#### **PLANNING DIVISION**



File No. (internal use only):

# **GENERAL APPLICATION**

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

#### **APPLICATION TYPE** (CHECK ONE): X Technical Advisory Committee Historic Preservation Board City Commission Planning and Development Board Date of Application: RPORATE Location Address: Adams Street (See attached Project Narrative) Tel: (954) 921-3471 Lot(s): See Legal Description Block(s): See Legal Description Subdivision: See Legal Description Fax: (954) 921-3347 Folio Number(s): See attached Project Narrative Zoning Classification: DH-2 & DH-3 Land Use Classification: Regional Activity Center (RAC) This application must be Existing Property Use: Vacant Land Sq Ft/Number of Units: 120 units completed in full and Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation. submitted with all documents to be placed on a Board or Has this property been presented to the City before? If yes, check al that apply and provide File Committee's agenda. Number(s) and Resolution(s): No prior requests Economic Roundtable Technical Advisory Committee Historic Preservation Board The applicant is responsible City Commission Planning and Development for obtaining the appropriate checklist for each type of Explanation of Request: application. Applicant(s) or their 120 total units (72) 1-Bedroom authorized legal agent must be Number of units/rooms: (48) 2-Bedroom Sq Ft: present at all Board or Value of Improvement: 15,000,000 12/31/2019 \_\_ Estimated Date of Completion: \_\_\_\_ Committee meetings. Will Project be Phased? () Yes (x)No If Phased, Estimated Completion of Each Phase At least one set of the submitted plans for each City of Hollywood Dept of Community and Economic Development / application must be signed Name of Current Property Owner: <u>Downtown Hollywood Community Redevelopment Agency</u> and sealed (i.e. Architect or Address of Property Owner: 2600 Hollywood Blvd, Hollywood FL 33020 Engineer). Telephone: 954-921-3271 954-921-3390 Fax: Email Address: Name of Consultant Representative Tenant (circle one): Pinnacle at Peacefield, LTD (Timothy Wheat) Documents and forms can be Address: 9400 S. Dadeland Blvd, Suite 100, Miami FL 33156 Telephone: 305-710-8603 accessed on the City's website at Fax: 305-859-9858 Email Address: twheat@pinnaclehousing.com http://www.hollywoodfl.org/Do Date of Purchase: Is there an option to purchase the Property? Yes (x) No ()cumentCenter/Home/View/21 If Yes, Attach Copy of the Contract. See Attached Purchase and Sale Agreement List Anyone Else Who Should Receive Notice of the Hearing: Address: 200 E. Las Olas Blvd, Fort Lauderdale FL 33301 Keith Poliakoff, Attorney Email Address: keith.poliakoff@saul.com

Keith and Associates, Inc 301 E. Atlantic Blvd, Pompano Beach FL 33060 Michael Vonder Meulen, AICP mvondermeulen@keith-associates.com **PLANNING DIVISION** 



Hollywood, FL 33022

File No. (internal use only):

# **GENERAL APPLICATION**

#### **CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <u>www.hollywoodfl.org</u>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date:
AUTHORIZED SIGNATORY PURSUANT TO CONTRAC	СТ
	Date:
Signature of Consultant/Representative:	
PRINT NAME: Timothy P. Wheat, for Pinnoele at Peacefield, 16t0.	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:
<u>Current Owner Power of Attorney</u> <u>See attacked purchase</u> where Power of Attorney 19 graved uncler Porafeapi I am the current owner of the described real property and that I am aware of the to my property, which is hereby made to be my legal representative before the	by me or I am hereby authorizing
Committee) relative to all matters concerning this application.	
	ature of Current Owner O SIGNATORY PURSUANT TO CONTRACT
Notary Public Print	Name
State of Florida	
My Commission Expires: 060118 (Check One) Personally known to me; OR Produc	ced Identification



# CITY OF HOLLYWOOD

# Technical Advisory Committee Submittal Checklist

#### QUICK FACTS:

- Scheduled appointment with assigned Planner required for all submittals.
- No applications are automatically scheduled for ANY meetings. Application must be determined to be complete by Staff before any processing occurs.
- Each package SHALL be complete, folded, and stapled.
- Fee Calculation

Residential: \$2,287 + \$56 per unit

All others: \$2,287 + \$67 per 1,000 gross sq. ft.

Fee will be paid twice (Preliminary and Final)

 TAC typically meets twice a month as follows (except for January, August, and December):

	01/17
02/06	02/21
03/06	03/20
04/03	04/24
05/01	05/15
06/05	06/19
07/17	07/31
09/05	09/18
10/02	10/16
11/06	11/20
12/04	

Meeting dates are subject to change.

 Prior to Final TAC, the Planning Division will provide one (1) original notification letter, envelopes, and signs for public notification. Mailing notification and property posting must be completed by the applicant at least ten (10) days prior to meeting date. <u>Provide 20 copies</u> (unless otherwise specified) of complete 24" x 36" packages containing the items below and <u>one</u> complete package fully signed and sealed with all original documents. Incomplete applications will not be routed and will be postponed until all required components are submitted.

#### **Requirements for Preliminary Site Plan Review:**

General Application

Application Fee

✓ Ownership and Encumbrance Report (O&E) (2)

Cover Sheet with Location Map

Certified Alta Survey

Dimensioned Site Plan

Dimensioned Building Elevations

CD containing all documents listed above in PDF/JPG format (1)

Dimensioned Typical Floor Plans (include all levels for parking garages)

#### Requirements for Final Site Plan Review: (in addition to above items)

Street Profile/Elevation (including adjacent buildings)

Dimensioned Landscape Plans

Dimensioned Schematic Paving, Grading and Drainage Plan

Color Rendering

Original Set of Color Chips (1)

□ Wildlife Protection (if applicable)

Written Responses to Preliminary TAC comments

CD containing all documents listed above in PDF/JPG format (1)

- Public Notice: Mailing Notification and Property Posting Requirements (1)
- Criteria Statement(s) for each request indicating consistency with all applicable criteria found in Article 5 of the Zoning and Land Development Regulations which may include the following: *Variances, Design, and Special Exceptions* (Available online at www.amlegal.com).

Please refer to Article 5 of the City of Hollywood's Zoning and Land Development Regulations for a detailed description of each item listed above or visit our website at <u>www.hollywoodfl.org</u>

2600 Hollywood Boulevard, Room 315 • P.O. Box 229045 • Hollywood, FL 33022-9045 Phone (954) 921-3471 • Fax (954) 921-3347 • <u>www.hollywoodfl.org</u>



# **CITY OF HOLLYWOOD**

# Guide to TAC Submittal Checklist

This document is an outline of site plan review procedures as listed in the Technical Advisory Committee Submittal Checklist. For additional information please refer to Chapter 162 of the Code of Ordinances.

#### **General Requirements:**

#### **Pre-application Conference**

Applicant must meet with an Office of Planning staff member prior to preparing and submitting a package for site plan review.

#### **Applicable Projects**

- All new construction and modifications to existing residential developments which result in five or more dwellings on a single lot
- All new nonresidential development
- Existing nonresidential modifications which result in an increase of eleven or more parking spaces

Exemptions (Additional exemptions are listed under Chapter 162)

- Modifications/additions to existing residential developments which result in a total of four or less dwellings
- New construction/interior remodeling to commercial development which results in an increase of ten or less parking spaces

#### **Requirements for Preliminary Site Plan Review:**

One of the required packages shall be signed and sealed by the appropriate professional(s). All packets shall include the following:

#### 1. Ownership & Encumbrance Report (O&E)

- Dated within 30 days of submittal packet
- ☑ Indicate it was searched from time of platting or 1953 (earliest of the two)
- Legal description of property
- Names of all current owners
- Names of all outstanding mortgage holders or a no lien affidavit
- Listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.)
- Listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so)

#### 2. Cover Sheet

- Name of development and phase (if applicable)
- Page Index
- Preliminary or Final TAC and meeting date
- Title (see Site Plan)
- ☑ Location map

#### 3. Certified ALTA Survey

- Based on and dated after O&E
- Extend to centerline of all adjacent streets and alleys

- Angles and bearings, including light and utility poles, catch basins, manholes, and fire hydrants
- Natural features (topography: existing and proposed contours and/or spot grades)
- Location of buildings, including the location and size of berms, walls, underground facilities, intersections, bridges, sidewalks, driveways, curbs and streets
- Abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet
- Easements and/or dedications with O.R. or plat book(s) and page number(s)
- Net & gross property size in square feet and acreage (provide gross for residential/hotel developments)
- If located within Regional Activity Center include the existing residential/hotel units and/or commercial square footage

#### 4. Site Plan

#### Title Block:

- Development name, address or general location
- Site Plan date and subsequent revision dates
- Architect/Engineer's name, addresses, and telephone number

#### Tabular Information:

- Legal Description including subdivision name, plat book page number, lot and block or metes and bounds if unplatted
- Current Land Use & Zoning designations and, if applicable, requested Land Use & Zoning designations
- Required and provided building setbacks
- Required and provided amounts for pervious and impervious in square footage, acreage and percentage (i.e. buffer areas, landscape areas, building footprint, vehicular use area, etc.) \*\*Include calculations where necessary
- Height of structure(s)
- Required and proposed parking amounts, including handicap, guest and loading (show calculations)
- List any requested variances (include provided and required amounts)
- Note stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential) *Residential/Hotel Development*
- Net & Gross property size in square feet and acres
- Total floor area of each type of unit/room including a breakdown of airconditioned and non-airconditioned space (balconies, garages, terraces, etc).
- Number of dwelling units/rooms in each building including the number of bedrooms/bathrooms for each unit type If zero lot line, site widths as measured along the chord at the frontage
- Total square footage of each building or structure
- Total floor area of any recreation building
- Total number of allowed and proposed dwelling units/rooms and density per acre (including calculation) Non-Residential Development
- Net size of the site in square feet and acres
- Total gross floor area of the building, including a breakdown of common areas (restrooms, power equipment rooms, and meter rooms)

#### Zoning Information:

- Distances between existing and proposed buildings, parking lots, easements, rights-of-ways, and property lines
- Dumpster enclosure location(s), including area for recycling containers
- Dimension of building lengths
- Location, size and content of any proposed signage
- Dimension for all proposed parking types including driveways and access ways
- Vehicular circulation system showing required radii, dimensioned sight distance triangles and non-access line as per shown on the plat
- Dimension of existing and proposed sidewalks, pedestrian access ways, crosswalks and drop curbs
- If applicable, dimensions for required stacking
- Regulatory signage and pavement markings in compliance with the Manual of Uniform Traffic Control Devices
- Dimensions and locations of any existing and proposed easements or right-of-ways on or adjacent to the site. Provide

documentation relating to the abandonment or dedication(s) of easements or right-of-ways

- If applicable, provide the agreement(s) and supporting legal documentation for proposed easements
- Identify 'D' or 'F' curbing for all vehicle impact points
- Location and identification of building projections (i.e. air conditioner pads, mail boxes, light poles, overhead utility lines, back flow preventors, balconies, roof overhangs, etc.)
- Provide method of mail delivery
- Identify locations of existing and proposed fire-hydrants on-site or the closest off-site locations

General Information:

- Environmentally sensitive designated properties (urban wilderness, LAPC or MNRA) must provide a signed and sealed survey prepared no more than 30 days prior to the date of submittal. In tabular form, provide trees to remain, to be removed, relocated or which will incur dripline encroachment due to site development
- If wetlands exist on-site, provide applicable permits from outside permitting agencies
- If not environmentally sensitive, provide a tree sketch showing all trees that are two inches in diameter at breast height (DBH) or more and their locations. Provide information in tabular form (botanical name, common name, and caliper measurement) showing trees which are to remain, be removed, relocated or designating which trees will incur dripline encroachment due to site development. Clumps of nuisance species trees can be located as clouded area on sketch.
- Placement of trees in utility easements must be approved by the City's Engineering Division, Department of Public Utilities and the City's Arborist
- Phased Development (if phased the following apply)
  - Development plan shall show all proposed phase lines showing circulation, required parking to support each phase, landscaping, amenities and that full utility service through the site is provided at all times
  - All phase lines shall be drawn so that it is clearly delineated that each phase can stand on its own to provide for the health safety and welfare of the public
  - Residential developments: all proposed amenities must receive Certificates of Occupancy or final inspections in the first phase of the development, prior to Certificate of Occupancy of any residential structures
  - A backbone master plan for the entire projects water, sewer and access needs is required along with the phasing plan

#### 5. Building Elevations

- For building height, refer to Height of a Building and Established Grade definitions in the City's Zoning and Land Development Regulations
- Provide dimensioned elevations of all buildings or typical
- List all building materials and treatments
- If applicable, provide the location and height/size of fences, walls, dumpster enclosures and signage

#### Requirements for Final Site Plan Review: (in addition to above items)

- 1. Typical Floor Plan (If buildings are compatible provide a typical floor plan. Parking garages, all levels are required.)
  - **Full dimensions for each room/parking area**
  - Exterior dimensions
- 2. Landscape Plans (Plots of 10,000 feet or more require plans from a registered Landscape Architect or Architect.) *Tabular Information* 
  - Plant material details and specifications
  - Percentage of native trees and shrubs
  - Botanical name, common name, caliper measurement, and tree disposition in required and provided amounts
  - Breakdown of required and provided street trees, buffer areas, perimeter and open space (include calculations where necessary)

☑ Note indicating provision of 100% irrigation

Reflected on Plans

- Lift stations, dumpsters, retaining walls, backflow preventors and transformer vaults (with landscape treatments)
- Existing and provided street, buffer area, perimeter and open space tree locations
- Directional signage, lighting, overhead power lines, underground utilities and existing/proposed easements
- 3. Wildlife Protection (Applicable to development of natural areas over one acre)
  - Provide a written report from qualified consultant evaluating land area's existing conditions, wildlife population numbers and type and specific action plan for the safe capture and relocation of the identified animal population.
  - Detailed budget and cost estimate for proposed action plan must also be included in report
  - City must approve an action plan prior to land clearing, demolition or permits being issued
  - □ Total dollar amount from consultant report placed in an escrow account for animal relocation plan

#### 4. Schematic Drainage Plan

- ✓ Location of existing and proposed potable water and sewage collection facilities
- Proposed point of connections to existing water and sewer facilities
- Proposed new utilities easements
- Estimated flows and calculations
- Schematic water distribution, sewage collection and drainage plans including proposed locations and diameters of piping systems, manhole locations, lift stations, point of connection to the City's system, proposed drainage outfall connection
- Direction of drainage flow
- Proposed average private road grades, corners and floor elevation for proposed buildings (mean sea level)
- Base floor elevations
- Proposed stormwater drainage report complying with South Florida Management District regulations
- Location and sizes of existing storm drain pipes and headwalls
- Proposed manholes, drainage swales and catch basins

#### 5. Street Profile

Elevations showing general character and relationship with surrounding properties

#### 6. Color Renderings

Color representation of the elevations showing textures, architectural features, fences, etc.

#### 7. Color Chips

One set of original color swatches reflecting proposed colors for all structures

#### 8. Additional Information (may be required by TAC when applicable)

- Permits: Driveway connection permits required by state, federal and local agencies and copy of permit application
- Proof of Concurrency: Projects requiring Site Plan review or Developments of Regional Impact (DRI's) are required to provide proof of concurrency in accordance with City's Comprehensive Plan and Chapter 163 of Florida Statutes and Satisfaction of Broward County concurrency standards (<u>http://broward.org/development/devreviewsvcs.htm</u>)
- Parking study or traffic circulation study including signalization and geometric improvements
- Protection of natural areas, native species, potable water well fields, and dune systems and provision of effective erosion control and protection against hazardous waste
- Demonstrate there will be no adverse affects on endangered or threatened plant or animal species and will to the greatest extent possible protect natural areas, native species, potable water wellfields, dune systems, provide effective erosion

control and will protect against hazardous waste

- □ Maximum clustering of buildings and impervious areas
- Bicycle and pedestrian paths connecting to development and combination of landscaping with adjacent properties
- Specifically delineated dimensions between columns and/or other structures and provision of a sealed survey establishing compliance with previously designated dimensions
- □ TAC may further require that following construction of footings and establishment of batter-boards for column construction at grade level, that the developer provide to the TAC, a sealed survey establishing compliance with the previously designated critical dimensions

#### 9. Written Response to Final TAC Comments

Typed response to all comments from each department

- 10. CD (Package information in PDF/JPG format only)
  - Preliminary Requirements: Application and items 2-5 above
  - Final Requirements: items 1, 2, 5, and 6 above

#### 11. Public Notice: Mailing Notification and Property Posting

- Notification letter and appropriate amount of City envelopes and signs will be provided by the Office of Planning
- Applicant to obtain certified letter, map and mailing list/labels for properties within 500 feet
- Copy of notification sent to property owners shall also be sent to the Office of Planning
- Certification Letter assuming responsibility for completion
- Any of the following licensed professionals may prepare and mail the notification package: Engineer, Architect, Landscape Architect, Real Estate Broker, Real Estate Appraiser, Land Surveyor, Urban Planner or Attorney
- Property must be posted 10 days prior the Final TAC public hearing and pictures must be submitted

This document should be used as a guide. Please refer to the City of Hollywood Code of Ordinances, Chapter 162 for a full, detailed list of requirements.



Tel: 954-788-3400 Fax: 954-788-3500

#### March 5th, 2018

City of Hollywood Planning Division 2600 Hollywood Boulevard Hollywood, FL 33020

**Project Name:** Pinnacle at Peacefield **Location:** South of Adams Street, East of 24<sup>th</sup> Ave, North of Washington Street, and West of Dixie Highway

#### RE: File #: 18-DP-01 Final TAC Submittal Keith & Associates, Inc. Project No. 10067.00

Dear City of Hollywood Reviewers:

Based on your Preliminary TAC Review comments dated February 20<sup>th</sup>, 2018 Keith and Associates (K&A) offers the following responses to your comments/questions:

#### A. APPLICATION SUBMITTAL COMMENTS

#### Alex Carcamo (acarcamo@holleywoodfl.org) 954-921-3471

 Provide plat determination letter from the County. If platting is necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.
 RESPONSE: The plat determination letter has been provided to the City. A

**RESPONSE:** The plat determination letter has been provided to the City. A copy is also attached to this submittal.

- Ensure all Folios, lots, and blocks, are listed on the General Application.
   RESPONSE: All folios, lots, and block information are attached to the application
- Survey shall be based on the current title work (O&E), dated within 30 days of submittal. Such date shall be noted on the survey document.
   RESPONSE: Acknowledged, The updated title work within 30 days, and a survey reflecting current title work, are enclosed.

4. Work with the Engineering Division to ensure the survey includes the appropriate elements such as, abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet are included.

RESPONSE: The attached survey includes all of the information along Adams Street and within our sites required for the design, and accurately represents the current conditions of the area.

- Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.
   RESPONSE: Acknowledged, we will coordinate with Public Works and Engineering.
- Overall Site Plan and Site Plans for each site should reflect ground floor details, not just the building footprint. Revise accordingly.
   RESPONSE: Overall Site Plan and Site Plan Sheets have been revised to show the ground floor details of the buildings, as requested.
- Provide details and height of all proposed walls, fences, and gates. All fencing shall be decorative. This includes balconies.
   RESPONSE: Details for the proposed entry feature, columns and fencing refer to sheets A 1.1 and A 1.2. The fencing will be PVC fence except along Adams Street, which shall be aluminum picket fence, per Preliminary TAC discussion.
- All elevations and renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.
   RESPONSE: Rendered elevations provided shall be consistent with the species and height using a two-year conceptual growth assumption. See

sheets LA-5A, LA-5B, LA-5C.

9. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Website: http://www.broward.k12.fl.us/propertymgmt/Growth\_Management/meetings/Docs /PublicSchoolImpact Application.pdf

**RESPONSE:** A Broward County Concurrency Review Application has been submitted to Broward County Public Schools. A copy of the School

# Capacity Availability Determination (SCAD) Letter is provided with this submittal.

- 10. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal. RESPONSE: We have maintained contact with neighborhood associations since the development was conceived. We have met with United Neighbors of South Hollywood on numerous occasions, most recently on December 11, 2017 and plan to meet with them again before appearing before the Planning and Zoning Board. We have also met with the Highland Gardens neighborhood association previously, and again on February 28, 2018.
- 11. Additional comments may be forthcoming. **RESPONSE: Comment acknowledged.**
- 12. Provide written responses to all comments with next submittal. **RESPONSE: Comment acknowledged.**

#### B. ZONING COMMENTS

#### Alex Carcamo (acarcamo@holleywoodfl.org) 954-921-3471

- Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016- 02.
   RESPONSE: We have added one electric vehicle charging station on each site. Refer to site plan sheets SP-101 to SP-103 for locations.
- 2. The driveway minimum is 22'. Revise accordingly in Site 2 Site Plan.

RESPONSE: We have indicated a narrowing of the drive isle in the rear of the building on Site 2 from 22' to 20' for an approximately 125' length, which does not abut any parking spaces, in order to save 2 specimenquality Slash Pines and 1 Live Oak tree with a significant canopy. These trees are deemed to be in very good condition and the value in saving them (Slash Pines generally do not survive transplant) we believe greatly exceeds the value of complying with the minimum driveway width. We respectfully request the City grant an administrative waiver to provide for the narrower driveway width. We also believe that the narrow driveway width, combined with the serpentine manner in which the roadway is curved to preserve the tree canopy, will offer aesthetic and practical benefits, such as traffic calming.

- 3. Provide different material when pedestrian connection traverses vehicular areas. RESPONSE: Refer to sheets LA-2A, LA-2B, LA-2C for the vehicular hardscape designation areas. Concrete is maintained through the driveways at the driveway entrances for public sidewalk crossings.
- 4. Indicate the required and provided number of loading spaces on Site Data. Provide dimensions on Site Plan.

**RESPONSE:** The required and provided number of loading spaces has been added to the site data table for Site #1 (West) per code section 7.2.B.8.

#### C. ARCHITECTURE AND URBAN COMMENTS

Alex Carcamo (acarcamo@holleywoodfl.org) 954-921-3471

- Rain water leader should not be exterior to the building. Revise accordingly. RESPONSE: Exterior rain water leaders have been removed from the front elevation, and will appear on the rear elevation only as discussed during the February 20, 2018 TAC Meeting.
- 2. For the parking areas (roof and ground), consider using material with high albedo to limit absorption of sunlight and reduce urban heat island effect or consider using permeable paving material which reduces runoff and increases water penetration.

**RESPONSE:** This is economically impossible for this development. The design as presented complies with applicable pervious/impervious requirements.

Terrence Comiskey A.I.A., Architect (<u>tcomiskey@hollywoodfl.org</u>) 954-921-3900

- Sheet A-0.0: No canvas awnings in the project, only metal or Bahama.
   RESPONSE: The note on the elevation sheets A4.0 A4.3 demonstrates metal awnings.
- Sheet CU-103: Several existing decorative light poles are called out to be removed. Will they be relocated along the street?
   RESPONSE: The existing decorative light poles will be removed and stored for future installation. A lighting plan will be provided to indicate the proposed location of the poles to comply with the minimum requirements

with the City. Additional coordination with City staff will be scheduled prior to permitting. Light poles will not be located within the sidewalks when relocated as requested.

- 3. No enlarged unit plans were included for review. **RESPONSE: Unit plans are on sheet A3.0.**
- Sheet LA-2A: It appears that shrubs are being installed outside the fence line. How will they be maintained? (Typical)
   RESPONSE: They are within the property and as such, will be maintained by the Owner consistent with the overall property landscape plan.
- 5. Sheet A-4.0: Exterior stucco score lines should be indicated. (Typical) RESPONSE: Exterior stucco score lines have been added in accordance with the FBC requirements. Decorative stucco score lines on building ends have been removed since PACO, we have replaced with an exterior cladding material as requested which is one the color boards submitted a the first TAC submittal.
- Sheet A-2.0: Are the trash rooms refrigerated? (Typical) RESPONSE: The trash room is not refrigerated but vented and climate controlled (AC).

#### D. SIGNAGE COMMENTS

Alex Carcamo (acarcamo@holleywoodfl.org) 954-921-3471

- For review, full signage package shall be provided. RESPONSE: The sign package from a signage company has been included in the submission package. In addition we have added the code noted to Sheet A 1.0 and A 1.1.
- Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.
   RESPONSE: A note has been added to the site plan sheets SP-100 – SP-103, as requested.
- 3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

**RESPONSE:** A separate permit will be submitted for any sign which is illuminated.

#### E. LIGHTING COMMENTS

Alex Carcamo (acarcamo@holleywoodfl.org) 954-921-3471

 Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential).
 RESPONSE: A note has been added to the site plan (SP-101 - SP-103) and the photo metric plan demonstrates the lighting level foot candles at the property line which do not exceed the maximum foot candles per the code.

#### F. <u>GREEN BUILDING & ENVIRONMENTAL COMMENTS</u>

Alex Carcamo (acarcamo@holleywoodfl.org) 954-921-3471

1. Work with Building Division to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary

**RESPONSE:** The development will be certified green by the National Green Building Standard (NGBS)/ICC 700 certification program. Although not a specific listed method of certification, we understand that such certification will be acceptable to the City. Submitted herein is the signed contract between the Owner and Abney + Abney Green Solutions to serve as green certifier for the development, and proof of the development's registration with NGBS. Please note that both Pinnacle Housing Group and Mr. Abney named 2017 NGBS Partners **Excellence:** were recently of http://www.homeinnovation.com/ngbsgreenpoe2017

#### G. ENGINEERING COMMENTS

#### Luis Lopez, City Engineer (<u>llopez@hollywoodfl.org</u>) 954-921-3251

#### Clarissa Ip, Engineering Support Services Manager (<u>cip@hollywoodfl.org</u>) 954-921-3915

1. On the civil plans, indicate vehicle turning radii, cross-section details of drainage retention areas with side slopes, pavement marking and signage plans and details. For water and sanitary sewer connection, show area of pavement restoration within City rights-of-way.

**RESPONSE:** As requested this information has been added and denoted on the plans. Turning radii and dimensions are denoted on sheets CM-101

6 – Final TAC Comment Responses

through CM-103, Pavement restoration areas have been denoted on sheets CU-101 through CU-103, and sections have been provided which include the detention area slopes (4:1) on sheet CP-301 through CP-303.

- Site 1 and Site 2 parking and road are within the 15' Utility Easement along the south side of the properties.
   RESPONSE: This is a request that is atypical of construction requirements within easements. We have made every effort to avoid encroachment in the easement and have attempted to minimize impacts to the greatest extent possible. However, the neighborhood concerns about building heights and our efforts to preserve existing trees have placed a great deal of pressure on our design. Despite our best efforts, there are exterior fencing, berms, curbing, portions of parking spaces and drive isles and landscaping in part of these easements. We agree as follows: 1) we will protect the City's utilities during construction, 2) we will assume any and all costs of reconstruction of our improvements within the easement and conduct repair or improvement activities.
- Provide details for ADA accessible parking and routes.
   RESPONSE: Details for ADA ramps have been added to sheet CP-503, and all three sites have been designed to make them accessible from any sidewalk connection from the street into the property.
- 4. Provide drop curb flush with the pavement at the Loading/Drop-off areas. RESPONSE: The sidewalk adjacent to the drop-off locations have been made flush with the pavement, however drop curb will not be used since we are not proposing the use of Type "F" curb and gutter.
- Provide radial return for all proposed curbing at all drive access.
   RESPONSE: Dimensions of all radii have been provided on sheets CM-101 through CM-103.
- Provide Curbing on Adam Street.
   RESPONSE: Type D curb has been added along Adams Street fronting the property for all three sites. Flumes were also included to allow for the drainage patterns of the existing road to remain unchanged.

- Sidewalks exist along property on Adam Streets, indicate on plans to be replaced.
   RESPONSE: The proposed 5' sidewalk along Adams Street has been denoted and a note has been added to the plans (#7) on sheets CP-101 through CP-103.
- Provide hatch pattern for areas of pedestrian walk paths on the site. Indicate material and include in legend accordingly.
   RESPONSE: Refer to sheets LA-2A, LA-2B, LA-2C for the vehicular hardscape designation areas. Concrete is maintained through the driveways at the driveway entrances for public sidewalk crossings.
- Show location of curb ramps and any detectable warnings; provide details.
   RESPONSE: Location of curb ramps are shown on sheets CP-101 through CP-103 and details for truncated domes have been added to sheet CP-503.
- 10. Indicate on plans for sidewalks to be flush and installed through driveway openings.

**RESPONSE:** The plans have been revised to depict the sidewalk through the driveways.

- 11. Catch Basin 4 is located within the vehicle drive area of the driveway, review possibility to eliminate this condition. **RESPONSE:** The possibility of modifying the current proposed condition where the existing catch basin is located within the proposed driveway is not ideal as it could create ponding and affect the existing drainage system operation. However, the existing structure has been incorporated in the proposed design of the driveway including a modified drop curb that will allow the runoff to get to the system and swale areas.
- 12. Coordination will be required for the existing City decorative light poles. Some poles are shown to be removed. Poles need to be protected from damage during construction.

RESPONSE: The existing decorative light poles will be removed and stored for future installation. A note has been added to sheets CP-101 through CP-103 and CU-101 through CU-103. A lighting plan will be provided to indicate the proposed location of the poles to comply with the minimum requirements with the City. Additional coordination with City staff will be scheduled prior to permitting. Light poles will not be located within the sidewalks when relocated as requested. 13. Existing light poles are not shown on Sheet CU-103, please add.

RESPONSE: All existing light poles are shown and denoted on sheets CP-101 through CP-103 and CU-101 through CU-103. Refer to response above regarding poles.

14. Unity of Title will be required.

**RESPONSE:** Acknowledged and we will unify the property folios with the Broward County Property Appraiser's office before application for building permits.

- 15. All outside agency permits must be obtained prior to issuance of building permit. **RESPONSE: Comment acknowledged.**
- 16. More comments will follow upon receipt and review of the requested information. **RESPONSE: Comment acknowledged.**

#### H. LANDSCAPING COMMENTS

#### Lindsay Clark, Landscape Architect (Iclark@hollywoodfl.org) 954-921-3900

- Include Native/Non-native column in plant legend. RESPONSE: Native and non-native planting designations will be included on sheets LA-3A, LA-3B, LA-3C planting schedules. Native landscape ordinance calculations (Required and Proposed) shall be found on sheets LA-4A, LA-4B, LA-4C.
- Verify tabulations for existing trees to remain/remove/relocate are consistent with what is shown on the proposed planting plan.
   RESPONSE: Tabulations for all existing trees and palms will be reviewed and verified to reflect what is designated on the planting plans, sheets LA-1B, LA-2B, and LA-2C.

#### I. UTILITIES COMMENTS

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985 James Rusnak, Engineer (jrusnak@hollywoodfl.org) 954-921-3302

Drainage:

1. Provide pre and post drainage calculations for the 3 sites.

RESPONSE: Post-development calculations have been provided for your review. The proposed finished floor elevations comply with the 100-year 3-day storm event stage, and we are meeting the 25-year 3-day storm event with a perimeter berm and/or knee/retaining wall. The 5-year 1-hour storm event was calculated for the parking lot flood protection, which we are meeting or exceeding the required exfiltration trench.

- 2. Coordinate existing right of way drainage to work with new curbing along both sides of Adams Street. Water and Sewer: RESPONSE: We believe it should not be our responsibility to alter the drainage system or provide curbing on the north side of Adams Street. We have agreed to accept the comment from Engineering and provide curbing on the south side of Adams Street at each of our three properties without modifying the existing drainage pattern or system in the roadway.
- 3. Sewer flows are being reviewed by City of Hollywood. **RESPONSE: Comment acknowledged.**
- Update utility plan to show existing utility easement for the sewer along the rear property of site 1 and 2.
   RESPONSE: The existing utility easement has been added and denoted on sheets CU-101 and CU-102.
- 5. Coordinate architect and landscaping plans to keep items such as structures, fences and plantings out and off of the utility sewer line easement along the rear property.

RESPONSE: As indicated in G(2) above, this is a request that is atypical of construction requirements within easements. We have made every effort to avoid encroachment in the easement and have attempted to minimize impacts to the greatest extent possible. However, the neighborhood concerns about building heights and our efforts to preserve existing trees have placed a great deal of pressure on our design. Despite our best efforts, there are exterior fencing, berms, curbing, portions of parking spaces and drive isles and landscaping in part of these easements. We

agree as follows: 1) we will protect the City's utilities during construction and repair any cost of damage to city utility services during construction, 2) we will assume any and all costs of reconstruction of our improvements within the easement after completion of the development should the city need to enter the easement and conduct repair or improvement activities.

6. Applicant to address utility comments prior to final sign off. **RESPONSE: Comment acknowledged.** 

#### J. BUILDING COMMENTS

#### Philip Sauer, Chief Building Official (psauer@hollywoodfl.org) 954-921-3025

1. No Comments Received

#### K. FIRE COMMENTS

# Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

1. Water supply must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921- 3046. After the results are completed, show on the plan the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements. Add any additional hydrants to be the plan if needed after test results are completed. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

#### **RESPONSE:** Refer to attached calculations.

- Provide a note on civil drawings that underground fire main work will be completed by a contractor holding a Class I, II, or V license per FS 633.102.
   RESPONSE: A note (#4) has been added to sheets CU-101 through CU-103.
- Show on the plan that building will be in compliance with NFPA 1, 11.10\* Two-Way Radio Communication Systems. (there is also a Broward Building code amendment 118.2 on requirements).

**RESPONSE:** The buildings will comply with NFPA 1,11.10\* and Broward County Code Amendment for Two Way Communication System. Refer to note on Sheet A2.0 and SP-100 – SP-103.

11 – Final TAC Comment Responses

4. What is the gas service for?

**RESPONSE:** Gas service is proposed for the three generators (one at each building) which will power the common areas and elevators in the event of a power loss.

#### L. PUBLIC WORKS COMMENTS

# Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207

1. The trash room is located behind a roll up door, but I do not see a floor plan for the trash room. Also, how is access provided? Is trash collected down a chute or is there a door for residential access. These comments are relevant to all three sites.

RESPONSE: There are trash cutes on the second and third floors in each building, in the same location. The first floor has a direct chute to a trash container in the trash room. These spaces are demonstrated on the Building Plans Sheets A 2.0 through A 2.6 and an enlarged plan on sheet A 3.6.

2. Recycling in the City of Hollywood is mandatory, so the trash room needs to accommodate for residential recycling materials also. These comments are relevant to all three sites.

**RESPONSE:** We will accommodate recycling materials in the trash room on the first floor. We will coordinate this with the trash company that services the city.

#### M. PARKS, RECREATION AND CULTUAL ARTS COMMENTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

Park Impact Fee application is required.
 RESPONSE: The Park Impact Fee Application has been provided with this submittal. Please see attached.

#### N. <u>COMMUNITY DEVELOPMENT COMMENTS</u>

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271 1. Sheets A-2.0/2.1/2.2 – Include cardinal directions

RESPONSE: The building plans are orientated the same as the site plan and a north arrow is on the building plan sheet at the end of the title of the plan.

Provide room dimensions of the apartment units

**RESPONSE:** We have added sheet A 3.0, Unit Floor Plans which demonstrates the dimensions under the room titles.

2. Do the units have washer/dryer?

**RESPONSE:** The units have a washer/dryer hookup in each unit, where residents may lease the equipment at an additional monthly charge, as is typical in Housing Tax Credit-financed communities. The cost of the monthly lease has not been determined at this time.

3. Sheets A-2.0/A2.1 – The trash rooms in these two buildings appear to be quite a distance from the westernmost units.

RESPONSE: We have located the trash rooms in the same location in all three buildings, close to the elevators. The tenants will most likely take their garbage to the trash room on their way to the common areas or on their way out. For any resident needing assistance with their trash, the management company will provide door to trash room service for those with special needs or physical limitations, as is customary in senior communities.

4. Sheet A-4.0 – Would prefer rainwater leaders not face the street.

RESPONSE: Exterior rain water leaders have been removed from the front elevation, and will appear on the rear elevation only as discussed during the February 20, 2018 TAC Meeting. See comment C(1).

A. The plans do not show a walkway outside of the pedestrian gate facing Adams Street.

RESPONSE: The area in question is not a pedestrian entry into the building from the street but simply a breezeway. The elevation indicates a fence for security purposes.

5. Sheets CP-101/102/103 – Delete any proposed chain link fencing and replace with decorative fencing/wall.

**RESPONSE:** The chain link fence has been removed from the plans and details have been added on Sheets Sheet A 1.0 and A 1.1. The fencing will be PVC fence except along Adams Street, which shall be aluminum picket fence, per Preliminary TAC discussions.

- 6. Show notes regarding proposed compliance with green building authorities. **RESPONSE: Indicated In Section E above.**
- Continue meeting with both neighborhood civic associations throughout the development review process:
   RESPONSE: Acknowledged, and see response in A(10) above

Highland Gardens Civic Asso – 954-962-0975 United Neighbors of South Hollywood – helenandred@gmail.com

#### O. ECONOMIC DEVELOPMENT COMMENTS

# Brian Rademacher, Corridor Redevelopment Manager (brademacher@hollywoodfl.org) 954-924-2922

1. No comments Received

#### P. POLICE DEPARTMENT COMMENTS

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371

1. No Comments Received

#### Q. DOWNTOWN AND BEACH CRA COMMENTS

#### Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. The façade should give more definition to the building.

RESPONSE: The façade of the building, since PACO has been redesigned. It is now designed to create a rhythm of movement and articulation along the street, with the use of different parapet heights, roof elements, balconies, projections, additional cladding materials and colorful metal awnings, as indicated in the attached rendering.

14 – Final TAC Comment Responses

2. The building has no base—this could be achieved with a material treatment around the first floor of the building.

**RESPONSE:** Every building does not require a base designed into the façade. We have set this building off the street and provided a landscaped base to this building, which we believe is the design that suits the seniors' population who would prefer a greater sense of privacy. The materials shown on the landscape plan varies in height for 24" to 60" which provides additional rhythm to this very attractive modern building. We have provided an elevation sheet demonstrating the landscaping in the landscape architects set of drawings.

- 3. The architectural elements at the corner could pop up more and be further defined through both shape and definition of materials.
  RESPONSE: As results of the PACO meeting we have increase the heights of the "pop-up" elements and also created a variation in the parapet heights along details with the accent colors. We added a cladding material to the "pop-up" elements as requested. We believe these significant aesthetic changes are better reflected in the attached rendering.
- 4. The pinnacle building in Oakland Park appears to be of better quality—this development should meet or exceed the quality of that development. RESPONSE: This development has the same architect as the one seen in Oakland Park. Pinnacle at Peacefield is designed as a modern building, completely different in architectural style from the Craftsman design of Oakland Preserve, and will be of superior quality for a variety of design and functionality reasons, such as efficiency in design, use of materials, provision of balconies and exponentially larger community/common areas. Quality is better defined through the continuous evolution and improvement of our product, which has been the cornerstone of the developer and the architect in the 16 years they have worked together on developments in Broward County.

#### R. PARKING AND INTERGOVERNMENTAL AFFAIRS COMMENTS

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

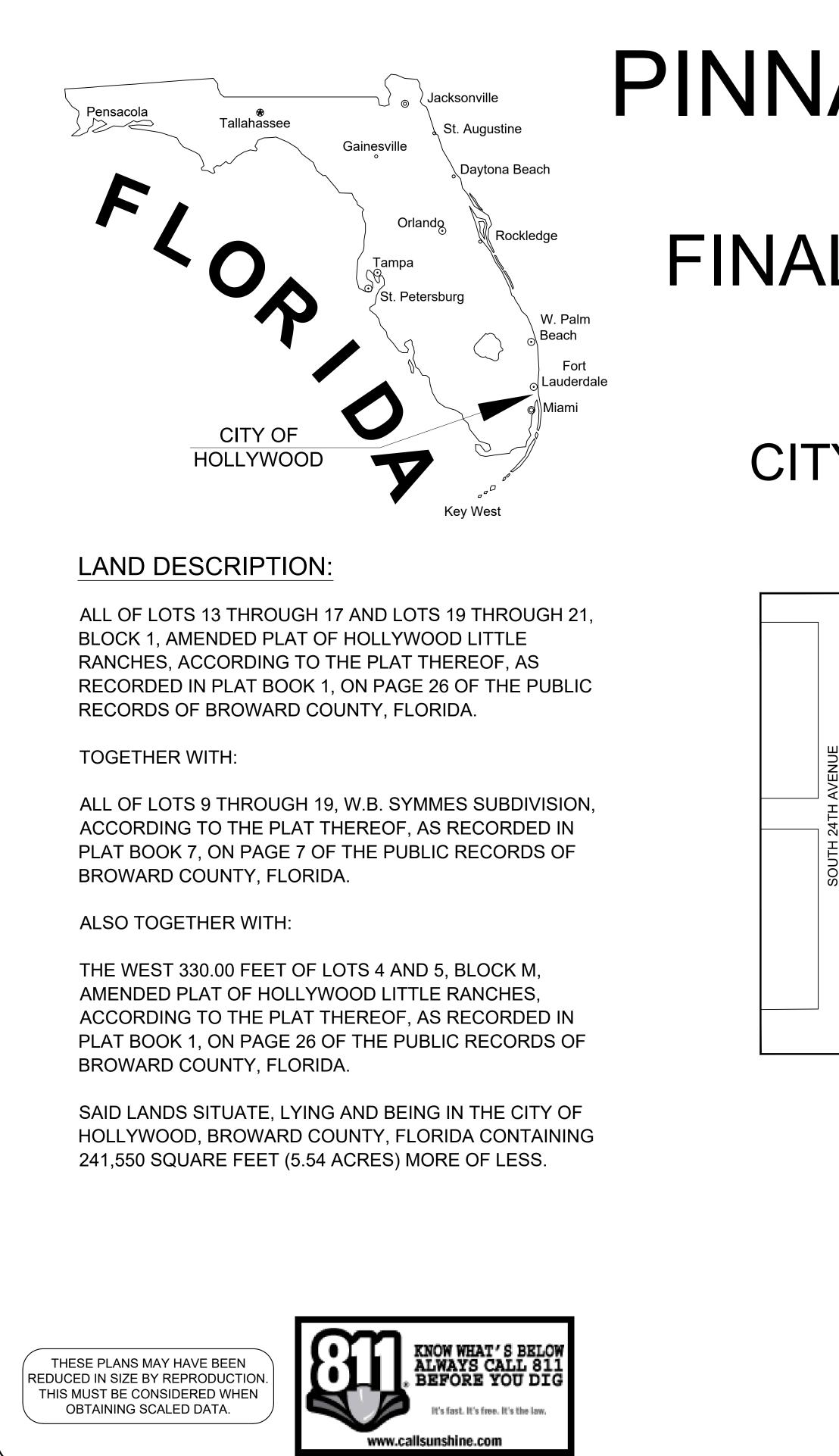
Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

1. Application is substantially compliant

#### S. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming RESPONSE: Comment Acknowledged



# PINNACLE AT PEACEFIELD FOR **FINAL TAC MEETING 03/19/2018**

# ADAMS STREET CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

 MADISON STREET	
ADAMS STREET	N NTS DIXIE HIGHWAY
WASHINGTON STREET	

LOCATION MAP SECTION 15, TOWNSHIP 51S, RANGE 42E



PREPARED FOR: PINNACLE AT PEACEFIELD, LTD. 9400 S. Dadeland Blvd, Suite 100, Miami FL 33156

	INDEX OF SHEETS
Sheet Identification	Sheet Title
	COVER
S-1 TO S-2	ALTA SURVEY
SP-100	OVERALL KEY PLAN
SP-101	SITE PLAN SITE 1
SP-102	SITE PLAN SITE 2
SP-103	SITE PLAN SITE 3
	ARCHITECTURAL
A-0.0	ARCHITECTURAL COVER + RENDERING
A-1.0	SITE SECTION ENTRY MONUMENT
A-1.1	STREET PROFILE DOOR SIGNAGE
A-2.0 TO A-2.2	WEST BUILDING FLOOR PLANS
A-2.4 TO A2.6	CENTRAL/EAST BLDG. FLOOR PLANS
A-3.0	UNIT FLOOR PLANS
A-3.6	TRASH ROOMS
A-4.0 TO A-4.1	WEST BUILDING ELEVATIONS/SECTION
A-4.2 TO A-4.3	CENTRAL/EAST BUILDING ELEVATIONS/SECTIONS
E-1.1 TO E-1.2	PHOTOMETRIC SITE PLAN/FIXTURE SPEC
	CIVIL ENGINEERING
GI-001	CIVIL GENERAL NOTES
GI-002	CONSTRUCTION SPECIFICATIONS
CG-101 TO CG-103	EROSION CONTROL PLAN
CP-101 TO CP-103	SCHEMATIC PAVING, GRADING, AND DRAINAGE
CP-301 TO CP-303	SCHEMATIC PAVING AND GRADING SECTIONS
CP-501 TO CP-503	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101 TO CU-103	SCHEMATIC WATER AND SEWER PLANS
CU-501 TO CU-506	WATER AND SEWER DETAILS
CM-101 TO CM-103	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501	PAVEMENT MARKING AND SIGNAGE DETAILS
LA-1A	WEST SITE-MITIGATION PLAN
LA-2A	WEST SITE-LANDSCAPE PLAN
LA-3A	WEST SITE-LANDSCAPE PEAN WEST SITE-LANDSCAPE DETAILS
LA-4A	WEST SITE-LANDSCAPE DETAILS
LA-5A	WEST SITE-LANDSCAPE NOTES
LA-1B	CENTRAL SITE-MITIGATION PLAN
LA-2B	
LA-3B	CENTRAL SITE LANDSCAPE PLAN
LA-4B	CENTRAL SITE-LANDSCAPE DETAILS
LA-5B	CENTRAL SITE-LANDSCAPE NOTES
LA-3B	CENTRAL SITE-RENDERED LANDSCAPE ELEVATION
LA-IC LA-2C	EAST SITE-MITIGATION PLAN
LA-3C	EAST SITE-LANDSCAPE PLAN
LA-3C	EAST SITE-LANDSCAPE DETAILS
	EAST SITE-LANDSCAPE NOTES
LA-5C	EAST SITE-RENDERED LANDSCAPE ELEVATION



PROJECT No. 10067.00 02/05/2018

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV	BOTTOM OF BOX	COMMENT	STRUCTURE
DRAINAGE MANHOLE - 1	8.65'	15" CMP 15" CMP 24" CMP 24" CMP	2.45'(N) 2.47'(S) 3.14'(E) 3.05'(W)	0.05'		SANITARY MANHOLE -
DRAINAGE MANHOLE - 2	8.08'	15" CMP 15" CMP 24" CMP 24" CMP	2.67'(N) 2.73'(S) 3.16'(E) 2.98'(W)	0.36'		SANITARY MANHOLE - SANITARY MANHOLE -
DRAINAGE MANHOLE - 3	7.90'	15" CMP 15" CMP 24" CMP 24" CMP	3.33'(N) 3.47'(S) 3.41'(E) 3.40'(W)	1.38'		SANITARY MANHOLE -
DRAINAGE MANHOLE - 4	7.98'	15" CMP 15" CMP 24" CMP	3.60'(N) 3.56'(S) 3.72'(W)	1.18'		SANITARY MANHOLE -
CATCH BASIN - 1	8.48'	15" CMP	BAFFLE (S)	0.94'	TOP OF BAFFLE 4.35'	
CATCH BASIN - 2	8.44'	15" CMP	BAFFLE (N)	0.49'	TOP OF BAFFLE 4.72'	SANITARY MANHOLE
CATCH BASIN - 3	7.88'	15" CMP	BAFFLE (S)	0.68'	TOP OF BAFFLE 4.92'	SANITARY MANHOLE
CATCH BASIN - 4	7.85'	15" CMP	BAFFLE (N)	0.85'	TOP OF BAFFLE 4.95'	SANITARY MANHOLE
CATCH BASIN - 5	7.68'	15" CMP	5.48'(N)	1.38'		SANITARY MANHOLE
CATCH BASIN - 6	7.61'	15" CMP	5.61'(S)	1.31'		
CATCH BASIN - 7	7.64'	15" CMP	5.44'(S)	1.59'		SANITARY MANHOLE
CATCH BASIN - 8	7.66'	15" CMP	5.56'(N)	2.36'		SANITARY MANHOLE
CATCH BASIN - 9	7.99'	15" CMP	BAFFLE (N)	(-) 1.01'	TOP OF BAFFLE 2.93'	L
CATCH BASIN - 10	8.13'	15" CMP 24" CMP 24" CMP	0.82'(S) 0.97'(E) 1.06'(W)	(-) 0.72'		

ARE	EA:

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GROSS AREA: 264,150 SQUARE FEET 6.06 ACRES NET AREA: 241,550 SQUARE FEET 5.54 ACRES

### ZONING:

ZONING INFORMATION SHOWN HEREON IS TAKEN FROM THE ZONING SECTION OF THE DUE DILIGENCE REPORT PREPARED BY KEITH & ASSOCIATES INC., UNDER JOB NUMBER 10067.00, DATED NOVEMBER 3, 2017. THE SITE IS LOCATED WITHIN THE CITY OF HOLLYWOOD REGIONAL ACTIVITY CENTER, HOWEVER THERE ARE NO EXISTING RESIDENTAL/HOTEL UNITS AND/OR COMMERCIAL UNITS AS THE SITE IS CURRENTLY VACANT.

SITE 1=LOTS 13-17 SITE 2=LOTS 19-21

SITE 3=LOTS	5 9-19 & L	OTS 4-5		
AREA	ZONING	FRONT SET BACK	REAR SET BACK	SIDE SET BACK
SITE 1	DH-2	15'	20'	10'
SITE 2	DH-2	15'	20'	10'
SITE 3	DH-3	15'	20'	10'
SITE 2=1.75	(179,375 (107,625 )	SQUARE FEET) SQUARE FEET) SQUARE FEET)	4 STORIES (45' N	IAX)
	SPACES, 60	(RESIDENCIES) 6 (RESIDENCIES) 3	(GUEST) 5 (LEASING (GUEST) 3 (MANAGEN	OFFICE) Ment Office)

SITE 3=36 SPACES, 30 (RESIDENCIES) 3 (GUEST) 3 (MANAGEMENT OFFICE)

TITLE REF	PORT EASEMENTS, RESTRICTIONS, 1062-3930882 (	AND OTHER MATTERS PER FIF (REVISION A), EFFECTIVE DATE:					OMPANY FILE NUMBER :		
ENCUMBRANCE NUMBER	DESCRIPTION	OFFICIAL RECORDS BOOK AND PAGE	AFFECTS		AFFECTS		PLOT ON SU		COMMENT
			YES	NO	YES	NO			
1	AMENDED EASEMENT DEED	O.R.B. 50264, PAGE 1803	Х			Х	NO PLOTTABLE MATTERS		
2	AMENDED EASEMENT DEED	O.R.B. 49885, PAGE 466	Х			Х	NO PLOTTABLE MATTERS		
3	QUIT CLAIM DEED	O.R.B. 12686, PAGE 451		Х		Х	LOT 4&5 SOUTH OF SURVEY		
4	QUIT CLAIM DEED	O.R.B. 12686, PAGE 450	Х			Х	NO PLOTTABLE MATTERS		
5	QUIT CLAIM DEED	O.R.B. 4987, PAGE 341	Х			Х	NO PLOTTABLE MATTERS		
6	AGREEMENT TO RELEASE	O.R.B. 3937, PAGE 908	Х			Х	NO PLOTTABLE MATTERS		
7	RELEASE TO REVERTER	O.R.B. 3850, PAGE 978	Х			Х	NO PLOTTABLE MATTERS		
8	RELEASE TO REVERTER	O.R.B. 3850, PAGE 977	Х			Х	NO PLOTTABLE MATTERS		
9	EASEMENT AGREEMENT	O.R.B. 1937, PAGE 334	Х		Х		AFFECTS SHOWN ON SURVEY		
10	AGREEMENT	O.R.B. 571, PAGE 319	Х		Х		AFFECTS SHOWN ON SURVEY		
11	RELEASE TO REVERTER	O.R.B. 546, PAGE 44		Х		Х	LOT 5&6 SOUTH OF SURVEY		
12	RELEASE TO REVERTER	O.R.B. 533, PAGE 75		Х		Х	LOT 5&6 SOUTH OF SURVEY		

TITLE	REPORT EASEMENTS, RESTRICTIONS, 1062-3924907 (	AND OTHER MATTERS PER FIR REVISION A), EFFECTIVE DATE:					OMPANY FILE NUMBER :
ENCUMBRANCE NUMBER			AFFECTS PLOTTED ON SURVEY			COMMENT	
			YES	NO	YES	NO	
1	PLAT	PLAT BOOK 1, PAGE 26	Х		Х		AFFECTS SHOWN ON SURVEY
2	DEED	DEED BOOK 470, PAGE 304	Х			Х	NO PLOTTABLE MATTERS
3	RELEASE TO REVERTER	DEED BOOK 638, PAGE 469	Х			Х	NO PLOTTABLE MATTERS
4	RELEASE TO REVERTER	O.R.B. 1939, PAGE 417	Х			Х	NO PLOTTABLE MATTERS
5	RESOLUTION	O.R.B. 2280, PAGE 80		Х		Х	FOR I-95 RIGHT OF WAY
6	RELEASE TO REVERTER	O.R.B. 3360, PAGE 807	Х			Х	NO PLOTTABLE MATTERS
7	DEDICATION OF UTILITY EASEMENT	O.R.B. 40558, PAGE 1734	Х		Х		AFFECTS SHOWN ON SURVEY
8	RESOLUTION NO. 07-DPV-42	O.R.B. 45564, PAGE 24	Х			Х	NO PLOTTABLE MATTERS
9	WARRANTY DEED	DEED BOOK 16, PAGE 276	Х			Х	NO PLOTTABLE MATTERS
10	WARRANTY DEED	DEED BOOK 96, PAGE 37	Х			Х	NO PLOTTABLE MATTERS

## 4

- 6.

- REQUEST.

RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV
9.16'	8" PVC 8" PVC	(-) 2.37'(S) (-) 2.20'(E)
8.83'	8" PVC 8" PVC 8" PVC	(-) 2.58'(N) (-) 1.87'(S) (-) 2.54'(W)
8.96'	8" PVC 8" PVC	(-) 1.09'(N) (-) 0.99'(E)
8.56'	8" PVC 8" PVC	(-) 0.03'(E) (-) 0.13'(W)
8.55'	8" PVC 8" PVC	1.04'(SE) 1.22'(W)
8.73'	8" PVC	3.07'(W)
8.53'	8" PVC 8" PVC	(-) 0.37'(E) (-) 0.50'(W)
8.90'	8" PVC 8" PVC	1.20'(NW) 1.29'(E)
8.94'	8" PVC 8" PVC	1.63'(NE) 1.54'(W)
8.87'	8" PVC 8" PVC	1.82'(SW) 1.82'(E)
8.40'	8" PVC 8" PVC	1.51'(E) 1.50'(W)
8.55'	8" CLAY 8" PVC	2.88'(E) 3.13'(W)

## SURVEY NOTES:

1. LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.

2. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

3. LANDS SHOWN HEREON WERE ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD BY FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE REPORT FILE NO. 1062-390882 (REVISION A) AND TITLE REPORT FILE NO. 1062-3924907 (REVISION A) BOTH DATED FEBRUARY 16, 2018 @ 8:00 AM.

OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST.

5. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.

BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH 02"06'57" WEST ALONG THE WEST LINE OF BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

7. IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.

8. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1988 (NAVD 1988). SAID ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARK M 312; A BRASS DISK ON THE TOP OF A RETAINING WALL AT THE CITY HALL BUILDING NEAR THE THE INTERSECTION OF HOLLYWOOD BOULEVARD AND SOUTH 26TH AVENUE, 17 FEET +/- SOUTHEAST OF THE NORTHEAST CORNER OF THE BUILDING, 8 FEET +/- EAST OF THE EAST WALL OF THE BUILDING AND 3.6 FEET SOUTH OF THE NORTH END OF THE RETAINING WALL; ELEVATION= 13.44' LOADING DOCK OF THE SEARS ROEBUCK CO. SERVICE BUILDING, 92' NORTHEAST OF THE CENTER OF THE CROSSING OF NORTHEAST 38TH STREET, 34.2' EAST OF AND ACROSS SIDE TRACK FROM THE EAST RAIL OF THE NORTHBOUND TRACK, AND 1.4' NORTH OF THE SOUTHWEST CORNER OF THE LOADING PLATFORM, ELEVATION= 13.44' AND BENCHMARK BC 529; A BRASS DISC STAMPED "B.C. 529" IN THE TOP OF A CONCRETE MONUMENT AT THE INTERSECTION OF DIXIE HIGHWAY AND WILEY COURT, 39 FEET +-/ EAST OF THE CENTERLINE OF DIXIE HIGHWAY AND 18 FEET +/- SOUTHEAST OF A UTILITY POLE; ELEVATION = 7.68'.

9. THE OWNERSHIP OF FENCES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.

10. THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE STANDARDS OF PRACTICE (RULE 5J-17, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.

11. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL WHICH MAY HAVE BEEN ENLARGED FOR CLARITY, ALL MAPPED FEATURES SHOWN HEREON WERE OBTAINED BY KEITH & ASSOCIATES, INC. FOR THE PURPOSE OF THIS SURVEY. DISTANCES SHOWN HEREON ARE IN U.S. FEET.

12. THE INTENDED DISPLAY SCALE OF THIS SURVEY IS 1" = 40' or smaller.

13. THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS +/- 0.02' FOR HARD SURFACE ELEVATIONS AND 0.1' FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL LOCATION ACCURACY IS +/- 0.1'. 14. UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.

15. THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983 WITH THE NATIONAL SPATIAL REFERENCE SYSTEM 2011 ADJUSTMENT APPLIED (83/NSRS2011). TRANSVERSE MERCATOR. FLORIDA EAST ZONE.

16. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12011C0569H, COMMUNITY NO. 125113, EFFECTIVE DATE 8-18-2014, THIS PROPERTY LIES IN ZONE AH, BASE FLOOD ELEVATION (9) AND ZONE X 0.2% ANNUAL CHANCE OF FLOOD HAZZARD, BASE FLOOD ELEVATION (NONE).

17. PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$ 5- MILLION DOLLARS TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON

#### **CERTIFICATION:**

THIS SURVEY IS MADE FOR THE BENEFIT OF: PINNACLE AT PEACEFIELD, LTD. A FLORIDA LIMITED PARTNERSHIP: POLICY; SHUTTS & BOWEN, LLP;

FIRST AMERICAN TITLE INSURANCE COMPANY; DOWNTOWN HOLLYWOOD COMMUNITY REDEVELOPMENT AGENCY; THE UNDERSIGNED, LEE POWERS, PROFESSIONAL LAND SURVEYOR NO. 6805 DOES HEREBY CERTIFY TO THE AFORESAID PARTIES, AS OF THE DATE SET FORTH BELOW THAT I HAVE MADE A CAREFUL SURVEY OF A TRACT OF LAND DESCRIBED AS FOLLOWS: PARCEL 1:

THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. PARCEL 2:

PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. PARCEL 3:

TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH AL APPLICABLE LAWS REGULATING SURVEYING IN THE STATE OF FLORIDA AND WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES

ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 8, 9, 11, 13, 14, 16, 17, 19, AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 15, 2017. 1. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY EXCEPT AS NOTED; THERE ARE NO VISIBLE ENCROACHMENTS O THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SUBJECT PROPERTY EXCEPT AS SHOWN HEREON: AND THERE ARE NO PARTY WALLS. ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS ("REA'S") HAVE BEEN DENOTED ON THE SURVEY. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY. THE LIMITS OF ANY REA'S OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE LAND SUBJECT TO THE SURVEY ARE REPORTED.

2. THE SUBJECT PROPERTY IS THE SAME AS THE PROPERTY DESCRIBED IN THOSE CERTAIN TITLE REPORTS NO. 1062-390882 (REVISION A) AND 1062-3924907 (REVISION A) ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2018 @ 8:00 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SUBJECT PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

HAVING A ZONE DESIGNATION OF "X, AREAS INSIDE OF 0.2% ANNUAL CHANCE OF FLOOD", BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 12011C0569H H, WITH A DATE OF IDENTIFICATION OF AUGUST 18. 2014. FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED. 4. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO ADAMS STREET, A DEDICATED PUBLIC STREETS OR HIGHWAYS. THE WIDTHS OF ALL ADJACENT RIGHTS-OF-WAY ARE INDICATED BY PERPENDICULAR ARROWS ON THE SURVEY DRAWING TO CONFIRM THAT THE SUBJECT PROPERTY IS TIED TO SAME. 5. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, OR ANY APPARENT DITCHES, DIKES, SLUICES OR CANALS OF THE SITE. 6. THERE IS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OR ANY

RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

7. THE TOTAL NUMBER OF PARKING SPACES ON THE SUBJECT PROPERTY IS ZERO, AS THE SITE IS VACANT LAND.

LEE POWERS PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 6805

LAST DATE OF FIELD WORK: 11/15/17

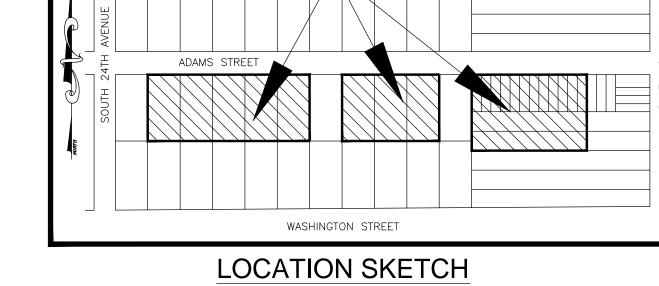
3. THE SUBJECT PROPERTY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA. THE PROPERTY LIES WITHIN SPECIAL FLOOD HAZARD ZONE AH, BASE FLOOD ELEVATION (9.0) AND WITHIN AN OTHER FLOOD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD AREA IS DELINEATED WITH SHADING OR OTHERWISE CLEARLY MARKED TO SHOW THE AREAS

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT

REGIONS BANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR AS DEFINED IN THE CONDITIONS OF THIS

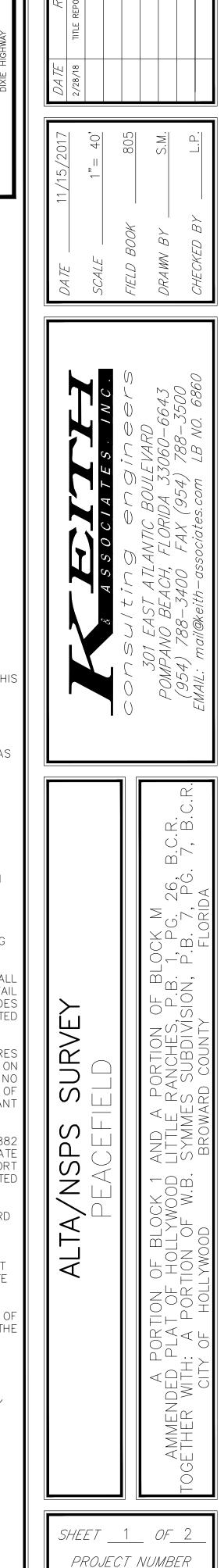


NOT TO SCALE

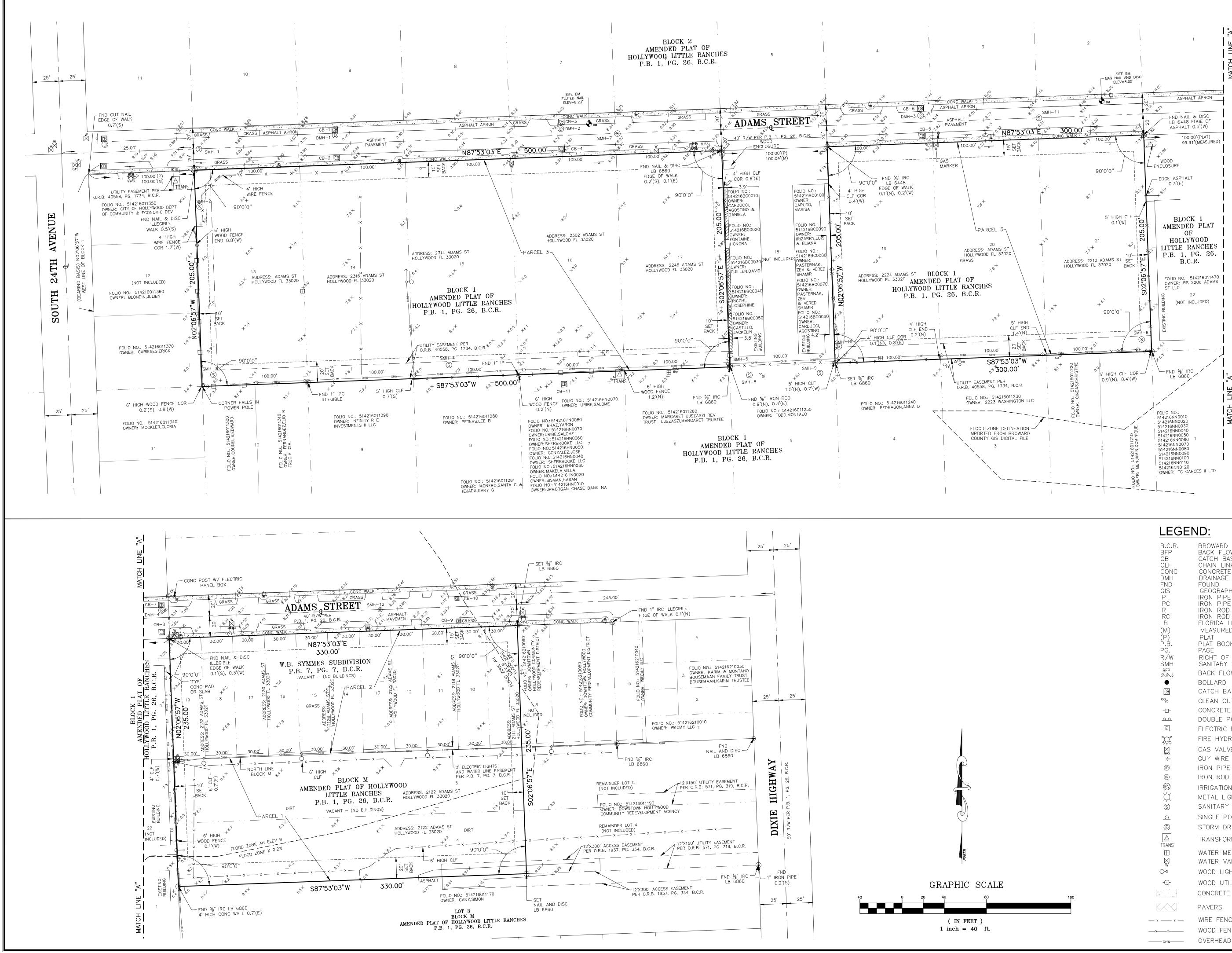
MADISON STREET

THIS

SURVEY

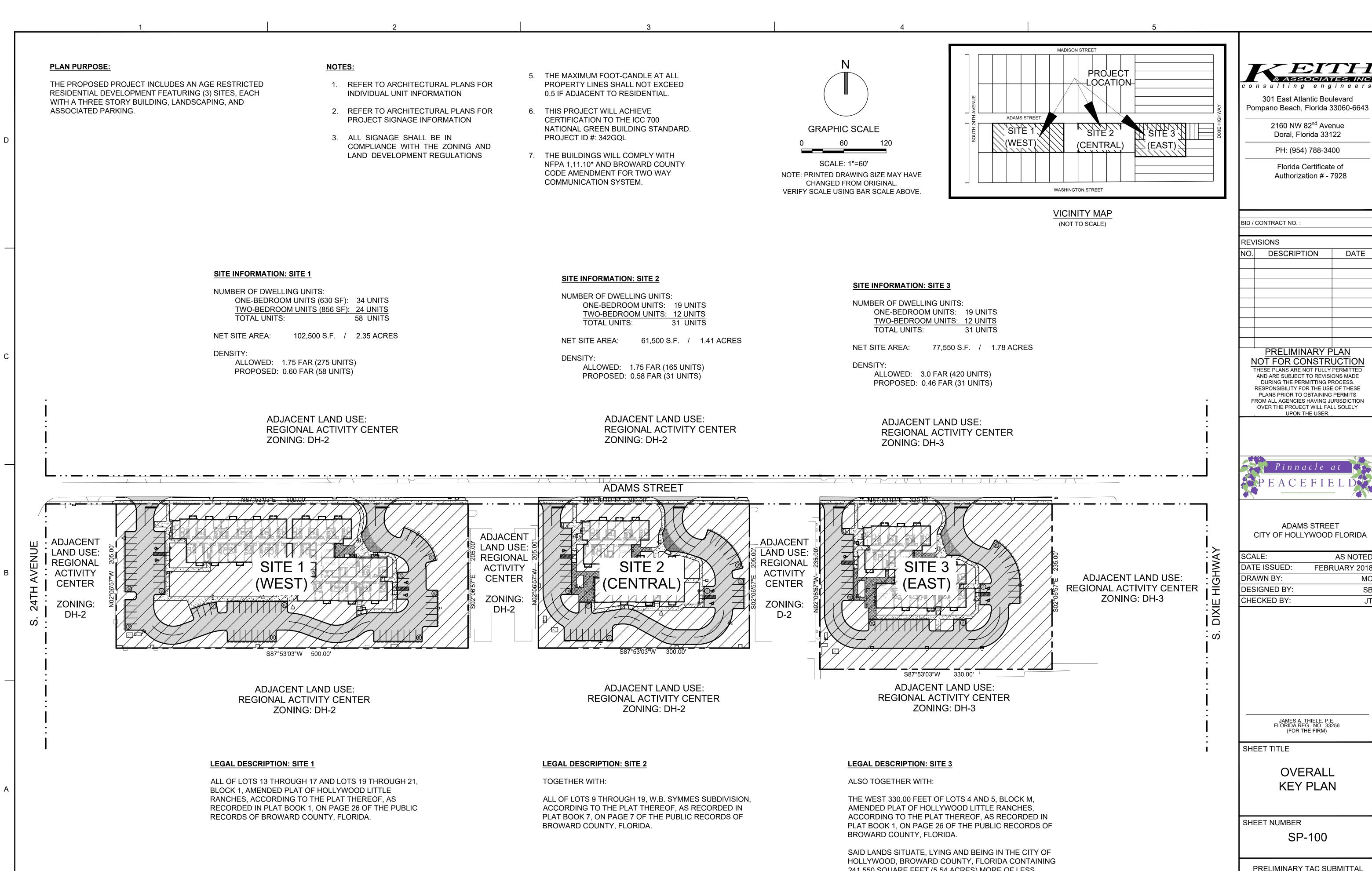


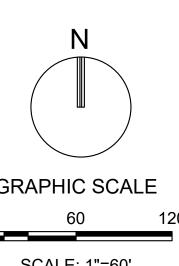
10067.00

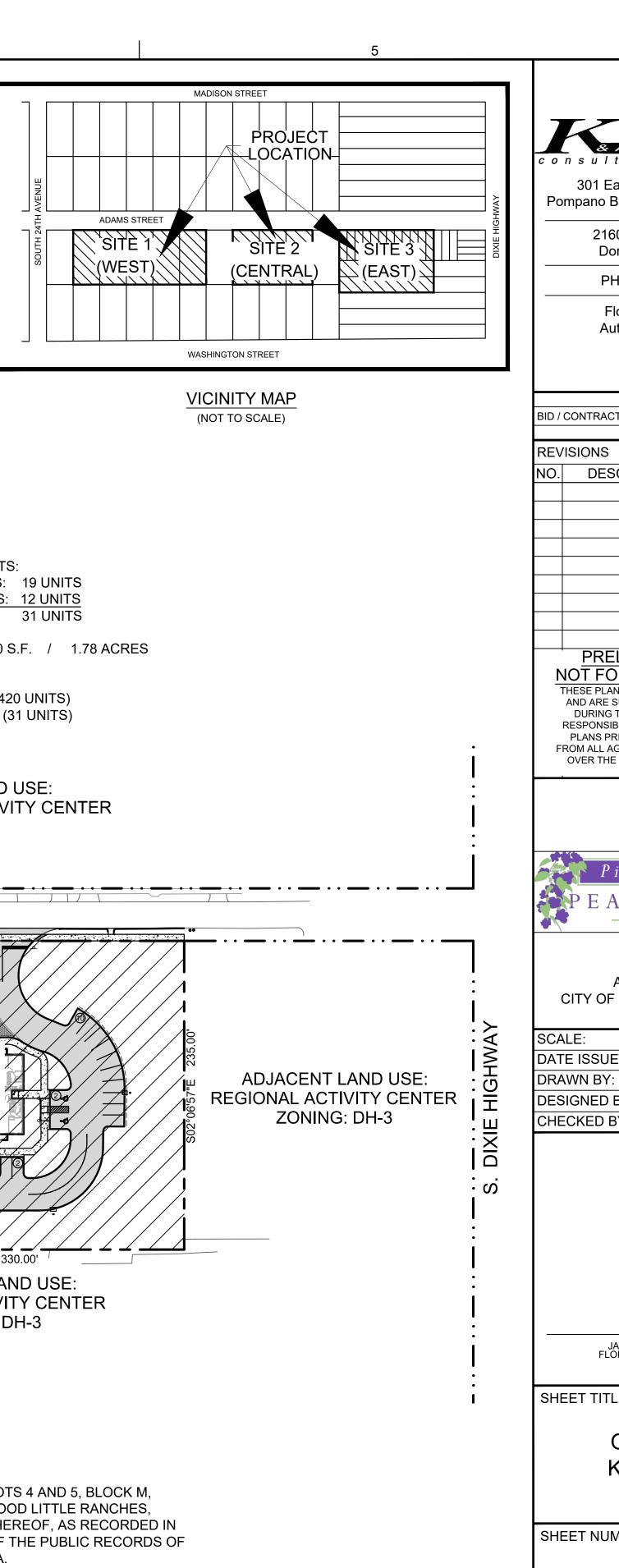


_EGEN	ND:
3.C.R. 3FP CB CLF CONC OMH FND GIS P C R RC _B (M) (P)	BROWARD COUNTY RECORDS BACK FLOW PREVENTER CATCH BASIN CHAIN LINK FENCE CONCRETE DRAINAGE MANHOLE FOUND GEOGRAPHIC INFORMATION SYSTEM IRON PIPE IRON PIPE IRON PIPE WITH CAP IRON ROD IRON ROD IRON ROD WITH CAP FLORIDA LICENSED BUSINESS NUMBER MEASURED PLAT
Þ.É. ÞG.	PLAT BOOK PAGE
R/W SMH	RIGHT OF WAY SANITARY SEWER MANHOLE
BFP (NHN)	BACK FLOW PREVENTER
СВ	BOLLARD CATCH BASIN
<sup>co</sup> o	CLEAN OUT
-0-	CONCRETE UTILITY POLE
<u>o o</u>	DOUBLE POST SIGN
E	ELECTRIC BOX
<b>\$</b>	FIRE HYDRANT
GAS	GAS VALVE
€ ₽	GUY WIRE ANCHOR IRON PIPE
R	IRON ROD
(CV)	IRRIGATION CONTROL VALVE
÷.	METAL LIGHT POLE
Ś	SANITARY SEWER MANHOLE
<u>.</u>	SINGLE POST SIGN
$\bigcirc$	STORM DRAIN MANHOLE
(A) TRANS	TRANSFORMER
	WATER METER
	WATER VALVE WOOD LIGHT POLE
)-⊙-	
	WOOD UTILITY POLE CONCRETE
$\overline{\langle}$	PAVERS
x	WIRE FENCE OR CHAIN LINK FENCE
<b>o</b>	WOOD FENCE
- OHW	OVERHEAD LINES

DATE 11/15/2017 2/28/18 TITLE REPORTS ADDED DDB	SCALE 1"=40'	FIELD BOOK 805	DRAWN BYS.M.	CHECKED BY L.P.		
	& ASSOCIATES. INC.	S L O	7	(954) 788–3400 FAX (954) 788–3500 EMAIL: mail@keith-associates.com LB NO. 6860		
ALTA/NSPS SURVEY	PEACEFIELD		A PORTION OF BLOCK 1 AND A PORTION OF BLOCK M AMMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, P.B. 1, PG. 26, B.C.R.	TOGETHER WITH: A PORTION OF W.B. SYMMES SUBDIVISION, P.B. 7, P.G. 7, B.C.R. CITY OF HOLLYWOOD BROWARD COUNTY FLORIDA		
SHE Pi	<i>SHEET</i> <u>2</u> <i>OF</i> <u>2</u> <i>PROJECT NUMBER</i> 10067.00					



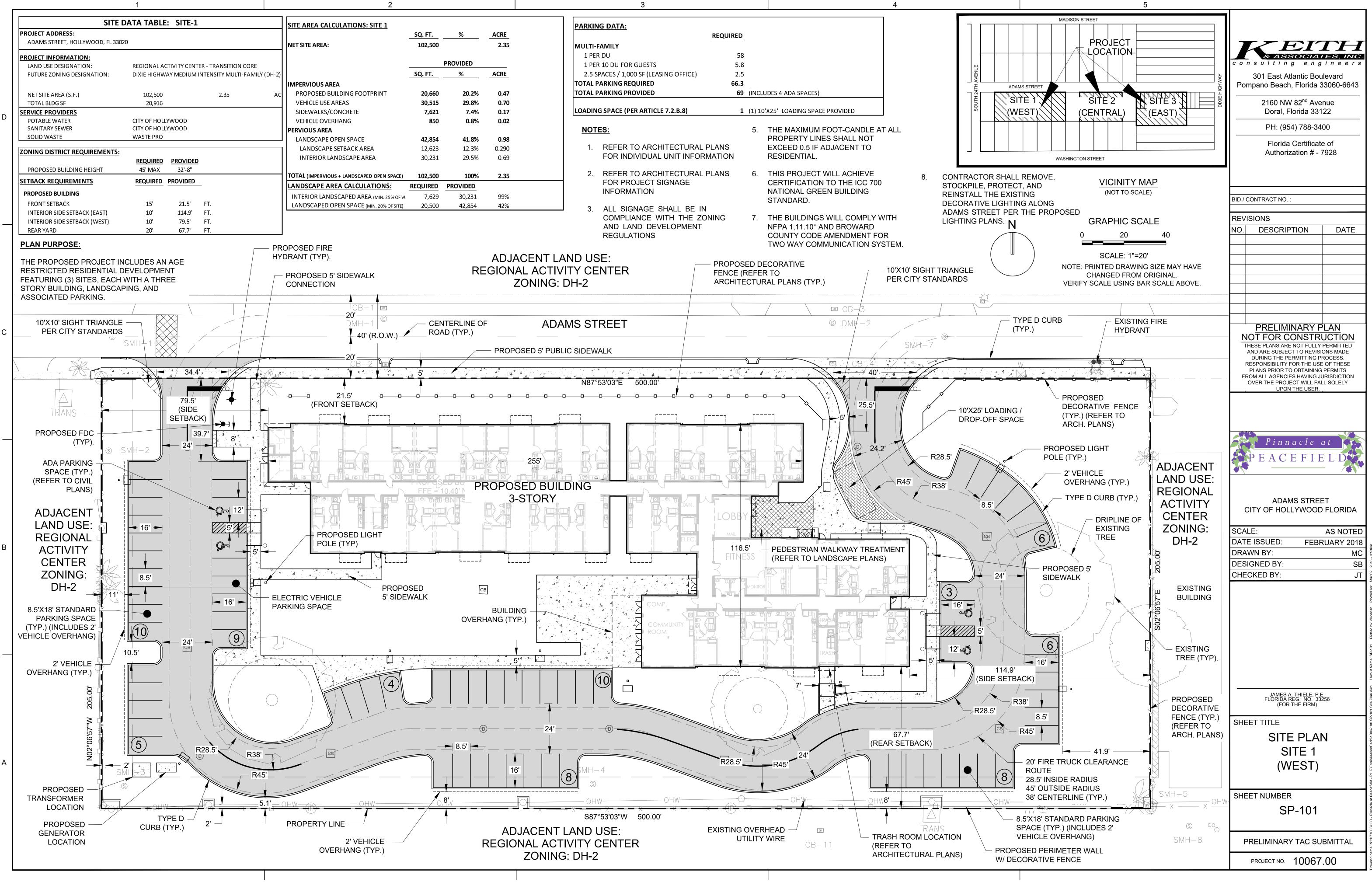




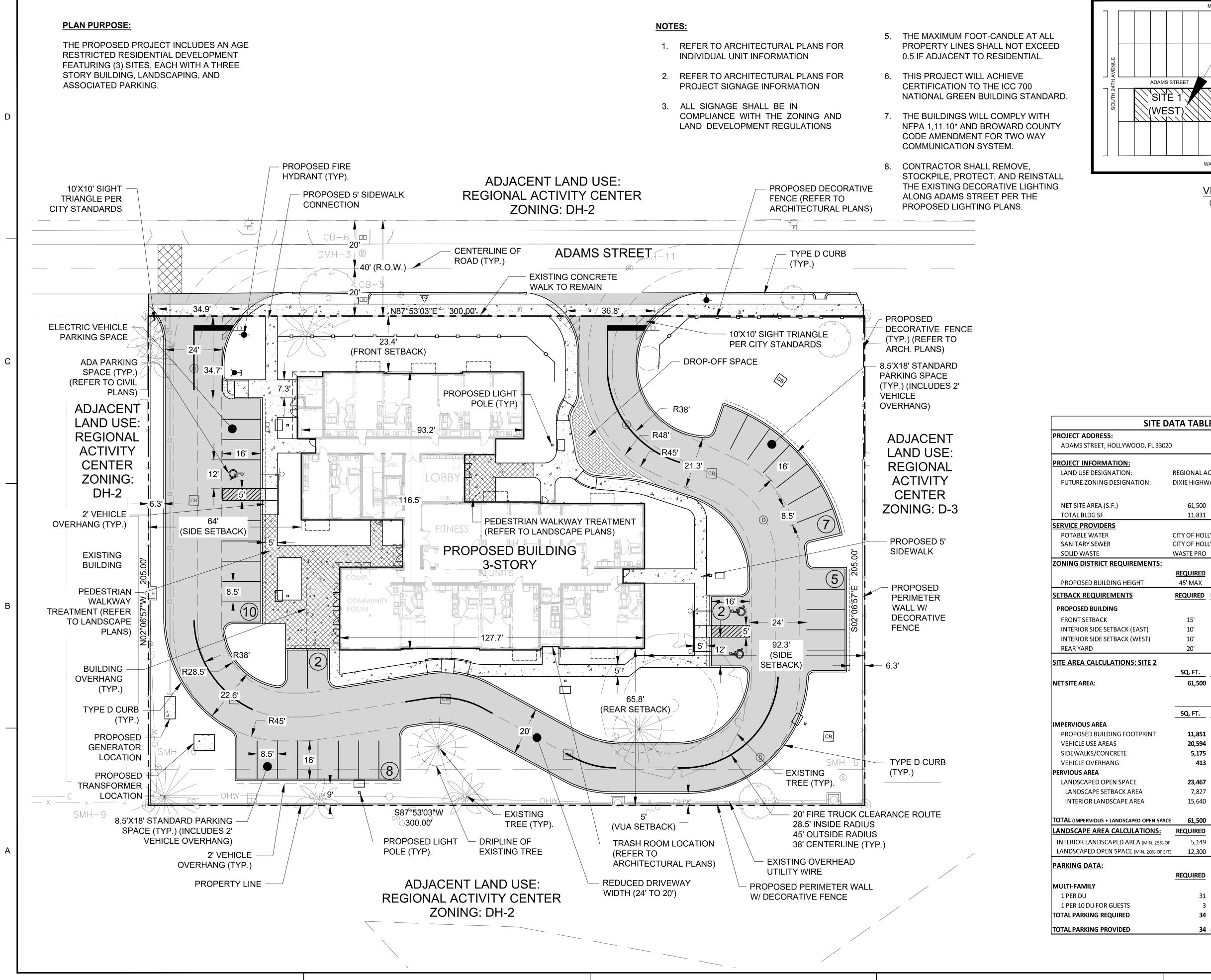
ADJACENT LAND USE:
REGIONAL ACTIVITY CENTER
ZONING: DH-2

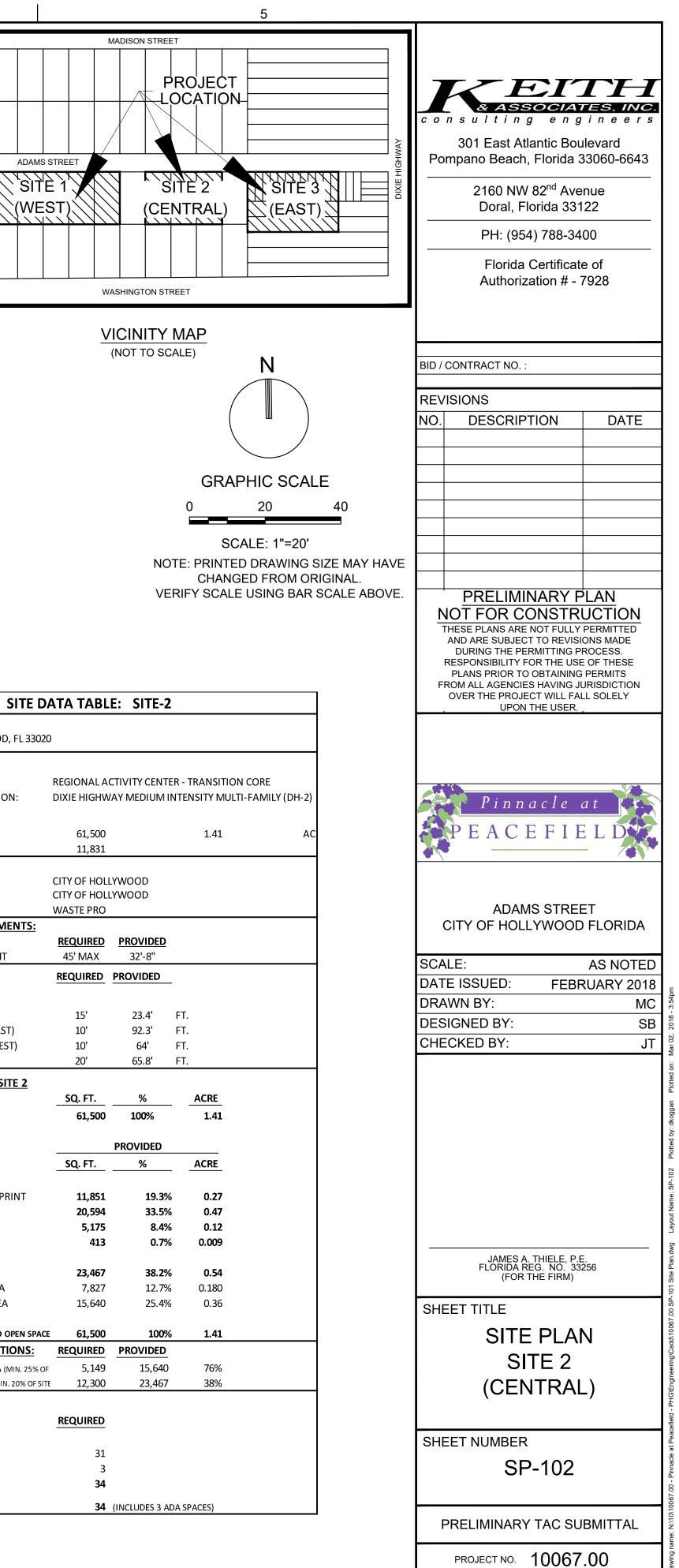
241,550 SQUARE FEET (5.54 ACRES) MORE OF LESS.

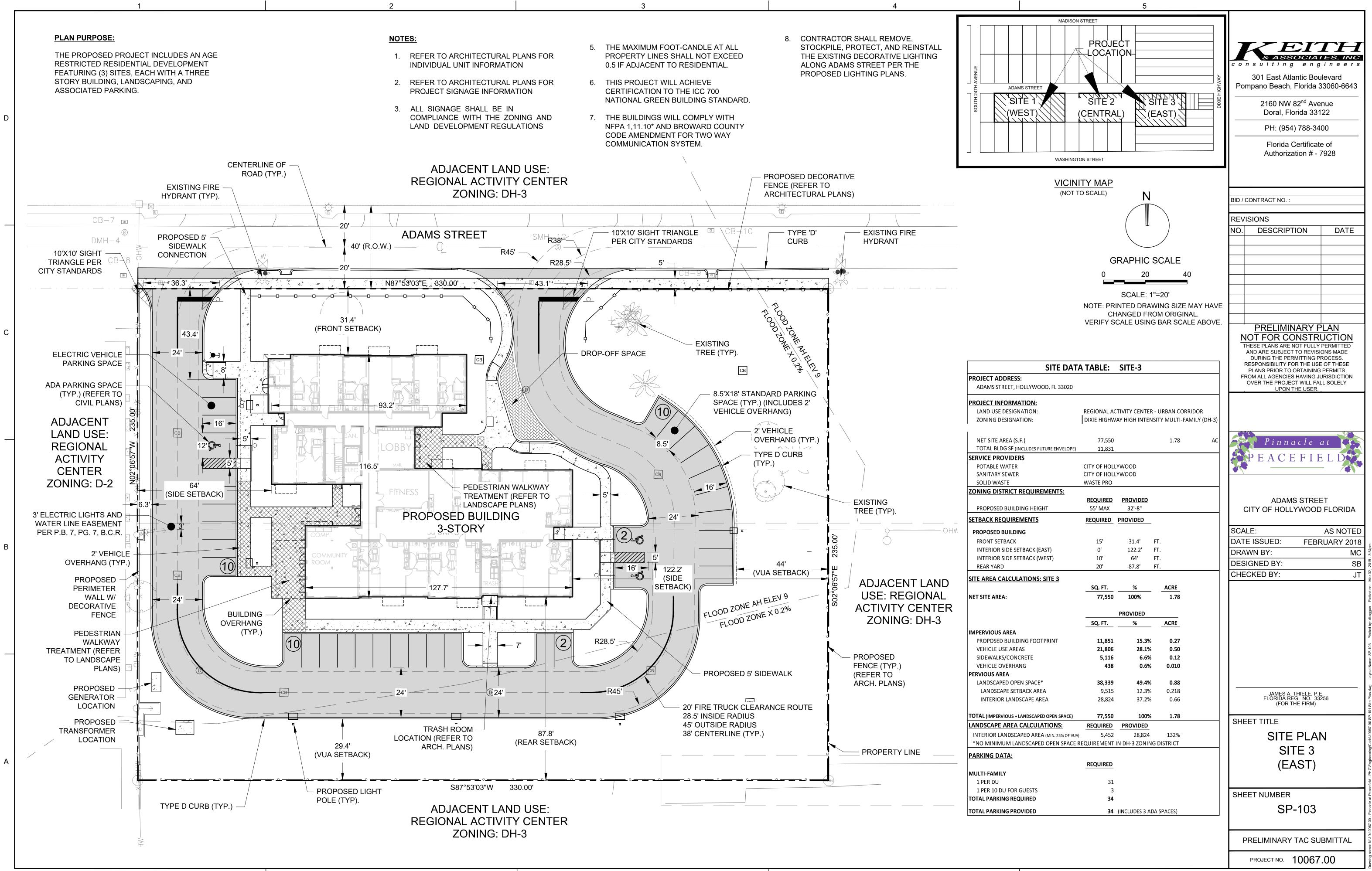
& ASSOCIATES, INC consulting engineers 301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643 2160 NW 82<sup>nd</sup> Avenue Doral, Florida 33122 PH: (954) 788-3400 Florida Certificate of Authorization # - 7928 BID / CONTRACT NO. DESCRIPTION DATE PRELIMINARY PLAN NOT FOR CONSTRUCTION THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER. Pinnacle at PEACEFIE ADAMS STREET CITY OF HOLLYWOOD FLORIDA AS NOTED FEBRUARY 2018 DATE ISSUED: MC SB JT JAMES A. THIELE, P.E. FLORIDA REG. NO. 33256 (FOR THE FIRM) SHEET TITLE **OVERALL KEY PLAN** SHEET NUMBER SP-100 PRELIMINARY TAC SUBMITTAL PROJECT NO. 10067.00



g name: N:10110067.00 - Prinnacle at Peacefield - PHG:Engineering/Cadd/10067.00 SP-101 Site Plan.dwg Layout Name: SP-101 Plotted by: dkoggan Plotted on: Mar 02, 2018 - 3:53pm

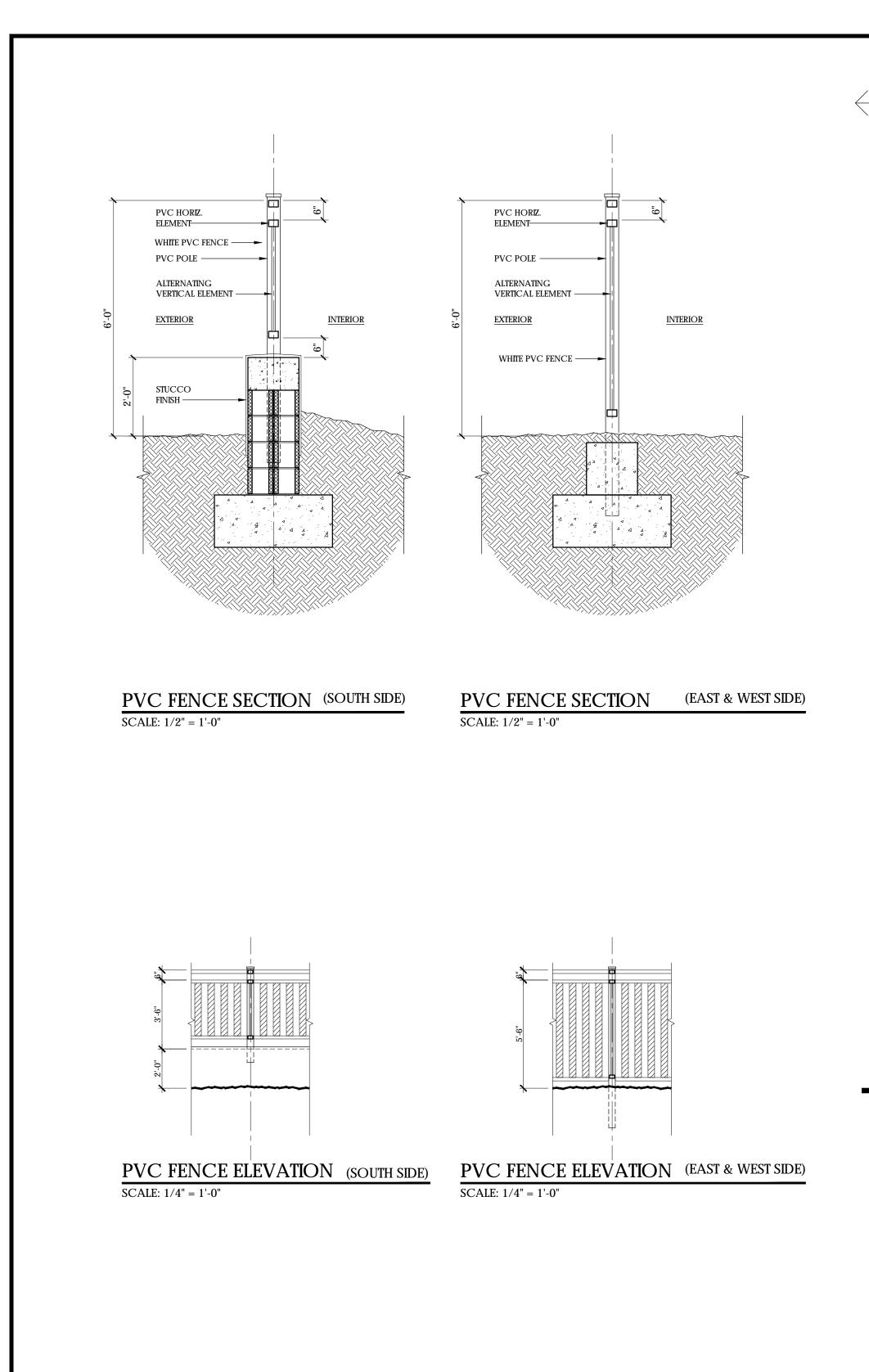


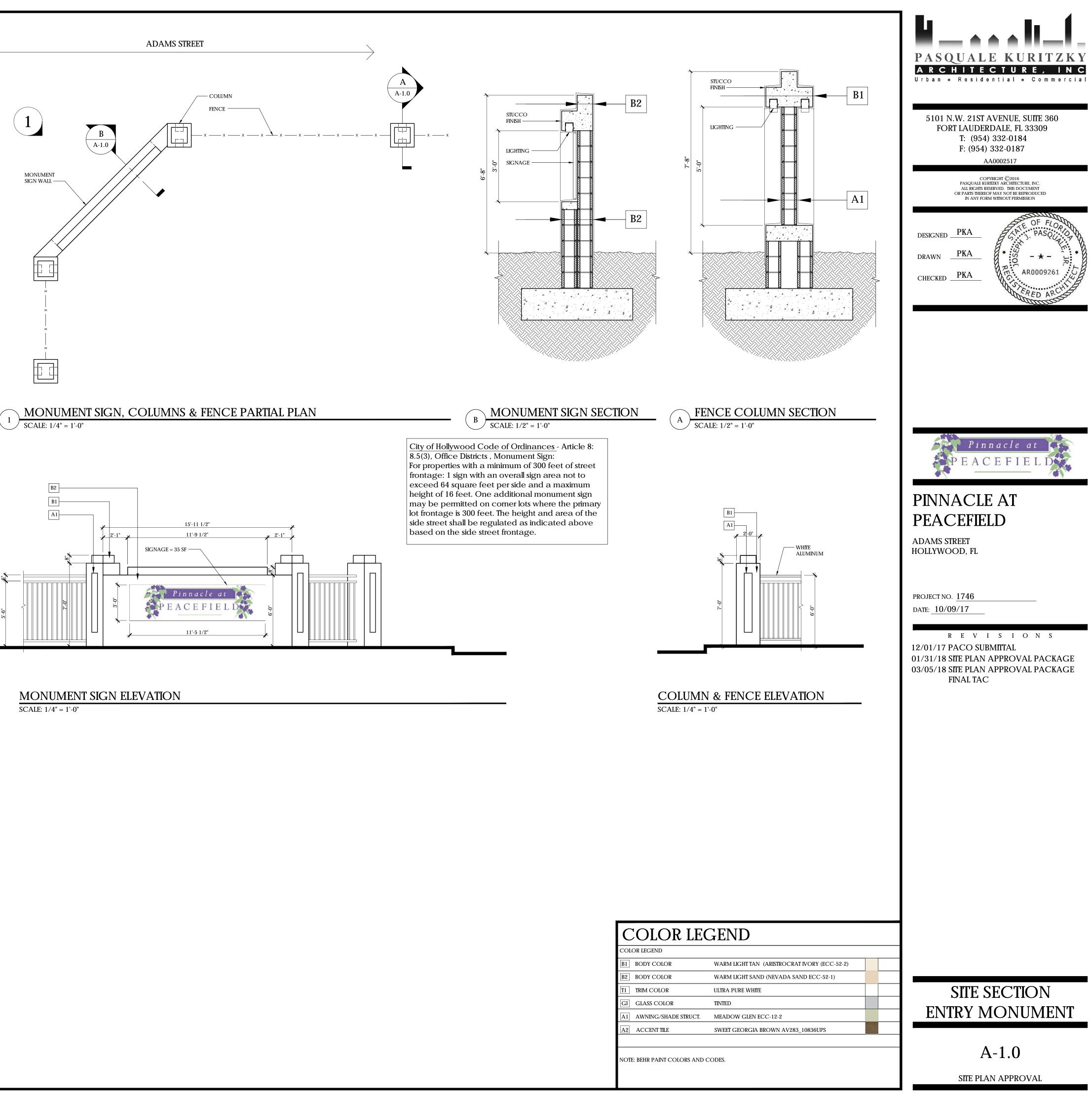


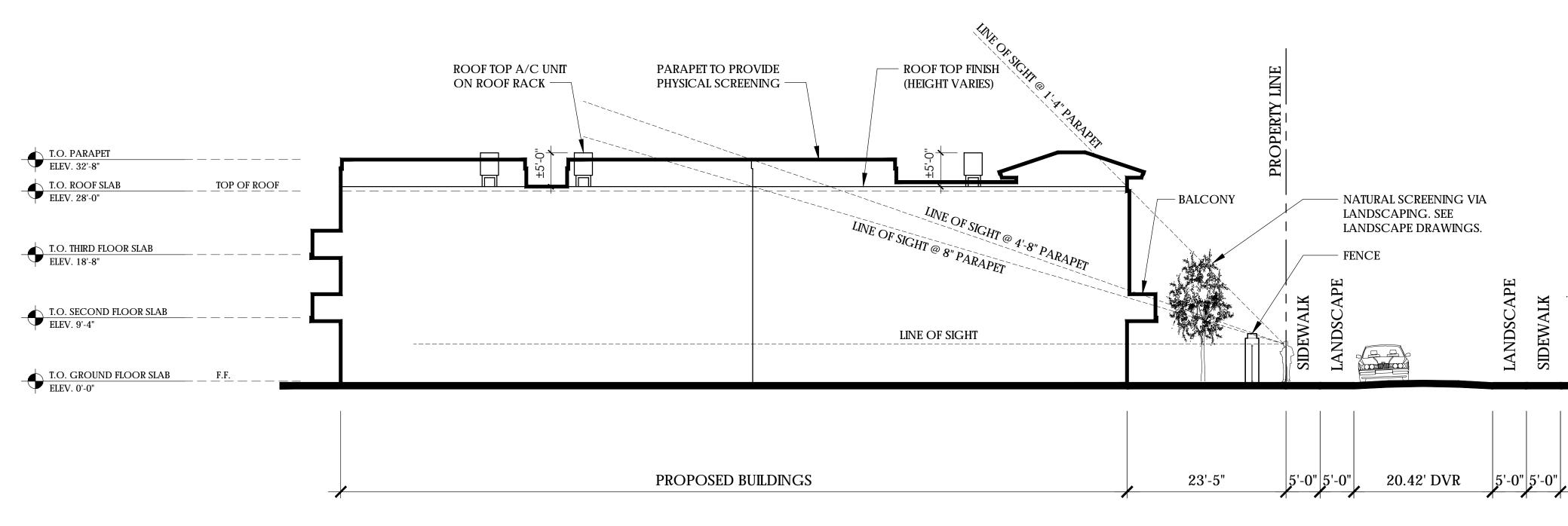


# HOLLYWOOD, FL





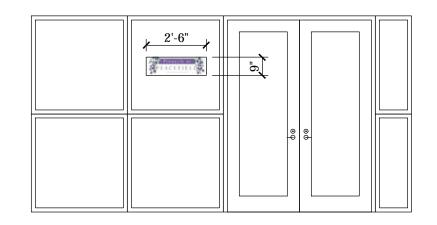


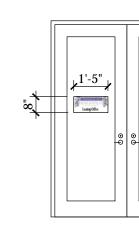


# STREET PROFILE - ADAMS STREET WEST VIEW

SCALE: 3/32" = 1'-0"

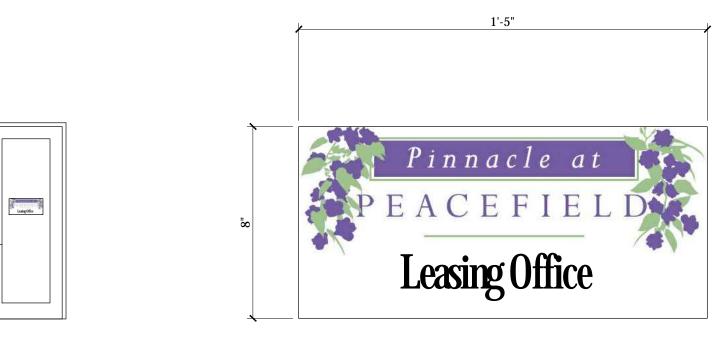
<u>City of Hollywood Code of Ordinances</u> - Article 8: 8.5(3), Office Districts , Window Sign: 15% of the window area not to exceed 20 square feet.



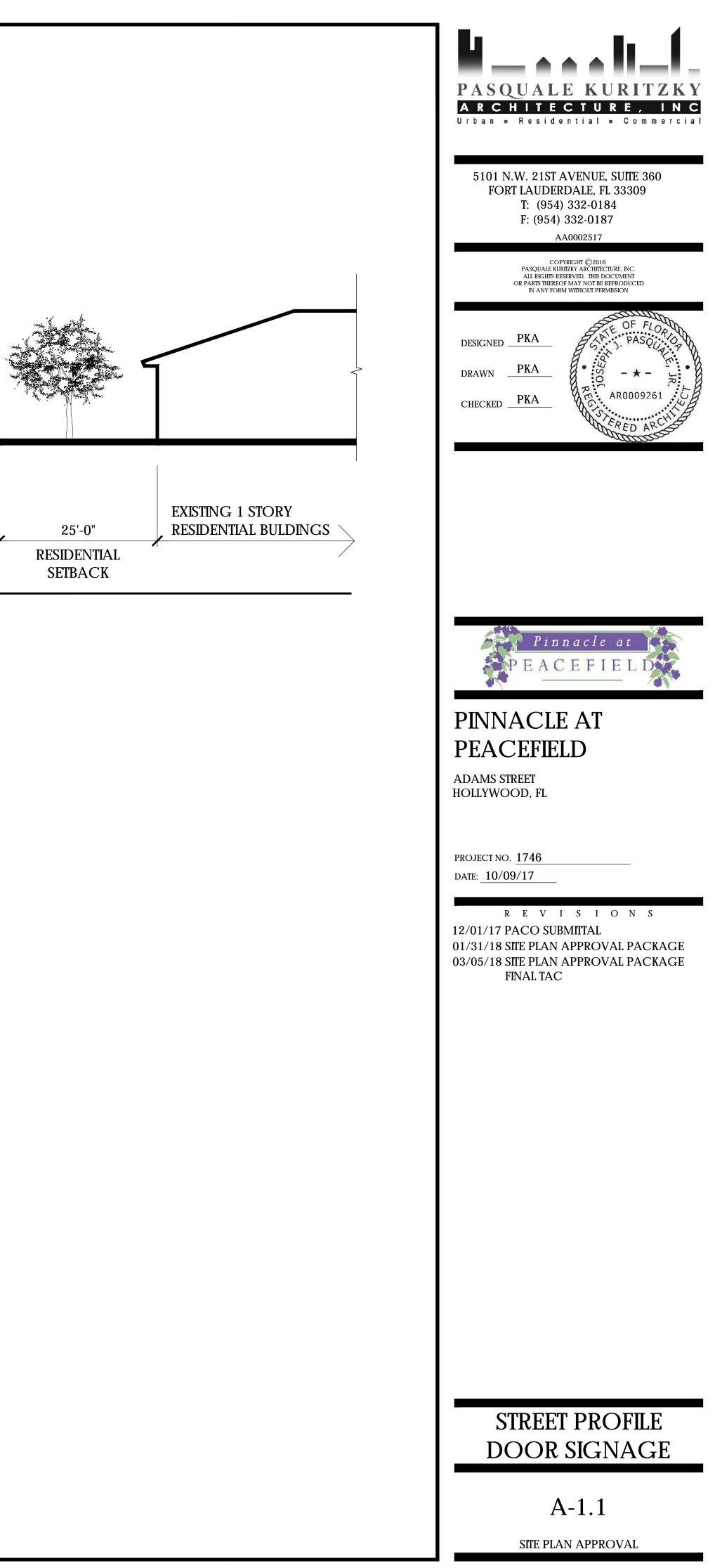


LOBBY SIGNAGE SCALE: 1/4" = 1'-0"

LEASING OFFICE SIGNAGE SCALE: 1/4" = 1'-0"



ENLARGED DOOR SIGNAGE SCALE: 3" = 1'-0"





# FIRST FLOOR PLAN - WEST BUILDING

	1
	PASQUALE KURITZKY ARCHITECTURE, INC Urban = Residential = Commercial
	5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309 T: (954) 332-0184 F: (954) 332-0187 AA0002517
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	DESIGNED <u>PKA</u> DRAWN <u>PKA</u> CHECKED <u>PKA</u> OF FLOP OF FLOP
	Pinnacle at PEACEFIELD PINNACLE AT PEACEFIELD
	ADAMS STREET HOLLYWOOD, FL
	PROJECT NO. 1746
	DATE: $10/09/17$ R E V I S I O N S
	12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE FINAL TAC
CODE NOTES	
2017 FBC: OCCUPANCY R2	
CONSTRUCTION TYPE III B NFPA 101	
<u>NOTE:</u> THE BUILDINGS WILL COMPLY WITH NFPA 1-11.10* AND BROWARD COUNTY CODE AMENDMENT FOR TWO WAY COMMUNICATION SYSTEM.	
	WEST BUILDING FIRST FLOOR PLAN
	A-2.0
	SITE PLAN APPROVAL



# SECOND FLOOR PLAN - WEST BUILDING

	ASQUALE KURITZKY RCHITECTURE, INC an = Residential = Commercia
Ę	5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309 T: (954) 332-0184 F: (954) 332-0187 AA0002517
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DRA	IGNED <u>PKA</u> WN <u>PKA</u> CKED <u>PKA</u> FRED ARCHING
	Pinnacle at PEACEFIELD
PE ADA	NNACLE AT EACEFIELD MS STREET LYWOOD, FL
	ECT NO. <u>1746</u> : <u>10/09/17</u>
	R E V I S I O N S 1/17 PACO SUBMITTAL
01/3	1/18 SITE PLAN APPROVAL PACKAGE 5/18 SITE PLAN APPROVAL PACKAGE FINAL TAC
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01/3 03/0	5/18 SITE PLAN APPROVAL PACKAGE



# THIRD FLOOR PLAN - WEST BUILDING

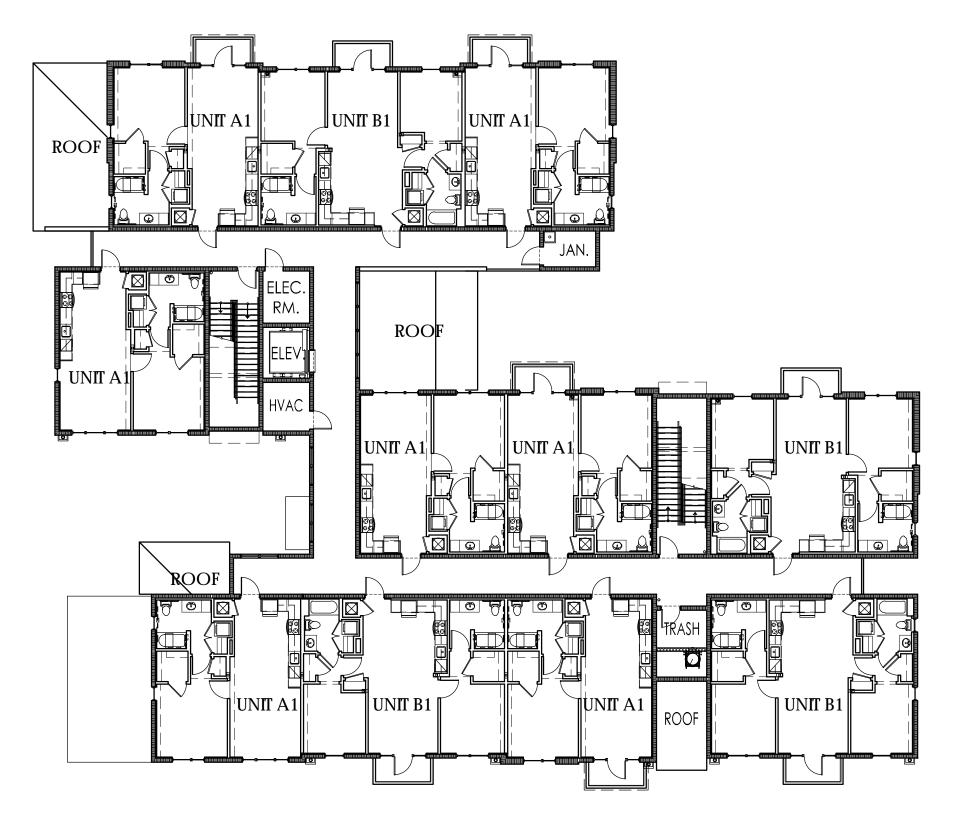


PASQUALE KURITZKY ARCHITECTURE, INC Urban - Residential - Commercial
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DESIGNED <u>PKA</u> DRAWN <u>PKA</u> CHECKED <u>PKA</u> CHECKED <u>PKA</u> OF FLOR PASQUED THE PASQUED THE PAS
Pinnacle at PEACEFIELD PINNACLE AT
PEACEFIELD Adams street hollywood, fl
PROJECT NO. <u>1746</u> DATE: <u>10/09/17</u>
R E V I S I O N S 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE FINAL TAC
WEST BUILDING THIRD FLOOR PLAN
A-2.2
SITE PLAN APPROVAL



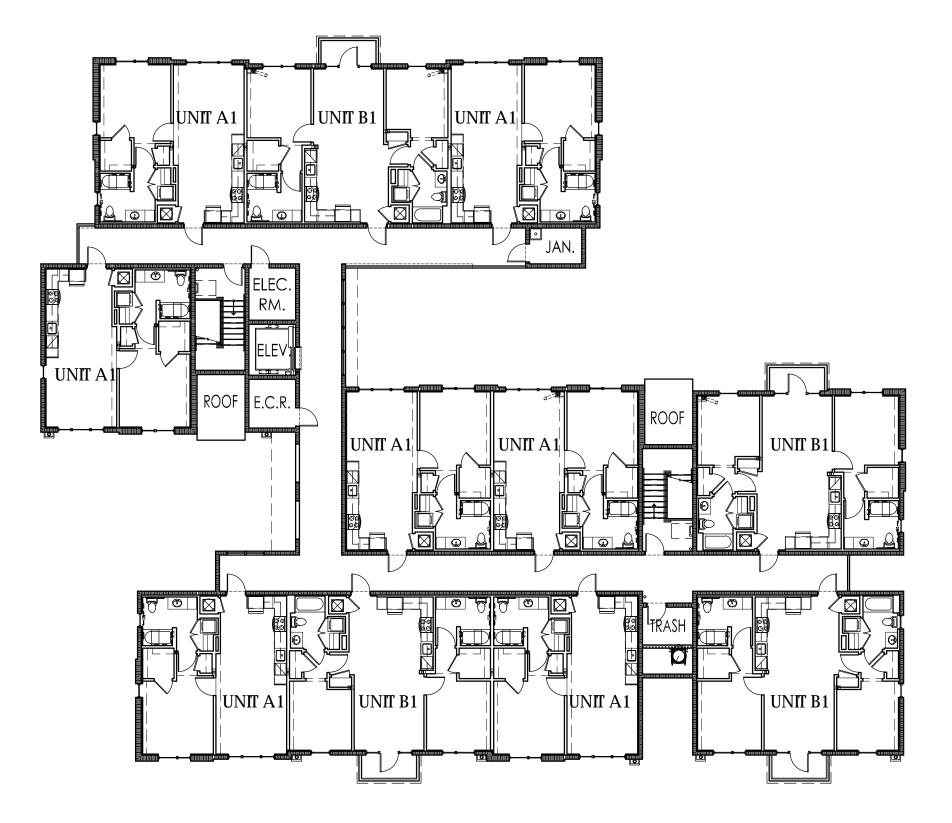
# FIRST FLOOR PLAN - CENTRAL / EAST BUILDING

PASQUALE KURITZKY ARCHITECTURE, INC Urban = Residential = Commercial
5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309 T: (954) 332-0184 F: (954) 332-0187 AA0002517
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DESIGNED PKA OF FLOP DRAWN PKA PKA AR0009261
Pinnacle at PEACEFIELD
PINNACLE AT PEACEFIELD Adams street Hollywood, fl
PROJECT NO. <u>1746</u> DATE: <u>10/09/17</u>
R E V I S I O N S 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE FINAL TAC
CENTRAL/EAST BLDG. FIRST FLOOR PLAN
A-2.4 SITE PLAN APPROVAL



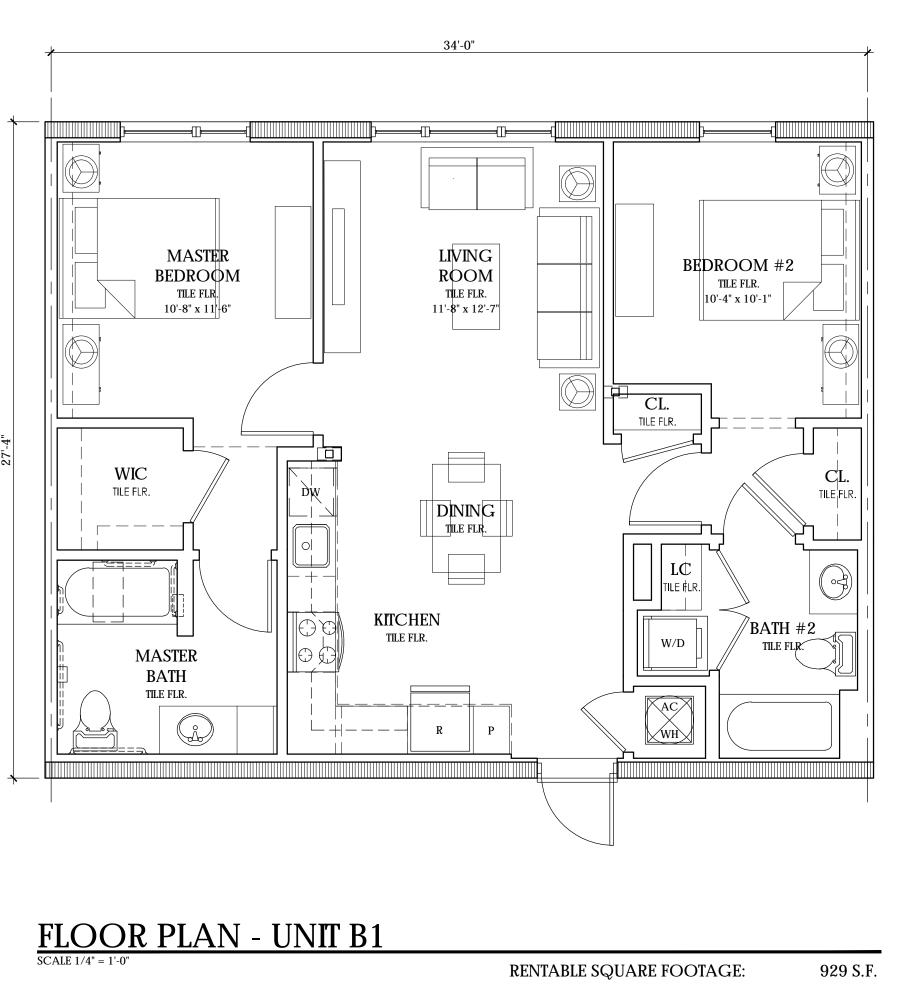
# SECOND FLOOR PLAN - CENTRAL / EAST BUILDING

PASQUALE KURITZKY ARCHITECTURE, INC Urban = Residential = Commercial
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DESIGNED <u>PKA</u> DRAWN <u>PKA</u> CHECKED <u>PKA</u> CHECKED <u>PKA</u> DRAWN <u>PKA</u> CHECKED <u>PKA</u> CHECKED <u>PKA</u>
Pinnacle at PEACEFIELD
PINNACLE AT PEACEFIELD Adams street Hollywood, fl
PROJECT NO. <u>1746</u> DATE: 10/09/17
R E V I S I O N S 12/01/17 PACO SUBMIITAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE FINAL TAC
CENTRAL/EAST BLDG. SECOND FLOOR PLAN
A-2.5
SITE PLAN APPROVAL

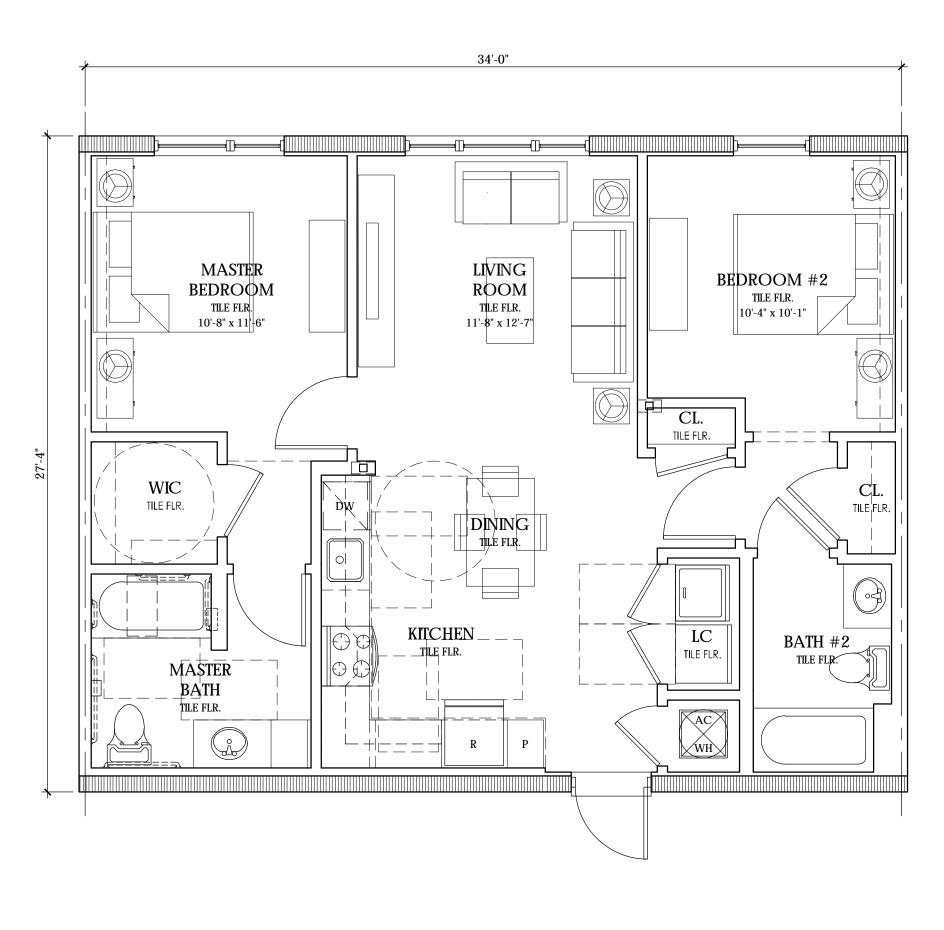


# THIRD FLOOR PLAN - CENTRAL / EAST BUILDING

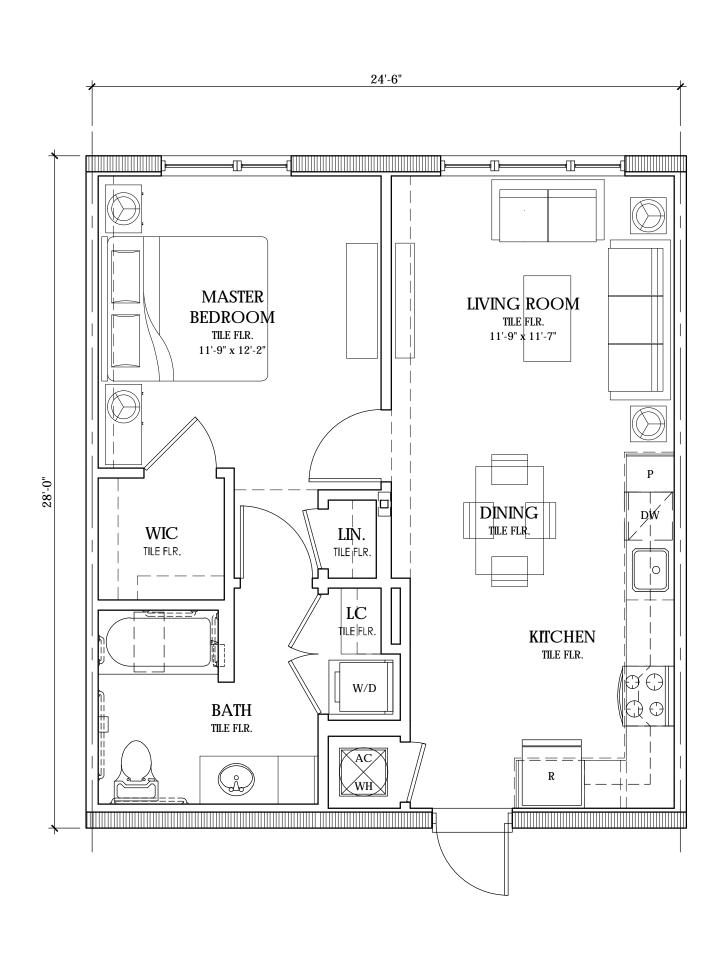
PASQUALE KURITZKY ARCHITECTURE, INC Urban = Residential = Commercial
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Pinnacle at PEACEFIELD
PINNACLE AT PEACEFIELD Adams street Hollywood, fl
PROJECT NO. <u>1746</u> DATE: <u>10/09/17</u>
R E V I S I O N S 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE FINAL TAC
CENTRAL/EAST BLDG. THIRD FLOOR PLAN
A-2.6 SITE PLAN APPROVAL



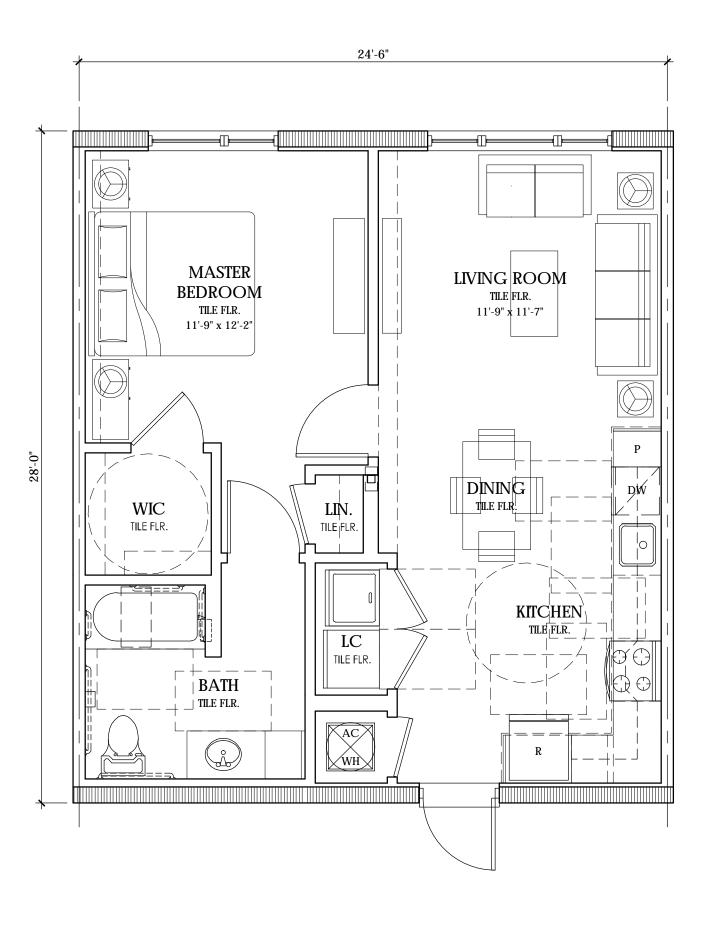




FLOOR PLAN - UNIT B2 (UFAS) SCALE 1/4" = 1'-0"

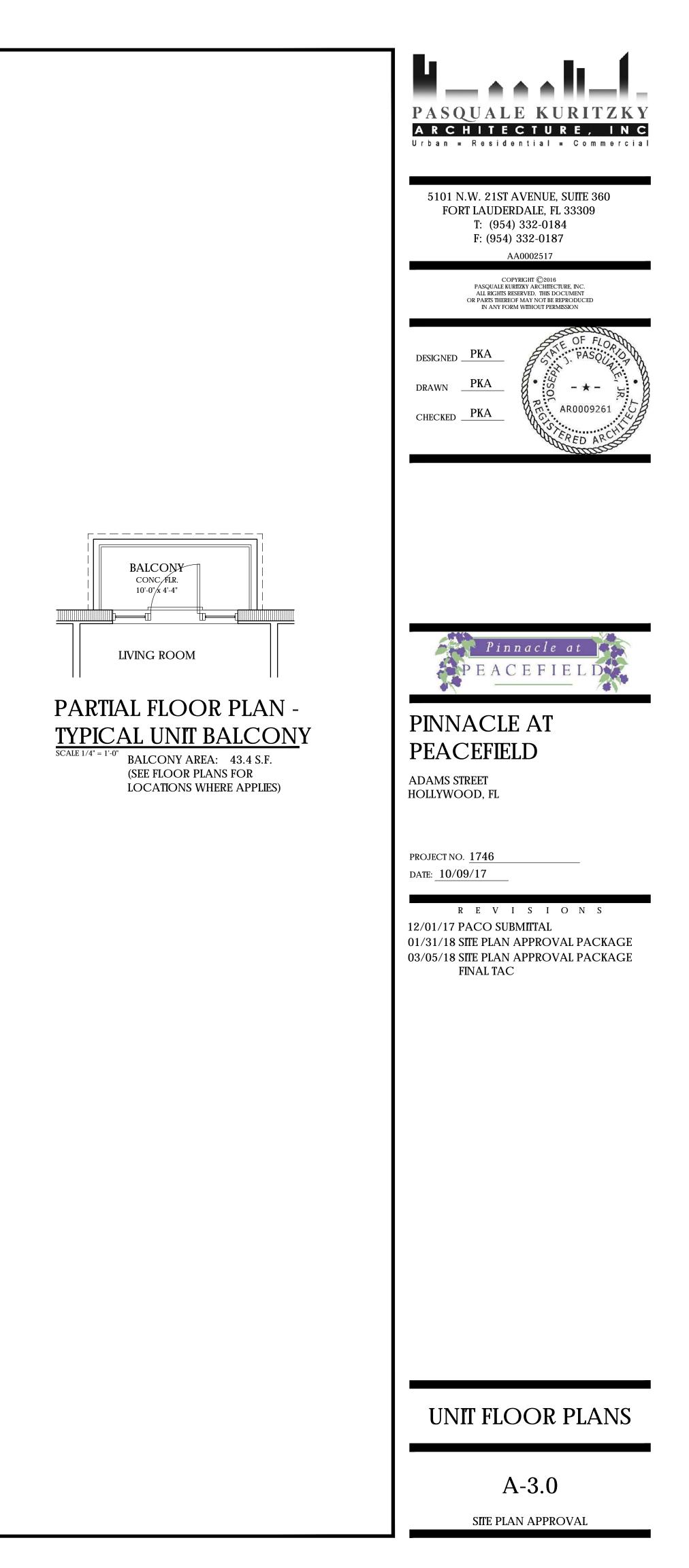


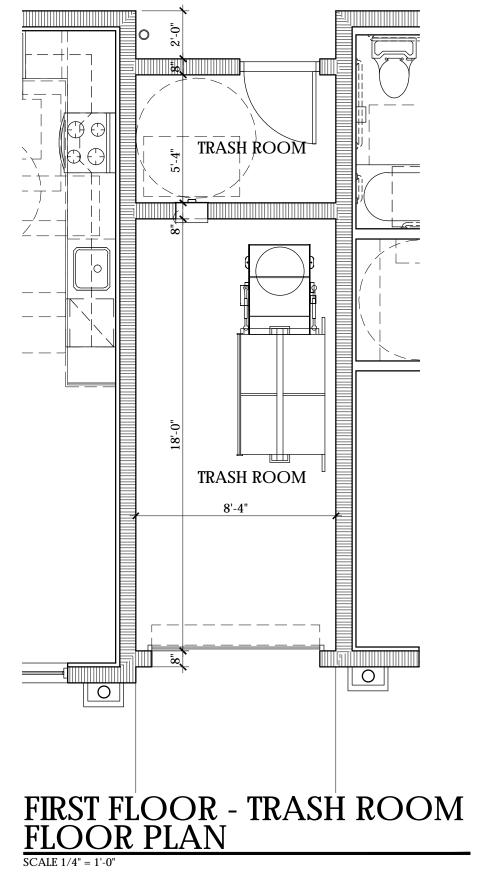


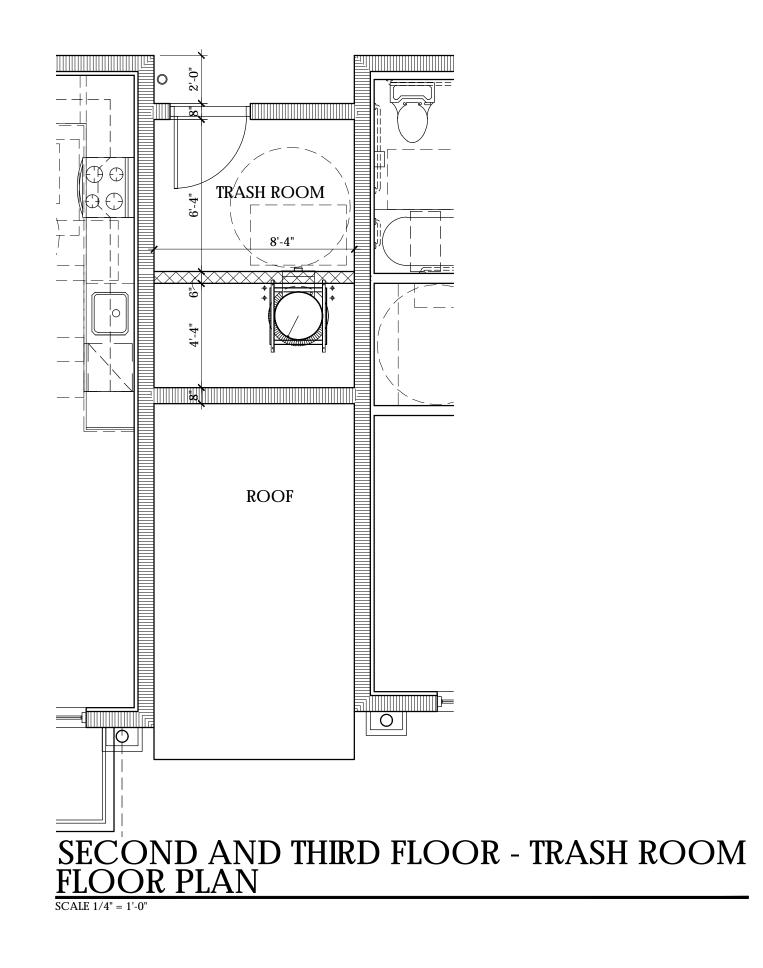


## FLOOR PLAN - UNIT A2 (UFAS) SCALE 1/4" = 1'-0"

RENTABLE SQUARE FOOTAGE:





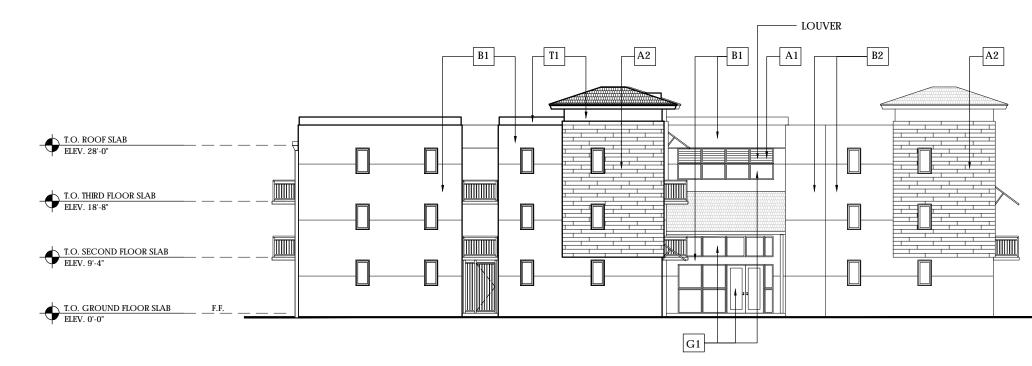


# FLOOR PLAN KEYNOTES

PASQUALE KURITZKY ARCHITECTURE, INC Urban - Residential - Commercia
5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309 T: (954) 332-0184 F: (954) 332-0187 AA0002517
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DESIGNED <u>PKA</u> DRAWN <u>PKA</u> CHECKED <u>PKA</u> CHECKED <u>PKA</u> DRAWN <u>PKA</u> CHECKED <u>PKA</u> CHECKED <u>PKA</u> CHECKED <u>PKA</u>
Pinnacle at PEACEFIELD
PINNACLE AT PEACEFIELD Adams street Hollywood, fl
PROJECT NO. <u>1746</u> DATE: <u>10/09/17</u>
R E V I S I O N S 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE FINAL TAC

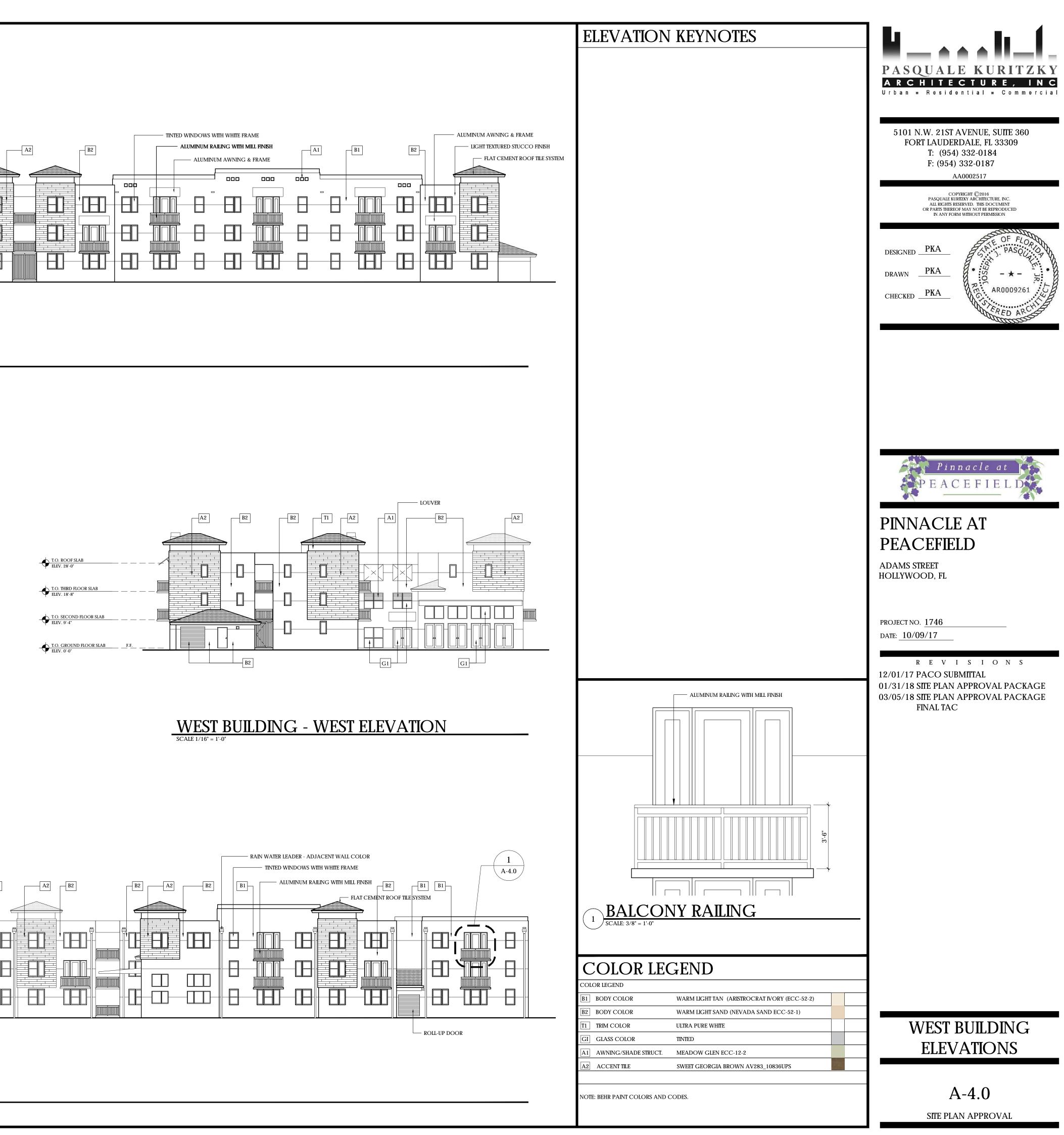


### WEST BUILDING - NORTH (ADAMS ST.) ELEVATION SCALE 1/16" = 1'-0"



# WEST BUILDING - EAST (LOBBY ENTRY) ELEVATION SCALE 1/16" = 1'-0"





	TINTED WINDOWS WITH WHITE FRAME	ALUMINUM AWNING & FRAME
B2 A2 B2	ALUMINUM RAILING WITH MILL FINISH	B2 LIGHT TEXTURED STUCCO FINISH
	ALUMINUM AWNING & FRAME	FLAT CEMENT ROOF TILE SYSTE
	╞╼╣┟──╢╓╎╓┉──╞╌┽──╞╼╣┟──╢╓╎╓╖──╞╼┽──┾╌┽──┤╢╓╵║╟──	

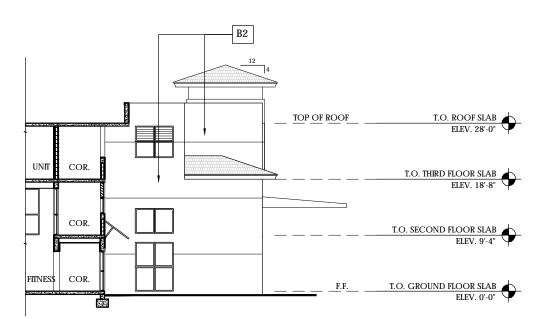


# WEST BUILDING - NORTH (STREET) SECTION/ELEVATION THRU LOBBY SCALE 1/16" = 1'-0"

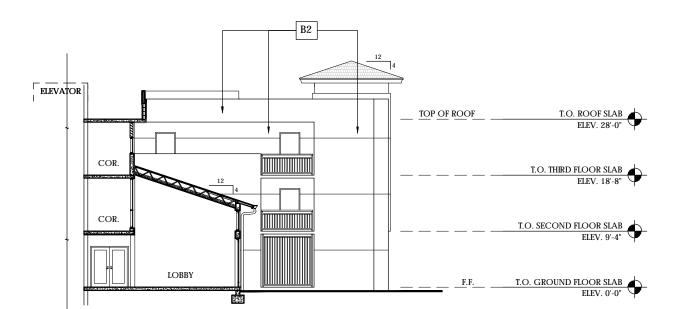


# WEST BUILDING - SOUTH (REAR) SECTION/ELEVATION THRU FITNESS SCALE 1/16" = 1'-0"

# WEST BUILDING - NORTH (STREET) SECTION/ELEVATION THRU FITNESS SCALE 1/16" = 1'-0"



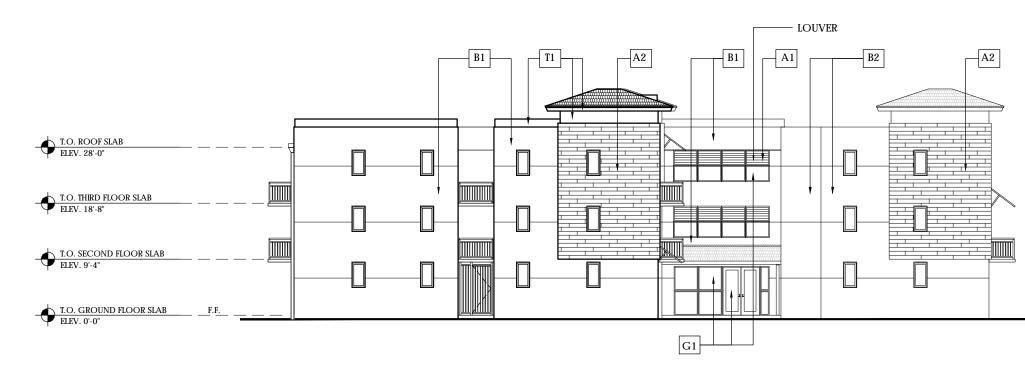
# WEST BUILDING - SOUTH SECTION/ELEVATION THRU LOBBY SCALE 1/16" = 1'-0"



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		ARCHITECTURE, INC Urban = Residential = Commercial
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		PASQUALE KURITZKY ARCHITECTURE, INC. ALL RIGHTS RESERVED. THIS DOCUMENT OR PARTS THEREOF MAY NOT BE REPRODUCED IN ANY FORM WITHOUT PERMISSION
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		Pinnacle at
		PEACEFIELD
		PINNACLE AT
		PEACEFIELD
		ADAMS STREET HOLLYWOOD, FL
		PROJECT NO. <u>1746</u> DATE: <u>10/09/17</u>
		R E V I S I O N S 12/01/17 PACO SUBMIITAL
		01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE
		FINAL TAC
	O ENID	
COLOR LEGEND		
B1 BODY COLOR	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	
B2   BODY COLOR     T1   TRIM COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1) ULTRA PURE WHITE	WEST BUILDING
GI GLASS COLOR	TINTED	
A1   AWNING/SHADE STRUCT.     A2   ACCENT TILE	MEADOW GLEN ECC-12-2 SWEET GEORGIA BROWN AV283_10836UPS	SECTION/ELEVATIONS
NOTE: BEHR PAINT COLORS AND	CODES.	A-4.1
		SITE PLAN APPROVAL



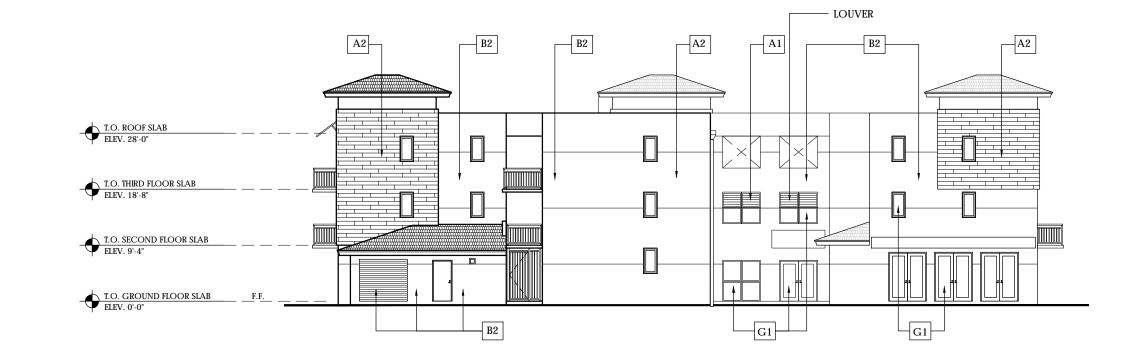
# CENTRAL/EAST BLDG. - NORTH (ADAMS ST.) ELEVATION



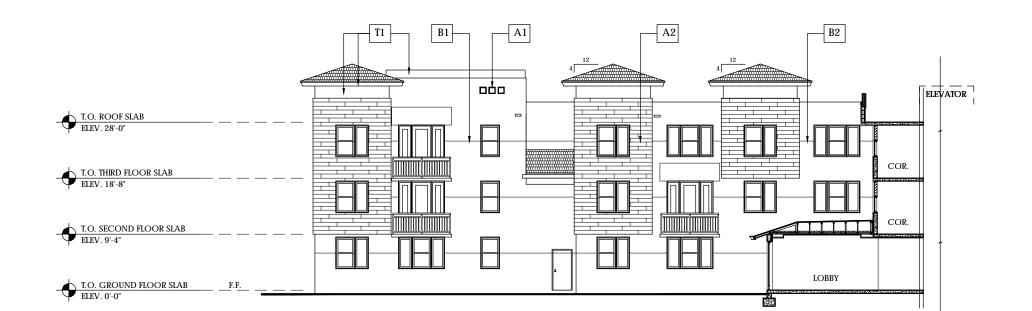
# CENTRAL/EAST BLDG. - EAST (LOBBY ENTRY) ELEVATION SCALE 1/16" = 1'-0"



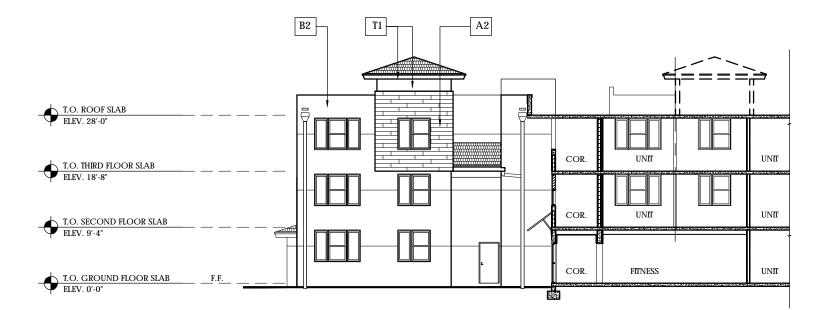




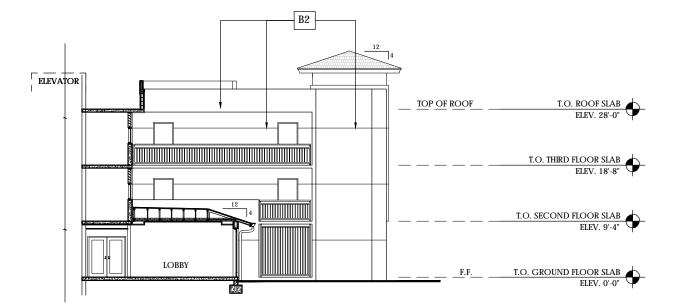
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		Pinnacle at   PEACEFIELDOO   DINNACLE AT DAMS STREET HOLLYWOOD, FL PROJECT NO. <u>1746</u> DATE: <u>10/09/17</u> R E V I S I O N S 12/01/17 PACO SUBMITIAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE 63/05/18 SITE PLAN APPROVAL PACKAGE 76/05/18
COLOR LEGEND B1 BODY COLOR B2 BODY COLOR T1 TRIM COLOR	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2) WARM LIGHT SAND (NEVADA SAND ECC-52-1) ULTRA PURE WHITE	CENTRAL/EAST BUILD.
GI       GLASS COLOR         A1       AWNING/SHADE STRUCT.         A2       ACCENT TILE         NOTE: BEHR PAINT COLORS AND G	TINTED MEADOW GLEN ECC-12-2 SWEET GEORGIA BROWN AV283_10836UPS CODES.	ELEVATIONS A-4.2 SITE PLAN APPROVAL



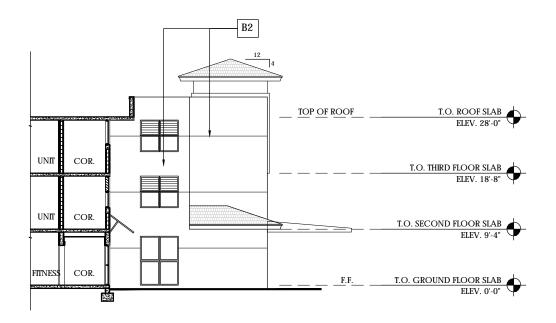
# CENTRAL/EAST BLDG. - NORTH (STREET) SECTION/ELEVATION THRU LOBBY SCALE 1/16" = 1'-0"



# CENTRAL/EAST BLDG. - SOUTH (REAR) SECTION/ELEVATION THRU FITNESS SCALE 1/16" = 1'-0"



# CENTRAL/EAST BLDG. - SOUTH SECTION/ELEVATION THRU LOBBY SCALE 1/16" = 1'-0"



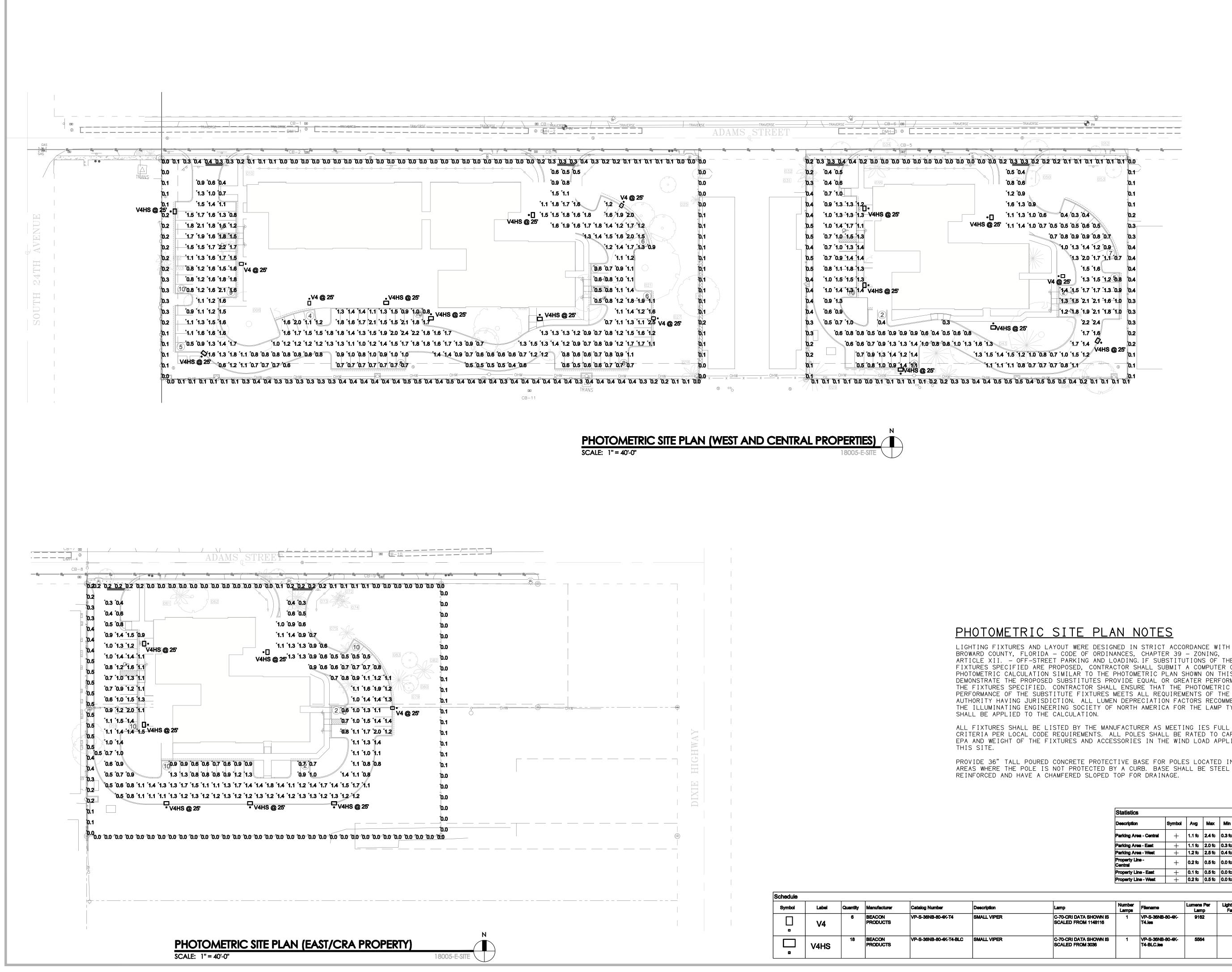
# CENTRAL/EAST BLDG. - NORTH (STREET) SECTION/ELEVATION THRU FITNESS SCALE 1/16" = 1'-0"

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	Accounter and
	Pinnacle at PEACEFIELD
	PINNACLE AT
	PEACEFIELD
	ADAMS STREET
	HOLLYWOOD, FL
	PROJECT NO. <u>1746</u> DATE: <u>10/09/17</u>
	R E V I S I O N S
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	FINAL TAC
ND	
1 LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)         1 LIGHT SAND (NEVADA SAND ECC-52-1)	
PURE WHITE	CENTRAL/EAST BUILD.
OW GLEN ECC-12-2	SECTION/ELEVATIONS
GEORGIA BROWN AV283_10836UPS	
	A-4.3
	SITE PLAN APPROVAL

## COLOR LEGEN COLOR LEGEND

0010101101110		
B1 BODY COLOR	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	
B2 BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
T1 TRIM COLOR	ULTRA PURE WHITE	
GI GLASS COLOR	TINTED	
A1 AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2	
A2 ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS	

NOTE: BEHR PAINT COLORS AND CODES.



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Schedule													
Symbol	Label	Quantity	Manufacturer	Catalog Number Description Lamp		Lamp	Number Lamps Filename		Lumens Per Lamp	Light Loss Factor	Wattage		
•	V4	-	BEACON PRODUCTS	VP-S-36NB-80-4K-T4	SMALL VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 1148116	-	VP-S-36NB-80-4K- T4.ies	9162	1	83.8		
	V4HS		BEACON PRODUCTS	VP-S-36NB-80-4K-T4-BLC	SMALL VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 3036		VP-S-36NB-80-4K- T4-BLC.ies	5564	1	83.8		

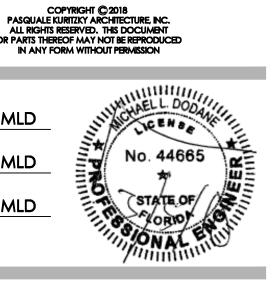
PASQUALE KURITZKY
ARCHITECTURE, INC
Urban = Residential = Commercia
5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309

T: (954) 332-0184

F: (954) 332-0187

AA0002517

> DESIGNED MLD MLD DRAWN



# **PINNACLE AT** PEACEFIELD

ADAMS STREET HOLLYWOOD, FL

PROJECT NO. 1746 DATE: 10/09/17

REVISIONS 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE 03/05/18 SITE PLAN APPROVAL PACKAGE FINAL TAC

URES AND LAYOUT WERE DESIGNED IN STRICT ACCORDANCE WITH THE , FLORIDA - CODE OF ORDINANCES, CHAPTER 39 - ZONING. OFF-STREET PARKING AND LOADING. IF SUBSTITUTIONS OF THE LIGHTING IFIED ARE PROPOSED, CONTRACTOR SHALL SUBMIT A COMPUTER GENERATED ALCULATION SIMILAR TO THE PHOTOMETRIC PLAN SHOWN ON THIS SHEET TO HE PROPOSED SUBSTITUTES PROVIDE EQUAL OR GREATER PERFORMANCE THAN SPECIFIED. CONTRACTOR SHALL ENSURE THAT THE PHOTOMETRIC THE SUBSTITUTE FIXTURES MEETS ALL REQUIREMENTS OF THE LOCAL ING JURISDICTION. ALL LUMEN DEPRECIATION FACTORS RECOMMENDED BY ING ENGINEERING SOCIETY OF NORTH AMERICA FOR THE LAMP TYPES USED

ALL FIXTURES SHALL BE LISTED BY THE MANUFACTURER AS MEETING IES FULL CUTOFF CRITERIA PER LOCAL CODE REQUIREMENTS. ALL POLES SHALL BE RATED TO CARRY THE EPA AND WEIGHT OF THE FIXTURES AND ACCESSORIES IN THE WIND LOAD APPLICABLE TO

PROVIDE 36" TALL POURED CONCRETE PROTECTIVE BASE FOR POLES LOCATED IN PARKING

Max Min Max/Min Avg/Min - 1.1 fc 2.4 fc 0.3 fc 8.0:1 3.7:1 + 1.1 fc 2.0 fc 0.3 fc 6.7:1 3.7:1 + 1.2 fc 2.5 fc 0.4 fc 6.3:1 3.0:1 + 0.2 fc 0.5 fc 0.0 fc N/A N/A + 0.1 fc 0.5 fc 0.0 fc N/A N/A + 0.2 fc 0.5 fc 0.0 fc N/A N/A

PHOTOMETRIC **SITE PLAN** 

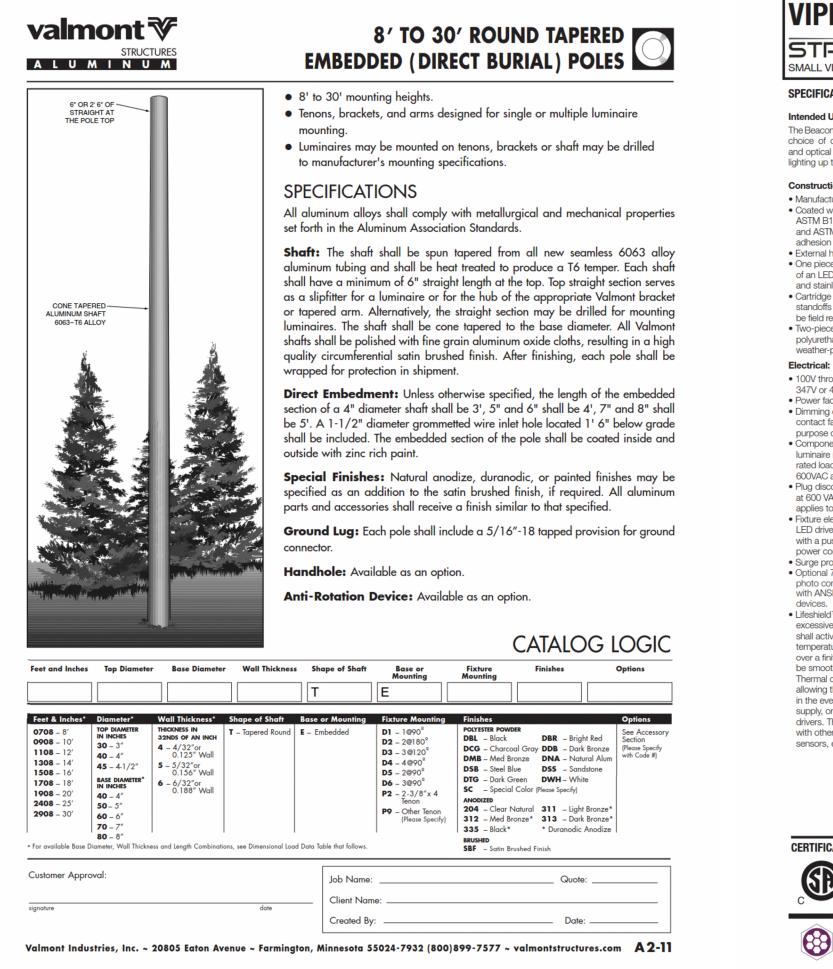
# E-1.1 DESIGN DEVELOPMENT

To the best of the engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with section 110.8.4.4 of the FBC and 633 Florida Statutes

Design Information																Pole Dimensions			4	
Nominal Mounting Height	FL Ultimate 115 mph		FL Ultimate 120 mph		FL Ultimate 130 mph		FL Ultimate 140 mph		FL Ultimate 150 mph		FL Ultimate 160 mph		FL Ultimate 170 mph		FL Ultimate 180 mph		Base OD	Top OD	Wall THK	
	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	Max EPA (FT <sup>2</sup> )	Max Weight (LBS)	(IN)	(IN)	(GA)	
8'-0"	12.8	75	11.7	75	9.7	75	8.4	75	7.1	75	6.1	75	5.3	75	4.7	75	4"	3"	.125"	1
10'-0"	10.2	75	9.2	75	7.6	75	6.5	75	5.5	75	4.6	75	4.0	75	3.5	75	4"	3"	.125"	Ι
12'-0"	8.1	75	7.3	75	6.0	75	5.0	75	4.1	75	3.3	75	2.9	75	2.5	75	4"	3"	.125"	T
	13.9	75	12.6	75	10.5	75	9.0	75	7.6	75	6.5	75	5.6	75	5.0	75	5"	3"	.125"	I
14'-0"	6.5	75	5.8	75	4.7	75	3.8	75	3.1	75	2.5	75	2.0	75	1.7	75	4"	3"	.125"	Ι
	11.6	75	10.4	75	8.5	75	7.3	75	6.1	75	5.1	75	4.4	75	3.9	75	5"	3"	.125"	Ι
16'-0"	5.1	75	4.5	75	3.5	75	2.8	75	2.1	75	1.6	75	1.2	75	1.0	75	4"	3"	.125"	Ι
	9.4	75	8.3	75	6.8	75	5.7	75	4.7	75	3.9	75	3.3	75	2.9	75	5"	3"	.125"	1
	12.2	75	11.0	75	9.0	75	7.6	75	6.3	75	5.3	75	4.5	75	4.0	75	5"	3"	.156"	4
18'-0"	7.7	75	6.8	75	5.4	75	4.4	75	3.6	75	2.9	75	2.4	75	2.0	75	5"	3"	.125"	
	9.7	150	8.6	150	7.0	150	5.8	150	4.8	150	3.9	150	3.3	150	2.8	150	5"	3"	.156"	
	15.4	150	13.9	150	11.4	150	9.7	150	8.2	150	7.1	150	6.1	150	5.3	150	6"	4"	.156"	
20'-0"	6.2	75	5.4	75	4.2	75	3.3	75	2.6	75	2.0	75	1.6	75	1.3	75	5"	3"	.125"	4
	8.3	75	7.4	75	5.8	75	4.8	75	3.9	75	3.1	75	2.5	75	2.1	75	5"	3"	.156"	4
25'-0"	8.1	150	7.1	150	5.5	150	4.5	150	3.6	150	3.0	150	2.5	150	2.1	150	6"	4"	.156"	Ι
	10.6	150	9.4	150	7.4	150	6.2	150	5.1	150	4.3	150	3.6	150	3.1	150	6"	4"	.188"	
30'-0"	8.6	150	7.6	150	5.9	150	4.8	150	3.8	150	3.2	150	2.6	150	2.2	150	7"	4"	.156"	F
	13.3	150	11.9	150	9.6	150	8.2	150	6.9	150	5.8	150	4.9	150	4.3	150	8"	4.5"	.156"	47

1) Maximum EPA (Effective Projected Area) and weight values are based on pole top mounted fixtures @ 2.5' above the pole top.

Variations from sizes above are available upon inquiry at the factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design. Valmont does not design or offer recommendations for foundations



valmont ∛

ALUMINUM

STRUCTURES

## 8' TO 30' ROUND TAPERED **EMBEDDED (DIRECT BURIAL) POLES**

Number

070830404TE

ANCHOR BASE AND BOLT DETAIL DIAMETER WIRE INLET —HOLE 1' 6" FROM GRADE Δ B\* BOTTOM DIAMETER EMBEDDED LENGTH 1-1/2" DIA. EMBEDDED GROMMETTED LENGTH WIRE INLET HOLE 5' minimum embedded length for Canadian market. ROUND EMBEDDED -(DIRECT BURIAL) STANDARD

### DIMENSIONAL AND LOAD DATA TYPICAL WEIGHT AND ALLOWABLE SIZE OF LUMINAIRES\* DIMENSIONS OF POLES OVERALL EFFECTIVE PROJECTED AREA IN SQUARE FEET AT: TYPICAL OMINAL 708090100110EXPOSEDSHAFTTOPBASEWALLMPHMPHMPHMPHHEIGHTLENGTHTOPLENGTHTOPLENGTH HEIGHT WEIGHT (LBS.) NUMBER \* 8.8 7.1 19.1 14.4 | 11.1 | 7′8″ 10'8" 3" 4" 125" 0708-30404 14.3 8.1 6.3 5.0 9'8" | 12'8" | 3" | 4" |.125" | 0908- 30404TE 10.6 11'8" 14'8" 3" 4" .125" 1108- 30404TE 11.0 8.0 6.0 4.5 3.5 18.5 13.8 10.5 8.3 6.6 11'8" 15'8" 3" 5" .125" 1108-30504TE 8.5 6.0 4.4 3.2 2.4 13'8" 16'8" 3" 4" .125" 1308-30404TE 75 14' 13'8" 17'8" 3" 5" 14.8 10.8 8.2 6.3 5.0 .125" 1308- 30504TE 5.0 3.5 2.4 1.7 15'8" 18'8" 3" 4" .125" 1508-30404TE 7.1 12.0 8.6 6.4 4.8 3.8 15'8" 19'8" 3" 5" .125" 1508-30504TE 75 8.4 6.5 5.1 15'8" 19'8" 1508-30505TE 11.1 17'8" 21'8" 3" 5" .125" 1708-30504TE 6.7 4.9 3.6 2.7 97 150 12.2 8.7 6.4 4.9 3.8 17'8" 21'8" 3" 5" .156" 1708- 30505TE 19.1 14.1 10.8 8.5 6.9 17'8" 21'8" 4" 6" .156" 1708-40605TE 8.2 5.5 3.8 2.6 1.9 19'8" 23'8" 3" 5" .125" 1908-30504TE 10.4 7.2 5.1 3.7 2.8 19'8" 23'8" 3" 5" .156" 1908-30505TE 150 75 7.1 5.1 3.8 2.9 24'8" 28'8" 4" 6" .156" 2408-40605TE 150 10.5 9.4 6.9 5.3 4.2 24'8" 28'8" 4" 6" .188" 2408-40606TE 150 13.5 7.5 5.3 4.0 3.0 29'8" 34'8" 4" 7" .156" 2908-40705TE 11.1 150 16.7 12.0 9.1 7.0 5.5 29'8" 34'8" 4.5" 8" .156" 2908-45805TE

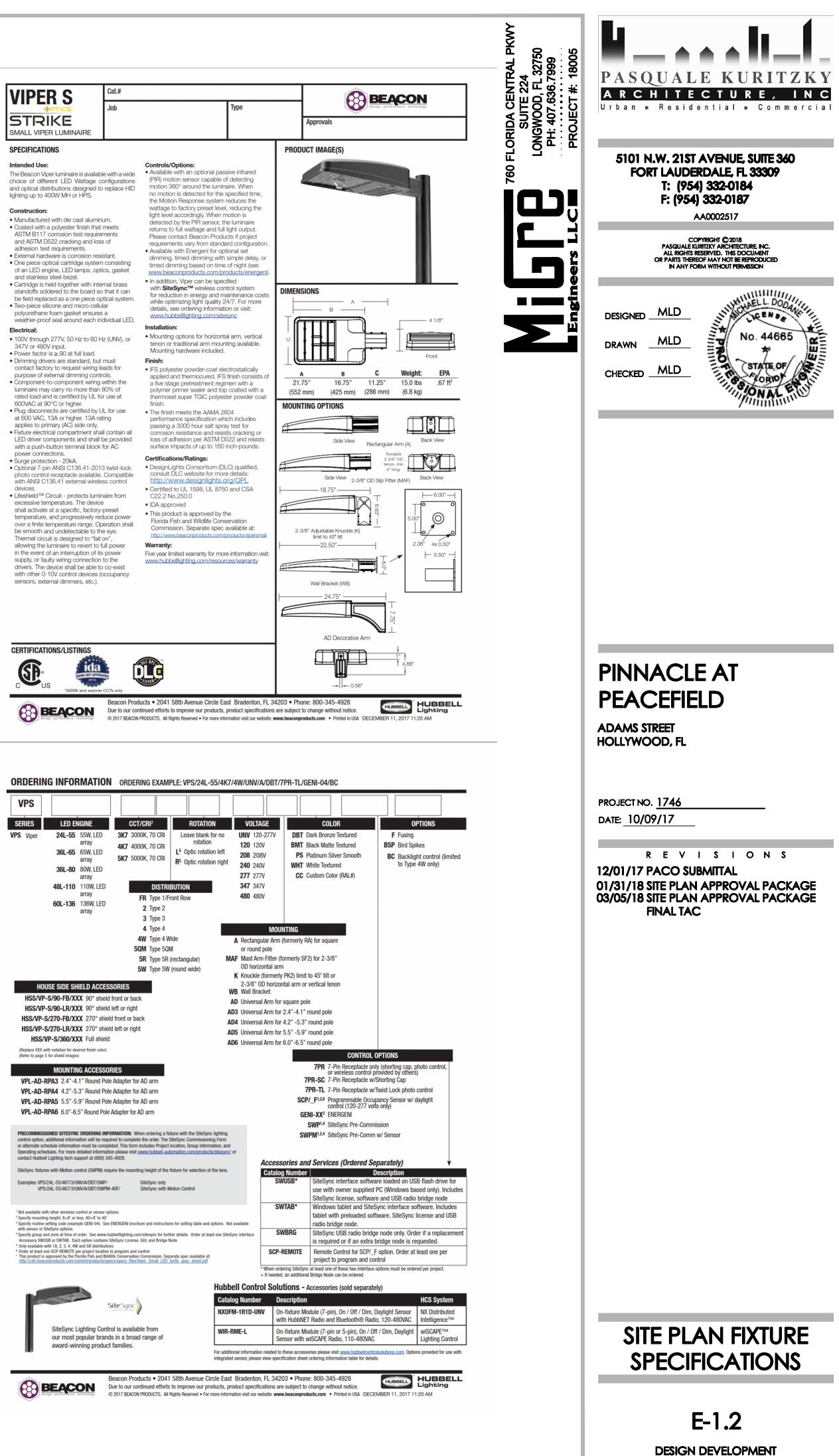
• EPA calculations are based on a 1.3 Gust Factor. Variations from sizes listed above, available upon inquiry at the factory. Satisfactory performance of lighting poles is dependent upon the pole being properly attached to a supporting foundation of adequate design. Valmont does not design or offer recommendations for foundations. Model number does not include mounting options or finish designation.

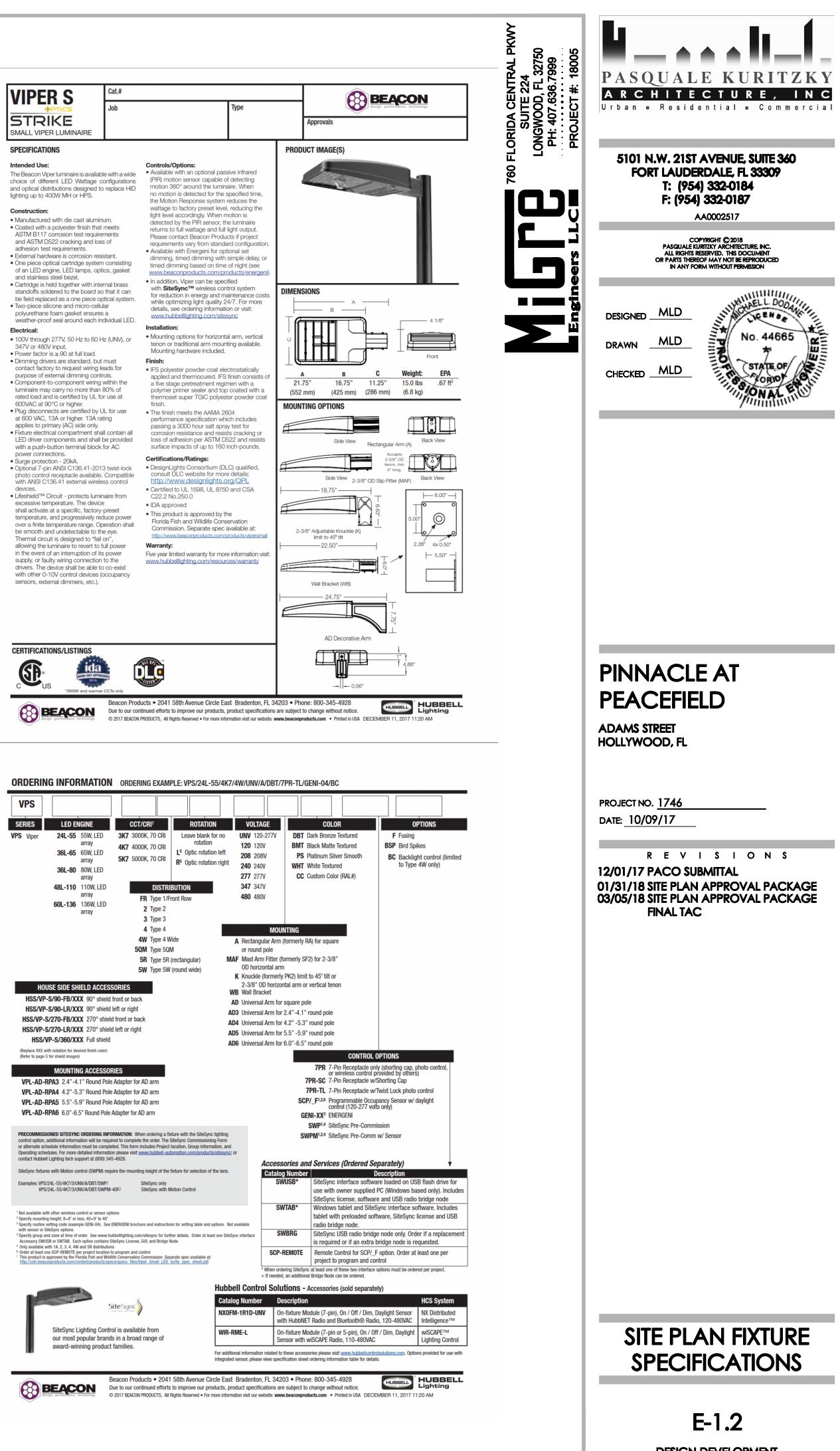
A2-12 Valmont Industries, Inc. ~ 20805 Eaton Avenue ~ Farmington, Minnesota 55024-7932 (800)899-7577 ~ valmontstructures.com



- and ASTM D522 cracking and loss of adhesion test requirements. External hardware is corrosion resistant.
- and stainless steel bezel. Cartridge is held together with internal brass
- be field replaced as a one piece optical system. Two-piece silicone and micro-cellular polyurethane foam gasket ensures a weather-proof seal around each individual LED.
- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input. Power factor is ≥.90 at full load.
- contact factory to request wiring leads for purpose of external dimming controls.
- rated load and is certified by UL for use at 600VAC at 90°C or higher.
- applies to primary (AC) side only. • Fixture electrical compartment shall contain all LED driver components and shall be provided
- power connections. Surge protection - 20kA.
- excessive temperature. The device
- temperature, and progressively reduce power be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power

drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).







To the best of the engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with section 110.8.4.4 of the FBC and 633 Florida Statutes.



COLOR LEGEND

B1 BODY COLOR

WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)

B2 BODY COLOR

WARM LIGHT SAND (NEVADA SAND ECC-52-1)

SWEET GEORGIA BROWN AV283 10836UPS

T1 TRIM COLOR

GI GLASS COLOR

A1 AWNING/SHADE STRUCT.

MEADOW GLEN ECC-12-2

**ULTRA PURE WHITE** 

TINTED

A2 ACCENT TILE

NOTE: BEHR PAINT COLORS AND CODES.

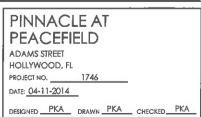


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## **General Notes**

This construction project may or may not include all items covered by these notes and specifications, i.e. paving, grading, drainage lines, water lines, or sanitary sewer lines. See plans for detailed project scope. Notes and specifications on this sheet refer to paving, grading, drainage, water, and sanitary sewer, and are intended for this projects scope of work and for reference purposes for other work items that may be required due to unforeseen existing conditions or required remedial work.

### **1. Specific Site Notes**

- 1.1. County and "City" in these notes refers to County and 3.12. The topographic survey included with this set of plans City in which project resides.
- 1.2. State in these notes refers to the State of Florida.
- 1.3. Existing topographic information in the plans is based on survey data and best available information. See project survey and notes on plan sheets regarding the source of the topographic information.

### 2. Applicable Codes

- 2.1. All construction and materials shall conform to the standards and specifications of the city, county, and all other jurisdictional, State and national codes where applicable.
- 2.2. In the event of a conflict between the general notes and construction specifications in these plans, and the contract documents and specifications in the specification booklet, the contractor shall submit written request for clarification.
- 2.3. All construction shall be done in a safe manner and in strict compliance with all the requirements of the Federal occupational safety and health act of 1970, and all State and jurisdictional safety and health regulations.
- 2.4. The contractor shall be required to comply with Federal, State, County, and City laws, codes, and regulations
- 2.5. All handicap accessible areas to conform to the requirements of the Americans with Disabilities Act (ADA), State ADA codes, and Florida Building Code ADA codes latest edition
- 2.6. Trench safety act
- 2.6.1. All trench excavation shall be performed in accordance with chapter 90-96 of the laws of Florida (the trench safety act).
- 2.6.2. All trench excavation in excess of 5 feet in depth shall be undertaken in accordance with O.S.H.A. standard 29 cfr. Section 1926.650 subpart p.
- 2.6.3. The contractor shall submit with his contract a completed, signed, and notarized copy of the trench safety act compliance statement. The contractor shall also submit a separate cost item 3.15. The contractor shall be responsible for the repair and identifying the cost of compliance with the applicable trench safety codes.
- 2.6.4. A trench safety system, if required, shall be designed by the excavation contractor utilizing a specialty engineer as required.

### **3.** Construction Notes:

- 3.1. Contractor shall tie to existing grade by evenly sloping from closest proposed grade provided to existing grade at limits of construction, unless otherwise noted on the plans. If no limit of work line is indicated, slope to adjacent property line or right-of-way line, as applicable.
- 3.2. Unless otherwise indicated on the plans, all existing manholes, catch basins, meters and other structures, whether indicated on the plans or not shall be 3.17. Any known or suspected hazardous material found on adjusted to match the new grade, by the contractor.
- 3.3. The curb shall be sloped to accommodate the new pavement, catch basin and grate, and the surface flow patterr
- 3.4. The contractor shall use care when cutting the existing asphalt pavement and during excavations, so that the existing catch basins and grates that are to remain will not be damaged.
- 3.5. The contractor shall maintain the roadway slope when resurfacing the roadway. The edge of pavement shall match the new gutter lip per FDOT index 300.
- 3.6. The new sidewalk shall be constructed in accordance with the given elevations and at the proper slopes depicted in the specifications, details and standards. Existing driveways and other features shall be matched when possible as directed by the engineer.
- Radii shown are to the edge of pavement 3.7.

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- 3.8. All bench mark monuments within the limits of 4.1. construction shall be protected and referenced by the contractor in the same way as public land corners. 4.2.
- 3.9. All excess material is to be disposed by the contractor within 24 hours.
- 3.10. In areas where the base is exposed by the milling operation, the contractor shall restore the base to its 4.3. original thickness and structural capacity before paving over such areas. This includes but is not limited

to restoring original degree of compaction, moisture 4.4. content, composition, stability, and intended slope. If paving will not take place the same day the base is exposed and reworked, the base shall be sealed according to the governing standards and 4.5. specifications. Any additional work resulting from the contractor's failure to protect the exposed base as stated above in order to restore the original structural capacity shall be the contractor's cost.

- 3.11. The contractor is to maintain existing signage during construction operations, in order to facilitate emergency vehicle traffic
- reflects pre-demolition conditions and does not reflect the site conditions after demolition. The contractor is fully and solely responsible in determining the required earthwork for the proposed development of the site. This includes, but is not limited to, any excavation/dredge and fill activities required at any phase of the project. The contractor shall use the final approved (released for construction) plans, surveys, geotechnical reports, and any other available information for determining the amount of excavation/dredging and filling required. Any quantities included in the approved 4.6. permits were estimated by the engineer for purposes of obtaining the permit and under no circumstances shall be used by the contractor in lieu of performing their own earthwork calculations required for cost estimating and bidding the project
- 3.13. The contractor shall be responsible for reading and familiarizing themselves with any and all available geotechnical reports prepared by others and/or any recommendations written or implied by the geotechnical engineer for this project. The 4.6.1. Catalogue literature shall be submitted for drainage, geotechnical conditions and recommendations outlined in these reports are in force and in full effect as part of the proposed improvements. The contractor is responsible for ensuring that all the work associated with this project is in compliance with the geotechnical engineer's recommendations. Keith and Associates, Inc. is not responsible for the suitability or unsuitability of the soils encountered. It is the contractor's responsibility to ensure that the means and methods of construction used can and will allow for the successful completion of the required 4.7. site improvements.
- 3.14. The contractor shall ensure that the available geotechnical information is sufficient for his complete understanding of the soil conditions for the site. If 5. Inspections / Testing: additional geotechnical investigation is required by 5.1. the contractor, this additional work shall be considered incidental to the contract and no additional compensation shall be allowed.
- restoration of existing pavement, pipes, conduits, sprinkler heads, cables, etc., and landscaped areas damaged as a result of the contractor's operations and/or those of his subcontractors and shall restore at no additional cost
- 3.16. The contractor shall not bring any hazardous materials onto the project. Should the contractor require such for performing the contracted work, the contractor shall request, in writing, permission from the owner, city and engineer. The contractor shall provide the owner, city and engineer with a copy of the material safety data sheet (MSDS) for each hazardous material proposed for use. The project engineer shall coordinate with the owner and city prior to issuing written approval to the contractor.
  - the project by the contractor shall be immediately reported to the city and/or engineer, who shall direct the contractor to protect the area of known or suspected contamination from further access. The city and/or engineer are to notify the owner/engineer of the discovery. The owner/engineer will arrange for investigation, identification, and remediation of the hazardous material. The contractor shall not return to the area of contamination until approval is provided by the engineer.
- 3.18. The contractor shall contact the appropriate city engineering inspector and engineer 48 hours in advance of the event to notify the city of construction start up, or to schedule all required tests and inspections including final walk-throughs.

## **4.** Preconstruction Responsibilities

All utility / access easements to be secured prior to construction.

- No construction may commence until the appropriate permits have been obtained from all municipal, State, County, and Federal agencies and a pre-construction 6.2. meeting has been conducted.
- All required governmental agency building permits to be obtained by the contractor prior to any 6.3. construction activity.

Contractor to coordinate construction scheduling for 6.4. Contractor shall construct and maintain temporary connection to the existing water and sewer lines with lighting as required to light the construction project the utility department that owns and/or maintains limits at all times, to at least the same lighting intensity levels as the existing conditions. the water and sewer lines.

Prior to the start of construction, the owner shall 6.5. The contractor shall maintain access to adjacent submit an NPDES construction general permit (CGP) "notice of intent (N.O.I.) to use Generic Permit for 7. Project Progress and Closeout storm water discharge from construction activities form (DEP form 62-621.300(4)(b)) to FDEP notices 7.1. center. The contractor will be responsible for (1) implementation of the storm water pollution prevention plan (SWPPP) that was required to be developed prior to NOI submittal, and (2) retention of records required by the permit, including retention of 7 a copy of the SWPPP at the construction site from the date of project initiation to the date of final site stabilization. A "notice of termination (N.O.T.) of generic permit coverage" form (DEP form 62-621.300(6)) must be submitted to FDEP to discontinue permit coverage, subsequent to of construction. For additional 7.3. Material or debris shall be hauled in accordance with 8.9. completion FDEP website: information see http://www.dep.state.fl.us/water/ storm water/npdes.

Prior to construction or installation, 5 sets of shop drawings shall be submitted for review as required for the following items listed below, but not limited to:

- grates/tops, vard drains. • Water: Fire hydrants, valves, backflow preventer,
- DDCV, meter box.
- Sewer: Manholes, lift stations (wetwell, hatches, 8. Project record documents: valves, pump data, electrical panel)

appurtenances.

- 4.0.2. Prior to submitting shop drawings to the engineer, the contractor shall review and approve the drawings, and shall note in red any deviations 8.2. from the engineer's plans or specifications.
- 4.0.3. Individual shop drawings for all precast structures are required. Catalogue literature will not be accepted for precast structures.
- Contractor to submit maintenance of traffic plan(s) in accordance with FDOT and Broward county requirements, and submit for approval prior to beginning construction.

- applicable:
- Clearing and earthwork
- Storm drainage systems
- Sanitary sewer systems
- Water distribution systems
- Subgrade
- Limerock base
- Sidewalks, concrete flatwork/curbing
- Landscaping
- Signalization
- Site lighting
- Utility conduits
- Irrigation
- Final

The owner, engineer, and jurisdictional permitting agencies may make inspections of the work at any time. The contractor shall cooperate fully with all inspections.

Testing - all testing required by the plans and specifications shall be performed by a licensed / FDOT qualified testing company. Required test for asphalt 8.7. and limerock shall be taken at the direction of the engineer or the jurisdictional governmental agency in accordance with the plans and specifications.

- mobilization.
- mobilization.

water and sewer pipes, fittings, and

The contractor shall notify in writing the owner, City, County, engineer of record, and any other governmental agencies having jurisdiction at least 48 hours prior to beginning construction and prior to required inspections of the following items, where 84

Asphalt or concrete pavement

Pavement marking and signage

Electrical and communication lines

## 6. Temporary Facilities

6.1. It shall be the contractor's responsibility to arrange for or supply temporary water service, sanitary facilities, communications, and electricity, for his operations and works, cost included under

> Contractor shall construct temporary fencing to secure construction areas at all times, cost included in

Contractor to obtain a secure staging area and obtain all necessary approvals from the owner.

properties at all times.

- During construction, the project site and all adjacent areas shall be maintained in a neat and clean manner, and upon final clean-up, the project site shall be left clear of all surplus material or trash. The paved areas shall be broom swept clean.
- The contractor shall restore or replace any public or 8.8. private property (such as highway, driveway, walkway, and landscaping), damaged by his work, equipment, or employees, to a condition at least equal to that existing immediately prior to the beginning of construction. Suitable materials and methods shall be used for such restoration.
- NPDES permit and jurisdictional laws.
- All land survey property monuments or permanent reference markers, removed or destroyed by the contractor during construction shall be restored by a State of Florida registered land surveyor at the 9. Utility Notes contractor's expense.
- Drainage: Catch basins, manholes, headwalls, 7.5. All unpaved surfaces disturbed as a result construction activities shall be graded, sodded, & restored to a condition equal to or better than that 9.2. The contractor is advised that properties adjacent to which existed before the construction.

- 8.1. During the daily progress of the job, the contractor shall record on his set of construction drawings the 93 location, length, material and elevation of any facility not built according to plans. This copy of the "as-built" shall be submitted to engineer for project record.
  - Upon completion of drainage improvements and 9.4 limerock base construction (at least 48 hours before placing asphalt pavement) the contractor shall furnish the engineer of record "as-built" plans for these improvements, showing the locations and pertinent grades of all drainage installations and the finished rock grades of the road crown and edges of pavement at 50 foot intervals, including locations and elevations of all high and low points.

Upon completion of construction, and prior to final acceptance, the contractor shall submit to the engineer of record one complete set of all "as-built" contract drawings. These drawings shall be marked to show "as-built" construction changes, dimensions, 9.1. locations, and elevations of all improvements.

- "As-built" drawings of water lines and force mains shall include the following information:
- 8.4.1. Top of pipe elevations every 100 LF.
- 8.4.2. Locations and elevations of all fittings including bends, tees, gate valves, double detector check valves, fire hydrants, and appurtenances.
- 8.4.3. All connections to existing lines.
- 8.4.4. Ends of all water services at the buildings where 9.1. the water service terminates.
- 8.5. "As-built" drawings of gravity sanitary sewer lines shall include the following information:
- 8.5.1. Rim elevations, invert elevations every 100 feet, length of piping between structures, and slopes.
- 8.5.2. The stub ends and cleanouts of all sewer laterals 9.2. shall be located horizontally and vertically.
- 8.6. "As-built" drawings of all drainage lines shall include the following information:
- 8.6.1. Rim elevation, invert elevation, length of piping between structures, and control structure elevations if applicable.
- 8.6.2. The size of the lines.
- 8.6.3. Drainage well structure shall include, but not be limited to, top of casing elevation, top and bottom elevations of the structure and baffle walls, rim elevations and pipe inverts.
- "As-built" drawings of construction areas shall include the following:
- 8.7.1. Rock elevations at all high, and low points, and at enough intermediate points to confirm slope consistency
- 8.7.2. Rock elevations and concrete base elevations shall be taken at all locations where there is a finish 10. Signing and Pavement Markings grade elevation shown on the design plans.
- 8.7.3. All catch basin and manhole rim elevations. 8.7.4. Finish grade elevations in island areas.
- 8.7.5. "As-built" elevations shall be taken on all paved and unpaved swales, at enough intermediate points to confirm slope consistency and conformance to the plan details.
- 8.7.6. Lake and canal bank "as-built" drawings shall

cross sections. Lake and canal bank cross sections shall be plotted at a minimum of every 100 lf, unless otherwise specified. "as-built" drawings 10.4. Incorrectly placed paint or thermoplastic pavement shall consist of the location and elevation of the top of bank, edge of water, and the deep cut line, with the distance between each shown on the drawing.

.7. Retention area "as-built" elevations shall be taken at the bottom of the retention area and at the top without damaging the asphalt. of bank. If there are contours indicated on the 10.5. Place all retro-reflective pavement markers in design plans, then they shall be included in accordance with standard index 17352 and / or as "as-built" drawings as well. shown in the plans.

Upon completion of the work, the contractor shall 10.6. Caution should be exercised while relocating existing prepare "as-built" drawings on full size, 24" x 36" sheets. All "as-built" information shall be put on the latest engineering drawings. Eight (8) sets of blue or black line drawings shall be submitted. These drawings shall be signed and sealed by a Florida 10.7. registered professional engineer or land surveyor.

An electronic copy of these "as-built" drawings shall be submitted to the engineer of record in AutoCAD, version 2008 or later and shall follow the City of Hollywood's "Survey/As-Built CAD Drawing Standards" 10.8. Relocated sign support system must meet the current as per City Detail G-00.3.

9.1. Contractor is responsible for utility verification prior to fabrication.

and/or sewer service laterals which may not be shown in plans. The contractor must request the location of these lateral services from the utility companies.

The contractor shall use hand digging when 10.12. All signs shall meet all of the following: excavating near existing utilities. Extreme caution shall be exercised by the contractor while excavating, installing, backfilling or compacting around the utilities.

The contractor shall notify and obtain an underground clearance from all utility companies and governmental agencies at least 48 hours prior to beginning any construction. The contractor shall obtain a Sunshine811.com Certification clearance number and field markings at least 48 hours prior to beginning any excavation.

• Prior to commencement of any excavation, the contractor shall comply with Florida statute 553.851 for the protection of underground gas pipelines.

For street excavation or closing or for alteration of access to public or private property, the contractor shall notify:

- 10.13.Patch attachment hardware, such as countersunk • Roadway jurisdictional engineering / public works screws or rivet heads, with retro reflective buttons authority. that match the color and sheeting material of the County transit authority finished sign panel including the background, legend or border. School board transportation authority

- Jurisdictional fire department dispatch
- Jurisdictional police department(s)

The contractor shall use extreme caution working under, over, and around existing electric lines. The 10.15.Layout permanent final striping that leaves no visible contractor shall contact the electric provider company to verify locations, voltage, and required clearances, onsite, in right-of-ways, and in easements, prior to any construction in the vicinity of existing lines.

Location and size of all existing utilities and topography (facilities) as shown on construction drawings are drawn from available records. The engineer assumes no responsibility for the accuracy of the facilities shown or for any facility not shown. It is the contractor's responsibility to determine the exact location (vertical & horizontal) of any existing utilities and topography prior to construction. The contractor shall verify the elevations and locations of all existing facilities, in coordination with all utility companies, prior to beginning any construction operations. If an existing facility is found to conflict with the proposed construction, the contractor shall immediately notify the engineer so that appropriate measures can be taken to resolve the conflict.

9.3. The contractor shall coordinate the work with other contractors in the area and any other underground utility companies required. The contractor shall coordinate relocation of all existing utilities with applicable utility companies.

10.1. All signing and pavement markings installed as part of these plans shall conform to the Federal highway administration (FHWA) "manual on uniform traffic control devices" (MUTCD), County Traffic Design Standards and FDOT design standards as a minimum criteria.

10.2. Match existing pavement markings at the limits of construction.

- include a key sheet of the lake for the location of 10.3. Removal of the existing pavement markings shall be accomplished by water blasting or other approved methods determined by the engineer.
  - markings over friction course will be removed by milling and replacing the friction course a minimum width of 18 in at the contractor's expense. The engineer may approve an alternative method if it can be demonstrated to completely remove the markings
  - signs to prevent unnecessary damage to signs. If the sign is damaged beyond use, as determined by the engineer, signs shall be replaced by the contractor at his expense.
  - . All existing signs that conflict with construction operations shall be removed, and relocated by the contractor. Sign removal shall be directed by the engineer.
  - design standard.
  - 10.9. The contractor shall provide an inventory of existing signs to remain or to be relocated prior to starting the job and forward this list to the engineer. Contractor shall notify if there are any missing or damage signs that the plans show to remain or to be relocated.
- the project have electric, telephone, gas, water 10.10.All roadway pavement markings shall be thermoplastic in accordance with FDOT specifications section 711.
  - 10.11. Hand dig the first four feet of sign foundation.

  - Meet the criteria outlined in Section 2A.08 of the 2009 MUTCD
  - Meet the specifications outlined in Section 700 and 994 of the latest FDOT Standard Specifications.
  - Consist of materials certified to meet the retroreflective sheeting requirements outlined in the current version of ASTM D4956 for type-XI retroreflective sheeting materials made with prisims, except for school zone and pedestrian signs which shall be comprised of retroreflective fluorescent yellow-green sheeting certified to meet ASTM D4956 Type IV retroreflective sheeting materials.
  - Consist of retroreflective sheeting materials that have a valid FDOT Approved Product List (APL) certification for specification 700 Highway Signing for FDOT sheeting Type XI (or type IV for school and pedestrian signs).
  - 10.14.Ensure the outside corner of sign is concentric with border. Ensure white borders are mounted parallel to the edge of the sign. Ensure black borders are recessed from the edge of the sign.
  - marks at time of final acceptance.

