

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: January 22, 2018

Location Address: North 22nd Avenue & Evans Street, Hollywood

Lot(s): ALL OF PARCEL "A" Block(s): _____ Subdivision: Crispus Commons

Folio Number(s): 5142-04-18-0080

Zoning Classification: RM-9 Land Use Classification: Low Density Multiple Family

Existing Property Use: Vacant Sq Ft/Number of Units: 53,996 Sq. Ft.

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): R-2016-214 and O-2017-06

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☒ City Commission ☐ Planning and Development

Explanation of Request: To Development 12 Townhouse Units

Number of units/rooms: 12 Townhouses Sq Ft: Average size 1547.88

Value of Improvement: \$1,600,000.00 Estimated Date of Completion: Unknown at this time

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase

N/A

Name of Current Property Owner: Liberia Economic and Social Development Inc

Address of Property Owner: 3220 N 24th Avenue, Hollywood, FL 33020

Telephone: 954-924-3635 Fax: 954-924-3637 Email Address: h.graham38@yahoo.com

Name of Consultant/Representative/Tenant (circle one): Broward Alliance for Neighborhood Development

Address: 690 NE 13th Street, Ste 104, Fort Lauderdale Telephone: 954-581-9899

Fax: 954-581-9881 Email Address: bdeese@bandflorida.org

Date of Purchase: August 6, 2008 Is there an option to purchase the Property? Yes () No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Eula Gardner

Broward Alliance for Neighborhood Dev Address: 690 NE 13th Street, Ste 104, Fort Lauderdale

Email Address: egardner@bandflorida.org

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 1-22-2018

PRINT NAME: Henry Graham

Date: January 22, 2018

Signature of Consultant/Representative: _____

Date: January 22, 2018

PRINT NAME: Bonnye Deese

Date: 01/22/2018

Signature of Tenant: None

Date: _____

PRINT NAME: N/A

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public
State of Florida

Print Name

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____

Associates General Kinetics llc

4920 N. Dixie Hwy., Oakland Pk, FL 33334

954-772-8345/5345/6629/3699m- Fx-7478 - Efx 888 584 8369 arpin2@bellsouth.net

Engineers - Inspectors - Design Builders- Balcony Rail Inspections

Don Arpin MS PE# 28585-1980 COA# 26073-2004 HI#1482-2012 CGC# 013698-1980

SINCE 1980

January 22, 2018

Planning & Development Board c/o
Department of Development Services
2600 Hollywood Boulevard, 3rd Floor
Hollywood, FL 33020

RE: Crispus Commons
North of Evans St and West of 22nd Avenue

Dear Board Members,

Our firm is the design professional for the owner of the property. It is our hope that the City and the Planning and Development Board will support this application for the new development of 12 proposed townhouses. These new townhouses will enhance the property and surrounding neighborhood.

The Subject Property is located at the Northwest corner of Evans St and 22nd Avenue. It consists of 53,996 sq.ft. Each townhouse will have approximately 1,900 sq. ft. The parcel is designated "Low Density Multiple Family Residential" under the City's Comprehensive Plan and is within the RM-9 (Multiple Family Residential District). The subject Property is surrounded by single family residential and industrial development.

Criteria:

1. Design Components:

We feel that we have created a well thought out & exceptional design solution for this townhouse development. The Design is all about the consideration of aesthetics & functionality. The exterior reflects the interior uses with an inspirational yet residential aesthetic. The pedestrian is considered from all sides of the proposed design as well. Design elements are present on all facades with interesting materials, shapes & features.

2. Compatibility:

The existing neighborhood consists of single story and 2 story buildings along with commercial and industrial. This new development will comply with the existing single family and industrial neighborhood fabric as a 2 story, low scale, structure with a residential feel. A variety of window sizes and pedestrian pleasing details and elements are incorporated to connect the new project to the neighborhood.

3. Scale Massing:

This new structure is proportionate to the scale of the neighborhood in a variety of ways.

(a). Height – consistent with surrounding structures of 1 & 2 stories. Our project is 2 stories.

(b). Building Mass – Our design reflects a simple rectangular composition with recognizable architectural elements and pleasing proportions in relation to length, width & height, lot coverage & its setting in context with the adjacent buildings. See the street context elevations profile on site plan

(c). Details – The design provides architectural details throughout the façade including vertical & horizontal elements on the building façade with similar fenestration in the privacy fencing. The railings are metal & glass. The façade is also articulated with elegant moldings enhancing the windows & doors. Other design details are included throughout the building.

4. Conclusion:

This new 12 unit development will help to improve the neighborhood and provide the needed living units for all the residents in the area. It is our goal to be good neighbors to those residents living adjacent to and near the Subject Property. We feel that the development of the site will improve the overall look of the neighborhood and hope that our plans for the area will encourage others to improve and purchase property in the neighborhood.

In closing, we believe that our plans demonstrate commitment to the neighborhood of Evans Street and 22nd Avenue and the City of Hollywood. We have worked hard to provide a plan that meets the City's development & design review criteria.

Thank you for your time and consideration.

Donald Arpin PE #28585
January 22, 2018





LANDSCAPE ARCHITECT CONSULTANTS, INC.
5215 West Broward Boulevard, Plantation, Fl, 33317
954-581-1110 fax 954-581-7118

January 23, 2018

Project name: Crispus Commons
Attn: Design Review Criteria Process
City of Hollywood, Florida

Responses to Design Review Criteria

Comment #4

“Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.”

RESPONSE: - There were no existing structures or native plants on this site, but primarily invasive BRAZILIAN PEPPER and CASTOR BEAN plants. By removing these invasive and other undesirable nonnative plants, the site allowed opportunity for native plants in the landscape design. The Landscape plan reflects a variety of native plants. In the northwest corner site, a storm water detention area was created. To prepare for a wet soil condition, native BALD CYPRESS (*Taxodium distichum*) was specified. They were grouped in close proximity to one another to create a dense wetland trees grove. LIVE OAK (*Quercus virginiana*) was also used as a buffer to tree from the public work facility to the north. And tree such as SOUTHERN MAGNOLIA (*Magnolia grandiflora*) and EAST PALATKA HOLLY (*Ilex x attenuata* 'East Palatka') add fragrance and color the landscape. Native shrubs like Dwarf Firebush, Lantana, Red Tip Cocoplum and Simpson's Stopper were used for color and to attract native wildlife.

Respectfully submitted,

Abdias Dalisma
Landscape Designer
ISA Certified Arborist
abdias@lacfl.com
Landscape Architect Consultants, Inc.

Thomas J. Laubenthal
954-581-1110 # LC-26000422



Location Map

SHEET INDEX

<u>Sheet #</u>	<u>Description</u>
	General Application
	Ownership & Encumbrance Report
	Project Fact Sheet & Legal
	Description Criteria Statement
	Cover Sheet
	Certified Alta Survey
	Color Rendering, Street Profile, Color
	Photographs
C-1	Erosion & Sediment Control &
	Demolition Plan
C-2	Civil Plan
C-3	Details
C-4	Details
	Drainage Calculation Report

SHEET INDEX (continued)

<u>Sheet #</u>	<u>Description</u>
LP-2 of 1	Landscape Plan
LP-2 of 2	Landscape Notes & Details
IR-1 of 1	Irrigation Plan
IR-1 of 1	Irrigation Notes and Details
IR-3 of 3	Irrigation Details & Specifications
SP-1	Dimensioned Site Plan
A-1	Building 1 & 2, First and Second Floor
	Plans, Square Footage Breakdown
A-2	Building 1 & 2, Exterior Elevations
A-3	Building 3 thru 6, First and Second
	Floor Plans, Square Footage Breakdown
A-4	Building 3 thru 6, Exterior Elevations

Final TAC Comment Responses

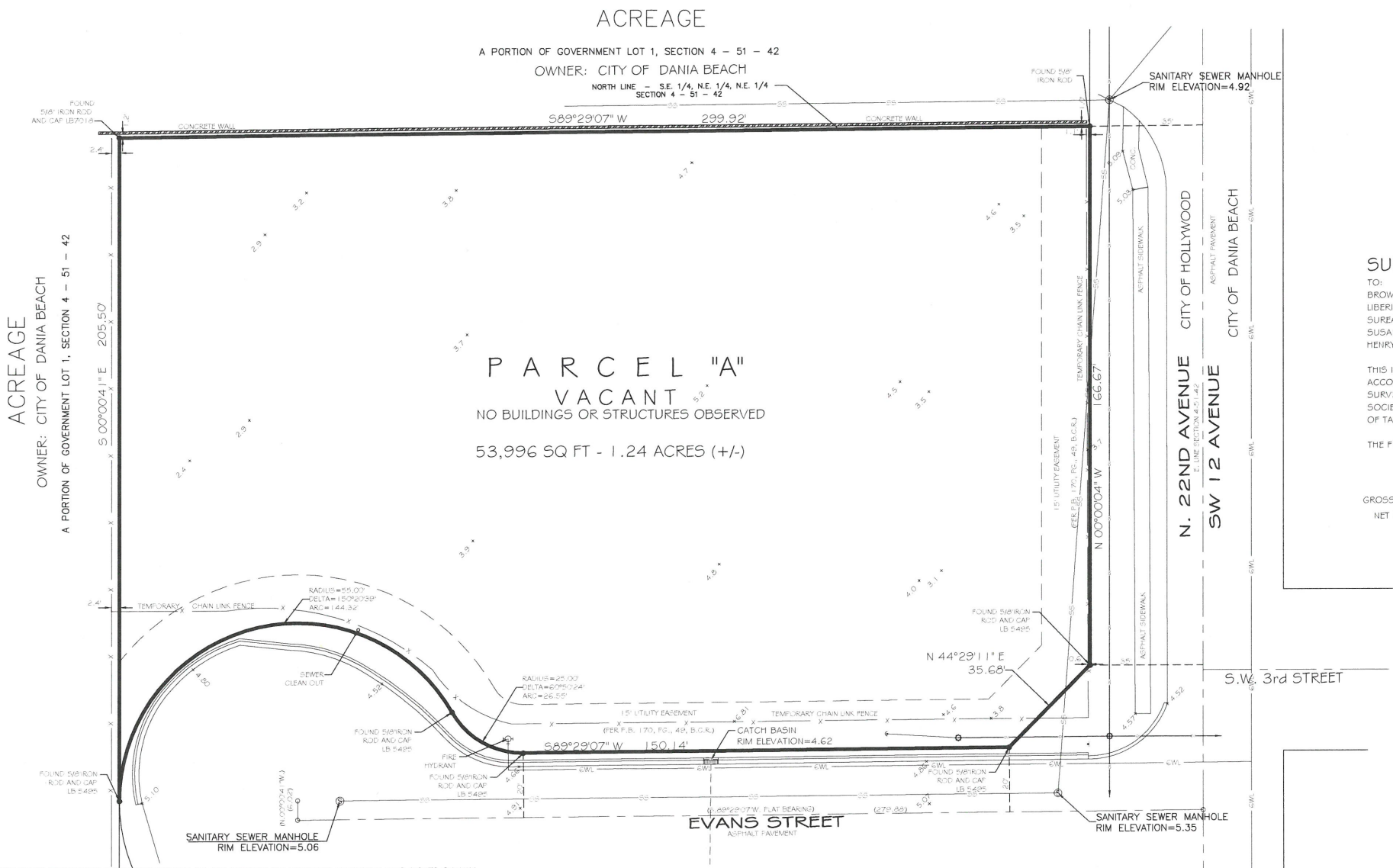
TOWNHOMES AT CRISPUS COMMONS PHASE II



ALTANSPS LAND TITLE SURVEY



LOCATION MAP
(NOT TO SCALE)



SURVEYOR'S CERTIFICATE:

TO:
BROWARD ALLIANCE FOR NEIGHBORHOOD DEVELOPMENT, INC.
LIBERIA ECONOMIC AND SOCIAL DEVELOPMENT, INC.
SUREALTY TITLE, INC.
SUSAN T. RHODES
HENRY GRAHAM

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY AMERICAN LAND TITLE ASSOCIATION (ALTA) AND NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) AND INCLUDES ITEMS 1, 2, 3, 4, 5, 11 (LIMITED), 13 AND 14 OF TABLE 'A' THEREOF.

THE FIELD WORK WAS COMPLETED ON: OCTOBER 3, 2016

GROSS LAND AREA = 70.652 SQ. FT. - 1.62 ACRES (+/-)
NET LAND AREA = 53.996 SQ. FT. - 1.24 ACRES (+/-)

THIS SURVEY IS INTENDED TO REFLECT ITEMS REFERENCED IN OWNER AND ENCUMBRANCE REPORT FILE NO. 2016-BANDCC DATED SEPT. 20, 2016
SUMMARY OF ENCUMBRANCES:
1. TITLE OBTAINED BY WARRANTY DEED
ORB 45613, PG. 1804, B.C.R.
2. MORTGAGE - ORB 45613, PG. 1805,
ORB 47295, PG. 1433
ORB 46893, PG. 66,
ORB 50120, PG. 1443
ORB 50997, PG. 1933
3. MORTGAGE - ORB 45673, PG. 150,
4. NO JUDGEMENTS OR LIENS RECORDED
5. TAXES PAID FOR 2016 UNDER FOLIO NO.
514204-18-0080
6. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED
JUNE 4, 2001 IN ORB 45673, PG. 155.
7. 15 FOOT UTILITY EASEMENT THAT RUNS ALONG THE WEST, SOUTH AND EAST
SIDES OF PARCEL A AS SHOWN ON THE PLAT OF CRISPUS COMMONS,
PLAT BOOK 170, PG. 47, BROWARD COUNTY RECORDS.

NOTE: ALL OF THE ABOVE AFFECT THIS PROPERTY BUT ARE NOT GRAPHICALLY DEPICTABLE.

SURVEYOR'S NOTES:

- 1.) THE SURVEY SHOWS THE LOCATION OF ANY VISIBLE EVIDENCE OF UTILITY SERVICES THAT PASS THROUGH OR ARE LOCATED ON ADJOINING LAND OR PUBLIC RIGHTS OF WAY.
- 2.) THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND OPEN PUBLIC STREETS.
- 3.) NO UNDERGROUND IMPROVEMENTS, UTILITIES OR FOUNDATIONS WERE LOCATED DURING THE PERFORMANCE OF THIS SURVEY, THE EXISTENCE OF WHICH HAS NOT BEEN DETERMINED BY THIS SURVEY.
- 4.) BENCHMARK REFERENCE: CITY OF HOLLYWOOD - SPIKE AT INTERSECTION OF N 22 AVENUE AND SW 4 STREET
ELEVATION = 5.00 (NORTH AMERICAN VERTICAL DATUM OF 1988 - NAVD88)
- 5.) THE SUBJECT PROPERTY LIES WITHIN SPECIAL FLOOD HAZARD AREA - ZONE AH - BASE FLOOD ELEV. = 6
FLOOD INSURANCE RATE MAP NO. 1201100567 COMMUNITY NO. 125113 - CITY OF HOLLYWOOD
- 6.) BEARINGS SHOWN BASED ON THE PLAT OF CRISPUS COMMONS, BEING AN ASSUMED MERIDIAN OF N00°04'51" W
ALONG THE CENTERLINE OF NORTH 22 AVENUE AND THE EAST LINE OF SECTION 4-51-42.
- 7.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, EXCAVATION OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- 8.) NO WETLANDS WERE OBSERVED AND NO WETLAND MARKERS WERE SET BY QUALIFIED SPECIALIST.

DESCRIPTION:

ALL OF PARCEL 'A' OF "CRISPUS COMMONS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 170, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
SAID LAND SITUATED, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

ADDITIONAL NOTES:
1.) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
2.) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
3.) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4.) NORTH ARROW RELATIVE TO ASSUMED NORTH ALONG THE CENTERLINE OF N. 22ND AVENUE.
5.) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

FEMA FLOOD INSURANCE RATE MAP			
CITY OF HOLLYWOOD			
BROWARD COUNTY, FLORIDA			
PANEL NO.	SUFFIX	ZONE	FIRM DATE
0567	H	AH	08/18/14
COMMUNITY NO. 125113			
BASE ELEV.			
6			

REVISION		DATE	BY
UPDATE ALTA NSPS SURVEY		10/03/16	SKS

SKETCH OF BOUNDARY SURVEY			
JOB #:	RN8128	DATE:	5/03/2013
SCALE:	1"= 20'	FILE NO.:	PARCEL A
DRAWN BY:	MRK	CHECKED BY:	SKS
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.			

GIBBS LAND SURVEYORS
2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018



South View - East



South View - Center



South View - West



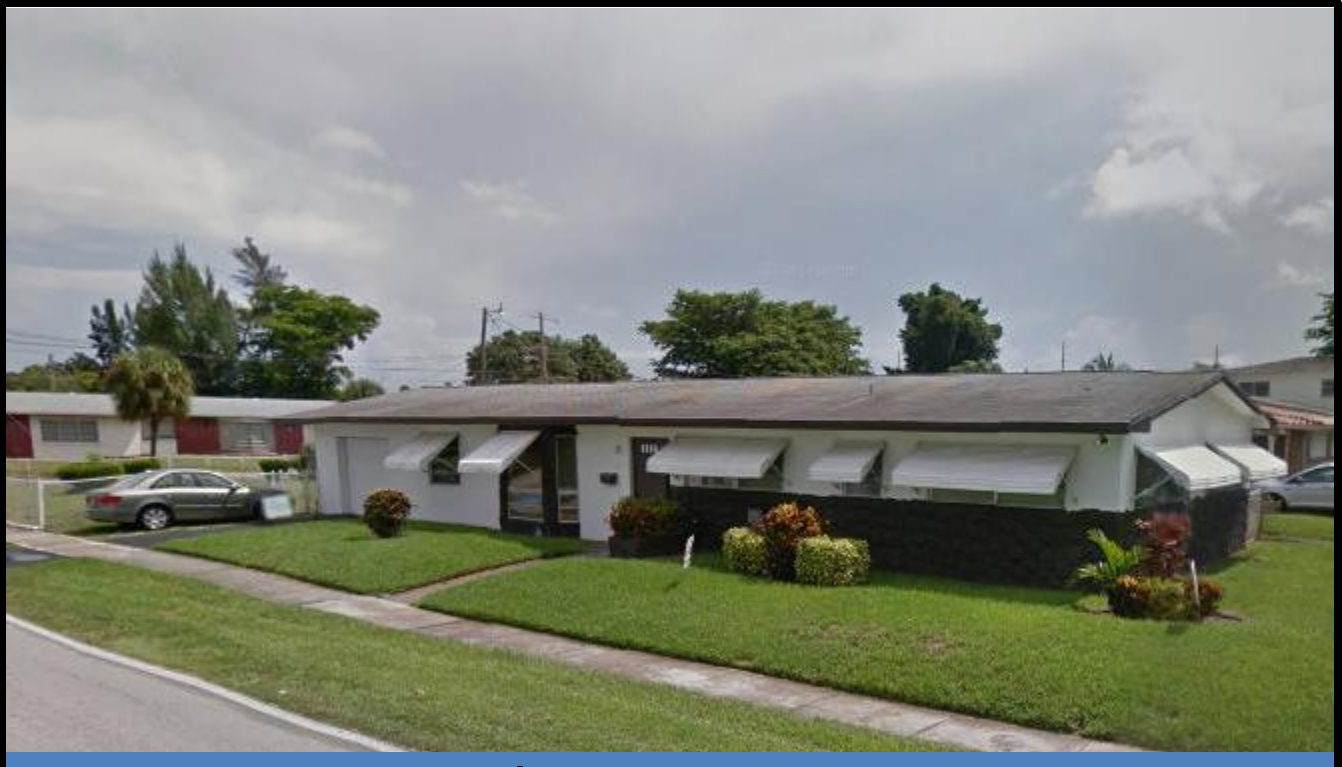
West View



Crispus Commons Phase II – Color Rendering



East View



East View - North



North View - East



North View - Center



North View - West

Filtered Sunlight
2154-60

Linen Sand
2151-60

Hazelnut Cream
2161-60

BUILDING/SITE DATA
EXISTING ZONING RS-6 (EXISTING LOW MEDIUM RESIDENTIAL)
PROPOSED ZONING RM-9
ADJACENT LAND USE:
NORTH: CITY OF DANIA BEACH
SOUTH: COMMUNITY FACILITY
EAST: CITY OF DANIA BEACH
WEST: LOW MEDIUM RESIDENTIAL

GROSS AREA = 70,652 SQ. FT. OR 1.62 ACRES
SITE AREA = 53,998.9 SQ. FT. OR 1.24 ACRES
SITE DENSITY - UNITS PER ACRE = 12 UNITS
1.24 ACRES x 12 UNITS = 14.88 UNITS ALLOWED
UNITS PROVIDED = 12 UNITS
UNITS PERMITTED TOWNHOMES
2 ATTACHED, 2 STORY UNITS
MAXIMUM UNIT SIZE FOOTPRINT BLD'G 1 & 2 = 2,288.60 SF x 2 = 4,577.20 SF
BLD'G 3 THRU 6 = 2,194.42 SF x 4 = 8,777.68 SF

EACH UNIT AC SPACE:
BLD'G 1 & 2 = 1,547.88 SF (BOTH FLOORS)
BLD'G 3 THRU 6 = 1,485.66 SF (BOTH FLOORS)
SEE FLOOR PLANS.

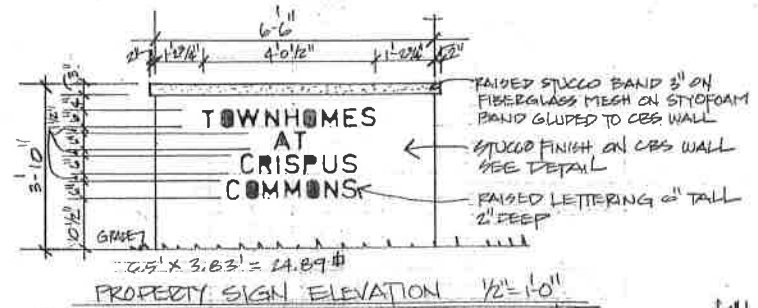
SITE CALCULATIONS		
BUILDING #1 THRU #6 (FOOTPRINT)	12,684.00 SF	23.5%
DRIVE & WALKS	11,297.22 SF	21.0%
LANDSCAPING	30,014.50 SF	55.5%
TOTAL SITE	53,998.90 SF	100.0%

SETBACKS		
REQUIRED:		
FRONT (SOUTH)	20'	
REAR (NORTH)	20'	
SIDE/STREET (EAST)	20% OF THE WIDTH OR 59.98'	
SIDE/INTERIOR (WEST)	7.5'	

PROPOSED:		
FRONT (SOUTH)	BLD'G 1 & 2 = 25', BLD'G 3 & 4 = 26', BLD'G 5 & 6 = 46'	
REAR (NORTH)	BLD'G 1 & 2 = 50', BLD'G 3 & 4 = 76.1'	
SIDE/STREET (EAST)	40.92'	
SIDE/INTERIOR (WEST)	10.00'	

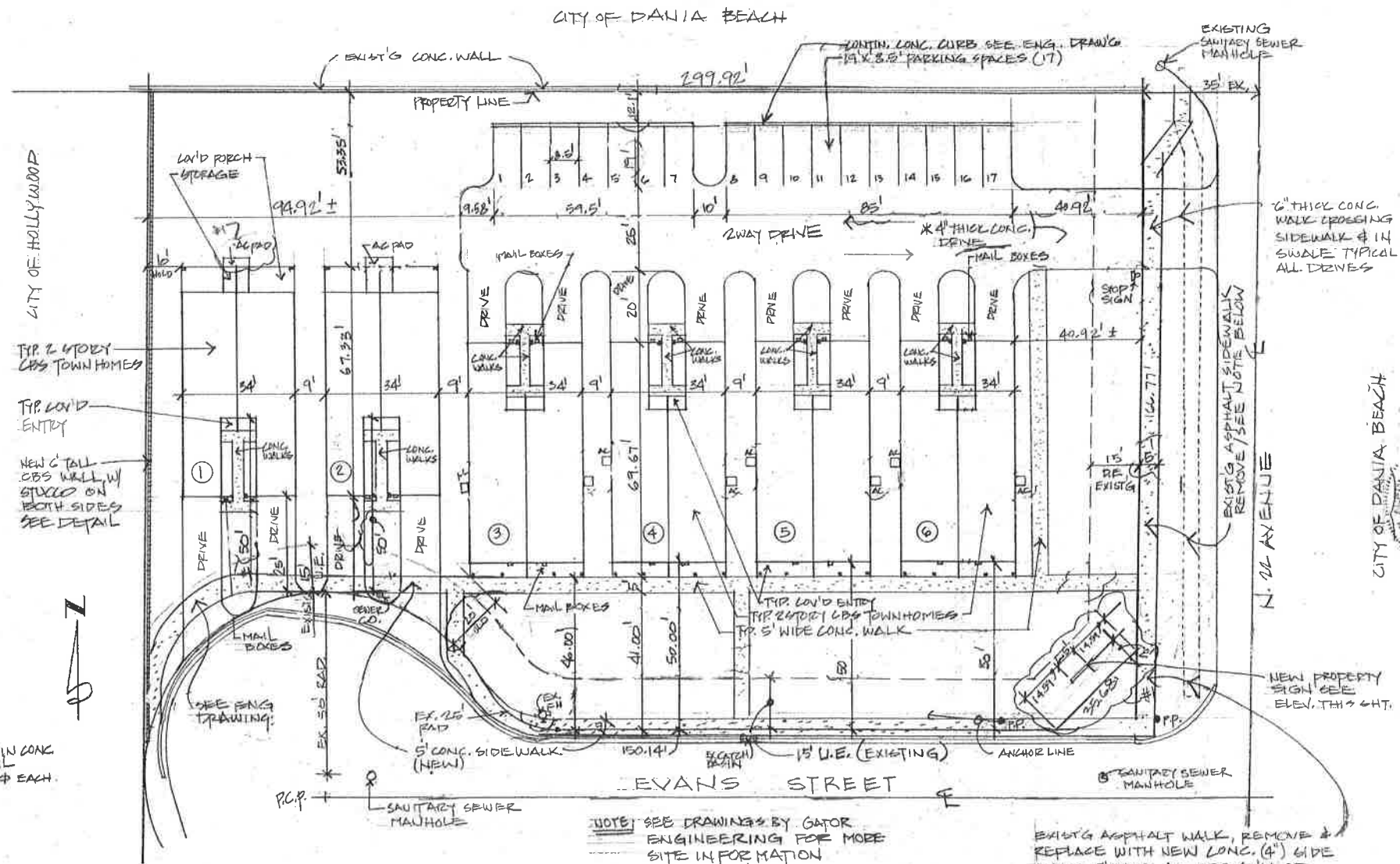
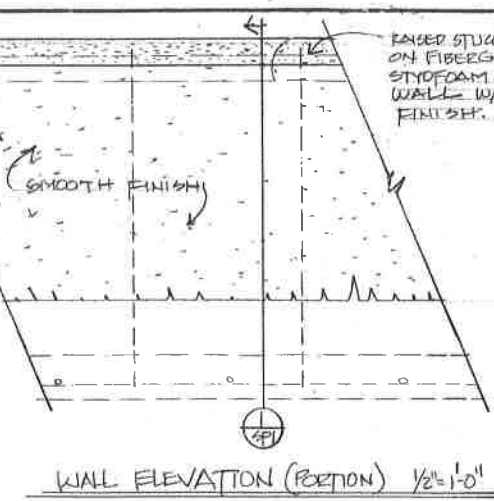
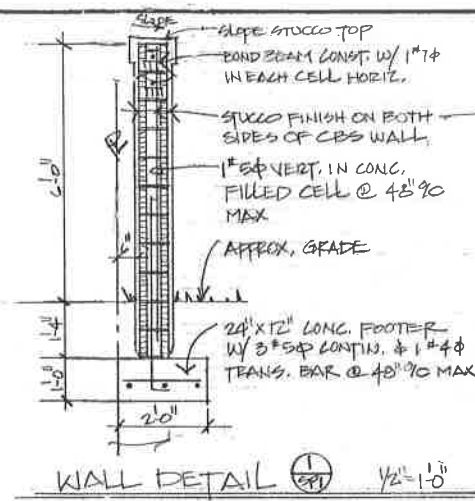
PARKING REQUIREMENTS:		
OWNHOMES:		
2 PARKING SPACES PER UNIT		
12 UNITS REQUIRE 24 PARKING SPACES (1 IN GARAGE & 1 IN DRIVEWAY)		
17 PARKING SPACES FOR GUEST		
TOTAL PARKING SPACES = 41		

- NOTES:
1. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED SEE LANDSCAPING PLAN.
 2. LOCATION OF ALL UTILITIES SHALL BE COORDINATED WITH APPROPRIATE DEPARTMENTS.
 3. REQUIRED ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE WILL BE LOCATED INSIDE EACH GARAGE AREA SEE ELECTRICAL PLAN.
 4. ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.
 5. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY ANY MEANS (SEE ELECTRICAL PLAN), SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION, SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
 6. THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE 0.5 IF ADJACENT TO RESIDENTIAL.



GREEN BUILDING REQUIREMENTS:

1. NO GARBAGE DISPOSAL
2. ALL ENERGY STAR APPLIANCES TO BE INSTALLED, RANGE, REFRIGERATOR, WASHING MACHINES AND DRYERS THESE TO BE PERMANENT APPLIANCES.
3. ALL SHOWER HEADS TO BE ONE HEAD AND WITH A LOW FLOW A MAXIMUM FLOW RATE OF 2.5 GPH AT 80 PSI WATER PRESSURE.
4. WASHER AND DRYER OUT SIDE OF THE AIR CONDITIONED AREAS.



PROPOSED SITE PLAN - PARCEL A
- CRISPUS COMMONS - PHASE 2

ALL OF PARCEL A OF "CRISPUS COMMONS", PLAT BOOK 170, PAGE 49,
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

REVISIONS:
REV. #1 10-31-10

COMMUNITY FACILITY

THIS PLAN CONFORMS TO
FBC 5th EDITION 2014 AND
ASCE 7-10.

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND
SPECIFICATIONS SUBMITTED HERewith COMPLY
WITH ALL EXISTING INTERPRETATIONS AND PROVISIONS
OF THE APPLICABLE BUILDING CODES AT THE TIME OF
THE PLANS PREPARATION. NO WARRANTY EITHER
EXPRESSED OR IMPLIED IS HEREBY GIVEN.

PROPOSED PLANS
FOR CRISPUS COMMONS PARCEL A
EVANS STREET & NORTH 22 AVENUE
HOLLYWOOD, FLORIDA

CITY OF DANIA BEACH

DONALD ARPIN JR.
A.E.C. LLC, COA = 26075 P.E. 20850
4420 NORTH DIXIE HWY. 33334
OAKLAND PARK, FLORIDA
PH: 404-772-0045 FAX: 404-772-1470
Email: arpin2@bellsouth.net

DRAWN
FRANCIS
CHECKED
DATE
8-26-16
SHEET
0716

SP-1

LEGAL DESCRIPTION

ALL OF PARCEL "A" OF CRISPUS COMMONS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 170, PAGES 49 AND 141, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

GENERAL NOTES:

1. BASE SURVEY WAS PROVIDED BY GIBBS LAND SURVEYORS.
2. ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.).
3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER REPRESENTATIVE.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES VERIFIED AND LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTNG ANY DISTURBED EXISTING MANHOLES, VALVE BOXES, BLOW- OFF RISERS OR ANY OTHER POINT OF ACCESSIBILITY TO UTILITIES, AND TO MATCH ASPHALT GRADES, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.
7. TO AVOID MISUNDERSTANDING AND TO INSURE COMPLIANCE WITH SPECIFICATIONS, BEFORE PURCHASING MATERIALS OR EQUIPMENT FOR HIS WORK, THE CONTRACTOR SHALL FURNISH AT LEAST FOUR COPIES OF SHOP DRAWINGS OR ILLUSTRATION SHEETS FOR APPROVAL BY THE ENGINEER. THE APPROVAL OF SHOP OR WORKING DRAWINGS BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRONEOUS OR INCONSISTENT DIMENSIONS, NOTATIONS, OMISSIONS OR OTHER ERRORS, OR FOR THE PROPER FUNCTIONING OF THE COMPLETE INSTALLATION.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
9. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MAKERS.
11. CONTRACTOR SHALL COORDINATE THIS PLAN WITH THE PLUMBING AND LANDSCAPE PLANS.
12. ALL ROAD CUTS FOR UTILITIES OR CURB CUTS WITHIN IN THE CITY RIGHT-OF-WAY SHALL BE RESTORED TO FULL LANE WIDTH FOR 20 FEET.

SPECIFIC NOTES:

1. DRAINAGE SYSTEM SHALL BE INSTALLED AS DETAILED.
2. ALL AC PAD SHALL BE CONSTRUCTED AT EL=7.00'.
3. CONSTRUCTOR IS TO ENSURE FLOW TO THE DRAINAGE STRUCTURE.
4. PAVEMENT MARKINGS SHALL BE FDOT REFLECTIVE PAINT EXCEPT AT ENTRANCE WHERE IT SHALL BE THERMOPLASTIC.

SITE CALCULATIONS:

BUILDING FOOTPRINT	12,684.28	SQ FT	23.49 %
DRIVES & WALKWAYS	11,297.22	SQ FT	20.92 %
GREEN AREA	30,014.50	SQ FT	55.59 %
TOTAL AREA	53,996.00	SQ FT	100.00 %
TOTAL PERVIOUS AREA	30,014.50	SQ FT	55.59 %
TOTAL IMPERVIOUS AREA	23,981.50	SQ FT	44.41 %



11390 TEMPLE STREET
COOPER CITY, FL 33330
TEL: (954) 434-5905 FAX: (954) 434-5904
CERTIFICATE OF AUTHORIZATION NUMBER 90230

DATE: REGINA BOBO-JACKSON, P.E.
TEL: (954) 434-5905 FAX: (954) 434-5904
CERTIFICATE OF AUTHORIZATION NUMBER 90230

CRISPUS COMMONS TOWNHOMES
EVANS STREET & NORTH 22ND AVENUE
HOLLYWOOD, FLORIDA

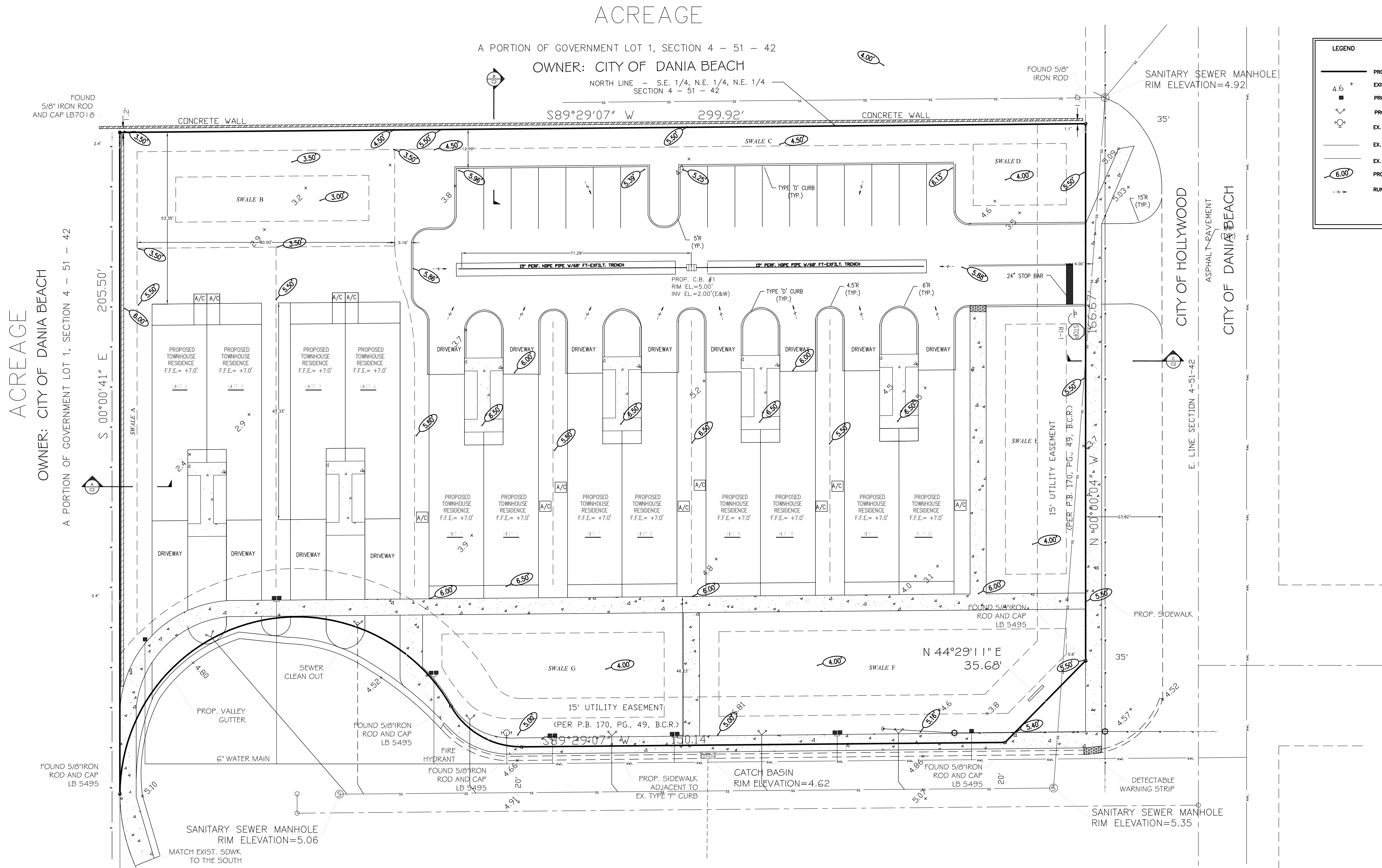
REVISIONS	DESCRIPTION
NO.	DATE

GEA PROJECT NO. : 16074
DATE : 12-05-2016
SCALE : AS SHOWN
DESIGNED BY : R.B.J.
DRAWN BY : L.B.
CHECKED BY : R.B.J.
APPROVED BY : R.B.J.

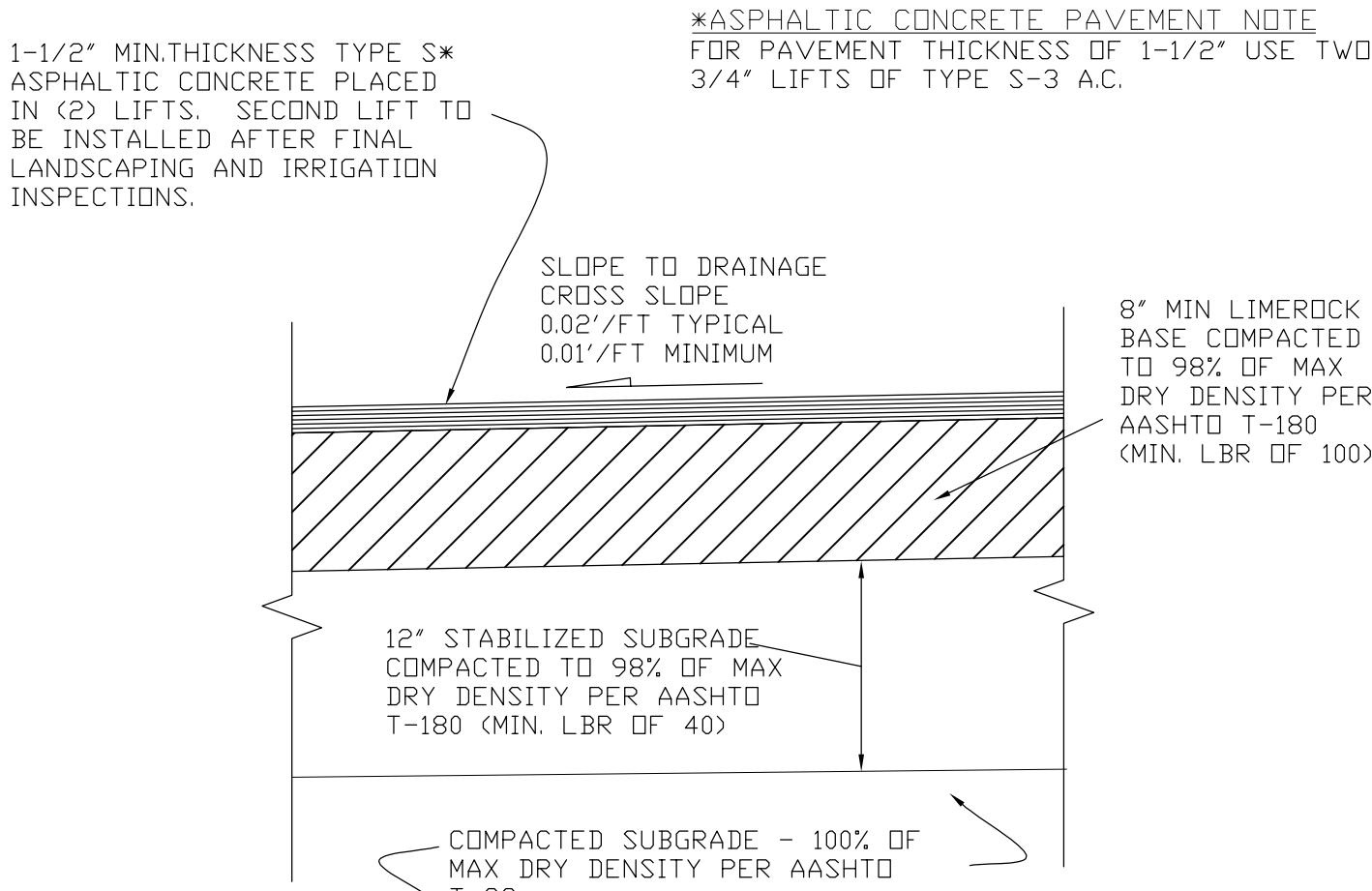
SHEET TITLE

CIVIL PLAN

C2 OF 4



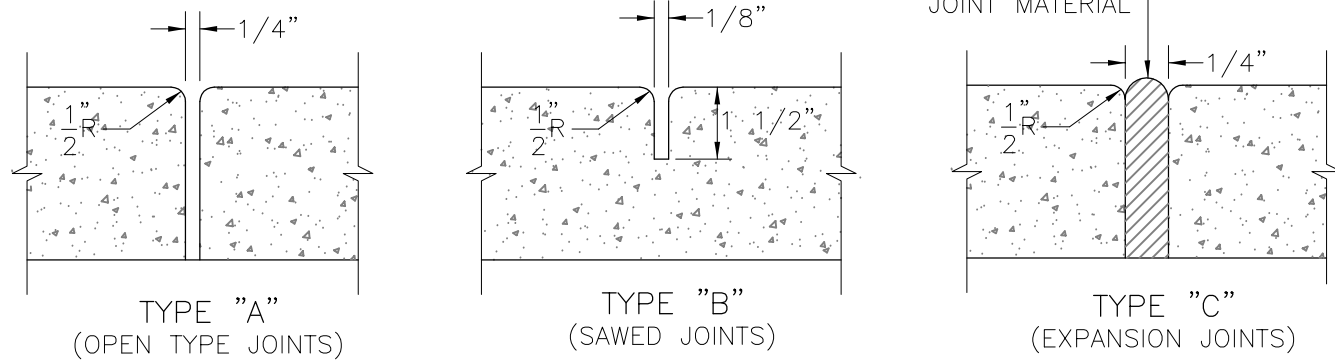
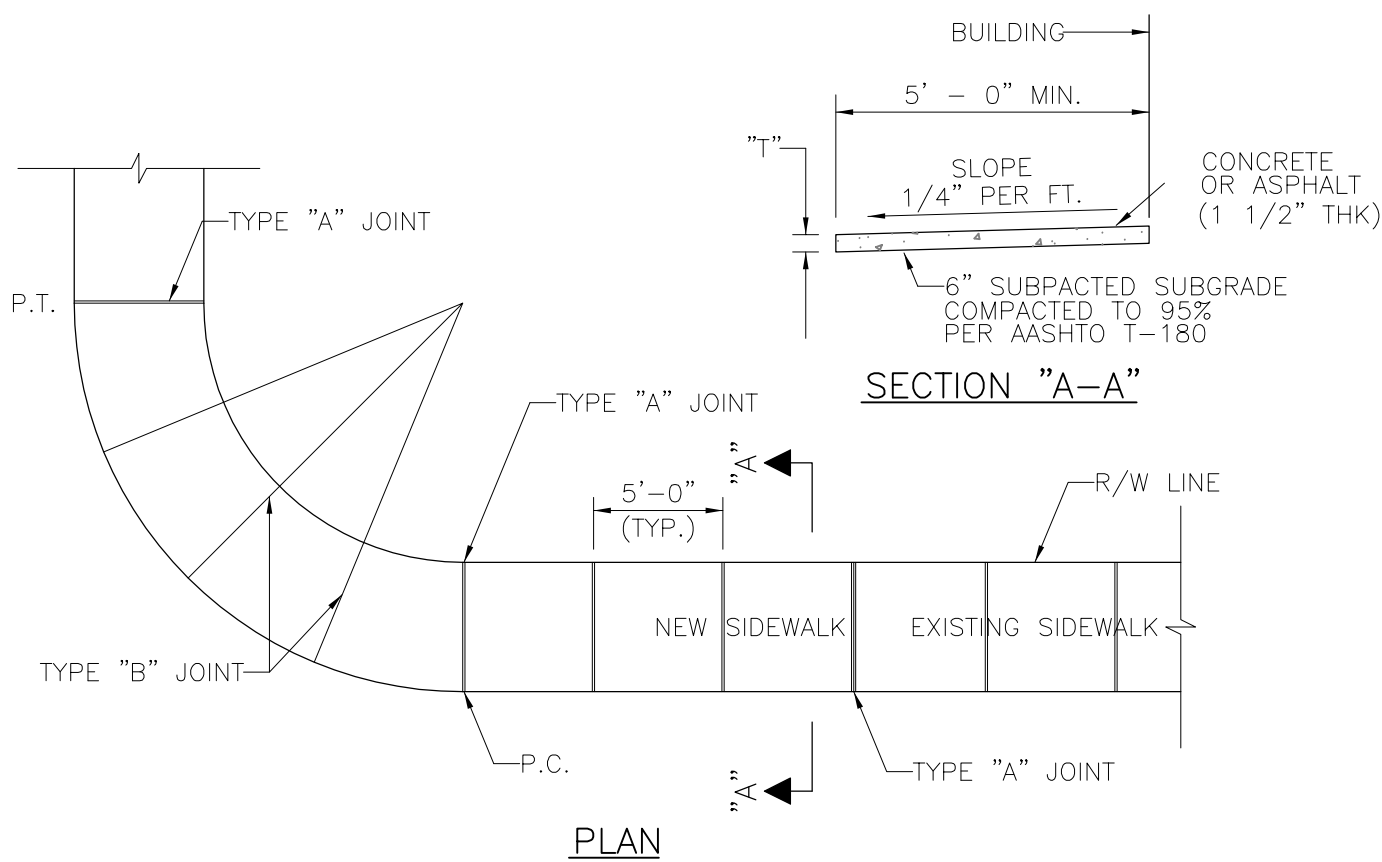
CIVIL PLAN
SCALE: 1" = 20'



- NOTES:
1. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF LIMEROCK BASE. AREAS BELOW DESIGN GRADE MAY BE CORRECTED BY PLACEMENT OF ADDITIONAL LIMEROCK MATERIAL. AREAS ABOVE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO LIMEROCK PLACEMENT.
 2. LIMEROCK BASE FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 8" SHALL BE PLACED IN EQUAL LIFTS NOT EXCEEDING 6".
 3. PRIME COAT SHALL BE APPLIED TO ALL FINISHED LIMEROCK BASE SURFACES AFTER BOARDING AND DENSITY INSPECTIONS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 4. TACK COAT SHALL BE PLACED AS REQUIRED ON EXISTING ASPHALT SURFACES BEFORE APPLICATION OF AN OVERBUILD LAYER AND TO NEW SURFACES BETWEEN LIFTS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 5. FINAL PAVEMENT LIFT CANNOT BE PLACED UNTIL ALL PROJECT LANDSCAPING IS IN PLACE AND THE IRRIGATION SYSTEM IS INSTALLED AND APPROVED.

ASPHALTIC CONCRETE PAVEMENT DETAIL

NOT TO SCALE



SIDEWALK JOINTS

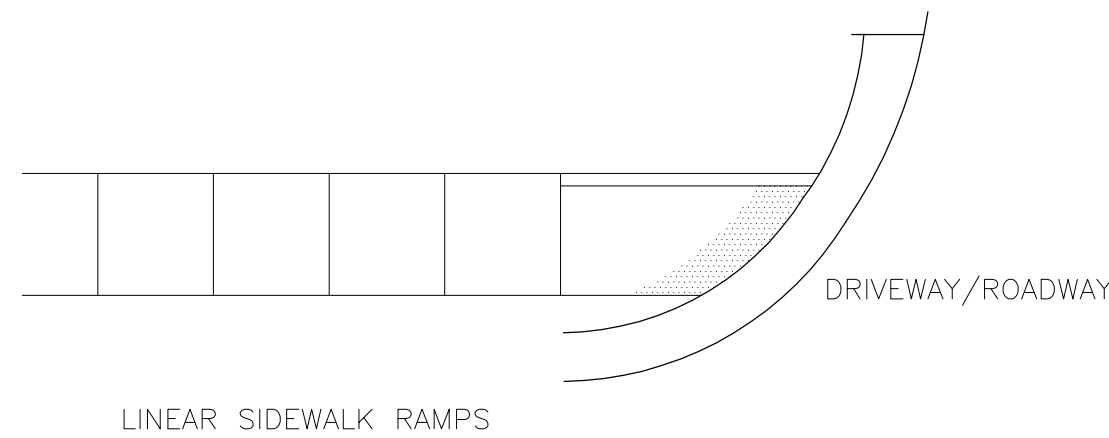
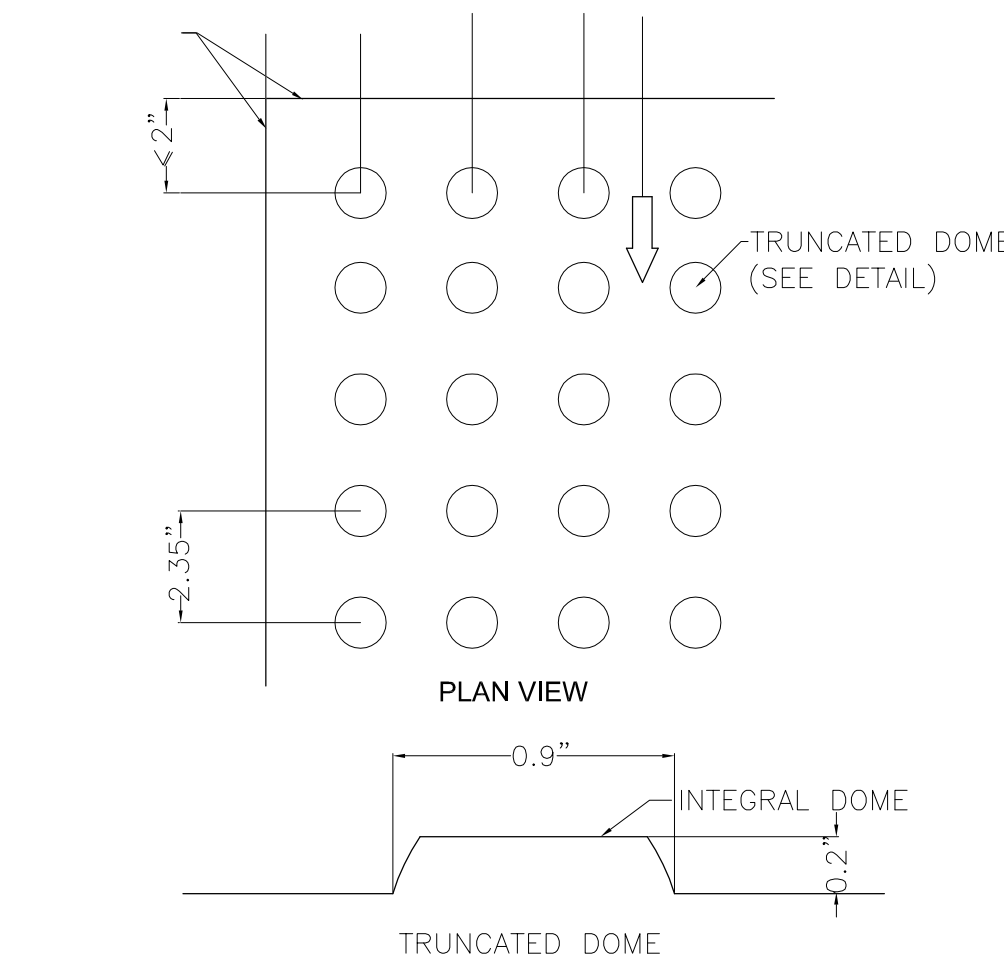
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS
"B"	5' - 0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALKS ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.

TABLE OF SIDEWALK THICKNESS - "T"	
LOCATION	"T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

NOTE: * AT THE DISCRETION OF ENGINEER.

SIDEWALK CONSTRUCTION

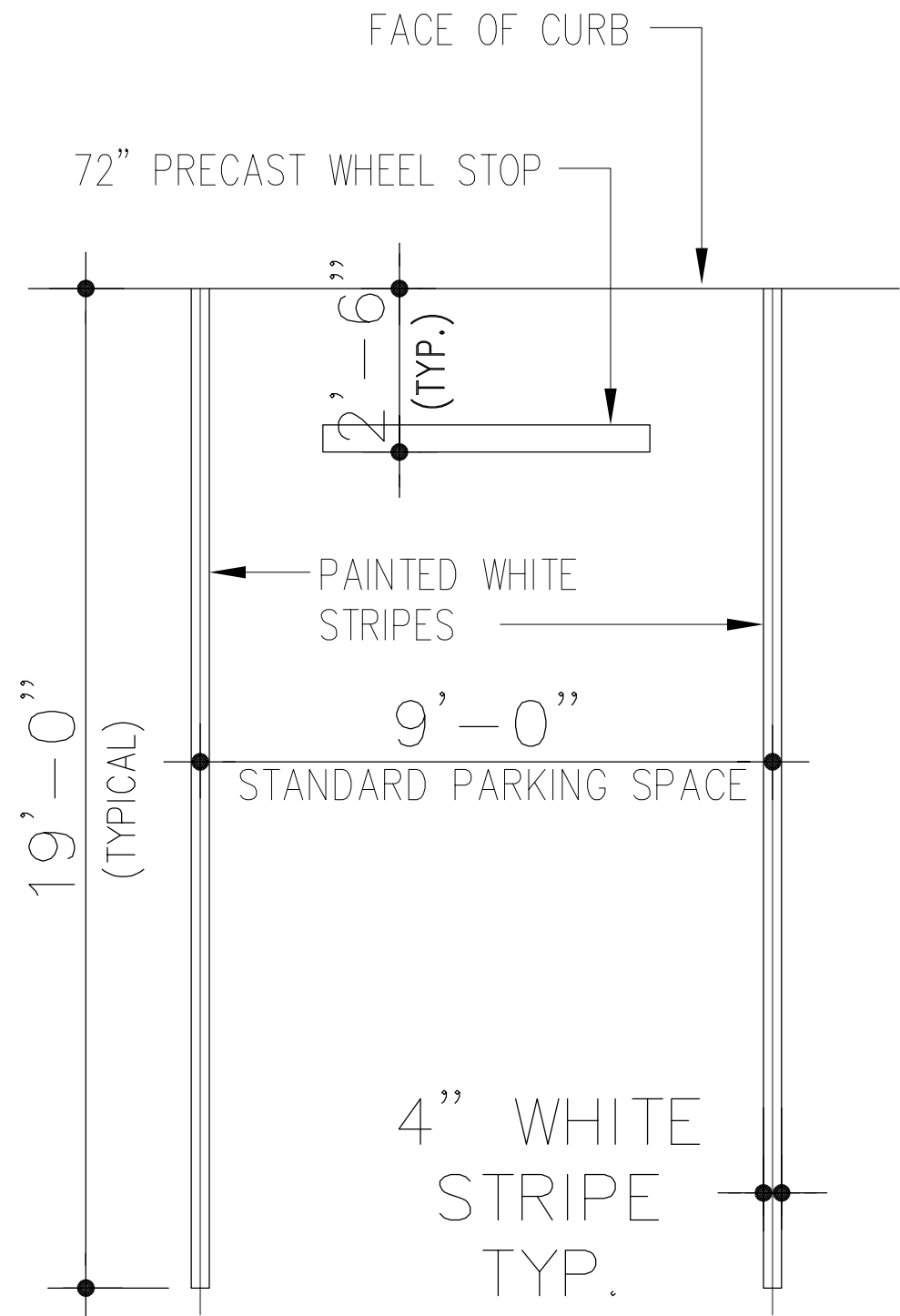
N.T.S.



ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTENDS THE FULL WIDTH OF THE RAMP AND THE DIRECTION OF TRAVEL 36 INCHES FROM THE BACK OF CURB, PER BROWARD COUNTY BUILDING CODE.

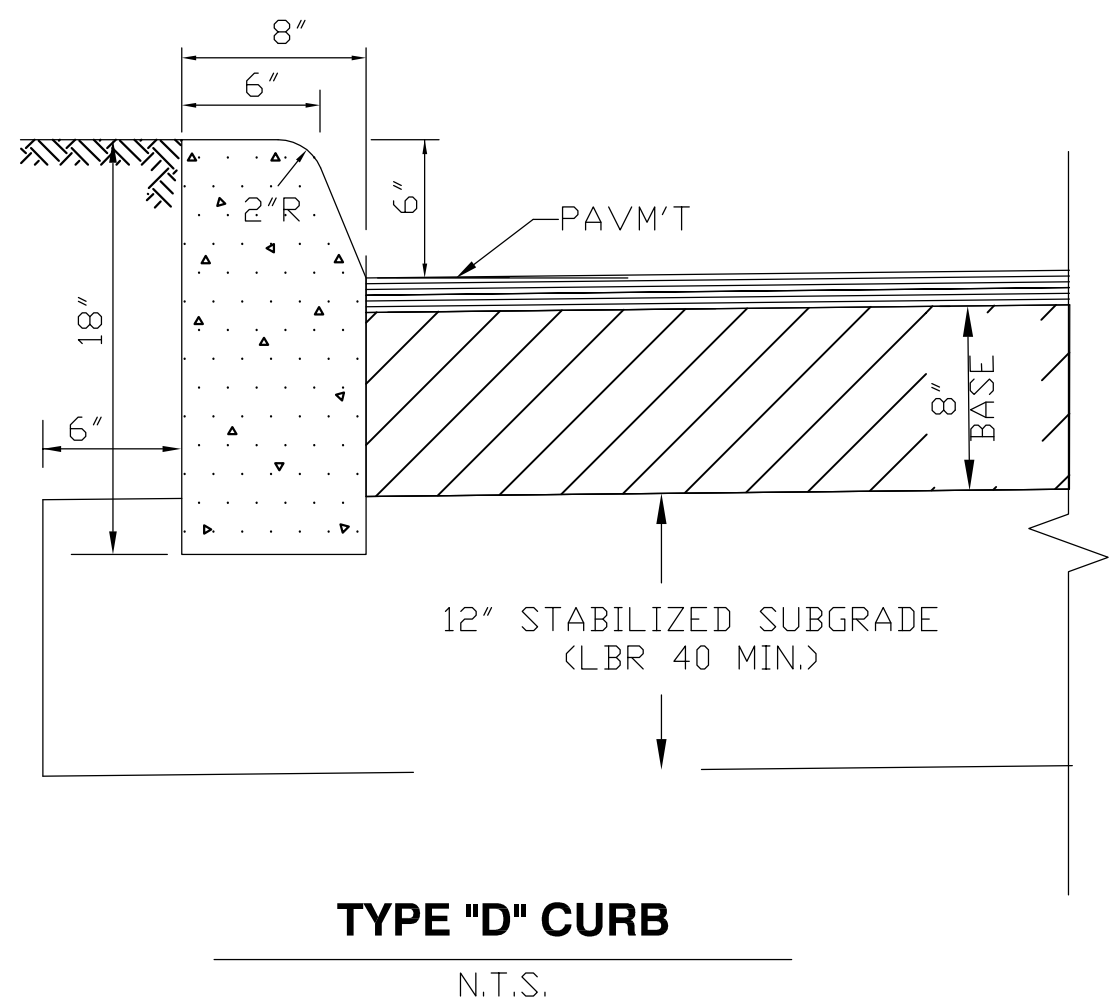
CURB RAMP DETECTABLE WARNING

N.T.S.



PARKING STALL DETAIL

NOT TO SCALE

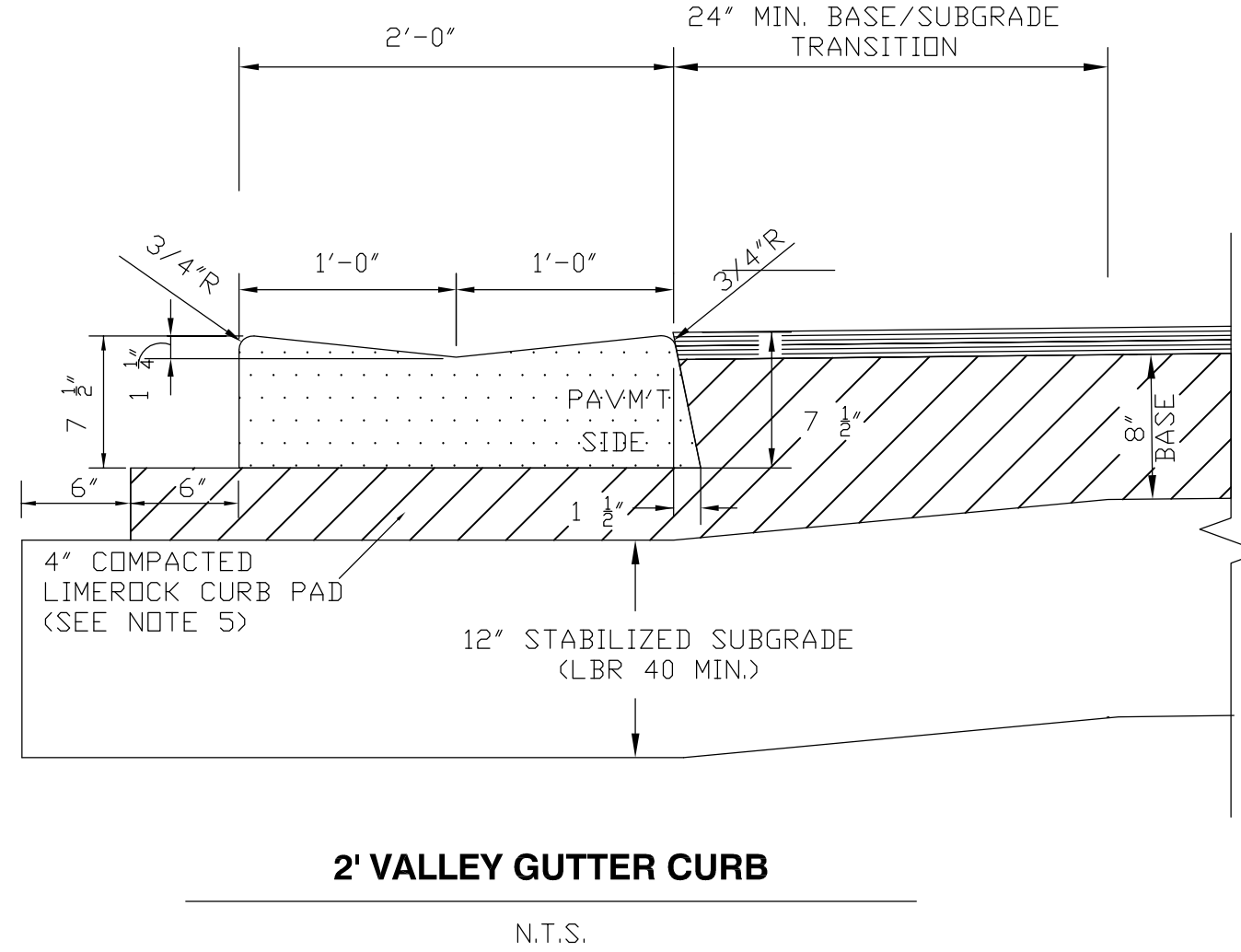


CURB NOTES:

1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
3. TYPE "D" CURB FOR PARKING LOTS MAY BE INSTALLED AS "TRENCHED" D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION. TRENCHED CURB REQUIRES CITY TRENCH INSPECTION AND APPROVAL. EXTRUDED CURB MUST BE PLACED WITHIN 15 MINUTES OF PLACEMENT OF TRENCH CONCRETE. EXTRUDED CURB AND TRENCH CONCRETE SHALL BE MONOLITHIC.

TYPE "D" CURB DETAILS

NOT TO SCALE



CURB NOTES:

1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
3. FOR COMMUNITY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
4. SEE PAVEMENT MINIMUM PAVEMENT DESIGN SECTION FOR COMPACTION REQUIREMENTS.
5. COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.

VALLEY GUTTER CURB DETAILS

NOT TO SCALE



GATOR ENGINEERING ASSOCIATES, INC.
1180 TEMPLE STREET
COOPER CITY, FL 33330
TEL: (888) 464-5865 FAX: (888) 464-5804
CERTIFICATE OF AUTHORIZATION NUMBER 30320

SEAL

DATE: 12-05-2016
REG. NO.: 13850
FL. E.L. NO.: 38550
P.E. BOB JACKSON

CRISPUS COMMONS TOWNHOMES
EVANS STREET & NORTH 22ND AVENUE
HOLLYWOOD, FLORIDA

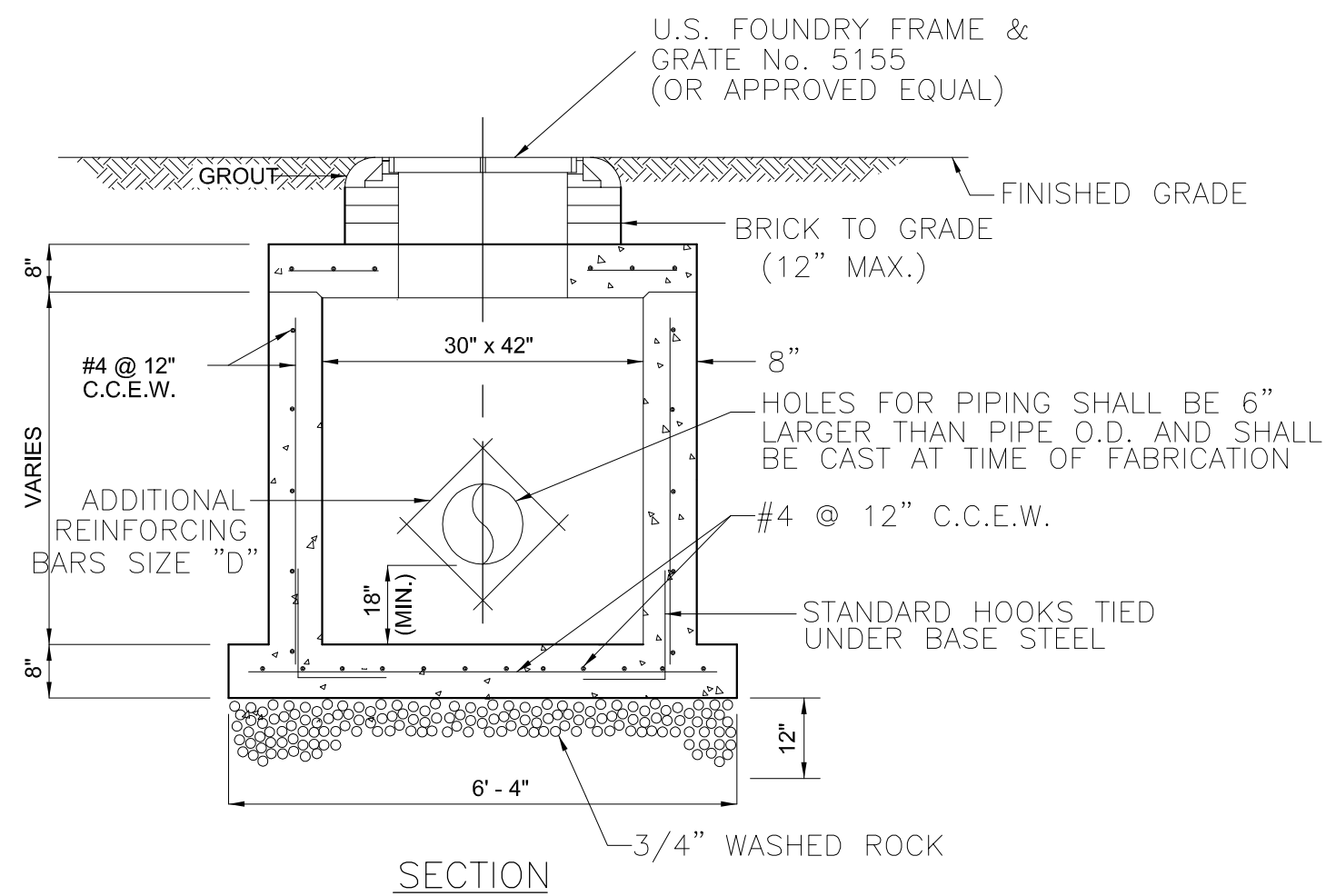
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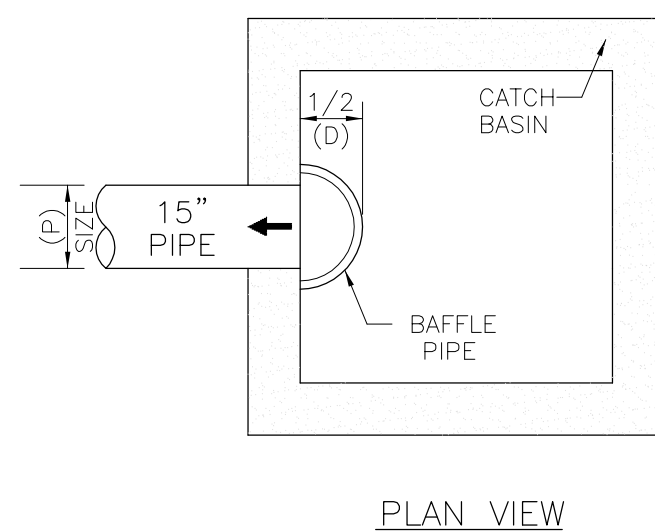
SHEET TITLE

DETAILS

C3 OF 4

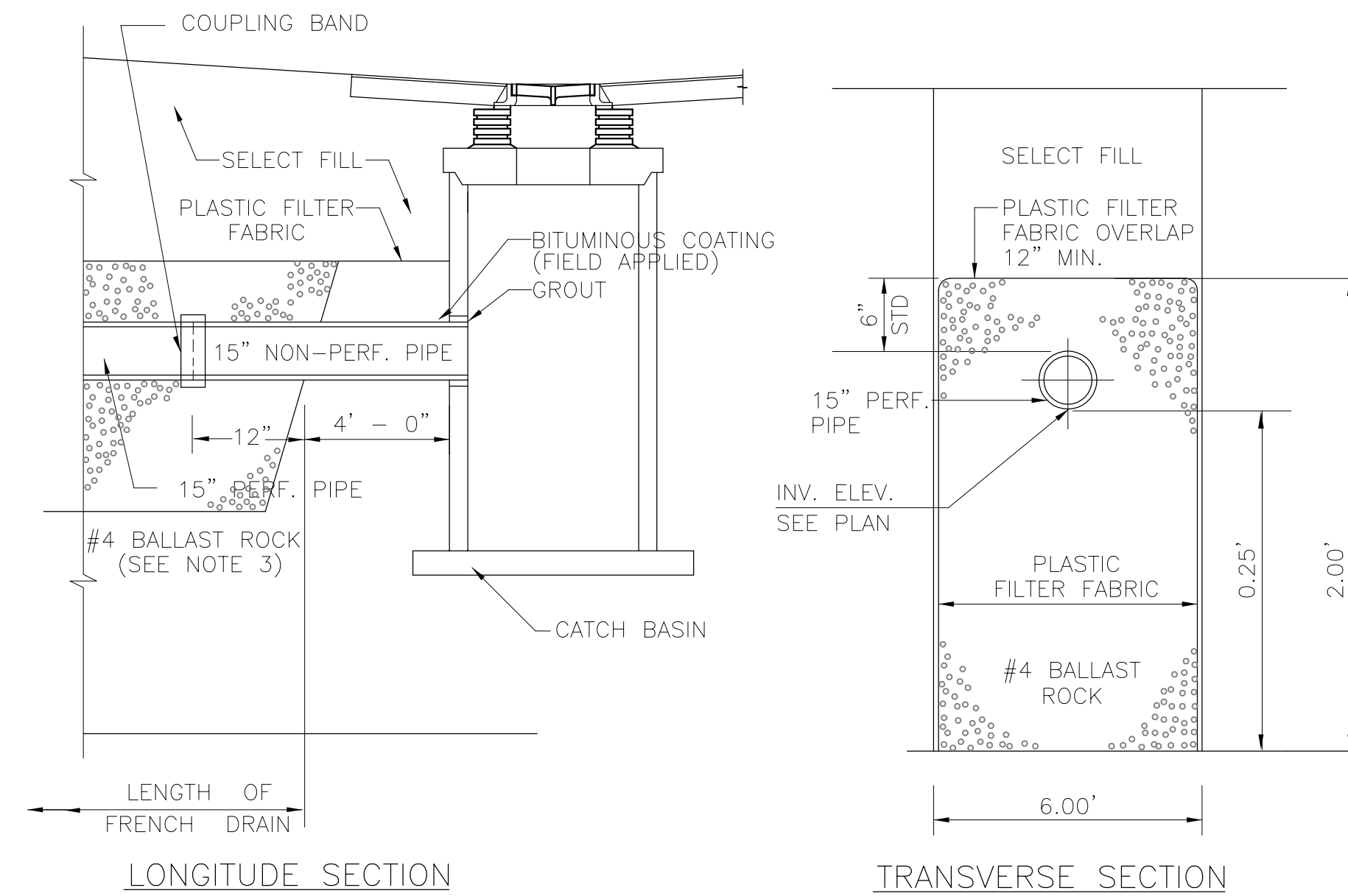
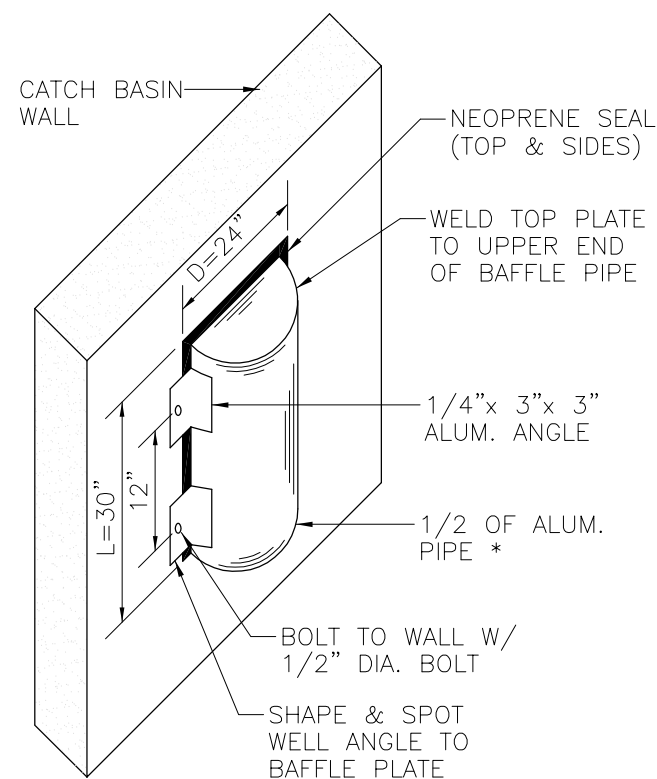


PRECAST DRAINAGE CATCH BASIN
N.T.S.



NOTE:
INSTALL BAFFLE WITH TOP PLATE
3" ABOVE TOP OF OUTFALL PIPE,
AND BOTTOM OF BAFFLE PIPE 6"
BELOW INV. OF OUTFALL PIPE.

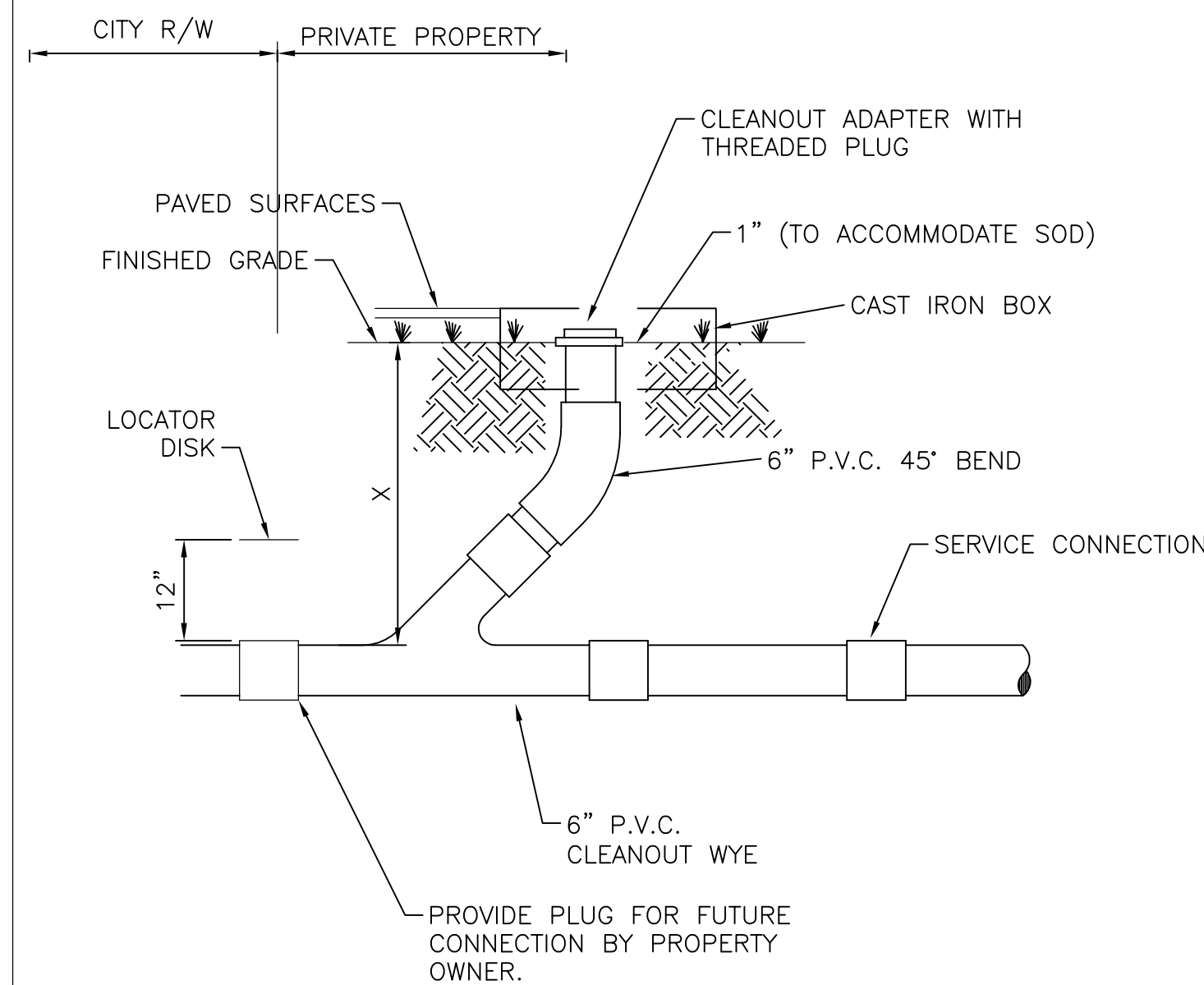
POLLUTION RETARDENT BAFFLE (PRB)
N.T.S.



NOTES:

1. PLASTIC FILTER FABRIC PER F.D.O.T. STD. INDEX # 285 SHALL BE USED AT EACH SIDE AND ON TOP, AND AT EACH END OF FRENCH DRAIN TRENCH.
2. THE DEPTH OF THE EXFILTRATION TRENCH SHALL BE 2.00 FEET.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY VIBRATED OR COMPACTED IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH CAN BE COMPLETED IN ACCORDANCE WITH THE DETAIL.

TYPICAL DETAIL - EXFILTRATION TRENCH
N.T.S.

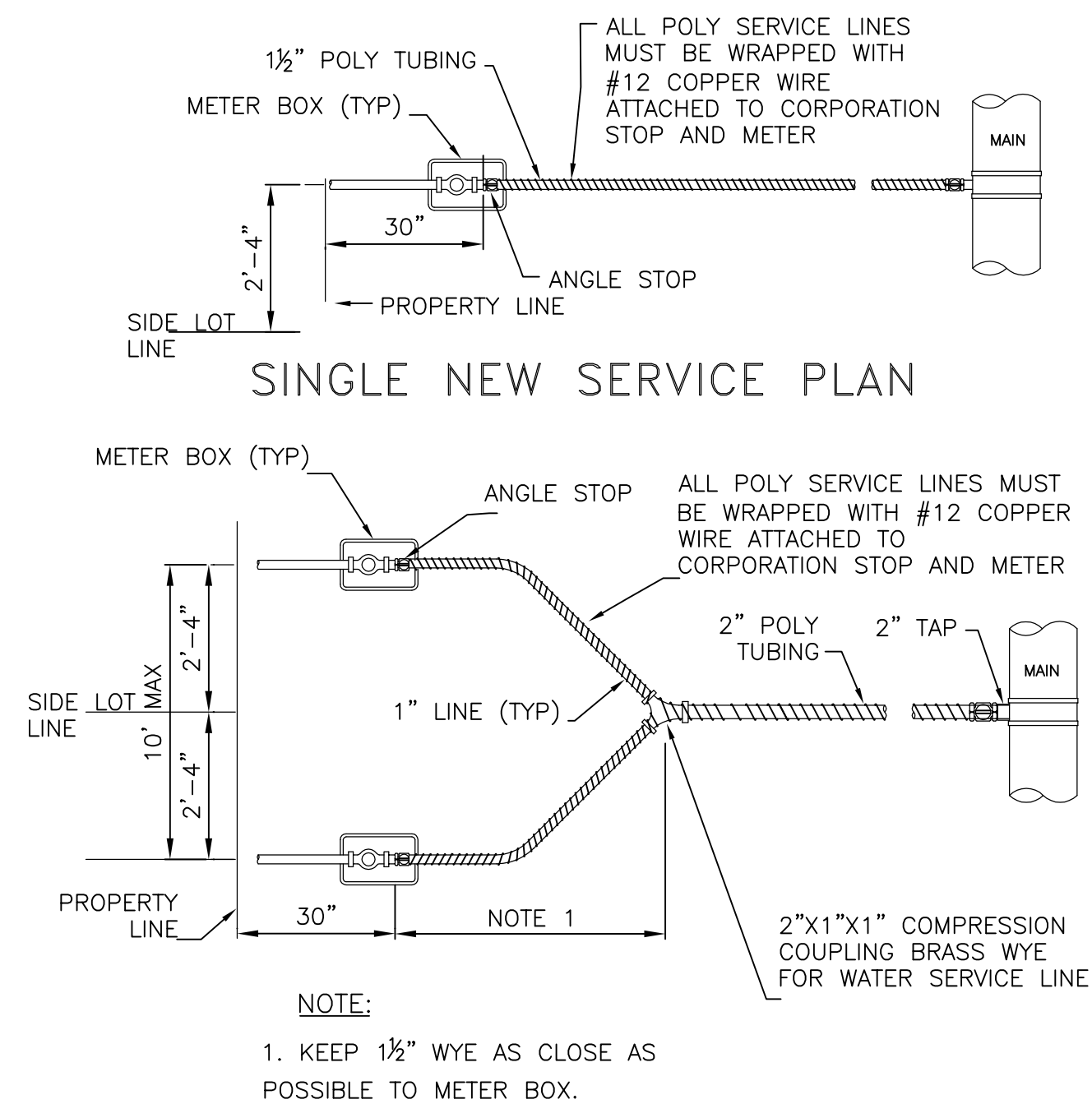


NOTES:

1. PROVIDE APPROVED PLUG OR JOINT FOR DISSIMILAR GRAVITY SEWER PIPE FOR SERVICE CONNECTION.
2. CLEAN-OUT ASSEMBLY SHALL BE INSTALLED BY PROPERTY OWNER.
3. X=3'0" MIN. OR 4'0" MAX. FOR RESIDENTIAL SERVICE UNLESS OTHERWISE SHOWN.

TYPICAL CLEANOUT INSTALLATION

209



NOTE:

1. KEEP 1/2" WYE AS CLOSE AS POSSIBLE TO METER BOX.

DOUBLE NEW SERVICE PLAN

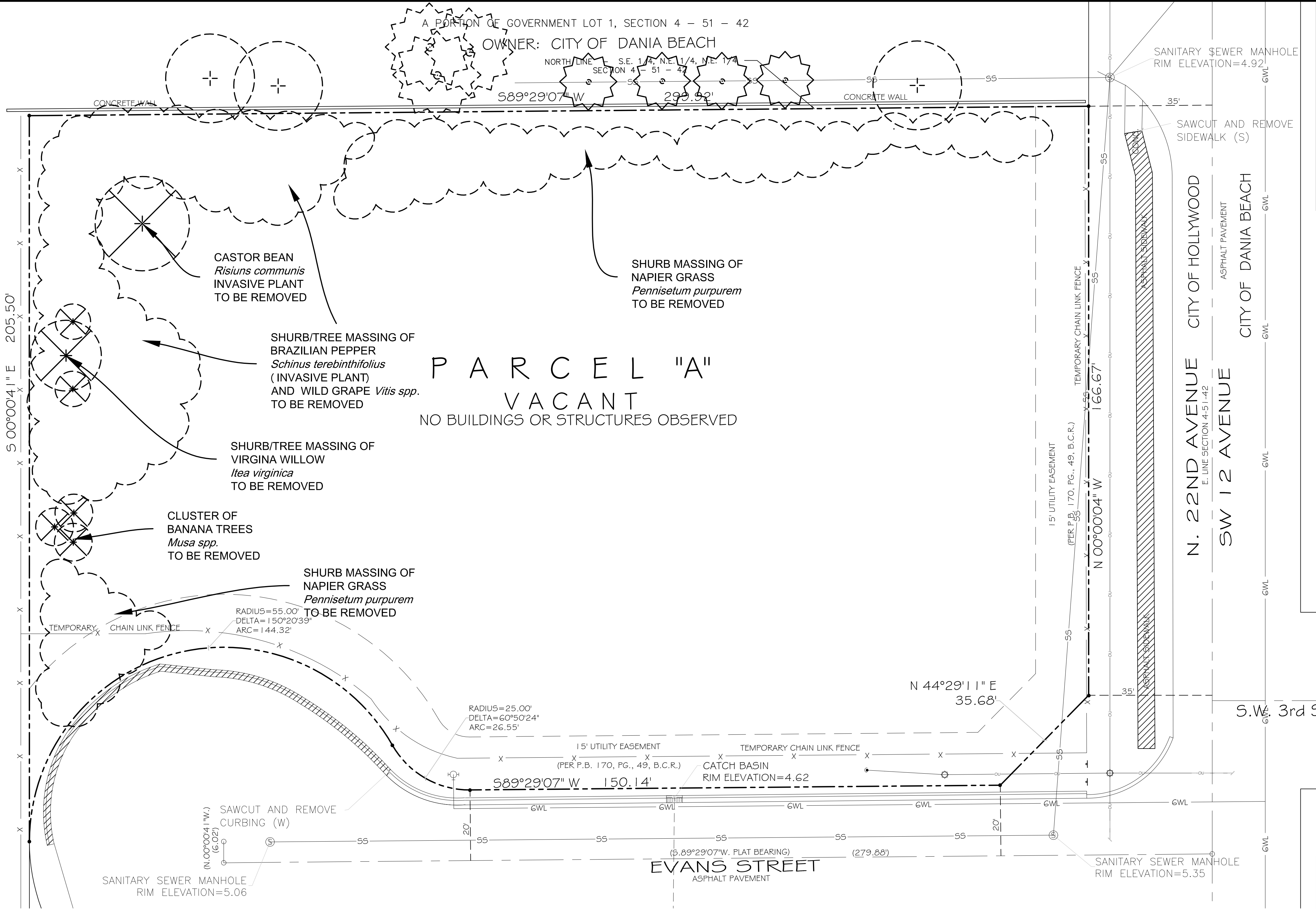
TYPICAL WATER SERVICE

301

ACREAGE

OWNER: CITY OF DANIA BEACH

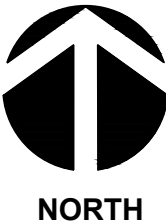
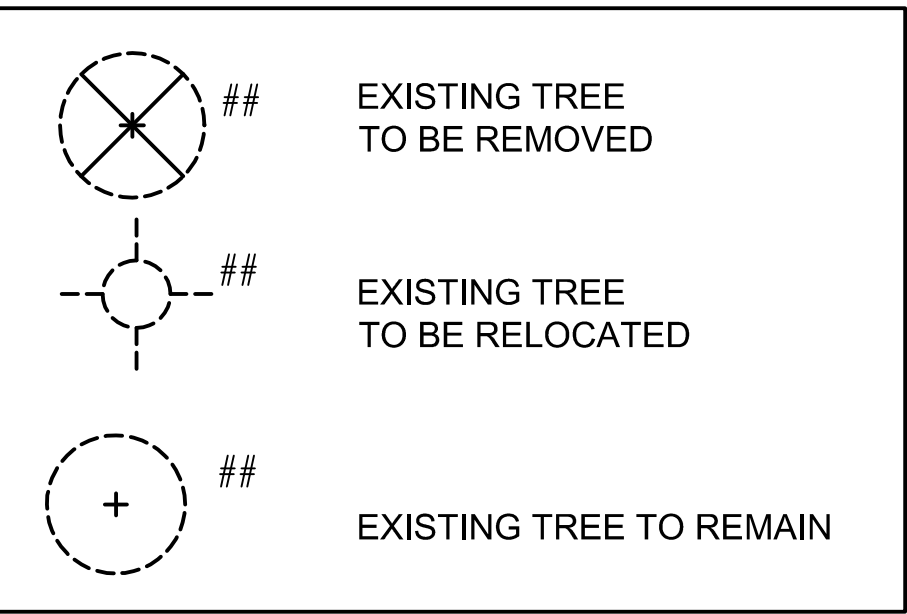
A PORTION OF GOVERNMENT LOT 1, SECTION 4 - 51 - 42



EXISTING TREE AND PLANT INVENTORY LIST

BOTANICAL NAME	COMMON NAME	APPROXIMATE HEIGHT IN FEET	CONDITION (Good 100%, Fair 75%, Poor 50%)	PLAN ACTION
<i>Schinus terebinthifolius</i>	BRAZILIAN PEPPER	30	INVASIVE	REMOVE
<i>Ricinus communis</i>	CASTOR BEAN	25	INVASIVE	REMOVE
<i>Itea virginica</i>	VIRGINIA WILLOW	20	50%	REMOVE
<i>Vitis spp.</i>	WILD GRAPE			REMOVE
<i>Pennisetum purpureum</i>	NAPIER GRASS			REMOVE
<i>Musa spp.</i>	BANANA			REMOVE

GRAPHIC KEY



LAC
LANDSCAPE ARCHITECT
CONSULTANTS
5215 W. Broward Boulevard
Plantation, Florida 33317
P (954) 581-1110 F (9) 581-7118
LC-26000422
Thomas J. Laubenthal, RLA
TOM@LACFL.COM
LA-0000563
Katy M. Adler, RLA
KATY@LACFL.COM
LA-0000563

DATE	REVISIONS:

DATE: 12-22-16
SCALE: 1" = 16'
DRAWING BY: AD
DESIGNED BY: AD

PROJECT: CRISPUS COMMONS PARCEL A
BROWARD COUNTY

HOLLYWOOD, FLORIDA

TREE INVENTORY PLAN:

PROJECT NO. 16-082
SHEET: TS-1 of 1

DATE: THOMAS J. LAUBENTHAL
ILA-0000563 ILC-26000422

PLANTING NOTES

1. All sizes for plant material shown on plan are to be considered as minimums. All plant material must meet or exceed all minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan will also be required for final acceptance.
2. All plant material furnished by the Landscape Contractor shall be Florida No.1 or better, unless otherwise specified , and shall be installed as specified in the most current edition of Grades and Standards for Nursery Plants, Part I by the Florida Department of Agriculture, Consumer Services Division, State Plant Board of Florida.
3. Landscape Design and installation shall conform to xeriscape landscape principles as included in the South Florida Water Management District's xeriscape Principle Guide II, updated version. Xeriscape requirements apply to all materials required by code. Additional plantings over and above code are provided to develop a higher aesthetic than code requires, and are not bound by these minimum standards.
4. In addition to these requirements all local landscape codes and requirements shall be met as a part of this base bid and contract in order to satisfy the review and approval of the governing municipality.
5. Quantities for landscape materials as noted on plans supersede any quantities listed in summary tables or lists.
6. All landscaping scheduled to occur in vehicular use areas shall be protected from vehicular encroachment by curbing or other durable barriers.
7. All planting holes shall have a minimum diameter of 2 1/2 times the diameter of the plant ball and have a minimum of 12" of soil on all sides of the plant ball. All planting holes shall be excavated to remove all objectionable materials, such as asphalt, sub-base, concrete, rock, caustic materials with an excessive soil Ph, or similar materials not suited for landscape planting. Planting hole(s) shall be dug to a depth that is 90% the height of the root ball, with the installed root ball resting on undisturbed soil. Top of root ball to be 10% above final grade. For small caliper trees of 4" or less, plant the root ball above grade 1" for every 1" caliper. (i.e. if you have a 3" caliper tree plant the rootball 3" above grade. For all shrubs and ground cover plant the rootball minimum 2" above grade.
8. All plant material shall be installed in planting soil that is delivered to the site in a clean, loose and friable condition. All soil shall have well draining characteristics. Soil must be free of all rocks, sticks, objectionable debris including weeds and weed seed. Minimum soil depth requirements may vary with each municipality. See details and local codes for clarification.
9. All plant materials shall be thoroughly watered in at the time of planting. No dry planting shall be permitted.
10. Local codes require specific formulas for the use of native plants, as well as calculations for required number of code size trees by type and caliper inch. See code calculation tables provided with plan drawings.

11. Plans and new plantings shall be required to provide for safe sight lines at all access and egress points from the site, as well as intersections. All emergency equipment such as fire hydrants shall be maintained as visible and accessible, free of obstruction by new plantings. Trees require setbacks from lighting poles and fixtures. The contractor is required to field adjust the location of plant materials to meet these standards as work in contract.
12. Fertilizer shall be applied directly to the surface of the plant bed immediately after installation and prior to mulching.
- Turf Areas - Sunniland Fertilizer 16-4-8, applied per mfg. recommendation noted on the bag.
- Shrub Areas - Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.
- Canopy Trees- Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.
- Palm Trees - Atlantic Fertilizer Palm Mix 8-4-12 plus Minors, applied per mfg. recommendation noted on the bag.
13. All landscape areas not covered by shrubs or ground cover shall be planted with sod, and conversely all areas not covered by sod shall be covered with mulch to a minimum depth of (3) three inches of cover when settled. Mulch shall be kept 3" away from the face of the trunk (tree or palm). Eco-Cypress mulch or Eco-Melaleuca mulch shall be used; see natural mulch products at www.mulchingsolutions.com for product information or call 561-499-8148.
14. Sod shall be (as noted) solid sod, and shall be laid on a smooth planting base which has been graded to meet the drainage characteristics of the site. All sod shall be laid with closely fitted joints, and shall be in a green and healthy growing condition at planting. Sod shall be free of disease, debris, sticks, rocks and weeds. Variety as specified in plans. Where sod is abutting shrub and/or ground cover beds, the sod line shall be cut in a clean smooth line (radial or straight) free of any jagged or crooked edges.

15. All landscape areas shall be finished graded such that they are flush and level with the surrounding paved surfaces as not to impede the flow of drainage into landscape areas and to prevent the back wash of mulch and debris onto paved areas.

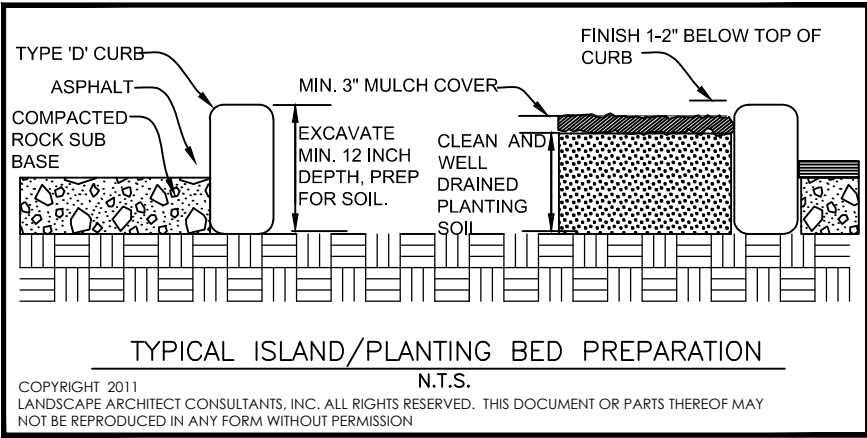
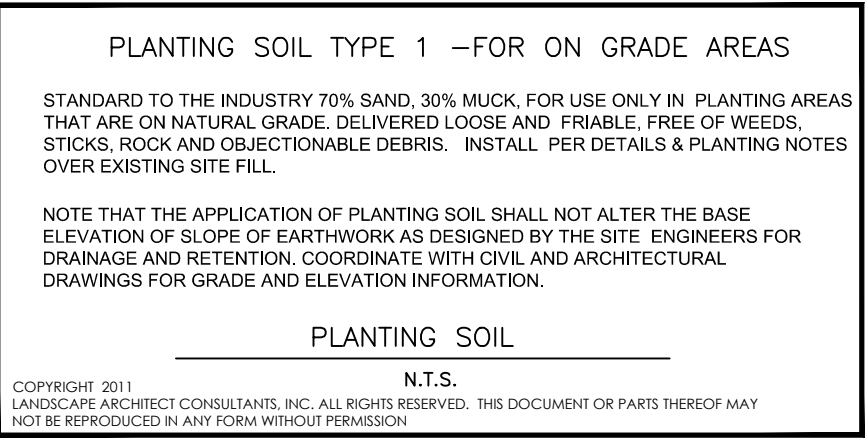
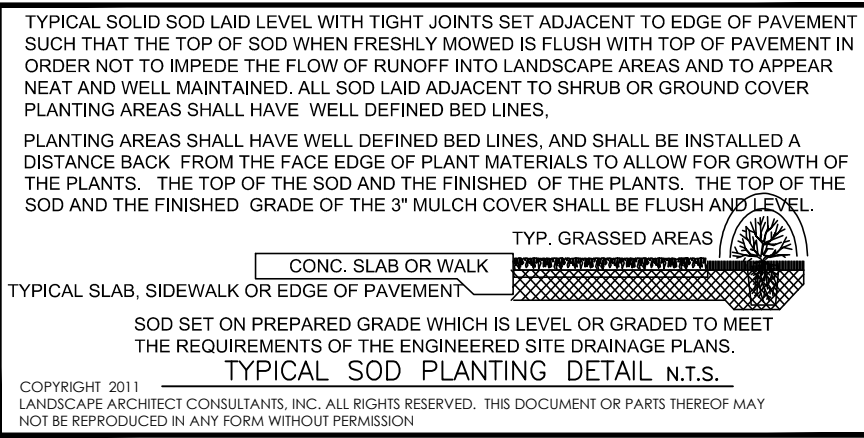
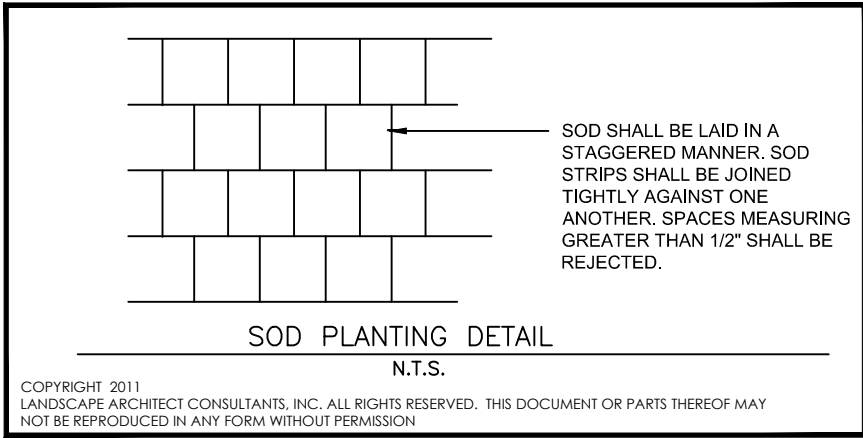
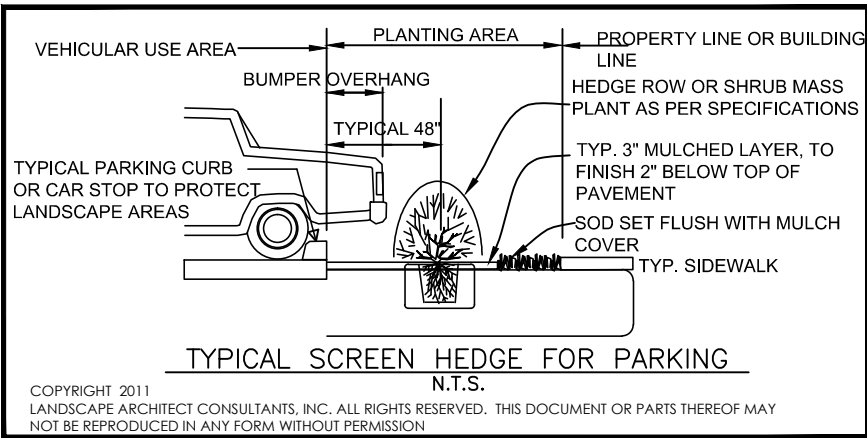
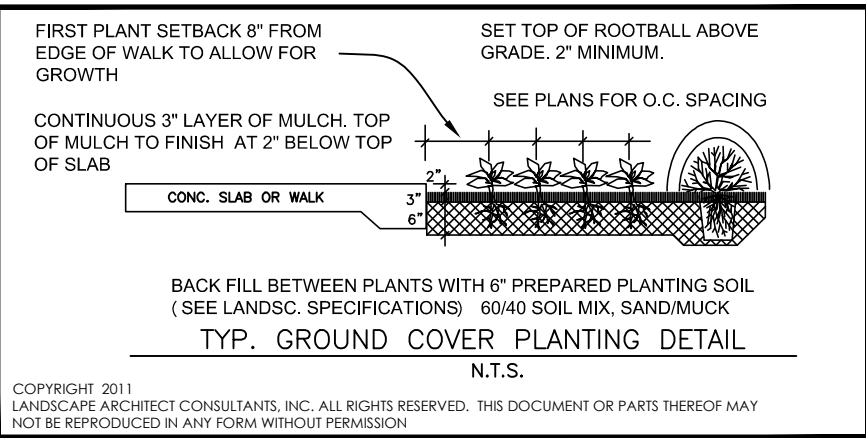
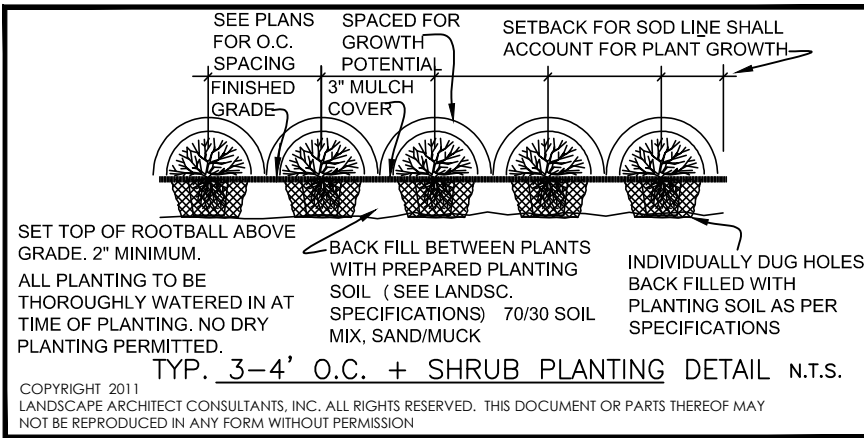
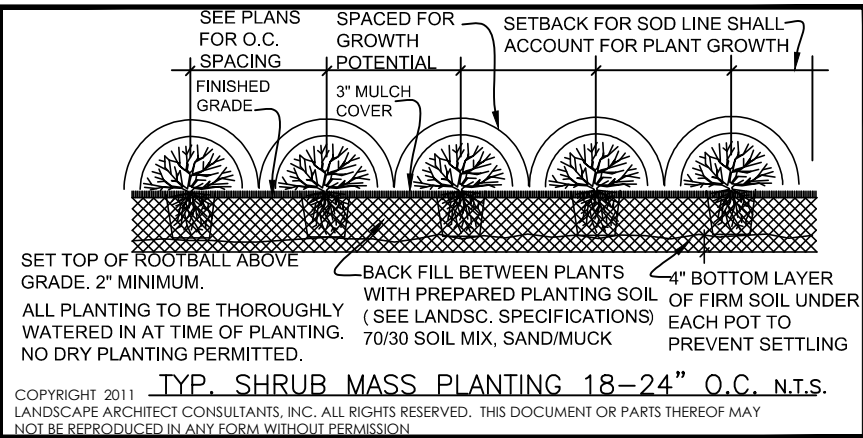
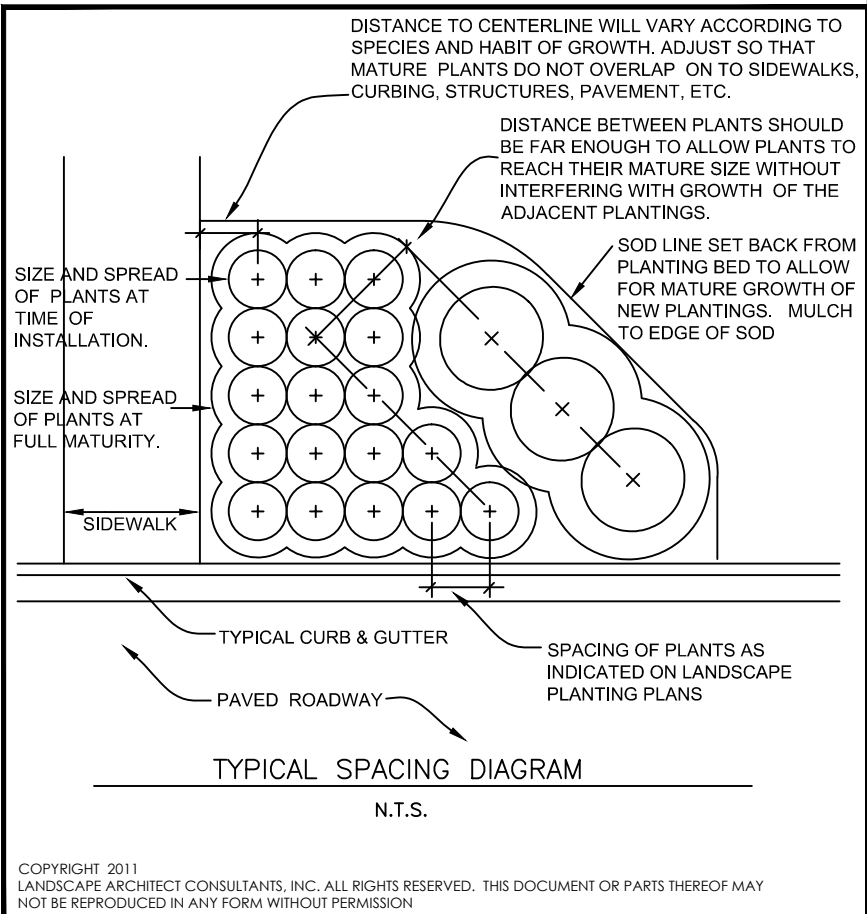
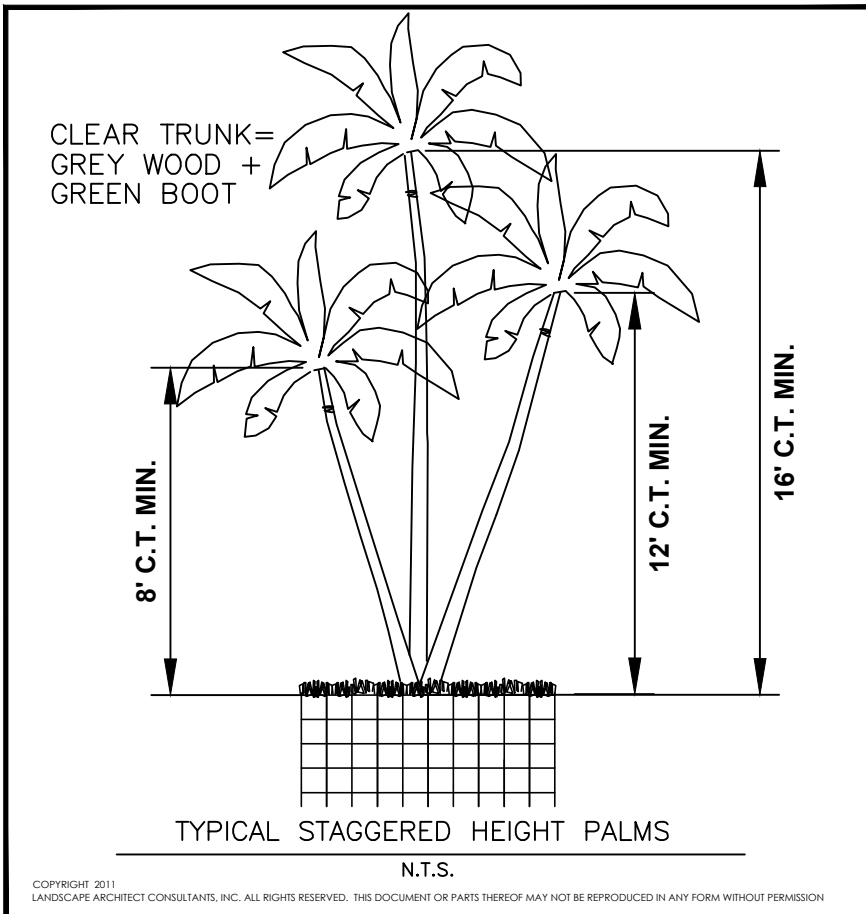
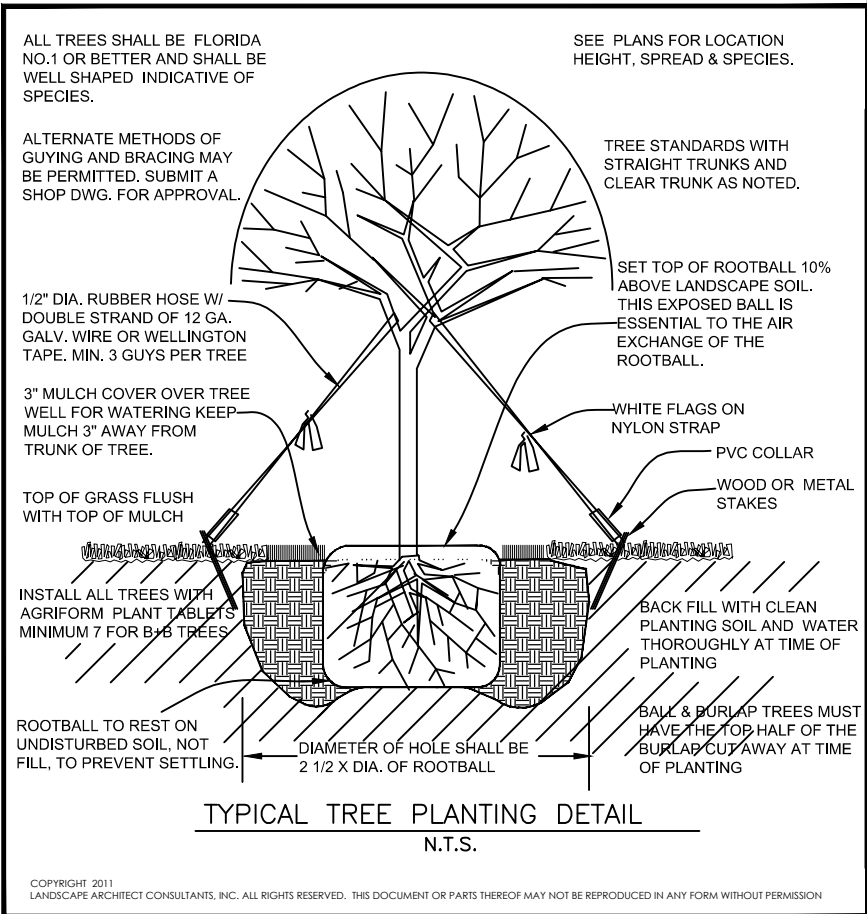
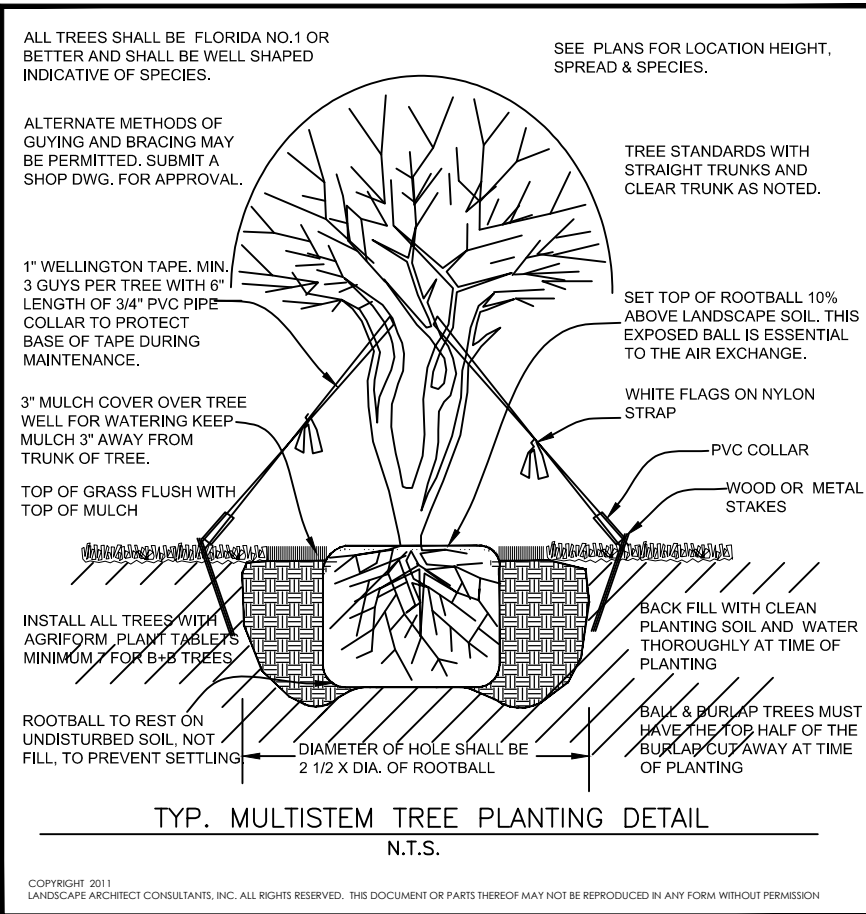
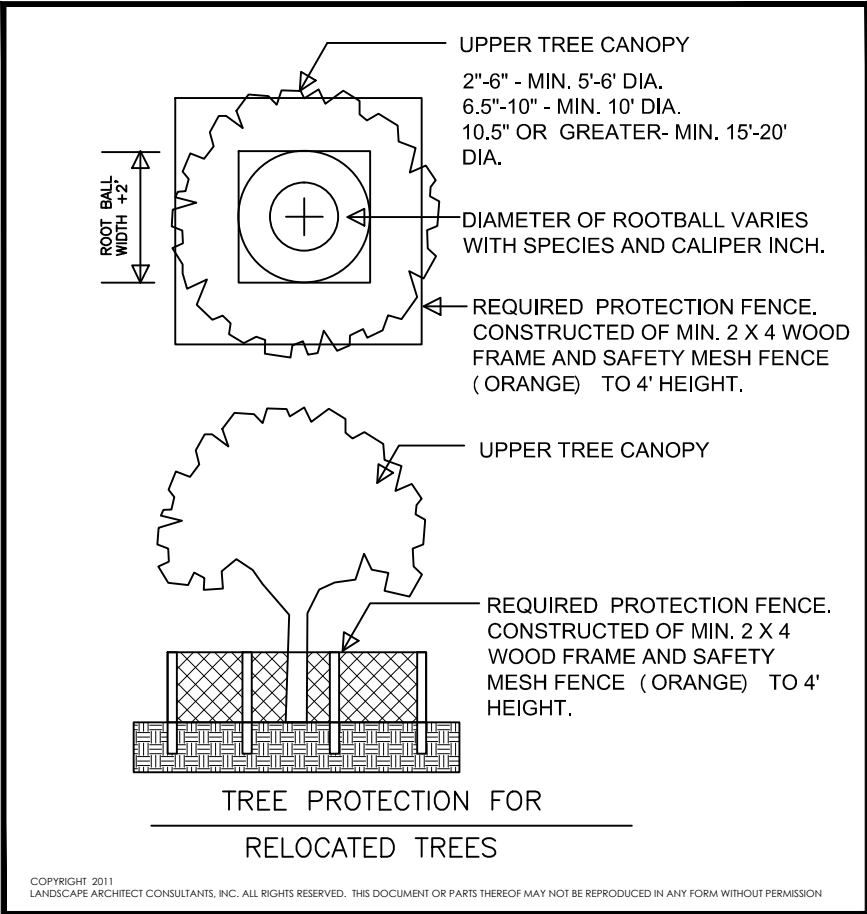
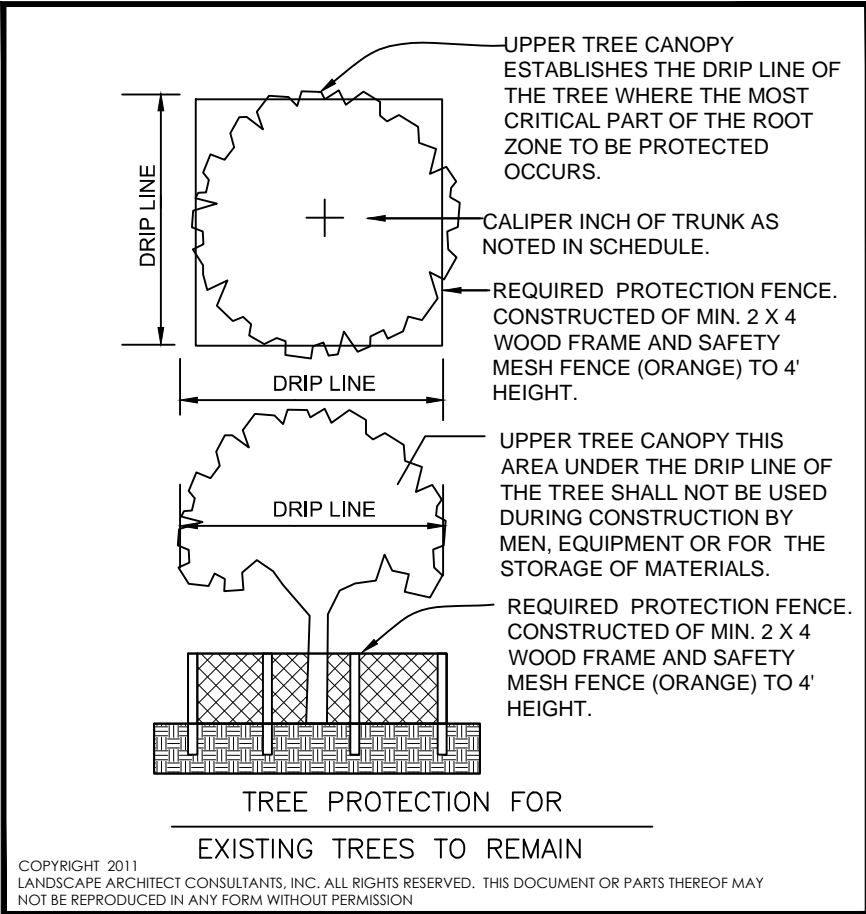
16. All new landscaped areas shall be excavated of all road rock, existing site fill down to a depth of 12" minimum from top of curb. SEE DETAIL THIS SHEET FOR SPECIFICS.

17. All landscape areas shall be irrigated by a fully automatic system adjusted to provide 100% coverage. All heads shall be adjusted to minimum 100% overlap.
18. The irrigation system shall be equipped with a rain sensor shutoff device, hard wired to over ride the time clock, controller or pump station in the event of rain or equally wet conditions. This requirement conforms to the County and SFVWMD ordinance.
19. Any existing trees and their root zones on site shall be protected from damage during construction. All trees/palms to be removed or relocated shall require proper permitting and documentation of size, species, condition and proposed action. Established values for mitigation is required in the case of removals. Trees to be relocated shall be free of any hazardous defects and/or characteristics including but not limited to: Girdling roots, codominant leaders with bark inclusions, active trunk decay, stub cuts, open trunk wounds and broken leader(s). All permitting and review processes must be completed prior to any work being done. Any relocation's shall be root pruned in advance except for palm species. Palm fronds shall be hurricane cut in advance for any Sabal Palms to be relocated.

20. All selective trimming of existing and/or relocated trees on site, shall be done applying the standards of the American National Standards Institute, ANSI 300, 2001.
21. All new trees and relocated trees shall be guyed and braced applying the Standards of the National Arborist Association Guide Lines 1988 edition or most current.
22. All trees and palms shall be setback from roadways, walks and utility clear zones as required to conform to safety standards of the local municipality, FDOT and/or the utility companies, whether the plans show dimensions or not. These standards shall supersede all plan documents and are included in the work required by the contractor to complete the project.

23. Any substitutions to plant materials for areas addressed on the plans shall be approved by the governing municipality prior to work performed.
24. Landscape materials shall be maintained during construction as part of this base contract and any materials that die or decline below grades and standards shall be replaced immediately for final acceptance.

25. All landscape materials are guaranteed for full replacement including the material and labor for a period of one year from the time of final acceptance. This applies to any materials which are dead or have declined below grades and standards. The guarantee is void only in cases of 75 mph hurricane force winds at the site and/or a freeze below 35 degrees when established by the weather bureau as effecting the project location.
26. Medium and large maturing palms shall be planted at least 3' (feet) from all hardscapes and at least their typical frond length from a building or light pole.
27. Medium and large maturing trees shall be planted at least 5' (feet) from all hardscapes (e.g. sidewalks, driveways, pavers, curbs, etc.) They shall be planted a minimum of 10' (feet) from a building or light pole.



LAC

LANDSCAPE ARCHITECT CONSULTANTS

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LC-26000422

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LA-0000563

Katy M. Adler, RLA
KATY@LACFL.COM
LA-0000563

DATE	REVISIONS:

DATE:	I2-22-16
SCALE:	N. T. S.
DRAWING BY:	AD
DESIGNED BY:	AD

PROJECT: CRISPUS COMMONS PARCEL A BROWARD COUNTY

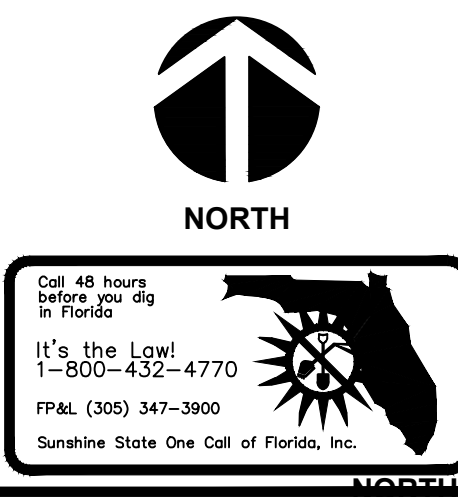
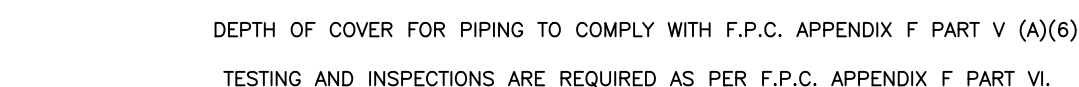
HOLLYWOOD, FLORIDA

LANDSCAPE NOTES & DETAILS:

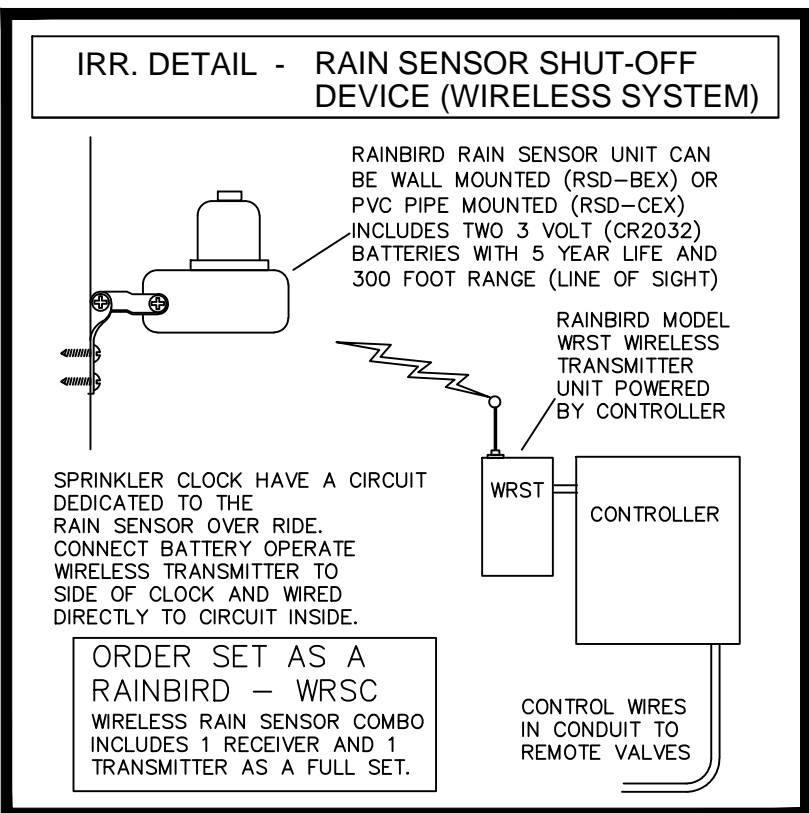
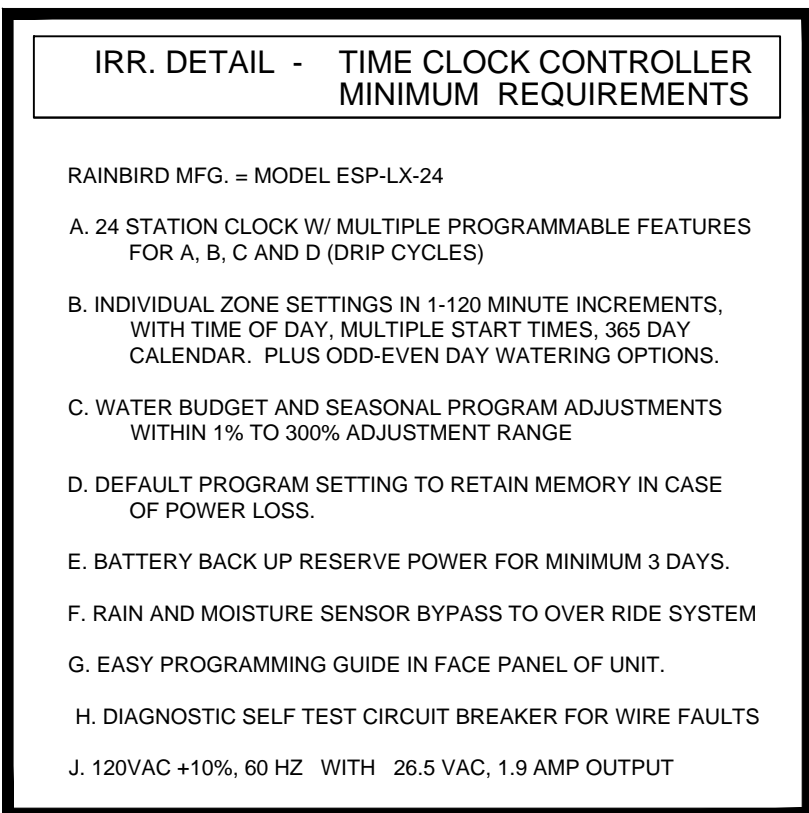
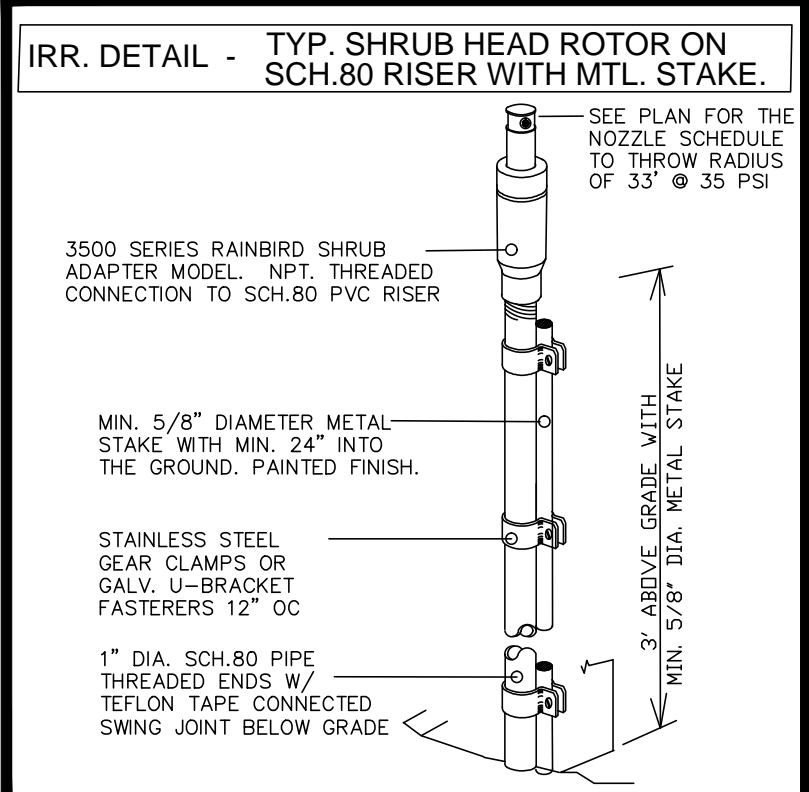
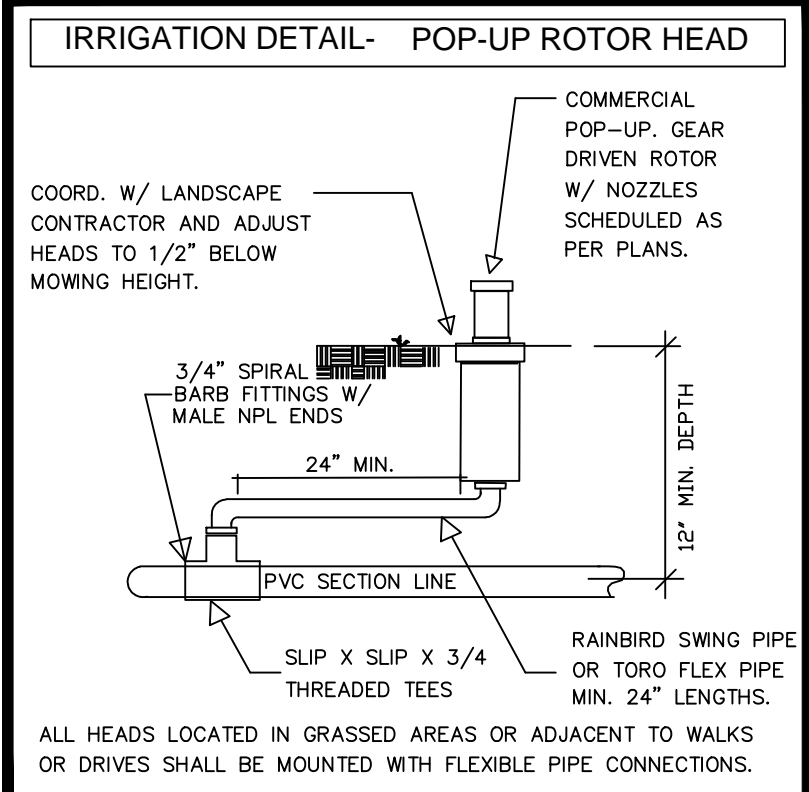
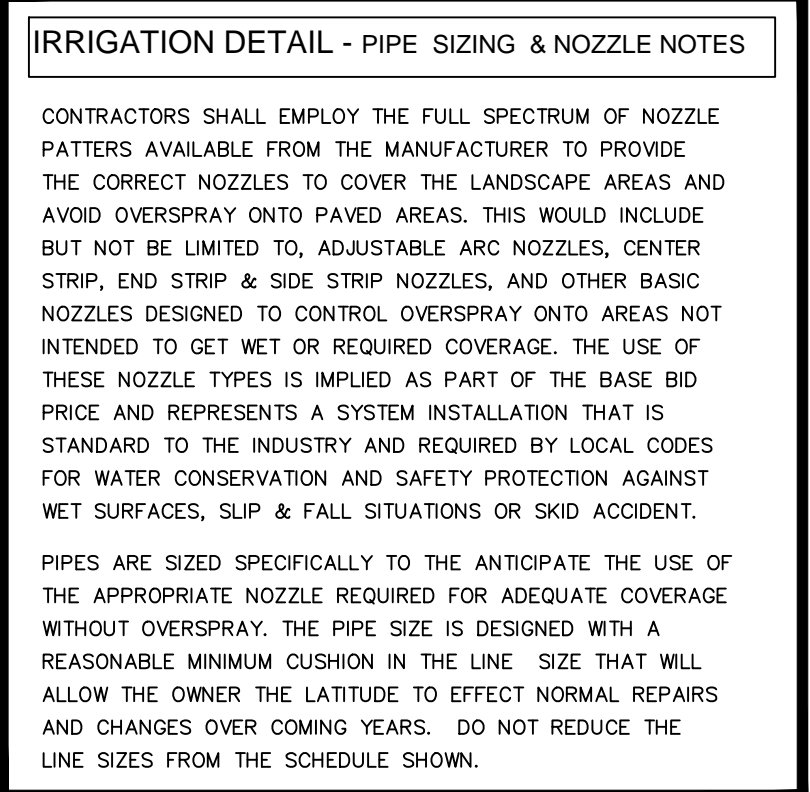
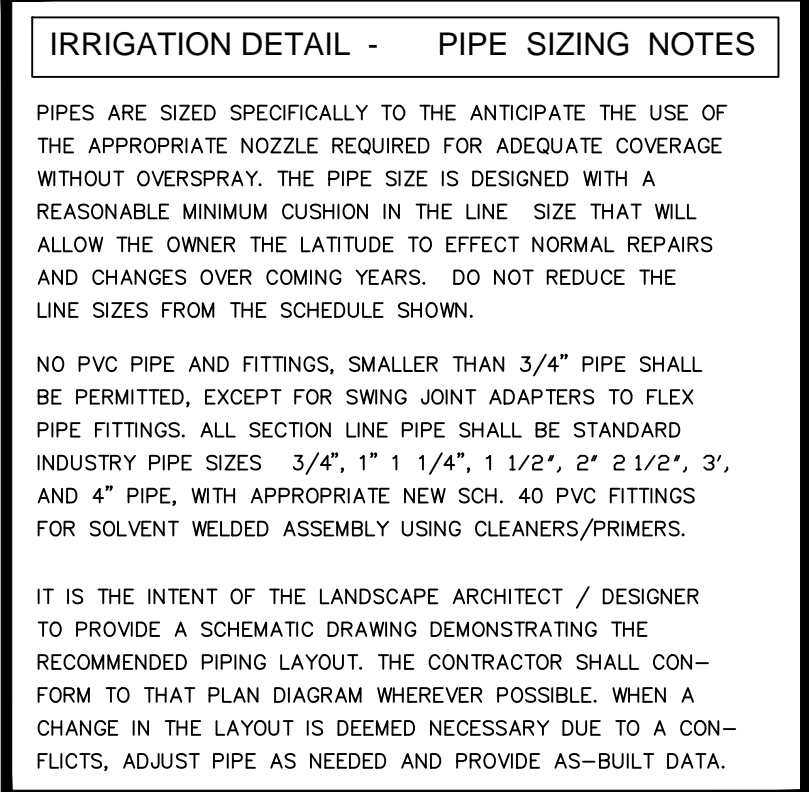
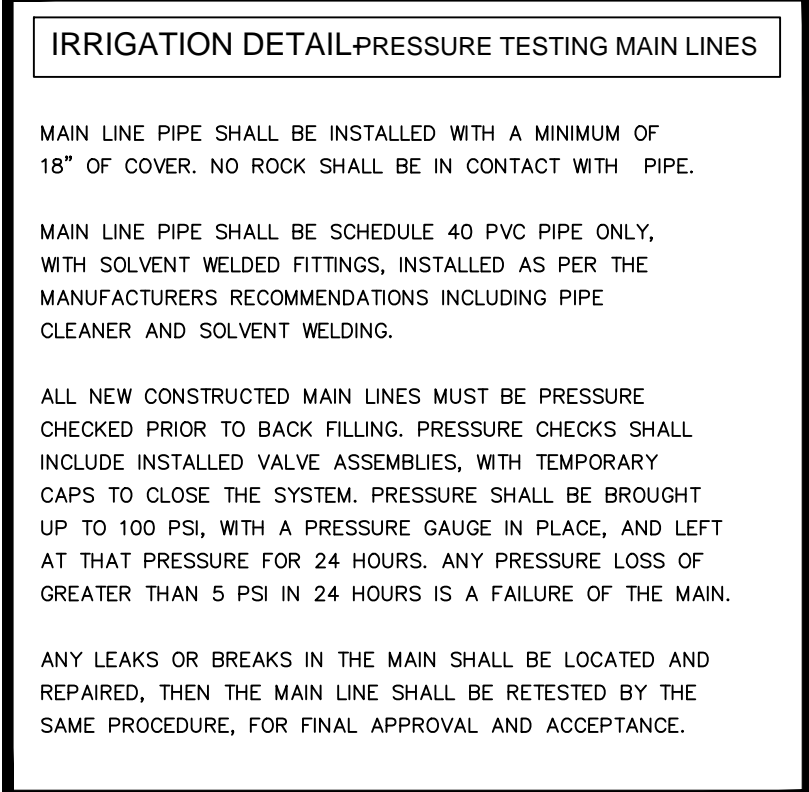
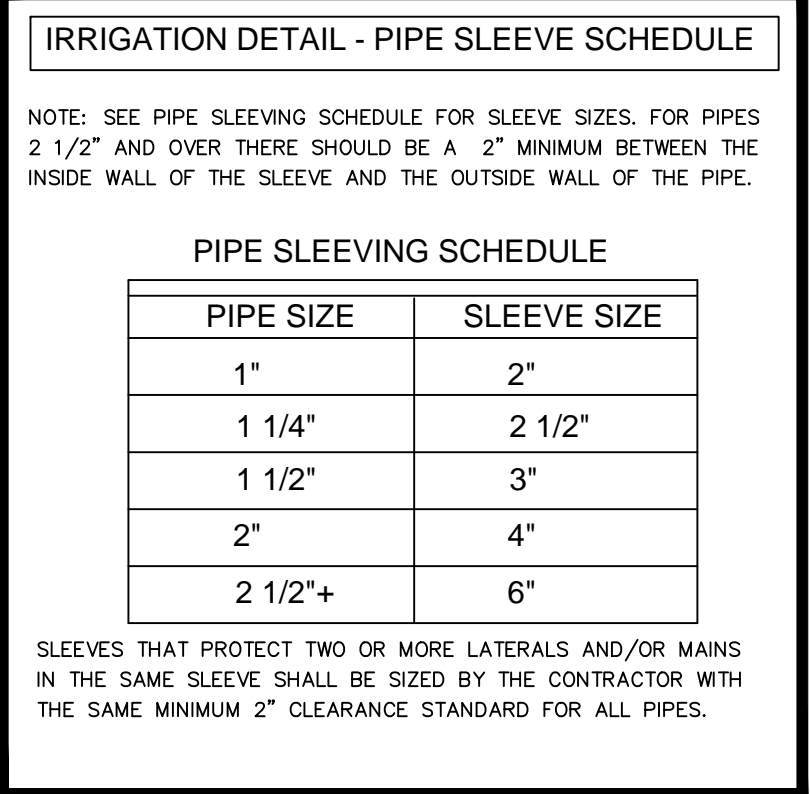
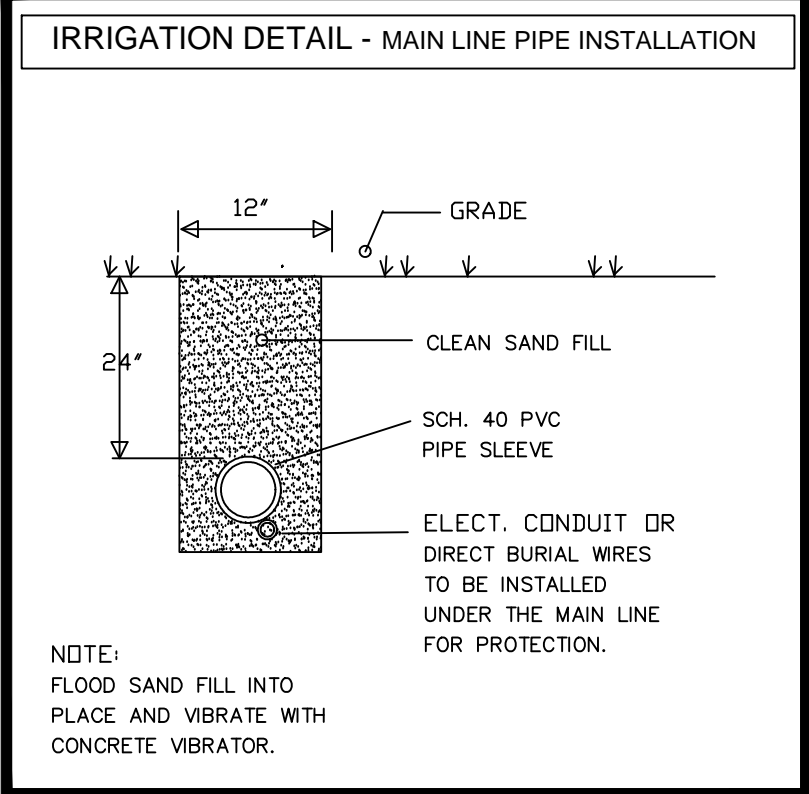
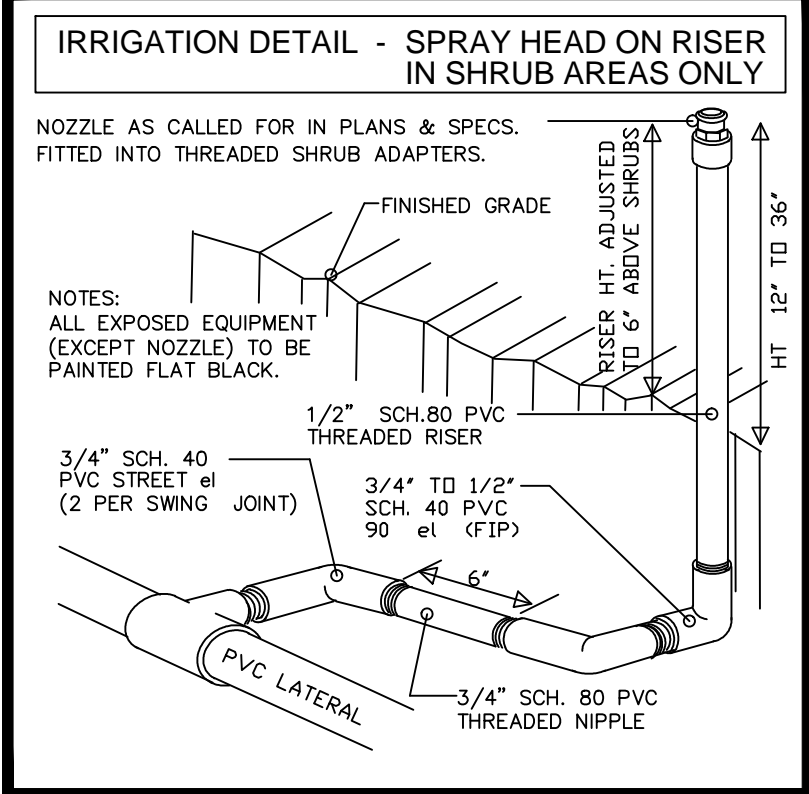
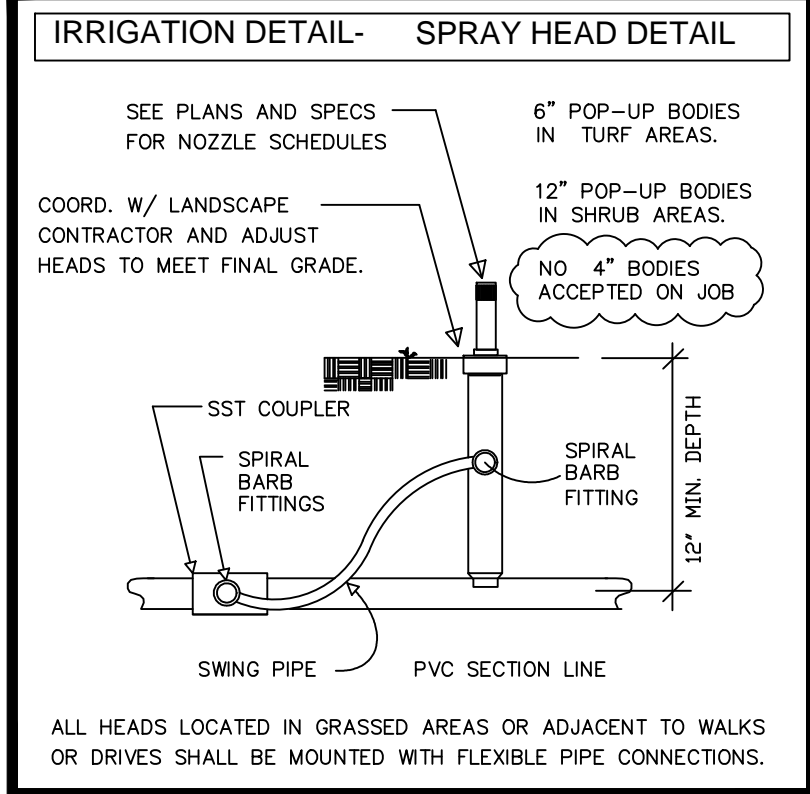
PROJECT NO. 16-082

SHEET: LP- 2 of 2

DATE: THOMAS J. LAUBENTHAL ILLA-0000563 ILC-26000422



DATE:
THOMAS J. LAUBENTHAL
#LA-0000563 #LC-26000422



FLORIDA FRIENDLY CODE REQUIREMENTS FOR IRRIGATION PLANS AND DETAILS			
CODE #	REQUIREMENT	STATUS	METHOD
A-1	IRRIGATION PLANS SHOWN AS FULL SCHEMATICS	PROVIDED	SEE PLANS
A-2-a	SOURCE CONNECTION AND DESIGN CAPACITY	PROVIDED	SEE PLANS
A-2-b	WATER PRESSURE AT POINT OF CONNECTION (POC)	PROVIDED	PUMP SPECS
A-2-c	WATER METER SIZE	N.A.	N.A.
A-2-d	BACK FLOW PREVENTOR TYPE	N.A.	N.A.
A-2-e	FULL PUMP STATION SPECIFICATION AND DETAILS	PROVIDED	PUMP SPECS
A-2-f	PRECIPITATION RATE EXPRESSED IN INCHES PER HOUR	PROVIDED	DETAILS+SPECS
A-2-g	FLOW RATE SCHEDULE WITH PIPE SIZING CHART	PROVIDED	DETAILS+SPECS
A-2-h	COMPLETE IRRIGATION LEGEND FOR HEADS & VALVES	PROVIDED	DETAILS+SPECS
B-1	IRRIGATION SYSTEM MATCHED TO PLANT MATERIAL TYPE	PROVIDED	SEE PLANS
B-2	SEPARATION OF TURF AND SHRUB WHERE PRACTICAL	PROVIDED	SEE PLANS
B-3	PRODUCTS LIST AND SPECIFICATION FOR ALL EQUIPMENT	PROVIDED	PLAN KEY
B-4	HEAD SPACING DIAGRAM WITH REQUIRED OVERLAP	PROVIDED	DETAILS+SPECS
B-5	FREE FLOW CONDITION PROTECTION FROM MAIN BREAKS	PROVIDED	DETAILS+SPECS
B-6	RAIN SENSOR SWITCH OR SOIL PROBE (sect. 373.62.FS)	PROVIDED	DETAILS+SPECS
B-7	PROGRAMMABLE CONTROLLER SPECIFIED W/ REQ. OPTIONS	PROVIDED	DETAILS+SPECS
B-8	NO ITEM LISTED IN CODE FOR THIS NUMBER	N.A.	N.A.
B-9	AUTOMATIC CONTROLLER W/ SEASONAL SETTING ADJUST.	PROVIDED	DETAILS+SPECS
B-10	TOTAL LIST OF CONTROLLER REQUIREMENTS	-	DETAILS+SPECS
B-10-a	PROGRAMMABLE FOR MINUTES, DAYS OR WK. & T. OF DAY	PROVIDED	DETAILS+SPECS
B-10-b	PROGRAMMABLE FOR MULTIPLE START TIMES	PROVIDED	DETAILS+SPECS
B-10-c	AUTOMATIC SHUT-OFF AFTER ADEQUATE RAIN FALL	PROVIDED	DETAILS+SPECS
B-10-d	MAINTAIN BACK-UP POWER & PROGRAM FOR MIN. 3 DAYS	PROVIDED	DETAILS+SPECS
B-10-e	PROGRAMS ADJUSTABLE TO WATER RESTRICTION REQ.	PROVIDED	DETAILS+SPECS
B-11	RECOMMENDED MAINTENANCE SCHEDULE FOR IRR. EQUIP.	PROVIDED	DETAILS+SPECS
B-12	HEADS ON SAME ZONES W/ MATCHED PRECIPITATION RATE	PROVIDED	SEE PLANS
B-13	DESIGN UNIFORMITY FOR EMITTER TYPE,SPACING,PRESSURE	PROVIDED	DETAILS+SPECS
B-14	MEASURABLE IRR. WATER USE FOR SYSTEM OVERT 70 GPM	PROVIDED	DETAILS+SPECS
B-15	PLANS TO INCLUDE FINAL SYSTEM TESTING REQUIREMENTS	PROVIDED	DETAILS+SPECS
B-16	SCHEMATIC DESIGN TO DEFINE ZONES & PLANT TYPES	PROVIDED	SEE PLANS
B-17	RAIN SENSOR SWITCH OR SOIL PROBE (sect. 373.62.FS)	PROVIDED	DETAILS+SPECS
B-18	PROVIDE TRACER WIRE WITH MAIN LINES OVER 2" DIA.	PROVIDED	DETAILS+SPECS
B-19	WELL BASES SYSTEMS REQUIRE PUMP CYCLE CONTROL	N.A.	N.A.
B-20	HEADS ON HIGH SLOPES WILL REQUIRE CHECK VALVES	N.A.	N.A.
B-21	NOZZLE PRECIPITATION RATES MATCHED WITHIN 20%	PROVIDED	DETAILS+SPECS
B-22	NO WATER SPRAY UNDER ROOF OVERHANGS.	N.A.	N.A.
B-23	APPLY SMALL AREA EMITTERS FOR AREAS UNDER 4 FT.	PROVIDED	SEE PLANS
B-24	PRESSURE REGULATING VALVES REQUIRED OVER 50 PSI	PROVIDED	PROVIDED
C	REQUIREMENTS PROVIDED FOR END USER	-	-
C-1	IRRIGATION SCH. INFO. PROVIDED + INSTRUCTION	AT C.O.	AT C.O.
C-2	AS-BUILT PLANS TO BE PROVIDED TO END USER	AT C.O.	AT C.O.
C-3	OPERATION SCHEDULES FOR ESTABLISHMENT + REG. USE	AT C.O.	AT C.O.
C-4	EQUIPMENT MAINTENANCE DOCUMENTS TO BE PROVIDED	AT C.O.	AT C.O.
C-5	WHERE POSSIBLE MAINT. INFO TRANSFER TO NEXT OWNER	N.A.	N.A.
D	BACK FLOW PREVENTOR TO BE RECERTIFIED ANNUALLY	N.A.	N.A.
-	-	-	-

GENERAL SPRINKLER NOTES:

- IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL OTHER DRAWINGS OF THE PROJECT TO RESOLVE COORDINATION AND POTENTIAL CONFLICTS WITH EXISTING UNDERGROUND PIPES AND UTILITIES OR WORK BY OTHERS, PRIOR TO ANY WORK BEING DONE. MOST MAIN LINES SHARE ALIGNMENT WITH PERIMETER UTILITY EASEMENTS & SIGNIFICANT LANDSCAPE BUFFER PLANTINGS. AVOID CONFLICTS WITH ROOTBALL AREA OF TREES.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO CALL FOR LOCATIONS AND TO COORDINATE WITH LOCAL AGENCIES TO IDENTIFY LINES, PIPES, CABLES OF EASEMENTS WITHIN THE EFFECTED AREAS, PRIOR TO WORK.
- THE INSTALLING CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN LICENSE, AND PERMITS WITHIN THE MUNICIPALITY AND MIAMI-DADE COUNTY AS WELL AS THE RELATED FEES WITHIN THE CONTRACT PRICE. PERMITS FOR SOUTH FLORIDA WATER MANAGEMENT DISTRICT ARE PULLED BY THE OWNER. (QUALIFIED APPLICANT 104.6.1.2) PERMITS WILL ONLY BE ISSUED TO QUALIFIED PEOPLE OR FIRMS. QUALIFICATION SHALL BE IN ACCORDANCE WITH; THE RULES OF THE BROWARD COUNTY CENTRAL EXAMINING BOARD, ORDINANCE 78-9 AND CHAPTER 9 OF THE COUNTY CODES; STATE DBPR, CHAPTER 489, PART 1 OF FLORIDA STATE STATUTES; OR OTHER EXAMINING BOARDS APPROVED BY THE BROWARD BOARD OF RULES AND APPEALS.
- THE HORIZONTAL CONTROL FOR THE PROJECT WILL BE ESTABLISHED BY THE GENERAL CONTRACTOR WHO WILL LOCATE AND STAKE PROPERTY LINES, ALL RECORDED EASEMENTS, LIMIT OF WORK LINE, LIGHT POLES, PAVED AREAS, PARKING ISLANDS, DRAINAGE STRUCTURES AND RELATED FEATURES.
- ALL MAINS AND SECTION LINES ARE SHOWN SCHEMATICALLY. LINES WHERE EVER POSSIBLE SHALL BE CONSOLIDATED INTO COMMON TRENCHES. THE CONTROL WIRES IN GRAY ELECTRICAL CONDUIT SHALL BE LOCATED UNDER THE MAIN FOR PROTECTION.
- ALL MAIN LINES SHALL BE BURIED A UNIFORM 24" BELOW GRADE. ALL SECTION LINES SHALL BE INSTALLED A MINIMUM OF 12" BELOW GRADE.
- SLEEVES UNDER ROADWAYS MAY BE DEEPER THAN 24" TO COORDINATE WITH ROADWAY CONSTRUCTION REQUIREMENTS OR TO COORDINATE WITH UTILITIES. SLEEVES UNDER PAVED PARKING AREAS WILL TYPICALLY MAINTAIN A 24" DEPTH TO ALIGN WITH MAIN LINE INSTALLATION DEPTHS.
- ALL MAIN LINE PIPE SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241.
- ALL SECTION LINE PIPE FROM 3/4" TO 2" I.D. SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241. ALL SECTION LINE PIPE FROM 2.5" TO 6" SHALL BE SDR-26 (160 PSI) PVC 1120 TYPE 1 PIPE.
- ALL PIPING IS SIZED TO MEET DESIGN CALCULATIONS FOR GPM FLOW AND FOR A PRE-DESIGNED CUSHION TO ALLOW FOR NOMINAL REPAIRS AND FOR MODIFICATIONS TO THE SYSTEM WHICH OCCUR OVER TIME IN NORMAL OPERATION OF SYSTEM. LINE SHALL BE INSTALLED TO THE SIZE AS SHOWN IN PLANS. DOWN SIZING LINES IS NOT PERMITTED WITHOUT A CHANGE ORDER AND A REVISION OF THE DRAWING. THE CONTRACTOR MAY SUGGEST REVISION OR VALUE ENGINEERING WITH THE LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVALS PRIOR TO IMPLEMENTATION.
- ALL PVC SOLVENT WELDED ASSEMBLY SHALL BE CLEANED AND PRIMED PRIOR TO THE SOLVENT WELD. ALL PVC CEMENT SHALL CONFORM TO ASTM D-2564. ALL PVC PIPE CLEANER SHALL CONFORM TO ASTM F-656.
- ALL WORK SHALL BE DONE IN A GOOD WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND STANDARDS OF THE FLORIDA IRRIGATION SOCIETY, BROWARD CHAPTER AND FLORIDA BUILDING CODE APPENDIX F.
- ALL CONTROL WIRES SHALL BE U.L. APPROVED DIRECT BURIAL TYPE PLASTIC COATED WIRE, AWG SIZE MINIMUM 14 GAUGE SOLID OR 12 STRAND WIRE. ALL SPLICES SHALL BE MADE WITH RAINBIRD ST-03 SNAP TIGHT WATERPROOF CONNECTORS. ALL WIRES SHALL BE MARKED WITH DURABLE TAGS IDENTIFYING EACH AND ALL WIRES.
- ALL CONTROL WIRES SHALL BE INSTALLED IN U.L. APPROVED SIZE OF CLASS 160 GRAY ELECTRICAL CONDUIT WITH SWEEPS UP INTO A PULL BOX OR VALVE BOX ASSEMBLY.
- THE IRRIGATION CONTRACTOR SHALL BRING THE CONTROL WIRES TO THE TIMECLOCK/CONTROLLER AND CONNECT ALL WIRING ON THE LOW VOLTAGE SIDE OF THE PANEL. ALL HIGH VOLTAGE WIRING AND POWER IS PROVIDED BY THE PUMP MANUFACTURER AND THE OWNER. LABEL ALL CONTROL WIRES AT THE PANEL TO CONFORM TO THOSE IN THE FIELD.
- ALL VALVE BOXES AND PULL BOXES FOR CONTROL WIRES SHALL BE AN AMETEX BOX, MINIMUM 10" DIAMETER ROUND BOX. ONE PER EACH VALVE.
- EACH LENGTH OF MAIN LINE BETWEEN THE PUMP STATION AND EACH ISOLATION VALVE SHALL BE PRESSURE CHECKED AND INSPECTED BY THE DESIGN PROFESSIONAL. PRESSURE MUST MAINTAIN A MINIMUM OF 5 PSI LOSS IN 24 HOURS FROM A 100 PSI PRIMING FOR ANY GIVEN TEST LENGTH.
- THE SPRINKLER CONTRACTOR SHALL COORDINATE WITH THE WATER DEPARTMENT TO INSTALL THE BACK FLOW PREVENTOR ACCORDING TO LOCAL CODES & STANDARDS ADJUSTING TO SCHEDULES OF EQUIPMENT, PIPING, MATERIALS FOR SIGN OFF AND APPROVALS. CODE REQUIREMENTS TAKE PRECEDENT OVER DETAILS & SPECIFICATIONS.
- THE FULL SPECTRUM OF NOZZLES, NOZZLE ANGLES, FULL CIRCLE, PART CIRCLE & ADJUSTABLE PATTERN HEADS IS TO BE EMPLOYED IN THIS CONSTRUCTION. THE CONTRACTOR SHALL ADJUST THE SYSTEM FOR COMPLETE COVERAGE WITH THE MANUFACTURERS RECOMMENDED 100% OVERLAP, AND UTILIZE THE ADJUSTABLE PATTERN HEADS TO AVOID OVERSPRAY TO PAVED SURFACES. THE CONTRACTOR IS ALSO TO INCLUDE IN HIS BID AND PROVIDE FOR THE INSTALLATION OF ANY ADDITIONAL HEADS REQUIRED TO BE ADDED TO INSURE COVERAGE FOR THE PROJECT.
- ALL HEADS SHALL BE SET USING THE MANUFACTURERS RECOMMENDED SWING JOINT ASSEMBLIES INCLUDING SPIRAL BARB FITTINGS AND THICK WALL PIPE OR SUBMIT SHOP DRAWINGS FOR APPROVAL.
- ALL MATERIALS ARE GUARANTEED FREE FROM DEFECTS AND ALL WORKMANSHIP AND INSTALLATION ARE GUARANTEED FOR THE COST OF FULL REPLACEMENT FOR A PERIOD OF ONE YEAR FROM THE TIME OF COMPLETION AND FINAL ACCEPTANCE OF EACH SEPARATE, COMPLETED, AND FULLY OPERATIONAL SYSTEM.



DATE	REVISIONS:

DATE:	12-22-16
SCALE:	1" = XX'
DRAWING BY:	AD
DESIGNED BY:	AD

PROJECT:
CRISPUS COMMONS PARCEL A
BROWARD COUNTY

HOLLYWOOD, FLORIDA

IRRIGATION NOTES & DETAILS:

PROJECT NO.	16-082
SHEET:	IR-1 of 1
DATE:	THOMAS J. LAUBENTHAL ILA-0000563 ILC-2600422

LAC

LANDSCAPE ARCHITECT CONSULTANTS

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Plantation, Florida 33317
P (954) 581-1110 F (9) 581-7118
LC-2600422

Thomas J. Laubenthal, RLA
TOM@LACL.COM
LA-0000563

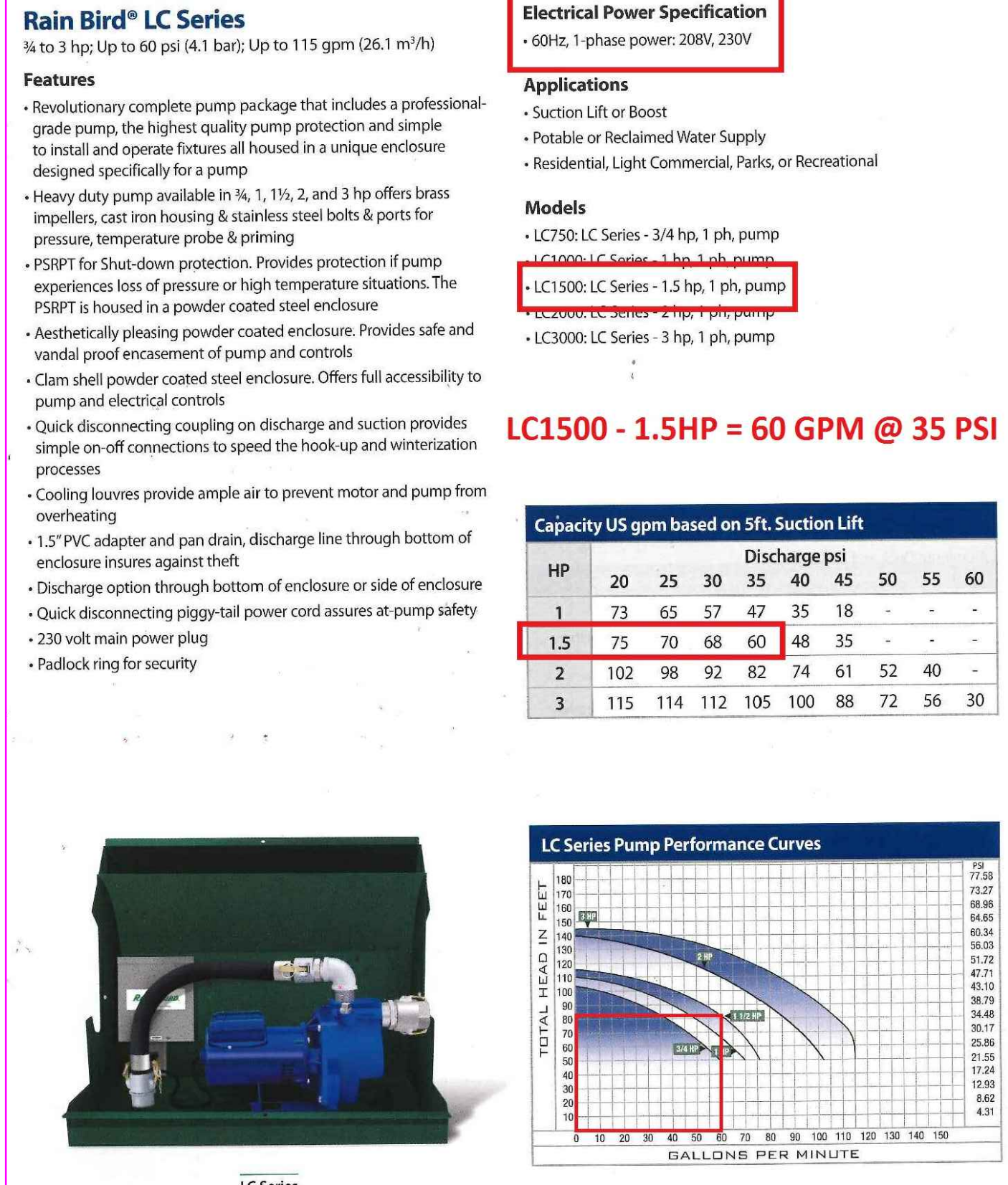
Katy M. Adler, RLA
KATY@LACL.COM
LA-0000705

SPECIAL NOTE:

THIS PROJECT REQUIRES THE WORK AND COORDINATION BETWEEN 3 CONTRACTORS

- * WELL CONTRACTOR
- * IRRIGATION CONTRACTOR
- * SITE ELECTRICAL CONTRACTOR

APPROX. WELL LOCATION



PUMP AND WELL

GENERAL

Section Includes:

- Project Site
- Permit Requirements
- Construction Operations
- Description of Work
- Products

PROJECT SITE

A. Project Site is a Townhouse Development with a Common Area Irrigation System
B. Owner = Liberia Economic & Social Development Inc.
C. Evans Street & N. 22nd Avenue, Hollywood, FL Folio: 514204180080
D. See Well and Pump location on plan sheet IR-1. Pump & Well Specs on IR-3

REQUIRED PERMITS

A. SFWMD Water Use Permit is required for a 2" well with a 60 GPM capacity.
B. Broward County Health Department Well Permit is required (954-467-4201 Craig English).

CONSTRUCTION OPERATIONS

- A. The Contractor shall be fully responsible for securing and maintaining this area in a clean, organized and workmanlike manner at all times.
- B. Contractor shall call for locations and plan their construction access route for all heavy equipment in and out of the site. This will include both well work and pump station renovations.
- C. Prior to construction the Contractor shall secure the site and establish their construction limits and install silt fencing to protect the adjacent ball fields from contamination from silt dredged up by the well construction.
- D. During all phases of work on the project, the Contractor shall remove any and all excess materials and debris from the site after the completion of each and every sequence and-or phase of the work.
- E. In existing areas of work remove debris and clean areas of the building and project site containing construction materials, debris, and spills on a daily basis to the satisfaction of the Owner.

DESCRIPTION OF WORK

1. Construction of a Well sized for a 2" drop pipe

The Contractor is responsible for all work associated with the Construction of a new 2" Well to an approximate depth from 60- 90 feet.

- Drill new well and purge the system until the well runs clean and free of debris, as well as providing a flow that will meet the demands of the system. 60 GPM minimum.
- Screen covered Open-End Pipe for well.
- At the head of the well the 2" down pipe shall be fitted with a Sch.80 Steel Galv. 2" tee that includes an inspection cap and a side port for connection and check valve with a 2" NPT threaded stub-out, as the pick-up point for the start of the Irrigation System.

2. Contractor Clean Up and Site restoration

The Contractor is responsible to completely restore the site to a clean and manageable condition.

- Remove all accumulated silt and regrade as needed to maintain the intended flow of swales, as well as the removal of tire ruts from heavy equipment access.
- Replace all damages sod and any damaged irrigation piping and heads.

3. Irrigation Contractor - Pump Start Up and Purging the Main Lines, Valves and Heads

The Contractor is responsible to start up the Renovated Pump Station, operating from the New Well, and flush the entire main line system to remove accumulated silt and debris. This includes clear Irrigation Valves, section line pipe and individual heads for all zones served by the pump.

NOTES:

- Irrigation Contractor is responsible to provide the Concrete Pad and mount the Pump Station
- Electrical hook ups are part of this project coordinated with the Site Electrical Contractor.
 - Site Elect. Contractor to provide - 208V Single Phase power to the point of a disconnect.
 - Site Elect. Contractor to provide - power from panel to pump station and clock.
 - Site Elect. Contractor to provide - Panel box with step down transformer and service outlet for the Irrigation Clock (115V)
 - Site Elect. Contractor to provide - Permits for the Site Electrical Work
- Irrigation Contractor to provide all Low Voltage wiring and conduit.

PRODUCTS

- Pump Station Renovations to meet the standards of the Rainbird LC1500 - 1.5HP Pump Station or equal, to provide 60 GPM minimum at 40 .
- Suction Line Pipe and connections to be Sch.80 galvanized steel, plus new gaskets
- Well piping and intake screens to meet industry standards for South Florida.

SEQUENCE OF CONSTRUCTION

- Permit Applications for the SFWMD are already approved.
- Permit Applications to be filed with the Broward County Health Dept., requiring lead time for approval.
- Pump Station pad and pump (fabricated off site) and mounted to the slab on-site.
- New Well Construction including inspection tee.
- Provide final documentation on well size, depth and capacity as required by SFWMD.
- Site Clean Up of all silt and debris.
- Complete connections to Main Line System and purge the lines including zone lines.
- Final Clean Up and site restoration (sod + irrigation coverage)
- Close Out / File As-built info for Well Permits with Broward County and SFWMD.

Revised 12-16-16



DATE	REVISIONS:

DATE:	12-22-16
SCALE:	N.T.S.
DRAWING BY:	AD
DESIGNED BY:	AD

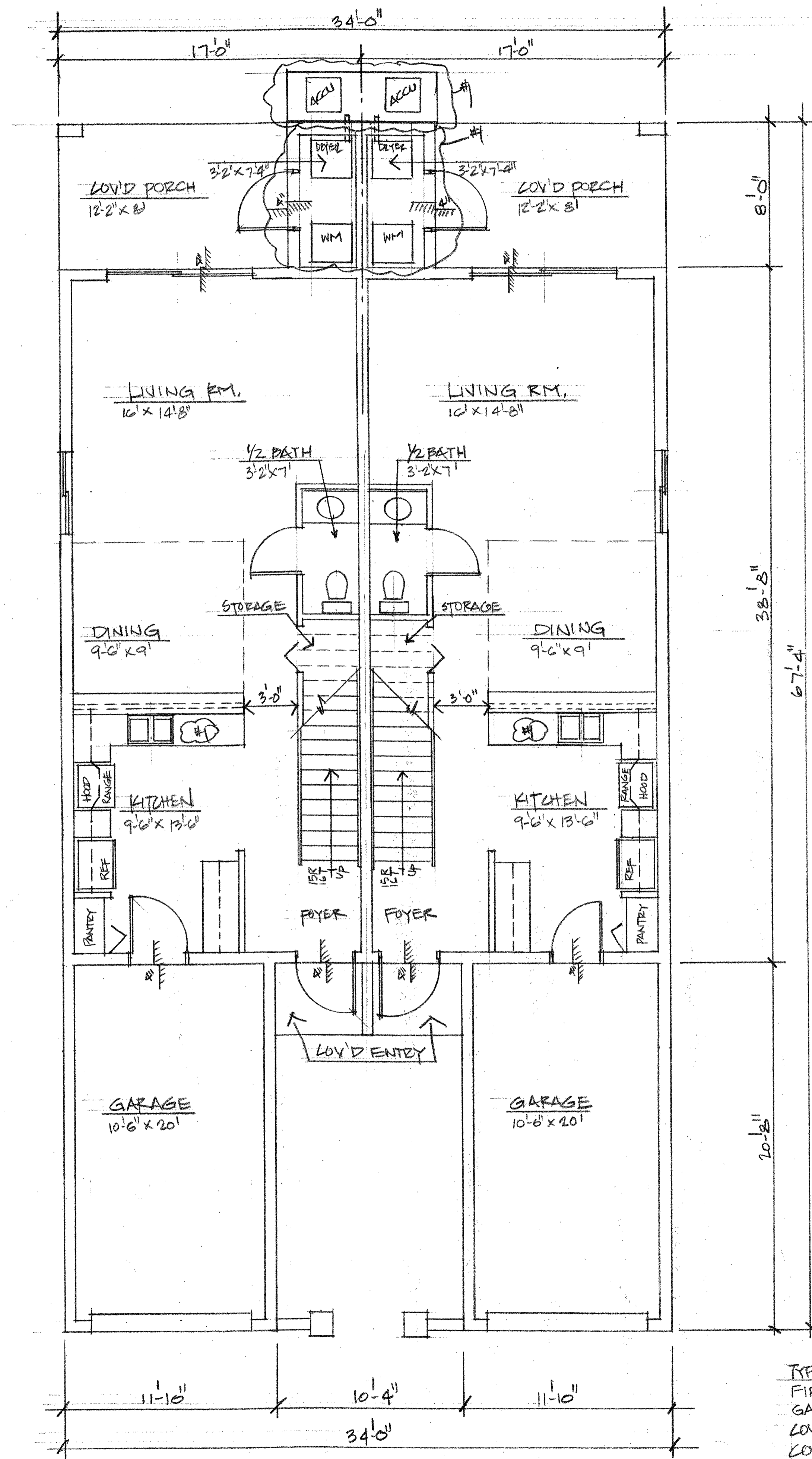
PROJECT: CRISPUS COMMONS PARCEL A BROWARD COUNTY

HOLLYWOOD, FLORIDA

IRRIGATION DETAILS & SPECIFICATIONS

PROJECT NO.	16-082
SHEET:	IR-3 of 3

DATE:	THOMAS J. LAUBENTHAL
ALA-0000563	RLC-26500422

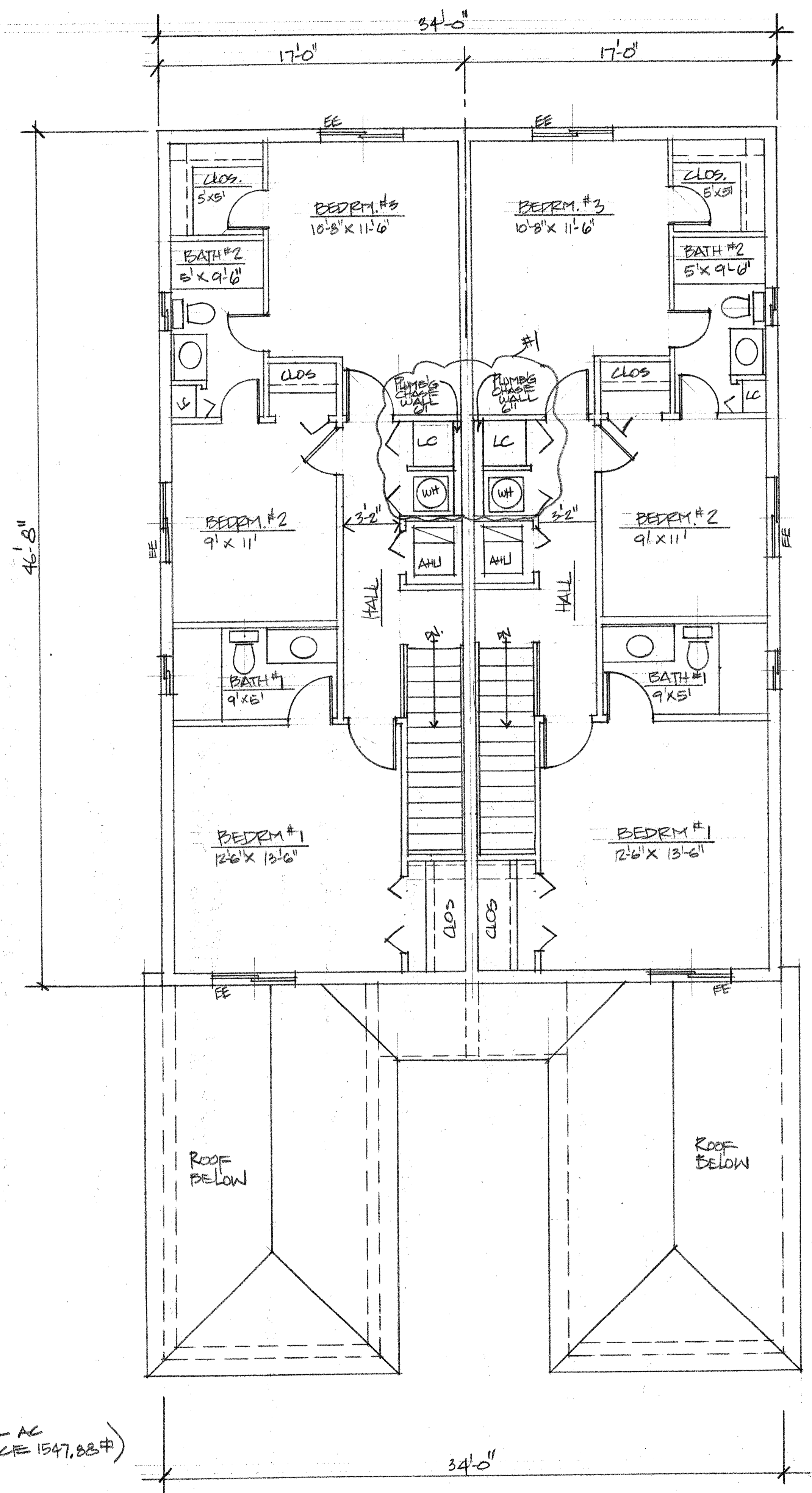


FIRST FLOOR PLAN 1/4"=1'-0"
 (TRASH CANS TO BE STORED IN GARAGES.)

TYPICAL ONE SIDE OF DUPLEX

FIRST FLOOR	751.77 #
GARAGE	244.53 #
LOV'D ENTRY	20.00 #
LOV'D PORCH	97.36 #
STORAGE	30.64 #
SECOND FLOOR	796.11 #
TOTAL FOOTPRINT (1 ST FLOOR ONLY) = 2288.60 #	
(INCLUDE LOV'D ENTRY, LOV'D PORCH & STORAGE)	

(TOTAL AC SPACE 1547.88 #)



SECOND FLOOR PLAN 1/4"=1'-0"
BUILDING'S 1 & 2

REVISIONS:
 #1 REV. 11-3-16

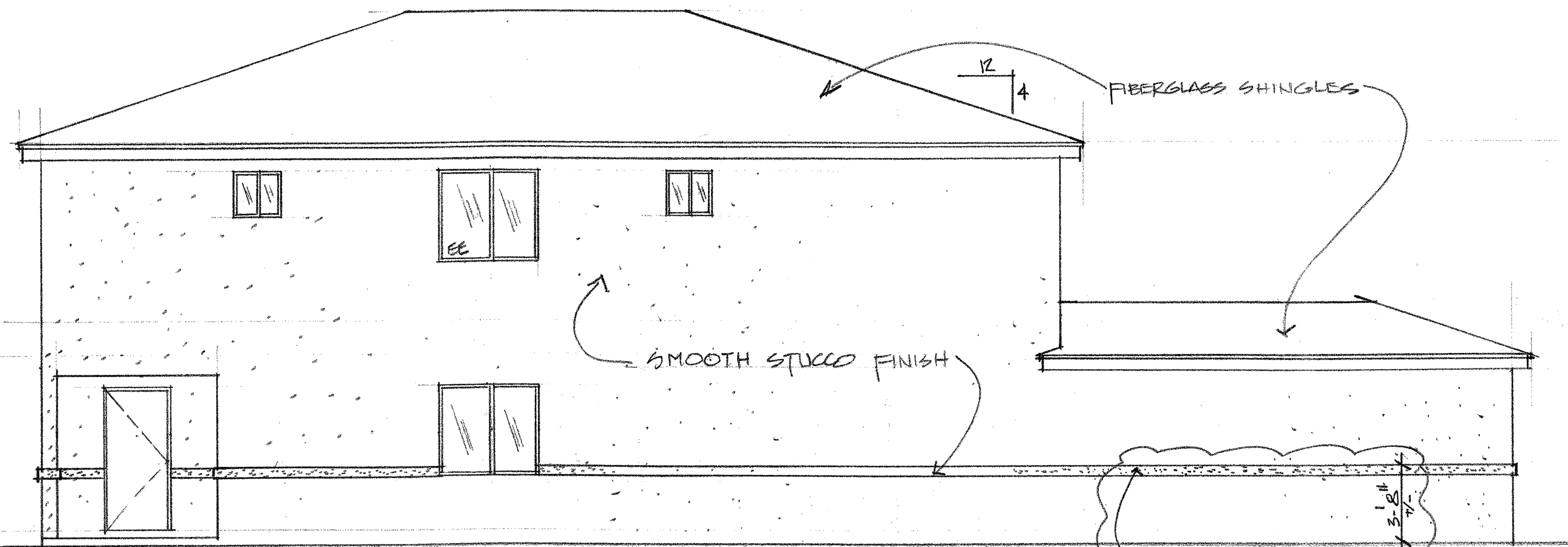
TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH ALL EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES AT THE TIME OF THE PLANS PREPARATION. NO WARRANTY, EITHER EXPRESSED OR IMPLIED IS HEREBY GIVEN.

PROPOSED PLANS
 FOR CRISPUS COMMONS PARCEL A
 EVANS STREET & NORTH 22 AVENUE
 HOLLYWOOD, FLORIDA

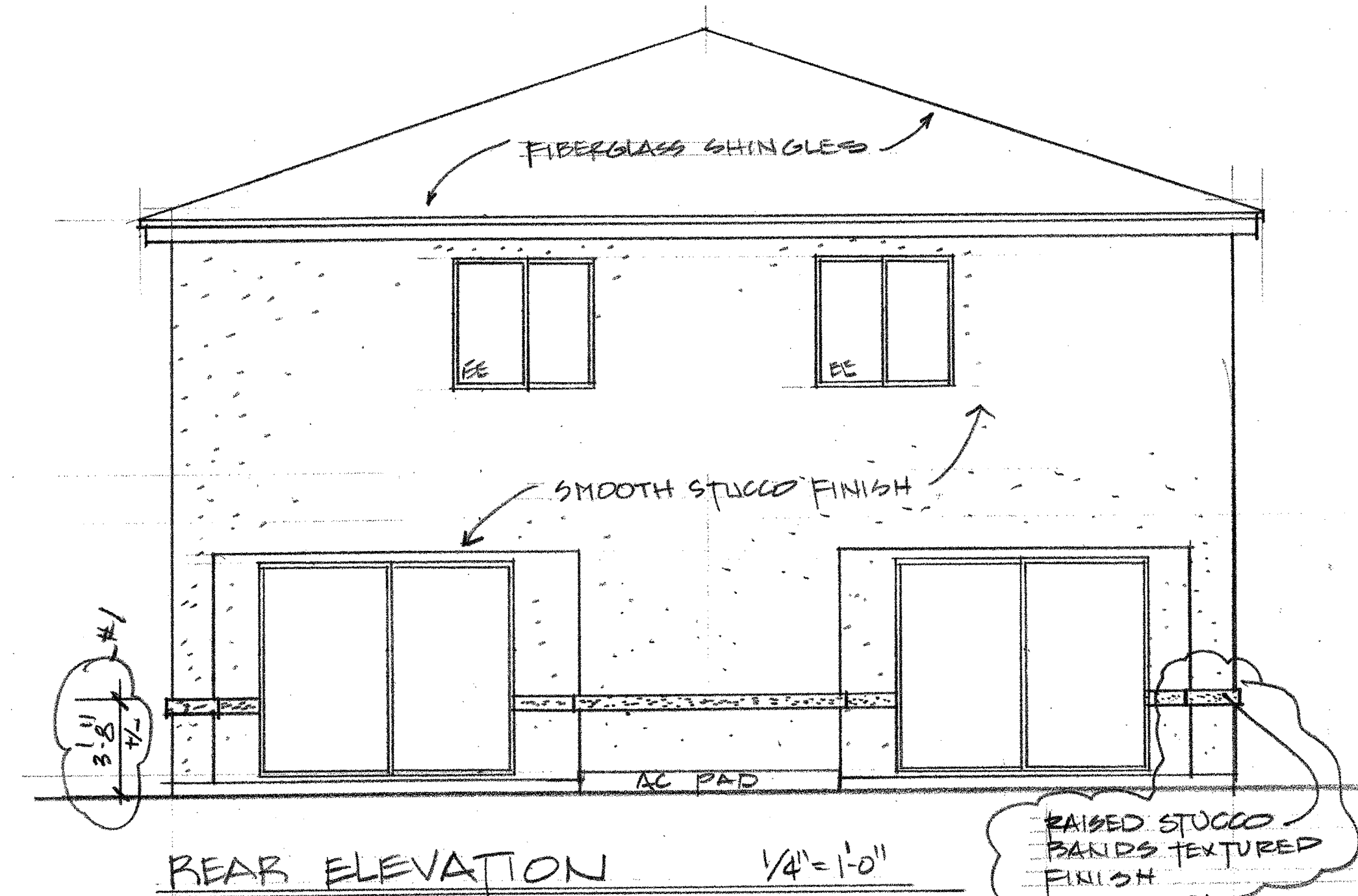
DONALD ARPIN JR.
 A.S.K. LLC • 2607B P.E. 20595
 4420 NORTH DIXIE HWY. 39394
 OAKLAND PARK, FLORIDA
 PH. # 954-712-8345 FAX. # 954-712-7478
 Email: arpin2@bellsouth.net

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 CHECKED
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 8-26-16
 JOB NO.
 0716
 SHEET

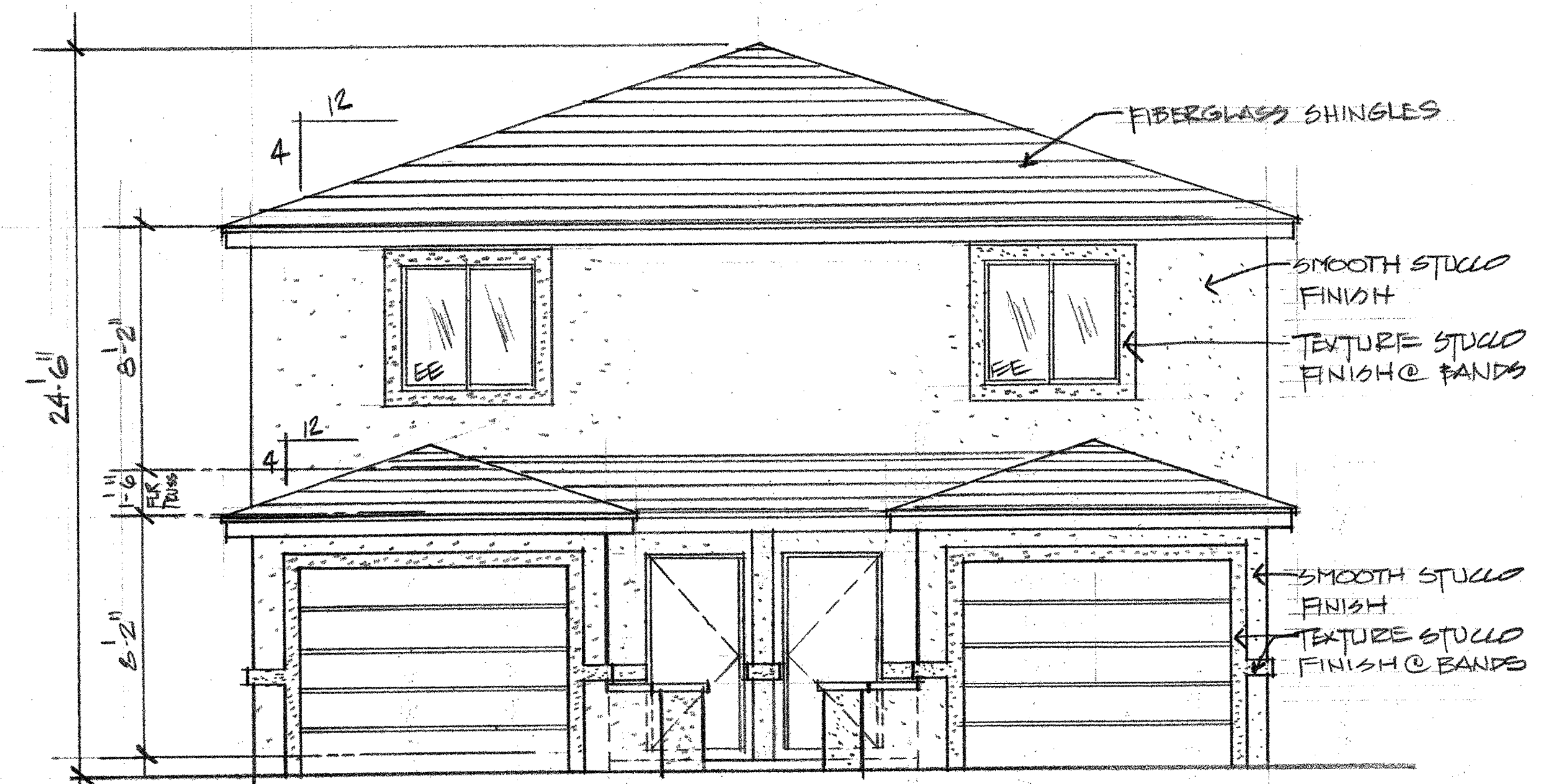
A-1



LEFT SIDE ELEVATION $\frac{1}{4}"=1'-0"$
RIGHT SIDE SIMILIAR



REAR ELEVATION $\frac{1}{4}"=1'-0"$



FRONT ELEVATION $\frac{1}{4}"=1'-0"$

ALL WINDOWS & DOORS (EXTERIOR) TO BE
IMPACT RESISTANCE NO SHUTTERS.

REVISIONS:
#1 REV 11-3-16

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND
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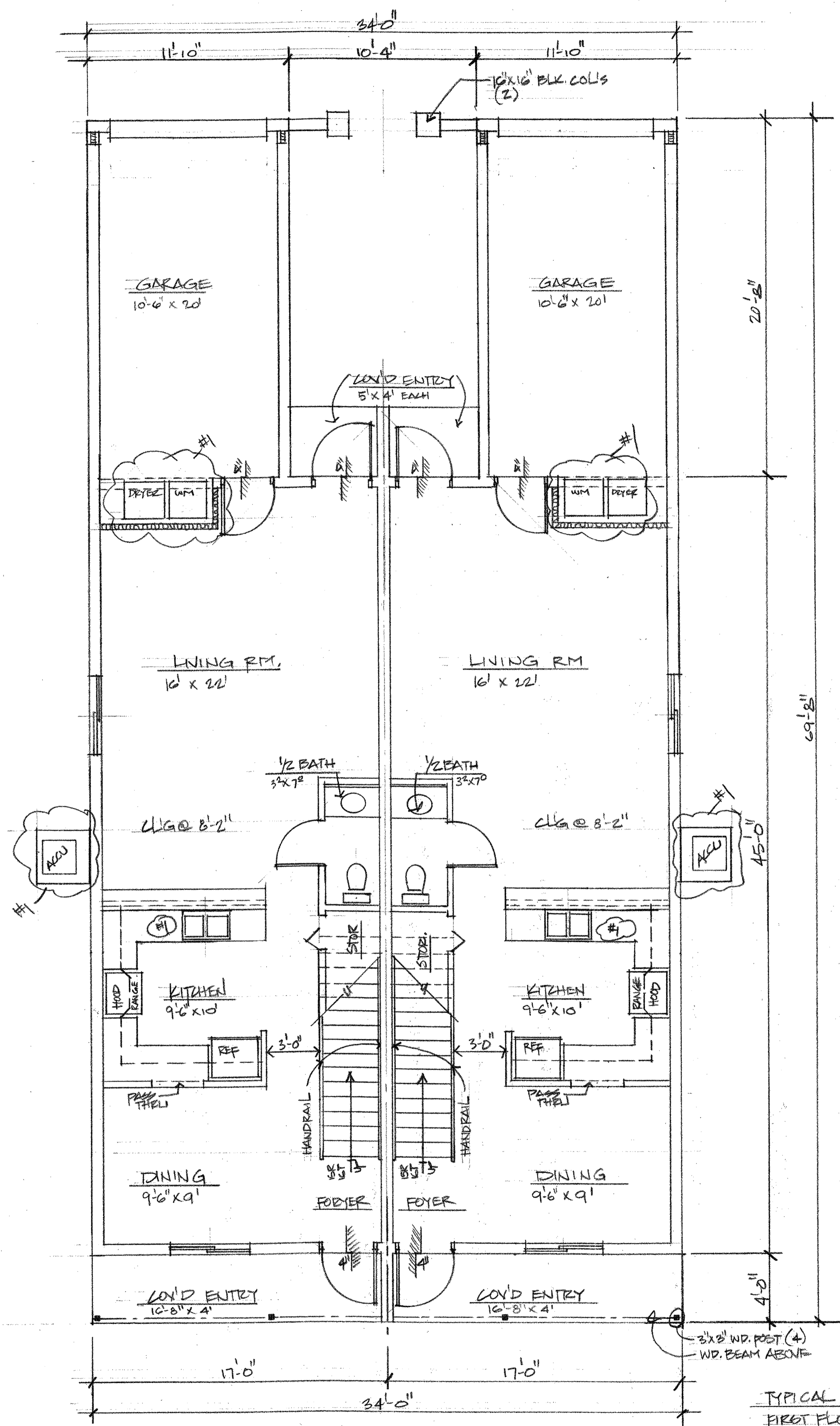
PROPOSED PLANS
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HOLLYWOOD, FLORIDA

DONALD ARPIN JR.
A.G.K. LLC, COA * 26079 P.E. 22225
4120 NORTH DIXIE HWY. 39334
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Email: arpin2@bellsouth.net

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SHEET

A-2
OF SHEETS

BUILDING'S 1 & 2

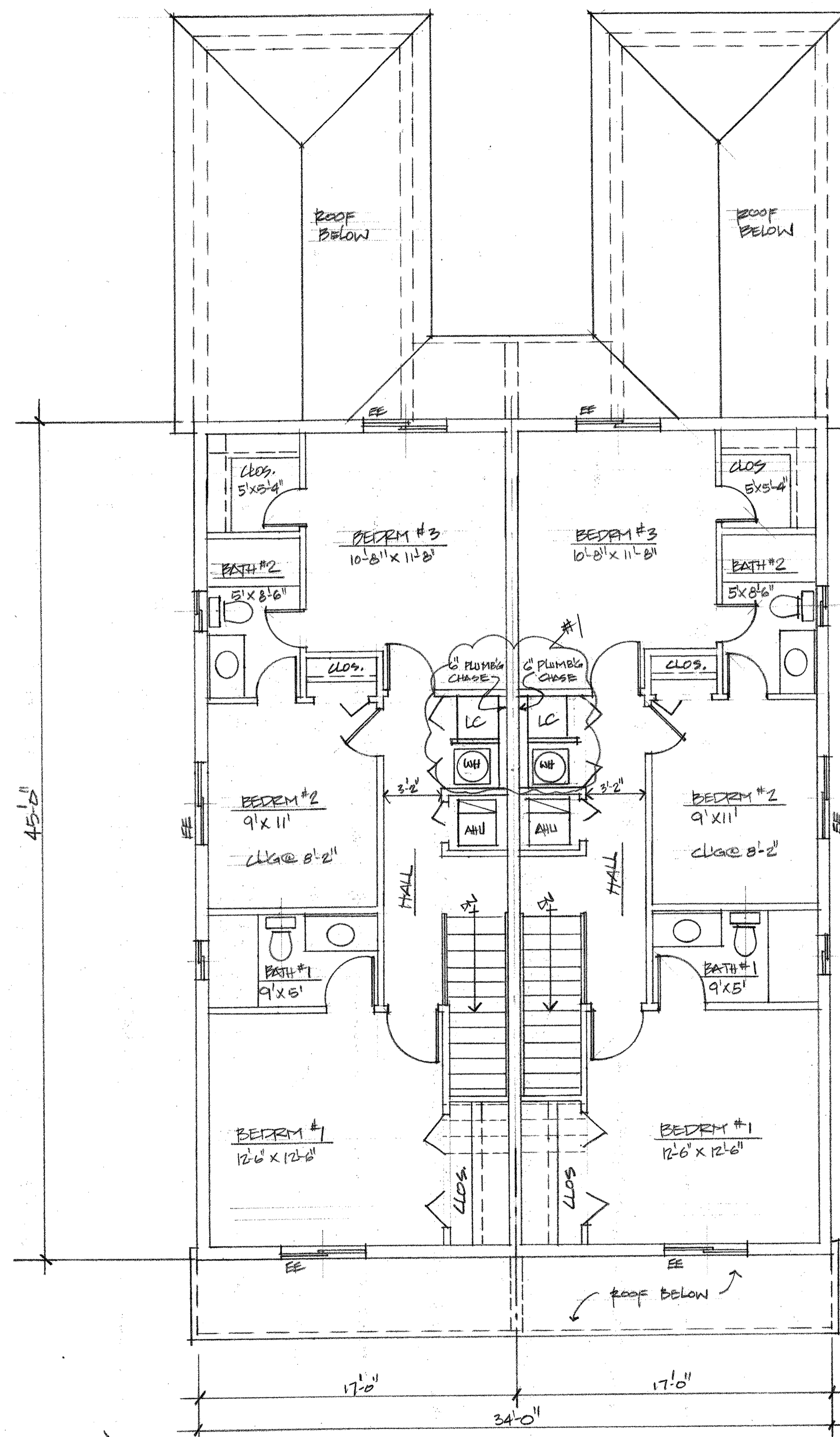


FIRST FLOOR PLAN 1/4"=1'-0"

TRASH CANS TO BE STORED IN GARAGES

TYPICAL ONE SIDE OF DUPLEX	
FIRST FLOOR	720.66 #
GARAGE	244.53 #
LOV'D ENTRY (FRONT)	66.68 #
LOV'D ENTRY (REAR)	20.00 #
SECOND FLOOR	765.00 #

TOTAL FOOTPRINT (1ST FLR. ONLY) = 2194.42 #
(INCLUDE LOV'D ENTRIES & GARAGE)



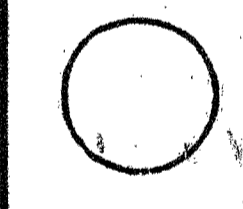
SECOND FLOOR PLAN 1/4"=1'-0"

BUILDING'S 3 THRU 6

REVISIONS:
REV. 11-3-16

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH ALL EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES AT THE TIME OF THE PLANS PREPARATION. NO WARRANTY EITHER EXPRESSED OR IMPLIED IS HEREBY GIVEN.

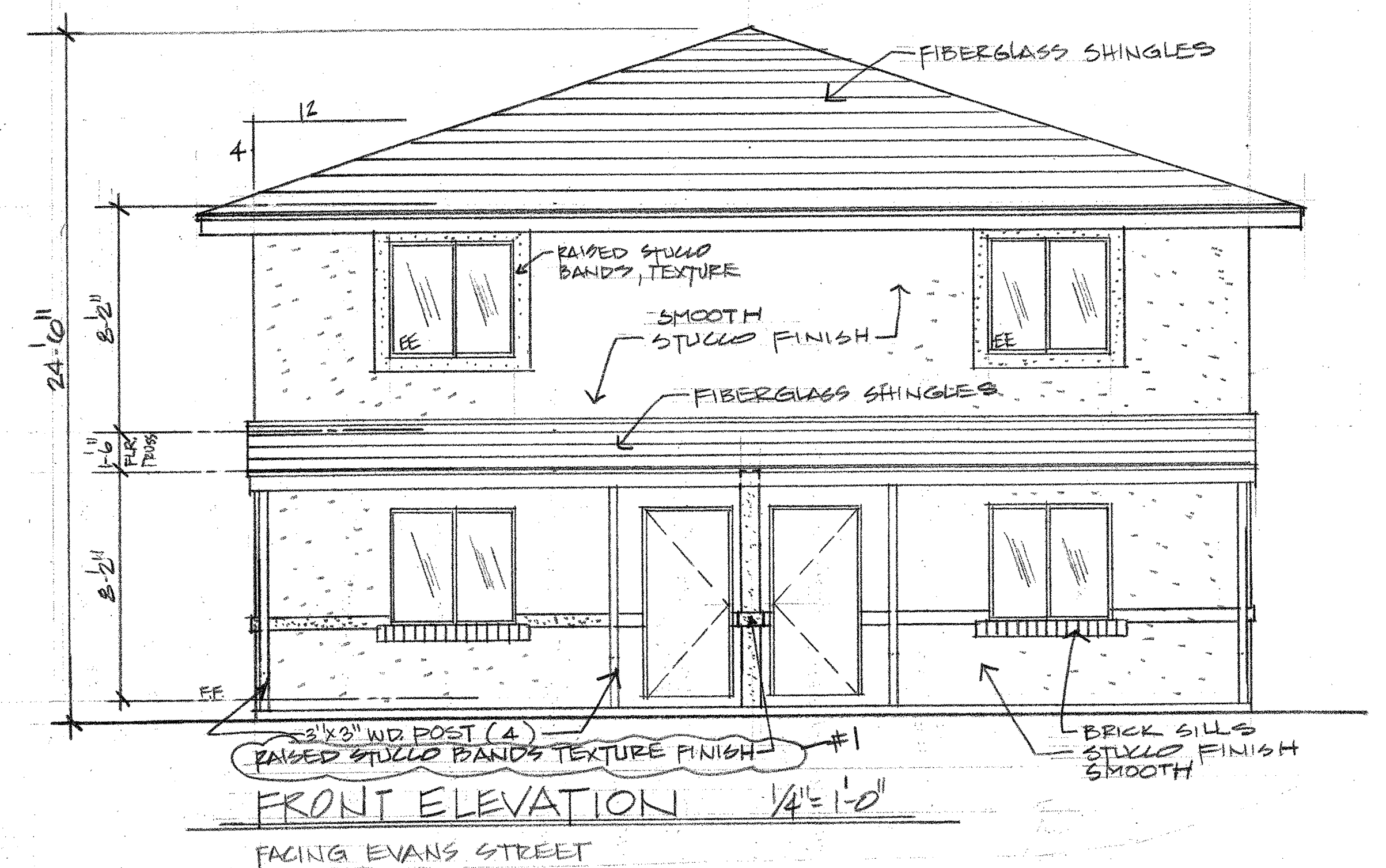
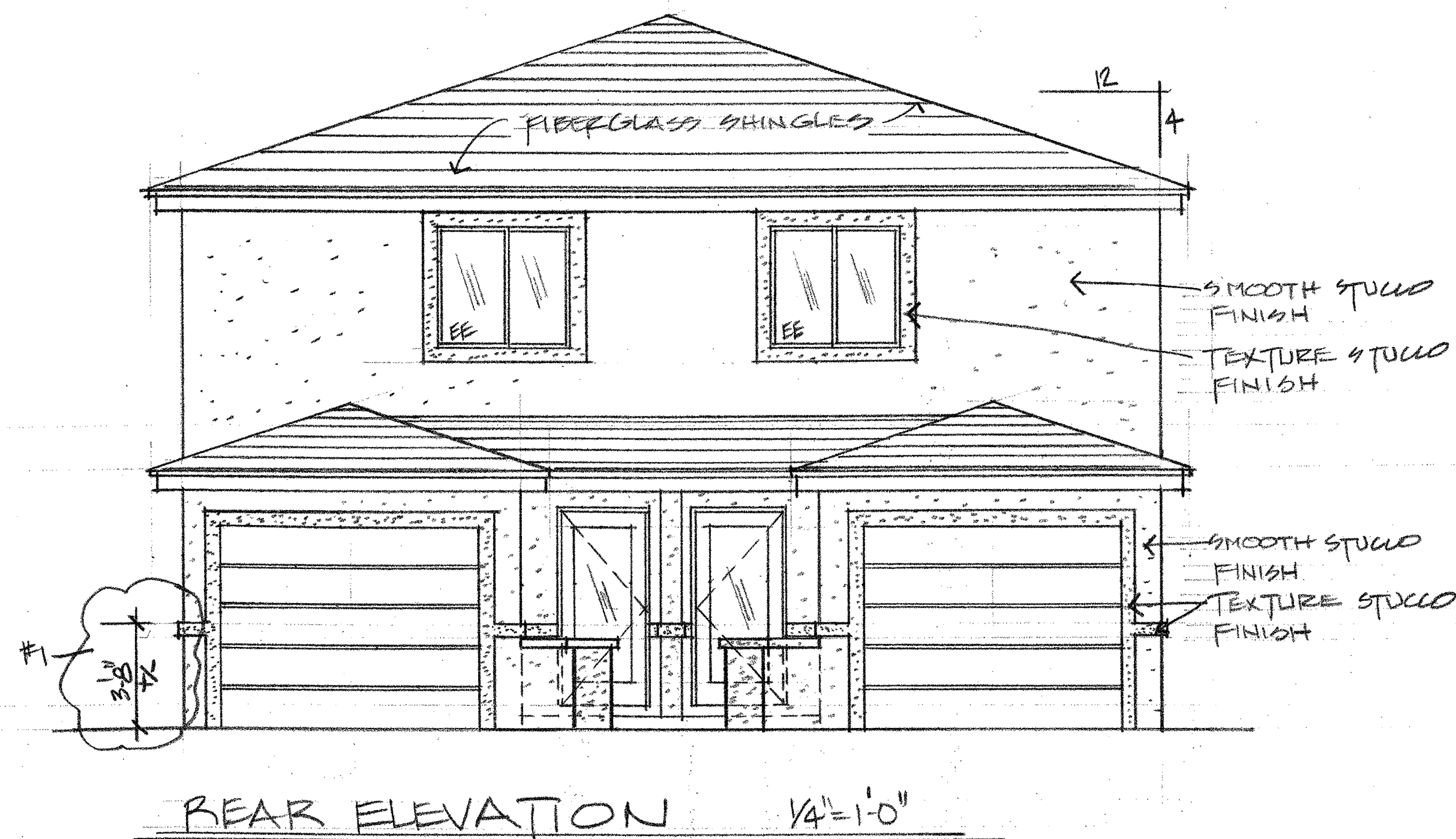
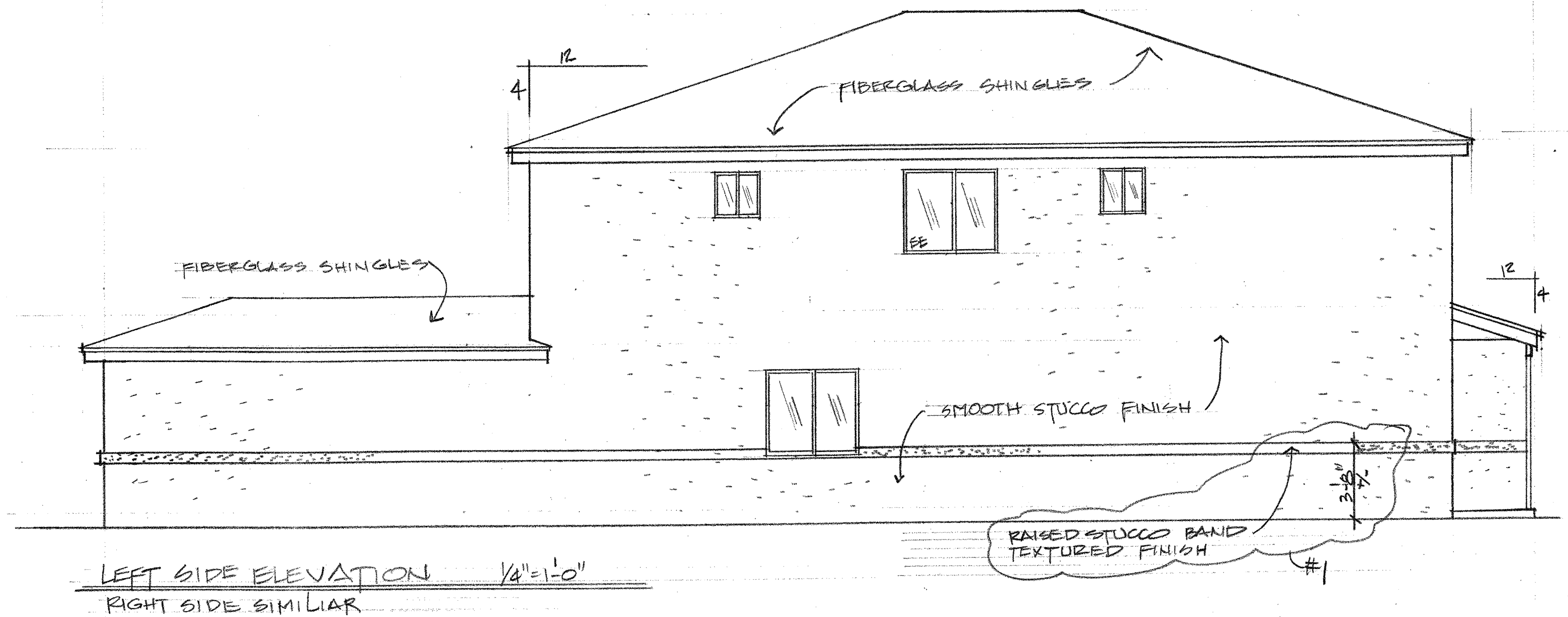
PROPOSED PLANS
FOR CRISPUS COMMONS PARCEL A
EVANS STREET & NORTH 22 AVENUE
HOLLYWOOD, FLORIDA



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Email: arpinn@akc.com

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8-26-16
JOB NO.
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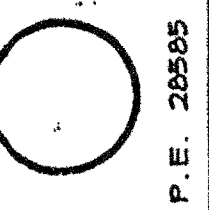


ALL WINDOWS & DOORS (EXTERIOR) TO BE IMPACT RESISTANCE NO SHUTTERS REQUIRED. #1

REVISIONS:
#1 REV 11-3-16

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PROPOSED PLANS
FOR CRISPUS COMMONS PARCEL A
EVANS STREET & NORTH 22 AVENUE
HOLLYWOOD, FLORIDA



DONALD ARPIN JR.
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