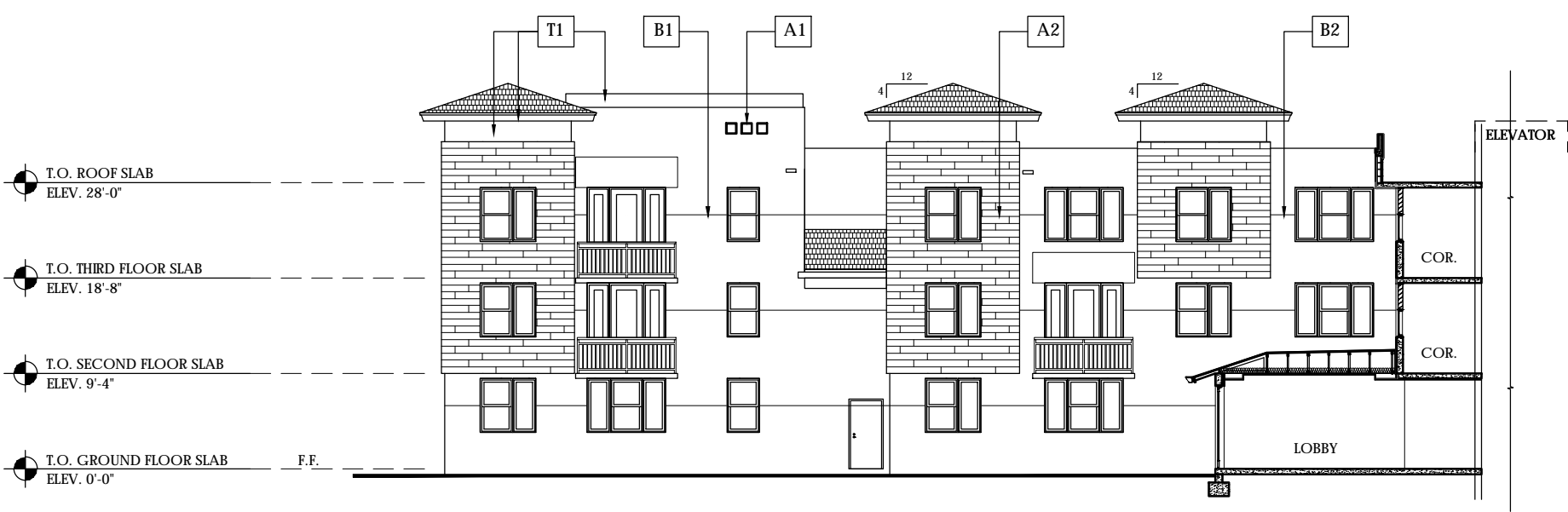
### REVISIONS

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01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

## CENTRAL/EAST BUILD. ELEVATIONS

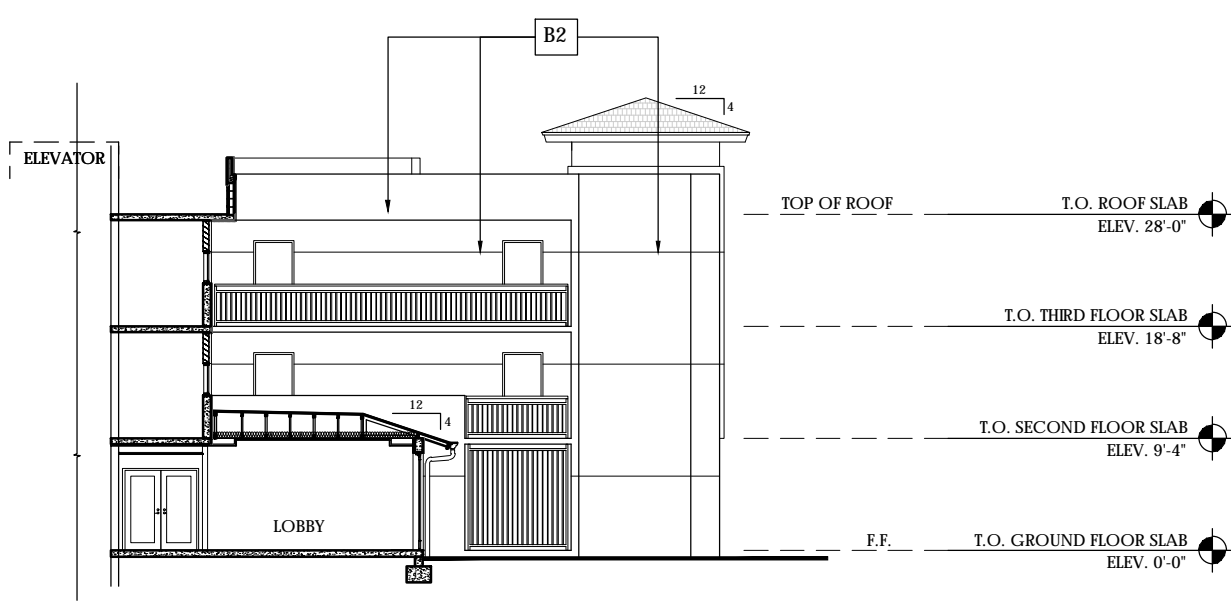
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SITE PLAN APPROVAL



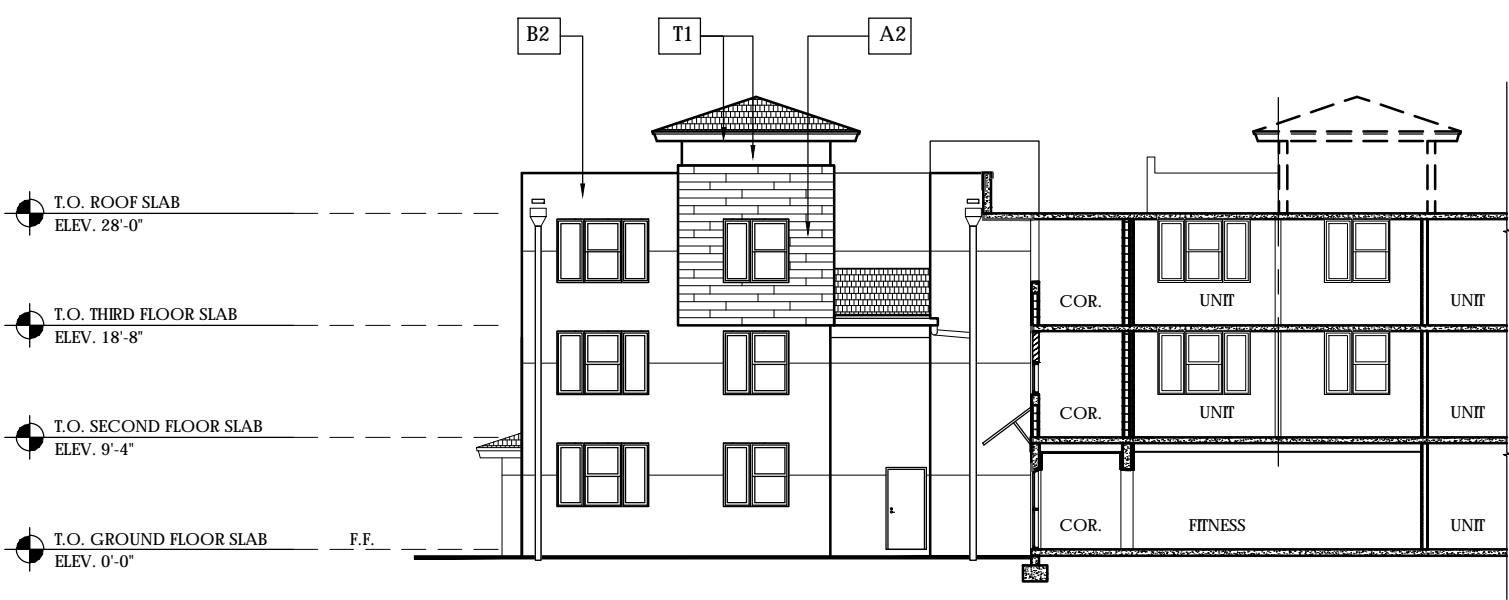
CENTRAL/EAST BLDG. - NORTH (STREET)  
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



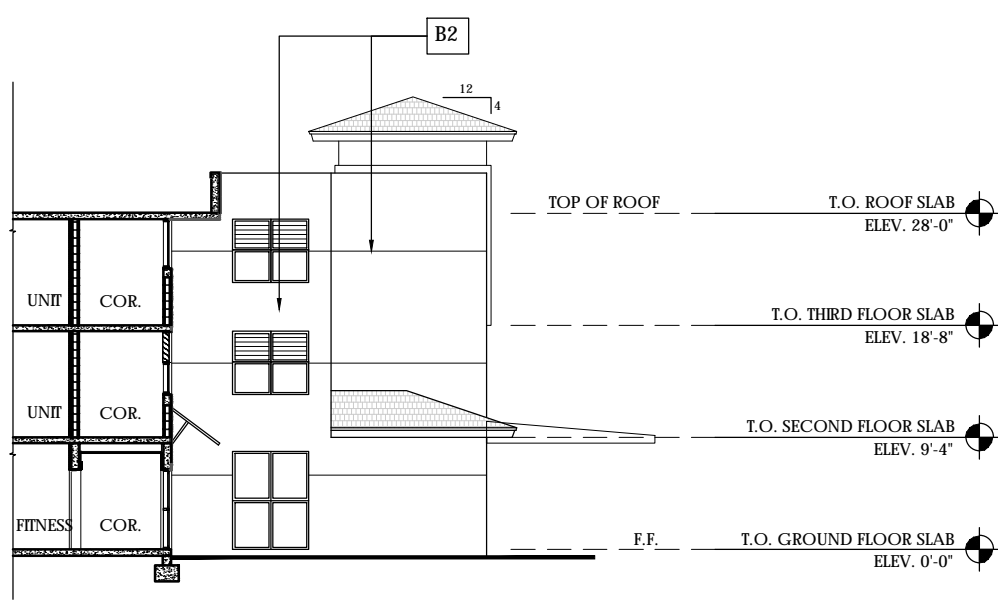
CENTRAL/EAST BLDG. - SOUTH  
SECTION/ELEVATION THRU LOBBY

SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - SOUTH (REAR)  
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - NORTH (STREET)  
SECTION/ELEVATION THRU FITNESS

SCALE 1/16" = 1'-0"

## COLOR LEGEND

### COLOR LEGEND

[B1]	BODY COLOR	WARM LIGHT TAN (ARISTOCRAT IVORY (ECC-52-2))	
[B2]	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
[T1]	TRIM COLOR	ULTRA PURE WHITE	
[G1]	GLASS COLOR	TINTED	
[A1]	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2	
[A2]	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS	

NOTE: BEHR PAINT COLORS AND CODES.

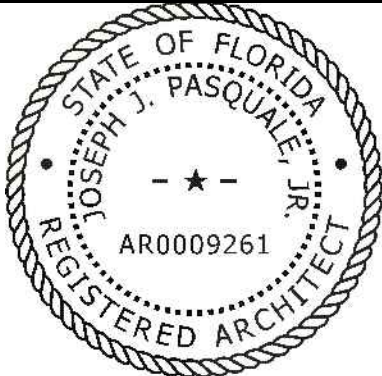
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## PINNACLE AT PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746  
DATE: 10/09/17

REVISIONS  
12/01/17 PACO SUBMITTAL  
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03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

## CENTRAL/EAST BUILD. SECTION/ELEVATIONS

A-4.3

SITE PLAN APPROVAL



DESIGNED MLD

DRAWN MLD

CHECKED MLD



## PINNACLE AT PEACEFIELD

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DATE: 10/09/17

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01/31/18 SITE PLAN APPROVAL PACKAGE  
03/05/18 SITE PLAN APPROVAL PACKAGE  
FINAL TAC

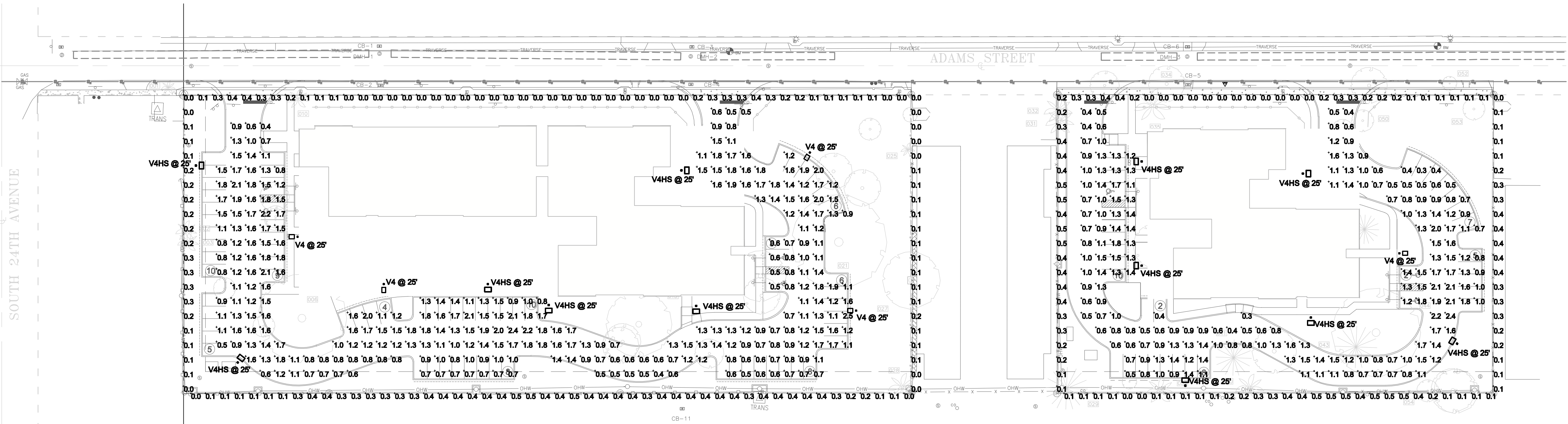
## PHOTOMETRIC SITE PLAN

E-1.1

DESIGN DEVELOPMENT

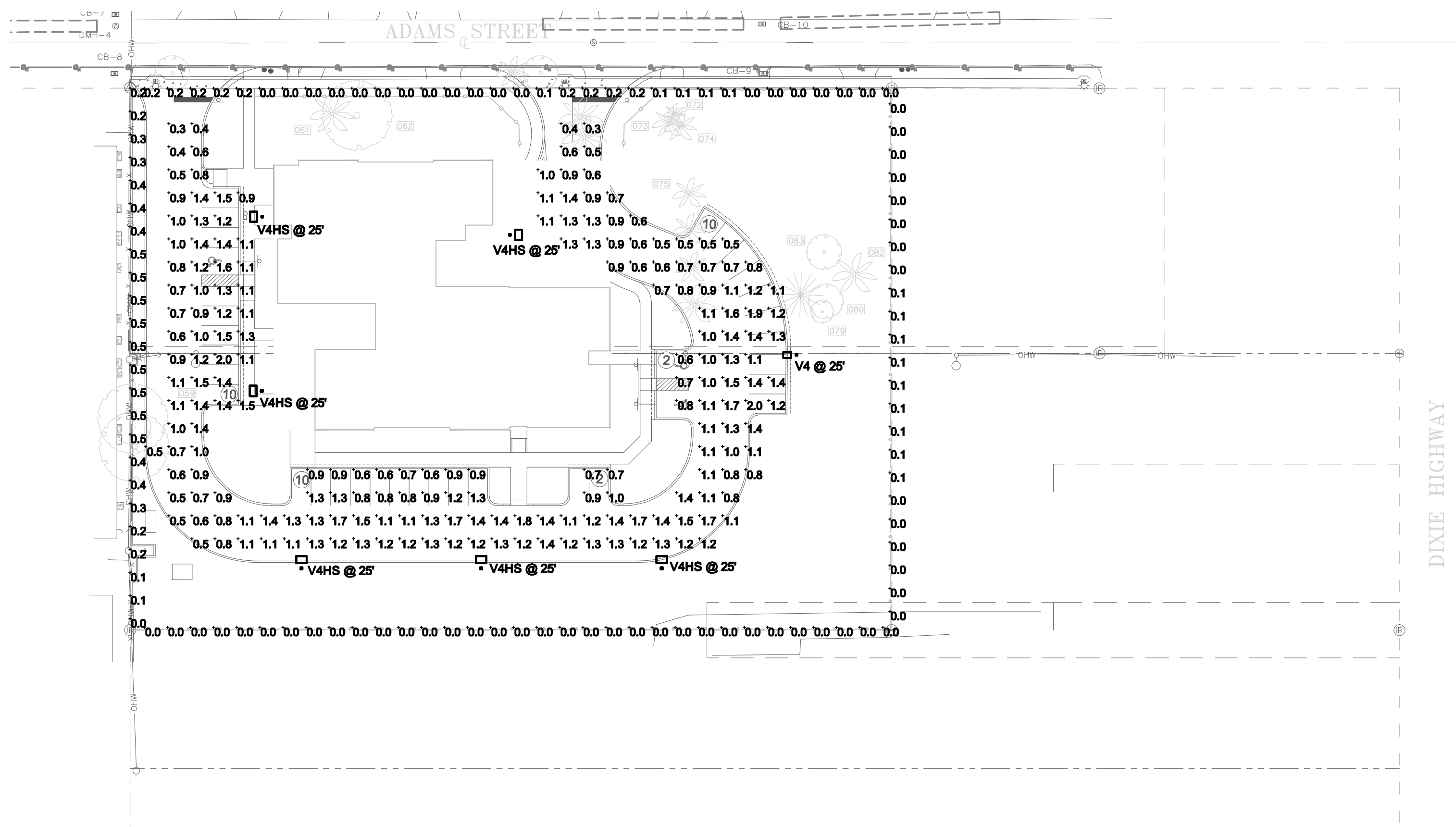
760 FLORIDA CENTRAL PKWY  
SUITE 224  
LONGWOOD, FL 32750  
PH: 407.636.7999  
PROJECT #: 18005

**MiGRE**  
Engineers LLC



### PHOTOMETRIC SITE PLAN (WEST AND CENTRAL PROPERTIES)

SCALE: 1" = 40'-0"



### PHOTOMETRIC SITE PLAN (EAST/CRA PROPERTY)

SCALE: 1" = 40'-0"



### PHOTOMETRIC SITE PLAN NOTES

LIGHTING FIXTURES AND LAYOUT WERE DESIGNED IN STRICT ACCORDANCE WITH THE BROWARD COUNTY, FLORIDA - CODE OF ORDINANCES, CHAPTER 39 - ZONING, ARTICLE XII. - OFF-STREET PARKING AND LOADING. IF SUBSTITUTIONS OF THE LIGHTING FIXTURES SPECIFIED ARE PROPOSED, CONTRACTOR SHALL SUBMIT A COMPUTER GENERATED PHOTOMETRIC CALCULATION SIMILAR TO THE PHOTOMETRIC PLAN SHOWN ON THIS SHEET TO DEMONSTRATE THE PROPOSED SUBSTITUTES PROVIDE EQUAL OR GREATER PERFORMANCE THAN THE FIXTURES SPECIFIED. CONTRACTOR SHALL ENSURE THAT THE PHOTOMETRIC PERFORMANCE OF THE SUBSTITUTE FIXTURES MEETS ALL REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION. ALL LUMEN DEPRECIATION FACTORS RECOMMENDED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA FOR THE LAMP TYPES USED SHALL BE APPLIED TO THE CALCULATION.

ALL FIXTURES SHALL BE LISTED BY THE MANUFACTURER AS MEETING IES FULL CUTOFF CRITERIA PER LOCAL CODE REQUIREMENTS. ALL POLES SHALL BE RATED TO CARRY THE EPA AND WEIGHT OF THE FIXTURES AND ACCESSORIES IN THE WIND LOAD APPLICABLE TO THIS SITE.

PROVIDE 36" TALL POURED CONCRETE PROTECTIVE BASE FOR POLES LOCATED IN PARKING AREAS WHERE THE POLE IS NOT PROTECTED BY A CURB. BASE SHALL BE STEEL REINFORCED AND HAVE A CHAMFERED SLOPED TOP FOR DRAINAGE.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area - Central	+	1.1 fc	2.4 fc	0.3 fc	8.0:1	3.7:1
Parking Area - East	+	1.1 fc	2.0 fc	0.3 fc	6.7:1	3.7:1
Parking Area - West	+	1.2 fc	2.6 fc	0.4 fc	6.3:1	3.0:1
Property Line - Central	+	0.2 fc	0.6 fc	0.0 fc	N/A	N/A
Property Line - East	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
Property Line - West	+	0.2 fc	0.6 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp
	V4	6	BEACON PRODUCTS	VP-S-36NB-80-4K-T4	SMALL VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 1148116	1	VP-S-36NB-80-4K-T4.lvs	9182
	V4HS	18	BEACON PRODUCTS	VP-S-36NB-80-4K-T4-BLC	SMALL VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 3038	1	VP-S-36NB-80-4K-T4-BLC.lvs	5584







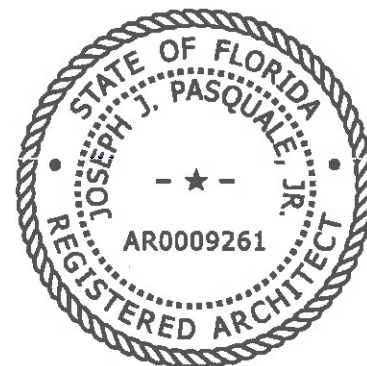


## COLOR LEGEND

### COLOR LEGEND

B1	BODY COLOR	WARM LIGHT TAN (ARISTOCRAT IVORY (ECC-52-2)		
B2	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)		
T1	TRIM COLOR	ULTRA PURE WHITE		
G1	GLASS COLOR	TINTED		
A1	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2		
A2	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS		

NOTE: BEHR PAINT COLORS AND CODES.



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### PINNACLE AT PEACEFIELD

ADAMS STREET  
HOLLYWOOD, FL

PROJECT NO. 1746

DATE: 04-11-2014

DESIGNED PKA DRAWN PKA CHECKED PKA



