



Quote

Date: 10/26/2015

5453 NW 24th St. Suite 2, Margate, FL 33063
 Phone: 954.822.0867 Fax: 954.977.3188
 E-Mail: sales@FloridaImpact.com

Customer Name / Phone:	MARIA MANISCALCO / 305-979-1495	Quote Date:	10/14/2015
Customer Address:	2600 N. SURF ROAD, COMMON AREAS HOLLYWOOD	Sales Person:	SCOTT ALTMAN
Quote Title:	QUOTE 1	Customer E-Mail:	PENINM@YAHOO.COM

WE MATCH OR BEAT ANY PRICE WITH HUNDREDS OF REFERENCES & PLEASED CLIENTS -- TOP QUALITY WORKMANSHIP--

Opening Location	Qty	Window / Door Type	Configuration	Paint Finish	Glass Type & Color	Frost Glass	Screens	Grids	Material Cost	Labor Cost	Manufacture
1	1	SINGLE STOREFRONT DOOR WITH ADA THRESHOLD, DEADBOLT, INTERIOR PANIC BARS, DOOR CLOSURES AND EXTERIOR PULL HANDLES		WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$2,465	\$500	SMITH MOUNTAIN
1.1	1	FIXED STOREFRONT WITH 1 PANEL		WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$494	\$275	SMITH MOUNTAIN

BACK-UP II

#2 Declined
Windows



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BACK-UP II

2	ELEVATOR NORTH (LEVEL 1 AND 4)	2	SINGLE STOREFRONT DOOR WITH ADA THRESHOLD, DEADBOLT, INTERIOR PANIC BARS, DOOR CLOSURES AND EXTERIOR PULL HANDLES	WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$4,929	\$1,000	SMITH MOUNTAIN
2.1	ELEVATOR NORTH (LEVEL 1 AND 4)	2	FIXED STOREFRONT WITH 1 PANEL	WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$987	\$550	SMITH MOUNTAIN
3	BUILDING NORTH	1	SINGLE STOREFRONT DOOR WITH ADA THRESHOLD, DEADBOLT, INTERIOR PANIC BARS, DOOR CLOSURES AND EXTERIOR PULL HANDLES	WHITE	IMPACT TURTLE GRAY GLASS	NO	NO	NO	\$2,400	\$500	SMITH MOUNTAIN
4	ELEVATOR WEST LOWER	3	PICTURE WINDOW	WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$1,374	\$525	PGT
5	ELEVATOR WEST UPPER	3	PICTURE WINDOW	WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$2,042	\$525	PGT



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BACK-UP II

6	STAIRS	2	PICTURE WINDOW		WHITE	IMPACT TURTLE GRAY GLASS	NO	NO	NO	\$2,267	\$350	PGT			
7	UTILITY	3	SINGLE FIBERGLASS DOOR	X	PRIMED WHITE	HVHZ FLUSH DOOR (CUSTOM FRAME SIZE)	NO	NO	NO	\$2,533	\$1,125	MASONITE			
8	ELEVATOR NORTH (LEVEL 2 AND 3)	2	SINGLE STOREFRONT DOOR WITH ADA THRESHOLD, DEADBOLT, INTERIOR PANIC BARS, DOOR CLOSURES AND EXTERIOR PULL HANDLES		WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$4,929	\$1,000	SMITH MOUNTAIN			
8.1	ELEVATOR NORTH (LEVEL 2 AND 3)	2	FIXED STOREFRONT WITH 1 PANEL		WHITE	IMPACT GRAY GLASS	NO	NO	NO	\$1,431	\$550	SMITH MOUNTAIN			
* All quotes that include installation always include stucco and drywall repair, all applicable taxes, cover furniture with plastic, place drop clothes in work areas, haul away all debris and clean up, all caulking inside and out, all inspections, and scheduling.							Material:			\$25,850					
										Labor:			\$6,900		
										Total Job Cost:			\$32,750		
							WE BEAT ANY COMPETETORS PRICE GUARANTEED! MUST BE THE SAME MANUFACTURERS								
** COMMENTS: Prices valid for 30 days. Permit total charges depending on the size of the job will range from \$450 - \$750. From contract signing to installation allow approximately 4-8 weeks. We order material immediately after receiving the permit.															
*** Permit charges from each individual city and engineering costs are not included unless otherwise stated above.															

#3 Declined
Windows

3605 East Forge Rd. Davie FL 33328

C: 754-581-0500/C: 954-806-3770

absolutegeneralcontractors@hotmail.com/cliffhurlbut@bellsouth.net

October 20, 2016

CONTRACT

Owner: Imperial Westbury, Inc.

2600 N Surf Road, Hollywood, FL 33019

Cell #: 305-979-1495; Maria Penin

RE: Demo & Install six(6) HVHZ Impact Store Front Doors, five(5) HVHZ Impact Transom Wdws, one(1) HVHZ Fiberglass Impact Carport Door, two(2) HVHZ Impact Store Front Wdws (North side, 2nd & 3rd Floor Landings), & three(3) HVHZ Impact Full-Height End of SW Hallway Windows.

INVOICE #: C0010-16-020**SCOPE OF WORK:**

- A) Demo & Install six (6) CRL HVHZ Impact Store Front Doors -----\$20,670.00
- 1) Locations: 1st, 2nd, 3rd, & 4th Floor South Hallway Entry Doors, SW Surf Rd Door, and North Courtyard Entry Door.
 - 2) Includes all with ADA Thresholds, SS Hinges, Interior Panic Bar, Exterior Pull Handles, Door Closures, and SS Key Entry Barrel (Note: All doors keyed same)
 - 3) Includes 9/16" Thick Grey Glass or "Turtle Friendly Glass".
 - 4) White Powder Coat Paint on all Aluminum Door Frames and related structures.
 - 5) Installation Labor Included.
- B) Demo & Install five (5) CRL HVHZ Impact Store Front Transoms ----- Included.
- 1) Location: 1st, 2nd, & 3rd Floor South Hallway Entry Doors, SW Surf Rd Door, and North Courtyard Entry Door.
 - 2) Includes 9/16" Thick Grey Glass or "Turtle Friendly Glass".
 - 3) White Powder Coat Paint on all Aluminum Door Frames and related structures.
 - 4) Installation Labor Included.
- C) Demo & Install two (2) HVHZ Impact Store Front Wdws----- \$2,350.00
(North side, 2nd & 3rd Floor Landings)
- 1) Includes 9/16" Thick Grey Glass or "Turtle Friendly Glass".

- 2) White Powder Coat Paint on all Aluminum Door Frames and related structures.
- 3) Installation Labor Included.

D) Demo & Install one (1) HVHZ Fiberglass Impact Carport Door ----- \$1,100.00

- 1) Includes ADA Threshold, SS Hinges, Interior Panic Bar, Exterior Pull Handle, Door Closure, and SS Key Entry Barrel (Note: All doors keyed same)
- 2) Installation Labor Included.

E) Demo & Install three (3) HVHZ Impact Full-Height End of SW Hallway ----- \$5,400.00
Windows with built-in Horizontal Mullion at 42" Height.

- 1) Includes 9/16" Thick Grey Glass or "Turtle Friendly Glass".
- 2) White Powder Coat Paint on all Aluminum Door Frames and related structures.
- 3) Installation Labor Included.

TOTAL

\$29,520.00

NOT INCLUDED:

- 1) Any additional work not specified on bullet A thru E
- 2) Any interior remodeling required (repair/replacement of interior drywall, etc.)
- 3) Smooth coat Stucco or any Stucco application.
- 4) Priming & Painting.
- 5) Actual Permit & NOC Fees to be Paid by Association.
- 6) Engineering Fee \$150 to be paid by Association.

INCLUDED:

- 1) Minor Stucco Repair around immediate window surround and door.
However, existing structural cracks and spalling will be a separate agreement.

Payment Due:

Downpayment-----	\$15,000.00	Check#_____	Date <u>10/</u> / <u>16</u>
Payment at End of 1 st Week of Install -----	\$11,600.00	Check#_____	Date <u>10/</u> / <u>16</u>
Payment After Final Inspection Approval---	\$2,920.00	Check#_____	Date <u>10/</u> / <u>16</u>
Total-----	\$29,520.00		

In the event that payment terms are not followed, Absolute General Contractors LLC will assume this action as a "STOP WORKING ORDER" until payment is received. Our Client agrees that no one can take over our contract without Absolute General Contractors LLC written and signed consent. If done otherwise, Absolute General Contractors LLC will be recognized as having completed their contract agreement and full payment of the signed contract will be due to Absolute General Contractors LLC. Absolute General Contractors LLC has top priority over any other contract.

FLORIDA HOMEOWNERS' CONSTRUCTION RECOVERY FUND

PAYMENT MAY BE AVAILABLE FROM THE FLORIDA HOMEOWNERS' CONSTRUCTION RECOVERY FUND IF YOU LOSE MONEY ON A PROJECT PERFORMED UNDER CONTRACT, WHERE THE LOSS RESULTS FROM SPECIFIED VIOLATIONS OF FLORIDA LAW BY A LICENSED CONTRACTOR. FOR INFORMATION ABOUT THE RECOVERY FUND AND FILING A CLAIM, CONTACT THE FLORIDA CONSTRUCTION INDUSTRY LICENSING BOARD AT THE FOLLOWING TELEPHONE NUMBER AND ADDRESS: Construction Industry Recovery Fund 1940 North Monroe Street, Suite 42 Tallahassee, FL 32399 telephone: (850) 921-6593.

According to Florida's Construction Lien Law (Sections 713.001-713.37, Florida Statutes), those who work on your property or provide materials and services and are not paid in full have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your Contractor or a subcontractor fails to pay subcontractors, sub-subcontractors, or material suppliers, those people who are owed money may look to your property for payment, even if you have already paid your contractor in full. If you fail to pay your Contractor, your Contractor may also have a lien on your property. This means if a lien is filed your property could be sold against your will to pay for labor, materials, or other services that your Contractor or subcontractor may have failed to pay. To protect yourself, you should stipulate in this contract that before any payment is made, your Contractor is required to provide you with a written release of lien from any person or company that has provided to you a "Notice to Owner" Florida's Construction Lien Law is complex, and it is recommended that you consult an attorney.

November 2, 2017

Imperial Westbury Condominium
 c/o Jim O'Hara
 2600 N. Surf Road
 Hollywood, FL 33019

Re: Bidcomp – Repairs Project

Dear Mr. O'Hara:

At the Association's request, we reviewed the contractor bids we received for the repairs project. We received bids from AG Contractors Corporation, Coast to Coast General Contractors, Florida's Choice Contracting and National Concrete Preservation.

We reviewed the bids for pricing errors or inconsistencies and conformance to the bid specifications. We sorted the pricing data by contractor to provide a comparison chart so that each line item from each contractor could be compared.

Attached, please find the bid comparison chart. Also attached are copies of the bids received. Our comments are as follows:

1. The pricing is separated into the project with and without building painting. The first total is without building painting project "Estimated Cost". The bottom value is with painting, "Estimated Cost (With Paint Project)". Painting was not included in the scope of work or specifications. The paint amounts are for Association estimates only, and may be different brands or paint systems.
2. The difference between the highest and lowest bid is about 8% for building repairs, 9% for building repairs with painting, with an 18% differential in the painting only pricing.
3. The unit prices for building repairs are reasonable, and in line with other, similar sized projects.
4. The paint pricing appears reasonable, and more aggressively priced.
5. The lump sum for the shutter removal and disposal appears high for all contractors.
6. The mobilization appears high for all the contractors.
7. Higher or more reasonable prices can be dependent on contractor's work schedule, timing, cost of materials and labor, and relative size of project to other contractor projects. We are not contractors and do not track changes in the market or industry pricing.
8. Unit prices for items anticipated to be more common should be scrutinized more closely. For this project, this is expected to be concrete unit pricing (Thru deck, Column and Beams, Edges). AG Contractors has the highest unit price for the most anticipated item (Thru deck).
9. Florida's Choice has pricing for electrical repairs which includes time plus cost of materials plus 20%. All other contractors have electrical repairs pricing listed as time plus cost of materials only.

(Declined Bids
 #2 } for SHUTTER REMOVE.
 #3 } - STUCCO REPAIR
 - PAINTING
 (see Coast to Coast &
 AG Contractors)

10. The shutters unit pricing and estimated quantities rows were removed from the report, based on the Association interested in having all shutters removed. This removed the contractors estimated cost for this item, and is why the totals on the contractor bids don't match the bid comparison report. BACK-UP II

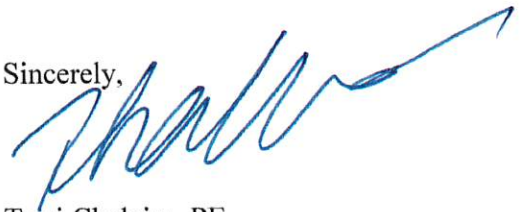
We recommend the follow up discussion with contractors regarding their pricing, anticipated schedule, any off season discounts for winter work, and references. Contractors may be able to do better on the pricing.

The bid sheet that was used to obtain the bids was based on our estimated quantities from the survey inspections, not actual quantities. Our estimated quantities are used to obtain an estimated project cost for each repair item for initial budgeting purposes.

Hidden deterioration can only be found during the repair excavations. More accurate estimates of project cost are only possible after repairs are underway.

If there are any questions, or if the Association would like any further assistance, such as a draft contract, please let us know.

Sincerely,



Terri Chalaire, PE
FL Reg # 65587

Imperial Westbury - Repair Project

Bid Item:	Estimated Quantities			AG Contractors			Coast to Coast			Florida's Choice			National		
	LF	SF	CF	EA	Add/Deduct Unit Cost	Estimated Contract Value	Add/Deduct Unit Cost	Estimated Contract Value		Add/Deduct Unit Cost	Estimated Contract Value		Add/Deduct Unit Cost	Estimated Contract Value	
Mobilization / Demobilization / Permit					LS	47,000	LS	50,000		LS	43,000		LS	44,500	
Concrete Repairs (w/ bag goods)*:															
Edge spalls (d=6"; w = 9")	60				115	6,900	120	7,200		90	5,400		95	5,700	
Partial deck (half slab)		TBD			75	-	80	-		75	-		70	-	
Thru deck		700			115	80,500	100	70,000		105	73,500		110	77,000	
Ceiling spalls (half slab)		TBD			95	-	110	-		100	-		100	-	
Cols & Beams			115		300	34,500	350	40,250		295	33,925		320	36,800	
Concrete Rust Spots (cut back steel reinf)	40				45	1,800	50	2,000		40	1,600		45	1,800	
Remove / fill Abandoned Fastener holes	65				7	455	5	325		7	455		8	520	
Masonry Stucco repair w/o new concrete	500				23	11,500	25	12,500		22	11,000		20	10,000	
Seal Stucco Cracks (route & seal)	50				13	650	11	550		12	600		12	600	
Horizontal Cracks - Gravity Feed Epoxy	60				30	1,800	30	1,800		35	2,100		35	2,100	
Rail Post Pocket repairs				20	53	1,060	60	1,200		50	1,000		55	1,100	
Rail Post Bottom repairs (metal repair pieces)				TBD	75	-	70	-		75	-		80	-	
Remove & Replace Concrete Railing Post-New				2	380	760	400	800		350	700		450	900	
Tile Removal	120				3	360	3.25	390		3.5	420		3.5	420	
SGD removal (x LF door)	TBD				70	-	70	-		65	-		60	-	
SGD reinstall (w/o refurb or replace) (x LF door)	TBD				50	-	60	-		55	-		60	-	
SGD fasteners (SS, R&R w new, w caulking)	TBD				7	-	5	-		7	-		8	-	
Plywood Weatherwall (SGD removed)	TBD				55	-	60	-		65	-		66	-	
Plastic Interior Protection Wall (SGD not removed)	80				35	2,800	35	2,800		25	2,000		30	2,400	
Texture Finishing Coat (to match existing)	1000				2.25	2,250	2.5	2,500		2	2,000		1.5	1,500	
Railing Removal - Alum	50				15	750	20	1,000		15	750		17	850	
Railing Reinstallation - Alum	50				30	1,500	30	1,500		35	1,750		25	1,250	
Concrete Baluster Section Removal			4		50	200	40	160		35	140		55	220	
Concrete Baluster Section Reinstallation			4		90	360	120	480		75	300		100	400	
Gutter Removal	10				5	50	3	30		3.75	37.5		4	40	
Gutter Reinstallation	10				5	50	5	50		3.75	37.5		4	40	
Electrical Repairs (PER HR + MAT)				TBD	100		95			100+20%			100		
Waterproofing - Sikagard Flexcoat w ATC					6.55	9,825	5.25	7,875		5	7,500		5.5	8,250	
Remove and Dispose of ALL Shutters					LS	19,780	LS	20,000		LS	17,848		LS	21,586	
Estimated Cost						224,850		223,410			206,063			217,976	
Painting Building															
Paint Building - Exclude metals (supply details)					LS	42,786	LS	52,479		LS	44,500		LS	47,368	
Estimated Cost (With Paint Project)						267,636		275,889			250,563			265,345	

*Touchup painting, shoring, rebar all included, & stucco at and adjacent to repair areas

Imperial Westbury

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Bid Comparison

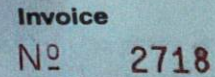
BACK-UP II

EB # 6834

Chalaire and Associates, Inc.

11/2/2017

BACK-UP II

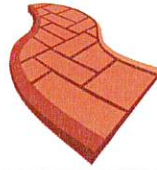


Date of Order: 2-6-10	Due Date:	Estimate:	Cash / Check #:
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We assume no responsibility for permits, supervision, layout sod, trees, sprinklers, fences or buried utilities. All materials are property of Vincent Palato Rockscapes until final payment.
Payment: 30% upon acceptance, 30% upon commencement, balance due upon completion.

Signed

(PAVERS #3
DECLINED



6761 W Sunrise Blvd Suite 16 Plantation, FL 33313 Phone:954-583-3355/Cell 954-707-1907/Fax 954-583-3009

This proposal may be withdrawn by us if not accepted within 15 days

#2

754-264-4081

INVESTIGATION OF THE EFFECTS OF...

100

PLEASE PAY FROM THE INVOICE: * NO CREDIT WILL BE GIVEN

BACK-UP II

PARAPET/
SCREEN #3



Estimate

966 NW 51st Place, Suite B
Ft Lauderdale, FL 33309
Phone 754-301-2925
Cell: 954 868.5651
License # CGC058708
victorydevelopment@gmail.com

Date: February 26, 2018

Jim O'Hara

DESCRIPTION	AMOUNT
Build 64 ft long by 30 inches high parapet wall	9,100.00
TOTAL	\$9,100

THANK YOU FOR YOUR BUSINESS!

Accepted _____ Date _____