

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: _____

Location Address: Adams Street (See attached Project Narrative)

Lot(s): See Legal Description Block(s): See Legal Description Subdivision: See Legal Description

Folio Number(s): See attached Project Narrative

Zoning Classification: DH-2 & DH-3 Land Use Classification: Regional Activity Center (RAC)

Existing Property Use: Vacant Land Sq Ft/Number of Units: 120 units

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No prior requests

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: _____

Number of units/rooms: 120 total units (72) 1-Bedroom (48) 2-Bedroom Sq Ft: _____

Value of Improvement: 15,000,000 Estimated Date of Completion: 12/31/2019

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: City of Hollywood Dept of Community and Economic Development / Downtown Hollywood Community Redevelopment Agency

Address of Property Owner: 2600 Hollywood Blvd, Hollywood FL 33020

Telephone: 954-921-3271 Fax: 954-921-3390 Email Address: _____

Name of Consultant/Representative/Tenant (circle one): Pinnacle at Peacefield, LTD (Timothy Wheat)

Address: 9400 S. Dadeland Blvd, Suite 100, Miami FL 33156 Telephone: 305-710-8603

Fax: 305-859-9858 Email Address: twheat@pinnaclehousing.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes (x) No ()

If Yes, Attach Copy of the Contract. See Attached Purchase and Sale Agreement

List Anyone Else Who Should Receive Notice of the Hearing: _____

Keith Poliakoff, Attorney Address: 200 E. Las Olas Blvd, Fort Lauderdale FL 33301
Email Address: keith.poliakoff@saul.com

Keith and Associates, Inc 301 E. Atlantic Blvd, Pompano Beach FL 33060
Michael Vonder Meulen, AICP mvondermeulen@keith-associates.com

PLANNING DIVISION



File No. (internal use only): _____

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Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____
AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

Date: _____

PRINT NAME: _____

Date: _____

Signature of Consultant/Representative: *[Handwritten Signature]*
AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

Date: *1/29/18*

PRINT NAME: *Timothy P. Wheat, for Pinnacle at Peacefield, Ltd.*

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney *(see attached purchase & sale agreements, where Power of Attorney is granted under Paragraph 8 of said agreements)*

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this *29th* day of *January*
[Handwritten Signature]



Notary Public
State of Florida

My Commission Expires: *06/07/18* (Check One) Personally known to me; OR Produced Identification _____

Signature of Current Owner
AUTHORIZED SIGNATORY PURSUANT TO CONTRACT

Print Name



CITY OF HOLLYWOOD

Technical Advisory Committee Submittal Checklist

QUICK FACTS:

- Scheduled appointment with assigned Planner required for all submittals.
- No applications are automatically scheduled for ANY meetings. Application must be determined to be complete by Staff before any processing occurs.
- Each package SHALL be complete, folded, and stapled.
- Fee Calculation

Residential:
\$2,287 + \$56 per unit

All others:
\$2,287 + \$67 per 1,000
gross sq. ft.

Fee will be paid twice
(Preliminary and Final)

- TAC typically meets twice a month as follows (except for January, August, and December):

	01/17
02/06	02/21
03/06	03/20
04/03	04/24
05/01	05/15
06/05	06/19
07/17	07/31
09/05	09/18
10/02	10/16
11/06	11/20
12/04	

Meeting dates are subject to change.

- Prior to Final TAC, the Planning Division will provide one (1) original notification letter, envelopes, and signs for public notification. Mailing notification and property posting must be completed by the applicant at least ten (10) days prior to meeting date.

Provide 20 copies (unless otherwise specified) of complete 24" x 36" packages containing the items below and one complete package fully signed and sealed with all original documents. Incomplete applications will not be routed and will be postponed until all required components are submitted.

Requirements for Preliminary Site Plan Review:

- General Application
- Application Fee
- Ownership and Encumbrance Report (O&E) (2)
- Cover Sheet with Location Map
- Certified Alta Survey
- Dimensioned Site Plan
- Dimensioned Building Elevations
- CD containing all documents listed above in PDF/JPG format (1)
- Dimensioned Typical Floor Plans (include all levels for parking garages)

Requirements for Final Site Plan Review: (in addition to above items)

- Street Profile/Elevation (including adjacent buildings)
- Dimensioned Landscape Plans
- Dimensioned Schematic Paving, Grading and Drainage Plan
- Color Rendering
- Original Set of Color Chips (1)
- Wildlife Protection (if applicable)
- Written Responses to Preliminary TAC comments
- CD containing all documents listed above in PDF/JPG format (1)
- Public Notice: Mailing Notification and Property Posting Requirements (1)
- Criteria Statement(s) for each request indicating consistency with all applicable criteria found in Article 5 of the Zoning and Land Development Regulations which may include the following: *Variances, Design, and Special Exceptions* (Available online at www.amlegal.com).

Please refer to Article 5 of the City of Hollywood's Zoning and Land Development Regulations for a detailed description of each item listed above or visit our website at www.hollywoodfl.org



CITY OF HOLLYWOOD

Guide to TAC Submittal Checklist

This document is an outline of site plan review procedures as listed in the Technical Advisory Committee Submittal Checklist. For additional information please refer to Chapter 162 of the Code of Ordinances.

General Requirements:

Pre-application Conference

Applicant must meet with an Office of Planning staff member prior to preparing and submitting a package for site plan review.

Applicable Projects

- All new construction and modifications to existing residential developments which result in five or more dwellings on a single lot
- All new nonresidential development
- Existing nonresidential modifications which result in an increase of eleven or more parking spaces

Exemptions (Additional exemptions are listed under Chapter 162)

- Modifications/additions to existing residential developments which result in a total of four or less dwellings
- New construction/interior remodeling to commercial development which results in an increase of ten or less parking spaces

Requirements for Preliminary Site Plan Review:

One of the required packages shall be signed and sealed by the appropriate professional(s). All packets shall include the following:

1. Ownership & Encumbrance Report (O&E)

- Dated within 30 days of submittal packet
- Indicate it was searched from time of platting or 1953 (earliest of the two)
- Legal description of property
- Names of all current owners
- Names of all outstanding mortgage holders or a no lien affidavit
- Listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.)
- Listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so)

2. Cover Sheet

- Name of development and phase (if applicable)
- Page Index
- Preliminary or Final TAC and meeting date
- Title (see Site Plan)
- Location map

3. Certified ALTA Survey

- Based on and dated after O&E
- Extend to centerline of all adjacent streets and alleys

- ☑ Angles and bearings, including light and utility poles, catch basins, manholes, and fire hydrants
- ☑ Natural features (topography: existing and proposed contours and/or spot grades)
- ☑ Location of buildings, including the location and size of berms, walls, underground facilities, intersections, bridges, sidewalks, driveways, curbs and streets
- ☑ Abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet
- ☑ Easements and/or dedications with O.R. or plat book(s) and page number(s)
- ☑ Net & gross property size in square feet and acreage (provide gross for residential/hotel developments)
- ☑ If located within Regional Activity Center include the existing residential/hotel units and/or commercial square footage

4. Site Plan

☑ Title Block:

- Development name, address or general location
- Site Plan date and subsequent revision dates
- Architect/Engineer's name, addresses, and telephone number

☑ Tabular Information:

- Legal Description including subdivision name, plat book page number, lot and block or metes and bounds if unplatted
- Current Land Use & Zoning designations and, if applicable, requested Land Use & Zoning designations
- Required and provided building setbacks
- Required and provided amounts for pervious and impervious in square footage, acreage and percentage (i.e. buffer areas, landscape areas, building footprint, vehicular use area, etc.) **Include calculations where necessary
- Height of structure(s)
- Required and proposed parking amounts, including handicap, guest and loading (show calculations)
- List any requested variances (include provided and required amounts)
- Note stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential)

Residential/Hotel Development

- Net & Gross property size in square feet and acres
- Total floor area of each type of unit/room including a breakdown of airconditioned and non-airconditioned space (balconies, garages, terraces, etc).
- Number of dwelling units/rooms in each building including the number of bedrooms/bathrooms for each unit type If zero lot line, site widths as measured along the chord at the frontage
- Total square footage of each building or structure
- Total floor area of any recreation building
- Total number of allowed and proposed dwelling units/rooms and density per acre (including calculation)

Non-Residential Development

- Net size of the site in square feet and acres
- Total gross floor area of the building, including a breakdown of common areas (restrooms, power equipment rooms, and meter rooms)

☑ Zoning Information:

- Distances between existing and proposed buildings, parking lots, easements, rights-of-ways, and property lines
- Dumpster enclosure location(s), including area for recycling containers
- Dimension of building lengths
- Location, size and content of any proposed signage
- Dimension for all proposed parking types including driveways and access ways
- Vehicular circulation system showing required radii, dimensioned sight distance triangles and non-access line as per shown on the plat
- Dimension of existing and proposed sidewalks, pedestrian access ways, crosswalks and drop curbs
- If applicable, dimensions for required stacking
- Regulatory signage and pavement markings in compliance with the Manual of Uniform Traffic Control Devices
- Dimensions and locations of any existing and proposed easements or right-of-ways on or adjacent to the site. Provide

- documentation relating to the abandonment or dedication(s) of easements or right-of-ways
- If applicable, provide the agreement(s) and supporting legal documentation for proposed easements
- Identify 'D' or 'F' curbing for all vehicle impact points
- Location and identification of building projections (i.e. air conditioner pads, mail boxes, light poles, overhead utility lines, back flow preventors, balconies, roof overhangs, etc.)
- Provide method of mail delivery
- Identify locations of existing and proposed fire-hydrants on-site or the closest off-site locations

General Information:

- Environmentally sensitive designated properties (urban wilderness, LAPC or MNRA) must provide a signed and sealed survey prepared no more than 30 days prior to the date of submittal. In tabular form, provide trees to remain, to be removed, relocated or which will incur dripline encroachment due to site development
- If wetlands exist on-site, provide applicable permits from outside permitting agencies
- If not environmentally sensitive, provide a tree sketch showing all trees that are two inches in diameter at breast height (DBH) or more and their locations. Provide information in tabular form (botanical name, common name, and caliper measurement) showing trees which are to remain, be removed, relocated or designating which trees will incur dripline encroachment due to site development. Clumps of nuisance species trees can be located as clouded area on sketch.
- Placement of trees in utility easements must be approved by the City's Engineering Division, Department of Public Utilities and the City's Arborist

Phased Development (if phased the following apply)

- Development plan shall show all proposed phase lines showing circulation, required parking to support each phase, landscaping, amenities and that full utility service through the site is provided at all times
- All phase lines shall be drawn so that it is clearly delineated that each phase can stand on its own to provide for the health safety and welfare of the public
- Residential developments: all proposed amenities must receive Certificates of Occupancy or final inspections in the first phase of the development, prior to Certificate of Occupancy of any residential structures
- A backbone master plan for the entire projects water, sewer and access needs is required along with the phasing plan

5. **Building Elevations**

- For building height, refer to Height of a Building and Established Grade definitions in the City's Zoning and Land Development Regulations
- Provide dimensioned elevations of all buildings or typical
- List all building materials and treatments
- If applicable, provide the location and height/size of fences, walls, dumpster enclosures and signage

Requirements for Final Site Plan Review: (in addition to above items)

1. **Typical Floor Plan** (If buildings are compatible provide a typical floor plan. Parking garages, all levels are required.)

- Full dimensions for each room/parking area
- Exterior dimensions

2. **Landscape Plans** (Plots of 10,000 feet or more require plans from a registered Landscape Architect or Architect.)
Tabular Information

- Plant material details and specifications
- Percentage of native trees and shrubs
- Botanical name, common name, caliper measurement, and tree disposition in required and provided amounts
- Breakdown of required and provided street trees, buffer areas, perimeter and open space (include calculations where necessary)

Note indicating provision of 100% irrigation

Reflected on Plans

Lift stations, dumpsters, retaining walls, backflow preventors and transformer vaults (with landscape treatments)

Existing and provided street, buffer area, perimeter and open space tree locations

Directional signage, lighting, overhead power lines, underground utilities and existing/proposed easements

3. **Wildlife Protection** (Applicable to development of natural areas over one acre)

Provide a written report from qualified consultant evaluating land area's existing conditions, wildlife population numbers and type and specific action plan for the safe capture and relocation of the identified animal population.

Detailed budget and cost estimate for proposed action plan must also be included in report

City must approve an action plan prior to land clearing, demolition or permits being issued

Total dollar amount from consultant report placed in an escrow account for animal relocation plan

4. **Schematic Drainage Plan**

Location of existing and proposed potable water and sewage collection facilities

Proposed point of connections to existing water and sewer facilities

Proposed new utilities easements

Estimated flows and calculations

Schematic water distribution, sewage collection and drainage plans including proposed locations and diameters of piping systems, manhole locations, lift stations, point of connection to the City's system, proposed drainage outfall connection

Direction of drainage flow

Proposed average private road grades, corners and floor elevation for proposed buildings (mean sea level)

Base floor elevations

Proposed stormwater drainage report complying with South Florida Management District regulations

Location and sizes of existing storm drain pipes and headwalls

Proposed manholes, drainage swales and catch basins

5. **Street Profile**

Elevations showing general character and relationship with surrounding properties

6. **Color Renderings**

Color representation of the elevations showing textures, architectural features, fences, etc.

7. **Color Chips**

One set of original color swatches reflecting proposed colors for all structures

8. **Additional Information** (may be required by TAC when applicable)

Permits: Driveway connection permits required by state, federal and local agencies and copy of permit application

Proof of Concurrency: Projects requiring Site Plan review or Developments of Regional Impact (DRI's) are required to provide proof of concurrency in accordance with City's Comprehensive Plan and Chapter 163 of Florida Statutes and Satisfaction of Broward County concurrency standards (<http://broward.org/development/devreviewsvcs.htm>)

Parking study or traffic circulation study including signalization and geometric improvements

Protection of natural areas, native species, potable water well fields, and dune systems and provision of effective erosion control and protection against hazardous waste

Demonstrate there will be no adverse affects on endangered or threatened plant or animal species and will to the greatest extent possible protect natural areas, native species, potable water wellfields, dune systems, provide effective erosion

control and will protect against hazardous waste

- Maximum clustering of buildings and impervious areas
- Bicycle and pedestrian paths connecting to development and combination of landscaping with adjacent properties
- Specifically delineated dimensions between columns and/or other structures and provision of a sealed survey establishing compliance with previously designated dimensions
- TAC may further require that following construction of footings and establishment of batter-boards for column construction at grade level, that the developer provide to the TAC, a sealed survey establishing compliance with the previously designated critical dimensions

9. Written Response to Final TAC Comments

- Typed response to all comments from each department

10. CD (Package information in PDF/JPG format only)

- Preliminary Requirements: Application and items 2-5 above
- Final Requirements: items 1, 2, 5, and 6 above

11. Public Notice: Mailing Notification and Property Posting

- Notification letter and appropriate amount of City envelopes and signs will be provided by the Office of Planning
- Applicant to obtain certified letter, map and mailing list/labels for properties within 500 feet
- Copy of notification sent to property owners shall also be sent to the Office of Planning
- Certification Letter assuming responsibility for completion
- Any of the following licensed professionals may prepare and mail the notification package: Engineer, Architect, Landscape Architect, Real Estate Broker, Real Estate Appraiser, Land Surveyor, Urban Planner or Attorney
- Property must be posted 10 days prior the Final TAC public hearing and pictures must be submitted

This document should be used as a guide. Please refer to the City of Hollywood Code of Ordinances, Chapter 162 for a full, detailed list of requirements.

February 2nd, 2018

City of Hollywood
Planning Division
2600 Hollywood Boulevard
Hollywood, FL 33020

RE: Pinnacle at Peacefield - Project Narrative

On behalf of the current property owners (City of Hollywood and the Downtown Hollywood Community Redevelopment Agency), Pinnacle at Peacefield Ltd. is an authorized agent, as per the Purchase and Sale Contracts dated 12/16/2016 (as amended) of property described in the attached legal description. The Applicant's authorized representative, Timothy P. Wheat, has submitted this application seeking site plan approval for an age and income-restricted multi-family residential project.

The project location is along Adams Street, between South 24th Avenue and South Dixie Highway, within the City of Hollywood's Reginal Activity Center District. Pinnacle at Peacefield is a proposed 120 unit, multi-family development, providing quality affordable rental housing for seniors. It will be financed utilizing Housing Tax Credits allocated from the Florida Housing Finance Corporation, and as such will be income and use restricted for a period of fifty (50) years.

The project proposes (3) separate parcels (Site-1, Site-2, and Site-3), where each parcel will feature a three-story multi-family building, associated parking, landscaping and common recreational and activity elements. Each building will feature two unit types with either a one or two bedroom floor plan.

Project amenities include access to each site, open space area for active and passive recreation, parking and greenspace. Each site will feature a two-way internal road around the building with surface parking that was designed in a way to preserve as many existing specimen trees as possible.

Site-1 and Site-2 are zoned as Dixie Highway Medium Intensity Multi-Family (DH-2). Site-3 is zoned as Dixie Highway High Intensity Multi-Family (DH-3). The surrounding properties have a land use of Regional Activity Center, as well as zoning categories of DH-2 and DH-3.

Keith and Associates looks forward to working with the City of Hollywood on this project. Please feel free to contact us if you have any questions or need any further information. You may contact me at 954-788-3400.

Sincerely,

Michael Amodio

Michael Amodio
Keith and Associates

CC: Timothy Wheat, Pinnacle at Peacefield, LTD



Environmental Protection and Growth Management Department
 Housing Finance and Community Redevelopment Division (HFCRD)
 110 Northeast 3rd Street, 3rd Floor • Fort Lauderdale, Florida 33301 • 954-357-4900 • FAX 954-357-8221

February 2, 2018

Timothy P. Wheat, Regional Vice President
 Pinnacle Housing Group
 9400 S. Dadeland Blvd, Suite 100
 Miami, FL 33156

SUBJECT: AFFORDABLE HOUSING CERTIFICATION
Folio Numbers: See attached list.
Property Location: City of Hollywood

Dear Mr. Wheat:

You have been certified eligible under the Broward County Affordable Housing Program for certain impact fee waivers or reductions. This certification will be for 120 Garden Style Apartments in the following category as indicated in your application:

Number of Units Proposed by Bedroom Size	Efficiency	One Bedroom	Two Bedrooms	Three Bedrooms	Four Bedrooms
Very Low		8	4		
Low		64	44		
Moderate					

Dwelling Unit Type	Very Low	Low	Moderate	Total
Single Family Detached				
Townhouse/Villa Attached, Duplex				
Garden Style Apts. (2-3 Stories)	12	108		120
Mid Rise (4-8 Stories)				
High Rise (9+ Stories)				
Total Units:	12	108		120

Legal Description: *(See attached)*

Affordable Housing Certification/Impact Fee Waiver Program

Property Location: City of Hollywood

Folio Numbers: See attached list.

February 2, 2018

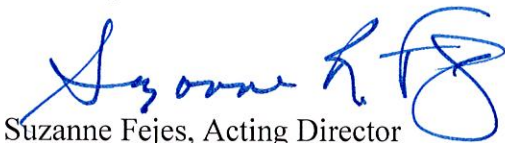
As the approved owner of the property, you are required to comply with all applicable terms and conditions of the program, as outlined in your initial application. You must also comply with the Broward County Land Use Plan (BCLUP) for "Affordable Housing." Specifically, the monthly rents or mortgage payments (including taxes and insurance) do not exceed 30 percent of an amount representing the percentage (very low = 50%; low = 50% to 80%; moderate = 80% - 120%) of the median income limits adjusted for family size for the households. To income certify client; please see an example application attached as a guide. Upon completion of the application, retain the original income certification Application in your files.

If the owner transfers title to the property within the time period set forth in the Terms and Conditions in the application, the property shall be made available only to a buyer who qualifies as designated on your approved Certification Letter and who will use the property as its principal residence or all fees shall be subject to recapture. "Waivers of impact and/or application fees require that the applicant(s) maintain affordable housing for twenty (20) years for rental housing and ten (10) years for owner-occupied housing in accordance with Broward County Land Development Code." (See page one (1) of your application. On May 22, 2007, the Broward County Board of County Commissioners amended these time frames as noted above.)

It is important that you present this letter when discussing the project with County staff or when filing development applications with Broward County. Also, any waiver or reduction to be given by the Broward County School Board will require a separate application from them.

In order to complete the process, Broward County's Development and Environmental Review Section requires the property owner and its mortgagee to enter into a "Declaration of Restrictive Covenant for Affordable Housing." The "Declaration" requires the signatures of all the property owners and mortgagees of the property. In order to verify the owners and mortgagees, the County Attorney's Office requires an "Opinion of Title". Please contact the Development Management and Environmental Review Section at (954) 357-6666 for additional assistance.

Sincerely,



Suzanne Fejes, Acting Director
Housing Finance and Community Redevelopment Division (HFCRD)

Attachments
SF/ac

- cc: Dr. Wazir Ishmael, City Manager, City of Hollywood
- Barbara Blake Boy, Broward County Planning Council
- Chris Akagbosu, Facility Planning & Real Estate, Broward County School Board
- Thuy Turner, Broward County Development & Environmental Review Section
- Angela M. Chin, HFCRD

“Pinnacle at Peacefield” Development Site

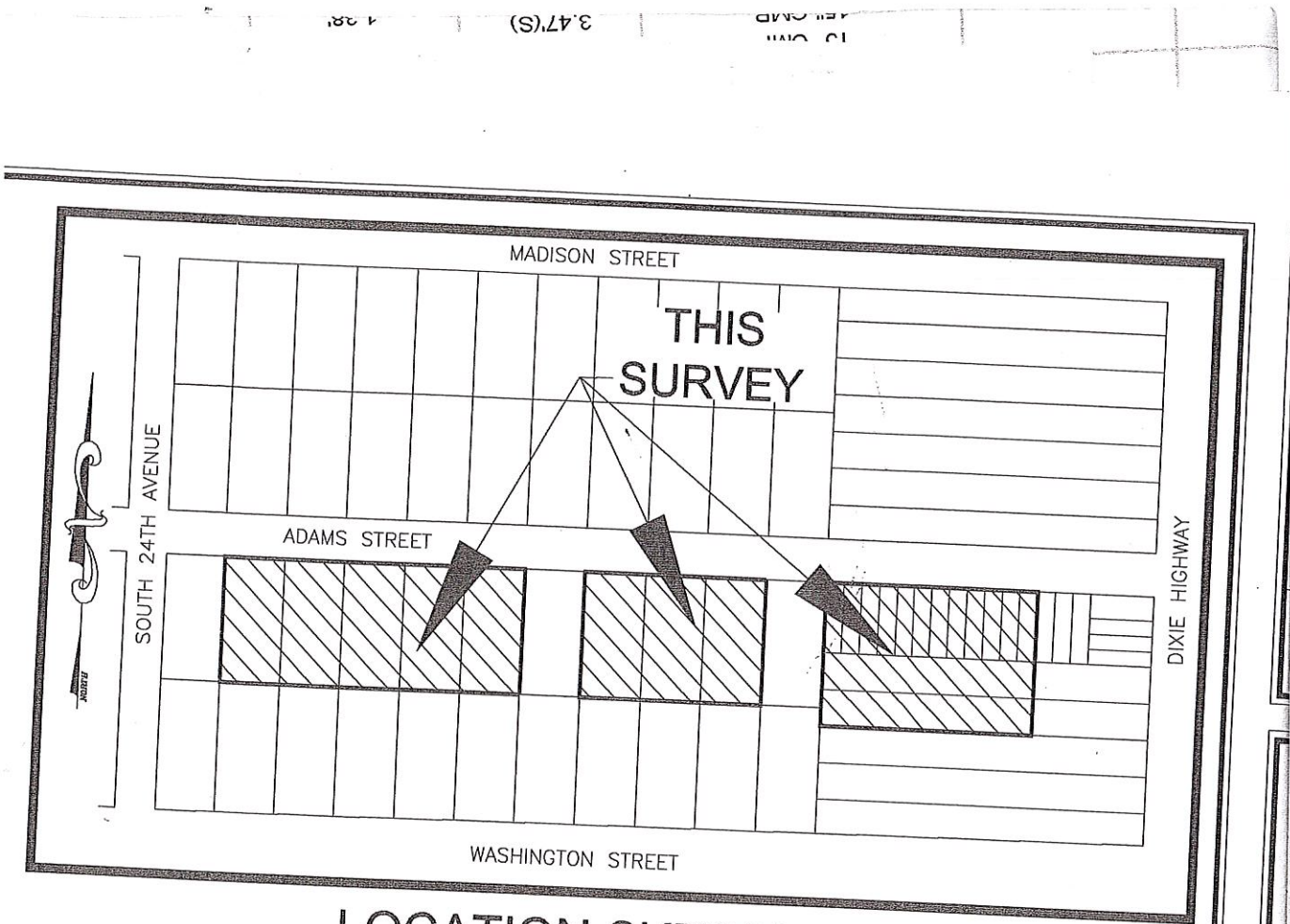
Property Owner: City of Hollywood, FL

Lot Number	Folio Number
13	514216011380
14	514216011381
15	514216011390
16	514216011400
17	514216011410
19W	514216011430
19E	514216011440
20	514216011450
21	514216011460

Property Owner: Hollywood Community Redevelopment Agency

514216011180
514216210110
514216210100
514216210090
514216210080
514216210070
514216210060

**PINNACLE AT PEACHFIELD
CITY OF HOLLYWOOD**



LOCATION SKETCH

NOT TO SCALE

LAND DESCRIPTION:

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALSO TOGETHER WITH:

THE WEST 350.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OR LESS.

PINNACLE AT PEACEFIELD FOR PRELIMINARY TAC MEETING 02/20/2018



ADAMS STREET CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

LAND DESCRIPTION:

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

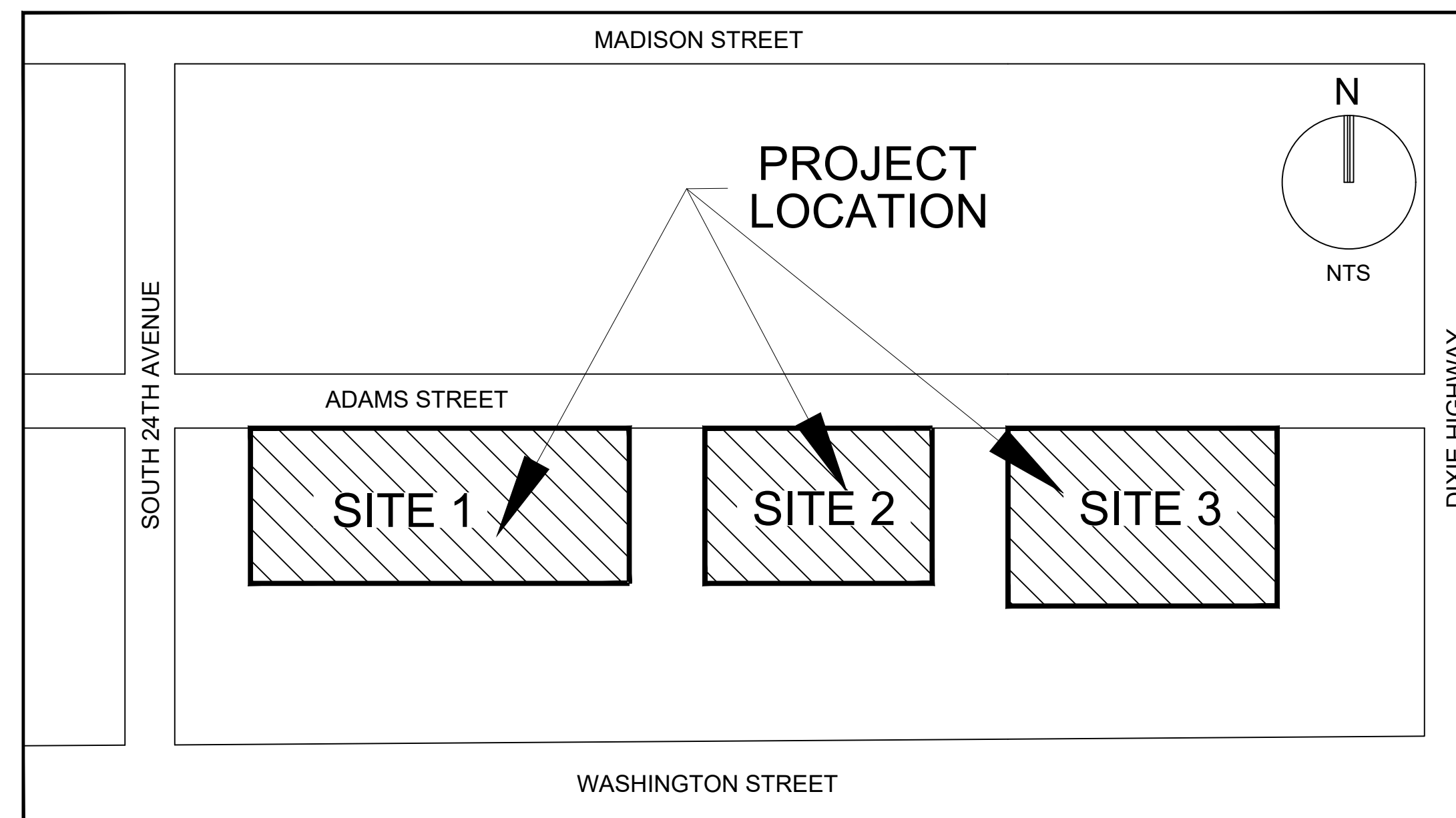
TOGETHER WITH:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALSO TOGETHER WITH:

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OR LESS.



LOCATION MAP
SECTION 15, TOWNSHIP 51S, RANGE 42E

INDEX OF SHEETS	
Sheet Identification	Sheet Title
--	COVER
S-1 TO S-2	ALTA SURVEY
SP-100	OVERALL KEY PLAN
SP-101	SITE PLAN SITE 1
SP-102	SITE PLAN SITE 2
SP-103	SITE PLAN SITE 3
ARCHITECTURAL	
A-0.0	ARCHITECTURAL COVER + RENDERING
A-2.0 TO A-2.2	WEST BUILDING FLOOR PLANS
A-2.4 TO A2.6	CENTRAL/EAST BLDG. FLOOR PLANS
A-4.0 TO A-4.1	WEST BUILDING ELEVATIONS/SECTION
A-4.2 TO A-4.3	CENTRAL/EAST BUILDING ELEVATIONS/SECTIONS
E-1.1 TO E-1.2	PHOTOMETRIC SITE PLAN / FIXTURE SPEC
CIVIL ENGINEERING	
GI-001	CIVIL GENERAL NOTES
GI-002	CONSTRUCTION SPECIFICATIONS
CP-101 TO CP-103	SCHEMATIC PAVING, GRADING, AND DRAINAGE
CP-301	SCHEMATIC PAVING AND GRADING SECTIONS
CP-501 TO CP-503	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101 TO CU-103	SCHEMATIC WATER AND SEWER PLANS
CU-501 TO CU-506	WATER AND SEWER DETAILS
LANDSCAPE	
LA-1A	WEST SITE-MITIGATION PLAN
LA-2A	WEST SITE-LANDSCAPE PLAN
LA-3A	WEST SITE-LANDSCAPE DETAILS
LA-4A	WEST SITE-LANDSCAPE NOTES
LA-1B	CENTRAL SITE-MITIGATION PLAN
LA-2B	CENTRAL SITE-LANDSCAPE PLAN
LA-3B	CENTRAL SITE-LANDSCAPE DETAILS
LA-4B	CENTRAL SITE-LANDSCAPE NOTES
LA-1C	EAST SITE-MITIGATION PLAN
LA-2C	EAST SITE-LANDSCAPE PLAN
LA-3C	EAST SITE-LANDSCAPE DETAILS
LA-4C	EAST SITE-LANDSCAPE NOTES

THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



PREPARED FOR:
PINNACLE AT PEACEFIELD, LTD.
9400 S. Dadeland Blvd, Suite 100,
Miami FL 33156

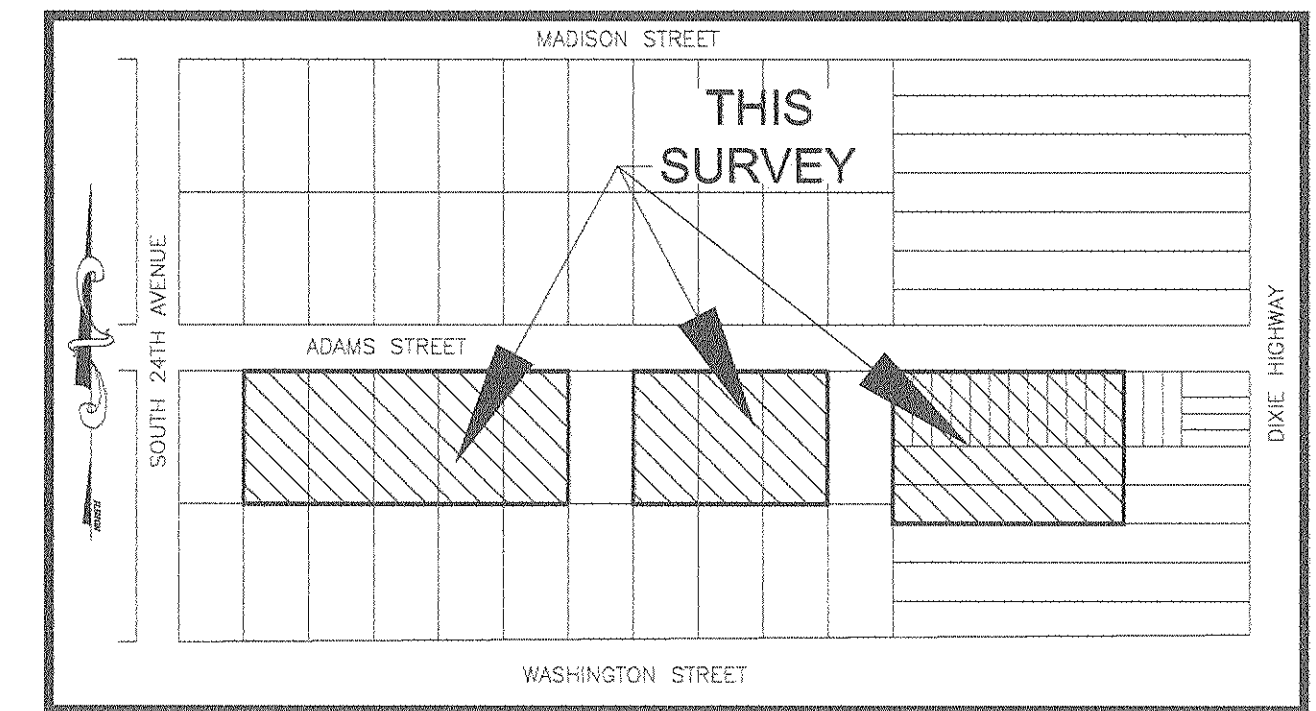


PROJECT No. 10067.00
02/05/2018

UTILITY TABLE:

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV	BOTTOM OF BOX	COMMENT
DRAINAGE MANHOLE - 1	8.65'	15" CMP	2.45(N)	0.05'	
		15" CMP	2.47(S)		
		24" CMP	3.14(E)		
		24" CMP	3.05(W)		
DRAINAGE MANHOLE - 2	8.08'	15" CMP	2.67(N)	0.36'	
		15" CMP	2.73(S)		
		24" CMP	3.15(E)		
		24" CMP	2.98(W)		
DRAINAGE MANHOLE - 3	7.90'	15" CMP	3.33(N)	1.38'	
		15" CMP	3.47(S)		
		24" CMP	3.41(E)		
		24" CMP	3.40(W)		
DRAINAGE MANHOLE - 4	7.98'	15" CMP	3.60(N)	1.18'	
		15" CMP	3.56(S)		
		24" CMP	3.72(W)		
		24" CMP	3.72(W)		
CATCH BASIN - 1	8.48'	15" CMP	BAFFLE (S)	0.94'	TOP OF BAFFLE 4.35'
CATCH BASIN - 2	8.44'	15" CMP	BAFFLE (N)	0.49'	TOP OF BAFFLE 4.72'
CATCH BASIN - 3	7.88'	15" CMP	BAFFLE (S)	0.68'	TOP OF BAFFLE 4.92'
CATCH BASIN - 4	7.85'	15" CMP	BAFFLE (N)	0.85'	TOP OF BAFFLE 4.95'
CATCH BASIN - 5	7.68'	15" CMP	5.48(N)	1.38'	
CATCH BASIN - 6	7.61'	15" CMP	5.61(S)	1.31'	
CATCH BASIN - 7	7.64'	15" CMP	5.44(S)	1.59'	
CATCH BASIN - 8	7.66'	15" CMP	5.56(N)	2.36'	
CATCH BASIN - 9	7.99'	15" CMP	BAFFLE (N)	(-) 1.01'	TOP OF BAFFLE 2.93'
CATCH BASIN - 10	8.13'	15" CMP	0.82(S)	(-) 0.72'	
		24" CMP	0.97(E)		
		24" CMP	1.06(W)		

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV
SANITARY MANHOLE - 1	9.16'	8" PVC	(-) 2.37(S) (-) 2.20(E)
SANITARY MANHOLE - 2	8.83'	8" PVC	(-) 2.58(N)
		8" PVC	(-) 1.87(S)
		8" PVC	(-) 2.54(W)
SANITARY MANHOLE - 3	8.96'	8" PVC	(-) 1.09(N)
		8" PVC	(-) 0.99(E)
SANITARY MANHOLE - 4	8.56'	8" PVC	(-) 0.03(E)
		8" PVC	(-) 0.13(W)
SANITARY MANHOLE - 5	8.55'	8" PVC	1.04(SE) 1.22(W)
SANITARY MANHOLE - 6	8.73'	8" PVC	3.07(W)
SANITARY MANHOLE - 7	8.53'	8" PVC	(-) 0.37(E)
		8" PVC	(-) 0.50(W)
SANITARY MANHOLE - 8	8.90'	8" PVC	1.20(NW) 1.29(E)
		8" PVC	
SANITARY MANHOLE - 9	8.94'	8" PVC	1.63(NE) 1.54(W)
		8" PVC	
SANITARY MANHOLE - 10	8.87'	8" PVC	1.62(SW) 1.62(E)
		8" PVC	
SANITARY MANHOLE - 11	8.40'	8" PVC	1.51(E)
		8" PVC	1.50(W)
SANITARY MANHOLE - 12	8.55'	8" CLAY	2.88(E)
		8" PVC	3.13(W)



LOCATION SKETCH
NOT TO SCALE

SURVEY NOTES:

- LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD BY FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NUMBER 1062-3464376, DATED DECEMBER 01, 2017 @ 8:00 AM.
- OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH 02°06'57" WEST ALONG THE WEST LINE OF BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1988 (NAVD 1988). SAID ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARK M 312; A BRASS DISK ON THE TOP OF A RETAINING WALL AT THE CITY HALL BUILDING NEAR THE INTERSECTION OF HOLLYWOOD BOULEVARD AND SOUTH 26TH AVENUE, 17 FEET +/- SOUTHWEST OF THE NORTHEAST CORNER OF THE BUILDING, 8 FEET +/- EAST OF THE EAST WALL OF THE BUILDING AND 3.6 FEET SOUTH OF THE NORTH END OF THE RETAINING WALL; ELEVATION= 13.44'. LOADING DOCK OF THE SEARS ROEBUCK CO. SERVICE BUILDING, 92' NORTHEAST OF THE CENTER OF THE CROSSING OF NORTHEAST 38TH STREET, 34.2' EAST OF AND ACROSS SIDE TRACK FROM THE EAST RAIL OF THE NORTHBOUND TRACK, AND 1.4' NORTH OF THE SOUTHWEST CORNER OF THE LOADING PLATFORM, ELEVATION= 13.44' AND BENCHMARK BC 523; A BRASS DISC STAMPED "B.C. 529" IN THE TOP OF A CONCRETE MONUMENT AT THE INTERSECTION OF DIXIE HIGHWAY AND WILEY COURT, 39 FEET +/- EAST OF THE CENTERLINE OF DIXIE HIGHWAY AND 18 FEET +/- SOUTHWEST OF A UTILITY POLE; ELEVATION= 7.68'.
- THE OWNERSHIP OF FENCES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
- THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE STANDARDS OF PRACTICE (RULE 5J-17, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL WHICH MAY HAVE BEEN ENLARGED FOR CLARITY, ALL MAPPED FEATURES SHOWN HEREON WERE OBTAINED BY KEITH & ASSOCIATES, INC. FOR THE PURPOSE OF THIS SURVEY. DISTANCES SHOWN HEREON ARE IN U.S. FEET.
- THE INTENDED DISPLAY SCALE OF THIS SURVEY IS 1" = 40' OR SMALLER.
- THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS +/- 0.02' FOR HARD SURFACE ELEVATIONS AND 0.1' FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL LOCATION ACCURACY IS +/- 0.1'.

- UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.
- THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983 WITH THE NATIONAL SPATIAL REFERENCE SYSTEM 2011 ADJUSTMENT APPLIED (63/NSRS2011), TRANSVERSE MERCATOR, FLORIDA EAST ZONE.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12011C0569H, COMMUNITY NO. 125113, EFFECTIVE DATE 8-18-2014, THIS PROPERTY LIES IN ZONE AH, BASE FLOOD ELEVATION (9) AND ZONE X 0.2% ANNUAL CHANCE OF FLOOD HAZZARD, BASE FLOOD ELEVATION (NONE).
- PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$ 5- MILLION DOLLARS TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

AREA:

GROSS AREA: 264,150 SQUARE FEET 6.06 ACRES
NET AREA: 241,550 SQUARE FEET 5.54 ACRES

ZONING:

ZONING INFORMATION SHOWN HEREON IS TAKEN FROM THE ZONING SECTION OF THE DUE DILIGENCE REPORT PREPARED BY KEITH & ASSOCIATES INC., UNDER JOB NUMBER 10067.00, DATED NOVEMBER 3, 2017. THE SITE IS LOCATED WITHIN THE CITY OF HOLLYWOOD REGIONAL ACTIVITY CENTER, HOWEVER THERE ARE NO EXISTING RESIDENTIAL/HOTEL UNITS AND/OR COMMERCIAL UNITS AS THE SITE IS CURRENTLY VACANT.

SITE 1=LOTS 13-17
SITE 2=LOTS 19-21
SITE 3=LOTS 9-19 & LOTS 4-5

AREA	ZONING	FRONT SET BACK	REAR SET BACK	SIDE SET BACK
SITE 1	DH-2	15'	20'	10'
SITE 2	DH-2	15'	20'	10'
SITE 3	DH-3	15'	20'	10'

MAX FLOOR AREA RATIO	BUILDING HEIGHT RESTRICTIONS
SITE 1=1.75 (179,375 SQUARE FEET)	4 STORIES (45' MAX)
SITE 2=1.75 (107,625 SQUARE FEET)	4 STORIES (45' MAX)
SITE 3=3.00 (210,408 SQUARE FEET)	5 STORIES (55' MAX)

PARKING REQUIREMENTS
SITE 1=71 SPACES, 60 (RESIDENCIES) 6 (GUEST) 5 (LEASING OFFICE)
SITE 2=36 SPACES, 30 (RESIDENCIES) 3 (GUEST) 3 (MANAGEMENT OFFICE)
SITE 3=36 SPACES, 30 (RESIDENCIES) 3 (GUEST) 3 (MANAGEMENT OFFICE)

CERTIFICATION:

THIS SURVEY IS MADE FOR THE BENEFIT OF: PINNACLE AT PEACEFIELD, LTD. A FLORIDA LIMITED PARTNERSHIP; REGIONS BANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR AS DEFINED IN THE CONDITIONS OF THIS POLICY; FIRST AMERICAN TITLE INSURANCE COMPANY; SHUTTS & BOWEN, LLP; DOWNTOWN HOLLYWOOD COMMUNITY REDEVELOPMENT AGENCY;

THE UNDERSIGNED, LEE POWERS, PROFESSIONAL LAND SURVEYOR NO. 6805 DOES HEREBY CERTIFY TO THE AFORESAID PARTIES, AS OF THE DATE SET FORTH BELOW THAT I HAVE MADE A CAREFUL SURVEY OF A TRACT OF LAND DESCRIBED AS FOLLOWS:

PARCEL 1:

THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH ALL APPLICABLE LAWS REGULATING SURVEYING IN THE STATE OF FLORIDA AND WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 8, 9, 11, 13, 14, 16, 17, 19, AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 15, 2017.

1. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY EXCEPT AS NOTED; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SUBJECT PROPERTY EXCEPT AS SHOWN HEREON; AND THERE ARE NO PARTY WALLS. ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS ("REAS") HAVE BEEN DENOTED ON THE SURVEY. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY. THE LIMITS OF ANY REAS OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE LAND SUBJECT TO THE SURVEY ARE REPORTED.

2. THE SUBJECT PROPERTY IS THE SAME AS THE PROPERTY DESCRIBED IN THAT CERTAIN TITLE COMMITMENT NO. 1062-3464376 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF DECEMBER 01, 2017 @ 8:00 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SUBJECT PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

3. THE SUBJECT PROPERTY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA. THE PROPERTY LIES WITHIN SPECIAL FLOOD HAZARD ZONE AH, BASE FLOOD ELEVATION (9.0) AND WITHIN AN OTHER FLOOD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD AREA IS DELINEATED WITH SHADING OR OTHERWISE CLEARLY MARKED TO SHOW THE AREAS HAVING A ZONE DESIGNATION OF "X, AREAS INSIDE OF 0.2% ANNUAL CHANCE OF FLOOD", BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 12011C0569H H, WITH A DATE OF IDENTIFICATION OF AUGUST 18, 2014, FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

4. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO ADAMS STREET, A DEDICATED PUBLIC STREETS OR HIGHWAYS. THE WIDTHS OF ALL ADJACENT RIGHTS-OF-WAY ARE INDICATED BY PERPENDICULAR ARROWS ON THE SURVEY DRAWING TO CONFIRM THAT THE SUBJECT PROPERTY IS TIED TO SAME.

5. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, OR ANY APPARENT DITCHES, DIKES, SLICES OR CANALS OF THE SITE.

6. THERE IS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OR ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

7. THE TOTAL NUMBER OF PARKING SPACES ON THE SUBJECT PROPERTY IS ZERO, AS THE SITE IS VACANT LAND.

LEE POWERS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 6805

LP
DATE: JANUARY 23, 2018

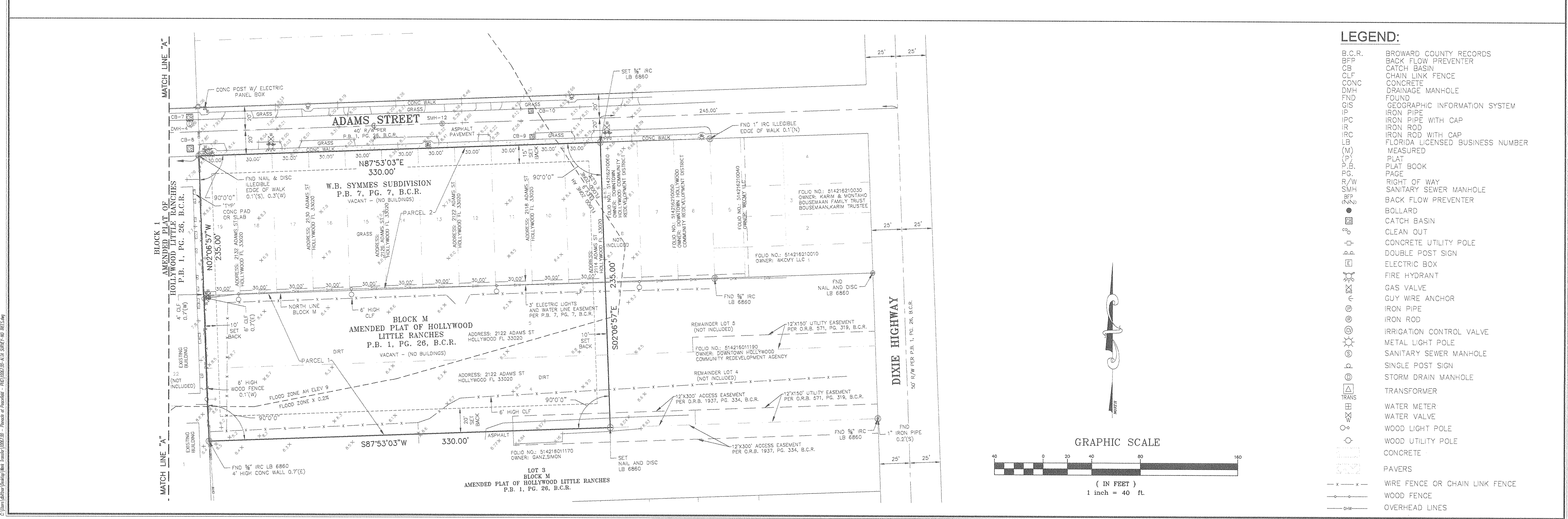
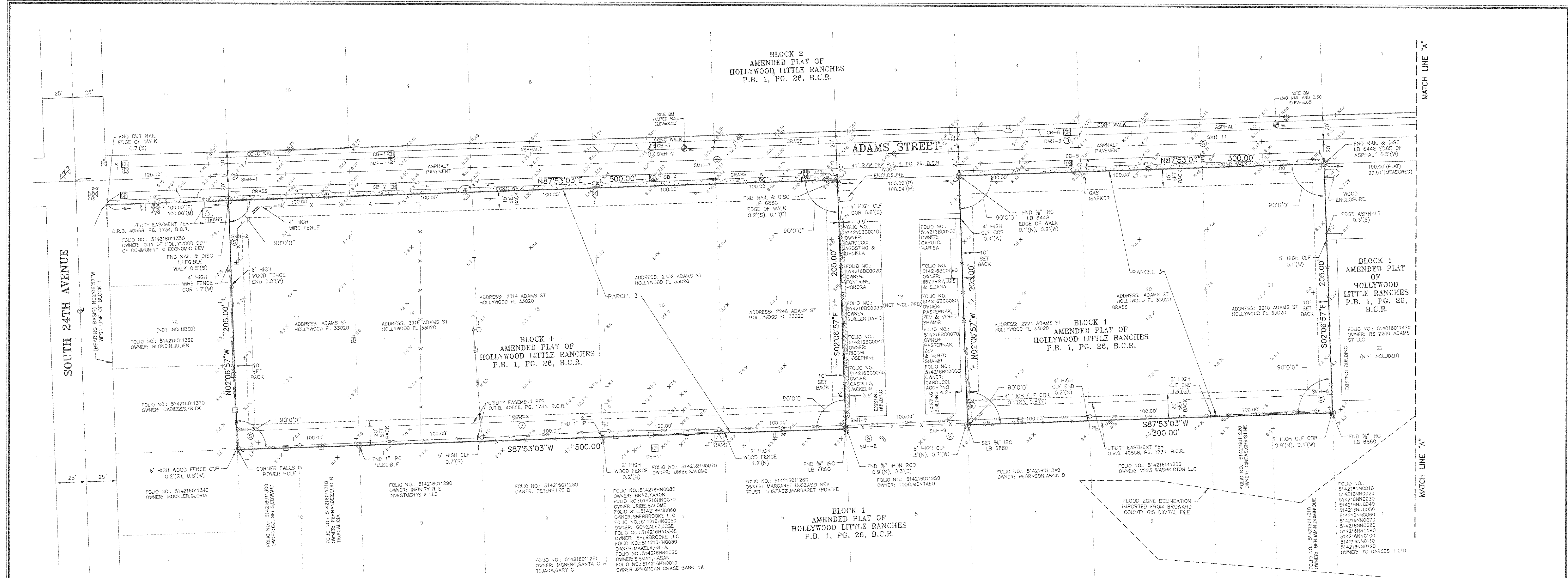
LAST DATE OF FIELD WORK: 11/15/17

REVISION BY

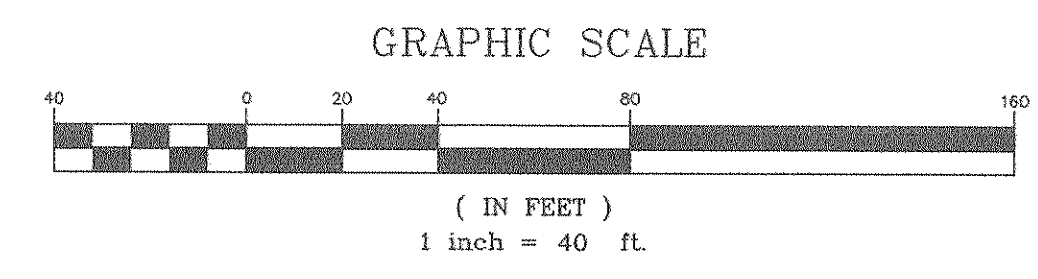
DATE	11/15/2017
SCALE	1" = 40'
FIELD BOOK	805
DRAWN BY	S.M.
CHECKED BY	L.P.

KEITH & ASSOCIATES, INC.
consulting engineers
301 EAST ATLANTIC BOULEVARD
POMPANO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@keith-associates.com L.B. NO. 6860

ALTA/NSPS SURVEY
PEACEFIELD
A PORTION OF BLOCK 1 AND A PORTION OF BLOCK M
AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, P.B. 1 PG. 26, B.C.R.
TOGETHER WITH: A PORTION OF W.B. SYMMES SUBDIVISION, P.B. 7, PG. 7, B.C.R.
BROWARD COUNTY
FLORIDA



- LEGEND:**
- B.C.R. BROWARD COUNTY RECORDS
 - BFP BACK FLOW PREVENTER
 - CB CATCH BASIN
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - DMH DRAINAGE MANHOLE
 - FND FOUND
 - GIS GEOGRAPHIC INFORMATION SYSTEM
 - IP IRON PIPE
 - IPC IRON PIPE WITH CAP
 - IR IRON ROD
 - IRC IRON ROD WITH CAP
 - LB FLORIDA LICENSED BUSINESS NUMBER
 - (M) MEASURED
 - PLAT PLAT
 - PAGE PAGE
 - R/W RIGHT OF WAY
 - SMH SANITARY SEWER MANHOLE
 - BFP BACK FLOW PREVENTER
 - BOLLARD BOLLARD
 - CATCH BASIN CATCH BASIN
 - CLEAN OUT CLEAN OUT
 - CONCRETE UTILITY POLE CONCRETE UTILITY POLE
 - DOUBLE POST SIGN DOUBLE POST SIGN
 - ELECTRIC BOX ELECTRIC BOX
 - FIRE HYDRANT FIRE HYDRANT
 - GAS VALVE GAS VALVE
 - CUY WIRE ANCHOR CUY WIRE ANCHOR
 - IR IRON PIPE
 - IR IRON ROD
 - IRRIGATION CONTROL VALVE IRRIGATION CONTROL VALVE
 - METAL LIGHT POLE METAL LIGHT POLE
 - SANITARY SEWER MANHOLE SANITARY SEWER MANHOLE
 - SINGLE POST SIGN SINGLE POST SIGN
 - STORM DRAIN MANHOLE STORM DRAIN MANHOLE
 - TRANSFORMER TRANSFORMER
 - WATER METER WATER METER
 - WATER VALVE WATER VALVE
 - WOOD LIGHT POLE WOOD LIGHT POLE
 - WOOD UTILITY POLE WOOD UTILITY POLE
 - CONCRETE CONCRETE
 - PAVERS PAVERS
 - WIRE FENCE OR CHAIN LINK FENCE WIRE FENCE OR CHAIN LINK FENCE
 - WOOD FENCE WOOD FENCE
 - OVERHEAD LINES OVERHEAD LINES



DATE	REVISION	BY
11/15/2017		

KEITH ASSOCIATES INC.
consulting engineers
 301 EAST ATLANTIC BOULEVARD
 POMPANO BEACH, FLORIDA 33060-6643
 (954) 788-3400 FAX (954) 788-3500
 EMAIL: mail@keith-associates.com LB NO. 6860

ALTA/NSPS SURVEY
 PEACEFIELD

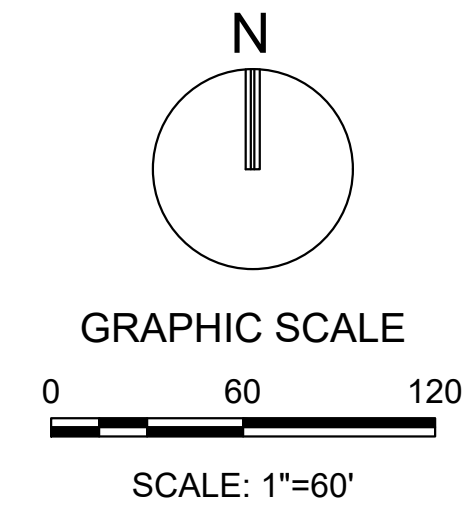
A PORTION OF BLOCK 1 AND A PORTION OF BLOCK M AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, P.B. 1, PG. 26, B.C.R. TOGETHER WITH: A PORTION OF W.B. SYMMES SUBDIVISION, P.B. 7, PG. 7, B.C.R. CITY OF HOLLYWOOD BROWARD COUNTY FLORIDA

PLAN PURPOSE:

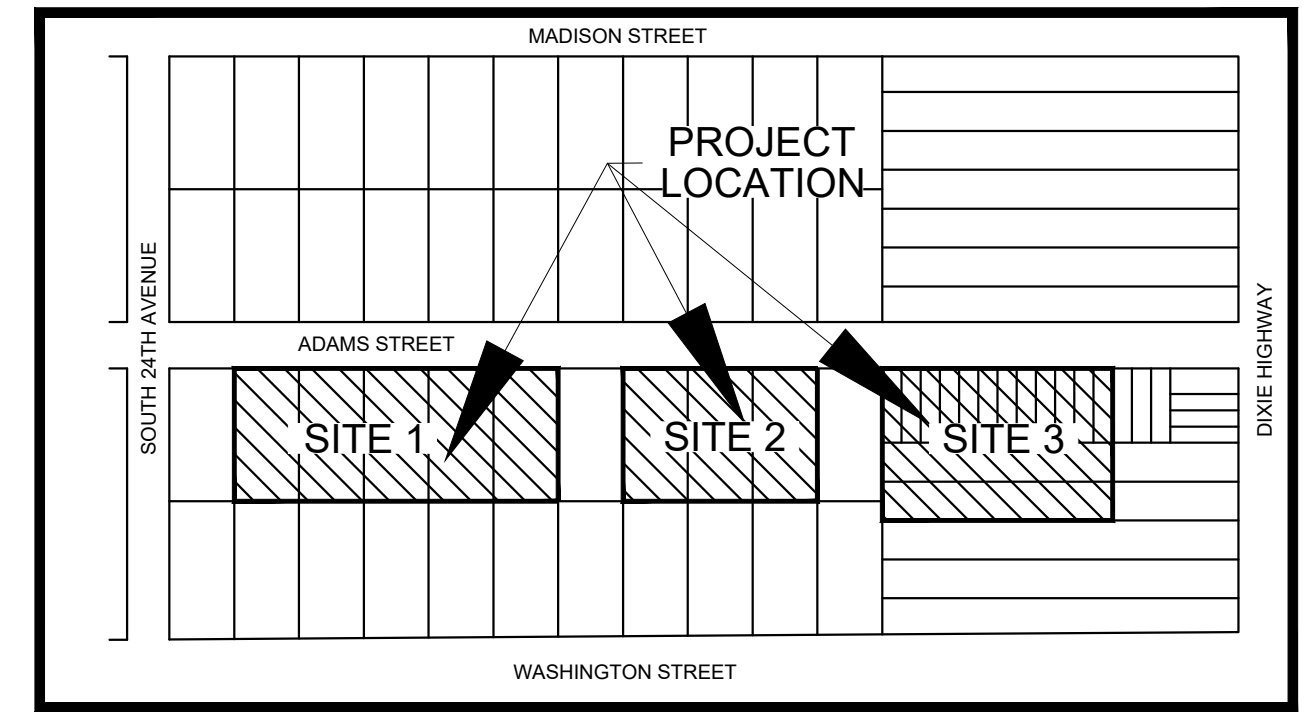
THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

NOTES:

1. REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
2. REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
(NOT TO SCALE)

SITE INFORMATION: SITE 1

NUMBER OF DWELLING UNITS:
 ONE-BEDROOM UNITS (630 SF): 34 UNITS
 TWO-BEDROOM UNITS (856 SF): 24 UNITS
 TOTAL UNITS: 58 UNITS

NET SITE AREA: 102,500 S.F. / 2.35 ACRES

DENSITY:
 ALLOWED: 1.75 FAR (275 UNITS)
 PROPOSED: 0.60 FAR (58 UNITS)

ADJACENT LAND USE:
 REGIONAL ACTIVITY CENTER
 ZONING: DH-2

SITE INFORMATION: SITE 2

NUMBER OF DWELLING UNITS:
 ONE-BEDROOM UNITS: 19 UNITS
 TWO-BEDROOM UNITS: 12 UNITS
 TOTAL UNITS: 31 UNITS

NET SITE AREA: 61,500 S.F. / 1.41 ACRES

DENSITY:
 ALLOWED: 1.75 FAR (165 UNITS)
 PROPOSED: 0.58 FAR (31 UNITS)

ADJACENT LAND USE:
 REGIONAL ACTIVITY CENTER
 ZONING: DH-2

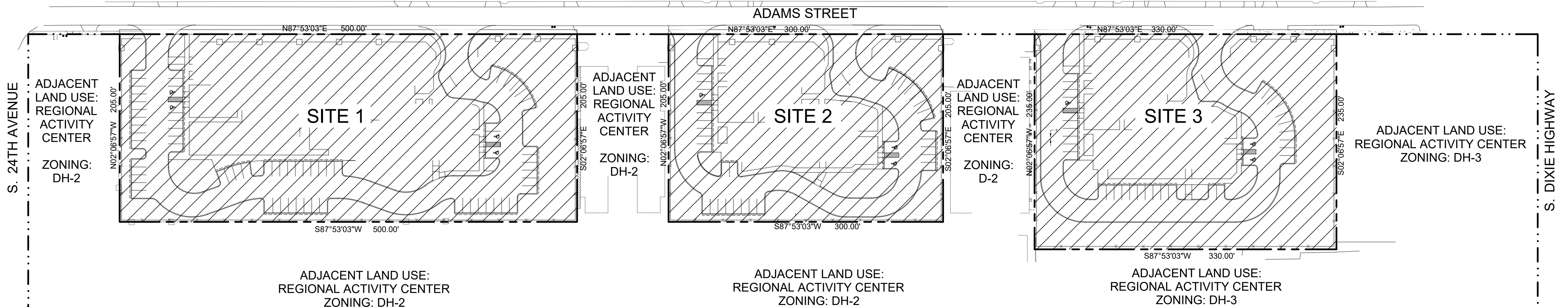
SITE INFORMATION: SITE 3

NUMBER OF DWELLING UNITS:
 ONE-BEDROOM UNITS: 19 UNITS
 TWO-BEDROOM UNITS: 12 UNITS
 TOTAL UNITS: 31 UNITS

NET SITE AREA: 77,550 S.F. / 1.78 ACRES

DENSITY:
 ALLOWED: 3.0 FAR (420 UNITS)
 PROPOSED: 0.46 FAR (31 UNITS)

ADJACENT LAND USE:
 REGIONAL ACTIVITY CENTER
 ZONING: DH-3



LEGAL DESCRIPTION: SITE 1

ALL OF LOTS 13 THROUGH 17 AND LOTS 19 THROUGH 21, BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION: SITE 2

TOGETHER WITH:
 ALL OF LOTS 9 THROUGH 19, W.B. SYMMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, ON PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION: SITE 3

ALSO TOGETHER WITH:
 THE WEST 330.00 FEET OF LOTS 4 AND 5, BLOCK M, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 241,550 SQUARE FEET (5.54 ACRES) MORE OR LESS.

KEITH ASSOCIATES, INC.
consulting engineers

301 East Atlantic Boulevard
 Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
 Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
 Authorization # - 7928

BID / CONTRACT NO.:

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
 NOT FOR CONSTRUCTION**
 THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



ADAMS STREET
 CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
 FLORIDA REG. NO. 33256
 (FOR THE FIRM)

SHEET TITLE
**OVERALL
 KEY PLAN**

SHEET NUMBER
SP-100

PRELIMINARY TAC SUBMITTAL

PROJECT NO. **10067.00**

Drawing name: N:\10\10067.00 - Pinnacle at Peacefield - PHIC\Engineering\Cadd\10067.00-SP-100 - Overall Key Plan.dwg Layout Name: SP-100 - Printed on: Feb 02, 2018 - 3:45pm

SITE DATA TABLE: SITE-1			
PROJECT ADDRESS: ADAMS STREET, HOLLYWOOD, FL 33020			
PROJECT INFORMATION:			
LAND USE DESIGNATION:	REGIONAL ACTIVITY CENTER - TRANSITION CORE		
FUTURE ZONING DESIGNATION:	DIXIE HIGHWAY MEDIUM INTENSITY MULTI-FAMILY (DH-2)		
NET SITE AREA (S.F.)	102,500	2.35	AC
TOTAL BLDG SF	20,916		
SERVICE PROVIDERS			
POTABLE WATER	CITY OF HOLLYWOOD		
SANITARY SEWER	CITY OF HOLLYWOOD		
SOLID WASTE	WASTE PRO		
ZONING DISTRICT REQUIREMENTS:			
PROPOSED BUILDING HEIGHT	REQUIRED 45' MAX	PROVIDED 32'-8"	
SETBACK REQUIREMENTS			
PROPOSED BUILDING	REQUIRED	PROVIDED	
FRONT SETBACK	15'	21.5'	FT.
INTERIOR SIDE SETBACK (EAST)	10'	114.9'	FT.
INTERIOR SIDE SETBACK (WEST)	10'	79.5'	FT.
REAR YARD	20'	67.7'	FT.

SITE AREA CALCULATIONS: SITE 1			
NET SITE AREA:	SQ. FT.	%	ACRE
	102,500		2.35
IMPERVIOUS AREA			
PROPOSED BUILDING FOOTPRINT	20,660	20.2%	0.47
VEHICLE USE AREAS	30,515	29.8%	0.70
SIDEWALKS/CONCRETE	7,621	7.4%	0.17
VEHICLE OVERHANG	850	0.8%	0.02
PERVIOUS AREA			
LANDSCAPE OPEN SPACE	42,854	41.8%	0.98
LANDSCAPE SETBACK AREA	12,623	12.3%	0.290
INTERIOR LANDSCAPE AREA	30,231	29.5%	0.69
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	102,500	100%	2.35
LANDSCAPE AREA CALCULATIONS:			
INTERIOR LANDSCAPED AREA (MIN. 25% OF VUA)	REQUIRED 7,629	PROVIDED 30,231	99%
LANDSCAPED OPEN SPACE (MIN. 20% OF SITE)	REQUIRED 20,500	PROVIDED 42,854	42%

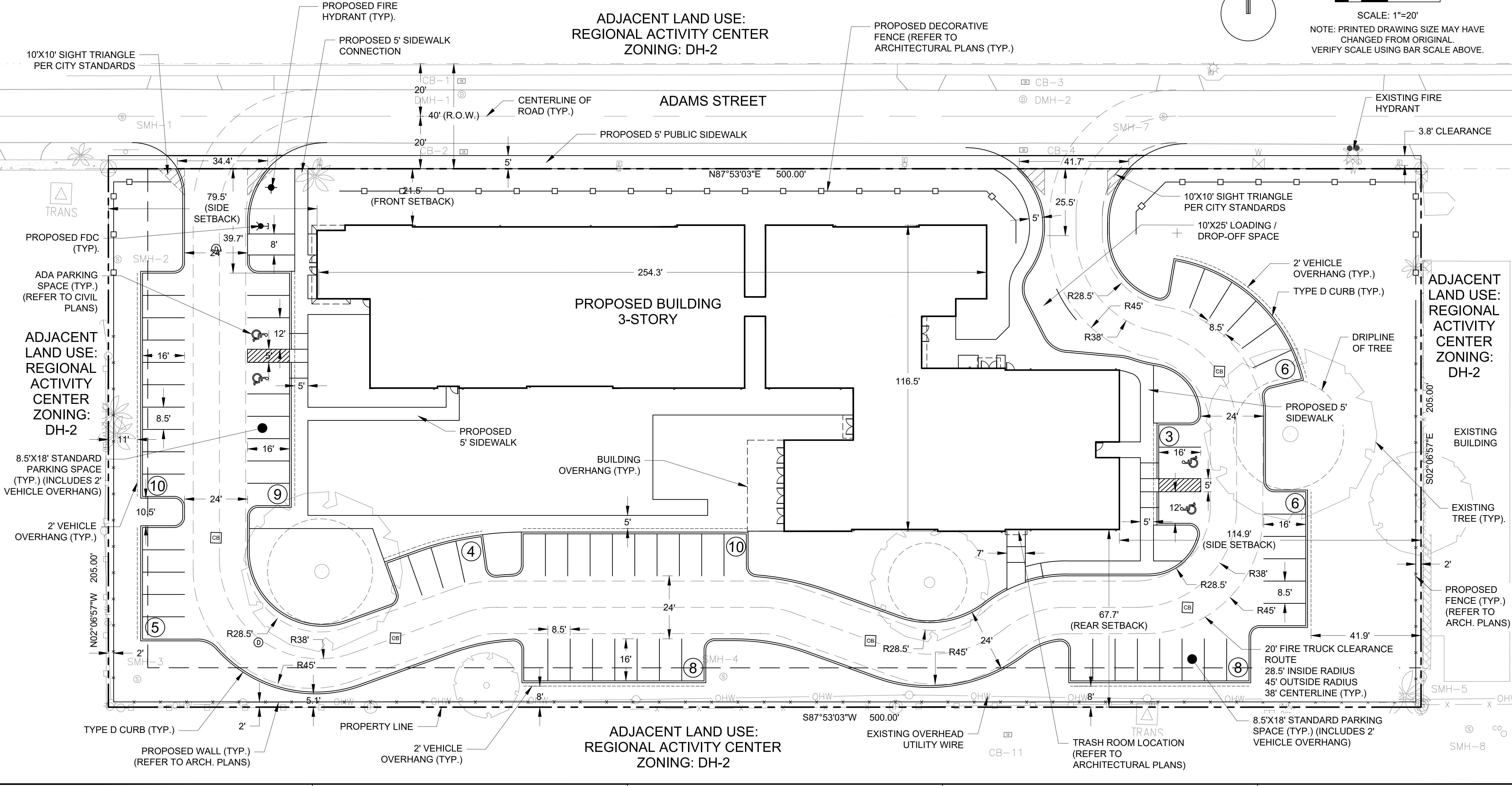
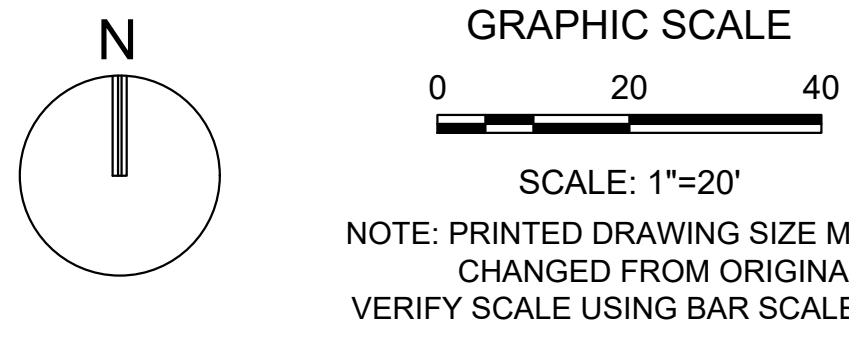
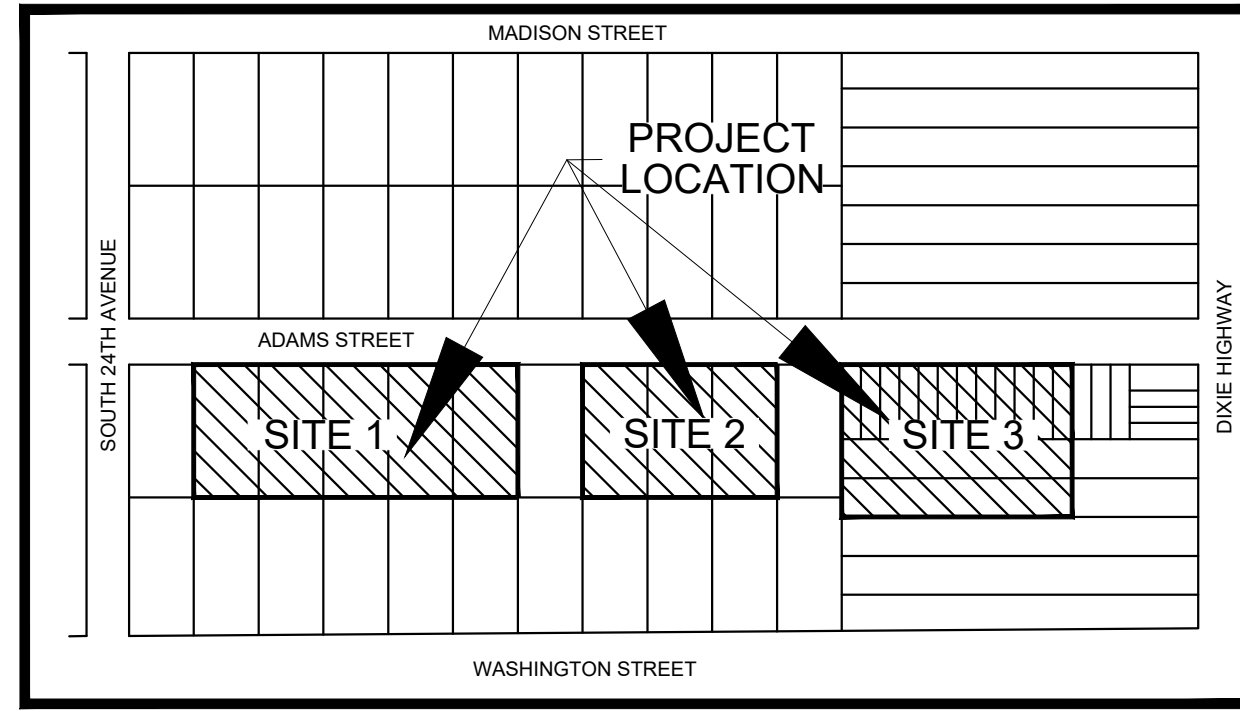
PARKING DATA:		REQUIRED
MULTI-FAMILY		
1 PER DU		58
1 PER 10 DU FOR GUESTS		5.8
2.5 SPACES / 1,000 SF (LEASING OFFICE)		2.5
TOTAL PARKING REQUIRED		66.3
TOTAL PARKING PROVIDED		69 (INCLUDES 4 ADA SPACES)

NOTES:

- PLEASE REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
- REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION

PLAN PURPOSE:

THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.



KEITH ASSOCIATES, INC.
consulting engineers

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Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

REVISIONS		
NO.	DESCRIPTION	DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



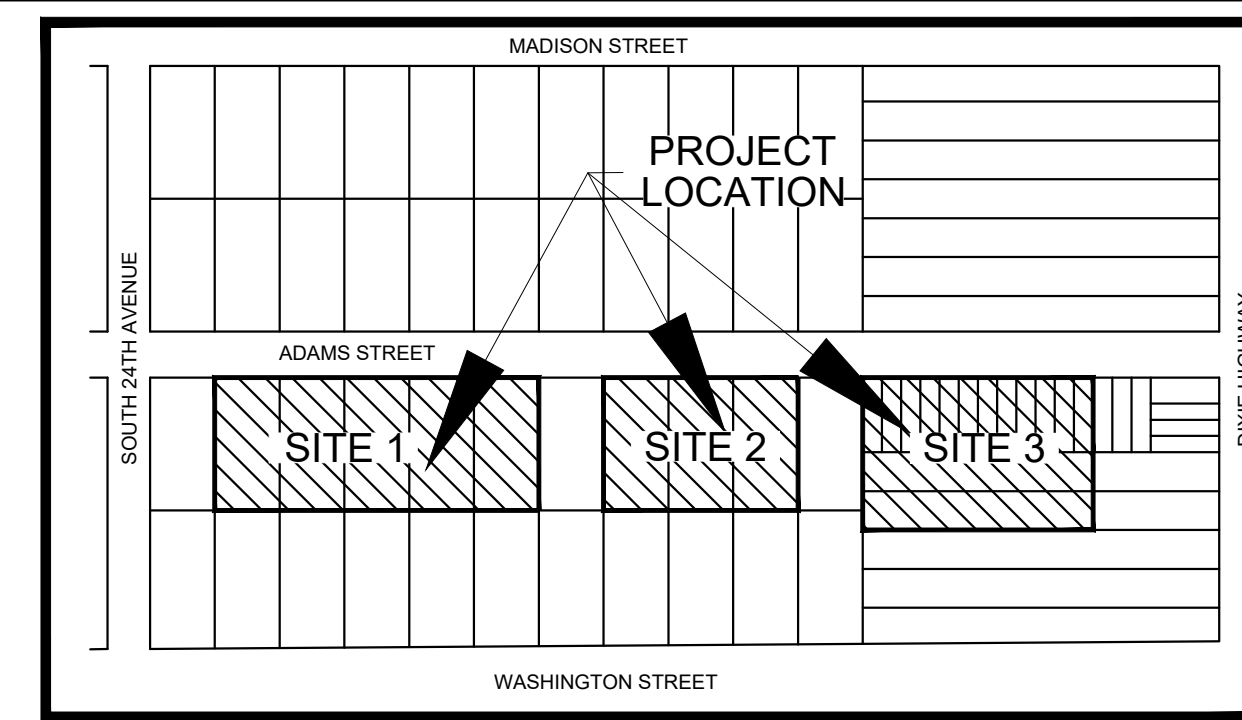
SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE	SITE PLAN SITE 1
SHEET NUMBER	SP-101
PRELIMINARY TAC SUBMITTAL	
PROJECT NO.	10067.00

Drawing name: H:\10067.00 - Pinnacle at Peacefield - PHCE\Engineering\Cad\10067.00-SP-101 Site Plan.dwg Layout Name: SP-101 Plotted by: MManoia Plot Date: Feb 02, 2018 3:45pm



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Florida Certificate of
 Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE

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JAMES A. THIELE, P.E.
 FLORIDA REG. NO. 33256
 (FOR THE FIRM)

SHEET TITLE

**SITE PLAN
 SITE 2**

SHEET NUMBER

SP-102

PRELIMINARY TAC SUBMITTAL

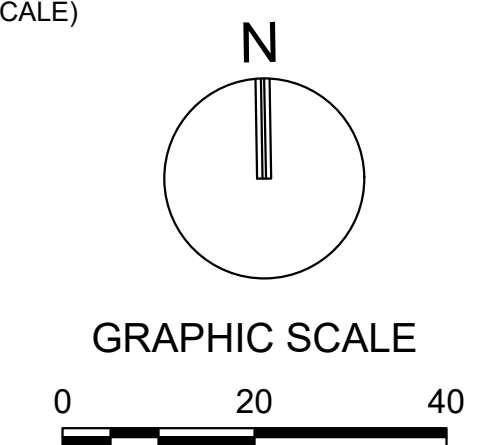
PROJECT NO. 10067.00

PLAN PURPOSE:

THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

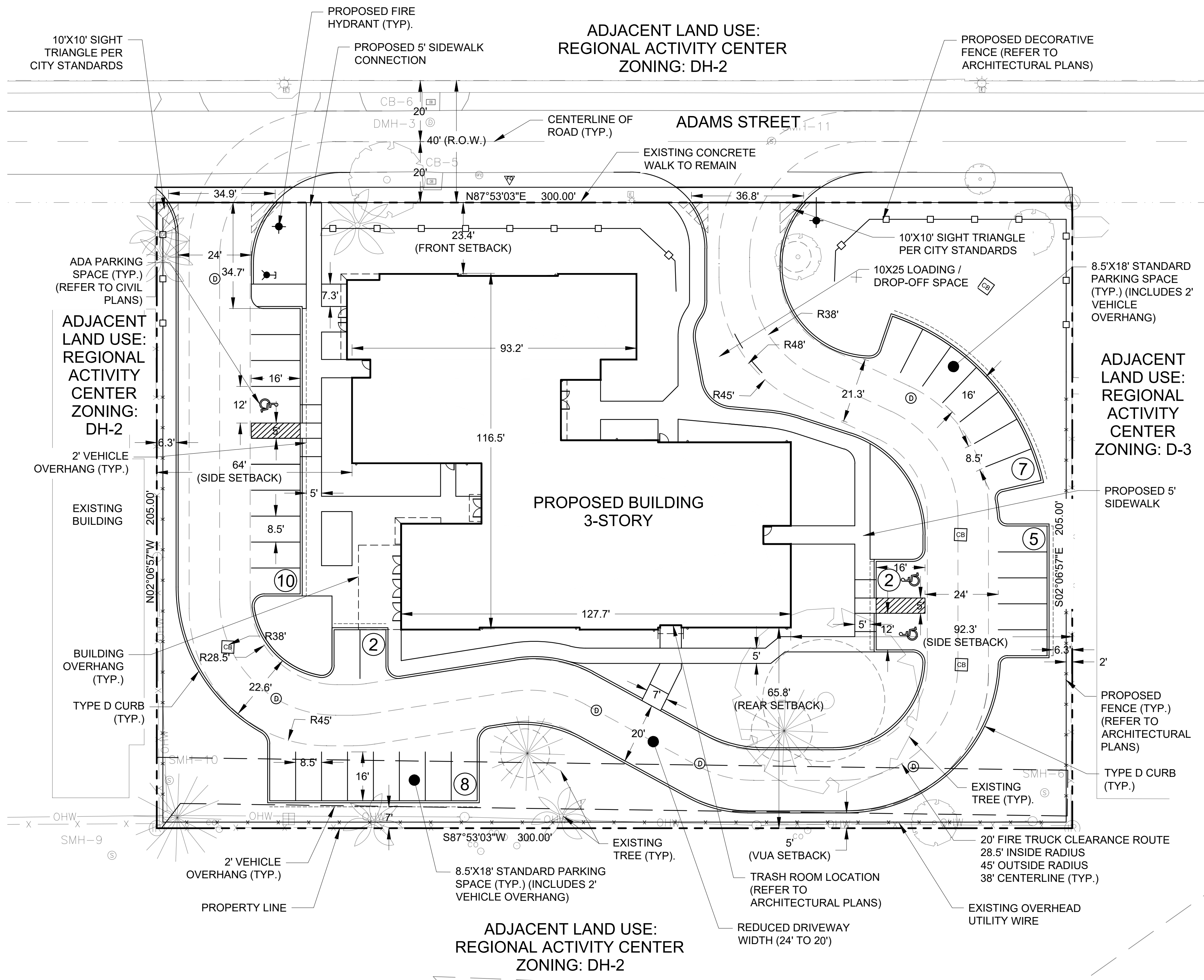
NOTES:

- PLEASE REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
- REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION

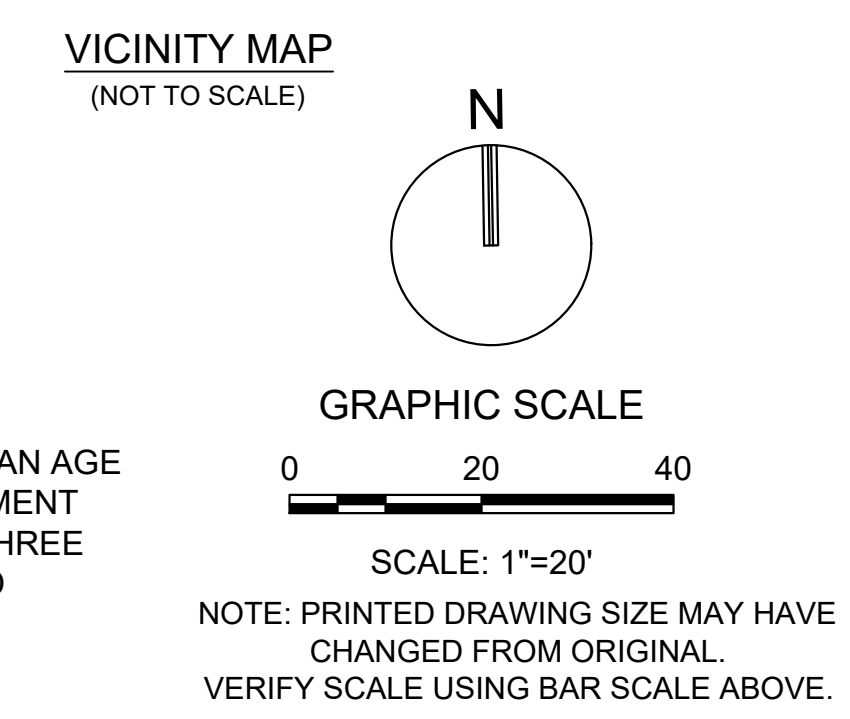
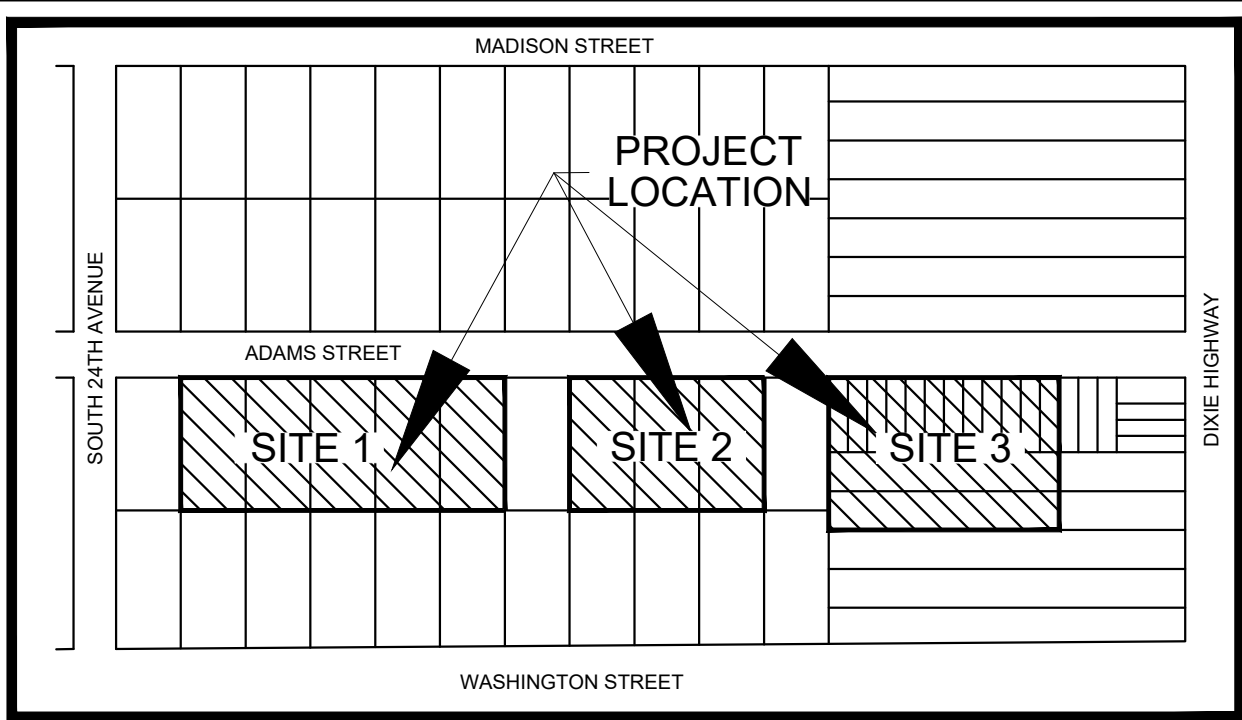
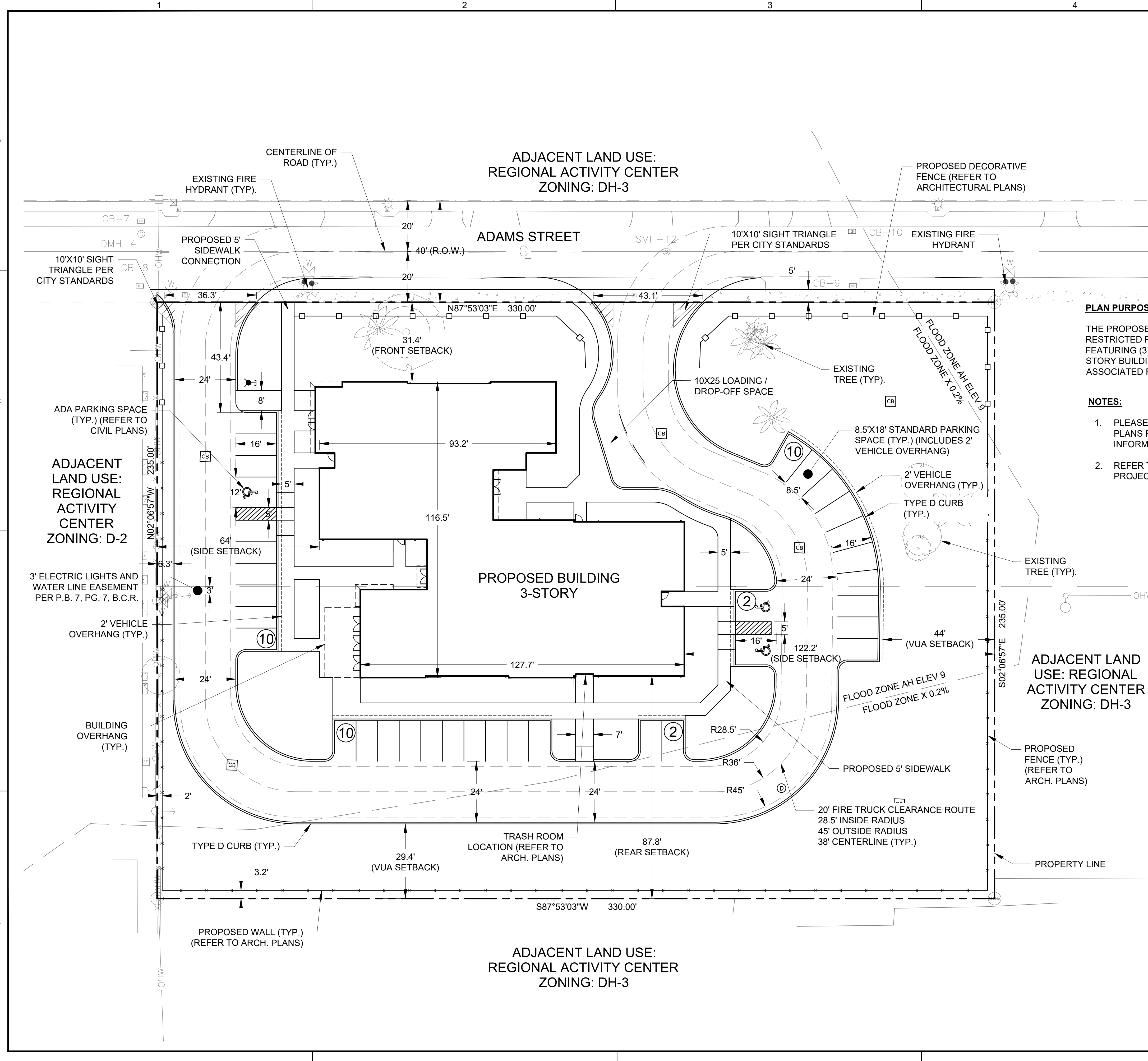


SCALE: 1"=20'
 NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

SITE DATA TABLE: SITE-2			
PROJECT ADDRESS: ADAMS STREET, HOLLYWOOD, FL 33020			
PROJECT INFORMATION:			
LAND USE DESIGNATION:	REGIONAL ACTIVITY CENTER - TRANSITION CORE		
FUTURE ZONING DESIGNATION:	DIXIE HIGHWAY MEDIUM INTENSITY MULTI-FAMILY (DH-2)		
NET SITE AREA (S.F.)	61,500	1.41	AC
TOTAL BLDG SF	11,831		
SERVICE PROVIDERS			
POTABLE WATER	CITY OF HOLLYWOOD		
SANITARY SEWER	CITY OF HOLLYWOOD		
SOLID WASTE	WASTE PRO		
ZONING DISTRICT REQUIREMENTS:			
PROPOSED BUILDING HEIGHT	REQUIRED 45' MAX	PROVIDED 32'-8"	
SETBACK REQUIREMENTS			
	REQUIRED	PROVIDED	
PROPOSED BUILDING			
FRONT SETBACK	15'	23.4'	FT.
INTERIOR SIDE SETBACK (EAST)	10'	92.3'	FT.
INTERIOR SIDE SETBACK (WEST)	10'	64'	FT.
REAR YARD	20'	65.8'	FT.
SITE AREA CALCULATIONS: SITE 2			
	SQ. FT.	%	ACRE
NET SITE AREA:	61,500	100%	1.41
	PROVIDED		
	SQ. FT.	%	ACRE
IMPERVIOUS AREA			
PROPOSED BUILDING FOOTPRINT	11,851	19.3%	0.27
VEHICLE USE AREAS	20,594	33.5%	0.47
SIDEWALKS/CONCRETE	5,175	8.4%	0.12
VEHICLE OVERHANG	413	0.7%	0.009
PERVIOUS AREA			
LANDSCAPED OPEN SPACE	23,467	38.2%	0.54
LANDSCAPE SETBACK AREA	7,827	12.7%	0.180
INTERIOR LANDSCAPE AREA	15,640	25.4%	0.36
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	61,500	100%	1.41
LANDSCAPE AREA CALCULATIONS:			
	REQUIRED	PROVIDED	
INTERIOR LANDSCAPED AREA (MIN. 25% OF VU)	5,149	15,640	76%
LANDSCAPED OPEN SPACE (MIN. 20% OF SITE)	12,300	23,467	38%
PARKING DATA:			
	REQUIRED		
MULTI-FAMILY			
1 PER DU	31		
1 PER 10 DU FOR GUESTS	3		
TOTAL PARKING REQUIRED	34		
TOTAL PARKING PROVIDED	34	(INCLUDES 3 ADA SPACES)	



D
C
B
A



PLAN PURPOSE:

THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

NOTES:

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- REFER TO ARCHITECTURAL PLANS FOR PROJECT SIGNAGE INFORMATION

SITE DATA TABLE: SITE-3			
PROJECT ADDRESS: ADAMS STREET, HOLLYWOOD, FL 33020			
PROJECT INFORMATION: LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER - URBAN CORRIDOR ZONING DESIGNATION: DIXIE HIGHWAY HIGH INTENSITY MULTI-FAMILY (DH-3)			
NET SITE AREA (S.F.)	77,550	1.78	AC
TOTAL BLDG SF (INCLUDES FUTURE ENVELOPE)	11,831		
SERVICE PROVIDERS			
POTABLE WATER	CITY OF HOLLYWOOD		
SANITARY SEWER	CITY OF HOLLYWOOD		
SOLID WASTE	WASTE PRO		
ZONING DISTRICT REQUIREMENTS:			
PROPOSED BUILDING HEIGHT	REQUIRED 55' MAX	PROVIDED 32'-8"	
SETBACK REQUIREMENTS			
PROPOSED BUILDING	REQUIRED	PROVIDED	
FRONT SETBACK	15'	31.4' FT.	
INTERIOR SIDE SETBACK (EAST)	0'	122.2' FT.	
INTERIOR SIDE SETBACK (WEST)	10'	64' FT.	
REAR YARD	20'	87.8' FT.	
SITE AREA CALCULATIONS: SITE 3			
NET SITE AREA:	SQ. FT.	%	ACRE
	77,550	100%	1.78
IMPERVIOUS AREA	SQ. FT.	%	ACRE
	21,806	28.1%	0.50
PERVIOUS AREA	SQ. FT.	%	ACRE
	55,744	71.9%	1.28
LANDSCAPE AREA CALCULATIONS:			
LANDSCAPED OPEN SPACE*	38,339	49.4%	0.88
LANDSCAPE SETBACK AREA	9,515	12.3%	0.218
INTERIOR LANDSCAPE AREA	28,824	37.2%	0.66
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPACE)	77,550	100%	1.78
INTERIOR LANDSCAPED AREA (MIN. 25% OF VUA)	5,452	28,824	132%
*NO MINIMUM LANDSCAPED OPEN SPACE REQUIREMENT IN DH-3 ZONING DISTRICT			
PARKING DATA:			
REQUIRED			
MULTI-FAMILY			
1 PER DU	31		
1 PER 10 DU FOR GUESTS	3		
TOTAL PARKING REQUIRED	34		
TOTAL PARKING PROVIDED	34	(INCLUDES 3 ADA SPACES)	

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consulting engineers

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Florida Certificate of Authorization # - 7928

BID / CONTRACT NO.:

REVISIONS		
NO.	DESCRIPTION	DATE

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ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
SITE PLAN SITE 3

SHEET NUMBER
SP-103

PRELIMINARY TAC SUBMITTAL

PROJECT NO. **10067.00**

Drawing name: N:\10067.00 - Pinnacle at Peacefield - PHCE\Engineering\Cad\10067.00-SP-101 Site Plan.dwg | Printed on: Feb 02, 2018 - 4:09pm | Layout Name: SP-103 | Printed by: MAMODO

PINNACLE AT PEACEFIELD

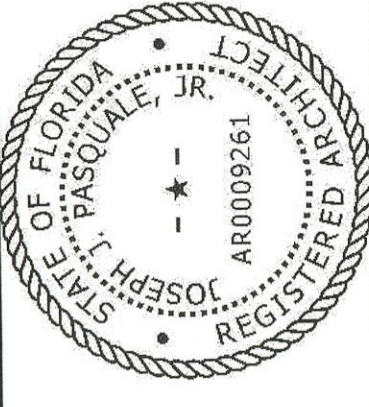
HOLLYWOOD, FL



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CHECKED PKA

**PINNACLE AT
PEACEFIELD**

ADAMS STREET
HOLLYWOOD, FL

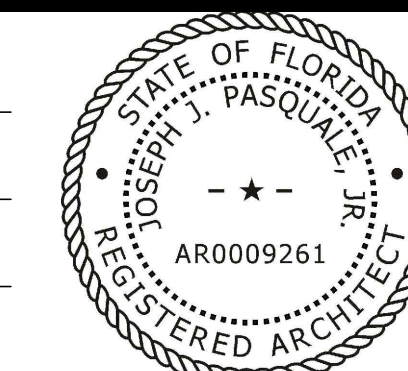
PROJECT NO. 1746
DATE: 10/09/17

R E V I S I O N S
12/01/17 PACO SUBMITTAL
01/31/18 SITE PLAN APPROVAL PACKAGE

**RENDERINGS AND
COVER SHEET**

A-0.0
SITE PLAN APPROVAL

DESIGNED PKA
 DRAWN PKA
 CHECKED PKA



FIRST FLOOR PLAN - WEST BUILDING
 SCALE 1/16" = 1'-0"

**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

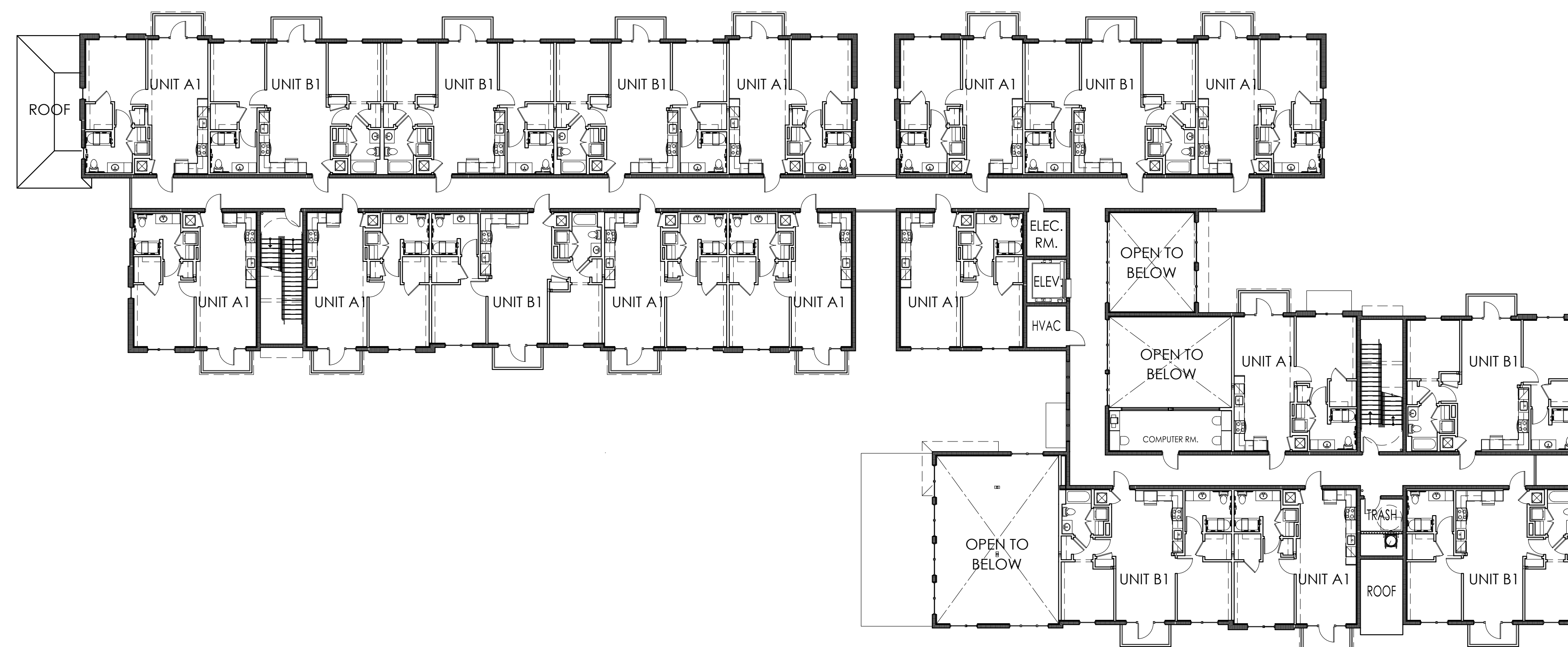
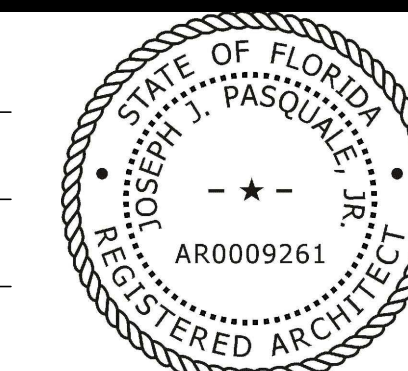
REVISIONS
 12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**WEST BUILDING
 FIRST FLOOR PLAN**

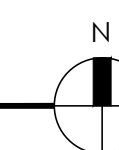
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SITE PLAN APPROVAL

DESIGNED PKA
 DRAWN PKA
 CHECKED PKA



SECOND FLOOR PLAN - WEST BUILDING
 SCALE 1/16" = 1'-0"



**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

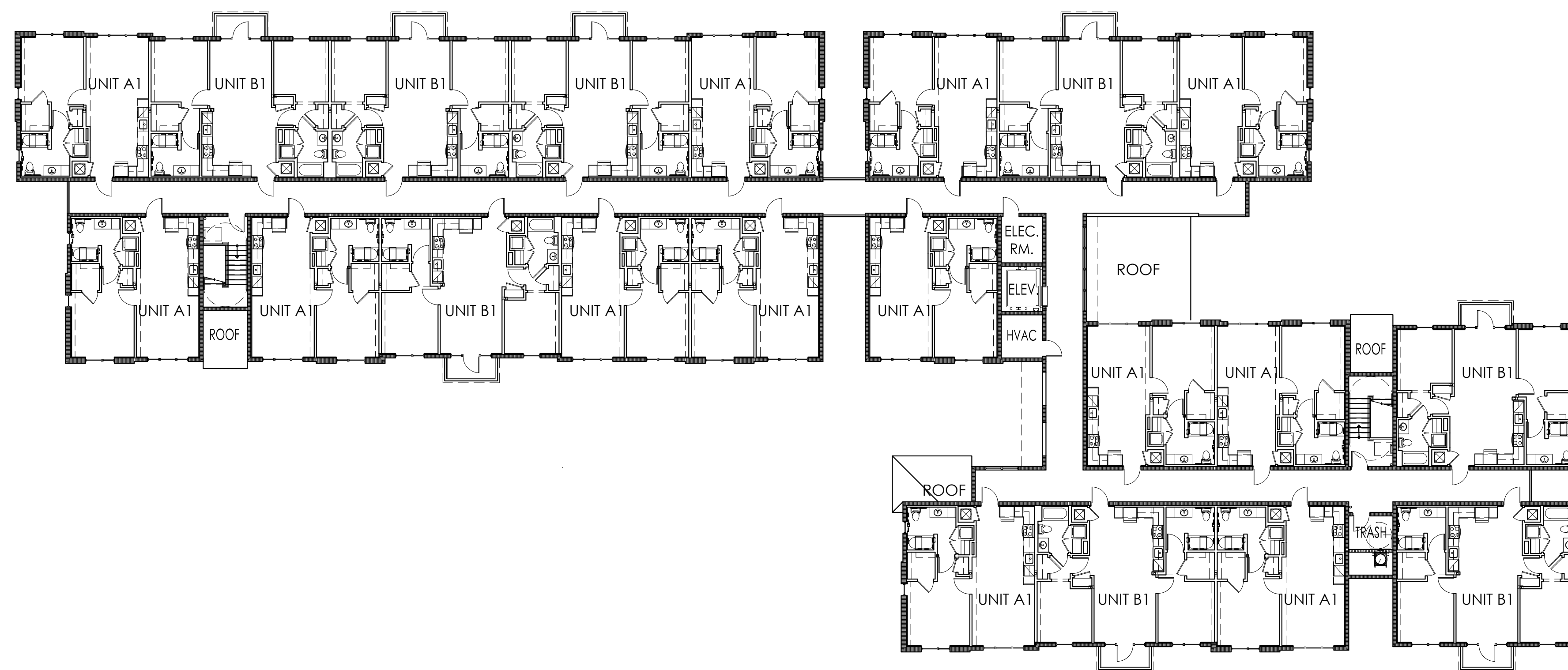
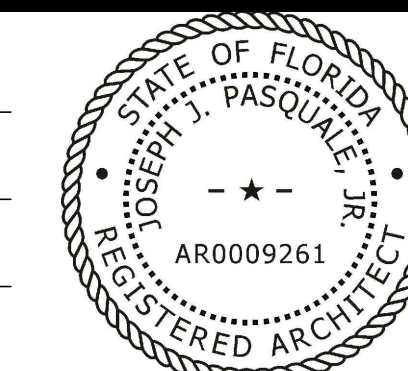
REVISIONS
 12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**WEST BUILDING
 SECOND FLOOR PLAN**

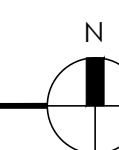
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SITE PLAN APPROVAL

DESIGNED PKA
 DRAWN PKA
 CHECKED PKA



THIRD FLOOR PLAN - WEST BUILDING
SCALE 1/16" = 1'-0"



**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

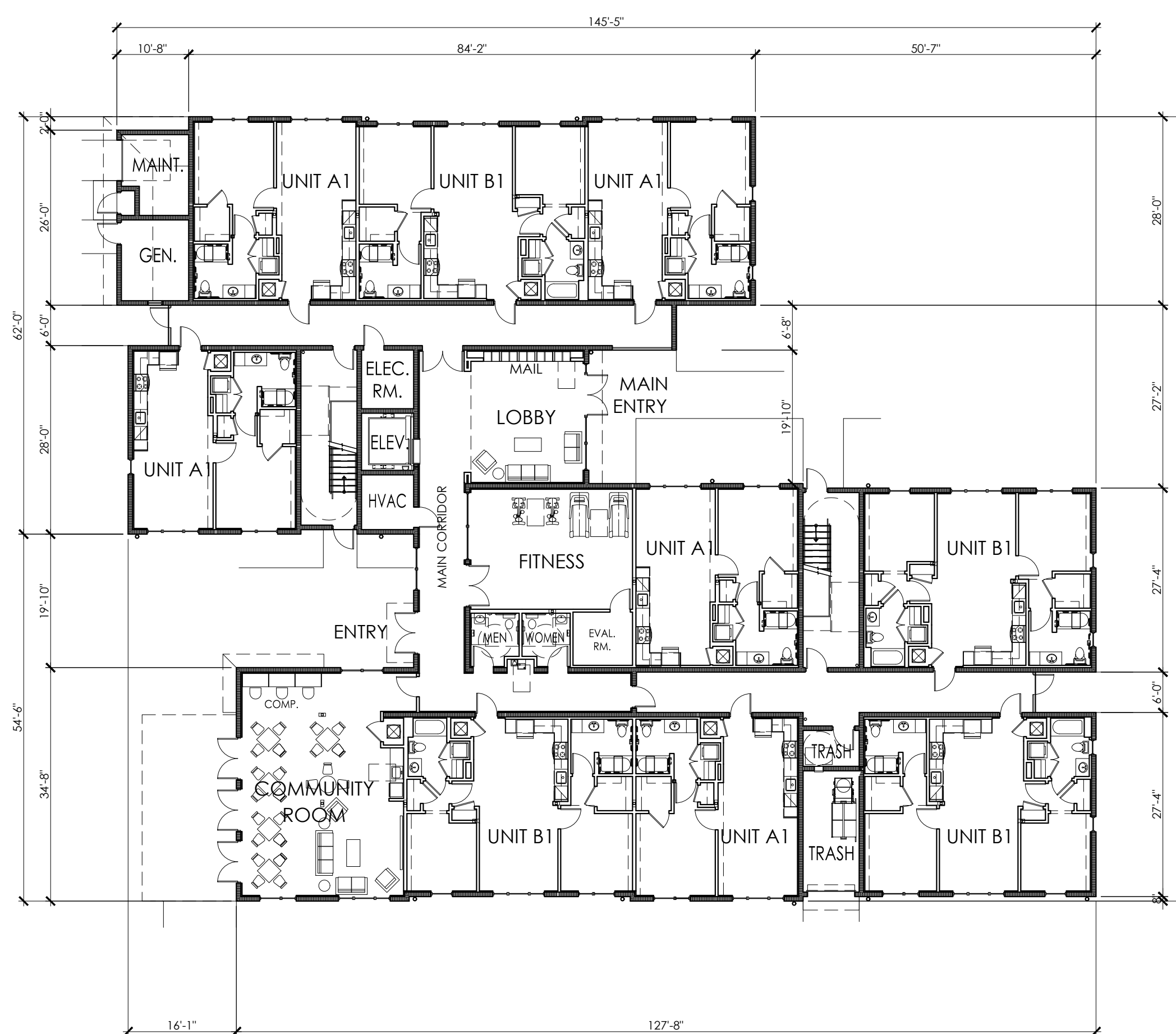
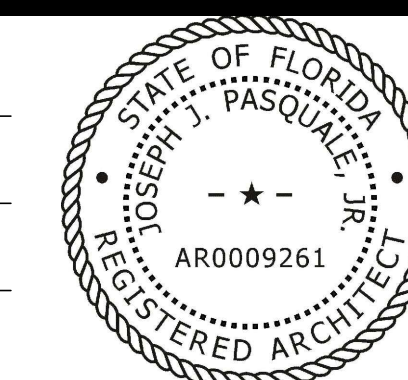
REVISIONS
 12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**WEST BUILDING
 THIRD FLOOR PLAN**

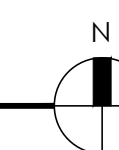
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SITE PLAN APPROVAL

DESIGNED PKA
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 CHECKED PKA



FIRST FLOOR PLAN - CENTRAL/EAST BLDG.
 SCALE 1/16" = 1'-0"



**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

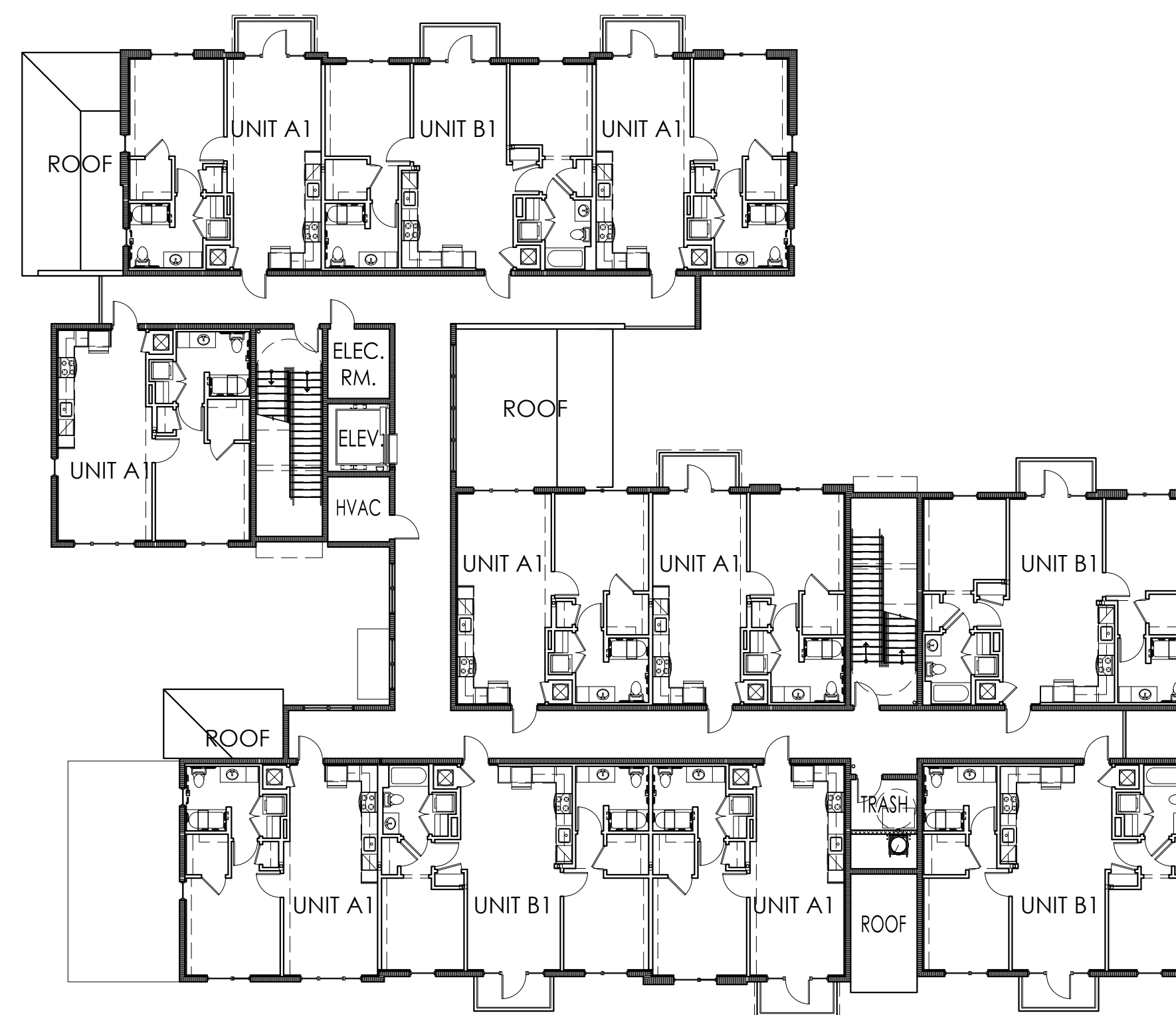
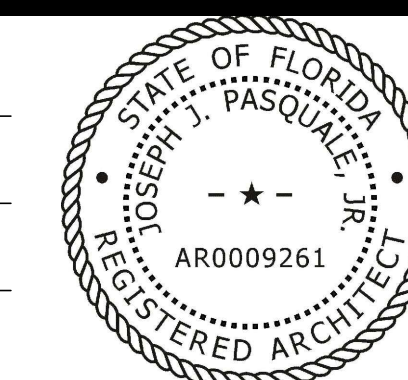
REVISIONS
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**CENTRAL/EAST BLDG.
 FIRST FLOOR PLAN**

A-2.4

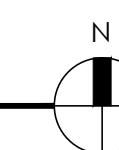
SITE PLAN APPROVAL

DESIGNED PKA
 DRAWN PKA
 CHECKED PKA



SECOND FLOOR PLAN - CENTRAL/EAST BLDG.

SCALE 1/16" = 1'-0"



**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

REVISIONS

12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**CENTRAL/EAST BLDG.
 FIRST FLOOR PLAN**

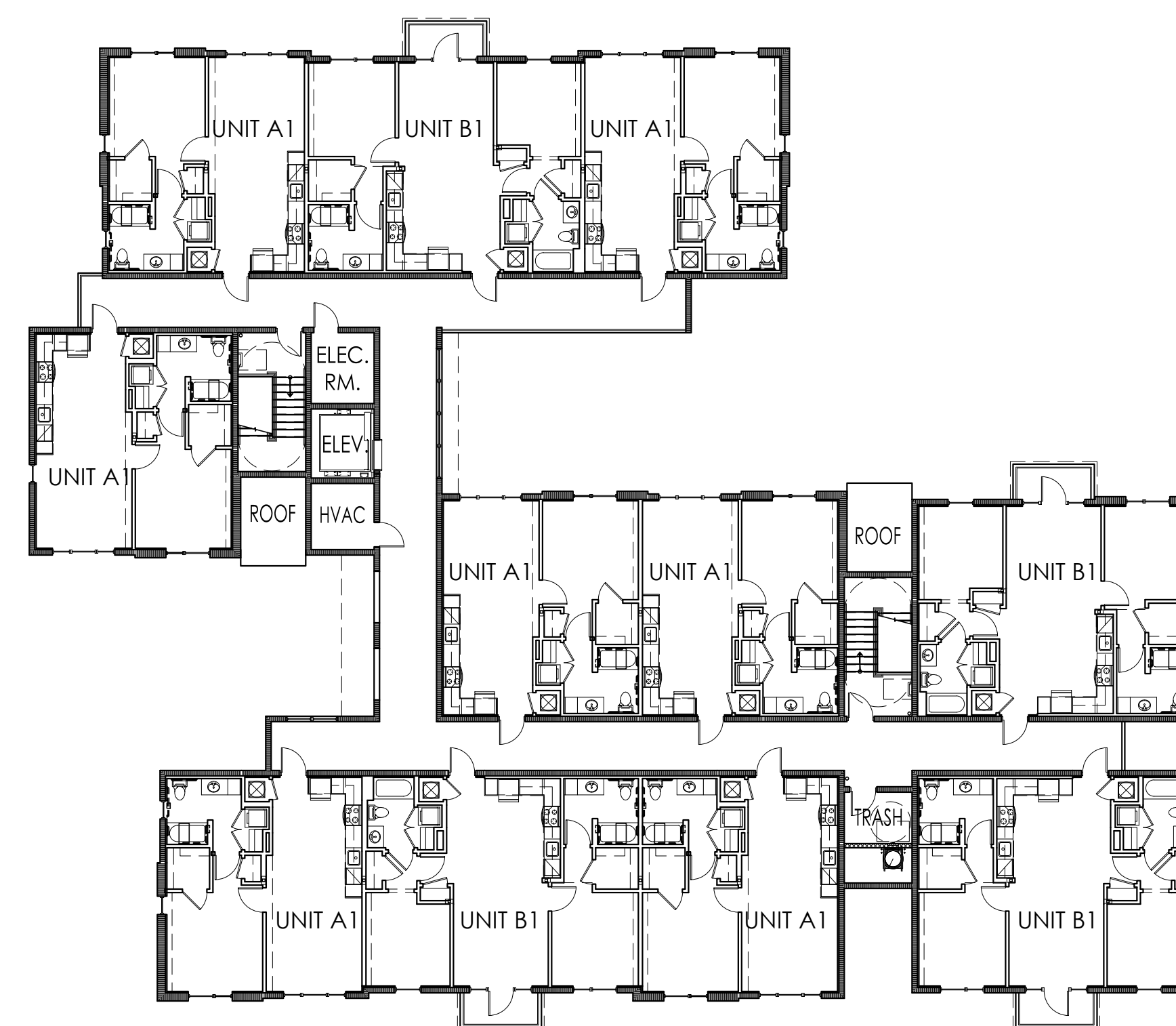
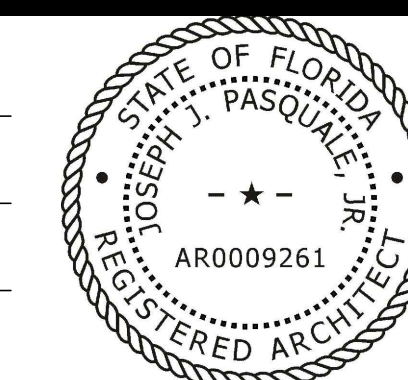
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SITE PLAN APPROVAL

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 FORT LAUDERDALE, FL 33309
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 AA0002517

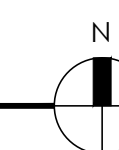
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THIRD FLOOR PLAN - CENTRAL/EAST BLDG.

SCALE 1/16" = 1'-0"



**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

REVISIONS

12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**CENTRAL/EAST BLDG.
 THIRD FLOOR PLAN**

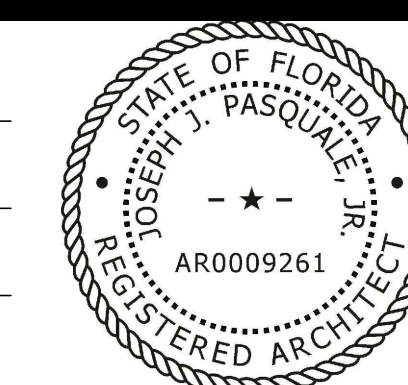
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SITE PLAN APPROVAL

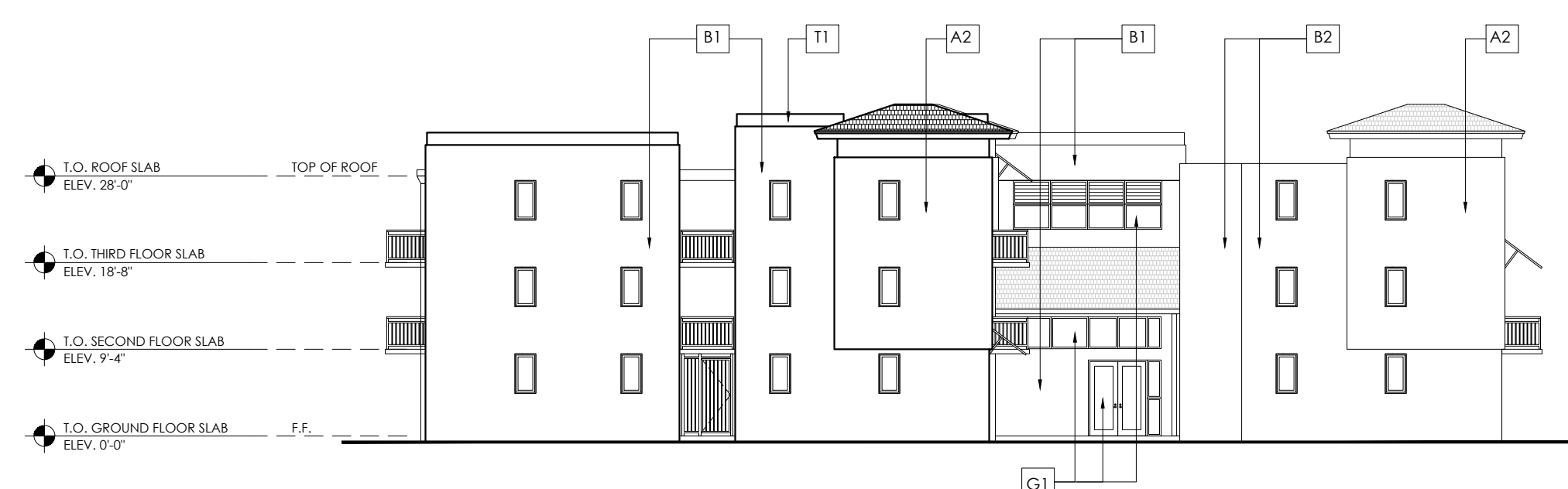
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DESIGNED PKA
 DRAWN PKA
 CHECKED PKA



WEST BUILDING - NORTH (ADAMS ST.) ELEVATION
 SCALE 1/16" = 1'-0"



WEST BUILDING - EAST (LOBBY ENTRY) ELEVATION
 SCALE 1/16" = 1'-0"



WEST BUILDING - WEST ELEVATION
 SCALE 1/16" = 1'-0"



WEST BUILDING - SOUTH (REAR) ELEVATION
 SCALE 1/16" = 1'-0"

COLOR LEGEND

COLOR LEGEND	
B1	BODY COLOR WARM LIGHT TAN [ARISTOCRAT IVORY (ECC-52-2)]
B2	BODY COLOR WARM LIGHT SAND [NEVADA SAND ECC-52-1]
T1	TRIM COLOR ULTRA PURE WHITE
G1	GLASS COLOR TINTED
A1	AWNING/SHADE STRUCT. MEADOW GLEN ECC-12-2
A2	ACCENT TILE SWEET GEORGIA BROWN AV283_10836UPS

NOTE: BEHR PAINT COLORS AND CODES.

**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

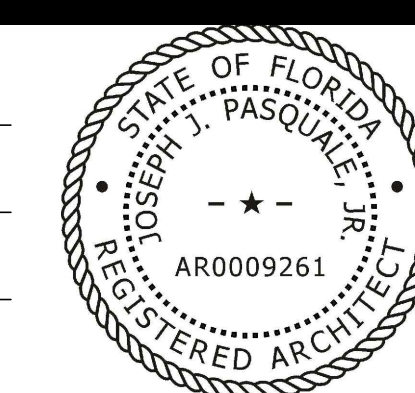
REVISIONS
 12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**WEST BUILDING
 ELEVATIONS**

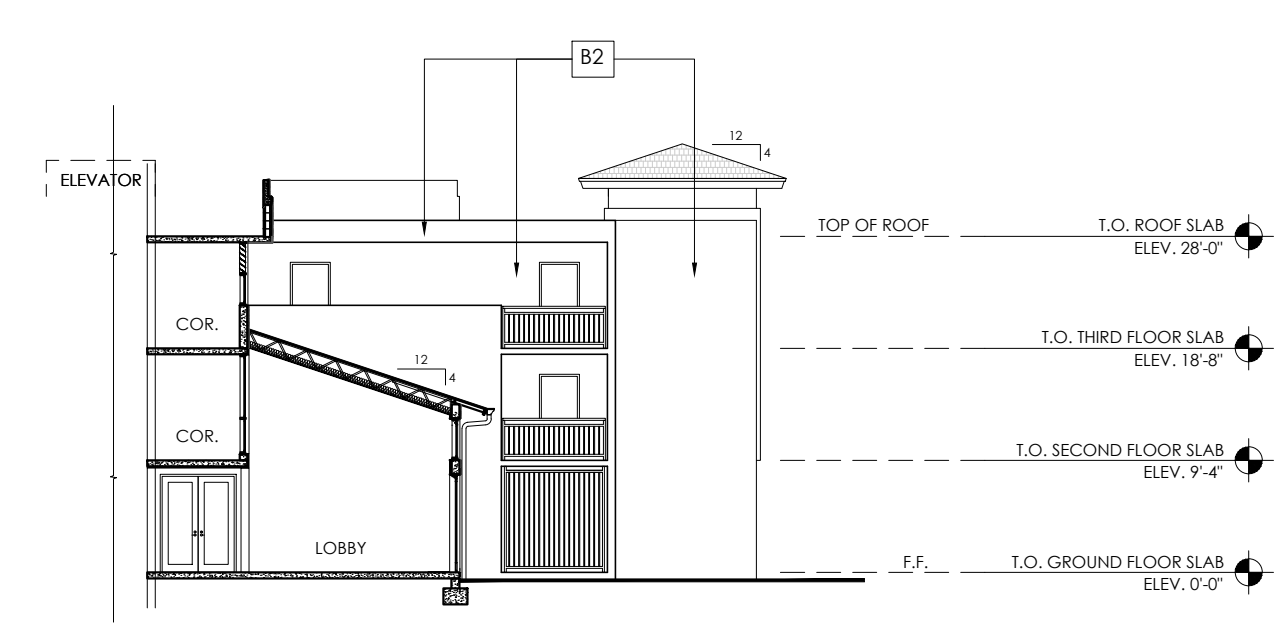
A-4.0

SITE PLAN APPROVAL

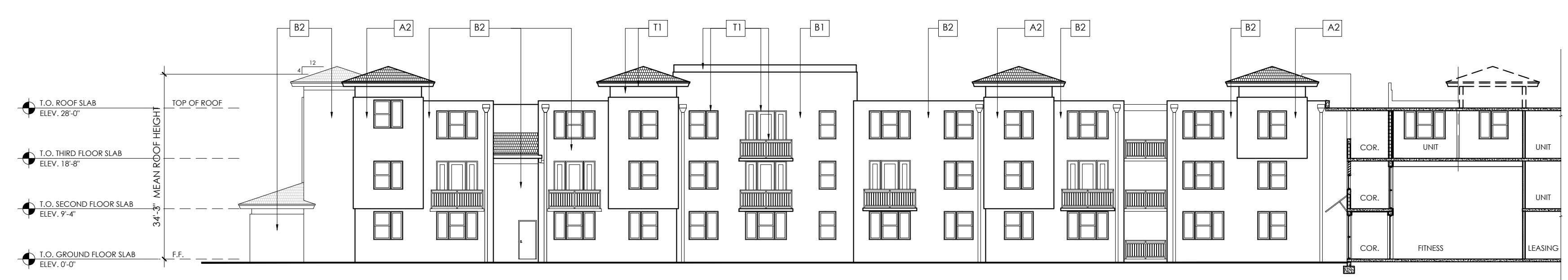
DESIGNED PKA
 DRAWN PKA
 CHECKED PKA



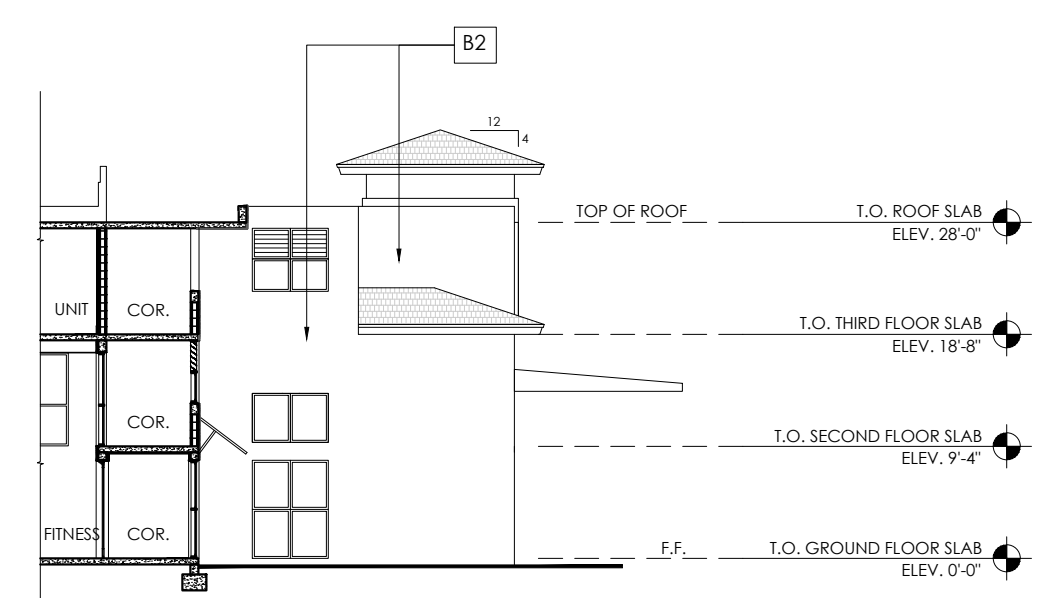
**WEST BUILDING - NORTH (STREET)
 SECTION/ELEVATION THRU LOBBY**
 SCALE 1/16" = 1'-0"



**WEST BUILDING - SOUTH
 SECTION/ELEVATION THRU LOBBY**
 SCALE 1/16" = 1'-0"



**WEST BUILDING - SOUTH (REAR)
 SECTION/ELEVATION THRU FITNESS**
 SCALE 1/16" = 1'-0"



**WEST BUILDING - NORTH (STREET)
 SECTION/ELEVATION THRU FITNESS**
 SCALE 1/16" = 1'-0"

COLOR LEGEND

COLOR LEGEND	
[B1] BODY COLOR	WARM LIGHT TAN [ARISTOCRAT IVORY (ECC-52-2)]
[B2] BODY COLOR	WARM LIGHT SAND [NEVADA SAND ECC-52-1]
[T1] TRIM COLOR	ULTRA PURE WHITE
[G1] GLASS COLOR	TINTED
[A1] AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2
[A2] ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS

NOTE: BEHR PAINT COLORS AND CODES.

**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

REVISIONS
 12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**WEST BUILDING
 SECTION/ELEVATIONS**

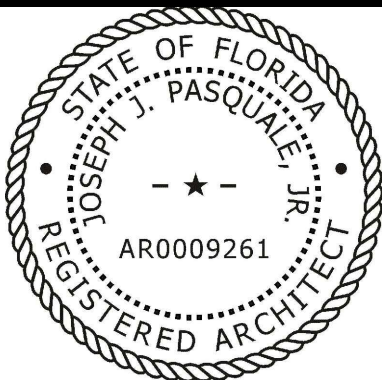
A-4.1

SITE PLAN APPROVAL

5101 N.W. 21ST AVENUE, SUITE 360
 FORT LAUDERDALE, FL 33309
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 F: (954) 332-0187
 AA0002517

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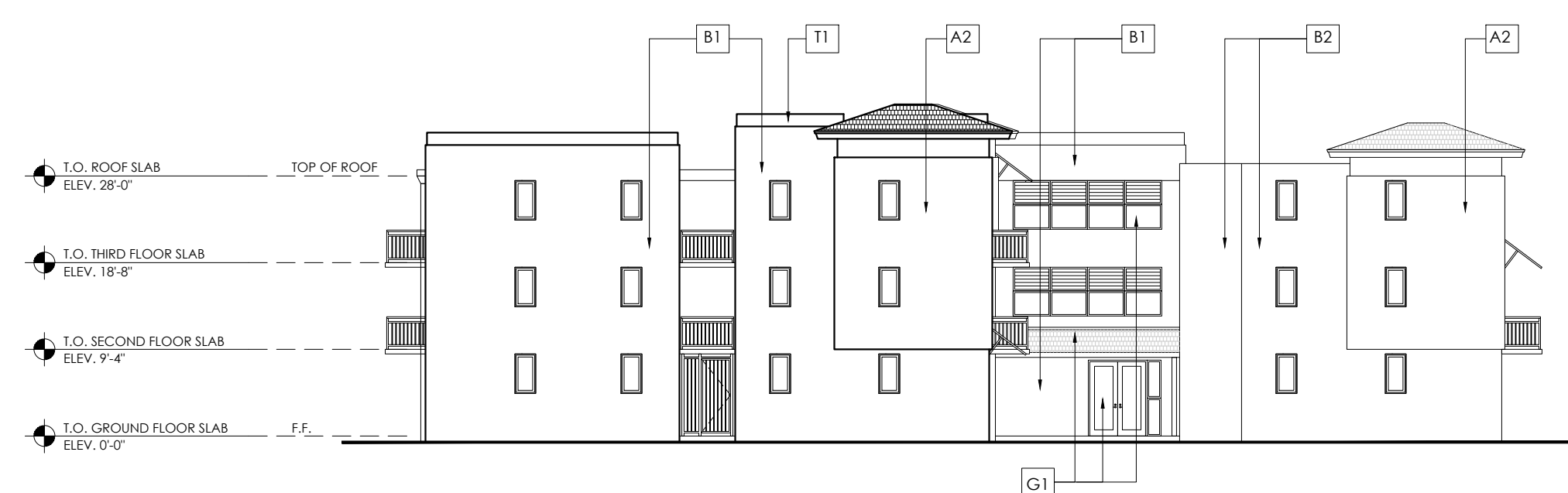
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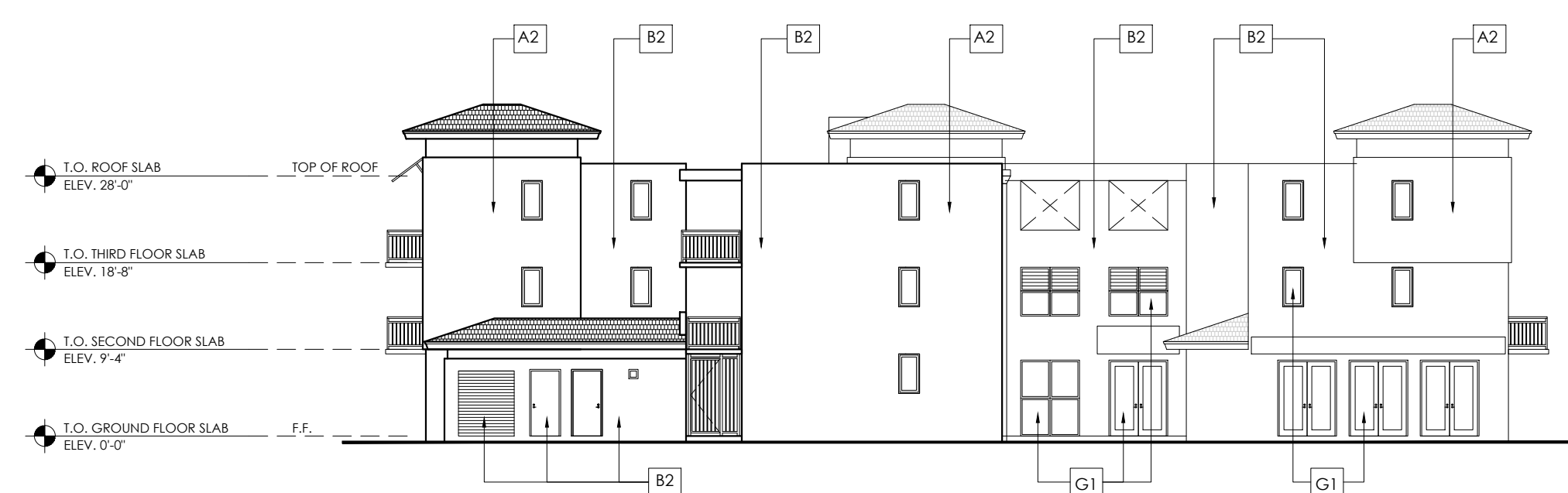
CENTRAL/EAST BLDG. - NORTH (ADAMS ST.) ELEVATION
 SCALE 1/16" = 1'-0"



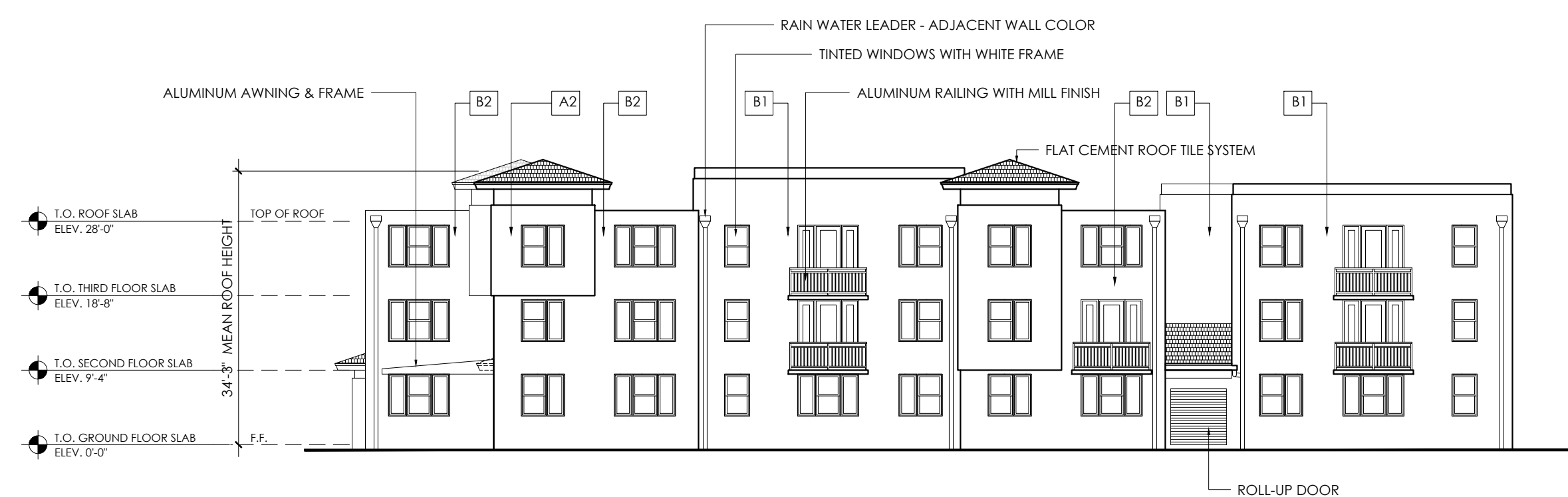
CENTRAL/EAST BLDG. - EAST (LOBBY ENTRY) ELEVATION
 SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - WEST ELEVATION
 SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - SOUTH (REAR) ELEVATION
 SCALE 1/16" = 1'-0"



COLOR LEGEND

COLOR LEGEND	
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[B2] BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)
[T1] TRIM COLOR	ULTRA PURE WHITE
[G1] GLASS COLOR	TINTED
[A1] AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2
[A2] ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS

NOTE: BEHR PAINT COLORS AND CODES.

**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

REVISIONS
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 01/31/18 SITE PLAN APPROVAL PACKAGE

**CENTRAL/EAST BUILD.
 ELEVATIONS**

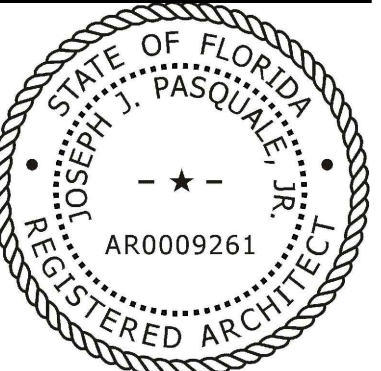
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SITE PLAN APPROVAL

DESIGNED PKA

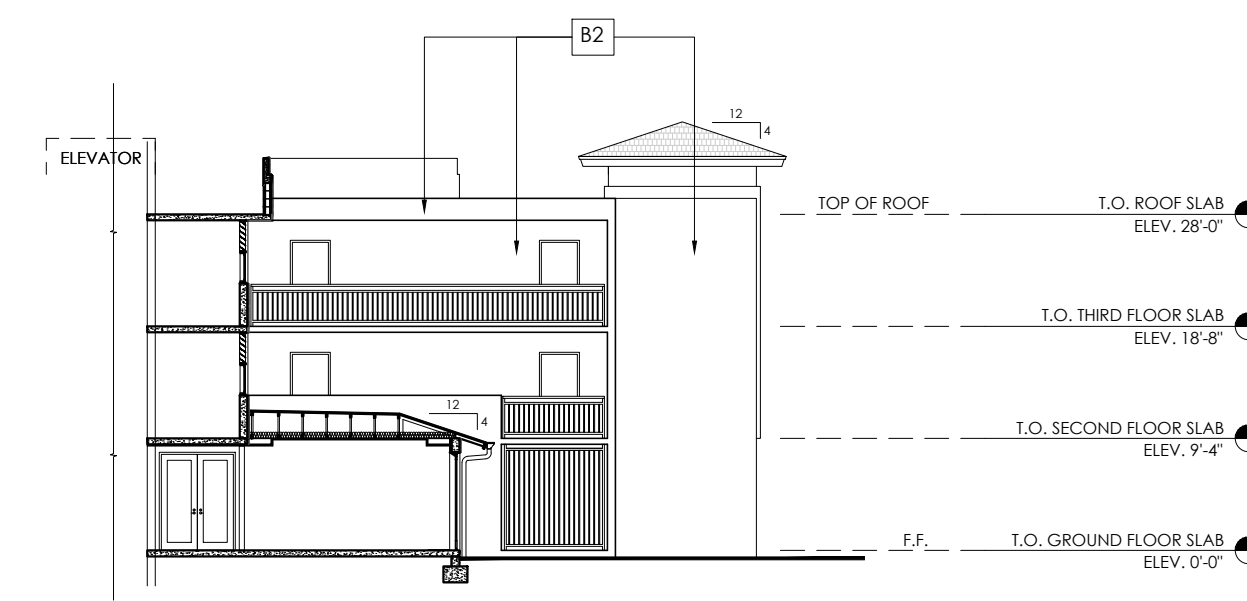
DRAWN PKA

CHECKED PKA



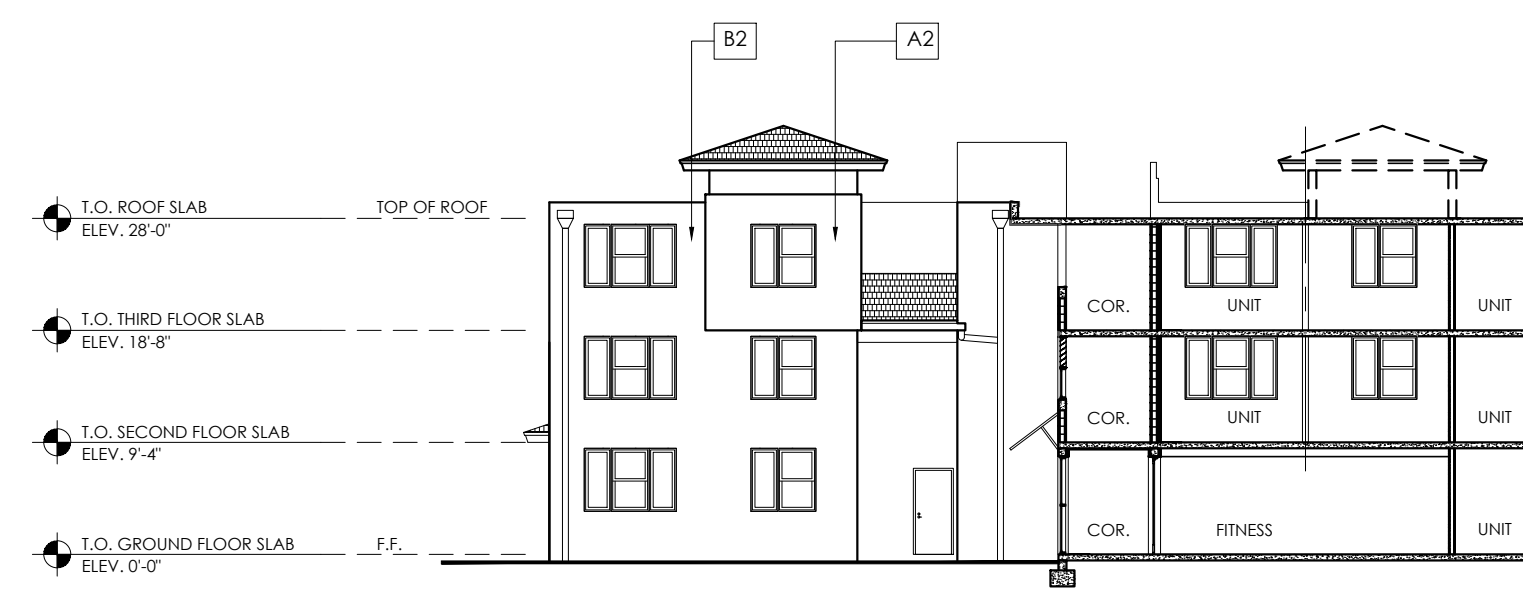
**CENTRAL/EAST BLDG. - NORTH (STREET)
 SECTION/ELEVATION THRU LOBBY**

SCALE 1/16" = 1'-0"



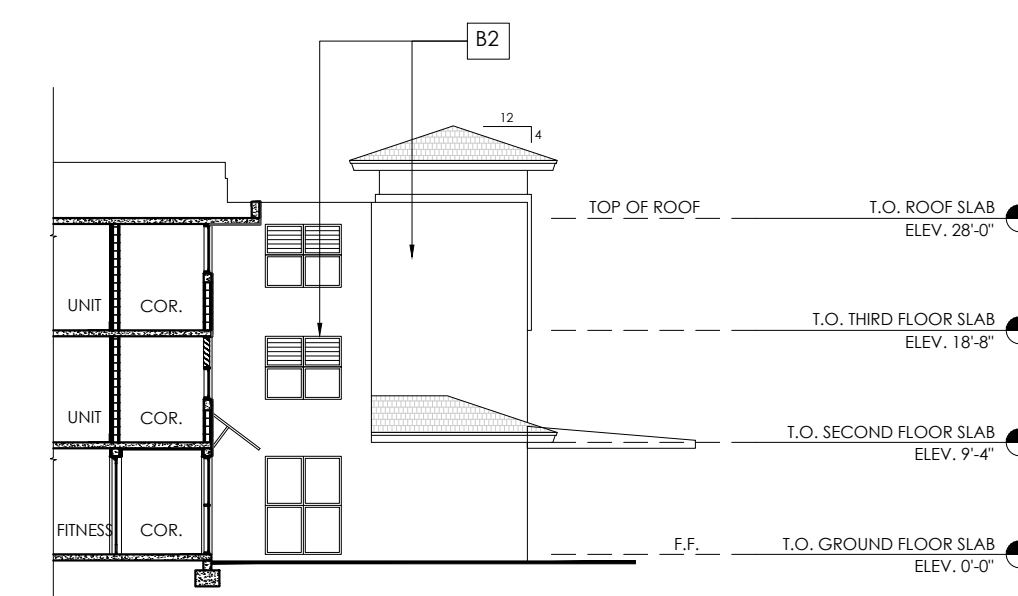
**CENTRAL/EAST BLDG. - SOUTH
 SECTION/ELEVATION THRU LOBBY**

SCALE 1/16" = 1'-0"



**CENTRAL/EAST BLDG. - SOUTH (REAR)
 SECTION/ELEVATION THRU FITNESS**

SCALE 1/16" = 1'-0"



**CENTRAL/EAST BLDG. - NORTH (STREET)
 SECTION/ELEVATION THRU FITNESS**

SCALE 1/16" = 1'-0"

COLOR LEGEND

COLOR LEGEND	
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[A2] ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS

NOTE: BEHR PAINT COLORS AND CODES.

**PINNACLE AT
 PEACEFIELD**

ADAMS STREET
 HOLLYWOOD, FL

PROJECT NO. 1746
 DATE: 10/09/17

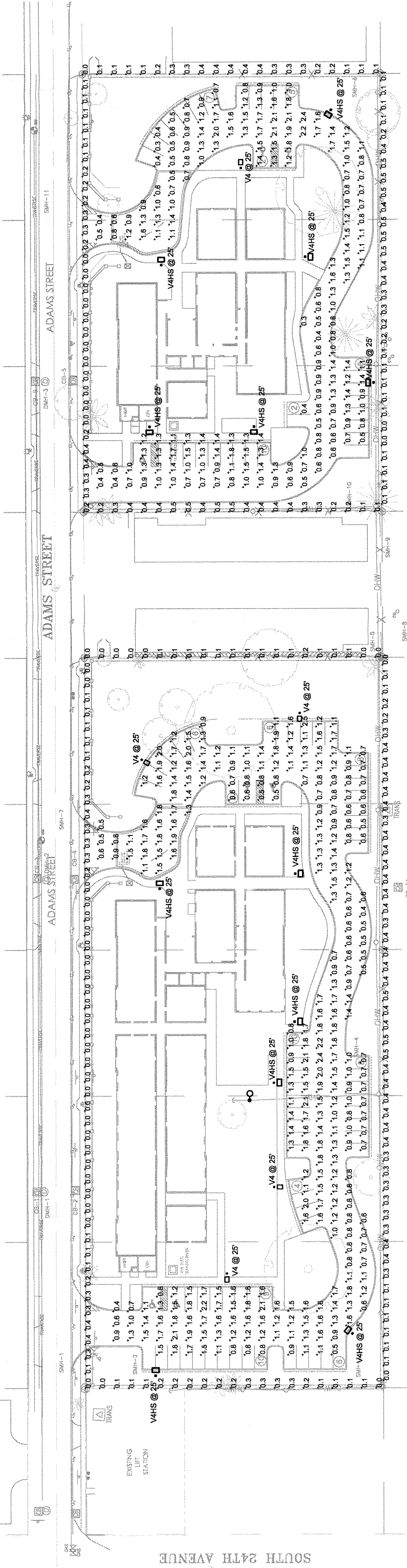
REVISIONS
 12/01/17 PACO SUBMITTAL
 01/31/18 SITE PLAN APPROVAL PACKAGE

**CENTRAL/EAST BUILD.
 SECTION/ELEVATIONS**

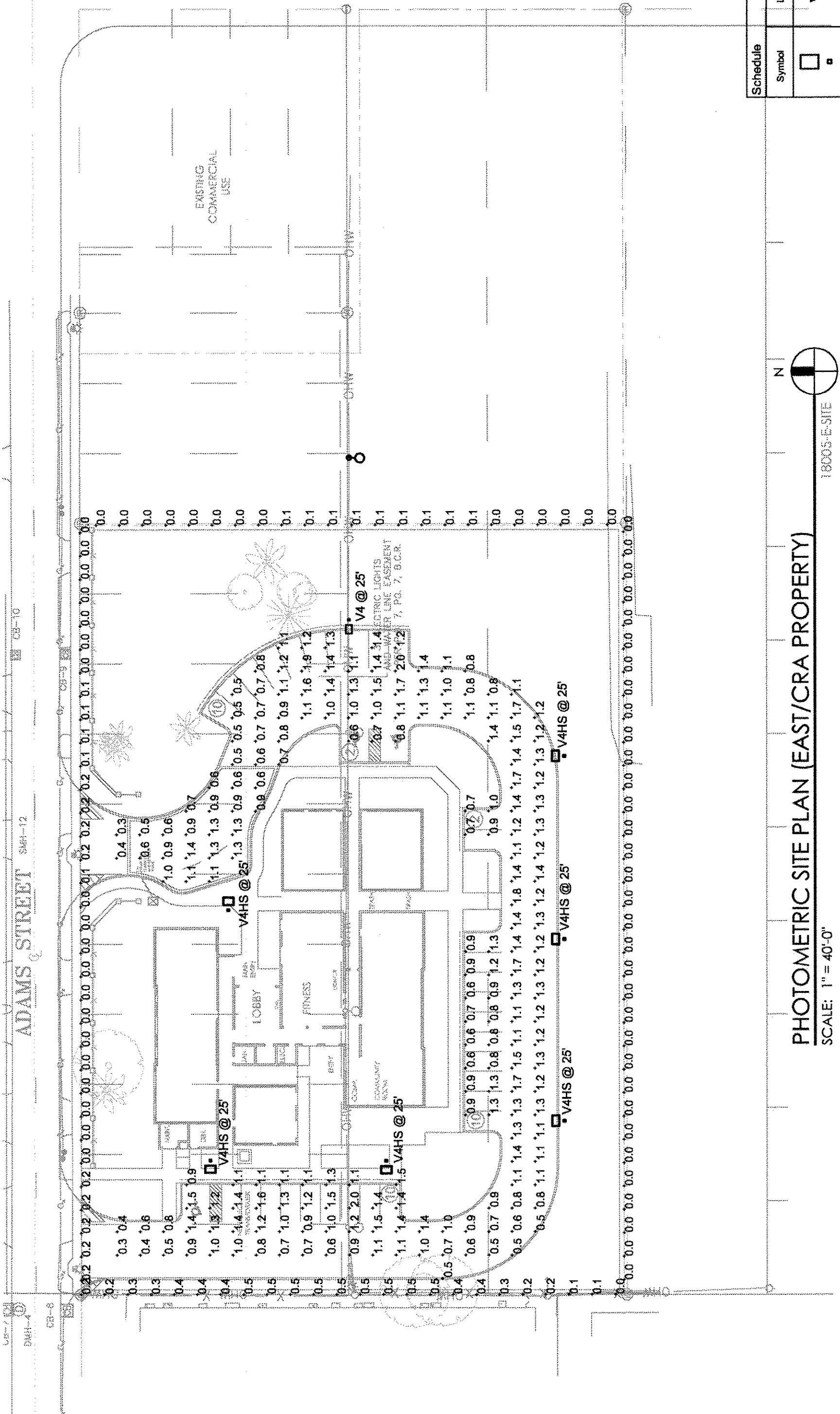
A-4.3

SITE PLAN APPROVAL

WORK IN PROGRESS
 01/29/18



PHOTOMETRIC SITE PLAN (WEST AND CENTRAL PROPERTIES)
 SCALE: 1" = 40'-0"
 18005-EST-1



PHOTOMETRIC SITE PLAN (EAST/CRA PROPERTY)
 SCALE: 1" = 40'-0"
 18005-EST-2

PHOTOMETRIC SITE PLAN NOTES

LIGHTING FIXTURES AND LAYOUT WERE DESIGNED IN STRICT ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IES) LAMP TYPES USED IN THE CALCULATION. ALL LUMEN DEPRECIATION FACTORS RECOMMENDED BY THE IES LAMP TYPES USED IN THE CALCULATION. ALL LUMEN DEPRECIATION FACTORS RECOMMENDED BY THE IES LAMP TYPES USED IN THE CALCULATION. ALL LUMEN DEPRECIATION FACTORS RECOMMENDED BY THE IES LAMP TYPES USED IN THE CALCULATION.

ALL FIXTURES SHALL BE LISTED BY THE MANUFACTURER AS MEETING IES FULL CUTOFF REQUIREMENTS. ALL FIXTURES SHALL BE LISTED BY THE MANUFACTURER AS MEETING IES FULL CUTOFF REQUIREMENTS. ALL FIXTURES SHALL BE LISTED BY THE MANUFACTURER AS MEETING IES FULL CUTOFF REQUIREMENTS.

PROVIDE 36" TALL POURED CONCRETE PROTECTIVE BASE FOR POLES LOCATED IN PARKING AREAS WHERE THE POLE IS NOT PROTECTED BY A CURB. BASE SHALL BE STEEL REINFORCED AND HAVE A CHAMFERED SLOPED TOP FOR DRAINAGE.

Description	Symbol	App	Max	Min	Mounting	Height
Parking Area - Central	+	1.1%	24.6'	0.3%	8.0'	3.7'
Parking Area - East	+	1.1%	20.6'	0.3%	6.7'	3.7'
Parking Area - West	+	1.2%	25.6'	0.4%	8.3'	3.0'
Property Line - Central	+	0.2%	0.5%	0.0%	N/A	N/A
Property Line - East	+	0.1%	0.5%	0.0%	N/A	N/A
Property Line - West	+	0.2%	0.5%	0.0%	N/A	N/A

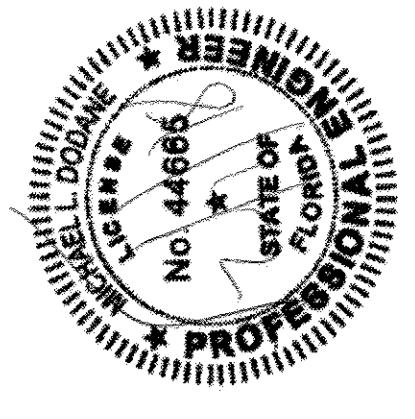
Schedule	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number of Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage
V4	V4	6	BEACON PRODUCTS	VP-S-3618-80-40-74	SMALL VFER	C70-CRI DATA SHOWN IS SCALED FROM 114818	1	VP-S-3618-80-40-74	9162	1	83.8
V4HWS	V4HWS	18	BEACON PRODUCTS	VP-S-3618-80-40-74-ELC	SMALL VFER	C70-CRI DATA SHOWN IS SCALED FROM 308	1	VP-S-3618-80-40-74-ELC	5594	1	83.8

To the best of the engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with section 110.6.4.4 of the IRC and 633 Florida Statutes.

5101 N.W. 21ST AVENUE, SUITE 340
FORT LAUDERDALE, FL 33309
T: (954) 332-0184
F: (954) 332-0187
AA002517

COMPANY: **Q28**
ADDRESS: 1000 N.W. 10TH AVENUE, SUITE 100
FORT LAUDERDALE, FL 33304
PHONE: (954) 332-0184
FAX: (954) 332-0187
WWW: WWW.Q28.COM

DESIGNED: MLD
DRAWN: MLD
CHECKED: MLD



PINNACLE AT PEACEFIELD
ADAMS STREET
HOLLYWOOD, FL

PROJECT NO. 1746
DATE: 10/09/17
R E V I S I O N S
12/01/17 PACO SUBMITTAL
01/_/18 SITE PLAN APPROVAL PACKAGE

WORKING
PROGRESS
01-29-18

SITE PLAN FIXTURE SPECIFICATIONS

760 FLORIDA CENTRAL PKWY
SUITE 224
LONDONDERRY, FL 32750
PH: 407.636.7999
PROJECT #: 18005



Model	Series	Color	Type
VIPER S	STRIKE	SMALL VIPER LUMINAIRE	Recessed

PRODUCT IMAGES

DIMENSIONS

MOUNTING OPTIONS

CONTROL OPTIONS

ACCESSORIES AND SERVICE (Optional Separably)

General Information:

- Available with an optional remote control.
- Available with an optional remote control.
- Available with an optional remote control.

Specifications:

- Power Factor: 0.95
- Power Factor: 0.95
- Power Factor: 0.95

ORDERING INFORMATION

VPS Series	LED Engine	Color	Beam Angle	Mounting	Accessories
VPS 1000	3000K, 1000lm	White	30°	Recessed	None
VPS 2000	3000K, 2000lm	White	30°	Recessed	None
VPS 3000	3000K, 3000lm	White	30°	Recessed	None

BEACON LIGHTING
10000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33324
TEL: 954.332.0184
WWW.BEACONLIGHTING.COM

VIPER S STRIKE
SMALL VIPER LUMINAIRE

Specifications:

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General Information:

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VPS 2000	3000K, 2000lm	White	30°	Recessed	None
VPS 3000	3000K, 3000lm	White	30°	Recessed	None

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TEL: 954.332.0184
WWW.BEACONLIGHTING.COM

VIPER S STRIKE
SMALL VIPER LUMINAIRE

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VPS 2000	3000K, 2000lm	White	30°	Recessed	None
VPS 3000	3000K, 3000lm	White	30°	Recessed	None

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TEL: 954.332.0184
WWW.BEACONLIGHTING.COM

VIPER S STRIKE
SMALL VIPER LUMINAIRE

Specifications:

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VPS 2000	3000K, 2000lm	White	30°	Recessed	None
VPS 3000	3000K, 3000lm	White	30°	Recessed	None

BEACON LIGHTING
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TEL: 954.332.0184
WWW.BEACONLIGHTING.COM

VIPER S STRIKE
SMALL VIPER LUMINAIRE

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VPS Series	LED Engine	Color	Beam Angle	Mounting	Accessories
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VPS 2000	3000K, 2000lm	White	30°	Recessed	None
VPS 3000	3000K, 3000lm	White	30°	Recessed	None

BEACON LIGHTING
10000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33324
TEL: 954.332.0184
WWW.BEACONLIGHTING.COM

8' to 30' ROUND TAPERED EMBEDDED (DIRECT BURIAL) POLES

Specifications:

- 8' to 30' mounting heights.
- Ironless, lacquered, and arms designed for single or multiple luminaire mounting.
- Luminaires may be mounted on towers, brackets or shall may be drilled to manufacturer's mounting specifications.

Specifications:

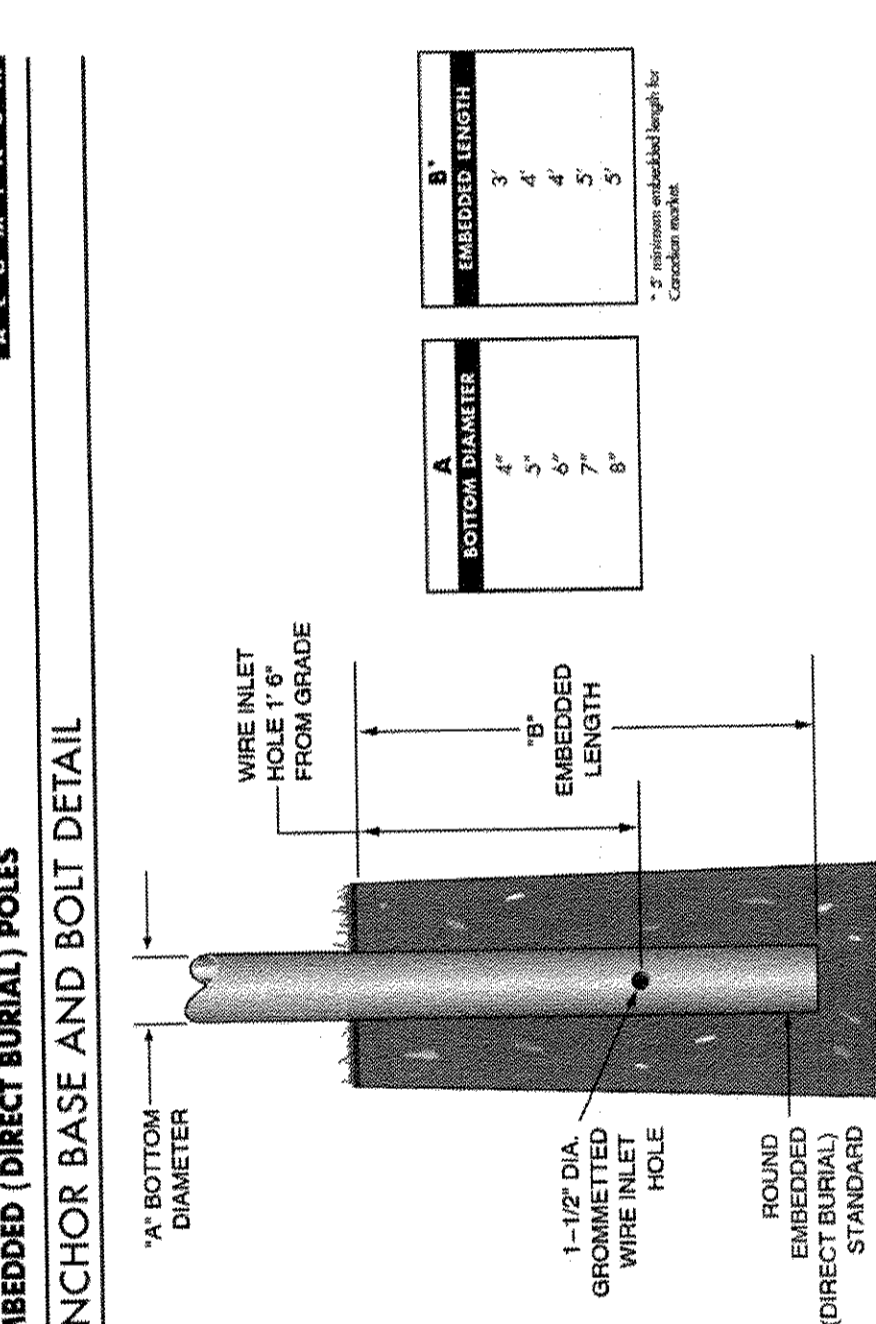
- 8' to 30' mounting heights.
- Ironless, lacquered, and arms designed for single or multiple luminaire mounting.
- Luminaires may be mounted on towers, brackets or shall may be drilled to manufacturer's mounting specifications.

CATALOG LOGIC

Top Diameter	Bottom Diameter	Height	Weight
8"	6"	8'	100 lbs
10"	8"	10'	150 lbs
12"	10"	12'	200 lbs
14"	12"	14'	250 lbs
16"	14"	16'	300 lbs
18"	16"	18'	350 lbs
20"	18"	20'	400 lbs
22"	20"	22'	450 lbs
24"	22"	24'	500 lbs
26"	24"	26'	550 lbs
28"	26"	28'	600 lbs
30"	28"	30'	650 lbs

VALMONT INDUSTRIES, INC.
28855 Isom Avenue • Farmington, Minnesota 55024-7932 (800) 899-7377 • valmontstructures.com A-2-11

8' to 30' ROUND TAPERED EMBEDDED (DIRECT BURIAL) POLES ANCHOR BASE AND BOLT DETAIL



DIMENSIONAL AND LOAD DATA

NOMINAL TOWER HEIGHT (ft)	NOMINAL TOWER WEIGHT (lbs)	WIND SPEED (MPH)		WIND LOAD (lb/ft²)		TOWER WEIGHT (lb)		TOWER HEIGHT (ft)	
		80	100	80	100	80	100	80	100
8	75	19.1	14.4	11.1	8.3	3'	4'	125'	1000-SM-0010E
10	75	14.3	10.6	6.0	4.5	3.5	4.5	125'	1000-SM-0010E
12	75	18.5	13.8	10.5	8.3	6.6	11.9	125'	1000-SM-0010E
14	75	8.5	6.0	4.4	3.2	2.4	1.9	125'	1000-SM-0010E
16	75	14.8	10.8	8.2	6.3	5.0	3.9	125'	1000-SM-0010E
18	75	12.0	8.6	6.4	4.8	3.8	2.9	125'	1000-SM-0010E
20	75	15.3	11.1	8.4	6.5	5.1	3.9	125'	1000-SM-0010E
22	75	7.7	6.7	4.9	3.6	2.7	2.1	125'	1000-SM-0010E
24	75	12.2	8.7	6.8	5.0	3.9	2.9	125'	1000-SM-0010E
26	75	8.2	5.5	3.8	2.6	1.9	1.4	125'	1000-SM-0010E
28	75	10.4	7.2	5.1	3.8	2.9	2.1	125'	1000-SM-0010E
30	75	15.0	11.5	7.4	5.3	4.0	3.0	125'	1000-SM-0010E
30	75	16.7	12.0	9.1	7.0	5.5	4.5	125'	1000-SM-0010E

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VIPER S STRIKE
SMALL VIPER LUMINAIRE

Specifications:

- Available with an optional remote control.
- Available with an optional remote control.
- Available with an optional remote control.

General Information:

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Specifications:

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BEACON LIGHTING
10000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33324
TEL: 954.332.0184
WWW.BEACONLIGHTING.COM

General Notes

This construction project may or may not include all items covered by these notes and specifications, i.e. paving, grading, drainage lines, water lines, or sanitary sewer lines. See plans for detailed project scope. Notes and specifications on this sheet refer to paving, grading, drainage, water, and sanitary sewer, and are intended for this projects scope of work and for reference purposes for other work items that may be required due to unforeseen existing conditions or required remedial work.

1. Specific Site Notes

- County and "City" in these notes refers to County and City in which project resides.
- State in these notes refers to the State of Florida.
- Existing topographic information in the plans is based on survey data and best available information. See project survey and notes on plan sheets regarding the source of the topographic information.

2. Applicable Codes

- All construction and materials shall conform to the standards and specifications of the city, county, and all other jurisdictional, State and national codes where applicable.
- In the event of a conflict between the general notes and construction specifications in these plans, and the contract documents and specifications in the specification booklet, the contractor shall submit written request for clarification.
- All construction shall be done in a safe manner and in strict compliance with all the requirements of the Federal occupational safety and health act of 1970, and all State and jurisdictional safety and health regulations.
- The contractor shall be required to comply with Federal, State, County, and City laws, codes, and regulations.
- All handicap accessible areas to conform to the requirements of the Americans with Disabilities Act (ADA), State ADA codes, and Florida Building Code ADA codes latest edition.
- Trench safety act
 - All trench excavation shall be performed in accordance with chapter 90-96 of the laws of Florida (the trench safety act).
 - All trench excavation in excess of 5 feet in depth shall be undertaken in accordance with O.S.H.A. standard 29 cfr. Section 1926.650 subpart p.
 - The contractor shall submit with his contract a completed, signed, and notarized copy of the trench safety act compliance statement. The contractor shall also submit a separate cost item identifying the cost of compliance with the applicable trench safety codes.
 - A trench safety system, if required, shall be designed by the excavation contractor utilizing a specialty engineer as required.

3. Construction Notes:

- Contractor shall tie to existing grade by evenly sloping from closest proposed grade provided to existing grade at limits of construction, unless otherwise noted on the plans. If no limit of work line is indicated, slope to adjacent property line or right-of-way line, as applicable.
- Unless otherwise indicated on the plans, all existing manholes, catch basins, meters and other structures, whether indicated on the plans or not shall be adjusted to match the new grade, by the contractor.
- The curb shall be sloped to accommodate the new pavement, catch basin and grate, and the surface flow pattern.
- The contractor shall use care when cutting the existing asphalt pavement and during excavations, so that the existing catch basins and grates that are to remain will not be damaged.
- The contractor shall maintain the roadway slope when resurfacing the roadway. The edge of pavement shall match the new gutter lip per FDOT index 300.
- The new sidewalk shall be constructed in accordance with the given elevations and at the proper slopes depicted in the specifications, details and standards. Existing driveways and other features shall be matched when possible as directed by the engineer.
- Radii shown are to the edge of pavement.
- All bench mark monuments within the limits of construction shall be protected and referenced by the contractor in the same way as public land corners.
- All excess material is to be disposed by the contractor within 24 hours.
- In areas where the base is exposed by the milling operation, the contractor shall restore the base to its original thickness and structural capacity before paving over such areas. This includes but is not limited

to restoring original degree of compaction, moisture content, composition, stability, and intended slope. If paving will not take place the same day the base is exposed and reworked, the base shall be sealed according to the governing standards and specifications. Any additional work resulting from the contractor's failure to protect the exposed base as stated above in order to restore the original structural capacity shall be the contractor's cost.

- The contractor is to maintain existing signage during construction operations, in order to facilitate emergency vehicle traffic.
 - The topographic survey included with this set of plans reflects pre-demolition conditions and does not reflect the site conditions after demolition. The contractor is fully and solely responsible in determining the required earthwork for the proposed development of the site. This includes, but is not limited to, any excavation/dredge and fill activities required at any phase of the project. The contractor shall use the final approved (released for construction) plans, surveys, geotechnical reports, and any other available information for determining the amount of excavation/dredging and filling required. Any quantities included in the approved permits were estimated by the engineer for purposes of obtaining the permit and under no circumstances shall be used by the contractor in lieu of performing their own earthwork calculations required for cost estimating and bidding the project.
 - The contractor shall be responsible for reading and familiarizing themselves with any and all available geotechnical reports prepared by others and/or any recommendations written or implied by the geotechnical engineer for this project. The geotechnical conditions and recommendations outlined in these reports are in force and in full effect as part of the proposed improvements. The contractor is responsible for ensuring that all the work associated with this project is in compliance with the geotechnical engineer's recommendations. Keith and Associates, Inc. is not responsible for the suitability or unsuitability of the soils encountered. It is the contractor's responsibility to ensure that the means and methods of construction used can and will allow for the successful completion of the required site improvements.
 - The contractor shall ensure that the available geotechnical information is sufficient for his complete understanding of the soil conditions for the site. If additional geotechnical investigation is required by the contractor, this additional work shall be considered incidental to the contract and no additional compensation shall be allowed.
 - The contractor shall be responsible for the repair and restoration of existing pavement, pipes, conduits, sprinkler heads, cables, etc., and landscaped areas damaged as a result of the contractor's operations and/or those of his subcontractors and shall restore at no additional cost.
 - The contractor shall not bring any hazardous materials onto the project. Should the contractor require such for performing the contracted work, the contractor shall request, in writing, permission from the owner, city and engineer. The contractor shall provide the owner, city and engineer with a copy of the material safety data sheet (MSDS) for each hazardous material proposed for use. The project engineer shall coordinate with the owner and city prior to issuing written approval to the contractor.
 - Any known or suspected hazardous material found on the project by the contractor shall be immediately reported to the city and/or engineer, who shall direct the contractor to protect the area of known or suspected contamination from further access. The city and/or engineer are to notify the owner/engineer of the discovery. The owner/engineer will arrange for investigation, identification, and remediation of the hazardous material. The contractor shall not return to the area of contamination until approval is provided by the engineer.
 - The contractor shall contact the appropriate city engineering inspector and engineer 48 hours in advance of the event to notify the city of construction start up, or to schedule all required tests and inspections including final walk-throughs.
- ### 4. Preconstruction Responsibilities
- All utility / access easements to be secured prior to construction.
 - No construction may commence until the appropriate permits have been obtained from all municipal, State, County, and Federal agencies and a pre-construction meeting has been conducted.
 - All required governmental agency building permits to be obtained by the contractor prior to any construction activity.

- Contractor to coordinate construction scheduling for connection to the existing water and sewer lines with the utility department that owns and/or maintains the water and sewer lines.
- Prior to the start of construction, the owner shall submit an NPDES construction general permit (CGP) "notice of intent (N.O.I.)" to use Generic Permit for storm water discharge from construction activities form (DEP form 62-621.300(4)(b)) to FDEP notices center. The contractor will be responsible for (1) implementation of the storm water pollution prevention plan (SWPPP) that was required to be developed prior to NOI submittal, and (2) retention of records required by the permit, including retention of a copy of the SWPPP at the construction site from the date of project initiation to the date of final site stabilization. A "notice of termination (N.O.T.)" of generic permit coverage" form (DEP form 62-621.300(6)) must be submitted to FDEP to discontinue permit coverage, subsequent to completion of construction. For additional information see FDEP website: <http://www.dep.state.fl.us/water/stormwater/npdes>.
- Prior to construction or installation, 5 sets of shop drawings shall be submitted for review as required for the following items listed below, but not limited to:
 - Drainage: Catch basins, manholes, headwalls, grates/tops, yard drains.
 - Water: Fire hydrants, valves, backflow preventer, DDCV, meter box.
 - Sewer: Manholes, lift stations (wetwell, hatches, valves, pump data, electrical panel)
- Catalogue literature shall be submitted for drainage, water and sewer pipes, fittings, and appurtenances.
 - Prior to submitting shop drawings to the engineer, the contractor shall review and approve the drawings, and shall note in red any deviations from the engineer's plans or specifications.
 - Individual shop drawings for all precast structures are required. Catalogue literature will not be accepted for precast structures.
- Contractor to submit maintenance of traffic plan(s) in accordance with FDOT and Broward county requirements, and submit for approval prior to beginning construction.

5. Inspections / Testing:

- The contractor shall notify in writing the owner, City, County, engineer of record, and any other governmental agencies having jurisdiction at least 48 hours prior to beginning construction and prior to required inspections of the following items, where applicable:
 - Clearing and earthwork
 - Storm drainage systems
 - Sanitary sewer systems
 - Water distribution systems
 - Subgrade
 - Limerock base
 - Asphalt or concrete pavement
 - Sidewalks, concrete flatwork/curbing
 - Landscaping
 - Pavement marking and signage
 - Signalization
 - Site lighting
 - Electrical and communication lines
 - Utility conduits
 - Irrigation
 - Final
 - The owner, engineer, and jurisdictional permitting agencies may make inspections of the work at any time. The contractor shall cooperate fully with all inspections.
 - Testing - all testing required by the plans and specifications shall be performed by a licensed / FDOT qualified testing company. Required test for asphalt and limerock shall be taken at the direction of the engineer or the jurisdictional governmental agency in accordance with the plans and specifications.
- ### 6. Temporary Facilities
- It shall be the contractor's responsibility to arrange for or supply temporary water service, sanitary facilities, communications, and electricity, for his operations and works, cost included under mobilization.
 - Contractor shall construct temporary fencing to secure construction areas at all times, cost included in mobilization.
 - Contractor to obtain a secure staging area and obtain all necessary approvals from the owner.

- Contractor shall construct and maintain temporary lighting as required to light the construction project limits at all times, to at least the same lighting intensity levels as the existing conditions.
 - The contractor shall maintain access to adjacent properties at all times.
- ### 7. Project Progress and Closeout
- During construction, the project site and all adjacent areas shall be maintained in a neat and clean manner, and upon final clean-up, the project site shall be left clear of all surplus material or trash. The paved areas shall be broom swept clean.
 - The contractor shall restore or replace any public or private property (such as highway, driveway, walkway, and landscaping), damaged by his work, equipment, or employees, to a condition at least equal to that existing immediately prior to the beginning of construction. Suitable materials and methods shall be used for such restoration.
 - Material or debris shall be hauled in accordance with NPDES permit and jurisdictional laws.
 - All land survey property monuments or permanent reference markers, removed or destroyed by the contractor during construction shall be restored by a State of Florida registered land surveyor at the contractor's expense.
 - All unpaved surfaces disturbed as a result of construction activities shall be graded, sodded, & restored to a condition equal to or better than that which existed before the construction.
- ### 8. Project record documents:
- During the daily progress of the job, the contractor shall record on his set of construction drawings the location, length, material and elevation of any facility not built according to plans. This copy of the "as-built" shall be submitted to engineer for project record.
 - Upon completion of drainage improvements and limerock base construction (at least 48 hours before placing asphalt pavement) the contractor shall furnish the engineer of record "as-built" plans for these improvements, showing the locations and pertinent grades of all drainage installations and the finished rock grades of the road crown and edges of pavement at 50 foot intervals, including locations and elevations of all high and low points.
 - Upon completion of construction, and prior to final acceptance, the contractor shall submit to the engineer of record one complete set of all "as-built" contract drawings. These drawings shall be marked to show "as-built" construction changes, dimensions, locations, and elevations of all improvements.
 - "As-built" drawings of water lines and force mains shall include the following information:
 - Top of pipe elevations every 100 LF.
 - Locations and elevations of all fittings including bends, tees, gate valves, double detector check valves, fire hydrants, and appurtenances.
 - All connections to existing lines.
 - Ends of all water services at the buildings where the water service terminates.
 - "As-built" drawings of gravity sanitary sewer lines shall include the following information:
 - Rim elevations, invert elevations every 100 feet, length of piping between structures, and slopes.
 - The stub ends and cleanouts of all sewer laterals shall be located horizontally and vertically.
 - "As-built" drawings of all drainage lines shall include the following information:
 - Rim elevation, invert elevation, length of piping between structures, and control structure elevations if applicable.
 - The size of the lines.
 - Drainage well structure shall include, but not be limited to, top of casing elevation, top and bottom elevations of the structure and baffle walls, rim elevations and pipe inverts.
 - "As-built" drawings of construction areas shall include the following:
 - Rock elevations at all high, and low points, and at enough intermediate points to confirm slope consistency.
 - Rock elevations and concrete base elevations shall be taken at all locations where there is a finish grade elevation shown on the design plans.
 - All catch basin and manhole rim elevations.
 - Finish grade elevations in island areas.
 - "As-built" elevations shall be taken on all paved and unpaved swales, at enough intermediate points to confirm slope consistency and conformance to the plan details.
 - Lake and canal bank "as-built" drawings shall

- include a key sheet of the lake for the location of cross sections. Lake and canal bank cross sections shall be plotted at a minimum of every 100 lf, unless otherwise specified. "as-built" drawings shall consist of the location and elevation of the top of bank, edge of water, and the deep cut line, with the distance between each shown on the drawing.
 - Retention area "as-built" elevations shall be taken at the bottom of the retention area and at the top of bank. If there are contours indicated on the design plans, then they shall be included in "as-built" drawings as well.
 - Upon completion of the work, the contractor shall prepare "as-built" drawings on full size, 24" x 36" sheets. All "as-built" information shall be put on the latest engineering drawings. Eight (8) sets of blue or black line drawings shall be submitted. These drawings shall be signed and sealed by a Florida registered professional engineer or land surveyor.
 - An electronic copy of these "as-built" drawings shall be submitted to the engineer of record in AutoCAD, version 2008 or later and shall follow the City of Hollywood's "Survey/As-Built CAD Drawing Standards" as per City Detail G-00.3.
- ### 9. Utility Notes
- Contractor is responsible for utility verification prior to fabrication.
 - The contractor is advised that properties adjacent to the project have electric, telephone, gas, water and/or sewer service laterals which may not be shown in plans. The contractor must request the location of these lateral services from the utility companies.
 - The contractor shall use hand digging when excavating near existing utilities. Extreme caution shall be exercised by the contractor while excavating, installing, backfilling or compacting around the utilities.
 - The contractor shall notify and obtain an underground clearance from all utility companies and governmental agencies at least 48 hours prior to beginning any construction. The contractor shall obtain a Sunshine811.com Certification clearance number and field markings at least 48 hours prior to beginning any excavation.
 - Prior to commencement of any excavation, the contractor shall comply with Florida statute 553.851 for the protection of underground gas pipelines.
- For street excavation or closing or for alteration of access to public or private property, the contractor shall notify:
- Roadway jurisdictional engineering / public works authority.
 - County transit authority
 - School board transportation authority
 - Jurisdictional fire department dispatch
 - Jurisdictional police department(s)
- The contractor shall use extreme caution working under, over, and around existing electric lines. The contractor shall contact the electric provider company to verify locations, voltage, and required clearances, onsite, in right-of-ways, and in easements, prior to any construction in the vicinity of existing lines.
 - Location and size of all existing utilities and topography (facilities) as shown on construction drawings are drawn from available records. The engineer assumes no responsibility for the accuracy of the facilities shown or for any facility not shown. It is the contractor's responsibility to determine the exact location (vertical & horizontal) of any existing utilities and topography prior to construction. The contractor shall verify the elevations and locations of all existing facilities, in coordination with all utility companies, prior to beginning any construction operations. If an existing facility is found to conflict with the proposed construction, the contractor shall immediately notify the engineer so that appropriate measures can be taken to resolve the conflict.
 - The contractor shall coordinate the work with other contractors in the area and any other underground utility companies required. The contractor shall coordinate relocation of all existing utilities with applicable utility companies.
- ### 10. Signing and Pavement Markings
- All signing and pavement markings installed as part of these plans shall conform to the Federal highway administration (FHWA) "manual on uniform traffic control devices" (MUTCD), County Traffic Design Standards and FDOT design standards as a minimum criteria.
 - Match existing pavement markings at the limits of construction.

- Removal of the existing pavement markings shall be accomplished by water blasting or other approved methods determined by the engineer.
- Incorrectly placed paint or thermoplastic pavement markings over friction course will be removed by milling and replacing the friction course a minimum width of 18 in at the contractor's expense. The engineer may approve an alternative method if it can be demonstrated to completely remove the markings without damaging the asphalt.
- Place all retro-reflective pavement markers in accordance with standard index 17352 and / or as shown in the plans.
- Caution should be exercised while relocating existing signs to prevent unnecessary damage to signs. If the sign is damaged beyond use, as determined by the engineer, signs shall be replaced by the contractor at his expense.
- All existing signs that conflict with construction operations shall be removed, and relocated by the contractor. Sign removal shall be directed by the engineer.
- Relocated sign support system must meet the current design standard.
- The contractor shall provide an inventory of existing signs to remain or to be relocated prior to starting the job and forward this list to the engineer. Contractor shall notify if there are any missing or damage signs that the plans show to remain or to be relocated.
- All roadway pavement markings shall be thermoplastic in accordance with FDOT specifications section 711.
- Hand dig the first four feet of sign foundation.
- All signs shall meet all of the following:
 - Meet the criteria outlined in Section 2A.08 of the 2009 MUTCD
 - Meet the specifications outlined in Section 700 and 994 of the latest FDOT Standard Specifications.
 - Consist of materials certified to meet the retroreflective sheeting requirements outlined in the current version of ASTM D4956 for type-XI retroreflective sheeting materials made with prisms, except for school zone and pedestrian signs which shall be comprised of retroreflective fluorescent yellow-green sheeting certified to meet ASTM D4956 Type IV retroreflective sheeting materials.
 - Consist of retroreflective sheeting materials that have a valid FDOT Approved Product List (APL) certification for specification 700 Highway Signing for FDOT sheeting Type XI (or type IV for school and pedestrian signs).
- Patch attachment hardware, such as countersunk screws or rivet heads, with retro reflective buttons that match the color and sheeting material of the finished sign panel including the background, legend or border.
- Ensure the outside corner of sign is concentric with border. Ensure white borders are mounted parallel to the edge of the sign. Ensure black borders are recessed from the edge of the sign.
- Layout permanent final striping that leaves no visible marks at time of final acceptance.



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

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OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED

DATE ISSUED: FEBRUARY 2018

DRAWN BY: MC

DESIGNED BY: SB

CHECKED BY: JT

JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

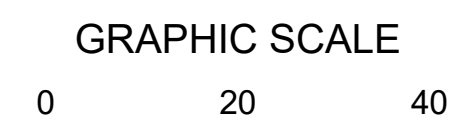
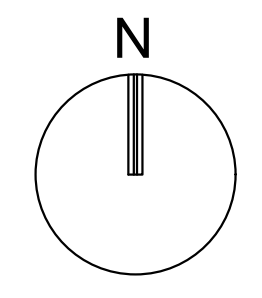
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PRELIMINARY TAC SUBMITTAL

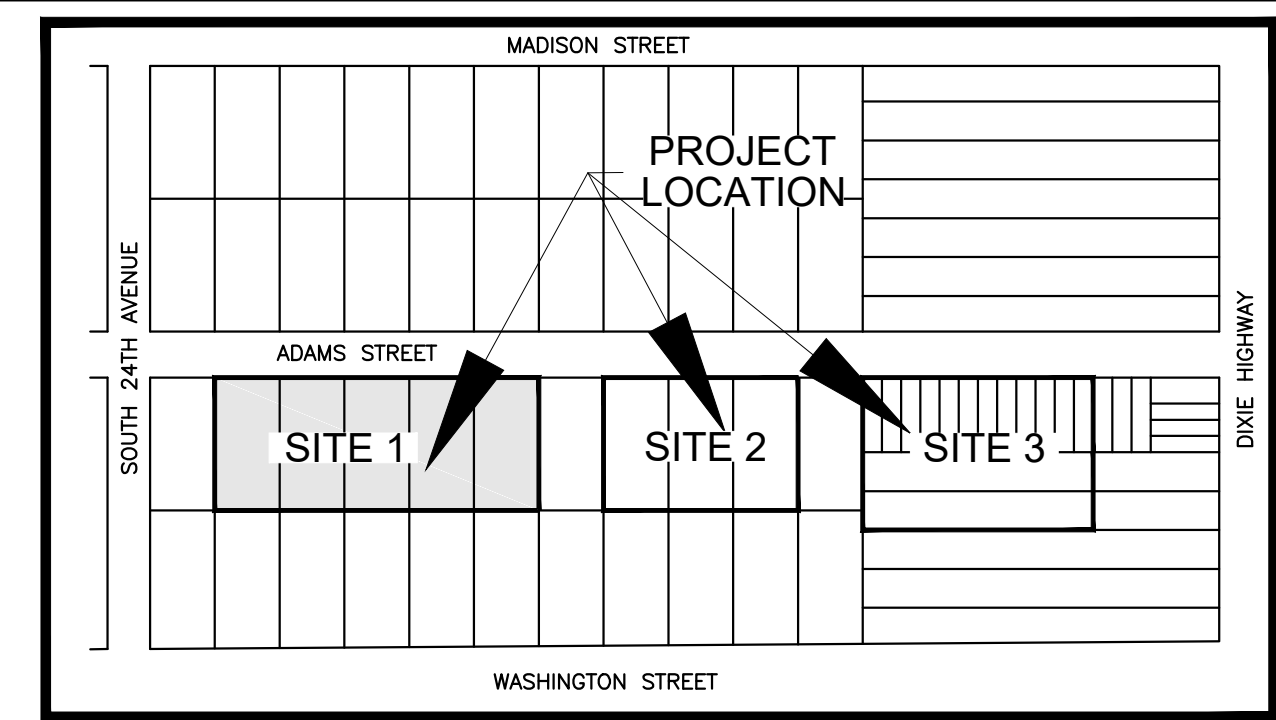
PROJECT NO. 10067.00

LEGEND

- | | | | |
|-----------------|---|-----------------------------|---------------------------------|
| ⊙ | PROPOSED DRAINAGE MANHOLE (MH) | — _{w_x} | EXISTING WATER MAIN |
| ⊠ | PROPOSED CATCH BASIN (CB) | — _{ss_x} | EXISTING SANITARY SEWER |
| — _{sd} | PROPOSED EXFILTRATION TRENCH | — _{sd_x} | EXISTING STORM DRAIN |
| 9.80 | PROPOSED GRADE ELEVATION (NAVD) | — _{ohw} | EXISTING OVERHEAD LINE |
| MEG | MATCH EXISTING GRADE (MEG) | — _{g_x} | EXISTING GAS LINE |
| 10.30
9.80 | PROPOSED TOP OF CURB ELEVATION (NAVD)
PROPOSED PAVEMENT ELEVATION (NAVD) | ⊙ | EXISTING SANITARY SEWER MANHOLE |
| --- | PROPOSED UTILITY EASEMENT | ⊠ | EXISTING DRAINAGE STRUCTURES |
| --- | PROPERTY LINE | + 8.2 | EXISTING SPOT ELEVATION |
| | | ⊠ | EXISTING FIRE HYDRANT |
| | | ⊠ | EXISTING GATE VALVE |



SCALE: 1"=20'
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
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301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO.:

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ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2018
DRAWN BY:	MC
DESIGNED BY:	SB
CHECKED BY:	JT

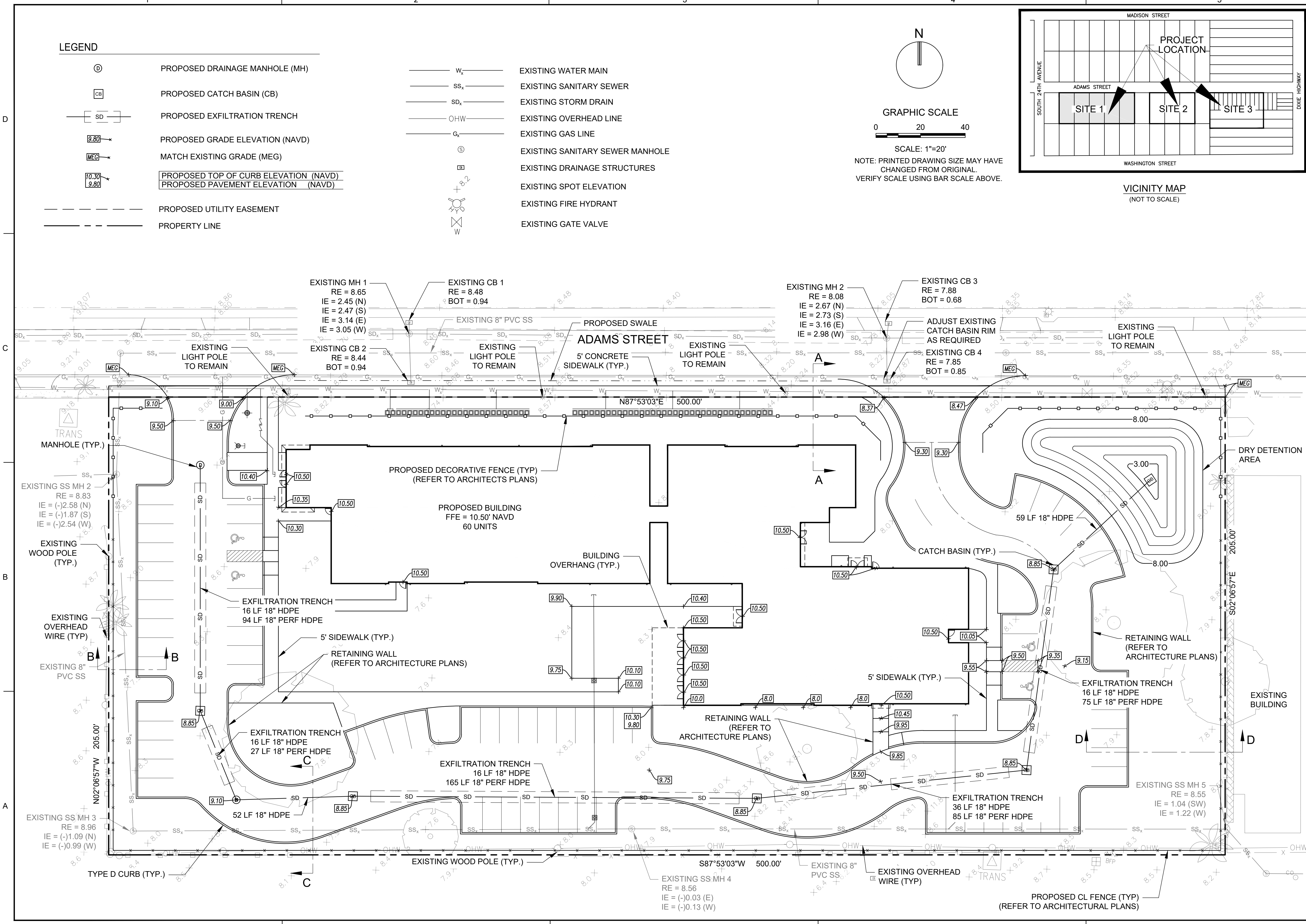
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
**SCHEMATIC PAVING,
GRADING, AND
DRAINAGE SITE 1**

SHEET NUMBER
CP-101

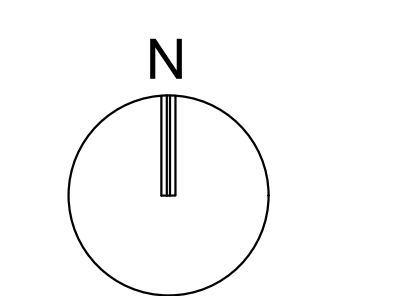
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PROJECT NO. 10067.00

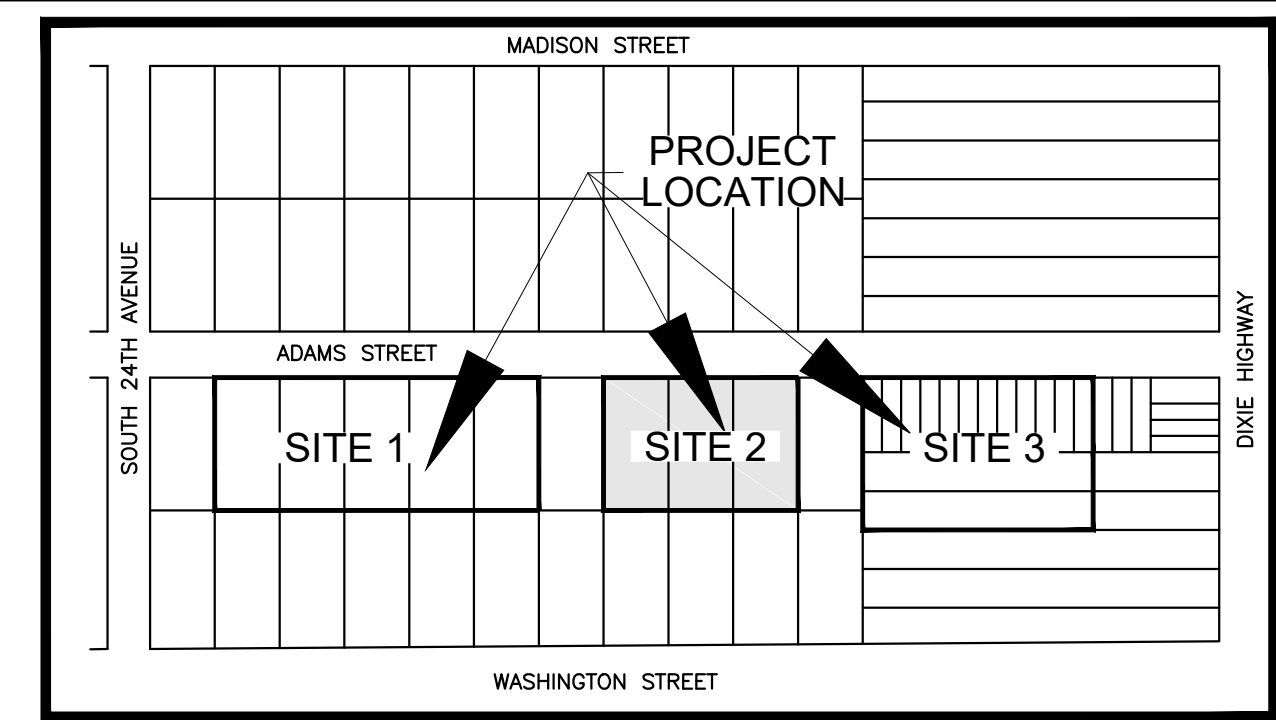


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 Plotted on: Feb 02, 2018 - 5:28pm

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GRAPHIC SCALE
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SCALE: 1"=20'
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
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KEITH & ASSOCIATES, INC.
consulting engineers
301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643
2160 NW 82nd Avenue
Doral, Florida 33122
PH: (954) 788-3400
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ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
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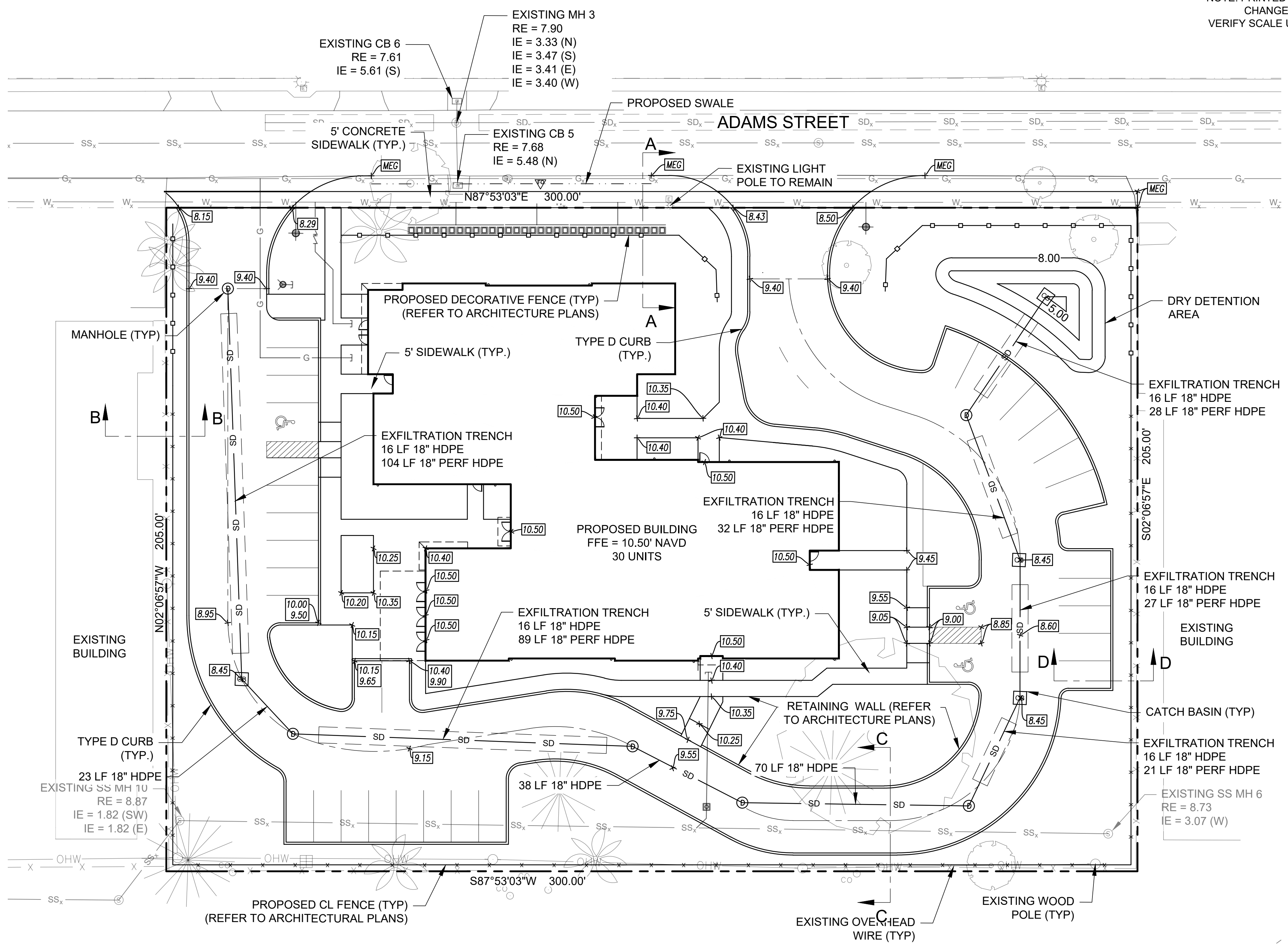
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
**SCHEMATIC PAVING,
GRADING, AND
DRAINAGE - SITE 2**

SHEET NUMBER
CP-102

PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00

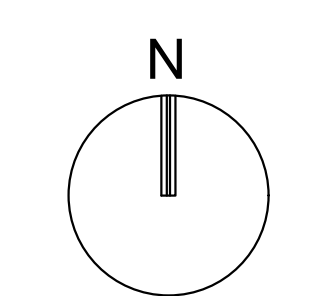


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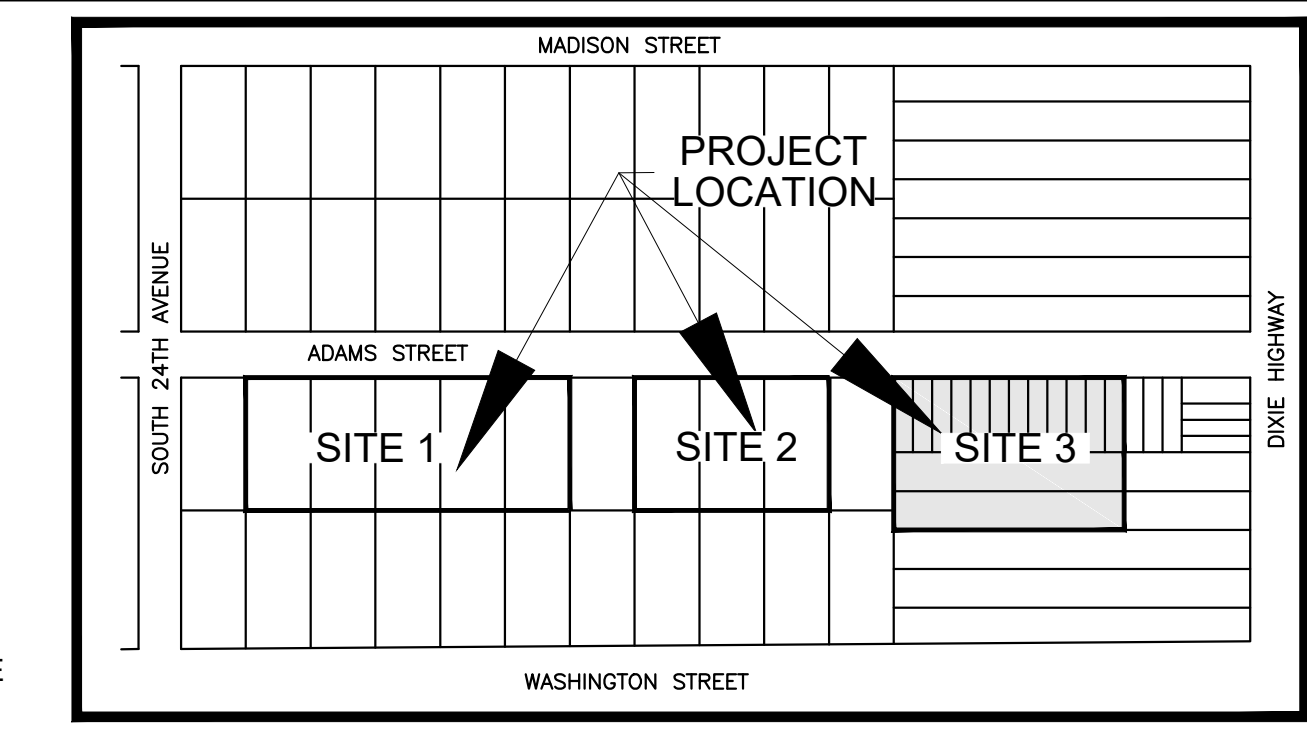
- ⊙ PROPOSED DRAINAGE MANHOLE (MH)
- CB PROPOSED CATCH BASIN (CB)
- SD PROPOSED EXFILTRATION TRENCH
- 9.80 PROPOSED GRADE ELEVATION (NAVD)
- MEG MATCH EXISTING GRADE (MEG)
- 10.30 PROPOSED TOP OF CURB ELEVATION (NAVD)
- 9.80 PROPOSED PAVEMENT ELEVATION (NAVD)
- PROPOSED UTILITY EASEMENT
- W_x EXISTING WATER MAIN
- SS_x EXISTING SANITARY SEWER
- SD_x EXISTING STORM DRAIN
- OH_w EXISTING OVERHEAD LINE
- G_x EXISTING GAS LINE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊠ EXISTING DRAINAGE STRUCTURES
- ⊙ EXISTING SPOT ELEVATION
- ⊙ EXISTING FIRE HYDRANT
- ⊠ EXISTING GATE VALVE
- PROPERTY LINE

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SCALE: 1"=20'
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP
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KEITH & ASSOCIATES, INC.
consulting engineers
301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643
2160 NW 82nd Avenue
Doral, Florida 33122
PH: (954) 788-3400
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ADAMS STREET
CITY OF HOLLYWOOD FLORIDA

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2018
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DESIGNED BY: SB
CHECKED BY: JT

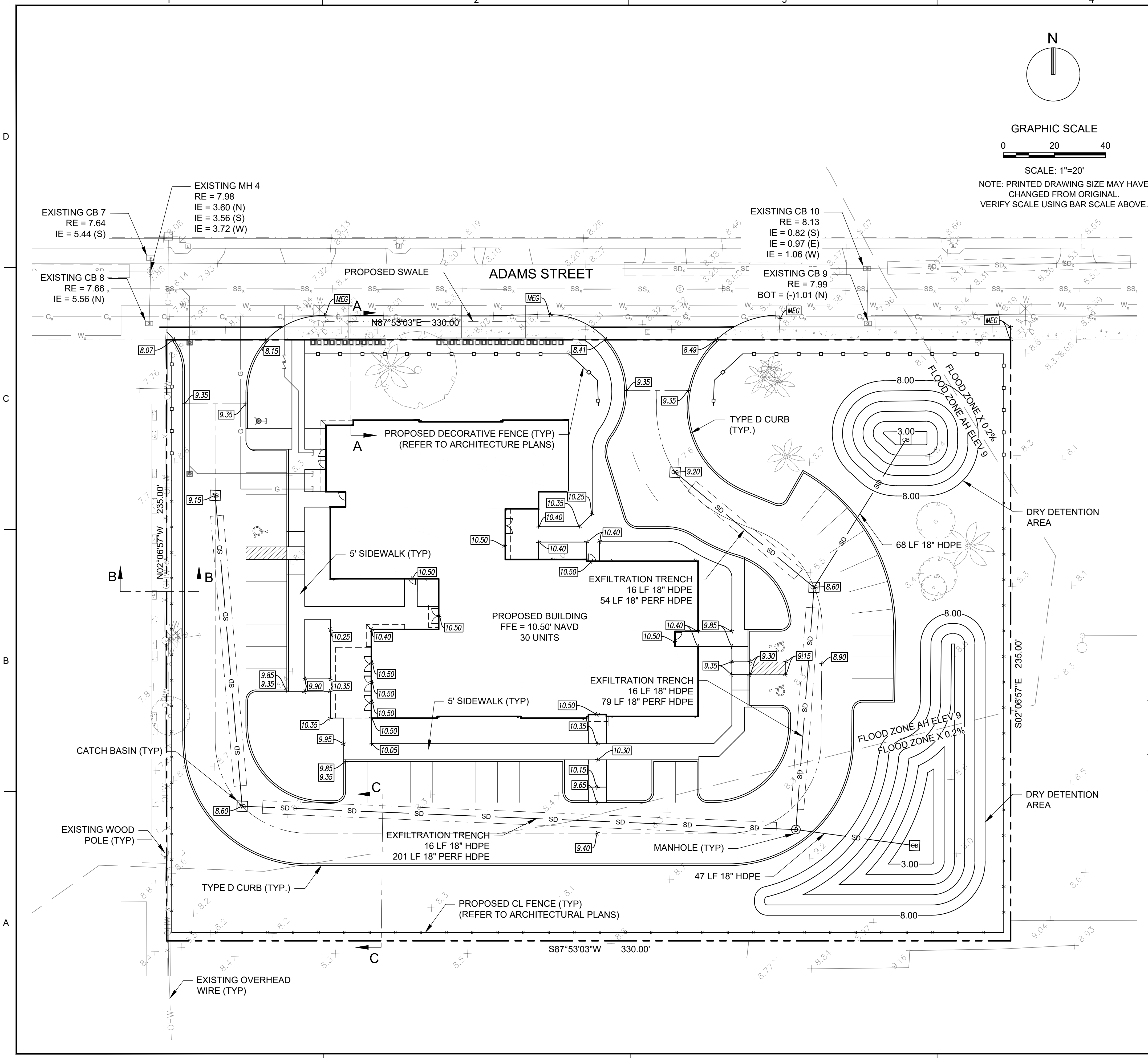
JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

SHEET TITLE
**SCHEMATIC PAVING,
GRADING, AND
DRAINAGE SITE 3**

SHEET NUMBER
CP-103

PRELIMINARY TAC SUBMITTAL

PROJECT NO. 10067.00



LEGEND

	PROPOSED DRAINAGE MANHOLE (MH)
	PROPOSED CATCH BASIN (CB)
	PROPOSED EXFILTRATION TRENCH
	PROPOSED GRADE ELEVATION (NAVD)
	MATCH EXISTING GRADE (MEG)
	PROPOSED TOP OF CURB ELEVATION (NAVD)
	PROPOSED PAVEMENT ELEVATION (NAVD)
	PROPOSED UTILITY EASEMENT
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING OVERHEAD LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING DRAINAGE STRUCTURES
	EXISTING SPOT ELEVATION
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	PROPERTY LINE

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 Layout Name: CP-103
 Plotted by: dloggan
 Plotted on: Feb 02, 2018 4:53:31pm

1

2

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5



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**ADAMS STREET
CITY OF HOLLYWOOD
FLORIDA**

SCALE:	AS NOTED
DATE ISSUED:	JANUARY 2018
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DESIGNED BY:	SB
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JAMES A. THIELE, P.E.
FLORIDA REG. NO. 33256
(FOR THE FIRM)

**SHEET TITLE
SCHEMATIC PAVING
AND GRADING
SECTIONS**

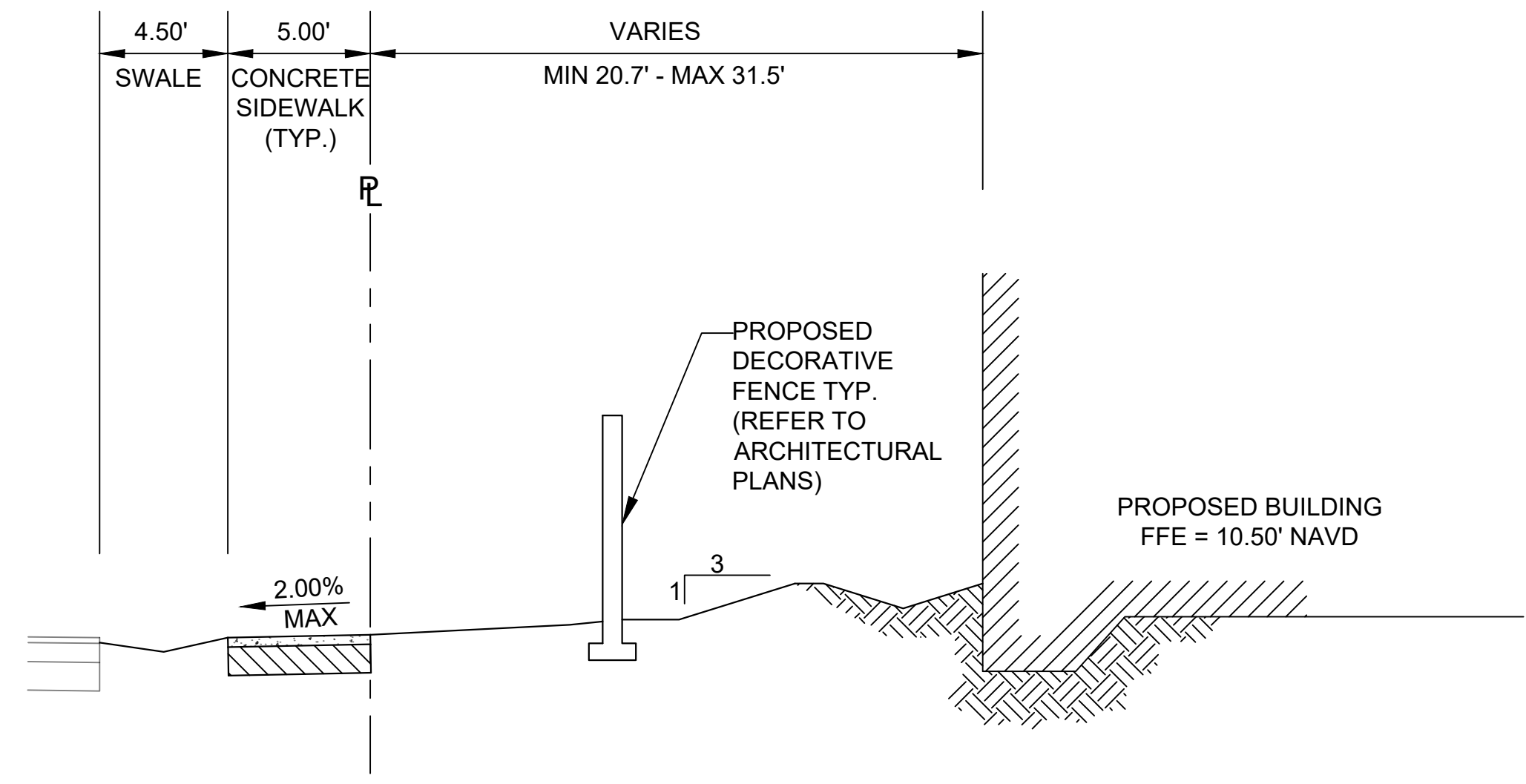
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SHEET of

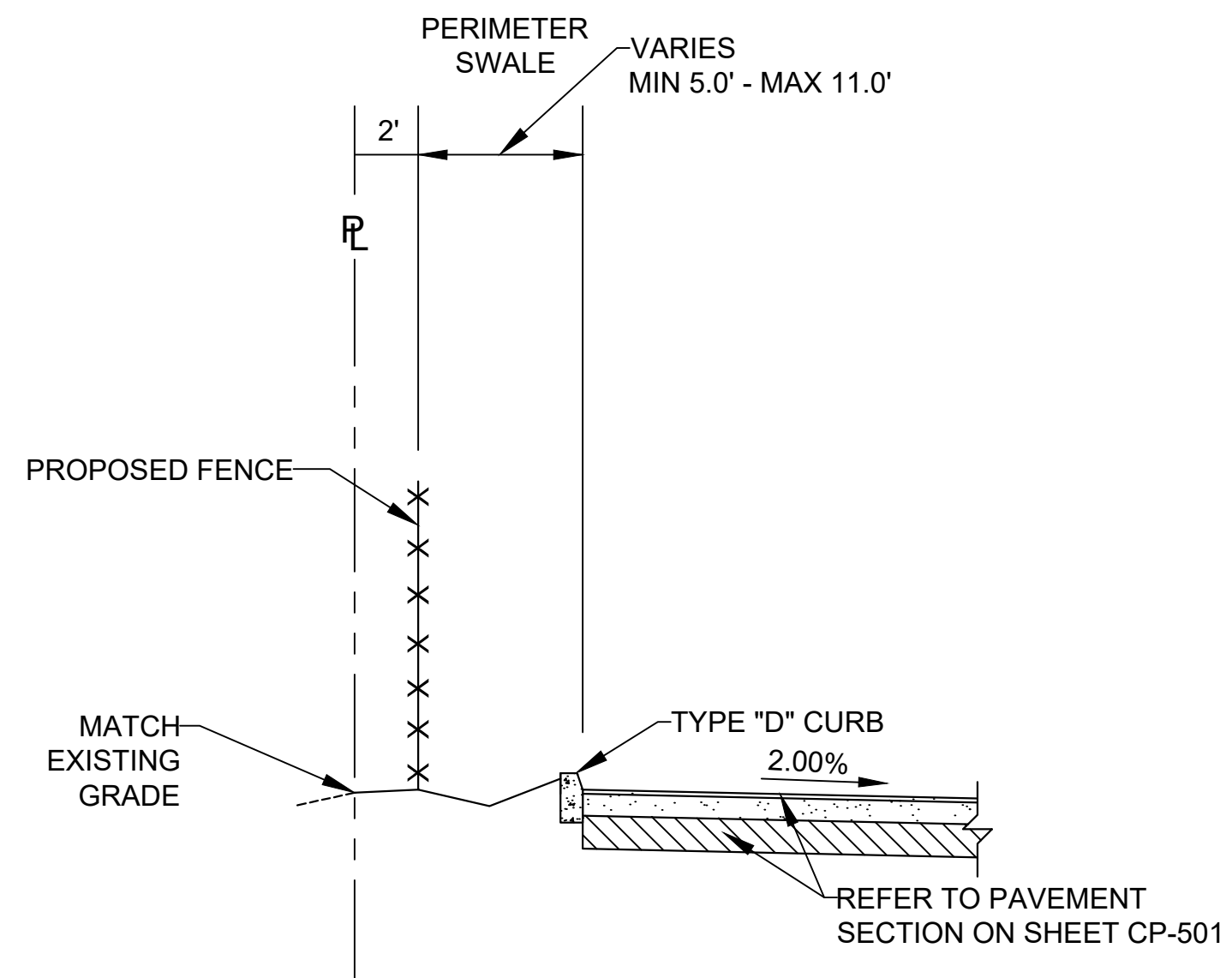
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GENERAL NOTES:

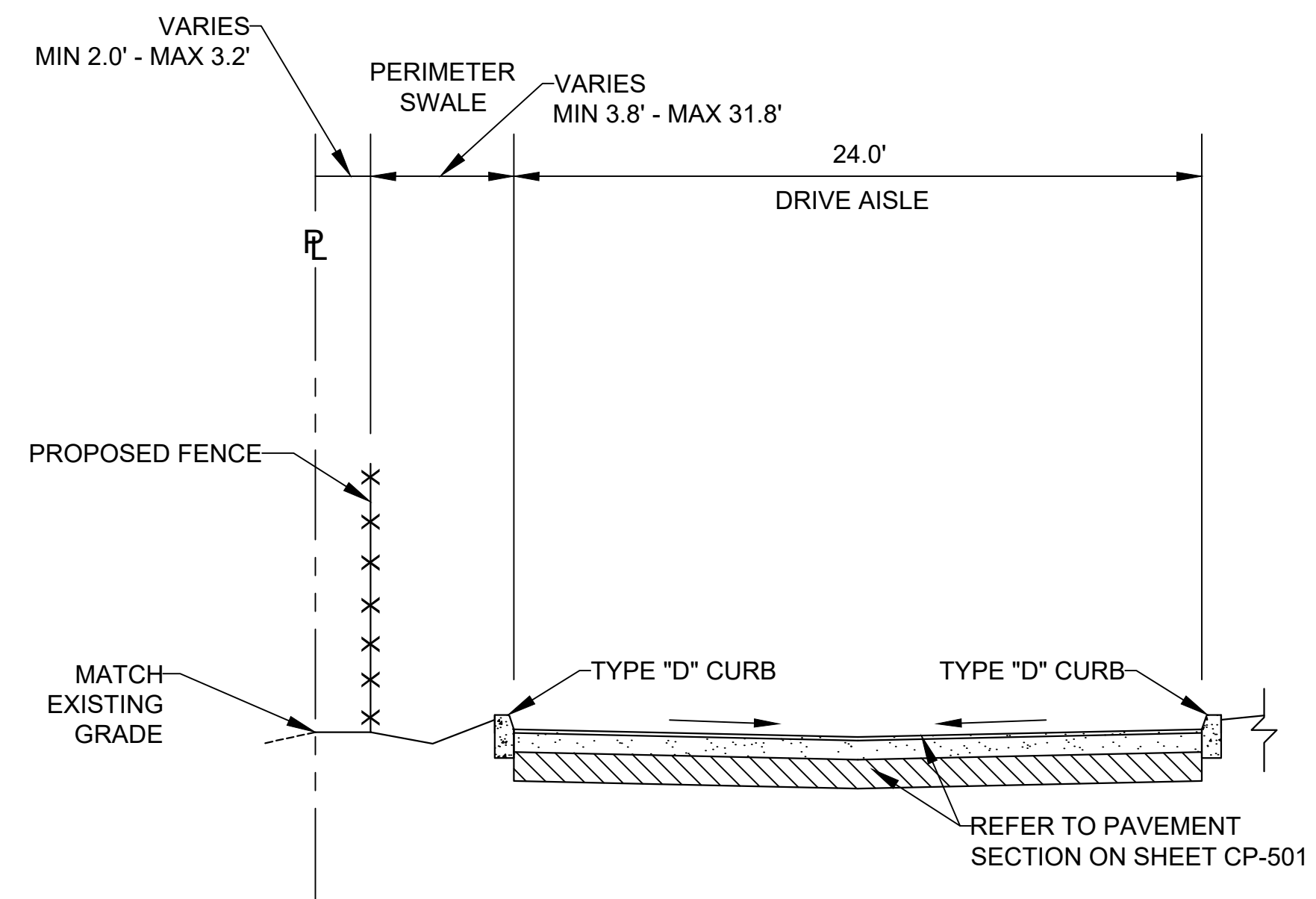
- REFER TO SHEETS CP-101 THROUGH CP-103 FOR GRADES
- GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD



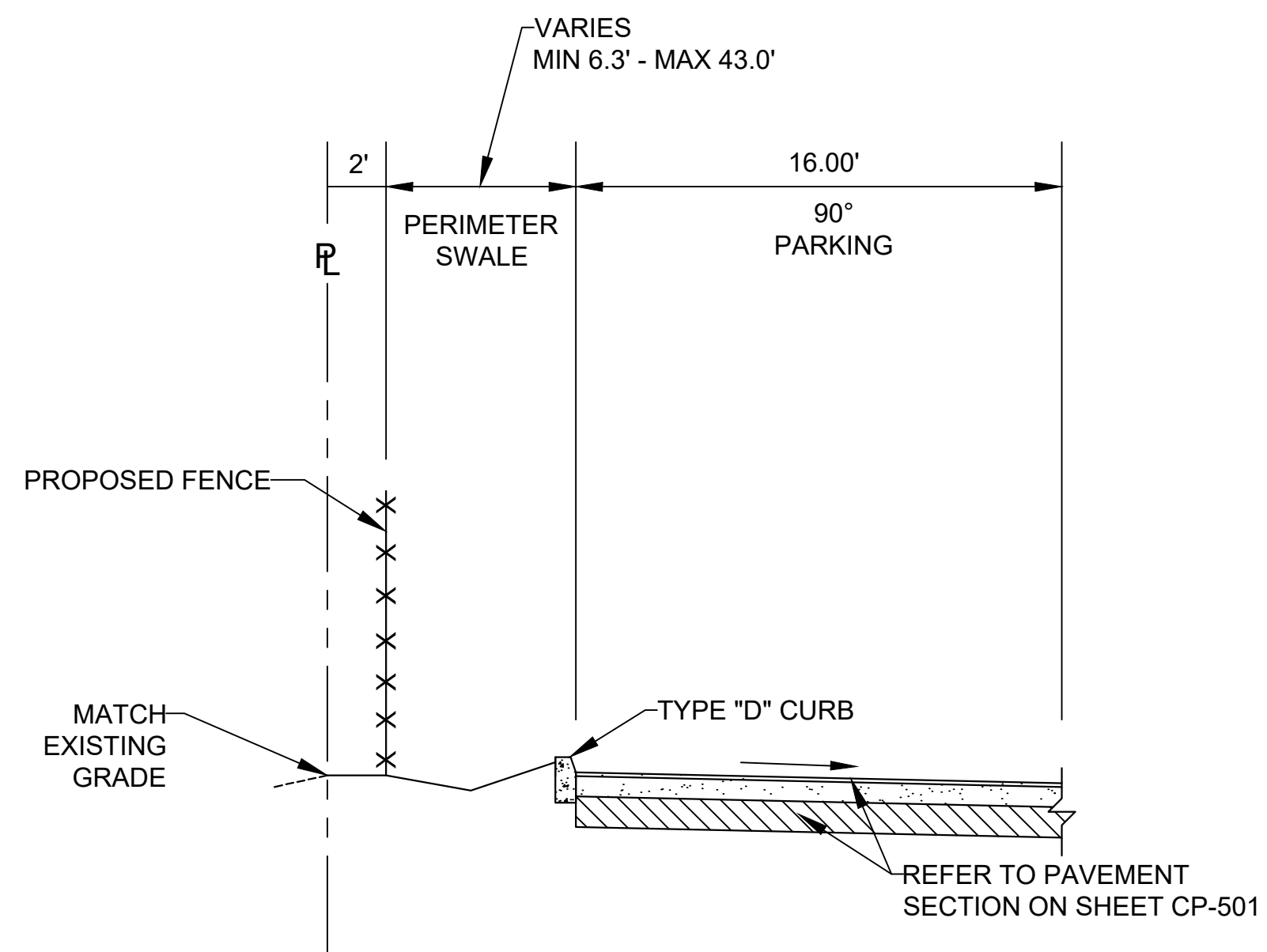
TYPICAL SECTION A-A
SCALE: N.T.S.



TYPICAL SECTION B-B
SCALE: N.T.S.



TYPICAL SECTION C-C
SCALE: N.T.S.



TYPICAL SECTION D-D
SCALE: N.T.S.

Drawing name: N:\1010067.00 - Pinnacle at Peacefield - PHCE\Engineering\Cad\10067.00\CP-301 Paving & Grading Sections.dwg Layout Name: CP-301 Printed by: ekagan Printed on: Feb 02, 2018 - 4:46pm