PLANNING DIVISION



File No. (internal use only):

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

APPLICATION TYPE (CHECK ONE): X Technical Advisory Committee Historic Preservation Board City Commission Planning and Development Board Date of Application: RPORATE Location Address: Adams Street (See attached Project Narrative) Tel: (954) 921-3471 Lot(s): See Legal Description Block(s): See Legal Description Subdivision: See Legal Description Fax: (954) 921-3347 Folio Number(s): See attached Project Narrative Zoning Classification: DH-2 & DH-3 Land Use Classification: Regional Activity Center (RAC) This application must be Existing Property Use: Vacant Land Sq Ft/Number of Units: 120 units completed in full and Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation. submitted with all documents to be placed on a Board or Has this property been presented to the City before? If yes, check al that apply and provide File Committee's agenda. Number(s) and Resolution(s): No prior requests Economic Roundtable Technical Advisory Committee Historic Preservation Board The applicant is responsible City Commission Planning and Development for obtaining the appropriate checklist for each type of Explanation of Request: application. Applicant(s) or their 120 total units (72) 1-Bedroom authorized legal agent must be Number of units/rooms: (48) 2-Bedroom Sq Ft: _____ present at all Board or Value of Improvement: 15,000,000 12/31/2019 __ Estimated Date of Completion: ____ Committee meetings. Will Project be Phased? () Yes (x)No If Phased, Estimated Completion of Each Phase At least one set of the submitted plans for each City of Hollywood Dept of Community and Economic Development / application must be signed Name of Current Property Owner: <u>Downtown Hollywood Community Redevelopment Agency</u> and sealed (i.e. Architect or Address of Property Owner: 2600 Hollywood Blvd, Hollywood FL 33020 Engineer). Telephone: 954-921-3271 954-921-3390 Fax: Email Address: Name of Consultant Representative Tenant (circle one): Pinnacle at Peacefield, LTD (Timothy Wheat) Documents and forms can be Address: 9400 S. Dadeland Blvd, Suite 100, Miami FL 33156 Telephone: 305-710-8603 accessed on the City's website at Fax: 305-859-9858 Email Address: twheat@pinnaclehousing.com http://www.hollywoodfl.org/Do Date of Purchase: Is there an option to purchase the Property? Yes (x) No ()cumentCenter/Home/View/21 If Yes, Attach Copy of the Contract. See Attached Purchase and Sale Agreement List Anyone Else Who Should Receive Notice of the Hearing: Address: 200 E. Las Olas Blvd, Fort Lauderdale FL 33301 Keith Poliakoff, Attorney Email Address: keith.poliakoff@saul.com

Keith and Associates, Inc 301 E. Atlantic Blvd, Pompano Beach FL 33060 Michael Vonder Meulen, AICP mvondermeulen@keith-associates.com **PLANNING DIVISION**



Hollywood, FL 33022

File No. (internal use only):

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <u>www.hollywoodfl.org</u>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date:
AUTHORIZED SIGNATORY PURSUANT TO CONTRAC	СТ
	Date:
Signature of Consultant/Representative:	
PRINT NAME: Timothy P. Wheat, for Pinnoele at Peacefield, 16t0.	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:
<u>Current Owner Power of Attorney</u> <u>See attacked purchase</u> where Power of Attorney 19 graved uncler Porafeapi I am the current owner of the described real property and that I am aware of the to my property, which is hereby made to be my legal representative before the	by me or I am hereby authorizing
Committee) relative to all matters concerning this application.	
	ature of Current Owner O SIGNATORY PURSUANT TO CONTRACT
Notary Public Print	Name
State of Florida	
My Commission Expires: 060118 (Check One) Personally known to me; OR Produc	ced Identification



CITY OF HOLLYWOOD

Technical Advisory Committee Submittal Checklist

QUICK FACTS:

- Scheduled appointment with assigned Planner required for all submittals.
- No applications are automatically scheduled for ANY meetings. Application must be determined to be complete by Staff before any processing occurs.
- Each package SHALL be complete, folded, and stapled.
- Fee Calculation

Residential: \$2,287 + \$56 per unit

All others: \$2,287 + \$67 per 1,000 gross sq. ft.

Fee will be paid twice (Preliminary and Final)

 TAC typically meets twice a month as follows (except for January, August, and December):

	01/17
02/06	02/21
03/06	03/20
04/03	04/24
05/01	05/15
06/05	06/19
07/17	07/31
09/05	09/18
10/02	10/16
11/06	11/20
12/04	

Meeting dates are subject to change.

 Prior to Final TAC, the Planning Division will provide one (1) original notification letter, envelopes, and signs for public notification. Mailing notification and property posting must be completed by the applicant at least ten (10) days prior to meeting date. <u>Provide 20 copies</u> (unless otherwise specified) of complete 24" x 36" packages containing the items below and <u>one</u> complete package fully signed and sealed with all original documents. Incomplete applications will not be routed and will be postponed until all required components are submitted.

Requirements for Preliminary Site Plan Review:

General Application

Application Fee

- ✓ Ownership and Encumbrance Report (O&E) (2)
- Cover Sheet with Location Map

Certified Alta Survey

Dimensioned Site Plan

- Dimensioned Building Elevations
- CD containing all documents listed above in PDF/JPG format (1)

Dimensioned Typical Floor Plans (include all levels for parking garages)

Requirements for Final Site Plan Review: (in addition to above items)

Street Profile/Elevation (including adjacent buildings)

- Dimensioned Landscape Plans
- Dimensioned Schematic Paving, Grading and Drainage Plan
- Color Rendering
- Original Set of Color Chips (1)
- □ Wildlife Protection (if applicable)
- UWritten Responses to Preliminary TAC comments
- CD containing all documents listed above in PDF/JPG format (1)
- □ Public Notice: Mailing Notification and Property Posting Requirements (1)
- Criteria Statement(s) for each request indicating consistency with all applicable criteria found in Article 5 of the Zoning and Land Development Regulations which may include the following: *Variances, Design, and Special Exceptions* (Available online at www.amlegal.com).

Please refer to Article 5 of the City of Hollywood's Zoning and Land Development Regulations for a detailed description of each item listed above or visit our website at <u>www.hollywoodfl.org</u>

2600 Hollywood Boulevard, Room 315 • P.O. Box 229045 • Hollywood, FL 33022-9045 Phone (954) 921-3471 • Fax (954) 921-3347 • <u>www.hollywoodfl.org</u>



CITY OF HOLLYWOOD

Guide to TAC Submittal Checklist

This document is an outline of site plan review procedures as listed in the Technical Advisory Committee Submittal Checklist. For additional information please refer to Chapter 162 of the Code of Ordinances.

General Requirements:

Pre-application Conference

Applicant must meet with an Office of Planning staff member prior to preparing and submitting a package for site plan review.

Applicable Projects

- All new construction and modifications to existing residential developments which result in five or more dwellings on a single lot
- All new nonresidential development
- Existing nonresidential modifications which result in an increase of eleven or more parking spaces

Exemptions (Additional exemptions are listed under Chapter 162)

- Modifications/additions to existing residential developments which result in a total of four or less dwellings
- New construction/interior remodeling to commercial development which results in an increase of ten or less parking spaces

Requirements for Preliminary Site Plan Review:

One of the required packages shall be signed and sealed by the appropriate professional(s). All packets shall include the following:

1. Ownership & Encumbrance Report (O&E)

- Dated within 30 days of submittal packet
- ☑ Indicate it was searched from time of platting or 1953 (earliest of the two)
- Legal description of property
- Names of all current owners
- Names of all outstanding mortgage holders or a no lien affidavit
- Listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.)
- Listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so)

2. Cover Sheet

- Name of development and phase (if applicable)
- Page Index
- Preliminary or Final TAC and meeting date
- Title (see Site Plan)
- ☑ Location map

3. Certified ALTA Survey

- Based on and dated after O&E
- Extend to centerline of all adjacent streets and alleys

- Angles and bearings, including light and utility poles, catch basins, manholes, and fire hydrants
- Natural features (topography: existing and proposed contours and/or spot grades)
- Location of buildings, including the location and size of berms, walls, underground facilities, intersections, bridges, sidewalks, driveways, curbs and streets
- Abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet
- Easements and/or dedications with O.R. or plat book(s) and page number(s)
- Net & gross property size in square feet and acreage (provide gross for residential/hotel developments)
- If located within Regional Activity Center include the existing residential/hotel units and/or commercial square footage

4. Site Plan

Title Block:

- Development name, address or general location
- Site Plan date and subsequent revision dates
- Architect/Engineer's name, addresses, and telephone number

Tabular Information:

- Legal Description including subdivision name, plat book page number, lot and block or metes and bounds if unplatted
- Current Land Use & Zoning designations and, if applicable, requested Land Use & Zoning designations
- Required and provided building setbacks
- Required and provided amounts for pervious and impervious in square footage, acreage and percentage (i.e. buffer areas, landscape areas, building footprint, vehicular use area, etc.) **Include calculations where necessary
- Height of structure(s)
- Required and proposed parking amounts, including handicap, guest and loading (show calculations)
- List any requested variances (include provided and required amounts)
- Note stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential) *Residential/Hotel Development*
- Net & Gross property size in square feet and acres
- Total floor area of each type of unit/room including a breakdown of airconditioned and non-airconditioned space (balconies, garages, terraces, etc).
- Number of dwelling units/rooms in each building including the number of bedrooms/bathrooms for each unit type If zero lot line, site widths as measured along the chord at the frontage
- Total square footage of each building or structure
- Total floor area of any recreation building
- Total number of allowed and proposed dwelling units/rooms and density per acre (including calculation) Non-Residential Development
- Net size of the site in square feet and acres
- Total gross floor area of the building, including a breakdown of common areas (restrooms, power equipment rooms, and meter rooms)

Zoning Information:

- Distances between existing and proposed buildings, parking lots, easements, rights-of-ways, and property lines
- Dumpster enclosure location(s), including area for recycling containers
- Dimension of building lengths
- Location, size and content of any proposed signage
- Dimension for all proposed parking types including driveways and access ways
- Vehicular circulation system showing required radii, dimensioned sight distance triangles and non-access line as per shown on the plat
- Dimension of existing and proposed sidewalks, pedestrian access ways, crosswalks and drop curbs
- If applicable, dimensions for required stacking
- Regulatory signage and pavement markings in compliance with the Manual of Uniform Traffic Control Devices
- Dimensions and locations of any existing and proposed easements or right-of-ways on or adjacent to the site. Provide

documentation relating to the abandonment or dedication(s) of easements or right-of-ways

- If applicable, provide the agreement(s) and supporting legal documentation for proposed easements
- Identify 'D' or 'F' curbing for all vehicle impact points
- Location and identification of building projections (i.e. air conditioner pads, mail boxes, light poles, overhead utility lines, back flow preventors, balconies, roof overhangs, etc.)
- Provide method of mail delivery
- Identify locations of existing and proposed fire-hydrants on-site or the closest off-site locations

General Information:

- Environmentally sensitive designated properties (urban wilderness, LAPC or MNRA) must provide a signed and sealed survey prepared no more than 30 days prior to the date of submittal. In tabular form, provide trees to remain, to be removed, relocated or which will incur dripline encroachment due to site development
- If wetlands exist on-site, provide applicable permits from outside permitting agencies
- If not environmentally sensitive, provide a tree sketch showing all trees that are two inches in diameter at breast height (DBH) or more and their locations. Provide information in tabular form (botanical name, common name, and caliper measurement) showing trees which are to remain, be removed, relocated or designating which trees will incur dripline encroachment due to site development. Clumps of nuisance species trees can be located as clouded area on sketch.
- Placement of trees in utility easements must be approved by the City's Engineering Division, Department of Public Utilities and the City's Arborist
- Phased Development (if phased the following apply)
 - Development plan shall show all proposed phase lines showing circulation, required parking to support each phase, landscaping, amenities and that full utility service through the site is provided at all times
 - All phase lines shall be drawn so that it is clearly delineated that each phase can stand on its own to provide for the health safety and welfare of the public
 - Residential developments: all proposed amenities must receive Certificates of Occupancy or final inspections in the first phase of the development, prior to Certificate of Occupancy of any residential structures
 - A backbone master plan for the entire projects water, sewer and access needs is required along with the phasing plan

5. Building Elevations

- For building height, refer to Height of a Building and Established Grade definitions in the City's Zoning and Land Development Regulations
- Provide dimensioned elevations of all buildings or typical
- List all building materials and treatments
- If applicable, provide the location and height/size of fences, walls, dumpster enclosures and signage

Requirements for Final Site Plan Review: (in addition to above items)

- 1. Typical Floor Plan (If buildings are compatible provide a typical floor plan. Parking garages, all levels are required.)
 - **Full dimensions for each room/parking area**
 - Exterior dimensions
- 2. Landscape Plans (Plots of 10,000 feet or more require plans from a registered Landscape Architect or Architect.) *Tabular Information*
 - Plant material details and specifications
 - Percentage of native trees and shrubs
 - Botanical name, common name, caliper measurement, and tree disposition in required and provided amounts
 - Breakdown of required and provided street trees, buffer areas, perimeter and open space (include calculations where necessary)

☑ Note indicating provision of 100% irrigation

Reflected on Plans

- Lift stations, dumpsters, retaining walls, backflow preventors and transformer vaults (with landscape treatments)
- Existing and provided street, buffer area, perimeter and open space tree locations
- Directional signage, lighting, overhead power lines, underground utilities and existing/proposed easements
- 3. Wildlife Protection (Applicable to development of natural areas over one acre)
 - Provide a written report from qualified consultant evaluating land area's existing conditions, wildlife population numbers and type and specific action plan for the safe capture and relocation of the identified animal population.
 - Detailed budget and cost estimate for proposed action plan must also be included in report
 - City must approve an action plan prior to land clearing, demolition or permits being issued
 - □ Total dollar amount from consultant report placed in an escrow account for animal relocation plan

4. Schematic Drainage Plan

- Location of existing and proposed potable water and sewage collection facilities
- Proposed point of connections to existing water and sewer facilities
- Proposed new utilities easements
- Estimated flows and calculations
- Schematic water distribution, sewage collection and drainage plans including proposed locations and diameters of piping systems, manhole locations, lift stations, point of connection to the City's system, proposed drainage outfall connection
- Direction of drainage flow
- Proposed average private road grades, corners and floor elevation for proposed buildings (mean sea level)
- Base floor elevations
- Proposed stormwater drainage report complying with South Florida Management District regulations
- Location and sizes of existing storm drain pipes and headwalls
- Proposed manholes, drainage swales and catch basins

5. Street Profile

Elevations showing general character and relationship with surrounding properties

6. Color Renderings

Color representation of the elevations showing textures, architectural features, fences, etc.

7. Color Chips

One set of original color swatches reflecting proposed colors for all structures

8. Additional Information (may be required by TAC when applicable)

- Permits: Driveway connection permits required by state, federal and local agencies and copy of permit application
- Proof of Concurrency: Projects requiring Site Plan review or Developments of Regional Impact (DRI's) are required to provide proof of concurrency in accordance with City's Comprehensive Plan and Chapter 163 of Florida Statutes and Satisfaction of Broward County concurrency standards (<u>http://broward.org/development/devreviewsvcs.htm</u>)
- Parking study or traffic circulation study including signalization and geometric improvements
- Protection of natural areas, native species, potable water well fields, and dune systems and provision of effective erosion control and protection against hazardous waste
- Demonstrate there will be no adverse affects on endangered or threatened plant or animal species and will to the greatest extent possible protect natural areas, native species, potable water wellfields, dune systems, provide effective erosion

control and will protect against hazardous waste

- □ Maximum clustering of buildings and impervious areas
- Bicycle and pedestrian paths connecting to development and combination of landscaping with adjacent properties
- Specifically delineated dimensions between columns and/or other structures and provision of a sealed survey establishing compliance with previously designated dimensions
- □ TAC may further require that following construction of footings and establishment of batter-boards for column construction at grade level, that the developer provide to the TAC, a sealed survey establishing compliance with the previously designated critical dimensions

9. Written Response to Final TAC Comments

- Typed response to all comments from each department
- 10. CD (Package information in PDF/JPG format only)
 - Preliminary Requirements: Application and items 2-5 above
 - Final Requirements: items 1, 2, 5, and 6 above

11. Public Notice: Mailing Notification and Property Posting

- □ Notification letter and appropriate amount of City envelopes and signs will be provided by the Office of Planning
- Applicant to obtain certified letter, map and mailing list/labels for properties within 500 feet
- Copy of notification sent to property owners shall also be sent to the Office of Planning
- Certification Letter assuming responsibility for completion
- Any of the following licensed professionals may prepare and mail the notification package: Engineer, Architect, Landscape Architect, Real Estate Broker, Real Estate Appraiser, Land Surveyor, Urban Planner or Attorney
- Property must be posted 10 days prior the Final TAC public hearing and pictures must be submitted

This document should be used as a guide. Please refer to the City of Hollywood Code of Ordinances, Chapter 162 for a full, detailed list of requirements.



February 2nd, 2018

City of Hollywood Planning Division 2600 Hollywood Boulevard Hollywood, FL 33020

RE: Pinnacle at Peacefield - Project Narrative

On behalf of the current property owners (City of Hollywood and the Downtown Hollywood Community Redevelopment Agency), Pinnacle at Peacefield Ltd. is an authorized agent, as per the Purchase and Sale Contracts dated 12/16/2016 (as amended) of property described in the attached legal description. The Applicant's authorized representative, Timothy P. Wheat, has submitted this application seeking site plan approval for an age and incomerestricted multi-family residential project.

The project location is along Adams Street, between South 24th Avenue and South Dixie Highway, within the City of Hollywood's Reginal Activity Center District. Pinnacle at Peacefield is a proposed 120 unit, multi-family development, providing quality affordable rental housing for seniors. It will be financed utilizing Housing Tax Credits allocated from the Florida Housing Finance Corporation, and as such will be income and use restricted for a period of fifty (50) years.

The project proposes (3) separate parcels (Site-1, Site-2, and Site-3), where each parcel will feature a three-story multi-family building, associated parking, landscaping and common recreational and activity elements. Each building will feature two unit types with either a one or two bedroom floor plan.

Project amenities include access to each site, open space area for active and passive recreation, parking and greenspace. Each site will feature a two-way internal road around the building with surface parking that was designed in a way to preserve as many existing specimen trees as possible.

Site-1 and Site-2 are zoned as Dixie Highway Medium Intensity Multi-Family (DH-2). Site-3 is zoned as Dixie Highway High Intensity Multi-Family (DH-3). The surrounding properties have a land use of Regional Activity Center, as well as zoning categories of DH-2 and DH-3.

Keith and Associates looks forward to working with the City of Hollywood on this project. Please feel free to contact us if you have any questions or need any further information. You may contact me at 954-788-3400.

Sincerely,

Michael Amodio

Michael Amodio Keith and Associates

CC: Timothy Wheat, Pinnacle at Peacefield, LTD



Environmental Protection and Growth Management Department Housing Finance and Community Redevelopment Division (HFCRD) 110 Northeast 3rd Street, 3rd Floor • Fort Lauderdale, Florida 33301 • 954-357-4900 • FAX 954-357-8221

February 2, 2018

Timothy P. Wheat, Regional Vice President Pinnacle Housing Group 9400 S. Dadeland Blvd, Suite 100 Miami, FL 33156

SUBJECT: AFFORDABLE HOUSING CERTIFICATION Folio Numbers: See attached list. Property Location: City of Hollywood

Dear Mr. Wheat:

You have been certified eligible under the Broward County Affordable Housing Program for certain impact fee waivers or reductions. This certification will be for 120 Garden Style Apartments in the following category as indicated in your application:

Number of Units Proposed by Bedroom Size	Efficiency	One Bedroom	Two Bedrooms	Three Bedrooms	Four Bedrooms
Very Low		8	4		
Low		64	44		
Moderate					

Dwelling Unit Type	Very Low	Low	Moderate	Total
Single Family Detached				
Townhouse/Villa Attached, Duplex				
Garden Style Apts. (2-3 Stories)	12	108		120
Mid Rise (4-8 Stories)				
High Rise (9+ Stories)				
Total Units:	12	108		120

Legal Description: (See attached)

Page 2

Affordable Housing Certification/Impact Fee Waiver Program Property Location: City of Hollywood Folio Numbers: See attached list. February 2, 2018

As the approved owner of the property, you are required to comply with all applicable terms and conditions of the program, as outlined in your initial application. You must also comply with the Broward County Land Use Plan (BCLUP) for "Affordable Housing," Specifically, the monthly rents or mortgage payments (including taxes and insurance) do not exceed 30 percent of an amount representing the percentage (very low = 50%; low = 50% to 80%; moderate = 80% - 120%) of the median income limits adjusted for family size for the households. To income certify client; please see an example application attached as a guide. Upon completion of the application, retain the original income certification Application in your files.

If the owner transfers title to the property within the time period set forth in the Terms and Conditions in the application, the property shall be made available only to a buyer who qualifies as designated on your approved Certification Letter and who will use the property as its principal residence or all fees shall be subject to recapture. "Waivers of impact and/or application fees require that the applicant(s) maintain affordable housing for twenty (20) years for rental housing and ten (10) years for owner-occupied housing in accordance with Broward County Land Development Code." (See page one (1) of your application. On May 22, 2007, the Broward County Board of County Commissioners amended these time frames as noted above.)

It is important that you present this letter when discussing the project with County staff or when filing development applications with Broward County. Also, any waiver or reduction to be given by the Broward County School Board will require a separate application from them.

In order to complete the process, Broward County's Development and Environmental Review Section requires the property owner and its mortgagee to enter into a "Declaration of Restrictive Covenant for Affordable Housing." The "Declaration" requires the signatures of all the property owners and mortgagees of the property. In order to verify the owners and mortgagees, the County Attorney's Office requires an "Opinion of Title". Please contact the Development Management and Environmental Review Section at (954) 357-6666 for additional assistance.

Sincerely,

Suzanne Fejes, Acting Director Housing Finance and Community Redevelopment Division (HFCRD) Attachments SF/ac

 cc: Dr. Wazir Ishmael, City Manager, City of Hollywood Barbara Blake Boy, Broward County Planning Council Chris Akagbosu, Facility Planning & Real Estate, Broward County School Board Thuy Turner, Broward County Development & Environmental Review Section Angela M. Chin, HFCRD

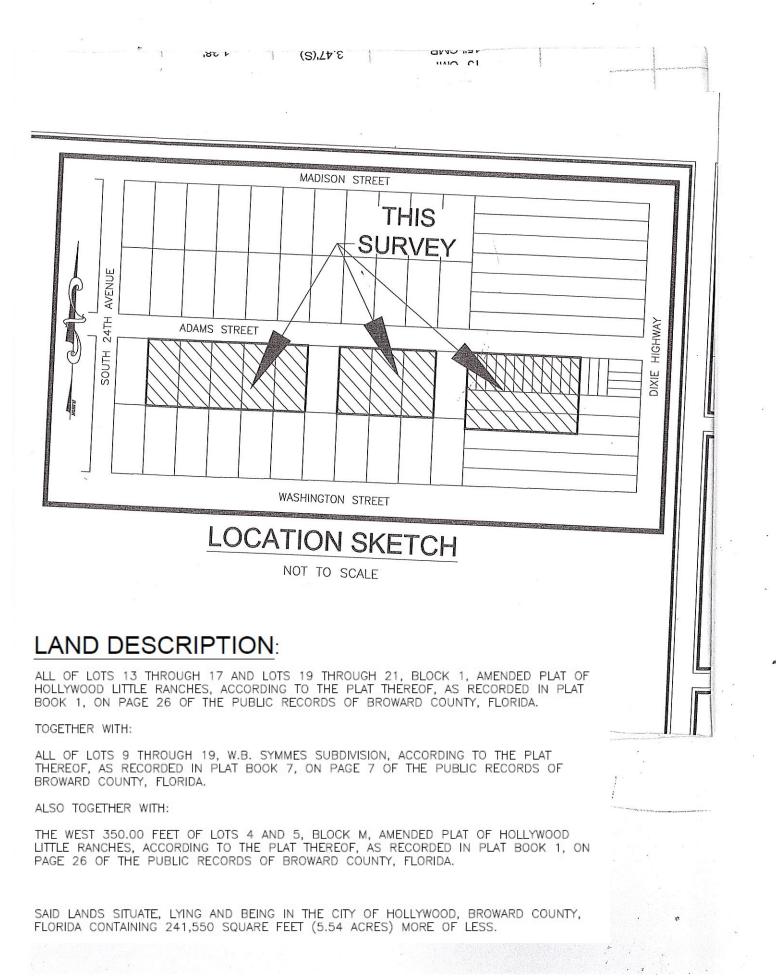
"Pinnacle at Peacefield" Development Site

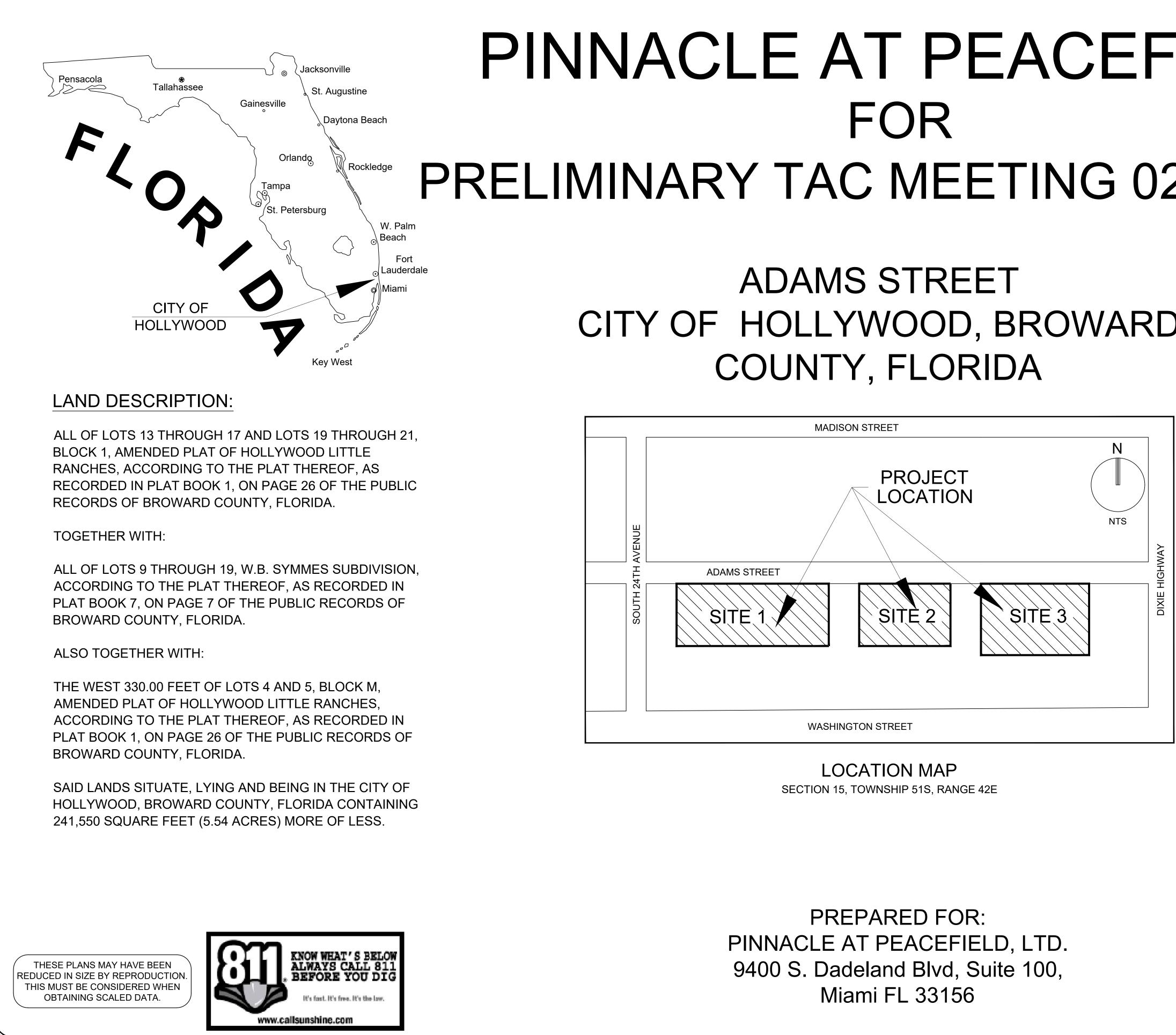
Lot Number	Folio Number
13	514216011380
14	514216011381
15	514216011390
16	514216011400
17	514216011410
19W	514216011430
19E	514216011440
20	514216011450
21	514216011460

Property Owner: City of Hollywood, FL

Property Owner: Hollywood Community Redevelopment Agency

PINNACLE AT PEACHFIELD CITY OF HOLLYWOOD





PINNACLE AT PEACEFIELD PRELIMINARY TAC MEETING 02/20/2018

CITY OF HOLLYWOOD, BROWARD

	INDEX OF SHEETS	
Sheet Identification	Sheet Title	
	COVER	
S-1 TO S-2	ALTA SURVEY	
SP-100	OVERALL KEY PLAN	
SP-101	SITE PLAN SITE 1	
SP-102	SITE PLAN SITE 2	
SP-103	SITE PLAN SITE 3	
	ARCHITECTURAL	
A-0.0	ARCHITECTURAL COVER + RENDERING	
A-2.0 TO A-2.2	WEST BUILDING FLOOR PLANS	
A-2.4 TO A2.6	CENTRAL/EAST BLDG. FLOOR PLANS	
A-4.0 TO A-4.1	WEST BUILDING ELEVATIONS/SECTION	
A-4.2 TO A-4.3	CENTRAL/EAST BUILDING ELEVATIONS/SECTIONS	
E-1.1 TO E-1.2	PHOTOMETRIC SITE PLAN / FIXTURE SPEC	
	CIVIL ENGINEERING	
GI-001	CIVIL GENERAL NOTES	
GI-002	CONSTRUCTION SPECIFICATIONS	
CP-101 TO CP-103	SCHEMATIC PAVING, GRADING, AND DRAINAGE	
CP-301	SCHEMATIC PAVING AND GRADING SECTIONS	
CP-501 TO CP-503	PAVING, GRADING, AND DRAINAGE DETAILS	
CU-101 TO CU-103	SCHEMATIC WATER AND SEWER PLANS	
CU-501 TO CU-506	WATER AND SEWER DETAILS	
	LANDSCAPE	
LA-1A	WEST SITE-MITIGATION PLAN	
LA-2A	WEST SITE-LANDSCAPE PLAN	
LA-3A	WEST SITE-LANDSCAPE DETAILS	
LA-4A	WEST SITE-LANDSCAPE NOTES	
LA-1B	CENTRAL SITE-MITIGATION PLAN	
LA-2B	CENTRAL SITE-LANDSCAPE PLAN	
LA-3B	CENTRAL SITE-LANDSCAPE DETAILS	
LA-4B	CENTRAL SITE-LANDSCAPE NOTES	
LA-1C	EAST SITE-MITIGATION PLAN	
LA-2C	EAST SITE-LANDSCAPE PLAN	
LA-3C	EAST SITE-LANDSCAPE DETAILS	
LA-4C	EAST SITE-LANDSCAPE NOTES	



PROJECT No. 10067.00 02/05/2018

STRUCTURE	RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV	BOTTOM OF BOX	COMMENT	STRUCTURE
DRAINAGE MANHOLE - 1	8.65'	15" CMP 15" CMP 24" CMP 24" CMP	2.45'(N) 2.47'(S) 3.14'(E) 3.05'(W)	0.05'		SANITARY MANHOLE - 1
DRAINAGE MANHOLE - 2	8.08'	15" CMP 15" CMP 24" CMP 24" CMP	2.67'(N) 2.73'(S) 3.16'(E) 2.98'(W)	0.36'	, mark , market (market) (market	SANITARY MANHOLE - 2 SANITARY MANHOLE - 3
DRAINAGE MANHOLE - 3	7.90'	15" CMP 15" CMP 24" CMP 24" CMP	3.33'(N) 3.47'(S) 3.41'(E) 3.40'(W)	1.38 ^r		SANITARY MANHOLE - 4
DRAINAGE MANHOLE - 4	7.98'	15" CMP 15" CMP 24" CMP	3.60'(N) 3.56'(S) 3.72'(W)	1.18'		SANITARY MANHOLE - 5 SANITARY MANHOLE - 6
CATCH BASIN - 1	8.48'	15" CMP	BAFFLE (S)	0.94'	TOP OF BAFFLE 4.35'	
CATCH BASIN - 2	8.44'	15" CMP	BAFFLE (N)	0.49'	TOP OF BAFFLE 4.72'	SANITARY MANHOLE - 7
CATCH BASIN - 3	7.88'	15" CMP	BAFFLE (S)	0.68'	TOP OF BAFFLE 4.92'	SANITARY MANHOLE - 8
CATCH BASIN - 4	7.85'	15" CMP	BAFFLE (N)	0.85'	TOP OF BAFFLE 4.95'	SANITARY MANHOLE - 9
CATCH BASIN - 5	7.68'	15" CMP	5.48'(N)	1.38'		SANITARY MANHOLE - 10
CATCH BASIN - 6	7.61'	15" CMP	5.61'(S)	1.31'		
CATCH BASIN - 7	7.64'	15" CMP	5.44'(S)	1.59'		SANITARY MANHOLE - 11
CATCH BASIN - 8	7.66'	15" CMP	5.56'(N)	2.36'		SANITARY MANHOLE - 12
CATCH BASIN - 9	7.99'	15" CMP	BAFFLE (N)	(-) 1.01'	TOP OF BAFFLE 2.93'	
CATCH BASIN - 10	8.13'	15" CMP 24" CMP 24" CMP	0.82'(S) 0.97'(E) 1.06'(W)	(-) 0.72'		

SURVEY NOTES:

UTILITY TABLE:

- 1. LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- 2. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD BY FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NUMBER 1062-3464376, DATED DECEMBER 01, 2017 @ 8:00 AM.
- OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH 02'06'57" WEST ALONG THE WEST LINE OF BLOCK 1, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- 7. IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- 8. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1988 (NAVD 1988). SAID ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARK M 312; A BRASS DISK ON THE TOP OF A RETAINING WALL AT THE CITY HALL BUILDING NEAR THE THE INTERSECTION OF HOLLYWOOD BOULEVARD AND SOUTH 26TH AVENUE. 17 FEET +/- SOUTHEAST OF THE NORTHEAST CORNER OF THE BUILDING, 8 FEET +/- EAST OF THE EAST WALL OF THE BUILDING AND 3.6 FEET SOUTH OF THE NORTH END OF THE RETAINING WALL; ELEVATION= 13.44' LOADING DOCK OF THE SEARS ROEBUCK CO. SERVICE BUILDING. 92' NORTHEAST OF THE CENTER OF THE CROSSING OF NORTHEAST 38TH STREET, 34.2' EAST OF AND ACROSS SIDE TRACK FROM THE EAST RAIL OF THE NORTHBOUND TRACK, AND 1.4' NORTH OF THE SOUTHWEST CORNER OF THE LOADING PLATFORM, ELEVATION= 13.44' AND BENCHMARK BC 529; A BRASS DISC STAMPED "B.C. 529" IN THE TOP OF A CONCRETE MONUMENT AT THE INTERSECTION OF DIXIE HIGHWAY AND WILEY COURT, 39 FEET +-/ EAST OF THE CENTERLINE OF DIXIE HIGHWAY AND 18 FEET +/- SOUTHEAST OF A UTILITY POLE; ELEVATION = 7.68'.
- 9. THE OWNERSHIP OF FENCES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
- 10. THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE STANDARDS OF PRACTICE (RULE 5J-17, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 11. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL WHICH MAY HAVE BEEN ENLARGED FOR CLARITY, ALL MAPPED FEATURES SHOWN HEREON WERE OBTAINED BY KEITH & ASSOCIATES, INC. FOR THE PURPOSE OF THIS SURVEY. DISTANCES SHOWN HEREON ARE IN U.S. FEET.
- 12. THE INTENDED DISPLAY SCALE OF THIS SURVEY IS 1'' = 40' OR SMALLER.
- 13. THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS +/- 0.02' FOR HARD SURFACE ELEVATIONS AND 0.1' FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL LOCATION ACCURACY IS +/- 0.1'.

TITLE COMMITMENT EXCEPTIONS PER FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER : 1062-3464376. EFFECTIVE DATE: DECEMBER 01, 2017 @ 8:00 AM

ENCUMBRANCE NUMBER	DESCRIPTION
1	DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY.
2	RIGHTS OF CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
3	EASEMENTS, CLAIMS OF EASEMENTS, BOUNDARY LINE DISPUTES, OVERLAPS, ENCROACHMENTS OR OTHER MATTERS NOT SHOWN BY PUBLIC RECORDS WHICH WOULD BE
4	ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HERAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RE
5	ANY DISPUTE AS TO THE BOUNDARIES CAUSED BY A CHANGE IN THE LOCATION OF ANY WATER BODY WITHIN OR ADJACENT TO THE LAND PRIOR TO DATE OF POLICY
6	TAXES AND ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.
7	INTENTIONALLY OMITTED
8	TAXES OR ASSESSMENTS FOR THE YEAR 2018, WHICH AR NOT YET DUE AND PAYABLE AND SUBSEQUENT YEAR, WHICH ARE NOT YET DUE AND PAYABLE.
9	RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN THE PLAT OF HOLLYWOOD LITTLE RANCHES AMENDED (PARCELS 1 AND 3)
10	RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN THE PLAT OF W.B. SYMMES SUBDIVISION (PARCEL 2)
	RESERVATIONS FOR UTILITIES ALONG THE REAR LOT LINES AS FORTH IN DEEDS RECORDED (PARCEL 3)
12	AGREEMENT, RECORDED FEBRUARY 24, 1956 (PARCEL 1)
13	EASEMENT AGREEMENT, RECORDED MAY 27, 1990, (PARCEL 1)
14	DEDICATION OF UTILITY EASEMENT, RECORDED SEPTEMBER 22, 2005, (PARCEL 3)
15	CITY OF HOLLYWOOD DEVELOPMENT REVIEW BOARD RESOLUTION NO. 07-DPV-42, RECORDED JULY 28, 2008 (PARCEL 3)
16	TERMS AND CONDITIONS OF ANY EXISTING UNRECORDED LEASE(S), AND ALL RIGHTS OF LESSEE(S) AND ANY PARITIES CLAIMING THROUGH THE LESSEE(S) UNDER THE
The apprending of the second	

14. UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT 15. THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983 WITH THE NATIONAL SPATIAL REFERENCE SYSTEM 2011 ADJUSTMENT APPLIED (83/NSRS2011), TRANSVERSE MERCATOR, FLORIDA EAST ZONE. 16. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12011C0569H, COMMUNITY NO. 125113, EFFECTIVE DATE 8-18-2014, THIS PROPERTY LIES IN ZONE AH, BASE FLOOD ELEVATION (9) AND ZONE X 0.2% ANNUAL CHANCE OF FLOOD HAZZARD, BASE FLOOD ELEVATION (NONE). 17. PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$ 5- MILLION

- DOLLARS TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON

AREA:

ZONING:

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<u>ark</u>	ING	RE	QU	IRE	N
SITE	1=7	71	SP/	401	25
ITE	2=3	56	SP/	4C1	

RIM ELEV	PIPE SIZE & TYPE	INVERT ELEV
9.16	8" PVC 8" PVC	(-) 2.37'(S) (-) 2.20'(E)
8.83'	8" PVC 8" PVC 8" PVC	(-) 2.58'(N) (-) 1.87'(S) (-) 2.54'(W)
8.96'	8" PVC 8" PVC	(-) 1.09'(N) (-) 0.99'(E)
8.56'	8" PVC 8" PVC	(-) 0.03'(E) (-) 0.13'(W)
8.55'	8" PVC 8" PVC	1.04'(SE) 1.22'(W)
8.73'	8" PVC	3.07'(W)
8.53'	8" PVC 8" PVC	(-) 0.37'(E) (-) 0.50'(W)
8.90'	8" PVC 8" PVC	1.20'(NW) 1.29'(E)
8.94'	8" PVC 8" PVC	1.63'(NE) 1.54'(W)
8.87'	8" PVC 8" PVC	1.82'(SW) 1.82'(E)
8.40'	8" PVC 8" PVC	1.51'(E) 1.50'(W)
8.55'	8" CLAY 8" PVC	2.88'(E) 3.13'(W)

GROSS AREA: 264,150 SQUARE FEET 6.06 ACRES NET AREA: 241,550 SQUARE FEET 5.54 ACRES

ZONING INFORMATION SHOWN HEREON IS TAKEN FROM THE ZONING SECTION OF THE DUE DILIGENCE REPORT PREPARED BY INC., UNDER JOB NUMBER 10067.00, DATED NOVEMBER 3, 2017. THE SITE IS LOCATED WITHIN THE REGIONAL ACTIVITY CENTER, HOWEVER THERE ARE NO EXISTING RESIDENTAL/HOTEL UNITS AND/OR AS THE SITE IS CURRENTLY VACANT.

& LOTS 4-5

AREA SITE 1 SITE 2 SITE 3	ZONING DH-2 DH-2 DH-3	FRONT SET BA 15' 15' 15'	<u>CK REAR SET</u> 20' 20' 20' 20'	<u>BACK SIDE SE</u> 10 10 10)* }
MAX_FLOOR_A SITE_1=1.75 SITE_2=1.75 SITE_3=3.00	(107,625 \$	SQUARE FEET) SQUARE FEET) SQUARE FEET)	BUILDING 4 STORIES 4 STORIES 5 STORIES	(45' MAX)	<u>)NS</u>
PARKING REQ SITE 1=71 S SITE 2=36 S SITE 3=36 S	PACES, 60 PACES, 30	(RESIDENCIES) (RESIDENCIES) (RESIDENCIES)	-3 (GUEST) 3 (LEASING OFFICE) MANAGEMENT OFFI MANAGEMENT OFFI	

	OFFICIAL RECORDS BOOK AND PAGE	AFFECTS		PLOTTED ON SURVEY		COMMENT	
		YES	NO	YES	NO		
	N/A				X	STANDARD TITLE EXCEPTION	
				ed Grange de Standing Greek vijnen van de Standing v	X	STANDARD TITLE EXCEPTION	
E DISCLOSED BY AN ACCURATE SURVEY.	en per se				X	STANDARD TITLE EXCEPTION	
RECORDS.	\mathbb{N}/\mathbb{A}				X	STANDARD TITLE EXCEPTION	
Y, AND ANY ADVERSE CLAIM TO ALL			(Interference of the second structure of the second st		X	STANDARD TITLE EXCEPTION	
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	N/A	****		***	X	STANDARD TITLE EXCEPTION	
	PLAT BOOK 1, PAGE 26	X		X	heiste Mansielanne Manscelate darsielt kar 	AFFECTS SHOWN ON SURVEY	
	PLAT BOOK 7, PAGE 7	X		X		AFFECTS SHOWN ON SURVEY	
	DEED BOOK 16, PAGE 276	X			Х	NO DIMENSIONS NOT PLOTTABLE	
	DEED BOOK 96, PAGE 37				Х	NOT LEGIBLE UNKNOWN	
	DEED BOOK 82, PAGE 205		Х		Х	SECTION 20-51-42	
анеенке (уласкийн наран солуун) у отин бөлөн бөлөр колорон нал колорон улас бай түү бөлөр бай улас бай бай бөлө Санеенкө (уласкийн наран солуун) у отин бөлөн бөлөр колорон нал колорон улас бай бай бай бай бай бай бай бай бай	0.R.B. 571, PAGE 319	X		X	an a contraction of the second se	EASEMENT SHOWN ON SURVEY	
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	O.R.B. 40558, PAGE 1734	X		X		EASEMENT SHOWN ON SURVEY	
	O.R.B. 45564, PAGE 24	X			Х	OLD SET BACK VARIANCE	
E LEASE(S).	. N/A			in and the state of the state o	X	STANDARD TITLE EXCEPTION	

CERTIFICATION:

THIS SURVEY IS MADE FOR THE BENEFIT OF: PINNACLE AT PEACEFIELD, LTD. A FLORIDA LIMITED PARTNERSHIP; POLICY; FIRST AMERICAN TITLE INSURANCE COMPANY; SHUTTS & BOWEN, LLP; DOWNTOWN HOLLYWOOD COMMUNITY REDEVELOPMENT AGENCY;

PARCEL 1

PARCEL 2:

PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. PARCEL 3:

ON NOVEMBER 15, 2017.

THEIR EFFECT ON THE SUBJECT PROPERTY.

SUBJECT PROPERTY IS TIED TO SAME.

DITCHES, DIKES, SLUICES OR CANALS OF THE SITE.

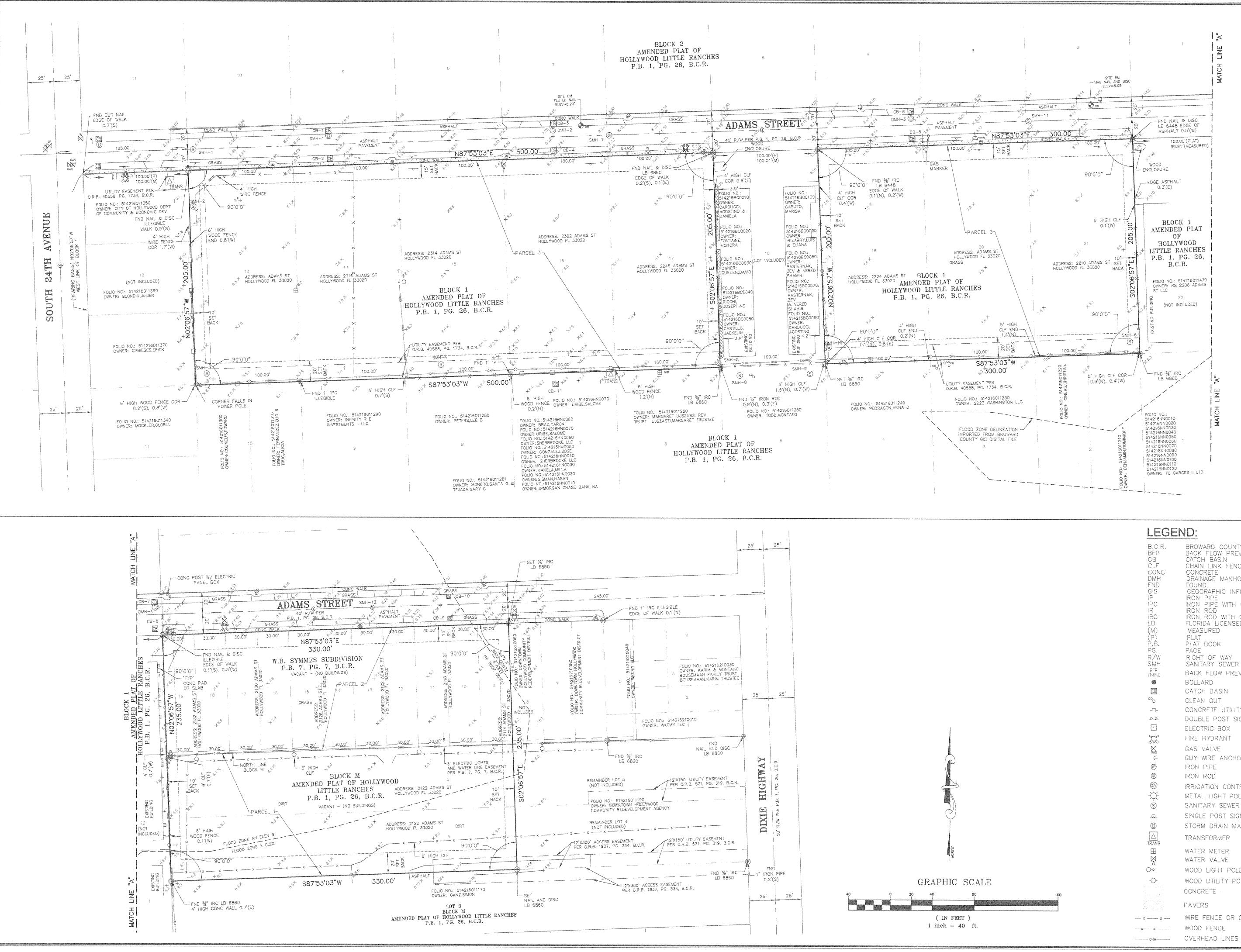
RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

LEE POWERS PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 6805

DATE: JANUARY 23, 2018



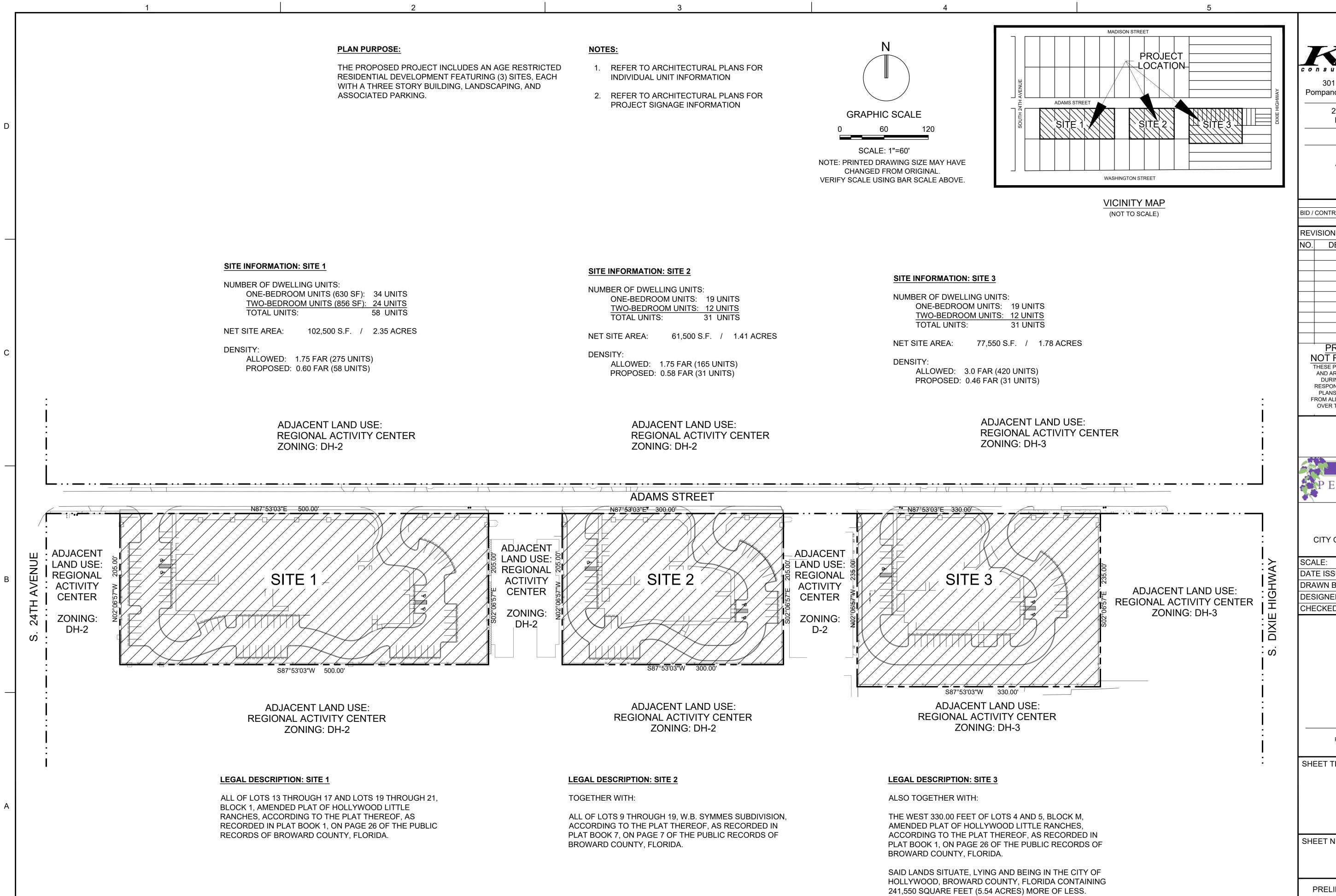
LAST DATE OF FIELD WORK: 11/15/17

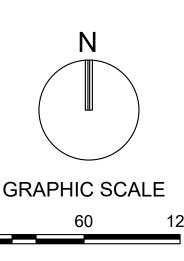


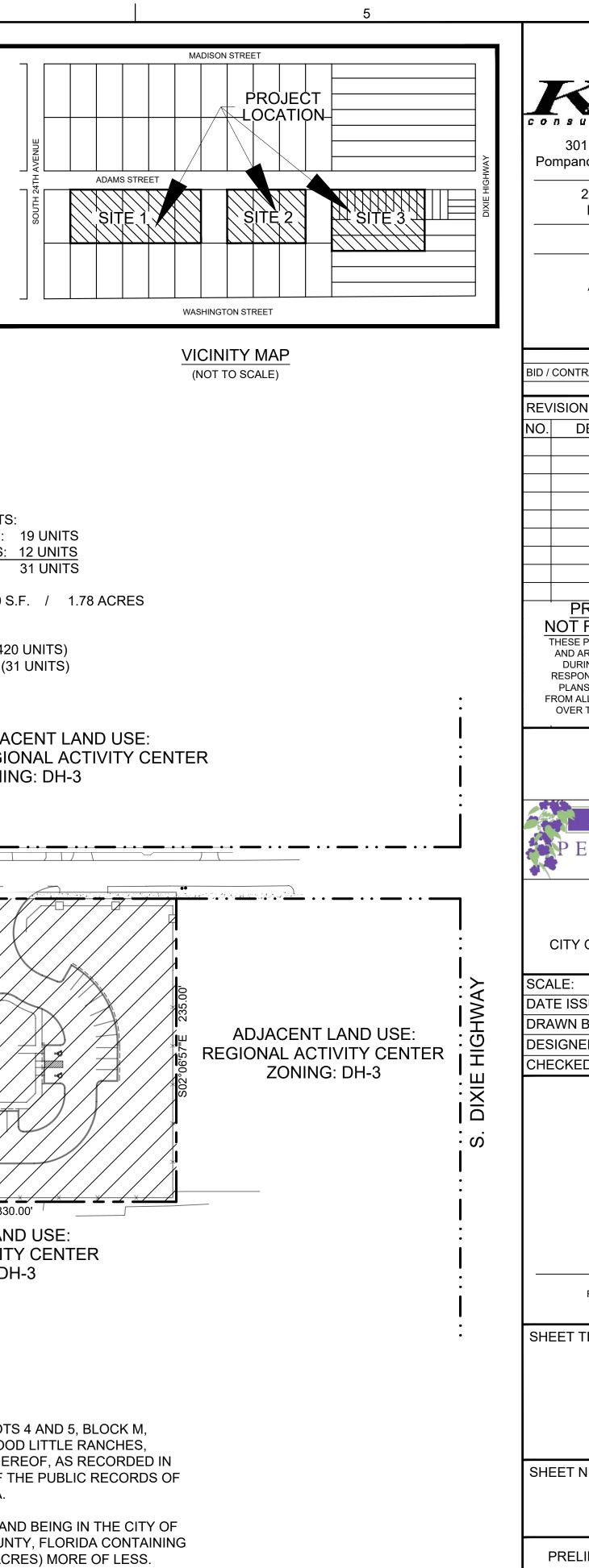
	VLJ,
B.C.R. BFP CB CLF CONC DMH FND GIS IP IPC	BROWARD COUNTY RECORDS BACK FLOW PREVENTER CATCH BASIN CHAIN LINK FENCE CONCRETE DRAINAGE MANHOLE FOUND GEOGRAPHIC INFORMATION SYSTEM IRON PIPE IRON PIPE WITH CAP
IR IRC LB (M) (P) P.B. P.G. R/W	IRON ROD IRON ROD WITH CAP FLORIDA LICENSED BUSINESS NUMBER MEASURED PLAT PLAT BOOK PAGE RIGHT OF WAY
SMH BFP (KHK)	SANITARY SEWER MANHOLE BACK FLOW PREVENTER BOLLARD
83) °°°	CATCH BASIN CLEAN OUT
-5- .a.a. (E)	CONCRETE UTILITY POLE DOUBLE POST SIGN ELECTRIC BOX
	FIRE HYDRANT GAS VALVE GUY WIRE ANCHOR IRON PIPE
	IRON ROD IRRIGATION CONTROL VALVE METAL LIGHT POLE SANITARY SEWER MANHOLE
	SINGLE POST SIGN STORM DRAIN MANHOLE
TRANS	TRANSFORMER WATER METER WATER VALVE
\sim	WOOD LIGHT POLE WOOD UTILITY POLE
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й (Алай). -	PAVERS WIRE FENCE OR CHAIN LINK FENCE
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Oj- W	OVERHEAD LINES

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10067.00

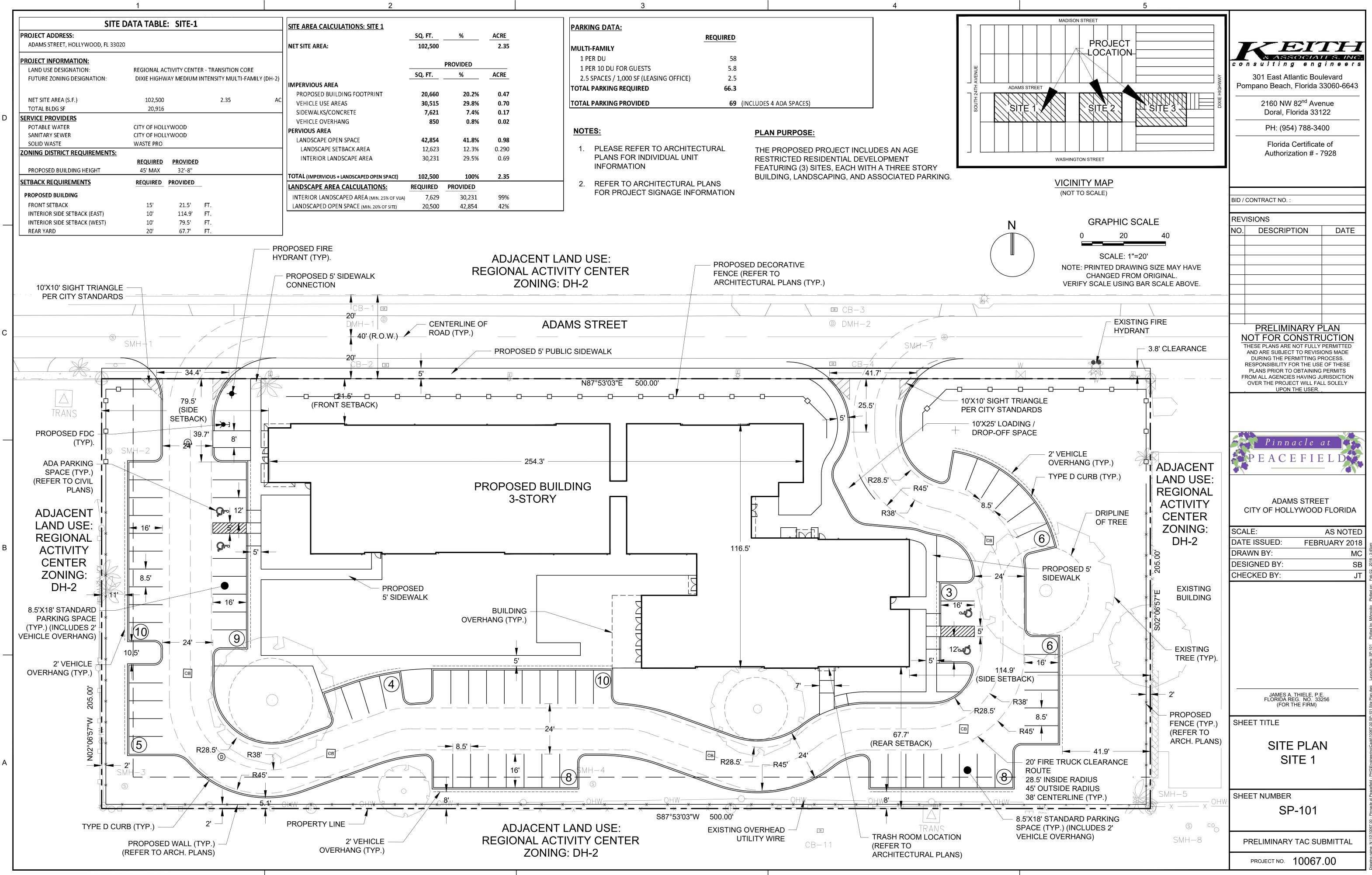


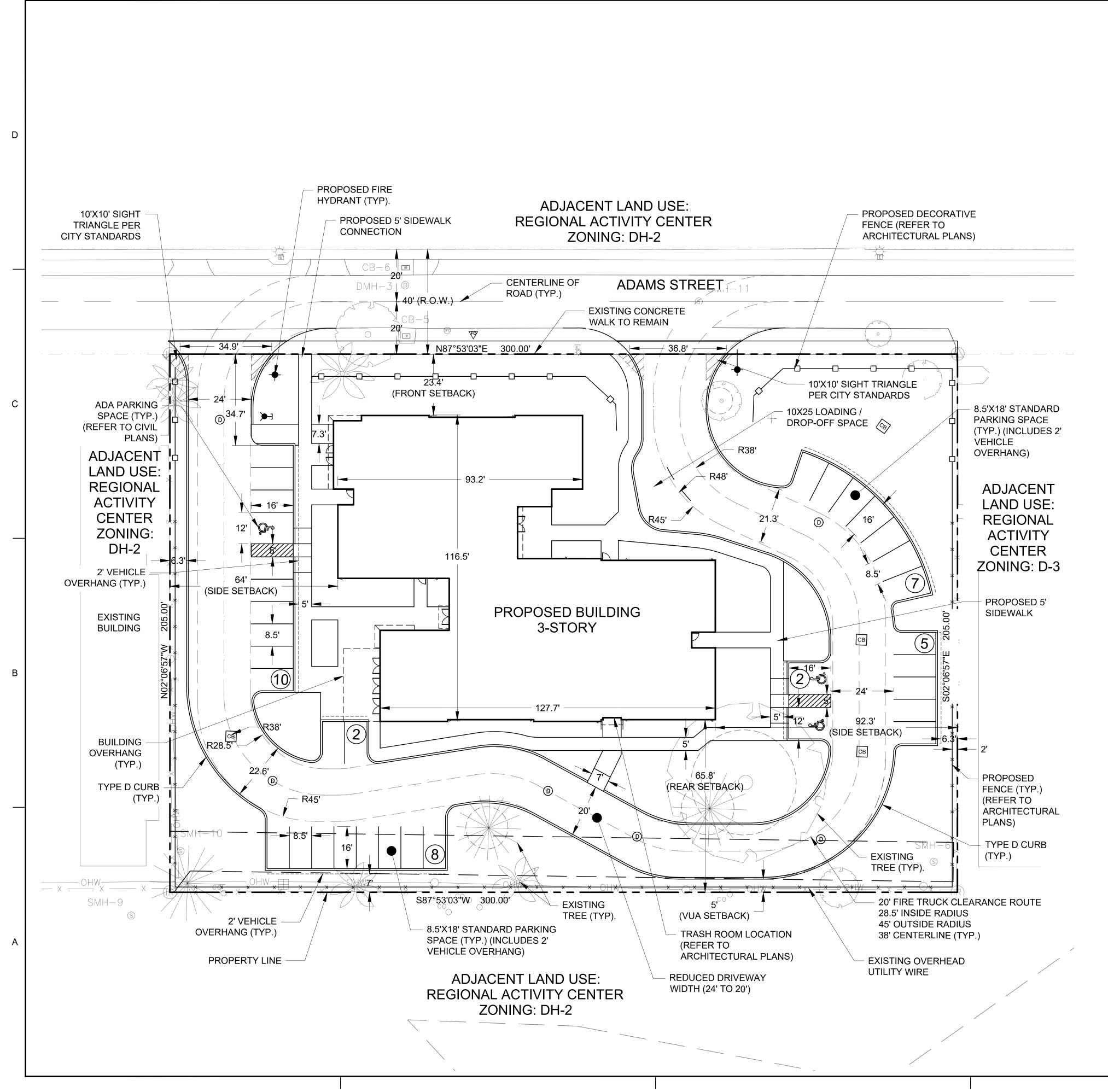


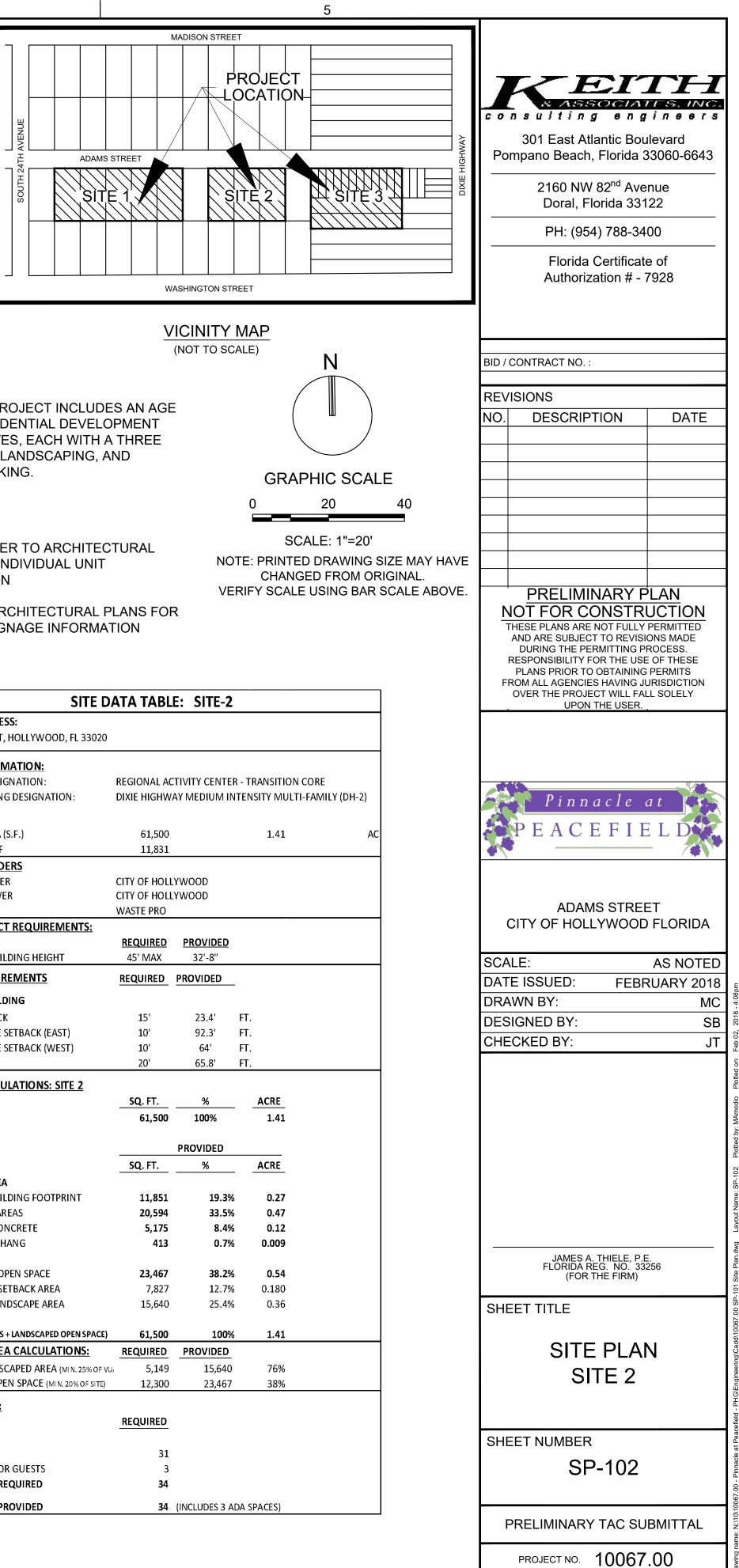




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Pompano Beach, Florida 3	3060-6643			
2160 NW 82 nd Ave Doral, Florida 331				
PH: (954) 788-34	00			
Florida Certificate Authorization # - 7				
D / CONTRACT NO. :				
EVISIONS				
O. DESCRIPTION	DATE			
PRELIMINARY P				
THESE PLANS ARE NOT FULLY AND ARE SUBJECT TO REVISION	PERMITTED ONS MADE			
DURING THE PERMITTING PI RESPONSIBILITY FOR THE USE PLANS PRIOR TO OBTAINING	OF THESE PERMITS			
FROM ALL AGENCIES HAVING JU OVER THE PROJECT WILL FAL UPON THE USER.				
Pinnacle d	a t			
PEACEFIELD				
ADAMS STREE CITY OF HOLLYWOOD				
CALE: ATE ISSUED: FEBR	AS NOTED			
RAWN BY:	RUARY 2018 MC			
ESIGNED BY: HECKED BY:	SB JT			
JAMES A. THIELE, P.E FLORIDA REG. NO. 332 (FOR THE FIRM)	256			
SHEET TITLE				
OVERALL KEY PLAN				
HEET NUMBER				
SP-100				
PRELIMINARY TAC SU				
PROJECT NO. 10067	.00			







PLAN PURPOSE:

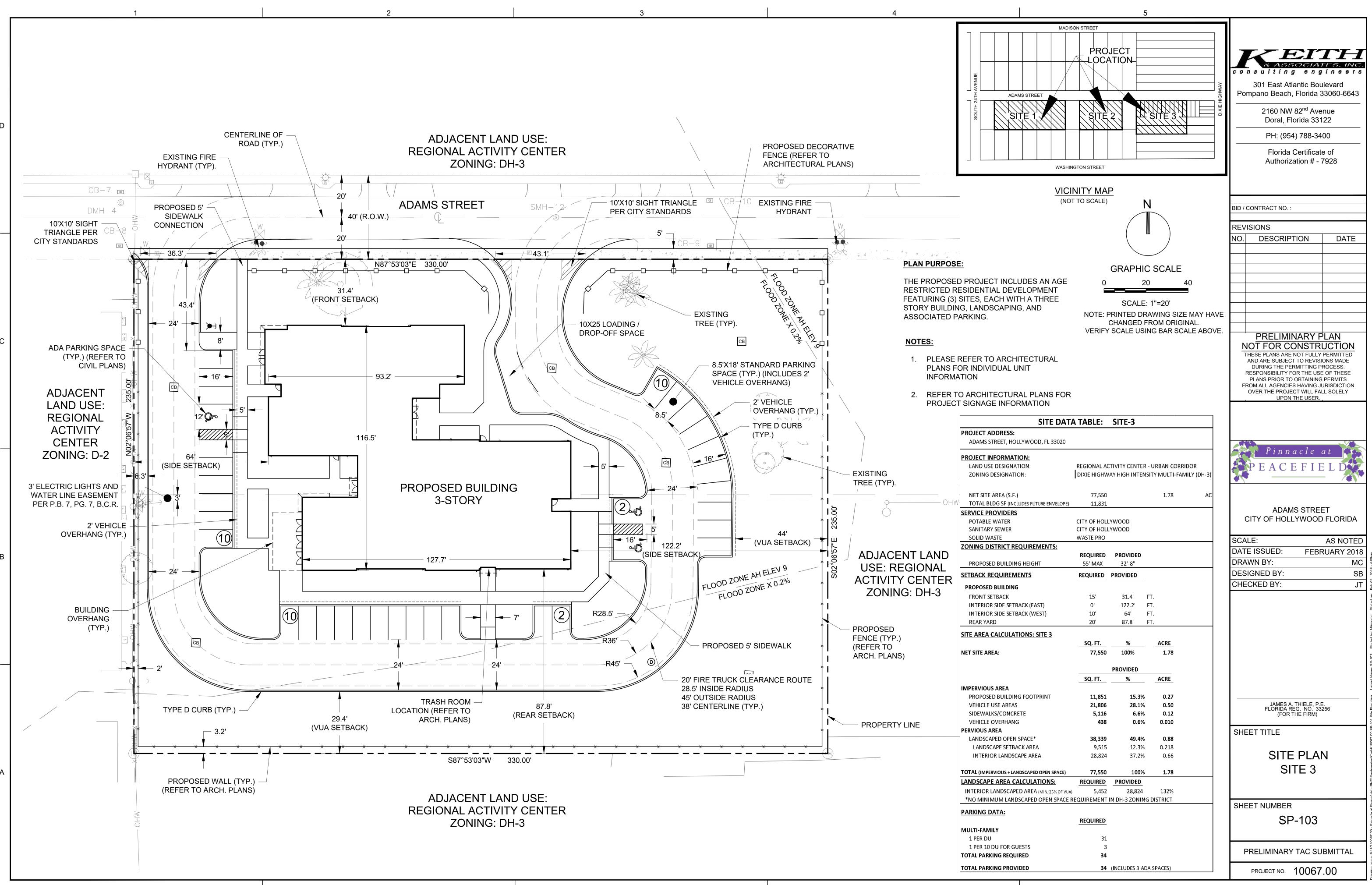
THE PROPOSED PROJECT INCLUDES AN AGE RESTRICTED RESIDENTIAL DEVELOPMENT FEATURING (3) SITES, EACH WITH A THREE STORY BUILDING, LANDSCAPING, AND ASSOCIATED PARKING.

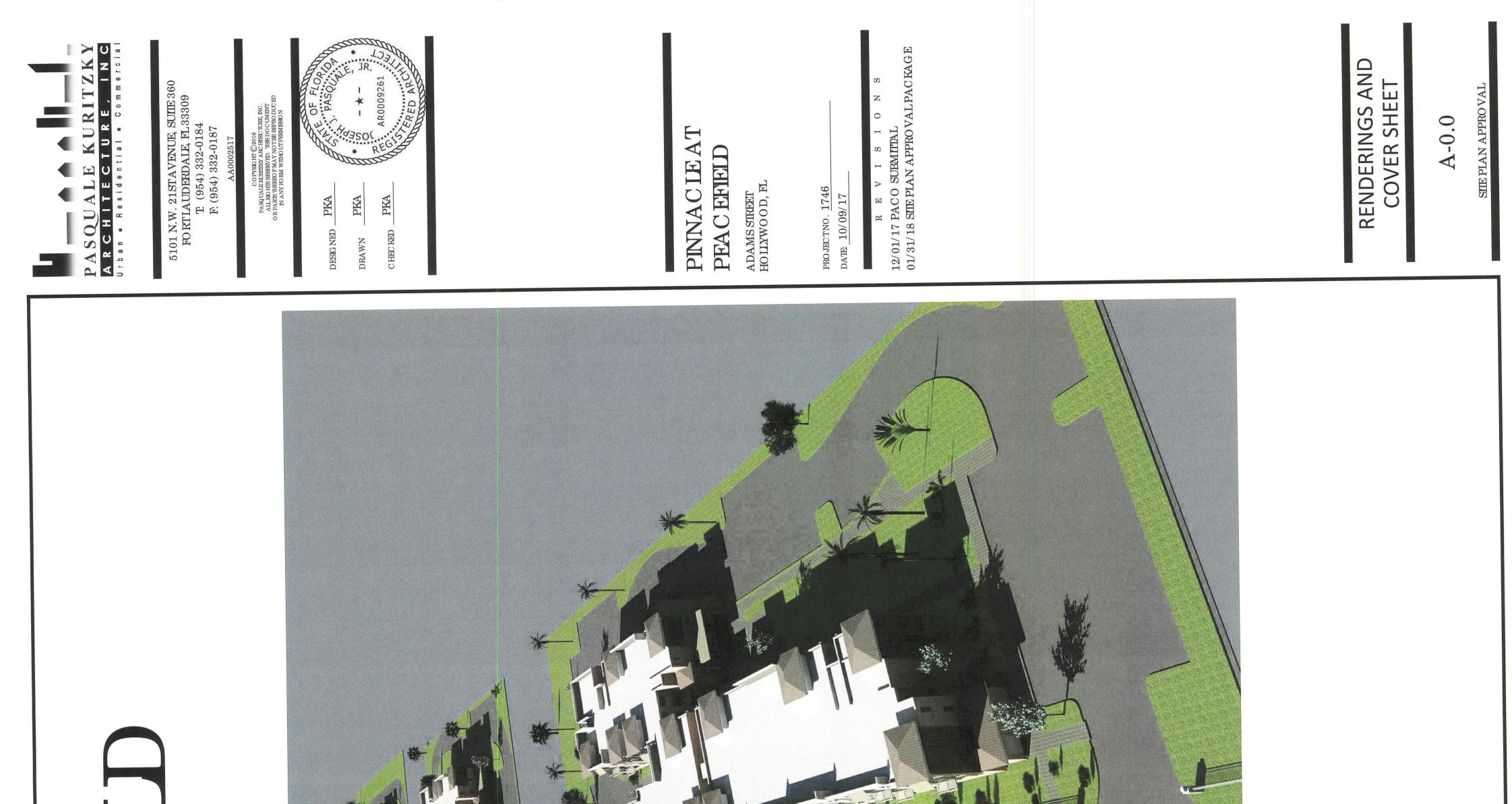
NOTES:

- 1. PLEASE REFER TO ARCHITECTURAL PLANS FOR INDIVIDUAL UNIT INFORMATION
- 2. REFER TO ARCHITECTURAL PLANS FOR **PROJECT SIGNAGE INFORMATION**

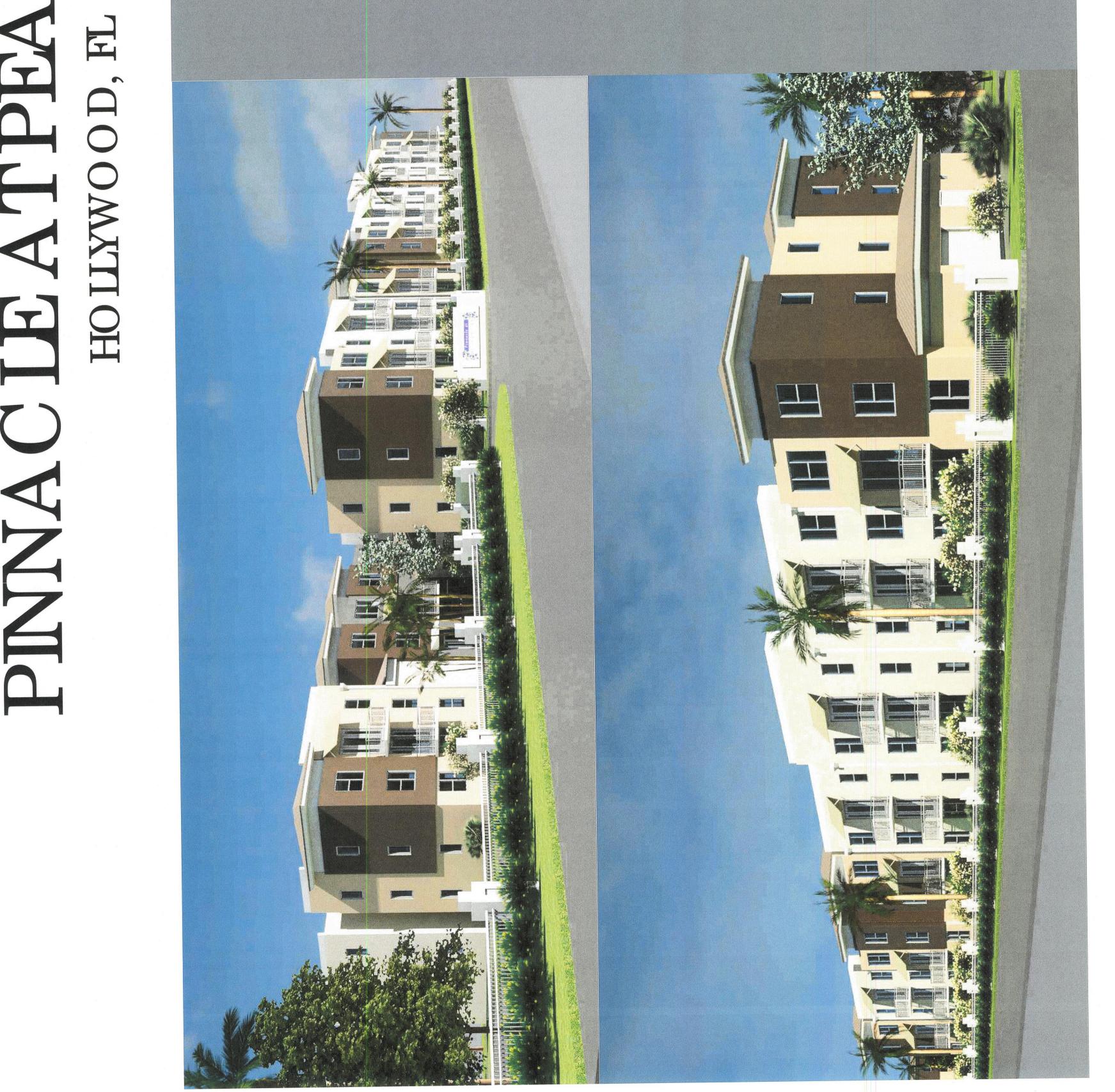
SITE
PROJECT ADDRESS:
ADAMS STREET, HOLLYWOOD, FL 3302
PROJECT INFORMATION:
LAND USE DESIGNATION:
FUTURE ZONING DESIGNATION:
NET SITE AREA (S.F.)
TOTAL BLDG SF
SERVICE PROVIDERS
POTABLE WATER
SANITARY SEWER
SOLID WASTE
ZONING DISTRICT REQUIREMENTS:
PROPOSED BUILDING HEIGHT
SETBACK REQUIREMENTS
PROPOSED BUILDING
FRONT SETBACK
INTERIOR SIDE SETBACK (EAST)
INTERIOR SIDE SETBACK (WEST)
REAR YARD
SITE AREA CALCULATIONS: SITE 2
NET SITE AREA:
IMPERVIOUS AREA
PROPOSED BUILDING FOOTPRINT
SIDEWALKS/CONCRETE
VEHICLE OVERHANG PERVIOUS AREA
LANDSCAPED OPEN SPACE
LANDSCAPED OPEN SPACE
INTERIOR LANDSCAPE AREA
TOTAL (IMPERVIOUS + LANDSCAPED OPEN SPAC
LANDSCAPE AREA CALCULATIONS:
INTERIOR LANDSCAPED AREA (MIN. 25% O
LANDSCAPED OPEN SPACE (MIN. 20% OF SIT
PARKING DATA:
MULTI-FAMILY
1 PER DU
1 PER 10 DU FOR GUESTS
TOTAL PARKING REQUIRED

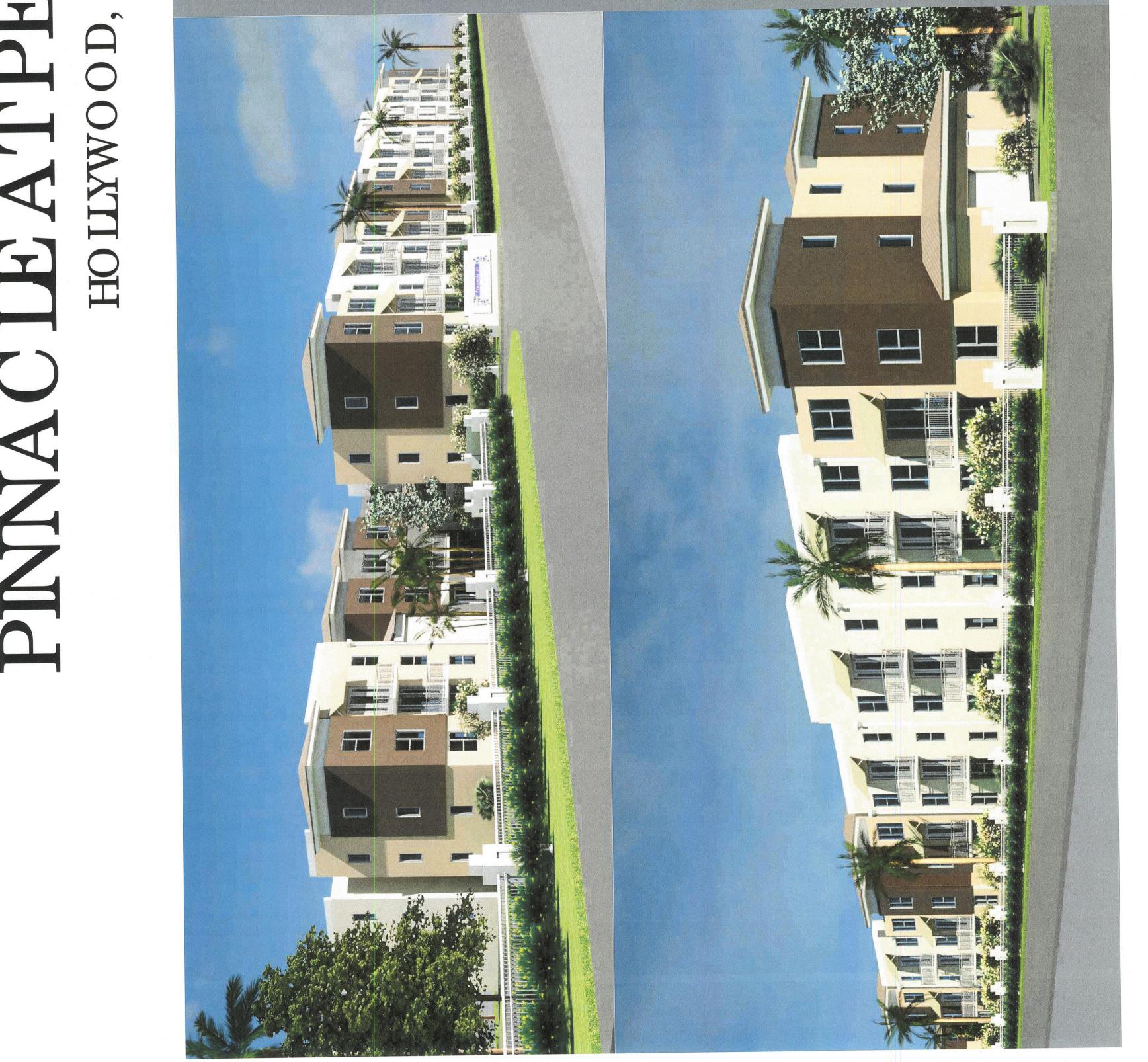
DTAL PARKING REQUIRED TOTAL PARKING PROVIDED

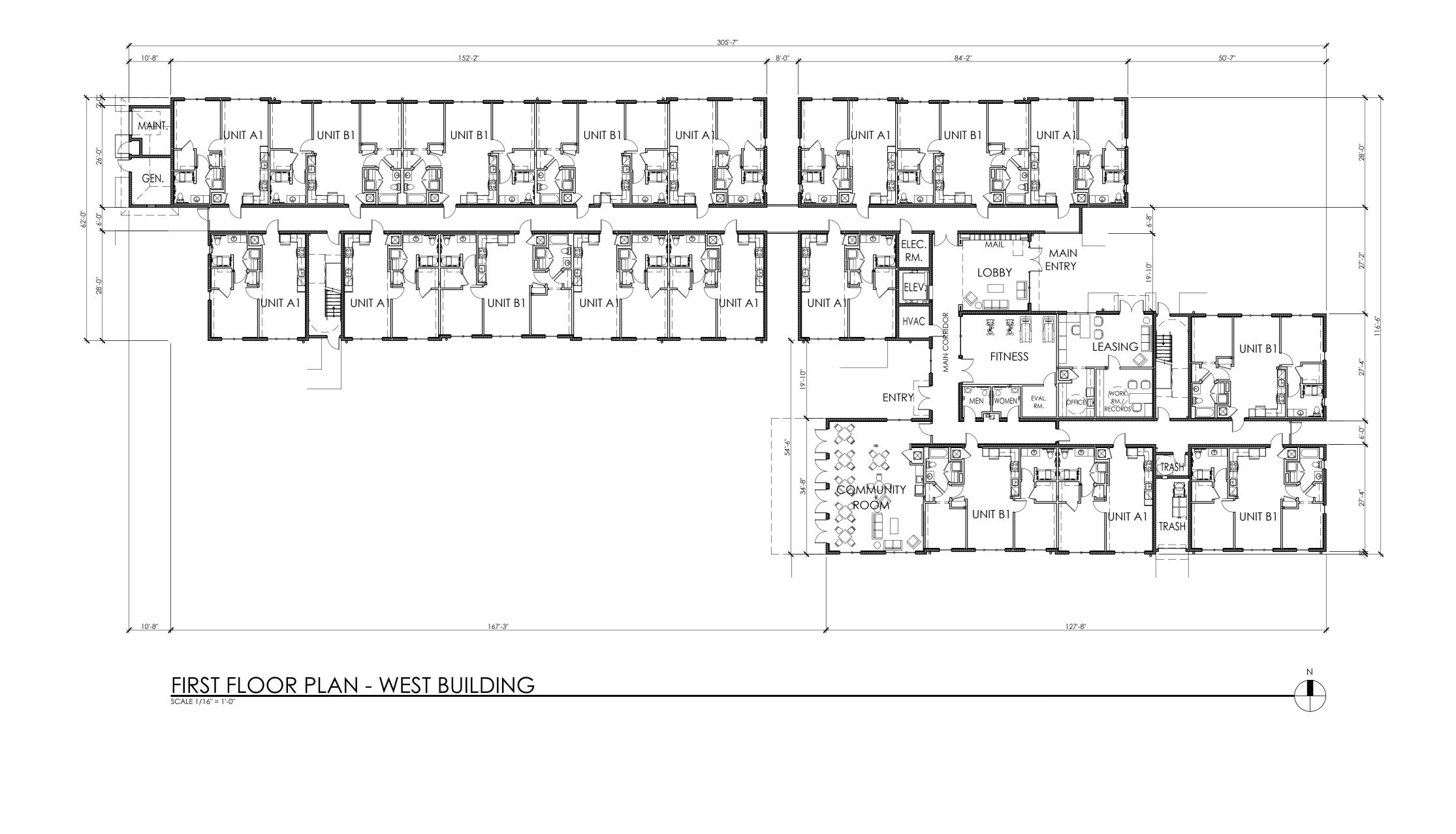




5 GG HOLLYWOOD, EL $\boldsymbol{\zeta}$









PINNACLE AT PEACEFIELD

adams street hollywood, fl

project no. <u>1746</u> date: <u>10/09/17</u>

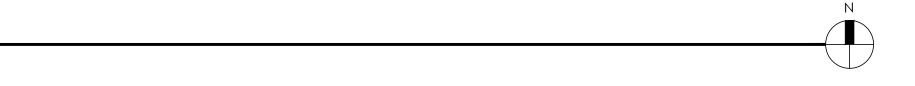
r e v i s i o n s 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE



A-2.0



SECOND FLOOR PLAN - WEST BUILDING





PINNACLE AT PEACEFIELD

adams street hollywood, fl

project no. <u>1746</u> date: <u>10/09/17</u>

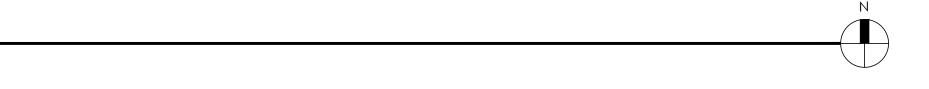
r e v i s i o n s 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE



A-2.1



THIRD FLOOR PLAN - WEST BUILDING





PINNACLE AT PEACEFIELD

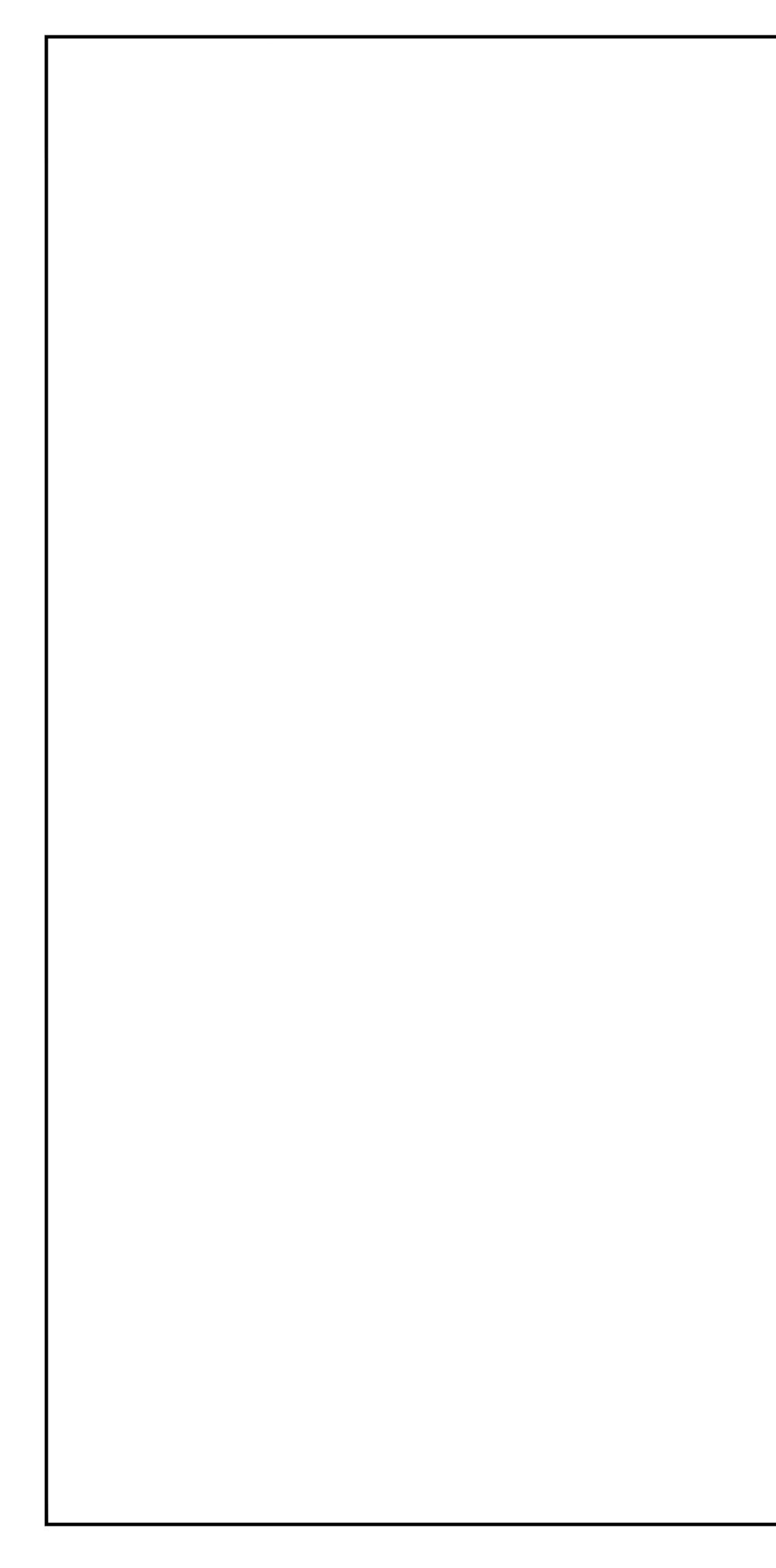
adams street hollywood, fl

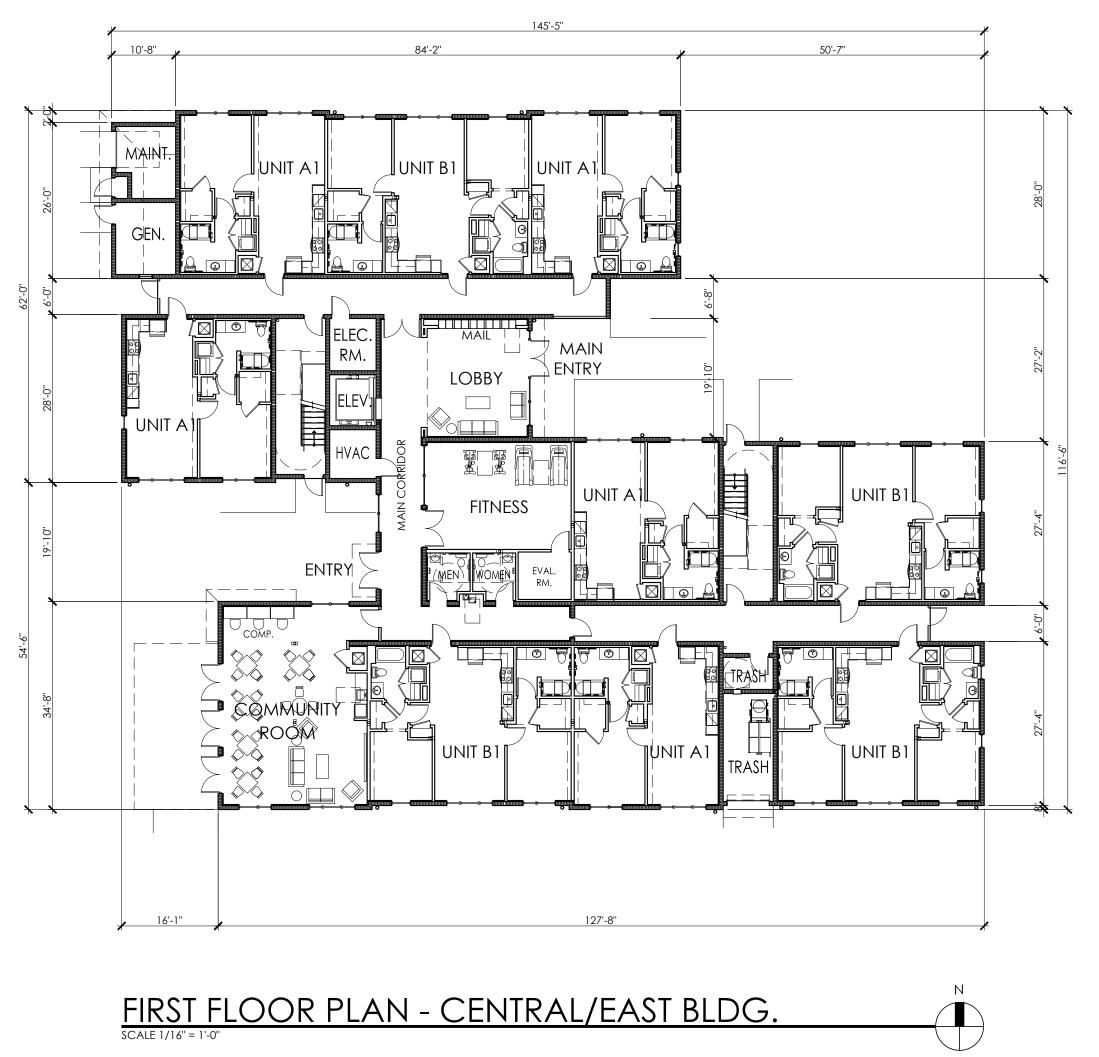
project no. <u>1746</u> date: <u>10/09/17</u>

r e v i s i o n s 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE



A-2.2







PINNACLE AT PEACEFIELD

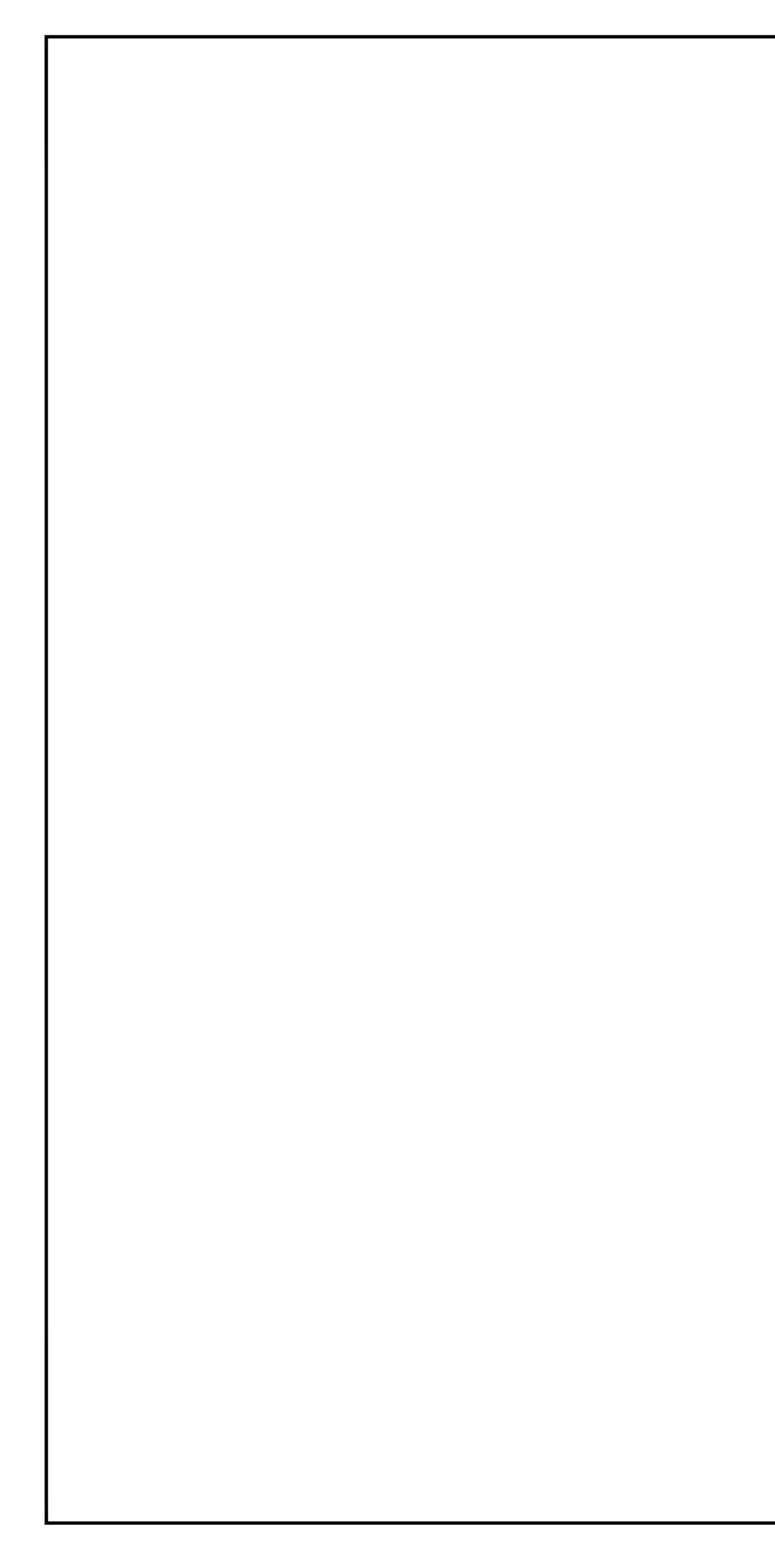
adams street hollywood, fl

project no. <u>1746</u> date: <u>10/09/17</u>

r e v i s i o n s 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE

CENTRAL/EAST BLDG. FIRST FLOOR PLAN

A-2.4





SECOND FLOOR PLAN - CENTRAL/EAST BLDG.



PINNACLE AT PEACEFIELD

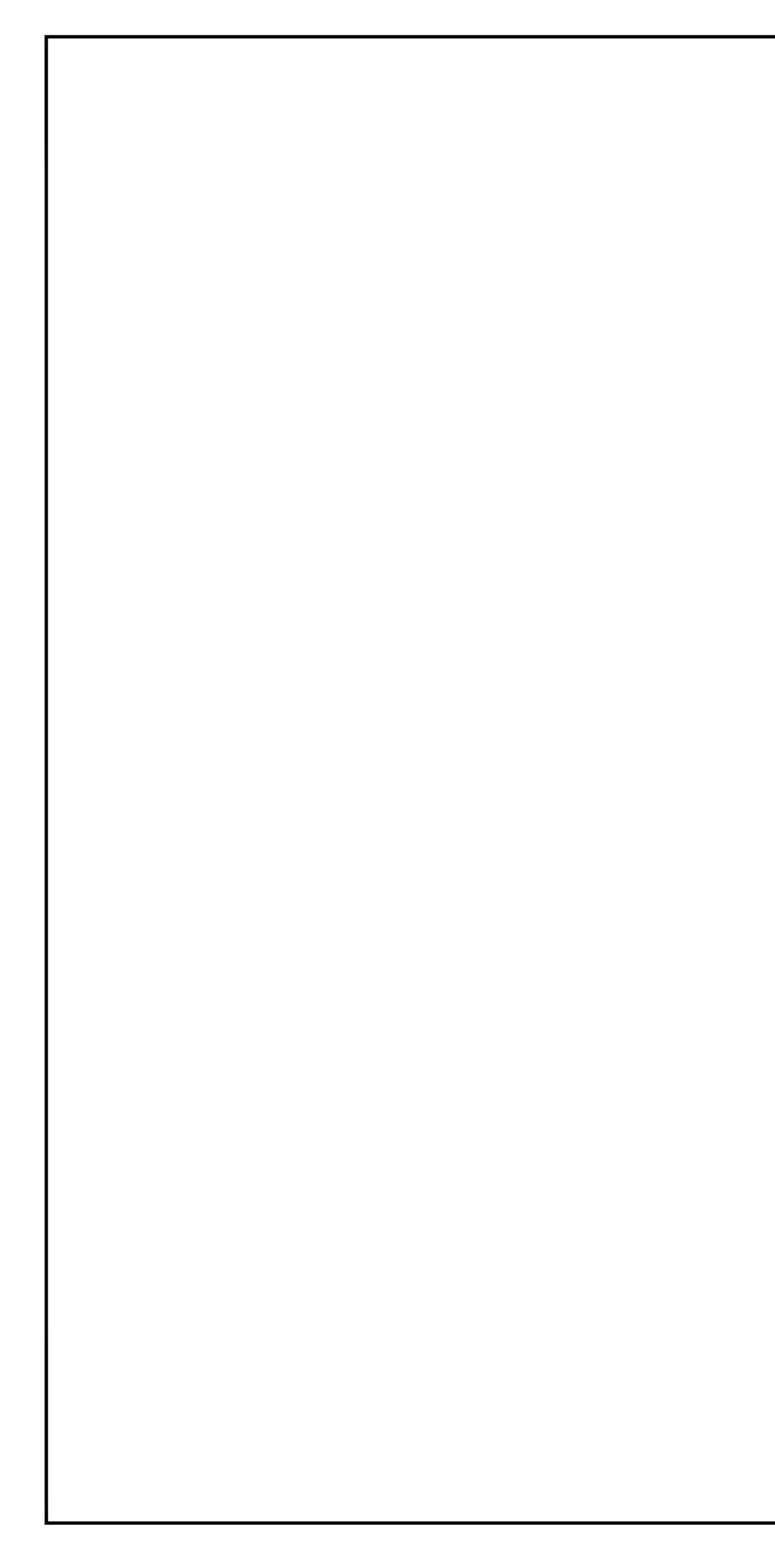
adams street hollywood, fl

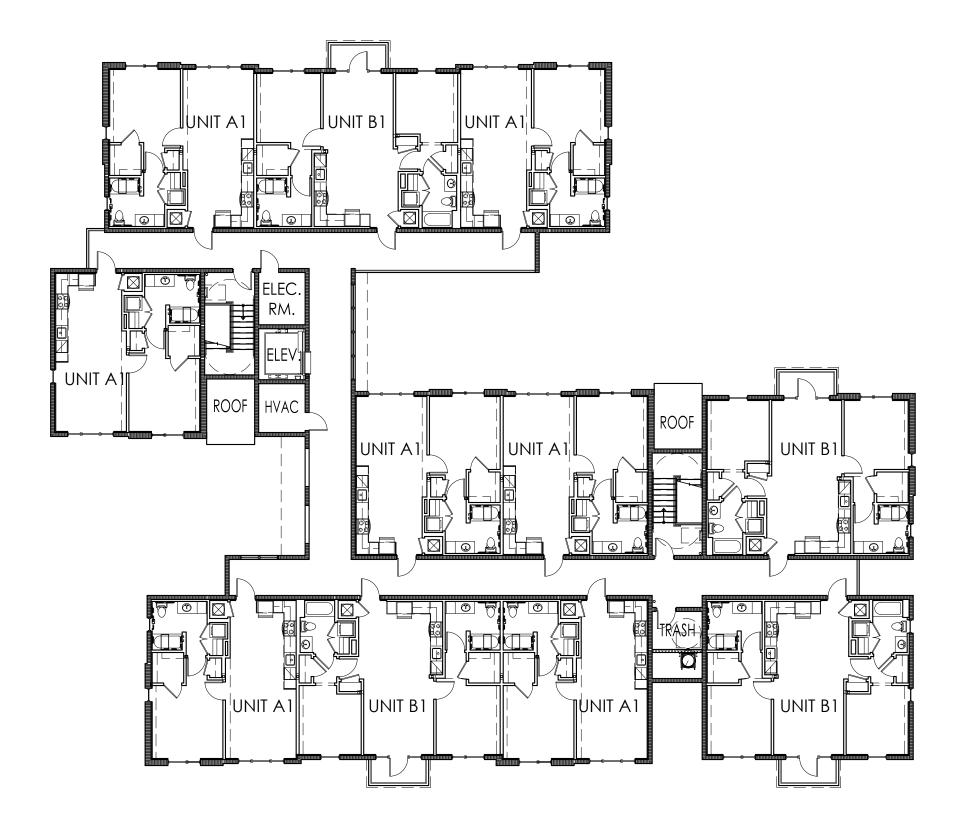
project no. <u>1746</u> date: <u>10/09/17</u>

r e v i s i o n s 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE



A-2.5









PINNACLE AT PEACEFIELD

adams street hollywood, fl

project no. <u>1746</u> date: <u>10/09/17</u>

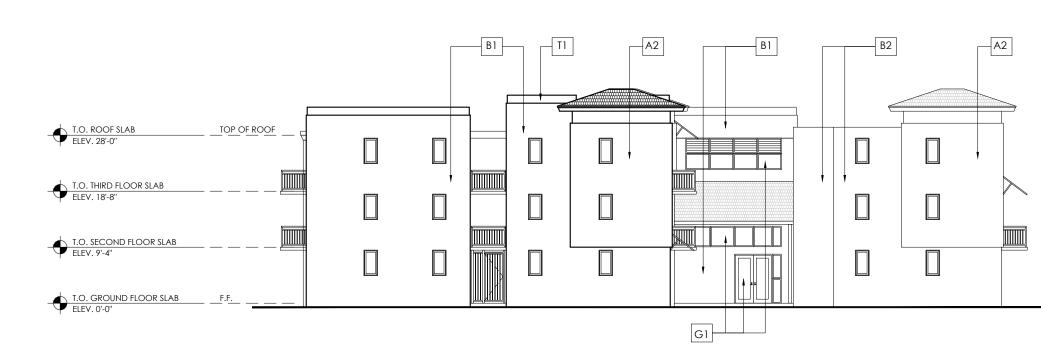
r e v i s i o n s 12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE

CENTRAL/EAST BLDG. THIRD FLOOR PLAN

A-2.6



WEST BUILDING - NORTH (ADAMS ST.) ELEVATION



WEST BUILDING - EAST (LOBBY ENTRY) ELEVATION



WEST BUILDING - SOUTH (REAR) ELEVATION

WEST BUILDING - WEST ELEVATION



		PASQUALE KURITZKY
		ARCHITECTURE, INC Urban = Residential = Commercial
		5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309 T: (954) 332-0184
		F: (954) 332-0187
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		OR PARTS THEREOF MAY NOT BE REPRODUCED IN ANY FORM WITHOUT PERMISSION
		DESIGNED PKA
		DRAWN PKA
		CHECKED PKA
		ARED ARC ST
		PINNACLE AT
		PEACEFIELD
		ADAMS STREET
		HOLLYWOOD, FL
		$\mathbf{PPO} = 1744$
		project no. <u>1746</u> date: <u>10/09/17</u>
		R E V I S I O N S
		12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE
EC	GEND	
	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	
	WARM LIGHT SAND (NEVADA SAND ECC-52-1) ULTRA PURE WHITE	WEST BUILDING
UCT.	TINTED Image: Constraint of the sector of	ELEVATIONS
	SWEET GEORGIA BROWN AV283_10836UPS	
AND C	ODES.	A-4.0
		SITE PLAN APPROVAL

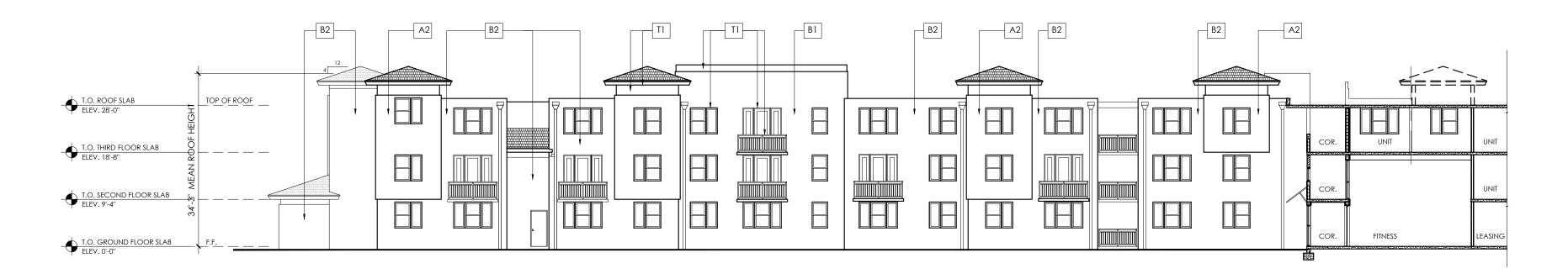
COLOR L COLOR LEGEND

B1	BODY COLOR	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	
B2	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
T1	TRIM COLOR	ULTRA PURE WHITE	
GI	GLASS COLOR	TINTED	
A1	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2	
A2	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS	

NOTE: BEHR PAINT COLORS

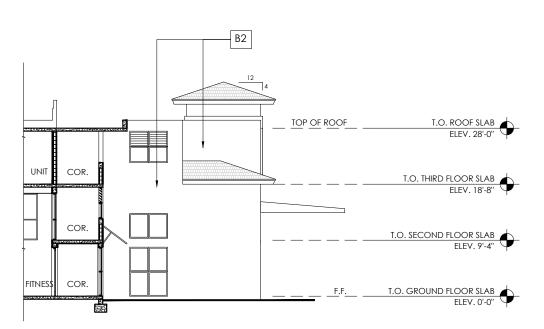


WEST BUILDING - NORTH (STREET) SECTION/ELEVATION THRU LOBBY SCALE 1/16" = 1'-0"

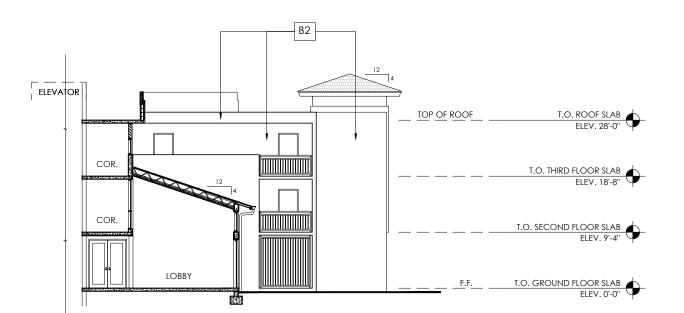


WEST BUILDING - SOUTH (REAR) SECTION/ELEVATION THRU FITNESS

WEST BUILDING - NORTH (STREET) SECTION/ELEVATION THRU FITNESS



WEST BUILDING - SOUTH SECTION/ELEVATION THRU LOBBY SCALE 1/16" = 1'-0"

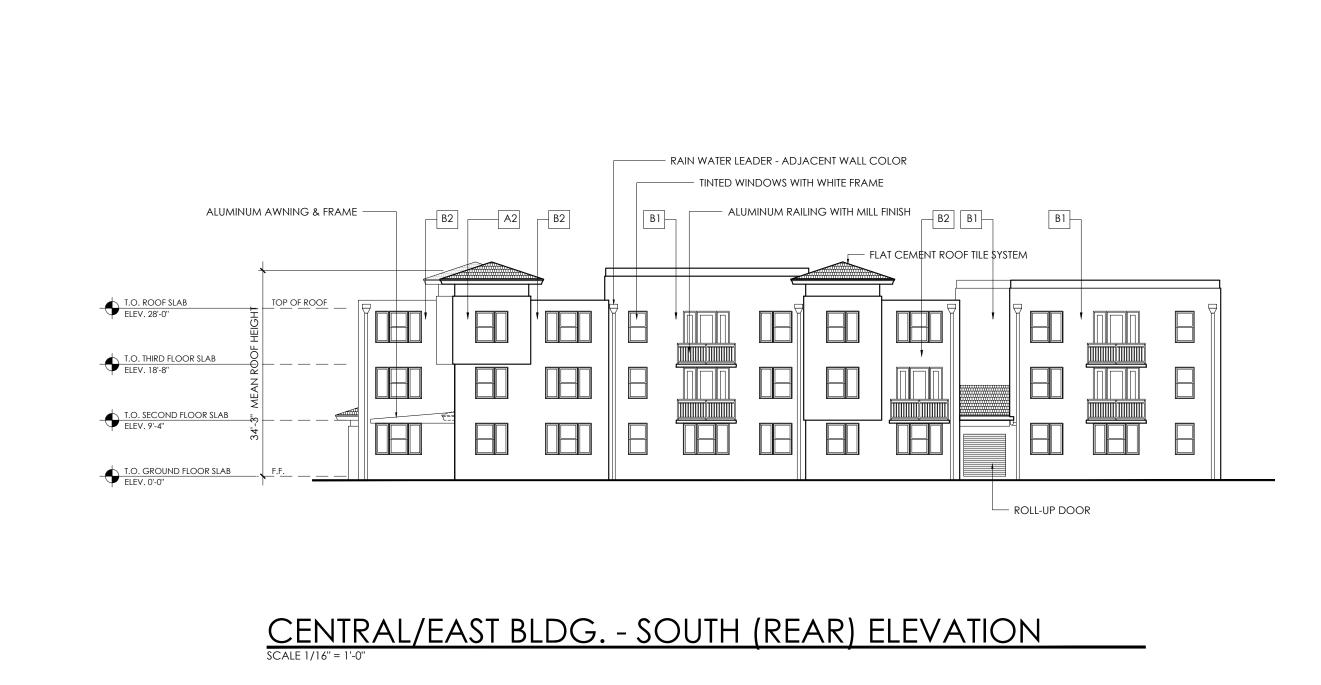


		PASQUALE KURITZKY ARCHITECTURE, INC
		Urban 🖩 Residential 🖷 Commercial
		5101 N.W. 21ST AVENUE, SUITE 360
		FORT LAUDERDALE, FL 33309 T: (954) 332-0184
		F: (954) 332-0187
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		STE OF FLOR
		DESIGNED PKA PASQUATE
		DRAWN \underline{PKA} BKA $AR0009261$
		CHECKED
		ERED ARC
		PEACEFIELD
		ADAMS STREET HOLLYWOOD, FL
		PROJECT NO. 1 746
		DATE: 10/09/17
		R E V I S I O N S
		12/01/17 PACO SUBMITTAL 01/31/18 SITE PLAN APPROVAL PACKAGE
		4
EC	GEND	
	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	-
	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
	ULTRA PURE WHITE	WEST BUILDING
CT.	MEADOW GLEN ECC-12-2 SWEET GEORGIA BROWN AV283_10836UPS	SECTION/ELEVATIONS
AND (CODES.	A-4.1
		SITE PLAN APPROVAL

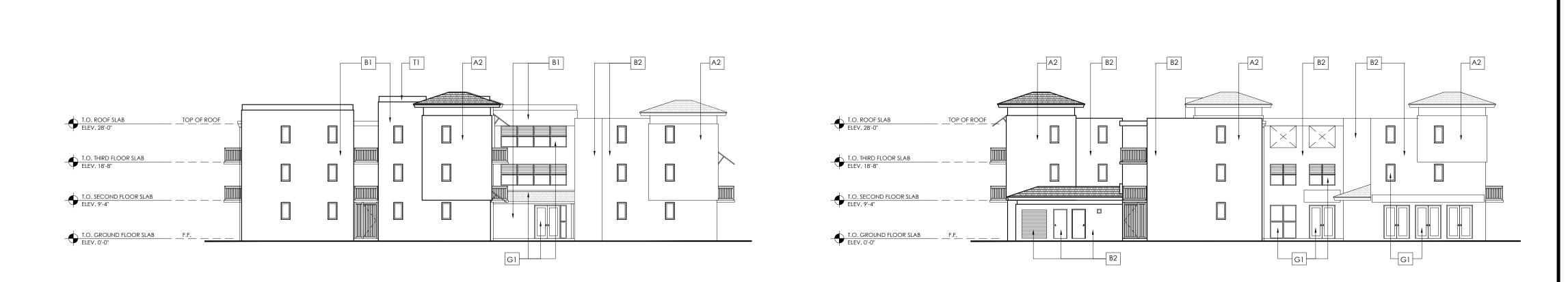
COLOR L COLOR LEGEND

COLOI			
B1 B	BODY COLOR	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	
B2 B	BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
T1 T	TRIM COLOR	ULTRA PURE WHITE	
GI	GLASS COLOR	TINTED	
Al A	AWNING/SHADE STRUCT.	MEADOW GLEN ECC-12-2	
A2 /	ACCENT TILE	SWEET GEORGIA BROWN AV283_10836UPS	

NOTE: BEHR PAINT COLORS A



CENTRAL/EAST BLDG. - EAST (LOBBY ENTRY) ELEVATION



CENTRAL/EAST BLDG. - NORTH (ADAMS ST.) ELEVATION



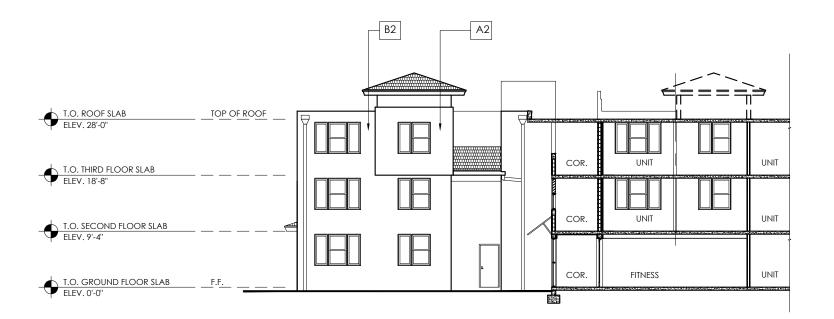
CENTRAL/EAST BLDG. - WEST ELEVATION

COLOR L

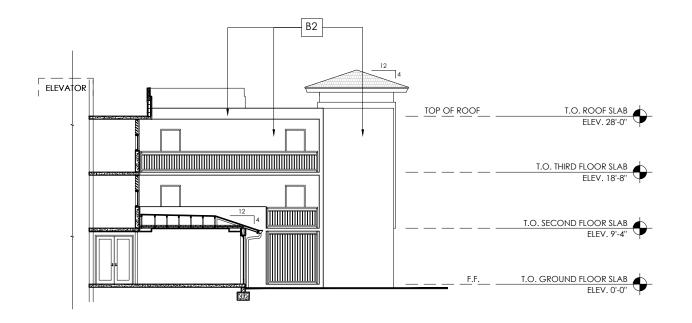
		PASQUALE KURITZKY ARCHITECTURE, INC Urban = Residential = Commercial
		5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309 T: (954) 332-0184
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		OR PARTS THEREOF MAY NOT BE REPRODUCED IN ANY FORM WITHOUT PERMISSION
		DESIGNED PKA
		DRAWN PKA
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		Aller and a second s
		PINNACLE AT
		PEACEFIELD
		ADAMS STREET
		HOLLYWOOD, FL
		project no. <u>1746</u> date: 10/09/17
		R E V I S I O N S 12/01/17 PACO SUBMITTAL
		01/31/18 SITE PLAN APPROVAL PACKAGE
	GEND	
COLOR LEGEND B1 BODY COLOR	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	
B2 BODY COLOR T1 TRIM COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	CENTRAL/EAST BUILD.
GI GLASS COLOR	TINTED	ELEVATIONS
A1 AWNING/SHADE STRUCT. A2 ACCENT TILE	MEADOW GLEN ECC-12-2 SWEET GEORGIA BROWN AV283_10836UPS	
NOTE: BEHR PAINT COLORS AND	CODES	A-4.2
THE PLAK FAINT CULUKS AND		SITE PLAN APPROVAL



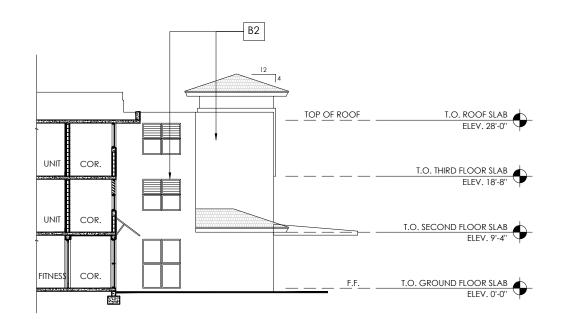
CENTRAL/EAST BLDG. - NORTH (STREET) SECTION/ELEVATION THRU LOBBY SCALE 1/16" = 1'-0"



CENTRAL/EAST BLDG. - SOUTH (REAR) SECTION/ELEVATION THRU FITNESS



CENTRAL/EAST BLDG. - SOUTH SECTION/ELEVATION THRU LOBBY



CENTRAL/EAST BLDG. - NORTH (STREET) SECTION/ELEVATION THRU FITNESS

		PINNA
		PEACE
		ADAMS STREE HOLLYWOOD
		HOLLIWOOL
		project no. <u>1</u> 7
		DATE: 10/09/1
		RE
		12/01/17 PAC 01/31/18 SITE
		-
COLOR LE	GEND	
1 BODY COLOR	WARM LIGHT TAN (ARISTROCRAT IVORY (ECC-52-2)	
2 BODY COLOR	WARM LIGHT SAND (NEVADA SAND ECC-52-1)	
I TRIM COLOR	ULTRA PURE WHITE TINTED	
	MEADOW GLEN ECC-12-2	
	SWEET GEORGIA BROWN AV283_10836UPS	

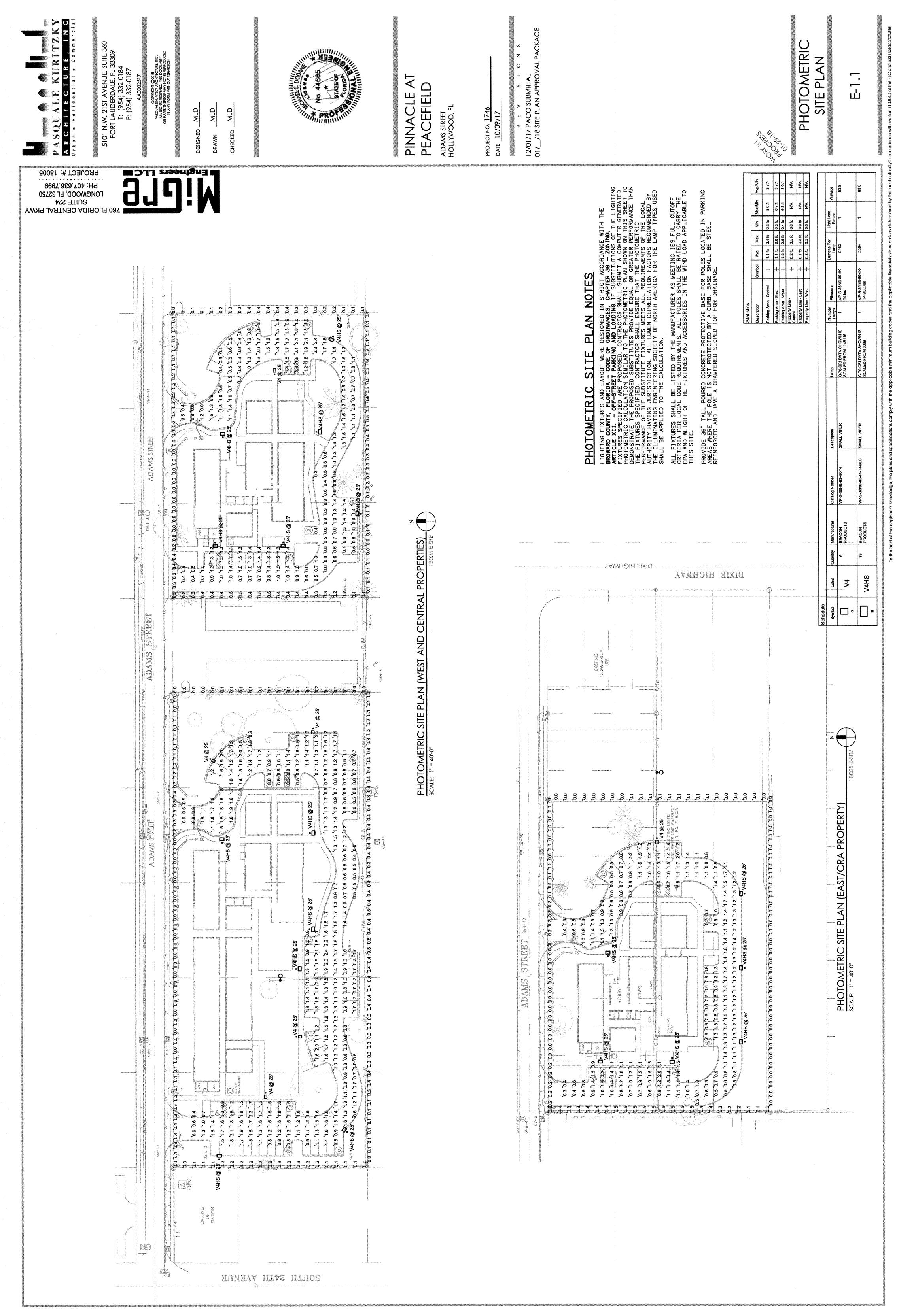
CLE AT FIELD

, FL

VISIONS O SUBMITTAL PLAN APPROVAL PACKAGE



A-4.3



Micro Engineers, LLC - 16005-E-SITE.dwg - E-1.1 - Plottod: Thursday, January 11, 2018 by Harry Shimphil

PASQUALE KURITZKY	A R C H I T E C T U R E , I N C Urban & Residential & Commercial 5101 N.W. 21ST AVENUE, SUITE 360 FORT LAUDERDALE, FL 33309 T: (954) 332-0184 F: (954) 332-0184 F: (954) 332-0184 F: (954) 332-0187 Aa002517 Aa002517 Aa002517 Aa002517 Aa002517	DESIGNED MLD DRAWN MLD CHECKED MLD		PINNACLE AT PEACEFIELD Adams street Holltywood, rl	PROJECT NO. 1746 DATE: 10/09/17 R E V I S I O N S 12/01/17 PACO SUBMITTAL 01/_/18 SITE PLAN APPROVAL PACKAGE		E-1.2
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A2-12

MODEL NUMBER **

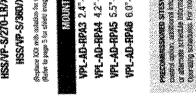
EXPOSID HEIGHT

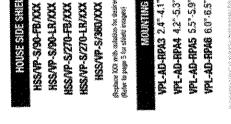
ALLOWABLE SIZE OF LUMINAIRES* EFFECTIVE PROJECTED AREA IN SQUARE FEEL AT: 70 80 90 100 110 MPH MPH MPH MPH MPH MPH

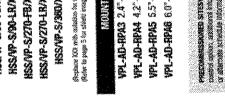
TYPICAL WEIGHT AND A NOMINAL TYPICAL E MOUNTING LUMINAIRE HEIGHT WEIGHT (185.) N

DIMENSIONAL AND LOAD DATA

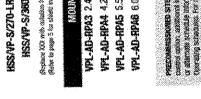
DIMENSIONS OF POLES

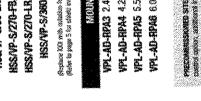


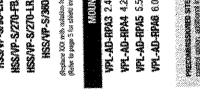


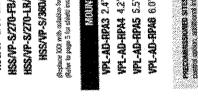


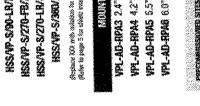














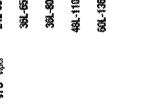
B" EMBEDDED LENGT

n ie ie in in

EMBEDDED LENGTH

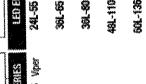
1-1/2" DIA. GROMMETTED WIRE INLET HOLE

ROUND EMBEDDED (DIRECT BURIAL) STANDARD

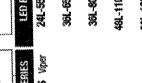


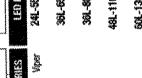
WIRE INLET HOLE 1'6" FROM GRADE

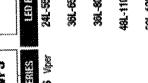


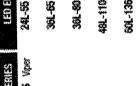


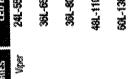








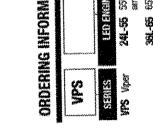


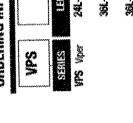




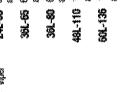
A2-11

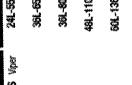
issola 35024-7932 (800)899-7577 - Ya

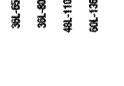


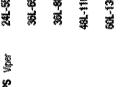


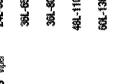


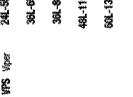






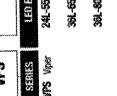






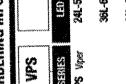


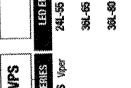






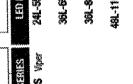


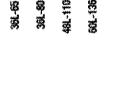


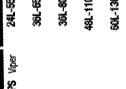


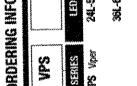














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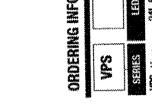
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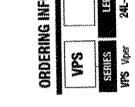
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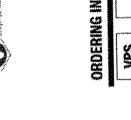


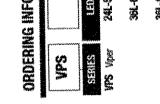


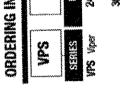




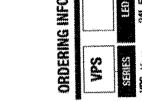


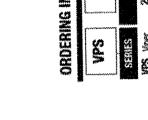


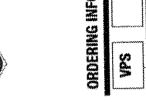


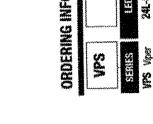


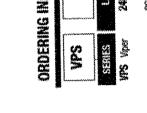










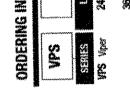


STRUCTURES

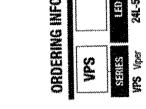
8' TO 30' ROUND TAPERED EMBEDDED (DIRECT BURIAL) POLES ANCHOR BASE AND BOLT DETAIL

"A" BOTTOM -DIAMETER

valmont∛







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8' TO 30' ROUND TAPERED COMBEDDED (DIRECT BURIAL) POLES

6' OR 2' 6' OF-STRAGHT AT THE POLE TOP

Model

W28 THK (GA)

Top 00

mounting. • Luminaires may be mounted on tenons, brackets or shaft may be drilled to manufacturer's mounting specifications.

8' to 30' mounting heights.
 Tenons, brackets, and arms designed for single or multiple lumin

cal prop

SPECIFICATIONS All aluminum alloys shall comply with metallurgical and me set forth in the Aluminum Association Standards.

Shaft: The shaft shall be spun topered from all new seamless 6063 alloy aluminum tubing and shall be heat treated to produce a T6 temper. Each shaft shall have a minimum of 6" straight length at the top. Top straight section serves as a slipfitter for a luminaire or for the hub of the appropriate Valmont bracket or topered arm. Alternatively, the straight section may be drilled for mounting luminaires. The shaft shall be core tapered to the base diameter. All Valmont shafts shall be polished with fine grain aluminum oxide cloths, resulting in a high quality circumferential satin brushed finish. After finishing, each pole shall be wrapped for protection in shipment.

CONE TAPERED ALCONNAM STAFF SUG-TG ALLOY

E' 4' 185 7' 6' 156 8' 45 156

ion for ground

Ground Lug: Each pole shall include a 5/16°-18 tapped μ connector.

CATALOG LOGIC

fistore Mounting

Boar or Rounshig

Storpe of Stroft

Wall Th

Bare Dia

Top Dia

anei inchen

et Shaft

Feet & Inches'

VCII TREFACES RECORDS 5 M BACK 4 - 4/22°0 6 - 5/32°0 5 - 5/32°0 5 - 6/32°0 5 - 6/32°0 5 - 6/32°0

Diameter 1000 blowers 1000 blowers 100 - 3" 45 - 41/2" 45 - 41/2" 45 - 5" 50 - 5" 50 - 5" 50 - 5" 50 - 5" 50 - 5"

0708 - 8' 0908 - 10' 1108 - 12' 1308 - 14' 1308 - 14' 1708 - 18' 1708 - 22' 2408 - 22' 2408 - 23'

option

80

б

Device: Available ailable as an option

Anti-Rotatio

á

Handhole:

A.S.N

See Accreacy Section Frame Specify with Endo R

Martina - Sandy Barth - Sangla Red Row DML - Sandy Barth - Sandy DML - Sandy Barth - Sangla Red DML - Sangla Red Row DMS - Martina Barth - Marth - Martina Row DMS - Sandy Roman
 DML - Visit - Sand Row DML - Visit - Sandy Roman
 SML - Sandy Roman
 SML - Sandy Roman
 SML - Sandy Roman

R

nishes: Natural anodize, duranodic, or painted finishes may an addition to the satin brushed finish, if required. All alumin acessories shall receive a finish similar to that specified.

Special Fin specified as

parts and a

dment: Unless otherwise specified, the length of the embe diameter shaft shall be 3', 5" and 6" shall be 4', 7" and 8" ?" diameter grommetted wire inlet hole located 1' 6" below i ed. The embedded section of the pole shall be coated inside no rich paint.

be 5. A 1-1/2" d shall be included outside with zinc

Direct Embe section of a 4"

Micro Engineers, LLC - 18005-E-SITE.dwg - E-1.2 - Plottod: Thursday, January 11, 2016 by Harry Silmphil

General Notes

This construction project may or may not include all items covered by these notes and specifications, i.e. paving, grading, drainage lines, water lines, or sanitary sewer lines. See plans for detailed project scope. Notes and specifications on this sheet refer to paving, grading, drainage, water, and sanitary sewer, and are intended for this projects scope of work and for reference purposes for other work items that may be required due to unforeseen , existing conditions or required remedial work.

1. Specific Site Notes

- 1.1. County and "City" in these notes refers to County and 3.12. The topographic survey included with this set of plans City in which project resides.
- 1.2. State in these notes refers to the State of Florida.
- 1.3. Existing topographic information in the plans is based on survey data and best available information. See project survey and notes on plan sheets regarding the source of the topographic information.

2. Applicable Codes

- 2.1. All construction and materials shall conform to the standards and specifications of the city, county, and all other jurisdictional, State and national codes where applicable.
- 2.2. In the event of a conflict between the general notes and construction specifications in these plans, and the contract documents and specifications in the specification booklet, the contractor shall submit written request for clarification.
- 2.3. All construction shall be done in a safe manner and in strict compliance with all the requirements of the Federal occupational safety and health act of 1970, and all State and jurisdictional safety and health regulations.
- 2.4. The contractor shall be required to comply with Federal, State, County, and City laws, codes, and regulations
- 2.5. All handicap accessible areas to conform to the requirements of the Americans with Disabilities Act (ADA), State ADA codes, and Florida Building Code ADA codes latest edition
- 2.6. Trench safety act
- 2.6.1. All trench excavation shall be performed in accordance with chapter 90-96 of the laws of Florida (the trench safety act).
- 2.6.2. All trench excavation in excess of 5 feet in depth shall be undertaken in accordance with O.S.H.A. standard 29 cfr. Section 1926.650 subpart p.
- 2.6.3. The contractor shall submit with his contract a completed, signed, and notarized copy of the trench safety act compliance statement. The contractor shall also submit a separate cost item 3.15. The contractor shall be responsible for the repair and identifying the cost of compliance with the applicable trench safety codes.
- 2.6.4. A trench safety system, if required, shall be designed by the excavation contractor utilizing a specialty engineer as required.

3. Construction Notes:

- Contractor shall tie to existing grade by evenly sloping 3.1. from closest proposed grade provided to existing grade at limits of construction, unless otherwise noted on the plans. If no limit of work line is indicated, slope to adjacent property line or right-of-way line, as applicable.
- 3.2. Unless otherwise indicated on the plans, all existing manholes, catch basins, meters and other structures, whether indicated on the plans or not shall be 3.17. Any known or suspected hazardous material found on adjusted to match the new grade, by the contractor.
- 3.3. The curb shall be sloped to accommodate the new pavement, catch basin and grate, and the surface flow pattern
- 3.4. The contractor shall use care when cutting the existing asphalt pavement and during excavations, so that the existing catch basins and grates that are to remain will not be damaged.
- 3.5. The contractor shall maintain the roadway slope when resurfacing the roadway. The edge of pavement shall match the new gutter lip per FDOT index 300.
- 3.6. The new sidewalk shall be constructed in accordance with the given elevations and at the proper slopes depicted in the specifications, details and standards. Existing driveways and other features shall be matched when possible as directed by the engineer.
- Radii shown are to the edge of pavement. 3.7.

Α

- 3.8. All bench mark monuments within the limits of 4.1. construction shall be protected and referenced by the contractor in the same way as public land corners. 4.2.
- 3.9. All excess material is to be disposed by the contractor within 24 hours
- 3.10. In areas where the base is exposed by the milling operation, the contractor shall restore the base to its 4.3. original thickness and structural capacity before paving over such areas. This includes but is not limited

to restoring original degree of compaction, moisture 4.4. content, composition, stability, and intended slope. If paving will not take place the same day the base is exposed and reworked, the base shall be sealed according to the governing standards and 4.5. specifications. Any additional work resulting from the contractor's failure to protect the exposed base as stated above in order to restore the original structural capacity shall be the contractor's cost.

- 3.11. The contractor is to maintain existing signage during construction operations, in order to facilitate emergency vehicle traffic.
 - reflects pre-demolition conditions and does not reflect the site conditions after demolition. The contractor is fully and solely responsible in determining the required earthwork for the proposed development of the site. This includes, but is not limited to, any excavation/dredge and fill activities required at any phase of the project. The contractor shall use the final approved (released for construction) plans, surveys, geotechnical reports, and any other available information for determining the amount of excavation/dredging and filling required. Any quantities included in the approved 4.6. permits were estimated by the engineer for purposes of obtaining the permit and under no circumstances shall be used by the contractor in lieu of performing their own earthwork calculations required for cost estimating and bidding the project
- 3.13. The contractor shall be responsible for reading and familiarizing themselves with any and all available geotechnical reports prepared by others and/or any recommendations written or implied by the geotechnical engineer for this project. The 4.6.1. Catalogue literature shall be submitted for drainage, geotechnical conditions and recommendations outlined in these reports are in force and in full effect as part of the proposed improvements. The contractor is responsible for ensuring that all the work associated with this project is in compliance with the geotechnical engineer's recommendations. Keith and Associates, Inc. is not responsible for the suitability or unsuitability of the soils encountered. It is the contractor's responsibility to ensure that the means and methods of construction used can and will allow for the successful completion of the required 4.7. site improvements.
- 3.14. The contractor shall ensure that the available geotechnical information is sufficient for his complete understanding of the soil conditions for the site. If 5. Inspections / Testing: additional geotechnical investigation is required by 5.1. the contractor, this additional work shall be considered incidental to the contract and no additional compensation shall be allowed.
 - restoration of existing pavement, pipes, conduits, sprinkler heads, cables, etc., and landscaped areas damaged as a result of the contractor's operations and/or those of his subcontractors and shall restore at no additional cost
- 3.16. The contractor shall not bring any hazardous materials onto the project. Should the contractor require such for performing the contracted work, the contractor shall request, in writing, permission from the owner, city and engineer. The contractor shall provide the owner, city and engineer with a copy of the material safety data sheet (MSDS) for each hazardous material proposed for use. The project engineer shall coordinate with the owner and city prior to issuing written approval to the contractor.
 - the project by the contractor shall be immediately reported to the city and/or engineer, who shall direct the contractor to protect the area of known or suspected contamination from further access. The city and/or engineer are to notify the owner/engineer of the discovery. The owner/engineer will arrange for investigation, identification, and remediation of the hazardous material. The contractor shall not return to the area of contamination until approval is provided by the engineer.
- 3.18. The contractor shall contact the appropriate city engineering inspector and engineer 48 hours in advance of the event to notify the city of construction start up, or to schedule all required tests and inspections including final walk-throughs.

4. Preconstruction Responsibilities

All utility / access easements to be secured prior to construction.

- No construction may commence until the appropriate permits have been obtained from all municipal, State, County, and Federal agencies and a pre-construction 6.2. meeting has been conducted.
- All required governmental agency building permits to be obtained by the contractor prior to any 6.3. construction activity.

Contractor to coordinate construction scheduling for 6.4. connection to the existing water and sewer lines with the utility department that owns and/or maintains the water and sewer lines.

- information water/npdes.
- grates/tops, vard drains. • Water: Fire hydrants, valves, backflow preventer,
- DDCV, meter box.
- valves, pump data, electrical panel)
- water and sewer pipes, fittings, and appurtenances.
- 4.0.2. Prior to submitting shop drawings to the engineer, the contractor shall review and approve the drawings, and shall note in red any deviations 8.2. from the engineer's plans or specifications.
- 4.0.3. Individual shop drawings for all precast structures are required. Catalogue literature will not be accepted for precast structures.
- Contractor to submit maintenance of traffic plan(s) in accordance with FDOT and Broward county requirements, and submit for approval prior to beginning construction.

- applicable:
- Clearing and earthwork
- Storm drainage systems
- Sanitary sewer systems
- Water distribution systems
- Subgrade
- Limerock base
- Asphalt or concrete pavement
- Sidewalks, concrete flatwork/curbing
- Landscaping
- Signalization
- Site lighting
- Utility conduits
- Irrigation • Final
- inspections.

mobilization.

mobilization.

Testing - all testing required by the plans and specifications shall be performed by a licensed / FDOT qualified testing company. Required test for asphalt 8.7. and limerock shall be taken at the direction of the engineer or the jurisdictional governmental agency in accordance with the plans and specifications.

submit an NPDES construction general permit (CGP) "notice of intent (N.O.I.) to use Generic Permit for 7. Project Progress and Closeout storm water discharge from construction activities form (DEP form 62-621.300(4)(b)) to FDEP notices 7.1. center. The contractor will be responsible for (1) implementation of the storm water pollution prevention plan (SWPPP) that was required to be developed prior to NOI submittal, and (2) retention of

records required by the permit, including retention of 7. a copy of the SWPPP at the construction site from the date of project initiation to the date of final site stabilization. A "notice of termination (N.O.T.) of generic permit coverage" form (DEP form 62-621.300(6)) must be submitted to FDEP to discontinue permit coverage, subsequent to completion of construction. For additional 7.3. Material or debris shall be hauled in accordance with 8.9. FDEP website: see http://www.dep.state.fl.us/water/ storm

Prior to construction or installation, 5 sets of shop drawings shall be submitted for review as required for the following items listed below, but not limited to:

The contractor shall notify in writing the owner, City, County, engineer of record, and any other governmental agencies having jurisdiction at least 48 hours prior to beginning construction and prior to required inspections of the following items, where 84

Pavement marking and signage

• Electrical and communication lines

The owner, engineer, and jurisdictional permitting agencies may make inspections of the work at any time. The contractor shall cooperate fully with all

6. Temporary Facilities

6.1. It shall be the contractor's responsibility to arrange for or supply temporary water service, sanitary facilities, communications, and electricity, for his operations and works, cost included under

> Contractor shall construct temporary fencing to secure construction areas at all times, cost included in

> Contractor to obtain a secure staging area and obtain all necessary approvals from the owner.

Contractor shall construct and maintain temporary lighting as required to light the construction project limits at all times, to at least the same lighting intensity levels as the existing conditions.

Prior to the start of construction, the owner shall 6.5. The contractor shall maintain access to adjacent properties at all times.

- During construction, the project site and all adjacent areas shall be maintained in a neat and clean manner, and upon final clean-up, the project site shall be left clear of all surplus material or trash. The paved areas shall be broom swept clean.
- The contractor shall restore or replace any public or 8.8. private property (such as highway, driveway, walkway, and landscaping), damaged by his work, equipment, or employees, to a condition at least equal to that existing immediately prior to the beginning of construction. Suitable materials and methods shall be used for such restoration.
- NPDES permit and jurisdictional laws.
- All land survey property monuments or permanent reference markers, removed or destroyed by the contractor during construction shall be restored by a State of Florida registered land surveyor at the 9. Utility Notes contractor's expense.
- Drainage: Catch basins, manholes, headwalls, 7.5. All unpaved surfaces disturbed as a result construction activities shall be graded, sodded, & restored to a condition equal to or better than that 9.2. The contractor is advised that properties adjacent to which existed before the construction.

• Sewer: Manholes, lift stations (wetwell, hatches, **8. Project record documents:**

- 8.1. During the daily progress of the job, the contractor shall record on his set of construction drawings the 9.3 location, length, material and elevation of any facility not built according to plans. This copy of the "as-built" shall be submitted to engineer for project record.
 - Upon completion of drainage improvements and 9.4 limerock base construction (at least 48 hours before placing asphalt pavement) the contractor shall furnish the engineer of record "as-built" plans for these improvements, showing the locations and pertinent grades of all drainage installations and the finished rock grades of the road crown and edges of pavement at 50 foot intervals, including locations and elevations of all high and low points.

Upon completion of construction, and prior to final acceptance, the contractor shall submit to the engineer of record one complete set of all "as-built" contract drawings. These drawings shall be marked to show "as-built" construction changes, dimensions, 9.1. locations, and elevations of all improvements.

- "As-built" drawings of water lines and force mains shall include the following information:
- 8.4.1. Top of pipe elevations every 100 LF.
- 8.4.2. Locations and elevations of all fittings including bends, tees, gate valves, double detector check valves, fire hydrants, and appurtenances.
- 8.4.3. All connections to existing lines.
- 8.4.4. Ends of all water services at the buildings where 9.1. the water service terminates.
- 8.5. "As-built" drawings of gravity sanitary sewer lines shall include the following information:
- 8.5.1. Rim elevations, invert elevations every 100 feet, length of piping between structures, and slopes.
- 8.5.2. The stub ends and cleanouts of all sewer laterals 9.2. shall be located horizontally and vertically.
- 8.6. "As-built" drawings of all drainage lines shall include the following information:
- 8.6.1. Rim elevation, invert elevation, length of piping between structures, and control structure elevations if applicable.
- 8.6.2. The size of the lines.
- 8.6.3. Drainage well structure shall include, but not be limited to, top of casing elevation, top and bottom elevations of the structure and baffle walls, rim elevations and pipe inverts.
- "As-built" drawings of construction areas shall include the following:
- 8.7.1. Rock elevations at all high, and low points, and at enough intermediate points to confirm slope consistency
- 8.7.2. Rock elevations and concrete base elevations shall be taken at all locations where there is a finish 10. Signing and Pavement Markings grade elevation shown on the design plans.
- 8.7.3. All catch basin and manhole rim elevations. 8.7.4. Finish grade elevations in island areas.
- 8.7.5. "As-built" elevations shall be taken on all paved and unpaved swales, at enough intermediate points to confirm slope consistency and conformance to the plan details.
- 8.7.6. Lake and canal bank "as-built" drawings shall

cross sections. Lake and canal bank cross sections shall be plotted at a minimum of every 100 lf, unless otherwise specified. "as-built" drawings 10.4. Incorrectly placed paint or thermoplastic pavement shall consist of the location and elevation of the top of bank, edge of water, and the deep cut line, with the distance between each shown on the drawing.

8.7.7. Retention area "as-built" elevations shall be taken at the bottom of the retention area and at the top without damaging the asphalt. of bank. If there are contours indicated on the 10.5. Place all retro-reflective pavement markers in design plans, then they shall be included in accordance with standard index 17352 and / or as "as-built" drawings as well. shown in the plans. Upon completion of the work, the contractor shall 10.6. Caution should be exercised while relocating existing

prepare "as-built" drawings on full size. 24" x 36" sheets. All "as-built" information shall be put on the latest engineering drawings. Eight (8) sets of blue or black line drawings shall be submitted. These drawings shall be signed and sealed by a Florida 10.7. registered professional engineer or land surveyor.

An electronic copy of these "as-built" drawings shall be submitted to the engineer of record in AutoCAD, version 2008 or later and shall follow the City of Hollywood's "Survey/As-Built CAD Drawing Standards" 10.8. Relocated sign support system must meet the current as per City Detail G-00.3.

9.1. Contractor is responsible for utility verification prior to fabrication.

and/or sewer service laterals which may not be shown in plans. The contractor must request the location of these lateral services from the utility companies.

The contractor shall use hand digging when 10.12. All signs shall meet all of the following: excavating near existing utilities. Extreme caution shall be exercised by the contractor while excavating, installing, backfilling or compacting around the utilities.

The contractor shall notify and obtain an underground clearance from all utility companies and governmental agencies at least 48 hours prior to beginning any construction. The contractor shall obtain a Sunshine811.com Certification clearance number and field markings at least 48 hours prior to beginning any excavation.

• Prior to commencement of any excavation, the contractor shall comply with Florida statute 553.851 for the protection of underground gas pipelines.

For street excavation or closing or for alteration of access to public or private property, the contractor shall notify:

- 10.13.Patch attachment hardware, such as countersunk • Roadway jurisdictional engineering / public works screws or rivet heads, with retro reflective buttons authority. that match the color and sheeting material of the County transit authority finished sign panel including the background, legend or border. School board transportation authority

- Jurisdictional fire department dispatch
- Jurisdictional police department(s)

The contractor shall use extreme caution working under, over, and around existing electric lines. The 10.15.Layout permanent final striping that leaves no visible contractor shall contact the electric provider company to verify locations, voltage, and required clearances, onsite, in right-of-ways, and in easements, prior to any construction in the vicinity of existing lines.

Location and size of all existing utilities and topography (facilities) as shown on construction drawings are drawn from available records. The engineer assumes no responsibility for the accuracy of the facilities shown or for any facility not shown. It is the contractor's responsibility to determine the exact location (vertical & horizontal) of any existing utilities and topography prior to construction. The contractor shall verify the elevations and locations of all existing facilities, in coordination with all utility companies, prior to beginning any construction operations. If an existing facility is found to conflict with the proposed construction, the contractor shall immediately notify the engineer so that appropriate measures can be taken to resolve the conflict.

9.3. The contractor shall coordinate the work with other contractors in the area and any other underground utility companies required. The contractor shall coordinate relocation of all existing utilities with applicable utility companies.

10.1. All signing and pavement markings installed as part of these plans shall conform to the Federal highway administration (FHWA) "manual on uniform traffic control devices" (MUTCD), County Traffic Design Standards and FDOT design standards as a minimum criteria.

10.2. Match existing pavement markings at the limits of construction.

- include a key sheet of the lake for the location of 10.3. Removal of the existing pavement markings shall be accomplished by water blasting or other approved methods determined by the engineer.
 - markings over friction course will be removed by milling and replacing the friction course a minimum width of 18 in at the contractor's expense. The engineer may approve an alternative method if it can be demonstrated to completely remove the markings
 - signs to prevent unnecessary damage to signs. If the sign is damaged beyond use, as determined by the engineer, signs shall be replaced by the contractor at his expense.
 - . All existing signs that conflict with construction operations shall be removed, and relocated by the contractor. Sign removal shall be directed by the engineer.
 - design standard.
 - 10.9. The contractor shall provide an inventory of existing signs to remain or to be relocated prior to starting the job and forward this list to the engineer. Contractor shall notify if there are any missing or damage signs that the plans show to remain or to be relocated.
- the project have electric, telephone, gas, water 10.10.All roadway pavement markings shall be thermoplastic in accordance with FDOT specifications section 711.
 - 10.11. Hand dig the first four feet of sign foundation.

 - Meet the criteria outlined in Section 2A.08 of the 2009 MUTCD
 - Meet the specifications outlined in Section 700 and 994 of the latest FDOT Standard Specifications.
 - Consist of materials certified to meet the retroreflective sheeting requirements outlined in the current version of ASTM D4956 for type-XI retroreflective sheeting materials made with prisims, except for school zone and pedestrian signs which shall be comprised of retroreflective fluorescent yellow-green sheeting certified to meet ASTM D4956 Type IV retroreflective sheeting materials.
 - Consist of retroreflective sheeting materials that have a valid FDOT Approved Product List (APL) certification for specification 700 Highway Signing for FDOT sheeting Type XI (or type IV for school and pedestrian signs).
 - 10.14.Ensure the outside corner of sign is concentric with border. Ensure white borders are mounted parallel to the edge of the sign. Ensure black borders are recessed from the edge of the sign.
 - marks at time of final acceptance.

KEITH	-7
& ASSOCIATES, IN	VC.
consulting enginee 301 East Atlantic Boulevard Pompano Beach, Florida 33060-66	
2160 NW 82 nd Avenue Doral, Florida 33122	
PH: (954) 788-3400	
Florida Certificate of	
Authorization # - 7928	
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NO. DESCRIPTION DAT	E
PRELIMINARY PLAN	
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JAMES A. THIELE, P.E. FLORIDA REG. NO. 33256 (FOR THE FIRM)	
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PROJECT NO. 10067.00

CONSTRUCTION SPECIFICATIONS

Section 20 - General Specifications Paving Grading Drainage and Earthwork

20.General

D

- 20.1. It is the intent of these specifications to describe the minimum acceptable technical requirements for the materials and workmanship for construction of site improvements for this project. Such improvements may generally include, but not to be limited to, clearing, grading, paving, removal of existing pavement, storm drainage, water lines and sanitary sewers.
- 20.2. It is the intent that the Florida Department of Transportation (FDOT) "Standard Specifications for Road and Bridge Construction: (current edition) together with "Supplemental Specifications to the Standard Specifications for Road and Bridge Construction" (current edition), and the FDOT Roadway and Traffic Design Standards (current edition) be used where applicable for the various work, and that where such wording therein refers to the State of Florida and its Department of Transportation and personnel, such wording is intended to be replaced with the wording which would provide proper terminology; thereby making such "Standard Specifications for Road and Bridge Construction" together with the "FDOT Roadway and Traffic Design Standards" as the "Standard Specifications" for this project. If within a particular section, another section, article or paragraph is referred to, it shall be part of the Standard Specifications also. The Contractor shall abide by all local and State laws, regulations and building codes which have jurisdiction in the area.
- perform all operations required to complete the construction of a paving areas shall be as defined in the section 125-8. of the Standard and drainage system as shown on the plans, specified herein, or both. It Specifications. Pipeline backfill shall be placed in 6 inch lifts and and equipment shown or specified shall not be taken to exclude any other incidentals necessary to complete the work.
- accordance with the plans and construction specifications and the minimum engineering and construction standards adopted by the unit of government which has jurisdiction and responsibility for the construction. Where conflicts or omissions exist, the jurisdictional government Engineering Department's standards shall govern 23 Asphalt Paving permitted only when written approval has been issued by the Engineer.
- 20.5. Guarantee all materials and equipment to be furnished and/or installed by the Contractor under this contract, shall be guaranteed for a defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials, during the guarantee period, the affected part or materials shall be replaced promptly with new parts or materials by the contractor, at no expense to the owner. In the event the Contractor fails to make necessary replacement or repairs within (7) seven days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- 21.Earthwork
- to construction. This shall consist of the complete removal and disposal of all trees, brush, stumps, roots, grass, weeds, rubbish and all other obstructions resting on or protruding through the surface of the existing ground to a depth of 1'. All work shall be in accordance with section 110 of the Standard Specifications.
- 21.2. None of the existing limerock material from demolished pavement is to be incorporated in the new limerock base, unless noted in plans. The existing limerock material from demolished pavement may be incorporated into the stabilized subgrade / subbase, or stabilized shoulder.
- 21.3. Fill material shall be classified as A-I, A-3, or A-2-4 in accordance material. Not more than 12% by weight of fill material shall pass the no. 200 sieve
- 21.4. All fill material in areas not to be paved shall be compacted to 95% of the maximum density as determined by AASHTO T-99.
- 21.5. All material of construction shall be subject to inspection and testing to establish conformance with the specifications and suitably for the uses intended. The Contractor shall notify the Engineer at least 24 hours prior to the time he will be ready for an inspection or test. The 24. Concrete Construction Contractor shall follow City and County inspection procedures. The 24.1. Concrete sidewalk shall be in accordance with section 522 of the Contractor shall not proceed with any phase of work dependent on an inspection or test of an earlier phase of work, prior to that test or inspection passing. The Contractor shall be responsible for providing certified material test results to the Engineer of record prior to the release of final certification by the Engineer. Test results must include, but may not be limited to, densities for subgrade and limerock, utilities, excavation, asphalt gradation reports, concrete cylinders, etc.
- 21.6. When encountered, muck shall be completely removed from the 24.2. Sidewalk Curb ramps hall be in accordance with F.D.O.T. Roadway center line (10) ten feet beyond the edge of pavement each side. All such material shall be replaced by approved granular fill.
- 21.7. When encountered within drainage swales, hardpan shall be removed to full depth for a width of (5) five feet at the invert and replaced with granular materials.
- 21.8. All underground utilities and drainage installations shall be in place prior to subgrade compaction and pavement construction.
- 21.9. Ground adjacent to roadway/pavement having runoff shall be graded Section 30 Water distribution and sanitary sewer force mains. (2) two inches lower than the edge of pavement to allow for the placement of sod.
- 21.10. Site grading elevations shall be within 0.1' of the required elevation for non paved areas and all areas shall be graded to drain without ponding.
- 21.11. The Contractor shall perform all excavation, fill, embankment and grading to achieve the proposed plan grades including typical road sections, side slopes and canal sections. All work shall be in accordance with section 120 of the Standard Specifications. If fill material is required in excess of that generated by the excavation, the Contractor shall supply this material as required from off-site.
- 21.12. A 2" blanket of top soil shall be placed over all areas to be sodded or seeded and mulched within the project limits unless otherwise indicated

- 21.13.Sod shall be St. Augustine unless otherwise indicated on the plans. and shall be placed on the graded top soil and watered to insure satisfactory condition upon final acceptance of the project.
- 22.Drainage
- 22.1. Inlets all inlets shall be the type designated on the plans, and shall of the pipe. be constructed in accordance with section 425 of the Standard 30.2. Ductile iron pipe for water distribution mains shall conform to 30.18. Sewage force main valves shall be plug valves which shall be of the Specifications. All inlets and pipe shall be protected during construction ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe to prevent siltation in the drainage systems by way of temporary plugs centrifugally cast in metal molds or sand-lined molds" with a minimum and plywood or plastic covers over the inlets. The entire drainage wall thickness of class 52 unless otherwise noted in the plans. Ductile system shall be cleaned of all debris prior to final acceptance. iron pipe shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21.4 latest revision. The pipe shall be one of the following designations: adapted for use with class 250 fittings for all sizes. Water main shall be colored blue in accordance with Florida State Statutes. RCP = reinforced concrete pipe. ASTM designation C--76.
- 22.2. Pipe specifications: the material type is shown on the drawings by
- section 941 of the Standard Specifications.
- 30.3. Ductile iron pipe for sewage force mains shall conform to ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe CMP = corrugated metal (aluminum) pipe, ASTM designation M-196. centrifugally cast in metal molds or sand-lined molds" with a minimum wall thickness of class 52 unless otherwise noted in the plans. Ductile CMP (smooth lined) = corrugated metal aluminum pipe, (smooth lined) ASTM designation M-196. iron pipe shall be interior ceramic epoxy lined and exterior coated with the manufacturer's coating system (Protecto 401 ceramic epoxy with a SCP = slotted concrete pipe, sections 941 and 942, of the minimum dry film thickness of 40 mils and an outside coating of either Standard Specifications. PVC = polyvinyl chloride pipe. for this application.

- PCMP = perforated cmp, section 945, of the Standard direction of flow against pressure drops up to and including 100 PSI (for 30.4. All pipe & fittings on the lift station sites shall be ductile iron Specifications plug valves over 12" in diameter). Valves shall be bubble tight in both 41.1. All PVC sewer pipe and fittings shall be non-pressure polyvinyl conforming to the same specifications as above for sewage force mains Corrugated High Density Polyethylene Pipe (HDPE) (12 Inches to 60 Inches), shall meet the requirements of FDOT Specification directions at 100 psi differential. Plug valves over 12" in diameter shall except that flanged ductile iron pipe & fittings shall be used inside valve have worm gear operators. The operating mechanism shall be for pits and wet wells. Flanged pipe and fittings shall conform to section 948-2.3 buried service with a 2 inch square operating nut. ANSI/AWWA C115/a21.15 latest revision and ANSI/AWWA C110/A21.10 latest revision. The following thickness classes shall be 30.20.Plug valves are to be installed with the seat pointed towards the adhered to: all sizes - class 52. upstream flow, when specified

20.3. The Contractor shall furnish all labor, materials and equipment and 22.3. Pipe backfill - requirements for pipe backfill crossing roads or parking

- shall be of the outside lever and spring or weight type, in accordance ANSI/AWWA standard C900 latest revision. PVC pressure pipe shall be made from class 12454-a or class 12454-b virgin material and conform with ANSI/AWWA C 508 latest revision swing-check valves for have to be adjusted to accomplish construction as shown on these with the outside diameter of cast iron pipe with a minimum wall waterworks service, 2" through 24" NPS, unless otherwise indicated, plans. with full-opening passages, designed for a water-working pressure of thickness of dr series 18. Ultra violet degradation or sun bleached pipe will be cause for rejection. Water main shall be colored blue in 150 PSI they shall have a flanged cover piece to provide access to the referenced to the inner walls of structures. accordance with Florida State Statutes. Force main shall be impregnated with green pigment. Reuse main shall be impregnated with 30.22. High density polyethylene pipe (HDPE) for water distribution mains
- is the intent to provide a complete and operating facility in accordance compacted to 100% of the standard proctor (AASHTO T--99 specifications) 30.5. PVC pressure pipe for sizes 4" through 12" and shall conform to 30.21. Swing check valves for water, sewage, sludge, and general service with these specifications and the construction drawings. The material 22.4. Location of drainage structures shall govern, and pipe length may 20.4. All labor, materials, and methods of construction shall be in strict 22.5. Distance and lengths shown on plans and profile drawings are 22.6. Filter fabric shall be Mirafi, Typar or equal conforming to section 985
 - of the Standard Specifications.
- purple pigment. shall conform to AWWA C906 standard, latest revision. Pipes shall be 30.6. Ductile iron fittings for water distribution mains shall conform to color-coded blue, minimum 40 feet standard lengths. Substitutions and deviations from plans and specifications shall be 23.1. Where new asphalt meets existing asphalt, the existing asphalt shall ANSI/AWWA standard C110/A21.10 latest revision. Fittings 4" and -31 Service connection: larger shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21.4 latest revision. Water Main fitting 31.1. Service saddles shall be fusion bonded plastic coated ductile iron be saw cut to provide a straight even line. Prior to removing curb or (ASTM A536) with stainless steel straps, saddles shall be double strap 41.5. Manholes are to be sealed with type II sulphate resistant cement or gutter, the adjacent asphalt shall be saw cut to provide a straight even shall be colored blue in accordance with Florida state statutes.
- period of (I) one year from the date of final acceptance thereof, against 23.2. Internal asphalt paving constructed on existing sandy soils shall be 30.7. Cast iron and ductile iron fittings for sewage force mains shall 31.2. Service lines shall be polyethylene (PE 3408), 200 p.s.i rated, DR9. 41.6. conform to ANSI/AWWA standard C110/A21.10 latest revision. Fittings constructed with a 12" subgrade, compacted to a minimum density of Pipe joints shall be of the compression type totally confined grip seal 4" and larger shall be coated in accordance with the requirements of 100% maximum density as determined by AASHTO T-99. The and coupling nut. ductile iron pipe for sewage force mains. compacted subgrade shall be constructed in the limits shown on the plans. All subgrade shall have an LBR of 40 unless otherwise noted. accordance with ASTM B-62 with threaded ends, as manufactured by to ANSI/AWWA standard C111/A21.11 latest revision. Mechanical joint
- 30.8. Joints for bell and spigot ductile iron pipe and fittings shall conform 31.3. Corporation stops shall be manufactured of brass alloy in 41.7. PVC clean-outs to have screw type access plug. Long radius wye 23.3. Asphaltic concrete surface course shall be constructed to the limits operations. Ford ballcorp, catalog # 1100 or approved equal. or push-on joint to be rubber gasket compression-type. Special fittings shown on the plans. The surface course shall consist of the thickness and joints shall be considered for specific installation subject to the 31.4. Curb stops shall be Ford v63-44w-x" latest revision or approved 41.8. Cleanouts shall be installed at all sewer services exceeding 75' in and type asphaltic concrete as specified in the plans. All asphaltic approval of the engineer equal. concrete shall be in accordance with sections 320, 327, 330, 334, 336, 30.9. Joints for PVC pressure pipe shall be bell and spigot push-on rubber 31.5. Meter stops shall be 90 degree lockwing type and shall be of bronze 337, 337, 338, 339 and 341 of the Standard Specifications. construction in accordance FV63-777W" latest revision with ASTM 21.1. All areas within the project limits shall be cleared and grubbed prior 23.4. Limerock base shall be prepared, compacted and graded and shall gasket type only. No solvent weld or threaded joints will be permitted.
 - B-62. Meter stops shall be closed bottom design and resilient "0" ring be in accordance with section 200 of the Standard Specifications. All 30.10. Water distribution system restraint: all fittings and specific pipe joints sealed against external leakage at the top. Stops shall be equipped with limerock shall be compacted to 98% per AASHTO T-180 and have not shall be restrained as outlined below a meter coupling nut on the outlet sides, as manufactured by Ford or 42. Installation: less than 70% of carbonates of calcium and magnesium unless Joint restraint approved equal. otherwise designated. The Engineer shall inspect the completed base Push-on P.V.C. EBAA iron series 1600 32. Installation: course and the Contractor shall correct any deficiencies and clean the Push-on DIP EBAA iron series 1700 base course prior to the placement of the prime coat. A tack coat will 32.1. Where restrained pipe joints are required due to fittings tr-flex by U.S. Pipe or also be required if the Engineer finds that the primed base has become appurtenances, etc., pipe material shall be DIP excessively dirty or the prime coat has cured to the extent of losing flex ring by American latest revision. 32.2. All PVC pipe shall be installed in accordance with the uni-bell plastic bounding effect prior to placement of the asphaltic concrete surface pipe association "guide for installation of PVC pressure pipe for 42.3. Pipe to manhole connection to be Fernco neoprene boot couplings Fittings w/ DIP EBAA iron series 1100 megalug course. The prime and tack coats shall be in accordance with section Fittings w/ P.V.C. EBAA iron series 2000 megalug municipal water distribution system," and ANSI/AWWA C605-xx latest 300 of the Standard Specifications. revision standard. Length of restrained pipe shall be as indicated on restrained joint
 - with AASHTO N--145 and shall be free from vegetation and organic 23.5. Limerock base material shall be placed in maximum 6" lifts. Bases pipe detail. (see water & sewer detail sheet) 32.3. All DIP shall be installed in accordance with ANSI/ C600-xx latest -providing uniform bearing under the base. greater than 6" shall be placed in two equal lifts. If, through field tests, the Contractor can demonstrate that the compaction equipment can 30.11. Sewage force main system restraint: all fittings and specific pipe revision achieve density for the full depth of a thicker lift, and if approved by the joints shall be restrained as outlined below 32.4. All water mains shall typically be laid with a minimum 36" cover for 42.6. Two coats of Koppers 300-m, first red, second one black, shall be PVC and 30" cover for DIP engineer, the base may be constructed in successive courses of not Joint restraint more than 8 inches (200 mm) compacted thickness. • Push-on P.V.C. EBAA iron series 1600 32.5. Detector tape shall be laid 18 inches above all water and sewer
 - 23.6. Asphalt edges that are not curbed shall be saw cut to provide a straight even line to the dimensions shown on plans.

 - Fittings w/ DIP EBAA iron series 1100 megalug 32.6. Pipe deflection shall not exceed 50% of the maximum deflection Standard Specifications and in accordance with F.D.O.T. Roadway and Fittings w/ P.V.C. EBAA iron series 2000 megalug recommended by the manufacturer. Traffic Design Standards, index no. 310. Concrete sidewalk shall be 4" Length of restrained pipe shall be as indicated on restrained joint 32.7. A continuous and uniform bedding shall be provided. Backfill material thick, unless otherwise not and constructed on compacted subgrade, pipe detail. (see water & sewer detail sheet) with 1/2" expansion joints placed at a maximum of 75', unless otherwise shall be placed in accordance with the plans and specifications. noted on plans. Crack control joints shall be 5' on center. All concrete 30.12. Water distribution valves shall be gate valves, iron body, fully 32.8. All valves shall be installed with adjustable cast iron valve boxes with resilient seat bronzed mounted non-rising stem, rated at 200 PSI and sidewalks that cross driveways shall be 6" thick, unless otherwise noted the word "water" or "sewer", as applicable, cast in the cover. U.S. conforming to ANSI/AWWA C509 latest revision, and shall have on plans. foundry or approved equal. mechanical joints.
 - and Traffic Design Standards, index no. 304.
 - 24.3. Concrete curb shall be constructed to the limits shown on the plans. latest revision or approved equal. The concrete shall have a minimum compressive strength of 2500 PSI 30.12.2. Tapping valves shall be Mueller T-2360 or approved equal. at 28 days and shall be in accordance with section 520 of the Standard 30.12.3. Gate valves 3" or less shall be Nibco T-133 or T-136 with Specifications. Concrete curbing shall be in accordance with F.D.O.T. malleable hand wheels or approved equal. Roadway and Traffic Design Standards, index no. 300. 24.4.

30. Materials:

- Note: If materials list here on are in conflict with utility owner, material owner requirements shall govern
- 30.1. All water main pipe, including fittings, shall be color coded or marked listed by underwriters laboratories for 250 psi minimum water pressure using blue as a predominant color to differentiate drinking water from rating. Clow corporation model f-1058, standard fire protection reclaimed or other water. Underground plastic pipe shall be solid-wall equipment company or approved equal. or black pipe with blue stripes incorporated into, or applied to, the pipe 30.16. Dresser couplings shall be regular black couplings with plain gaskets blue pipe, shall have a co-extruded blue external skin, or shall be white for galvanized steel pipe. They shall be dresser style 90. No wall; and underground metal or concrete pipe shall have blue stripes substitutions allowed. applied to the pipe wall. Pipe striped during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, 30.17. Fire hydrants shall be Mueller centurion traffic type A-423 with 5 1/4" 33.2. The pressure test shall be witnessed by a representative of the utility that are located at no greater than 90-degree intervals around the pipe, internal valve opening or approved equal. Pumper nozzle to be 18"

and that will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top

- Push-on DIP EBAA iron series 1700 •
- tr-flex by U.S. Pipe or
- flex ring by American

- 30.12.1. Gate valves 4" and larger shall be Mueller A-2360, American ^{33.Testing:}
- 30.13. Tapping sleeves shall be Mueller H615, Clow F- 2505 or approved equal.
- 30.14. Valve boxes shall be U.S. foundry 7500 or approved equal painted blue with the designation "water"
- 30.15. Retainer glands for DIP shall conform to ANSI/AWWA C111/A21.11 latest revision. All glands shall be manufactured from ductile iron as

from finished grade. All hydrants to be installed with control valve, 33.3. For water distribution pipes, sampling points shall be provided by the Retainer glands are preferred for restraining. Fire hydrant shall comply with ANSI/AWWA C502 latest revision. Fire hydrants shall be painted in 33.4. For water distribution pipes, disinfection and bacteriological testing accordance with NFPA #291 or per agency standards having iurisdiction. Blue raised reflective pavement marker (rpm) shall be used to identify fire hydrant location. The placement of the rpm to be at the centerline of the outside roadway lane.

- non-lubricated, eccentric type with resilient faced plugs, port areas for valves 20 inches and smaller shall be at least 80% of full pipe area. Port area of valves 24 inches and larger shall be at least 70% of full pipe area. The body shall be of semi-steel (ASTM A-126 C1.b) and shall have bolted bonnet which gives access to the internals of the valve. Seats shall be welded overlay of high nickel content or a stainless steel plate locked in the body cavity. If a plate is used, it shall be replaceable 40. General through the bonnet access. Bearings shall be permanently lubricated of 40.1. Manhole, valve box, meter box and other structure rim elevations stainless steel, bronze or Teflon lined, fiber glass backed Duralon. Bearing areas shall be isolated from the flow with grit seals. Valves shall have packing bonnets where the shaft protrudes from the valve and the packing shall be self-adjusting chevron type which can be replaced without removing the bonnet. All nuts, bolts, springs and washers shall be stainless steel.
- coal tar epoxy or asphalt). Cement mortared linings are not appropriate 30.19. Plug valves shall be designed for a working pressure of 150 PSI the valve and actuator shall be capable of satisfactory operation in either

lines. A 14 gauge multi-strand wire shall be attached to all nonconductive water mains to facilitate location. An extra 4 feet of wire shall be provided at all valves, blow-offs, hydrants, etc. The wire shall be tested for continuity at the pressure test.

250 line or Clow F-6100, conforming to ANSI/AWWA C500 33.1. Before any physical connections and acceptance for operation to the existing water mains are made, the complete water system shall be flushed, pressure tested and disinfected. Copies of passing bacteriological results and pressure test results must be submitted to, and approved by, the engineer, utility owner, and health department. 43.4. The installed sewers may require video inspections. Hydrostatic testing of new mains shall be performed at a minimum starting pressure of 150 PSI for two hours in accordance with ANSI/AWWA C600-05 (hydrostatic test). The pressure test shall not vary more than 5 PSI during the test. The allowable leakage during the pressure test shall be less than the number of gallons per hour as determined by the formula:

L = (sd(p)1/2)/148,000.

In which L equals the allowable leakage in gallons per hour. S equals length of pipe (linear feet), d equals nominal diameter of pipe (inches) and p equals the average test pressure (pounds per square inch gauge). Maximum length of test pipe section should be 2000 feet. The water system shall be disinfected in accordance with the ANSI/AWWA C651-05 (water main bacteriological tests).

owner and the engineer of record.

- be as follows:

- 41. Materials:

contractor at the locations shown on the plans.

shall be in accordance with ANSI/AWWA C651-14 (water main bacteriological tests). Maximum distance between sampling points shall

Transmission mains: every 1200 feet Branch mains: every 1000 feet

Isolated mains < 1000 feet: 2 sample points Isolated mains > 1000 feet: 3 sample points

Section 40 - Gravity Sanitary Sewer Collection System

within the limits of construction are to be adjusted to conform to plan grades proposed in these plans. If no other individual cost item is included in the contract schedule for a particular structure adjustment.

40.2. Distance and lengths shown on plans and profile drawings are referenced to the center of structures.

Note: If materials list here on are in conflict with utility owner, material owner requirements shall govern.

chloride (PVC) pipe conforming to ASTM D 3034, SDR 26, with push-on rubber gasket joints.

🖎 2. Ductile iron pipe shall conform to ANSI/AWWA C151/A21.51-🗶 latest revision, "ductile iron pipe centrifugally cast in metal molds or sand lined molds" with wall thickness class 51 for 8" and above, class 52 for 4 and 6", unless otherwise directed by the engineer. Ductile iron pipe shall be epoxy lined or coated with the manufacturer's coating system as approved by the engineer of record and the local municipality or utility owner. In either case, the engineer's review and approval is required for either alternative prior to construction. Cement mortared linings are not appropriate for this application.

41.3. All ductile iron fittings shall conform to ANSI/AWWA standard C110/A21.10-xx latest revision. XI fittings and accessories shall be epoxy lined and as manufactured or supplied by the pipe manufacturer or approved equal.

41.4. Manholes shall be precast per ASTM C 478 and in accordance with the plans and specifications.

approved equal - no molding plaster

Joints for bell and spigot ductile iron pipe and fittings shall conform to ANSI/AWWA standard C111/A21.11-xx latest revision. Mechanical joint or push-on joint to be rubber gasket compression- type.

connections and fittings shall be used in order to access clean-out

length (every 75') with a clean out at the property line, easement line, or 5' from a building. The contractor shall coordinate the location of the building cleanout (5' from the building) and elevation of the end of the sewer service with the building plumbing contractor. Cleanouts shall be the same size as the service lateral in which they are installed.

42.1. PVC sewer pipe shall be laid in accordance with ASTM D 2321 and the Uni-Bell plastic pipe association's "recommended practice for the installation of PVC sewer pipe."

42.2. DIP shall be installed in accordance with ANSI/AWWA C-600-xx

with stainless steel accessories or approved equal.

42.4. Manboles shall be set plumb to line and grade on firm subgrade

42.5. All openings and joints shall be sealed watertight.

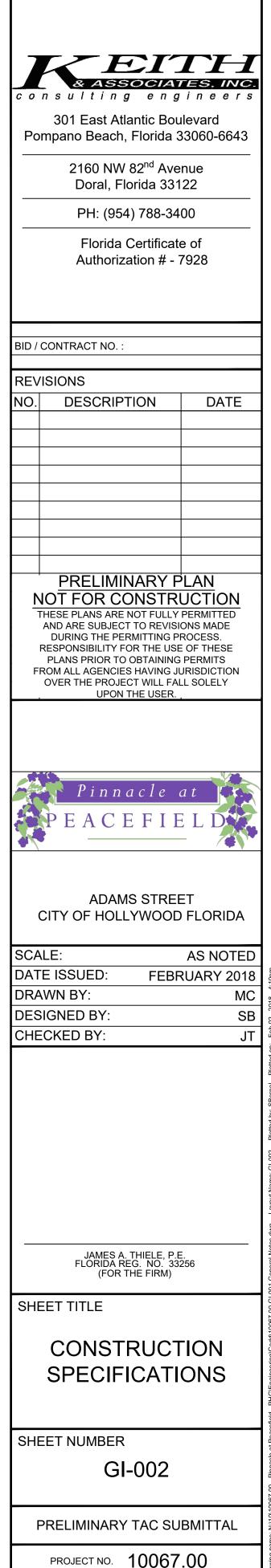
applied to the inside of all manholes and shall be applied in accordance with the manufacturer's specifications (16 mils per coat). Coating as required by utility owner or engineer shall be applied to the outside of the manhole. The interior coats shall be applied after sewer lamping of lines. After the application of each coat, the utility owner and engineer shall inspect the manholes. The inspection shall be scheduled a minimum of 48 hours prior to inspection.

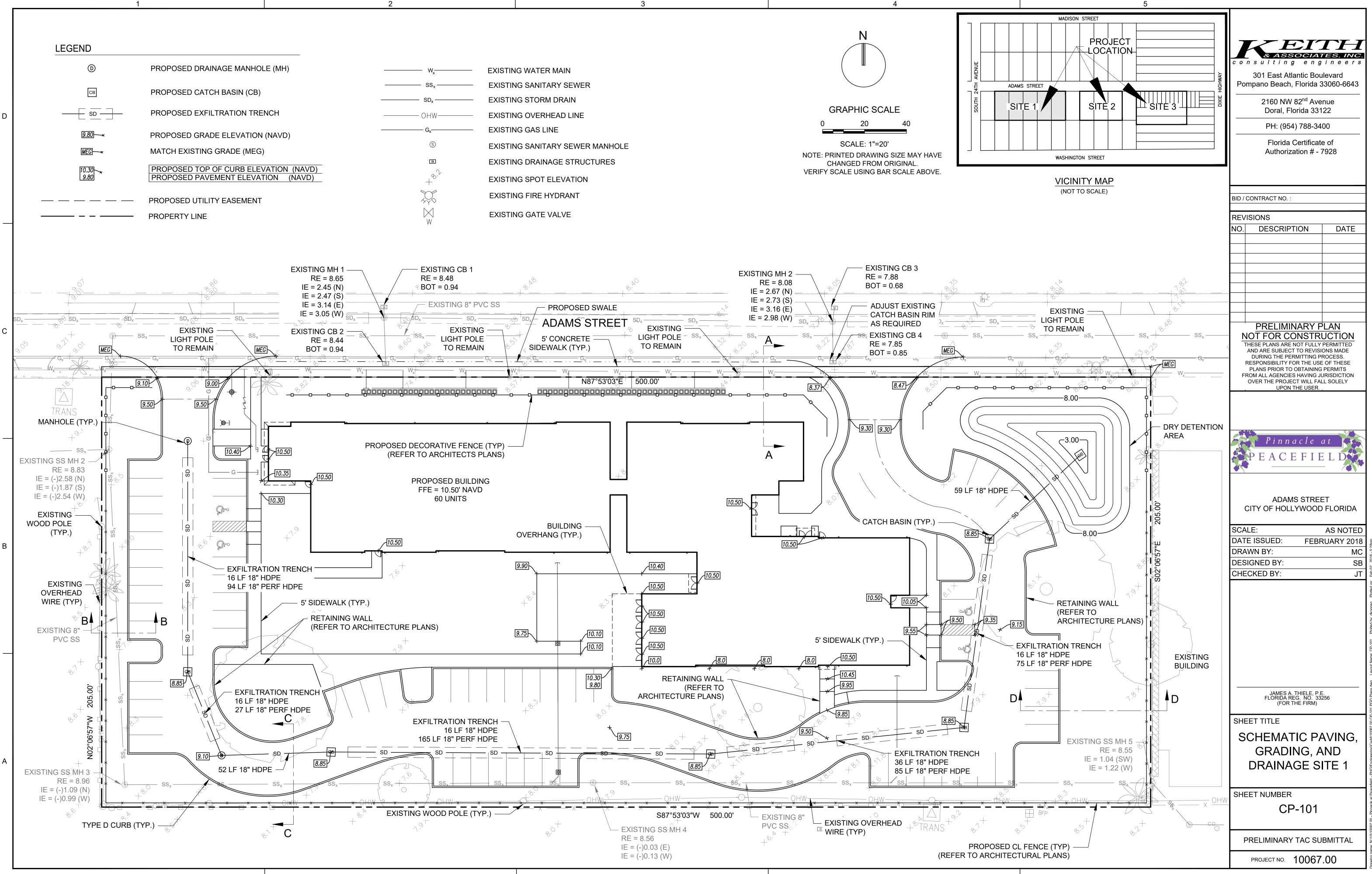
43. Testing: Testing of gravity sewer mains and laterals shall be in accordance with the utility owner's minimum design and construction standards latest revision.

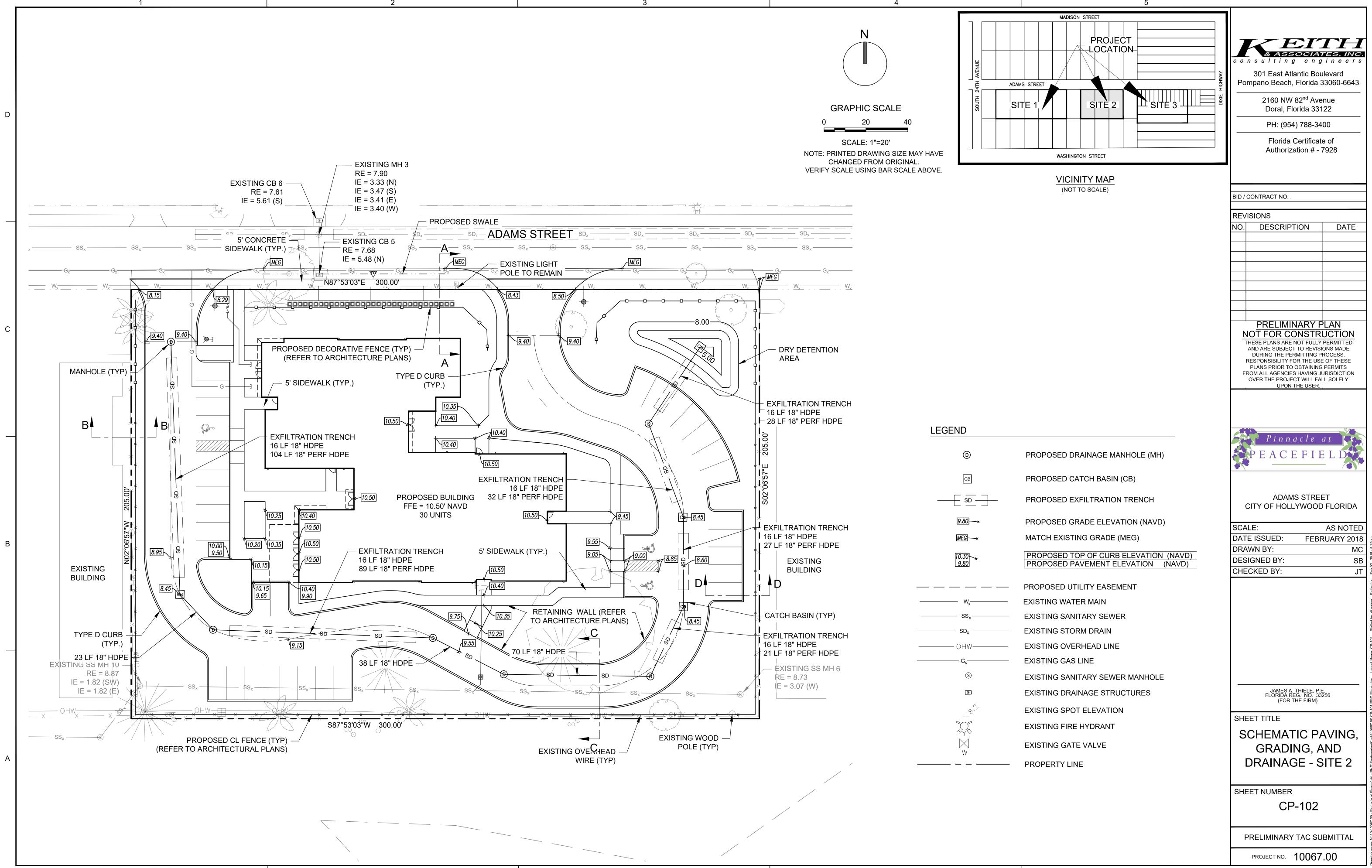
43.1. After construction of the sewer system, the engineer may require a visual infiltration and/or exfiltration test to be performed on the entire system or any part thereof.

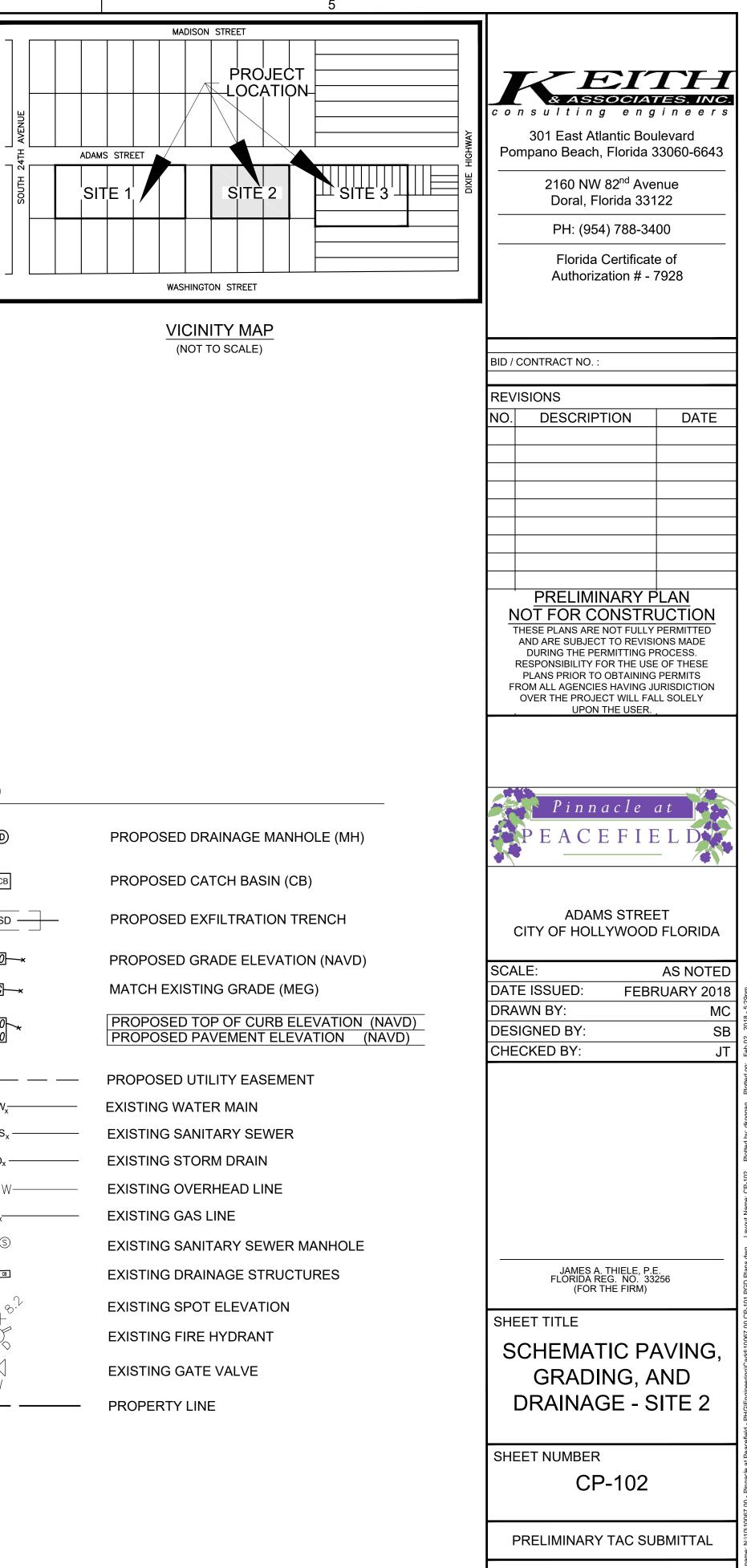
43.2. An air test may be substituted for the water exfiltration test, upon approval of the engineer.

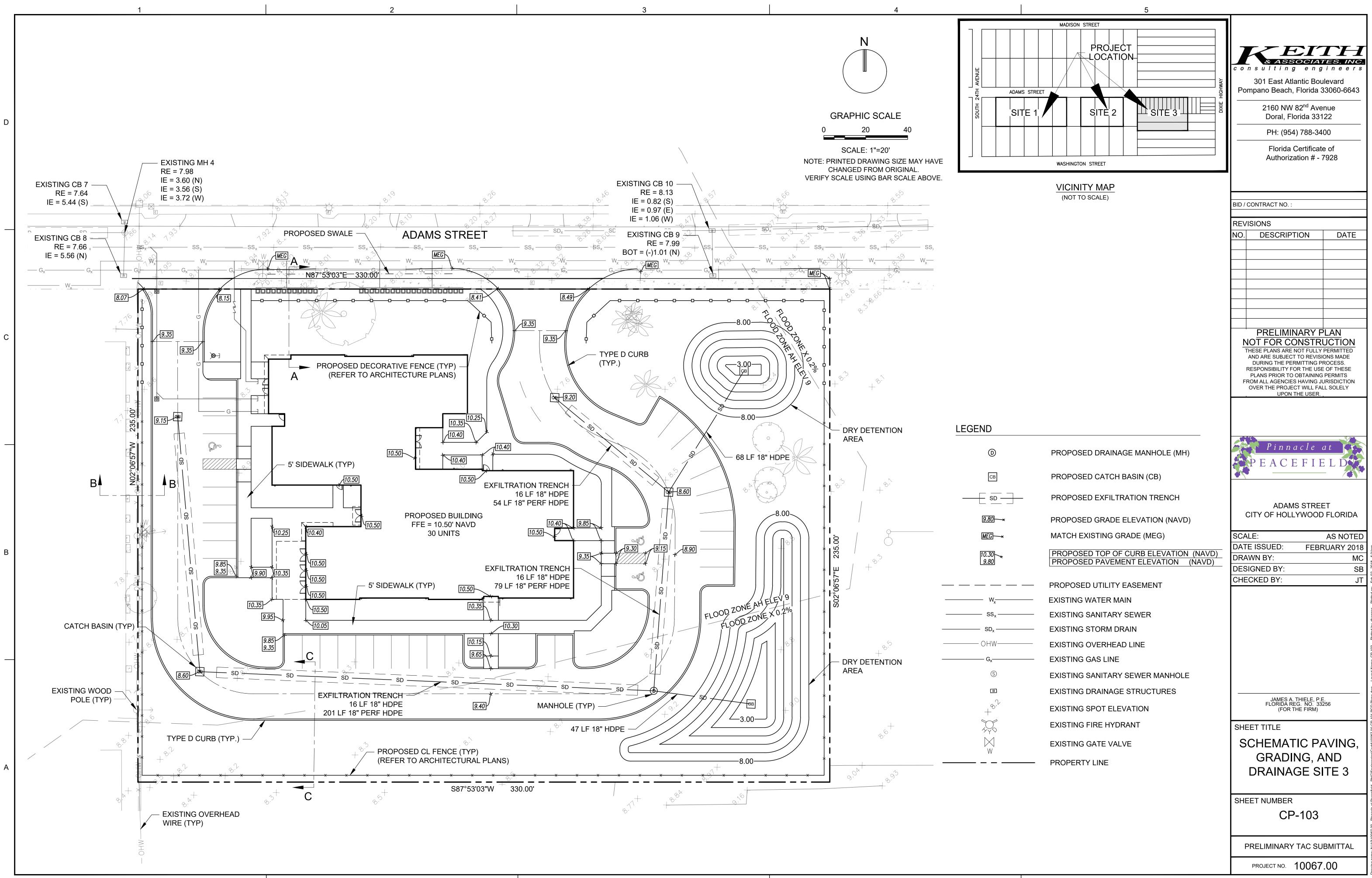
43.3. The allowable limits of sewer pipe leakage for gravity sewer mains shall not exceed 100 gallons per inch of inside pipe diameter per mile per day for any section tested. No visible leakage shall be allowed.

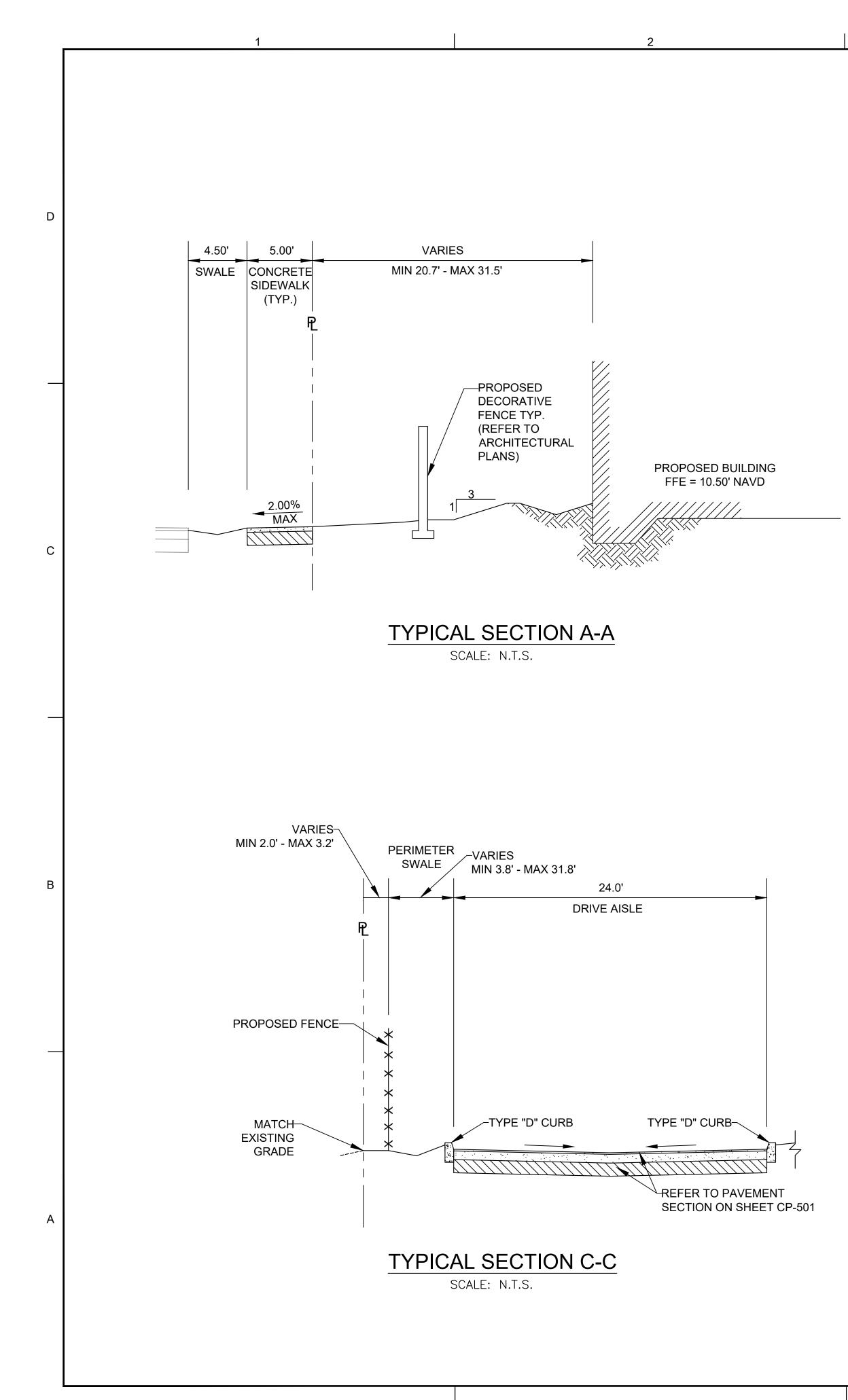


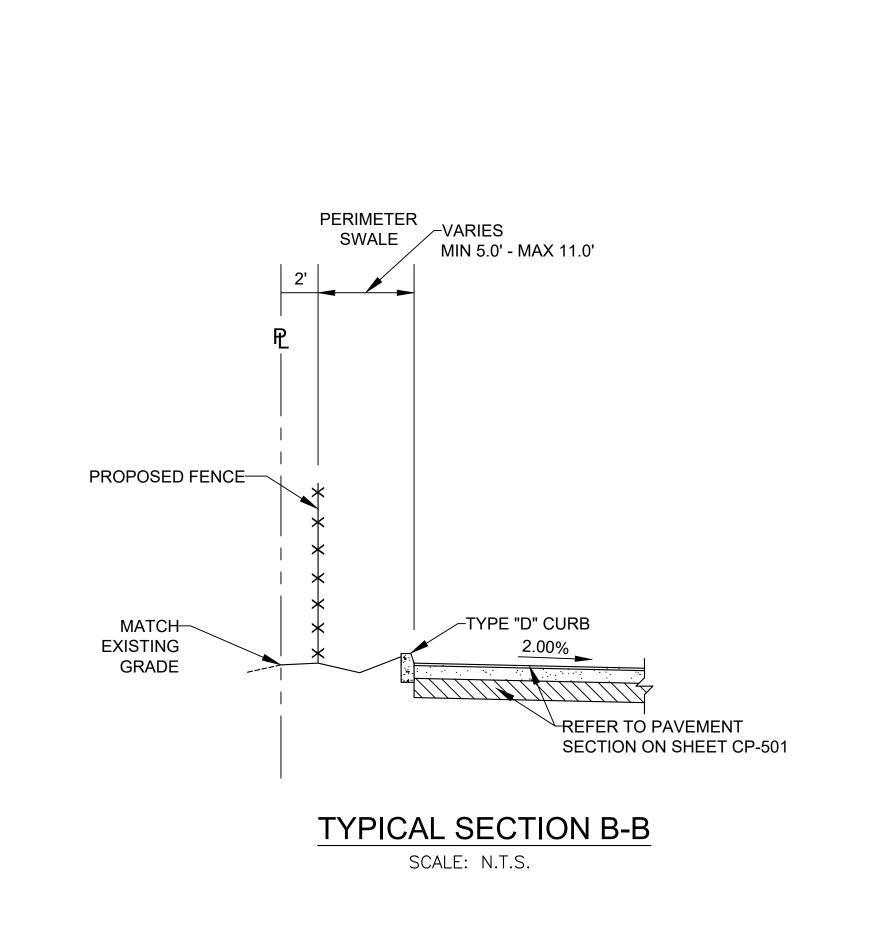


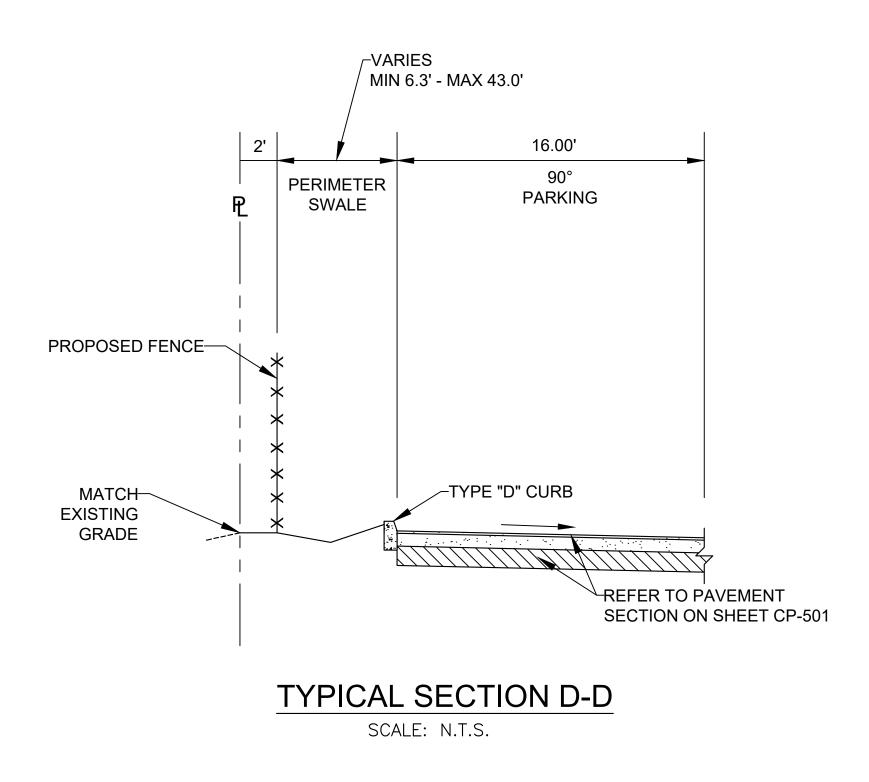












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GENERAL NOTES:

- 1. REFER TO SHEETS CP-101 THROUGH CP-103 FOR GRADES
- 2. GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD

