

## PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: 3701 Hillcrest Drive, Hollywood, FL 33021

Lot(s): \_\_\_\_\_ Block(s): 9 Subdivision: Hillwood Sec Three

Folio Number(s): 5142-19-27-0072

Zoning Classification: PUD-R Land Use Classification: COMPLEX

Existing Property Use: Vacant Lot Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: -- Sq Ft: 18,000

Value of Improvement: \$4,625,000.00 Estimated Date of Completion: August 2019

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Jason L. Tobin

Address of Property Owner: 1101 Ben Tobin Drive, Hollywood, FL 33021

Telephone: 954-989-3000 Fax: 954-985-1118 Email Address: jtobin@tobinprop.com

Name of Consultant/Representative/Tenant (circle one): Mark Saltz/Scott Willis

Address: 3501 Griffin Road, Ft. Lauderdale, FL 33312 Telephone: 954-266-2700

Fax: \_\_\_\_\_ Email Address: msaltz@saltzmichelson.com / swillis@saltzmichelson.com

Date of Purchase: 1945 Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Robert DeTorres

Address: 1101 Ben Tobin Drive, Hollywood, FL 33021

Email Address: rdetorres@tobinprop.com

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 2/12/18

PRINT NAME: Jason L. Tobin

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: 2/19/18

PRINT NAME: SCOTT WILLIS

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

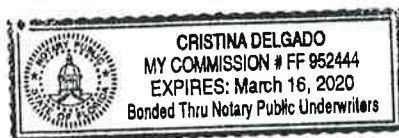
### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing SCOTT WILLIS to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 12 day of February

[Signature]  
Notary Public

State of Florida



Signature of Current Owner

Jason L. Tobin

Print Name

My Commission Expires: \_\_\_\_\_ (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



# TOBIN BUILDING

3701 HILLCREST DRIVE  
HOLLYWOOD, FL 33021



TOBIN BUILDING  
HOLLYWOOD, FL

## SALTZ MICHELSON ARCHITECTS

3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx:(954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No. :  
2017-182  
Drawn By :  
ZH  
Checked By :  
SW  
Date:  
02/20/18

REVISIONS

### PROJECT TEAM

#### OWNER:

TOBIN PROPERTIES, INC.  
1101 HILLCREST DRIVE  
HOLLYWOOD, FL 33021  
TELEPHONE: (954) 989-3000

#### CIVIL ENGINEER:

HOLLAND ENGINEERING, INC.  
3900 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33021  
TELEPHONE: (954) 367-0371

#### ARCHITECT:

SALTZ MICHELSON ARCHITECTS  
3501 GRIFFIN ROAD  
FORT LAUDERDALE, FLORIDA 33312  
TELEPHONE: (954) 266-2700

#### LANDSCAPE ARCHITECT:

DAVE BODKER  
LANDCAPE ARCHITECTURE /  
PLANNING, INC.  
601 N. CONGRESS AVE,  
SUITE 105-A  
DELRAY BEACH, FL 33445  
TELEPHONE: (561) 276-6311

### INDEX OF DRAWINGS

#### ARCHITECTURE

T1 COVER SHEET  
1 SURVEY  
SP1 SITE PLAN  
A1.1 GROUND FLOOR PLAN  
A1.2 SECOND FLOOR PLAN  
A1.3 THIRD FLOOR PLAN  
A1.4 ROOF PLAN  
A2.0 EXTERIOR ELEVATIONS  
A2.1 EXTERIOR ELEVATIONS

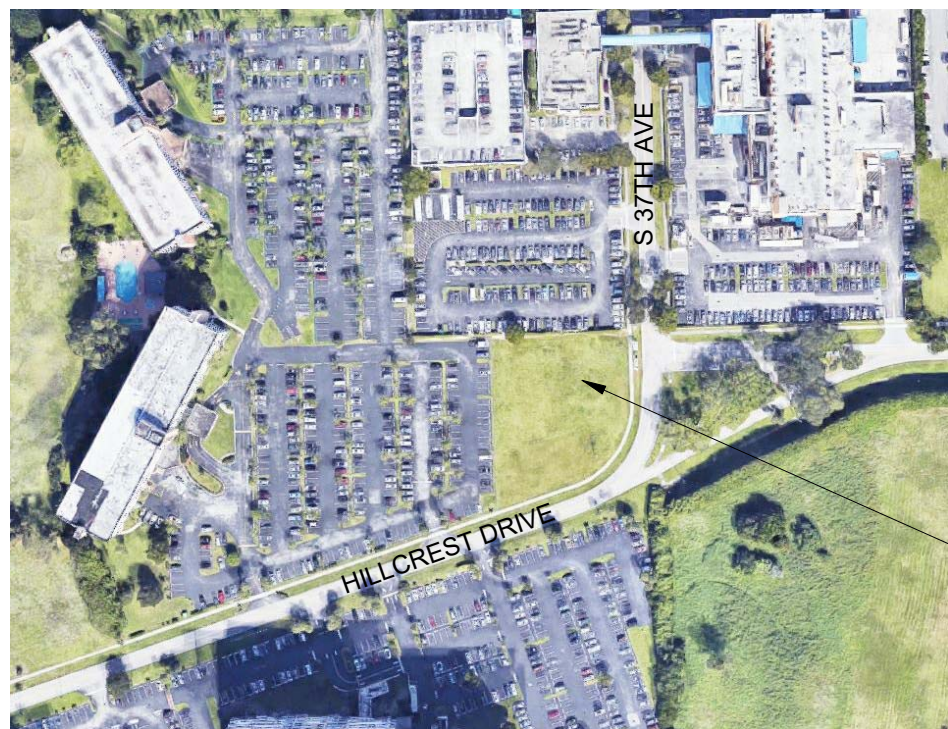
#### CIVIL

C-1 PAVING AND DRAINAGE PLAN  
C-2 WATER AND SEWER PLAN  
C-3 PAVEMENT MARKING AND  
SIGNAGE PLAN  
C-4 STORMWATER POLLUTION  
PREVENTION PLAN

#### LANDSCAPE

L-1 LANDSCAPE PLAN  
L-2 LANDSCAPE SPECS AND NOTES

### SITE LOCATION MAP



SITE LOCATION

SITE ADDRESS:  
3701 HILLCREST DRIVE  
HOLLYWOOD, FL 33021

NORTH

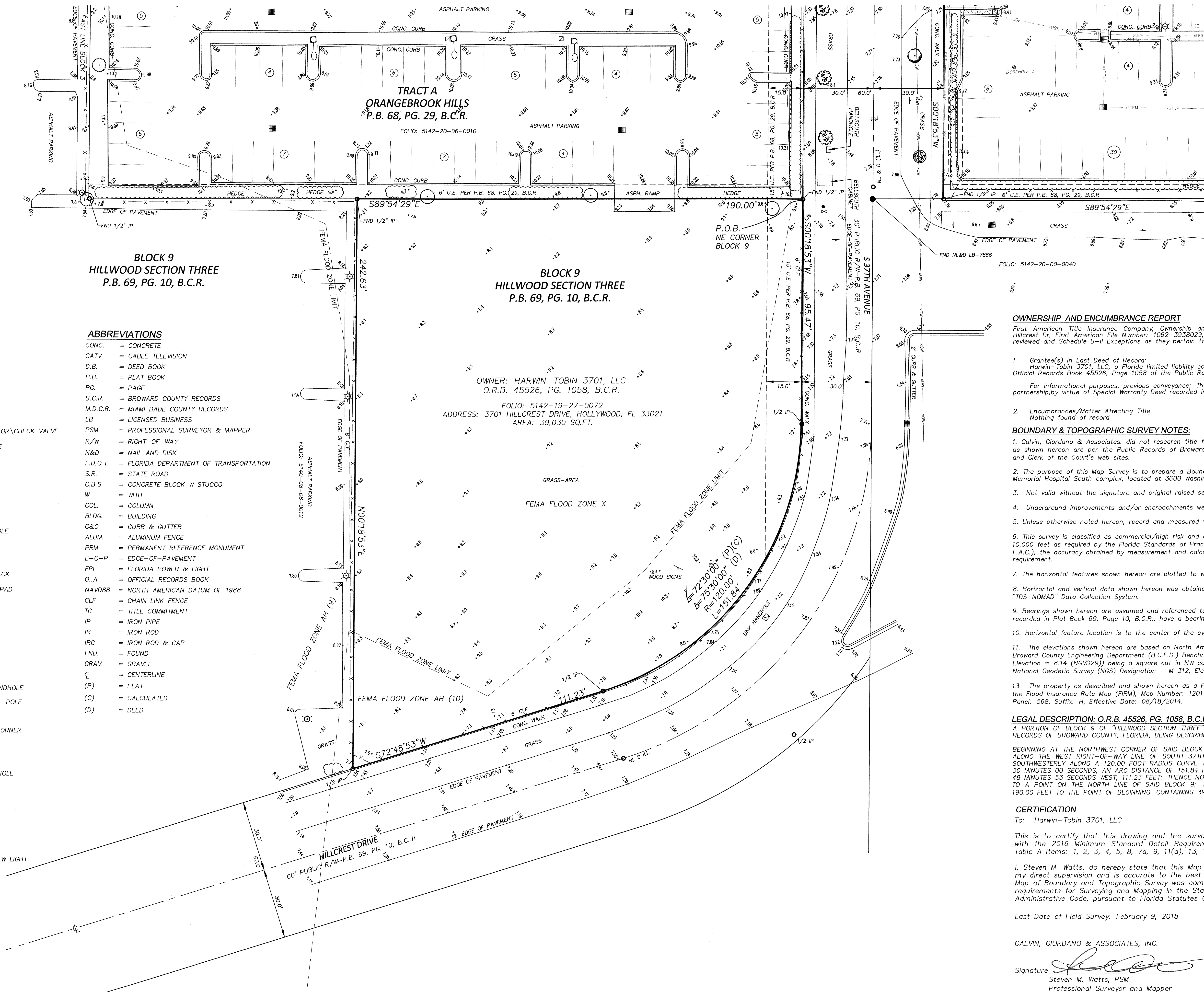
1  
T1

SITE LOCATION MAP

N.T.S.



File Name: P:\Projects\2016\169004 Memorial Hospital South\Survey\Sketch\16-9004.1-V-TS-3701 Hillcrest Drive-Tobin.dwg - (Plotted by: Steve Watts on Friday, February 16, 2018 7:45:09 AM)



#### OWNERSHIP AND ENCUMBRANCE REPORT

First American Title Insurance Company, Ownership and Encumbrance Report, Customer Reference Number: 3701 Hillcrest Dr, First American File Number: 1062-3938029, Searched from: May 2, 2016 to February 7, 2018, has been reviewed and Schedule B-II Exceptions as they pertain to survey matters are as follows:

1. Grantee(s) In Last Deed of Record: Harwin-Tobin 3701, LLC, a Florida limited liability company, by virtue of Special Warranty Deed recorded in Official Records Book 45526, Page 1058 of the Public Records of Broward County, Florida.

For informational purposes, previous conveyance; The Ben Tobin Companies, Ltd., a Florida limited partnership, by virtue of Special Warranty Deed recorded in Book 24139, Page 251.

2. Encumbrances/Matter Affecting Title  
Nothing found of record.

#### BOUNDARY & TOPOGRAPHIC SURVEY NOTES:

1. Calvin, Giordano & Associates, did not research title for this property and the plats, rights-of-way, and easements as shown hereon are per the Public Records of Broward County, Florida via the Broward County Property Appraiser's and Clerk of the Court's web sites.

2. The purpose of this Map Survey is to prepare a Boundary and Topographic Survey of a portion of the Regional Memorial Hospital South complex, located at 3600 Washington Street, Hollywood Florida, 33021.

3. Not valid without the signature and original raised seal of a Florida Professional Surveyor & Mapper.

4. Underground improvements and/or encroachments were not located as part of this survey task.

5. Unless otherwise noted hereon, record and measured values are in substantial agreement.

6. This survey is classified as commercial/high risk and exceeds the minimum relative distance accuracy of 1 foot in 10,000 feet as required by the Florida Standards of Practice requirements (Chapter 5J-17.050 through 5J-17.052 F.A.C.), the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.

7. The horizontal features shown hereon are plotted to within 1/20 of the map scale.

8. Horizontal and vertical data shown hereon was obtained utilizing a "TOPCON ES-105" Total Station and "TDS-NOMAD" Data Collection System.

9. Bearings shown hereon are assumed and referenced to the East line of Block 9, HILLWOOD SECTION THREE, as recorded in Plat Book 69, Page 10, B.C.R., have a bearing of S 00°18'53" W.

10. Horizontal feature location is to the center of the symbol and may be enlarged for clarity.

11. The elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD88) and referenced to Broward County Engineering Department (B.C.E.D.) Benchmark No. 1433, Elevation = 6.54' (NAVD88) (Published as Elevation = 8.14 (NGVD29)) being a square cut in NW corner of concrete sidewalk at #2550 Park Road, and to National Geodetic Survey (NGS) Designation - M 312, Elevation= 13.44' (NAVD88).

13. The property as described and shown hereon as a Flood Zone designation of Zone AH (EL10) and Zone X, per the Flood Insurance Rate Map (FIRM), Map Number: 12011C0568H, Community Number: City of Hollywood 125113, Panel: 568, Suffix: H, Effective Date: 08/18/2014.

#### LEGAL DESCRIPTION: O.R.B. 45526, PG. 1058, B.C.R.

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 9, RUN SOUTH 00 DEGREES 18 MINUTES 53 SECONDS WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH 37TH AVENUE, 95.47 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A 120.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 75 DEGREES 30 MINUTES 00 SECONDS, AN ARC DISTANCE OF 151.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 72 DEGREES 48 MINUTES 53 SECONDS WEST, 111.23 FEET; THENCE NORTH 00 DEGREES 18 MINUTES 53 SECONDS EAST 242.63 FEET TO A POINT ON THE NORTH LINE OF SAID BLOCK 9; THENCE SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 190.00 FEET TO THE POINT OF BEGINNING. CONTAINING 39,029 SQUARE FEET (0.896 ACRES).

#### CERTIFICATION

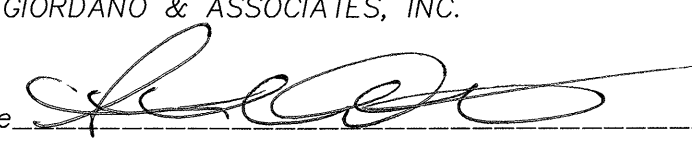
To: Harwin-Tobin 3701, LLC

This is to certify that this drawing and the survey on which it is based upon were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, and includes Table A Items: 1, 2, 3, 4, 5, 6, 7a, 9, 11(a), 13, 16.

I, Steven M. Watts, do hereby state that this Map of Boundary and Topographic Survey was done under my direct supervision and is accurate to the best of my knowledge and belief. I further state that this Map of Boundary and Topographic Survey was completed in accordance with the Standards of Practice requirements for Surveying and Mapping in the State of Florida as stated in Rule 5J-17 of the Florida Administrative Code, pursuant to Florida Statutes Chapter 472.027.

Last Date of Field Survey: February 9, 2018

CALVIN, GIORDANO & ASSOCIATES, INC.


Signature:   
Steven M. Watts, PSM  
Professional Surveyor and Mapper  
Florida Registration No. 4588

SEAL  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER  
STEVEN M. WATTS  
PSM NO. 4588

SCALE  
1" = 20'  
PROJECT No  
16-9004.1  
CAD FILE

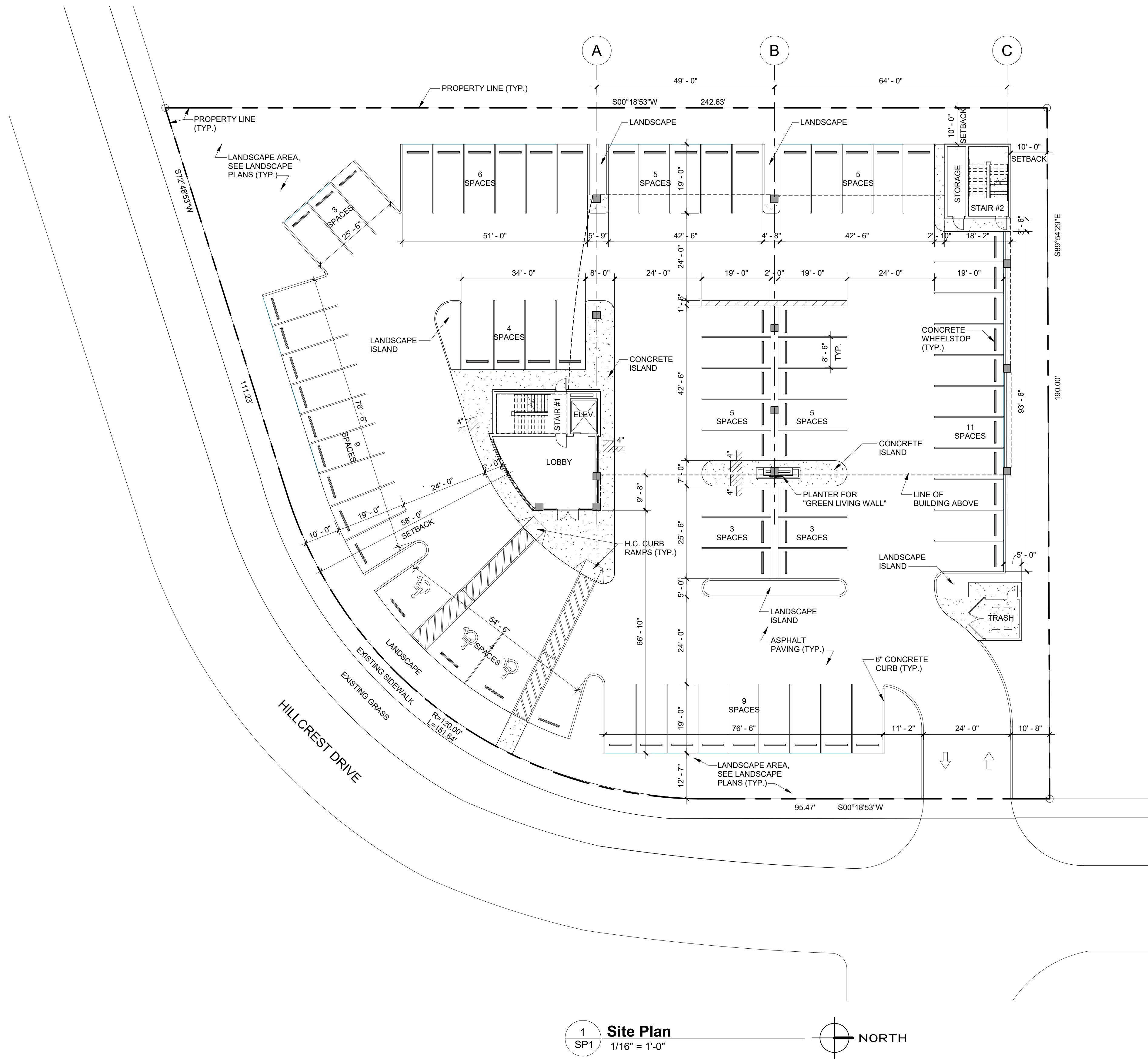
SHEET:  
1  
OF 1

DESIGNED FB 791-43  
DATE FB 9048-52  
DRAWN 02/09/2018  
DATE PD  
CHECKED 02/12/2018  
DATE SMW

  
**Calvin, Giordano & Associates, Inc.**  
EXCEPTIONAL SOLUTIONS™  
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316  
Phone: 954.921.7781 • Fax: 954.921.8807  
Certificate of Authorization 6791

3701 HILLCREST DRIVE  
HOLLYWOOD, FL

ALTA/NSPA LAND TITLE SURVEY  
BOUNDARY & TOPOGRAPHIC SURVEY  
TOBIN CONSTRUCTION GROUP, INC.



SITE DATA
ZONING: PUD-R
LAND USE: COMPLEX
OCCUPANCY: BUSINESS (GROUP B) OFFICES
CONSTRUCTION TYPE: TYPE II B
GROSS LOT AREA: 39,030 S.F.
FLOOR AREA: 1ST FLOOR AREA: 1,120 S.F. 2ND FLOOR AREA: 8,545 S.F. 3RD FLOOR AREA: 8,335 S.F. TOTAL FLOOR AREA: 18,000 S.F.
BUILDING SETBACKS REQUIRED: NONE
PROPOSED: FRONT (S.E. SIDE) = 58'-0" EAST SIDE = 75'-0" WEST SIDE = 10'-0" REAR (NORTH SIDE) = 10'-0"
BUILDING HEIGHT MAXIMUM ALLOWED: UNLIMITED
PROPOSED: HIGHEST POINT OF THE BUILDING (TOP OF TOWER ON ROOF = 74'-4") BUILDING IS THREE STORIES 50'-0" TO BUILDING ROOF LINE.
PARKING REQUIRED: 18,000 S.F. / 250 S.F. / CARS = 72 SPACES
PROVIDED: 72 SPACES (3 H.C. SPACES)
IMPERVIOUS AREA 29,667 S.F. (76% OF SITE AREA)
PERVIOUS AREA REQUIRED: 10% MINIMUM PERVIOUS AREA LANDSCAPE AREA PROVIDED: 9,363 S.F. (24% OF SITE AREA) REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
LEGAL DESCRIPTION
HILLWOOD SEC THREE 69-10 B POR BLK 9 DESC AS BEG NE COR BLK 9 S 95.47' SW ALG CUR 151.84' SWLY 111.23' N 242.63' ELY 190' TO POB LESS N 30' FOR RD
GENERAL NOTE
BUILDING WILL BE PROVIDED WITH A BI-DIRECTIONAL AMPLIFIER (BDA).

TOBIN BUILDING  
HOLLYWOOD, FL

SALTZ MICHELSON  
ARCHITECTS

3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx:(954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No. :  
2017-182  
Drawn By :  
ZH  
Checked By :  
SW

Date:  
02/20/18

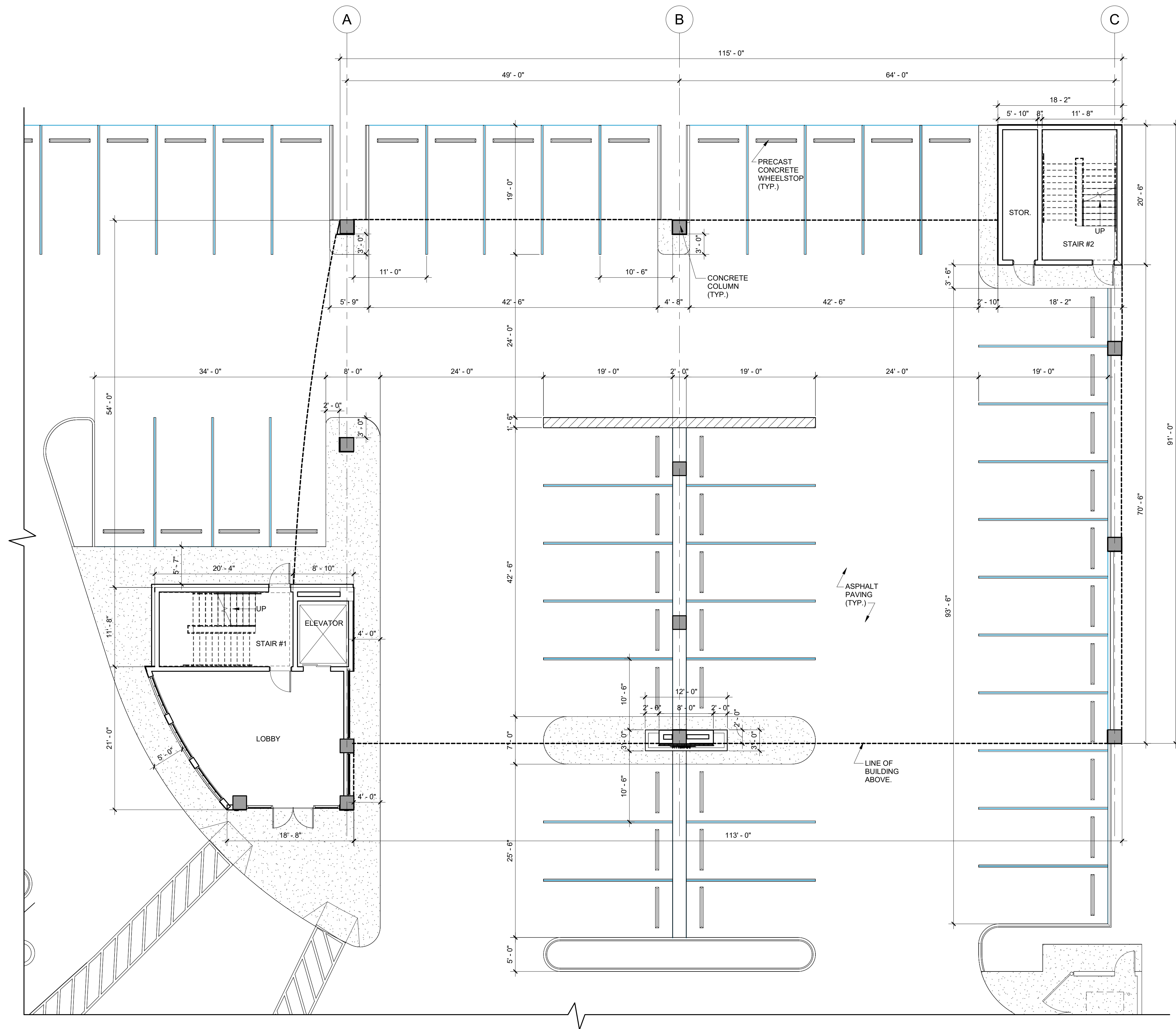
REVISIONS

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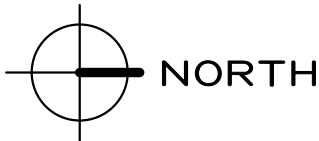
SP1

1 Site Plan  
SP1 1/16" = 1'-0" NORTH





1  
A1.1 **GROUND FLOOR PLAN**  
1/8" = 1'-0"



TOBIN BUILDING  
HOLLYWOOD, FL

**SALTZ MICHELSON**  
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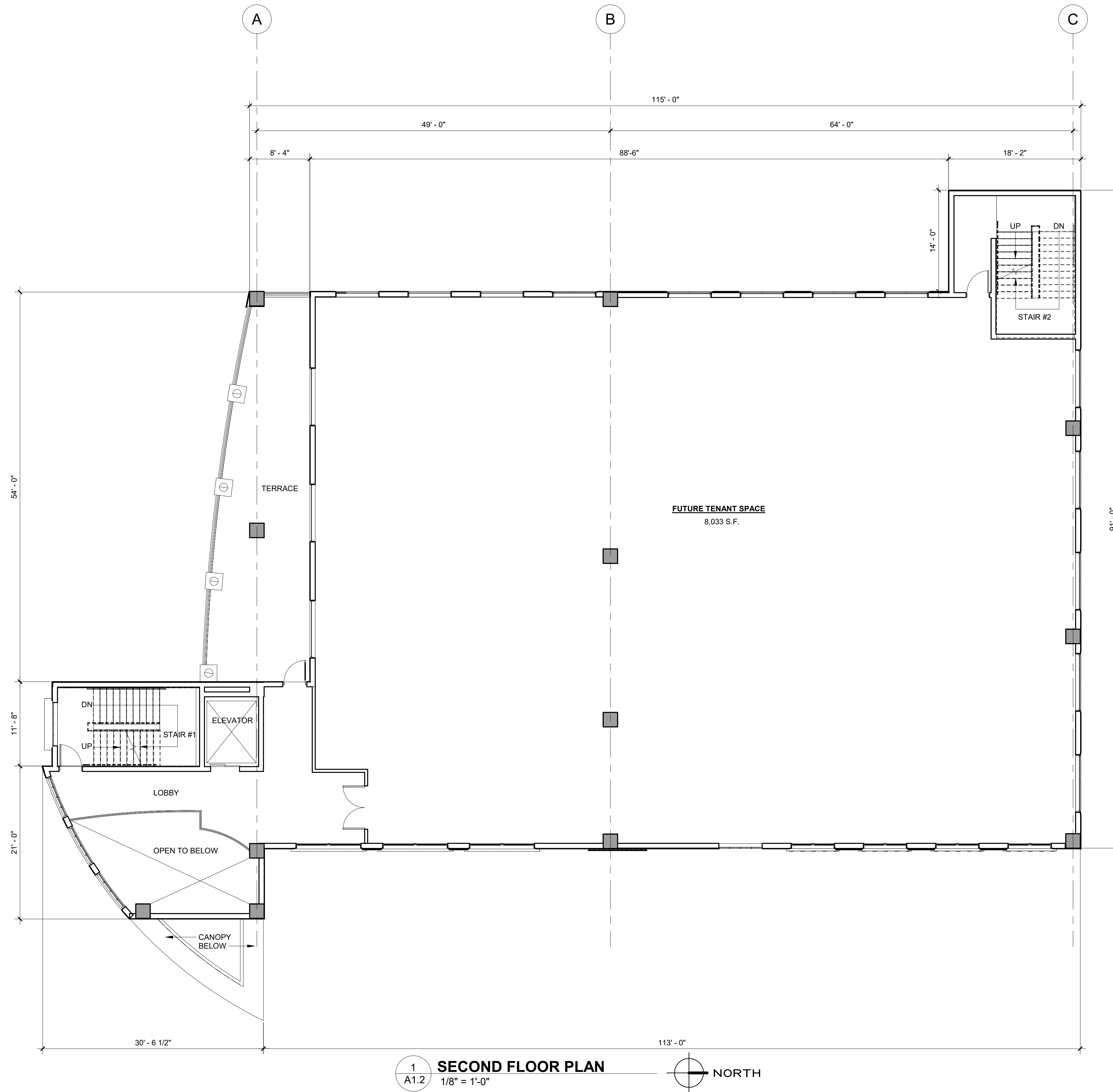
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02/20/18

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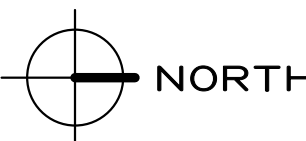
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1  
A1.2

**SECOND FLOOR PLAN**  
1/8" = 1'-0"



TOBIN BUILDING  
HOLLYWOOD, FL

**SALTZ MICHELSON**  
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AA-0002897

Mark L. Saltz AR007171

Project No. :  
2017-182  
Drawn By :  
ZH  
Checked By :  
SW  
Date:  
02/20/18

REVISIONS

A1.2

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1  
A1.3  
THIRD FLOOR PLAN  
1/8" = 1'-0"

TOBIN BUILDING  
HOLLYWOOD, FL

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Project No. :  
2017-182  
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ZH  
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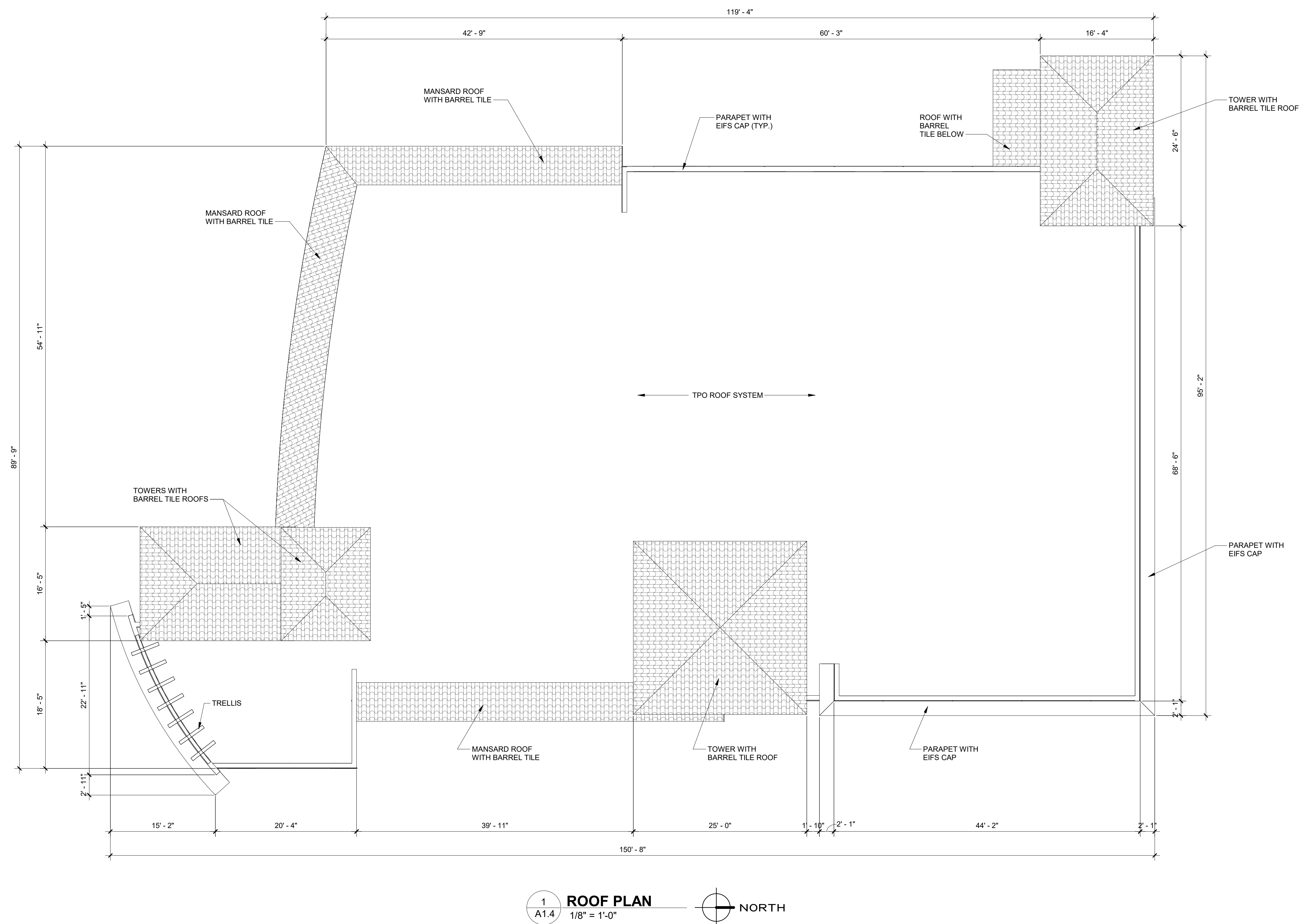
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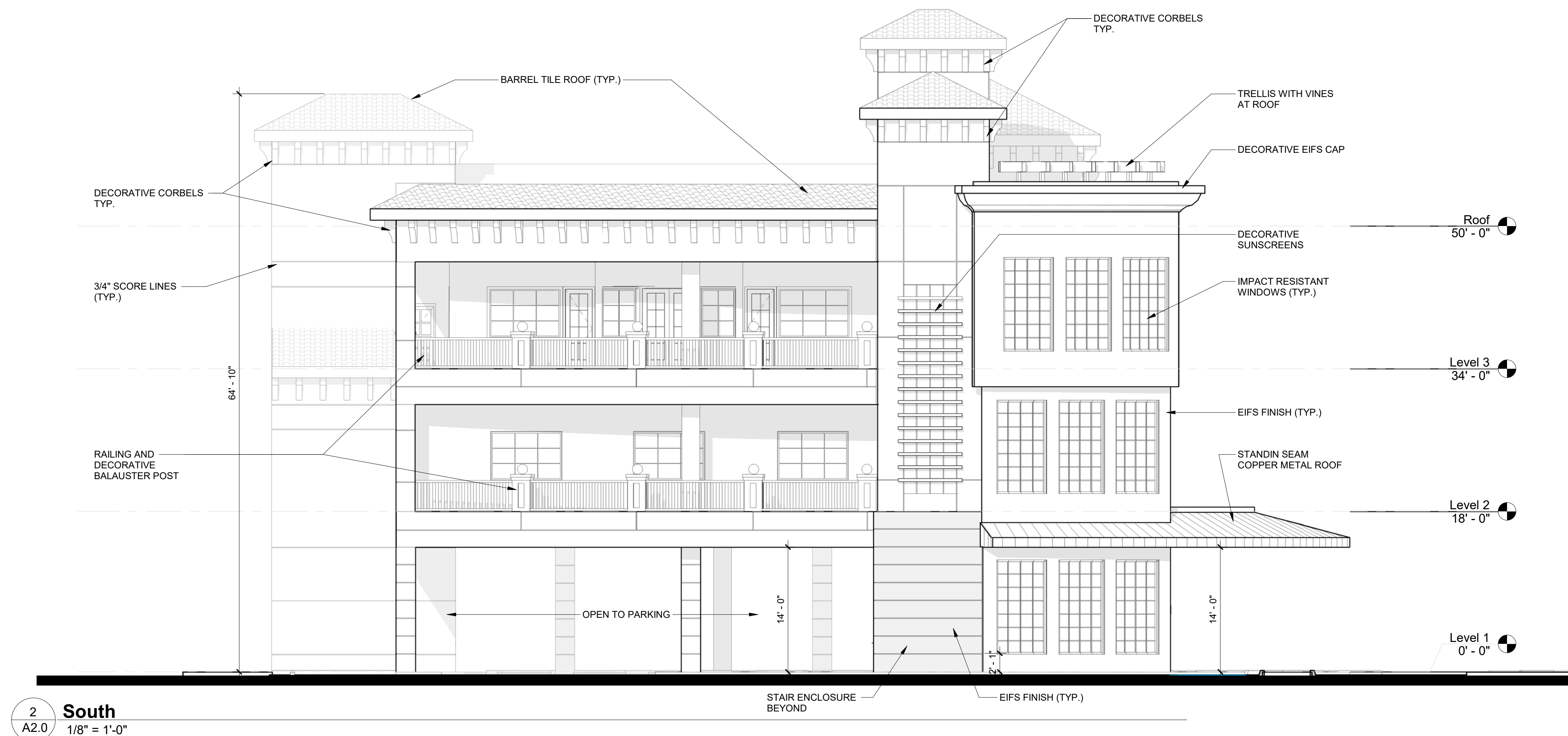
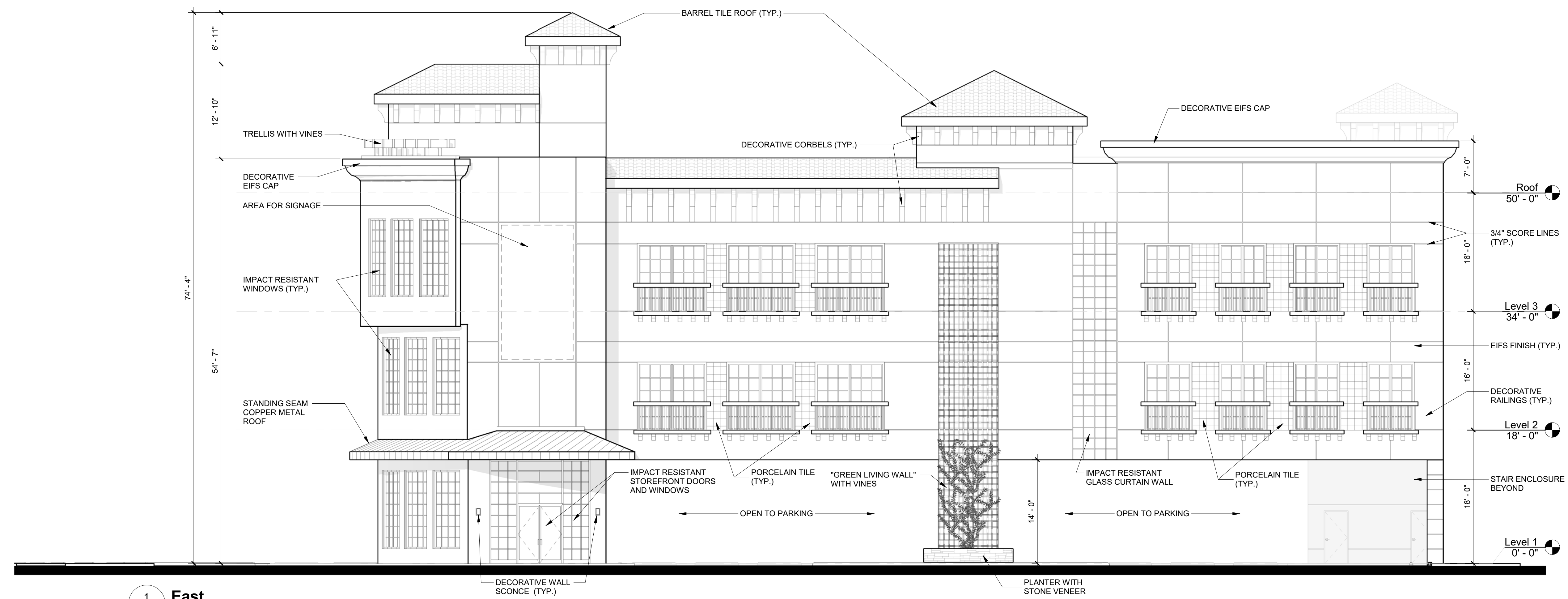
A1.3



AA-0002897

## REVISIONS





TOBIN BUILDING  
HOLLYWOOD, FL

**SALTZ MICHELSON**  
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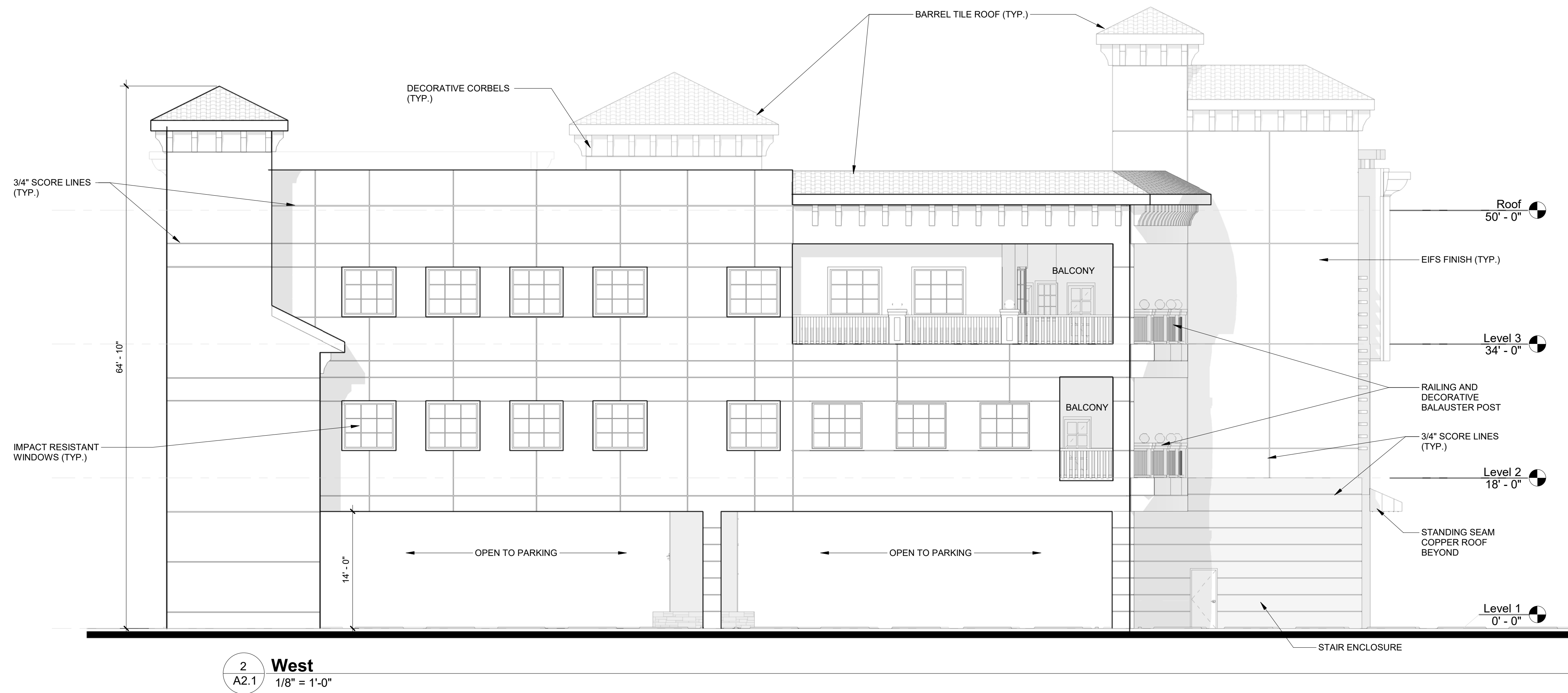
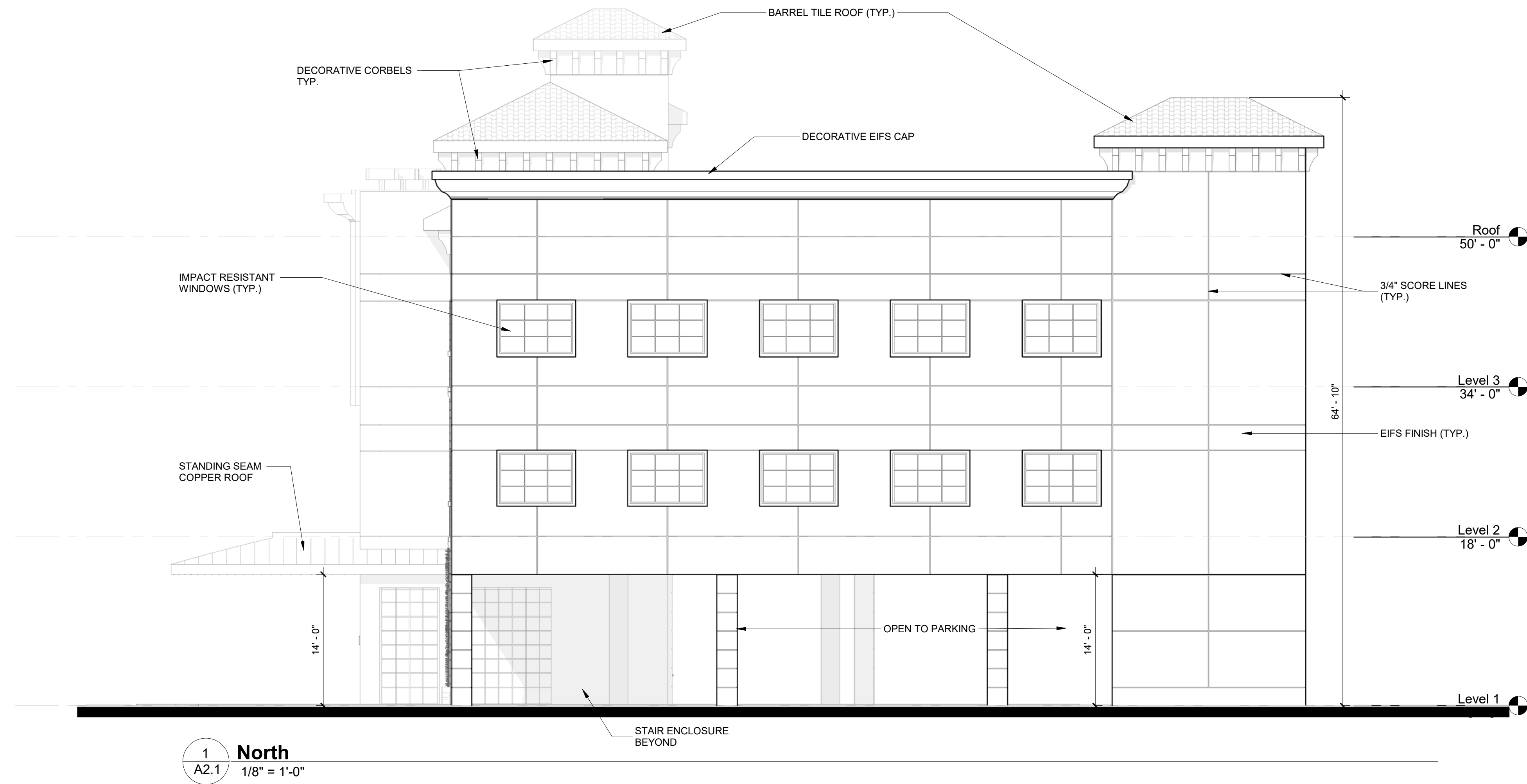
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02/20/18

REVISIONS

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HOLLYWOOD, FL

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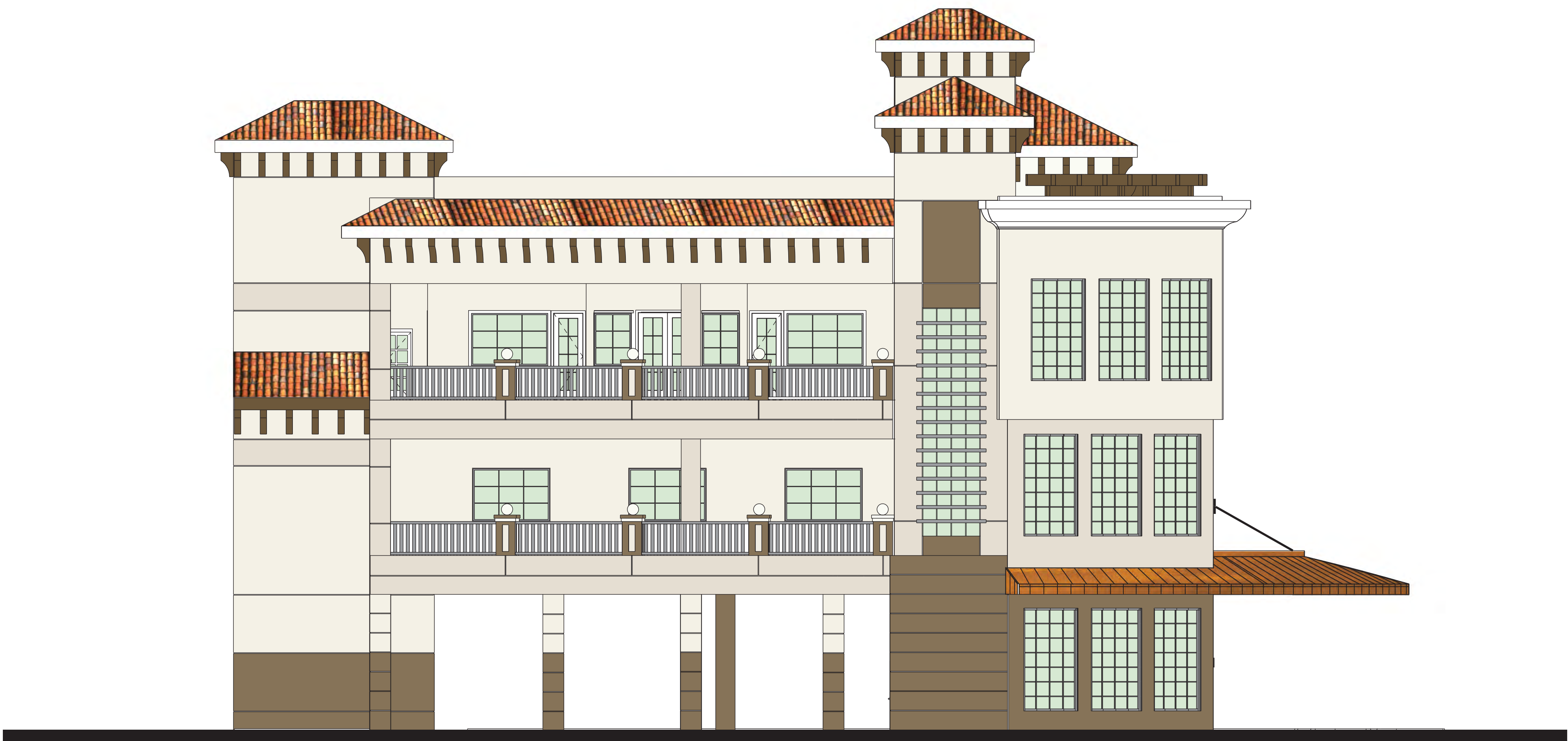
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2017-182  
Drawn By :  
ZH  
Checked By :  
SW  
Date:  
02/20/18

REVISIONS

A2.1



1 East  
A2.0 1/8" = 1'-0"



2 South  
A2.0 1/8" = 1'-0"

TOBIN BUILDING  
HOLLYWOOD, FL

SALTZ MICHELSON  
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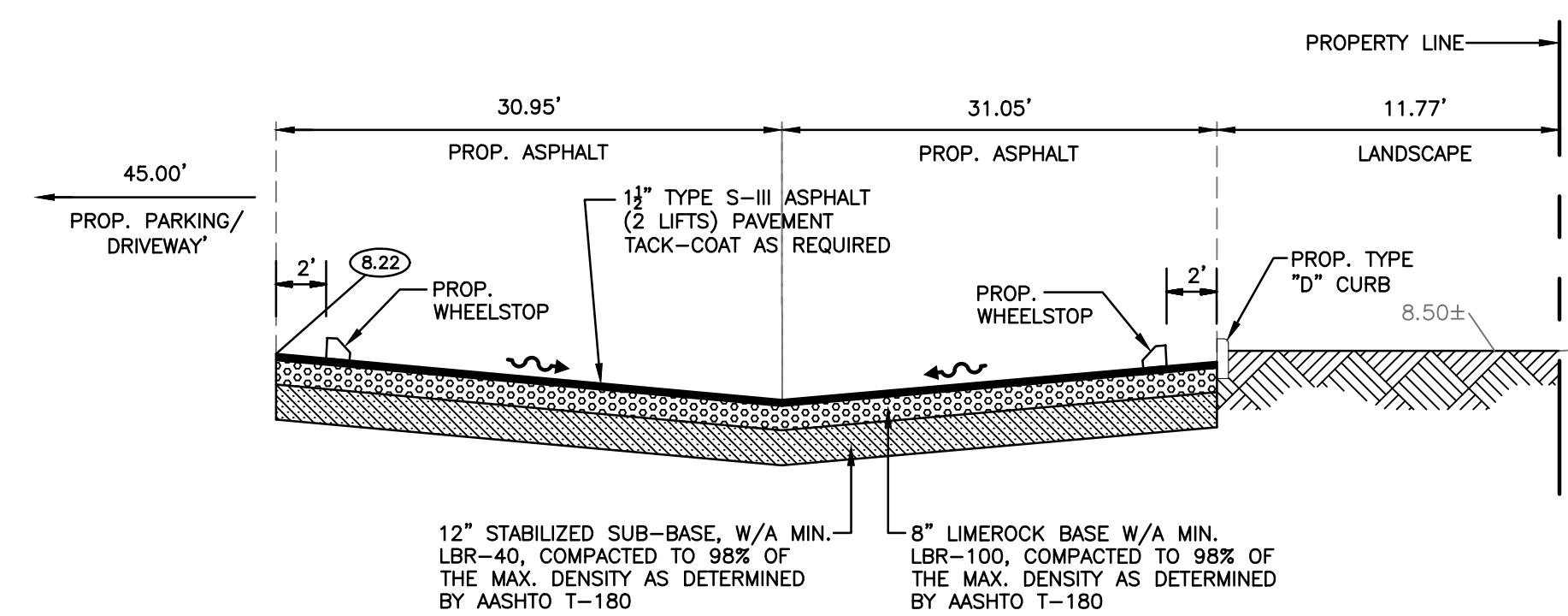
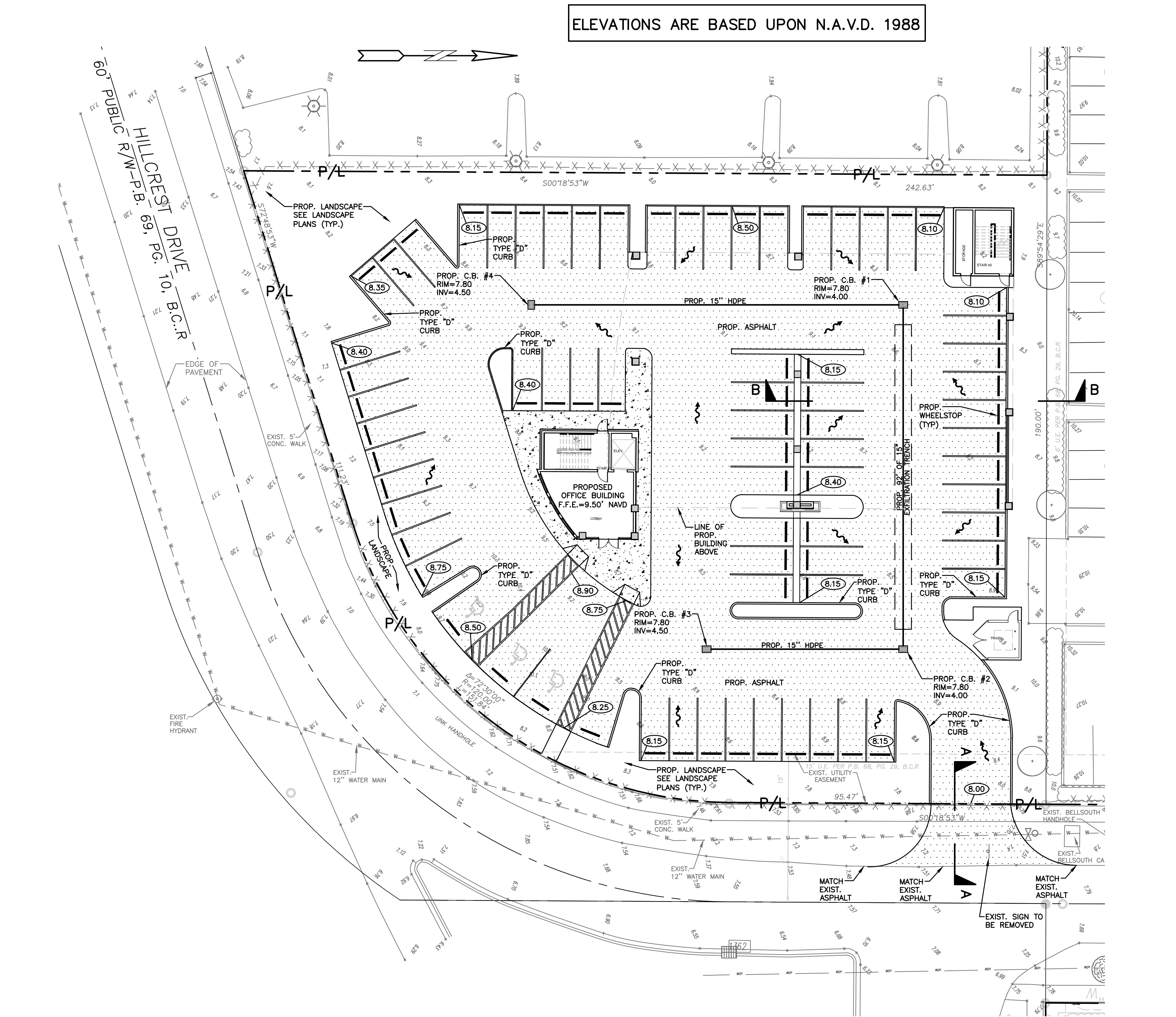
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REVISIONS

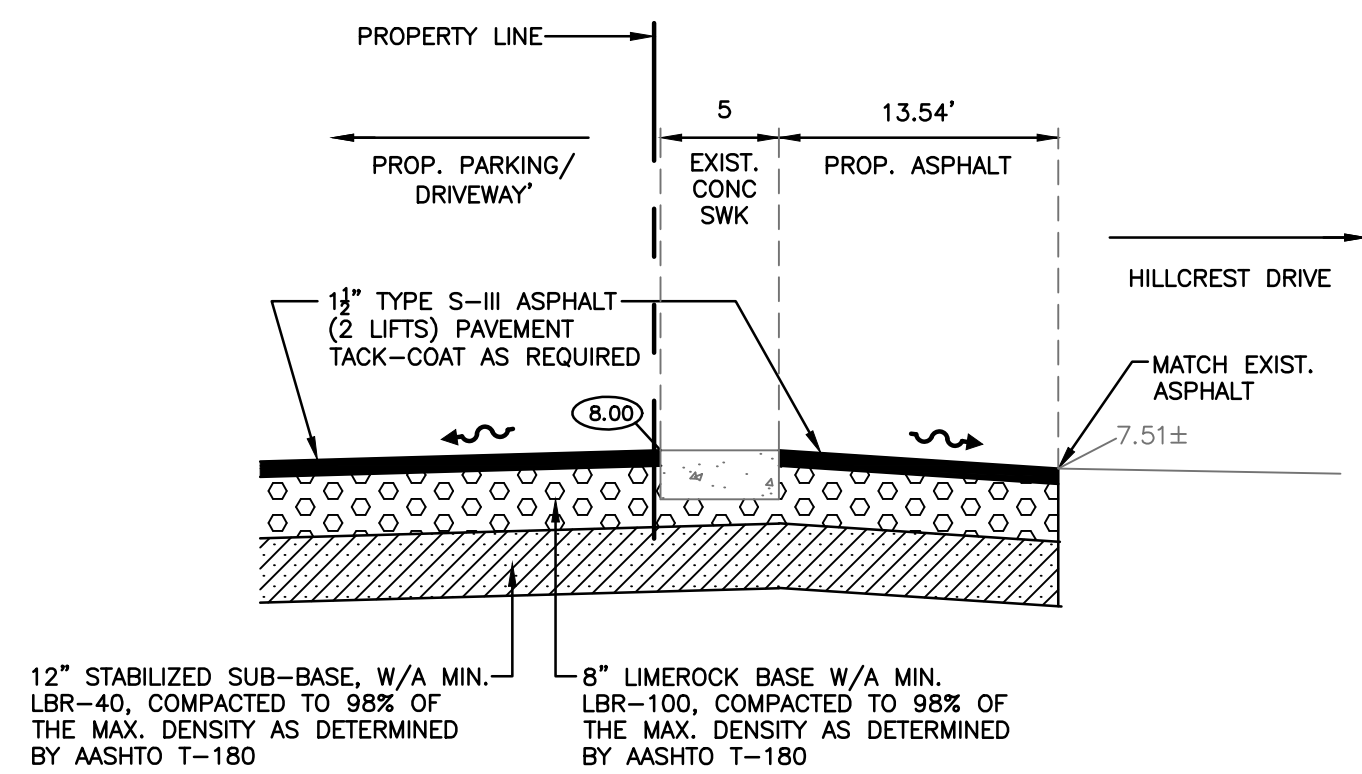
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A2.0





SECTION B-B  
N.T.S.

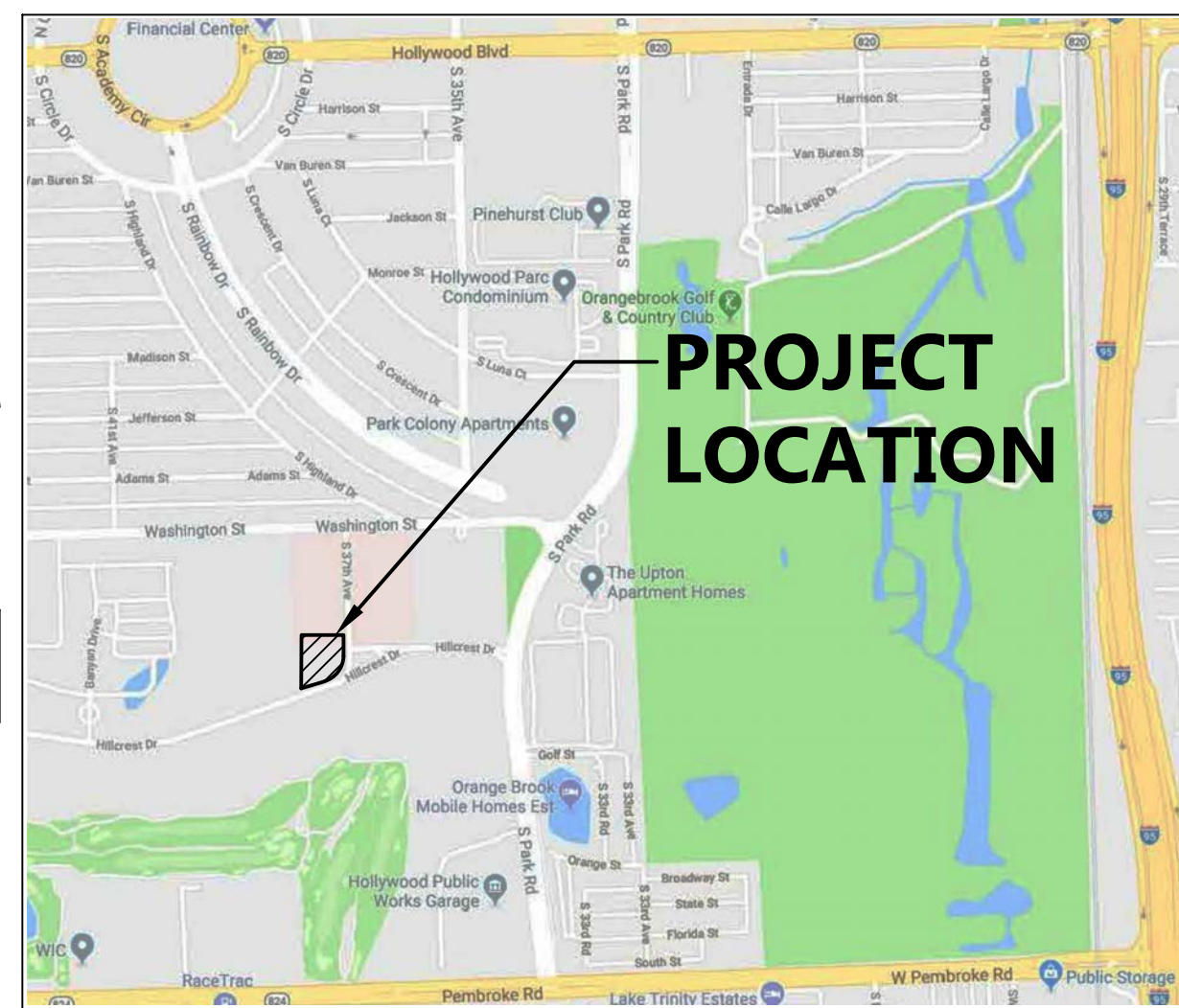


SECTION A-A  
N.T.S.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

**HOLLAND ENGINEERING INC.**  
civil engineers  
3900 HOLLYWOOD BLVD., STE. 303 - HOLLYWOOD - FL - 33021  
(954)367-0371 • (954)367-0372 Fax

CA 7325 SUSAN C. HOLLAND, PE  
Reg. no. 41831



LOCATION MAP  
NOT TO SCALE

**LEGAL DESCRIPTION:**  
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE",  
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN  
PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF  
BROWARD COUNTY, FLORIDA.

**NOTES:**

1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
2. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
13. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

**LEGEND**

	PROPOSED ASPHALT		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE SIDEWALK		PROPOSED PIPING
	PROPOSED ELEVATION		EXISTING PIPING AND APPURTENANCES
	PROPOSED SURFACE FLOW		EXISTING CATCH BASIN
	PROPOSED SIGN (AS INDICATED)		EXISTING ELEVATION
	PROPOSED CLEANOUT		EXISTING CONCRETE LIGHT POLE
			PROPOSED WATER METER
			EXISTING FENCE

**PAVING & DRAINAGE PLAN**

SCALE: 1"=20'

**TOBIN BUILDING**  
3701 HILLCREST DRIVE  
HOLLYWOOD, FL 33021

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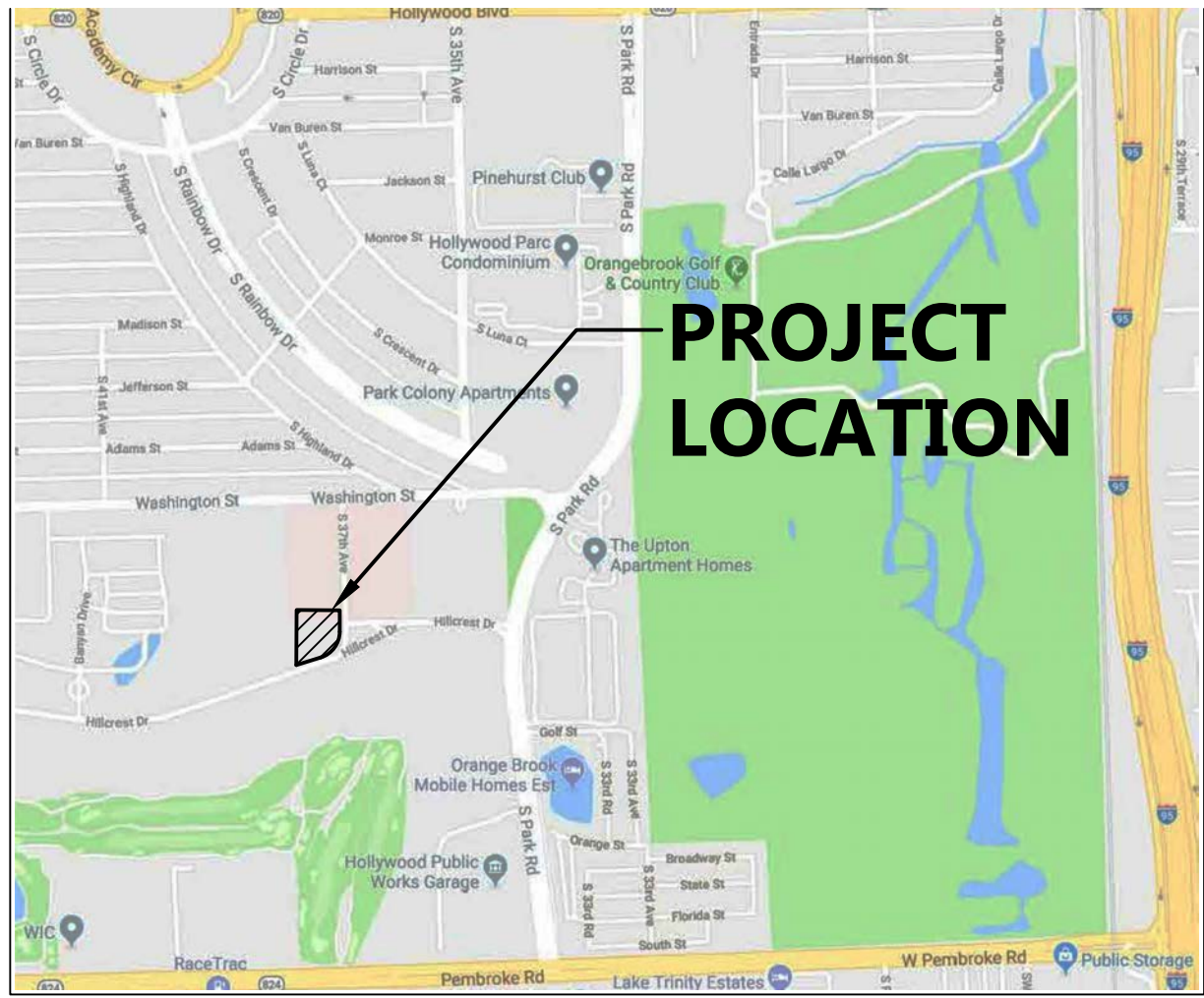
Project No. :  
2017-182  
Drawn By :  
AA  
Checked By :  
SCH  
Date:  
02/20/18

REVISIONS

**C-1**

18-01





LOCATION MAP  
NOT TO SCALE

LEGAL DESCRIPTION:

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE",  
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN  
PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF  
BROWARD COUNTY, FLORIDA.

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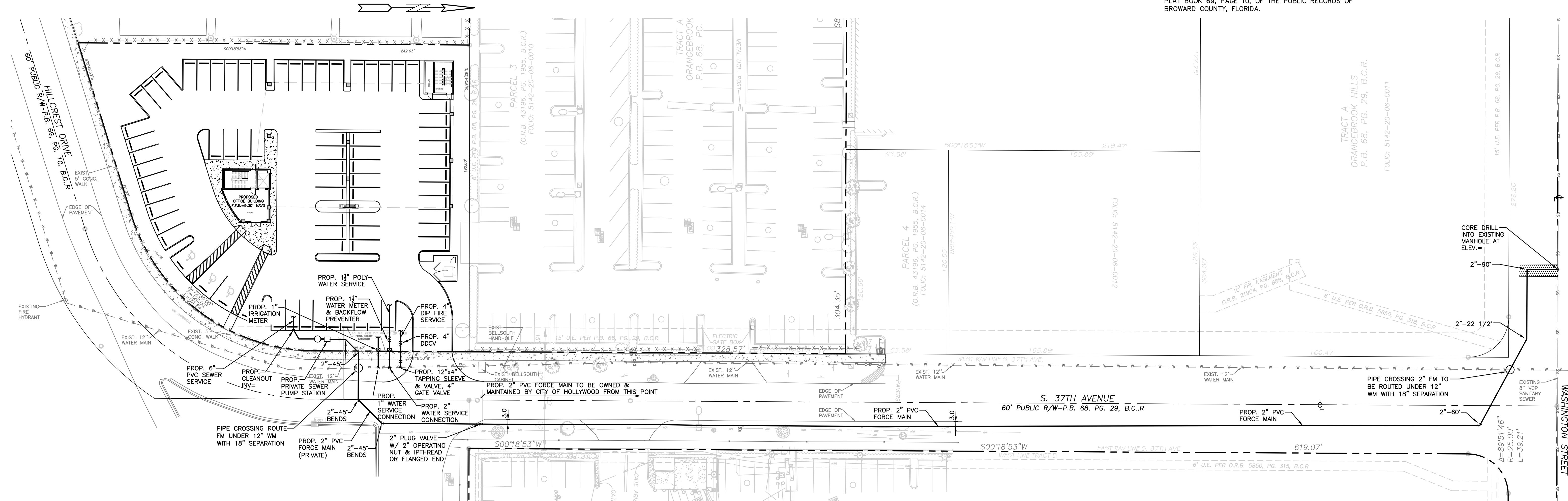
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18-01

NOTES:

1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER LATERAL AND CONFIRM DEPTH OF PIPE.
3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

ELEVATIONS ARE BASED UPON N.A.V.D. 1988



THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

WATER AND SEWER DEMAND

18,000 SF OFFICE BUILDING X 0.20 GPD/SF = 3,600 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

LEGEND

	LANDSCAPE AREA		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE SIDEWALK		PROPOSED PIPING
	PROPOSED ELEVATION		EXISTING PIPING AND APPURTENANCES
	PROPOSED SURFACE FLOW		EXISTING CATCH BASIN
	PROPOSED SIGN (AS INDICATED)		EXISTING ELEVATION
	PROPOSED CLEANOUT		EXISTING CONCRETE LIGHT POLE
			PROPOSED WATER METER
			EXISTING FENCE

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WATER & SEWER PLAN

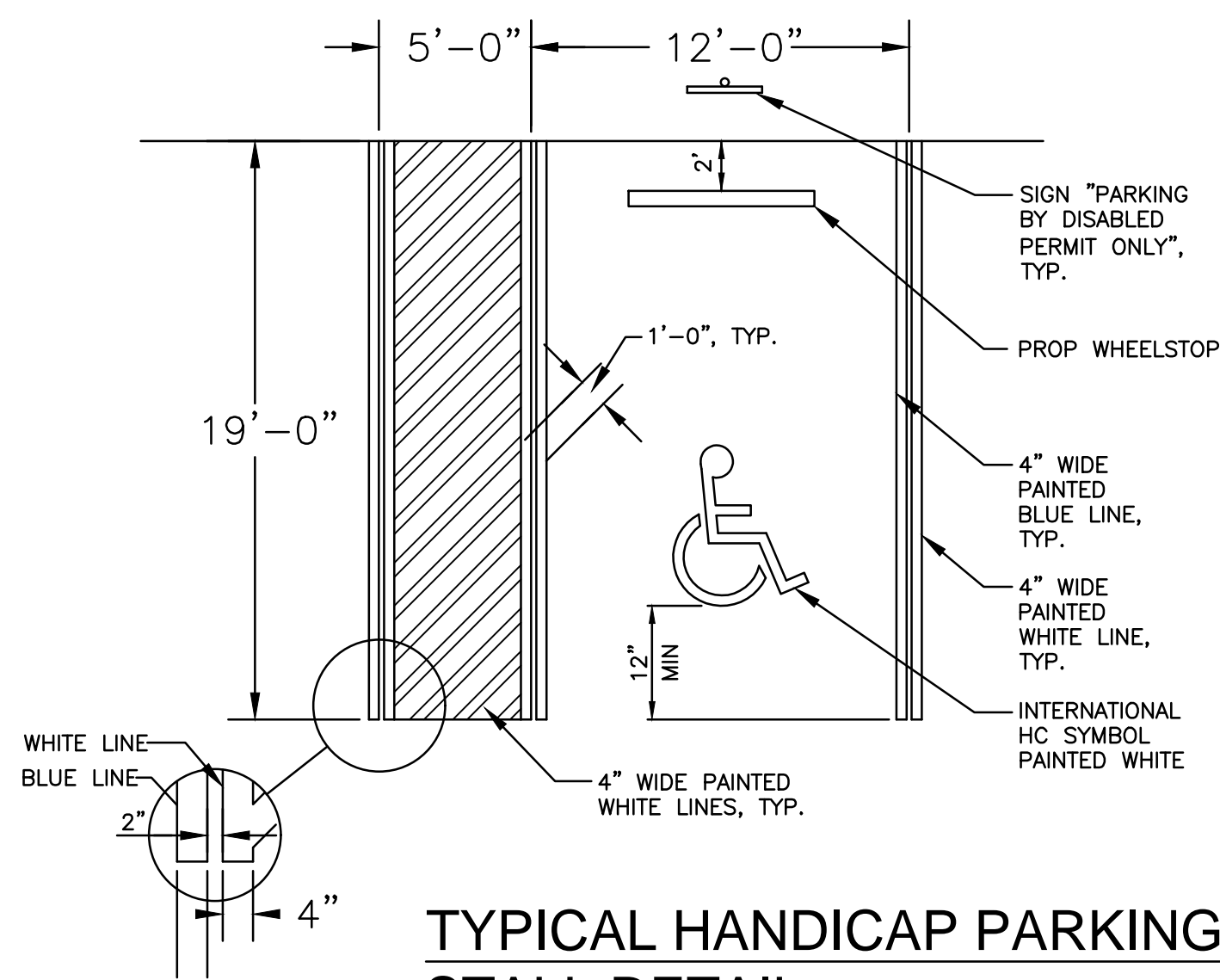
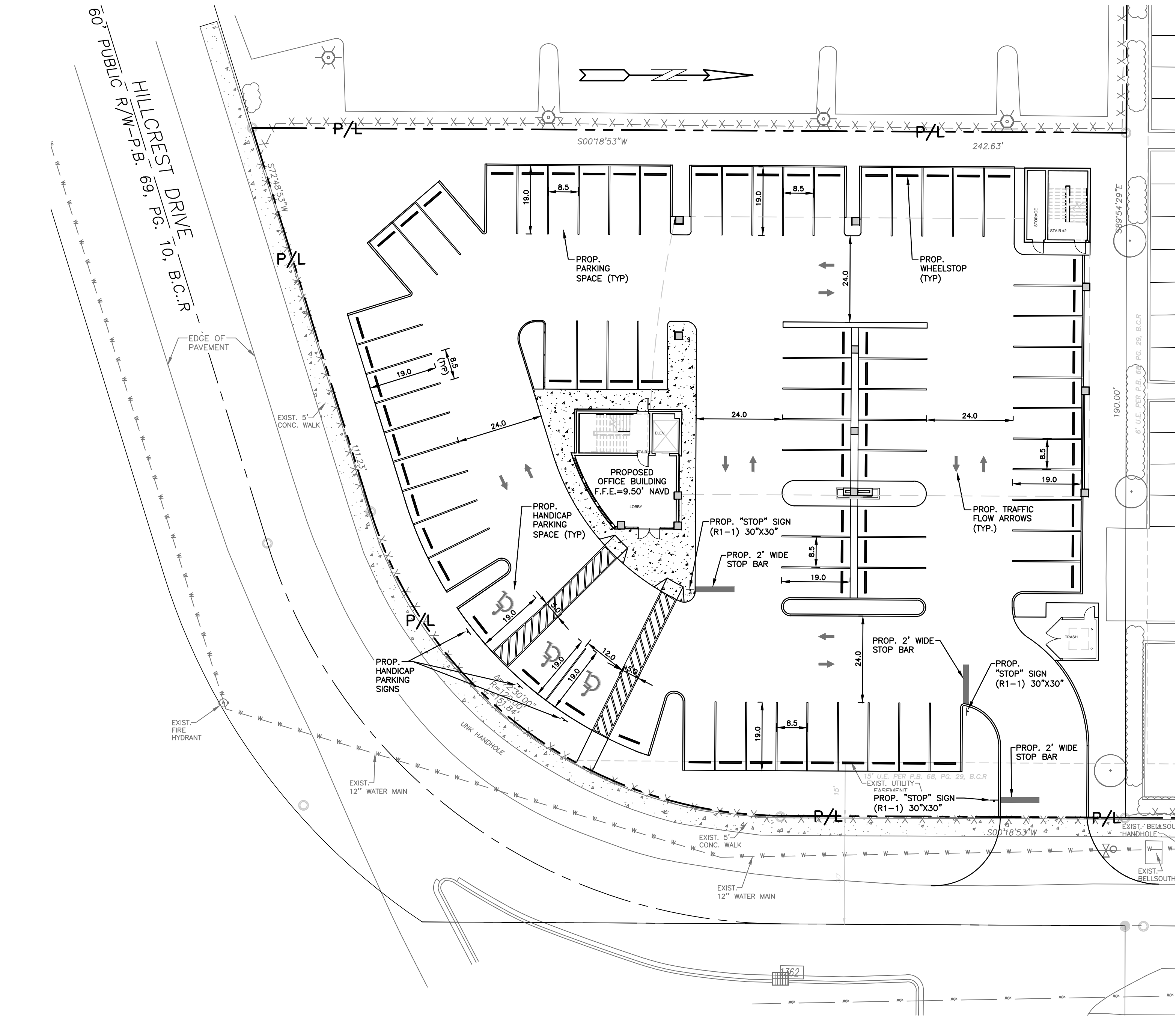
SCALE: 1"=30'

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

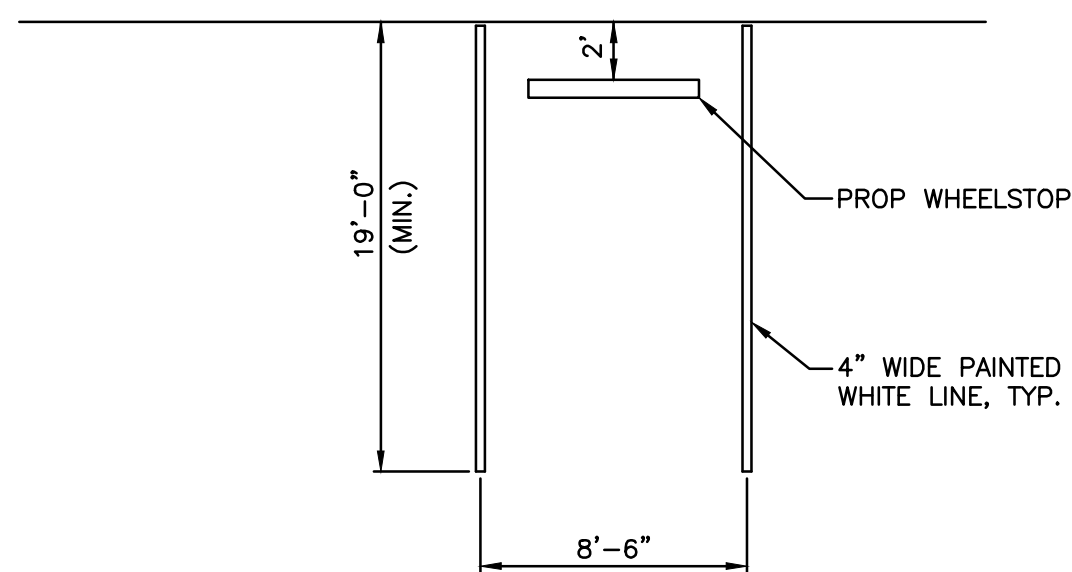
CA 7325



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



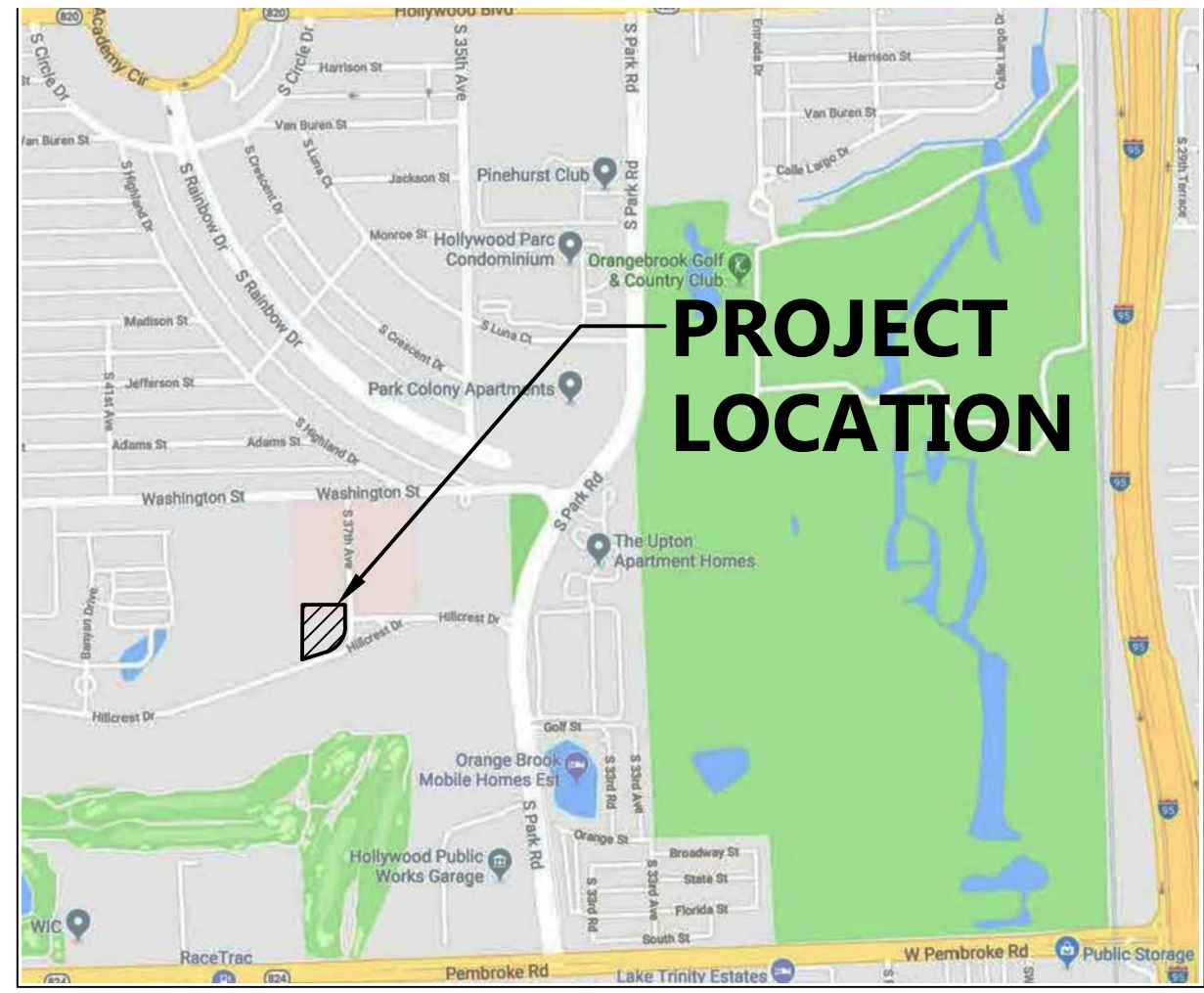
TYPICAL HANDICAP PARKING STALL DETAIL  
N.T.S



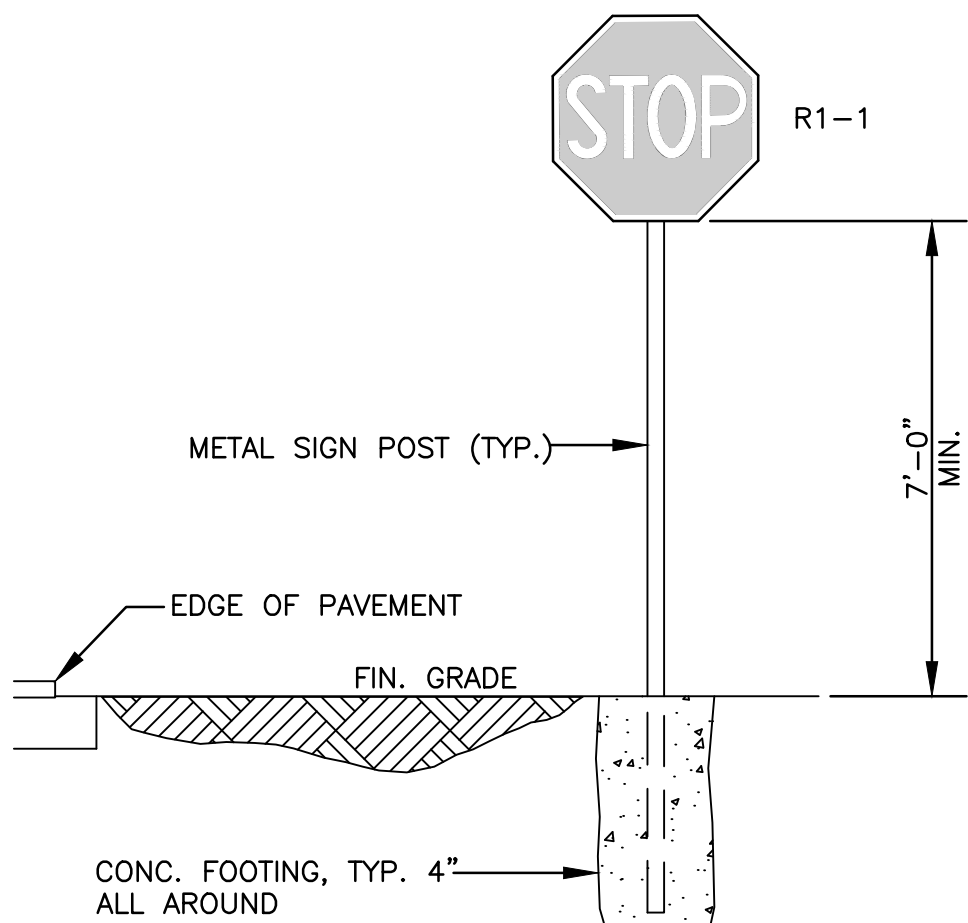
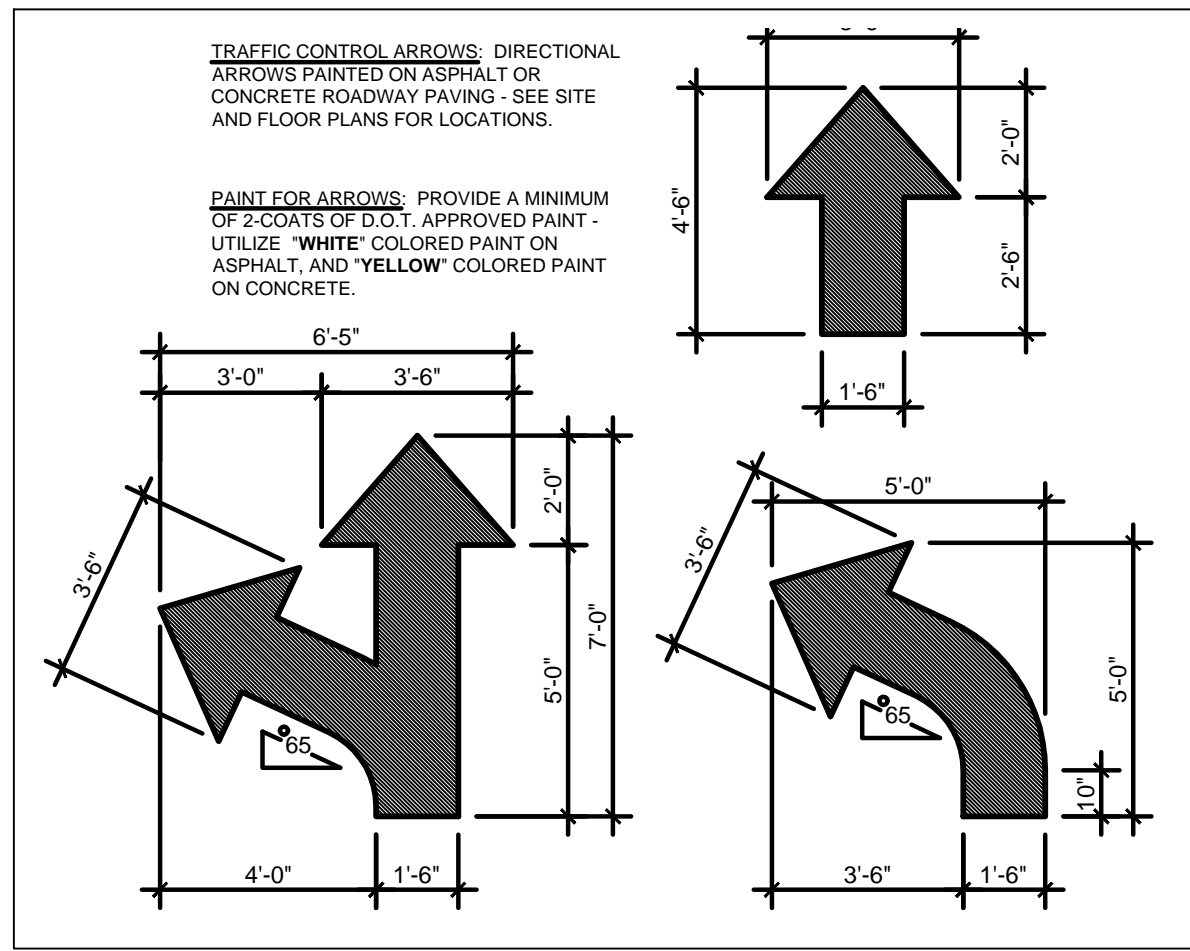
TYPICAL REGULAR PARKING STALL DETAIL  
N.T.S

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CA 7325 SUSAN C. HOLLAND, PE  
Reg. no. 41831



LOCATION MAP  
NOT TO SCALE



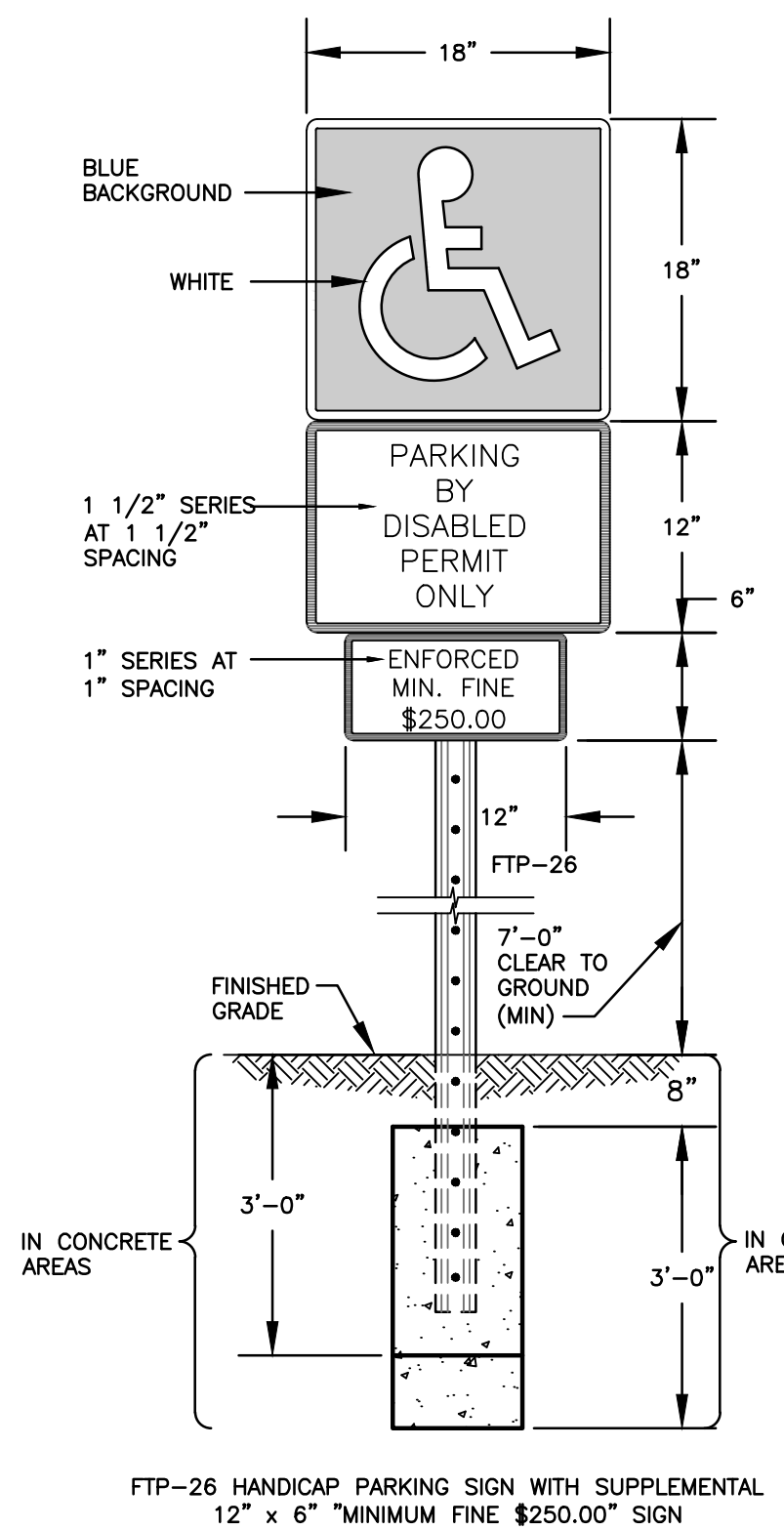
TYPICAL SIGN INSTALLATION

LEGEND

- |  |                              |  |                                   |
|--|------------------------------|--|-----------------------------------|
|  | LANDSCAPE AREA               |  | EXISTING RPZ BACKFLOW PREVENTER   |
|  | PROPOSED CONCRETE SIDEWALK   |  | PROPOSED PIPING                   |
|  | PROPOSED ELEVATION           |  | EXISTING PIPING AND APPURTENANCES |
|  | PROPOSED SURFACE FLOW        |  | EXISTING CATCH BASIN              |
|  | PROPOSED SIGN (AS INDICATED) |  | EXISTING ELEVATION                |
|  | PROPOSED CLEANOUT            |  | EXISTING CONCRETE LIGHT POLE      |
|  |                              |  | PROPOSED WATER METER              |
|  |                              |  | EXISTING FENCE                    |

PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1"=20'



NOTES:

- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
- LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP STALL, WHERE APPLICABLE.
- SIGNS IN CONCRETE AREAS TO BE EMBEDDED FOR A DEPTH OF 3- FEET.

HANDICAP PARKING SIGN  
NTS

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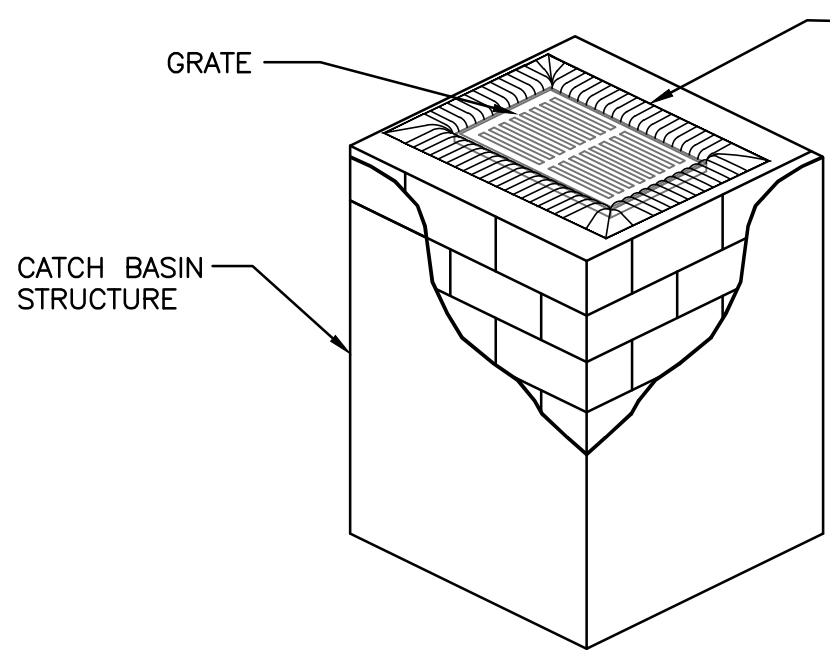
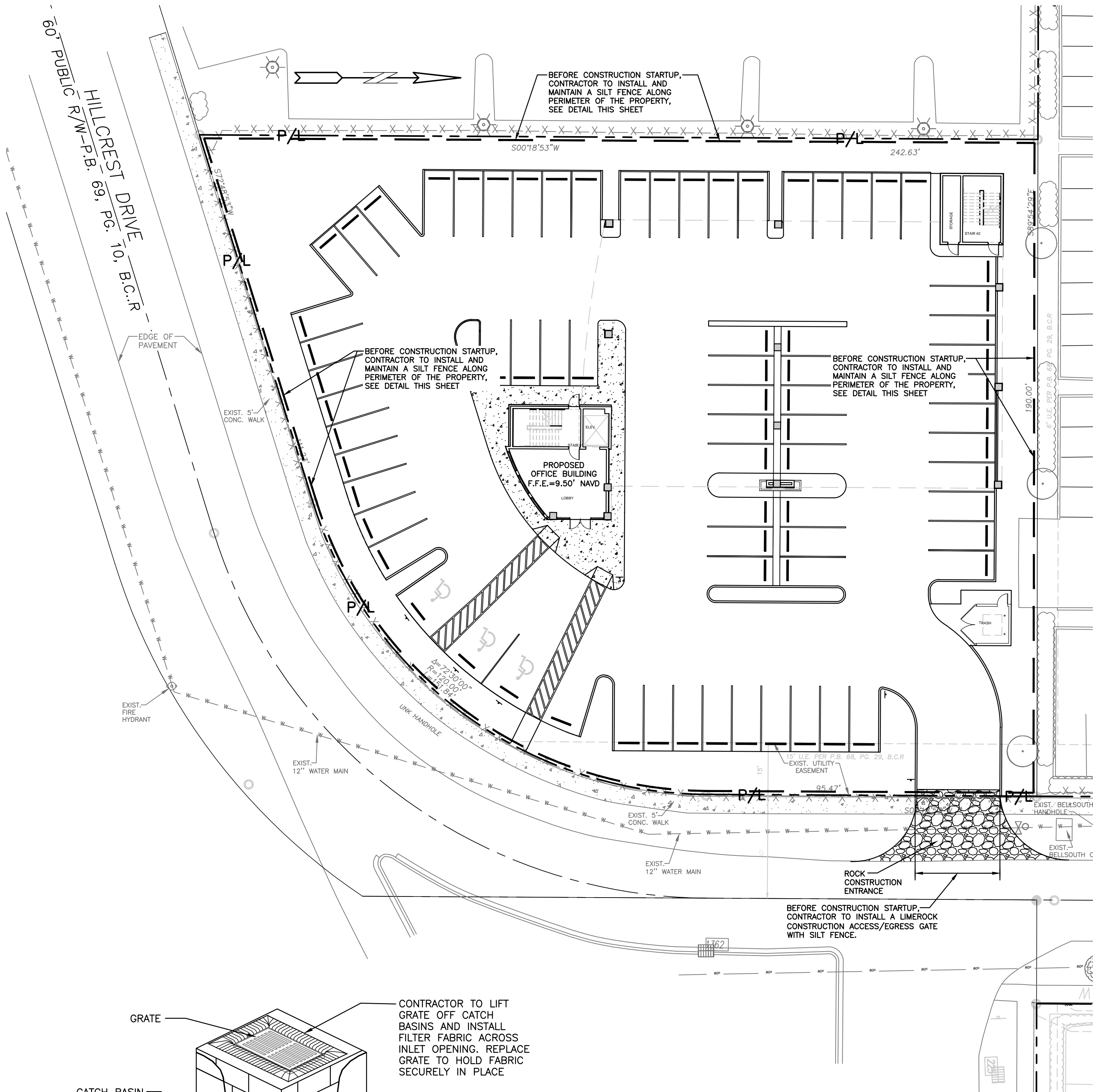
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Mark L. Saltz AR007171

Project No. :  
2017-182  
Drawn By :  
ZH  
Checked By :  
SW  
Date:  
02/20/18

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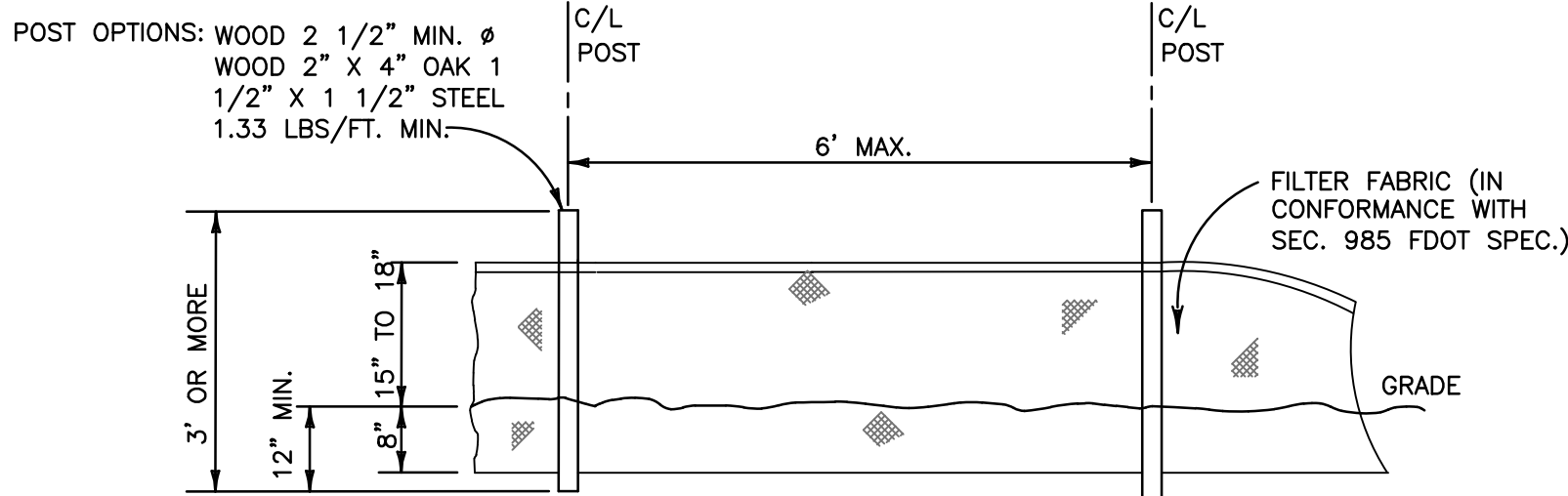




**POLLUTION PREVENTION  
FOR CATCH BASIN**  
N.T.S.

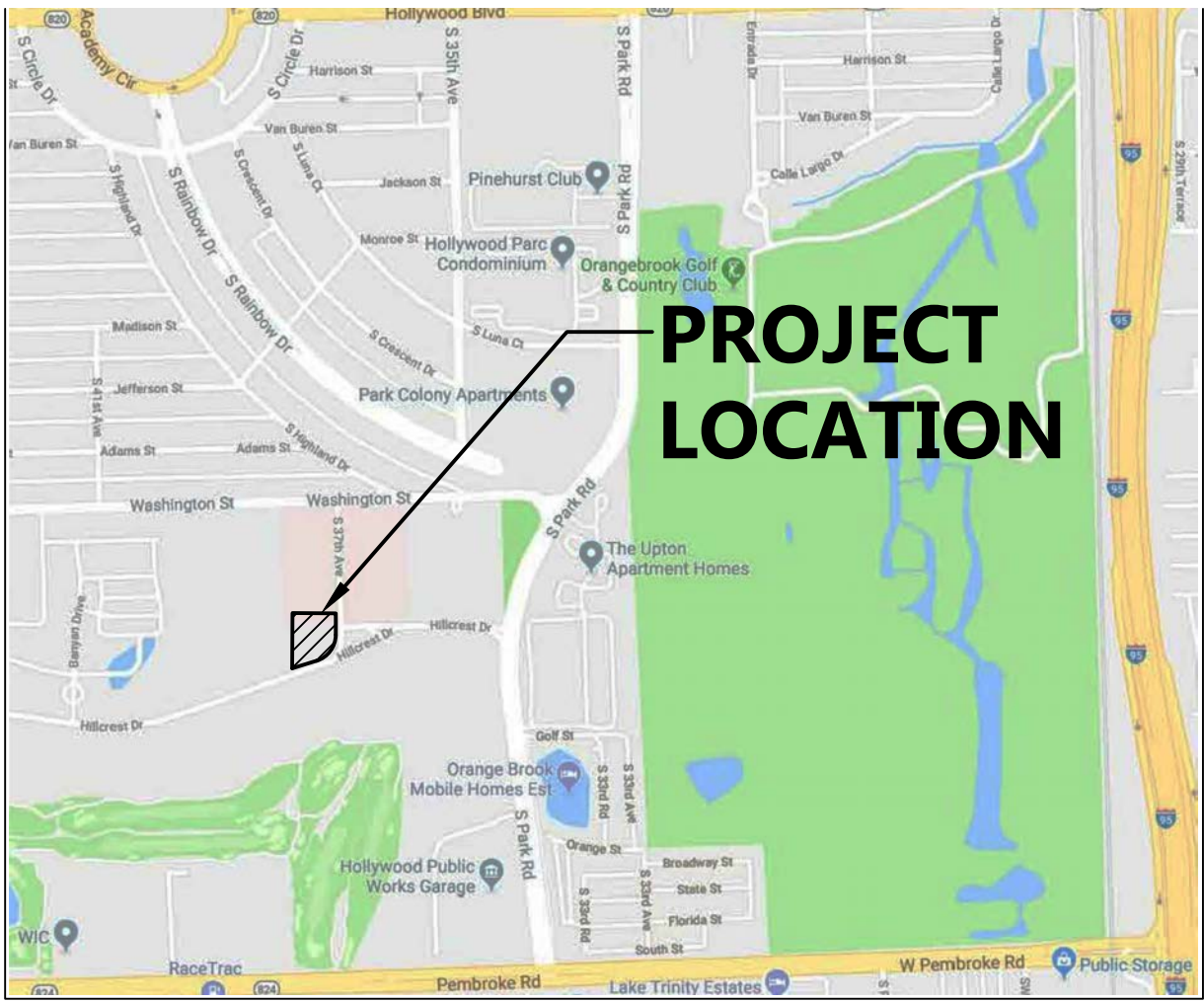
**NOTES:**

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.



**TYPE III SILT FENCE**  
NTS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



**LOCATION MAP**  
NOT TO SCALE

**LEGAL DESCRIPTION:**

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**BMP NOTES:**

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE, TO MEET LEED REQUIREMENTS.
12. PROVIDE SILT FENCE AROUND WORK AREA DURING INSTALLATION OF NEW 8" SANITARY SEWER MAIN.

**LEGEND**

	LANDSCAPE AREA		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE SIDEWALK		PROPOSED PIPING
	PROPOSED ELEVATION		EXISTING PIPING AND APPURTENANCES
	PROPOSED SURFACE FLOW		EXISTING CATCH BASIN
	PROPOSED SIGN (AS INDICATED)		EXISTING ELEVATION
	PROPOSED CLEANOUT		EXISTING CONCRETE LIGHT POLE
			PROPOSED WATER METER
			EXISTING FENCE



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Reg. no. 41831

CA 7325

**STORMWATER POLLUTION PREVENTION PLAN**

SCALE: 1"=20'

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**C-4**







2 of 2 sheets