PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):__

APPLICATION TYPE (CHECK ONE):

GENERAL APPLICATION



▼ Technical Advisory Committee						
☐ City Commission ☐ Planning and Development Board						
Date of Application:						
0704 Liller at Debar Haller and El 20004						
Location Address: 3701 Hillcrest Drive, Hollywood, FL 33021						
Lot(s):Block(s):9 Subdivision: Hillwood Sec Three						
Folio Number(s): 5142-19-27-0072						
Zoning Classification: PUD-R Land Use Classification: COMFLEX						
Existing Property Use: Vacant Lot Sq Ft/Number of Units:						
Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation						
Has this property been presented to the City before? If yes, check all that apply and provide Fil						
Number(s) and Resolution(s): NO						
☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board						
☐ City Commission ☐ Planning and Development						
Explanation of Request:						
Number of units/rooms: - Sq Ft: \(\mathbb{Z}\), 000						
Number of units/rooms: Sq Ft: 18,000 Value of Improvement: \$4,625,000.00 Estimated Date of Completion: August 2019						
Will Project be Phased? () Yes (X)No If Phased, Estimated Completion of Each Phase						
Name of Current Property Owner:Jason L. Tobin						
Address of Property Dwner. This Ben Tobin Dilye Hollywood Et 33071						
Address of Property Owner: 1101 Ben Tobin Drive, Hollywood, FL 33021 Telephone: 954-989-3000 Fax: 954-985-1118 Email Address: jtobin@tobinprop.com						
Telephone: 954-989-3000 Fax: 954-985-1118 Email Address: jtobin@tobinprop.com Name of Consultant/Representative/Tenant (circle one): Mark Saltz/Scott Willis						
Telephone: 954-989-3000 Fax: 954-985-1118 Email Address: jtobin@tobinprop.com Name of Consultant/Representative/Tenant (circle one): Mark Saltz/Scott Willis Address: 3501 Griffin Road, Ft. Lauderdale, FL 33312 Telephone: 954-266-2700						
Telephone: 954-989-3000 Fax: 954-985-1118 Email Address: jtobin@tobinprop.com Name of Consultant/Representative/Tenant (circle one): Mark Saltz/Scott Willis Address: 3501 Griffin Road, Ft. Lauderdale, FL 33312 Telephone: 954-266-2700						
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Telephone: 954-989-3000 Fax: 954-985-1118 Email Address: itobin@tobinprop.com Name of Consultant/Representative/Tenant (circle one): Mark Saltz/Scott Willis Address: 3501 Griffin Road, Ft. Lauderdale, FL 33312 Telephone: 954-266-2700 Fax: Email Address: msaltz@saltzmichelson.com / swillis@saltzmichelson.cor Date of Purchase: 1945 Is there an option to purchase the Property? Yes () No (X) If Yes, Attach Copy of the Contract.						

PLANNING DIVISION



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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: 2/12/18
PRINT NAME: Jason L. Tobin	Date:
Signature of Consultant/Representative:	Date: 2/19/18
PRINT NAME: SCOTT WILLIS	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am aware of the to my property, which is hereby made to be my legal representative before the Committee) relative to all matters concerning this application.	ne nature and effect the request for by me or I am hereby authorizing (Board and/or
CRISTINA DELGADO MY COMMISSION # FF 952444 EXPIRES: March 16, 2020	Jason L. Tobin nt Name
My Commission Expires:(Check One) X_Personally known to me; OR Prod	luced Identification

TOBIN BUILDING

3701 HILLCREST DRIVE HOLLYWOOD, FL 33021



PROJECT TEAM **INDEX OF DRAWINGS** SITE LOCATION MAP

OWNER:

TOBIN PROPERTIES, INC. 1101 HILLCREST DRIVE HOLLYWOOD, FL 33021 TELEPHONE: (954) 989-3000

CIVIL ENGINEER:

HOLLAND ENGINEERING, INC. 3900 HOLLYWOOD BLVD. HOLLYWOOD, FL 33021 TELEPHONE: (954) 367-0371

ARCHITECT:

SALTZ MICHELSON ARCHITECTS 3501 GRIFFIN ROAD FORT LAUDERDALE, FLORIDA 33312 TELEPHONE: (954) 266-2700

LANDSCAPE ARCHITECT:

DAVE BODKER LANDCAPE ARCHITECTURE / PLANNING, INC. 601 N. CONGRESS AVE, SUITE 105-A DELRAY BEACH, FL 33445 TELEPHONE: (561) 276-6311

ARCHITECTURE

SURVEY SITE PLAN GROUND FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN A1.4

COVER SHEET

ROOF PLAN EXTERIOR ELEVATIONS

A2.0 A2.1 **EXTERIOR ELEVATIONS**

<u>CIVIL</u>

PAVING AND DRAINAGE PLAN WATER AND SEWER PLAN PAVEMENT MARKING AND SIGNAGE PLAN STORMWATER POLLUTION PREVENTION PLAN

LANDSCAPE

LANDSCAPE PLAN LANDSCAPE SPECS AND NOTES



SITE ADDRESS: 3701 HILLCREST DRIVE HOLLYWOOD, FL 33021

NORTH

1 SITE LOCATION MAP T1 N.T.S.

SALTZ MICHELSON ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

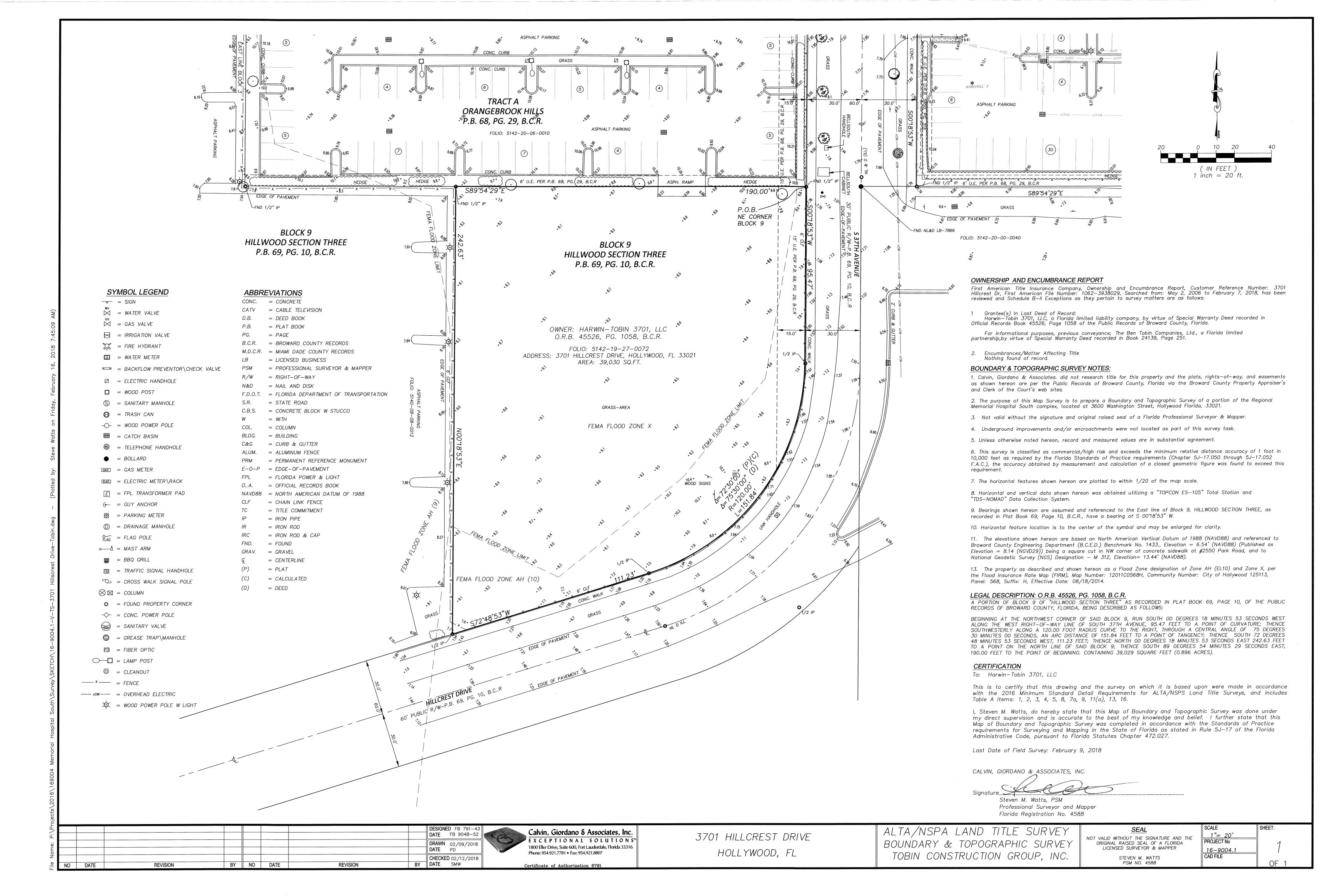
Mark L. Saltz AR007171

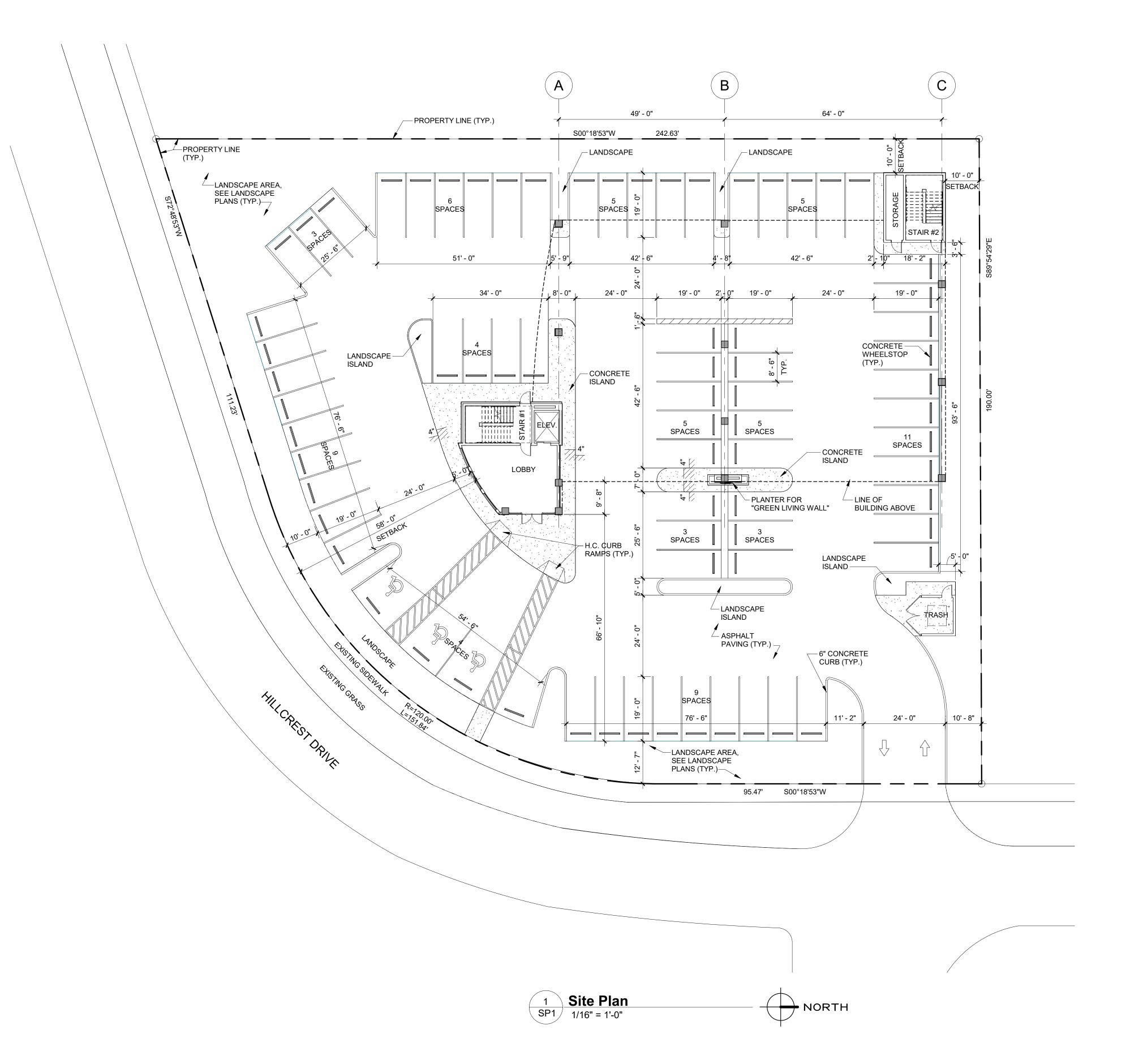
Project No.: 2017-182 Drawn By : ZH

Checked By

Date: 02/20/18

REVISIONS





SITE DATA

LAND USE: COMFLEX

OCCUPANCY: BUSINESS (GROUP B) OFFICES

FLOOR AREA:
1ST FLOOR AREA:
2ND FLOOR AREA:
3RD FLOOR AREA:
8,335 S.F.
TOTAL FLOOR AREA:
18,000 S.F.

BUILDING SETBACKS REQUIRED: NONE

PROPOSED: FRONT (S.E. SIDE)= 58'-0" EAST SIDE = 75'-5" WEST SIDE = 10'-0" REAR (NORTH SIDE) = 10'-0"

BUILDING HEIGHT MAXIMUM ALLOWED: UNLIMITED

PROPOSED:
HIGHEST POINT OF THE BUILDING
(TOP OF TOWER ON ROOF = 74'-4")
BUILDING IS THREE STORIES
50'-0" TO BUILDING ROOF LINE.

18,000 S.F. / 250 S.F. / CARS = 72 SPACES

PROVIDED: 72 SPACES (3 H.C. SPACES)

IMPERVIOUS AREA 29,667 S.F.

(76% OF SITE AREA)

<u>PERVIOUS AREA</u> REQUIRED:

10% MINIMUM PERVIOUS AREA LANDSCAPE AREA PROVIDED: 9,363 S.F. (24% OF SITE AREA) REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

LEGAL DESCRIPTION

HILLWOOD SEC THREE 69-10 B POR BLK 9 DESC AS BEG NE COR BLK 9,S 95.47,SW ALG CUR 151.84,SWLY 111.23,N 242.63,ELY 190 TO POB LESS N 30 FOR RD

GENERAL NOTE

BUILDING WILL BE PROVIDED WITH A BI-DIRECTIONAL AMPLIFIER (BDA).

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Mark L. Saltz AR007171

Project No.: 2017-182

Drawn By:

ZH

Checked By: SW

REVISIONS

Date: 02/20/18



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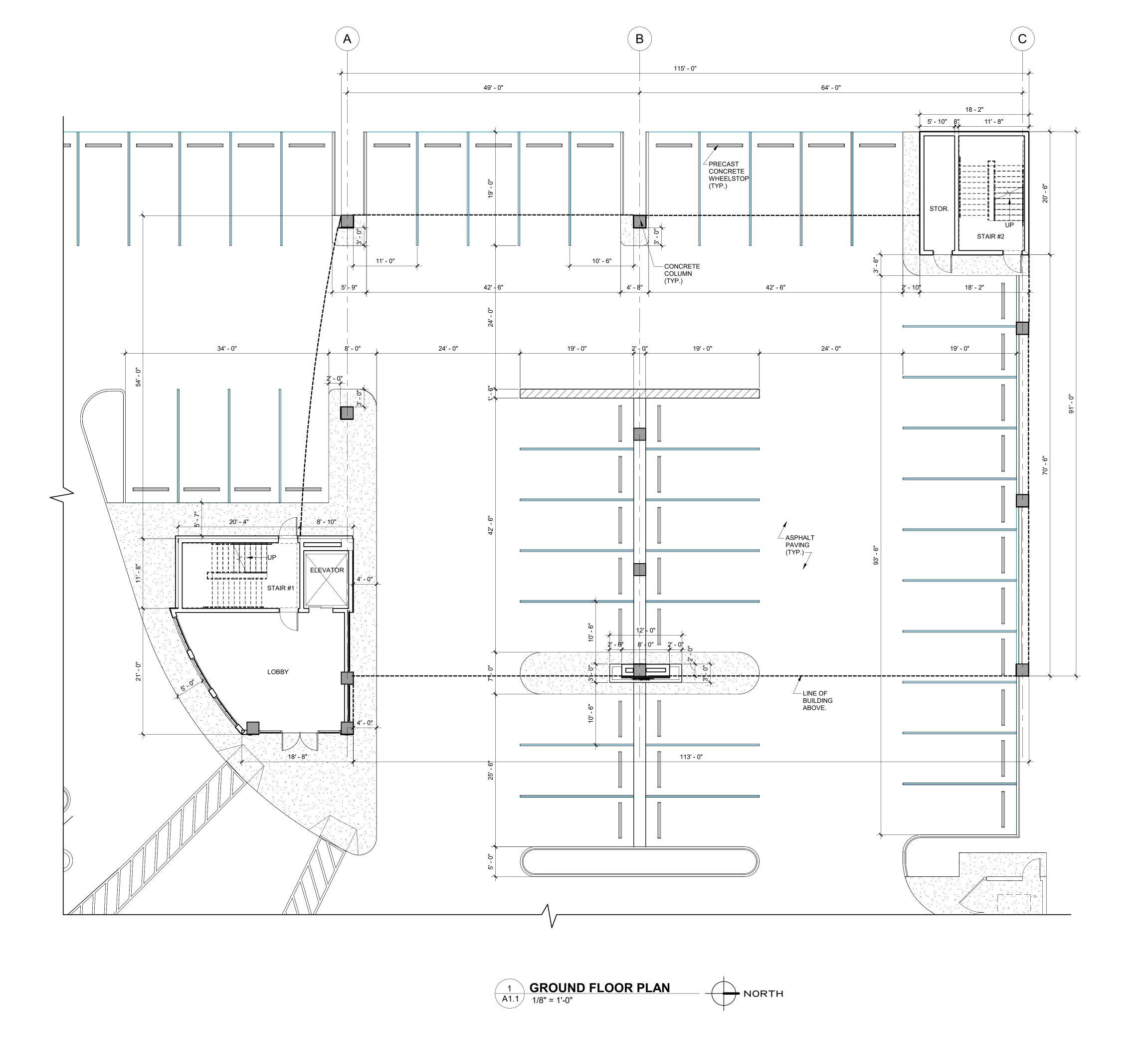
Project No. : 2017-182 Drawn By : ZH

Checked By: SW Date:

02/20/18

REVISIONS

A1.1





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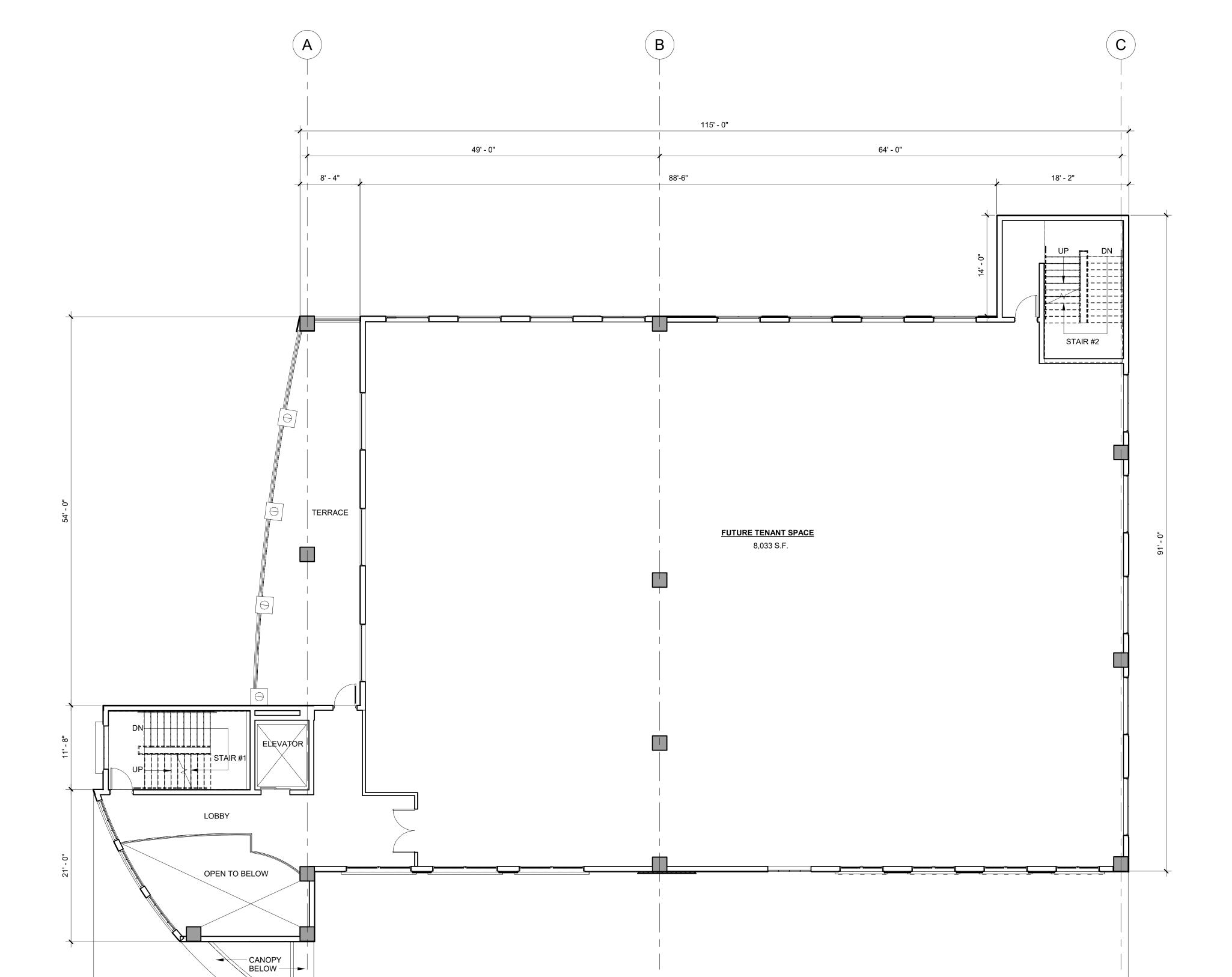
AA-0002897

Mark L. Saltz AR007171

Project No.: 2017-182

REVISIONS

Drawn By : ZH Checked By: Date: 02/20/18



113' - 0"

1 SECOND FLOOR PLAN 1/8" = 1'-0"

30' - 6 1/2"



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Checked By:

ZH

Date: 02/20/18

REVISIONS

1 THIRD FLOOR PLAN
A1.3 1/8" = 1'-0"
NORTH

(B)

EXEC. ASSIST. 12'-0"x12'-0"

RESTROOM STORAGE

RESTROOM ELEC.

EXEC. ASSIST. 12'-0"x12'-0"

FOUNDATION OFFICE

14'-6"x10'-0"

49' - 0"

SUITE #1 16'-0"x20'-0"

CONFERENCE ROOM 15'-0"x23'-0"

> SUITE #2 16'-0"x20'-0"

GUESTS 14'-6"x10'-0" MAIL / PRINTERS

14'-6"x7'-0"

CONFERENCE ROOM

14'-6"x12'-0"

40' - 3"

TERRACE

ELEVATOR

STAIR #1

21' - 4"

RECEPTION 4 PEOPLE 115' - 0"

BREAK ROOM 14'-1"x11'-6"

WOMEN'S REST-ROOM 15'-0"x10'-0"

MEN'S REST-ROOM 15'-6"x11'-6"

113' - 0"

CORRIDOR

64' - 0"

HEAD ACCT. 12'-0"x12'-0"

OPEN OFFICE

PRINT / FILES

ASSISTANT 14'-0"x10'-0"

MEETING ROOM

12'-0"x12'-0"

COUNTER

ASSISTANT 14'-0"x10'-0"

WINDOWS

OPEN OFFICE

> OPEN OFFICE

12' - 5"

STAIR #2

CFO

12'-0"x17'-0"

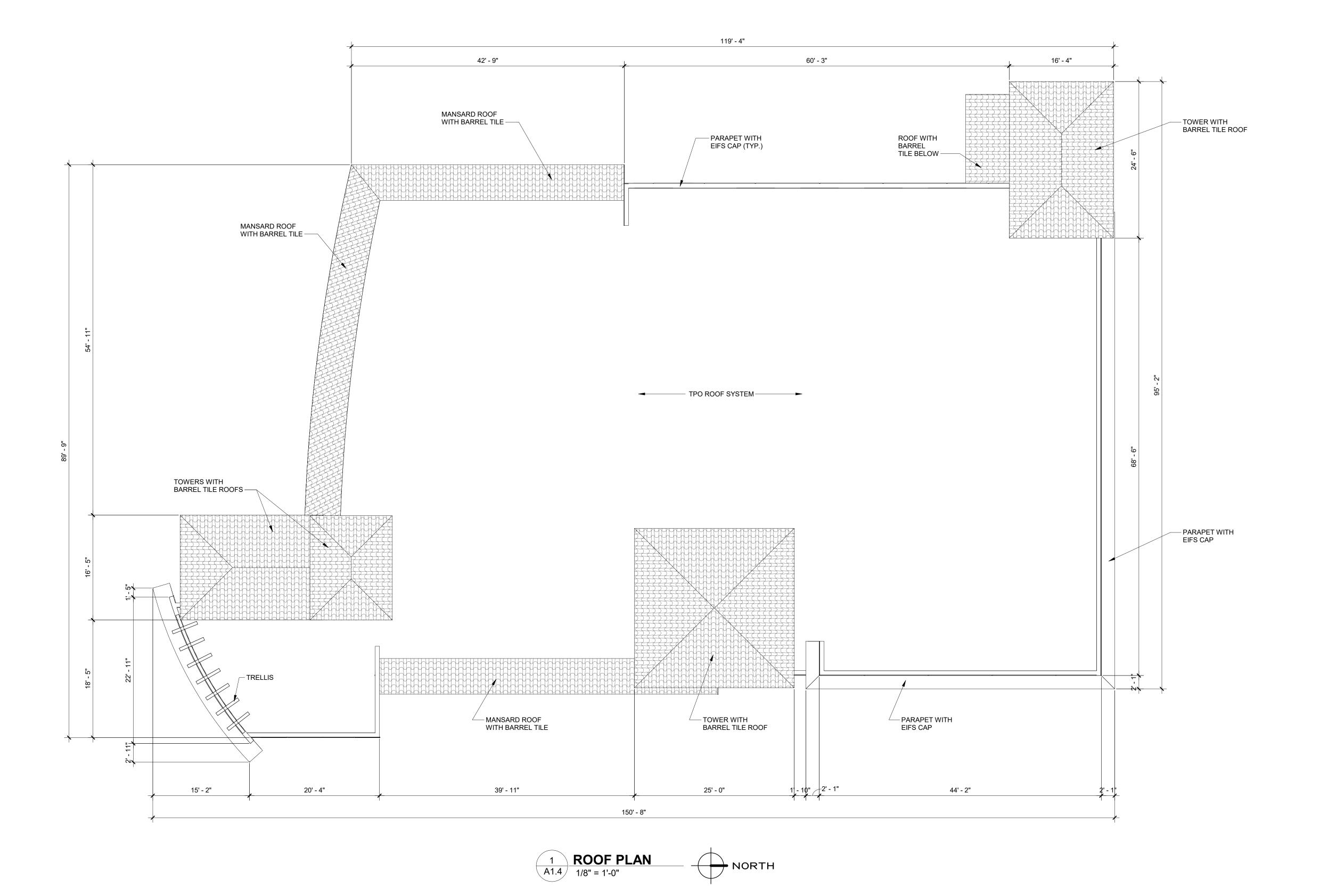
CONTROLLER 11'-6"x12'-0"

V.P. 16'-5"x12'-0"

P.M. 12'-0"x12'-0"

V.P. 16'-0"x12'-0"

62' - 5"



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AA-0002897

Mark L. Saltz AR007171

Project No.: 2017-182 Drawn By:

Checked By: SWDate:

ZH

02/20/18

REVISIONS

Roof 50' - 0"

- 3/4" SCORE LINES (TYP.)

Level 3 34' - 0"

- EIFS FINISH (TYP.)

- DECORATIVE RAILINGS (TYP.)

Level 2 18' - 0"

- STAIR ENCLOSURE

BEYOND



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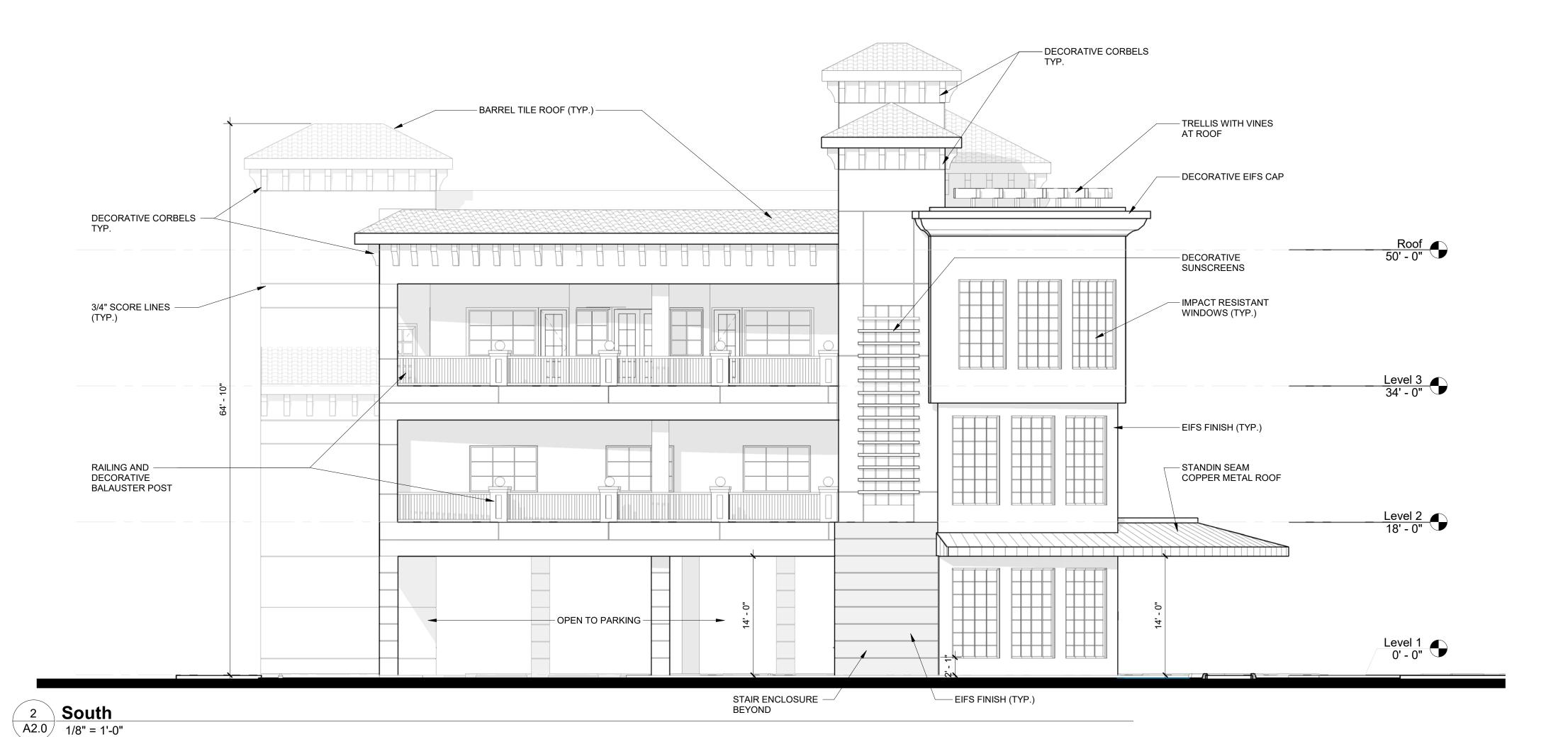
Checked By

Date:

02/20/18

REVISIONS

SW



- DECORATIVE EIFS CAP

_ PORCELAIN TILE (TYP.)

- IMPACT RESISTANT GLASS CURTAIN WALL

PLANTER WITH STONE VENEER

- OPEN TO PARKING -

- BARREL TILE ROOF (TYP.) -

- IMPACT RESISTANT STOREFRONT DOORS

AND WINDOWS

DECORATIVE WALL — SCONCE (TYP.)

DECORATIVE CORBELS (TYP.) -

PORCELAIN TILE

- OPEN TO PARKING -

(TYP.)

"GREEN LIVING WALL"

WITH VINES

TRELLIS WITH VINES -

AREA FOR SIGNAGE -

IMPACT RESISTANT WINDOWS (TYP.)

STANDING SEAM COPPER METAL ROOF

1 East 1/8" = 1'-0"

DECORATIVE EIFS CAP

SALTZ MICHELSON ARCHITECTS

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ZH

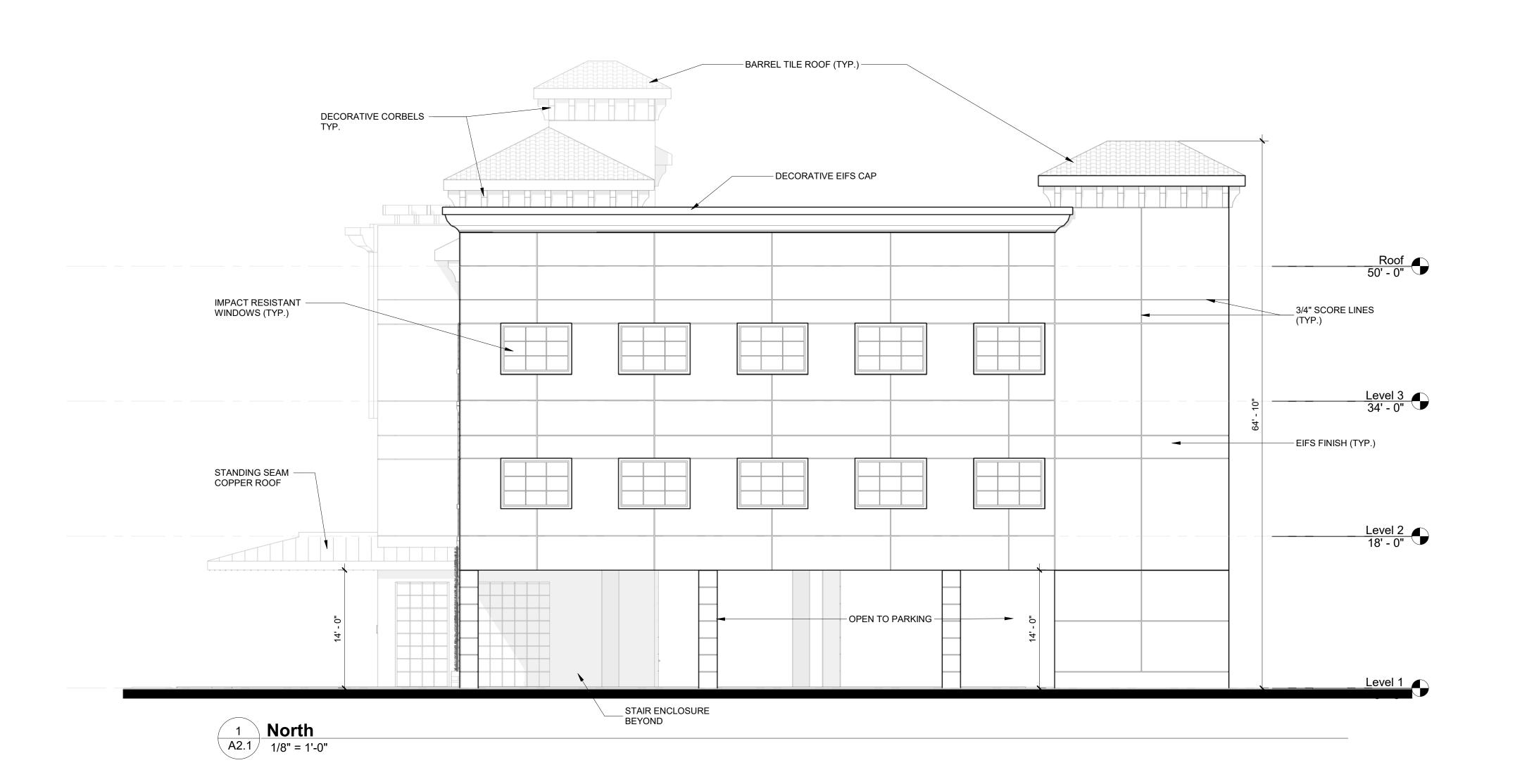
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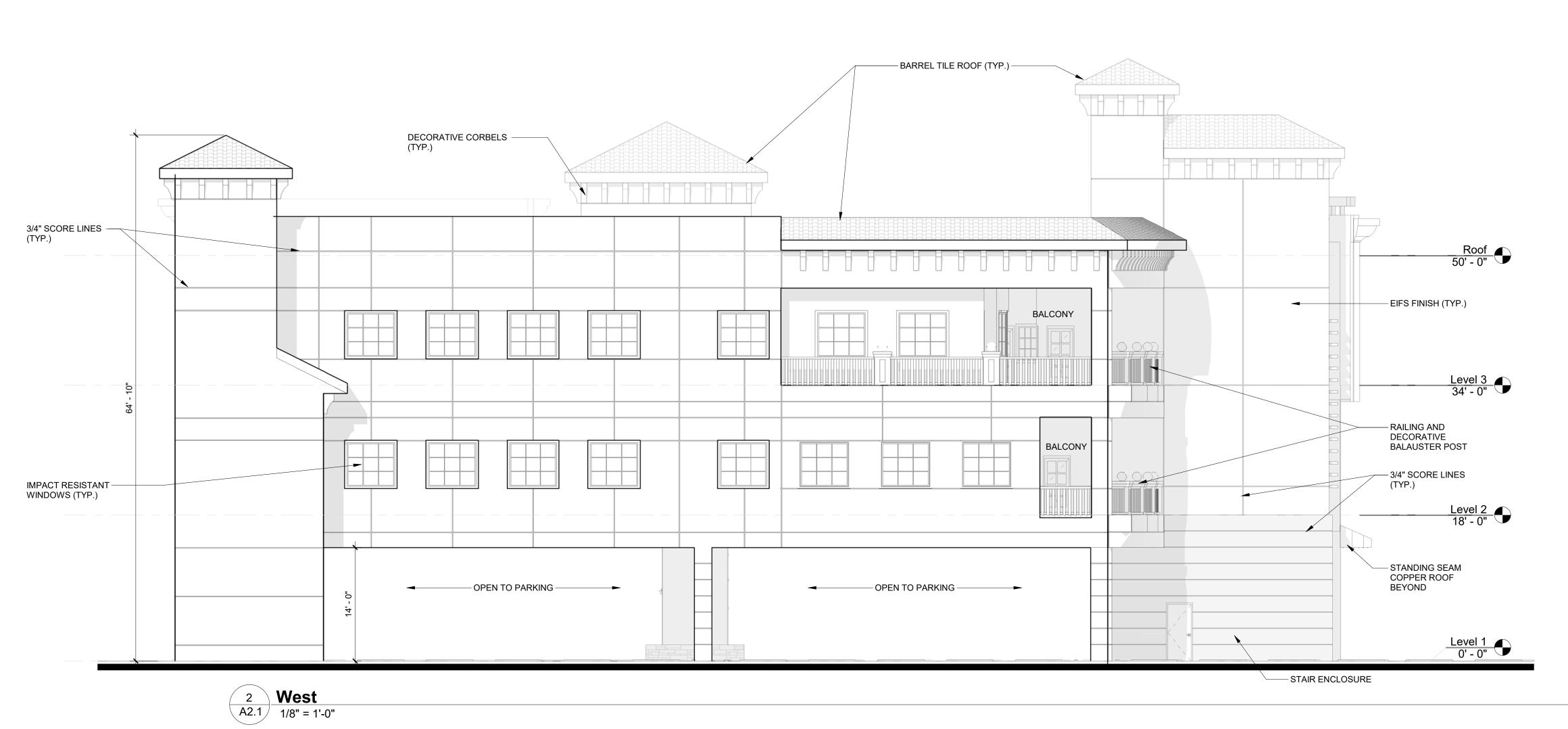
REVISIONS

02/20/18

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A2.1





SALTZ MICHELSON ARCHITECTS

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AA-0002897

Mark L. Saltz AR007171

Project No.: 2017-182

Checked By SW

Drawn By ZH

Date: 02/20/18

REVISIONS

1 East 1/8" = 1'-0"



LOCATION MAP NOT TO SCALE

LEGAL DESCRIPTION:

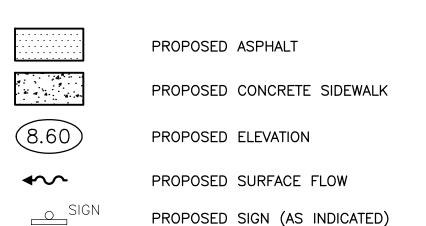
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

- 1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
- 2. 2. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
- 3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
- 4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
- 5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
- 6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
- 7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
- 8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
- 9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
- 10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
- 11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
- 12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
- 13. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

LEGEND



PROPOSED CLEANOUT

EXISTING PIPING AND APPURTENANCES EXISTING CATCH BASIN EXISTING ELEVATION LP O D EXISTING CONCRETE LIGHT POLE \boxtimes^{WM} — X —

TOBIN 3701 HILL HOLLYW(

SALTZ MICHELSON ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

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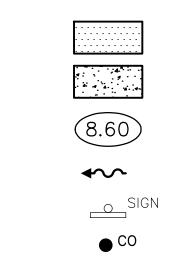
Mark L. Saltz AR007171

Project No. : 2017-182 Drawn By AA

Checked By SCH Date:

02/20/18

REVISIONS



SCALE: 1"=20'

-VVV-____ ____ Ш СВ + 7.10

> PROPOSED WATER METER EXISTING FENCE

PROPOSED PIPING

EXISTING RPZ BACKFLOW PREVENTER

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

30.95

PROP. ASPHALT

PROP.

WHEELSTOP

1½" TYPE S-III ASPHALT

TACK-COAT AS REQUIRED

SECTION B-B

N.T.S.

(Ž LIFTS) PAVEMENT

12" STABILIZED SUB-BASE, W/A MIN.→

LBR-40, COMPACTED TO 98% OF

BY AASHTO T-180

THE MAX. DENSITY AS DETERMINED

45.00'

PROP. PARKING/

DRIVEWAY'



12" STABILIZED SUB-BASE, W/A MIN.

LBR-40, COMPACTED TO 98% OF THE MAX. DENSITY AS DETERMINED

BY AASHTO T-180

ELEVATIONS ARE BASED UPON N.A.V.D. 1988

.PROP. ASPHALT

RIM=7.80 INV=4.00

PROP.

EXIST.

PROPERTY LINE----

PROP. PARKING/

DRIVEWAY'

— 1½" TYPE S—III ASPHALT—

TACK-COAT AS REQUIRED

~~

(2 LIFTS) PAVEMENT

WHEELSTOP

SEE LANDSCAPE PLANS (TYP.)

12" WATER MAIN

31.05

PROP. ASPHALT

WHEELSTOP

-8" LIMEROCK BASE W/A MIN.

BY AASHTO T-180

LBR-100, COMPACTED TO 98% OF

THE MAX. DENSITY AS DETERMINED

S00°18'53"W

PROPOSED OFFICE BUILDING

F.F.E.=9.50' NAVD

PROPERTY LINE-

11.77

LANDSCAPE

-PROP. TYPE

"D" CURB

PROP. C.B. #3-

-PROP. LANDSCAPE

SEE LANDSCAPE

PLANS (TYP.)

12" WAŢER MAIN

HILLCREST BUBLIC R/W-P.B. 6

69/

DRIVE 10,

 ω

—EDĠE OF− PAVEMENT

EXIST.-FIRE HYDRANT

HOLLAND ENGINEERING INC.

EXIST.

BE REMOVED

13.54

PROP. ASPHALT

√

HILLCREST DRIVE

MATCH EXIST.

ASPHALT

EXIST.

CONC

-8" LIMEROCK BASE W/A MIN.

BY AASHTO T-180

SECTION A-A

N.T.S.

LBR-100, COMPACTED TO 98% OF

THE MAX. DENSITY AS DETERMINED

ASPHALT

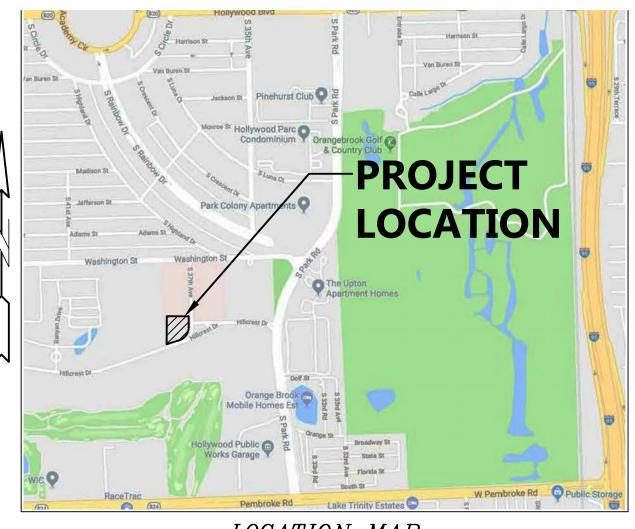
3900 HOLLYWOOD BLVD, STE. 303 - HOLLYWOOD - FL - 33021 (954)367-0371 . (954)367-0372 Fax

SUSAN C. HOLLAND, PE CA 7325 Reg. no. 41831

PAVING & DRAINAGE PLAN

NOTES:

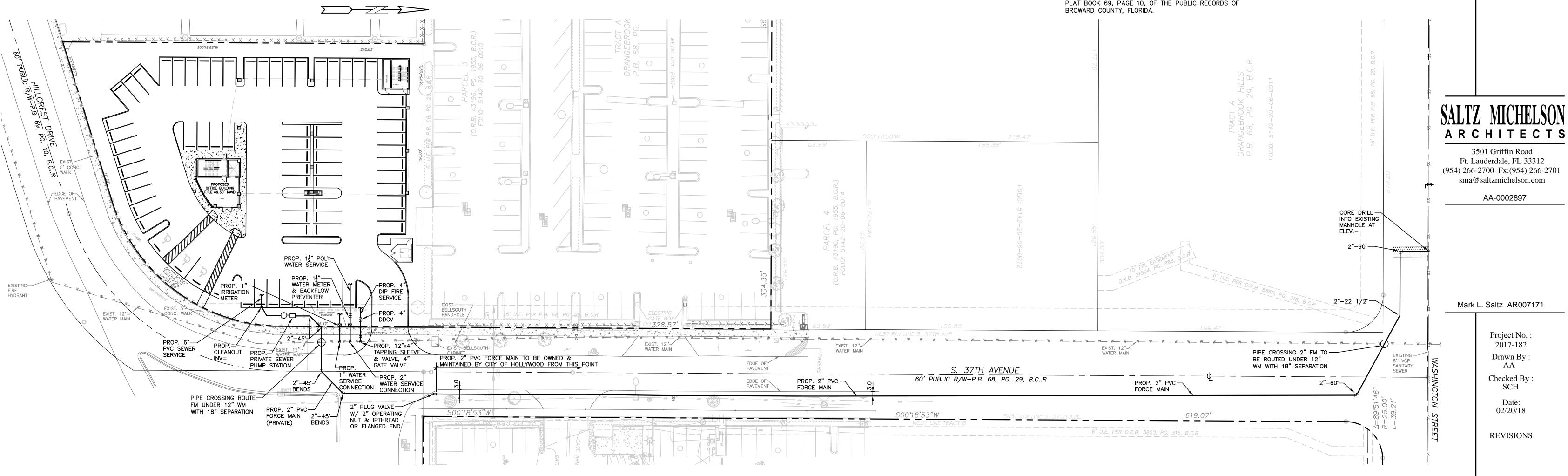
- 1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
- 2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER LATERAL AND CONFIRM DEPTH OF PIPE.
- 3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
- 4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS



LOCATION MAP NOT TO SCALE

LEGAL DESCRIPTION:

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF



ELEVATIONS ARE BASED UPON N.A.V.D. 1988

ARCHITECTS 3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.: 2017-182 Drawn By AA

Checked By SCH Date: 02/20/18

REVISIONS

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WATER AND SEWER DEMAND

18,000 SF OFFICE BUILDING X 0.20 GPD/SF = 3,600 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

HOLLAND ENGINEERING INC. civil engineers

3900 HOLLYWOOD BLVD, STE. 303 - HOLLYWOOD - FL - 33021 (954)367-0371 . (954)367-0372 Fax

WATER & SEWER PLAN

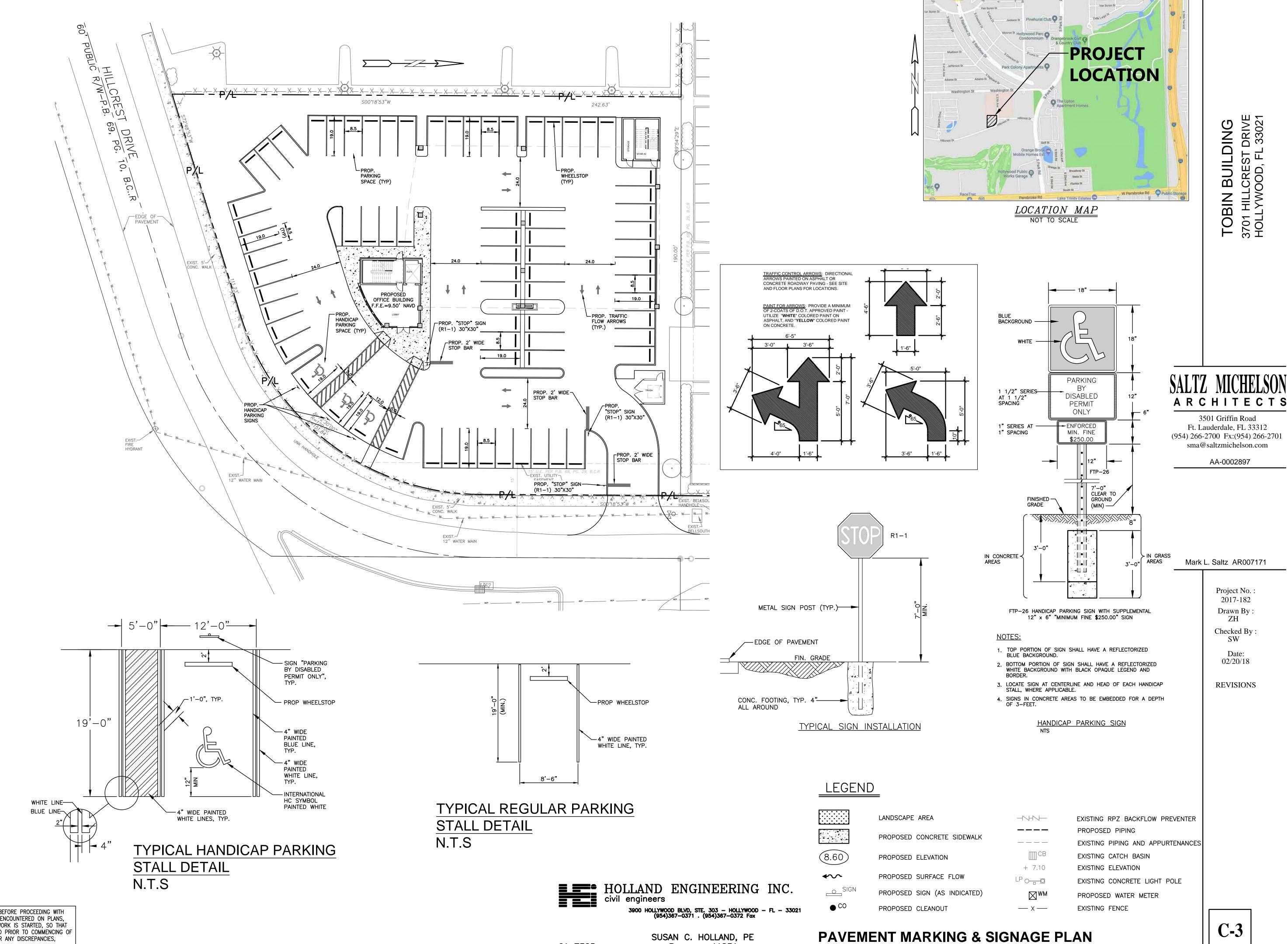
SCALE: 1"=30'

LEGEND

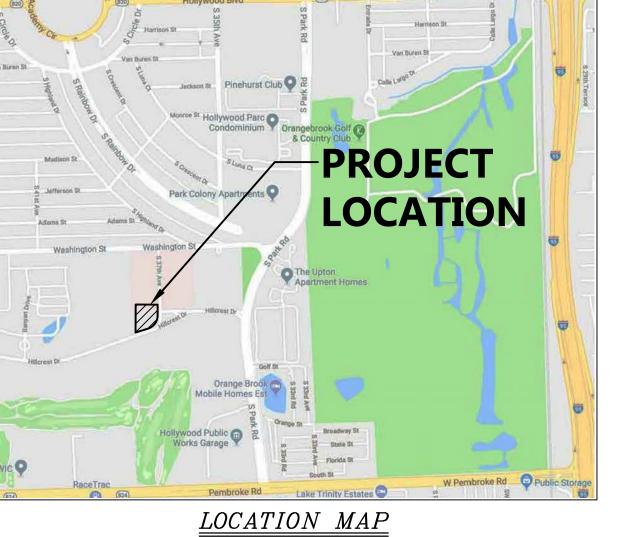
LANDSCAPE AREA -VVV-EXISTING RPZ BACKFLOW PREVENTER ____ PROPOSED PIPING PROPOSED CONCRETE SIDEWALK _____ EXISTING PIPING AND APPURTENANCES Ш СВ (8.60) EXISTING CATCH BASIN PROPOSED ELEVATION + 7.10 EXISTING ELEVATION **◆** PROPOSED SURFACE FLOW EXISTING CONCRETE LIGHT POLE

PROPOSED SIGN (AS INDICATED) \boxtimes^{WM} PROPOSED WATER METER EXISTING FENCE PROPOSED CLEANOUT — X —

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



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NOT TO SCALE

LEGAL DESCRIPTION: A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF

BMP NOTES:

BROWARD COUNTY, FLORIDA.

-BEFORE CONSTRUCTION STARTUP.

BEFORE CONSTRUCTION STARTUP, CONTRACTOR TO INSTALL AND MAINTAIN A SILT FENCE ALONG

PERIMETER OF THE PROPERTY,

SEE DETAIL THIS SHEET

ROCK — CONSTRUCTION

ENTRANCE BEFORE CONSTRUCTION STARTUP,-

CONTRACTOR TO INSTALL A LIMEROCK

CONSTRUCTION ACCESS/EGRESS GATE

6' MAX.

C/L POST

TYPE III SILT FENCE

FILTER FABRIC (IN

CONFORMANCE WITH

SEC. 985 FDOT SPEC.)

GRADE

12" WATER MAIN

POST OPTIONS: WOOD 2 1/2" MIN. Ø

WOOD 2" X 4" OAK 1

1/2" X 1 1/2" STEEL

1.33 LBS/FT. MIN.—

CONTRACTOR TO INSTALL AND MAINTAIN A SILT FENCE ALONG PERIMETER OF THE PROPERTY, SEE DETAIL THIS SHEET

OFFICE BUILDING F.F.E.=9.50' NAVD

BEFORE CONSTRUCTION STARTUP, CONTRACTOR TO INSTALL AND
MAINTAIN A SILT FENCE ALONG

> CONTRACTOR TO LIFT GRATE OFF CATCH BASINS AND INSTALL FILTER FABRIC ACROSS INLET OPENING. REPLACE GRATE TO HOLD FABRIC

SECURELY IN PLACE

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199,

FDOT SECTION 985.

2. CONTRACTOR TO REMOVE

FILTER FABRIC FROM

AND/OR SEALCOATING.

CATCH BASIN JUST

PRIOR TO PAVING

280 SPECIFICATIONS AND

PERIMETER OF THE PROPERTY,

SEE DETAIL THIS SHEET

12" WATER MAIN

POLLUTION PREVENTION

FOR CATCH BASIN

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF

THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES,

HILLCREST

DRIVE 10, 69, PG. 10,

__EDGE_OF__ PAVEMENT

HYDRANT

CATCH BASIN -STRUCTURE

ERRORS OR OMISSIONS.

- 1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER PROPERTIES.
- 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
- 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
- 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES. 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP
- 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. TO MEET LEED REQUIREMENTS.
- 12. PROVIDE SILT FENCE AROUND WORK AREA DURING INSTALLATION OF NEW 8" SANITARY SEWER MAIN.

ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.: 2017-182 Drawn By

ZH

Checked By Date:

REVISIONS

02/20/18

LEGEND

REQUIREMENTS.

LANDSCAPE AREA -VVV-EXISTING RPZ BACKFLOW PREVENTER PROPOSED PIPING ____ PROPOSED CONCRETE SIDEWALK EXISTING PIPING AND APPURTENANCES ----(8.60)EXISTING CATCH BASIN PROPOSED ELEVATION + 7.10 EXISTING ELEVATION *****~~ PROPOSED SURFACE FLOW LP O D EXISTING CONCRETE LIGHT POLE SIGN PROPOSED SIGN (AS INDICATED) \boxtimes^{WM} PROPOSED WATER METER PROPOSED CLEANOUT EXISTING FENCE — X —



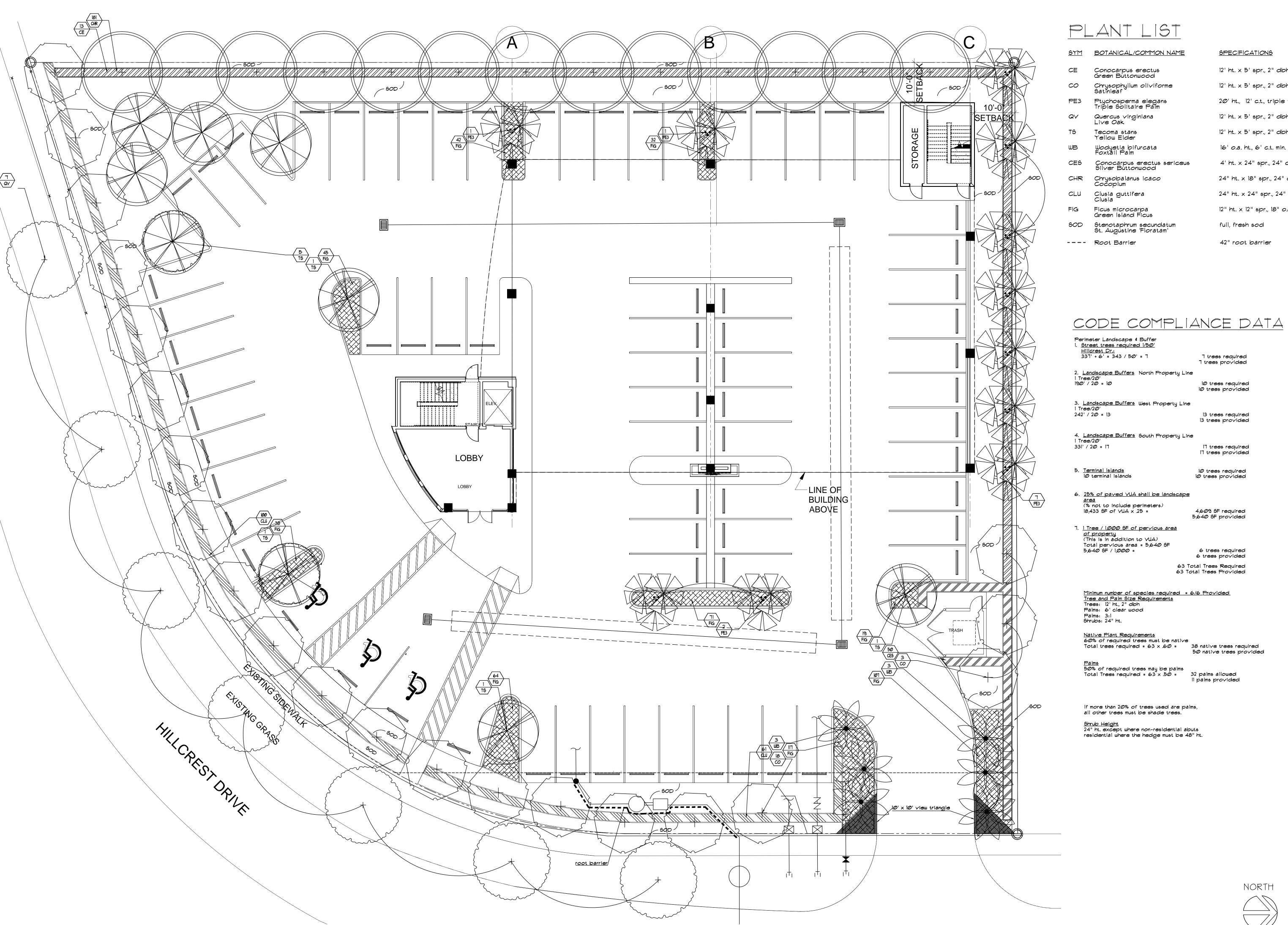
Reg. no. 41831

3900 HOLLYWOOD BLVD, STE. 303 - HOLLYWOOD - FL - 33021 (954)367-0371 . (954)367-0372 Fax

STORMWATER POLLUTION PREVENTION PLAN

SUSAN C. HOLLAND, PE

CA 7325



SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIV
CE	Conocarpus erectus Green Buttonwood	12' ht. x 5' spr., 2" dbh	13	*
CO	Chrysophyllum oliviforme Satinleaf	12' ht. x 5' spr., 2" dbh	21	*
PE3	Ptychosperma elegans Triple Solitaire Palm	20' ht., 12' c.t., triple trunk	11	
QV	Quercus virginiana Live Oak	12' ht. x 5' spr., 2" dbh	٦	*
TS	Tecoma stans Yellow Elder	12' ht. x 5' spr., 2" dbh	9	*
WB	Wodyetia bifurcata Foxtail Palm	16' o.a. ht., 6' c.t. min.	6	
CES	Conocarpus erectus sericeus Silver Buttonwood	4' ht. × 24" spr., 24" o.c.	50	*
CHR	Chrysobalanus icaco Cocopium	24" ht. x 18" spr., 24" o.c.	181	*
CLU	Clusia guttifera Clusia	24" ht. x 24" spr., 24" o.c.	161	
FIG	Ficus microcarpa Green Island Ficus	12" ht. x 12" spr., 18" o.c.	535	
SOD	Stenotaphrum secundatum St. Augustine 'Floratam'	full, fresh sod	as re	eq'd
	Root Barrier	42" root barrier	as s	hown

Tobin Building

dave bodker landscape architecture/planning inc.

601 n. congress ave.. suite 105-a delray beach. florida 33445 561-276-6311

sheet title:

#LAOO00999

planting plan

project number:

date: 02/20/2018 scale: 1* = 10' drawn by: revisions:

sheet:

- A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and Scope of Work:
- A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident
- B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, grading ertilizing, mulching, staking and guying where required watering, pruning where required, sod installation, weeding cleanup, maintenance and guarantee.
- C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modification which might be necessary
- D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive separate, additional compensation for this.
- E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The contractor's unit prices shall be the basis for said paument The final amount of payment may or may not be the total sum of the contract depending on the number of units installed.
- F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance
- G. The Landscape Contractor will coordinate his work with all other trades at the job site.
- (2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying palms Architect may direct the Landscape Contractor to untie Palm fronds to accommodate an owners "grand opening" The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an
- (3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.
- (4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.

additional cost to the owner.

- i. Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants".
- J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise
- K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.

A. Sod shall be solid sod and shall be standard quality grade.

Note: Quality grade shall be based on the standards of sod quality grades (premium, standard or commercial) as established by the Turf grass Producers Association of Florida inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch, up to one half inch allowable (uncompressed.

the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The soc shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted.

(1) All plant material to be removed shall be removed

(1) All existing plant material to be relocated shall be

determined by the Landscape Architect prior to

(2) Rootball: Requirements for the measurement of minimum

requirements as set forth in the latest edition of

the Florida Department of Agriculture's "Grades and

MIN. BALL DIA.

increase in

(3) Root pruning shall be accomplished by digging a trench

completely around the plant about 18 inches deep. All

(4) A mixture of good organic fertilizer and planting soil

exposed roots shall be cut off smoothly.

(5) Plant material which is in soil of a loose texture.

which does not readily adhere to the root system,

especially in the case of large plants or trees, shall

have the rootball wrapped in burlap and then wire, if

relocation. The wire shall be looped and tensioned

until the burlapped ball is substantially packaged by

to prevent disturbance of the loose soil around the

the tightened wire netting formed by the hog wire, so as

directed by the Landscape Architect. For wire, hog wire

shall be used and it shall be placed around the rootba

shall be used to refill the trench.

roots during handling.

proportion

MIN. BALL DEPTH

75% of dia.

65% of dia.

60% of dia.

60% of dia.

size diameter.

then decrease in

proportion for larger

up to 48",

60% of dia.

Standards for Nursery Plants, Part 1 and Part 2", as

rootball diameter and depth shall comply with

root pruned a minimum of 90 days or for a period as

as directed by the Landscape Architect.

J. Existing Plant Material to be Relocated

completely, including the rootball, from the job or

as directed by the Landscape Architect. The remaining

hole shall be filled with suitable material or planting so

I. Removal of Plant Material:

CALIPER

1 - 15"

1.5 - 1.75"

1.75 - 2"

25 - 35"

3.5 - 4"

4 - 45"

5 - 55"

5.5" or more

- A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site pefore planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architecture retains the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory of defective material at any time during the progress of work The Landscape Contractor shall remove rejected trees or shrubs within 7 days from the project site.
- B. Responsibility for Assuring Quality Work:
- (1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation coordination with other contracts or service in the project area and coordination between the nursery and
- (2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material on the project.
- (3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape

C. Grade Standards:

- (1) Plant material shall be Florida #1 or better as set Agriculture's Grades and Standards for Nursery Plants.
- (2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportion plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. grades to meet certain specification requirements will be
- (3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, burns disfiguring roots, sun-scald injuries, abrasion of the bark, plant diseases, insect objectionable disfigurements.

A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50 sand , and 50% muck) typical of the locality. The soil mus be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose

- A. Potable, from municipal water supplies or other sources which are approved by a public health department. Mulch:
- (1) "Floramulch" or other approved recycled mulch (approval by Landscape Architect or other governing agency)
- A. New and existing Trees and Palms: Fertilize with 8-2-12 palm fertilizer with micronutrients per manufacturer's recommendations.
- B. New and existing Shrubs, and Groundcover Fertilize with 8-2-12 palm fertilizer with micronutrients at a rate of 1/2 lb. per 1000 SF of area.
- C. Annuals: Fertilize with Osmocote Sierra blend 14-14-14 or approved equal
- D. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags container or boxes shall be fully labeled with the manufacturer's
- E. All fertilizer shall comply with the State of Florida

A. Disposal of Trash: All debris and other objectionable

B. Excess Fill: All excess fill which results from the

Excess fill shall be disposed of as directed.

oe thoroughly swept.

to person or property.

Completion and Final Acceptance:

on this final inspection.

Protection:

material created through planting operation and landscape

construction shall be removed completely on a daily basis

paved areas including curbs and sidewalks which have been

strewn with soil, sod waste, fertilizer or other debris shall

installation of the project shall remain the property of the

All excess fill which the Owner does not want shall be

A. Responsibility for Protection and Restoration of Property:

B. Protection Against Mechanical Damage: The Contractor's

she shall repair, restore and replace all property which

A. Upon written notice from the Contractor of the presumptive

completion as defined below, of the entire project, the

will make an inspection within 48 hours after the written

contract Plans and Specifications, such inspection shall

constitute the final inspection. The Contractor shall be

B. If, however, the inspection mentioned in paragraph A, above,

necessary instructions or "punch lists". Upon correction

of work, another inspection will be made which shall

discloses any work, in whole or in part, as being

Landscape Architect, along with other appropriate parties,

notice. If all construction provided for and compensated by

the contract is found to be completed in accordance with the

notified in writing of final acceptance as of the date of the

unsatisfactory, final acceptance shall not be given and the

constitute the final inspection, provided the work has been

satisfactorily completed. In such event, the Owner or their

representative shall make the final acceptance and notify the

Contractor in writing of this final acceptance as of the sate

Owner and/or Landscape Architect will give the Contractor the

becomes damaged as a result of any negligence of the

Contractor or his or her employees in complying with these

The Contractor shall be responsible for all damage or injury

responsibility for protection against mechanical damage shall

include providing protection from vehicles and providing

warning signs and barricades as might be necessary and he or

Owner and remain on the project at the option of the Owner

removed and disposed of from the project at no additional

cost. No excess fill shall be removed or disposed of from

the site until approved by the Owner or Landscape Architect.

from the job or as directed by the Landscape Architect. Any

Delivery, Handling and Storage:

- A. Delivery and Handling: (1) Movement of nursery stock shall comply with all Federal, State, and local laws, regulations, ordinances, codes, etc.
- (2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and protect while stored at the site.
- (3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be covered to prevent wind damage during transit.

(1) Deliver sod on pallets with root system protected from

exposure to wind and sun. Deliver sod in quantities

capable of being installed within 48 hours of cutting.

A. Written request for approval to substitute a plant species or a plants designation (B4B, WB4B, CG etc.), type, grade, quality, size, quantity, etc. due to the non-availability of the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide

written proof that the specified plant material is

material is delivered and installed on the project.

- B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the
- C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project
- D. If requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plan material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different ite showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested
- E. if requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

- F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered and installed on the project.
- sample and analysis of the mulch for approval by the Landscape H. If requested by the Owner or Landscape Architect, submit a Architect before the material is delivered and installed on
- . Submit three prints of shop drawing for all staking and guying methods to be used if the ones indicated in these Specifications and on the Plans are not to be implemented staking and guying methods before they are implemented in the The Landscape Architect will approve all shop drawings of
- L. Submit and Certificate of inspection of plant material as may be required by, State , local or Federal Authorities.
- A. When the specifies plant designation (B\$B, WB\$B, CG etc.), type, grade, quality, size, quantity, etc. of a material is not available, the Contractor shall submit a written request to the Landscape Architect, for a substitution along with written, documented proof that the plant designation (B45 JB4B, CG, etc.), type grade, quality, size, quantity, etc. of material is not available. The Landscape Architec shall approve all substitutions before they are delivered and installed. Do not deliver and install any material, which is anticipated to be a substitute, before it has been submitte in writing and approved as a substitute by the Landscape Architect. Also, ant changes, if any, to the contract amoun because of an approved substitute, shall be established in writing between the Owner and the Contractor before the material substitute is delivered and installed on the project.

Staking and Guying:

- A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or requirement of staking or guying.
- B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in.

EXECUTION

- A. Utilities (Above Ground and Underground): (1) The work area may have existing utilities, such as, but
 - not limited to, irrigation, phone, electrical and storm sewer. The location of some of these existing utilities have been indicated on the Plans.

However, no guarantee is implied that the Plans are accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that

thorough search of the site for utilities, structures,

- (2) The Contractor shall take immediate steps to repai replace, or restore all services to any utilities o other facilities which are disrupted due to his or her additional outside services which may be necessary to prosecute repairs on a continuous "around the close basis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he of she shall be fully responsible for any and all claims
- interfere with the work, the Landscape Architect shall be consulted immediately in order for a decision to be made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated.
- disconnect any type of utility whatsoever without first obtaining the written permission of the Landscape Architect. Requests for disconnection must be in writing and received by the Landscape Architect at least 72 hours prior to the time of the requested interruption.

- A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas with relation to walks, paving, drain structures and other site conditions, unless indicated otherwise on the plans.

Preparation

locations prior to plant hole excavation, based on information from the plans.

(5) Edge and mow sod once a week.

- (7) Remove all litter once a week

- is given.
- is a partial list of certain responsibilities. It is not a complete list, but only a summary of certain responsibilitie A. The Contractor is responsible for the entire project prio
- to written acceptance. B. The Contractor is responsible for safety on and off the job

- (2) Plant maintenance shall include watering, mowing, edging, pruning, weeding, cultivating, repair of erosion, mulching, tightening and repairing of guys, stakes, braces, etc., replacement of sick or dead plants, replacement of sod areas which do not become established, resetting plants to proper grades or upright position, maintenance of the watering saucer
- (3) Immediately after planting, each plant shall be watered and the watering period shall continue until final acceptance. Refer to the heading "Watering", which is in Part 3 of these Specifications, for additional
- the expense of the Contractor.

C. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or mplied in the Plans and Specifications including any and all

D. Final acceptance shall not be given until all construction provided for and contemplated by the contract is inspected and found to be completed in accordance with contract Plans

work which were found unsatisfactory or required completion or

"punch lists" which may be issued outlining certain items of

- writing by the Owner or their representative.

- C. Maintenance Prior to Final Acceptance:
- litter removal, and all other care needed for proper growth of the plants.
- (4) All plant material shall be weeded once a week in the event that weeds or other undesirable vegetation becomes prevalent to such as extent that they threaten plant material, the weeds shall be removed as directed by the Landscape Architect. If necessary, the plant material, mulch, sand and/or planting soil shall be replaced as needed to eliminate weeds or undesirable vegetation at

- E. Final acceptance shall not be official until acknowledged in
- F. The guarantee shall not begin until the day final acceptance Certain responsibilities prior to Final Acceptance: The following

- (1) Maintenance shall begin immediately after each plant is planted and continue until final acceptance

- J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth, or survival, that would affect the
- K. Submit in writing any hindrance to the timely completion of

- could result in damage or injury to persons, utilities structures or property. The Contractor shall make a
- etc., before work is commenced in any particular
- esulting from the damage. (3) Should utilities, structures, etc., be encountered which
- (4) The Contractor shall not purposefully disrupt or

- conforms to surrounding grades and is at the proper elevation
- B. Plant Area Next to Pavement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads, drives, walks, terraces, decks and slabs shall be set so that the TOP OF THE MULCH IS I INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans

A. Staking Plant Locations: Stake or mark plant material

- (6) Edge and weed all shrubs, groundcover and flower beds once a week
- (8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape
- Architect, prior to implementation (9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeated if necessary, until all sodded areas are covered with a satisfactory lawn. Damage resulting from erosion, gullies, washouts, or other causes shall be repaired by ling with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense
- (10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or ove planting areas or adjacent to plants without proper safequards and protection
- areas, streets, terraces, decks, and pavers free of plant cuttings, debris and stains. D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an
- inspection for completion will be scheduled. E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is installed until final acceptance.

F. Replacement: Replacement of plant material shall be the

responsibility of the Contractor including the possible

All plant material shall be alive and in good growing

replacement of plant material resulting from removal by theft

or vandalism or acts of negligence on the part of others.

(11) Keep sidewalks, curbs and gutters, driveways, parking

condition for each specific kind of plant at the time of G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of

- A. The guarantee shall not begin until the day final written acceptance is given.
- B. All plant material, except sod, shall be guaranteed for a minimum of I year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final
- C. The quarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition
- D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the guarantee period.
- A. The guaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material within 3 calendar days if it is:
- (1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the Specifications.
- (2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in the Specifications.
- B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval but he
- 1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replace The size of the replacement shall not necessarily be the same size as the original specified plant at its initial planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.

C. Size, Quality, and Grade:

- B. Spacing of Groundcover 4 Shrubs: The location of a planting bed (shrub or groundcover) next to another bed walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly
- uithout growing into the other bed, walkway, structure, etc C. The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting.
- D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limerod which may interfere with adequate vertical drainage and/or proper plant survival and growth and therefore removal of this material is part of the scope of work for the project The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, drilling or ototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant surviva
- E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as scommended by the manufacturer. Exercise care to avoid an misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not alter

cylindrical in shape with the sides approximate

and the location of the plant in the hole to

compensate for unanticipated structures or

icipated factors which are a conflic

b. The excavated material from the plant holes shall

not be used to backfill around the plant material.

Such material shall be disposed of either on the

project site or off the site, as directed by the

A. General: The Contractor shall lay out on the ground the

locations for the plants and outlines of areas to be planted

and obtain approval of the Landscape Architect before

excavation is begun. The Landscape Architect may adjust

the location of specifies plant materials prior to planting

PLANTING DETAILS

varies see plant list

TO THE TO SO SO THE TOWN

Landscape Architect.

Groundcovers

3/8" dia. jute guy

no mulch within

2" x 2" x 8' PTP stake

Trees

vertical. The Landscape Architect reserves the

right to adjust the size and shape of the plant hole

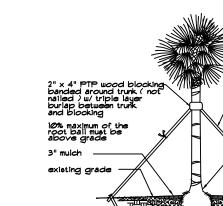
- F. Excavation of Plant Holes: (1) General a. Excavation of plant holes shall be roughly
- removed from the container so as not to disturb the

C. Sod:

- (1) Soil Preparation: Within 24 hours prior to placing sod prepare the soil in the following manner:
- area at a rate of 25 pounds per 1,000 square feet b. Remove stones and foreign matter over two inches in diameter from the top two inches of soil.

3" mulch





NOTE: Stake all trees up to 2" cal. • 2 per tree. Guy all trees larger than 2" cal.

All plastic nursery tape / flagging must be removed from all plants.

EXISTING TREE BARRIER DETAI

- However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally specifies size.
 - (2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee
 - period shall begin at time of acceptable replacement
 - (3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.

Plan and Specification Interpretation:

A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision In resolving conflicts between the Plans and Specifications. THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specification and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the

A. The Contractor shall procure all necessary permits to

- accomplish all of the work. B. The Contractor is responsible for performing all work in
- accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal jurisdiction the project is located in.

Permits and Codes:

- A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owns and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for
- "Job Site, "Project Site Etc.":
- A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents. Safety On and Off the Job Site:

A. In performing the scope of work, all safety on of off the job

site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or

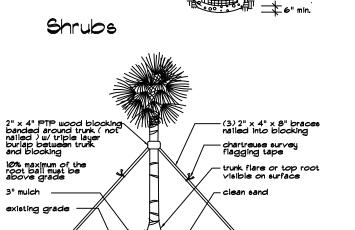
- B. Setting of Plants: (1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled witopsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tapped in place. When partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots: the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and tapped to grade. Subsoil removed from tree pit shall
- (2) All sabal and queen palms shall be backfilled with clean thoroughly washed in during the planting operation (3) Water Saucer: A 4-inch high water saucer shall be

formed around the rim of each individual tree or palm

not be mixed or used in any way with the topsoil

- (4) Plant material of the shrub category and smaller must be hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable mark Girdling, bark slippage, limb breakage and any other damage that might occur by improper handling or
- (5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected. (6) Container grown plant material shall be carefully

- a. Uniformly apply formula 8-8-8 fertilizer over the
- c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping



Straight Trunk Palme

- Dripline of existing tree

ground 2' 🛭 4' o.c.

— Orange plastic mesh fencing

— 6' ht. steel fence post driven into

- On Site Observations and inspections: or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.
- A. The Contractor shall make requests for on site observations

shall be only for the purpose of verifying that the Plans and

Architect's on site observations or inspections are not for

Specifications are being implemented properly. The Landscape

The Landscape Architect's on site observations or inspections

safety on or off the job site.

- B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in
- C. An inspections at the growing site does not preclude the right of rejection at the project site. D. The fact that the Landscape Architect has not made an early

on site observation or inspections to discover faulty work or

work omitted, or work performed which is not in accordance

with the contract requirements, shall not bar the Landscape

Architect from subsequently rejecting such work at a later

E. The Landscape Architect's on site observations or inspection shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing

the scope of work indicated in these Specifications.

- Plant Material A. Plant material shall be nursery grown except:
- (1) Where specified as collected material (2) Where approved by the Landscape Architect for such plant
- material which is only available as a collected item from sources such as residences. B. Except where another grade is specifically called for in the Plane, all plant material, including collected material if specified shall be no less than Florida # or better at the time of installation and final acceptance. Existing

plant material to remain or to be relocated shall be excluded

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, nealthy, vigorous and free from insects, plant diseases and

angles to slope.

- (2) Placing Sod: a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right
- b. Water sod every day for a period of three weeks.
- c. Fertilize sod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1000 square feet of lawn. d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State

a. It shall be the responsibility of the Contractor to

replace any areas of sod that are not in healthy

or Federal Department of Agriculture.

- b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as
- D. Planting Beds:
- (1) Spread six inches of topsoil mixture uniformly over the entire planting area. (2) Spread 50% organic fertilizer at a rate of 4 pounds per 1,000 square feet uniformly over the groundcover area
- (3) Rotor mix, or by other approved method, to a depth of
- (5) Regrade to finish grade before adding two inches mulch.

(4) Fine grade to remove all trash, rocks, and debris to

(1) Areas to be mulched shall have existing weeds and vegetation removed, including root systems, before

(6) Thoroughly water and firm the plants into the soil mixture.

- (2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other pproved fill material.
- GENERAL NOTES 1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER 2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN

APPROVAL BY THE LANDSCAPE ARCHITEC

AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A RAIN SENSOR. IF THE SOURCE OF WATER FOR THE IRRIGATIONH SYSTEM IS NOT POTABLE OR RECLAIM WATER, AND THE WATER STAINS SITE MPROVEMENTS, SUCH AS BUILDINGS, PAVING, ETC., THE CONTRACTO WILL NEED TO INSTALL AN INJECTION TYPE RUST CONTROL SYSTEM 4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. ANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOW ON PLANTING PLANS, WHEN DISCREPANCIES OCCUR BETWEEN PLANT

3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY

LIST IN ALL CASES. SOD QUANTITY IS TO BE DETERMINED BY 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE

6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS,

8. ALL TREES AND PALMS TO BE STAKED AND GUYED.

IST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLAN

- TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS GROUNDCOVERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS. 7. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE.
- ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH", TO A DEPTH OF 3". 10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE. 11. GROUNDCOYER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND

D. Measurement of Trees, Palms, Shrubs, and Groundcovers (1) Trees, Shrubs, and Groundcover:

2" as follows:

a. Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's "Grades



- b. Height: The height of plant material shall be measured from finish grade and continue up to where the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoo branches, limbs or fronds, which extend out beyond the main mass of the plant.
- E. Die-Back and Leaf Drop: plant material showing signs of dieback of leaf-drop will not be accepted and must be removed from the project immediately if so directed by the Landscape Architect. Therefore, any plant material with tendencies toward leaf-drop or die-back must be root pruned early enough to provide a sound network of hair roots prior to relocation
- F. Mechanical Destruction of Foliage: Mechanical destruction of foliage resulting from root pruning shall not effect more than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be
- G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists on plant material, it shall be completely removed prior to
- (1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling.

(3) The mulch shall be uniformly applied to a depth o

approximately 3 inches, or other depth as indicated

planting on the project

soil away from the roots.

otherwise, over all shrub and groundcover areas, around trees and paims in sod areas and any other areas as

H. Palme:

- (1) initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of the root zone. Avoid erosion, puddling, and washing
- (2) Provide continuous watering of plant material after planting in order to achieve optimum growth condition to establish plants. Water shall be applied as necessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task it cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the
- during this period. (3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such

means as a water truck or tank.

any pruning and thinning.

irrigation system, if there is one hand water

(1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations. Pruning and thinning shall be done in such a manner as

not to change the natural habit or shape of a plan

Landscape Architect may elect to be present during

(2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The

G. Pruning and Thinning:

H. Weedina: (1) In the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the

Landscape Architect. This condition shall apply until

12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR

SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE

EXCAVATION BEGINS. THE LANDSCAPE ARCHITECT MAY ADJUST THE

OCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING

14. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO

- 3. TREES, PALMS, SHRUBS AND GROUNDCOVERS TO BE GUARANTEED TO BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE.
- PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' ABOVE FINISHED GRADE. 15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS NCLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER

AND AUSTRALIAN PINE.

IG. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS. 17. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.

18. ALL PLANTING BEDS THAT ARE ADJACENT TO PAYING ARE TO BE LOWER THAN THE ADJACENT PAYING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAYING.

19. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AND PLANTING AREAS

ADJACENT TO THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROUTH, OR OF REPLACEMENT SOIL (50% MUKK, 50% SAND, NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL

SHALL BE PRESENT WITHIN PLANTING ISLANDS OR PLANTING AREAS ADJACENT TO PAVED AREAS EXCEPT FOR THE FIRST 12" INTO THE PLANTING AREA AS REQUIRED TO SUPPORT THE CURB.

sheet title: notes, details

landscape architecture/planning inc.

601 n. congress ave., suite 105-a

delray beach. florida 33445

dave bodker

561-276-6311

#LA0000999

Tobin Building

lmb

sheets



specifications

drawn by:

project number: 11017 date: 02/20/2018 scale: n.t.s.

revisions:

sheet: