

## PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: December 4, 2017

Location Address: 4600 Hillcrest Drive (clubhouse)

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Folio Number(s): See attached list.

Zoning Classification: PUD - R Land Use Classification: Irregular Residential

Existing Property Use: Vacant former G.C. Sq Ft/Number of Units: 254

Is the request the result of a violation notice? ( ) Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Yes. Ord. 2017-09, Ord. 2016-09, & Reso. 2016-139,

- ☒ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☒ City Commission ☒ Planning and Development

Explanation of Request: Applicant requests approval to revise 254 of the approved platted 494 residential lots within the Phase 2 portion of the Parkview at Hillcrest community. 240 lots will remain as currently approved.

Number of units/rooms: 254 Dwelling Units Sq Ft: \_\_\_\_\_

Value of Improvement: \$9.6 million Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? (x) Yes ( ) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Pulte Home Company LLC

Address of Property Owner: 4400 PGA Boulevard, Suite 700 Palm Beach Gardens, FL 33410 (S.E. Fla. Division)

Telephone: 561-602-3253 Fax: \_\_\_\_\_ Email Address: matthew.nelson@pultegroup.com

Name of ~~Consultant~~ Representative/Tenant (circle one): Design & Entitlement Consultants, LLC.

Address: 1402 Royal Palm Beach Blvd. Suite 102 Royal Palm Bch, FL 33411 Telephone: 561-707-3410

Fax: \_\_\_\_\_ Email Address: ken@designandentitlement.com

Date of Purchase: 06/15/2016 Is there an option to purchase the Property? Yes ( ) No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_



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GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: 

Date: 10/20/17

**PRINT NAME:** Patrick Gonzalez, Vice President of Land Development

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: \_\_\_\_\_

**PRINT NAME:** Kenneth DeLaTorre, Design and Entitlement Consultants LLC.

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_

Date: \_\_\_\_\_

**Current Owner Power of Attorney**

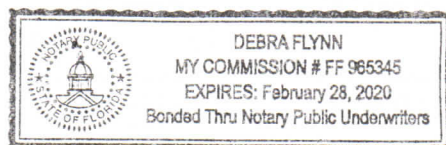
I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 20th day of October



Notary Public

State of Florida



  
Signature of Current Owner

Patrick Gonzalez  
Print Name

My Commission Expires: 2/28/20 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



# CITY OF HOLLYWOOD

## Technical Advisory Committee Submittal Checklist

### QUICK FACTS:

- Scheduled appointment with assigned Planner required for all submittals.
- No applications are automatically scheduled for ANY meetings. Application must be determined to be complete by Staff before any processing occurs.
- Each package SHALL be complete, folded, and stapled.
- Fee Calculation

Residential:  
\$2,287 + \$56 per unit

All others:  
\$2,287 + \$67 per 1,000  
gross sq. ft.

Fee will be paid twice  
(Preliminary and Final)

- TAC typically meets twice a month as follows (except for January, August, and December):

|       |       |
|-------|-------|
|       | 01/17 |
| 02/06 | 02/21 |
| 03/06 | 03/20 |
| 04/03 | 04/24 |
| 05/01 | 05/15 |
| 06/05 | 06/19 |
| 07/17 | 07/31 |
| 09/05 | 09/18 |
| 10/02 | 10/16 |
| 11/06 | 11/20 |
| 12/04 |       |

Meeting dates are subject to change.

- Prior to Final TAC, the Planning Division will provide one (1) original notification letter, envelopes, and signs for public notification. Mailing notification and property posting must be completed by the applicant at least ten (10) days prior to meeting date.

Provide 20 copies (unless otherwise specified) of complete 24" x 36" packages containing the items below and one complete package fully signed and sealed with all original documents. Incomplete applications will not be routed and will be postponed until all required components are submitted.

### Requirements for Preliminary Site Plan Review:

- ☒ General Application
- ☒ Application Fee
- ☒ Ownership and Encumbrance Report (O&E) (2)
- ☒ Cover Sheet with Location Map
- ☒ Certified Alta Survey
- ☒ Dimensioned Site Plan
- ☒ Dimensioned Building Elevations
- ☒ CD containing all documents listed above in PDF/JPG format (1)
- ☒ Dimensioned Typical Floor Plans (include all levels for parking garages)

### Requirements for Final Site Plan Review: (in addition to above items)

- ☒ Street Profile/Elevation (including adjacent buildings)
- ☒ Dimensioned Landscape Plans
- ☒ Dimensioned Schematic Paving, Grading and Drainage Plan
- ☒ Color Rendering
- ☒ Original Set of Color Chips (1)
- ☐ Wildlife Protection (if applicable)
- ☐ Written Responses to Preliminary TAC comments
- ☒ CD containing all documents listed above in PDF/JPG format (1)
- ☐ Public Notice: Mailing Notification and Property Posting Requirements (1)
- ☒ Criteria Statement(s) for each request indicating consistency with all applicable criteria found in Article 5 of the Zoning and Land Development Regulations which may include the following: *Variances, Design, and Special Exceptions* (Available online at [www.amlegal.com](http://www.amlegal.com)).

Please refer to Article 5 of the City of Hollywood's Zoning and Land Development Regulations for a detailed description of each item listed above or visit our website at [www.hollywoodfl.org](http://www.hollywoodfl.org)

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**Project Narrative**  
**ParkView at Hillcrest**  
**Phase 2 Replat Final Site Plan Application**  
**January 22, 2018**  
**Revised:**

**Introduction and proposed application**

This Final Site Plan Application is proposing three revisions to the currently approved site plan for the Hillcrest south Phase 2 plat. 1. A reconfiguration of certain residential areas within the south Phase 2 Plat of the Parkview at Hillcrest residential community is proposed. 2. Removal of certain home sites, due to easement locations. 3. This application also updates the plan in order to memorialize a land swap to the adjacent Charter School, The Championship Academy of Distinction. This application is being filed on behalf of Pulte Home Corporation. The south Phase 2 Plat of Parkview at Hillcrest is located north of Pembroke Road and is just south of Hillcrest Drive. The south Phase 2 plat is approximately 136 acres.

Pulte Homes is currently constructing and selling homes within the Phase 1 plat, that is located just north of Hillcrest Drive. In an effort to address the requests of prospective homebuyers and the market, Pulte Homes is proposing reconfiguration of certain areas within the south Phase 2 plat of the Hillcrest community to introduce new home styles. Pulte is proposing the addition of a fifty (50') wide single family lot, as well as replacing certain single family attached / townhomes with a different single family attached / townhome product. Besides the addition of the new 50' single family lots, all of the previously approved single family attached / townhomes removed in Phase 2 are the garage rear loaded townhome styles. These rear loaded homes are being replaced by more traditional front loaded townhomes. In the areas that Pulte is not proposing a reconfiguration of the development areas, these areas will remain consistent with the original site plan approval as well as the approved Phase 2 plat for Hillcrest. This Phase 2 sub phase area will remain consistent for Pulte's home sales plan for the upcoming fiscal year of 2018. The area that will remain consistent with the original site plan approval and Phase 2 plat is located just south of the primary entrance into Phase 2. This area contains 215 lots of the entire approved 494 within the south Phase 2 plat. A Phasing Plan has been submitted with this application to distinguish the sub phase areas to remain and the areas to be reconfigured. The remaining 279 residential home sites is what is being proposed to be reconfigured with this application. These lots are located within the sub Phase 3 and sub phase 4 areas. These additions and replacements, of new home styles, will warrant a replat of these areas. This replat application will be submitted at a later date, but concurrently with this application so that all applications can be on the same public hearing schedule. All proposed reconfigurations of the site, to incorporate these new Homestyle's, fall within the residential development area that has Irregular residential land use. No expansion of the residential development area is being proposed with this application. A graphic is attached to this document, as Exhibit A, which indicates the areas of the south Phase 2 plat, which will remain consistent with the original site plan approval and plat.



Within the residential area that is to remain consistent with the previously approved site plan and south Phase 2 plat (FY 2018 lots), there are certain lots that are encumbered by easements in favor of either FDOT or FPL. The first easement is a six (6) foot FPL easement that runs from the north condominium building and bisects the Hillcrest Passive Open Space area and then runs diagonally and along the east buffer within the south Phase 2 area. This application is proposing to remove any home sites that are encumbered by this FPL easement. While this application is being processed, Pulte acknowledges that permits will not be issued for the lot encumbered by this easement. Originally it was proposed to relocate this easement, but the process and cost with FPL has proved to be cost prohibitive and time consuming. Therefore, this application is proposing to remove the home sites encumbered by this easement and the easement will remain.

Next, FDOT has drainage rights for Pembroke Road within the existing lakes and drainage easements on the Phase 2 portion of the property. This process is underway and will take much time to complete. Upon completion of this process with FDOT, the drainage for Pembroke will be incorporated within the proposed lake drainage system, within Parkview at Hillcrest community. The existing pipe and easement location just north of Pembroke will remain and the drainage system will be reconfigured to be rerouted and incorporated within the proposed lakes. While this application is being processed, Pulte Home acknowledges that the home sites that are encumbered by the existing easement will not have permits released within the Phase 2 portion. A graphic of these lots is attached to this document, as Exhibit B, indicating the lots that will not have permits issued, within the portion of Phase 2 that will remain consistent with the original site plan approval and south Phase 2 plat.

Finally, this application will also include a memorialization of the additional land areas that were swapped with the Championship Academy of Distinction that is adjacent to the south Phase 2 portion of the community. Approximately an additional 1 acre of property was provided for school usage in the rear / west of the charter school. A forty (40) foot landscape buffer will separate the charter school open space area from the Hillcrest Passive Open space area. This 40' buffer will have a six (6) foot berm with a fence and landscaping on either side of the fence. This additional land area provided to the charter school resulted in a decrease of the Hillcrest Community Passive Open space by approximately 1.07 Acres. The site data on the submitted plan set indicates this reduction. The remaining acreage of the Hillcrest Passive Open Space Area still exceeds the commitments made to the surrounding Hillcrest community.

### **Surrounding Properties and Compatibility**

The Parkview at Hillcrest residential community is compatible with the existing residential uses surrounding it. The buffer areas that were approved with the original Site Plan approval have not been revised or reduced in any way. In the locations where additional property was provided to the charter school a forty foot buffer is proposed to provide separation with the Hillcrest Passive Open Space area. In the areas where the residential development areas are proposed to be reconfigured, the required minimum 30' PUD setback to all proposed structures within the project has been maintained. Within this 30' PUD buffer transition area, landscape buffers are proposed as transition. A summary of zoning and land uses of surrounding properties is provided below:

| <b>Adjacent property to the:</b> | <b>Land Use Designation</b>   | <b>Zoning Designation</b> | <b>Existing use(s) of Property</b>                             | <b>Approved use(s) of Property</b>   |
|----------------------------------|---|---------------------------|--|--------------------------------------|
| NORTH                            | Low Residential (LRES) & Medium Residential (MRES)                                    | RS-5 & PUDR               | Hollywood Hills & Hillcrest Condos.                            | Residential                          |
| SOUTH                            | Industrial (IND), Medium Res. (MRES) & Parks & Open Space (OSR)                       | IM-1, PUDR & GU           | Industrial, Hillcrest Condos and Broward School Dist. Property | Industrial, Residential & School     |
| EAST                             | Medium Residential (MRES), Industrial (IND), Community Facility (COMFAC), & Utilities | PUD-R, IM-1, & GU         | Condo residential, Industrial & government use                 | Residential, industrial & government |
| WEST                             | Medium Residential (MRES), Low Residential (LRES) & Parks and Open Space (OSR)        | PUD-R, RM-18, RS-5 & GU   | Residential & Broward School Dist. Property                    | Residential & School                 |

### **Application Requirements**

The following is a brief summary of how the proposed Parkview at Hillcrest Phase 2 Plat reconfiguration application submittal conforms to the application requirements of City of Hollywood PUD Code Article 4.16, as well as the Technical Review Standards of Final Site Plans within Article 6, Section II, 6.23.

#### **A. Natural Environment**

**1. Have existing trees and other landscape features, to the maximum extent possible, been preserved in their natural state and additional landscape features provided to enhance architectural features, to relate to structural design to the site and to conceal unattractive uses?**

- i. Response:** The +/- 70 acre Hillcrest Community Passive Open Space was reduced by approximately 1 acre due to the additional property provided to the Charter School for open space use. The remaining acreage of the Hillcrest Passive Open Space Area still exceeds the commitments made to the surrounding Hillcrest community. Besides this minor reduction, the Hillcrest Passive Open is consistent with the original approved location within the areas that have Open Space and Recreational land use. As previously approved, this passive park that can be utilized by the existing Hillcrest Condominium community, as well as the new proposed residential community. Since the existing golf course had many existing trees in areas where the golf course will be converted to the Passive Open Space, efforts will be made to preserve the trees in place, per City Code Requirements. Approved landscape plans and mitigation plans will be completed and consistent with the approvals.



Trees located in any portion of the residential community will be relocated, per the approved landscape plans on file

**2. Have the city's tree protection regulation in Chapter 105 landscape regulations and other applicable city regulations been fully complied with as minimum standards?**

- i. **Response:** No revisions to the previously approved landscape plans for the Hillcrest Passive Open Space area is proposed with this application. All previously approved preservation, relocation and mitigation will be consistent with plans on file.

**B. Open Space**

**1. Are required open space areas adequate to meet the particular needs of the PUD?**

- i. **Response:** In accordance to Hollywood PUDR code section 4.16, PUD's are to provide a minimum of 20% open space, which does not include lake areas. According to the gross acreage of the proposed Hillcrest redevelopment, this minimum is approximately 33.85 acres. The open space number has increased with this application. The justification for the increase in open space is that many of the rear loaded townhomes, in Phase 2, which had more impervious areas due to rear loaded alleys have been removed and replaced with more traditional front loaded single family attached / townhomes. This resulted in more open space for yards for the single family attached / townhome lots.

**2. Have all legal documents required by division E.10 herein, to assure preservations maintenance of required open space areas been submitted to and approved by to City Attorney?**

- i. **Response:** A Declaration of Restrictive Covenant has been recorded with Broward County, which restricts the Hillcrest Passive Open Space area to open space use only. This document was recorded on September 27, 2016, per Instrument number 113956147, Pages 1 through 36. This document was a requirement with Broward County as part of the approved Land Use Plan Amendment to modify the land use of the portion of the south plat to Irregular Residential.

**3. Is the type and distribution of open space substantially related to the character, intensity and anticipated residential or user composition of the PUD?**

- i. **Response:** Yes. The Hillcrest Community Passive Open Space is proposed to provide passive recreational opportunities for the surrounding Hillcrest Condo residents, as well as the new residential community. Connectivity is a focus of the fitness trail that is proposed within this Passive Open Space Area. This trail will connect to key locations for secured access by the Hillcrest residents. In addition, this

trail will also connect to the proposed walkway within the new residential development.

**4. Are open space areas located so as to:**

**i. Enhance internal spatial relationships between proposed structures?**

- 1. Response:** Yes. As indicated, pedestrian connectivity with the surrounding Hillcrest Community and roadways is a focus of the Hillcrest Community Passive Open Space area. The proposed 8' fitness trail also provides access to gazebo structures located throughout the Community Passive Open Space area for passive recreational opportunities.

**ii. Provide buffers between the PUD and adjacent less intensive uses?**

- 1. Response:** As required by Hollywood Code Section 4.16, PUD Perimeter requirements, a 30' transitional setback is indicated and provided for on the approved site plan. This setback will remain consistent within the areas proposed to be reconfigured and any new residential home sites will comply with this setback. Within this 30' transitional setback area, landscape buffering has been approved with the original Site Plan application.

**iii. Facilitate pedestrian movements within the PUD?**

- 1. Response:** Pedestrian connections were approved with the original Site Plan application to provide connectivity within the residential community, as well as to surrounding existing walks within the surrounding roadways. In areas where the residential area is proposed to be reconfigured, walkways have been provided and will connect to the locations previously approved.

**iv. Improve the overall visual quality of the site?**

- 1. Response:** The proposed redevelopment will vastly improve the visual quality of the site. In the areas where the residential community is proposed to be revised, alleys for rear loaded garages were removed and replaced with traditional front loaded townhomes. Less pavement and impervious area is proposed with this application, which increases visual quality of the community. No residential home sites will be greater than two stories within the Parkview at Hillcrest community.

**v. Permit easy access for all residents or users within the PUD?**

- 1. Response:** All surrounding Hillcrest Condo residents will have access to the Hillcrest Community Passive Open Space. As indicated, access will be secured with the use of fencing and



gates for the secured use of the surrounding and proposed residents.

**vi. Related in a compatible manner to other uses within the PUD?**

- 1. Response:** Access points, into the Hillcrest Passive Open Space Area, have been located in strategic locations for ease of access by surrounding Hillcrest Condo residents. Locations were chosen based upon existing site conditions for the surrounding residential properties.

**vii. Complement nearby public recreational activities and facilities?**

- 1. Response:** Pedestrian connectivity is provided within the new residential development, as well within the Hillcrest Community Passive Open Space to surrounding roadways and public walkways. This will give the Hillcrest residents the ability to have pedestrian connection with surrounding areas. In areas proposed to be reconfigured, pedestrian access is still provided to connect to other areas of the community as well as to the surrounding public walkway system.

**5. Circulation and parking**

**i. Is there a clearly defined vehicular circulation system which allows free movement within the PUD, while discouraging excessive speed?**

- 1. Response:** Parkview at Hillcrest will have controlled vehicular access through private entrances into each community. Entrances will have a combination of vehicular gates with the use of a call box for access by guests. Once within the residential development a private 40' residential access street (R.A.S.) will provide access to the single family development. This 40' private residential access street will also connect to the 24' roadway to access the fee simple single family attached / townhome section of the community. The residential areas that are proposed to be reconfigured will maintain this existing roadway access and width, as previously approved. All private roadways will be the maintenance responsibility of the proposed homeowners association.

**ii. Are pedestrian and vehicular circulation systems separated insofar as practicable?**

- 1. Response:** The internal pedestrian walkways, within the 40' residential access streets, are separated from the vehicular areas with a 6' wide swale area. In addition, the walkways provide connectivity from guest spaces along the roadways to the proposed single family attached / townhomes. Guest spaces will be provided, as well, for the new areas reconfigured. Pedestrian crosswalks are proposed throughout for additional pedestrian

safety. Please refer to the roadway cross section as provided within the detail sheet of the submittal package.

**iii. Do the streets comply with all applicable codes and ordinances and are pavement widths and access points to peripheral streets adequate to serve the proposed PUD and compatible and functional with circulation systems outside the PUD, and is there adequate lighting to serve public use?**

- 1. Response:** The proposed internal private roadways will connect to the surrounding public roadways in accordance to City requirements. In addition, all internal walkways will connect to the surrounding existing walkways within the public roadways within the Hillcrest community. Street lights will be provided within the residential development for safety. As required by City code, the maximum foot-candle level of .5 foot-candles will be maintained adjacent to surrounding residential uses.

**iv. Are dwelling units located on residential streets or courses which are designed to discourage nonlocal through traffic, where possible?**

- 1. Response:** The residential access streets within the proposed residential developments are private roadways. Non local through traffic is not feasible since the residential community will have gated entrances which will restrict vehicular access.

**v. Are off street parking areas adequate to accommodate maximum vehicular storage demands for the PUD and located and designed to create compatible visual relationships?**

- 1. Response:** Per Article 7, the minimum required parking has been exceeded within the proposed residential development. The new proposed 50' single family units will be consistent with the previously approved single family home sites and have two garage spaces as well as two driveway spaces, which exceed the code minimum of two spaces per unit. The fee simple single family attached homes / townhomes have a mix of single car garage and two car garage units. Based upon the garage space (single or double) the minimum number of parking spaces is either met or exceeded. Finally, the proposed number of guest spaces exceeds the minimum requirement of 1 space per 5 multifamily units. See site plan for tabular breakdown.

**vi. Is there safe and efficient access to all areas of the PUD for emergency and service vehicles?**

- 1. Response:** Knox boxes will be provided at each of the gated entrances for access by emergency service vehicles. In addition, turn around areas and cul de sacs area designed to allow for access by emergency vehicles.



**vii. Do sidewalks, if required, comply with the city's code and ordinances and are there enough adequately lighted and designed pedestrian paths to efficiently circulate pedestrian traffic?**

- 1. Response:** As previously indicated internal pedestrian walks will provide connectivity to the fitness trail within the Hillcrest Community Passive Open Space area as well as surrounding public walk way areas.

**6. Community services and utilities**

**i. Generally, is the PUD designed and located so as to insure the adequate provisions, use, and compatibility of necessary community services and utilities?**

- 1. Response:** Preliminary utility plans are included within this application. The approved engineering plans on file are proposed to be updated with the submitted plans, which indicate designs in the residential areas to be reconfigured. The utility plans were designed in accordance to City of Hollywood standard requirements to provide services to the proposed community.

**ii. Are there adequate sanitary sewer collection system, including all necessary extensions and connections, in accordance with city standards for locations and design?**

- 1. Response:** Preliminary utility plans are included within this application. The utility plans were designed in accordance to City of Hollywood standard requirements to provide services to the proposed community. The proposed sewer collection system was designed by Kimly Horn, the project engineer, with coordination of the City Utilities department in order to make connections with existing infrastructure. The approved engineering plans on file are proposed to be updated with the submitted plans, which indicate designs in the residential areas to be reconfigured.

**iii. Are sanitary sewage treatment and disposal systems available in accordance with city and state standards and regulations?**

- 1. Response:** Yes. The proposed sewer collection system will connect to the surrounding existing sewer collection system.

**iv. Is there an efficient solid waste collections system, including provision of an adequate number of local receptacles in locations which afford maximum use and collection convenience?**

- 1. Response:** Yes. Curbside pick-up is proposed within the proposed residential development.

**v. Will the safety of all persons within the PUD be insured by a well-designed internal system for fire protection, including the provision of an adequate number of properly located fire hydrants?**

- 1. Response:** Yes. As part of the submittal package, preliminary water and sewer plans are included. These plans will indicate the total number of fire hydrants to meet the requirements of the City of Hollywood as well as the Fire Marshal. The approved engineering plans on file are proposed to be updated with the submitted plans, which indicate designs in the residential areas to be reconfigured.

**vi. Is the proposed store drainage system adequate to collect and dispose of runoff in view of the amount of impervious ground coverage in the PUD, as well as compatible with existing off site systems?**

- 1. Response:** Yes. As part of the submittal package, preliminary paving and grading plan are included for review. Onsite lakes and dry retention areas have been designed to address the drainage of the proposed residential community. The drainage system will outfall to the existing City drainage system in locations indicated within the paving and grading plans.

**vii. Are all utility line to be installed underground?**

- 1. Response:** Yes. Any existing onsite utilities will also be relocated and installed underground.

**7. Building and other structures**

**i. Are proposed buildings and structures related harmoniously to the terrain, other buildings and surrounding neighborhood, so that the height, size, scale, style, color or texture of structures create compatible physical or visual relationships?**

- 1. Response:** Yes. The proposed 50' single family will be a mix of single story and two story units. The single family attached / townhomes will be two story. The maximum height of all proposed buildings within the redevelopment is 35.' The proposed single story and two story dwelling units will provide the least impact to the surrounding existing high rise condominium units. From a scale perspective the proposed single family and townhomes are much less than the surrounding high rise condominium buildings.

**ii. Is a desirable level of privacy incorporated into the design go individual dwelling units and related outdoor patio and living areas?**

- 1. Response:** Each lot is designed to have its own patio area for outdoor use of each residential lot. Pools (single family only),

lanais, and screen houses are also proposed for the use of each residential lot. The larger 50' single family lots will have larger rear yard areas for use and enjoyment by prospective home buyers. In addition, due to the reconfiguration of certain areas of the residential areas, the deletion of rear alleys provides more lot area for enjoyment by single family attached / townhome lot residences.

**iii. Are permanent outdoor identification features which are intended to call attention to proposed projects and or structures designed and located as an integral part of the total project and or structural design?**

**1. Response:** The applicant received approval for residential monument signs as part of the original Site Plan approval application.

**iv. Are such identification features of no greater size and scale than are necessary for recognition from vehicles moving along adjacent streets are prescribed legal speeds?**

**1. Response:** Per Article 8 of the City Sign Regulations, the maximum sign face will be 25 square feet. Please refer to the detail within the detail sheet. The sign detail indicates this maximum square footage requirement.

**8. Nonresidential uses**

**i. N/A.**

**9. Phased submission of site plan**

**i. The applicant shall be required to submit a phased site plan to specify the order of development.**

**1. Response:** The revised Phasing Plan is included with this submittal. As previously indicated, the south Phase 2 Phasing Plan has been revised in order to incorporate new residential home sites in future sub phases. A sub phase portion of the original approved Phase 2 area is to remain consistent with the original approved site plan and plat for the south Phase 2 portion of the community. A revised sub phase plan is included with this submittal which indicates the Phase 3 and 4 sub phases which are the areas proposed to be reconfigured.

**10. Levels of service standards**

**i. For the purpose of the issuance of development orders and permits, the city has adopted level of service standards for public facilities and services which include roads, sanitary sewer, solid waste, drainage, potable water and parks and recreation. All applicants are**

**required to prove concurrency pursuant to the City's Comprehensive Plan and F.S. Chapter 163 as amended from time to time.**

- 1. Response:** The applicant is not proposing an increase in the number of units. Rather, a reconfiguration of the units within the approved 494 homes within the south Phase 2 plat of the residential community. Concurrency was addressed with the original site plan approval as well as the plat approval for the project.

#### **11. Other requirements**

- i. Requirements and recommendation as provided in the city tree and landscape regulations shall be observed as will the requirement of all applicable standards and regulations.**

- 1. Response:** A landscape plan was approved with the original Site Plan application, which addressed the City landscape regulations and standards.

#### **Hollywood Code Deviation / Flexible Regulation Requests**

The following is a brief summary of certain deviations from certain standard property development regulations of the Hollywood Land Development Code that the applicant is requesting that would be allowable within the PUD-R zoning category.

##### **A. Sales Center and Model Park**

- 1. Request:** The applicant would like to request the ability to permit and construct dry models, a sales and model center for the south Phase 2 plat, prior to the final plat approval. Upon completion of Phase 1 home sales, the applicant will close the sales center approved with the original Site Plan application and transition to the proposed Sales Center within the south Phase 2 plat, which will be located just west of the southern roundabout just south of the main entrance into the south community.
- 2. Justification:** The applicant is attempting to start sales operations as early as possible in order to begin sales prior to the re-platting process, which can take several months through Broward County.

On behalf of Pulte Home Corporation, Design and Entitlement Consultants, LLC. respectfully requests approval of this Final Site Plan Application to reconfigure the south Phase 2 Plat of the Parkview at Hillcrest residential community.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kenneth DeLaTorre', with a long horizontal flourish extending to the right.

Kenneth DeLaTorre  
Design and Entitlement Consultants, LLC.

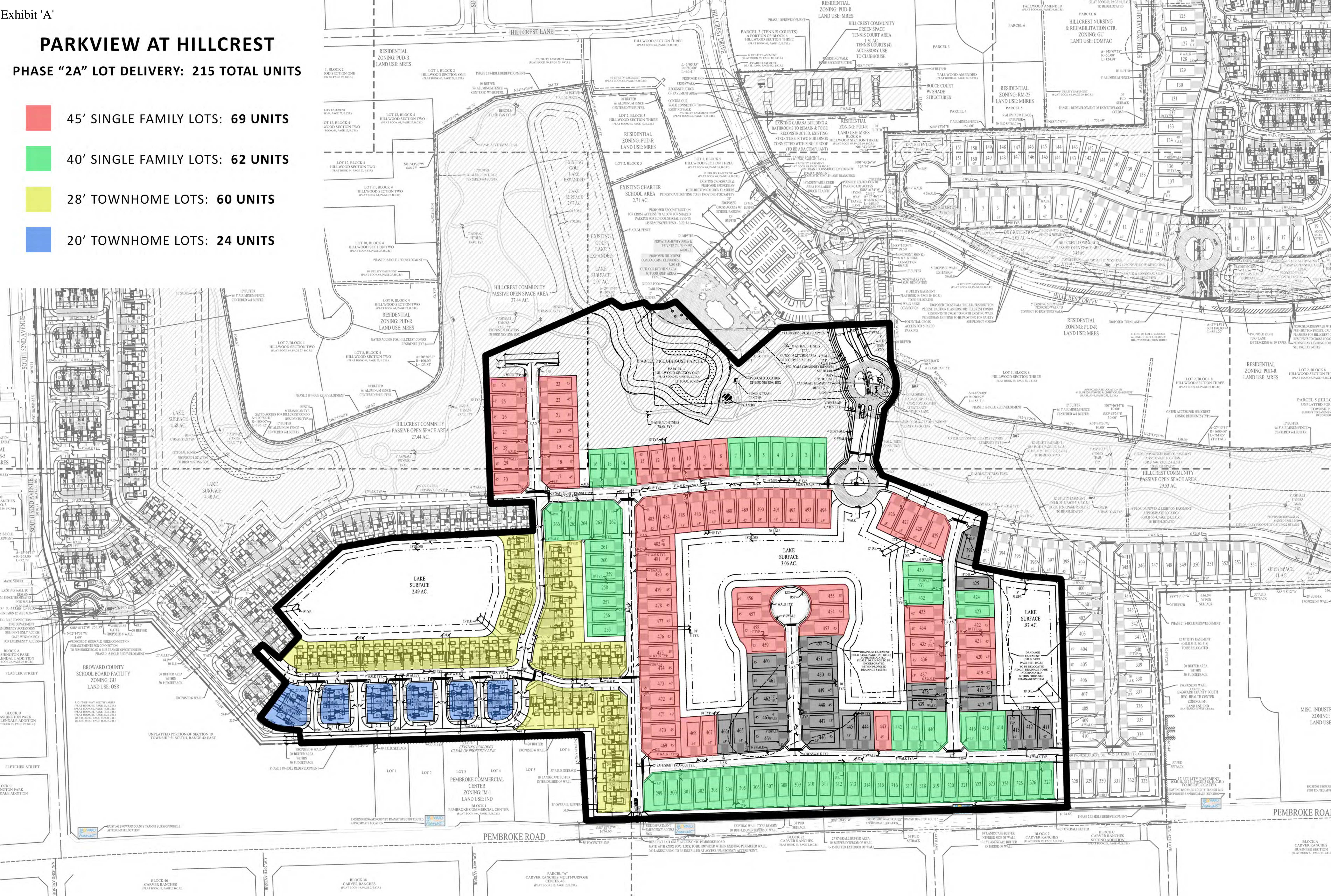
CC: Patrick Gonzalez, Pulte Group  
Andrew Maxey, Pulte Group  
Matt Nelson, Pulte Group



# PARKVIEW AT HILLCREST

## PHASE "2A" LOT DELIVERY: 215 TOTAL UNITS

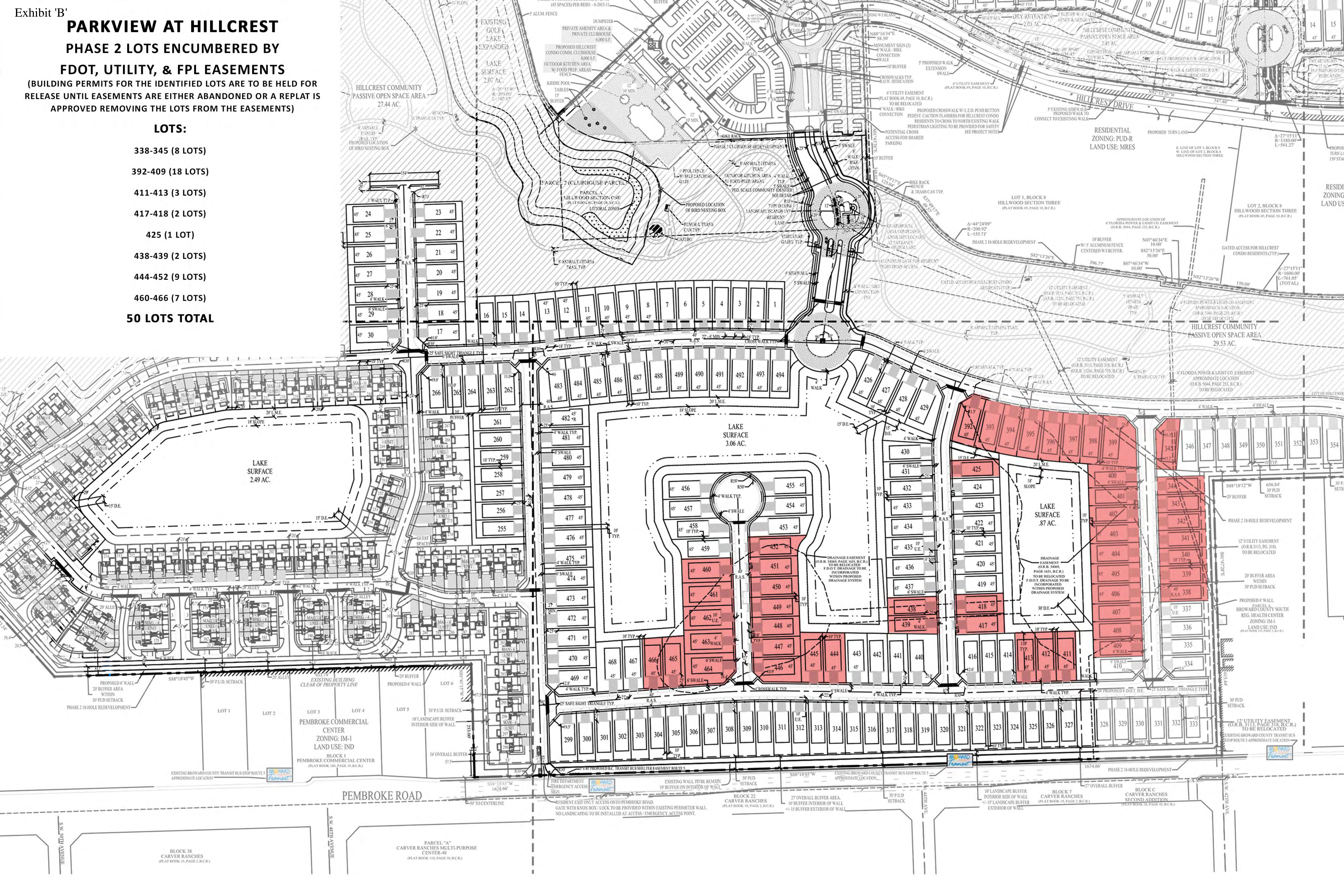
- 45' SINGLE FAMILY LOTS: 69 UNITS
- 40' SINGLE FAMILY LOTS: 62 UNITS
- 28' TOWNHOME LOTS: 60 UNITS
- 20' TOWNHOME LOTS: 24 UNITS





**PARKVIEW AT HILLCREST**  
**PHASE 2 LOTS ENCUMBERED BY**  
**FDOT, UTILITY, & FPL EASEMENTS**  
(BUILDING PERMITS FOR THE IDENTIFIED LOTS ARE TO BE HELD FOR  
RELEASE UNTIL EASEMENTS ARE EITHER ABANDONED OR A REPLAT IS  
APPROVED REMOVING THE LOTS FROM THE EASEMENTS)

- LOTS:**
- 338-345 (8 LOTS)
  - 392-409 (18 LOTS)
  - 411-413 (3 LOTS)
  - 417-418 (2 LOTS)
  - 425 (1 LOT)
  - 438-439 (2 LOTS)
  - 444-452 (9 LOTS)
  - 460-466 (7 LOTS)
- 50 LOTS TOTAL**



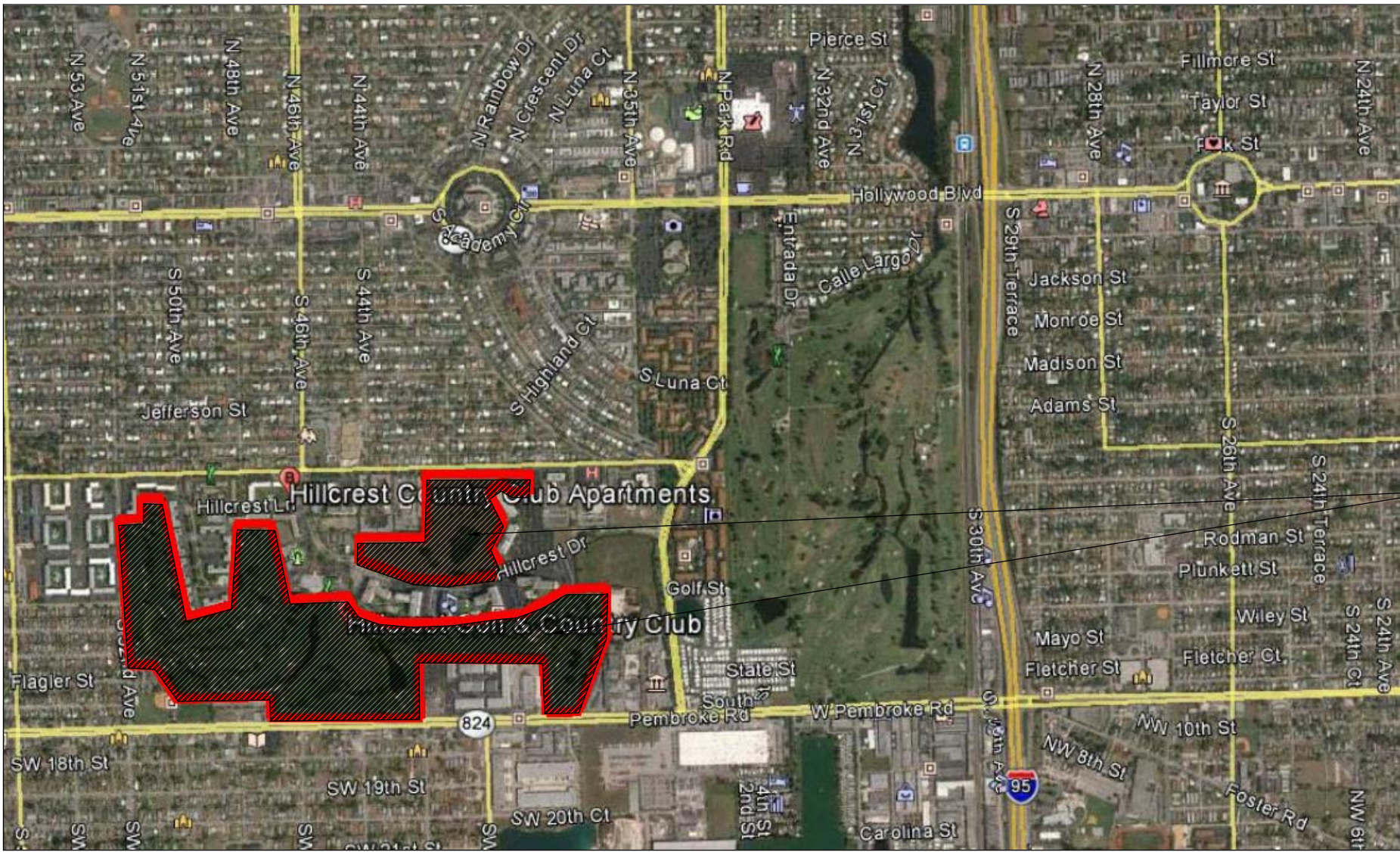


LEGAL DESCRIPTION:  
PHASE 1 NORTH PLAT (FORMER EXECUTIVE GOLF COURSE):  
ALL OF THE HILLCREST COUNTRY CLUB NORTH PLAT AS RECORDED IN PLAT BOOK 183, PAGES 16 - 24.  
PHASE 2 SOUTH PLAT (FORMER 18 HOLE GOLF COURSE):  
ALL OF THE HILLCREST COUNTRY CLUB SOUTH PLAT AS RECORDED IN PLAT BOOK \_\_\_, PAGES \_\_\_\_\_.



ARCHITECTURAL PLAN SET  
HILLCREST COUNTRY CLUB  
REDEVELOPMENT  
4600 HILLCREST DRIVE  
HOLLYWOOD, FL. 33021

LOCATED IN SECTION 19 & 20, TOWNSHIP 51 SOUTH,  
RANGE 42 EAST, BROWARD COUNTY, HOLLYWOOD, FLORIDA



LOCATION MAP

**PROPERTY OWNER INFORMATION:**  
PULTE GROUP  
4400 PGA BOULEVARD, SUITE 700  
PALM BEACH GARDENS, FL. 33410  
**LAND PLANNER/SITE PLANNER:**  
DESIGN AND ENTITLEMENT CONSULTANTS, LLC  
1402 ROYAL PALM BEACH BOULEVARD, SUITE 102  
ROYAL PALM BEACH, FL. 33411

**LANDSCAPE ARCHITECT**  
PARKER YANNETTE DESIGN GROUP  
825 U.S. HIGHWAY 1, SUITE 330  
JUPITER, FL. 33477

**ENGINEER OF RECORD & TRAFFIC CONSULTANT:**  
KIMLY HORN AND ASSOCIATES  
800 NORTH PINE ISLAND ROAD, SUITE 450  
PLANTATION, FL. 33324

**ARCHITECT:**  
PULTE GROUP ARCHITECTS  
24311 WALDEN CENTER DRIVE, SUITE 300  
BONITA SPRINGS, FL. 34134

**SURVEYOR:**  
CAUFIELD & WHEELER  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FL. 33434

**ENVIRONMENTAL:**  
EW CONSULTANTS  
601 HERITAGE DRIVE, SUITE 108  
JUPITER, FL. 33458

**SOIL REMEDIATION:**  
AYDEN ENVIRONMENTAL  
131 WEST SOUTH STREET  
SMYRNA, DE 19977

**LAND USE ATTORNEY:**  
GRAY ROBINSON  
33 S.E. 2ND AVENUE, SUITE 3200  
MIAMI, FL. 33131

**SHEET KEY**  
ARCHITECTURAL PLANS

PRE-APP / PACO DATE: SEPTEMBER 5, 2017  
T.A.C. DATE: \_\_\_\_\_  
FINAL T.A.C. DATE: \_\_\_\_\_

PLANNING & ADVISORY BOARD MEETING DATE: \_\_\_\_\_  
CITY COMMISSION MEETING 1ST READING DATE: \_\_\_\_\_  
CITY COMMISSION MEETING 2ND READING DATE: \_\_\_\_\_



# FIFTH AVENUE



FLORIDA ZONE

24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800

INDEX, HOUSE DATA, GEN. NOTES

|                        |                    |
|------------------------|--------------------|
| PRODUCTION MANAGER     |                    |
| ---                    |                    |
| CONTROL DATE: 07/18/16 |                    |
| REV #                  | DATE / DESCRIPTION |
| △                      | --                 |
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| △                      | --                 |
| △                      | --                 |

PROJECT TYPE  
SINGLE FAMILY

COMMUNITY NAME  
MASTER

GARAGE HANDING  
LEFT

VERSION NUMBER  
1.0

PLAN NAME  
FIFTH AVENUE  
NPC PLAN NUMBER  
1955.500  
LAWSON PLAN ID  
xxxxxx  
LEGACY PLAN NUMBER / NAME  
FIFTH AVENUE

SHEET  
G1.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

| AREA CALCULATION (SQ. FT.) |        |        |             |           |                 |                 |               |       |                 |
|----------------------------|--------|--------|-------------|-----------|-----------------|-----------------|---------------|-------|-----------------|
|                            | WIDTH  | DEPTH  | LIVING AREA |           |                 | NON-LIVING AREA |               |       | TOTAL AREA U.R. |
|                            |        |        | 1ST FLOOR   | 2ND FLOOR | TOTAL A/C SPACE | GARAGE          | COVERED ENTRY | LANAI |                 |
| BASE HOUSE (FM2A / FM2B)   | 35'-0" | 60'-4" | 1219        | 1304      | 2523            | 443             | 128           | 142   | 3236            |
| C2A / C2B                  | 0      | 0      | 0           | +27       | 27              | 0               | -95           | 0     | -68             |
| C2C / C2D                  | 0      | 0      | 0           | +10       | 10              | 0               | -2            | 0     | 8               |
| LC2B                       | 0      | 0      | 0           | +27       | 27              | 0               | +60           | 0     | 87              |
|                            |        |        |             |           |                 |                 |               |       |                 |
|                            |        |        |             |           |                 |                 |               |       |                 |
|                            |        |        |             |           |                 |                 |               |       |                 |
| COVERED LANAI EXTENSION    | 0      | 6'-0"  | 0           | 0         | 0               | 0               | 0             | +102  | 102             |
|                            |        |        |             |           |                 |                 |               |       |                 |
|                            |        |        |             |           |                 |                 |               |       |                 |
|                            |        |        |             |           |                 |                 |               |       |                 |
|                            |        |        |             |           |                 |                 |               |       |                 |
|                            |        |        |             |           |                 |                 |               |       |                 |
| TOTALS                     |        |        |             |           |                 |                 |               |       |                 |

## LEGEND

FM - FLORIDA MEDITERRANEAN  
C - CRAFTSMAN  
LC - LOW COUNTRY

## NOTES

SQ. FT. TABLE IS BASED ON +/- SQ. FT.  
AS COMPARED TO BASE PLAN

NOTE:  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES

## ADDITIONAL NOTES

ALL SECONDARY MEANS OF EGRESS WILL COMPLY WITH FFPC 24.2.2.3.3. IT SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE WIDTH SHALL BE NOT LESS THAN 20 INCHES, AND THE HEIGHT SHALL BE NOT LESS THAN 24 INCHES. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44INCHES ABOVE THE FLOOR.

SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 9.6.2.10 IN ALL SLEEPING ROOMS, OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT.

CARBON MONOXIDE DETECTORS WILL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS AND ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, EXCLUDING ATTICS.

## GENERAL NOTES

THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:  
FLORIDA BUILDING CODE 5TH EDITION (2014) RESIDENTIAL  
BUILDING TYPE: VB  
FLORIDA FIRE PREVENTION CODE 5th EDITION

- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.
- PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM.

R703.6.1 LATH.  
ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCHLONG (22.2 MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.  
R703.6.2 PLASTER.  
PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).  
R703.6.2.1 WEEP SCREEDS.  
A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.  
R703.6.3 WATER-RESISTIVE BARRIERS.  
WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.  
R905.2.7 UNDERLAYMENT APPLICATION.  
THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

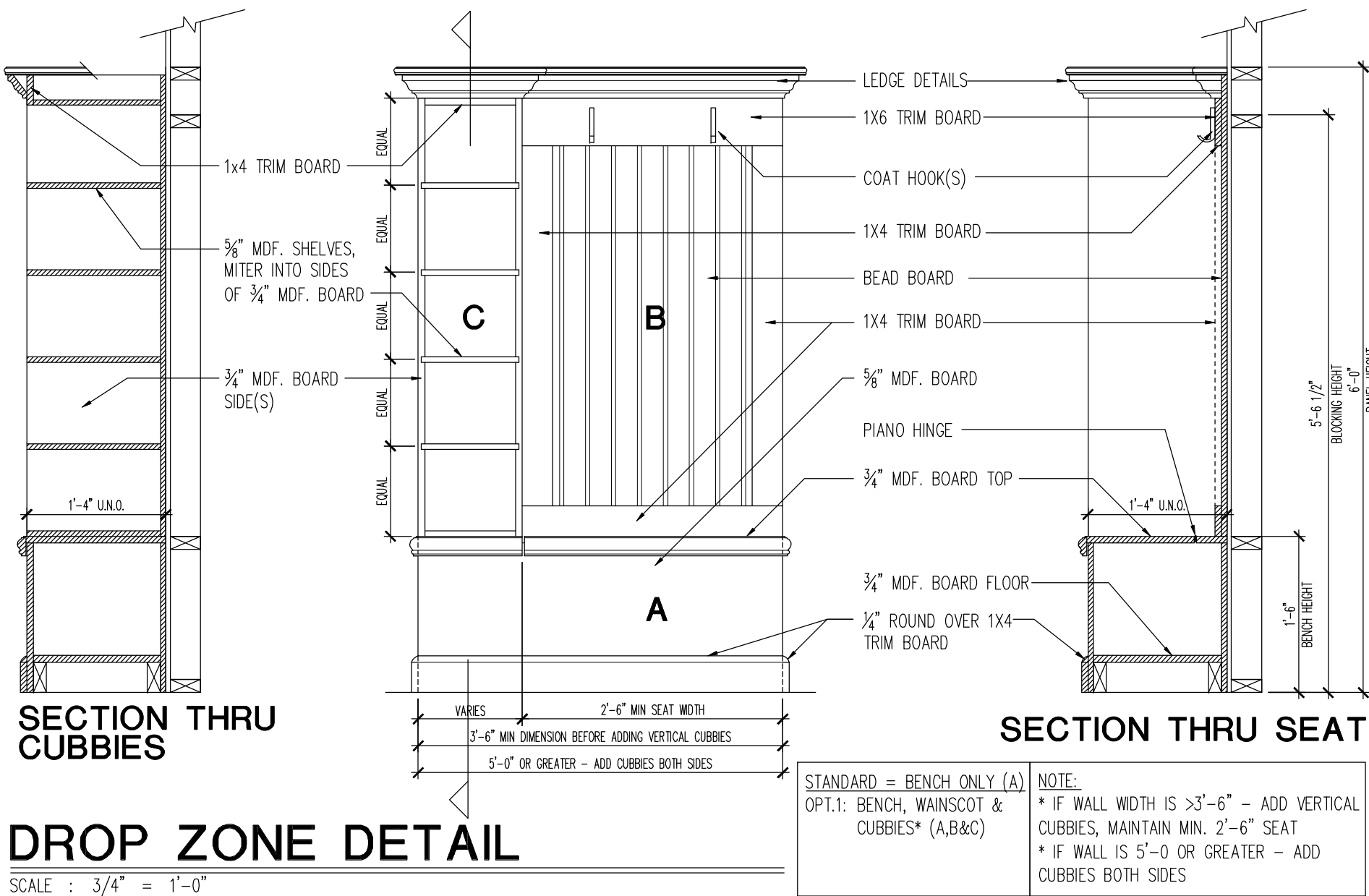
## DRAWING INDEX

|       |                               |
|-------|-------------------------------|
| G1.1  | INDEX, HOUSE DATA, GEN. NOTES |
| A1.1  | FIRST FLOOR PLAN              |
| A1.2  | SECOND FLOOR PLAN             |
| A01.1 | FLOOR PLAN OPTIONS            |
| A2.1  | ELEVATIONS                    |

## CURRENT RELEASE DATE

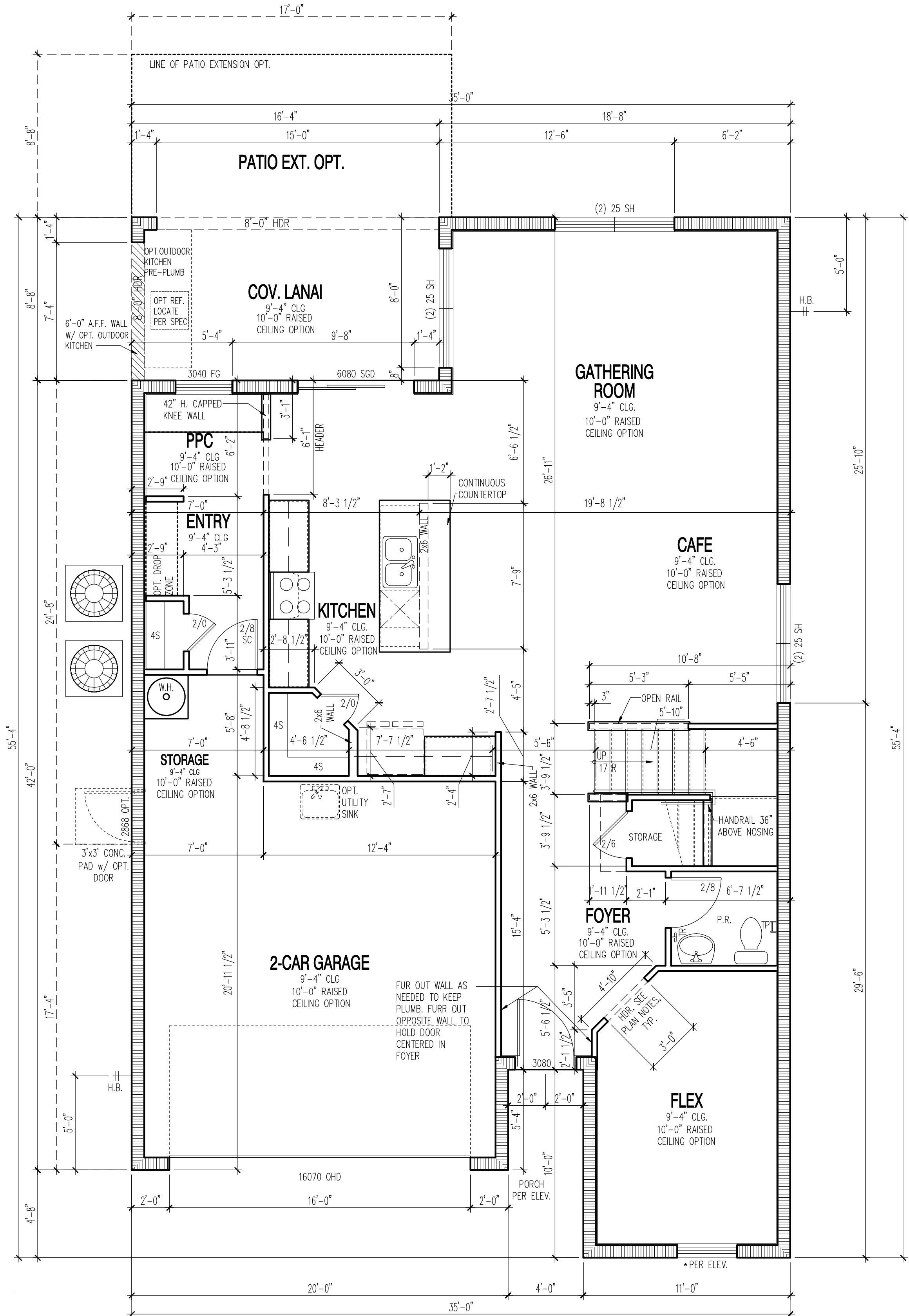
2016/07/18

PLOTTED: June 5, 2017 / Fernando Pultze / FIFTH AVENUE AT MASTER\_LH\_ARCH\_2017-06-05.DWG



## DROP ZONE DETAIL

SCALE : 3/4" = 1'-0"



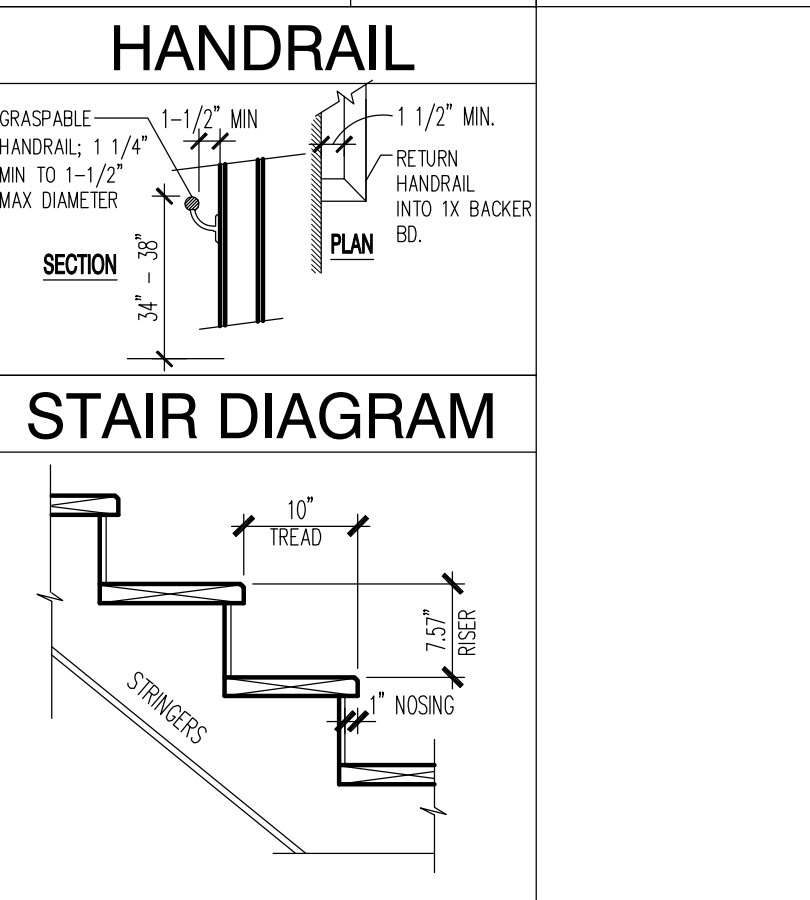
### LEGEND SYMBOLS

MASONRY - CONC. BLOCK OR BRICK WALL  
2X FRAME WALL PER PLAN  
ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"  
\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING

### NOTES:

- 1-FIELD SHALL VERIFY ALL MASONRY OPNGS.
- 2-2ND FLOOR WINDOWS; ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R612.2 - MIN. 24" SILL HEIGHT.
- 3-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 3/8" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
- 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
- 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
- 6-ALL GUARDRAILS TO BE MIN. 36" AFF W/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
- 7- FRAME WALLS: 2x6 W/ TOP PLATE @ 9'+ HIGH OR 2x4 W/ TOP PLATE @ 8' HIGH
- 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9'+ CEILING HT.) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)
- 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7
- 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE AS PER R302.5.1.
- 11- WHERE SOFFITS ARE LESS THAN 5'-0" FROM PROPERTY LINE, THE SOFFIT CONSTRUCTION SHALL HAVE A 1-HOUR FIRE RATING PER R302.1. APPLY 2 LAYERS OF 5/8" GYP. BD. TO BOTTOM SIDE OF SOFFIT TO ACHIEVE THIS RATING OR APPROVED EQUAL.
- 12- CEILINGS WITHOUT HABITABLE SPACE ABOVE: 1/2"-INCH SAG-RESISTANT GYPSUM CEILING BOARD SHALL BE USED FOR SPANS 24" O.C. PER R702.3.5

| STAIR CALCS.       |            |                              |
|--------------------|------------|------------------------------|
| FLOOR TO FLOOR HT. | 10'-8 3/4" | W/10" CLG. OPT. AT 1ST FLOOR |
| RIISERS            | 17 @ 7.57" | 11'-4 3/4"                   |
| TREAD              | 16 @ 10"   | 18 @ 7.597"                  |
| NOSING             | 1" @ 10"   | 17 @ 10"                     |



13-ALL SECONDARY MEANS OF EGRESS WILL COMPLY WITH FFPC 24.2.2.3.3. IT SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE WIDTH SHALL BE NOT LESS THAN 20 INCHES, AND THE HEIGHT SHALL BE NOT LESS THAN 24 INCHES. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

14-SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT.

15-CARBON MONOXIDE DETECTORS WILL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS AND ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, EXCLUDING ATTICS.

## FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

(c) Copyright Pulte Home Corporation - 2014

**FLORIDA ZONE**  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



**FIRST FLOOR PLAN**

| PRODUCTION MANAGER |                        |
|--------------------|------------------------|
| ---                | CONTROL DATE: 07/18/16 |
| REV #              | DATE / DESCRIPTION     |
| 1                  |                        |
| 2                  |                        |
| 3                  |                        |
| 4                  |                        |
| 5                  |                        |
| 6                  |                        |
| 7                  |                        |
| 8                  |                        |
| 9                  |                        |
| 10                 |                        |
| 11                 |                        |
| 12                 |                        |
| 13                 |                        |
| 14                 |                        |
| 15                 |                        |
| 16                 |                        |
| 17                 |                        |
| 18                 |                        |
| 19                 |                        |
| 20                 |                        |

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

GARAGE HANDING  
**LEFT**

VERSION NUMBER  
**1.0**

PLAN NAME  
**FIFTH AVENUE**  
NPC PLAN NUMBER  
**1955.500**  
LAWSON PLAN ID  
**XXXXXX**  
LEGACY PLAN NUMBER / NAME  
**FIFTH AVENUE**

SHEET  
**A1.1**



[illegible]

|                     |               |
|---------------------|---------------|
| PROJECT TYPE        | SINGLE FAMILY |
| COMMUNITY NAME      | MASTER        |
| LAWSON COMMUNITY ID |               |

GARAGE HANDING  
**LEFT**

VERSION NUMBER  
1.0

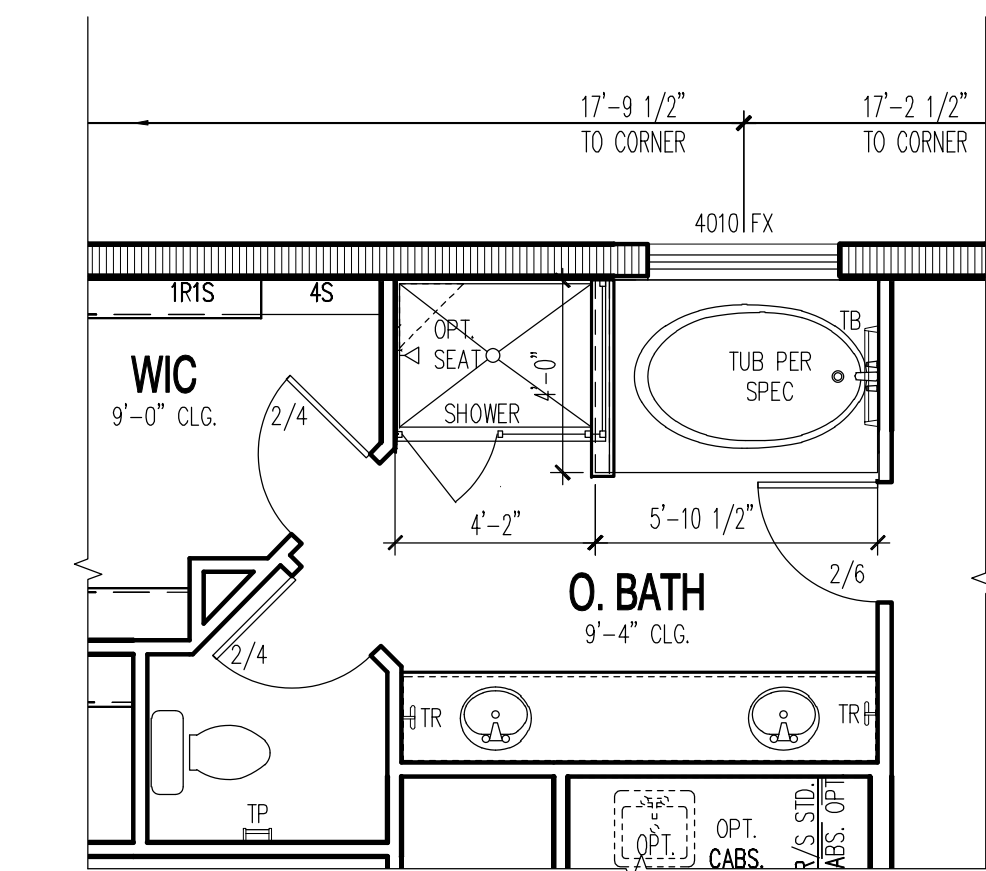
|                           |              |
|---------------------------|--------------|
| PLAN NAME                 | FIFTH AVENUE |
| NPC PLAN NUMBER           | 1955.500     |
| LAWSON PLAN ID            | XXXXXX       |
| LEGACY PLAN NUMBER / NAME | FIFTH AVENUE |

SHEET  
**A01.1**

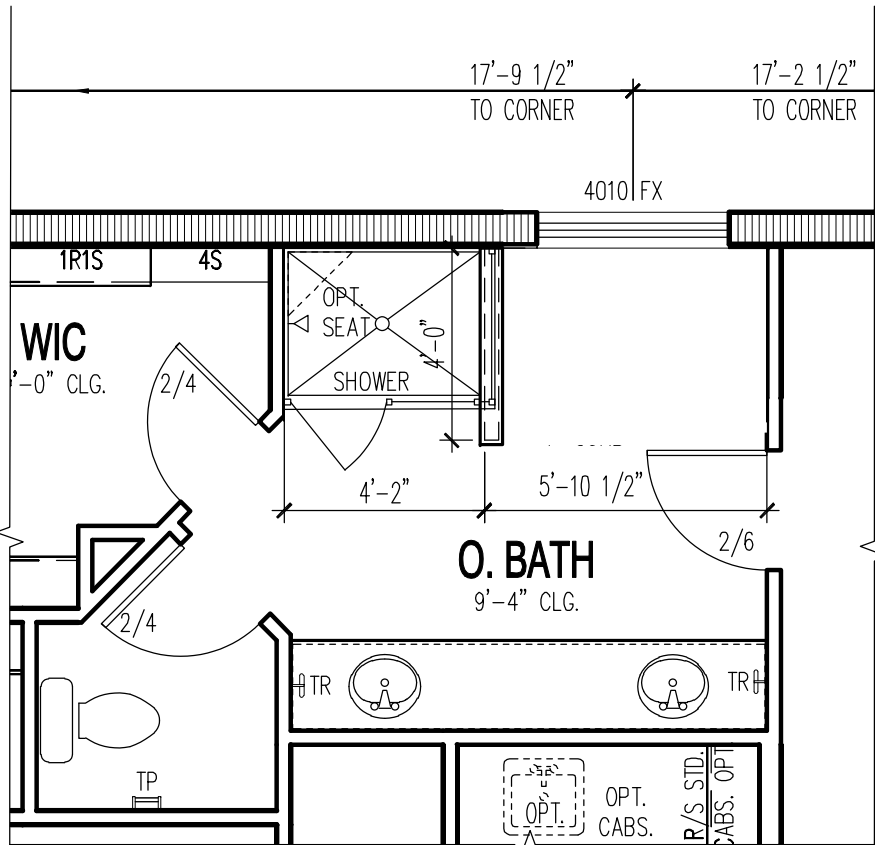


**NOTE:**  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES

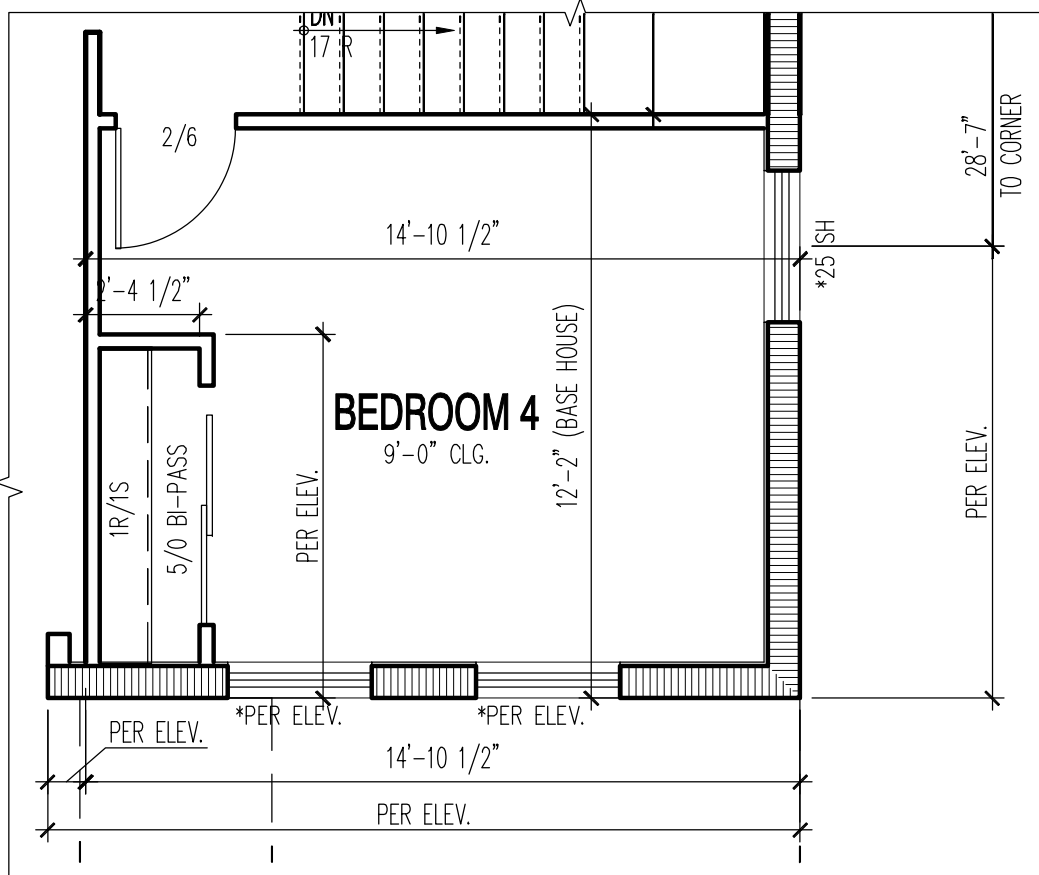
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



**TUB UPGRADE @  
OWNER'S BATH**  
SCALE: 1/4"=1'-0"

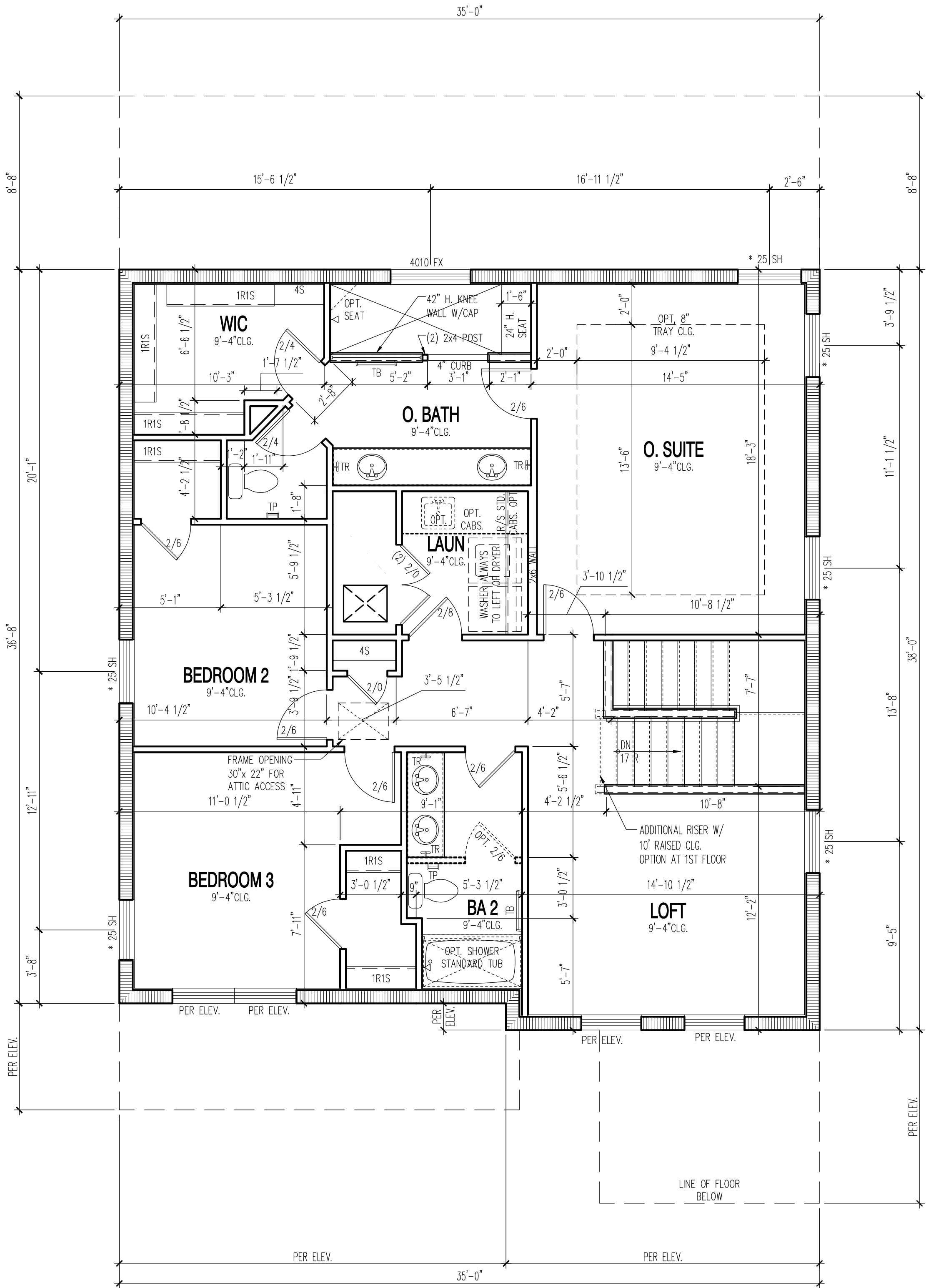


**OPT. ALTERNATE  
OWNER'S BATH**  
SCALE: 1/4"=1'-0"



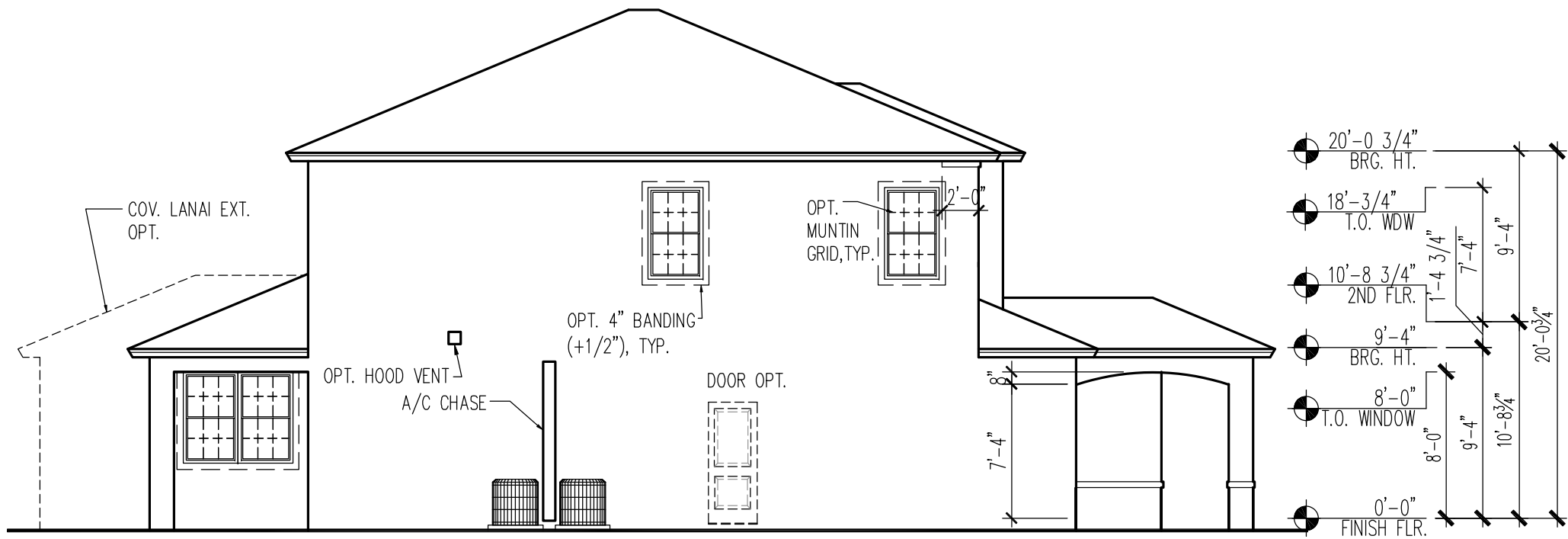
**BEDROOM 4 OPTION**  
SCALE: 1/4"=1'-0"

NOTE:  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES

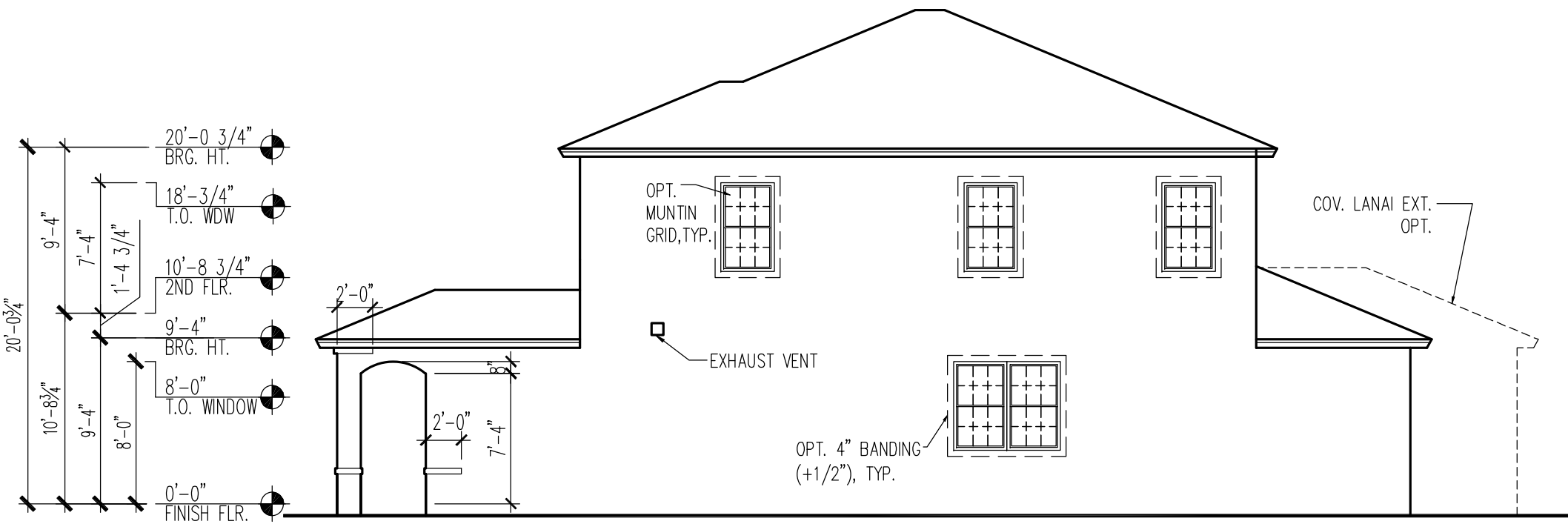


**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

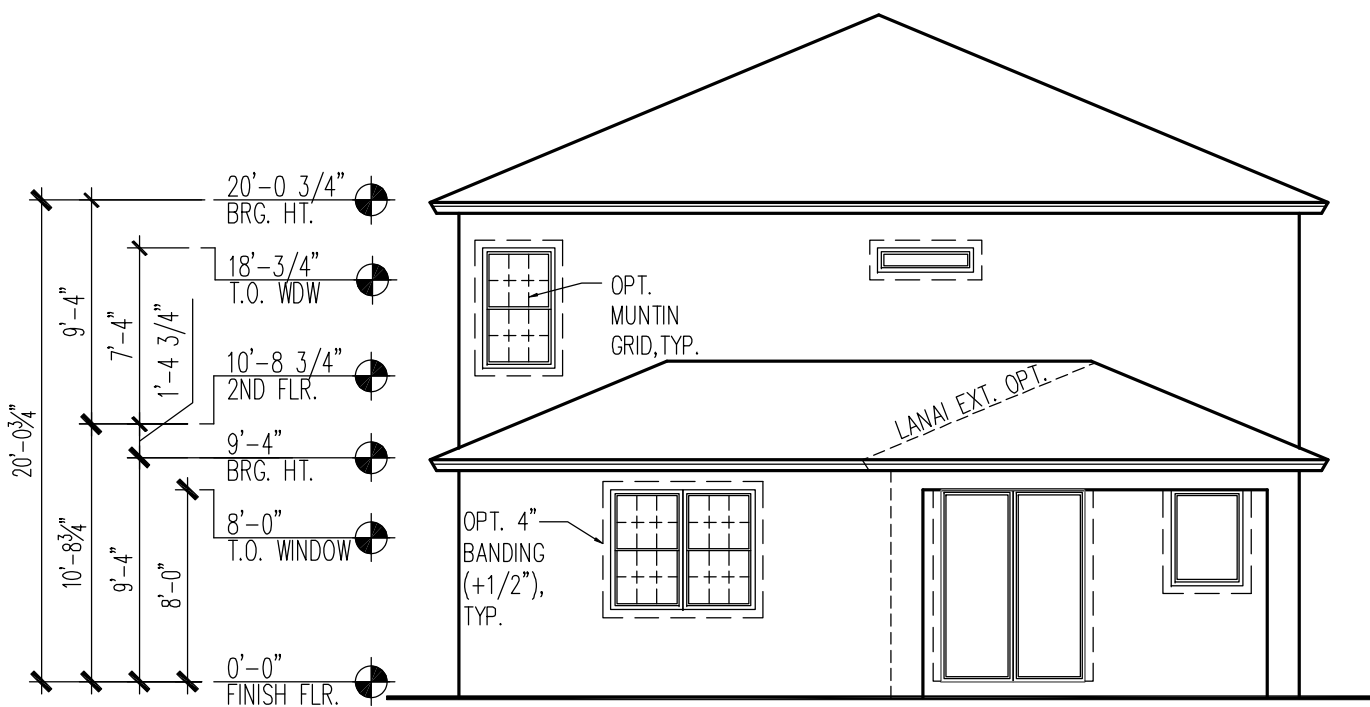
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



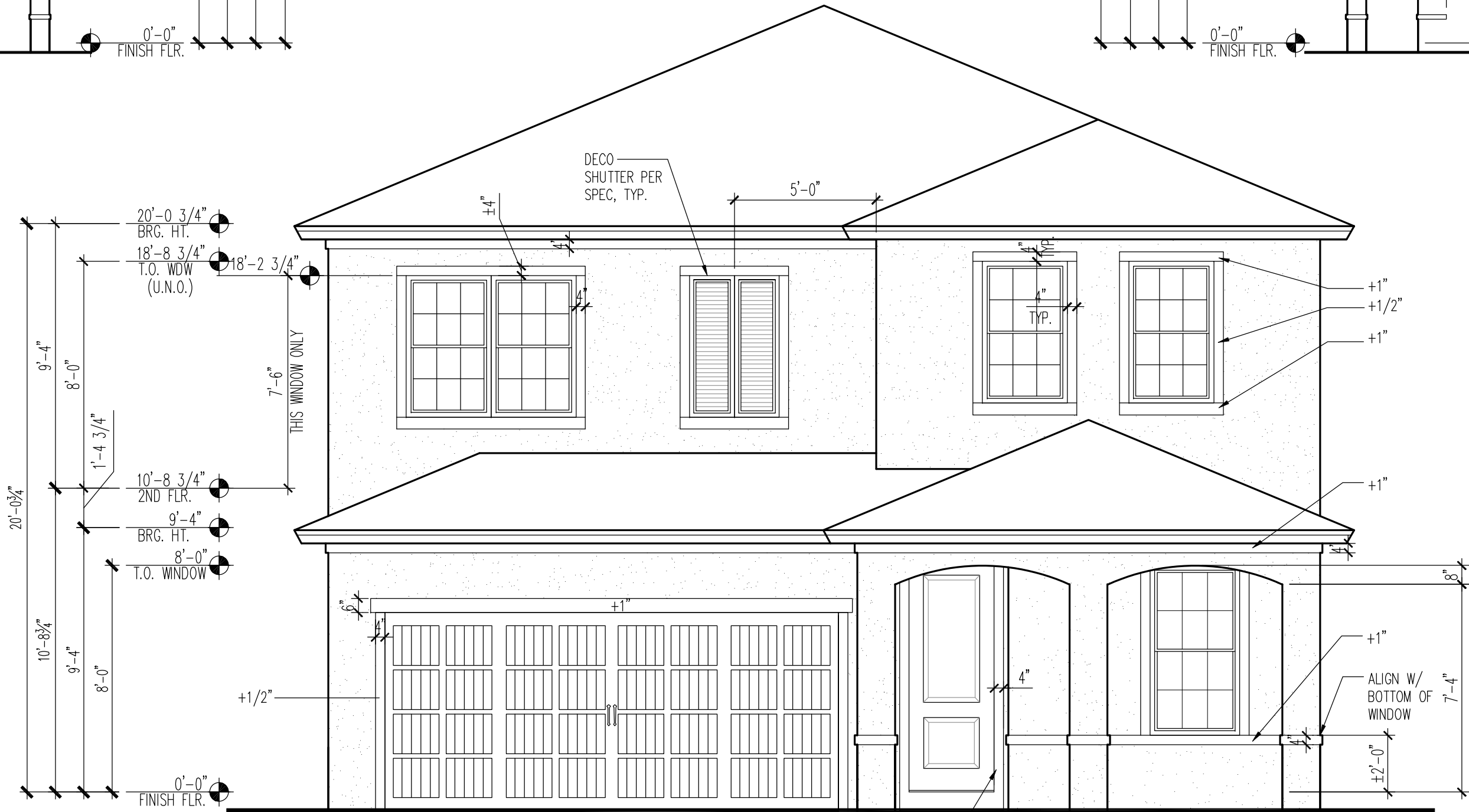
SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



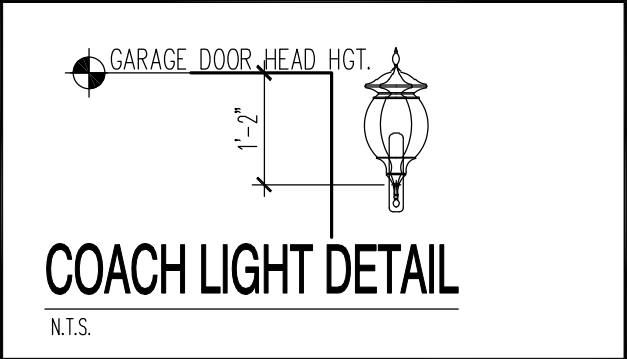
SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



REAR ELEVATION  
 SCALE: 1/8"=1'-0"

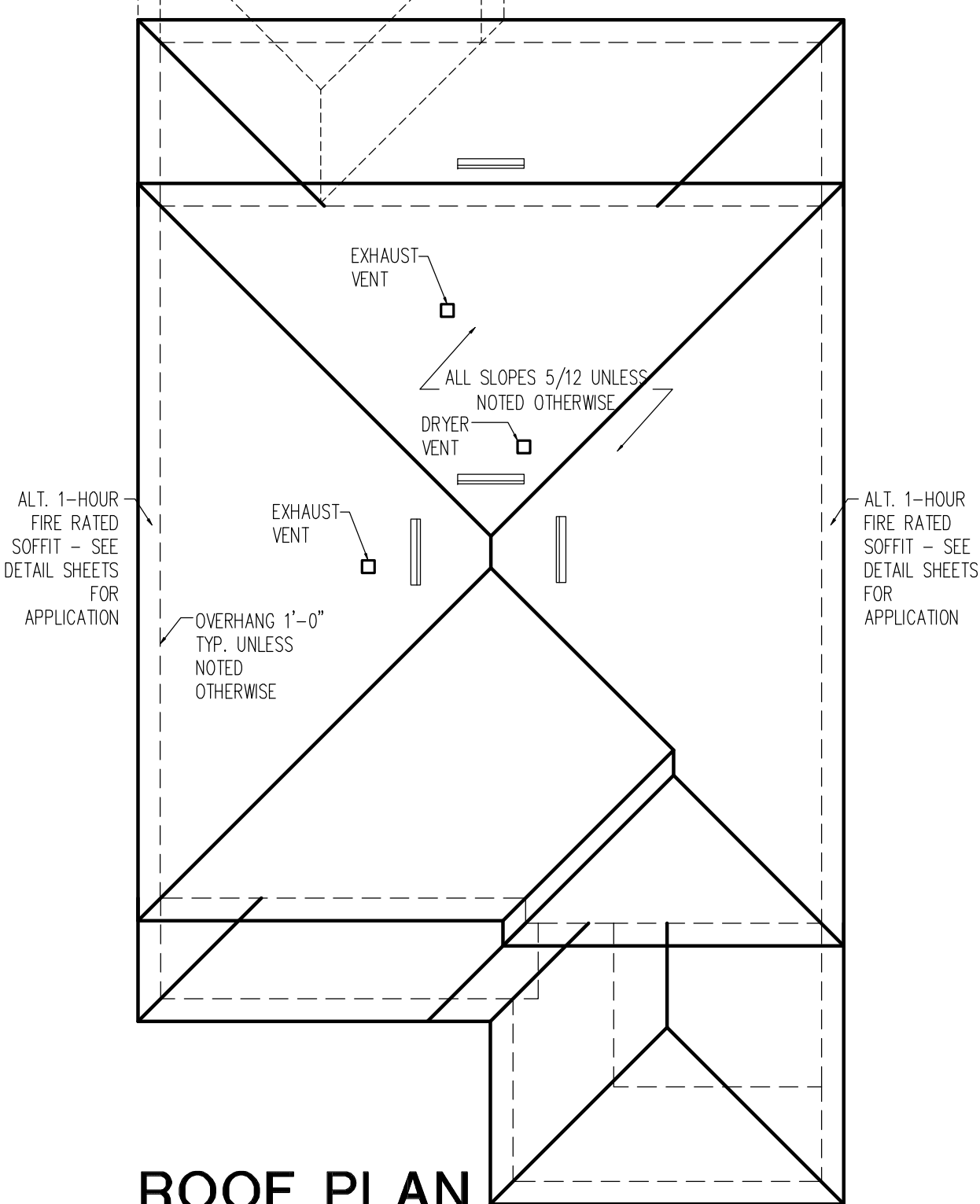


FRONT ELEVATION  
 SCALE: 1/4"=1'-0"

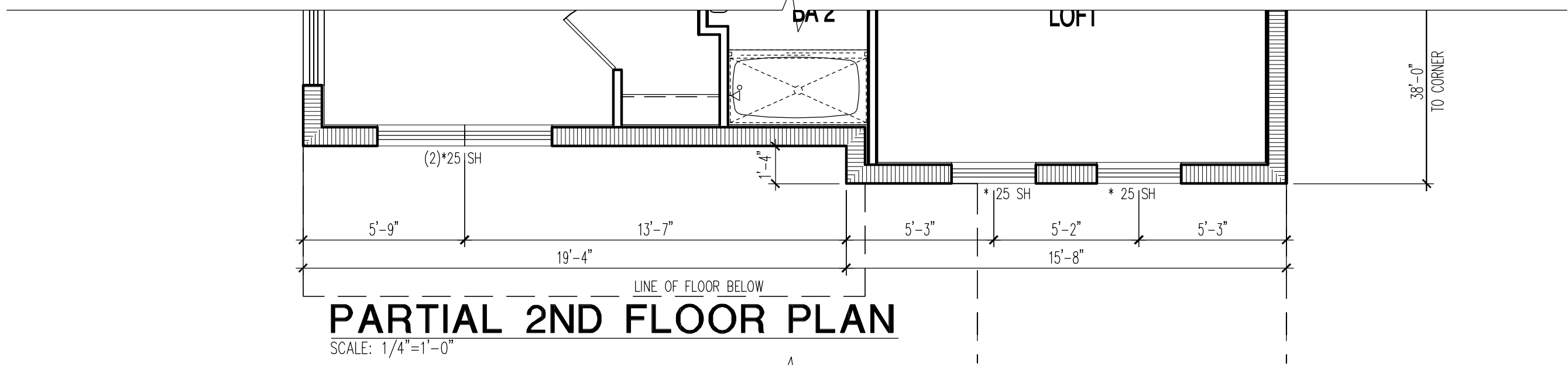


COACH LIGHT DETAIL  
 N.T.S.

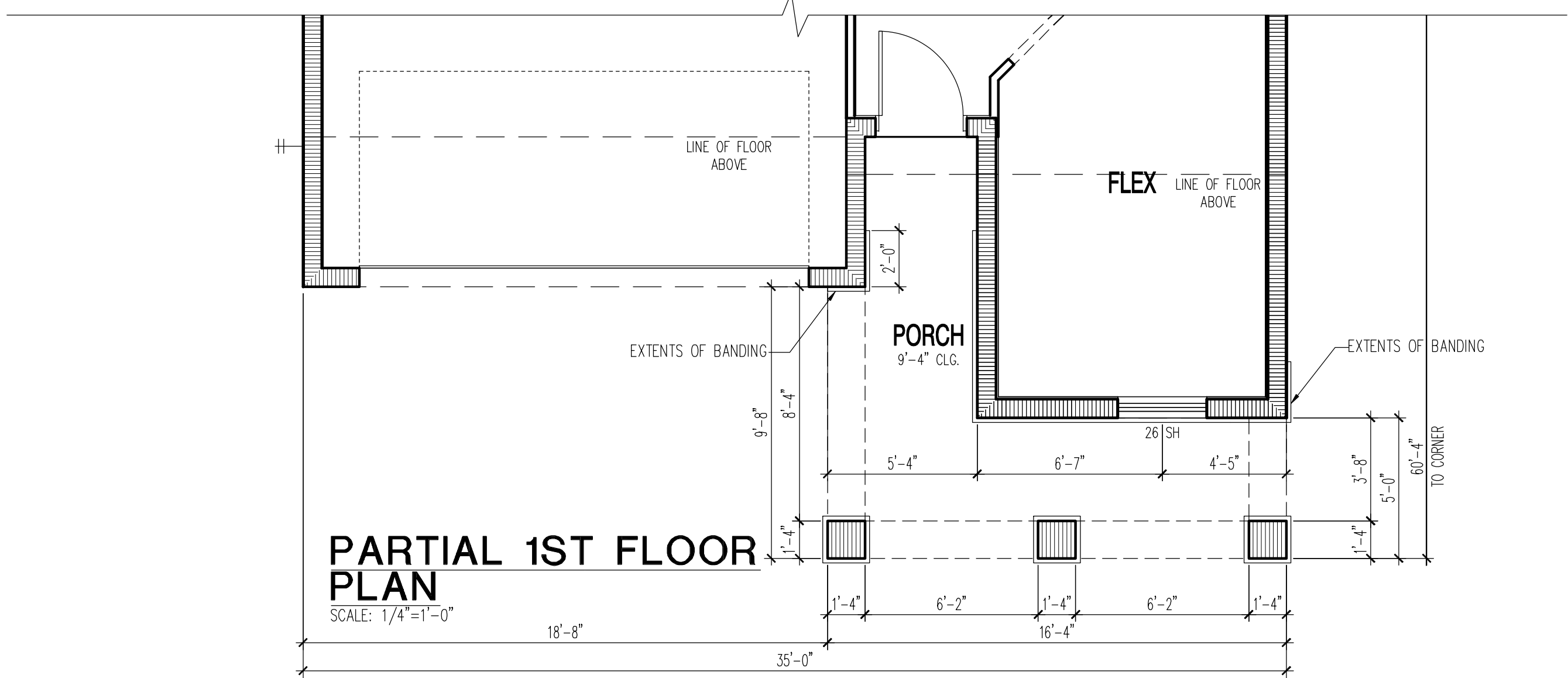
ALT. VENTING WITH FIRE-RATED SOFFITS (SIDES):  
 86 LINEAR FEET (890 SQ. IN.) OF SOFFIT VENT PROVIDED  
 NO LOWER ROOF VENT(S) REQUIRED (0 SQ. IN.)  
 890 + 0 = 890 (562 REQUIRED)  
 NOTE: NO ADDITIONAL SOFFIT VENTING IS REQUIRED  
 WITH THE 1 HOUR FIRE RATED SOFFIT APPLICATION.  
 VENTING REQUIREMENTS HAVE BEEN MET ON FRONT  
 AND REAR OF HOUSE



ROOF PLAN  
 SCALE: 1/4"=1'-0"



PARTIAL 2ND FLOOR PLAN  
 SCALE: 1/4"=1'-0"

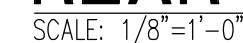
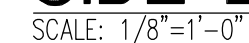


PARTIAL 1ST FLOOR PLAN  
 SCALE: 1/4"=1'-0"

| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)   |         |         |  |   |         |          |
|--|---------|---------|--|---|---------|----------|
| TOTAL ATTIC AREA   |         |         |  | FREE VENT REQD. (AREA/300)  |         |          |
| SQ. FT.  | SQ. IN. |         |  | SQ. FT.   | SQ. IN. |          |
| 2342   | 337248  |         |  | 7.8   | 1124    |          |
| ROOF VENTS REQD.   |         |         |  | SOFFIT VENTS REQD. (S/10)   |         |          |
| SQ. FT.  | SQ. IN. | # VENTS |  | SQ. FT.   | SQ. IN. | LIN. FT. |
| 3.9  | 562     | 4       |  | 3.9   | 562     | 56       |
| ROOF TOP ATTIC VENT: SERIES 144 = 1 SQ. FT./ VENT (144 SQ. IN. VENT)                 |         |         |  | SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE. |         |         |  |   |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                                |         |         |  |   |         |          |

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

| PRODUCTION MANAGER     |                    |
|------------------------|--------------------|
| ---                    | ---                |
| CONTROL DATE: 07/18/16 |                    |
| REV #                  | DATE / DESCRIPTION |
| 1                      | ---                |
| 2                      | ---                |
| 3                      | ---                |
| 4                      | ---                |
| 5                      | ---                |
| 6                      | ---                |
| 7                      | ---                |
| 8                      | ---                |
| 9                      | ---                |
| 10                     | ---                |



SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"

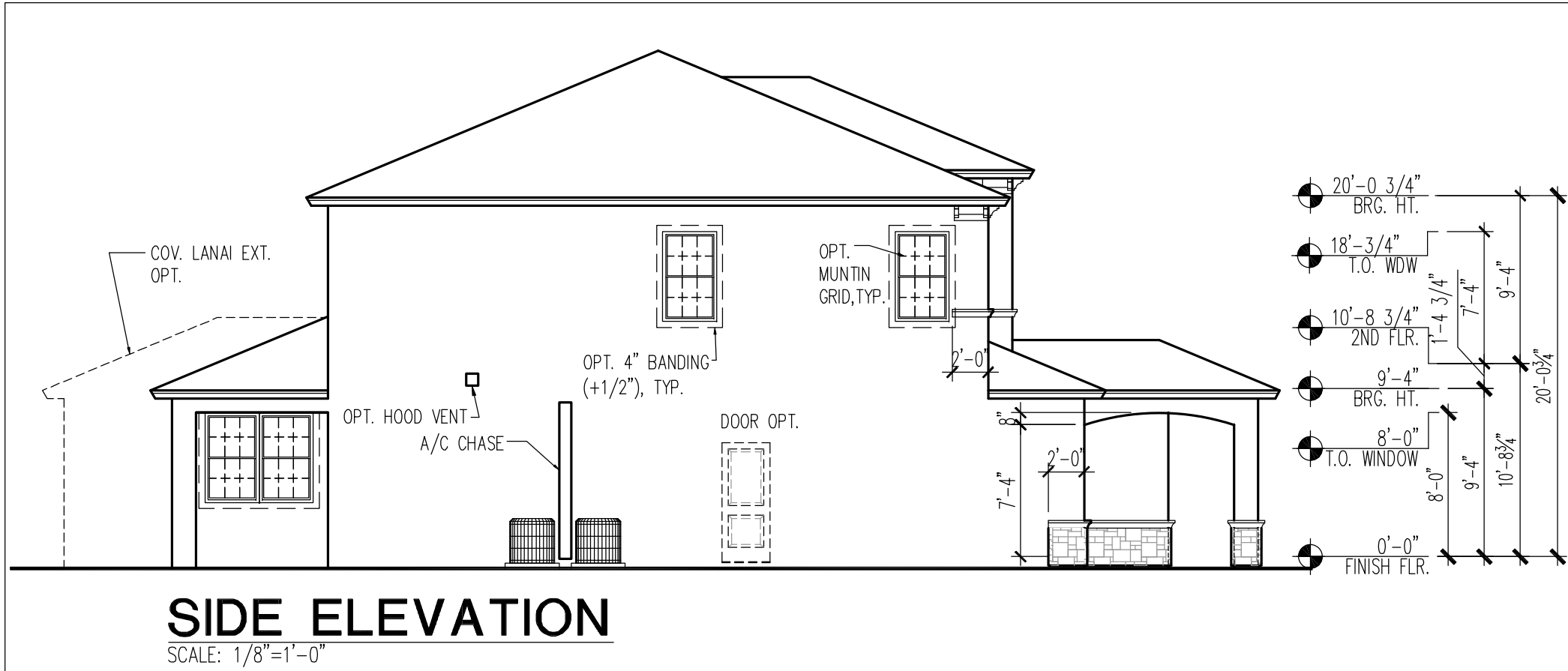
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

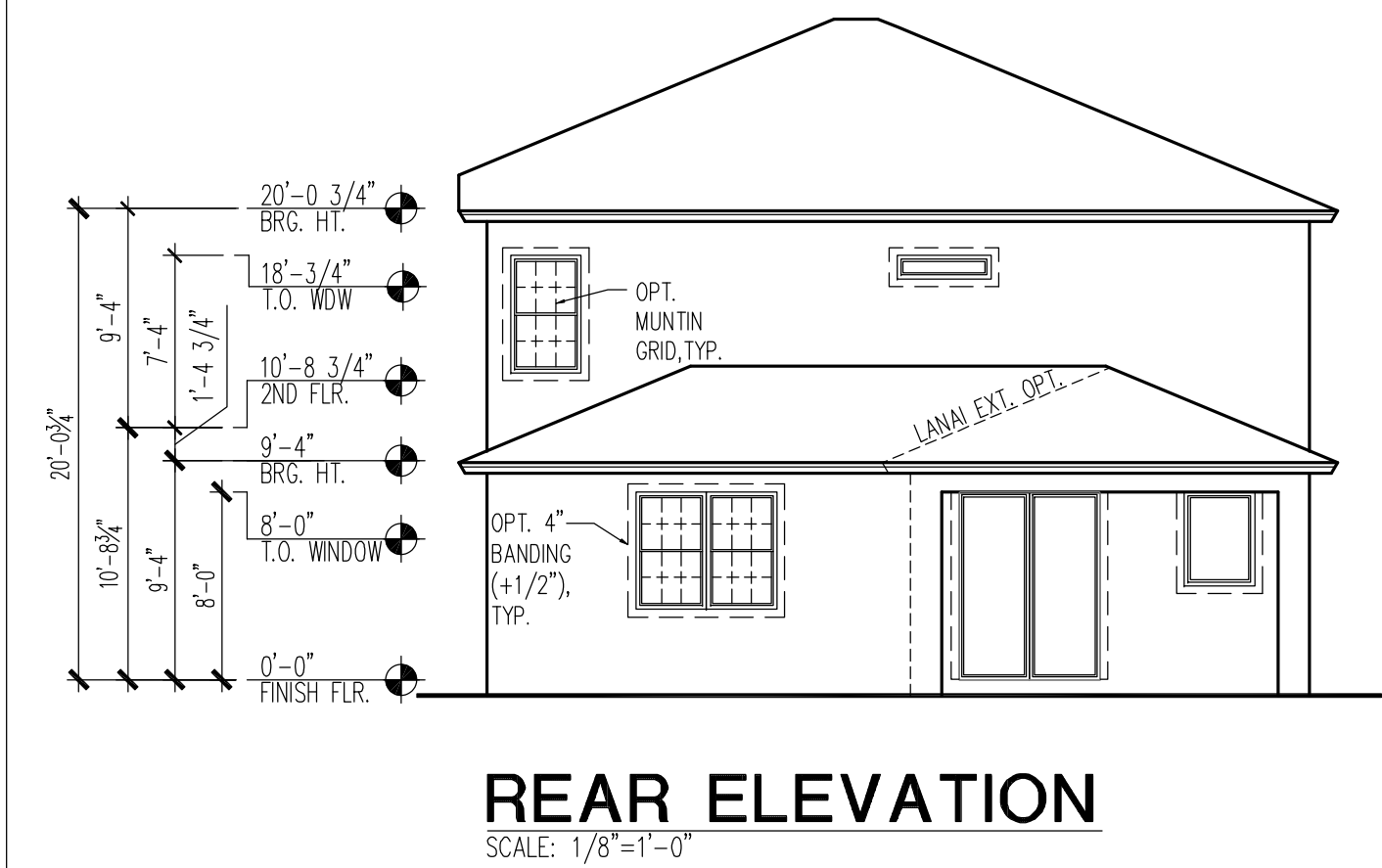
SCALE: 1/4"=1'-0"

| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)   |                 |                                 |                  |
|--|-----------------|---------------------------------|------------------|
| TOTAL ATTIC AREA   |                 | FREE VENT REQ. (AREA/300)       |                  |
| SQ. FT.  | SQ. IN.         | SQ. FT.                         | SQ. IN.          |
| 2342   | 337248          | 7.8                             | 1124             |
| ROOF VENTS REQ.  |                 | SOFFIT VENTS REQ. (S/10)        |                  |
| SQ. FT.  | SQ. IN. # VENTS | SQ. FT.                         | SQ. IN. LIN. FT. |
| 3.9  | 562             | 3.9                             | 562              |
| ROOF TOP ATTIC VENT:<br>SERIES   |                 | SOFFIT VENT TYPE:<br>CONTINUOUS |                  |
| 144 (SQ. FT.) / VENT   |                 | SOFFIT VENT = 10.0 SQ. IN.      |                  |
| (44 SQ. IN. INT.)  |                 | AREA PER LINEAR FT.             |                  |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE. |                 |                                 |                  |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                                |                 |                                 |                  |

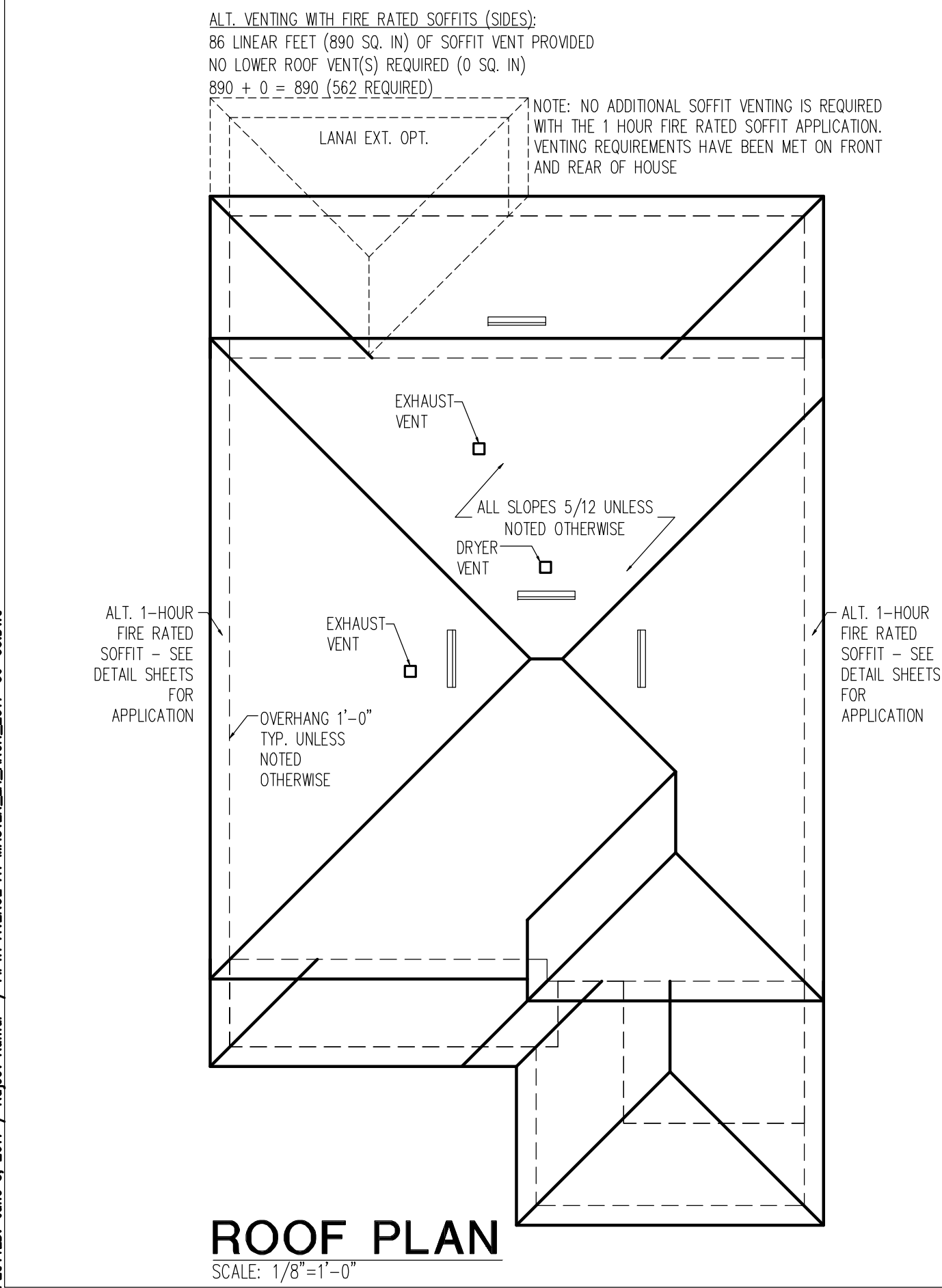




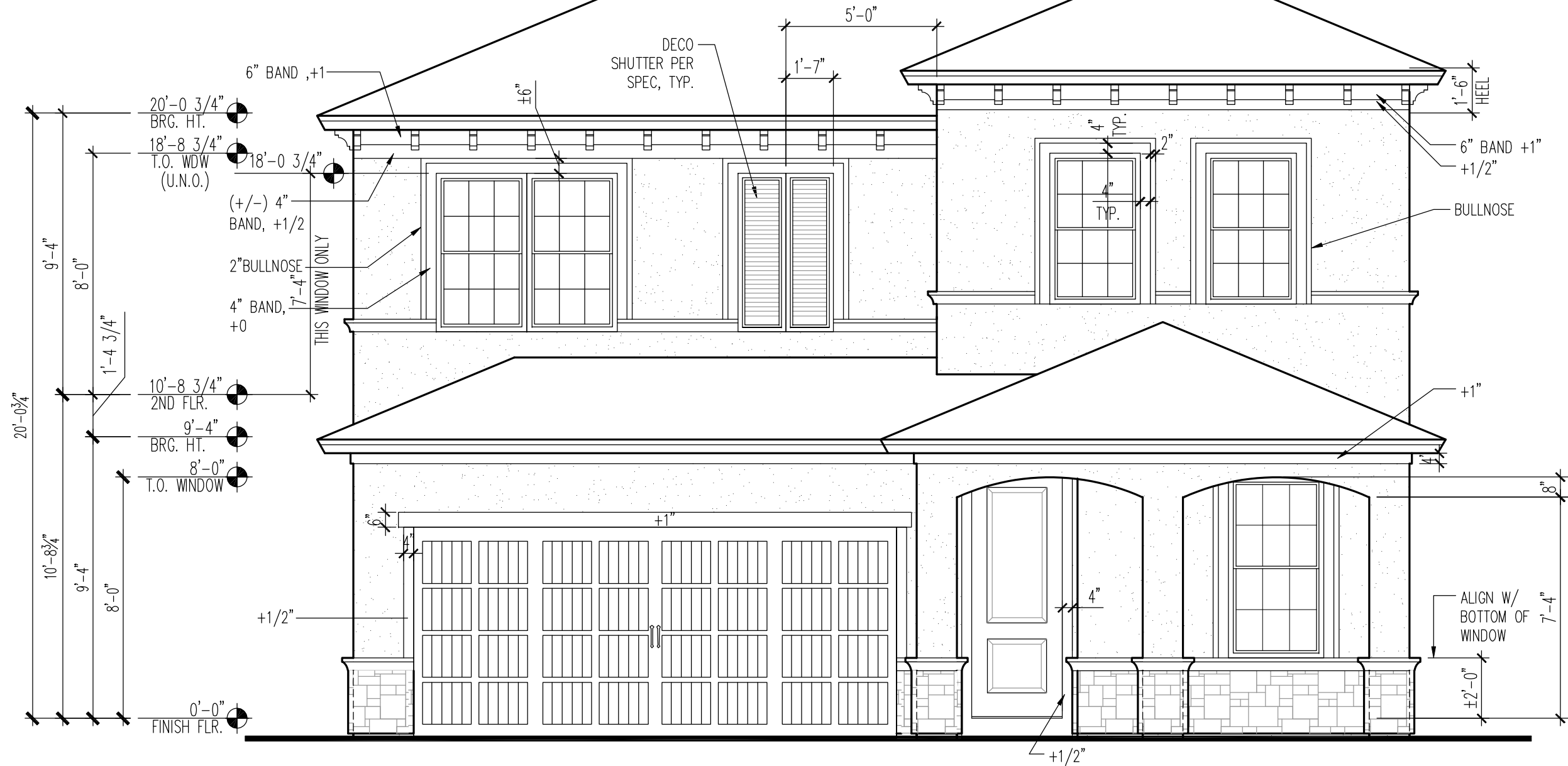
SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



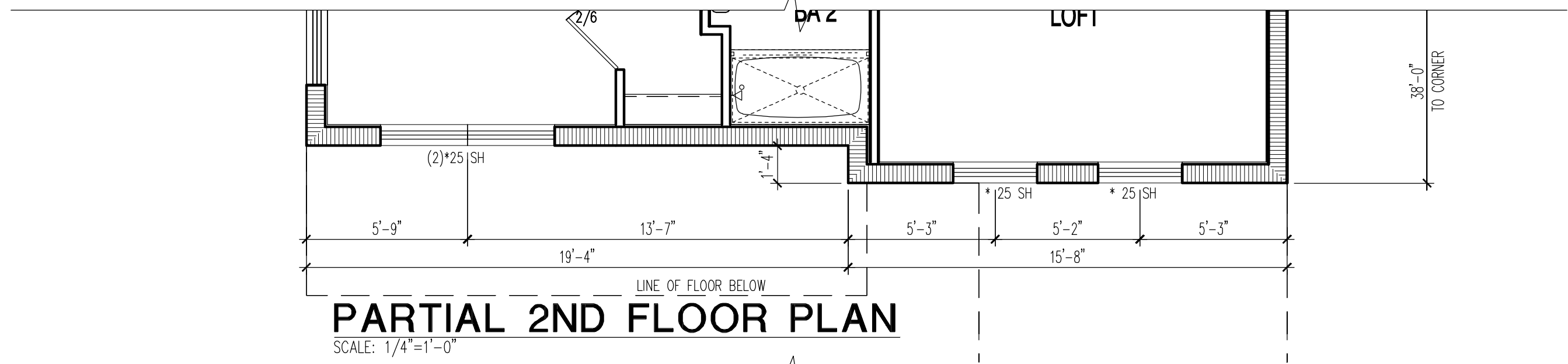
REAR ELEVATION  
 SCALE: 1/8"=1'-0"



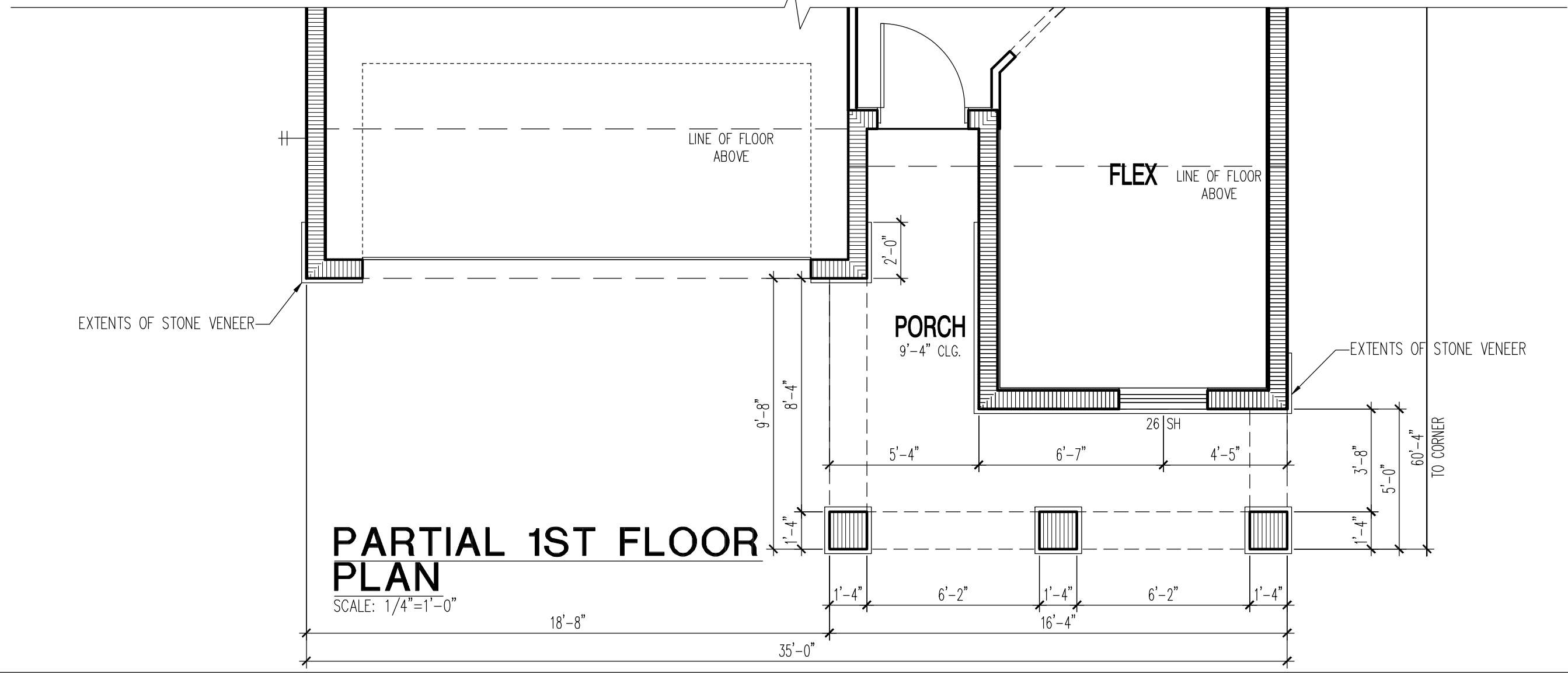
ROOF PLAN  
 SCALE: 1/8"=1'-0"



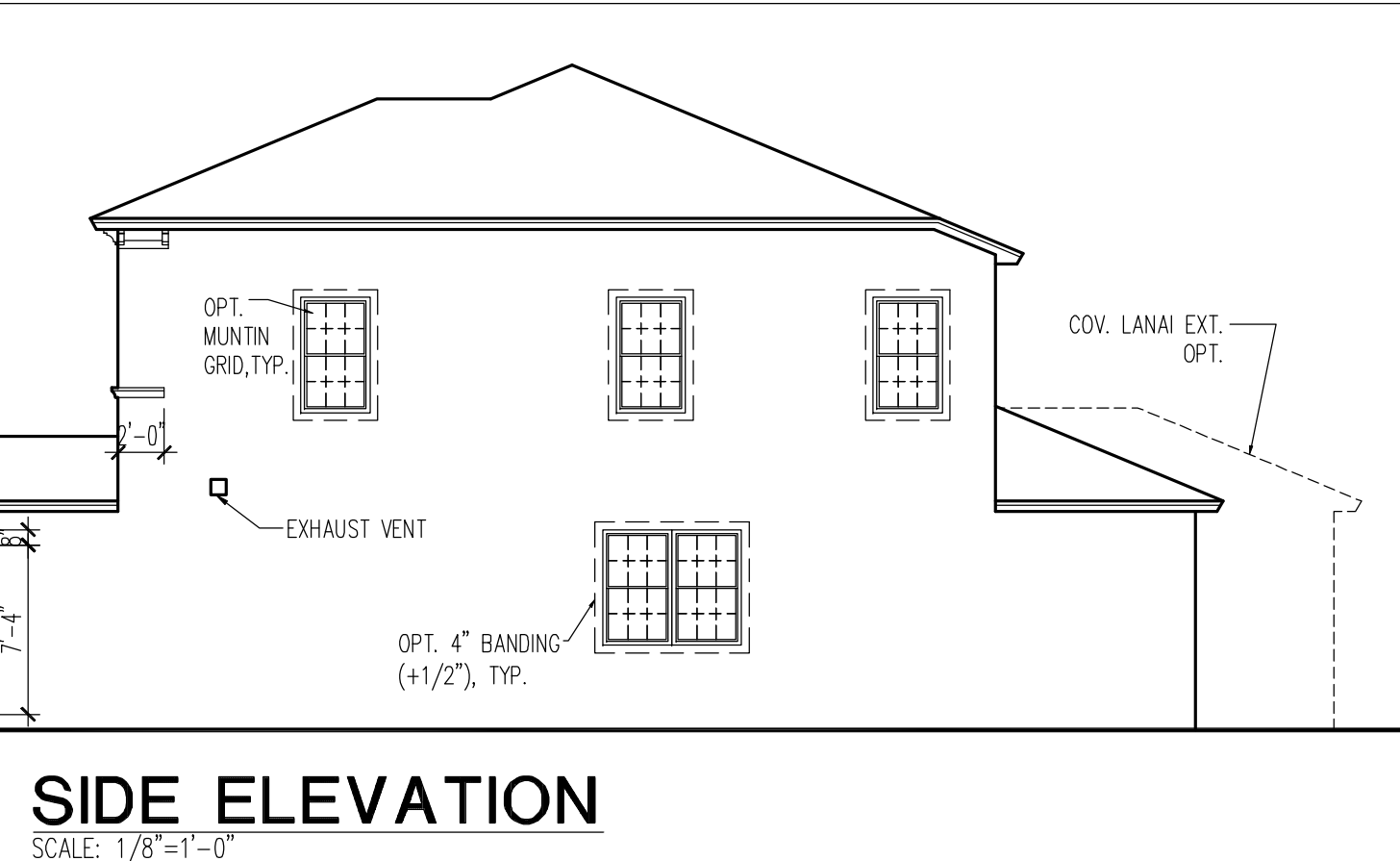
FRONT ELEVATION  
 SCALE: 1/4"=1'-0"



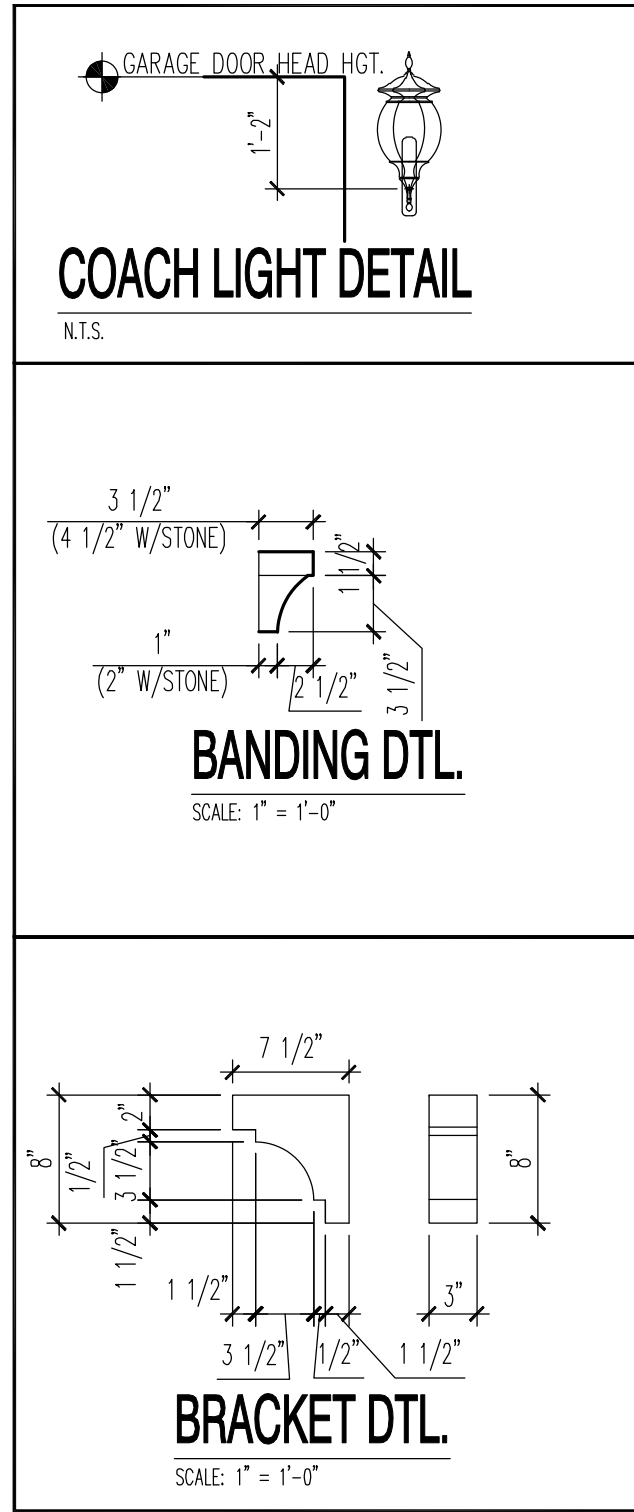
PARTIAL 2ND FLOOR PLAN  
 SCALE: 1/4"=1'-0"



PARTIAL 1ST FLOOR PLAN  
 SCALE: 1/4"=1'-0"



SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)  |         |         |  |         |          |
|---|---------|---------|--|---------|----------|
| TOTAL ATTIC AREA  |         |         | FREE VENT REQD. (AREA/300)   |         |          |
| SQ. FT.   | SQ. IN. |         | SQ. FT.  | SQ. IN. |          |
| 2342  | 337248  |         | 7.8  | 1124    |          |
| ROOF VENTS REQD.  |         |         | SOFFIT VENTS REQD. (S/10)  |         |          |
| SQ. FT.   | SQ. IN. | # VENTS | SQ. FT.  | SQ. IN. | LIN. FT. |
| 3.9   | 562     | 4       | 3.9  | 562     | 56       |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT)           |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF<br>THE 2014 FLORIDA RESIDENTIAL CODE. |         |         |  |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER<br>MUNICIPALITY                                |         |         |  |         |          |

FLORIDA ZONE

24311 Walden Center Dr., Suite 300

Bonita Springs, Florida 34134 (239) 495-4800

ELEVATION 4 - FM2B

ELEVATIONS - 2ND FLOOR PLAN CMU

PRODUCTION MANAGER

CONTROL DATE: 07/18/16

REV # DATE / DESCRIPTION

1

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PROJECT TYPE

SINGLE FAMILY

COMMUNITY NAME

MASTER

LAWSON COMMUNITY ID

GARAGE HANDING

LEFT

VERSION NUMBER

1.0

PLAN NAME

FIFTH AVENUE

NPC PLAN NUMBER

19555.500

LAWSON PLAN ID

XXXXXX

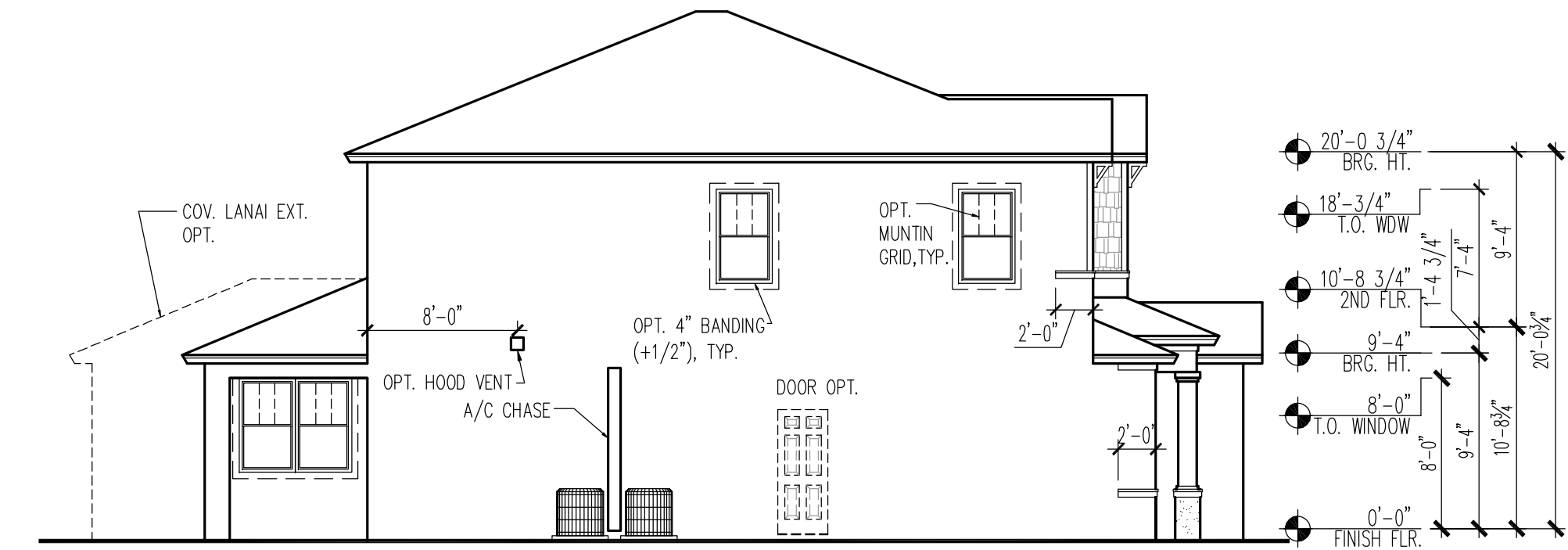
LEGACY PLAN NUMBER / NAME

FIFTH AVENUE

SHEET

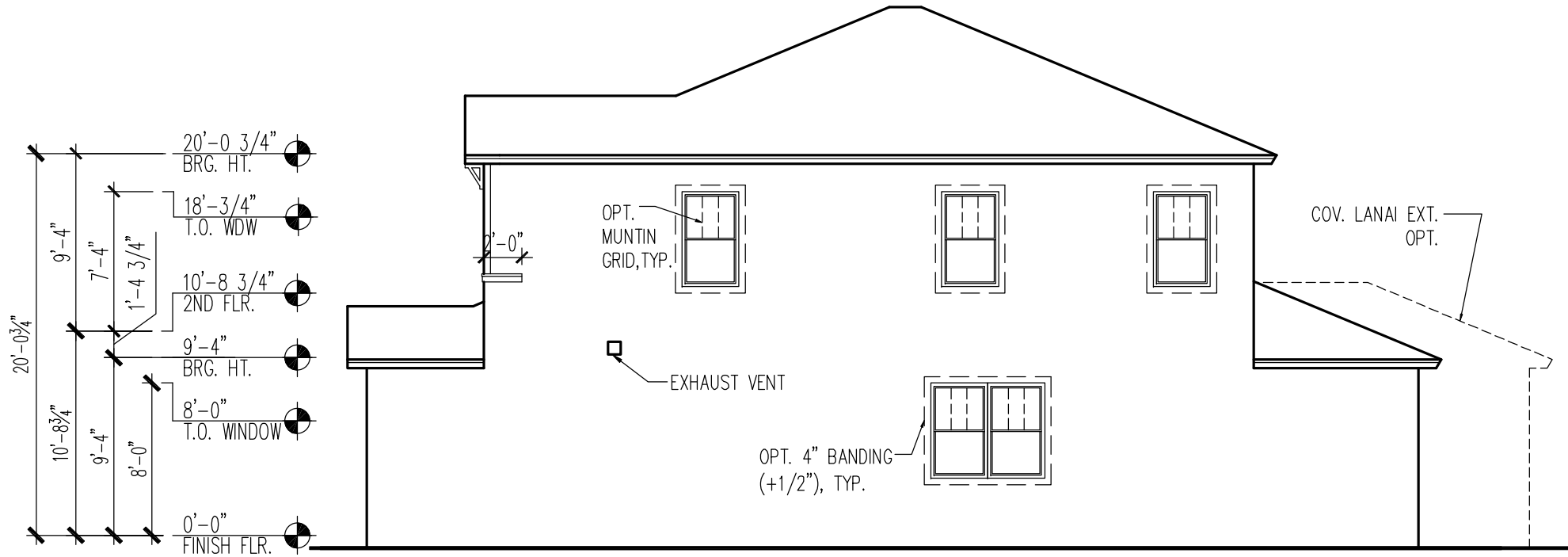
A2.1FM2B-CMU





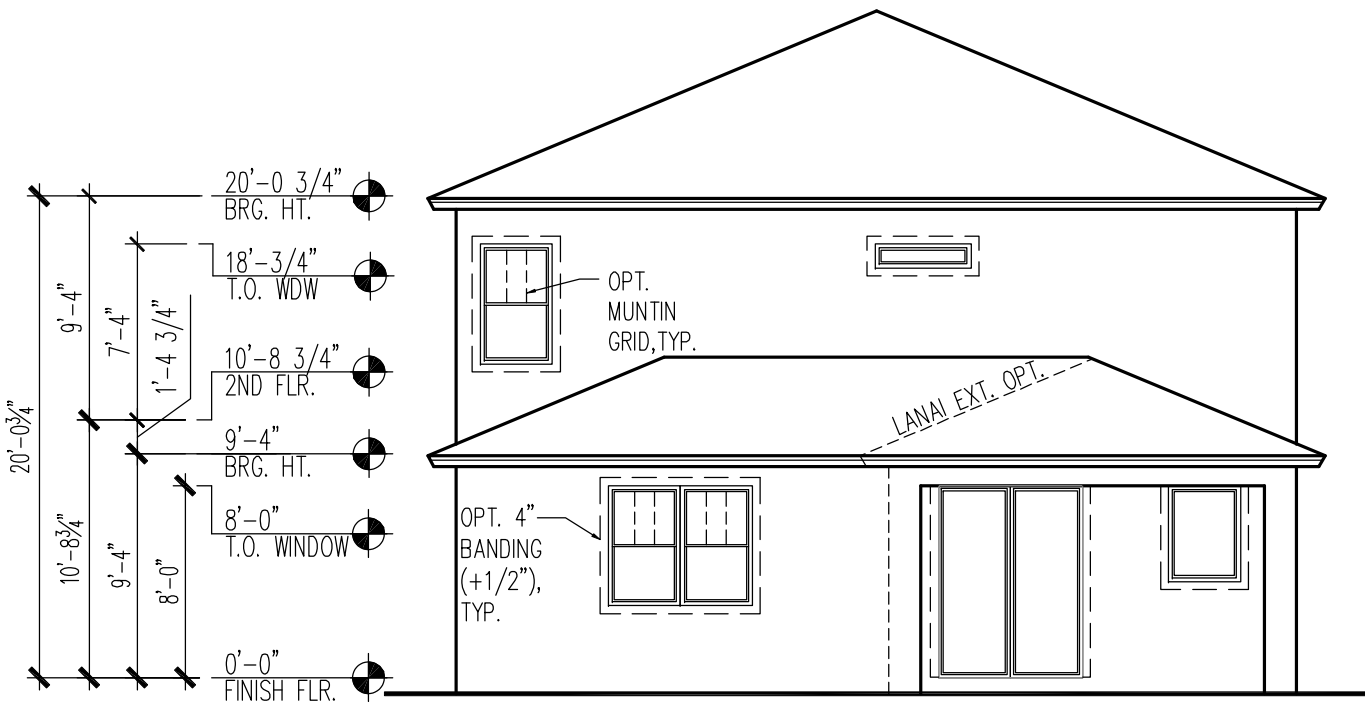
SIDE ELEVATION

SCALE: 1/8"=1'-0"



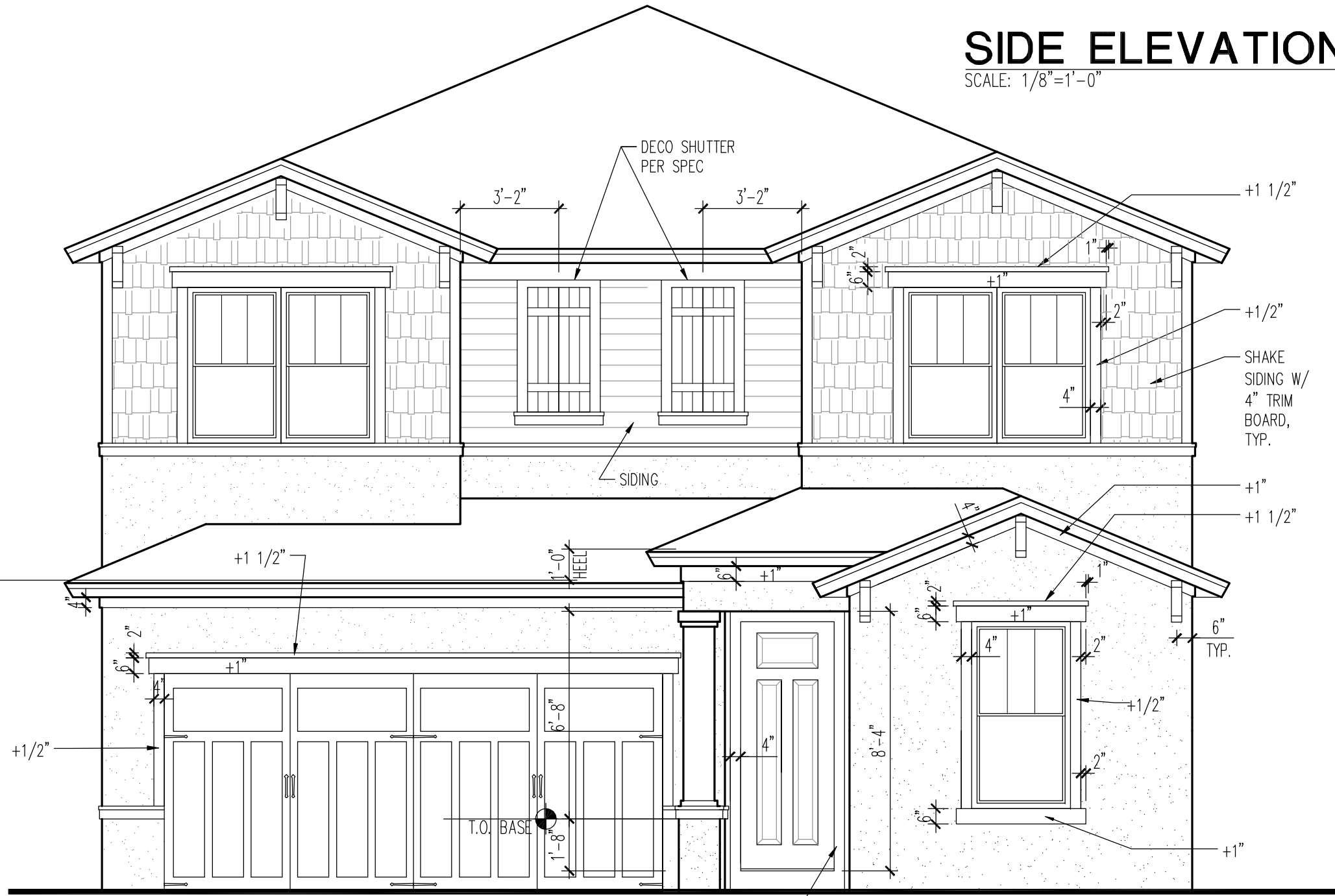
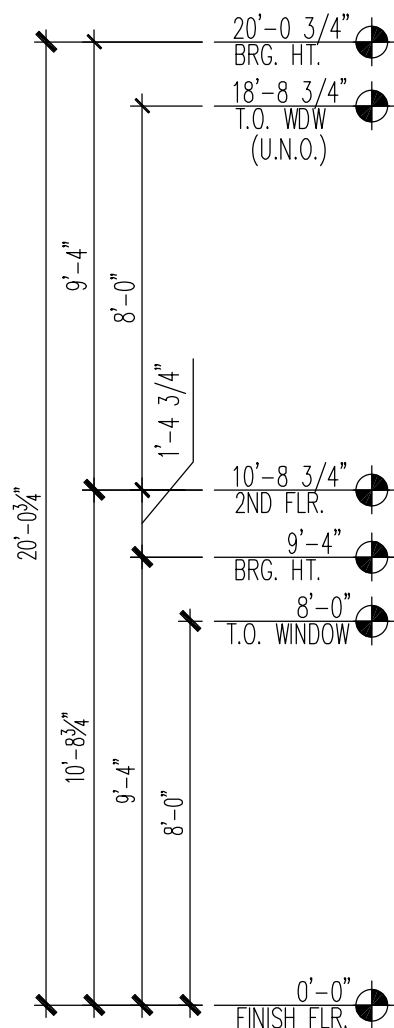
SIDE ELEVATION

SCALE: 1/8"=1'-0"



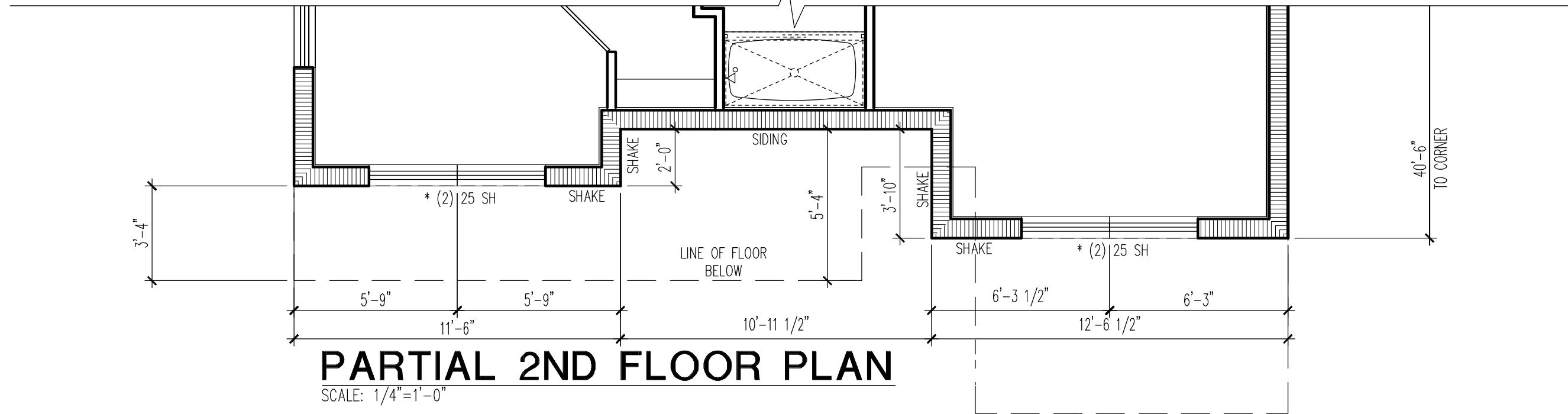
REAR ELEVATION

SCALE: 1/8"=1'-0"



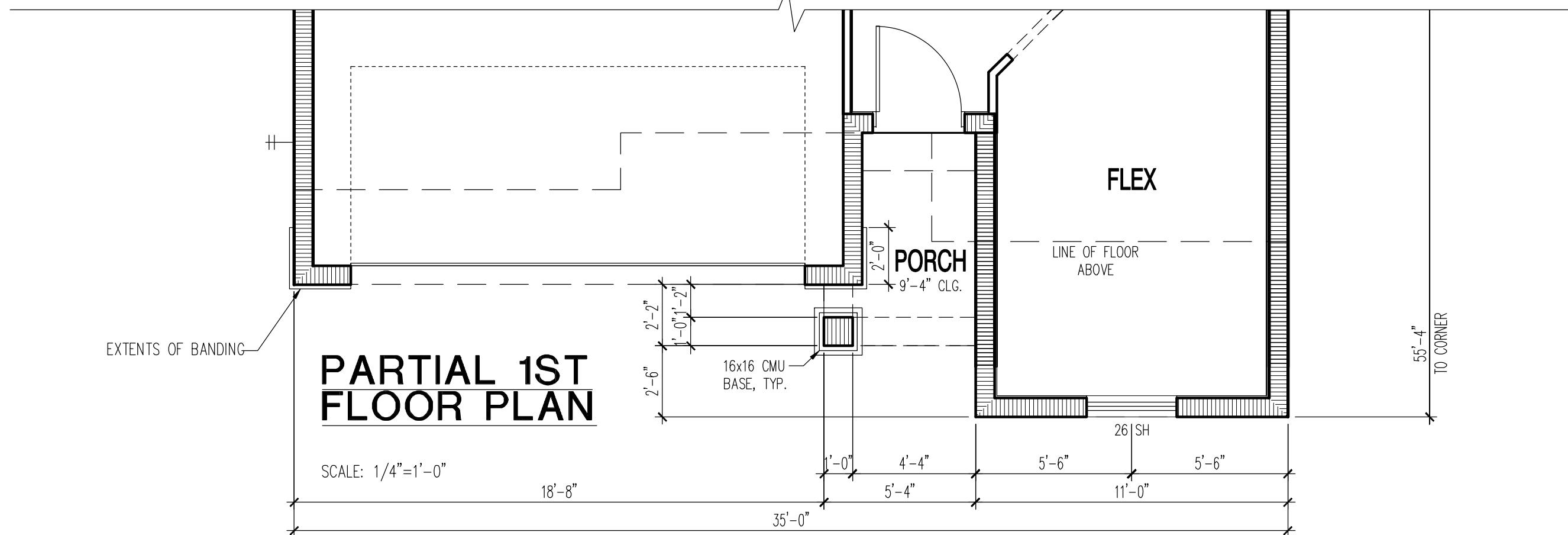
FRONT ELEVATION

SCALE: 1/4"=1'-0"



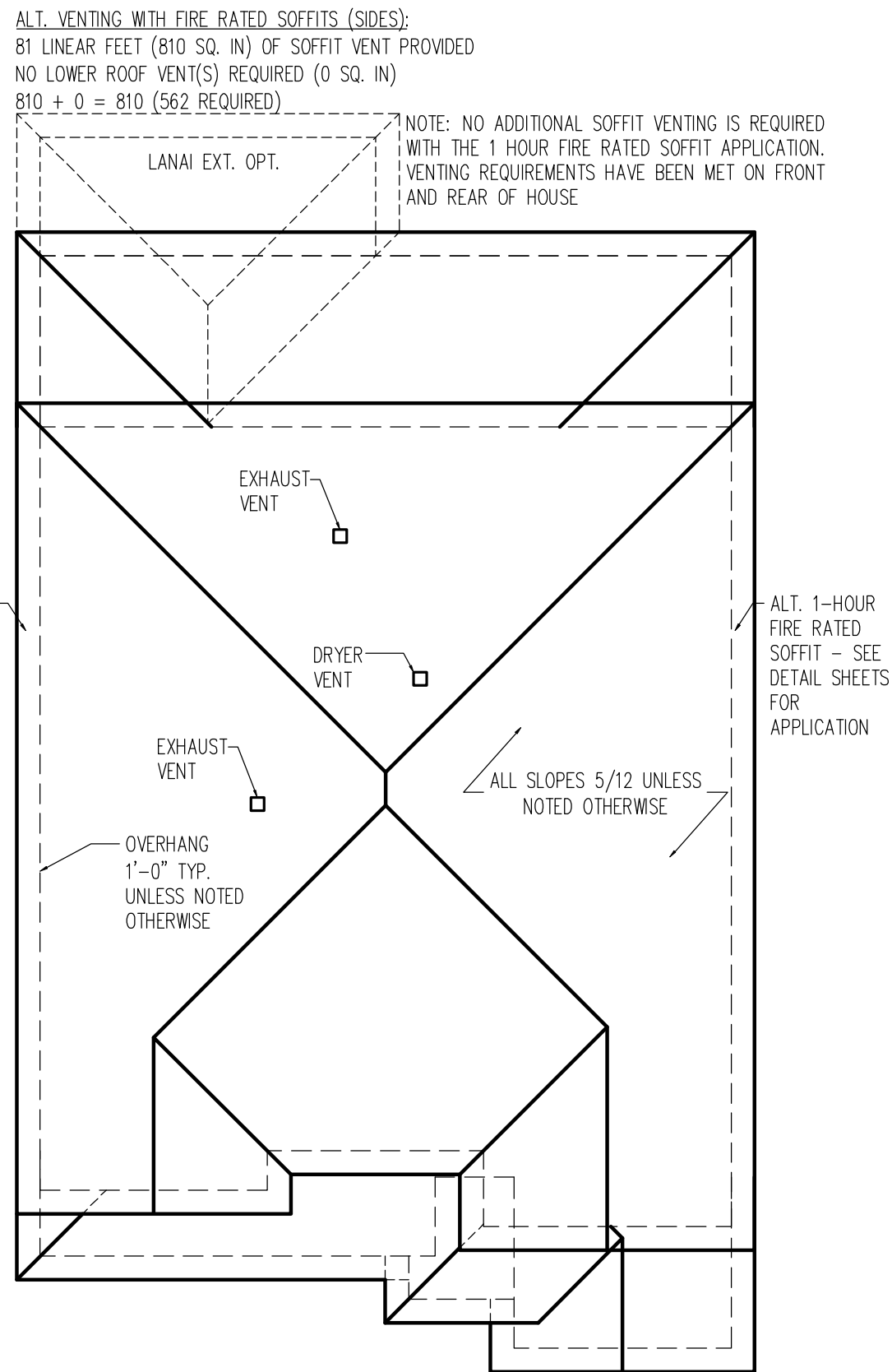
PARTIAL 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



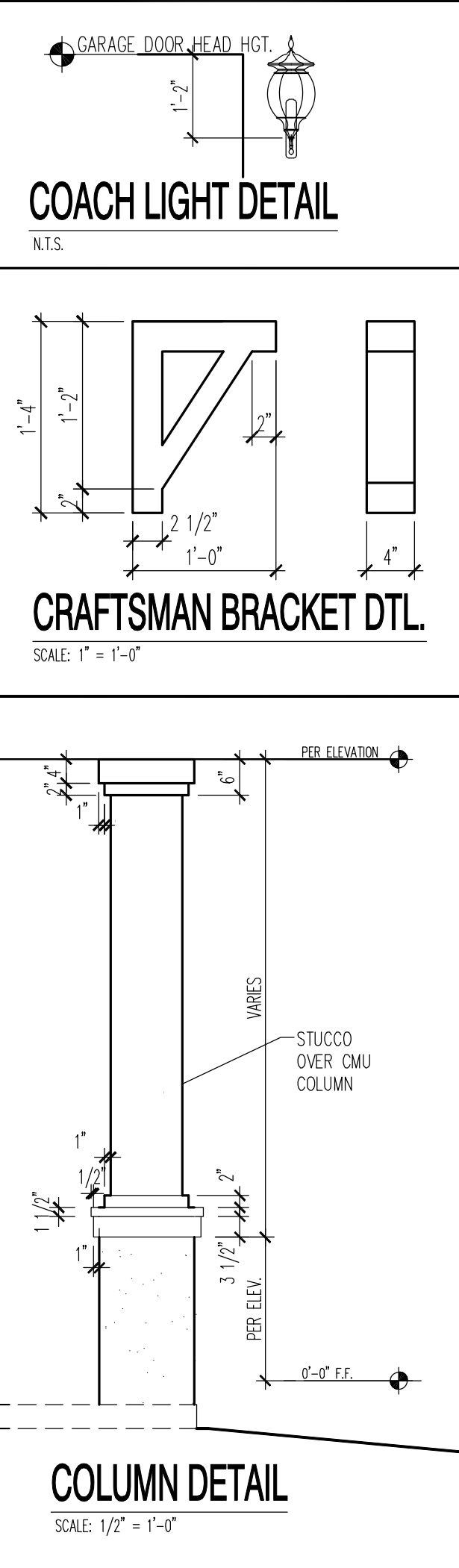
PARTIAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

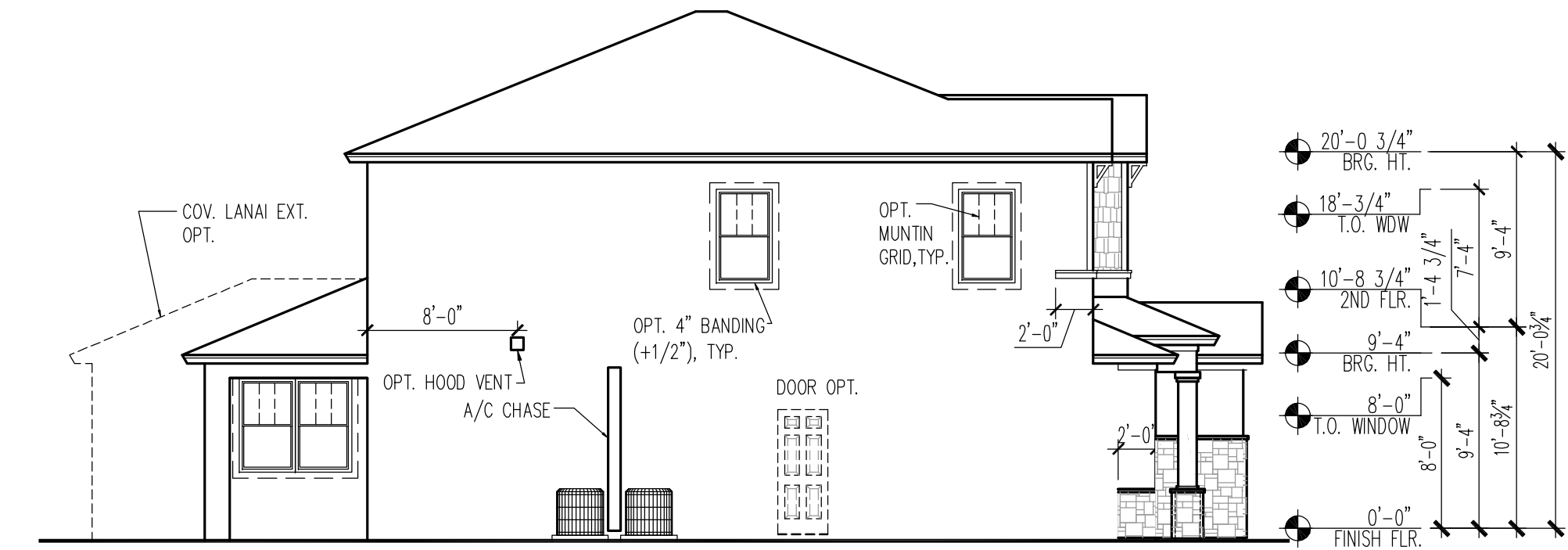


ROOF PLAN

SCALE: 1/4"=1'-0"

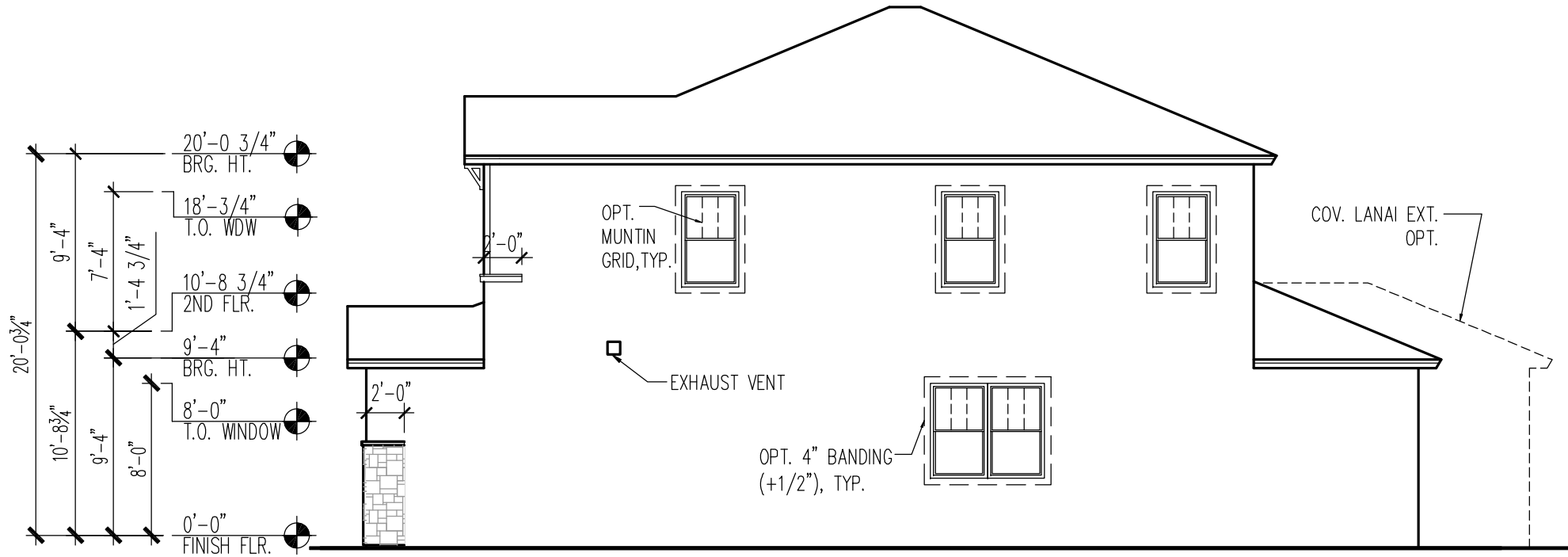


| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)   |  |                 |  |   |  |                  |  |
|--|--|-----------------|--|---|--|------------------|--|
| TOTAL ATTIC AREA   |  |                 |  | FREE VENT REQD. (AREA/300)  |  |                  |  |
| SQ. FT.  |  | SQ. IN.         |  | SQ. FT.   |  | SQ. IN.          |  |
| 2342   |  | 337248          |  | 7.8   |  | 1124             |  |
| ROOF VENTS REQD.   |  |                 |  | SOFFIT VENTS REQD. (S/10)   |  |                  |  |
| SQ. FT.  |  | SQ. IN. # VENTS |  | SQ. FT.   |  | SQ. IN. LIN. FT. |  |
| 3.9  |  | 562 4           |  | 3.9   |  | 562 56           |  |
| ROOF TOP ATTIC VENT: SERIES 144 = 1 SQ. FT./ VENT (144 SQ. IN. VENT)                 |  |                 |  | SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT. |  |                  |  |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE. |  |                 |  |   |  |                  |  |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                                |  |                 |  |   |  |                  |  |



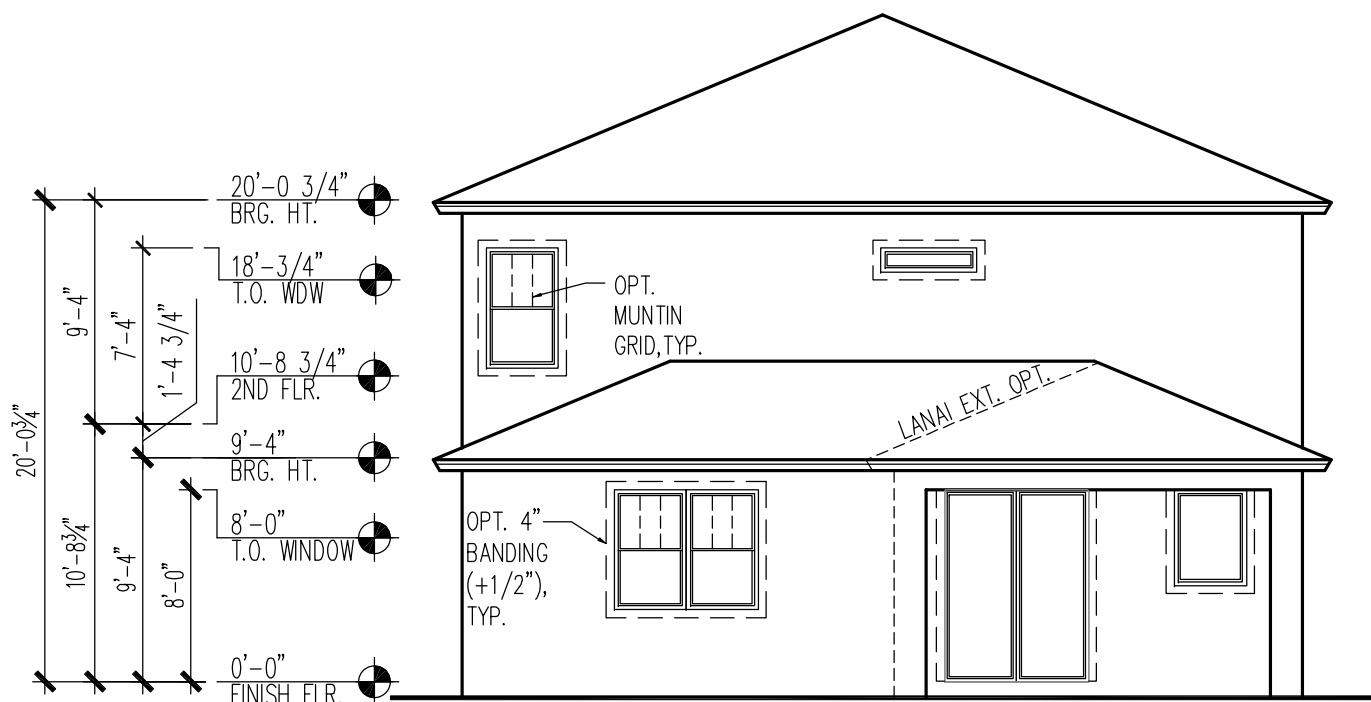
SIDE ELEVATION

SCALE: 1/8"=1'-0"



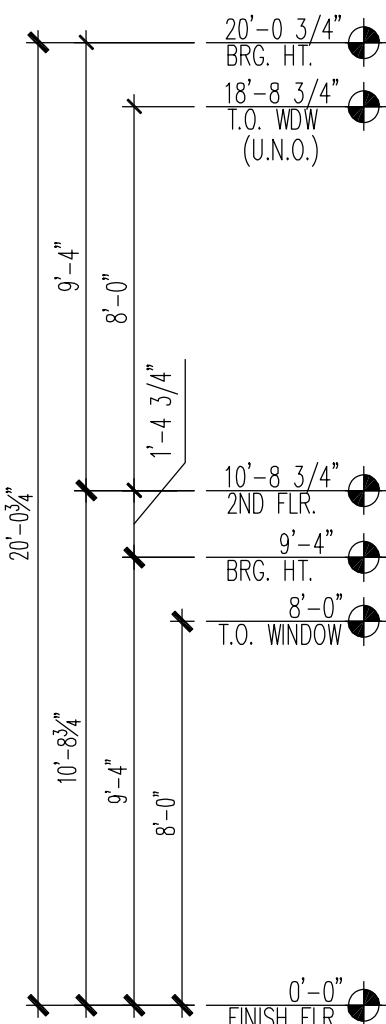
SIDE ELEVATION

SCALE: 1/8"=1'-0"



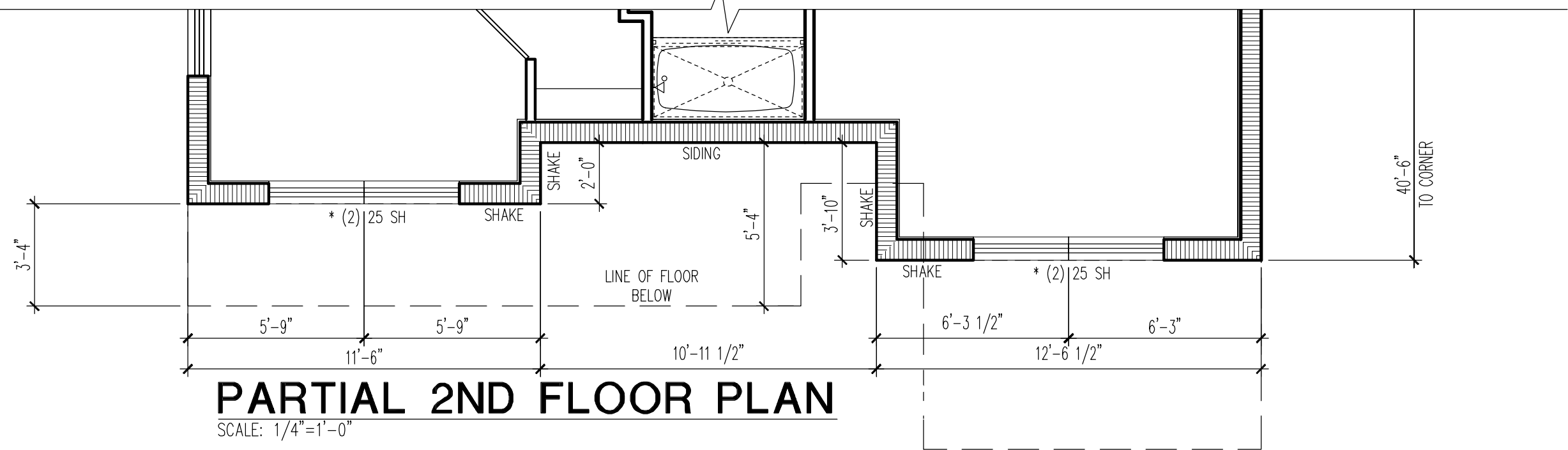
REAR ELEVATION

SCALE: 1/8"=1'-0"



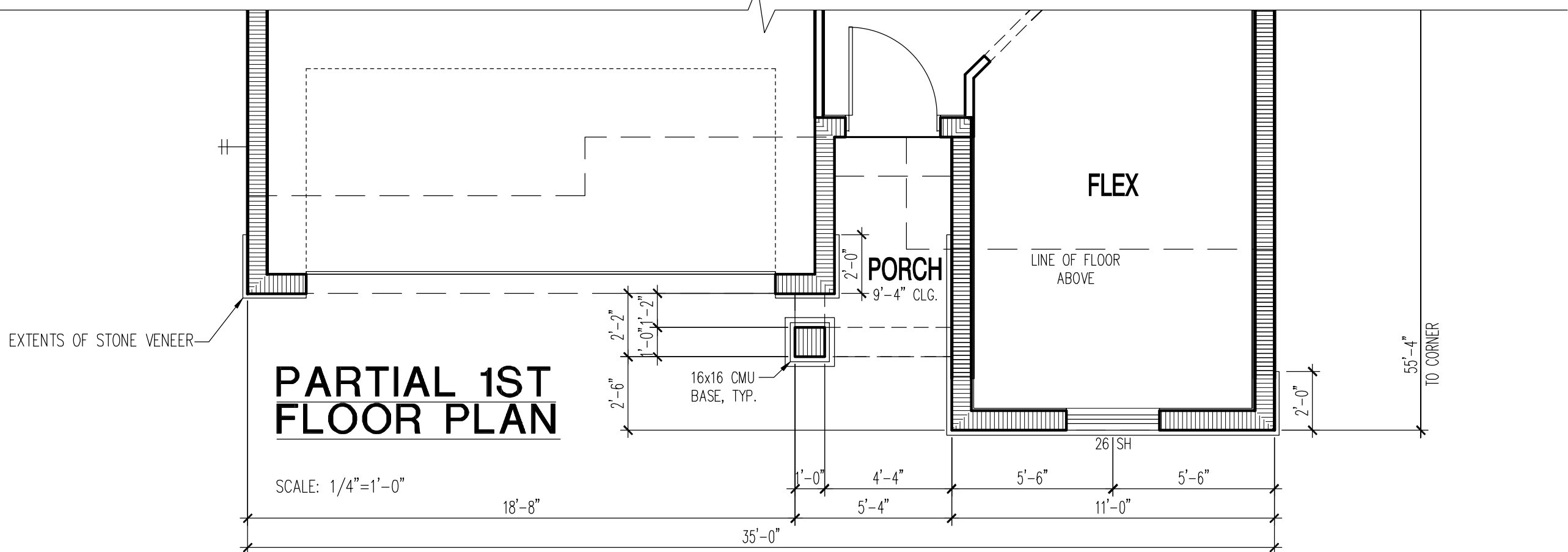
FRONT ELEVATION

SCALE: 1/4"=1'-0"



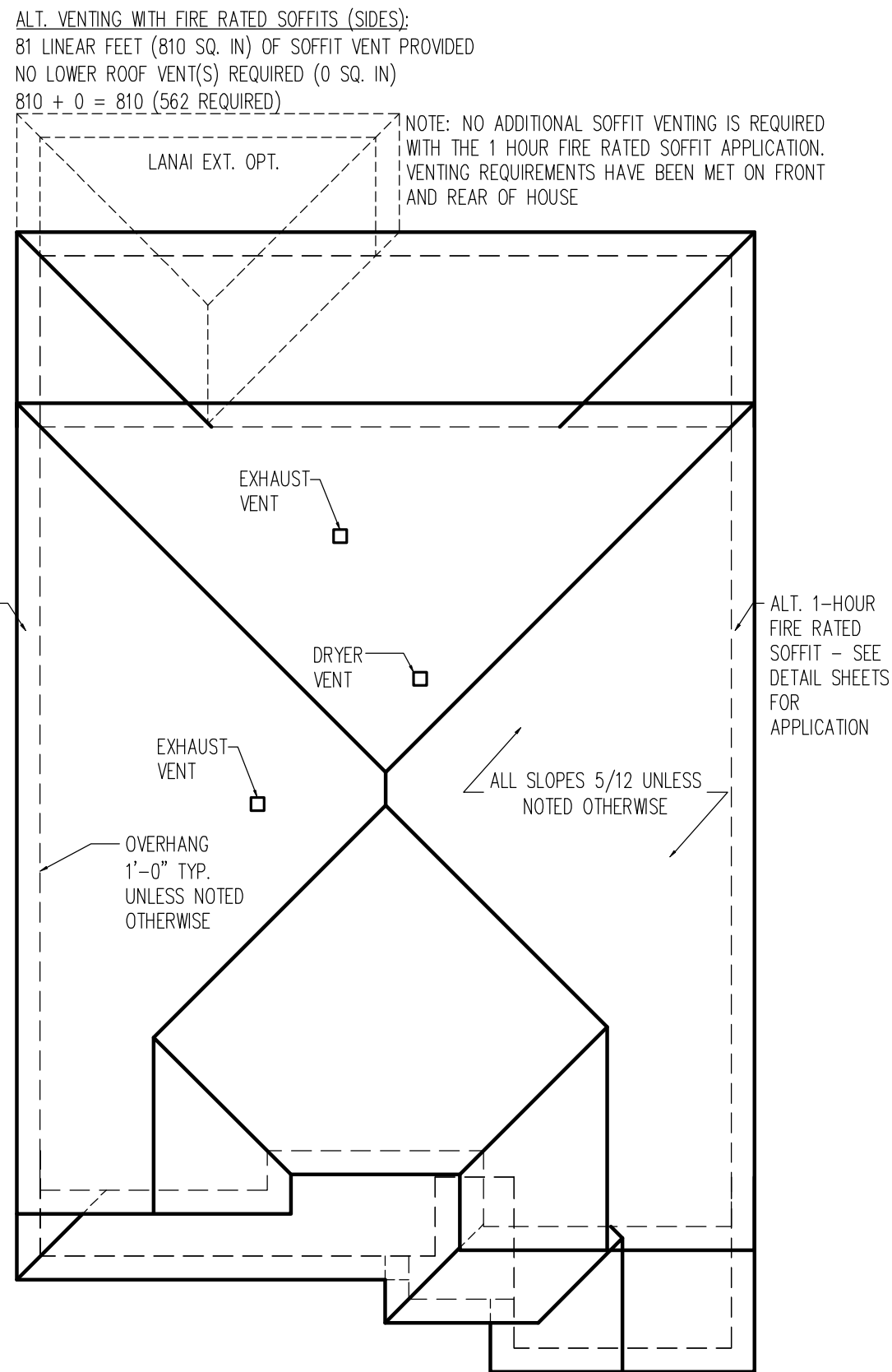
PARTIAL 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



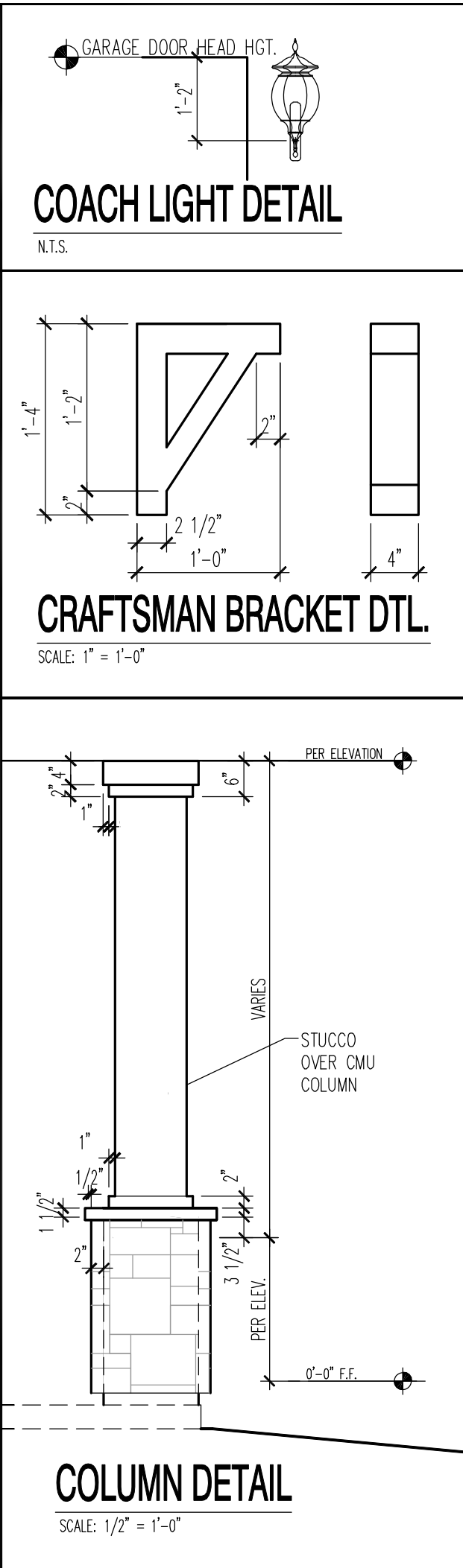
PARTIAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

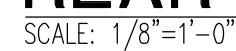
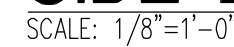


ROOF PLAN

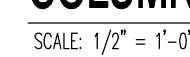
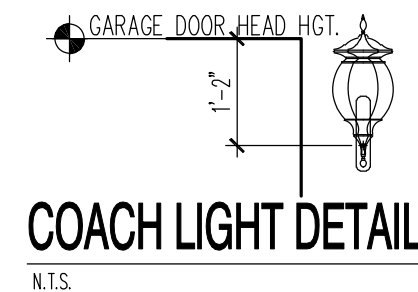
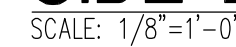
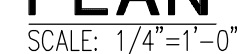
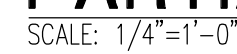
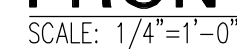
SCALE: 1/4"=1'-0"



| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)   |         |         |   |         |          |
|--|---------|---------|---|---------|----------|
| TOTAL ATTIC AREA   |         |         | FREE VENT REQD. (AREA/300)  |         |          |
| SQ. FT.  | SQ. IN. |         | SQ. FT.   | SQ. IN. |          |
| 2342   | 337248  |         | 7.8   | 1124    |          |
| ROOF VENTS REQD.   |         |         | SOFFIT VENTS REQD. (S/10)   |         |          |
| SQ. FT.  | SQ. IN. | # VENTS | SQ. FT.   | SQ. IN. | LIN. FT. |
| 3.9  | 562     | 4       | 3.9   | 562     | 56       |
| ROOF TOP ATTIC VENT: SERIES 144 = 1 SQ. FT./ VENT (144 SQ. IN. VENT)                 |         |         | SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE. |         |         |   |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                                |         |         |   |         |          |



SCALE: 1/4"=1'-0'



REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE.  
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY

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ELEVATION 19 - 1C2B

[illegible]PROJECT TYPE  
SINGLE FAMILY

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

**GARAGE HANDING**  
**LEFT**

VERSION NUMBER  
1.0

PLAN NAME  
**FIFTH AVENUE**

NPC PLAN NUMBER  
**1955.500**  
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME  
FIFTH AVENUE

SHEET  
A2.1LC2B-CMU

PLOTTED: June 5, 2017 / Rajeev Kumar / FIFTH AVENUE AT MASTER\_LH\_ARCH\_2017-06-05.DWG



# FOX HOLLOW

FLORIDA ZONE  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800



INDEX, HOUSE DATA, GEN. NOTES

|                       |                    |
|-----------------------|--------------------|
| PRODUCTION MANAGER    |                    |
| CONTROL DATE: 10/6/17 |                    |
| REV #                 | DATE / DESCRIPTION |
| △                     | --                 |
| △                     | --                 |
| △                     | --                 |
| △                     | --                 |
| △                     | --                 |
| △                     | --                 |
| △                     | --                 |
| △                     | --                 |
| △                     | --                 |

PROJECT TYPE  
 SINGLE FAMILY

COMMUNITY NAME  
 MASTER

GARAGE HANDING  
 LEFT

VERSION NUMBER  
 1.0

PLAN NAME  
 FOX HOLLOW  
 NPC PLAN NUMBER  
 2353.500.00  
 LAWSON PLAN ID  
 xxxxxx  
 LEGACY PLAN NUMBER / NAME  
 FOX HOLLOW

SHEET  
 G1.1

## LEGEND

FM - FLORIDA MEDITERRANEAN  
 C - CRAFTSMAN  
 LC - LOW COUNTRY

## NOTES

SQ. FT. TABLE IS BASED ON +/- SQ. FT.  
 AS COMPARED TO BASE PLAN

NOTE:  
 OPTIONS AVAILABLE WITH  
 ALL ELEVATION STYLES

## AREA CALCULATION (SQ. FT.)

|                          | WIDTH  | DEPTH  | LIVING AREA |           |                 | NON-LIVING AREA |               |       | TOTAL AREA U.R. |
|--------------------------|--------|--------|-------------|-----------|-----------------|-----------------|---------------|-------|-----------------|
|                          |        |        | 1ST FLOOR   | 2ND FLOOR | TOTAL A/C SPACE | GARAGE          | COVERED ENTRY | LANAI |                 |
| BASE HOUSE (FM2A / FM2B) | 35'-0" | 70'-0" | 1901        | 0         | 1901            | 393             | 11            | 120   | 2425            |
| C2A / C2B                | 0      | 0      | 0           | 0         | 0               | 0               | 0             | 0     | 0               |
| LC2B                     | 0      | 0      | 0           | 0         | 0               | 0               | 0             | 0     | 0               |
|                          | 0      | 0      | 0           | 0         | 0               | 0               | 0             | 0     | 0               |
|                          |        |        |             |           |                 |                 |               |       |                 |
| COVERED LANAI EXTENSION  | 0      | +6'-0" | 0           | 0         | 0               | 0               | 0             | +94   | 94              |
|                          |        |        |             |           |                 |                 |               |       |                 |
|                          |        |        |             |           |                 |                 |               |       |                 |
|                          |        |        |             |           |                 |                 |               |       |                 |
| TOTALS                   |        |        |             |           |                 |                 |               |       |                 |

## ADDITIONAL NOTES

ALL SECONDARY MEANS OF EGRESS WILL COMPLY WITH FFPC 24.2.2.3.3. IT SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE WIDTH SHALL BE NOT LESS THAN 20 INCHES, AND THE HEIGHT SHALL BE NOT LESS THAN 24 INCHES. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44INCHES ABOVE THE FLOOR.

SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 9.6.2.10 IN ALL SLEEPING ROOMS, OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT.

CARBON MONOXIDE DETECTORS WILL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS AND ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, EXCLUDING ATTICS.

## GENERAL NOTES

THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:  
 FLORIDA BUILDING CODE 5TH EDITION (2014) RESIDENTIAL  
 BUILDING TYPE: VB  
 FLORIDA FIRE PREVENTION CODE 5th EDITION

- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.
- PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM.

R703.6.1 LATH.  
 ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCHLONG (22.2 MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.  
 R703.6.2 PLASTER.  
 PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

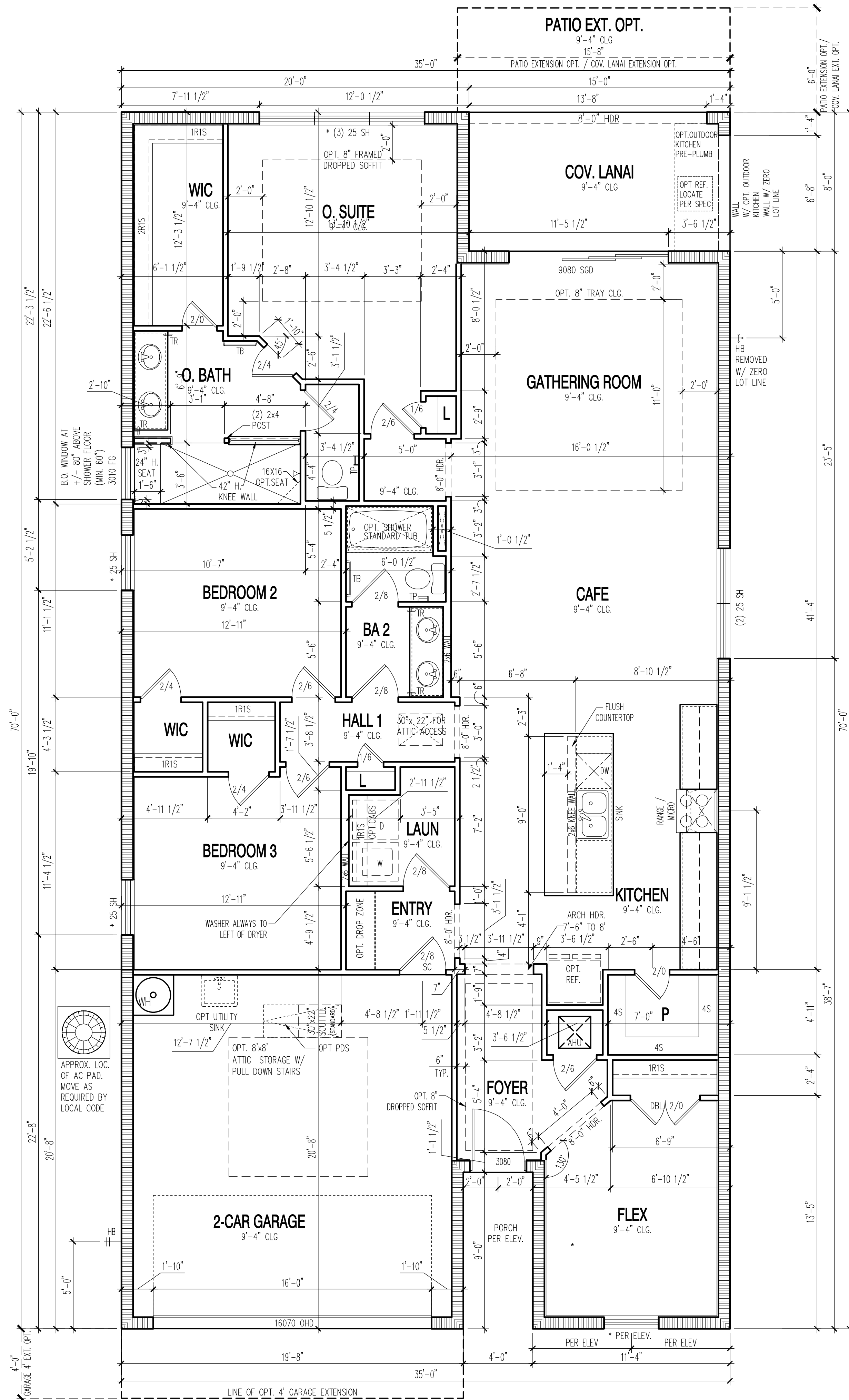
THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).  
 R703.6.2.1 WEEP SCREEDS.  
 A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.  
 R703.6.3 WATER-RESISTIVE BARRIERS.  
 WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.  
 R905.2.7 UNDERLAYMENT APPLICATION.  
 THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

## DRAWING INDEX





|       |                               |
|-------|-------------------------------|
| G1.1  | INDEX, HOUSE DATA, GEN. NOTES |
| A1.1  | FIRST FLOOR PLAN              |
| A01.1 | FLOOR PLAN OPTIONS            |
| A2.1  | ELEVATIONS                    |

## CURRENT RELEASE DATE

10/6/17



## LEGEND SYMBOLS

|   |  |
|---|--|
|        | MASONRY - CONC. BLOCK OR BRICK WALL  |
|        | 2X FRAME WALL PER PLAN   |
|  ELEV. | ELEVATION INDICATOR - ELEVATION NOTED IS<br>RELATIVE TO FINISH FLOOR DATUM = 0'-0" |
|        | DENOTES EMERGENCY ESCAPE & RESCUE OPENING  |

NOTES:

- 1-FIELD SHALL VERIFY ALL MASONRY OPENINGS.
- 2-2ND FLOOR WINDOWS: ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R312.2.1 - MIN. 24" SILL HEIGHT
- 3-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTACHED AREA BY NOT LESS THAN 1/2" OPSUM BOARD APPLIED TO THE ATTACH. AREA, AS PER F.B.C. 302.6 IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 8" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER APPROVED CALCULATIONS.
- 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
- 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
- 6-ALL QUADRANTS TO BE MIN. 36" AFF w/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
- 7-ALL STANDARD INTERIOR HEAD-HEIGHT CEILING SHALL BE 8'-0" A.F.F. (9'-4" CEILING HT) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)
- 8- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7
- 9- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE, FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE, AS PER R302.5.1.
- 10- WHERE SOFFITS ARE LESS THAN 5'-0" FROM PROPERTY LINE THE SOFFIT CONSTRUCTION SHALL HAVE A 1-HOUR FIRE RATING PER R302.1. APPROVED CALCULATIONS MAY BE USED TO DETERMINE BOTTOM SIDE OF SOFFIT TO ACHIEVE THIS RATING OR APPROVED ALTERN.

13-ALL SECONDARY MEANS OF EGRESS WILL COMPLY WITH WFCPC 24.2.2.3.3. IT SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE WIDTH SHALL BE NOT LESS THAN 20 INCHES, AND THE HEIGHT SHALL BE NOT LESS THAN 24 INCHES. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 4 INCHES ABOVE THE FLOOR.

14-SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 9.6.2.10 IN ALL SLEEPING ROOMS, OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT.

15-CARBON MONOXIDE DETECTORS WILL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS AND ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, EXCLUDING ATTICS.

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**FLORIDA ZONE**  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



# FIRST FLOOR PLAN

[illegible]

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

**GARAGE HANDING  
LEFT**

VERSION NUMBER  
**1.0**

|                           |             |
|---------------------------|-------------|
| PLAN NAME                 | FOX HOLLOW  |
| NPC PLAN NUMBER           | 2353.500.00 |
| LAWSON PLAN ID            | 80940       |
| LEGACY PLAN NUMBER / NAME | FOX HOLLOW  |

SHEET  
**A1.1**

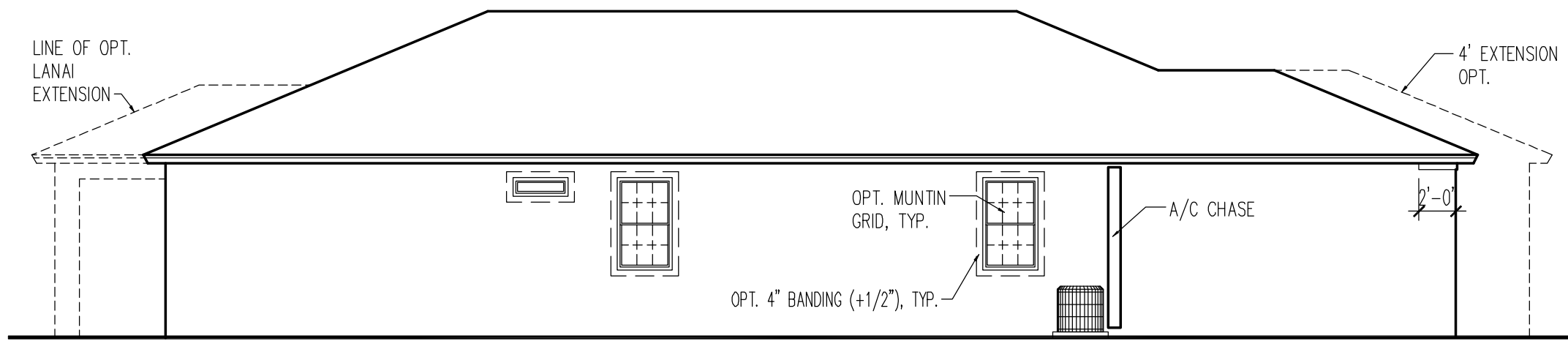
## FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

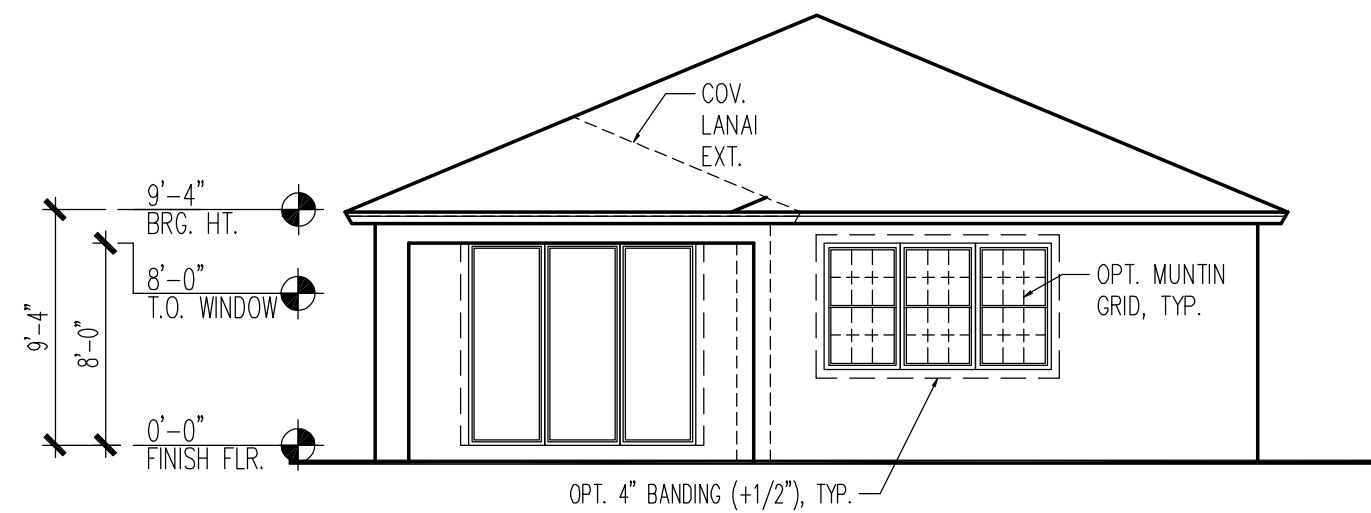




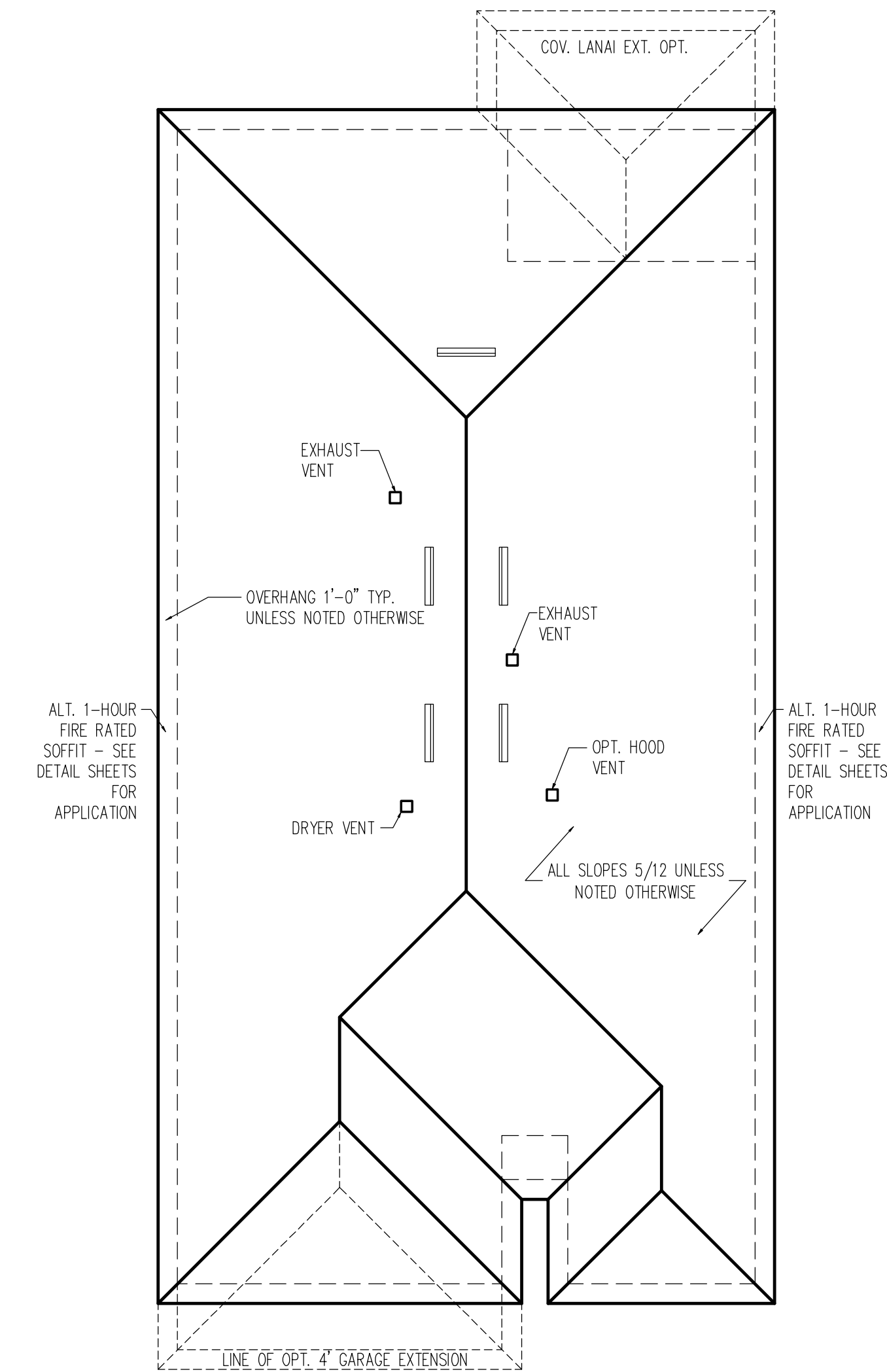
**NOTE:**  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES



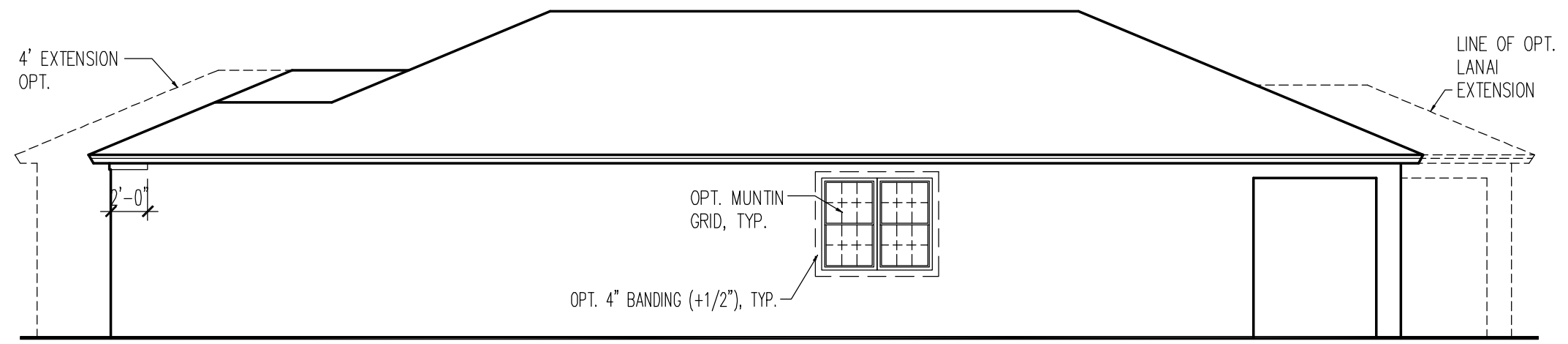
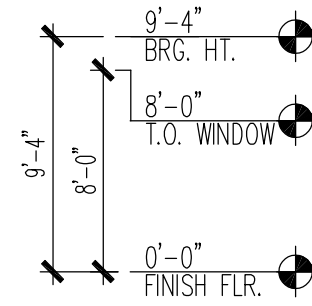
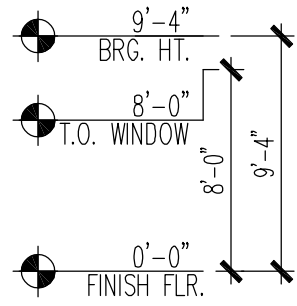
LEFT ELEVATION  
 SCALE: 1/8"=1'-0"



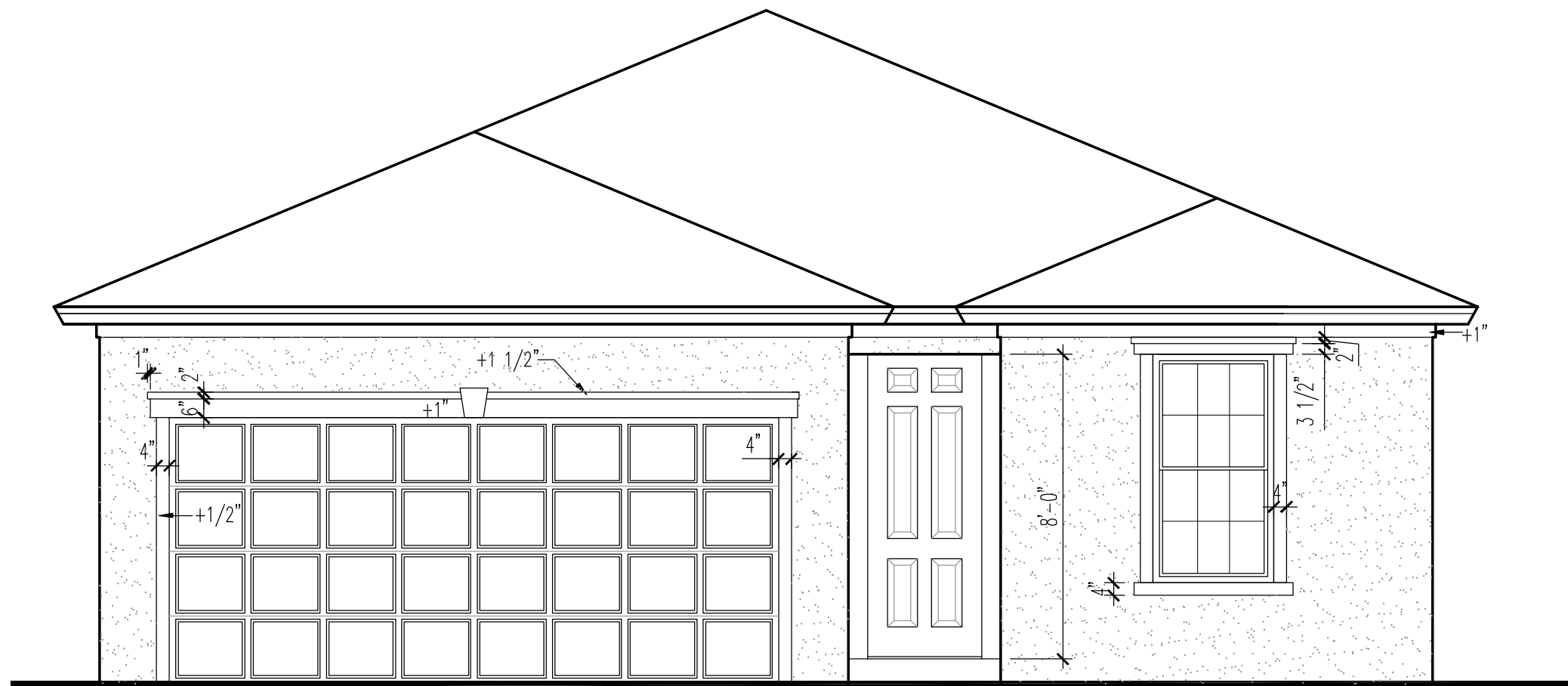
REAR ELEVATION  
 SCALE: 1/8"=1'-0"



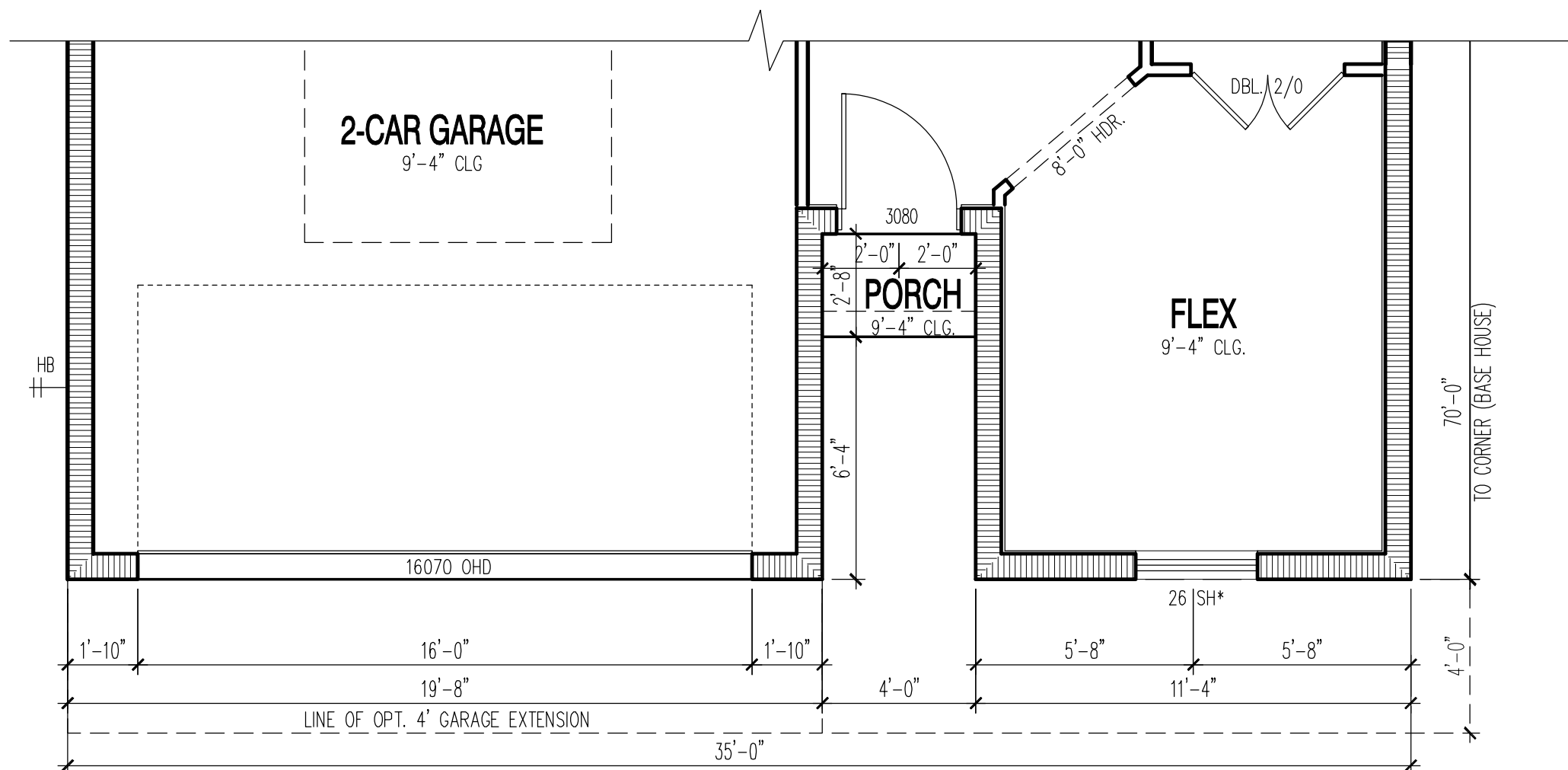
ROOF PLAN  
 SCALE: 1/8"=1'-0"



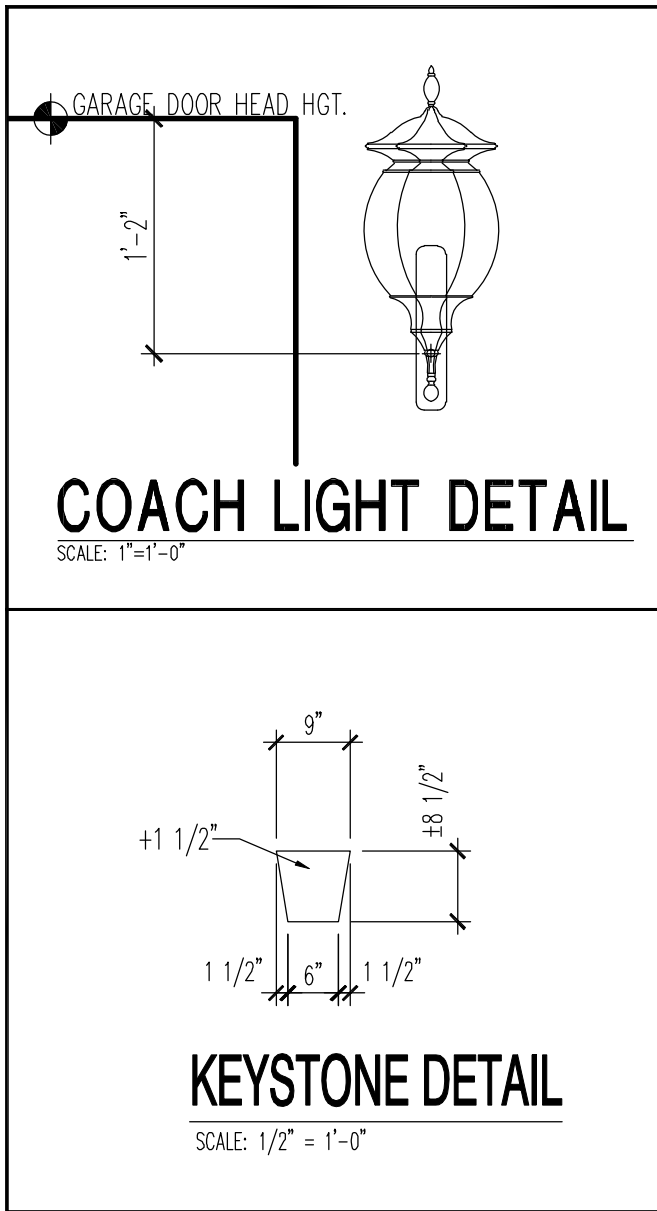
RIGHT ELEVATION  
 SCALE: 1/8"=1'-0"



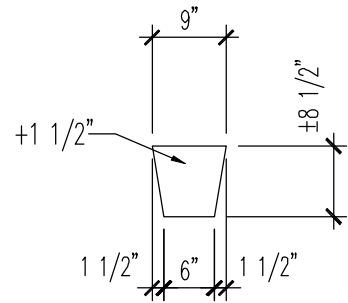
FRONT ELEVATION  
 SCALE: 1/4"=1'-0"



PARTIAL 1ST FLOOR PLAN  
 SCALE: 1/4"=1'-0"



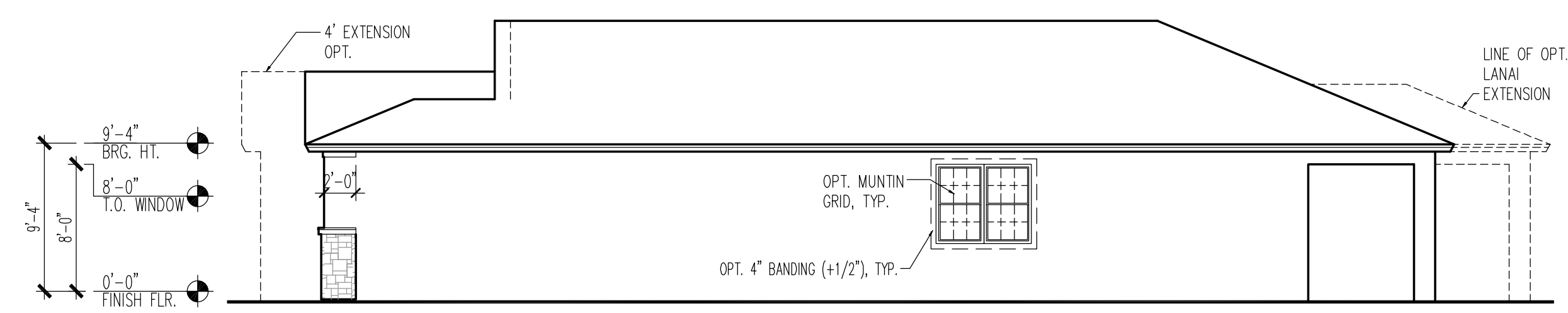
COACH LIGHT DETAIL  
 SCALE: 1"=1'-0"



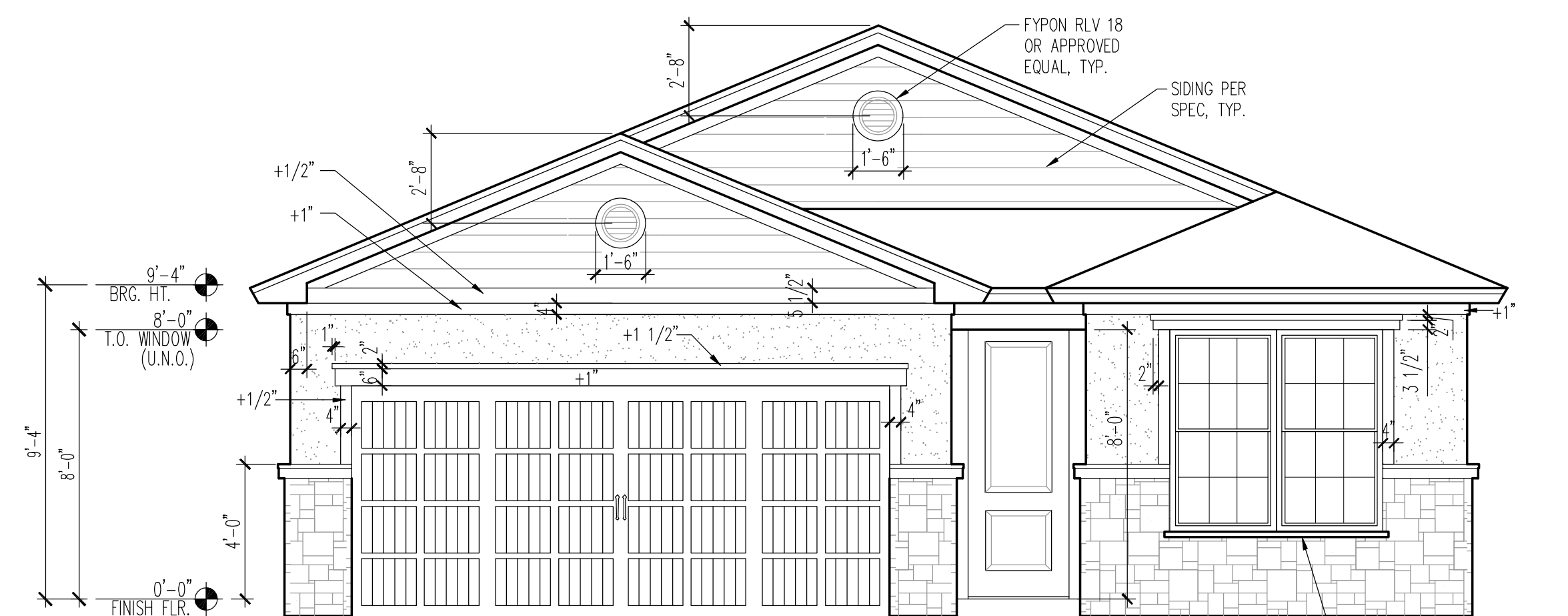
KEYSTONE DETAIL  
 SCALE: 1/2" = 1'-0"

| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)  |         |         |  |         |          |  |
|---|---------|---------|--|---------|----------|--|
| TOTAL ATTIC AREA  |         |         | FREE VENT REQD. (AREA/300)   |         |          |  |
| SQ. FT.   | SQ. IN. |         | SQ. FT.  | SQ. IN. |          |  |
| 2413  | 347472  |         | 8.0  | 1158    |          |  |
| ROOF VENTS REQD.  |         |         | SOFFIT VENTS REQD. (S/10)  |         |          |  |
| SQ. FT.   | SQ. IN. | # VENTS | SQ. FT.  | SQ. IN. | LIN. FT. |  |
| 4.0   | 579     | 5       | 4.0  | 579     | 58       |  |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT) |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |  |
| IN ACCORDANCE WITH SECTION R806.2 OF 2014 F.R.C.                              |         |         |  |         |          |  |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER<br>MUNICIPALITY                      |         |         |  |         |          |  |

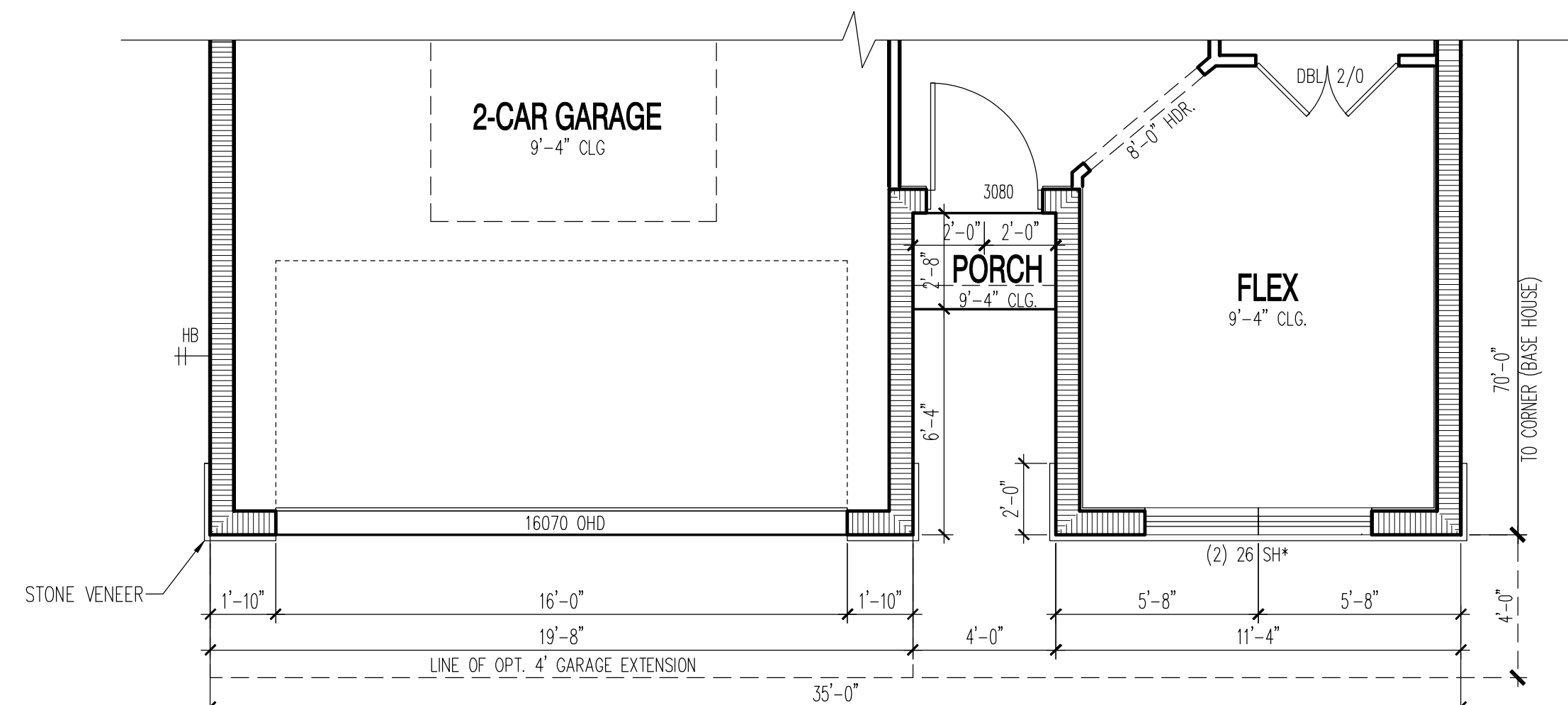




## RIGHT ELEVATION

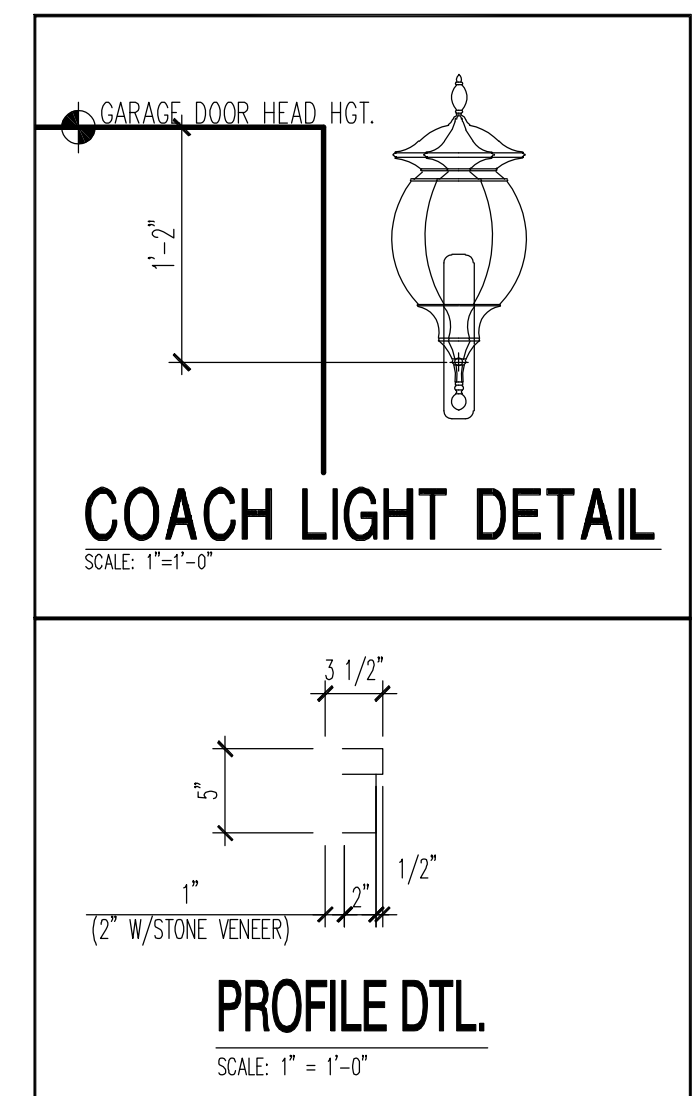


**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



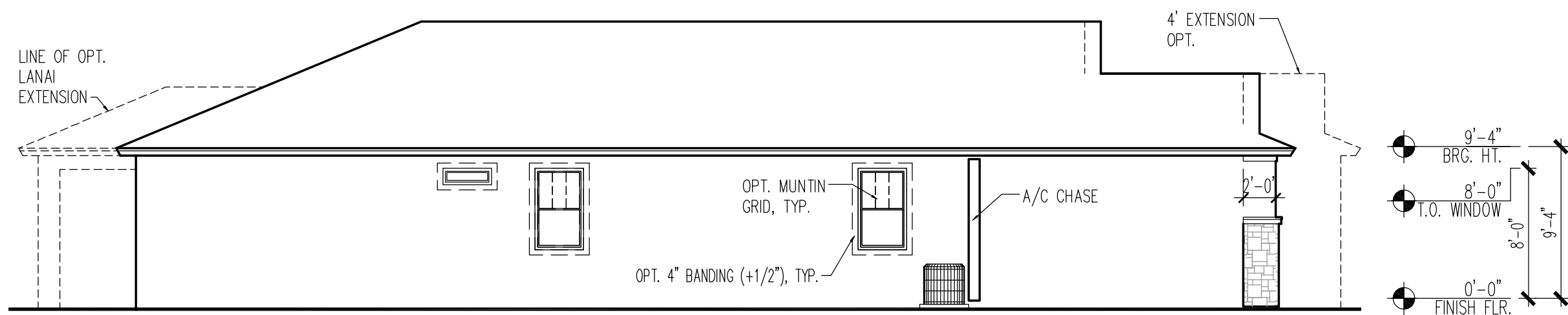
## PARTIAL 1ST FLOOR PLAN

| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)   |         |         |  |         |          |
|--|---------|---------|--|---------|----------|
| TOTAL ATTIC AREA   |         |         | FREE VENT REQ. (AREA/300)  |         |          |
| SQ. FT.  | SQ. IN. |         | SQ. FT.  | SQ. IN. |          |
| 2413   | 347472  |         | 8.0  | 1158    |          |
| ROOF VENTS REQ.  |         |         | SOFFIT VENTS REQ. (S/10)   |         |          |
| SQ. FT.  | SQ. IN. | # VENTS | SQ. FT.  | SQ. IN. | LIN. FT. |
| 4.0  | 579     | 5       | 4.0  | 579     | 58       |
| ROOF TOP VENT TYPE:<br>SERIES<br>144 = 1.0 SQ. FT./ VENT<br>(144 SQ. IN. VENT) |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |
| IN ACCORDANCE WITH SECTION R806.2 OF 2014 F.R.C.                               |         |         |  |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                          |         |         |  |         |          |



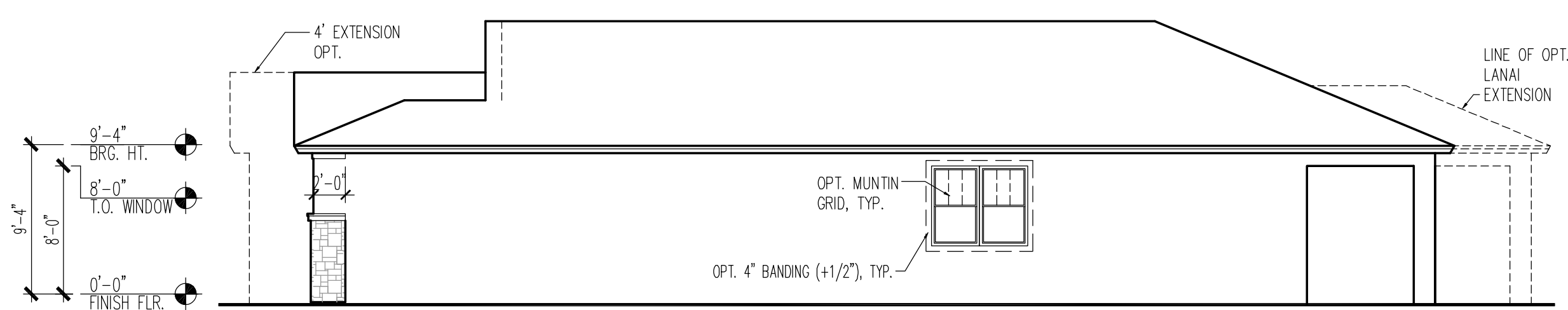






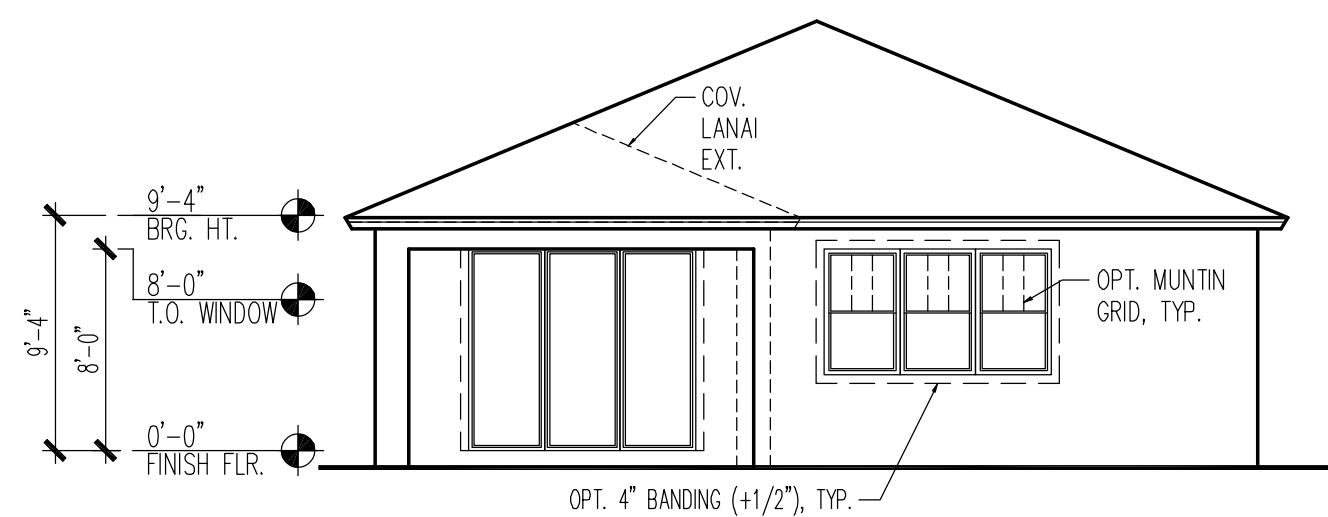
LEFT ELEVATION

SCALE: 1/8"=1'-0"



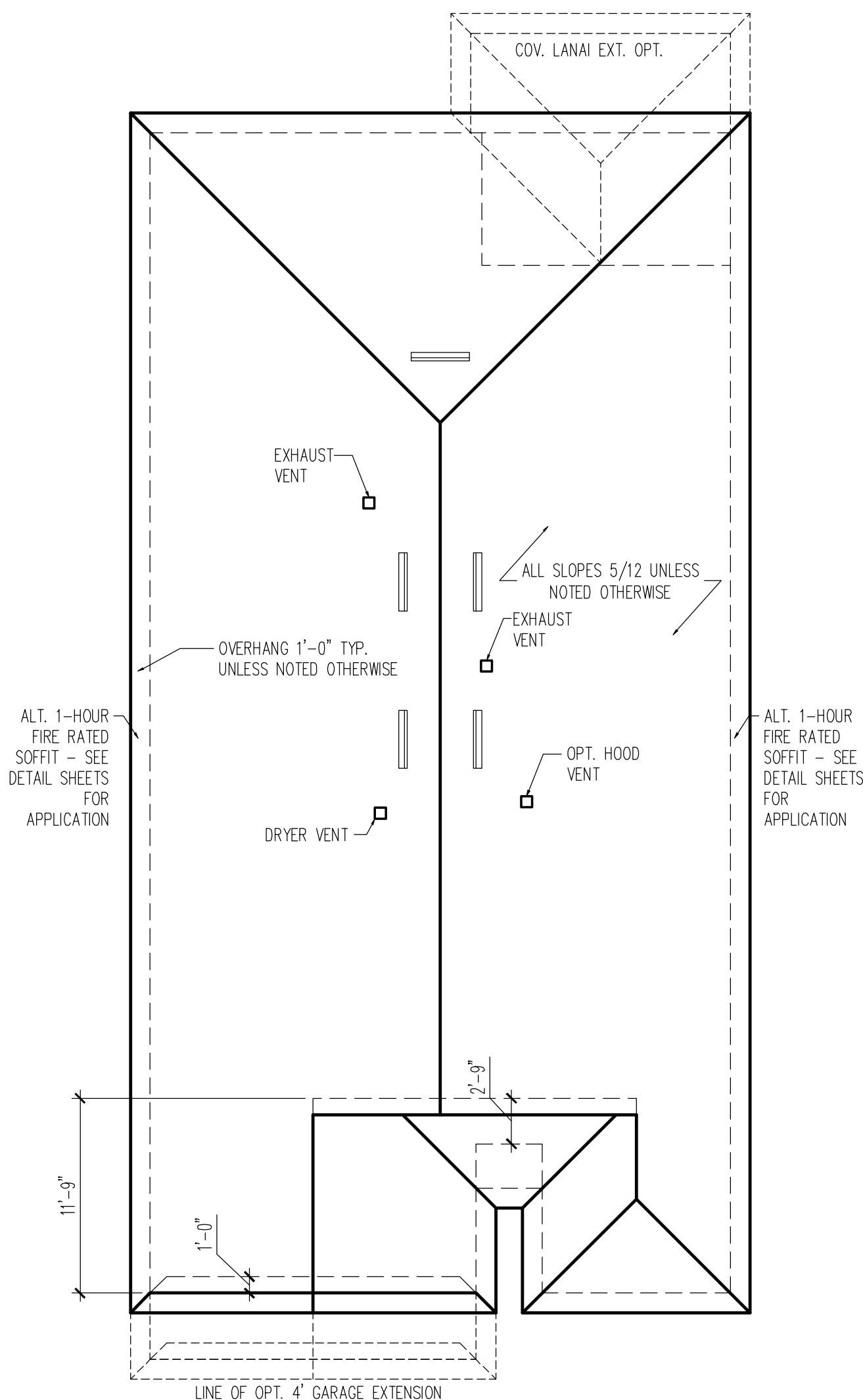
RIGHT ELEVATION

SCALE: 1/8"=1'-0"



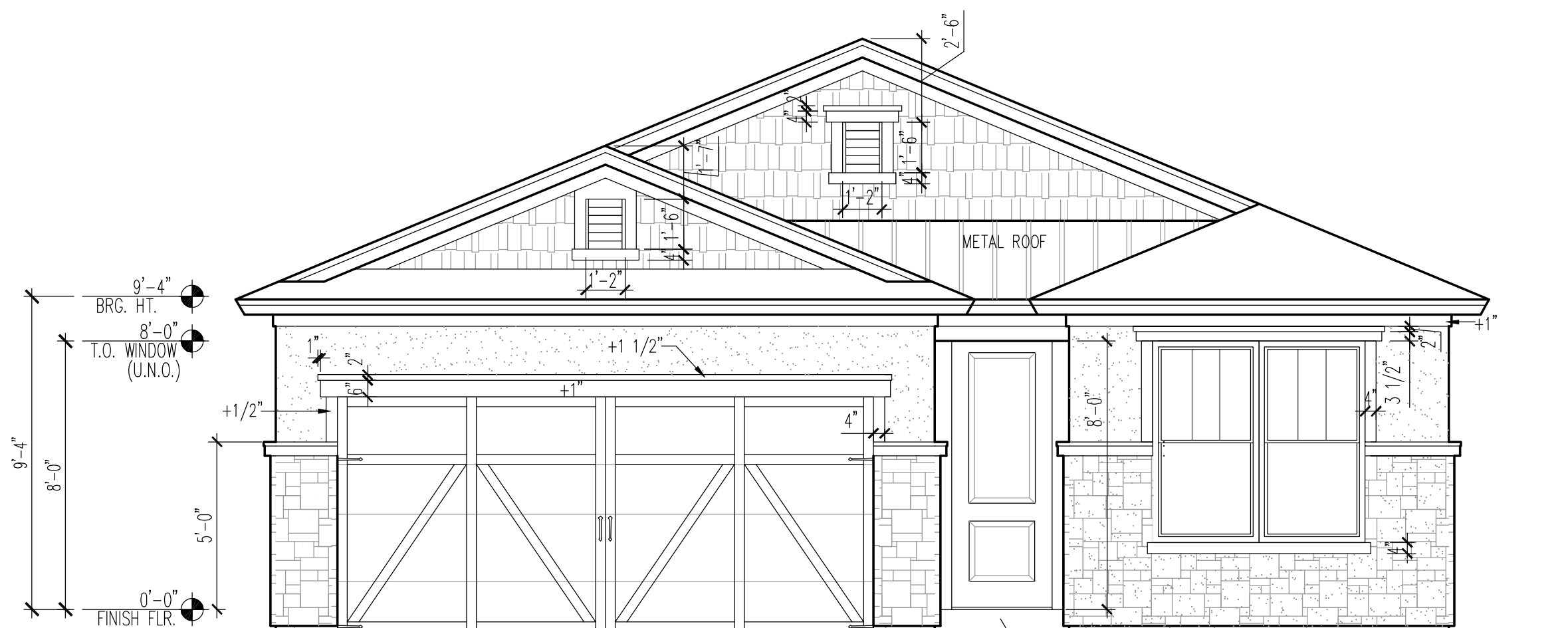
REAR ELEVATION

SCALE: 1/8"=1'-0"



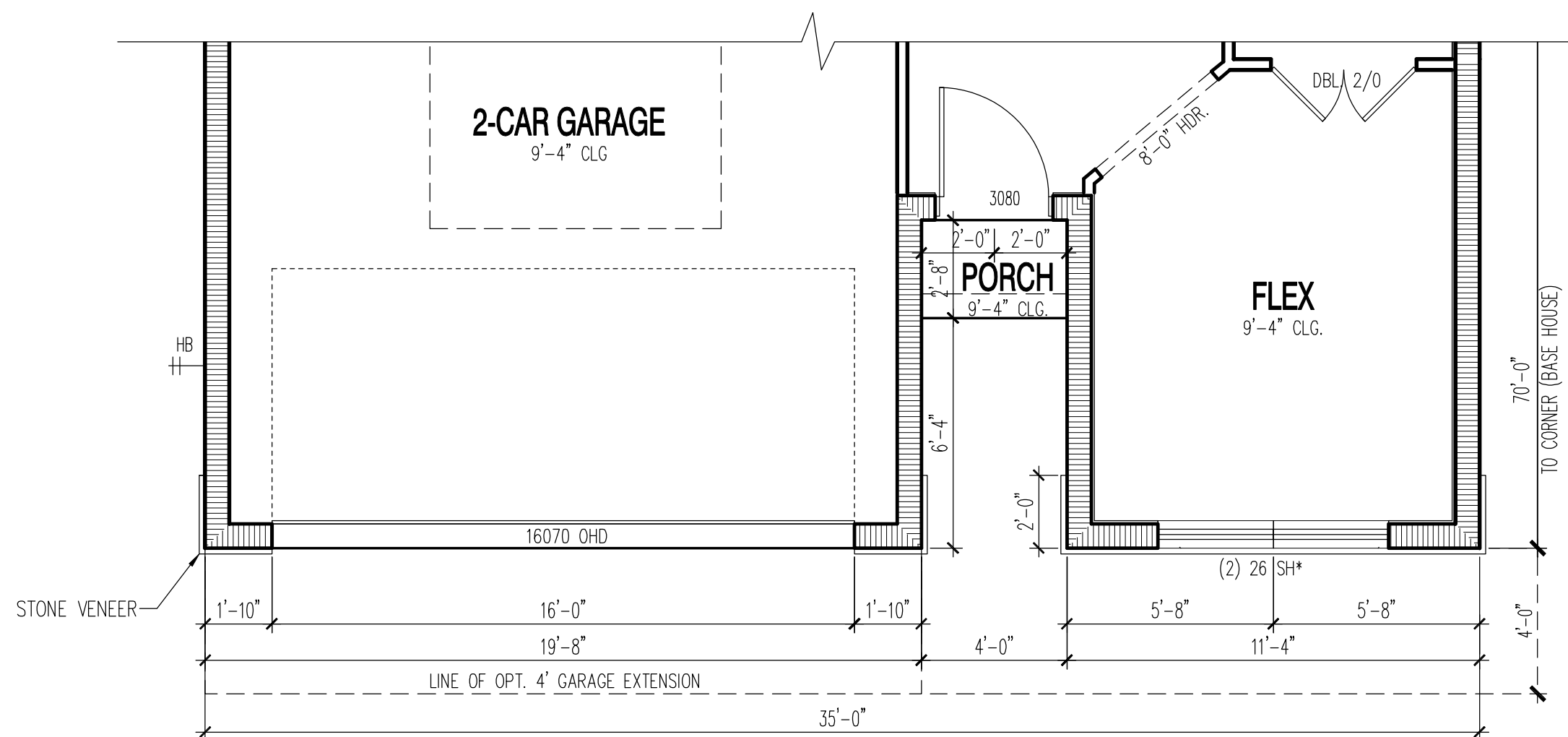
ROOF PLAN

SCALE: 1/8"=1'-0"



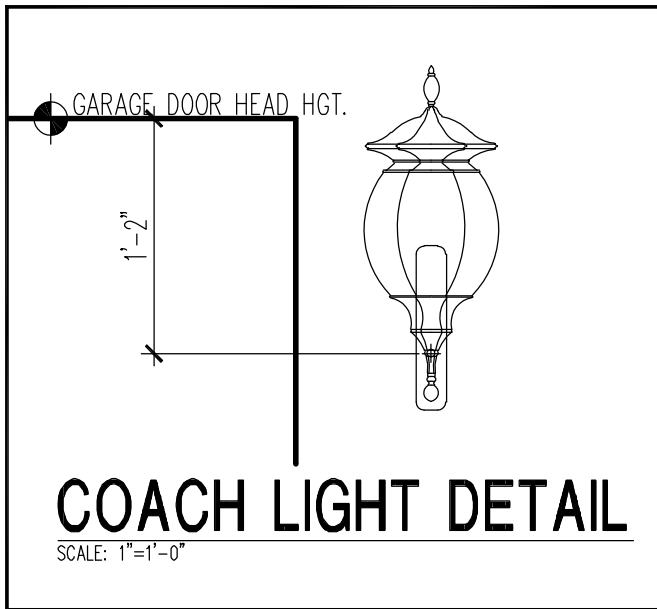
FRONT ELEVATION

SCALE: 1/4"=1'-0"



PARTIAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



COACH LIGHT DETAIL

SCALE: 1"=1'-0"

| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)  |         |         |  |         |          |  |
|---|---------|---------|--|---------|----------|--|
| TOTAL ATTIC AREA  |         |         | FREE VENT REQD. (AREA/300)   |         |          |  |
| SQ. FT.   | SQ. IN. |         | SQ. FT.  | SQ. IN. |          |  |
| 2413  | 347472  |         | 8.0  | 1158    |          |  |
| ROOF VENTS REQD.  |         |         | SOFFIT VENTS REQD. (S/I10)   |         |          |  |
| SQ. FT.   | SQ. IN. | # VENTS | SQ. FT.  | SQ. IN. | LIN. FT. |  |
| 4.0   | 579     | 5       | 4.0  | 579     | 58       |  |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT) |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |  |
| IN ACCORDANCE WITH SECTION R806.2 OF 2014 F.R.C.                              |         |         |  |         |          |  |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER<br>MUNICIPALITY                      |         |         |  |         |          |  |

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

FLORIDA ZONE  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800



ELEVATION 7 - C2B  
 ELEVATIONS

|                    |                    |
|--------------------|--------------------|
| PRODUCTION MANAGER |                    |
| CONTROL DATE:      | 10/6/17            |
| REV #              | DATE / DESCRIPTION |
| 1                  |                    |
| 2                  |                    |
| 3                  |                    |
| 4                  |                    |
| 5                  |                    |
| 6                  |                    |
| 7                  |                    |
| 8                  |                    |
| 9                  |                    |
| 10                 |                    |

PROJECT TYPE  
 SINGLE FAMILY

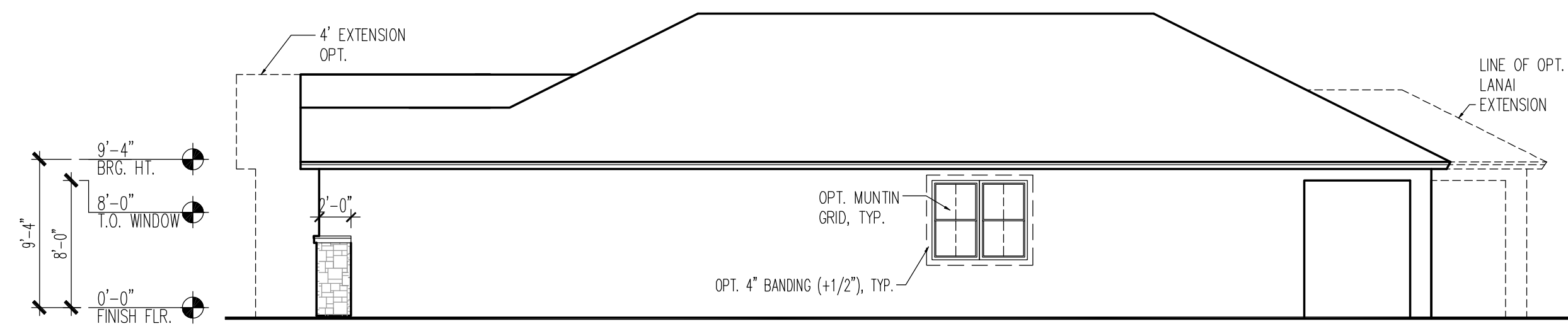
COMMUNITY NAME  
 MASTER

GARAGE HANDING  
 LEFT

VERSION NUMBER  
 1.0

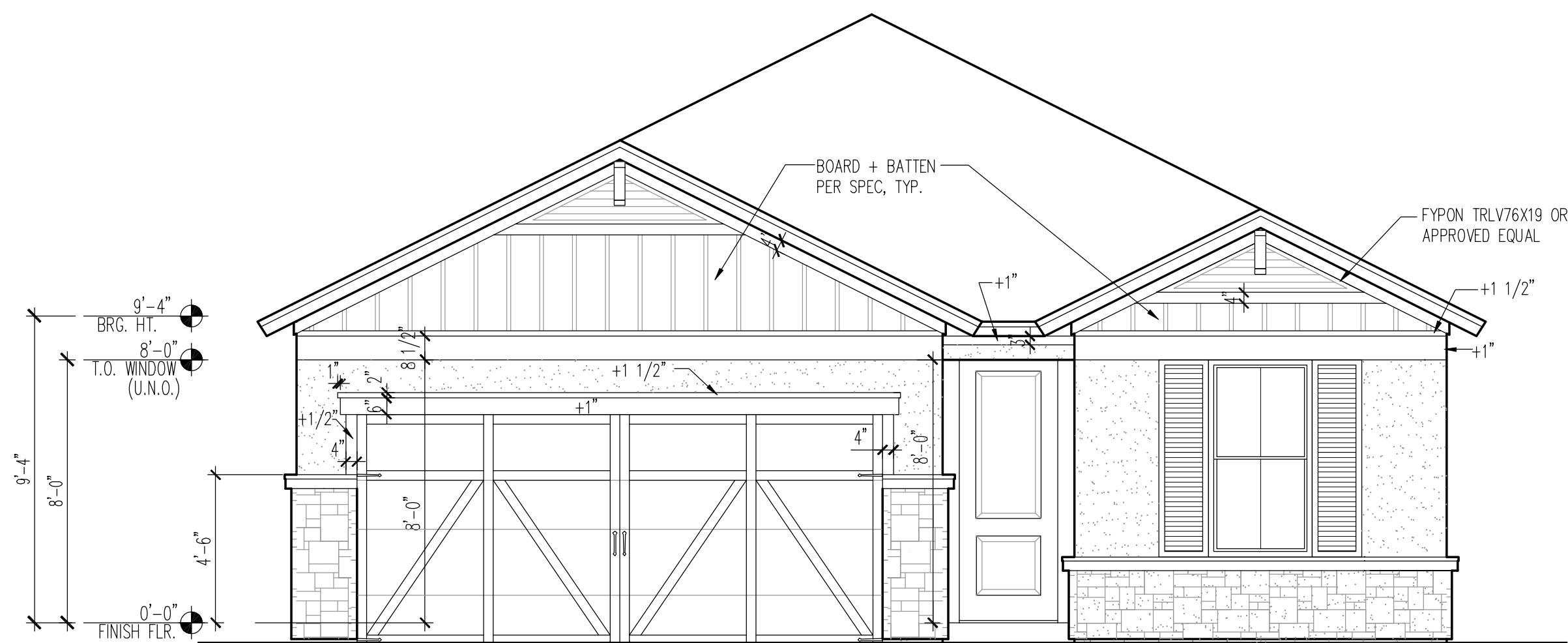
PLAN NAME  
 FOX HOLLOW  
 NPC PLAN NUMBER  
 2353.500.00  
 LAWSON PLAN ID  
 XXXXXX  
 LEGACY PLAN NUMBER / NAME  
 FOX HOLLOW

SHEET  
 A2.1C2B



### RIGHT ELEVATION

SCALE: 1/8"=1'-0"



## FRONT ELEVATION

SCALE:  $1/4"=1'-0"$

A diagram showing a vertical line representing the height of a garage door head. A horizontal line extends from the top of this vertical line to the right, where it meets the top of a light fixture. The light fixture is a decorative, lantern-style lamp with a glass globe and a metal frame. A dimension line with arrows at both ends is placed to the left of the vertical line, indicating a height of 1'-2".

SCALE: 1"=1'-0"



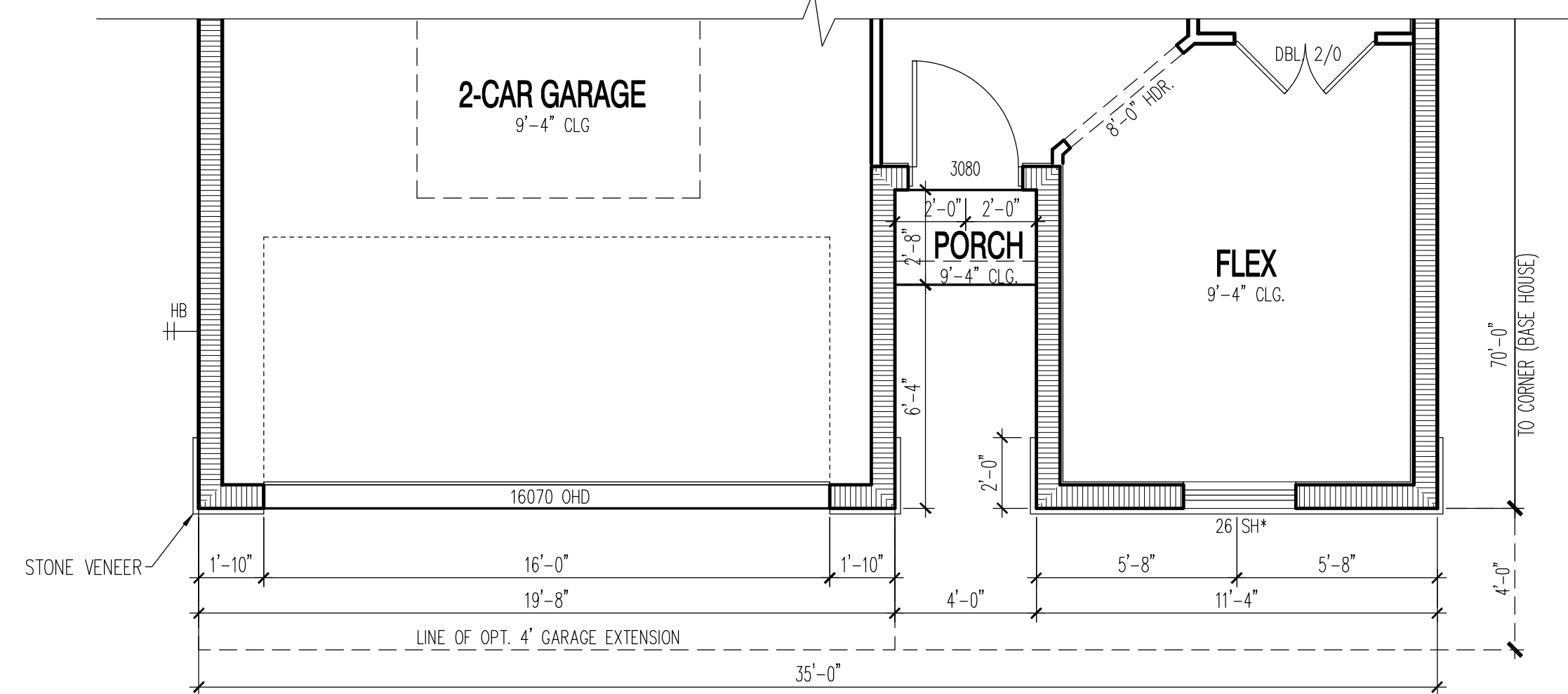
SCALE: 1" = 1'-0"



SCALE:  $1/2" = 1'-0"$



SCALE: 1" = 1'-0"



SCALE: 1/4"=1'-0"

SCALE: 1/8"=1'-0"



| LEGEND   |  |
|--|--|
| FM - FLORIDA MEDITERRANEAN                                     |  |
| C - CRAFTSMAN  |  |
| LC - LOW COUNTRY   |  |
| NOTES  |  |
| SQ. FT. TABLE IS BASED ON +/- SQ. FT. AS COMPARED TO BASE PLAN |  |

|                          |        |        | LIVING AREA |           |                 | NON-LIVING AREA |               |       |                 |
|--------------------------|--------|--------|-------------|-----------|-----------------|-----------------|---------------|-------|-----------------|
|                          | WIDTH  | DEPTH  | 1ST FLOOR   | 2ND FLOOR | TOTAL A/C SPACE | GARAGE          | COVERED ENTRY | LANAI | TOTAL AREA U.R. |
| BASE HOUSE (FM2A / FM2B) | 35'-0" | 58'-8" | 1326        | 1476      | 2802            | 446             | 22            | 128   | 3398            |
| C2A / C2B                | 0      | 0      | 0           | 0         | 0               | 0               | +65           | 0     | 65              |
| C2C / C2D                | 0      | 0      | 0           | 0         | 0               | 0               | +107          | 0     | 107             |
| LC2B                     | 0      | 0      | 0           | +27       | 27              | 0               | +115          | 0     | 142             |
|                          |        |        |             |           |                 |                 |               |       |                 |
|                          |        |        |             |           |                 |                 |               |       |                 |
| COVERED LANAI EXTENSION  | 0      | 6'-0"  | 0           | 0         | 0               | 0               | 0             | +100  | 100             |
|                          |        |        |             |           |                 |                 |               |       |                 |
|                          |        |        |             |           |                 |                 |               |       |                 |
|                          |        |        |             |           |                 |                 |               |       |                 |
| TOTALS                   |        |        |             |           |                 |                 |               |       |                 |

## GENERAL NOTES

THESE PLANS HAVE BEEN PREPARED TO MEET THE REQUIREMENTS OF:  
FLORIDA BUILDING CODE 5TH EDITION (2014) RESIDENTIAL BUILDING TYPE: VB

FLORIDA FIRE PREVENTION CODE 5th EDITION

—ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

—MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.

—PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

—REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM.

R703.6.1 LATH.

ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCHLONG (22.2 MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.

R703.6.2 PLASTER.

PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).

R703.6.2.1 WEEP SCREEDS.

A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

R703.6.3 WATER-RESISTIVE BARRIERS.

WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.

R905.2.7 UNDERLAYMENT APPLICATION.

THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**CURRENT RELEASE DATE**

07/18/16

|       |                               |
|-------|-------------------------------|
| GI.1  | INDEX, HOUSE DATA, GEN. NOTES |
| A1.1  | FIRST FLOOR PLAN              |
| A1.2  | SECOND FLOOR PLAN             |
| AO1.1 | FLOOR PLAN OPTIONS            |
| A2.1  | ELEVATIONS                    |

**FLORIDA ZONE**

**24311 Walden Center Dr., Suite 300**  
**Bonita Springs, Florida 34134 (239) 495-4800**



# INDEX, HOUSE DATA, GEN. NOTES

[illegible]

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

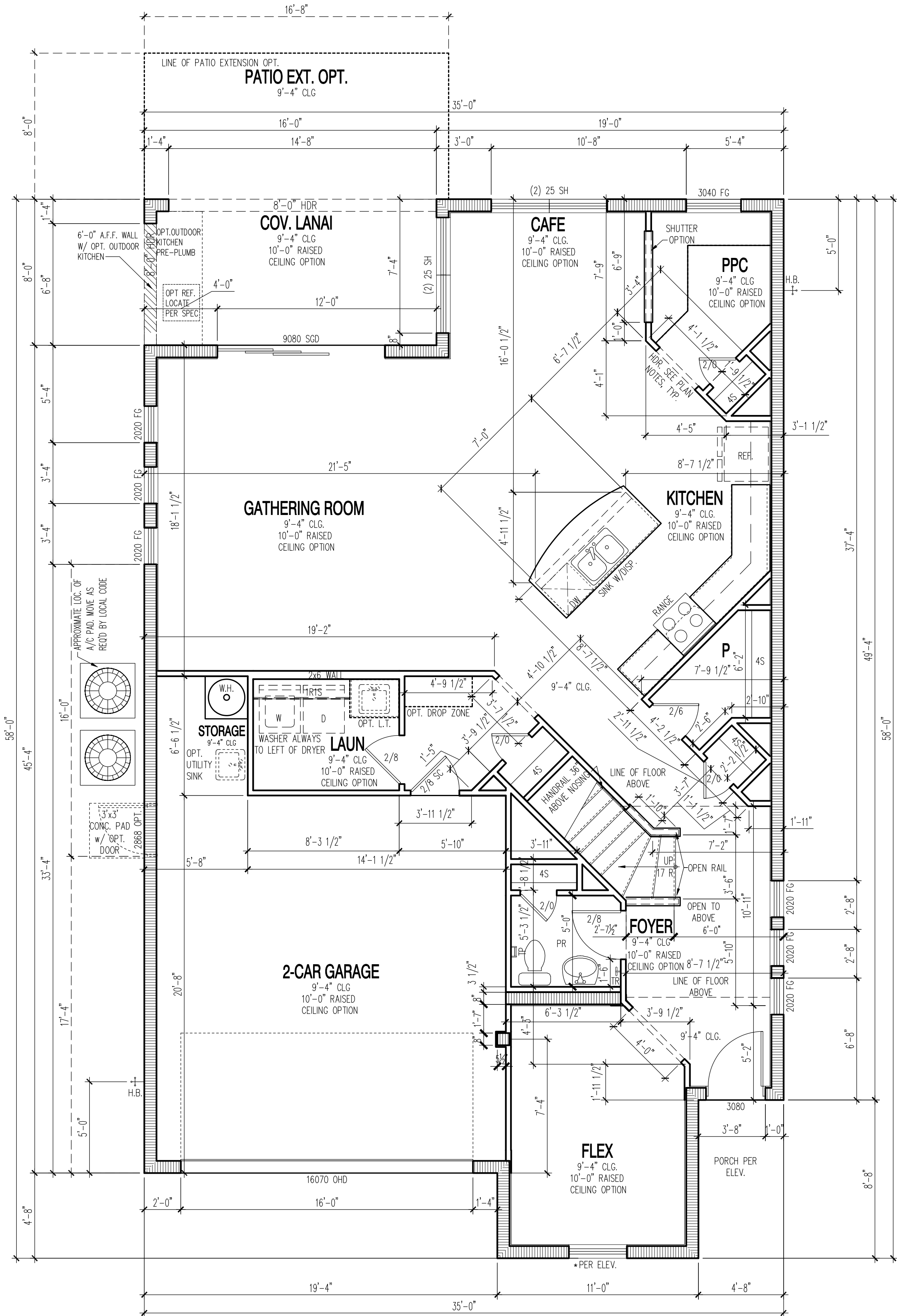
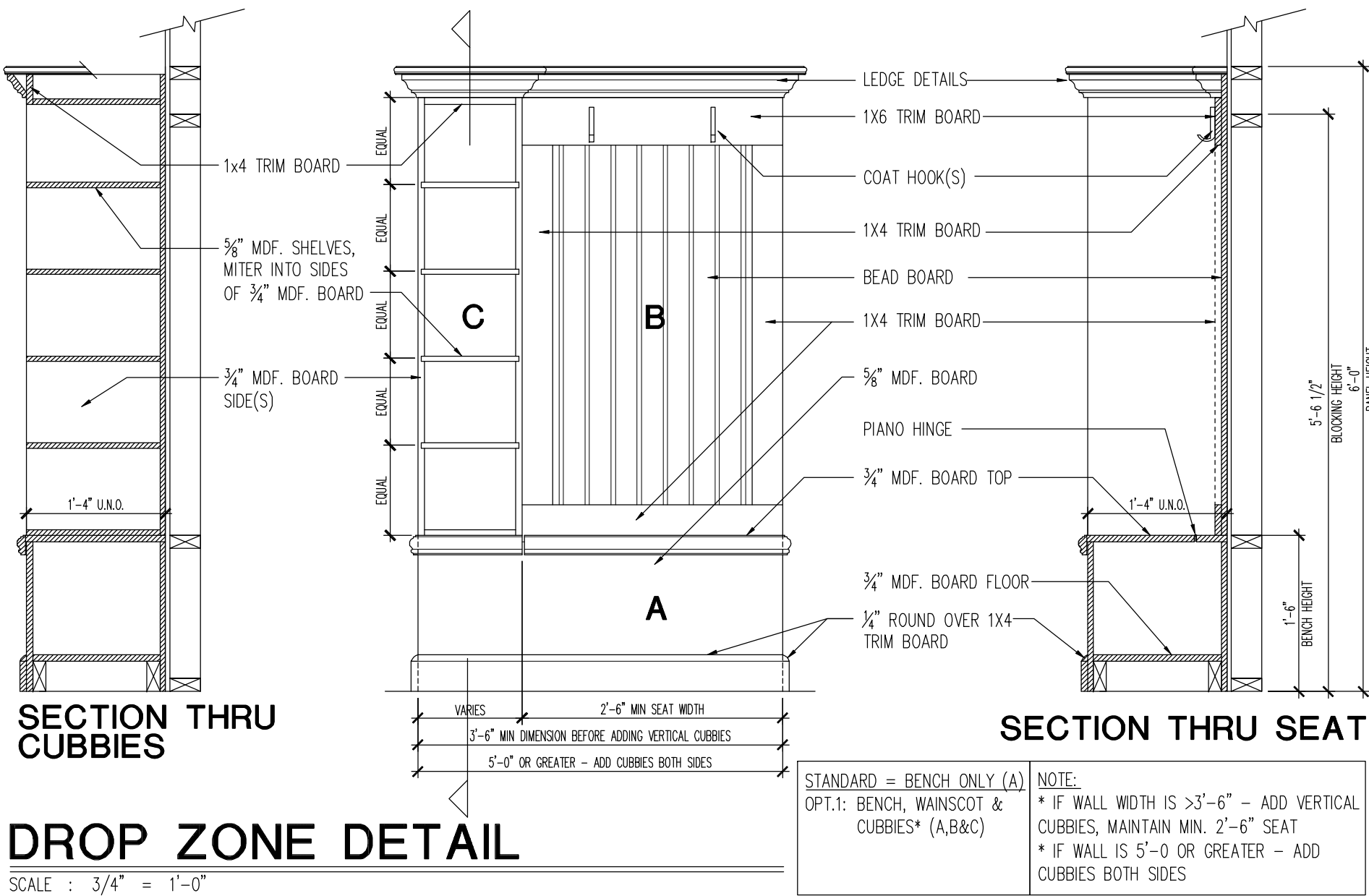
GARAGE HANDING  
LEFT

VERSION NUMBER  
1.0

|                           |            |
|---------------------------|------------|
| PLAN NAME                 | PARK PLACE |
| NPC PLAN NUMBER           | 1957.500   |
| LAWSON PLAN ID            | XXXXXX     |
| LEGACY PLAN NUMBER / NAME | PARK PLACE |

SHEET

**G1.1**



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**LEGEND SYMBOLS**

- MASONRY - CONC. BLOCK OR BRICK WALL
- 2X FRAME WALL PER PLAN
- ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"
- \* DENOTES EMERGENCY ESCAPE & RESCUE OPENING

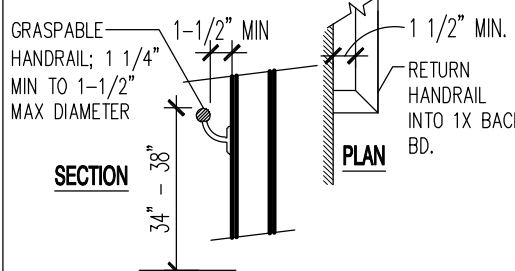
**NOTES:**

- 1-FIELD SHALL VERIFY ALL MASONRY OPNGS.
- 2-2ND FLOOR WINDOWS; ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R612.2 - MIN. 24" SILL HEIGHT.
- 3-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 3/8" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
- 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBCR R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
- 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBCR R308.4.5
- 6-ALL GUARDRAILS TO BE MIN. 36" AFF W/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
- 7- FRAME WALLS: 2x6 W/ TOP PLATE @ 9'+ HIGH OR 2x4 W/ TOP PLATE @ 8' HIGH
- 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9'+ CEILING HT.) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)
- 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7
- 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE AS PER R302.5.1.
- 11- WHERE SOFFITS ARE LESS THAN 5'-0" FROM PROPERTY LINE, THE SOFFIT CONSTRUCTION SHALL HAVE A 1-HOUR FIRE RATING PER R302.1. APPLY 2 LAYERS OF 5/8" GYP. BD. TO BOTTOM SIDE OF SOFFIT TO ACHIEVE THIS RATING OR APPROVED EQUAL.

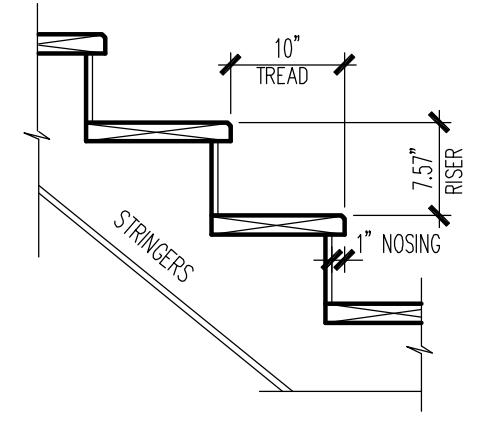
**STAIR CALCS.**

|                    |            |                                 |
|--------------------|------------|---------------------------------|
| FLOOR TO FLOOR HT. | 10'-8 3/4" | W/ 10' CLG. OPTION AT 1ST FLOOR |
| RISERS             | 17 @ 7.57" | 11'-4 3/4"                      |
| TREAD              | 16 @ 10"   | 18 @ 7.597"                     |
| NOSING             | 1"         | 17 @ 10"                        |

**HANDRAIL**



**STAIR DIAGRAM**



13-ALL SECONDARY MEANS OF EGRESS WILL COMPLY WITH FFPC 24.2.2.3.3. IT SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE WIDTH SHALL BE NOT LESS THAN 20 INCHES, AND THE HEIGHT SHALL BE NOT LESS THAN 24 INCHES. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44INCHES ABOVE THE FLOOR.

14-SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 9.6.2.10 IN ALL SLEEPING ROOMS, OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT.

15-CARBON MONOXIDE DETECTORS WILL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS AND ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, EXCLUDING ATTICS.

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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**FIRST FLOOR PLAN**

PRODUCTION MANAGER  
CONTROL DATE: 07/18/16

| REV # | DATE     | DESCRIPTION       |
|-------|----------|-------------------|
| 1     | 07/18/16 | ISSUED FOR PERMIT |

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

GARAGE HANDING  
**LEFT**

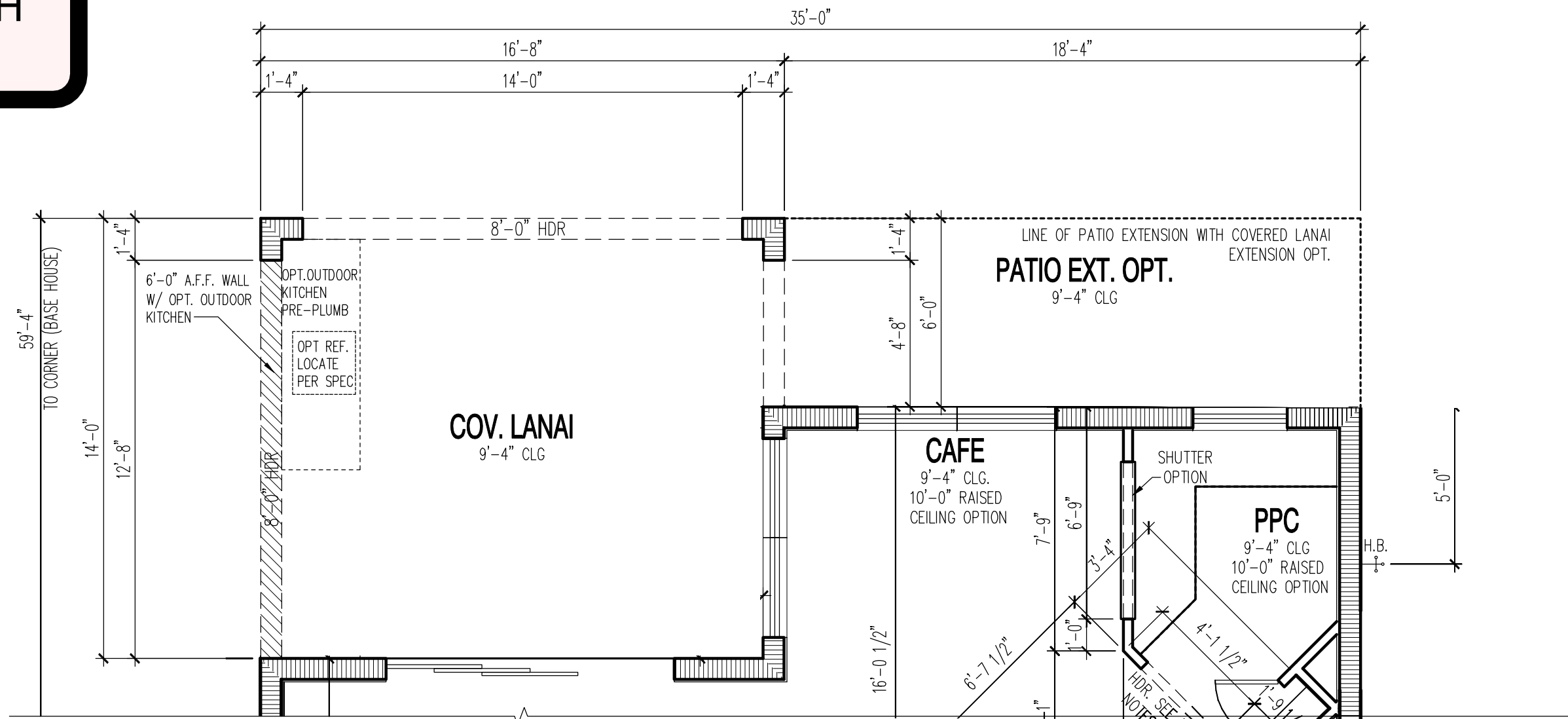
VERSION NUMBER  
**1.0**

PLAN NAME  
**PARK PLACE**  
NPC PLAN NUMBER  
**1957.500**  
LAWSON PLAN ID  
**XXXXXX**  
LEGACY PLAN NUMBER / NAME  
**PARK PLACE**

SHEET  
**A1.1 CMU**

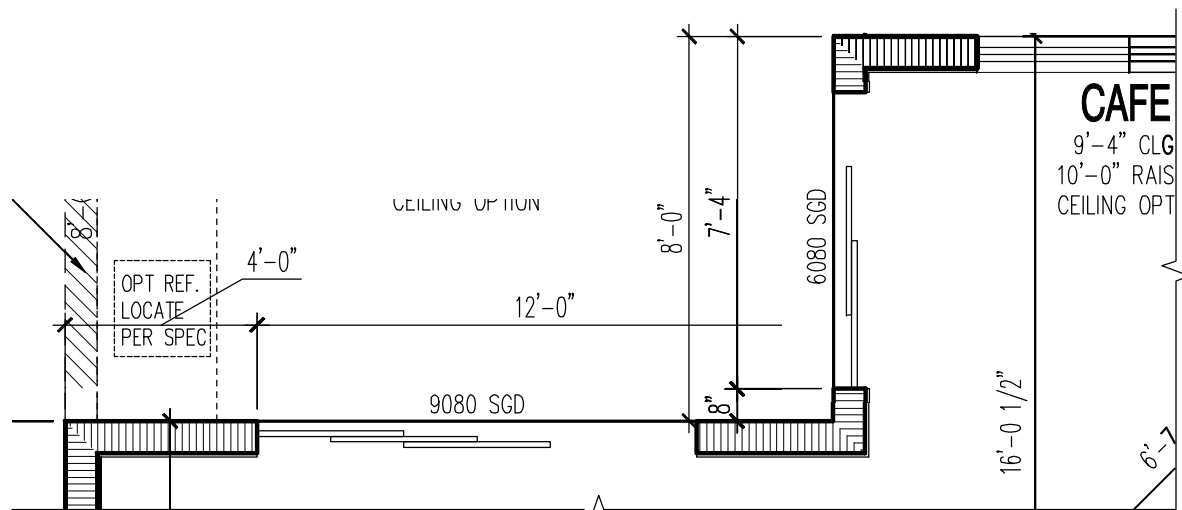


NOTE:  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES



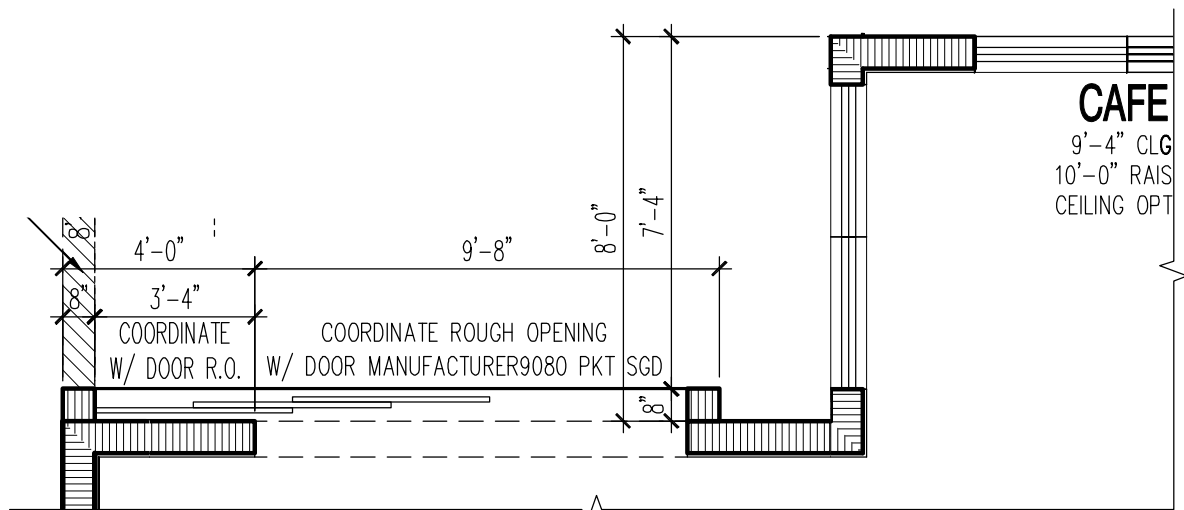
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SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



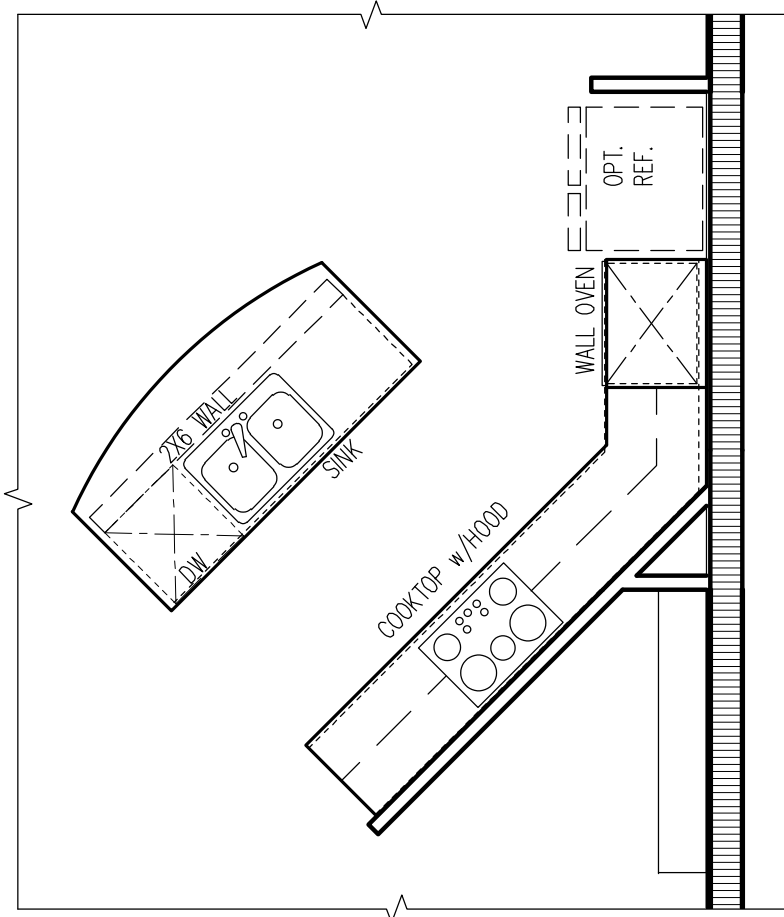
### SGD @ CAFE

SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



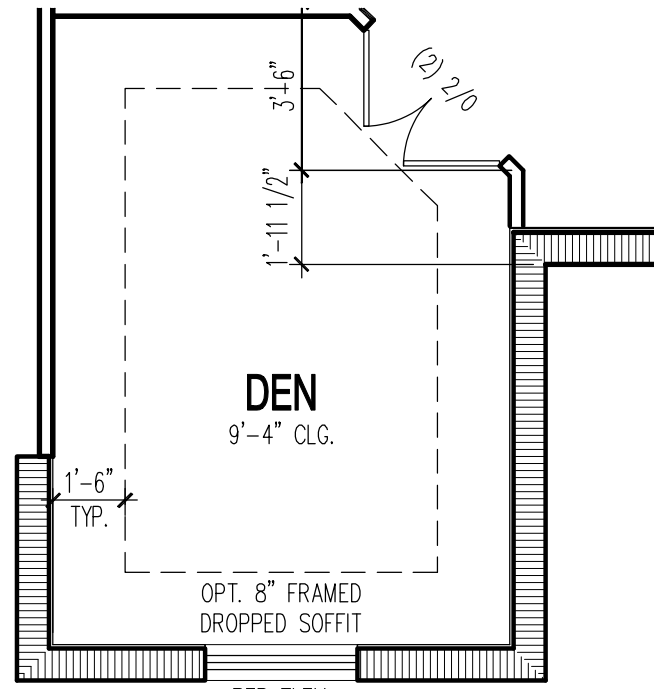
### SGD POCKET OPTION

SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



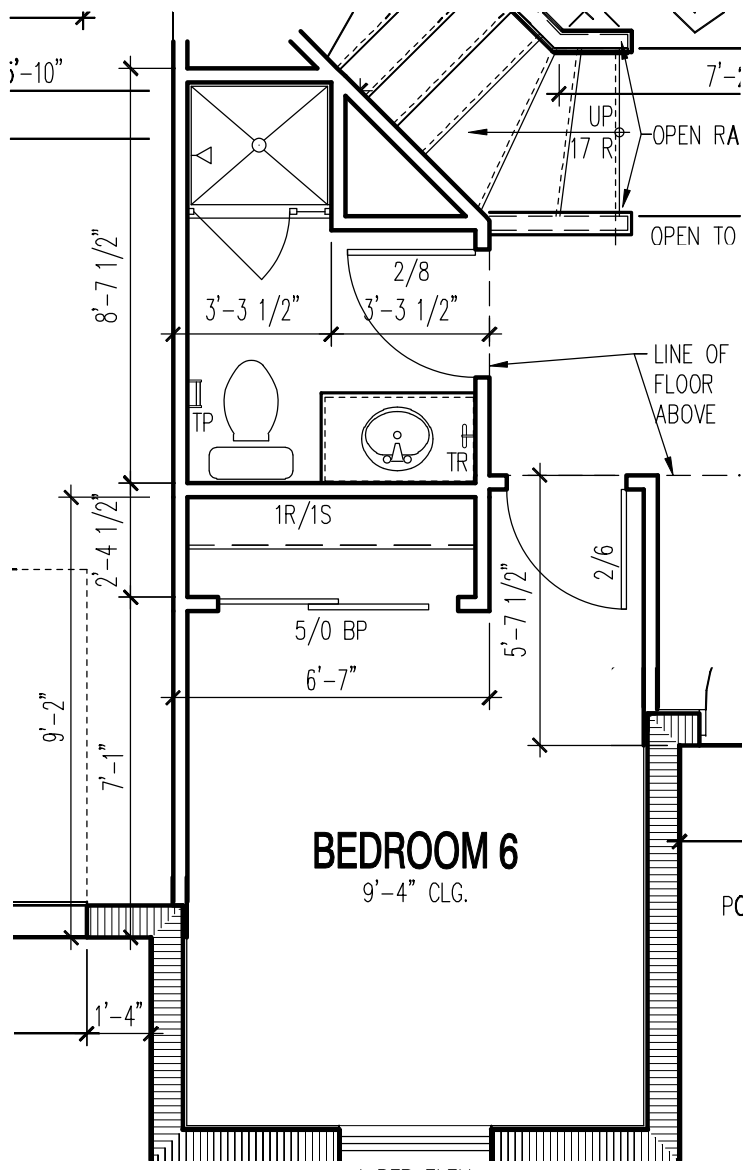
### KITCHEN w/BUILT-IN APPLIANCES OPTION

SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



### DEN OPTION

SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



### BEDROOM 6 OPTION

SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN

## LEGEND SYMBOLS

|  |   |
|--|---|
|  | MASONRY - CONC. BLOCK OR BRICK WALL   |
|  | 2X FRAME WALL PER PLAN  |
|  | ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0" |
|  | * DENOTES EMERGENCY ESCAPE & RESCUE OPENING   |

### NOTES:

- 1-FIELD SHALL VERIFY ALL MASONRY OPNGS.
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- 6-ALL GUARDRAILS TO BE MIN. 36" AFF W/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
- 7- FRAME WALLS: 2x6 W/ TOP PLATE @ 9'+ HIGH OR 2x4 W/ TOP PLATE @ 8' HIGH
- 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9'+ CEILING HT.) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)
- 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7
- 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE AS PER R302.5.1.
- 11- WHERE SOFFITS ARE LESS THAN 5'-0" FROM PROPERTY LINE THE SOFFIT CONSTRUCTION SHALL HAVE A 1-HOUR FIRE RATING PER R302.1. APPLY 2 LAYERS OF 5/8" GYP. BD. TO BOTTOM SIDE OF SOFFIT TO ACHIEVE THIS RATING OR APPROVED EQUAL.

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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Bonita Springs, Florida 34134 (239) 495-4800

**PulteGroup**

FLOOR PLAN OPTIONS

PRODUCTION MANAGER

CONTROL DATE: 07/18/16

REV # DATE / DESCRIPTION

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PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

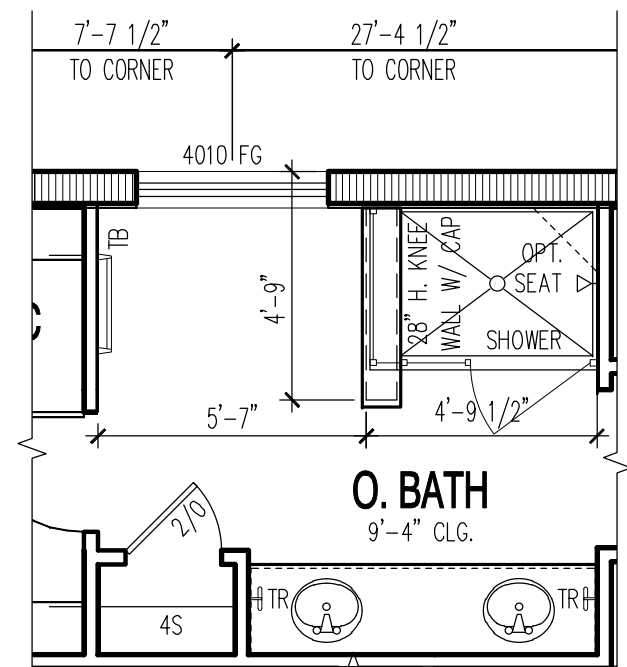
LAWSON COMMUNITY ID

GARAGE HANDING  
**LEFT**

VERSION NUMBER  
**1.0**

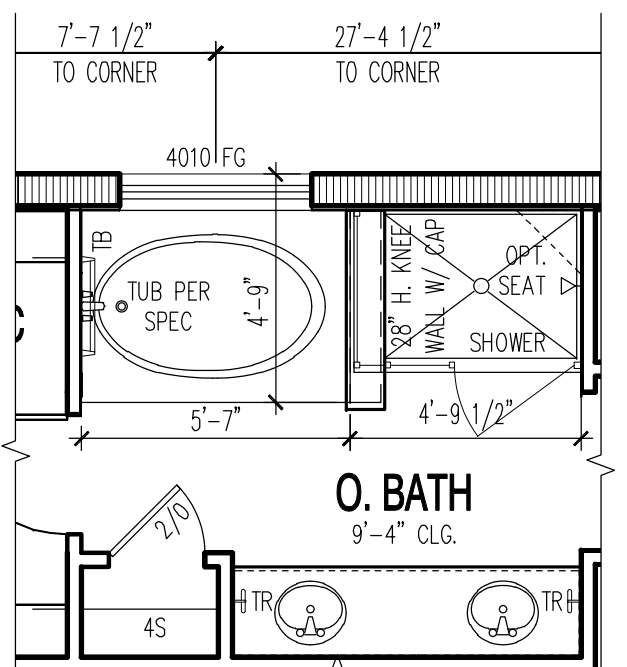
PLAN NAME  
**PARK PLACE**  
NPC PLAN NUMBER  
**1957.500**  
LAWSON PLAN ID  
**XXXXXX**  
LEGACY PLAN NUMBER / NAME  
**PARK PLACE**

SHEET  
**A01.1**



# ALTERNATE OWNER'S BATH

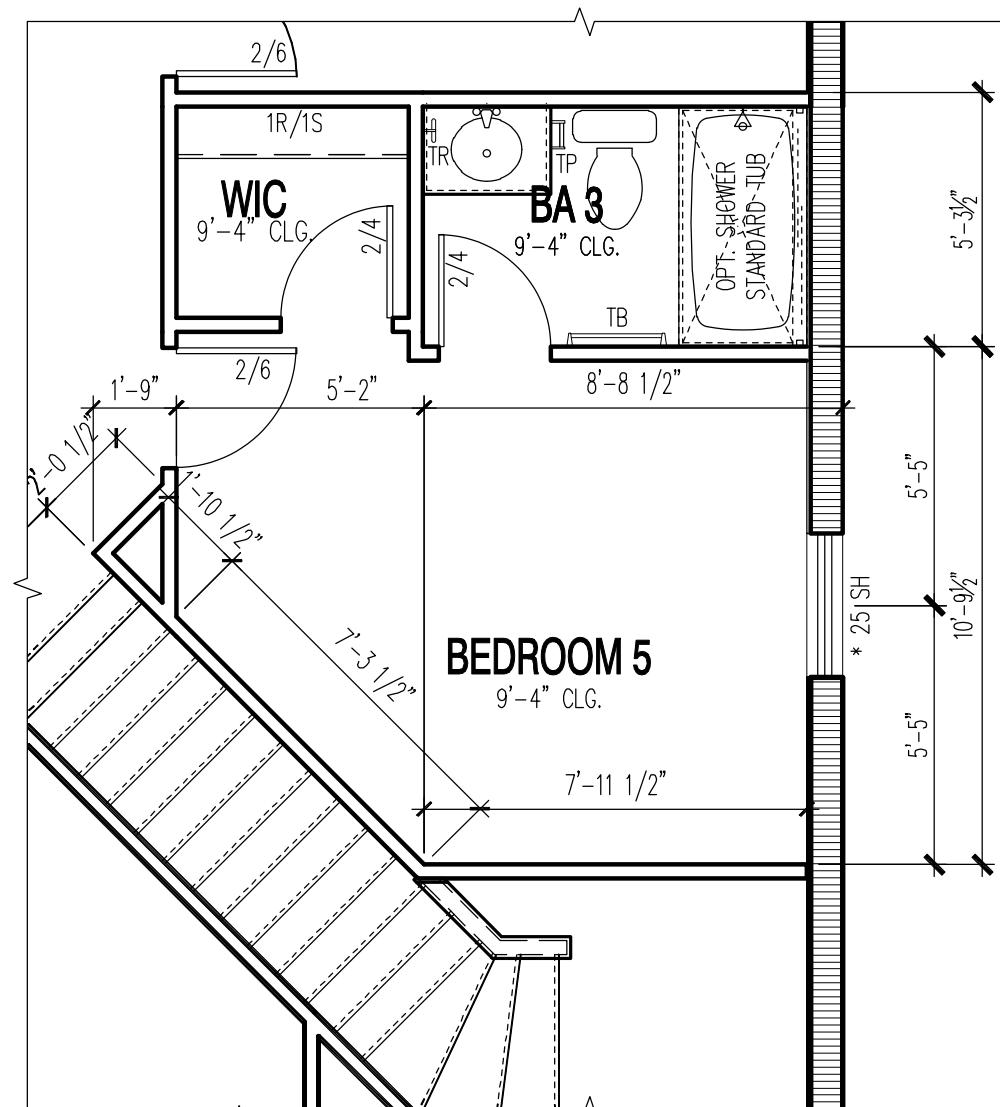
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



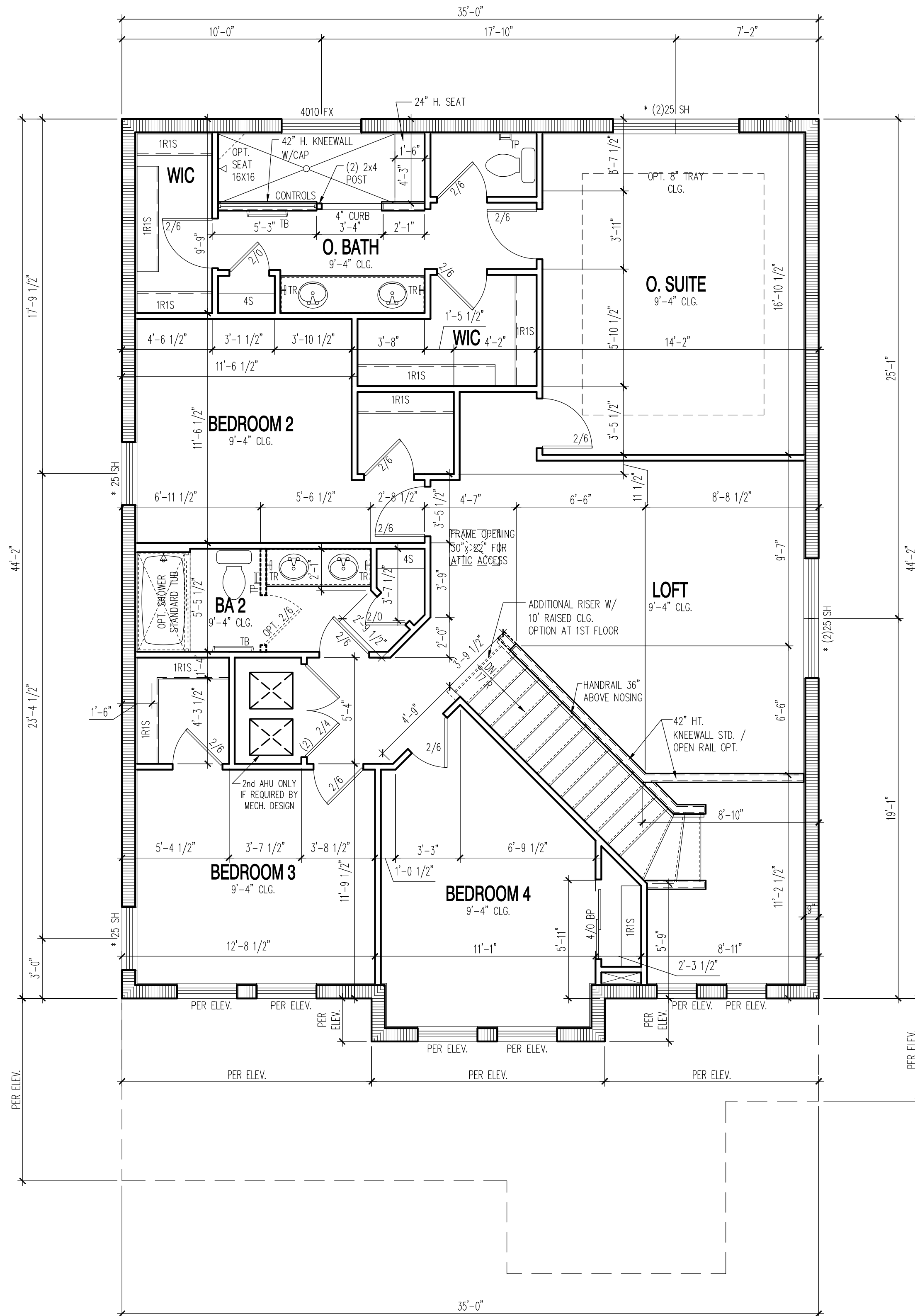
# TUB UPGRADE @ OWNER'S BATH

SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN

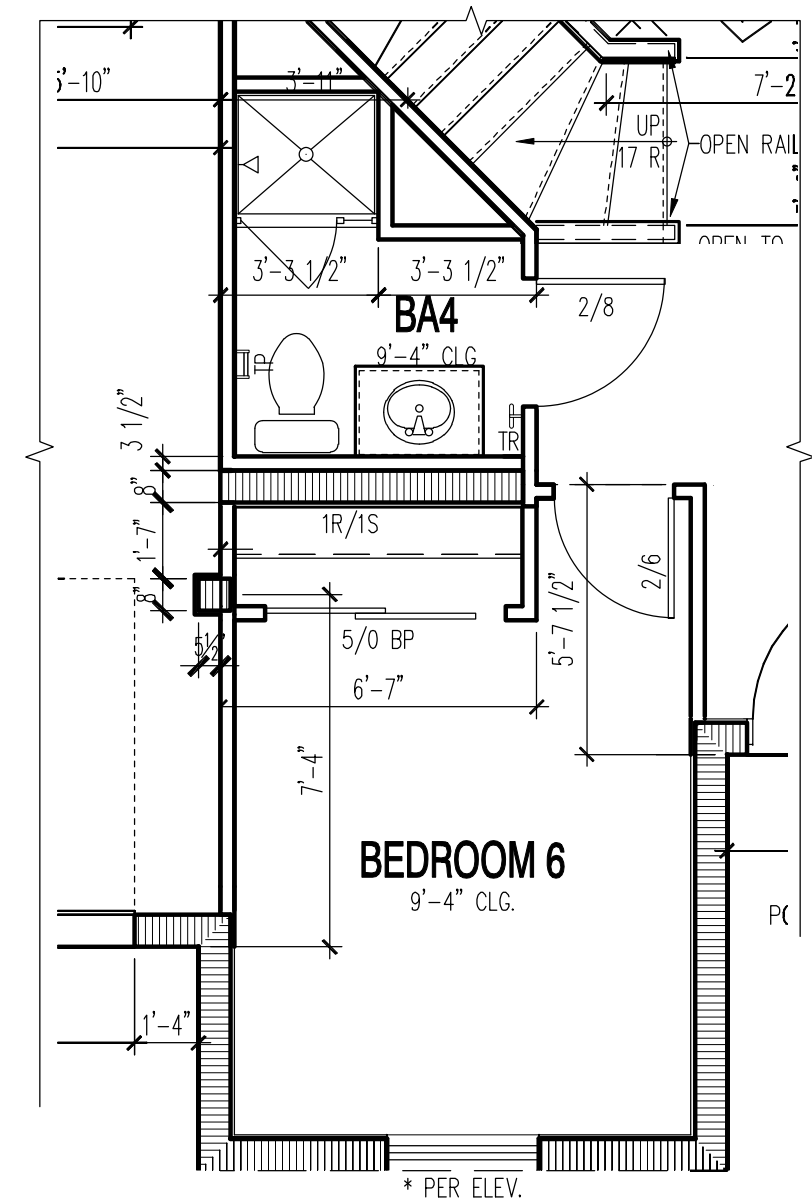
**NOTE:**  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES



## BEDROOM 5 OPTION







## SECOND FLOOR PLAN



**BEDROOM 6**  
**OPTION ILO FLEX**  
SCALE: 1/4" = 1'-0" PARTIAL FLOOR PLAN

## LEGEND SYMBOLS

|   |  |
|---|--|
|  | MASONRY - CONC. BLOCK OR BRICK WALL  |
|  | 2X FRAME WALL PER PLAN   |
|  | ELEVATION INDICATOR - ELEVATION NOTED IS<br>RELATIVE TO FINISH FLOOR DATUM = 0'-0" |
|  | DENOTES EMERGENCY ESCAPE & RESCUE OPENING  |

NOTES:

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Bonita Springs, Florida 34134 (239) 495-4800



## 2ND FLOOR PLAN - CMU

|                        |                    |
|------------------------|--------------------|
| PRODUCTION MANAGER     |                    |
| CONTROL DATE: 07/18/16 |                    |
| EV #                   | DATE / DESCRIPTION |
| △                      | ---                |
| △                      | ---                |
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| PROJECT TYPE           |                    |
| SINGLE FAMILY          |                    |
| COMMUNITY NAME         |                    |
| MASTER                 |                    |
| LAWSON COMMUNITY ID    |                    |

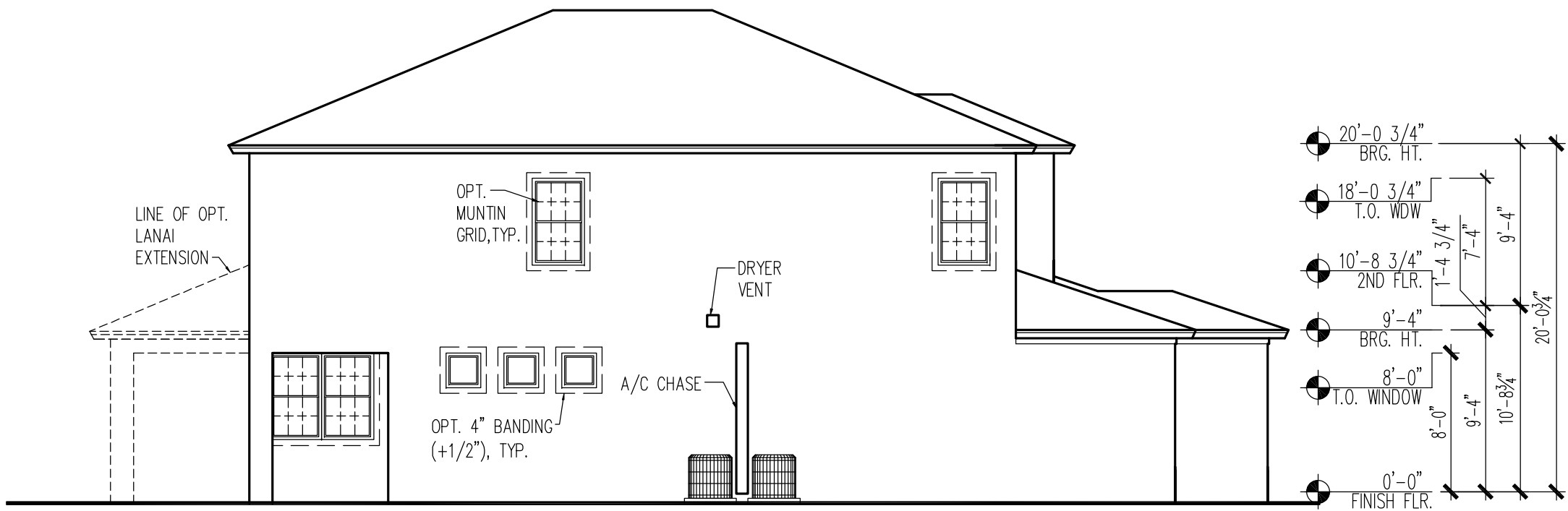
PARAGE HANDING  
LEFT

VERSION NUMBER  
0

|                           |            |
|---------------------------|------------|
| PLAN NAME                 | PARK PLACE |
| PC PLAN NUMBER            | 1957.500   |
| AWSON PLAN ID             | XXXXXX     |
| LEGACY PLAN NUMBER / NAME | PARK PLACE |

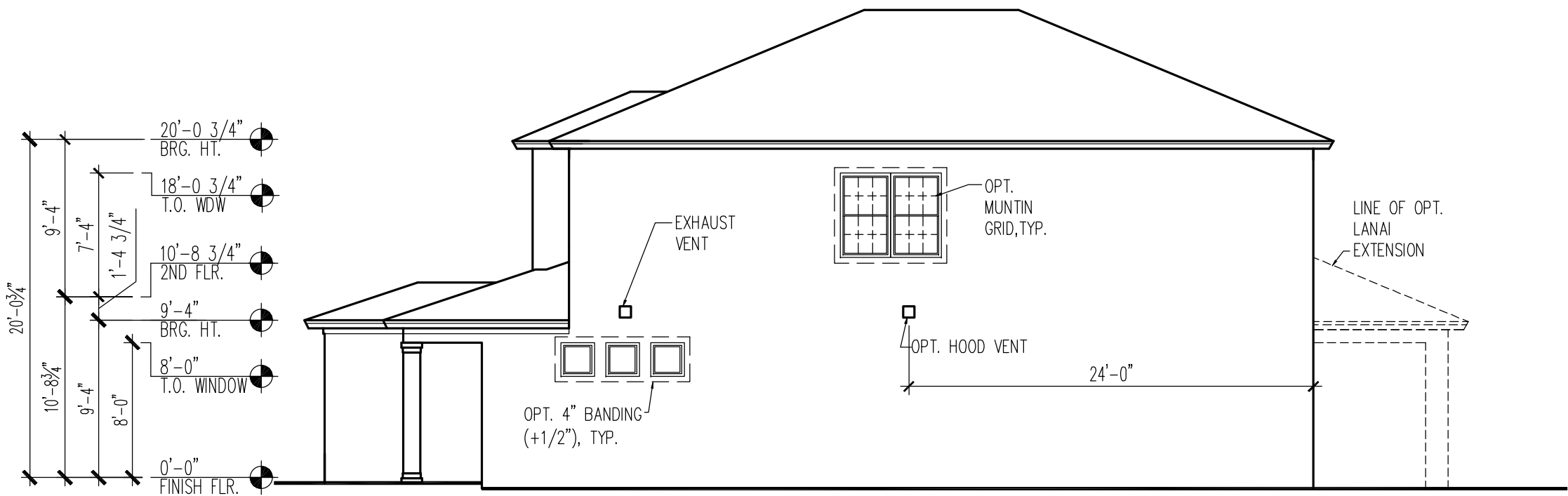
SHEET  
A1.2 CMU





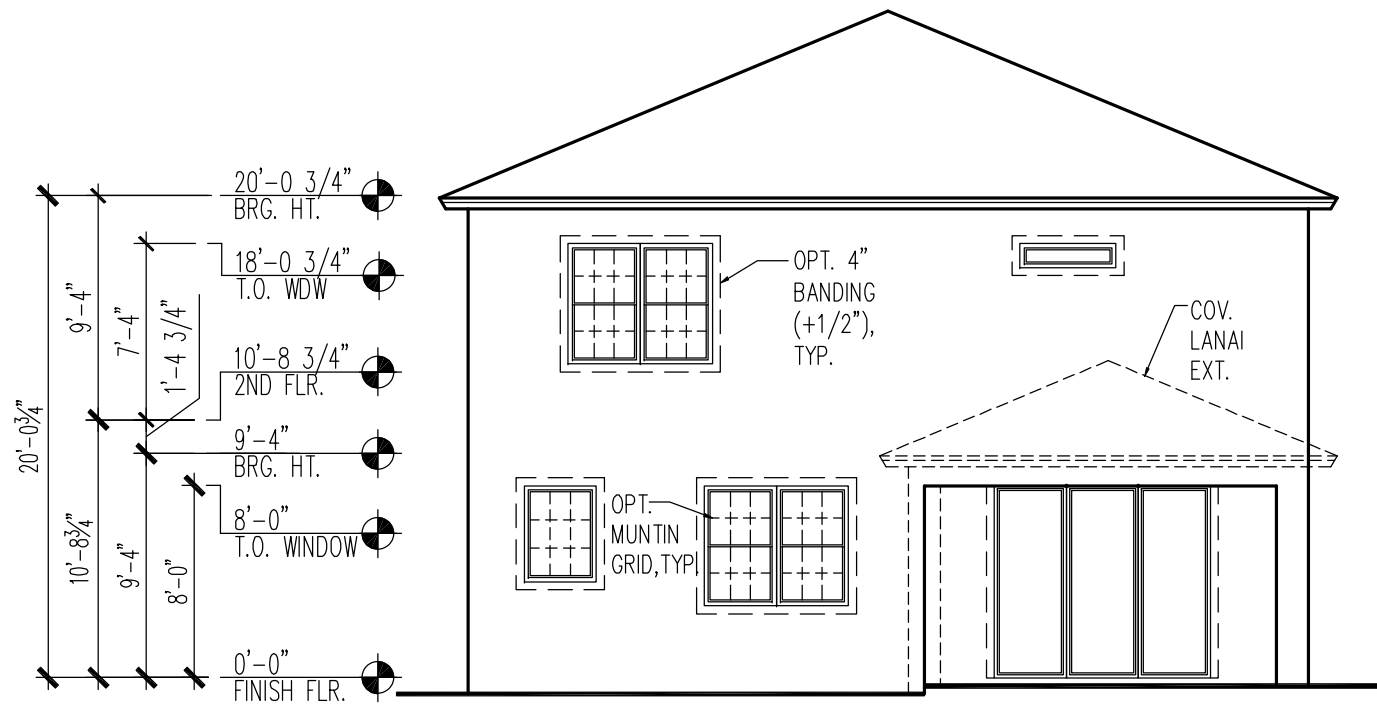
SIDE ELEVATION

SCALE: 1/8"=1'-0"



SIDE ELEVATION

SCALE: 1/8"=1'-0"

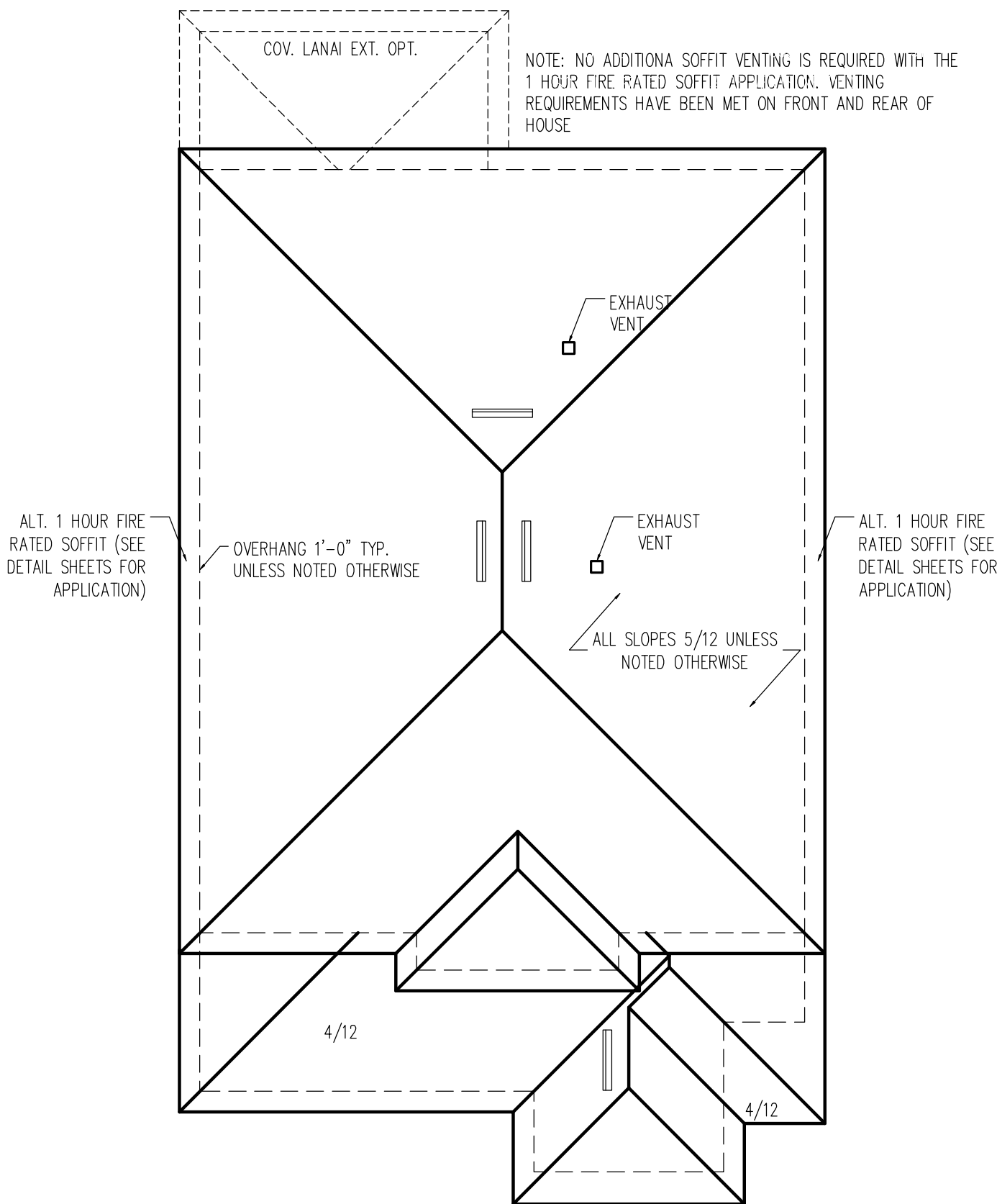


REAR ELEVATION

SCALE: 1/8"=1'-0"

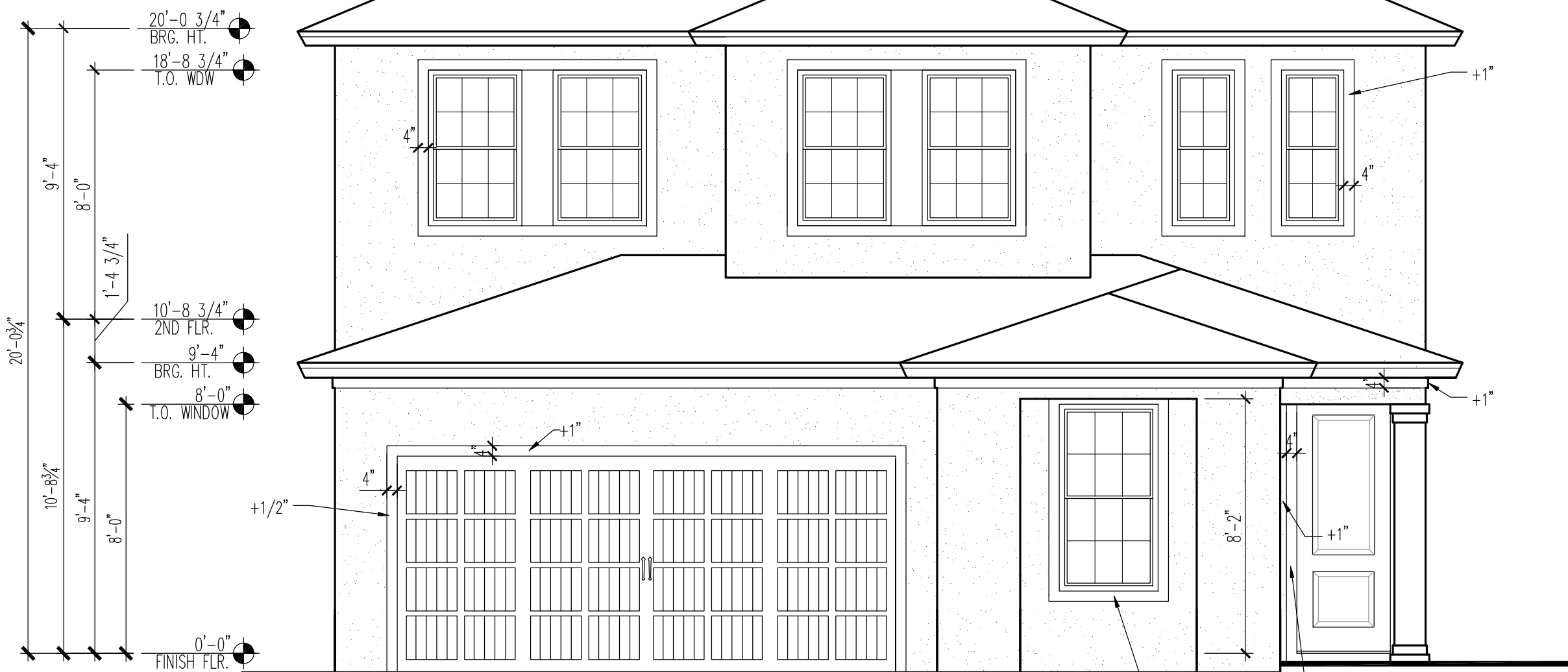
ALT. VENTING WITH FIRE RATED SOFFITS (SIDES):  
 88'-0" LINEAR FEET (880 SQ. IN.) OF SOFFIT VENT PROVIDED  
 (S17 REQUIRED)  
 (D) ADDITIONAL VENT(S) REQUIRED

NOTE: NO ADDITIONA SOFFIT VENTING IS REQUIRED WITH THE  
 1 HOUR FIRE RATED SOFFIT APPLICATION. VENTING  
 REQUIREMENTS HAVE BEEN MET ON FRONT AND REAR OF  
 HOUSE



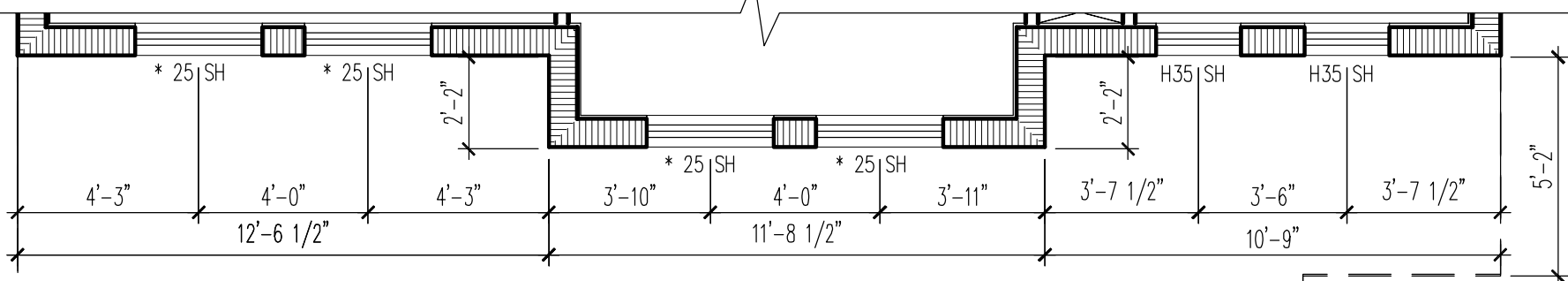
ROOF PLAN

SCALE: 1/4"=1'-0"



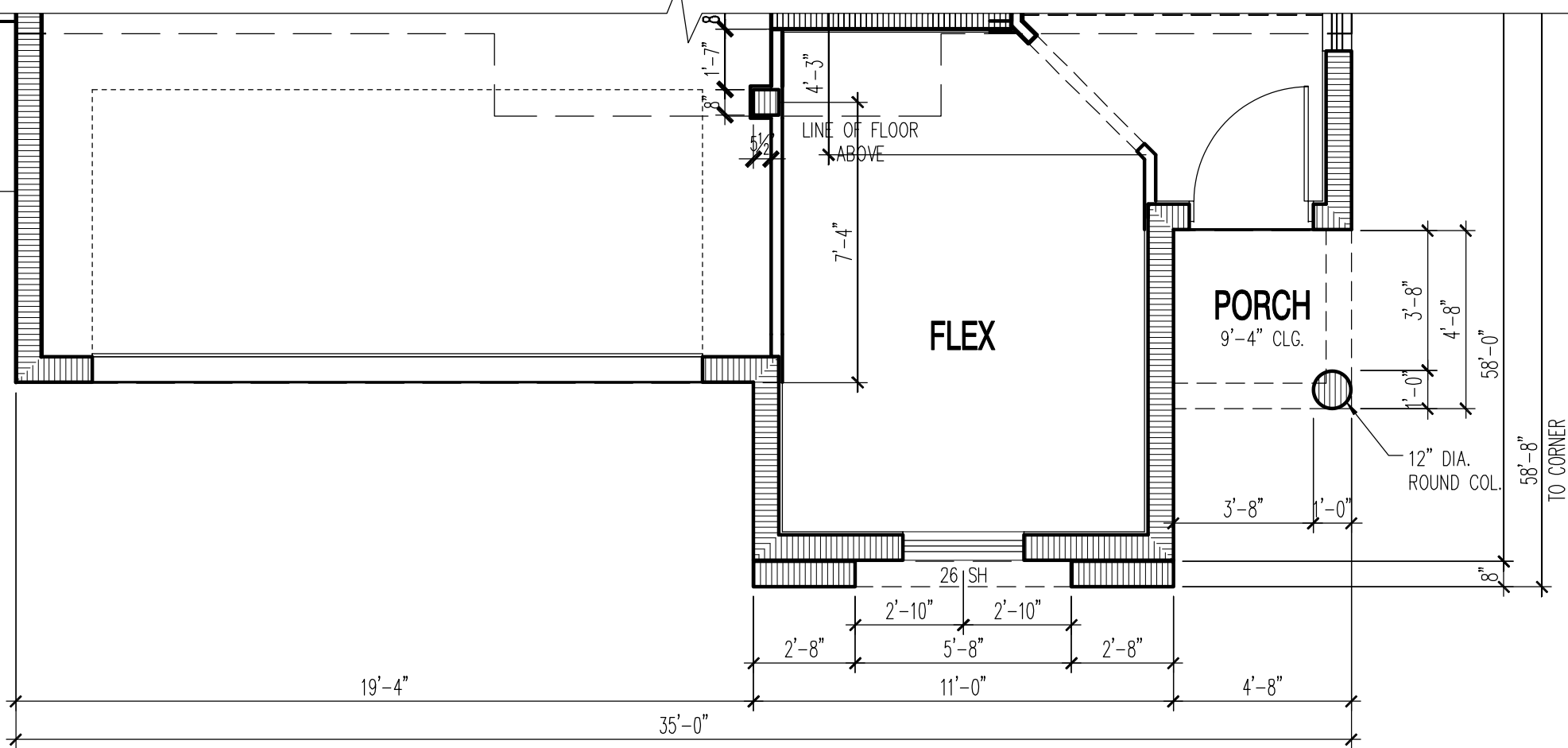
FRONT ELEVATION

SCALE: 1/4"=1'-0"



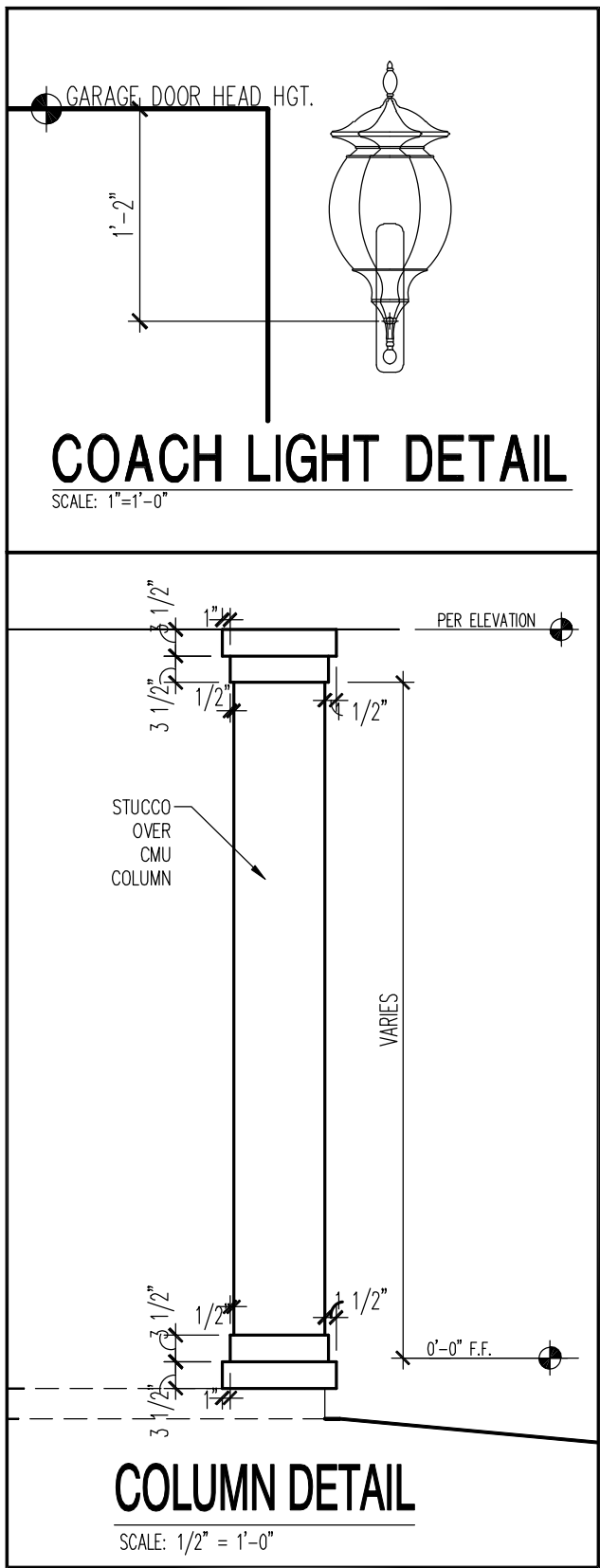
PARTIAL 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



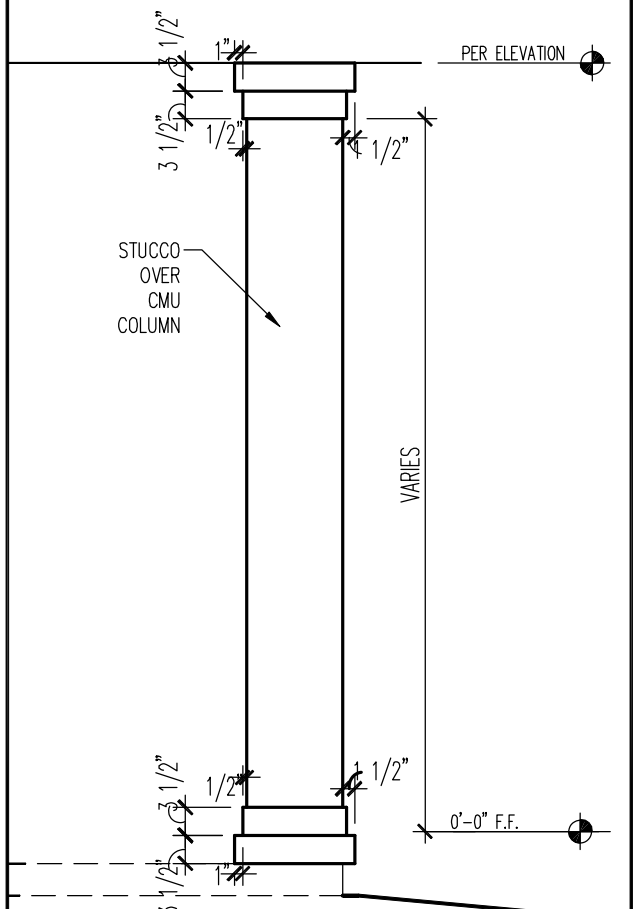
PARTIAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



COACH LIGHT DETAIL

SCALE: 1"=1'-0"



COLUMN DETAIL

SCALE: 1/2" = 1'-0"

| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)  |         |         |  |         |          |
|---|---------|---------|--|---------|----------|
| TOTAL ATTIC AREA  |         |         | FREE VENT REQD. (AREA/300)   |         |          |
| SQ. FT.   | SQ. IN. |         | SQ. FT.  | SQ. IN. |          |
| 2156  | 310464  |         | 7.2  | 1035    |          |
| ROOF VENTS REQD.  |         |         | SOFFIT VENTS REQD. (S/10)  |         |          |
| SQ. FT.   | SQ. IN. | # VENTS | SQ. FT.  | SQ. IN. | LIN. FT. |
| 3.6   | 517     | 4       | 3.6  | 517     | 52       |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT. / VENT<br>(144 SQ. IN. VENT)      |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE |         |         |  |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                               |         |         |  |         |          |

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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FLORIDA ZONE  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800

| PRODUCTION MANAGER     |                    |
|------------------------|--------------------|
| ---                    |                    |
| CONTROL DATE: 07/18/16 |                    |
| REV #                  | DATE / DESCRIPTION |
| 1                      |                    |
| 2                      |                    |
| 3                      |                    |
| 4                      |                    |
| 5                      |                    |
| 6                      |                    |
| 7                      |                    |
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| 9                      |                    |
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| 97                     |                    |
| 98                     |                    |
| 99                     |                    |
| 100                    |                    |

PROJECT TYPE  
 SINGLE FAMILY

COMMUNITY NAME  
 MASTER

LAWSON COMMUNITY ID

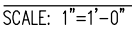
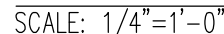
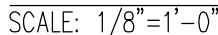
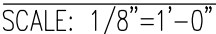
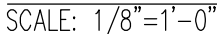
GARAGE HANDING  
 LEFT

VERSION NUMBER  
 1.0

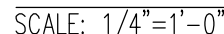
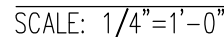
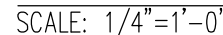
PLAN NAME  
 PARK PLACE  
 NPC PLAN NUMBER  
 1957-500  
 LAWSON PLAN ID  
 xxxxxx  
 LEGACY PLAN NUMBER / NAME  
 PARK PLACE

SHEET  
 A2.1FM1C-CMU





SCALE: 1/2" = 1'-0"

ATTIC VENTILATION - ZONE 1 (1ST FLOOR)

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ELEVATION "3" (FM2A)  
ELEVATIONS - 2ND FLOOR PLAN CMU

[illegible]

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

GARAGE HANDING  
**LEFT**

VERSION NUMBER  
1.0

PLAN NAME  
**PARK PLACE**

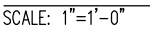
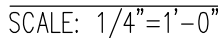
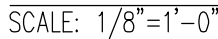
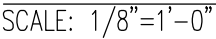
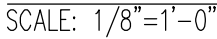
NPC PLAN NUMBER  
**1957.500**

|                           |        |
|---------------------------|--------|
| LAWSON PLAN ID            | XXXXXX |
| LEGACY PLAN NUMBER / NAME |        |

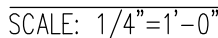
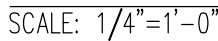
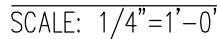
SHEET

A2.1FM2A-CMU

PLOTTED: May 24, 2017 / Rajeew Kumar / PARK PLACE AT MASTER\_LH\_ARCH\_2017-05-26.DWG



SCALE: 1/2" = 1'-0"



| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)  |         |         |  |         |          |
|---|---------|---------|--|---------|----------|
| TOTAL ATTIC AREA  |         |         | FREE VENT REQ. (AREA/300)  |         |          |
| SQ. FT.   | SQ. IN. |         | SQ. FT.  | SQ. IN. |          |
| 2156  | 31046   |         | 7.2  | 1035    |          |
| ROOF VENTS REQ.   |         |         | SOFFIT VENTS REQ. (S/I/10)   |         |          |
| SQ. FT.   | SQ. IN. | # VENTS | SQ. FT.  | SQ. IN. | LIN. FT. |
| 3.6   | 517     | 4       | 3.6  | 517     | 52       |
| ROOF TOP APIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT)        |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE |         |         |  |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                               |         |         |  |         |          |

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ELEVATION "4" (FM2B)  
ELEVATIONS - 2ND FLOOR PLAN CMU

[illegible]

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

GARAGE HANDING  
**LEFT**

VERSION NUMBER  
1.0

PLAN NAME  
**PARK PLACE**

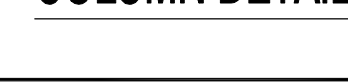
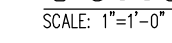
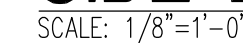
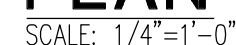
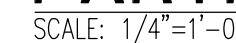
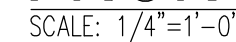
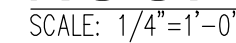
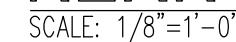
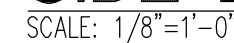
1957.500  
LAWSON PLAN ID  
~~~~~

LEGAL PLAN NUMBER / NAME  
**PARK PLACE**

A2.1FM2B-CMU

PLOTTED: May 24, 2017 / Rajeev Kumar / PARK PLACE AT MASTER LH ARCH 2017-05-26.DWG

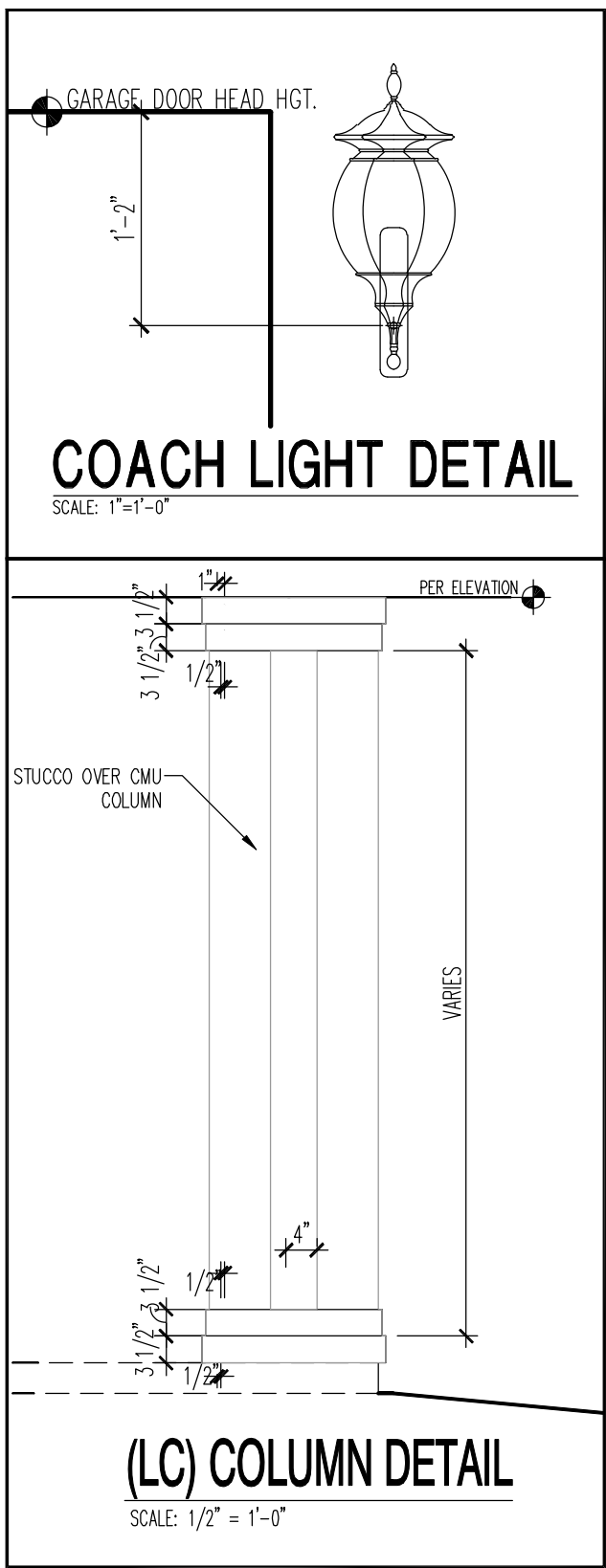
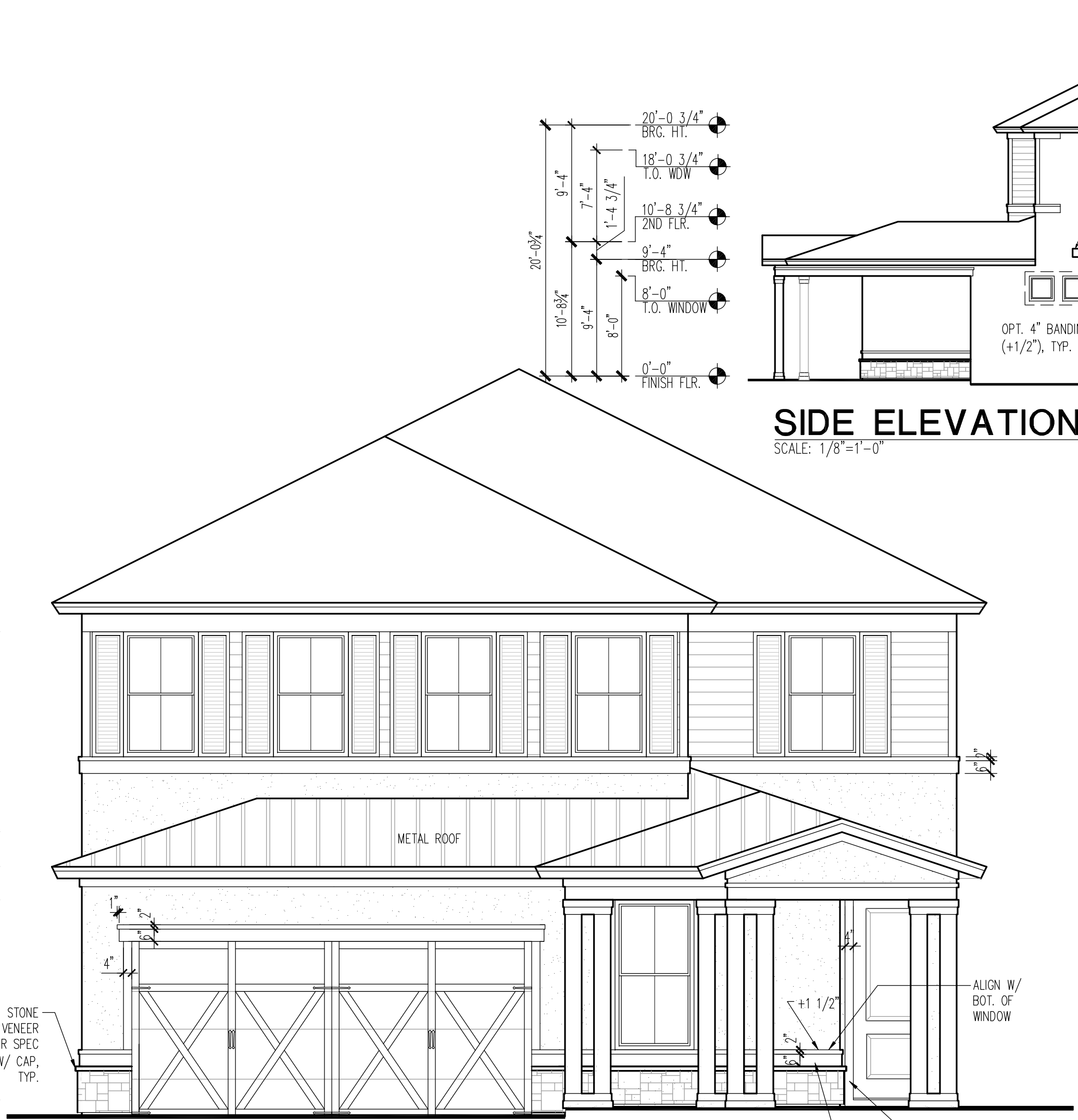
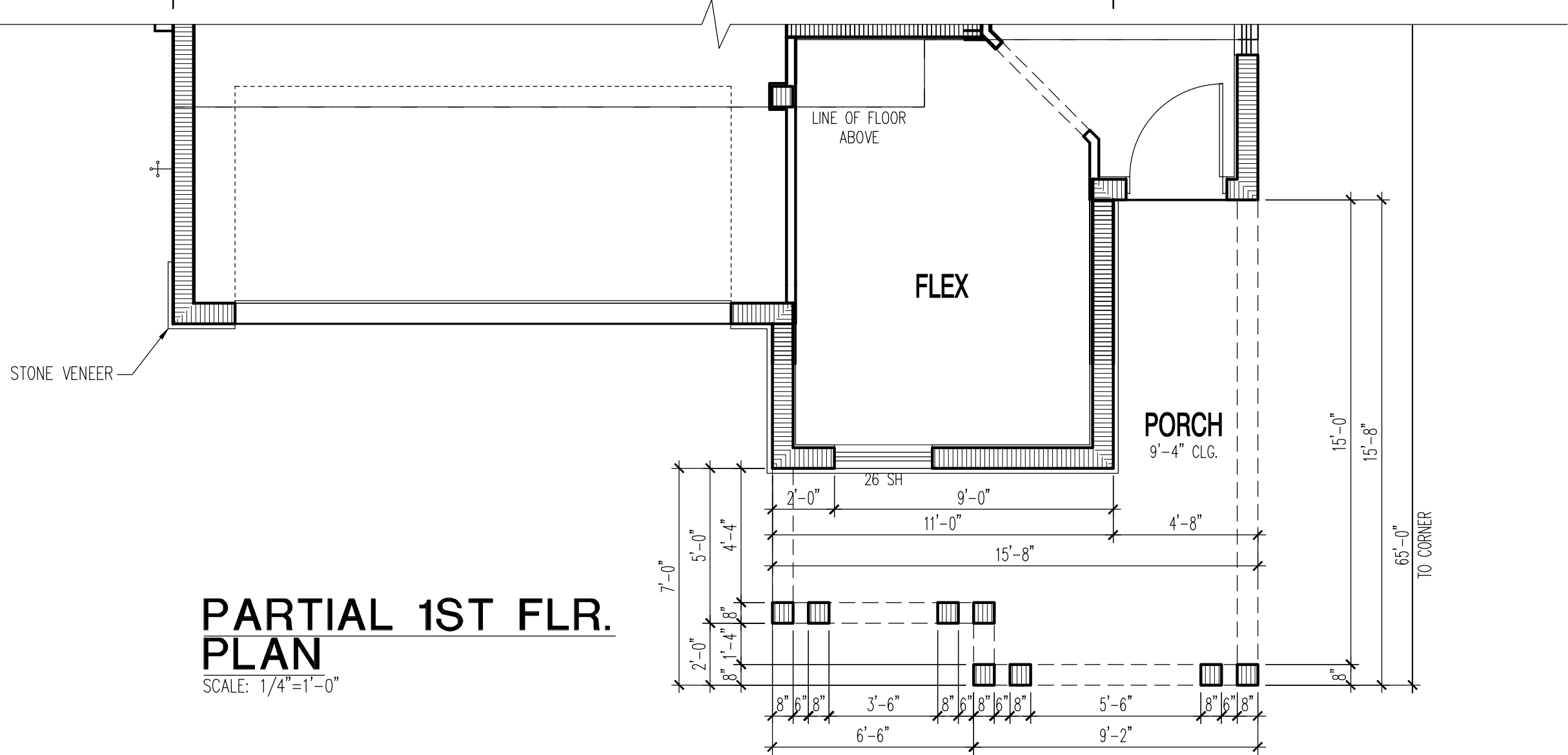
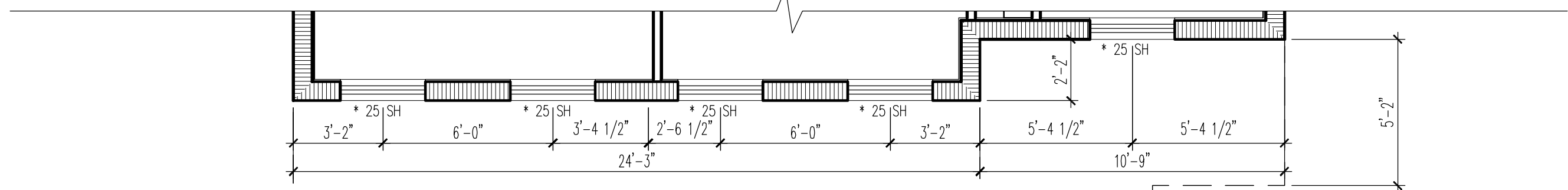
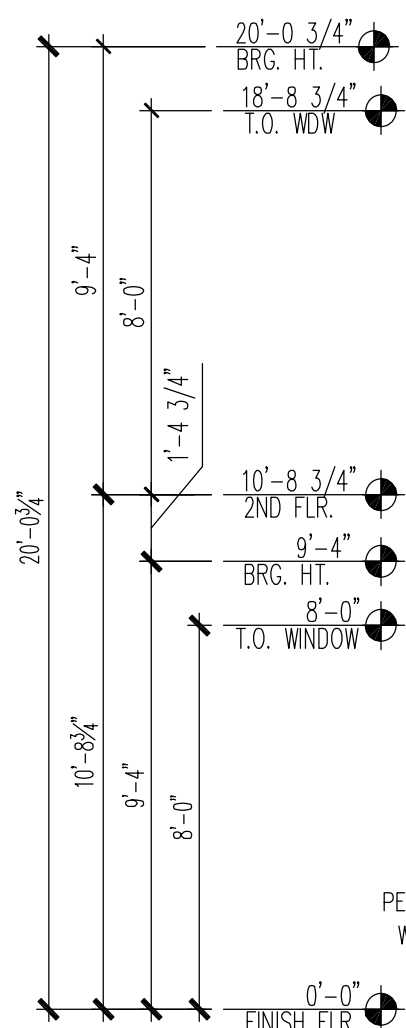
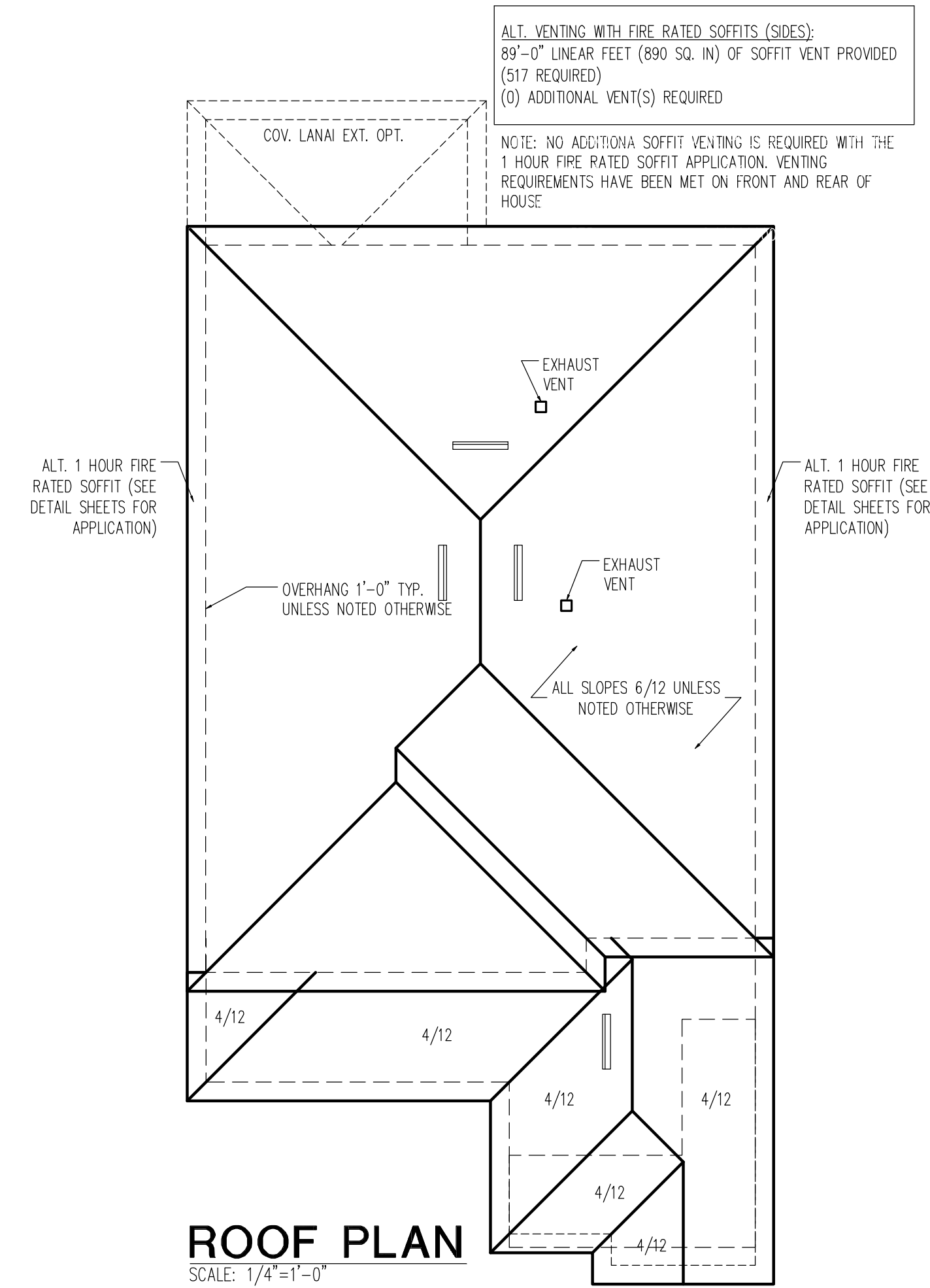
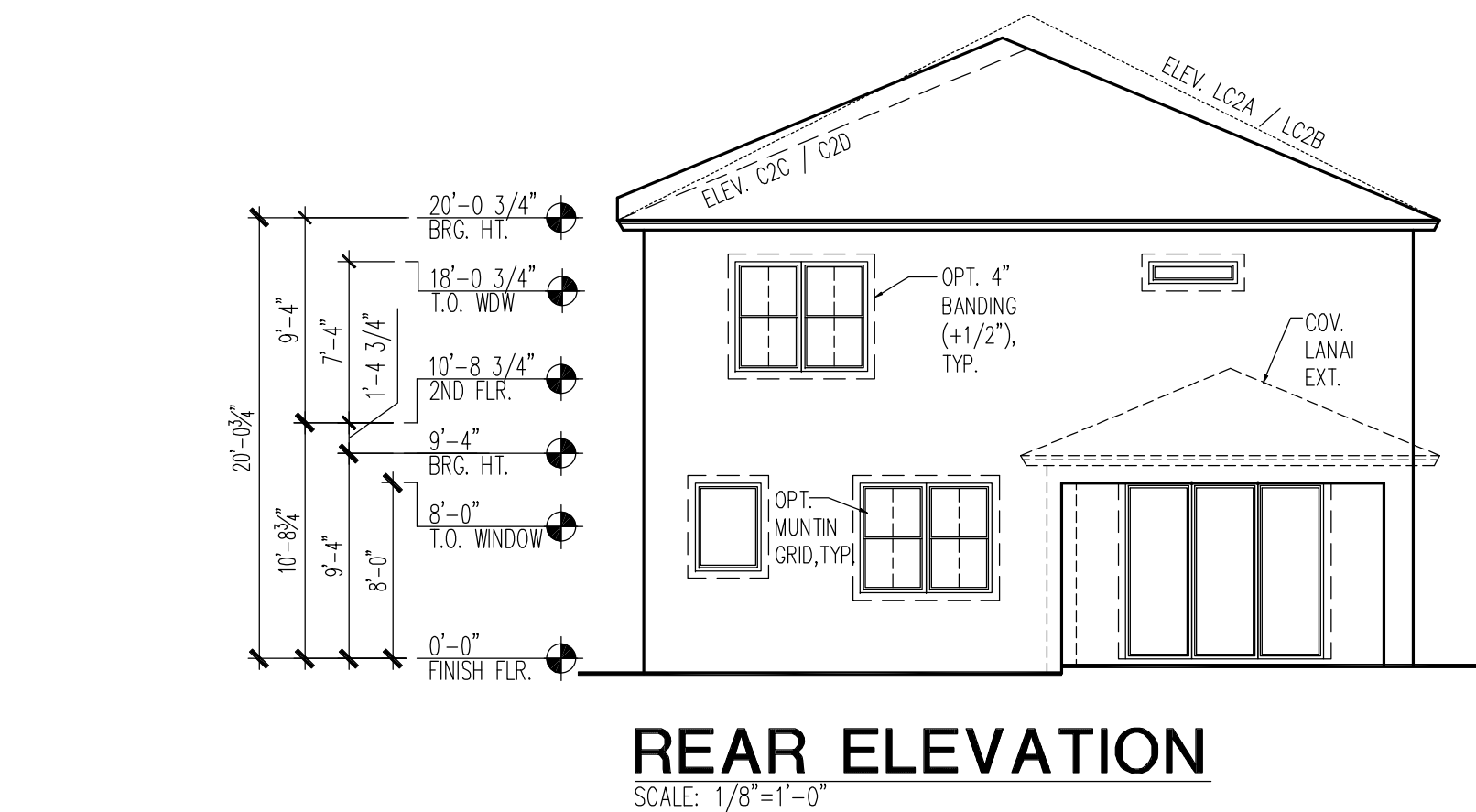
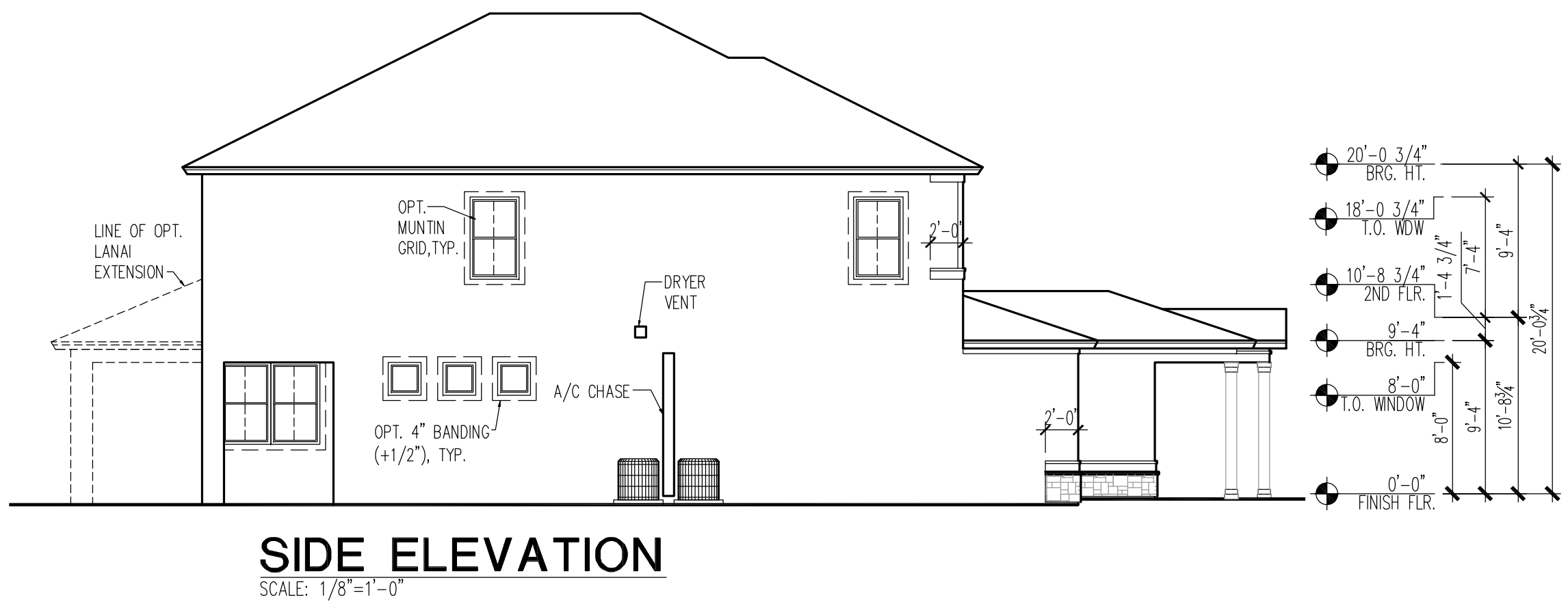




| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)                                              |         |         |                                                      |         |          |
|-------------------------------------------------------------------------------------|---------|---------|------------------------------------------------------|---------|----------|
| TOTAL ATTIC AREA                                                                    |         |         | FREE VENT REQD. (AREA/300)                           |         |          |
| SQ. FT.                                                                             | SQ. IN. |         | SQ. FT.                                              | SQ. IN. |          |
| 2156                                                                                | 310464  |         | 7.2                                                  | 1035    |          |
| ROOF VENTS REQD.                                                                    |         |         | SOFFIT VENTS REQD. (S <sub>i</sub> /I <sub>0</sub> ) |         |          |
| SQ. FT.                                                                             | SQ. IN. | # VENTS | SQ. FT.                                              | SQ. IN. | LIN. FT. |
| 3.6                                                                                 | 517     | 4       | 3.6                                                  | 517     | 52       |
| ROOF TOP ATTIC VENT:<br>SERIES                                                      |         |         | SOFFIT VENT TYPE:                                    |         |          |
| 144 = 1 SQ. IN. FT. / VENT                                                          |         |         | CONTINUOUS                                           |         |          |
| (144 SQ. IN. VENT)                                                                  |         |         | SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.       |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE |         |         |                                                      |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                               |         |         |                                                      |         |          |

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)                                              |         |         |  |                                                |         |          |
|-------------------------------------------------------------------------------------|---------|---------|--|------------------------------------------------|---------|----------|
| TOTAL ATTIC AREA                                                                    |         |         |  | FREE VENT REQ. (AREA/300)                      |         |          |
| SQ. FT.                                                                             | SQ. IN. |         |  | SQ. FT.                                        | SQ. IN. |          |
| 2156                                                                                | 310464  |         |  | 7.2                                            | 1035    |          |
| ROOF VENTS REQ.                                                                     |         |         |  | SOFFIT VENTS REQ. (S/I10)                      |         |          |
| SQ. FT.                                                                             | SQ. IN. | # VENTS |  | SQ. FT.                                        | SQ. IN. | LIN. FT. |
| 3.6                                                                                 | 517     | 4       |  | 3.6                                            | 517     | 52       |
| ROOF TOP ATTIC VENT: SERIES                                                         |         |         |  | SOFFIT VENT TYPE: CONTINUOUS                   |         |          |
| 144 = 1 SQ. FT. / VENT (144 SQ. IN. VENT)                                           |         |         |  | SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE |         |         |  |                                                |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                               |         |         |  |                                                |         |          |

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 NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**FLORIDA ZONE**  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800



ELEVATION "11" (LC2A)  
 ELEVATIONS - 2ND FLOOR PLAN CMU

| PRODUCTION MANAGER |                    |
|--------------------|--------------------|
| CONTROL DATE:      | 07/18/16           |
| REV #              | DATE / DESCRIPTION |
| 1                  |                    |
| 2                  |                    |
| 3                  |                    |
| 4                  |                    |
| 5                  |                    |
| 6                  |                    |
| 7                  |                    |
| 8                  |                    |
| 9                  |                    |
| 10                 |                    |

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

GARAGE HANDING  
**LEFT**

VERSION NUMBER  
**1.0**

PLAN NAME  
**PARK PLACE**  
 NPC PLAN NUMBER  
**1957.500**  
 LAWSON PLAN ID  
**XXXXXX**  
 LEGACY PLAN NUMBER / NAME  
**PARK PLACE**

SHEET  
**A21LC2B-CMU**



# RIVERWALK

FLORIDA ZONE  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



INDEX, HOUSE DATA, GEN. NOTES

|                        |                    |
|------------------------|--------------------|
| PRODUCTION MANAGER     |                    |
| ---                    |                    |
| CONTROL DATE: 07/18/16 |                    |
| REV #                  | DATE / DESCRIPTION |
| △                      | --                 |
| △                      | --                 |
| △                      | --                 |
| △                      | --                 |
| △                      | --                 |
| △                      | --                 |
| △                      | --                 |
| △                      | --                 |
| △                      | --                 |

PROJECT TYPE  
SINGLE FAMILY

COMMUNITY NAME  
MASTER

LAWSON COMMUNITY ID

GARAGE HANDING  
LEFT

VERSION NUMBER  
1.0

PLAN NAME  
RIVERWALK  
NPC PLAN NUMBER  
1956.500  
LAWSON PLAN ID  
xxxxxx  
LEGACY PLAN NUMBER / NAME  
BOARDWALK

SHEET  
G1.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

## LEGEND

FM - FLORIDA MEDITERRANEAN  
C - CRAFTSMAN  
LC - LOW COUNTRY

## NOTES

SQ. FT. TABLE IS BASED ON +/- SQ. FT.  
AS COMPARED TO BASE PLAN

NOTE:  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES

## AREA CALCULATION (SQ. FT.)

|                         | WIDTH  | DEPTH  | LIVING AREA |           |                 | NON-LIVING AREA |               |       | TOTAL AREA U.R. |
|-------------------------|--------|--------|-------------|-----------|-----------------|-----------------|---------------|-------|-----------------|
|                         |        |        | 1ST FLOOR   | 2ND FLOOR | TOTAL A/C SPACE | GARAGE          | COVERED ENTRY | LANAI |                 |
| BASE HOUSE - (FM2A "3") | 38'-0" | 75'-4" | 1239        | 1431      | 2670            | 452             | 22            | 115   | 3259            |
| FM2B "4"                | 0      | 0      | 0           | 0         | 0               | 0               | 0             | 0     | 0               |
| C2A "6"                 | 0      | 0      | 0           | 0         | 0               | 0               | 0             | 0     | 0               |
| C2C "15"                | 0      | 0      | 0           | 0         | 0               | 0               | 0             | 0     | 0               |
| LC2B "19"               | 0      | 0      | 0           | 0         | 0               | 0               | +125          | 0     | 125             |
| GARAGE 4' EXTENSION     | 0      | 0      | 0           | 0         | 0               | +79             | 0             | 0     | 79              |
| COVERED LANAI EXTENSION | 0      | 0      | 0           | 0         | 0               | 0               | 0             | +90   | 90              |
| TOTALS                  |        |        |             |           |                 |                 |               |       |                 |

## ADDITIONAL NOTES

ALL SECONDARY MEANS OF EGRESS WILL COMPLY WITH FFPC 24.2.2.3.3. IT SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE WIDTH SHALL BE NOT LESS THAN 20 INCHES, AND THE HEIGHT SHALL BE NOT LESS THAN 24 INCHES. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44INCHES ABOVE THE FLOOR.

SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 9.6.2.10 IN ALL SLEEPING ROOMS, OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT.

CARBON MONOXIDE DETECTORS WILL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS AND ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, EXCLUDING ATTICS.

## GENERAL NOTES

THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:  
FLORIDA BUILDING CODE 5TH EDITION (2014) RESIDENTIAL  
BUILDING TYPE: VB  
FLORIDA FIRE PREVENTION CODE 5th EDITION

-ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

-MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.

-PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

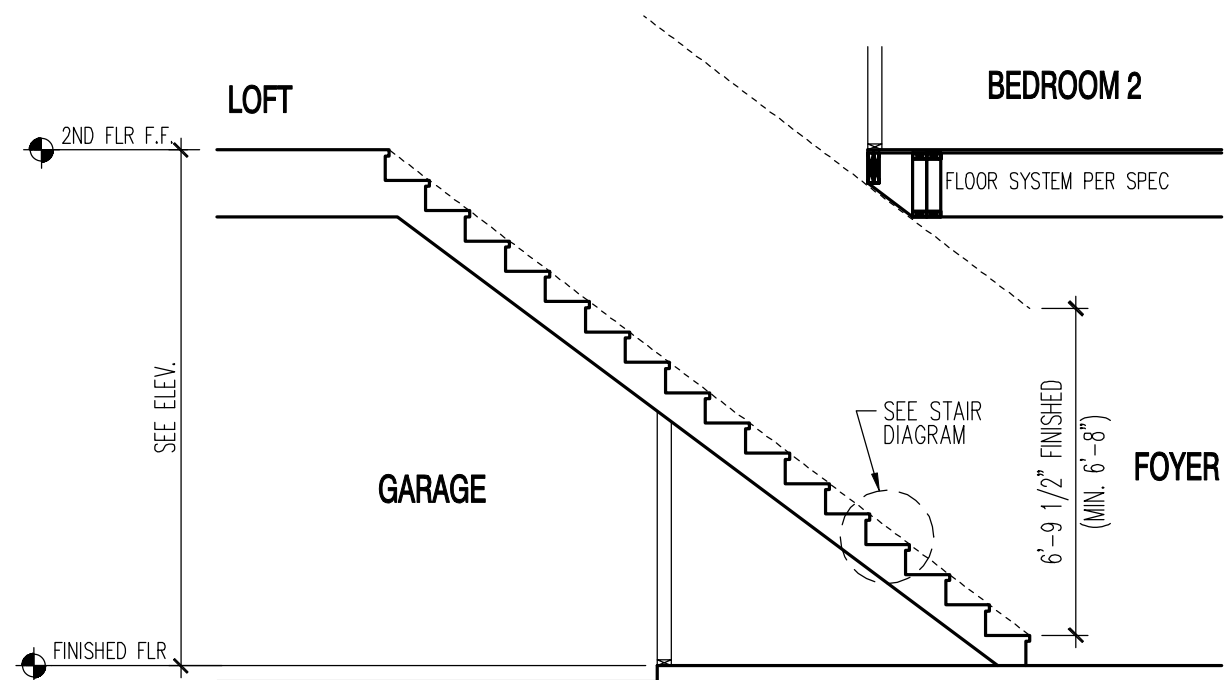
-REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM.

R703.6.1 LATH.  
ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCHLONG (22.2 MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.  
R703.6.2 PLASTER.  
PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

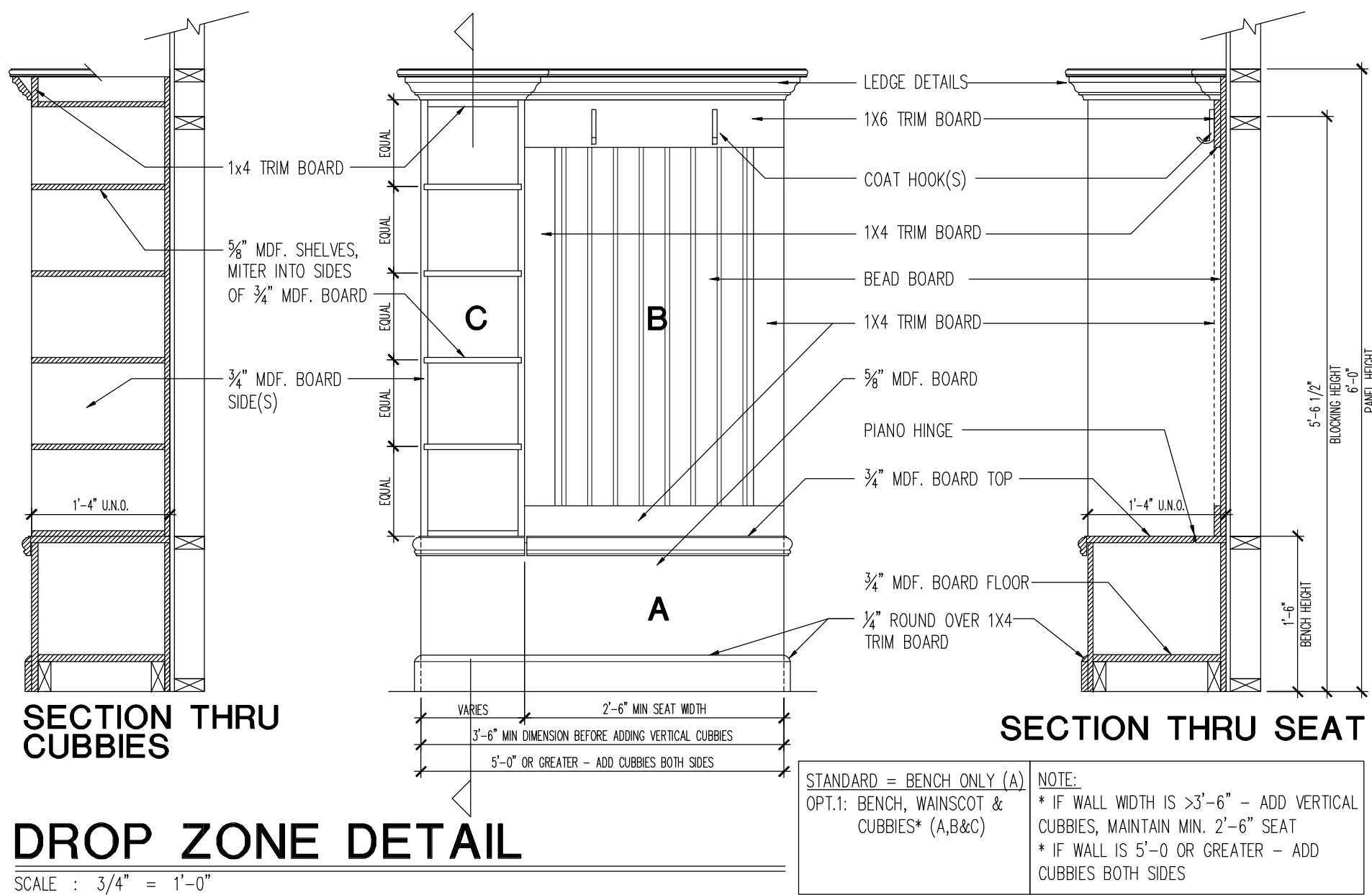
ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).  
R703.6.2.1 WEEP SCREEDS.  
A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

R703.6.3 WATER-RESISTIVE BARRIERS.  
WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.  
R905.2.7 UNDERLAYMENT APPLICATION.  
THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

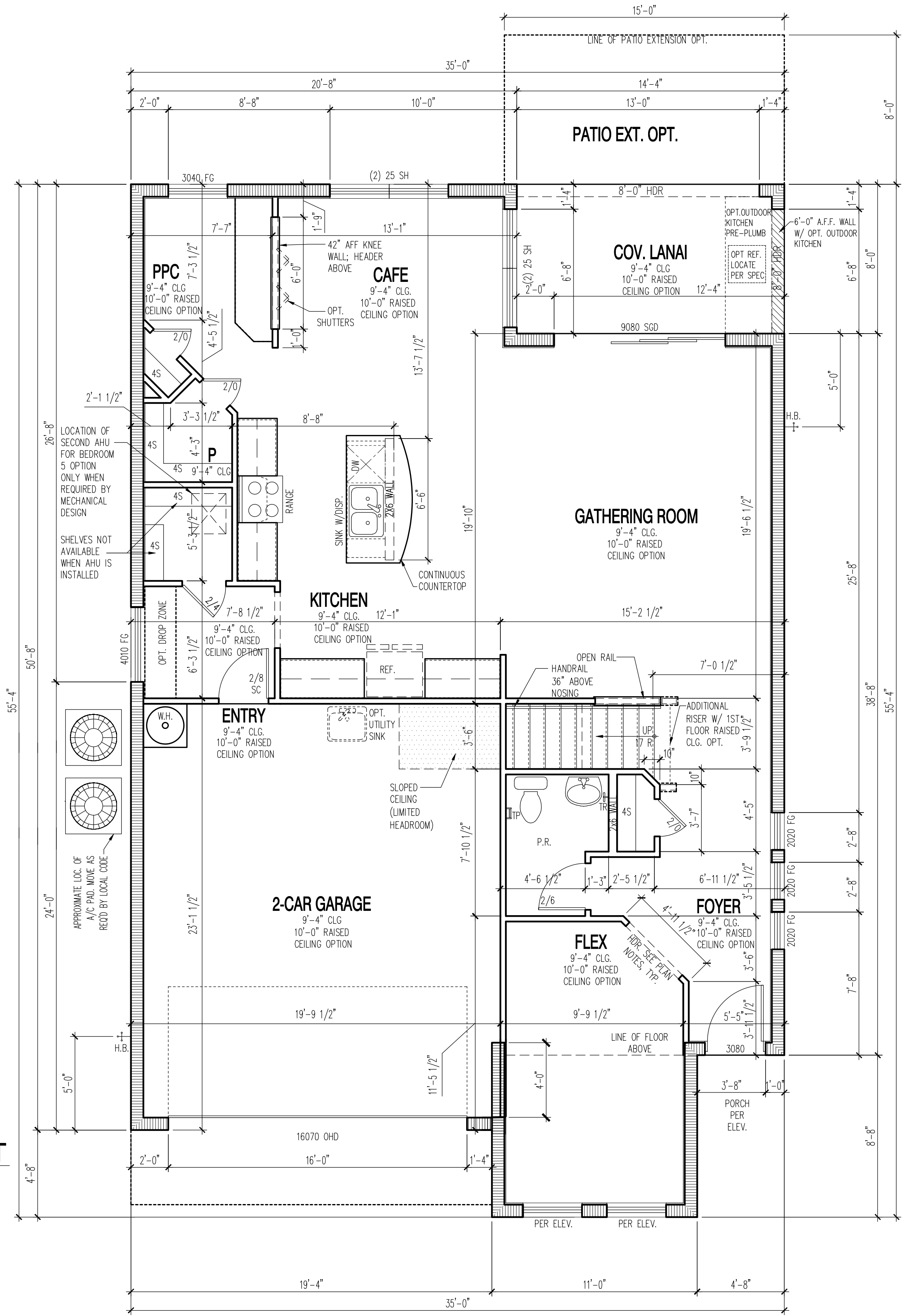


SCALE: 1/4"=1'-0"



## DROP ZONE DETAIL


SCALE :  $3/4" = 1'-0"$





## FIRST FLOOR PLAN W/ CMU SECOND FLOOR


SCALE:  $1/4'' = 1' - 0''$

## LEGEND SYMBOLS

 MASONRY - CONC. BLOCK OR BRICK WALL

 2X FRAME WALL PER PLAN

 ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS  
RELATIVE TO FINISH FLOOR DATUM = 0'-0"

 \* DENOTES EMERGENCY ESCAPE & RESCUE OPENING

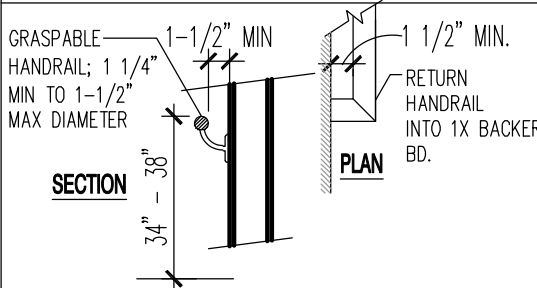
NOTES

- 1- FIELD SHALL VERIFY ALL MASONRY OPGNS.
- 2- 2ND FLOOR WINDOWS, ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH FB12.2 - MIN. 24" SILL HEIGHT
- 3- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSPUM BOARD APPLIED TO THE GARAGE SIDE, 6" SPACE, 302.8 AND IT SHOULD BE SPACED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 8" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
- 4- INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE GARAGE IS NOT LESS THAN 100 SQ. FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
- 5- SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
- 6- ALL GUARDRAILS TO BE MIN. 36" AFF w/ MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
- 7- FRAME WALLS: 2x6 w/ TOP PLATE @ 9'4" HIGH OR 2x4 w/ TOP PLATE @ 8' HIGH
- 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9'-0" CEILING HT.) OR 8'-0" A.F.F. (8'-0" CEILING HEIGHT)
- 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7.
- 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS. SLOPE OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE PER R302.5.1.
- 11- WHERE SOFFITS ARE LESS THAN 5'-0" FROM PROPERTY LINE, THE SOFFIT CONSTRUCTION SHALL HAVE A 1-HOUR FIRE RATING PER R302.1. ACHIEVE 2 LAYERS OF 5/8" GYP. BD. TO BOTTOM SIDE OF SOFFIT TO ACHIEVE THIS RATING OR APPROVED ALIKE.

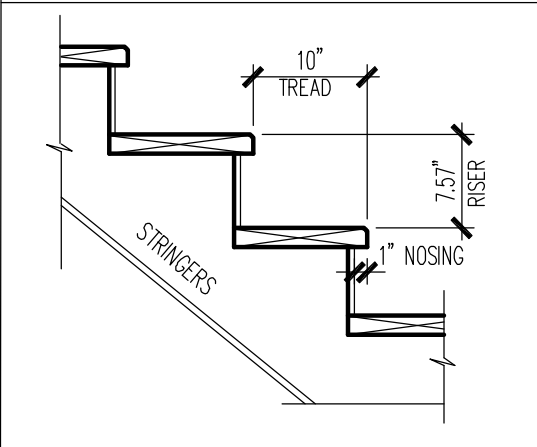
## STAIR CALCS.

|                    |             |                                 |
|--------------------|-------------|---------------------------------|
|                    |             | W/ 10' CLG. OPTION AT 1ST FLOOR |
| FLOOR TO FLOOR HT. | 10'-8" 3/4" | 11'-4" 3/4"                     |
| RISERS             | 17 @ 7.57"  | 18 @ 7.59"                      |
| TREAD              | 16 @ 10"    | 17 @ 10"                        |
| NOSING             | 1"          | 1"                              |

## HANDRAIL



## STAIR DIAGRAM



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Bonita Springs, Florida 34134 (239) 495-4800



## FIRST FLOOR PLAN

CONTROL DATE: 07/18/16

[illegible]

PROJECT TYPE  
SINGLE FAMILY

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

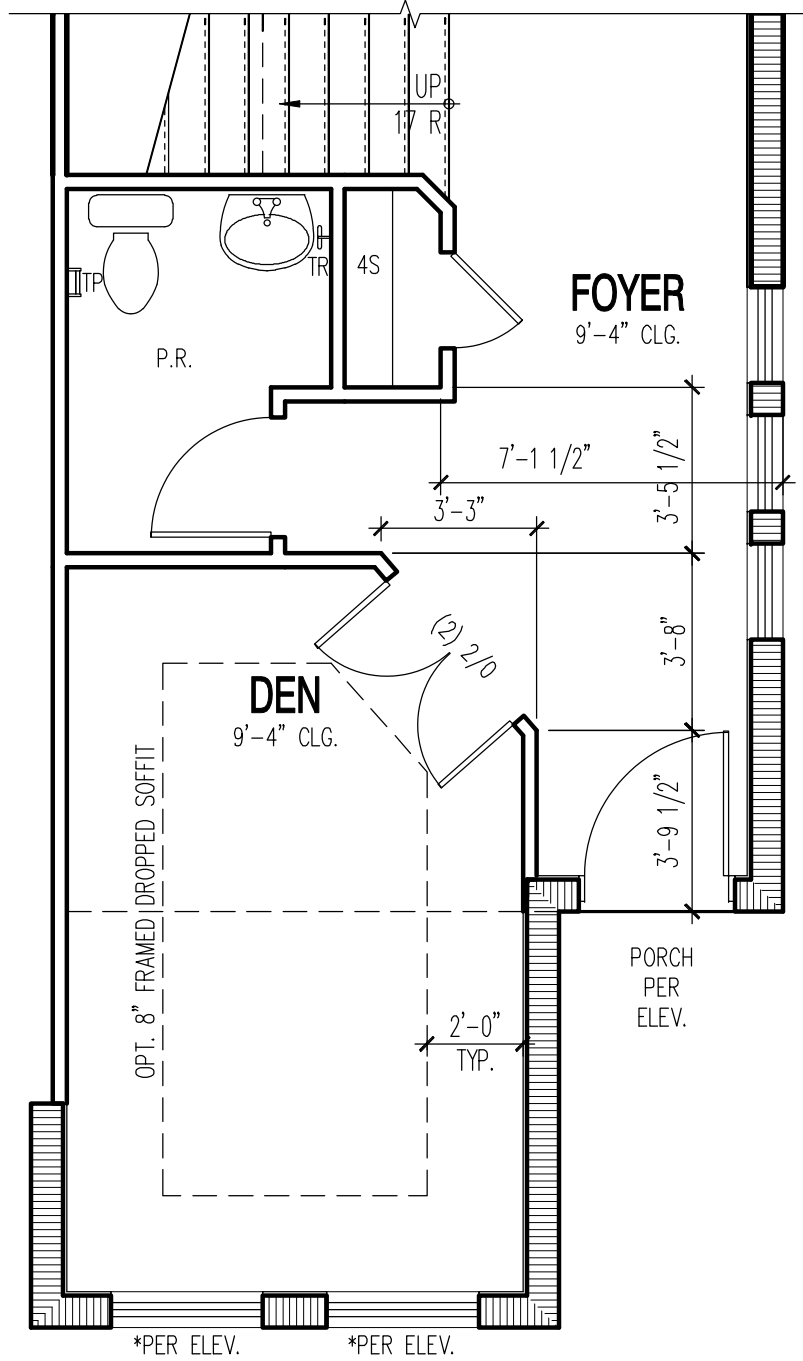
## LEFT

VERSION NUMBER  
1.0

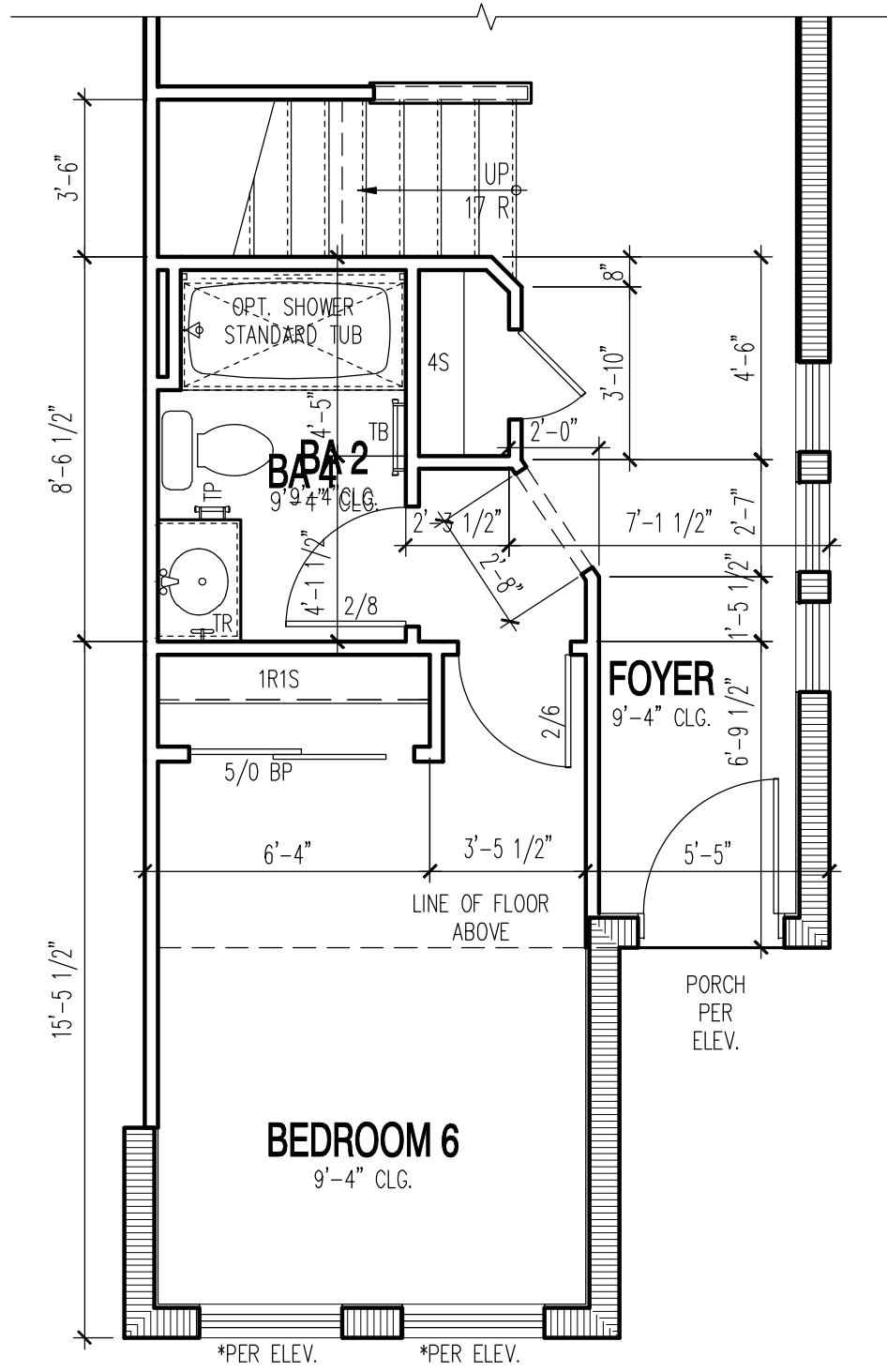
|                           |           |
|---------------------------|-----------|
| PLAN NAME                 | RIVERWALK |
| IPC PLAN NUMBER           | 1956.500  |
| LAWSON PLAN ID            | XXXXXX    |
| LEGACY PLAN NUMBER / NAME | BOARDWALK |

SHEET  
A1.1CMU

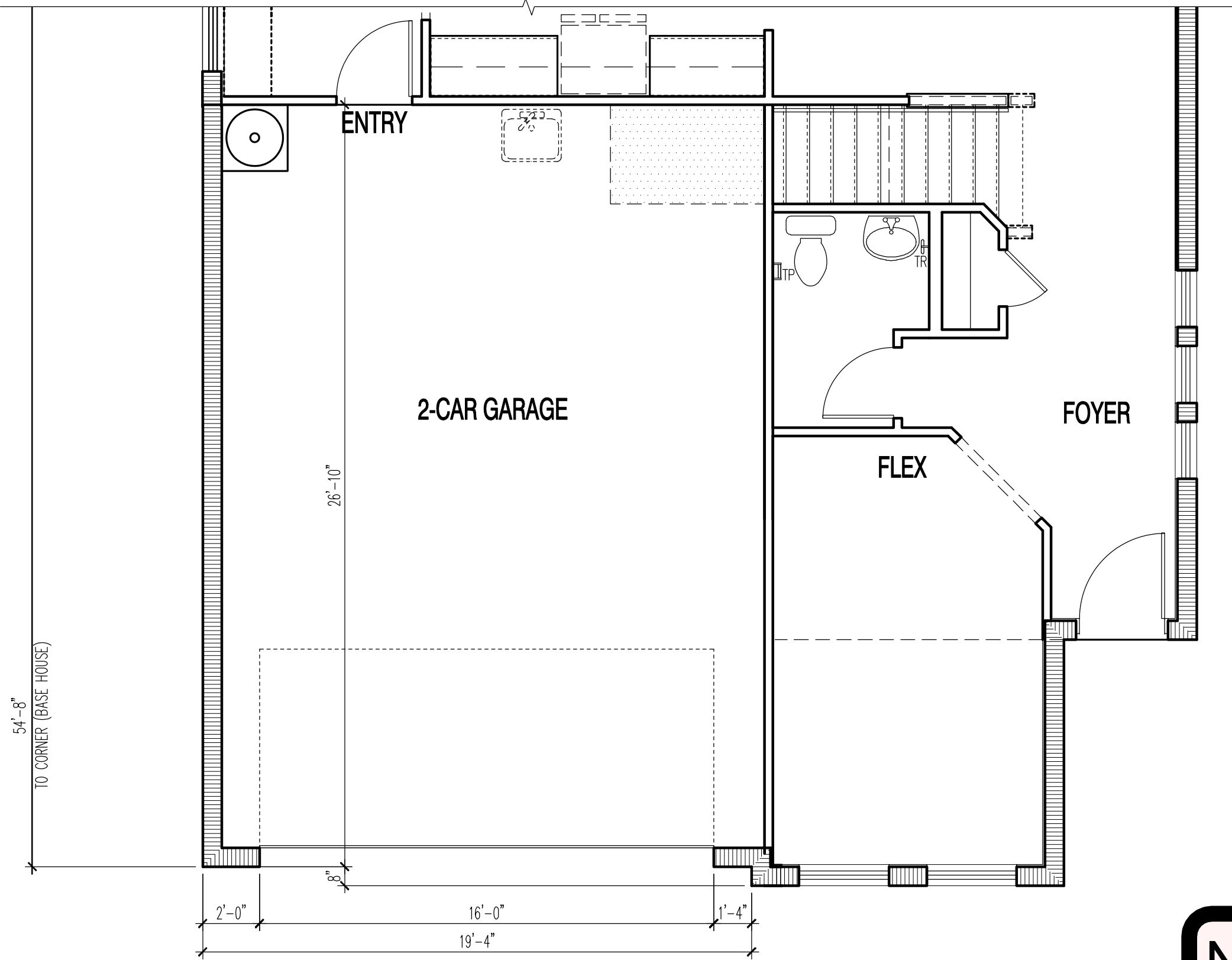




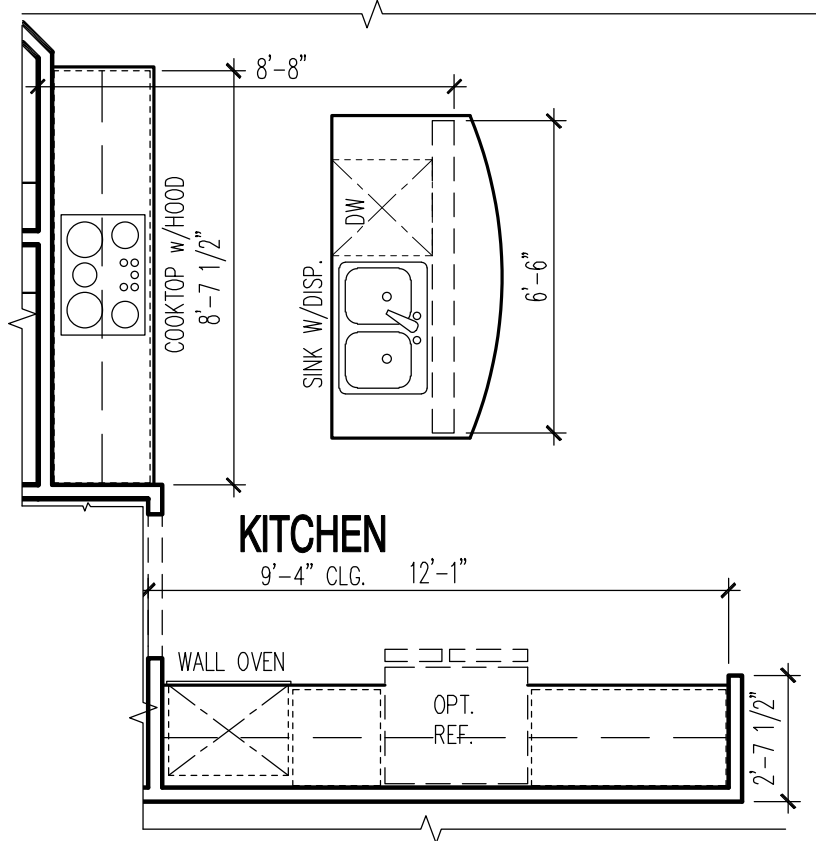
DEN OPTION  
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



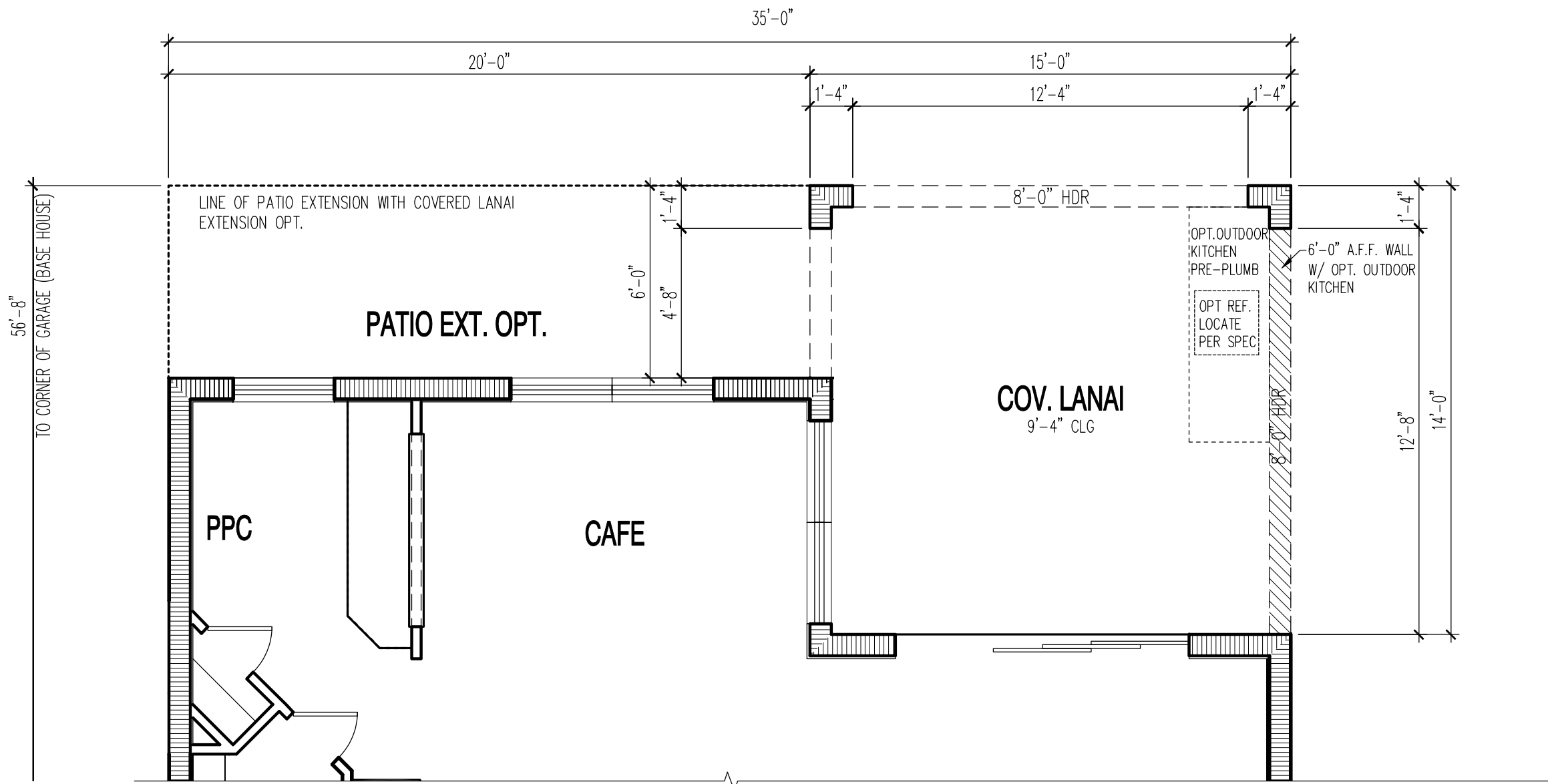
BEDROOM 6 OPTION  
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



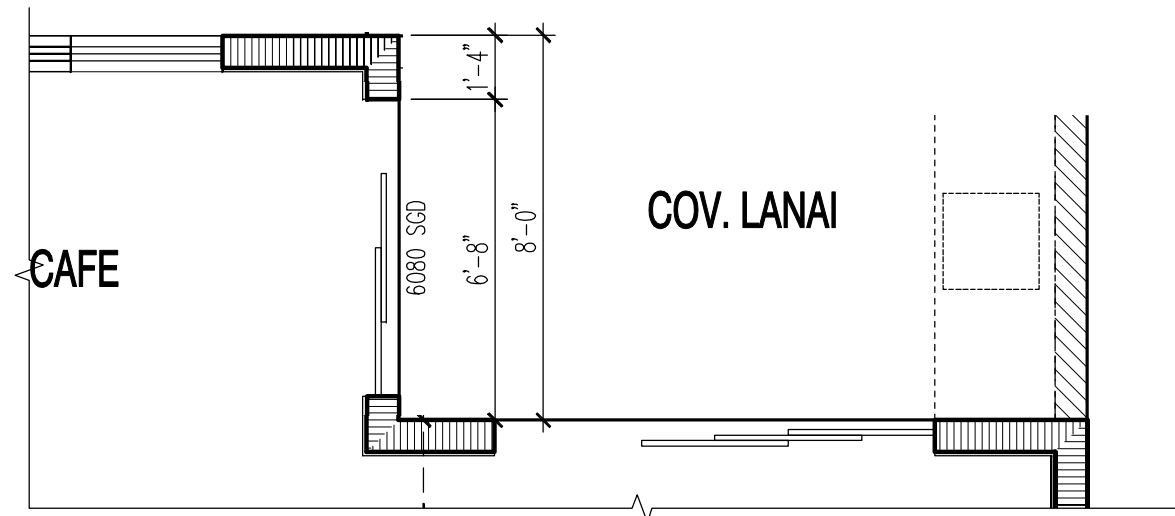
GARAGE 4' EXTENSION  
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



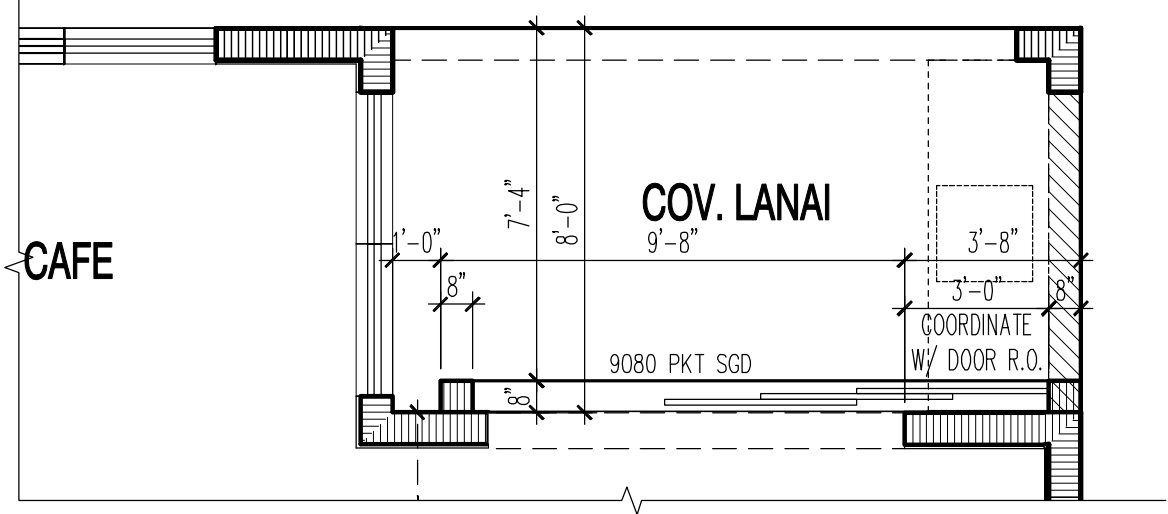
KITCHEN w/BUILT-IN APPLIANCES  
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



COVERED LANAI EXTENSION  
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN

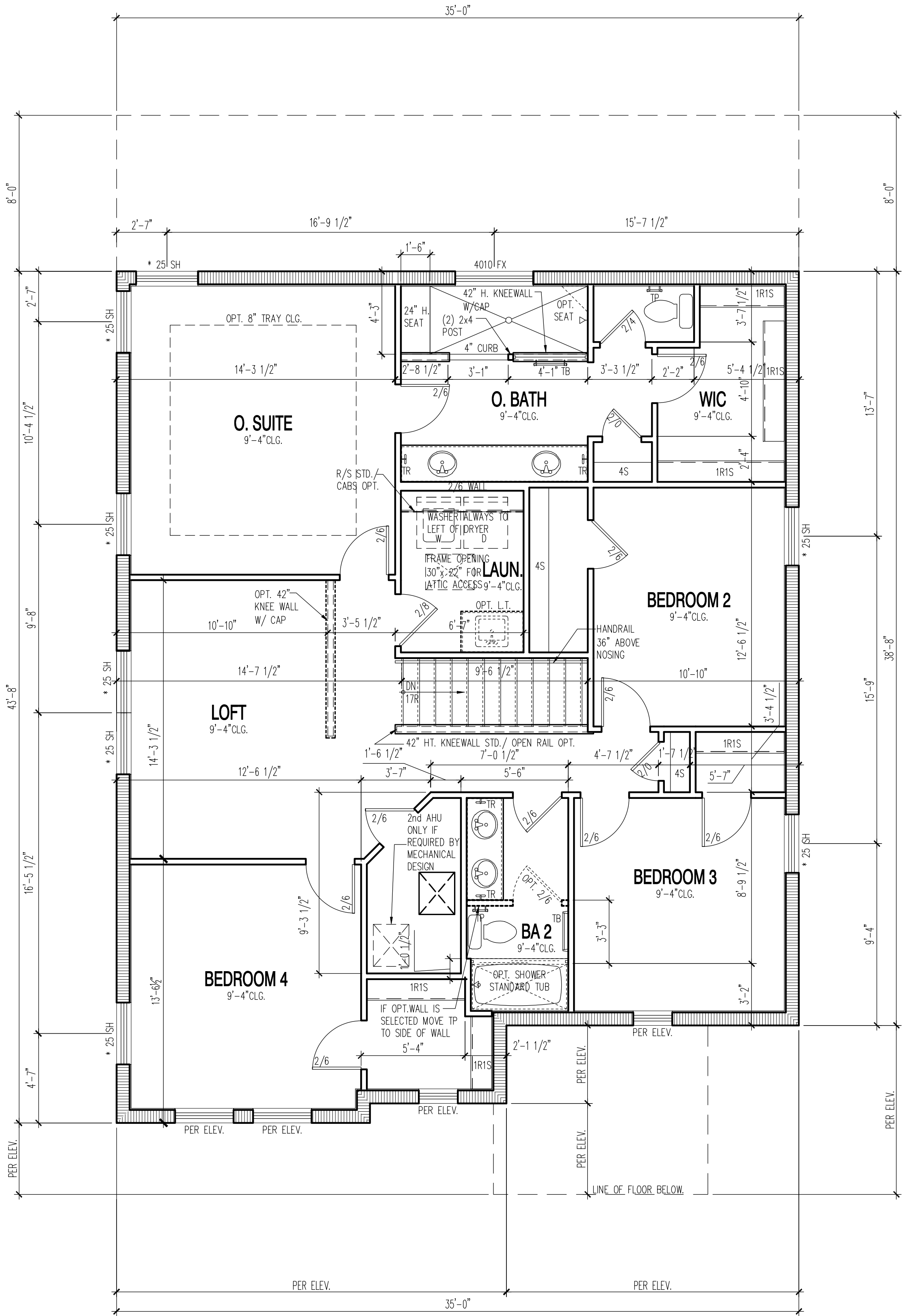


SGD @ CAFE  
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN



SGD POCKET OPTION  
SCALE: 1/4"=1'-0" PARTIAL FLOOR PLAN

NOTE:  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES



SECOND FLOOR PLAN  
 SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

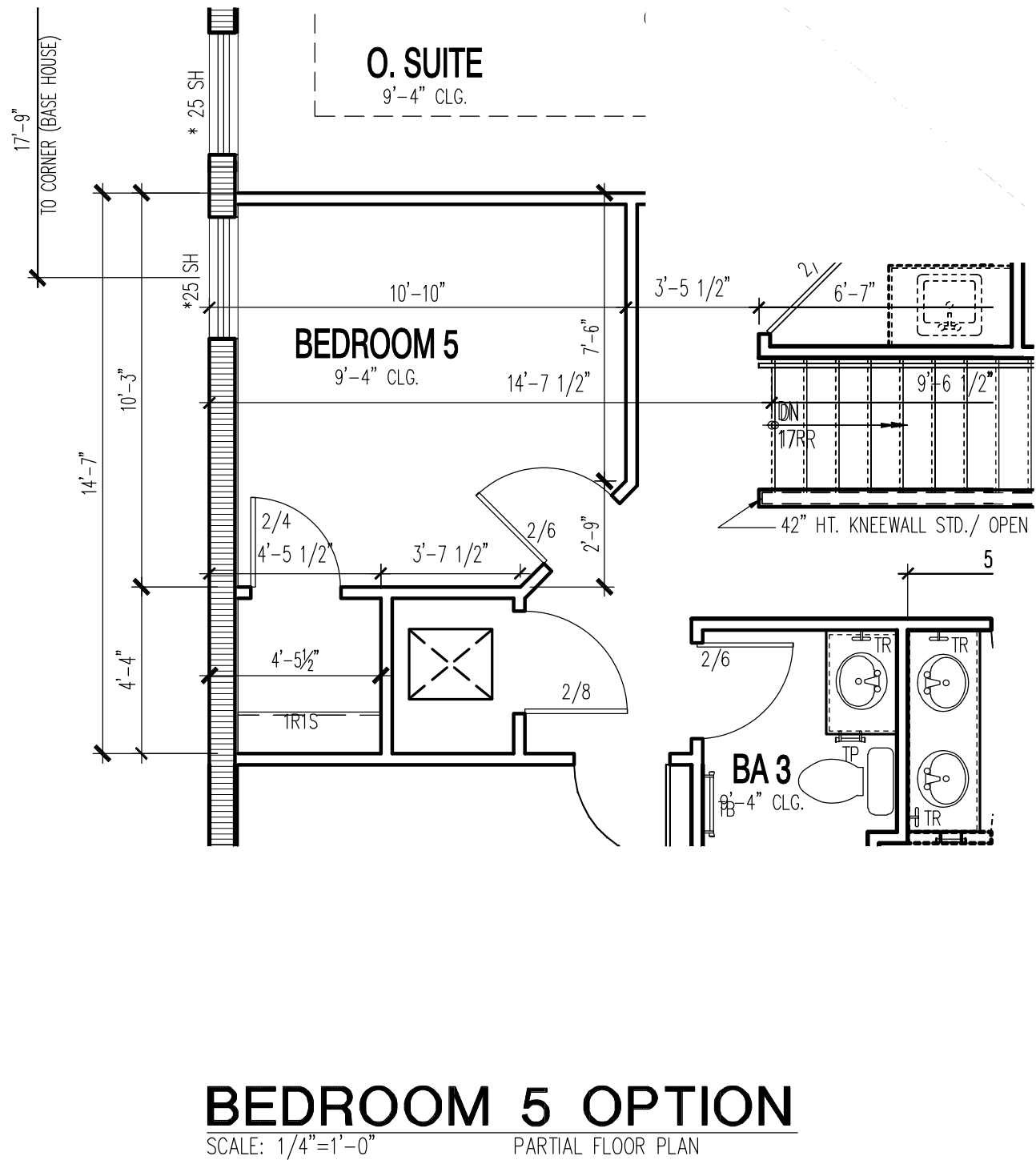
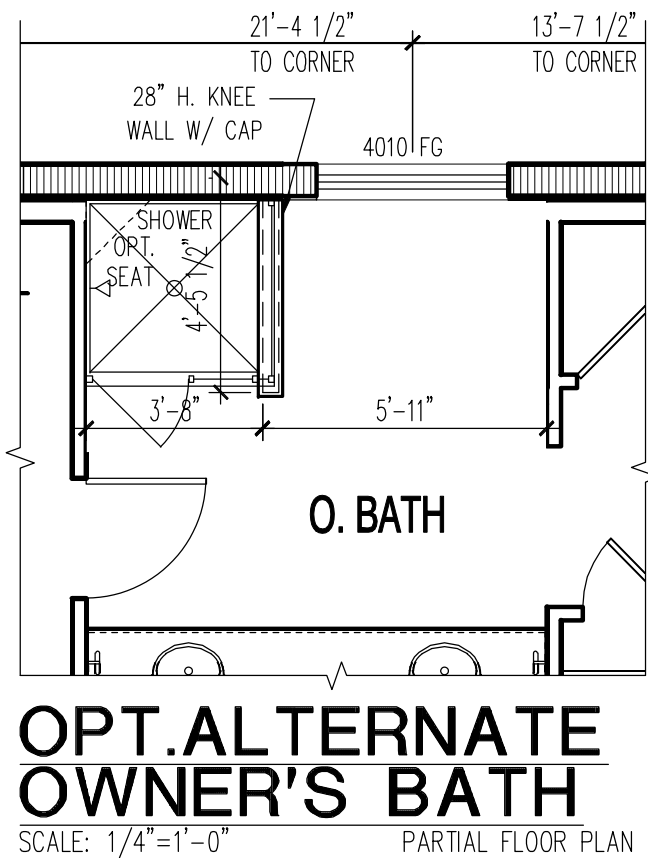
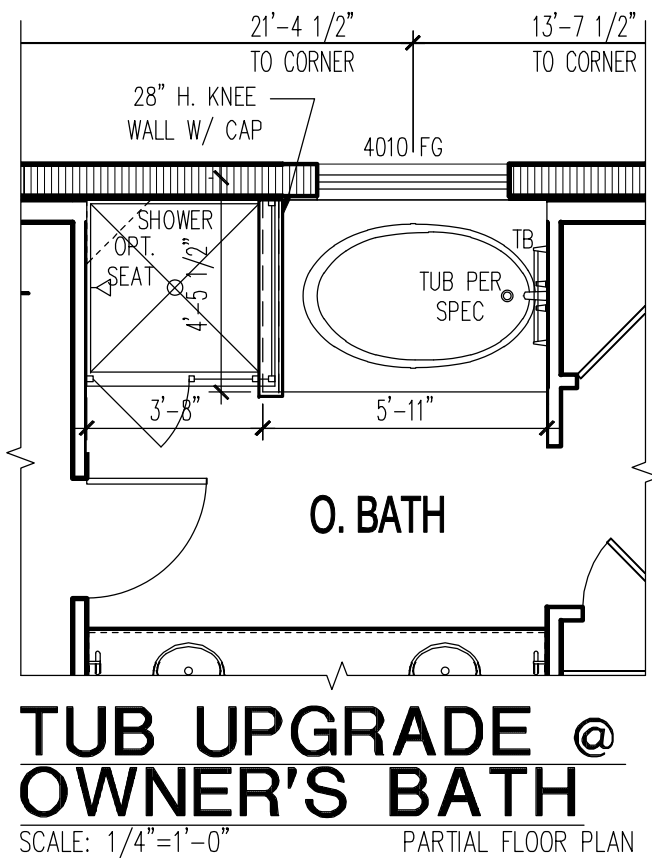
PRODUCTION MANAGER  
 ---  
 CONTROL DATE: 07/18/16  
 REV # / DATE / DESCRIPTION  
 1 / 07/18/16 /  
 2 /  
 3 /  
 4 /  
 5 /  
 6 /  
 7 /  
 8 /  
 9 /

PROJECT TYPE  
 SINGLE FAMILY  
 COMMUNITY NAME  
 MASTER  
 LAWSON COMMUNITY ID  
 ---  
 GARAGE HANDING  
 LEFT  
 VERSION NUMBER  
 1.0  
 PLAN NAME  
 RIVERWALK  
 NPC PLAN NUMBER  
 1956.500  
 LAWSON PLAN ID  
 XXXXXX  
 LEGACY PLAN NUMBER / NAME  
 BOARDWALK  
 SHEET  
 A1.2 CMU



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 Bonita Springs, Florida 34134 (239) 495-4800

2ND FLOOR PLAN - CMU



**NOTE:**  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

FLORIDA ZONE

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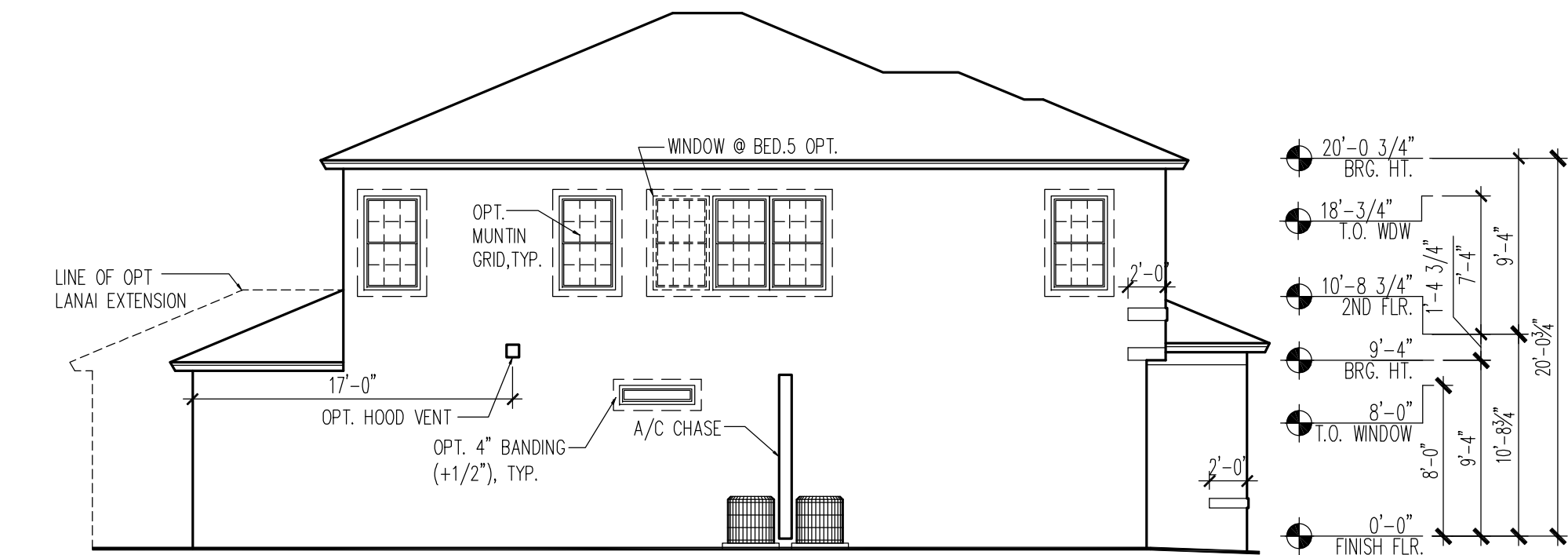
FLOOR PLAN OPTIONS

|                    |                    |
|--------------------|--------------------|
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| CONTROL DATE:      | 07/18/16           |
| REV #              | DATE / DESCRIPTION |
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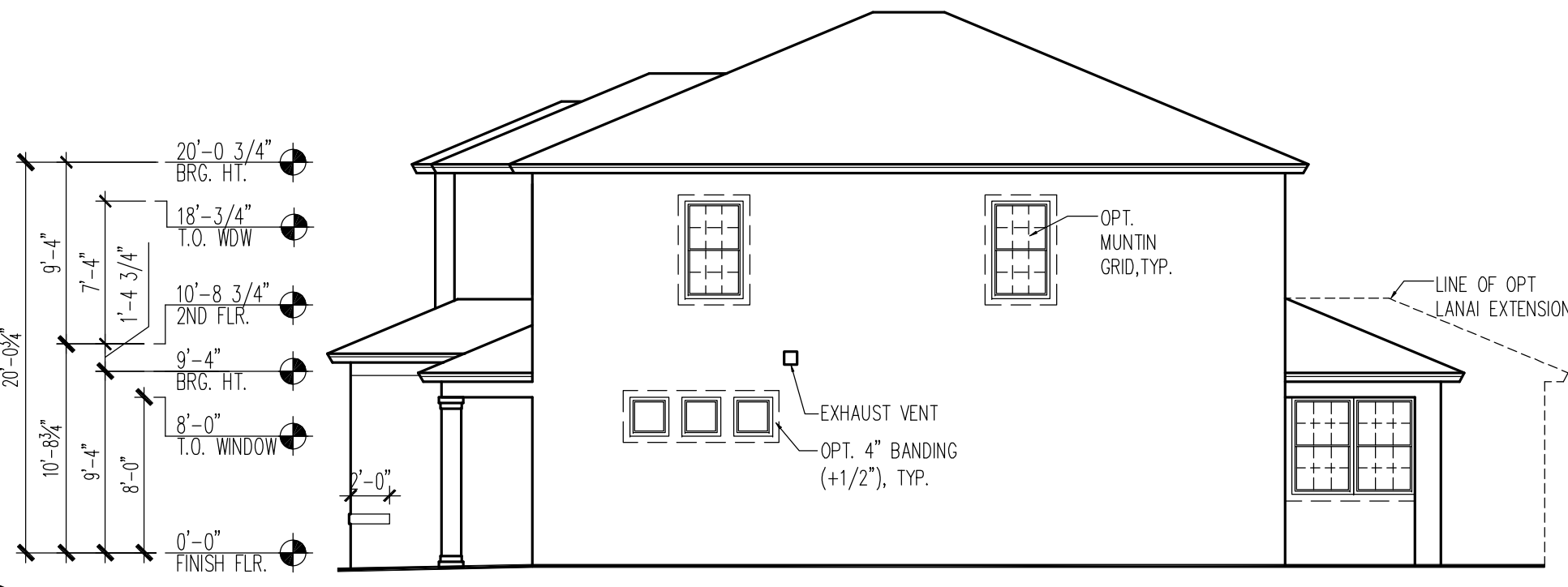
|                           |               |
|---------------------------|---------------|
| PROJECT TYPE              | SINGLE FAMILY |
| COMMUNITY NAME            | MASTER        |
| LAWSON COMMUNITY ID       |               |
| GARAGE HANDING            | LEFT          |
| VERSION NUMBER            | 1.0           |
| PLAN NAME                 | RIVERWALK     |
| NPC PLAN NUMBER           | 1956.500      |
| LAWSON PLAN ID            | XXXXXX        |
| LEGACY PLAN NUMBER / NAME | BOARDWALK     |
| SHEET                     | A01.2 CMU     |

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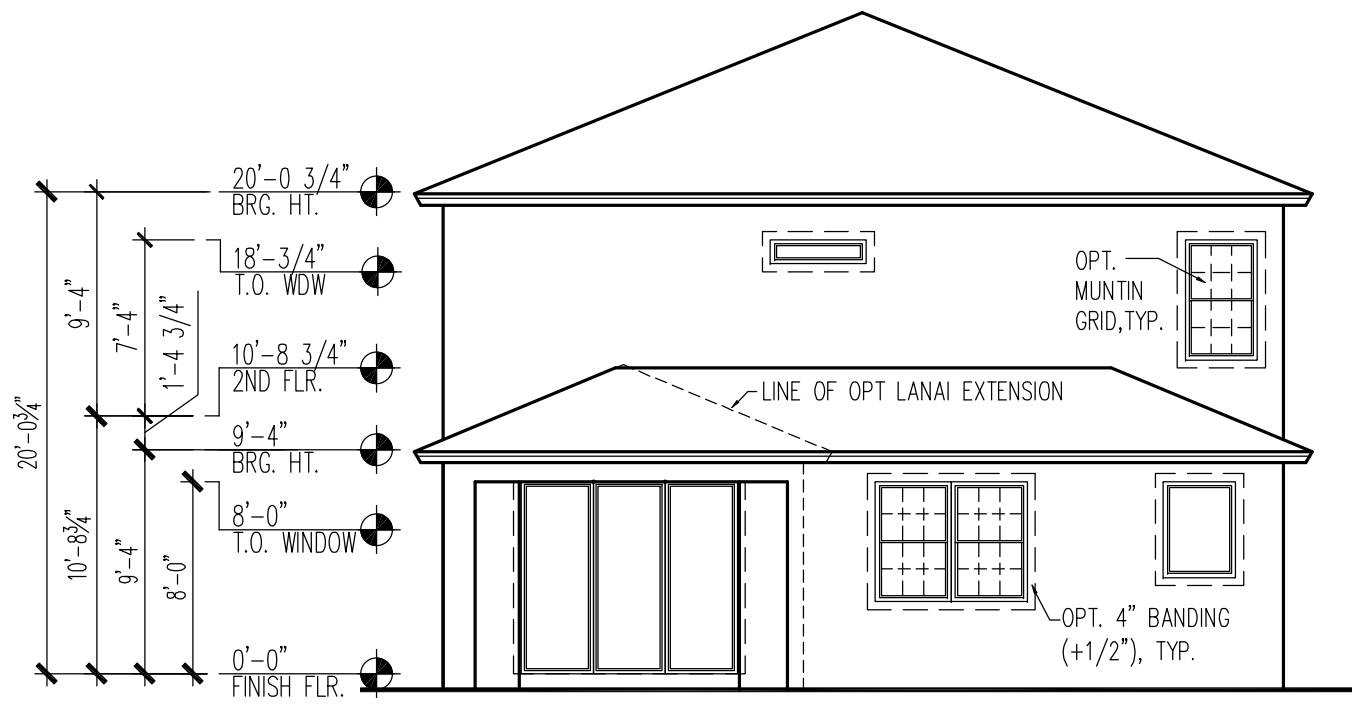




SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



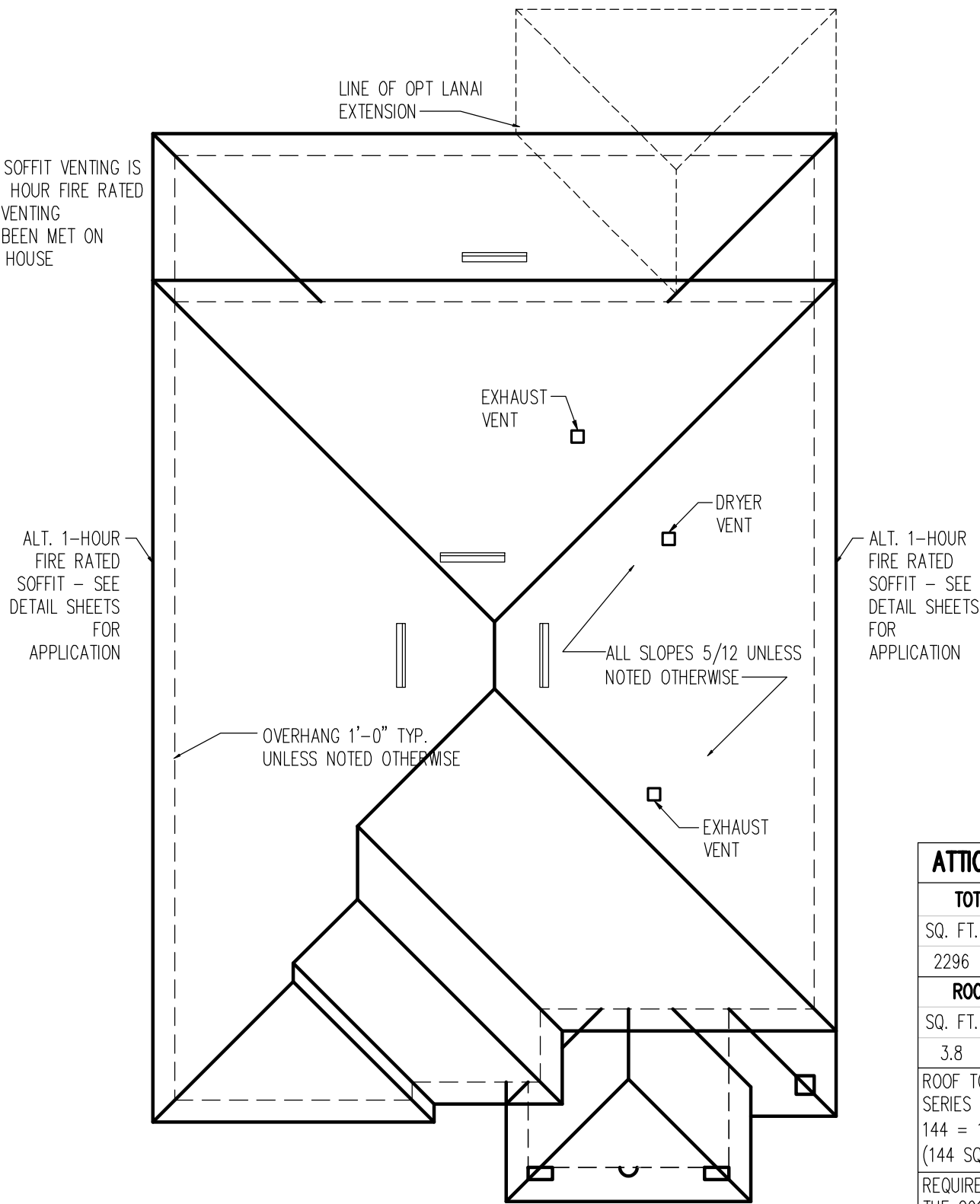
SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



REAR ELEVATION  
 SCALE: 1/8"=1'-0"

ALT. VENTING WITH FIRE-RATED SOFFITS (SIDES):  
 109'-0" LINEAR FEET (1090 SQ. IN.) OF SOFFIT VENT  
 PROVIDED  
 (551 REQUIRED)  
 (0) ADDITIONAL VENT(S) REQUIRED

NOTE: NO ADDITIONA SOFFIT VENTING IS  
 REQUIRED WITH THE 1 HOUR FIRE RATED  
 SOFFIT APPLICATION. VENTING  
 REQUIREMENTS HAVE BEEN MET ON  
 FRONT AND REAR OF HOUSE

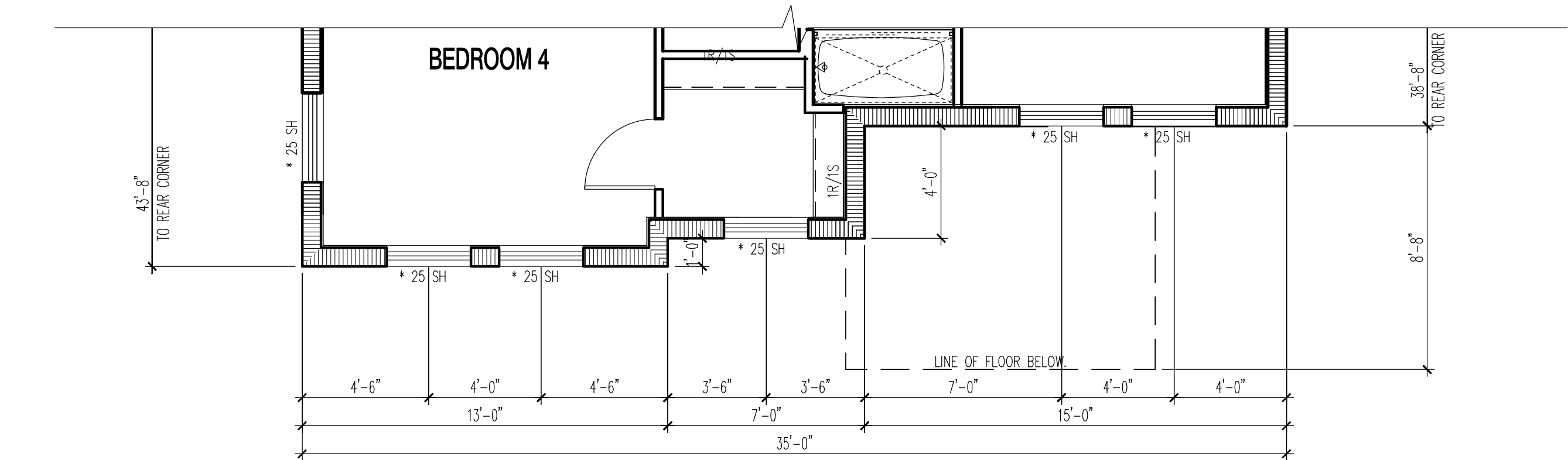


ROOF PLAN  
 SCALE: 1/4"=1'-0"

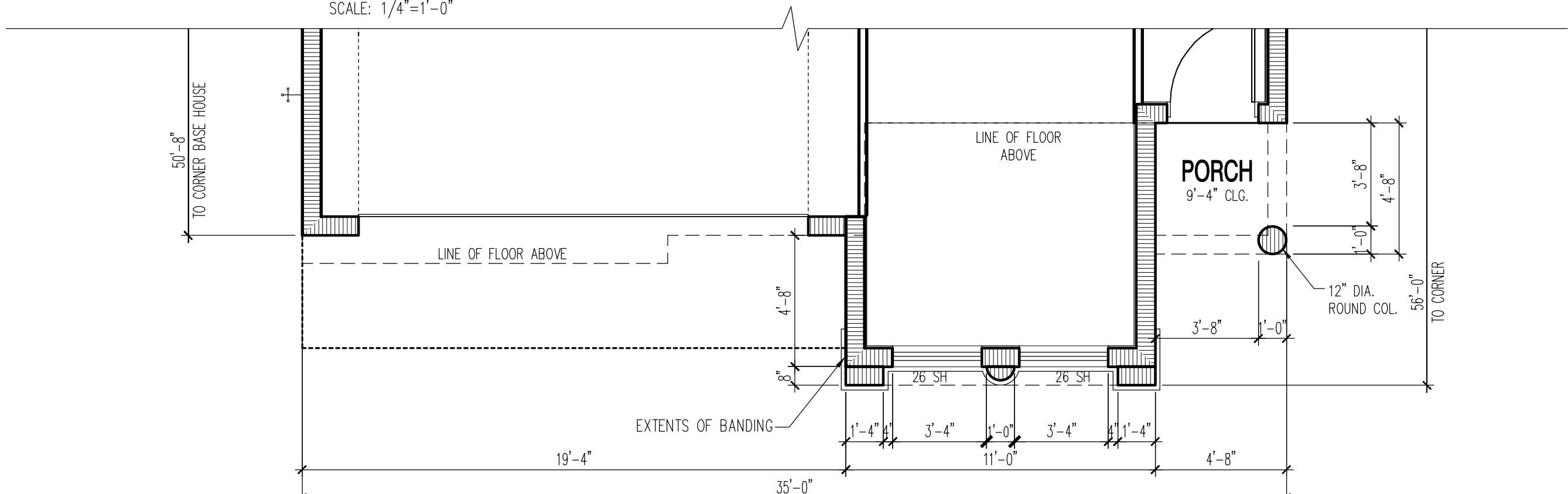
| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)                                          |         |         |                                                                                      |         |          |
|---------------------------------------------------------------------------------|---------|---------|--------------------------------------------------------------------------------------|---------|----------|
| TOTAL ATTIC AREA                                                                |         |         | FREE VENT REQD. (AREA/300)                                                           |         |          |
| SQ. FT.                                                                         | SQ. IN. |         | SQ. FT.                                                                              | SQ. IN. |          |
| 2296                                                                            | 330624  |         | 7.7                                                                                  | 1102    |          |
| ROOF VENTS REQD.                                                                |         |         | SOFFIT VENTS REQD. (9/10)                                                            |         |          |
| SQ. FT.                                                                         | SQ. IN. | # VENTS | SQ. FT.                                                                              | SQ. IN. | LIN. FT. |
| 3.8                                                                             | 551     | 4       | 3.8                                                                                  | 551     | 55       |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT)   |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF<br>THE 2014 RESIDENTIAL CODE. |         |         |                                                                                      |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER<br>MUNICIPALITY                        |         |         |                                                                                      |         |          |



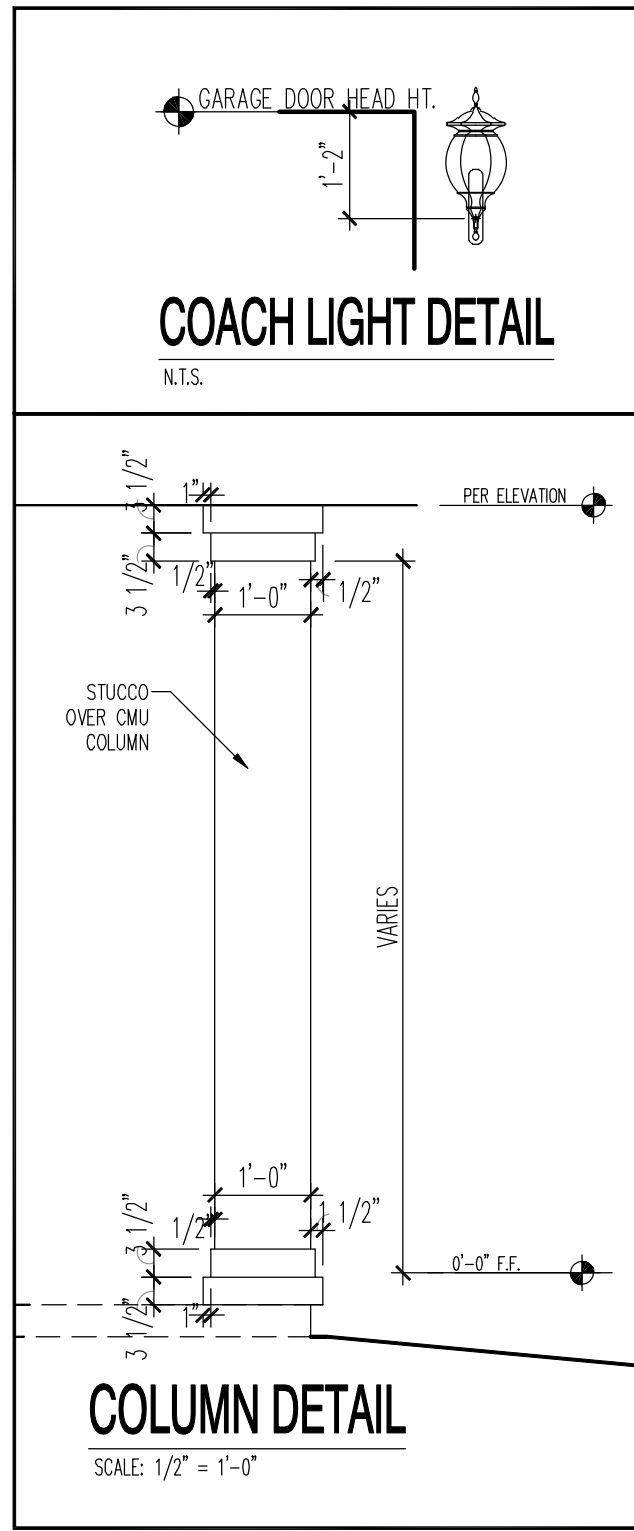
FRONT ELEVATION  
 SCALE: 1/4"=1'-0"



PARTIAL 2ND FLOOR PLAN  
 SCALE: 1/4"=1'-0"

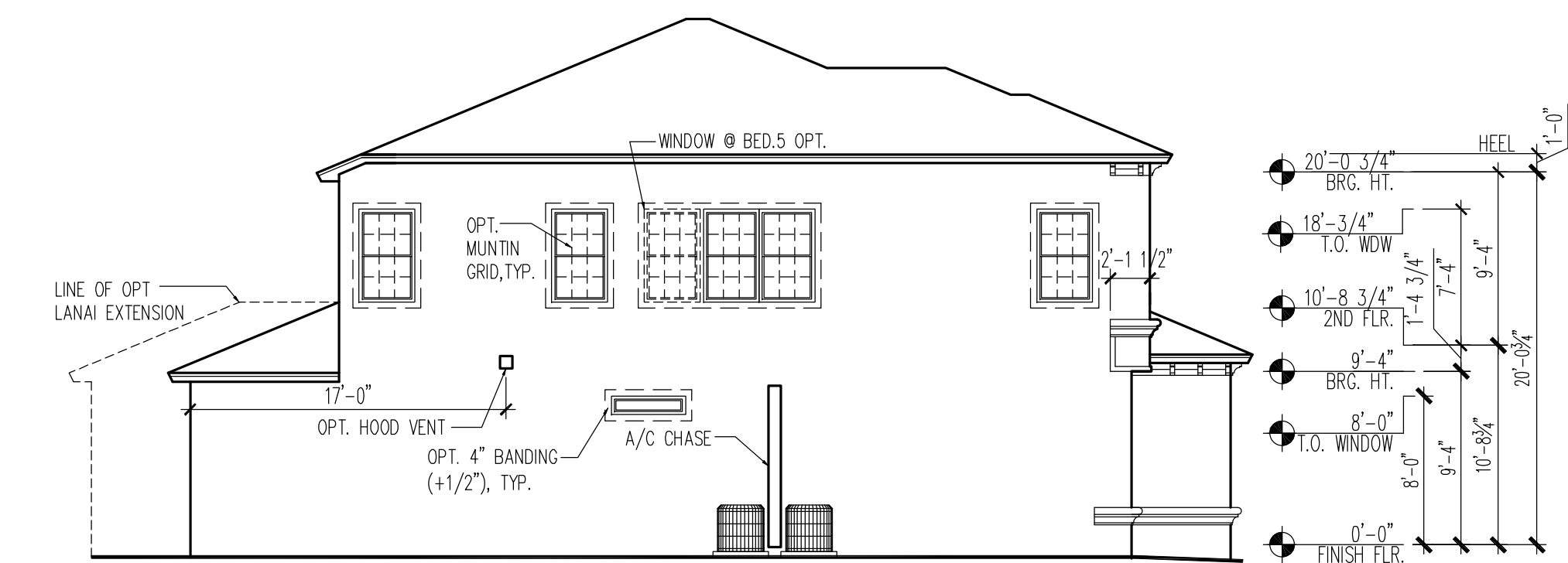


PARTIAL 1ST FLOOR PLAN  
 SCALE: 1/4"=1'-0"

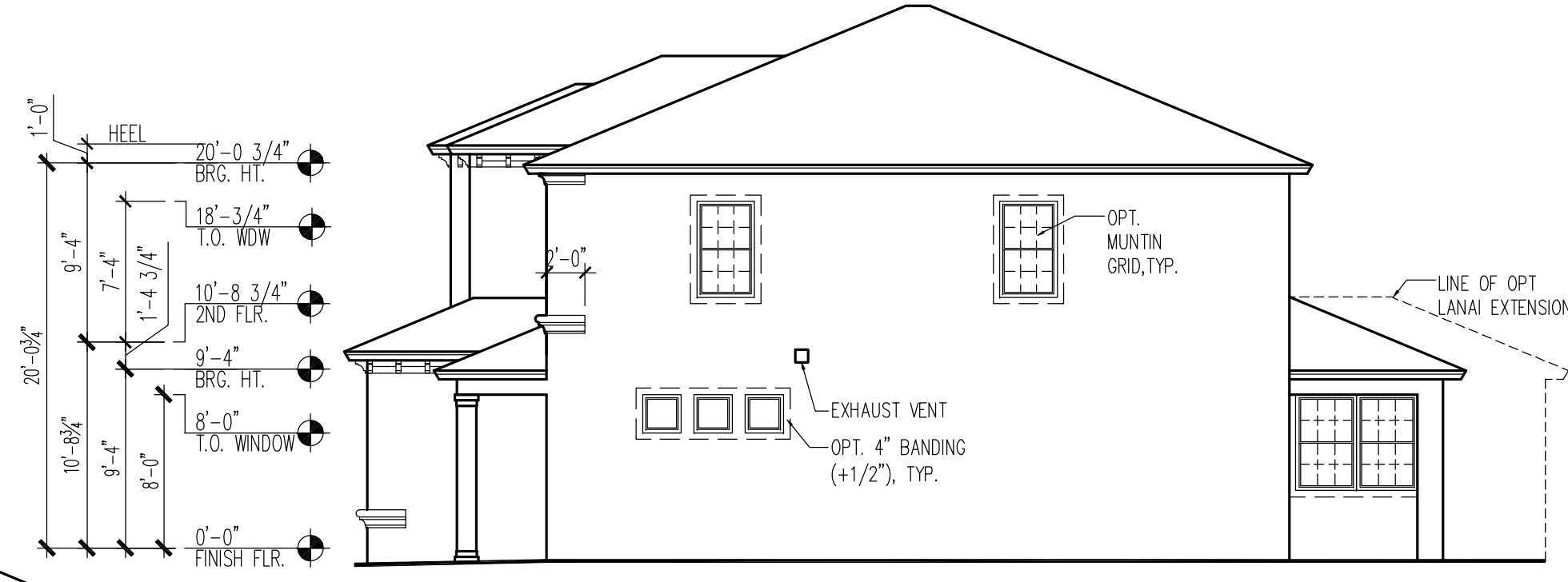


COACH LIGHT DETAIL  
 N.T.S.

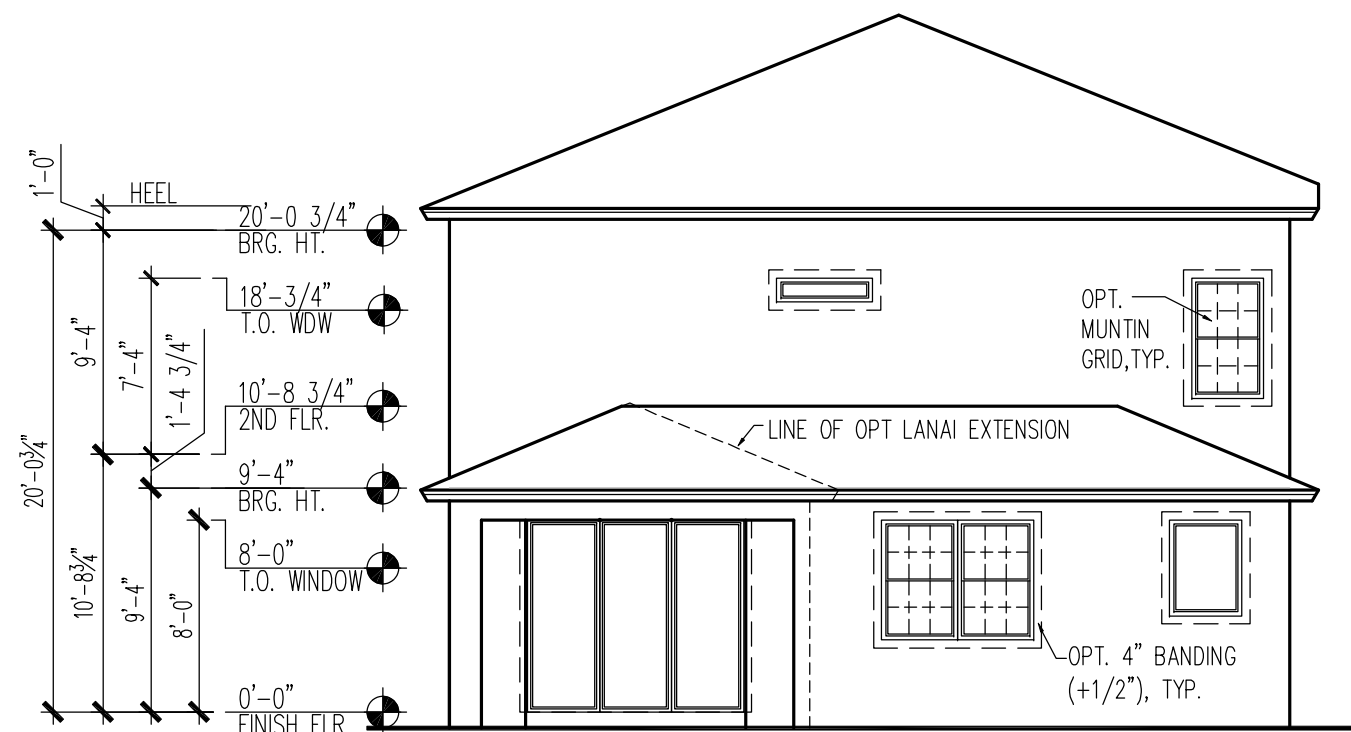
COLUMN DETAIL  
 SCALE: 1/2" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



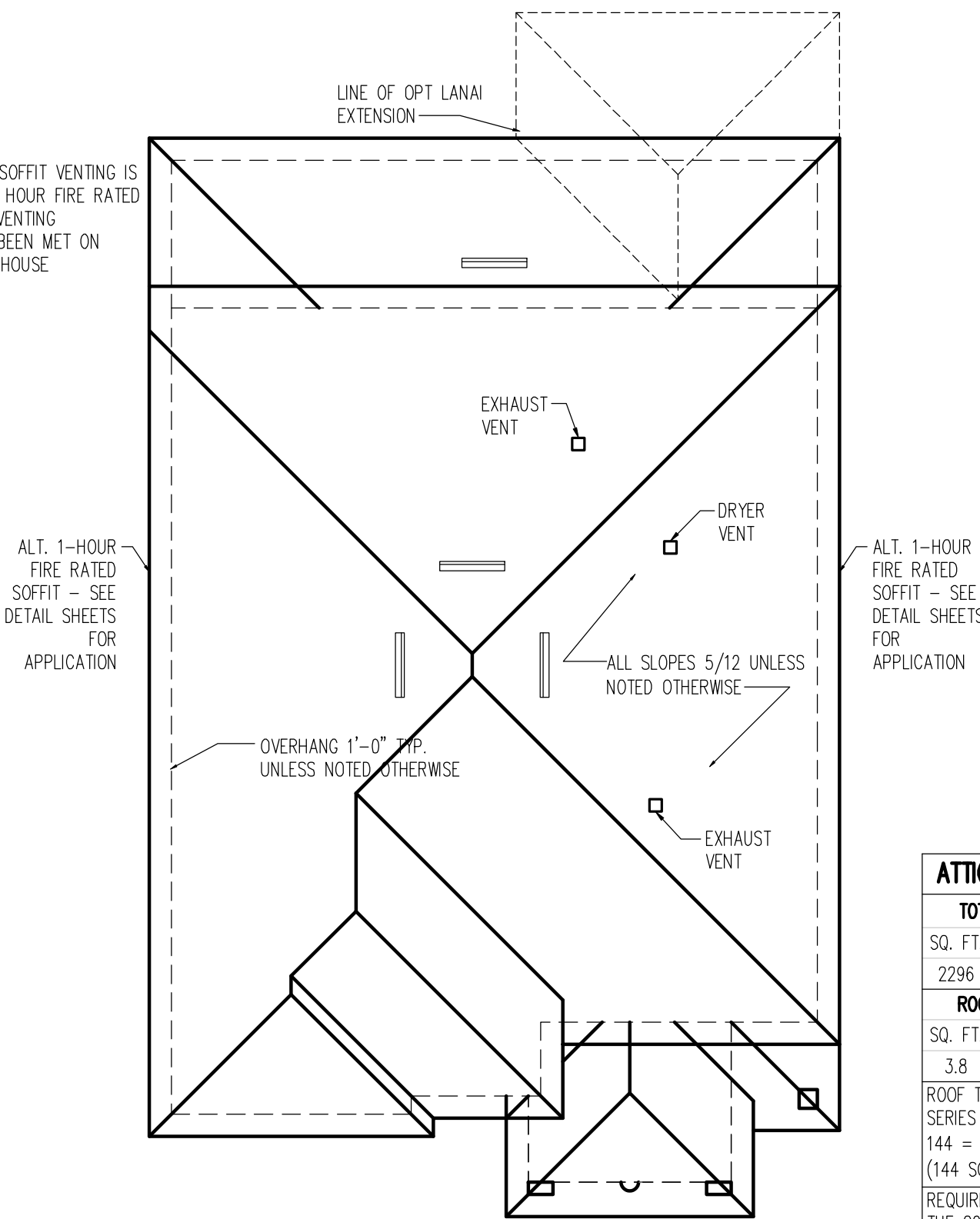
**SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"

ALT. VENTING WITH FIRE-RATED SOFFITS (SIDES):  
109'-0" LINEAR FEET (1090 SQ. IN.) OF SOFFIT VENT  
PROVIDED  
(551 REQUIRED)  
(0) ADDITIONAL VENT(S) REQUIRED

NOTE: NO ADDITIONA SOFFIT VENTING IS  
REQUIRED WITH THE 1 HOUR FIRE RATED  
SOFFIT APPLICATION. VENTING  
REQUIREMENTS HAVE BEEN MET ON  
FRONT AND REAR OF HOUSE

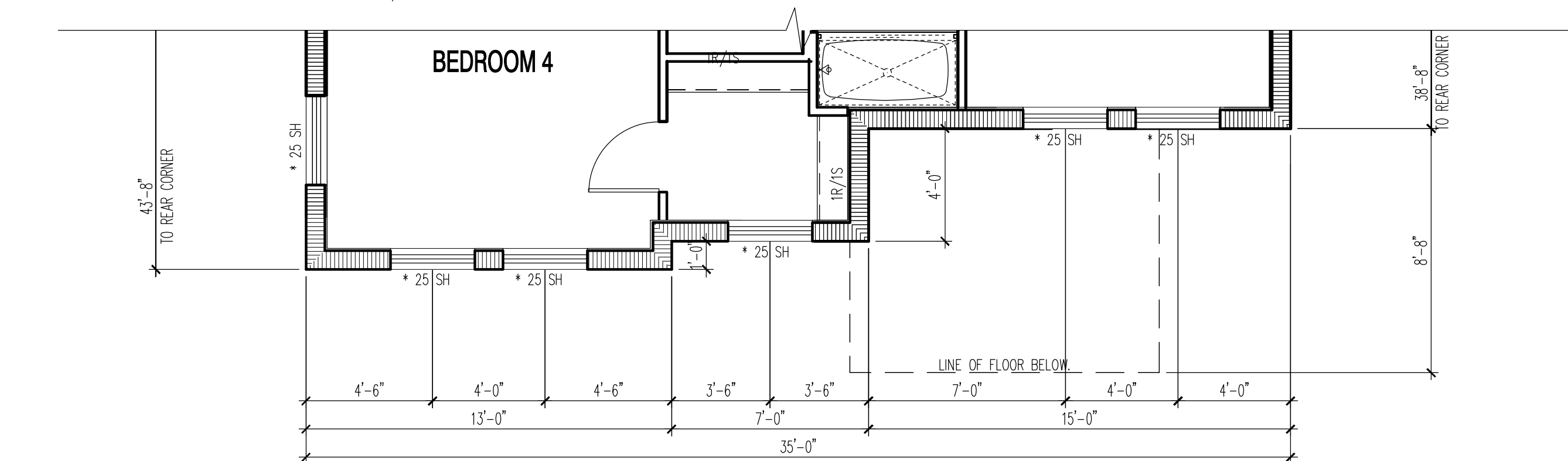


**ROOF PLAN**  
SCALE: 1/4"=1'-0"

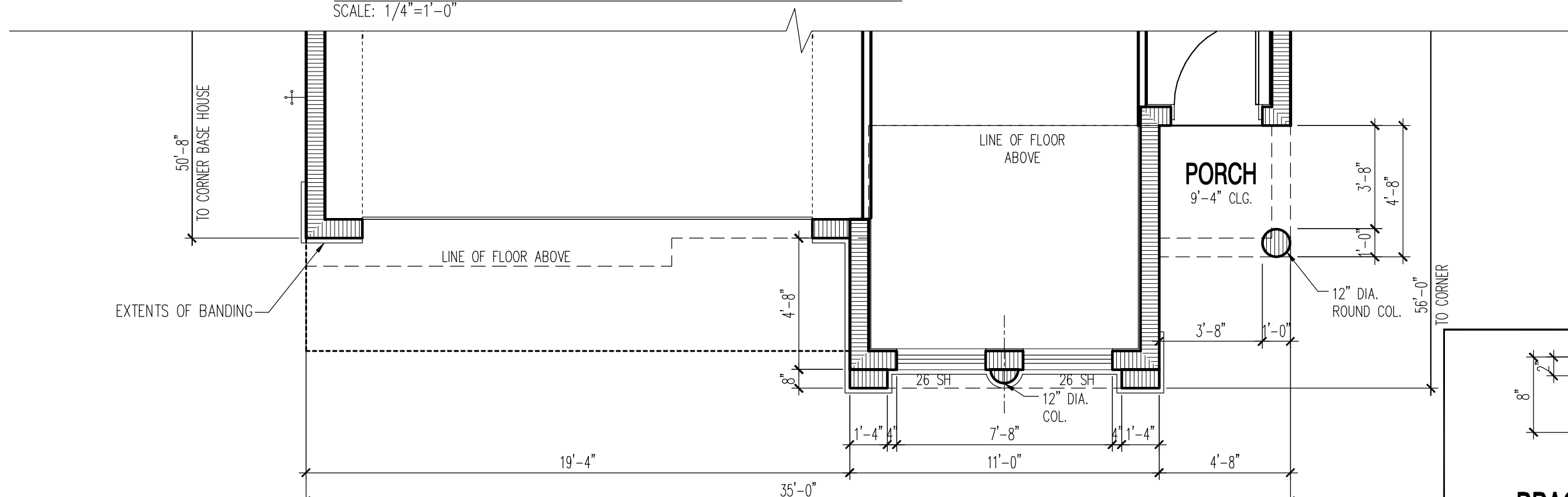
| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)                                       |         |         |                              |         |          |
|------------------------------------------------------------------------------|---------|---------|------------------------------|---------|----------|
| TOTAL ATTIC AREA                                                             |         |         | FREE VENT REQD. (AREA/300)   |         |          |
| SQ. FT.                                                                      | SQ. IN. |         | SQ. FT.                      | SQ. IN. |          |
| 2296                                                                         | 330624  |         | 7.7                          | 1102    |          |
| ROOF VENTS REQD.                                                             |         |         | SOFFIT VENTS REQD. (9/10)    |         |          |
| SQ. FT.                                                                      | SQ. IN. | # VENTS | SQ. FT.                      | SQ. IN. | LIN. FT. |
| 3.8                                                                          | 551     | 4       | 3.8                          | 551     | 55       |
| ROOF TOP ATTIC VENT: SERIES                                                  |         |         | SOFFIT VENT TYPE: CONTINUOUS |         |          |
| 144 = 1 SQ. FT./ VENT                                                        |         |         | SOFFIT VENT = 10.0 SQ. IN.   |         |          |
| (144 SQ. IN. VENT)                                                           |         |         | AREA PER LINEAR FT.          |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 RESIDENTIAL CODE. |         |         |                              |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                        |         |         |                              |         |          |



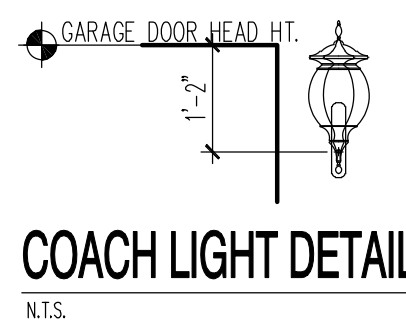
**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



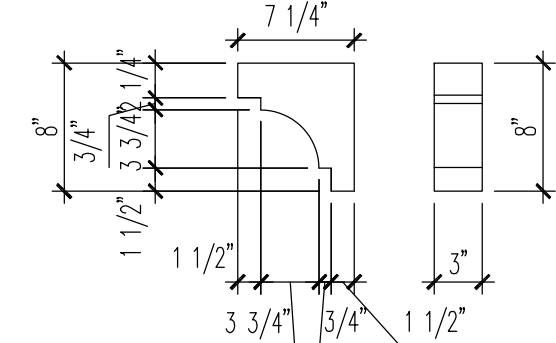
**PARTIAL 2ND FLOOR PLAN**  
SCALE: 1/4"=1'-0"



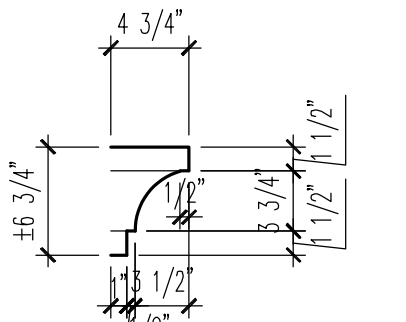
**PARTIAL 1ST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



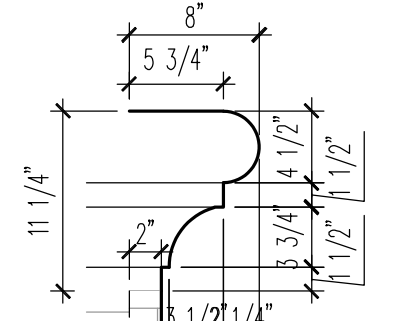
**COACH LIGHT DETAIL**  
NTS.



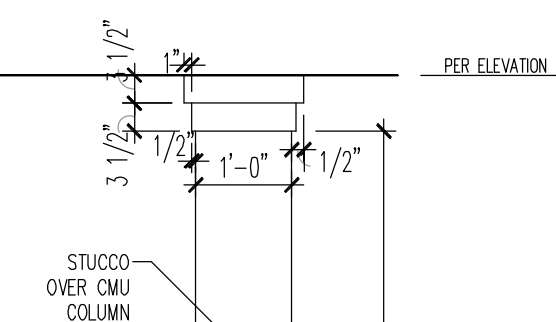
**BRACKET DTL.**  
SCALE: 1" = 1'-0"



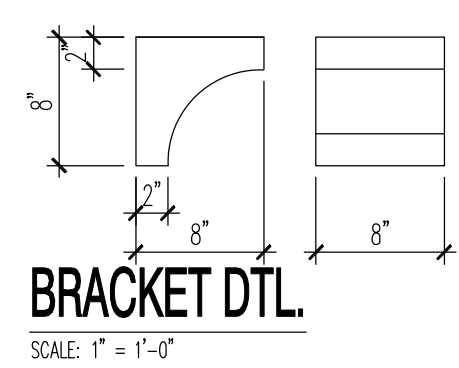
**TRIM DTL.**  
SCALE: 1" = 1'-0"



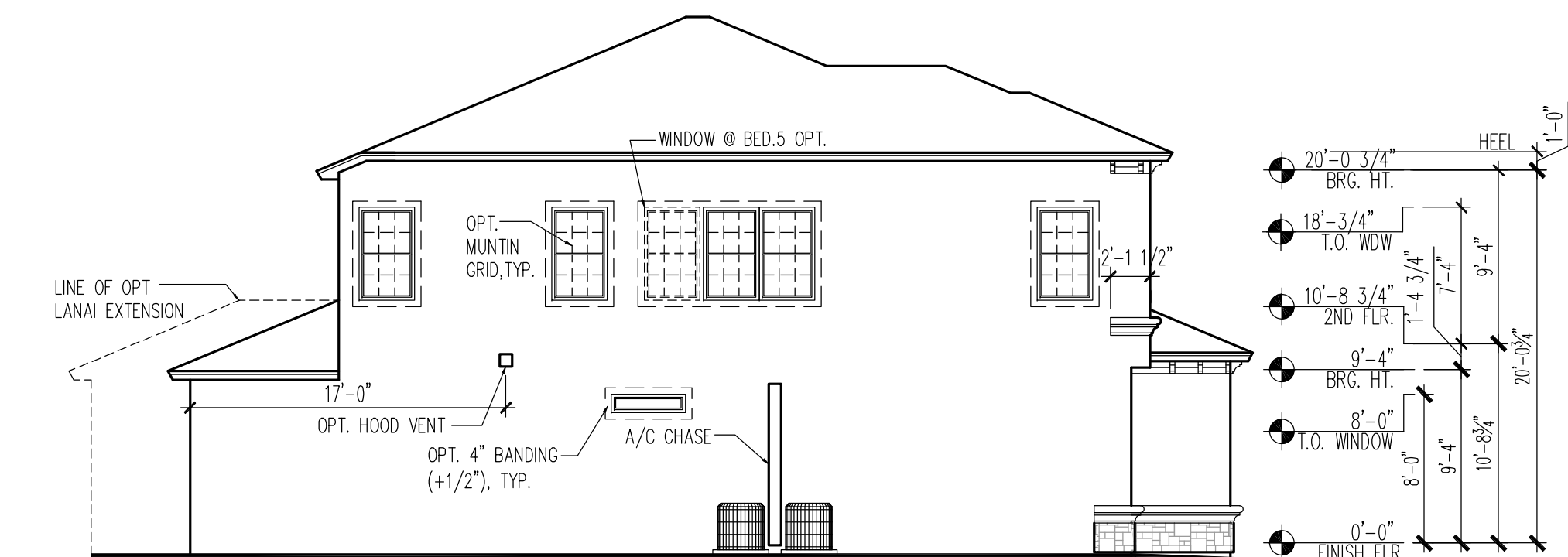
**TRIM DTL.**  
SCALE: 1" = 1'-0"



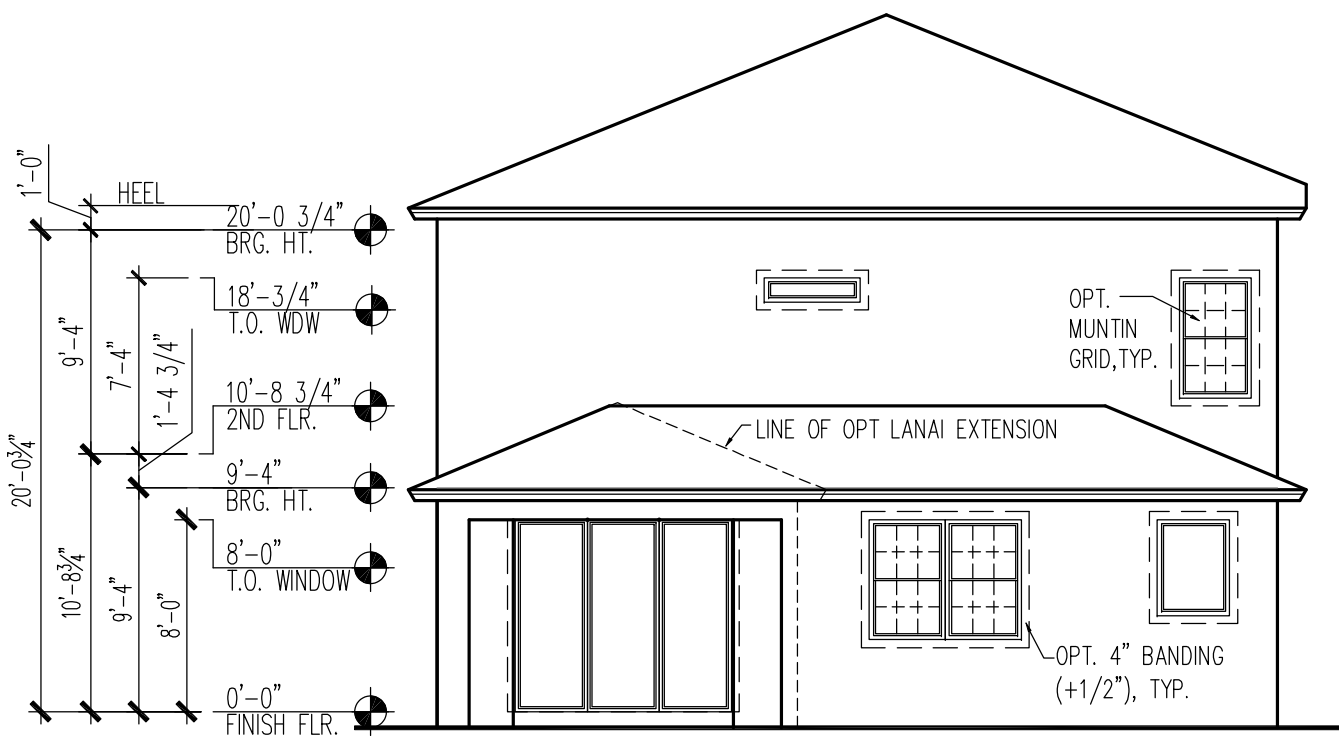
**COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"



**BRACKET DTL.**  
SCALE: 1" = 1'-0"

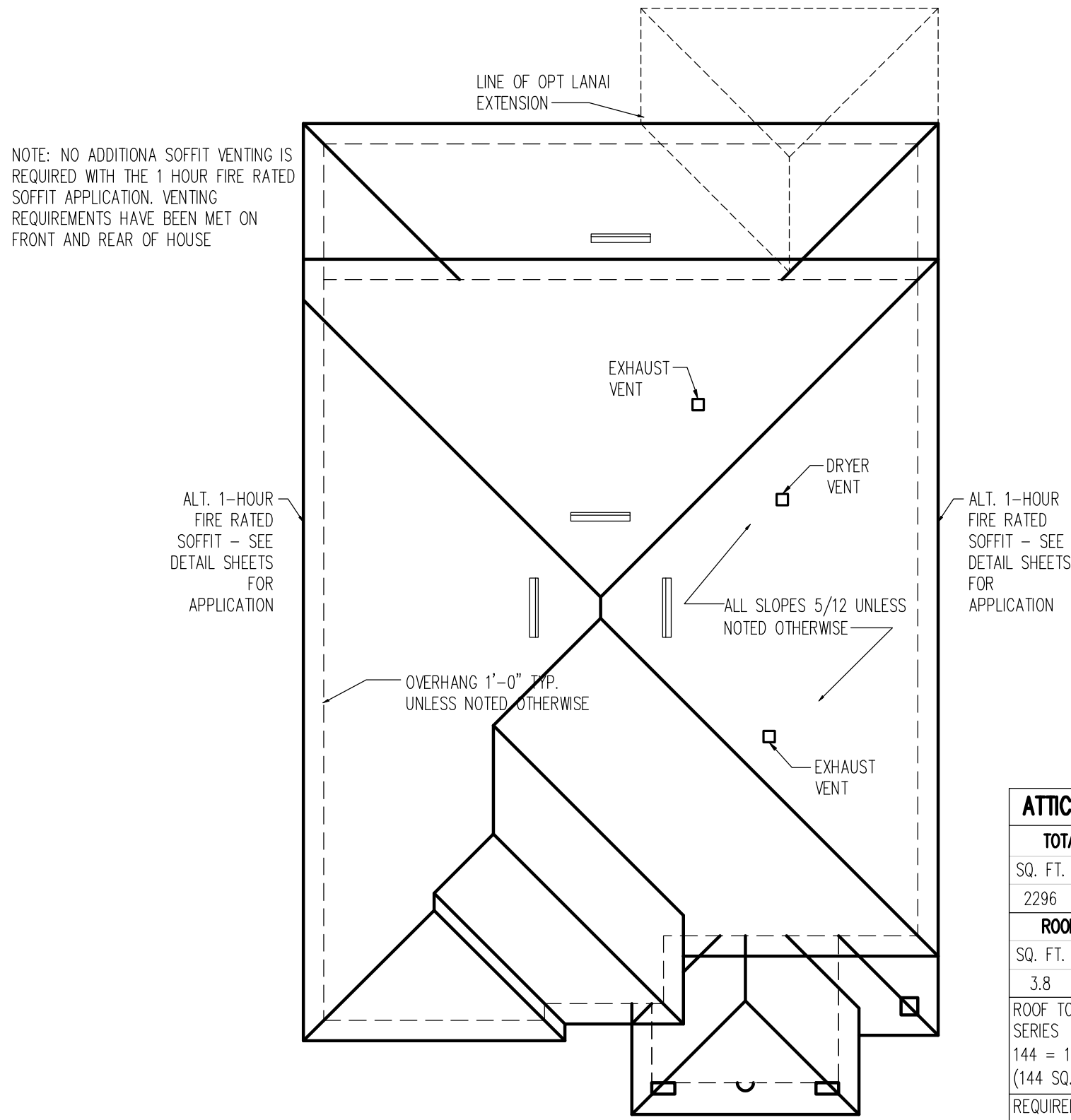


SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



REAR ELEVATION  
 SCALE: 1/8"=1'-0"

ALT. VENTING WITH FIRE RATED SOFFITS (SIDES):  
 109'-0" LINEAR FEET (1090 SQ. IN.) OF SOFFIT VENT  
 PROVIDED  
 (551 REQUIRED)  
 (0) ADDITIONAL VENT(S) REQUIRED

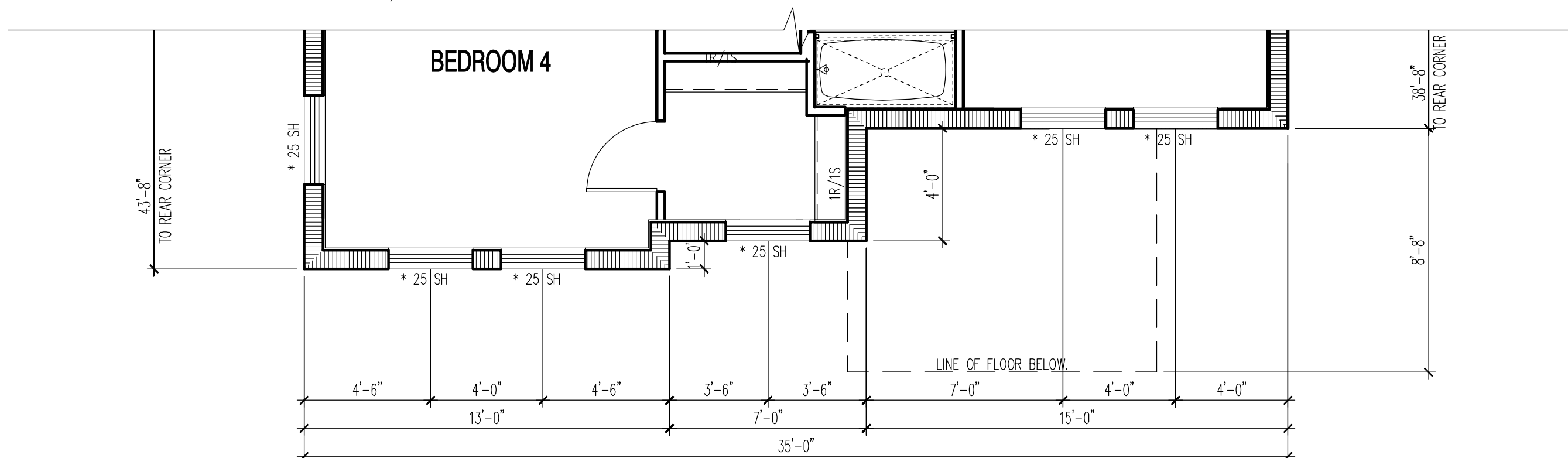


ROOF PLAN  
 SCALE: 1/4"=1'-0"

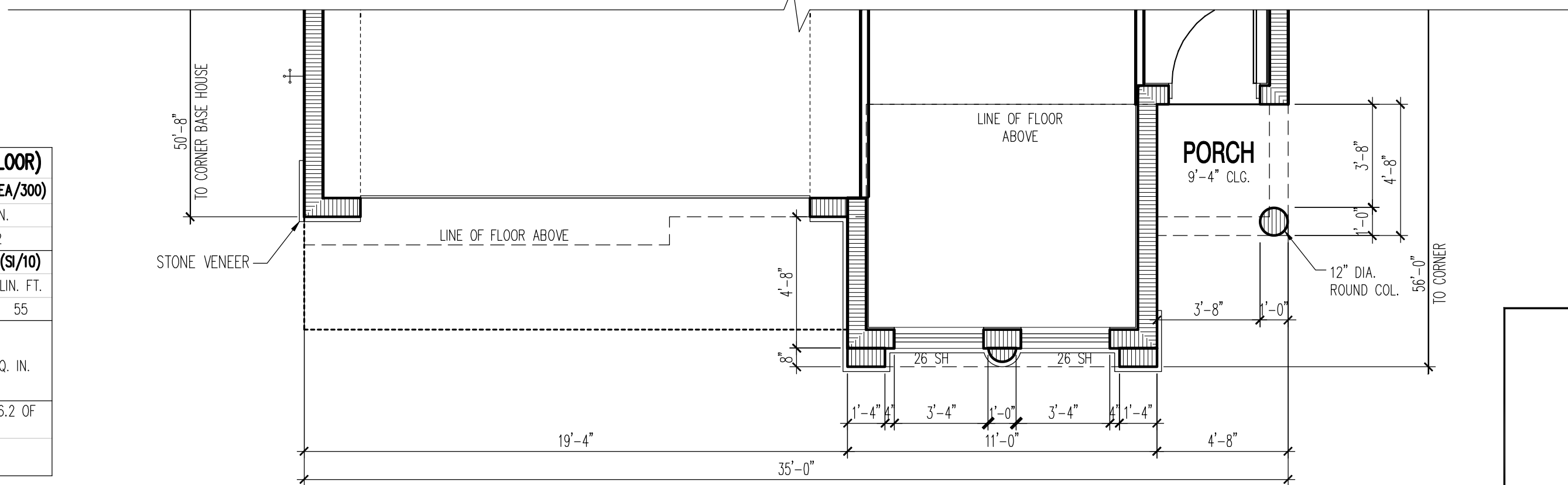
| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)                                       |         |                            |                                                                             |         |          |
|------------------------------------------------------------------------------|---------|----------------------------|-----------------------------------------------------------------------------|---------|----------|
| TOTAL ATTIC AREA                                                             |         | FREE VENT REQD. (AREA/300) |                                                                             |         |          |
| SQ. FT.                                                                      | SQ. IN. | SQ. FT.                    | SQ. IN.                                                                     |         |          |
| 2296                                                                         | 330624  | 7.7                        | 1102                                                                        |         |          |
| ROOF VENTS REQD.                                                             |         | SOFFIT VENTS REQD. (9/10)  |                                                                             |         |          |
| SQ. FT.                                                                      | SQ. IN. | # VENTS                    | SQ. FT.                                                                     | SQ. IN. | LIN. FT. |
| 3.8                                                                          | 551     | 4                          | 3.8                                                                         | 551     | 55       |
| ROOF TOP ATTIC VENT: SERIES 144 = 1 SQ. FT./ VENT (144 SQ. IN. VENT)         |         |                            | SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 RESIDENTIAL CODE. |         |                            |                                                                             |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                        |         |                            |                                                                             |         |          |



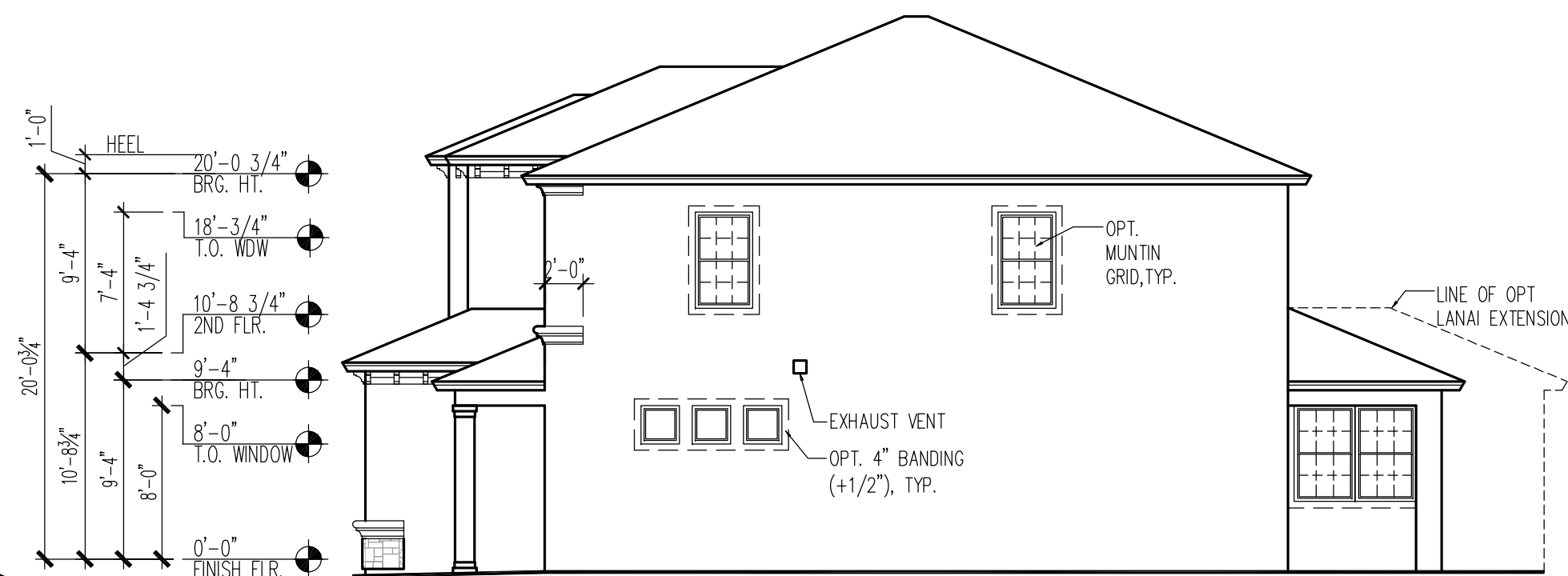
FRONT ELEVATION  
 SCALE: 1/4"=1'-0"



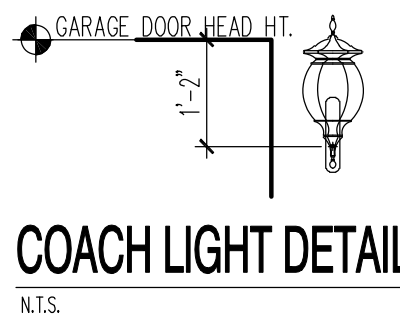
PARTIAL 2ND FLOOR PLAN  
 SCALE: 1/4"=1'-0"



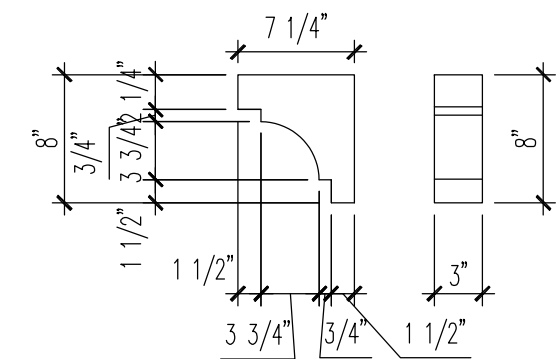
PARTIAL 1ST FLOOR PLAN  
 SCALE: 1/4"=1'-0"



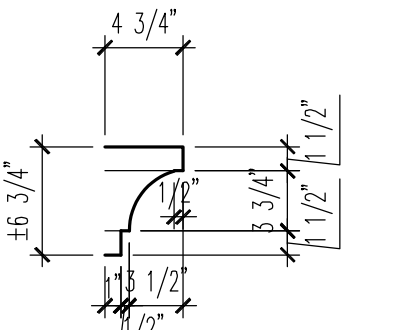
SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



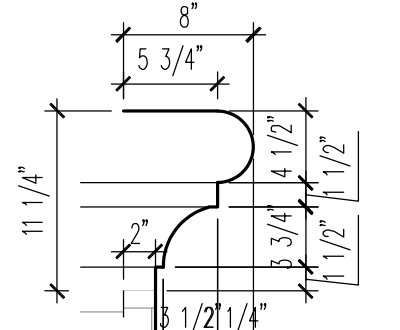
N.T.S.



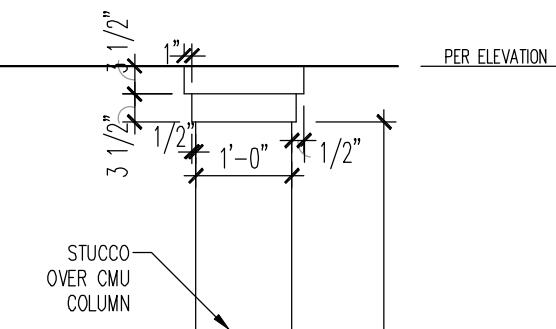
BRACKET DTL.  
 SCALE: 1" = 1'-0"



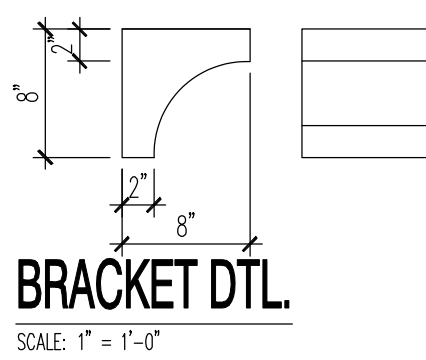
TRIM DTL.  
 SCALE: 1" = 1'-0"



TRIM DTL.  
 SCALE: 1" = 1'-0"



COLUMN DETAIL  
 SCALE: 1/2" = 1'-0"



BRACKET DTL.  
 SCALE: 1" = 1'-0"

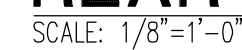
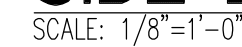
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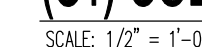
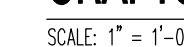
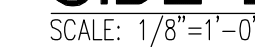
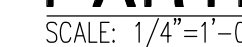
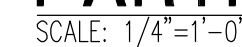
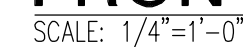
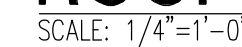
ELEVATION "4" (FM2B)  
 ELEVATIONS - 2ND FLOOR PLAN CMU-9-4"

| PRODUCTION MANAGER |                    |
|--------------------|--------------------|
| REV #              | DATE / DESCRIPTION |
| 1                  | 07/18/16           |
| 2                  |                    |
| 3                  |                    |
| 4                  |                    |
| 5                  |                    |
| 6                  |                    |
| 7                  |                    |
| 8                  |                    |
| 9                  |                    |
| 10                 |                    |

|                           |               |
|---------------------------|---------------|
| PROJECT TYPE              | SINGLE FAMILY |
| COMMUNITY NAME            | MASTER        |
| LAWSON COMMUNITY ID       |               |
| GARAGE HANDING            | LEFT          |
| VERSION NUMBER            | 1.0           |
| PLAN NAME                 | RIVERWALK     |
| NPC PLAN NUMBER           | 1956.500      |
| LAWSON PLAN ID            | XXXXXX        |
| LEGACY PLAN NUMBER / NAME | BOARDWALK     |
| SHEET                     | A2.1FM2B-CMU  |



ALT. VENTING WITH FIRE RATED SOFFITS (SIDES):  
109'-0" LINEAR FEET (1090 SQ. IN.) OF SOFFIT VENT  
PROVIDED  
(551 REQUIRED)  
(0) ADDITIONAL VENT(S) REQUIRED

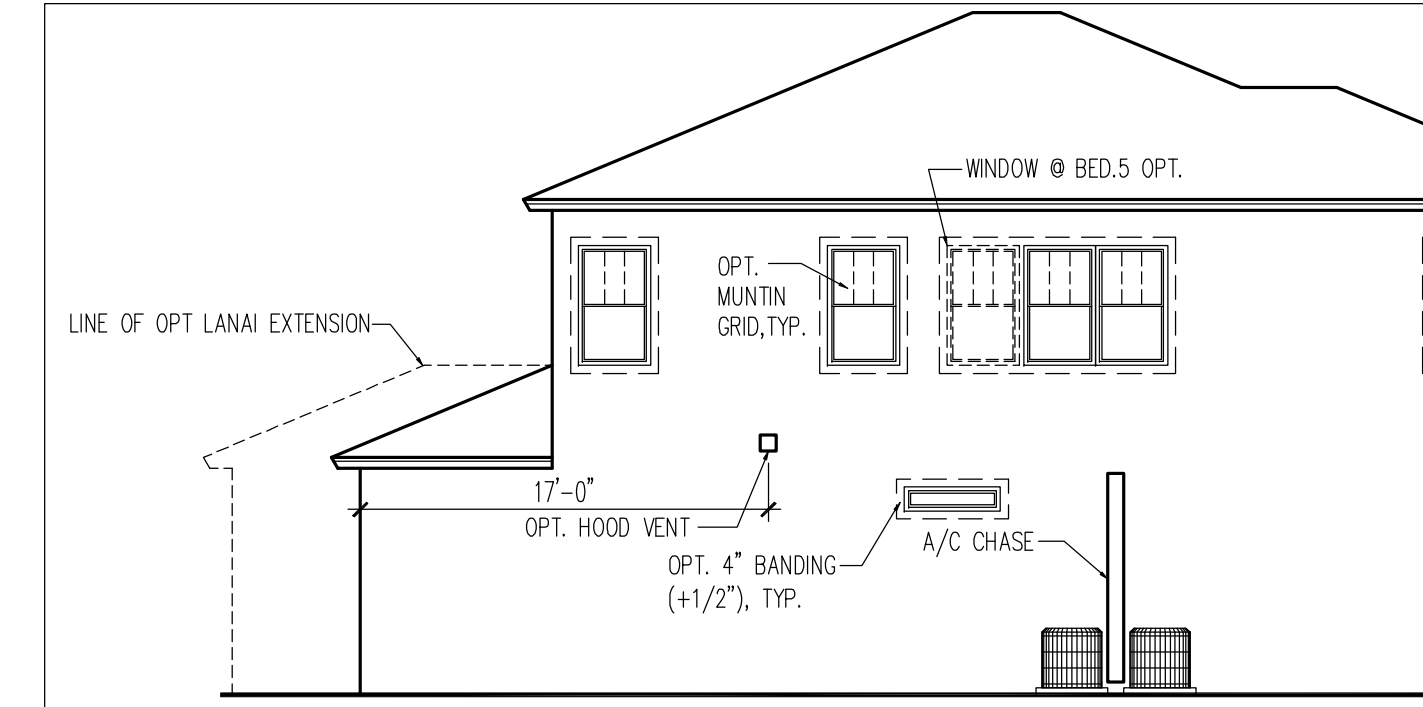


| ATTIC VENTILATION — ZONE 1 (1ST FLOOR)                                          |         |         |                                                                                      |         |          |
|---------------------------------------------------------------------------------|---------|---------|--------------------------------------------------------------------------------------|---------|----------|
| TOTAL ATTIC AREA                                                                |         |         | FREE VENT REQ. (AREA/300)                                                            |         |          |
| SQ. FT.                                                                         | SQ. IN. |         | SQ. FT.                                                                              | SQ. IN. |          |
| 2296                                                                            | 330624  |         | 7.7                                                                                  | 1102    |          |
| ROOF VENTS REQ.                                                                 |         |         | SOFFIT VENTS REQ. (S/10)                                                             |         |          |
| SQ. FT.                                                                         | SQ. IN. | # VENTS | SQ. FT.                                                                              | SQ. IN. | LIN. FT. |
| 3.8                                                                             | 551     | 4       | 3.8                                                                                  | 551     | 55       |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT. / VENT<br>(144 SQ. IN. VENT)  |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF<br>THE 2014 RESIDENTIAL CODE. |         |         |                                                                                      |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER                                        |         |         |                                                                                      |         |          |

SHEET  
**A2.1C2A-CMU**

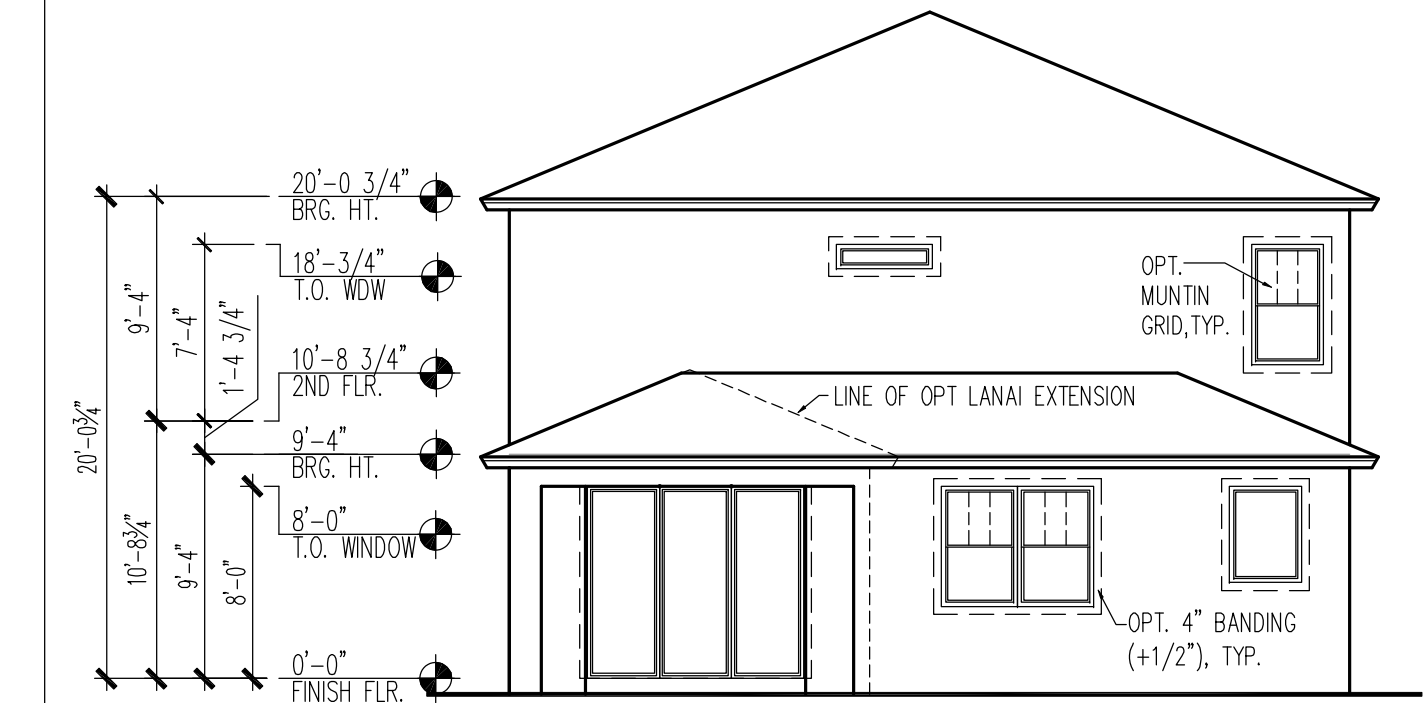
(c) Copyright Pulte Home Corporation - 2014





SIDE ELEVATION

SCALE: 1/8"=1'-0"

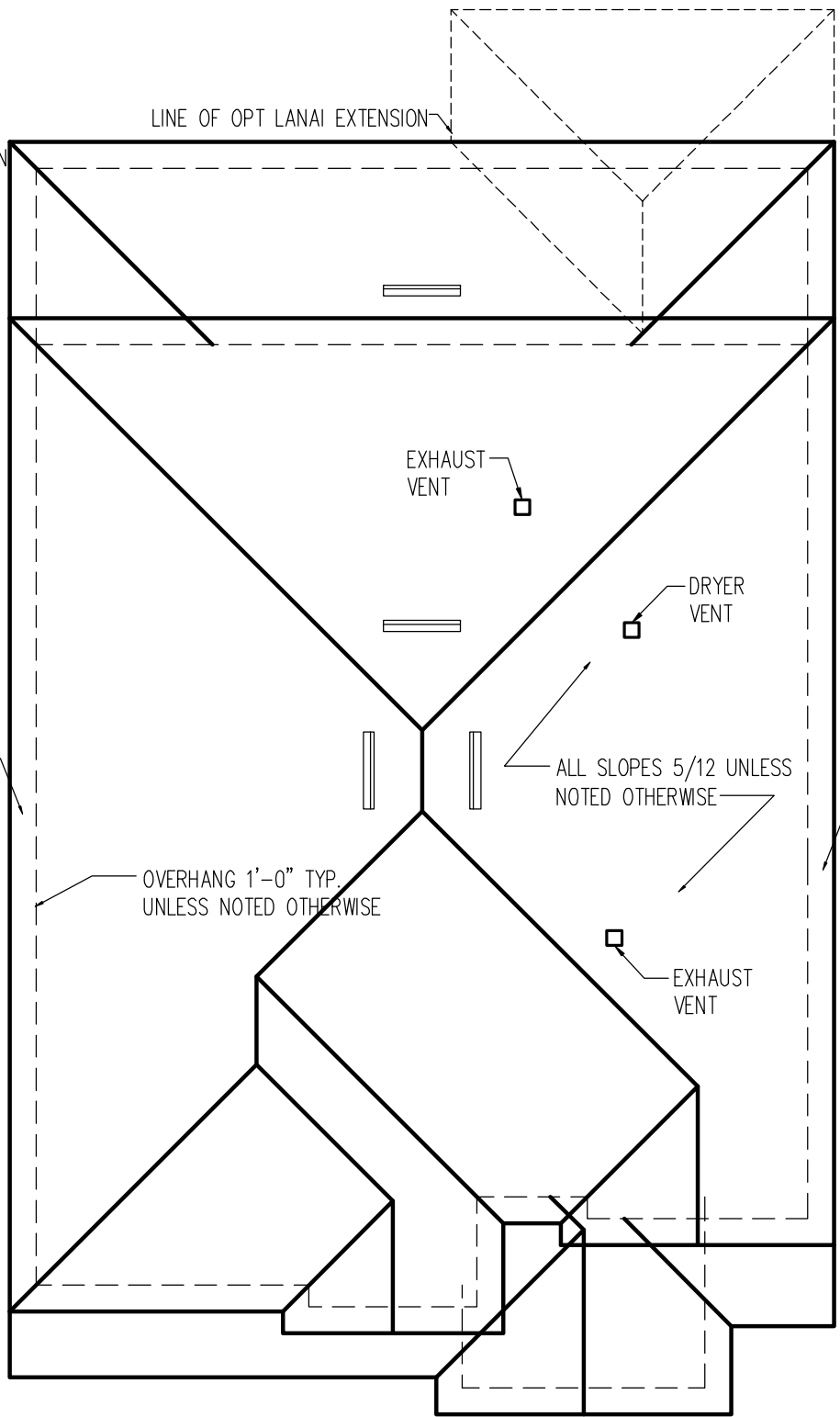


REAR ELEVATION

SCALE: 1/8"=1'-0"

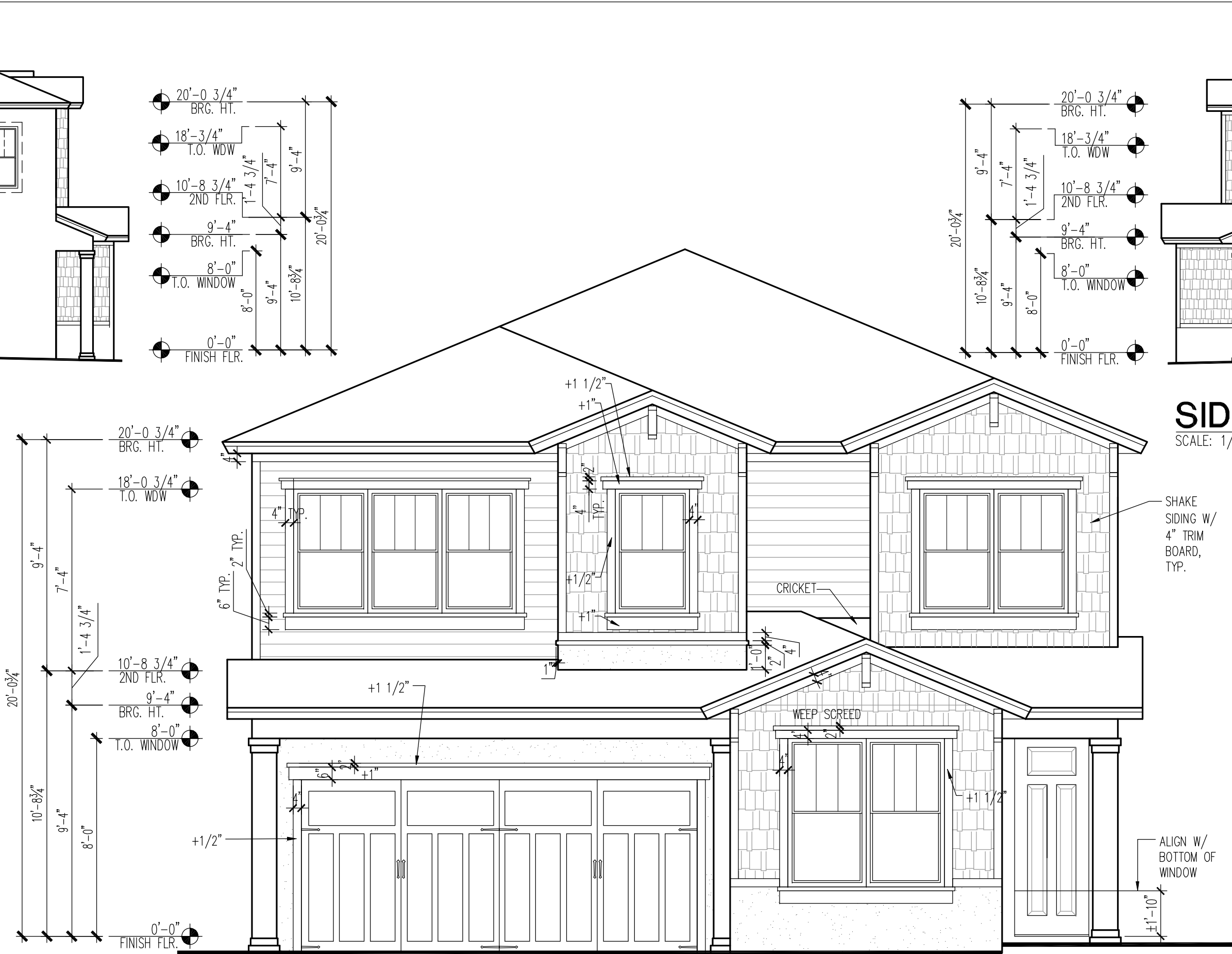
ALT. VENTING WITH FIRE RATED SOFFITS (SIDES):  
 109'-0" LINEAR FEET (1090 SQ. IN.) OF SOFFIT VENT PROVIDED  
 (551 REQUIRED)  
 (0) ADDITIONAL VENT(S) REQUIRED

NOTE: NO ADDITIONAL SOFFIT VENTING IS REQUIRED WITH THE 1 HOUR FIRE RATED SOFFIT APPLICATION. VENTING REQUIREMENTS HAVE BEEN MET ON FRONT AND REAR OF HOUSE



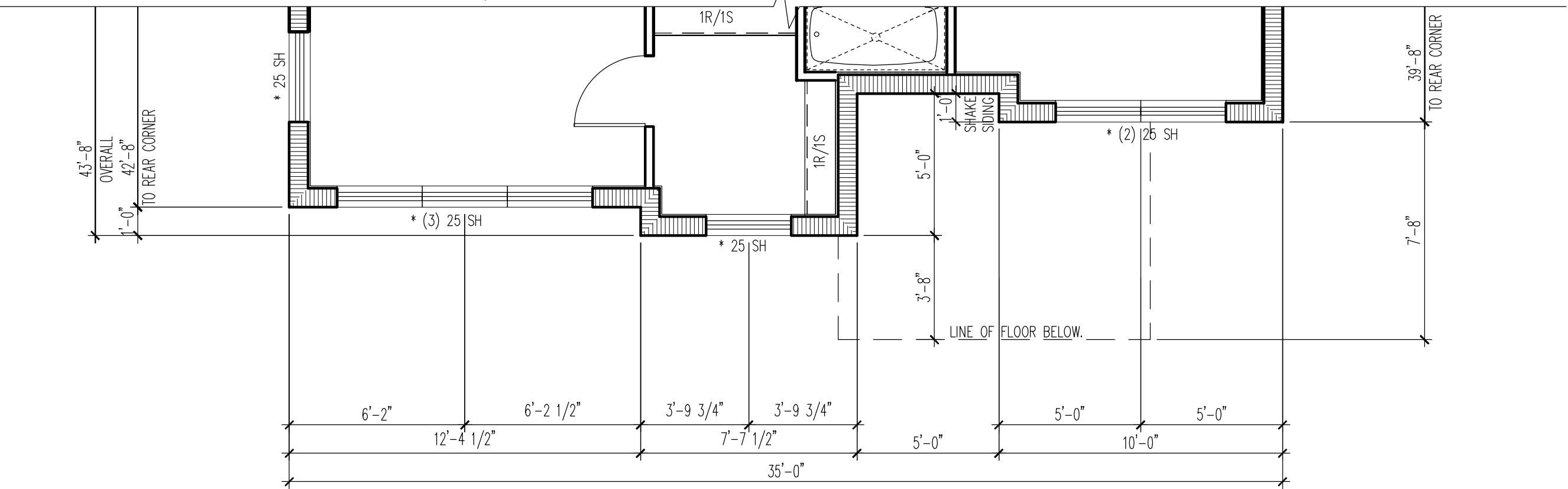
ROOF PLAN

SCALE: 1/4"=1'-0"



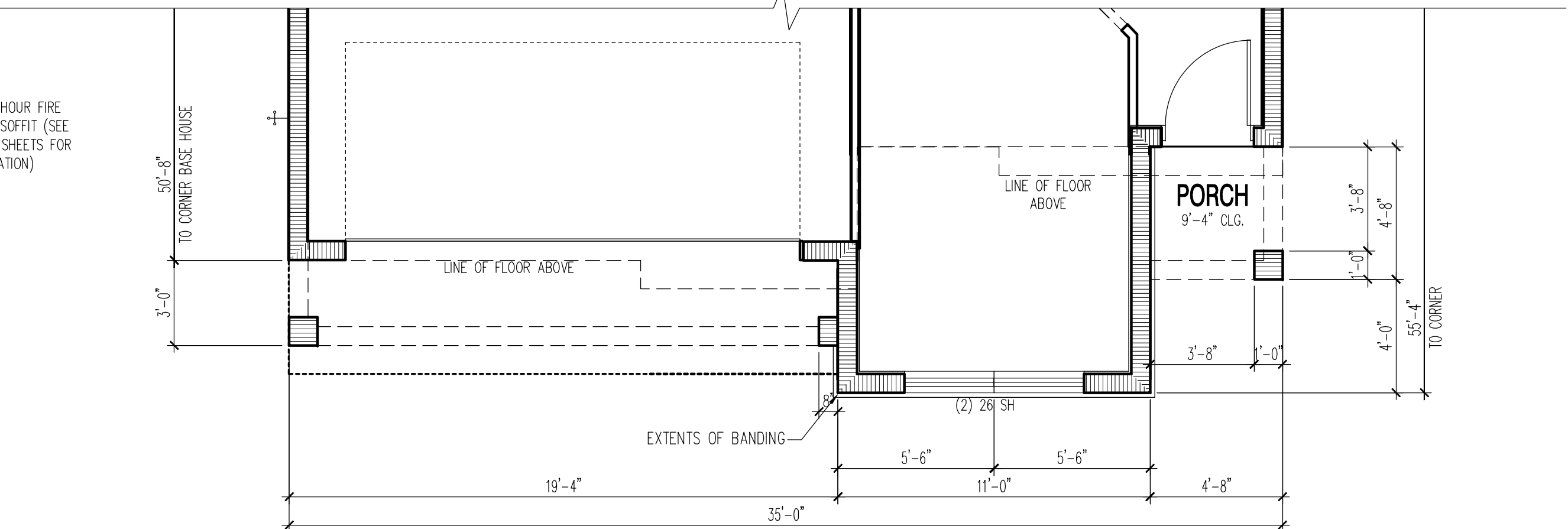
FRONT ELEVATION

SCALE: 1/4"=1'-0"



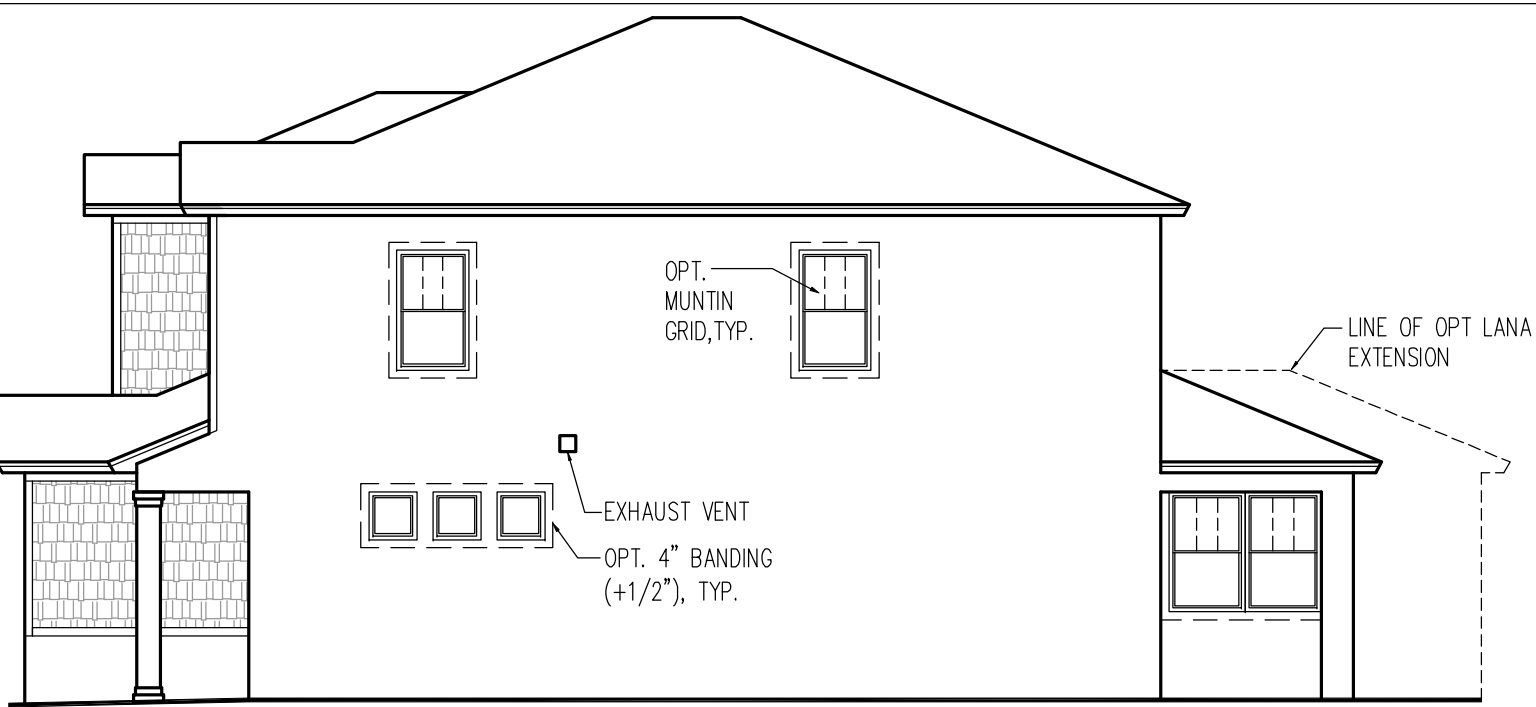
PARTIAL 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



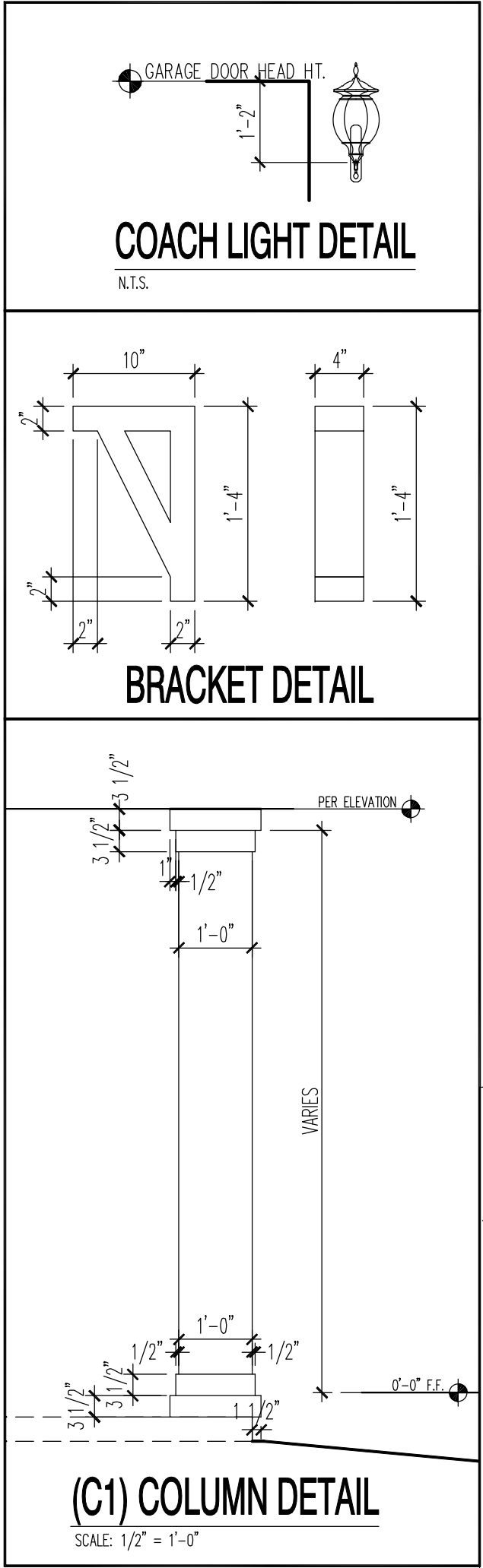
PARTIAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



SIDE ELEVATION

SCALE: 1/8"=1'-0"



| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)                                       |         |         |  |                                                                             |         |          |  |      |  |
|------------------------------------------------------------------------------|---------|---------|--|-----------------------------------------------------------------------------|---------|----------|--|------|--|
| TOTAL ATTIC AREA                                                             |         |         |  | FREE VENT REQD. (AREA/300)                                                  |         |          |  |      |  |
| SQ. FT.                                                                      | SQ. IN. |         |  | SQ. FT.                                                                     | SQ. IN. |          |  |      |  |
| 2296                                                                         | 330624  |         |  | 7.7                                                                         |         |          |  | 1102 |  |
| ROOF VENTS REQD.                                                             |         |         |  | SOFFIT VENTS REQD. (9/10)                                                   |         |          |  |      |  |
| SQ. FT.                                                                      | SQ. IN. | # VENTS |  | SQ. FT.                                                                     | SQ. IN. | LIN. FT. |  |      |  |
| 3.8                                                                          | 551     | 4       |  | 3.8                                                                         | 551     | 55       |  |      |  |
| ROOF TOP ATTIC VENT: SERIES 144 = 1 SQ. FT./ VENT (144 SQ. IN. VENT)         |         |         |  | SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT. |         |          |  |      |  |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 RESIDENTIAL CODE. |         |         |  |                                                                             |         |          |  |      |  |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                        |         |         |  |                                                                             |         |          |  |      |  |

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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ELEVATION "15" (C2)  
 ELEVATIONS - 2ND FLOOR PLAN CMU-9-4"

| PRODUCTION MANAGER     |                    |
|------------------------|--------------------|
| ---                    | ---                |
| CONTROL DATE: 07/18/16 |                    |
| REV #                  | DATE / DESCRIPTION |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |
| △                      | ---                |

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**MASTER**

LAWSON COMMUNITY ID

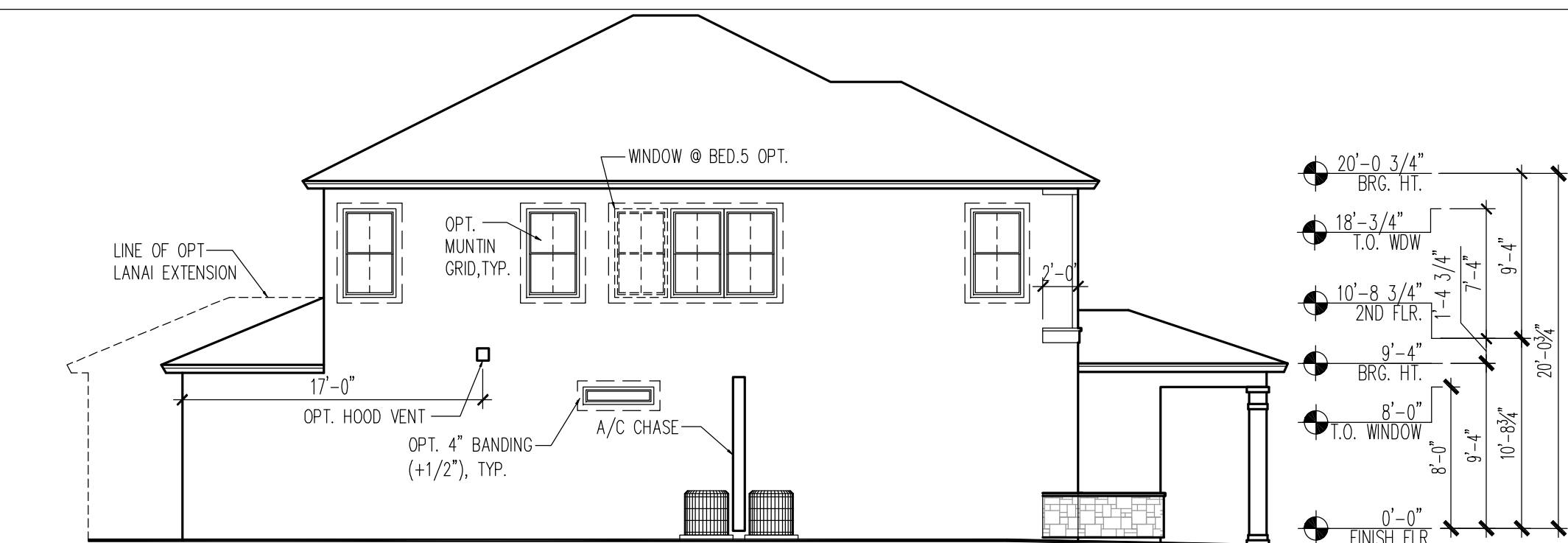
GARAGE HANDING  
**LEFT**

VERSION NUMBER  
**1.0**

PLAN NAME  
**RIVERWALK**  
 NPC PLAN NUMBER  
**1956.500**  
 LAWSON PLAN ID  
**XXXXXX**  
 LEGACY PLAN NUMBER / NAME  
**BOARDWALK**

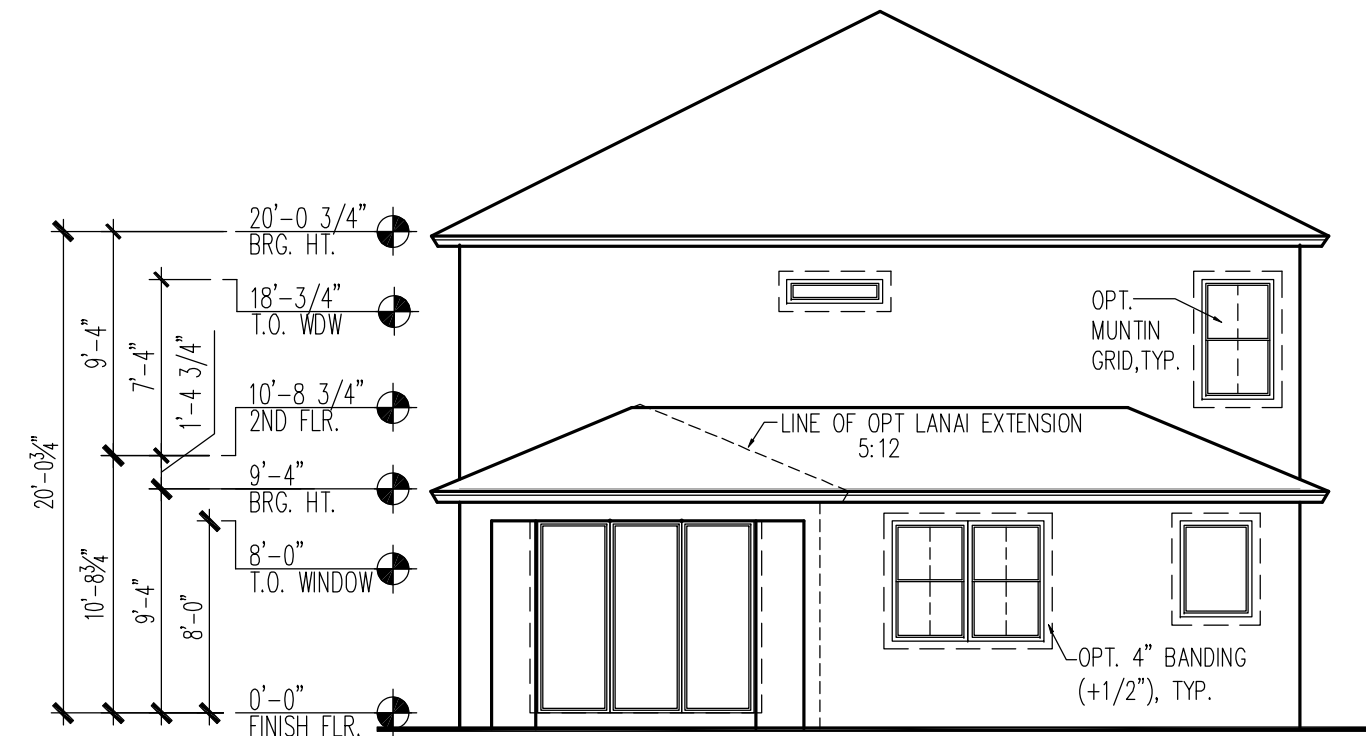
SHEET  
**A21C2C-CMU**





SIDE ELEVATION

SCALE: 1/8"=1'-0"

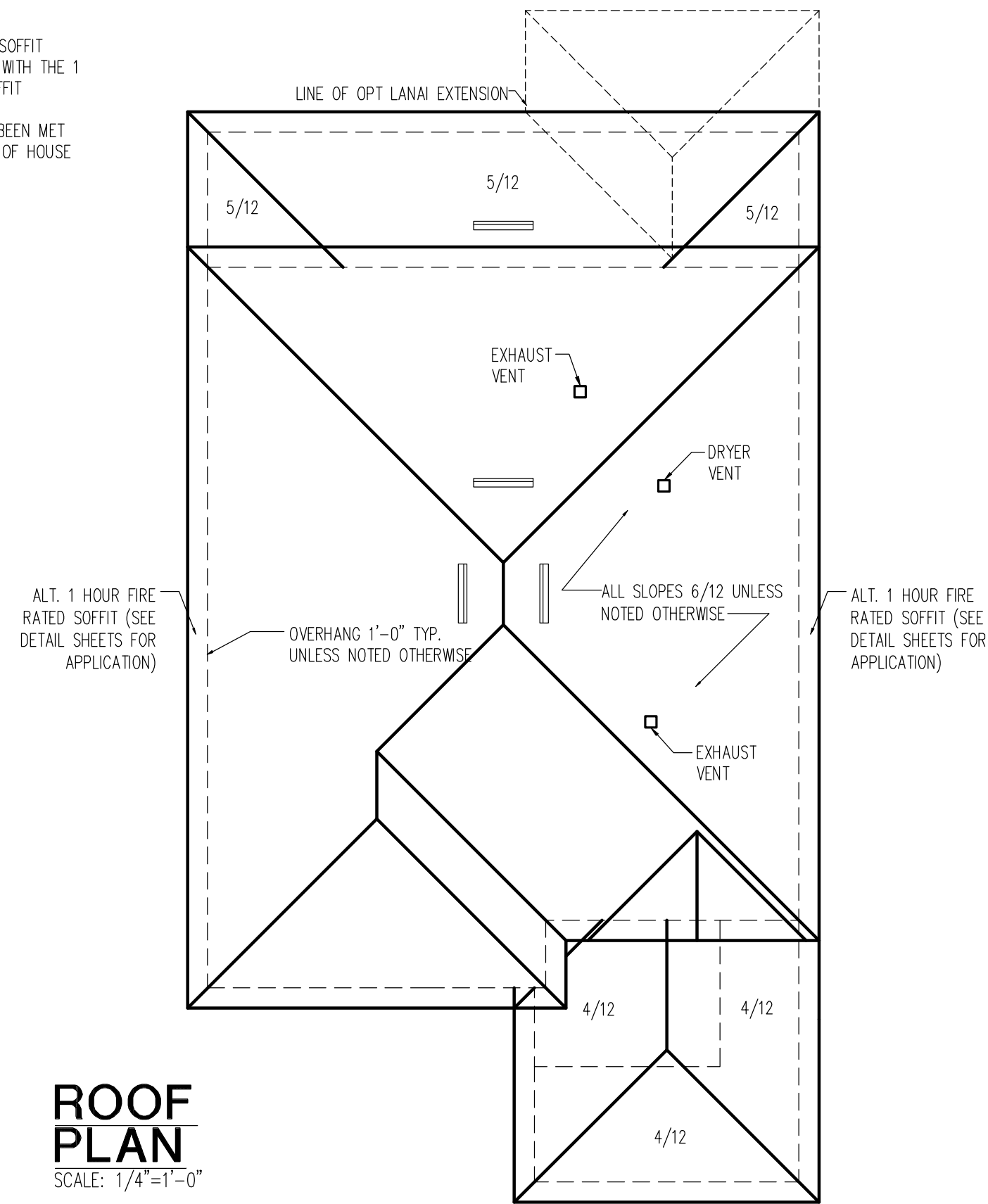


REAR ELEVATION

SCALE: 1/8"=1'-0"

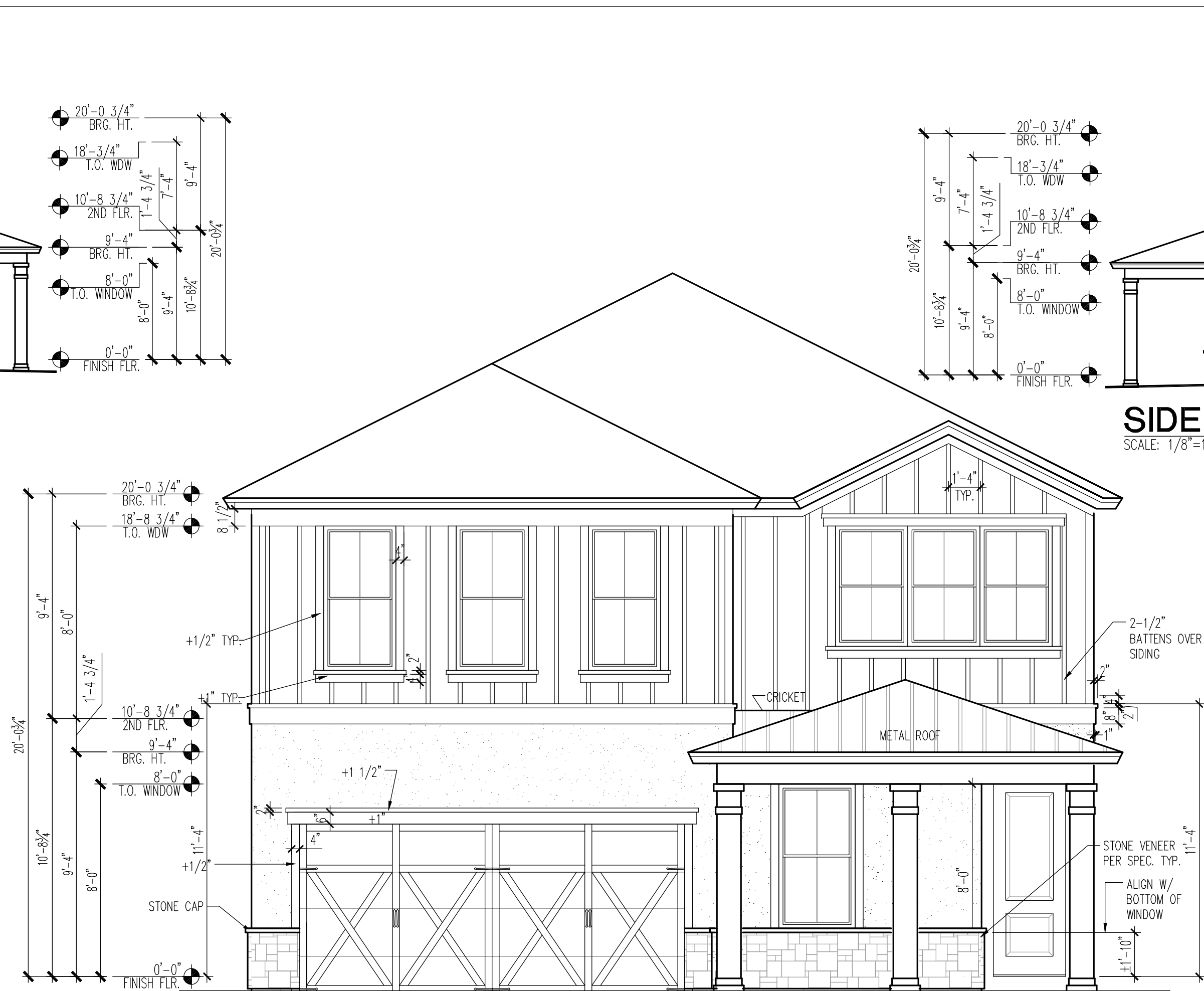
ALT. VENTING WITH FIRE RATED SOFFITS (SIDES):  
 109'-0" LINEAR FEET (1090 SQ. IN.) OF SOFFIT VENT  
 PROVIDED  
 (551 REQUIRED)  
 (0) ADDITIONAL VENT(S) REQUIRED

NOTE: NO ADDITIONAL SOFFIT  
 VENTING IS REQUIRED WITH THE 1  
 HOUR FIRE RATED SOFFIT  
 APPLICATION. VENTING  
 REQUIREMENTS HAVE BEEN MET  
 ON FRONT AND REAR OF HOUSE



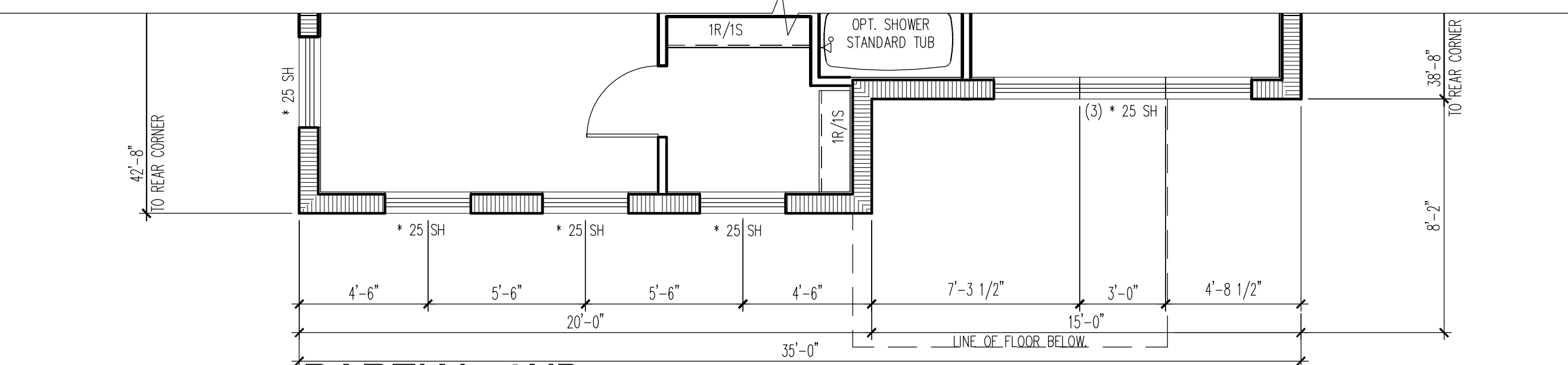
ROOF  
 PLAN

SCALE: 1/4"=1'-0"



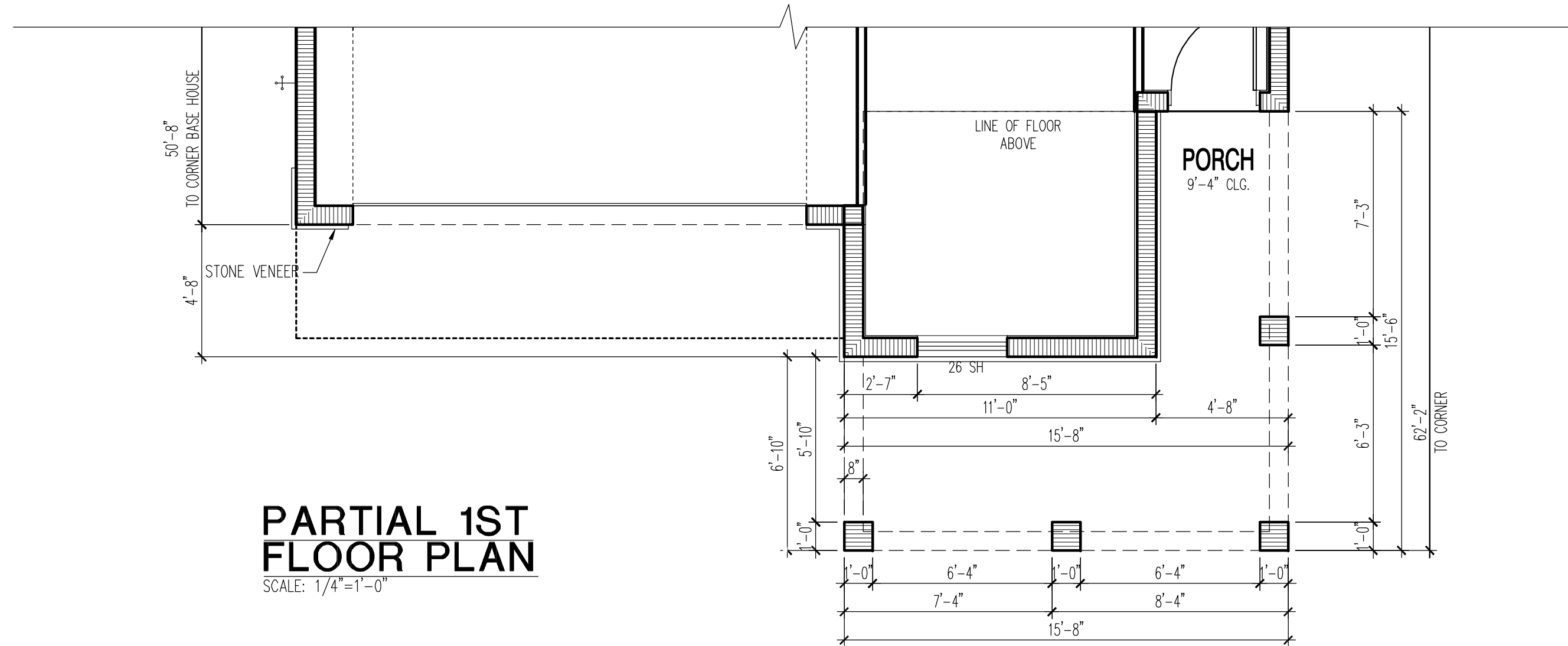
FRONT ELEVATION

SCALE: 1/4"=1'-0"



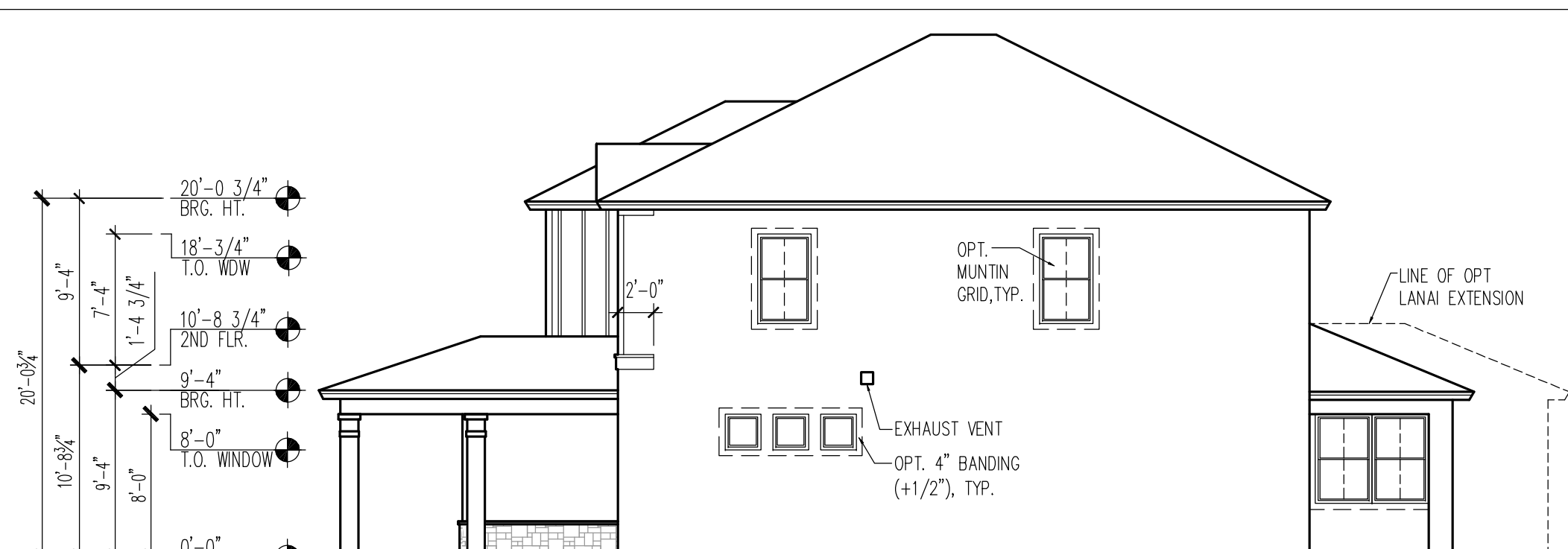
PARTIAL 2ND  
 FLOOR PLAN

SCALE: 1/4"=1'-0"



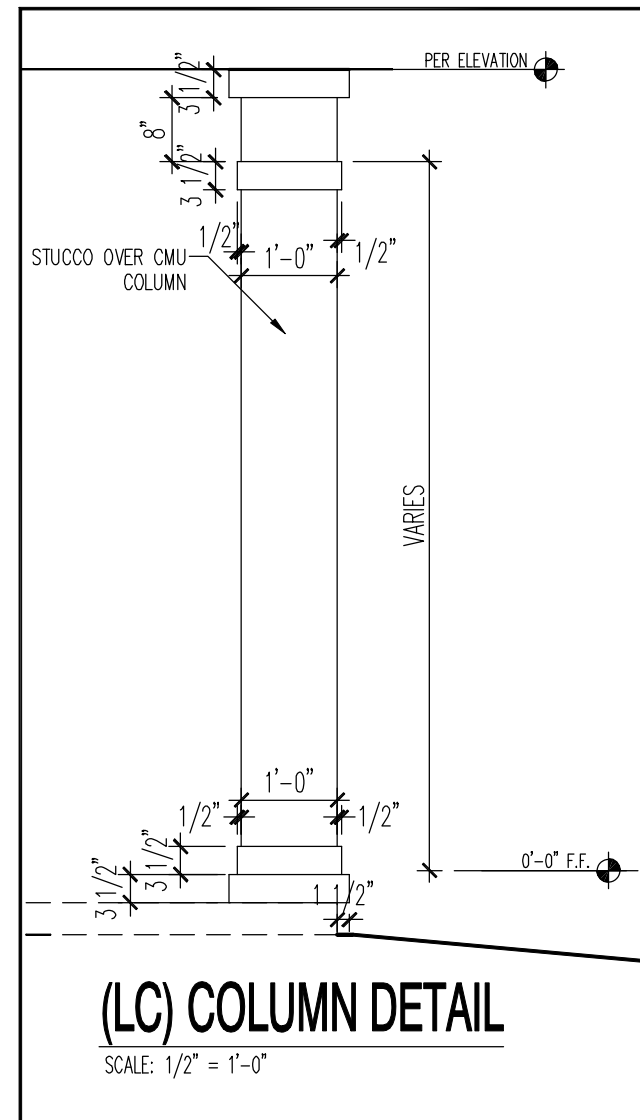
PARTIAL 1ST  
 FLOOR PLAN

SCALE: 1/4"=1'-0"



SIDE ELEVATION

SCALE: 1/8"=1'-0"



(LC) COLUMN DETAIL

SCALE: 1/2" = 1'-0"

| ATTIC VENTILATION – ZONE 1 (1ST FLOOR)                                          |         |         |                                                                                      |         |         |
|---------------------------------------------------------------------------------|---------|---------|--------------------------------------------------------------------------------------|---------|---------|
| TOTAL ATTIC AREA                                                                |         |         | FREE VENT REQD. (AREA/300)                                                           |         |         |
| SQ. FT.                                                                         | SQ. IN. |         | SQ. FT.                                                                              | SQ. IN. |         |
| 2296                                                                            | 330624  |         | 7.7                                                                                  | 1102    |         |
| ROOF VENTS REQD.                                                                |         |         | SOFFIT VENTS REQD. (S/10)                                                            |         |         |
| SQ. FT.                                                                         | SQ. IN. | # VENTS | SQ. FT.                                                                              | SQ. IN. | LN. FT. |
| 3.8                                                                             | 551     | 4       | 3.8                                                                                  | 551     | 55      |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT. / VENT<br>(144 SQ. IN. VENT)  |         |         | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |         |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF<br>THE 2014 RESIDENTIAL CODE. |         |         |                                                                                      |         |         |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER<br>MUNICIPALITY                        |         |         |                                                                                      |         |         |

# WYNDHAM

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 Bonita Springs, Florida 34134 (239) 495-4800



INDEX, HOUSE DATA, GEN. NOTES

|                            |         |
|----------------------------|---------|
| PRODUCTION MANAGER         |         |
|                            |         |
| CONTROL DATE:              | 10/6/17 |
| REV #   DATE / DESCRIPTION |         |
| △                          | --      |
| △                          | --      |
| △                          | --      |
| △                          | --      |
| △                          | --      |
| △                          | --      |
| △                          | --      |
| △                          | --      |
| △                          | --      |

PROJECT TYPE  
 SINGLE FAMILY

COMMUNITY NAME  
 MASTER

GARAGE HANDING  
 LEFT

VERSION NUMBER  
 1.0

PLAN NAME  
 WYNDHAM  
 NPC PLAN NUMBER  
 2352.500  
 LAWSON PLAN ID  
 xxxxxx  
 LEGACY PLAN NUMBER / NAME  
 Oakmont

SHEET  
 G1.1

## LEGEND

FM - FLORIDA MEDITERRANEAN  
 C - CRAFTSMAN  
 LC - LOW COUNTRY

## NOTES

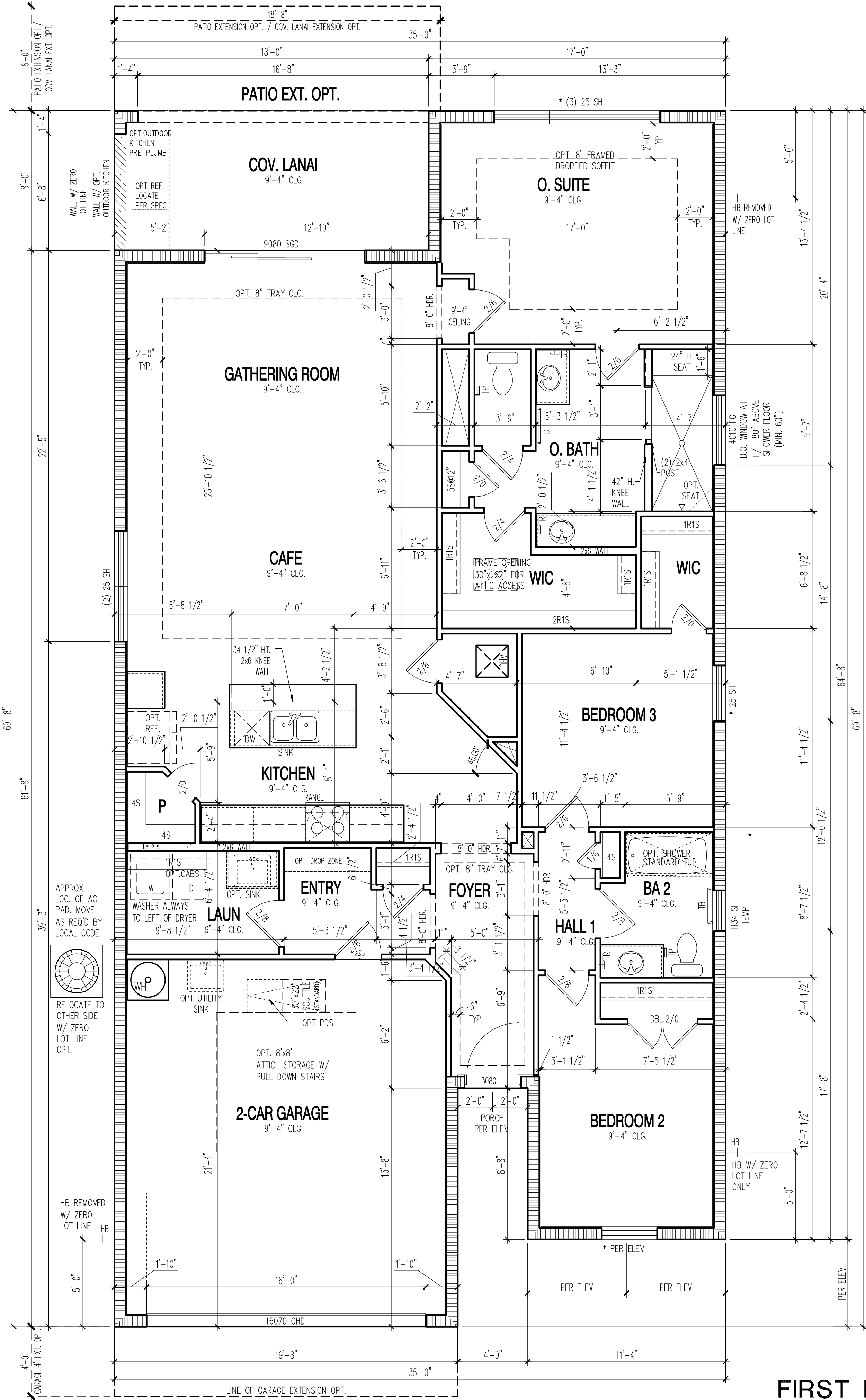
SQ. FT. TABLE IS BASED ON +/- SQ. FT.  
 AS COMPARED TO BASE PLAN

NOTE:  
 OPTIONS AVAILABLE WITH  
 ALL ELEVATION STYLES

## AREA CALCULATION (SQ. FT.)

|                          |        |        | LIVING AREA |           |                 | NON-LIVING AREA |               |       | TOTAL AREA U.R. |
|--------------------------|--------|--------|-------------|-----------|-----------------|-----------------|---------------|-------|-----------------|
|                          | WIDTH  | DEPTH  | 1ST FLOOR   | 2ND FLOOR | TOTAL A/C SPACE | GARAGE          | COVERED ENTRY | LANAI |                 |
| BASE HOUSE (FM2A / FM2B) | 35'-0" | 69'-8" | 1770        | 0         | 1770            | 408             | 18            | 144   | 2340            |
| C2A / C2B                | 0      | 0      | 0           | 0         | 0               | 0               | 0             | 0     | 0               |
| LC2B                     | 0      | +2'-0" | 0           | 0         | 0               | 0               | +105          | 0     | 105             |
| COVERED LANAI EXTENSION  | 0      | +6'-0" | 0           | 0         | 0               | 0               | 0             | +112  | 112             |
|                          |        |        |             |           |                 |                 |               |       |                 |
|                          |        |        |             |           |                 |                 |               |       |                 |
| TOTALS                   |        |        |             |           |                 |                 |               |       |                 |





FIRST FLOOR PLAN  
 SCALE: 1/4"=1'-0"

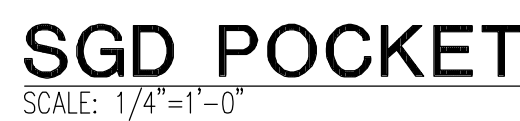
LEGEND SYMBOLS

- MASONRY - CONC. BLOCK OR BRICK WALL
- 2X FRAME WALL PER PLAN
- ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"
- \* DENOTES EMERGENCY ESCAPE & RESCUE OPENING

NOTES:

- 1-FIELD SHALL VERIFY ALL MASONRY OPNGS.
- 2-2ND FLOOR WINDOWS; ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R312.2.1 - MIN. 24" SILL HEIGHT.
- 3-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 8" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
- 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBOR R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
- 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBOR R308.4.5
- 6-ALL GUARDRAILS TO BE MIN. 36" AFF. W/MAXIMUM SPINDLE SPACING OF 4" PER FBOR R312.
- 7- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9'+ CEILING HT.) OR 8'-8" A.F.F. (8'-0" CEILING HEIGHT)
- 8- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBOR R302.7
- 9- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE AS PER R302.5.1.
- 10- WHERE SOFFITS ARE LESS THAN 5'-0" FROM PROPERTY LINE THE SOFFIT CONSTRUCTION SHALL HAVE A 1-HOUR FIRE RATING PER R302.1. APPLY 2 LAYERS OF 5/8" GYP. BD. TO BOTTOM SIDE OF SOFFIT TO ACHIEVE THIS RATING OR APPROVED EQUAL.
- 13-ALL SECONDARY MEANS OF EGRESS WILL COMPLY WITH FFPC 24.2.2.3.3. IT SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE WIDTH SHALL BE NOT LESS THAN 20 INCHES, AND THE HEIGHT SHALL BE NOT LESS THAN 24 INCHES. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44INCHES ABOVE THE FLOOR.
- 14-SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 9.6.2.10 IN ALL SLEEPING ROOMS, OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT.
- 15-CARBON MONOXIDE DETECTORS WILL BE INSTALLED IN ACCORDANCE WITH FFPC 24.3.4.2 AND WILL HAVE ONE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS AND ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, EXCLUDING ATTICS.

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| PRODUCTION MANAGER         |
| CONTROL DATE: 10/6/17      |
| REV #   DATE / DESCRIPTION |
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| 393   10/6/17              |



**NOTE:**  
OPTIONS AVAILABLE WITH  
ALL ELEVATION STYLES

[illegible]

PROJECT TYPE  
**SINGLE FAMILY**

|                                 |
|---------------------------------|
| COMMUNITY NAME<br><b>MASTER</b> |
| LAWSON COMMUNITY ID             |

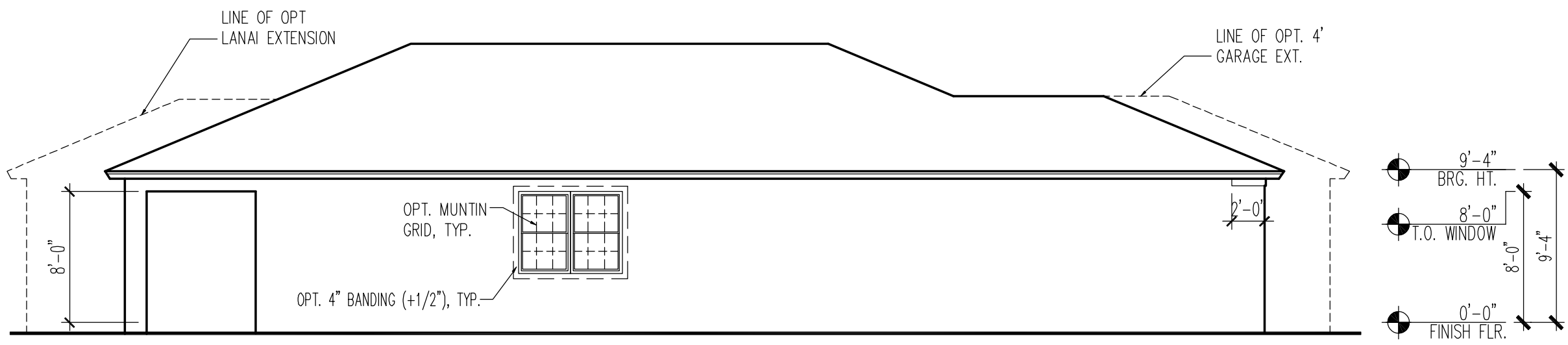
GARAGE HANDING  
**LEFT**

VERSION NUMBER  
1.0

|                           |          |
|---------------------------|----------|
| PLAN NAME                 | WYNDHAM  |
| NPC PLAN NUMBER           | 2352.500 |
| LAWSON PLAN ID            | XXXXXX   |
| LEGACY PLAN NUMBER / NAME | Oakmont  |

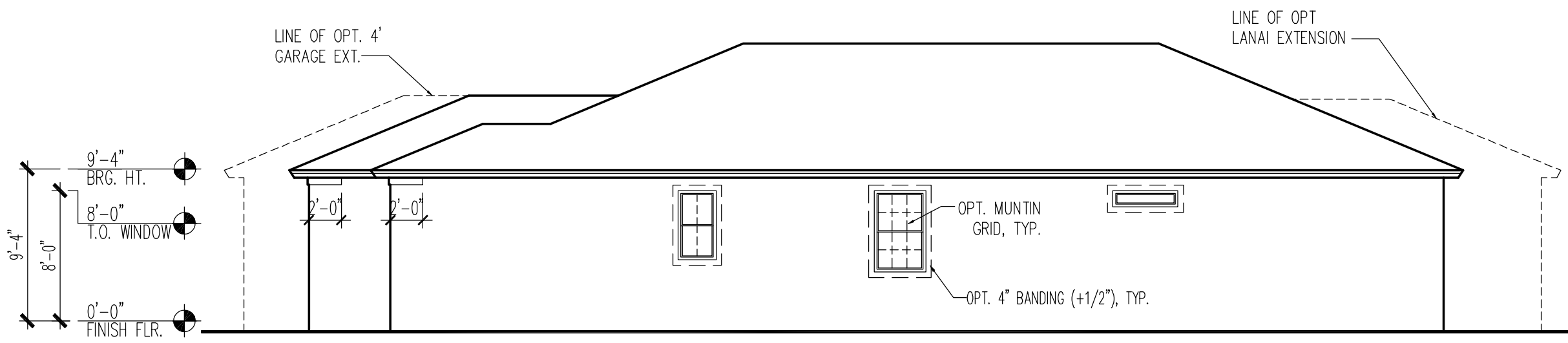
SHEET  
A01.1





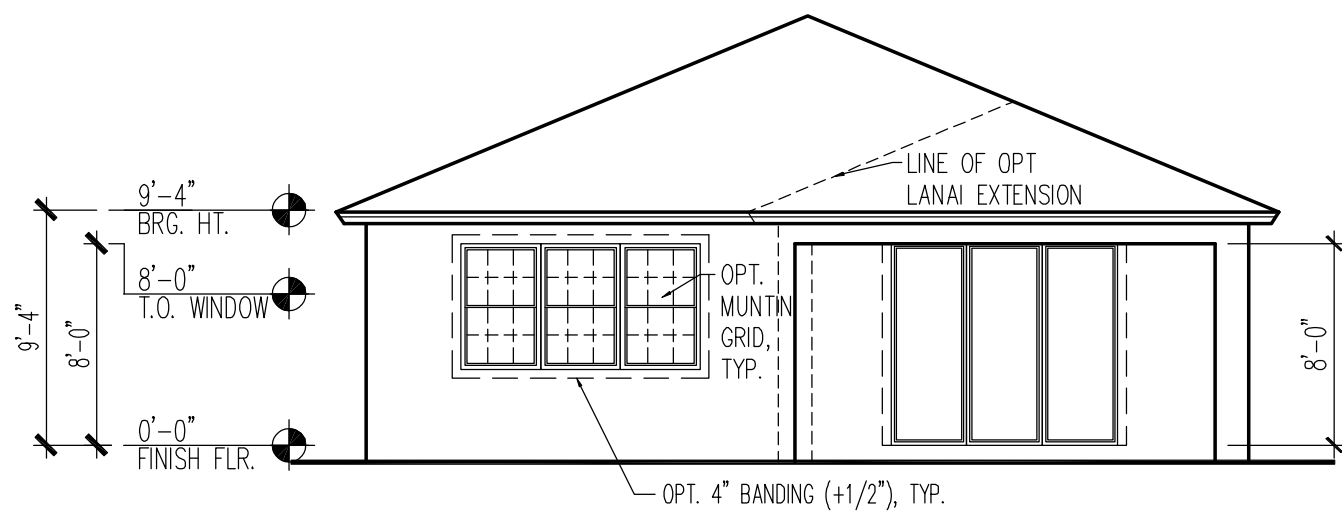
SIDE ELEVATION

SCALE: 1/8"=1'-0"



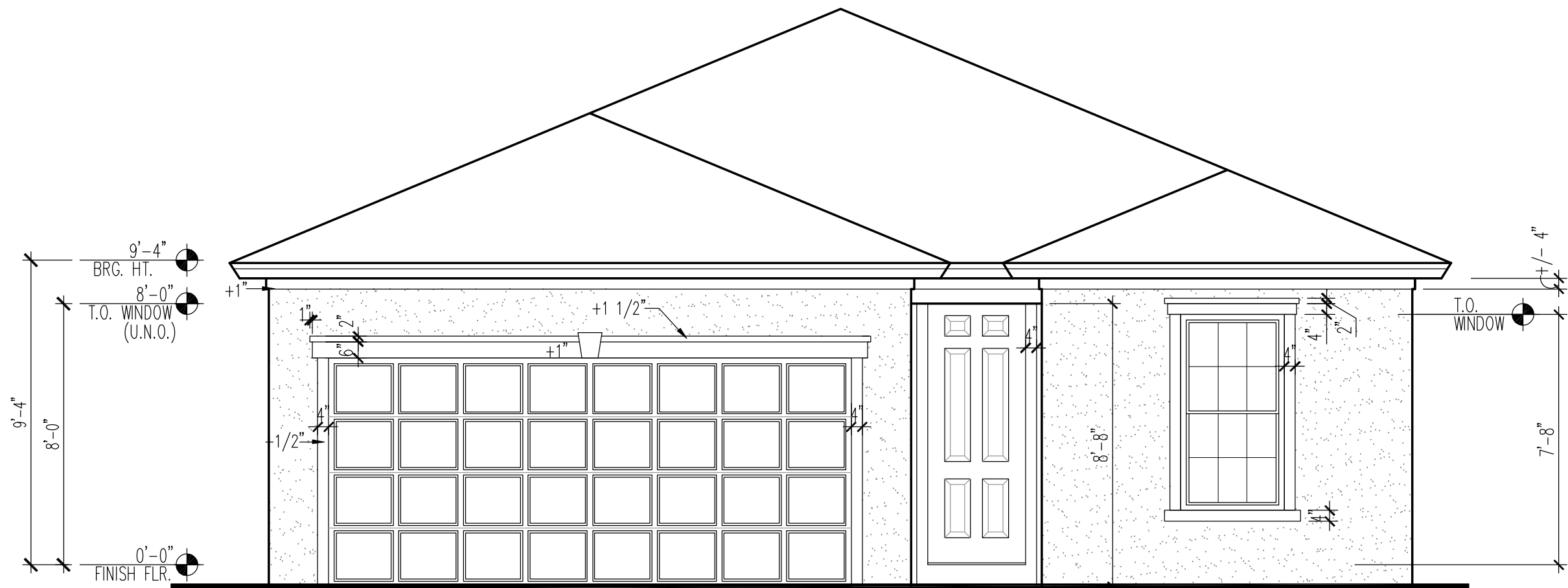
SIDE ELEVATION

SCALE: 1/8"=1'-0"



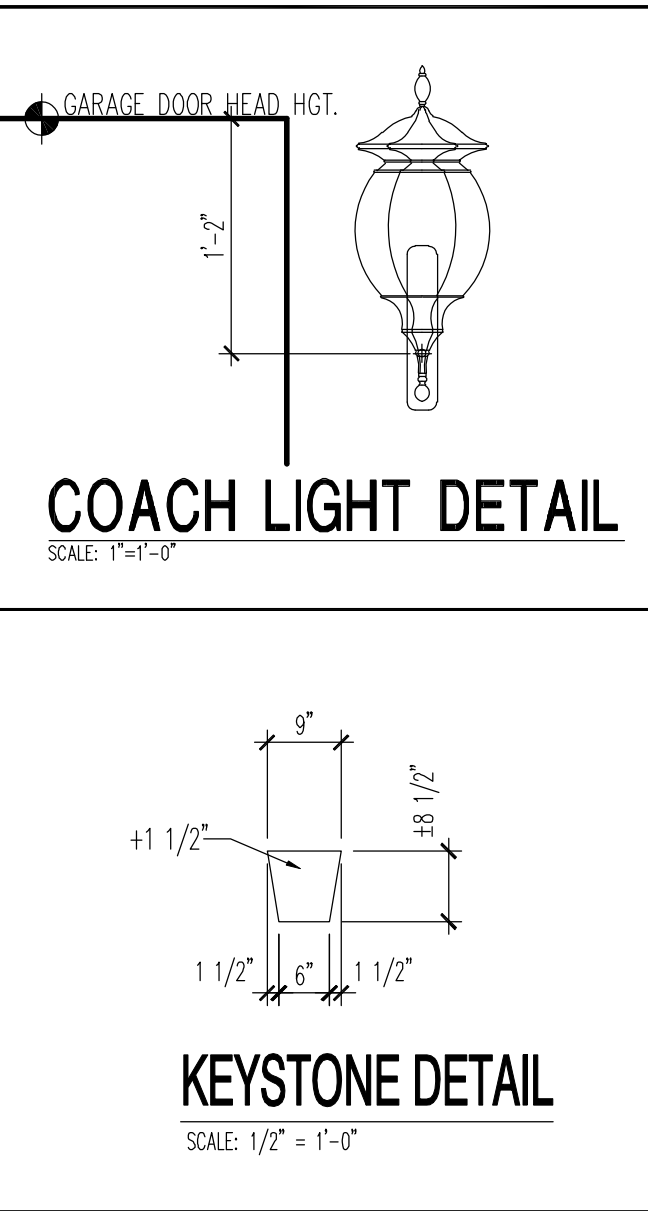
REAR ELEVATION

SCALE: 1/8"=1'-0"



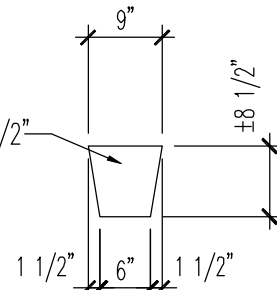
FRONT ELEVATION

SCALE: 1/4"=1'-0"



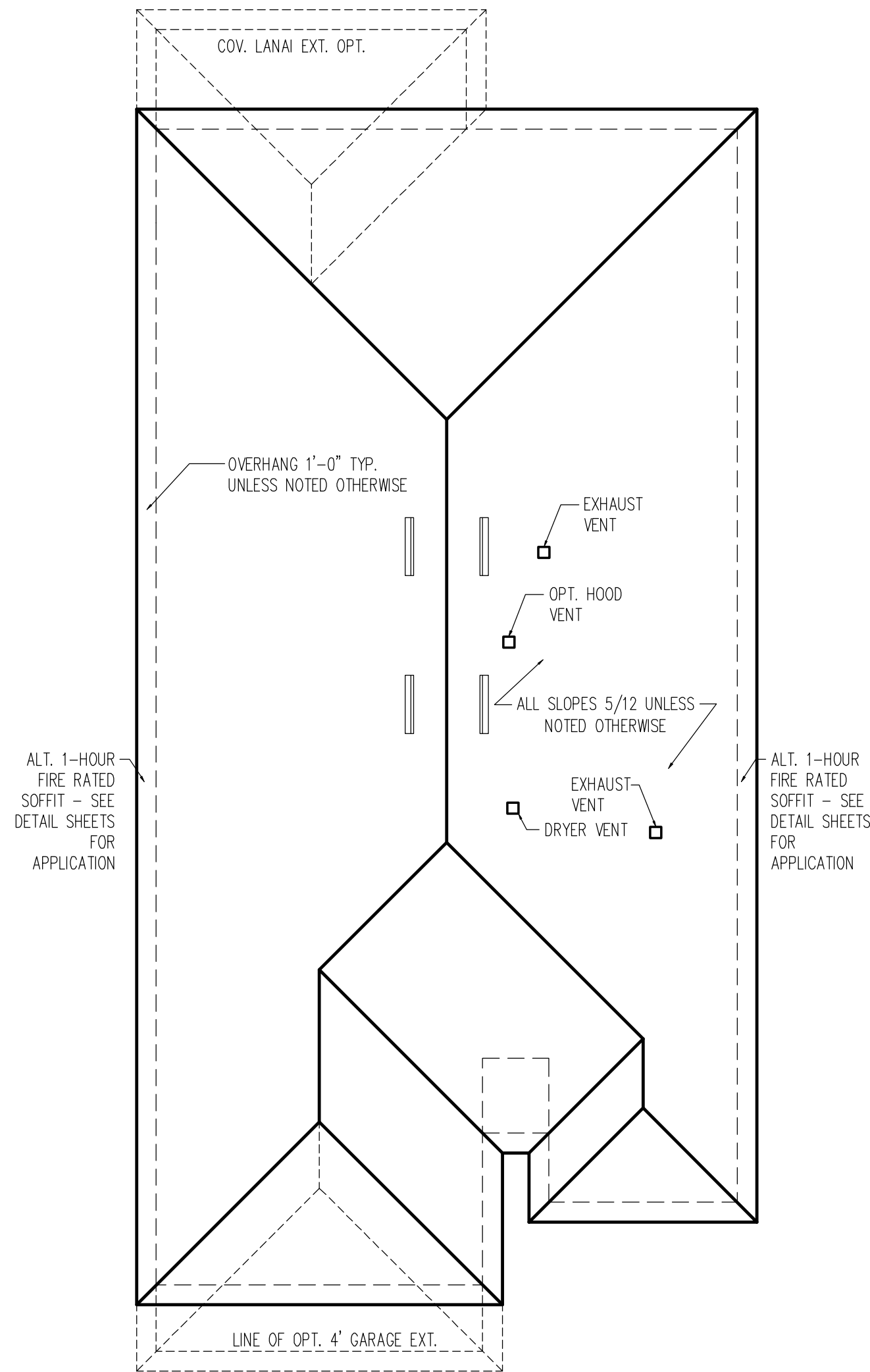
COACH LIGHT DETAIL

SCALE: 1/2"=1'-0"



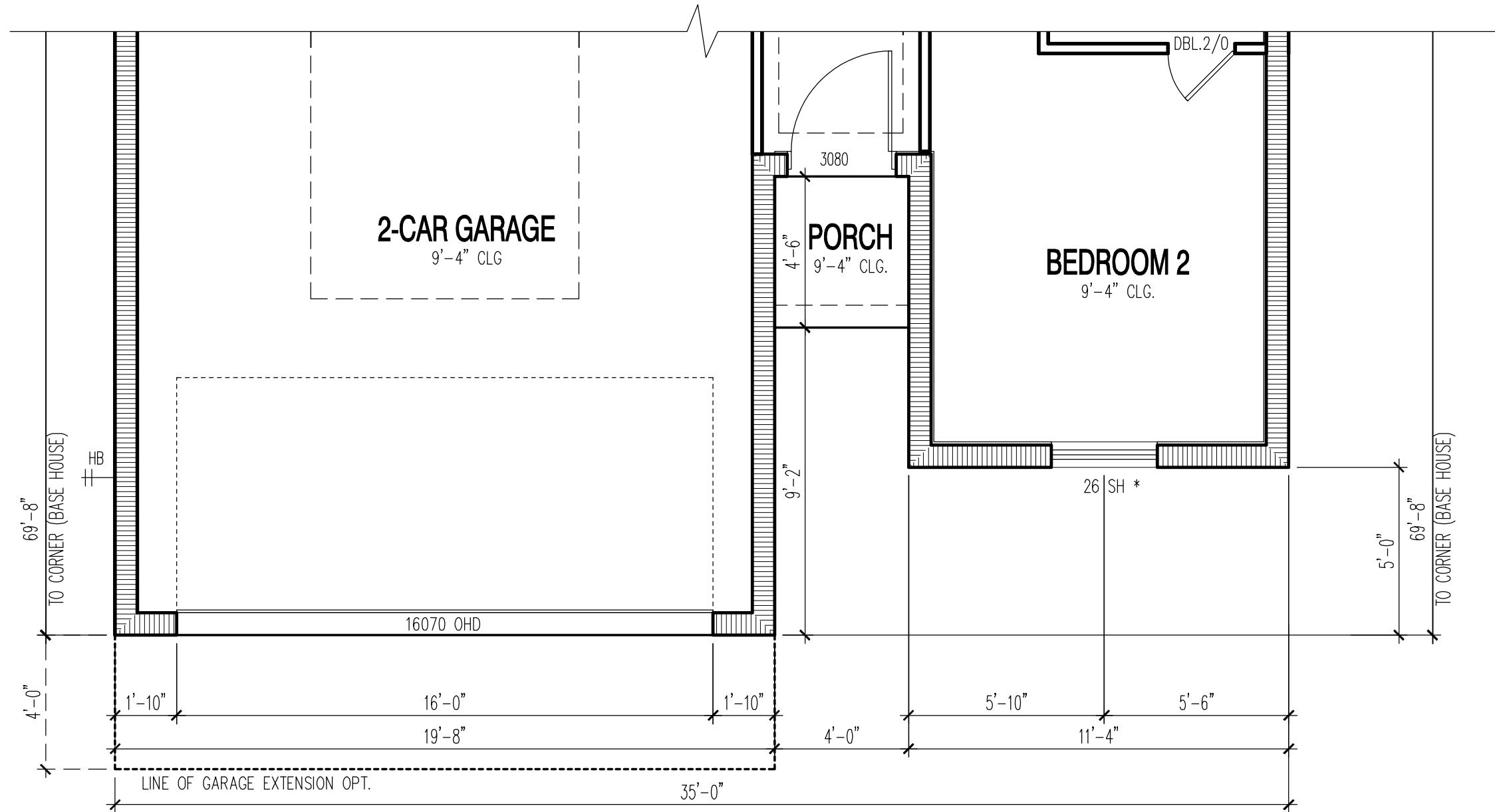
KEYSTONE DETAIL

SCALE: 1/2"=1'-0"



ROOF PLAN

SCALE: 1/8"=1'-0"



PARTIAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)                |         |   |       |  |                            |         |          |  |  |
|-------------------------------------------------------|---------|---|-------|--|----------------------------|---------|----------|--|--|
| TOTAL ATTIC AREA                                      |         |   |       |  | FREE VENT REQD. (AREA/300) |         |          |  |  |
| SQ. FT.                                               | SQ. IN. |   |       |  | SQ. FT.                    | SQ. IN. |          |  |  |
| 2332                                                  | 335808  |   |       |  | 7.8                        | 1119    |          |  |  |
| ROOF VENTS REQD.                                      |         |   |       |  | SOFFIT VENTS REQD. (S/I10) |         |          |  |  |
| SQ. FT.                                               | SQ. IN. | # | VENTS |  | SQ. FT.                    | SQ. IN. | LIN. FT. |  |  |
| 3.9                                                   | 560     | 4 |       |  | 3.9                        | 560     | 56       |  |  |
| ROOF TOP ATTIC VENT:                                  |         |   |       |  | SOFFIT VENT TYPE:          |         |          |  |  |
| SERIES                                                |         |   |       |  | CONTINUOUS                 |         |          |  |  |
| 144 = 1 SQ. FT./ VENT                                 |         |   |       |  | SOFFIT VENT = 10.0 SQ. IN. |         |          |  |  |
| (144 SQ. IN. VENT)                                    |         |   |       |  | AREA PER LINEAR FT.        |         |          |  |  |
| IN ACCORDANCE WITH SECTION R806.2 OF 2014 F.R.C.      |         |   |       |  |                            |         |          |  |  |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY |         |   |       |  |                            |         |          |  |  |

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

FLORIDA ZONE  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800

PulteGroup

ELEVATION "56" (FMIC)  
 ELEVATIONS

| PRODUCTION MANAGER |                    |
|--------------------|--------------------|
| CONTROL DATE:      | 10/6/17            |
| REV #              | DATE / DESCRIPTION |
| 1                  |                    |
| 2                  |                    |
| 3                  |                    |
| 4                  |                    |
| 5                  |                    |
| 6                  |                    |
| 7                  |                    |
| 8                  |                    |
| 9                  |                    |
| 10                 |                    |

PROJECT TYPE  
 SINGLE FAMILY

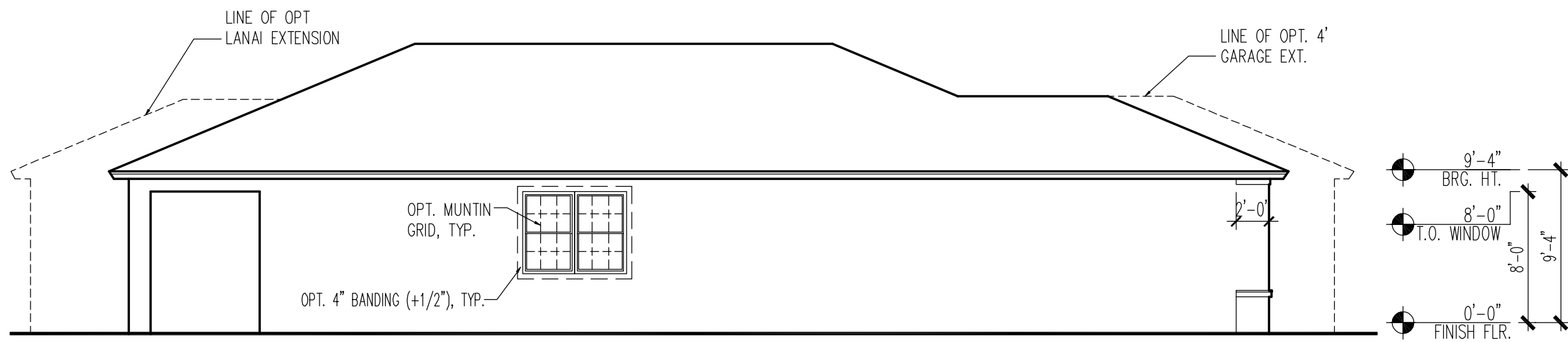
COMMUNITY NAME  
 MASTER

GARAGE HANDING  
 LEFT

VERSION NUMBER  
 1.0

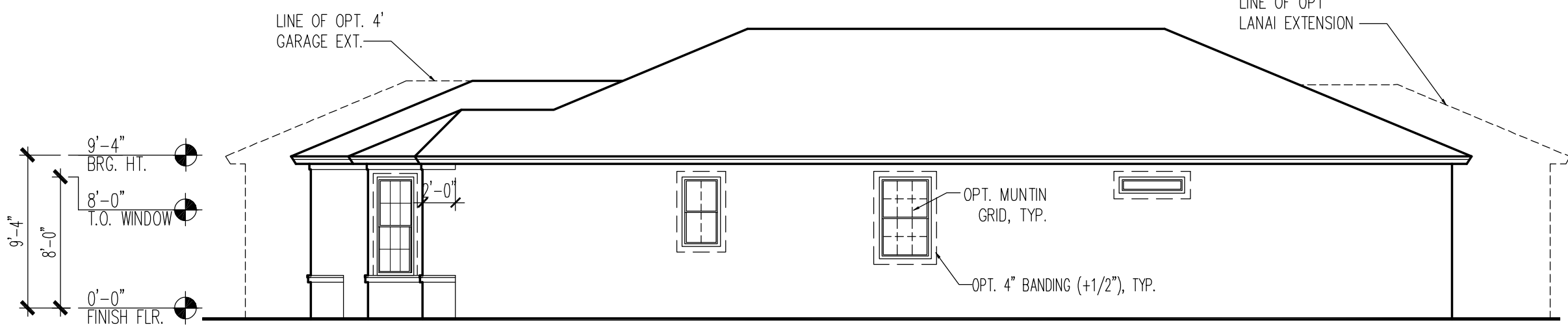
PLAN NAME  
 WYNDHAM  
 NPC PLAN NUMBER  
 2352.500  
 LAWSON PLAN ID  
 xxxxxx  
 LEGACY PLAN NUMBER / NAME  
 Oakmont

SHEET  
 A2.1FMIC



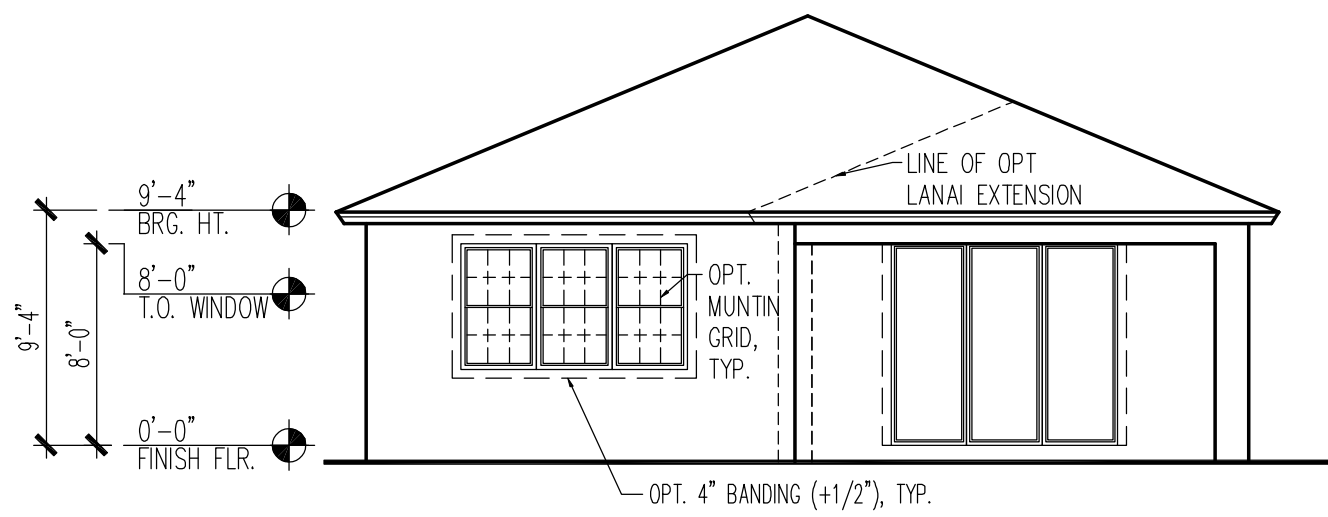
SIDE ELEVATION

SCALE: 1/8"=1'-0"



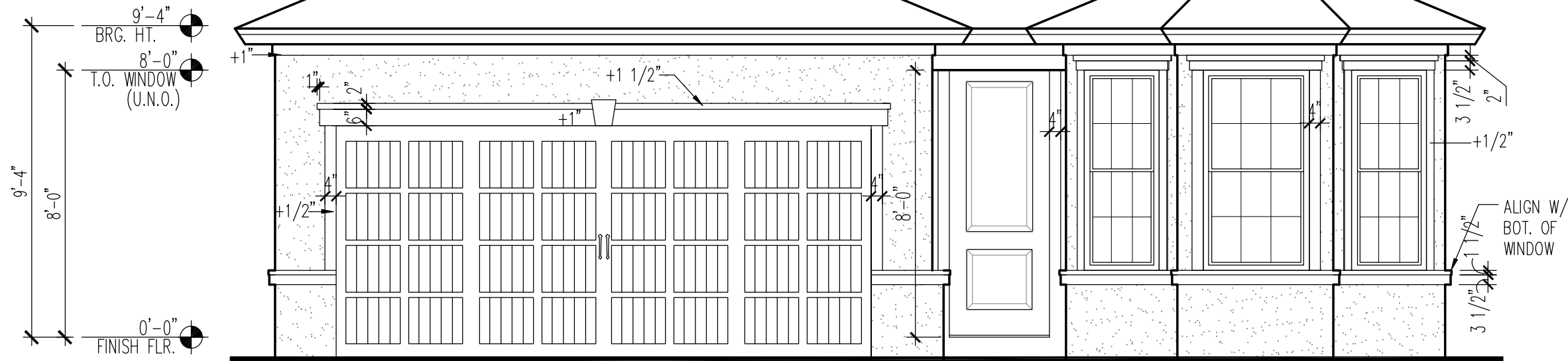
SIDE ELEVATION

SCALE: 1/8"=1'-0"



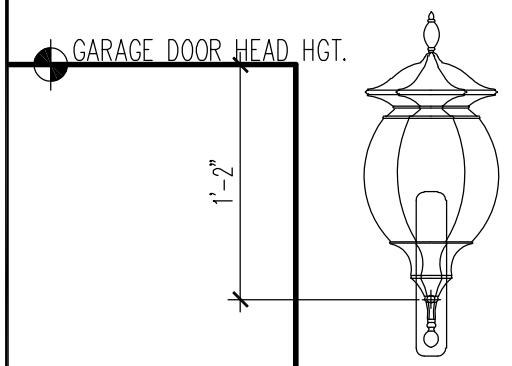
REAR ELEVATION

SCALE: 1/8"=1'-0"



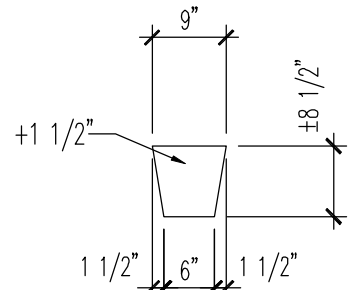
FRONT ELEVATION

SCALE: 1/4"=1'-0"



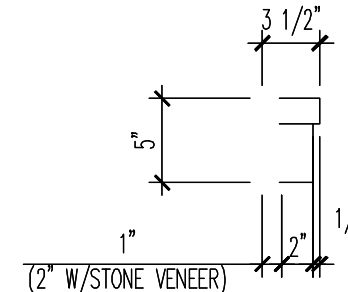
COACH LIGHT DETAIL

SCALE: 1"=1'-0"



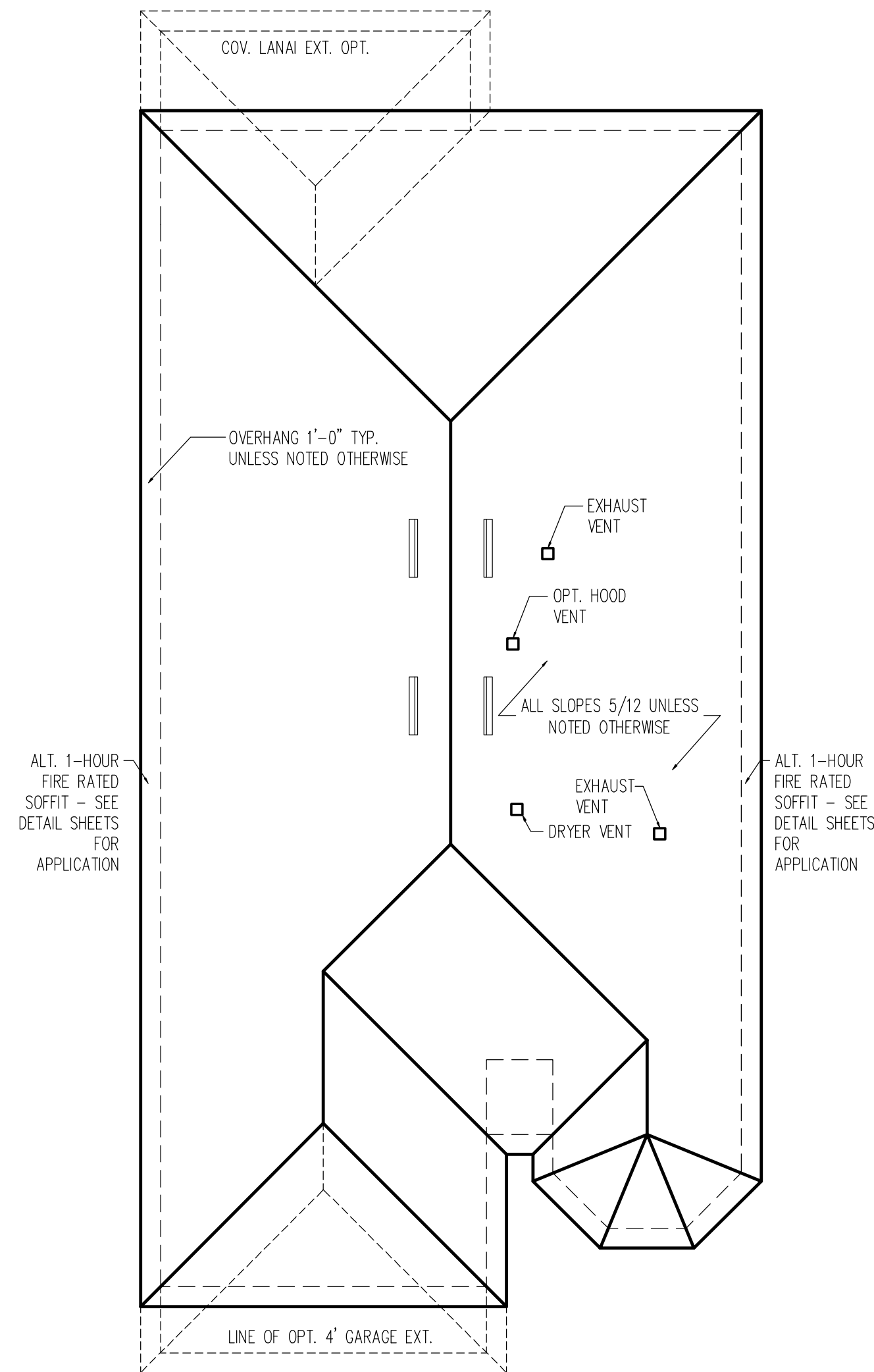
KEYSTONE DETAIL

SCALE: 1/2" = 1'-0"



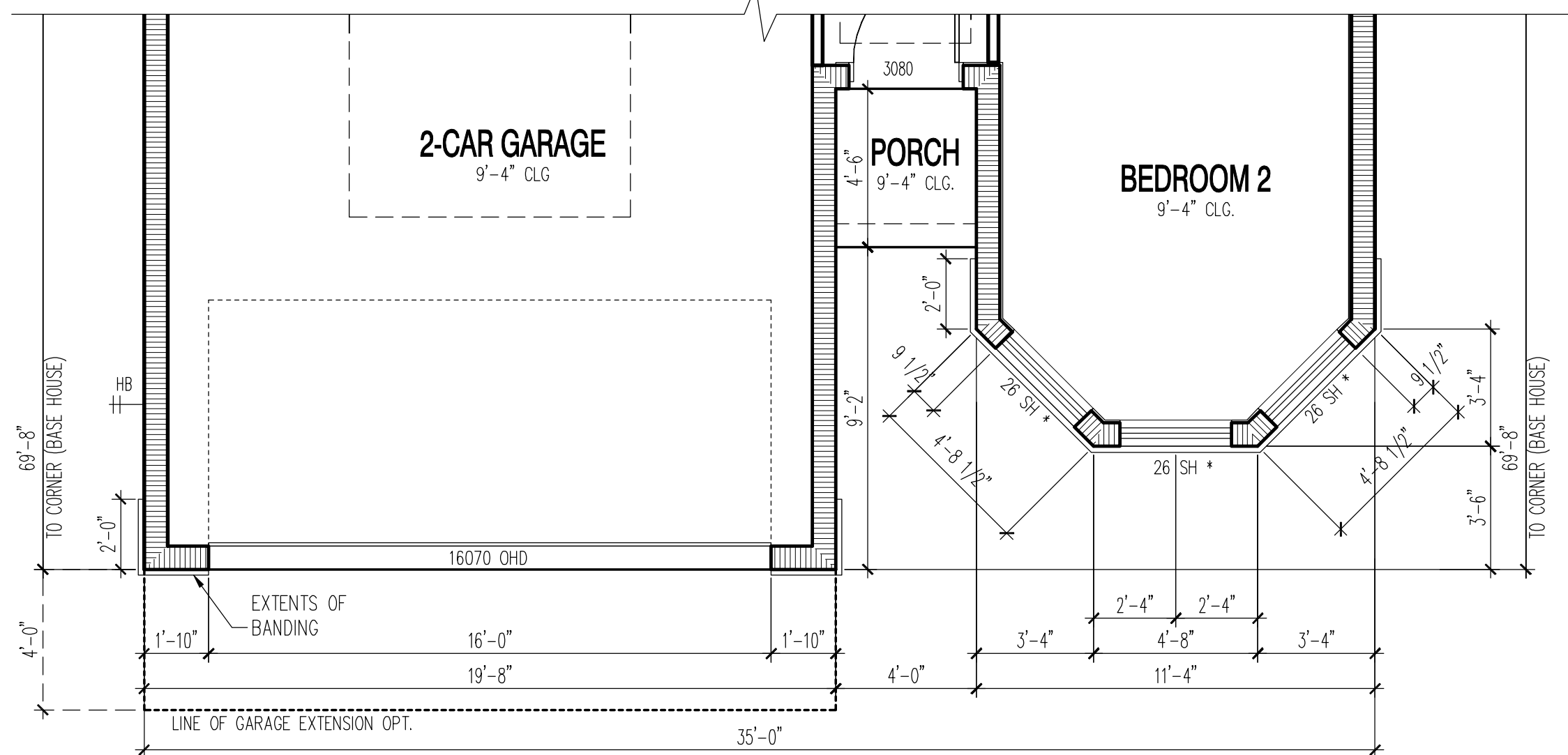
PROFILE DTL.

SCALE: 1" = 1'-0"



ROOF PLAN

SCALE: 1/8"=1'-0"



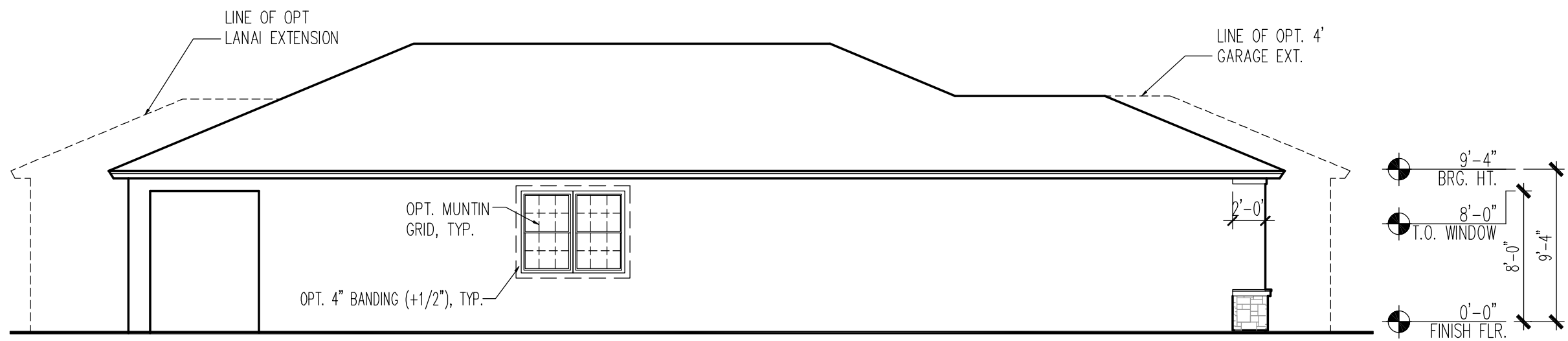
PARTIAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

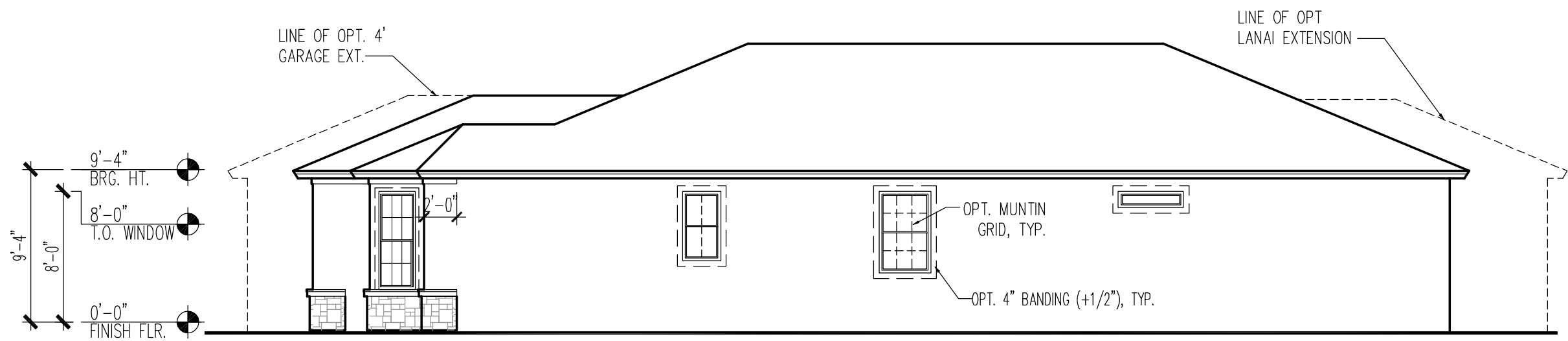
| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)                |         |         |                            |         |          |
|-------------------------------------------------------|---------|---------|----------------------------|---------|----------|
| TOTAL ATTIC AREA                                      |         |         | FREE VENT REQD. (AREA/300) |         |          |
| SQ. FT.                                               | SQ. IN. |         | SQ. FT.                    | SQ. IN. |          |
| 2332                                                  | 335808  |         | 7.8                        | 1119    |          |
| ROOF VENTS REQD.                                      |         |         | SOFFIT VENTS REQD. (S/I10) |         |          |
| SQ. FT.                                               | SQ. IN. | # VENTS | SQ. FT.                    | SQ. IN. | LIN. FT. |
| 3.9                                                   | 560     | 4       | 3.9                        | 560     | 56       |
| ROOF TOP ATTIC VENT:                                  |         |         | SOFFIT VENT TYPE:          |         |          |
| SERIES                                                |         |         | CONTINUOUS                 |         |          |
| 144 = 1 SQ. FT./ VENT                                 |         |         | SOFFIT VENT = 10.0 SQ. IN. |         |          |
| (144 SQ. IN. VENT)                                    |         |         | AREA PER LINEAR FT.        |         |          |
| IN ACCORDANCE WITH SECTION R806.2 OF 2014 F.R.C.      |         |         |                            |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY |         |         |                            |         |          |

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

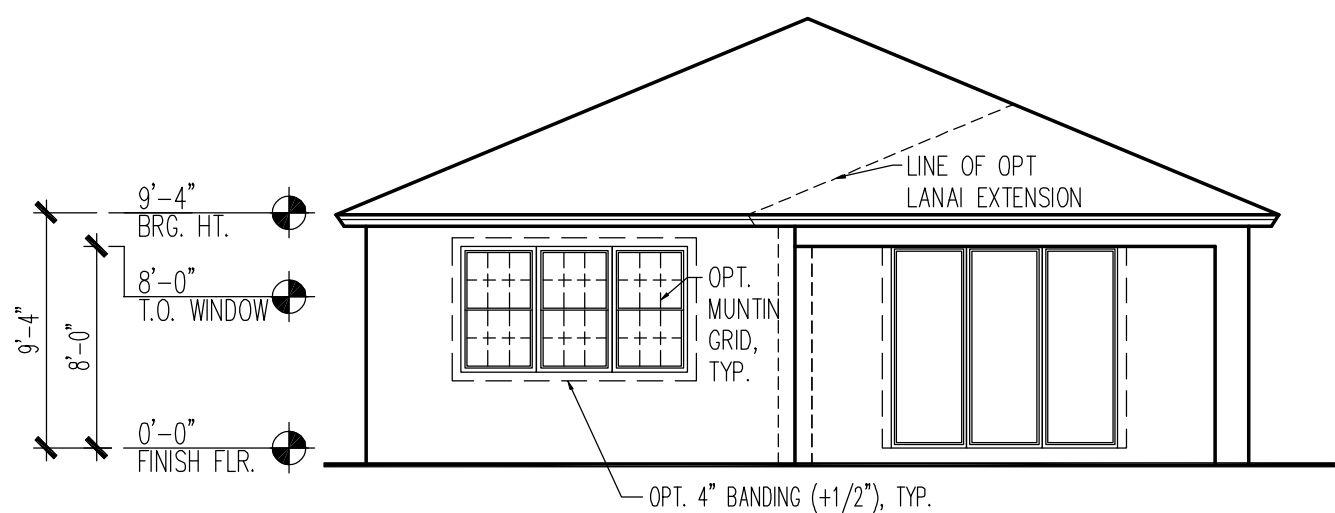




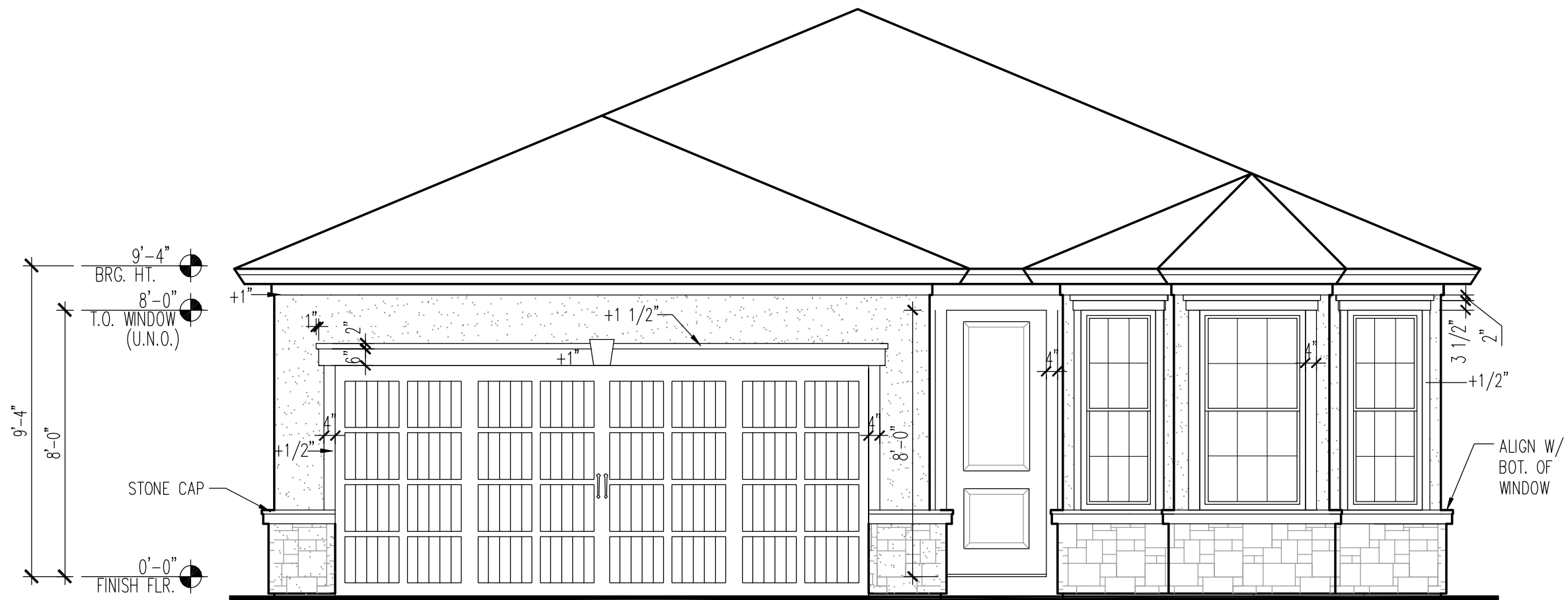
SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



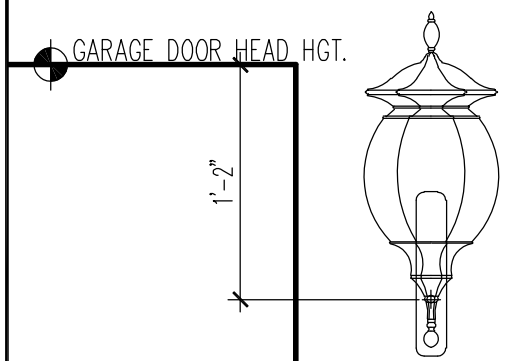
SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



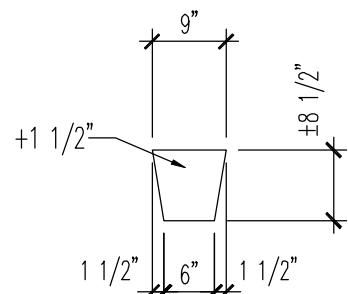
REAR ELEVATION  
 SCALE: 1/8"=1'-0"



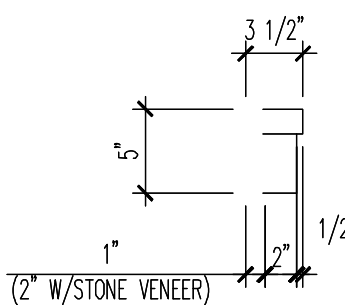
FRONT ELEVATION  
 SCALE: 1/4"=1'-0"



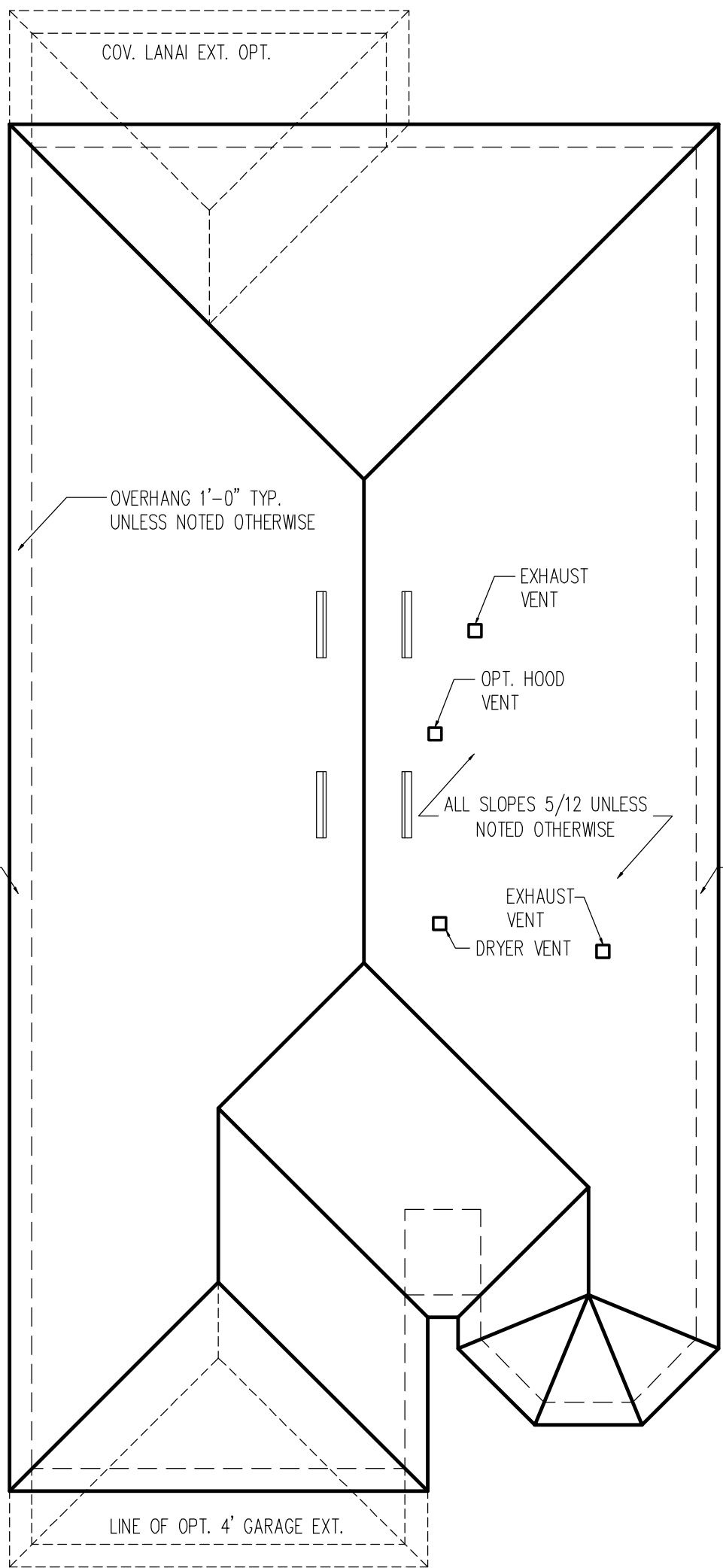
COACH LIGHT DETAIL  
 SCALE: 1"=1'-0"



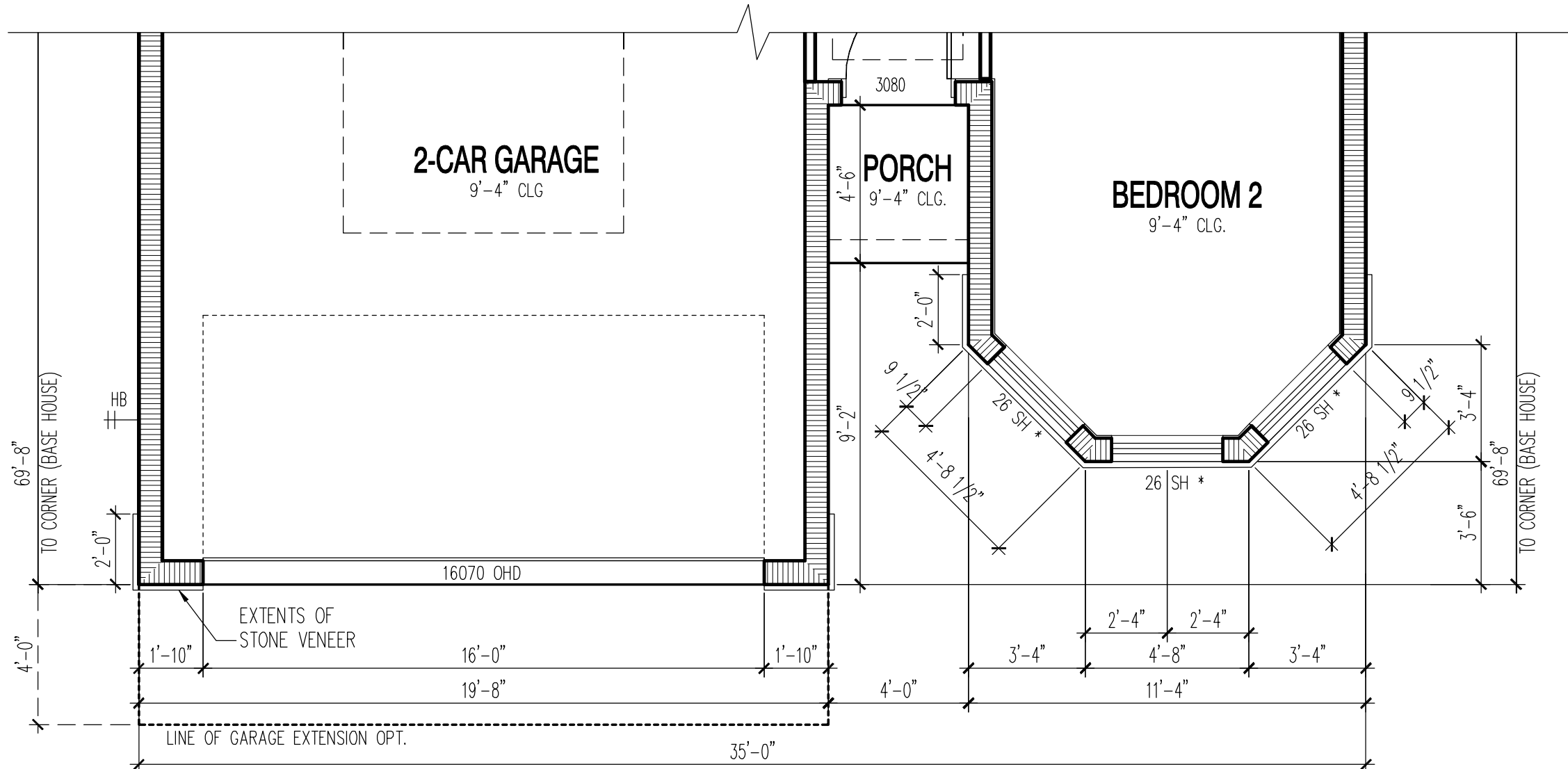
KEYSTONE DETAIL  
 SCALE: 1/2" = 1'-0"



PROFILE DTL.  
 SCALE: 1" = 1'-0"



ROOF PLAN  
 SCALE: 1/8"=1'-0"



PARTIAL 1ST FLOOR PLAN  
 SCALE: 1/4"=1'-0"

| ATTIC VENTILATION - ZONE 1 (1ST FLOOR)                                        |         |         |  |                                                                                      |         |          |
|-------------------------------------------------------------------------------|---------|---------|--|--------------------------------------------------------------------------------------|---------|----------|
| TOTAL ATTIC AREA                                                              |         |         |  | FREE VENT REQD. (AREA/300)                                                           |         |          |
| SQ. FT.                                                                       | SQ. IN. |         |  | SQ. FT.                                                                              | SQ. IN. |          |
| 2332                                                                          | 335808  |         |  | 7.8                                                                                  | 1119    |          |
| ROOF VENTS REQD.                                                              |         |         |  | SOFFIT VENTS REQD. (S/10)                                                            |         |          |
| SQ. FT.                                                                       | SQ. IN. | # VENTS |  | SQ. FT.                                                                              | SQ. IN. | LIN. FT. |
| 3.9                                                                           | 560     | 4       |  | 3.9                                                                                  | 560     | 56       |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT) |         |         |  | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |
| IN ACCORDANCE WITH SECTION R806.2 OF 2014 F.R.C.                              |         |         |  |                                                                                      |         |          |
| NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY                         |         |         |  |                                                                                      |         |          |

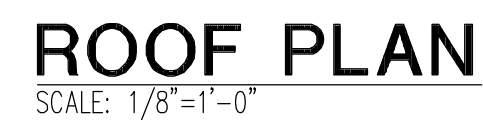
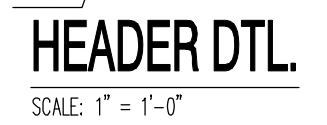
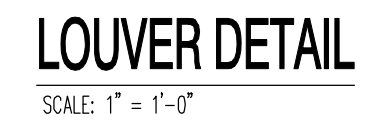
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

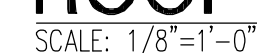
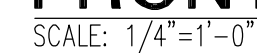
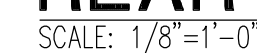
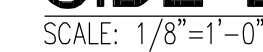
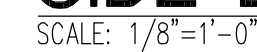




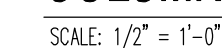


NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY





IN ACCORDANCE WITH SECTION R806.2 OF 2014 F.R.C





# 18' & 20' FL TOWNHOMES

## GENERAL NOTES

THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:  
FLORIDA BUILDING CODE 5TH EDITION (2014) RESIDENTIAL  
BUILDING TYPE: VB

-ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

-MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.

-PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

-REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM

R703.6.1 LATH.

ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCH-LONG (22.2 MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.

R703.6.2 PLASTER.

PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).  
R703.6.2.1 WEEP SCREEDS.

A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS. R905.2.7 UNDERLAYMENT APPLICATION.

THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

### AREA CALCULATION (SQ. FT.)

[illegible]

### AREA CALCULATION (SQ. FT.)

[illegible]

## DRAWING INDEX

|        |                                                             |
|--------|-------------------------------------------------------------|
| A1.1   | INDEX, HOUSE DATA, GEN. NOTES                               |
| A1.11  | FLOOR PLANS ~ 20' END UNIT                                  |
| A01.11 | FLOOR PLAN OPTIONS ~ 20' END UNIT                           |
| A1.12  | FLOOR PLANS ~ 18' INTERIOR UNIT                             |
| A01.12 | FLOOR PLAN OPTIONS ~ 18' INTERIOR UNIT                      |
| B4.1   | 4-UNIT BUILDING PLAN ~ 1ST FLOOR                            |
| B4.2   | 4-UNIT BUILDING PLAN ~ 2ND FLOOR                            |
| B4.3   | 4-UNIT BUILDING ELEVATIONS                                  |
| B4.4   | 4-UNIT BUILDING ROOF VENT LOCATION PLAN                     |
| B6.1   | 6-UNIT BUILDING PLAN ~ 1ST FLOOR                            |
| B6.2   | 6-UNIT BUILDING PLAN ~ 2ND FLOOR                            |
| B6.3   | 6-UNIT BUILDING ELEVATIONS                                  |
| B6.4   | 6-UNIT BUILDING ROOF VENT LOCATION PLAN                     |
| D1     | DETAILS                                                     |
| E1.1   | ELECTRICAL PLANS ~ 20' END UNIT                             |
| E01.1  | FLOOR PLAN OPTIONS ~ ELECTRICAL PLANS ~ 20' END UNIT        |
| E1.11  | ELECTRICAL PLANS ~ 18' INTERIOR UNIT                        |
| E01.1  | FLOOR PLAN OPTIONS ~ ELECTRICAL PLANS ~ 18' INTERIOR UNIT   |
| E2.1   | ELECTRICAL OPTIONS ~ 20' END UNIT                           |
| E02.1  | FLOOR PLAN OPTIONS ~ ELECTRICAL OPTIONS ~ 20' END UNIT      |
| E2.2   | ELECTRICAL OPTIONS ~ 18' INTERIOR UNIT                      |
| E02.1  | FLOOR PLAN OPTIONS ~ ELECTRICAL OPTIONS ~ 18' INTERIOR UNIT |
| P1.1   | PLUMBING FIXTURES PLAN ~ 20' END UNIT                       |
| P1.2   | PLUMBING FIXTURES PLAN ~ 18' INTERIOR UNIT                  |

CURRENT RELEASE DATE

11/18/16

# FLORIDA ZONE

24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



# INDEX, HOUSE DATA, GEN. NOTES

PRODUCTION MANAGER

CONTROL DATE: 2/20/11

| REV # | DATE / | DESCRIPTION |
|-------|--------|-------------|
|-------|--------|-------------|

PROJECT TYPE

SF ATTACHED

COMMUNITY NAME

LAWSON COMMUNITY I

## GARAGE HANDING

VERSION NUMBER

PLAN NAME / NP

GRAYTON 2567.508

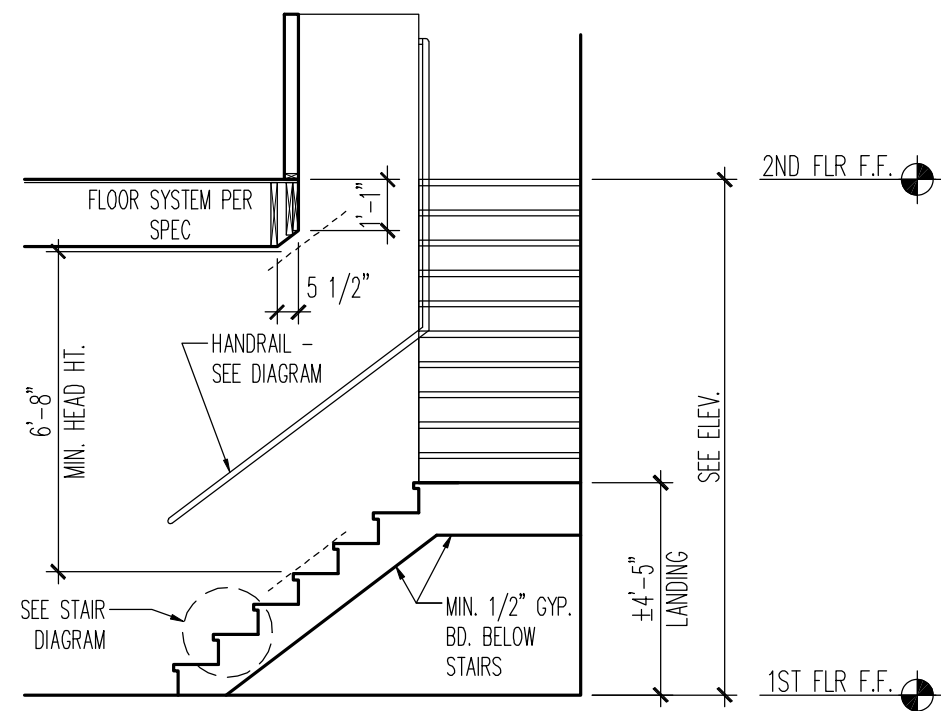
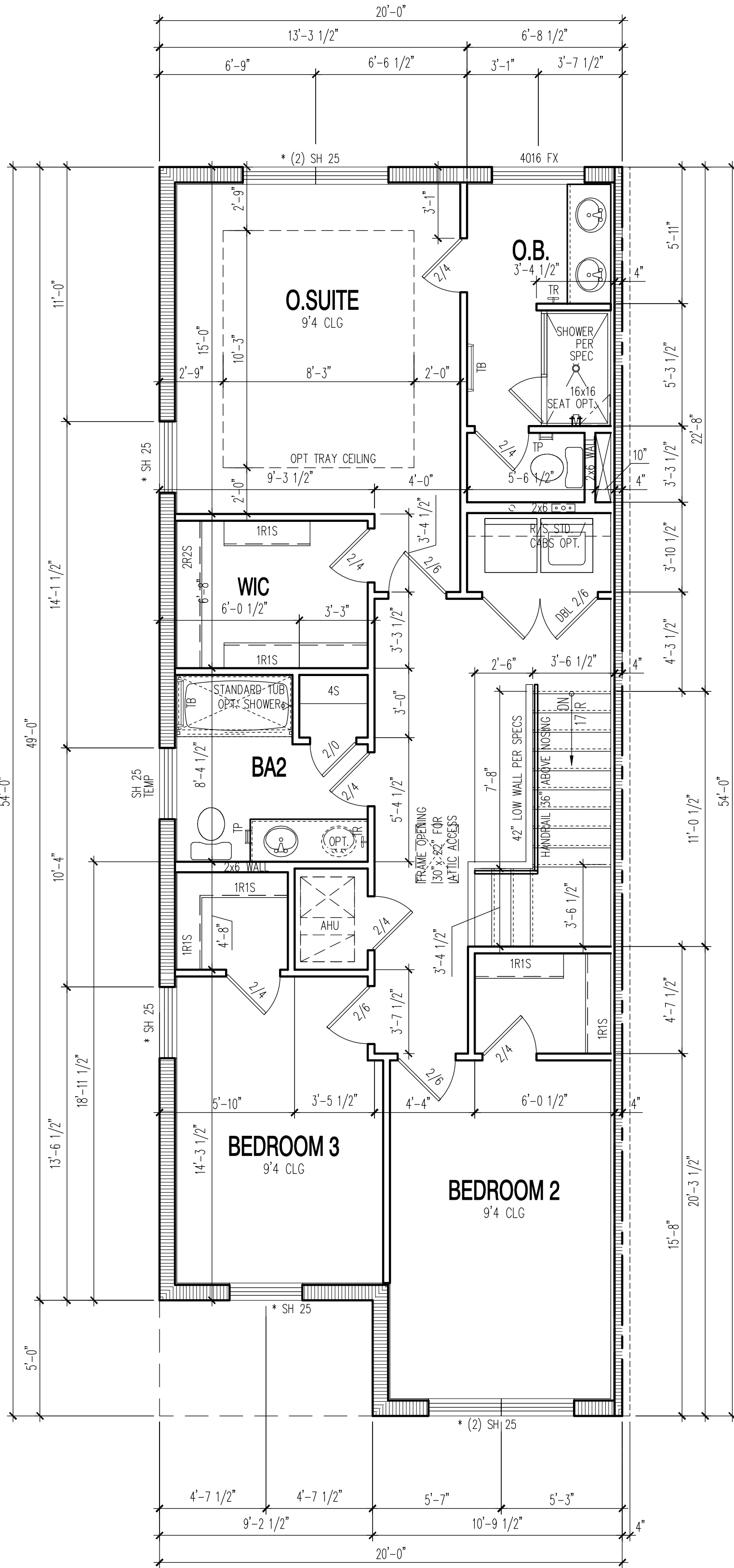
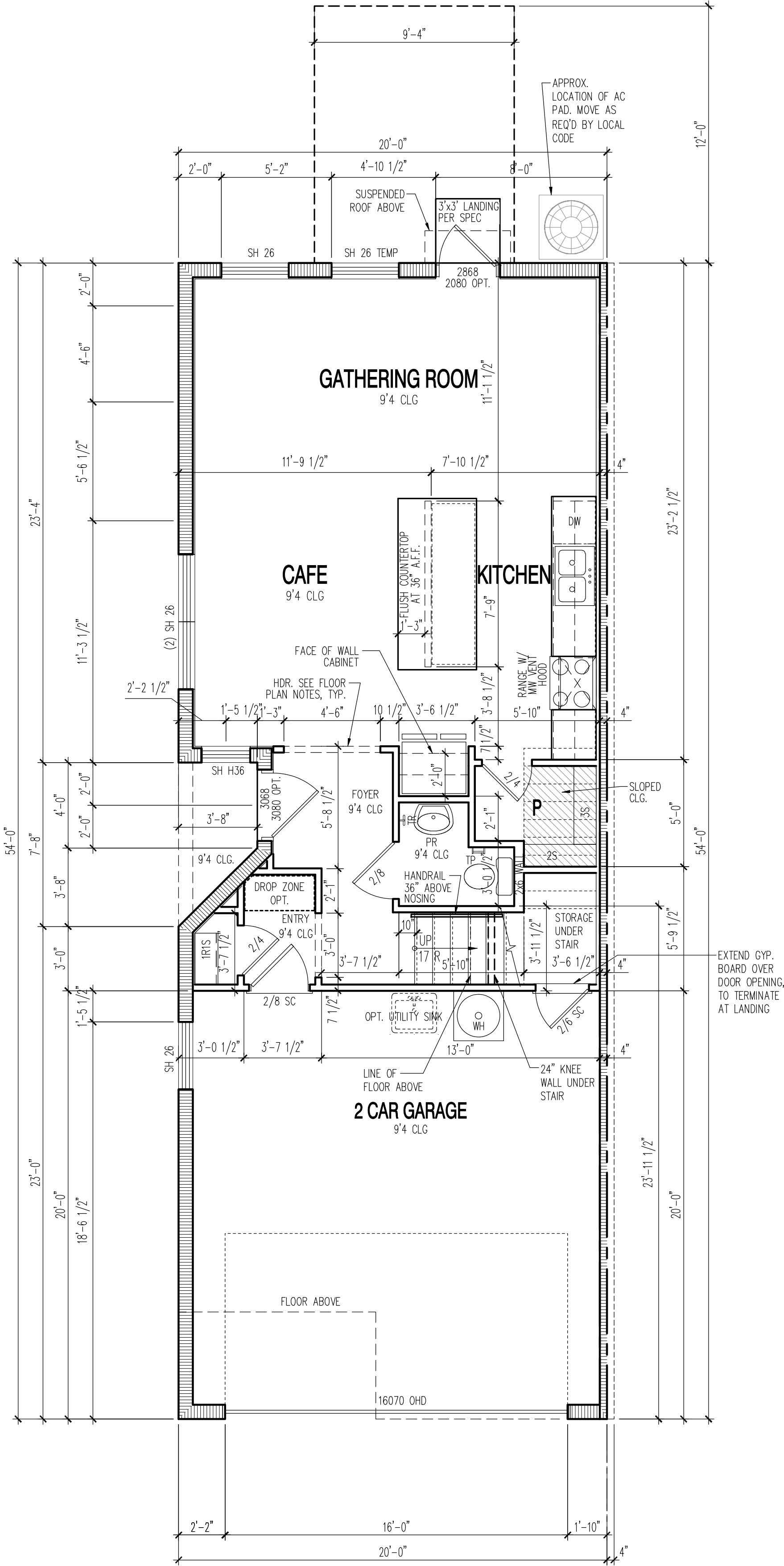
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET

# G1.1

PLOTTED: February 18, 2017 / Fernando Putzeys / TCG 3\_18'\_20'-TH\_GRAYTON\_NAVARRE\_MASTER\_ARCH\_2017-02-20.DWG



**LEGEND SYMBOLS**

MASONRY - CONC. BLOCK OR BRICK WALL

2X FRAME WALL PER PLAN

ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING

**NOTES:**

1- FIELD SHALL VERIFY ALL MASONRY OPNGS.  
 2- 2ND FLOOR WINDOWS: ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R612.2 - MIN. 24" SILL HEIGHT.  
 3- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 3" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.  
 4- INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.  
 5- SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5  
 6- ALL GUARDRAILS TO BE MIN. 36" AFF w/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.  
 7- FRAME WALLS: 2x6 W/ TOP PLATE @ 9'+ HIGH OR 2x4 W/ TOP PLATE @ 8' HIGH  
 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9'+ CEILING HT.) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)  
 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7  
 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE AS PER R302.5.1.  
 11- CEILINGS WITHOUT HABITABLE SPACE ABOVE: 1/2" INC. SAC-RESISTANT GYPSUM CEILING BOARD SHALL BE USED FOR SPANS 24" O.C. PER R702.3.5

**STAIR CALCS.**

|                    |             |
|--------------------|-------------|
| FLOOR TO FLOOR HT. | 10'-8 3/4"  |
| RISERS             | 17 @ 6 1/2" |
| TREAD              | 16 @ 10"    |
| NOSING             | 1"          |

**HANDRAIL**

GRASPABLE HANDRAIL: 1 1/4" MIN TO 1-1/2" MAX DIAMETER

1-1/2" MIN. RETURN HANDRAIL INTO 1X BACKER RD.

**STAIR DIAGRAM**

10" TREAD

1" NOSING

SEE CALC. RISER

**FLORIDA ZONE**  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800

**PulteGroup**

**BASE FLOOR PLANS**

PRODUCTION MANAGER

CONTROL DATE: 2/20/17

REV # DATE / DESCRIPTION

PROJECT TYPE

**SP ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER

1.0

PLAN NAME / NPC

NAVARRE 2498.502

GRAYTON 2567.508

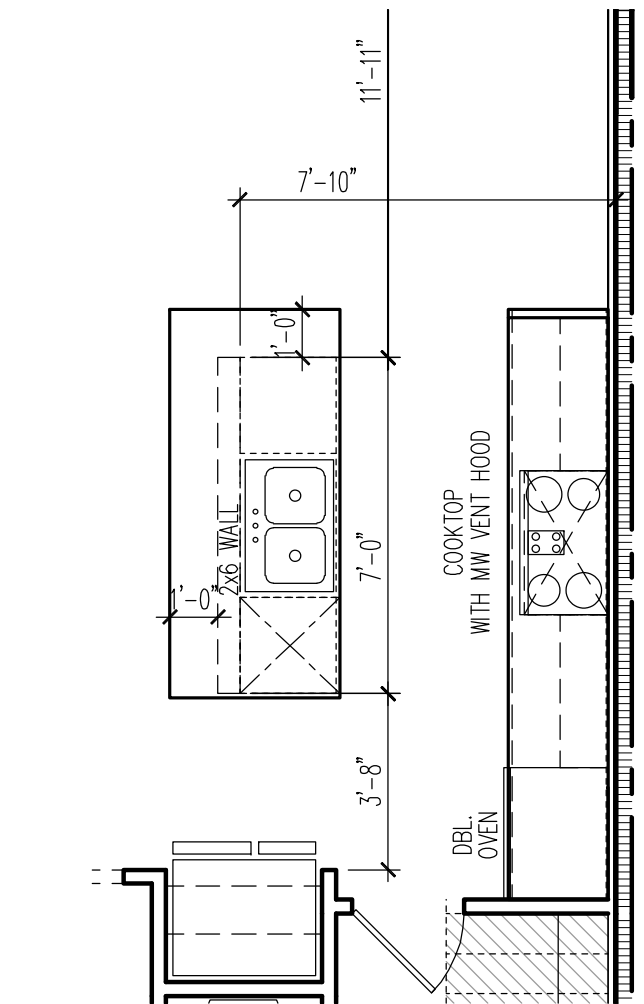
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

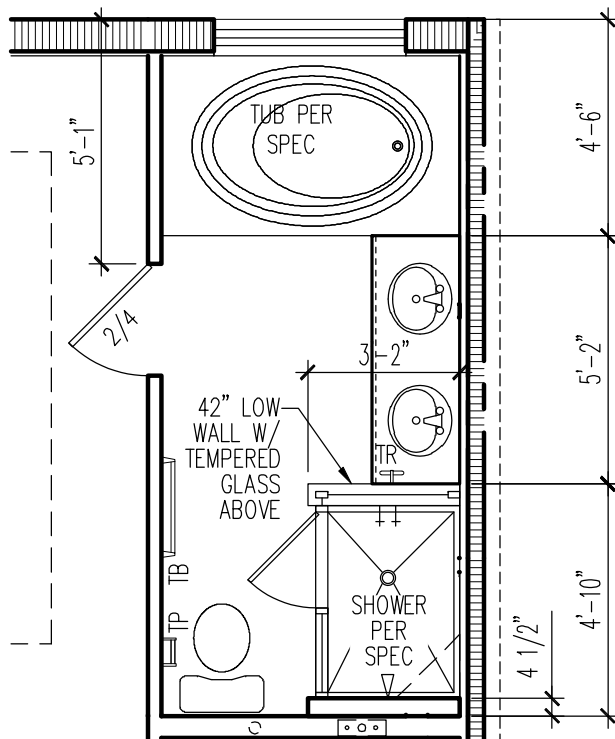
SHEET

**A1.11**

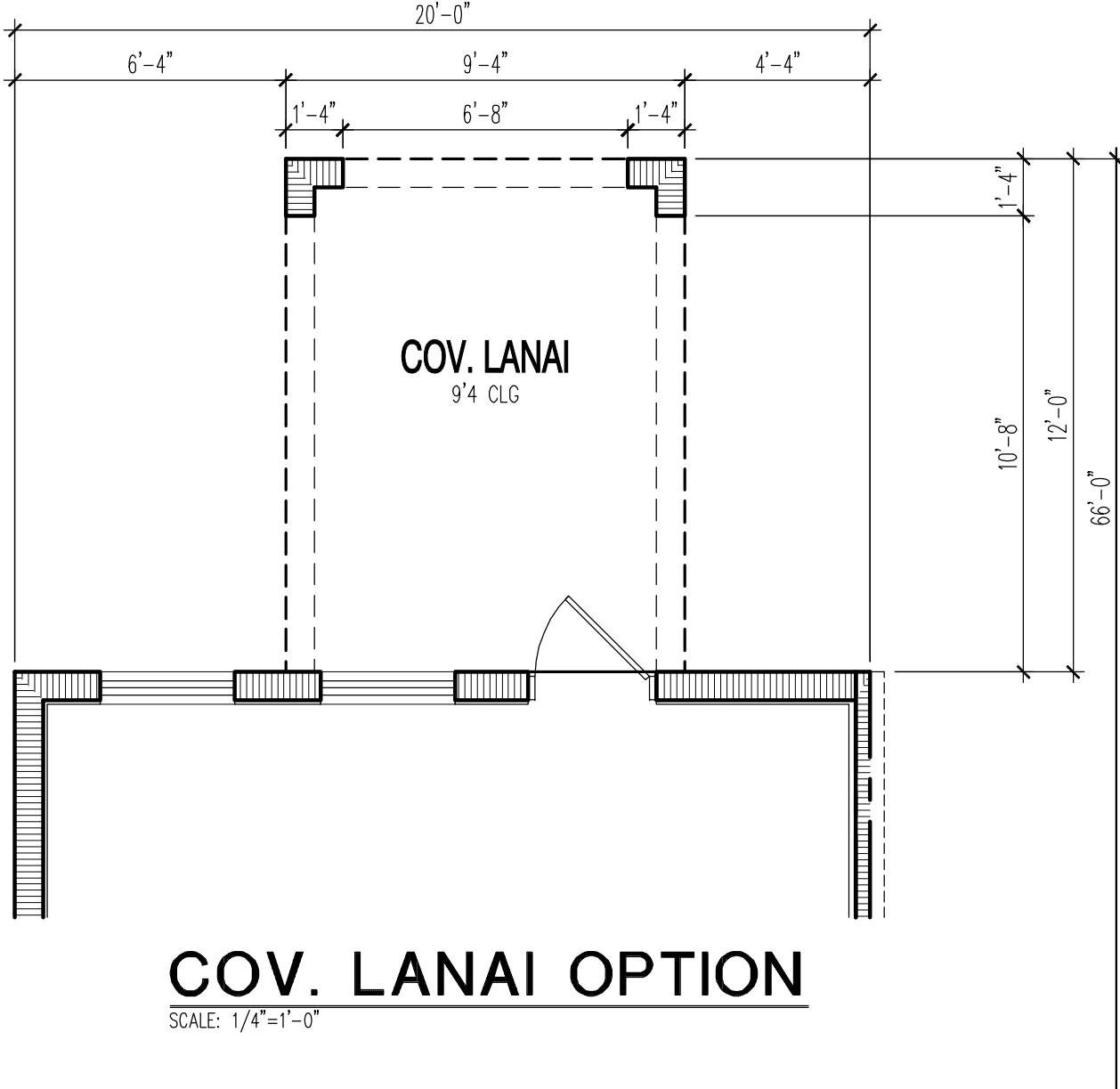




## KITCHEN W/ BUILT-IN APPLIANCES



# TUB UPGRADE @ O. BATH



## COV. LANAI OPTION

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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## FLOOR PLAN OPTIONS

PRODUCTION MANAGER

CONTROL DATE: 2/20/17

REV # | DATE / DESCRIPTION

PROJECT TYPE  
SF ATTACHED

COMMUNITY NAME  
\_\_\_\_\_  
\_\_\_\_\_

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER  
1.0

| PLAN NAME / NPC |          |
|-----------------|----------|
| NAVARRE         | 2498.502 |

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|         |          |
|---------|----------|
| GRAYTON | 2567.508 |
|---------|----------|

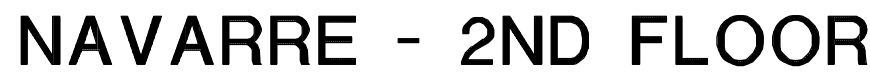
LEGACY PLAN NUMBER / NAME

SHEET  
A01.11

A01.11

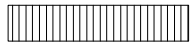
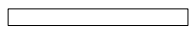




SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

# LEGEND SYMBOLS

|                                                                                     |                                                                                 |
|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
|  | MASONRY - CONC. BLOCK OR BRICK WALL                                             |
|  | 2X FRAME WALL PER PLAN                                                          |
|  | ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM - 0'-0" |
|  | DENOTES EMERGENCY ESCAPE & RESCUE OPENING                                       |

**NOTES:**

- 1-FIELD SHALL VERIFY ALL MASONRY OPINGS.
- 2-2ND FLOOR WINDOWS, ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R612.2 - MIN. 24" SILL HEIGHT.
- 3-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 8" TYPE "X" GYP. BOARD OR EQUIVALENT ALL WALLS & CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
- 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL COVER THE AREA IN APPROXIMATELY EQUAL AREAS.
- 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
- 6-ALL GUARDRAILS TO BE MIN. 36" AFF w/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
- 7-FRAME WALLS: 2x6 w/ TOP PLATE @ 9'+ HIGH OR 2x4 w/ TOP PLATE @ 8' HIGH
- 8-ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9'+ CEILING HT.) OR 8'-6" AFF. (8'-0" CEILING HEIGHT)
- 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7.
- 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE THICKENED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE AS PER F302.5.1.
- 11- CEILINGS WITHOUT HABITABLE SPACE ABOVE: 7"-ING SAC-RESISTANT GYPSUM CEILING BOARD SHALL BE USED FOR SPANS 24" O.C. PER R702.3.5

|                     |              |
|---------------------|--------------|
| <b>STAIR CALCS.</b> |              |
| FLOOR TO FLOOR HT.  | 10' - 8 3/4" |
| RISERS              | 17 @ 6 7/8"  |
| TREAD               | 16 @ 10"     |
| NOSSING             |              |

**HANDRAIL**

GRASPABLE HANDRAIL: 1 1/4" MIN TO 1 1/2" MAX DIAMETER

SECTION: 3/4" = 30"

PLAN: RETURN HANDRAIL INTO 1X12 BXK BO.

1 1/2" MIN.

10" TREAD

1" NOSSING

SEE CALC. RISER

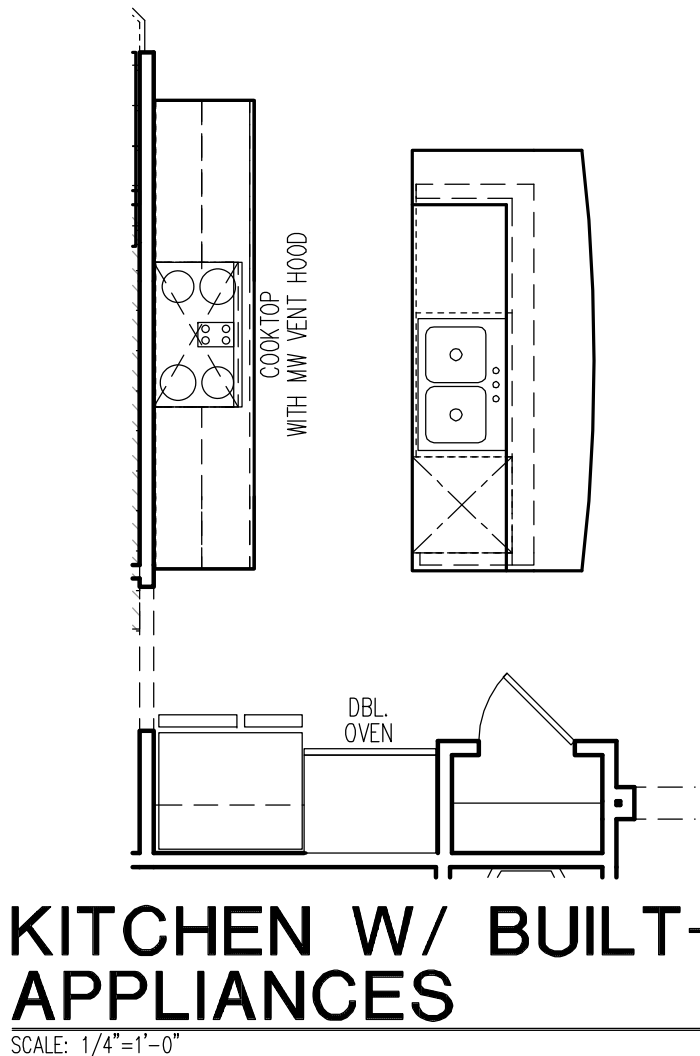
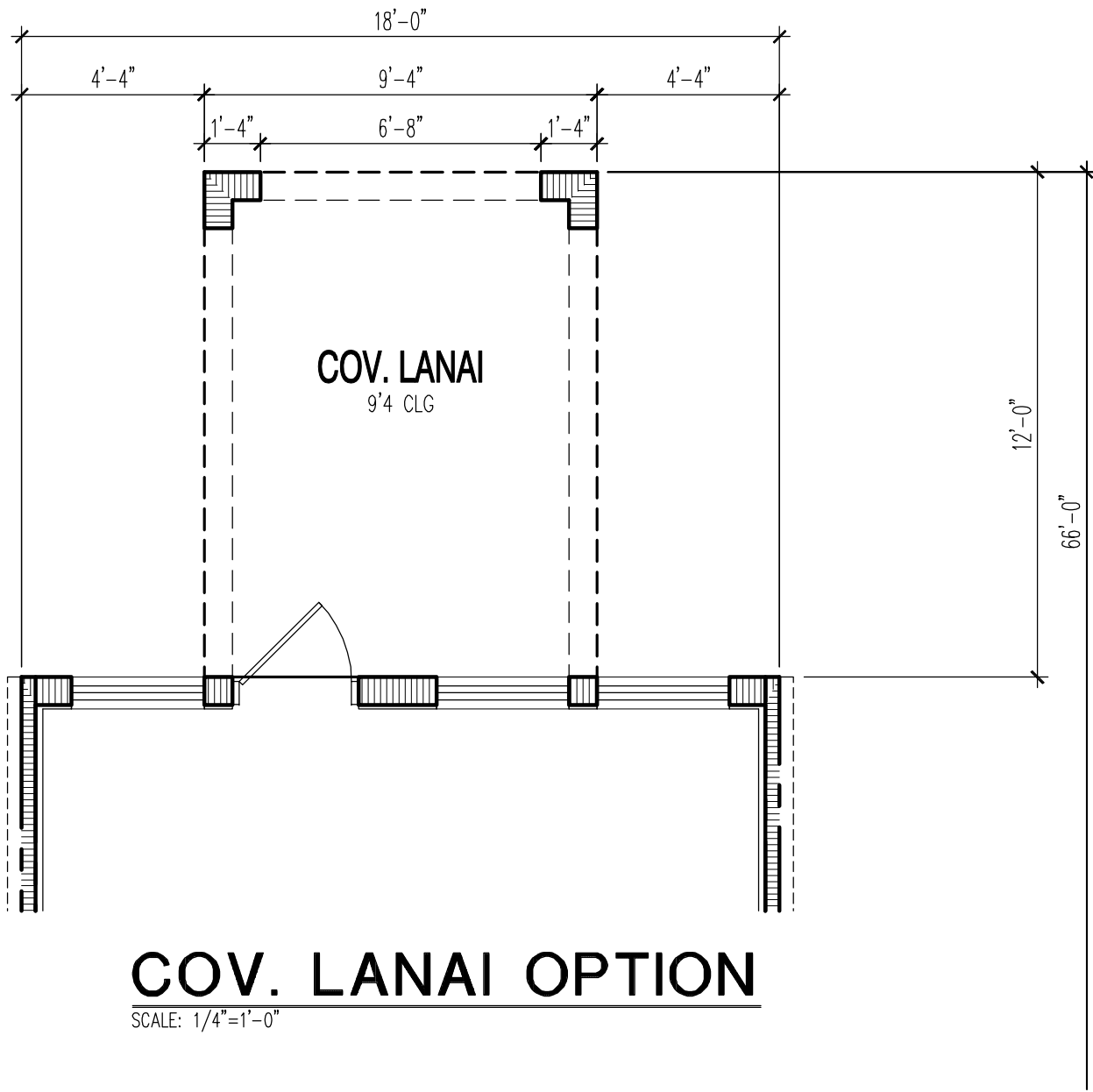
STRINGERS

## STAIR DIAGRAM



SCALE: 1/4"=1'-0"





## KITCHEN W/ BUILT-IN APPLIANCES

SCALE: 1/4"=1'-0"

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**FLOOR PLAN OPTIONS**[illegible]

PROJECT TYPE  
SF ATTACHED

|                     |
|---------------------|
| COMMUNITY NAME      |
| _____               |
| _____               |
| LAWSON COMMUNITY ID |

#### GARAGE HANDING

VERSION NUMBER  
1.0

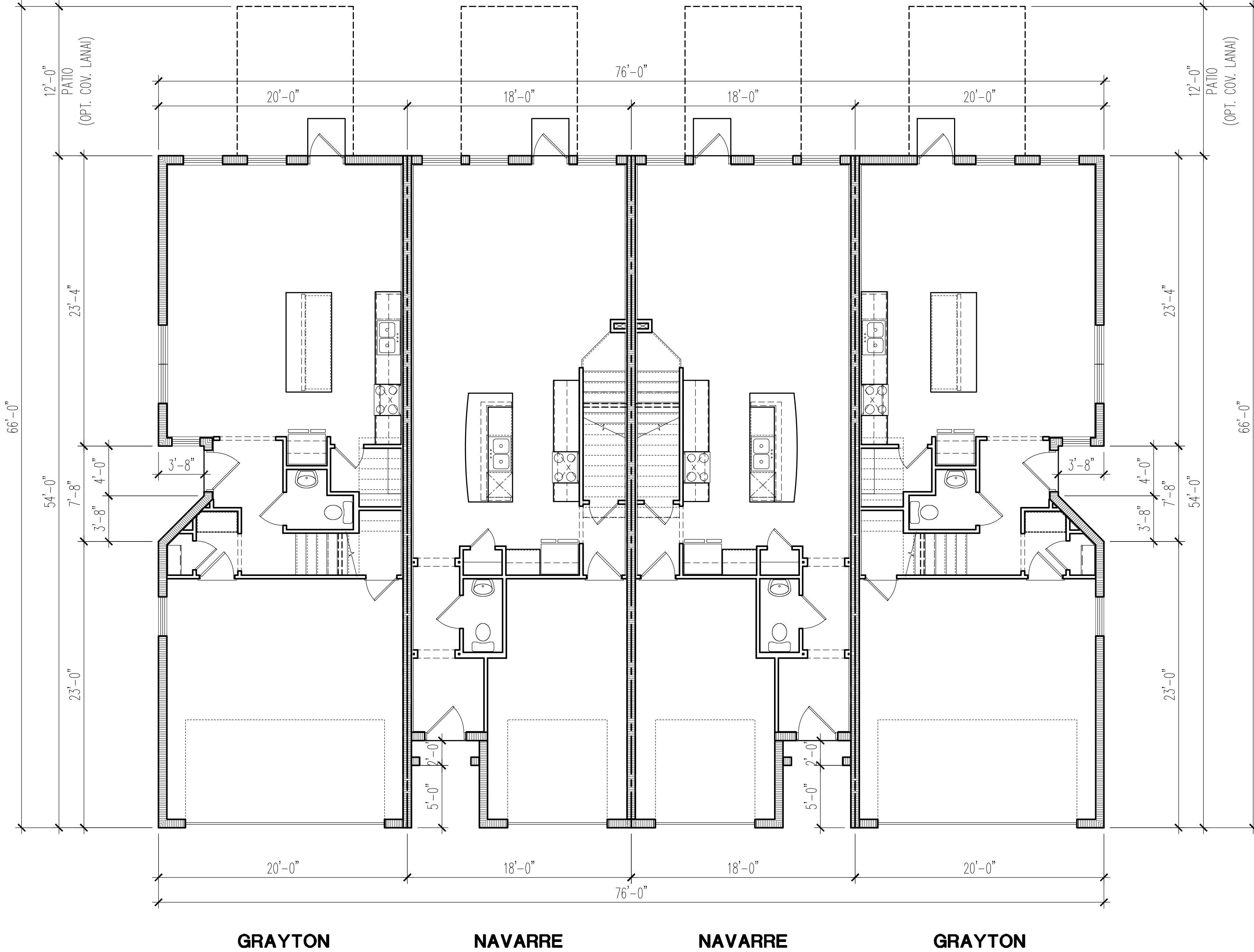
|                 |          |
|-----------------|----------|
| PLAN NAME / NPC |          |
| NAVARRE         | 2498.502 |

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|         |          |
|---------|----------|
| GRAYTON | 2567.508 |
|---------|----------|

LEGACY PLAN NUMBER / NAME





SHEET  
A01.12



# FIRST FLOOR BUILDING PLAN

SCALE: 3/16"=1'-0"

## LEGEND SYMBOLS

 MASONRY - CONC. BLOCK OR BRICK WALL  
 WOOD FRAME WALL  
 2-HOUR FIRE RATED WALL - SEE DETAIL  
 ELEV. \_\_\_\_\_ ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENINGS

NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS

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**FIRST FLOOR PLAN**

PRODUCTION MANAGER

CONTROL DATE: 2/20/17

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
|-------|--------------------|

|              |  |
|--------------|--|
| PROJECT TYPE |  |
|--------------|--|

SF ATTACHED

COMMUNITY NAME

\_\_\_\_\_

GARAGE HANDING

|                |
|----------------|
| VERSION NUMBER |
|----------------|

1.0

[illegible]

|         |          |
|---------|----------|
| NAVARRE | 2498.502 |
|---------|----------|

|         |          |
|---------|----------|
| GRAYTON | 2567.508 |
|---------|----------|

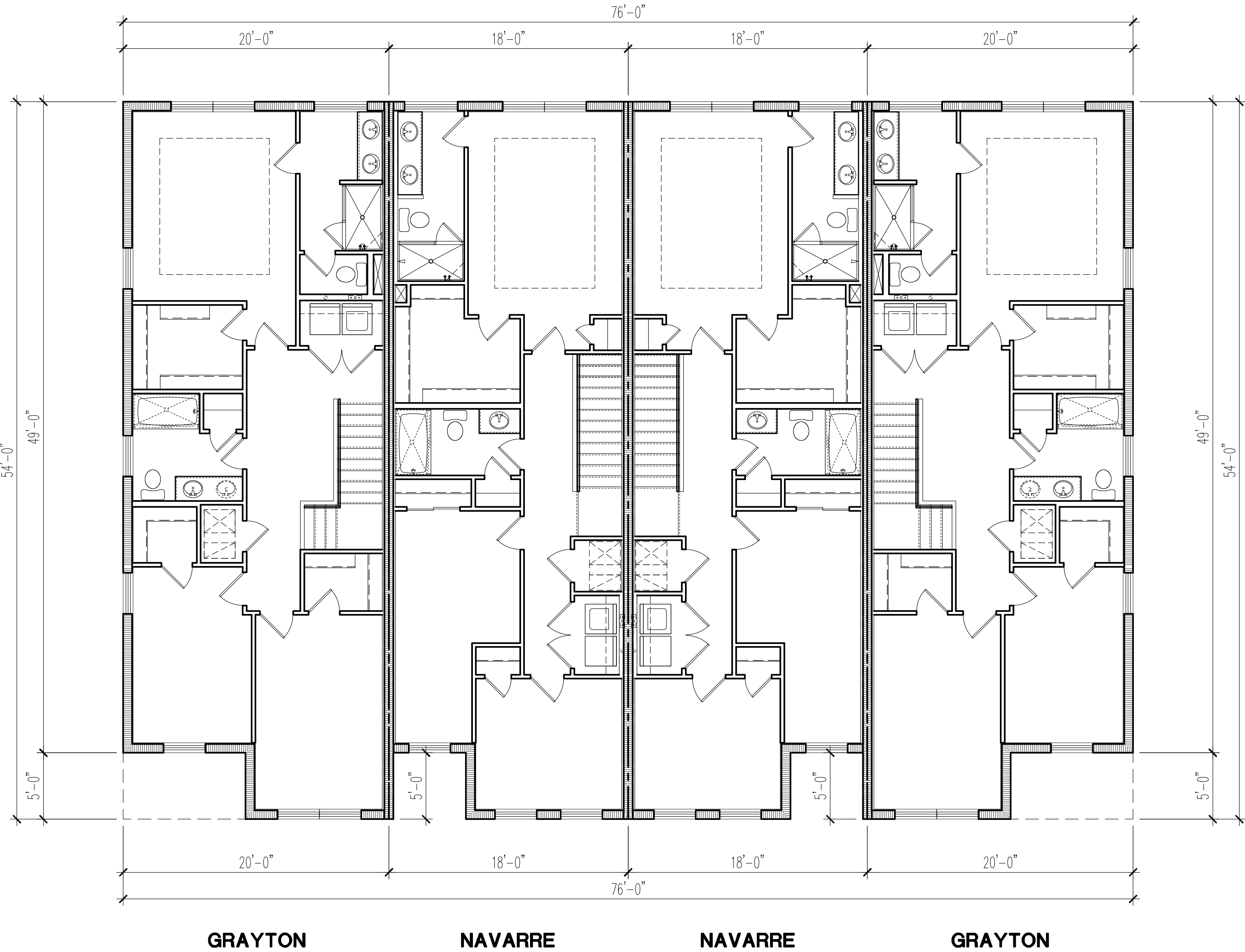
|                  |          |
|------------------|----------|
| GRATTON          | 2507.500 |
| LAWSON, BLAN, ID |          |

LEGACY PLAN NUMBER / NAME

SHEET

**B4.1-FM1A**









## SECOND FLOOR BUILDING PLAN

SCALE: 3/16"=1'-0"

## LEGEND SYMBOLS

 MASONRY - CONC. BLOCK OR BRICK WALL  
 WOOD FRAME WALL  
 2-HOUR FIRE RATED WALL - SEE DETAIL  
 ELEV. \_\_\_\_\_ ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING

NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS

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**SECOND FLOOR PLAN**

**BUILDING PLAN**

PRODUCTION MANAGER

CONTROL DATE: 2/20/17

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
|-------|--------------------|

PROJECT TYPE

SF ATTACHED

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER

PLAN NAME / NPC  
NAVARRE 2498.502

GRAYTON 2567.508

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET

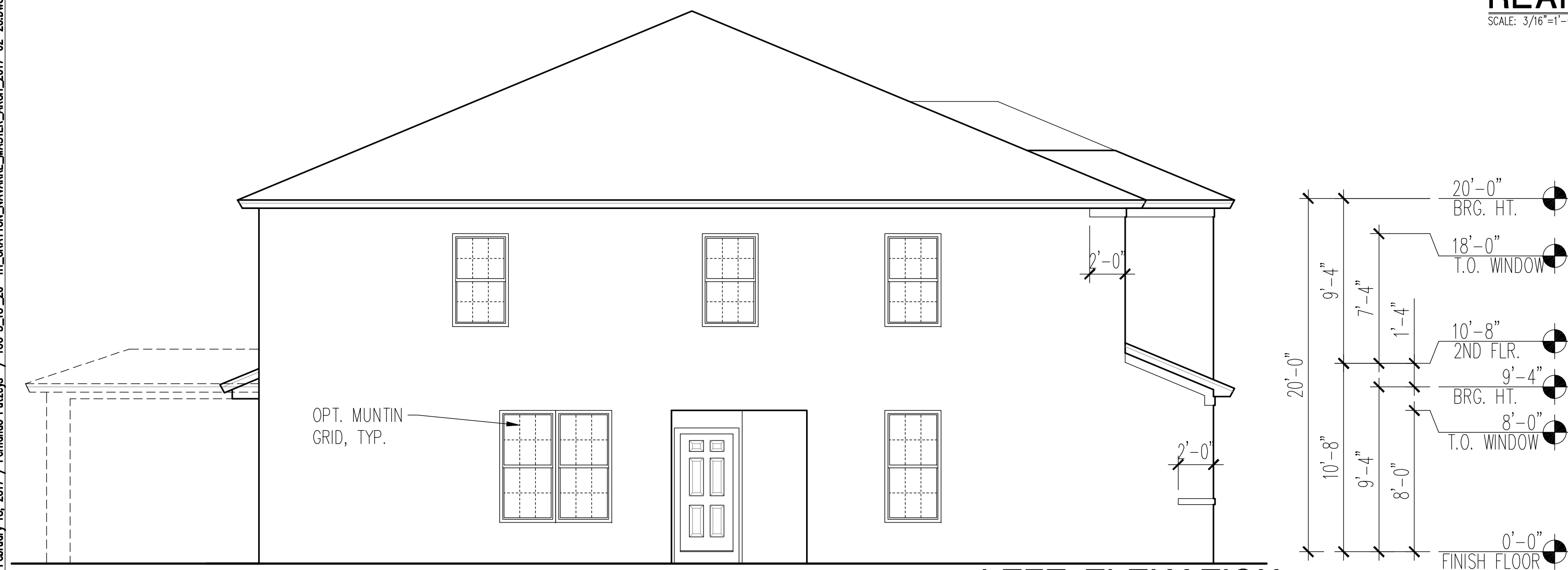
**B4.2-FM1A**



SCALE: 3/16"=1'-0"



SCALE:  $3/16"=1'-0"$



SCALE: 3/16"=1'-0"



SCALE:  $3/16"=1'-0"$

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ELEVATIONS - FM1A

[illegible]

PROJECT TYPE  
SF ATTACHED

|                                  |                              |
|----------------------------------|------------------------------|
| COMMUNITY NAME<br>_____<br>_____ | LAWSON COMMUNITY ID<br>_____ |
|----------------------------------|------------------------------|

#### GARAGE HANDING

VERSION NUMBER  
1.0

PLAN NAME / NPC  
**NAVARRE 2498.502**

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| GRAYTON | 2567.508 |
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LEGACY PLAN NUMBER / NAME

SHEET  
B4.3-FM1A

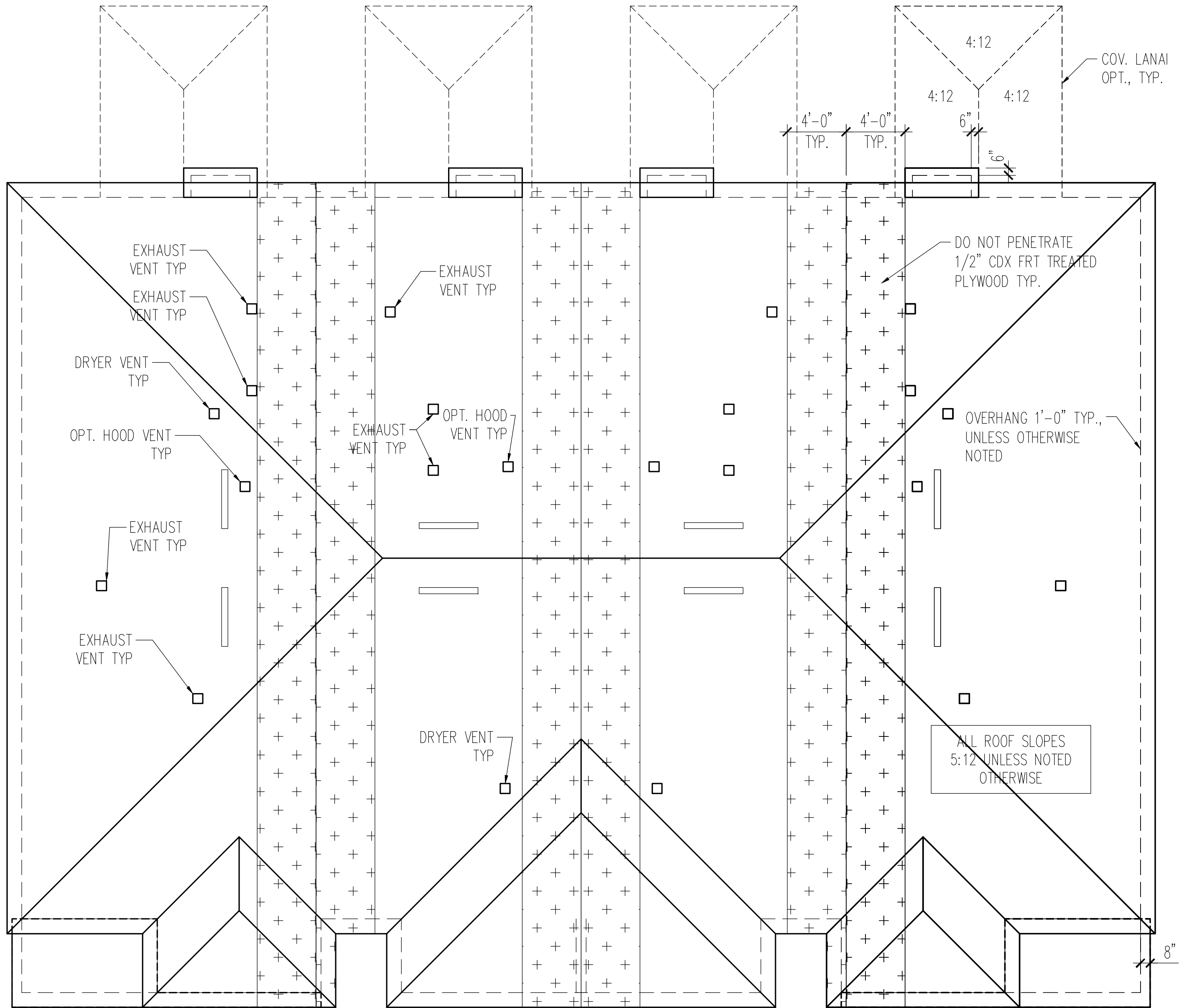


| ATTIC VENTILATION                                                                       |         |               |                                                                                      |         |          |  |
|-----------------------------------------------------------------------------------------|---------|---------------|--------------------------------------------------------------------------------------|---------|----------|--|
| ACTUAL ATTIC AREA<br>TOTAL                                                              |         |               | TOTAL FREE VENT<br>REQUIRED (AREA/ 300)                                              |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. |               | SQ. FT.                                                                              | SQ. IN. |          |  |
| 991                                                                                     | 142704  |               | 3.303                                                                                | 475.680 |          |  |
| ROOF VENTS<br>REQUIRED                                                                  |         |               | SOFFIT VENTS<br>REQUIRED (SI/10.0)                                                   |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. | # OF<br>VENTS | SQ. FT.                                                                              | SQ. IN. | LIN. FT. |  |
| 1.652                                                                                   | 237.840 | 2             | 1.652                                                                                | 237.840 | 24       |  |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT)           |         |               | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |  |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE<br>2014 FLORIDA RESIDENTIAL CODE. |         |               |                                                                                      |         |          |  |
| NOTE:<br>RIDGE VENTS MAY BE SUBSTITUTED PER CITY MUNICIPALITY                           |         |               |                                                                                      |         |          |  |

18' UNIT

| ATTIC VENTILATION                                                                       |         |               |                                                                                      |         |          |  |
|-----------------------------------------------------------------------------------------|---------|---------------|--------------------------------------------------------------------------------------|---------|----------|--|
| ACTUAL ATTIC AREA<br>TOTAL                                                              |         |               | TOTAL FREE VENT<br>REQUIRED (AREA/ 300)                                              |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. |               | SQ. FT.                                                                              | SQ. IN. |          |  |
| 1176                                                                                    | 169344  |               | 3.920                                                                                | 564.480 |          |  |
| ROOF VENTS<br>REQUIRED                                                                  |         |               | SOFFIT VENTS<br>REQUIRED (SI/10.0)                                                   |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. | # OF<br>VENTS | SQ. FT.                                                                              | SQ. IN. | LIN. FT. |  |
| 1.960                                                                                   | 282.240 | 2             | 1.960                                                                                | 282.240 | 28       |  |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT)           |         |               | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |  |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE<br>2014 FLORIDA RESIDENTIAL CODE. |         |               |                                                                                      |         |          |  |
| NOTE:<br>RIDGE VENTS MAY BE SUBSTITUTED PER CITY MUNICIPALITY                           |         |               |                                                                                      |         |          |  |

20' UNIT



GRAYTON

NAVARRE

NAVARRE

GRAYTON

ROOF VENT LOCATION PLAN

SCALE: 3/16"=1'-0"

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ROOF VENT LOCATION PLAN

PRODUCTION MANAGER

CONTROL DATE: 2/20/17

REV # | DATE / DESCRIPTION

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PROJECT TYPE

SF ATTACHED

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER

1.0

PLAN NAME / NPC

NAVARRE 2498.502

GRAYTON 2567.508

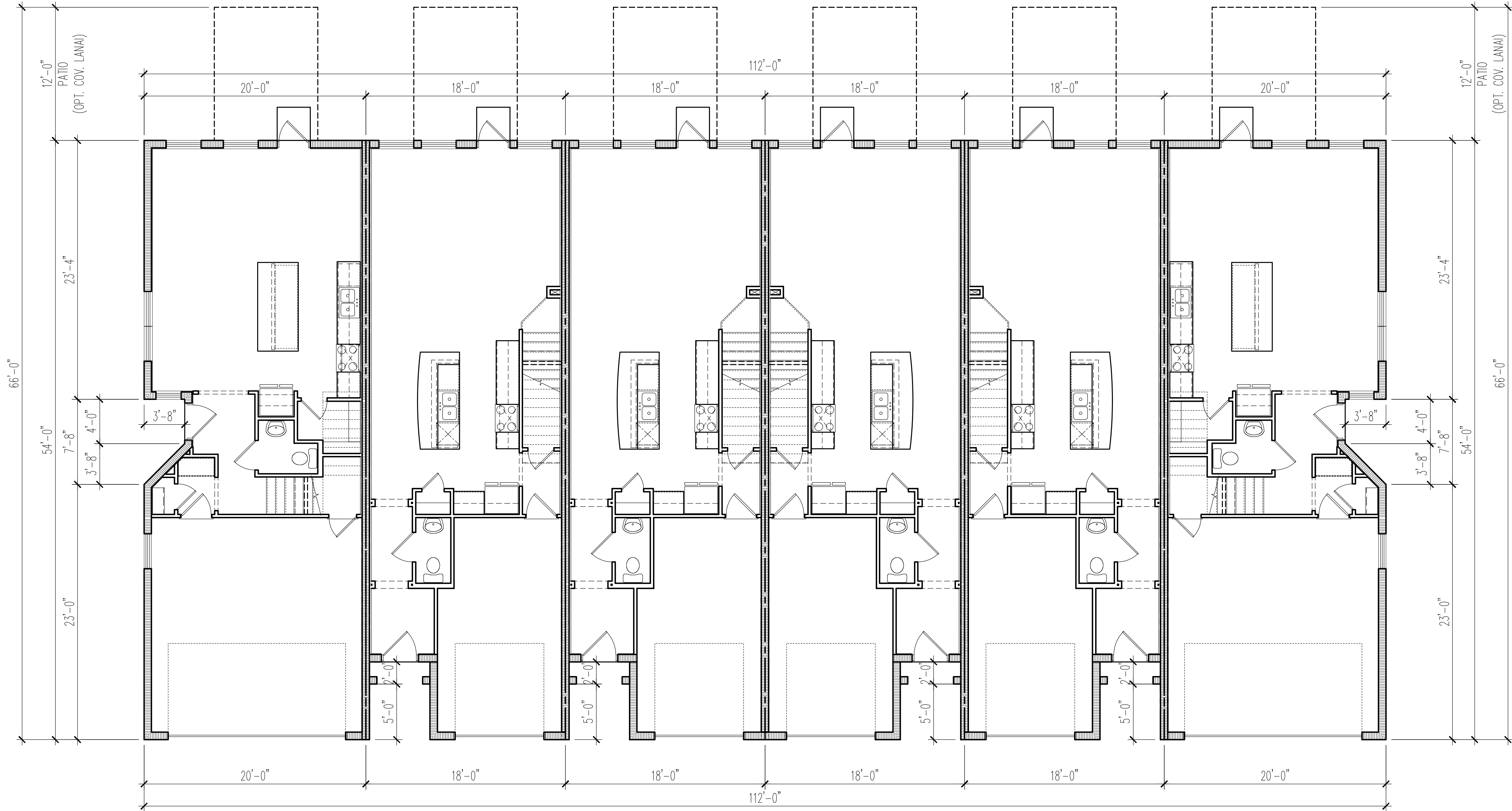
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET

B4.4-FM1A

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



GRAYTON

NAVARRE

NAVARRE

NAVARRE

NAVARRE

GRAYTON

FIRST FLOOR  
BUILDING PLAN

SCALE: 3/16"=1'-0"

LEGEND SYMBOLS

- MASONRY - CONC. BLOCK OR BRICK WALL
- WOOD FRAME WALL
- 2-HOUR FIRE RATED WALL - SEE DETAIL
- ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING  
NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS.

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Bonita Springs, Florida 34134 (239) 495-4800



FIRST FLOOR PLAN  
BUILDING PLAN

PRODUCTION MANAGER  
CONTROL DATE: 2/20/17  
REV # DATE / DESCRIPTION

PROJECT TYPE  
SF ATTACHED  
COMMUNITY NAME  
LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER  
1.0

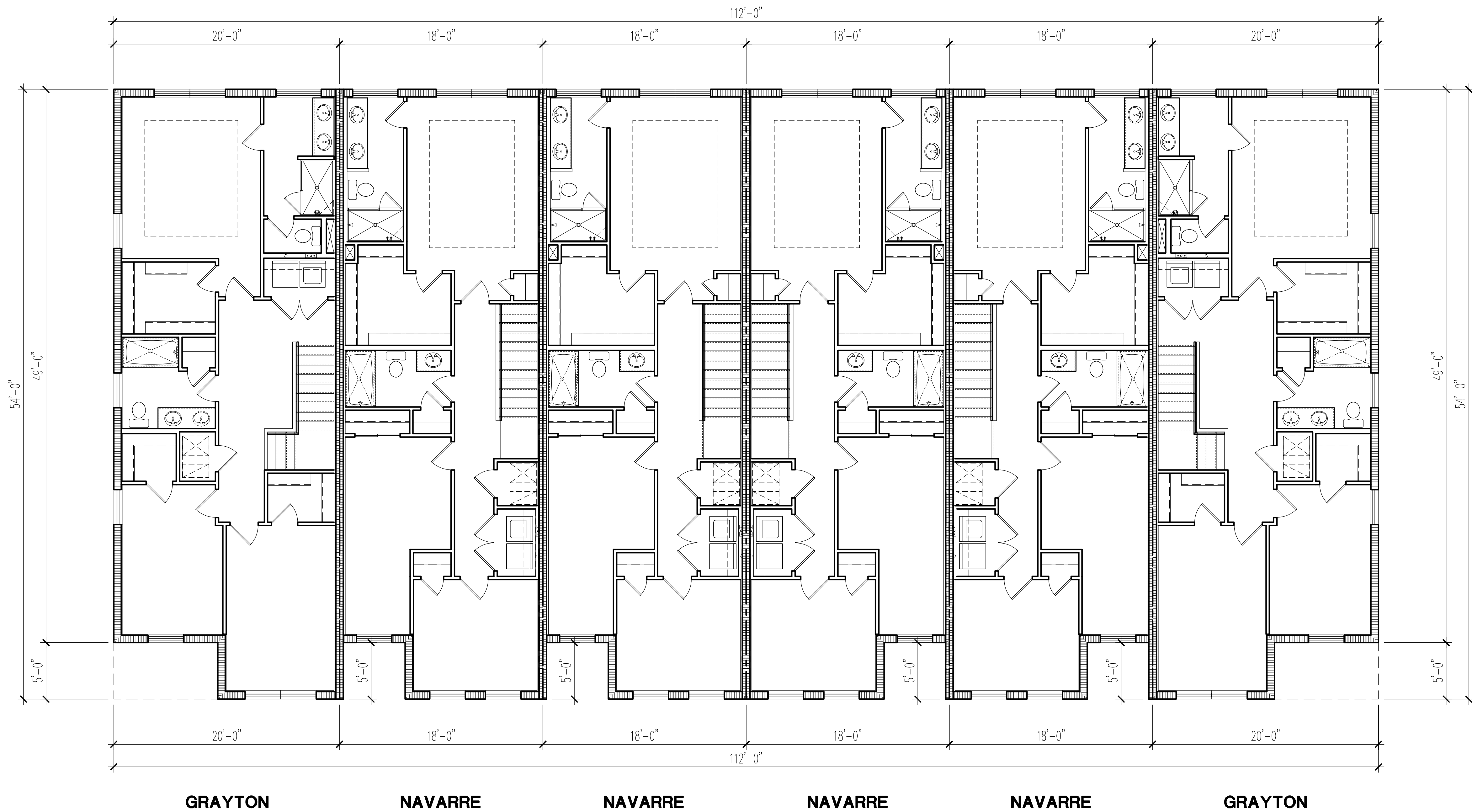
PLAN NAME / NPC  
NAVARRE 2498.502

GRAYTON 2567.508  
LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
B6.1-FM1A

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS





SECOND FLOOR  
BUILDING PLAN

SCALE: 3/16"=1'-0"

LEGEND SYMBOLS

- MASONRY - CONC. BLOCK OR BRICK WALL
- WOOD FRAME WALL
- 2-HOUR FIRE RATED WALL - SEE DETAIL
- ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING  
NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS.

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Bonita Springs, Florida 34134 (239) 495-4800



SECOND FLOOR PLAN  
BUILDING PLAN

PRODUCTION MANAGER  
CONTROL DATE: 2/20/17  
REV # DATE / DESCRIPTION

PROJECT TYPE  
SF ATTACHED

COMMUNITY NAME  
LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER  
1.0

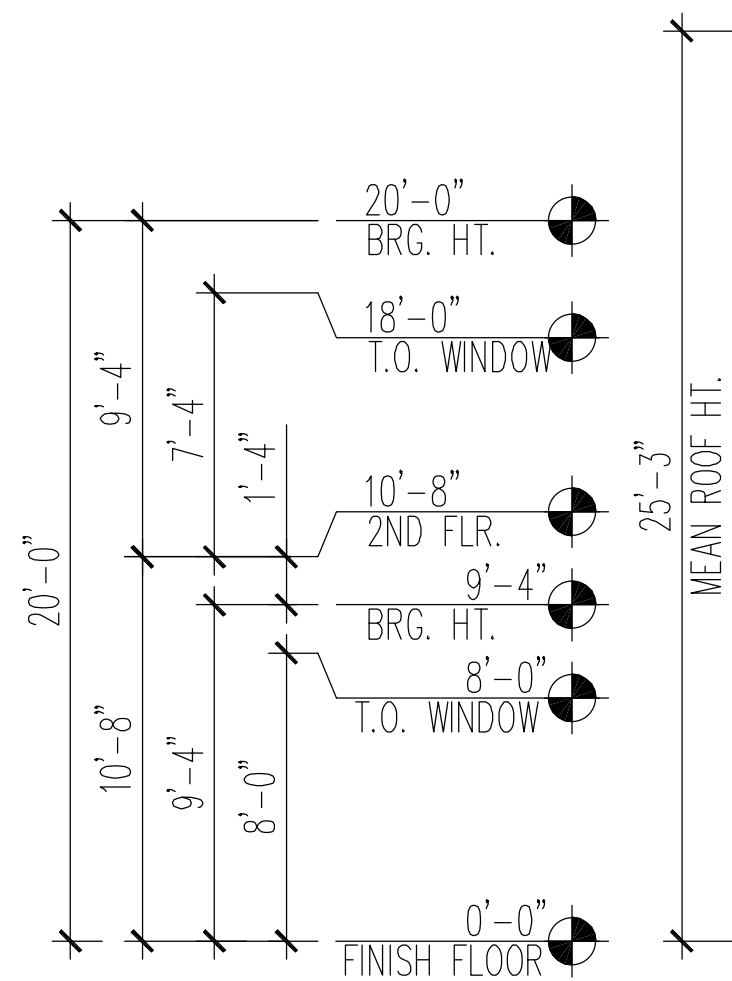
PLAN NAME / NPC  
NAVARRE 2498.502

GRAYTON 2567.508  
LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
B6.2-FM1A

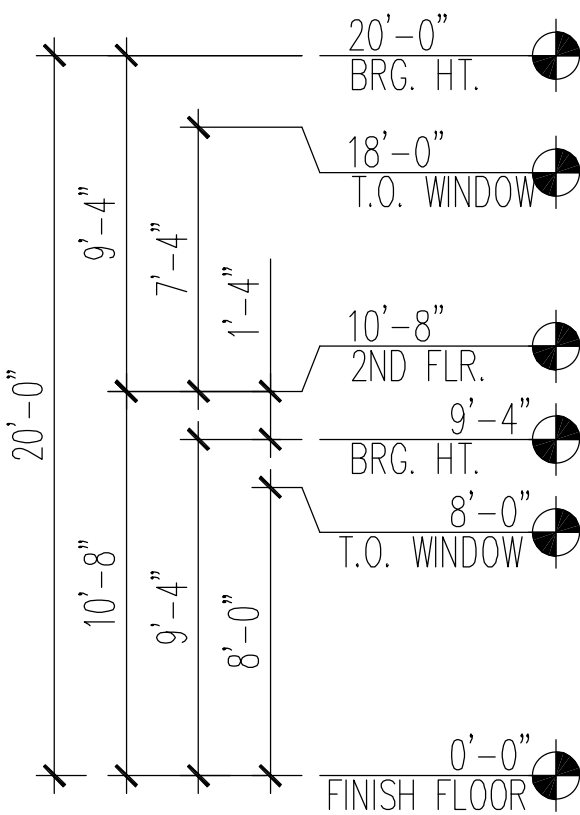
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PLOTTED: February 18, 2017 / Fernando Pultrone / T03 3,18'-20'-TH GRAYTON NAVARRE MASTER\_ARCH\_2017-02-20.DWG



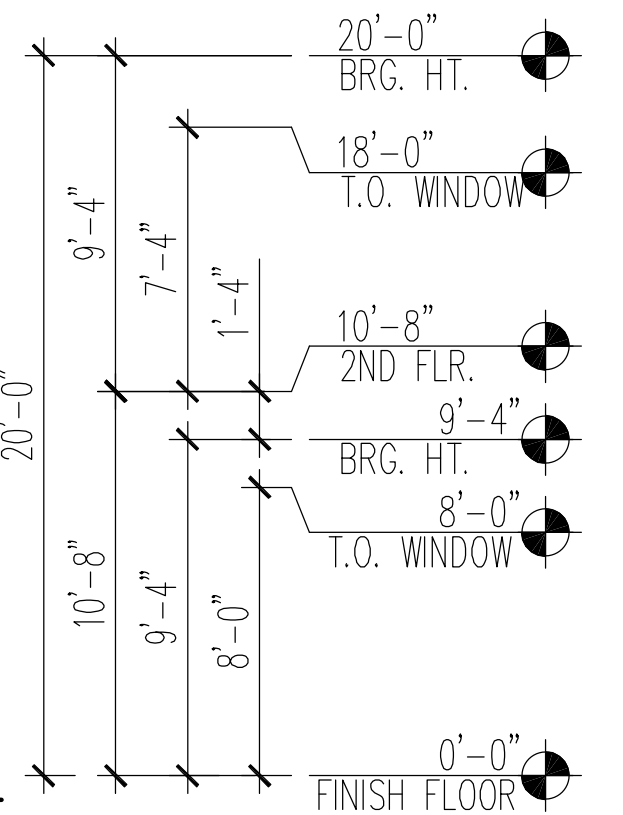
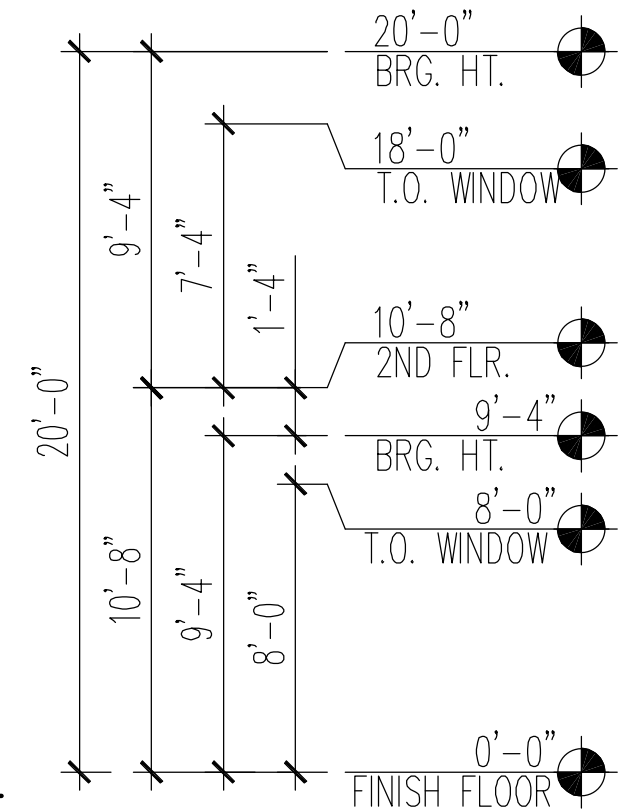
FRONT ELEVATION

SCALE: 3/16"=1'-0"



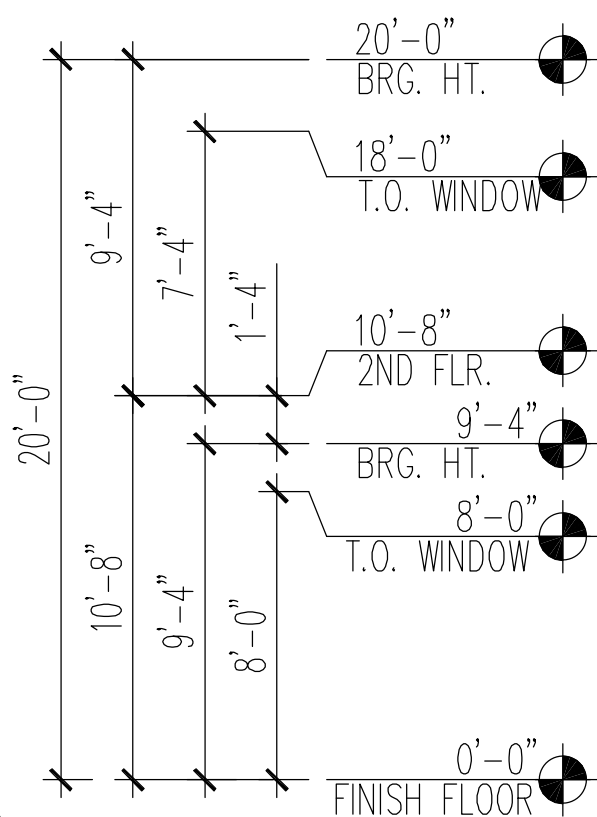
REAR ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



RIGHT ELEVATION

SCALE: 3/16"=1'-0"

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Bonita Springs, Florida 34134 (239) 495-4800



ELEVATIONS - FM1A

|                            |
|----------------------------|
| PRODUCTION MANAGER         |
| CONTROL DATE: 2/20/17      |
| REV # / DATE / DESCRIPTION |
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|                            |

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
\_\_\_\_\_  
LAWSON COMMUNITY ID  
\_\_\_\_\_

GARAGE HANDING  
\_\_\_\_\_

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**NAVARRE 2498.502**

**GRAYTON 2567.508**

LAWSON PLAN ID  
\_\_\_\_\_  
LEGACY PLAN NUMBER / NAME  
\_\_\_\_\_

SHEET  
**B6.3-FM1A**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



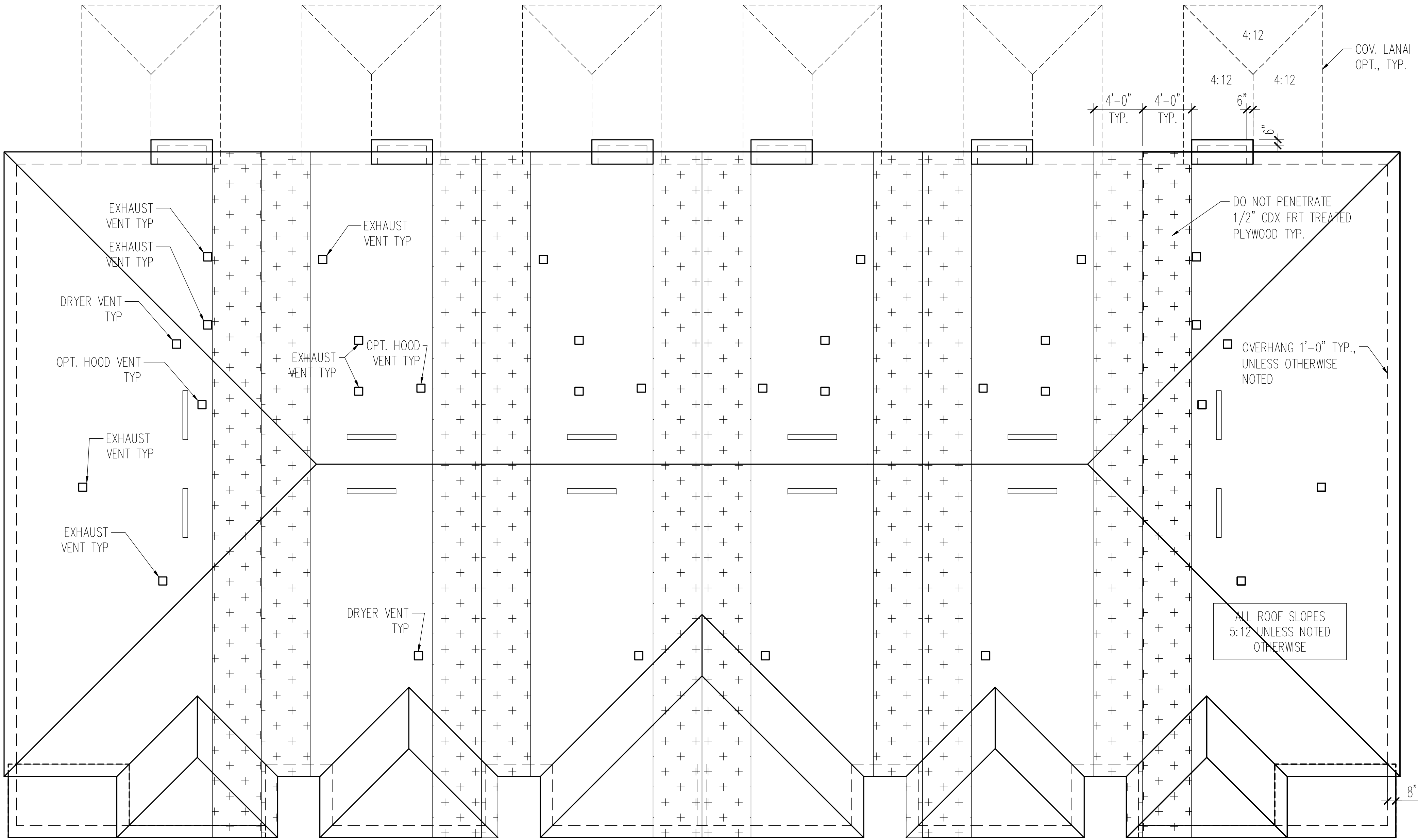
PLOTTED: February 18, 2017 / Fernando Pultrone / T03 3,18',20'-TH GRAYTON,NAVARRE\_MASTER\_ARCH\_2017-02-20.DWG

| ATTIC VENTILATION                                                                       |         |               |                                                                                      |         |          |  |
|-----------------------------------------------------------------------------------------|---------|---------------|--------------------------------------------------------------------------------------|---------|----------|--|
| ACTUAL ATTIC AREA<br>TOTAL                                                              |         |               | TOTAL FREE VENT<br>REQUIRED (AREA/ 300)                                              |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. |               | SQ. FT.                                                                              | SQ. IN. |          |  |
| 991                                                                                     | 142704  |               | 3.303                                                                                | 475.680 |          |  |
| ROOF VENTS<br>REQUIRED                                                                  |         |               | SOFFIT VENTS<br>REQUIRED (SI/10.0)                                                   |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. | # OF<br>VENTS | SQ. FT.                                                                              | SQ. IN. | LIN. FT. |  |
| 1.652                                                                                   | 237.840 | 2             | 1.652                                                                                | 237.840 | 24       |  |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT)           |         |               | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |  |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE<br>2014 FLORIDA RESIDENTIAL CODE. |         |               |                                                                                      |         |          |  |
| NOTE:<br>RIDGE VENTS MAY BE SUBSTITUTED PER CITY MUNICIPALITY                           |         |               |                                                                                      |         |          |  |

18' UNIT

| ATTIC VENTILATION                                                                       |         |               |                                                                                      |         |          |  |
|-----------------------------------------------------------------------------------------|---------|---------------|--------------------------------------------------------------------------------------|---------|----------|--|
| ACTUAL ATTIC AREA<br>TOTAL                                                              |         |               | TOTAL FREE VENT<br>REQUIRED (AREA/ 300)                                              |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. |               | SQ. FT.                                                                              | SQ. IN. |          |  |
| 1176                                                                                    | 169344  |               | 3.920                                                                                | 564.480 |          |  |
| ROOF VENTS<br>REQUIRED                                                                  |         |               | SOFFIT VENTS<br>REQUIRED (SI/10.0)                                                   |         |          |  |
| SQ. FT.                                                                                 | SQ. IN. | # OF<br>VENTS | SQ. FT.                                                                              | SQ. IN. | LIN. FT. |  |
| 1.960                                                                                   | 282.240 | 2             | 1.960                                                                                | 282.240 | 28       |  |
| ROOF TOP ATTIC VENT:<br>SERIES<br>144 = 1 SQ. FT./ VENT<br>(144 SQ. IN. VENT)           |         |               | SOFFIT VENT TYPE:<br>CONTINUOUS<br>SOFFIT VENT = 10.0 SQ. IN.<br>AREA PER LINEAR FT. |         |          |  |
| REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE<br>2014 FLORIDA RESIDENTIAL CODE. |         |               |                                                                                      |         |          |  |
| NOTE:<br>RIDGE VENTS MAY BE SUBSTITUTED PER CITY MUNICIPALITY                           |         |               |                                                                                      |         |          |  |

20' UNIT



GRAYTON

NAVARRE

NAVARRE

NAVARRE

NAVARRE

GRAYTON

ROOF VENT LOCATION PLAN

SCALE: 3/16"=1'-0"

(c) Copyright Pulte Home Corporation - 2014

FLORIDA ZONE

24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



ROOF VENT LOCATION PLAN

PRODUCTION MANAGER

CONTROL DATE: 2/20/17

REV # | DATE / DESCRIPTION

|  |  |  |
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PROJECT TYPE

SF ATTACHED

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER

1.0

PLAN NAME / NPC

NAVARRE 2498.502

GRAYTON 2567.508

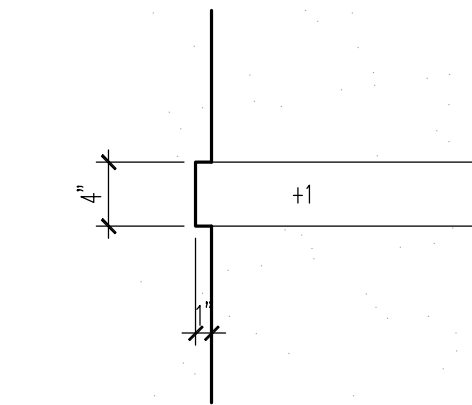
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

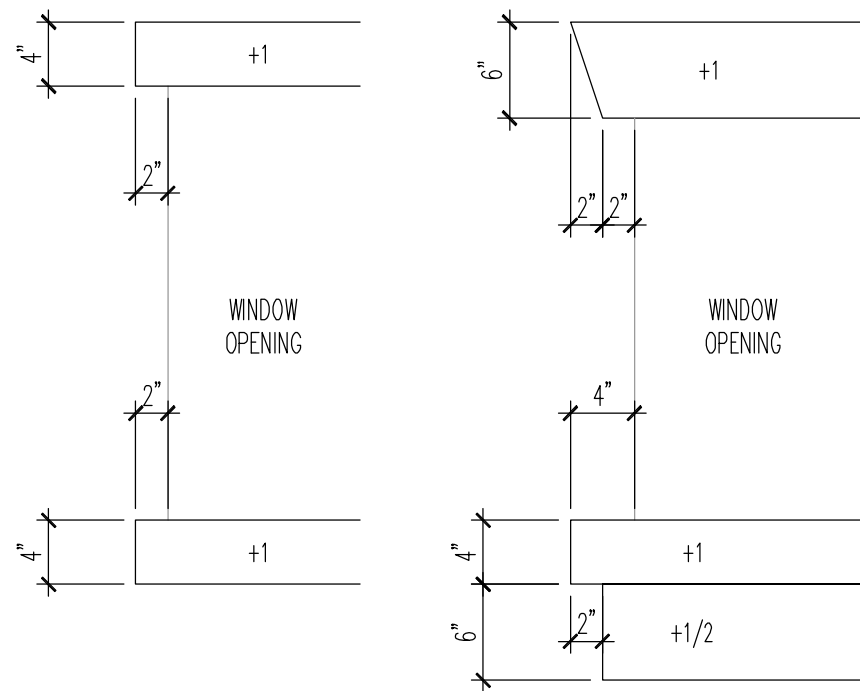
SHEET

B6.4-FM1A

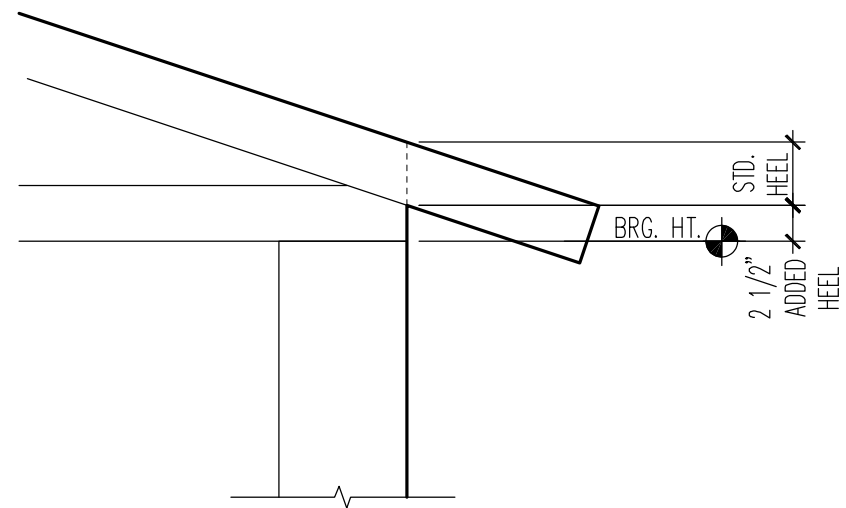
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



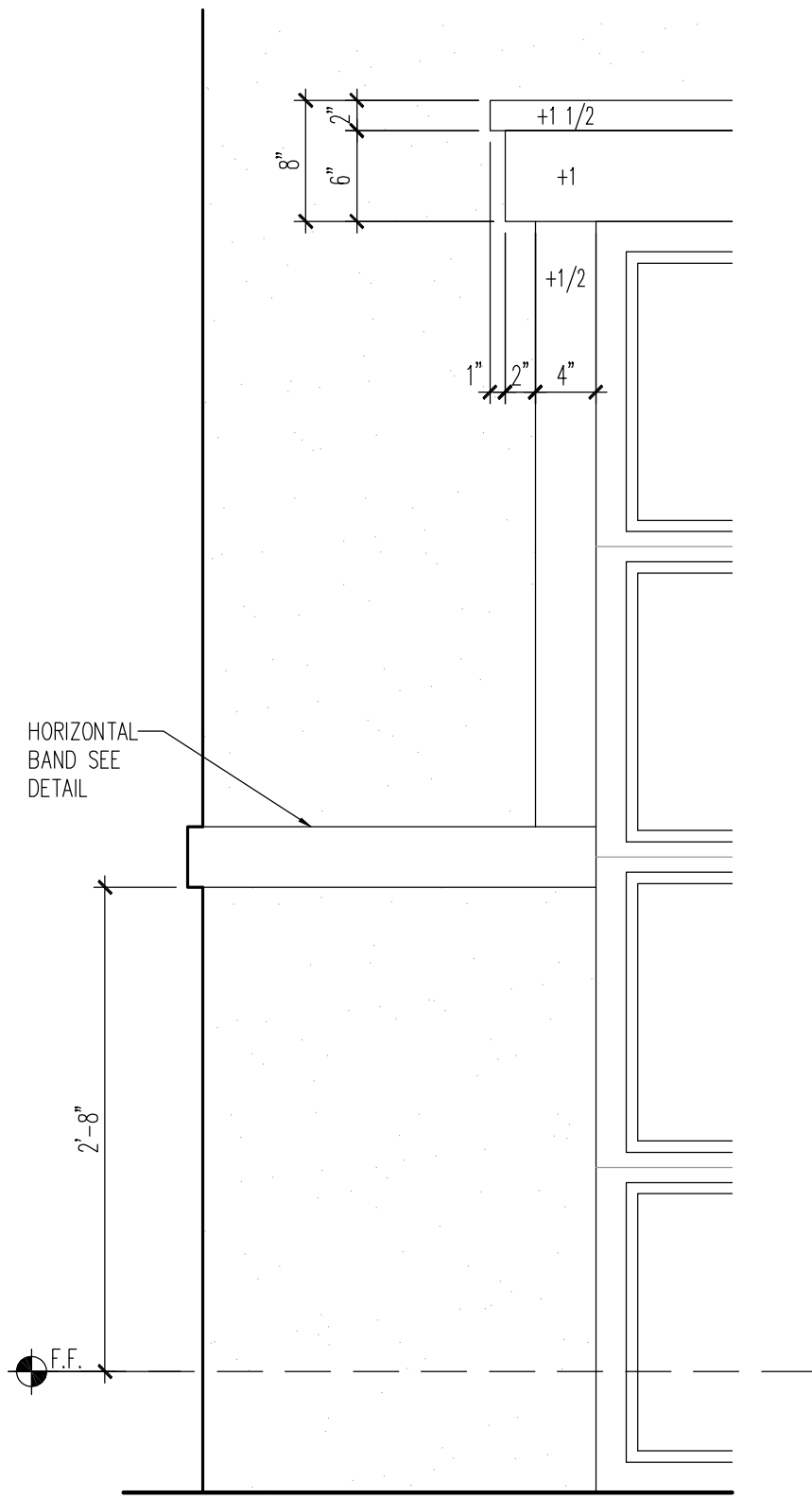
**H** HORIZONTAL BAND  
N.T.S.



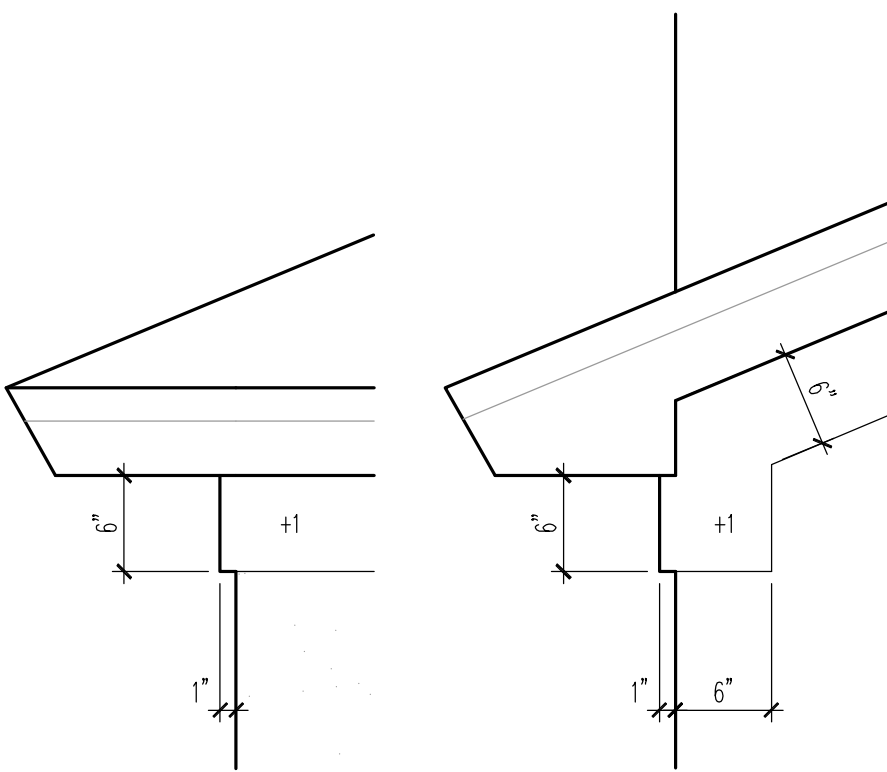
**F WINDOW BANDING**  
N.T.S.



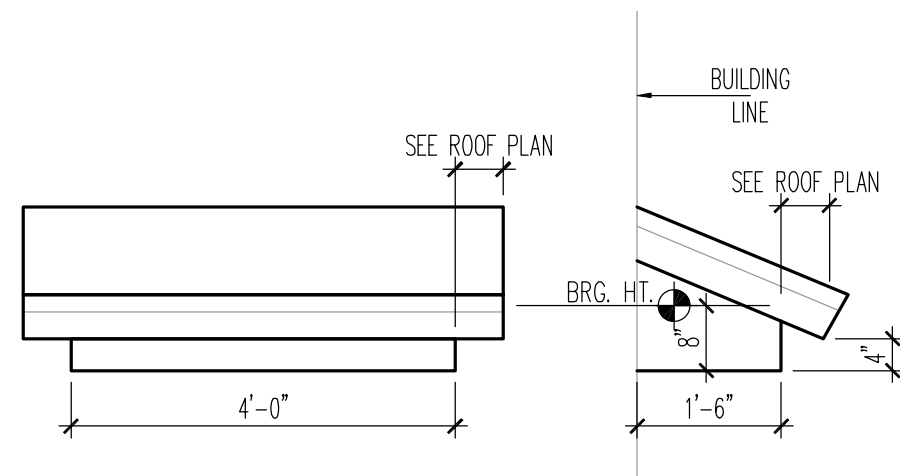
**C LANAI TRUSS HEEL**  
N.T.S.



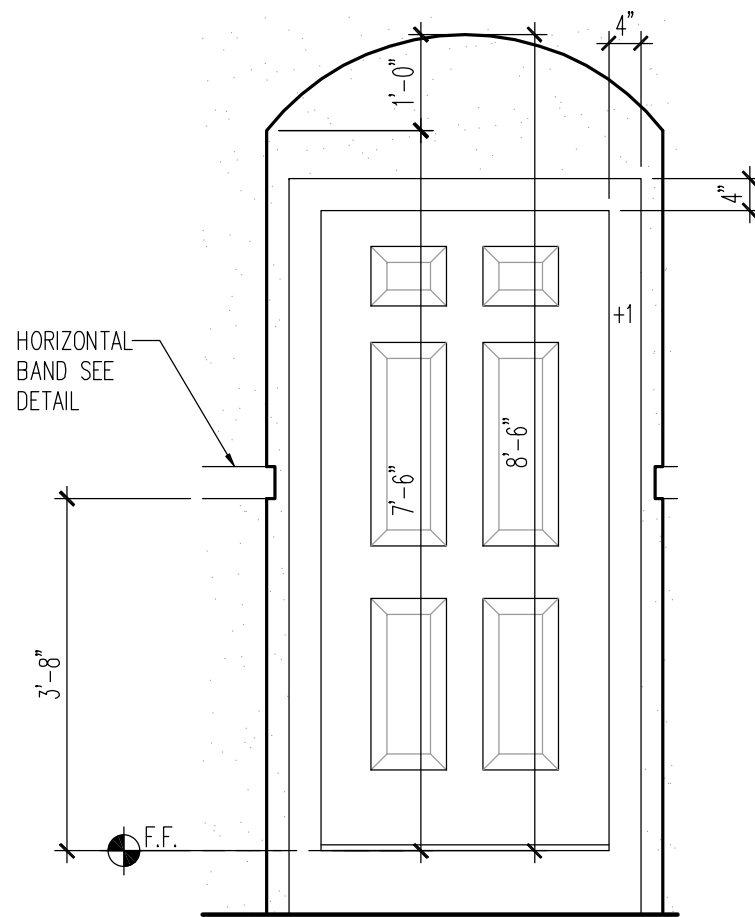
**G GARAGE BANDING**  
N.T.S.



**E FRIEZE BAND**



**B** **SUSPENDED ROOF**  
SCALE: 1/2" = 1'-0"



**D FRONT PORCH**  
SCALE: 1/2" = 1'-0"

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**FLORIDA ZONE**  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800

## DETAILS

[illegible]

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
\_\_\_\_\_  
\_\_\_\_\_

LAWSON COMMUNITY ID

#### GARAGE HANDING

VERSION NUMBER  
1.0

PLAN NAME / NPC  
**NAVARRE 2498.502**

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|         |          |
|---------|----------|
| GRAYTON | 2567.508 |
|---------|----------|

LEGACY PLAN NUMBER / NAME

SHEET  
D1-FM1A

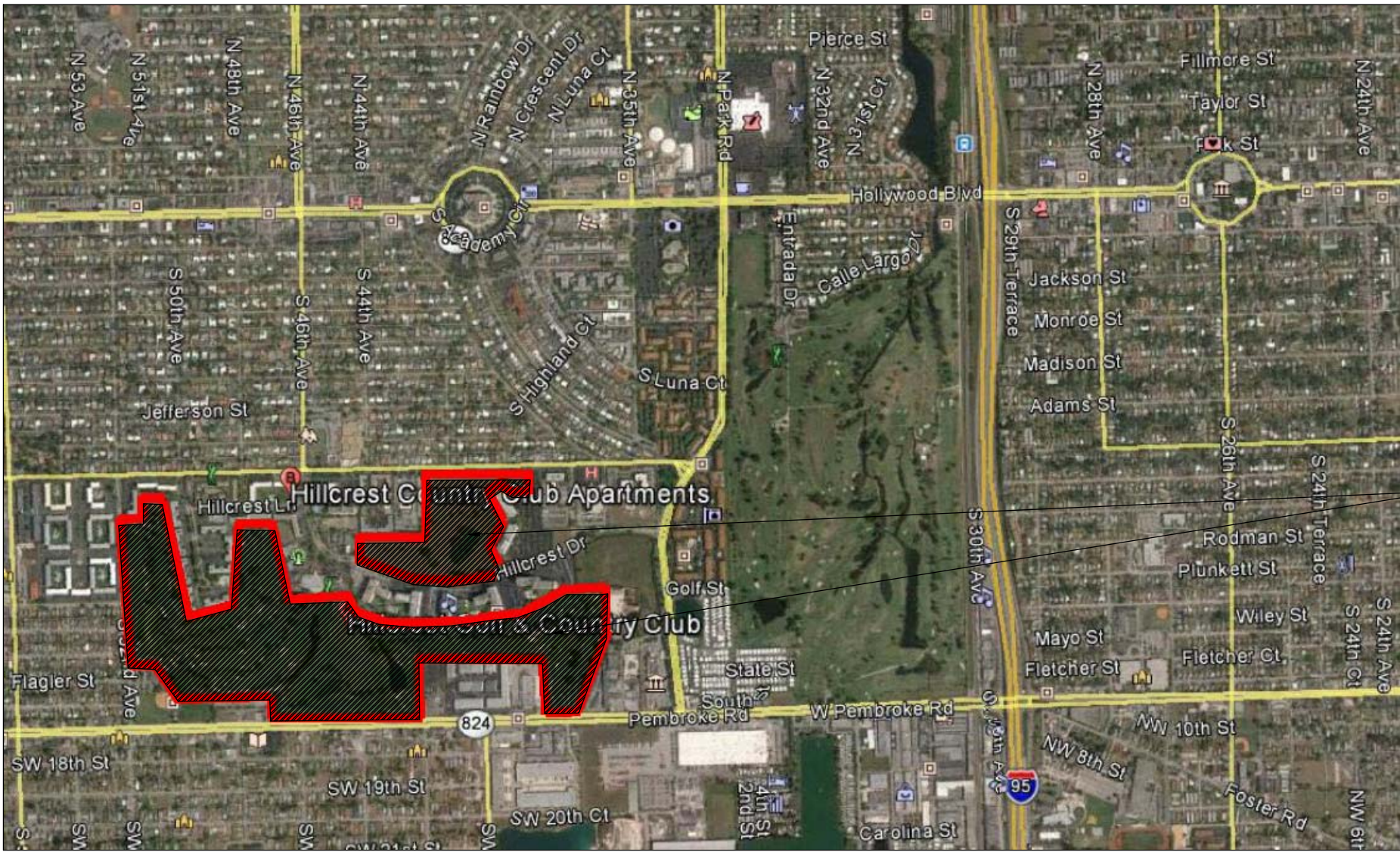


LEGAL DESCRIPTION:  
PHASE 1 NORTH PLAT (FORMER EXECUTIVE GOLF COURSE):  
ALL OF THE HILLCREST COUNTRY CLUB NORTH PLAT AS RECORDED IN PLAT BOOK 183, PAGES 16 - 24.  
PHASE 2 SOUTH PLAT (FORMER 18 HOLE GOLF COURSE):  
ALL OF THE HILLCREST COUNTRY CLUB SOUTH PLAT AS RECORDED IN PLAT BOOK \_\_\_, PAGES \_\_\_\_\_.



SITE DEVELOPMENT PLANS  
HILLCREST COUNTRY CLUB  
REDEVELOPMENT  
4600 HILLCREST DRIVE  
HOLLYWOOD, FL. 33021

LOCATED IN SECTION 19 & 20, TOWNSHIP 51 SOUTH,  
RANGE 42 EAST, BROWARD COUNTY, HOLLYWOOD, FLORIDA



LOCATION MAP

**PROPERTY OWNER INFORMATION:**  
PULTE GROUP  
4400 PGA BOULEVARD, SUITE 700  
PALM BEACH GARDENS, FL. 33410  
  
**LAND PLANNER/SITE PLANNER:**  
DESIGN AND ENTITLEMENT CONSULTANTS, LLC  
1402 ROYAL PALM BEACH BOULEVARD, SUITE 102  
ROYAL PALM BEACH, FL. 33411

**LANDSCAPE ARCHITECT**  
PARKER YANNETTE DESIGN GROUP  
825 U.S. HIGHWAY 1, SUITE 330  
JUPITER, FL. 33477

**ENGINEER OF RECORD & TRAFFIC CONSULTANT:**  
KIMLY HORN AND ASSOCIATES  
800 NORTH PINE ISLAND ROAD, SUITE 450  
PLANTATION, FL. 33324

**ARCHITECT:**  
PULTE GROUP ARCHITECTS  
24311 WALDEN CENTER DRIVE, SUITE 300  
BONITA SPRINGS, FL. 34134

**SURVEYOR:**  
CAUFIELD & WHEELER  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FL. 33434

**ENVIRONMENTAL:**  
EW CONSULTANTS  
601 HERITAGE DRIVE, SUITE 108  
JUPITER, FL. 33458

**SOIL REMEDIATION:**  
AYDEN ENVIRONMENTAL  
131 WEST SOUTH STREET  
SMYRNA, DE 19977

**LAND USE ATTORNEY:**  
GRAY ROBINSON  
33 S.E. 2ND AVENUE, SUITE 3200  
MIAMI, FL. 33131

| SHEET KEY                     |                                |
|-------------------------------|--------------------------------|
| COVER SHEET                   | PAGE 1                         |
| PLAT                          | PAGES 2 - 28 (27 SHTS.)        |
| SITE PLANS                    | PAGES SP1 - SP13 (13 SHTS.)    |
| LANDSCAPE PLANS               | PAGES L-1 - L-38 (28 SHTS.)    |
| PRELIMINARY ENGINEERING PLANS | PAGES C-001 - C-404 (31 SHTS.) |
| TOTAL SHEETS = 100 SHEETS     |                                |

PRE-APP / PACO DATE: SEPTEMBER 5, 2017  
T.A.C. DATE: \_\_\_\_\_  
FINAL T.A.C. DATE: \_\_\_\_\_

PLANNING & ADVISORY BOARD MEETING DATE: \_\_\_\_\_  
CITY COMMISSION MEETING 1ST READING DATE: \_\_\_\_\_  
CITY COMMISSION MEETING 2ND READING DATE: \_\_\_\_\_

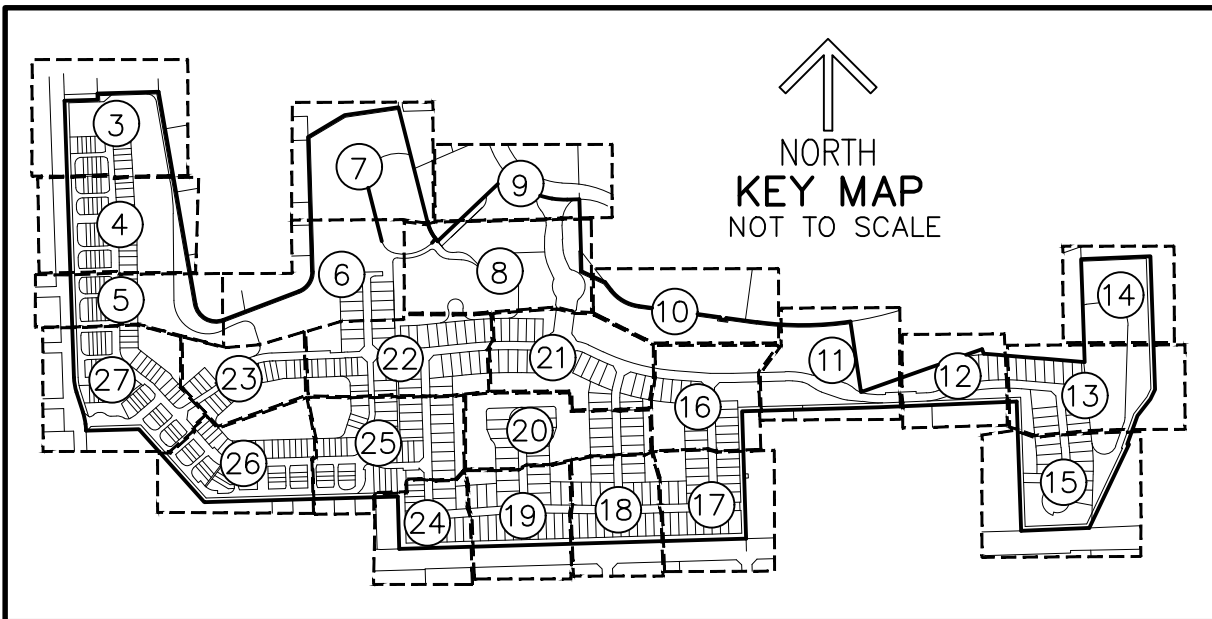
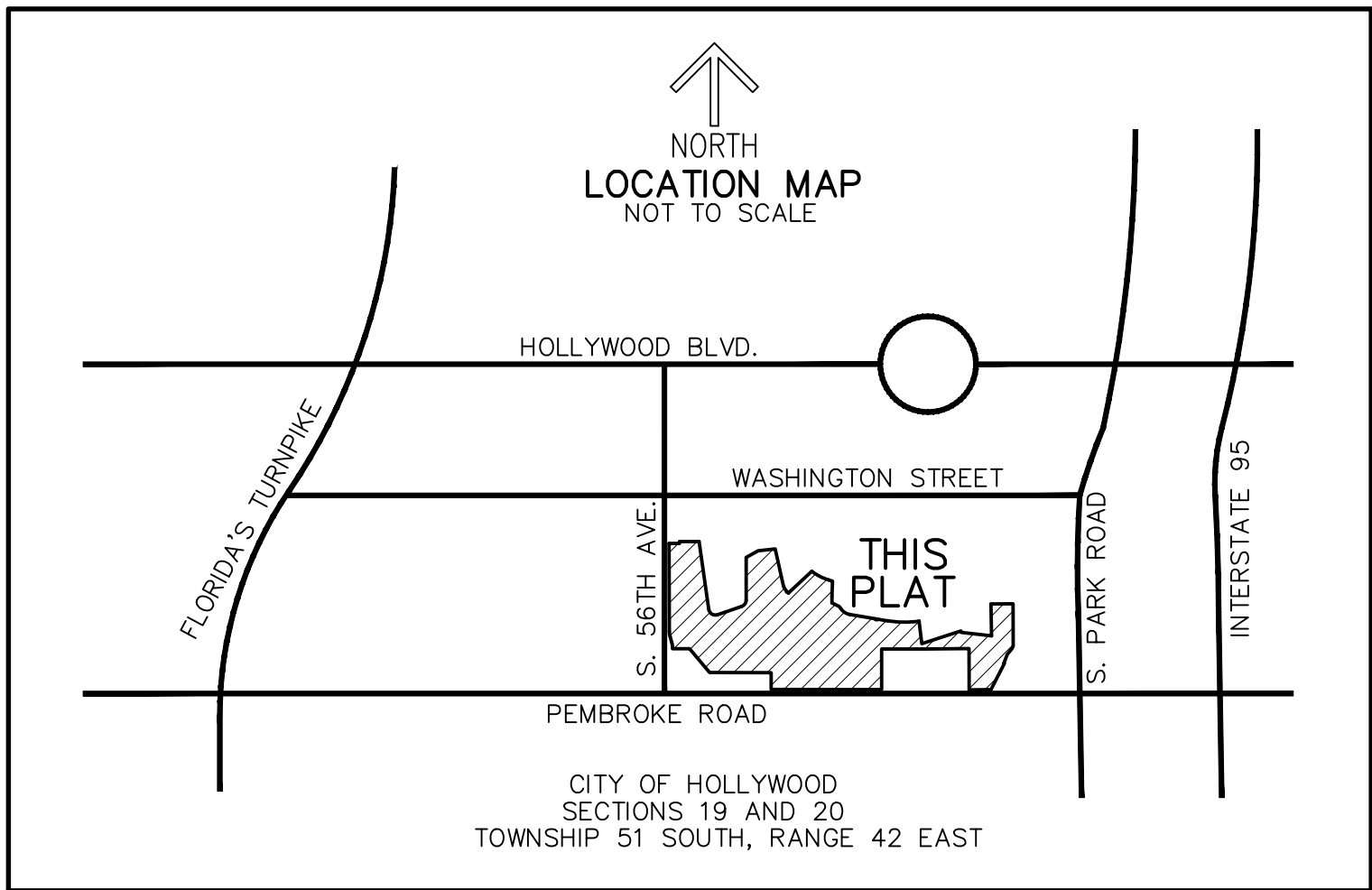
ENGINEER: KINAN HUSAINY, P.E.  
LICENSE No. \_\_\_\_\_



# HILLCREST COUNTRY CLUB SOUTH

BEING A REPLAT OF ALL OF PARCEL A, HILLWOOD SECTION ONE,  
AS RECORDED IN PLAT BOOK 60, PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA,  
TOGETHER WITH A PORTION OF SECTIONS 19 AND 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST,  
LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
SHEET 1 OF 27



THIS INSTRUMENT PREPARED BY  
DAVID P. LINDLEY  
OF  
**CAULFIELD and WHEELER, INC.**  
SURVEYORS — ENGINEERS — PLANNERS  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434  
OFFICE (561)392-1991 FAX (561)750-1452  
CERTIFICATE OF AUTHORIZATION NO. LB 3591

## DEDICATION

STATE OF FLORIDA ) SS  
COUNTY OF BROWARD)

KNOW ALL MEN BY THESE PRESENTS THAT PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, OWNER OF THE LANDS SHOWN AND DESCRIBED HEREON, HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED, AS SHOWN HEREON, SAID PLAT TO BE KNOWN AS HILLCREST COUNTRY CLUB SOUTH, AND DOES HEREBY DEDICATE AS FOLLOWS:

TRACTS OS-1 THROUGH OS-25 AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS FOR OPEN SPACE, LANDSCAPE AND DRAINAGE PURPOSES.

TRACT R AS SHOWN HEREON IS HEREBY DEDICATED TO PRESENT OWNERS, THEIR HEIRS, SUCCESSORS, ASSIGNS, INVITEES, TENANTS, LICENSEES, AND NOT THE PUBLIC AS A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS, UTILITIES AND PRIVATE ROAD PURPOSES. AMENDMENT OR ABANDONMENT OF TRACT R OR ANY PORTION THEREOF SHALL REQUIRE APPROVAL BY A MAJORITY OF OWNERS, APPROVAL BY THE CITY OF HOLLYWOOD, AND SHALL BE EVIDENCED BY RECORDATION OF AN APPROPRIATE DOCUMENT.

THE FOREGOING DEDICATION IS SUBJECT TO A PERMANENT NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, AND ACCESS PURPOSES OVER TRACT R TO THE CITY OF HOLLYWOOD FOR EMERGENCY VEHICLES AND SERVICE AND THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY FACILITIES AND CABLE TELEVISION SERVICES.

THE BUS STOP EASEMENT AS SHOWN HEREON IS DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

THE ADDITIONAL RIGHT-OF-WAY AS SHOWN HEREON IS DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

PARCELS A AND B AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PRESENT OWNERS, THEIR HEIRS, SUCCESSORS, AND ASSIGNS FOR FUTURE DEVELOPMENT PURPOSES CONSISTENT WITH THE ZONING REGULATIONS OF THE CITY OF HOLLYWOOD, FLORIDA.

TRACT REC AS SHOWN HEREON IS HEREBY DEDICATED TO THE PRESENT OWNERS, THEIR HEIRS, SUCCESSORS, ASSIGNS, INVITEES, TENANTS, AND LICENSEES FOR RECREATION AREA.

TRACTS W-1 THROUGH W-6 AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS FOR DRAINAGE AND MAINTENANCE PURPOSES.

LAKE MAINTENANCE EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PRESENT OWNERS, THEIR HEIRS, SUCCESSORS, AND ASSIGNS FOR DRAINAGE AND MAINTENANCE PURPOSES.

THE DRAINAGE EASEMENTS AS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS FOR DRAINAGE PURPOSES.

UTILITY EASEMENTS (UE'S) AS SHOWN HEREON ARE DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

IN WITNESS WHEREOF, THE ABOVE NAMED PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS DIVISION PRESIDENT, AND ITS CORPORATE SEAL TO BE AFFIXED HERETO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_.

PULTE HOME COMPANY, LLC  
A MICHIGAN LIMITED LIABILITY COMPANY

WITNESS: \_\_\_\_\_  
PRINT NAME

BY: BRENT BAKER  
DIVISION PRESIDENT

WITNESS: \_\_\_\_\_  
PRINT NAME

## ACKNOWLEDGMENT

STATE OF FLORIDA) SS  
COUNTY OF BROWARD)

BEFORE ME PERSONALLY APPEARED BRENT BAKER WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED \_\_\_\_\_ AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS DIVISION PRESIDENT OF PULTE HOME COMPANY, A MICHIGAN LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO AND BEFORE ME, THAT HE EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID COMPANY, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID COMPANY AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR COMPANY AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID COMPANY.

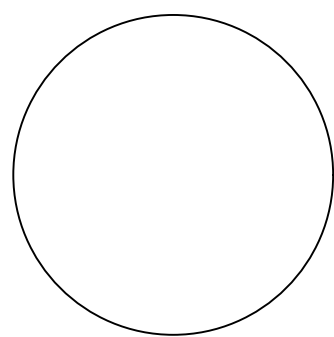
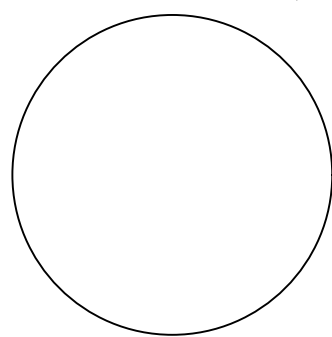
WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_.

MY COMMISSION EXPIRES: \_\_\_\_\_  
NOTARY PUBLIC

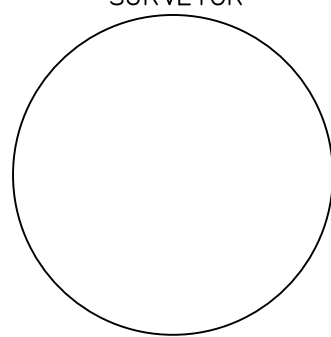
COMMISSION NUMBER: \_\_\_\_\_  
PRINT NAME

PULTE HOME COMPANY, LLC  
NOTARY

PULTE HOME COMPANY, LLC



SURVEYOR



## DESCRIPTION

ALL OF PARCEL A, HILLWOOD SECTION ONE, AS RECORDED IN PLAT BOOK 60, PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF SECTIONS 19 AND 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE S.88°16'34"W. ALONG THE NORTH LINE OF SAID SECTION 19, A DISTANCE OF 2606.62 FEET TO THE NORTH QUARTER CORNER OF SAID SECTION 19; THENCE CONTINUE S.88°16'34"W. ALONG THE NORTH LINE OF SAID SECTION 19, A DISTANCE OF 1267.96 FEET; THENCE S.01°57'14"E. ALONG A LINE 35.00 FEET EAST OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE EAST LINE OF GOVERNMENT LOTS 1 AND 2 OF SAID SECTION 19, AS SHOWN ON SAID HILLWOOD SECTION ONE, A DISTANCE OF 430.00 FEET TO THE POINT OF BEGINNING; THENCE N.88°16'34"E. A DISTANCE OF 160.00 FEET; THENCE N.01°57'14"W. A DISTANCE OF 30.00 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF BLOCK 1, HILLWOOD SECTION ONE, AS RECORDED IN PLAT BOOK 60, PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE N.88°16'34"E. ALONG SAID SOUTH LINE, A DISTANCE OF 295.00 FEET; THENCE S.09°52'13"E. ALONG THE WEST LINE OF SAID HILLWOOD SECTION ONE, AND HILLWOOD SECTION TWO, AS RECORDED IN PLAT BOOK 64, PAGE 27 OF SAID PUBLIC RECORDS, A DISTANCE OF 1,040.60 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 100.00 FEET AND A CENTRAL ANGLE OF 100°54'41"; THENCE SOUTHEASTERLY ALONG THE ARC OF THE SOUTH LINE OF SAID HILLWOOD SECTION TWO, A DISTANCE OF 176.12 FEET; THENCE N.69°13'06"E. ALONG THE SOUTH LINE OF SAID HILLWOOD SECTION TWO, A DISTANCE OF 389.52 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 100.00 FEET AND A CENTRAL ANGLE OF 70°56'32"; THENCE NORTHEASTERLY ALONG THE ARC OF THE SOUTH LINE OF SAID HILLWOOD SECTION TWO, A DISTANCE OF 123.82 FEET; THENCE N.01°43'26"W. ALONG THE EAST LINE OF SAID HILLWOOD SECTION TWO, A DISTANCE OF 648.75 FEET; THENCE N.59°13'18"E. ALONG THE SOUTH LINE OF SAID HILLWOOD SECTION ONE, A DISTANCE OF 205.91 FEET; THENCE N.81°41'39"E. ALONG THE SOUTH LINE OF SAID HILLWOOD SECTION ONE, A DISTANCE OF 261.73 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF HILLWOOD SECTION THREE, AS RECORDED IN PLAT BOOK 69, PAGE 10 OF SAID PUBLIC RECORDS; THENCE S.14°15'10"E. ALONG SAID WEST LINE, A DISTANCE OF 577.13 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 29°15'49"; THENCE SOUTHEASTERLY ALONG THE ARC OF THE SOUTH LINE OF SAID HILLWOOD SECTION THREE, A DISTANCE OF 102.15 FEET TO THE SOUTHWEST CORNER OF PARCEL A OF SAID HILLWOOD SECTION ONE; THENCE N.46°29'05"E. ALONG THE WEST LINE OF SAID PARCEL A, A DISTANCE OF 465.24 FEET TO THE NORTHWEST CORNER OF SAID PARCEL A, AND A POINT OF CURVATURE OF A NON TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.46°29'05"E., A RADIAL DISTANCE OF 380.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF THE NORTH LINE OF SAID PARCEL A LINE, THROUGH A CENTRAL ANGLE OF 48°12'30", A DISTANCE OF 319.73 FEET; THENCE N.88°16'34"E. ALONG THE NORTH LINE OF SAID PARCEL A, A DISTANCE OF 58.50 FEET TO THE NORTHEAST CORNER OF SAID PARCEL A; THENCE S.01°43'26"E ALONG THE EAST LINE OF SAID PARCEL A, A DISTANCE OF 250.00 TO THE SOUTHEAST CORNER OF SAID PARCEL A; THENCE CONTINUE S.01°43'26"E., A DISTANCE OF 98.02 FEET; THENCE S.65°19'17"E., A DISTANCE OF 125.04 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF BLOCK 8 OF SAID HILLWOOD SECTION THREE; THENCE S.37°49'17"E. ALONG SAID SOUTH LINE, A DISTANCE OF 49.57 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 200.92 FEET AND A CENTRAL ANGLE OF 44°24'09"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID SOUTH LINE A DISTANCE OF 155.71 FEET; THENCE S.82°13'26"E. ALONG SAID SOUTH LINE, A DISTANCE OF 396.77 FEET; THENCE S.07°46'34"W., A DISTANCE OF 10.00 FEET; THENCE S.82°13'26"E., A DISTANCE OF 30.00 FEET; THENCE N.07°46'34"E., A DISTANCE OF 10.00 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF SAID BLOCK 8; THENCE S.82°13'26"E. ALONG SAID SOUTH LINE, A DISTANCE OF 150.08 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 1,600.00 FEET AND A CENTRAL ANGLE OF 16°12'22"; THENCE EASTERLY ALONG THE ARC OF THE SOUTH LINE OF SAID BLOCK 8, A DISTANCE OF 452.56 FEET; THENCE S.08°25'48"E., A DISTANCE OF 343.51 FEET; THENCE N.70°31'23"E., A DISTANCE OF 620.36 FEET; THENCE S.19°28'12"E., A DISTANCE OF 22.64 FEET; THENCE S.85°09'59"E., A DISTANCE OF 489.36 FEET; THENCE N.01°58'37"W., A DISTANCE OF 497.86 FEET TO THE SOUTHWEST CORNER OF THE EAST ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 20; THENCE N.87°42'53"E., A DISTANCE OF 334.55 FEET; THENCE S.01°59'20"E., A DISTANCE OF 643.59 FEET; THENCE S.25°23'53"W., A DISTANCE OF 51.20 FEET; THENCE S.37°51'14"W., A DISTANCE OF 102.00 FEET; THENCE S.19°46'47"W., A DISTANCE OF 146.00 FEET; THENCE S.85°46'46"E., A DISTANCE OF 8.26 FEET; THENCE S.25°23'53"W., A DISTANCE OF 445.94 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 824 (PEMBROKE ROAD), AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP SECTION 86018-2501, SAID RIGHT-OF-WAY LINE LYING 50.00 FEET NORTH OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE SOUTH LINE OF THE NORTH ONE-HALF OF SAID SECTION 20; THENCE S.87°32'26"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 329.66 FEET; THENCE N.01°57'53"W., A DISTANCE OF 624.51 FEET TO A POINT OF INTERSECTION WITH THE EASTERLY PROJECTION OF THE NORTH LINE OF KELSEY PLAT, AS RECORDED IN PLAT BOOK 131, PAGE 15 OF SAID PUBLIC RECORDS; THENCE S.87°37'45"W. ALONG SAID EASTERLY PROJECTION AND SAID NORTH LINE, A DISTANCE OF 669.37 FEET; THENCE S.88°18'12"W. ALONG THE NORTH LINE OF SAID KELSEY PLAT, AND THE NORTH LINE OF H.R.S. BROWARD COUNTY SOUTH REGIONAL HEALTH CENTER, AS RECORDED IN PLAT BOOK 143, PAGE 3 OF SAID PUBLIC RECORDS, A DISTANCE OF 656.84 FEET; THENCE S.01°47'28"E. ALONG THE WEST LINE OF SAID H.R.S. BROWARD COUNTY SOUTH REGIONAL HEALTH CENTER, A DISTANCE OF 615.44 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 824 (PEMBROKE ROAD), SAID RIGHT-OF-WAY LINE LYING 60.00 FEET NORTH OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE SOUTH LINE OF THE NORTH ONE-HALF OF SAID SECTION 19; THENCE S.88°18'45"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,674.66 FEET; THENCE N.01°41'15"W. ALONG THE EAST LINE OF BLOCK 1, PEMBROKE COMMERCIAL CENTER, AS RECORDED IN PLAT BOOK 104, PAGE 19 OF SAID PUBLIC RECORDS, A DISTANCE OF 253.00 FEET; THENCE S.88°18'45"W. ALONG THE NORTH LINE OF SAID BLOCK 1, PEMBROKE COMMERCIAL CENTER, AND THE WESTERLY PROJECTION THEREOF, A DISTANCE OF 933.74 FEET; THENCE N.41°48'19"W., A DISTANCE OF 473.34 FEET; THENCE S.68°18'12"W., A DISTANCE OF 255.39 FEET TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SOUTH 52ND AVENUE, AS RECORDED IN OFFICIAL RECORD BOOK 30363, PAGE 1623 OF SAID PUBLIC RECORDS; THENCE N.02°14'33"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1.69 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 335.00 FEET AND A CENTRAL ANGLE OF 15°26'55"; THENCE NORTHERLY ALONG THE ARC OF SAID RIGHT-OF-WAY LINE, A DISTANCE OF 90.33 FEET; THENCE N.17°41'28"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 99.97 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 265.00 FEET AND A CENTRAL ANGLE OF 15°44'14"; THENCE NORTHERLY ALONG THE ARC OF SAID RIGHT-OF-WAY LINE A DISTANCE OF 72.79 FEET; THENCE N.01°57'14"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,336.06 FEET TO THE POINT OF BEGINNING.

CONTAINING 5,562,892 SQUARE FEET OR 127.7064 ACRES MORE OR LESS.

| TABULAR DATA              | SQUARE FEET | ACRES   |
|---------------------------|-------------|---------|
| OVERALL SITE              | 5,562,892   | 127.706 |
| RESIDENTIAL LOTS          | 1,873,252   | 43.003  |
| PARCELS A AND B           | 119,072     | 2.734   |
| TRACT R                   | 757,451     | 17.389  |
| ADDITIONAL RIGHT-OF-WAY   | 14,457      | 0.332   |
| TRACTS OS-1 THROUGH OS-25 | 1,538,511   | 35.319  |
| TRACTS W-1 THROUGH W-6    | 1,138,515   | 26.137  |
| TRACT REC                 | 121,634     | 2.792   |

## SURVEYOR'S CERTIFICATION

STATE OF FLORIDA ) SS  
COUNTY OF PALM BEACH )

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY DATA SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. AS REQUIRED TO COMPLY WITH THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE PERMANENT REFERENCE MONUMENTS (PRM'S) WERE SET IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177, ON THIS 30TH DAY OF JANUARY, 2017 A.D. PERMANENT CONTROL POINTS (P.C.P.'S) AND MONUMENTS WILL BE SET WITHIN ONE (1) YEAR OF THE DATE THIS PLAT IS RECORDED, OR PRIOR TO THE EXPIRATION OF THE BONDS OR OTHER SURETY INSURING CONSTRUCTION OF THE REQUIRE SUBDIVISION IMPROVEMENTS.

DATE: \_\_\_\_\_

DAVID P. LINDLEY,  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 5005  
CAULFIELD AND WHEELER, INC.  
CERTIFICATE OF AUTHORIZATION NUMBER 3591  
7900 GLADES ROAD SUITE 100  
BOCA RATON, FL. 33434

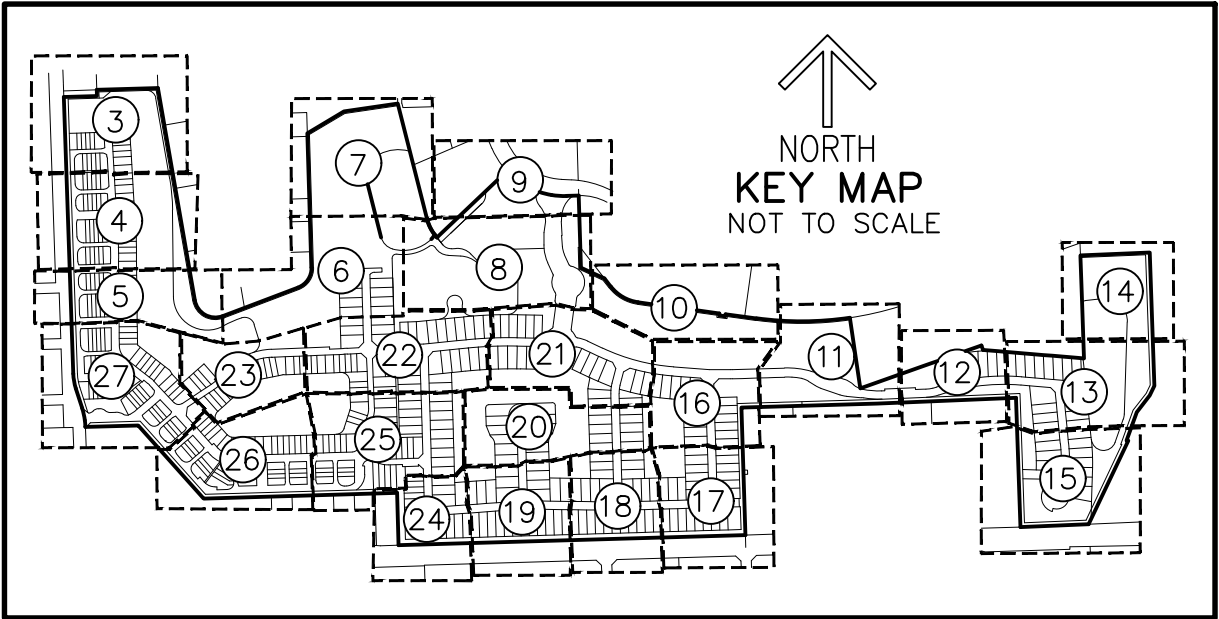


THIS INSTRUMENT PREPARED BY  
DAVID P. LINDLEY  
OF  
**CAULFIELD and WHEELER, INC.**  
SURVEYORS — ENGINEERS — PLANNERS  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434  
OFFICE (561)392-1991 FAX (561)750-1452  
CERTIFICATE OF AUTHORIZATION NO. LB 3591

# HILLCREST COUNTRY CLUB SOUTH

BEING A REPLAT OF ALL OF PARCEL A, HILLWOOD SECTION ONE,  
AS RECORDED IN PLAT BOOK 60, PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA,  
TOGETHER WITH A PORTION OF SECTIONS 19 AND 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST,  
LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
SHEET 2 OF 27



## CITY COMMISSION

THIS IS TO CERTIFY, THAT THIS PLAT HAS BEEN APPROVED FOR RECORD BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, BY RESOLUTION \_\_\_\_\_, ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_, AND BY SAID RESOLUTION THE ADDITIONAL RIGHT-OF-WAY, UTILITY EASEMENTS, EMERGENCY ACCESS EASEMENT AND BUS STOP EASEMENT AS SHOWN ON THIS PLAT WERE ACCEPTED IN THE NAME OF SAID CITY AND ALL PREVIOUS PLATS OF THIS LAND ARE CANCELED AND SUPERCEDED.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

IN WITNESS WHEREOF SAID CITY COMMISSION

ATTEST: \_\_\_\_\_ APPROVED: \_\_\_\_\_  
CITY CLERK LUIS A. LOPEZ, P.E.,  
CITY ENGINEER  
P.E. LICENSE NUMBER 51559

APPROVED BY: \_\_\_\_\_  
MAYOR

## BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY: THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFIC-WAYS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_.

BY: \_\_\_\_\_  
CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_.

BY: \_\_\_\_\_  
EXECUTIVE DIRECTOR OR DESIGNEE

## BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION- RECORDING SECTION

THIS PLAT WAS FILED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_ AND RECORDED IN PLAT BOOK \_\_\_\_\_, PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_, RECORD VERIFIED.

ATTEST: BERTHA HENRY  
COUNTY ADMINISTRATOR BY: \_\_\_\_\_  
DEPUTY

## BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION-MINUTES SECTION

THIS IS TO CERTIFY THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_ A.D.

ATTEST: BERTHA HENRY  
COUNTY ADMINISTRATOR BY: \_\_\_\_\_  
DEPUTY

BY: \_\_\_\_\_  
MAYOR  
COUNTY COMMISSION

## BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES AND IS APPROVED AND ACCEPTED FOR RECORDATION.

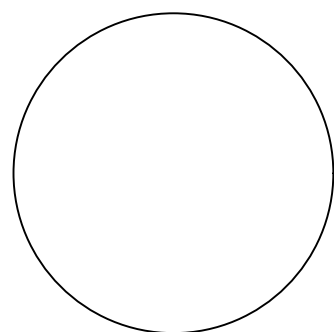
BY: \_\_\_\_\_ DATE \_\_\_\_\_ BY: \_\_\_\_\_ DATE \_\_\_\_\_  
RICHARD TORNESE, DIRECTOR ROBERT P. LEGG, JR., DATE  
DIRECTOR PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA PROFESSIONAL ENGINEER FLORIDA REGISTRATION NO. LS 4030  
REGISTRATION NO. 40263

## BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT

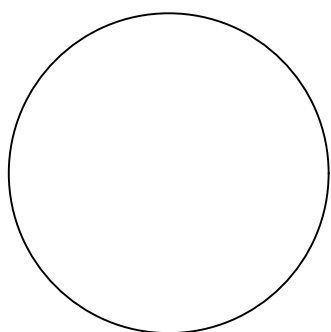
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BY: \_\_\_\_\_  
DIRECTOR/DESIGNEE

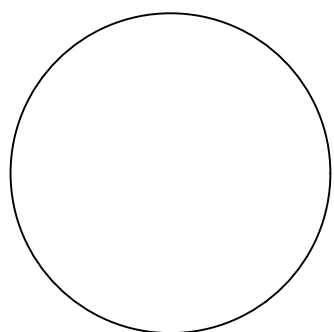
COUNTY  
COMMISSION



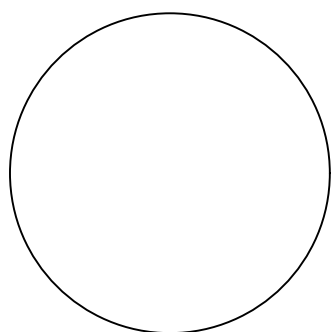
COUNTY  
ENGINEER



CITY OF  
HOLLYWOOD



CITY  
ENGINEER

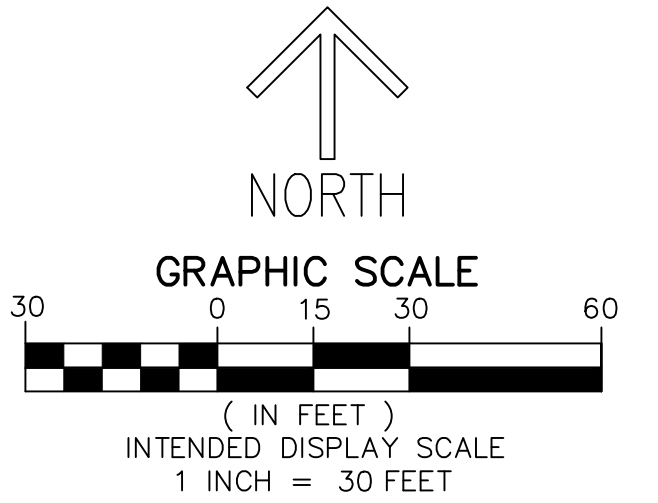
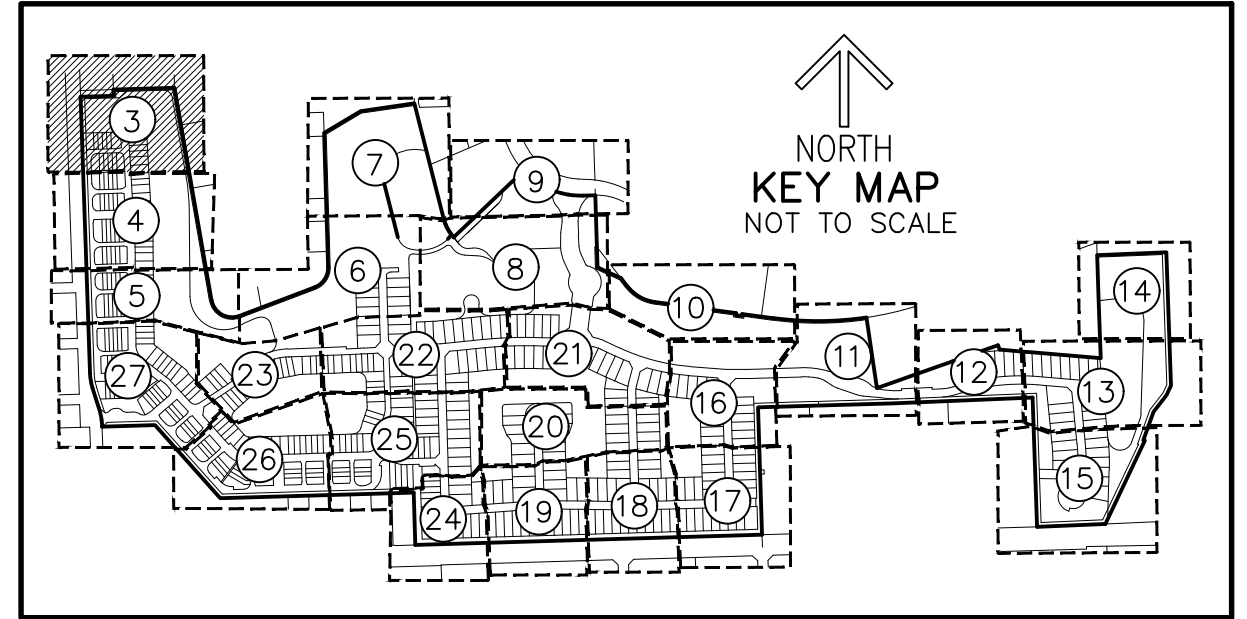


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PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
SHEET 3 OF 27



## LEGEND/ABBREVIATIONS

- AC — ACRES
- B.C.R. — BROWARD COUNTY RECORDS
- CB — CHORD BEARING
- CD — CHORD DISTANCE
- CL — CENTERLINE
- DE — DRAINAGE EASEMENT
- FDOT — FLORIDA DEPARTMENT OF TRANSPORTATION
- O.R.B. — OFFICIAL RECORDS BOOK
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- NVAL — NON-VEHICULAR ACCESS LINE
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- PRM — INDICATES SET 4" X 4" X 24" CONCRETE PERMANENT REFERENCE MONUMENT WITH DISK STAMPED PRM LB3591 UNLESS OTHERWISE NOTED.
- ✱ — INDICATES SECTION CORNER
- ✱ — INDICATES 1/4 SECTION CORNER

## SURVEYOR'S NOTES

1. "NOTED" THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREON AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

2. THIS PLAT IS RESTRICTED TO 238 SINGLE FAMILY DETACHED UNITS AND 256 TOWNHOUSE UNITS WHICH ARE FURTHER RESTRICTED TO THE SOUTHERN 83.6 ACRES OF THE PLAT DESIGNATED "IRREGULAR (11.5) RESIDENTIAL WITHIN A DASHED-LINE AREA" ON THE BROWARD COUNTY LAND USE MAP.

THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERETO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.

ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION IV D.1.F., DEVELOPMENT VIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.

3. IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY MARCH 14, 2022, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME; AND/OR

IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY MARCH 14, 2022, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.

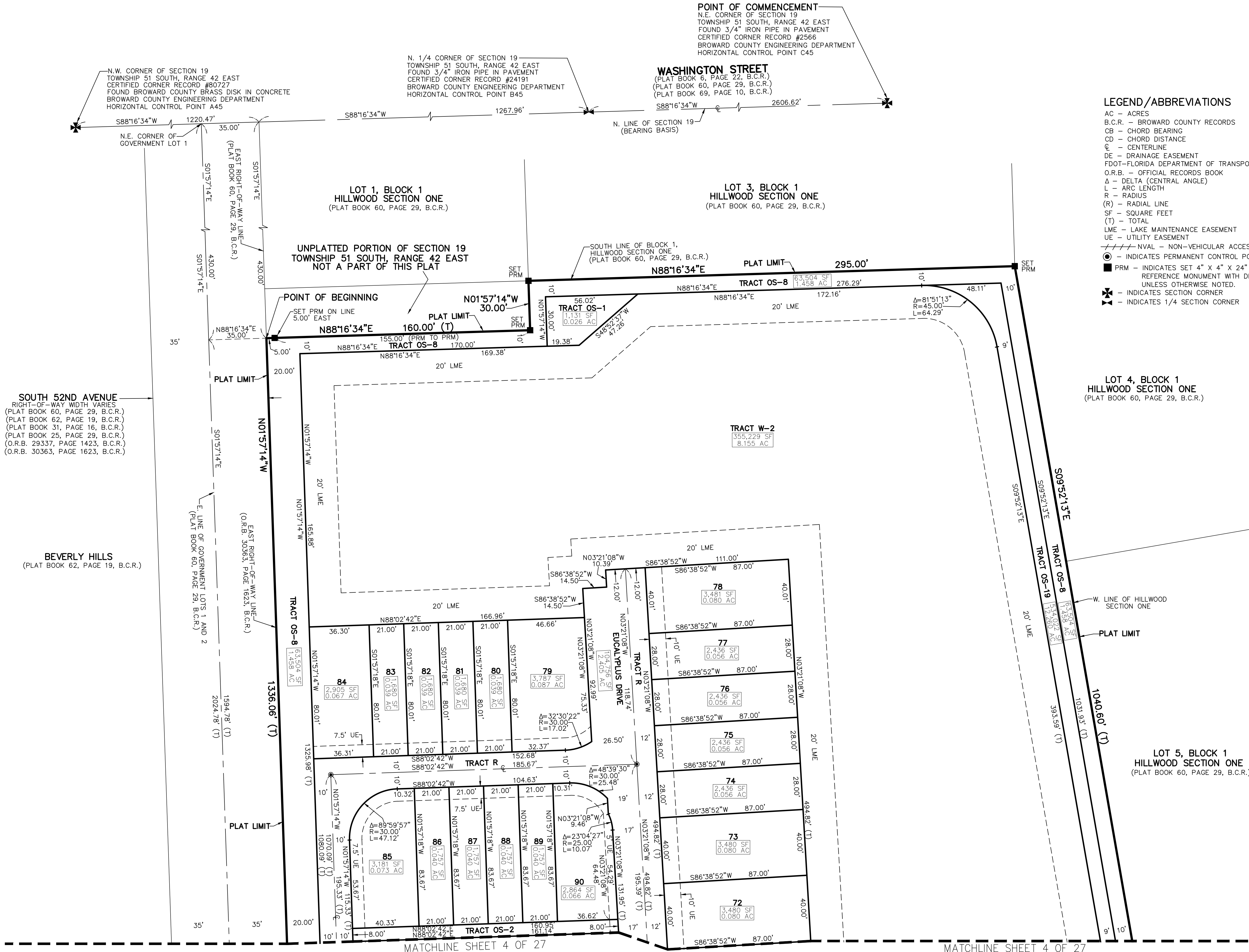
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CONTROL POINT B47: BROWARD COUNTY NAIL AND DISK LOCATED IN THE CONCRETE SIDEWALK IN THE N.W. QUADRANT OF THE INTERSECTION OF S.W. 25TH STREET AND S.W. 48TH AVENUE. NORTHING 602163.461 EASTING 921793.338

CONTROL POINT C45: 3/4" PIPE LOCATED ON THE CENTERLINE OF WASHINGTON STREET, IN FRONT OF ADDRESS #4001. NORTHING 607603.028 EASTING 924305.426

5. THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091 (REB. 2018), FLORIDA STATUTES. PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES. PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AND ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.

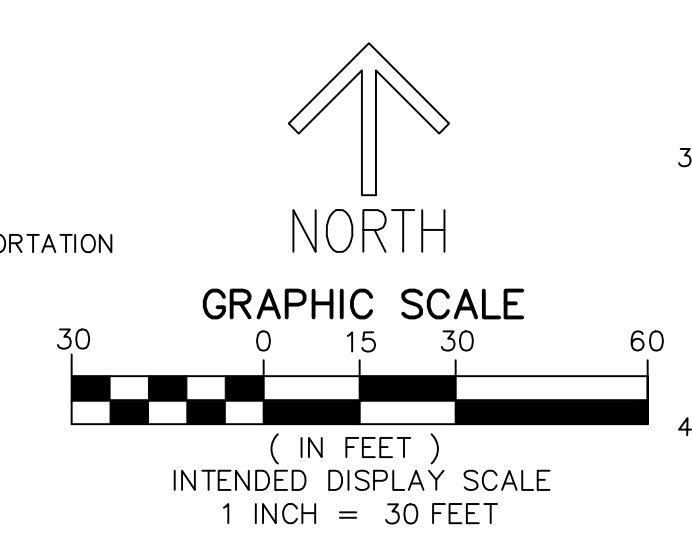
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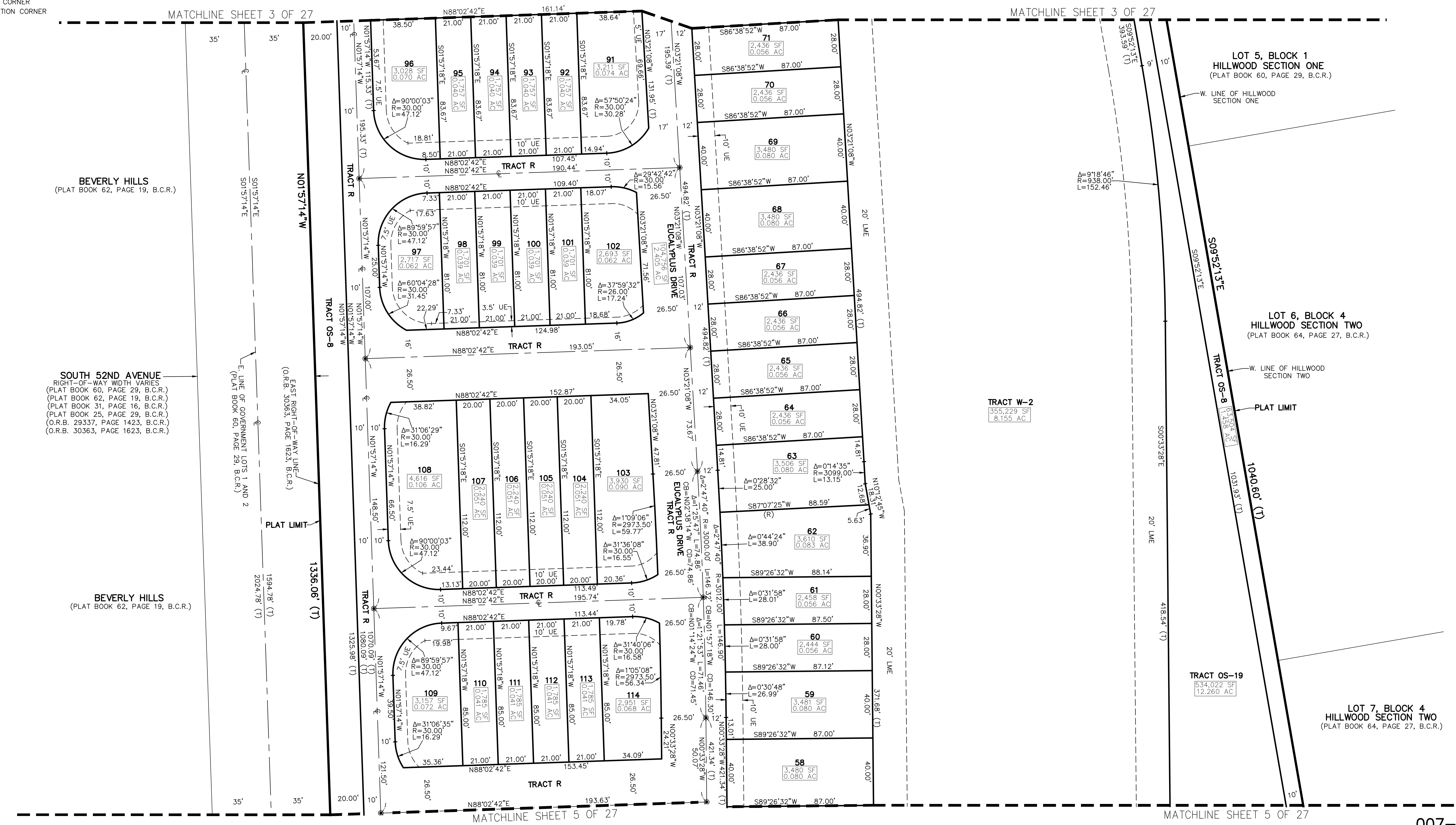
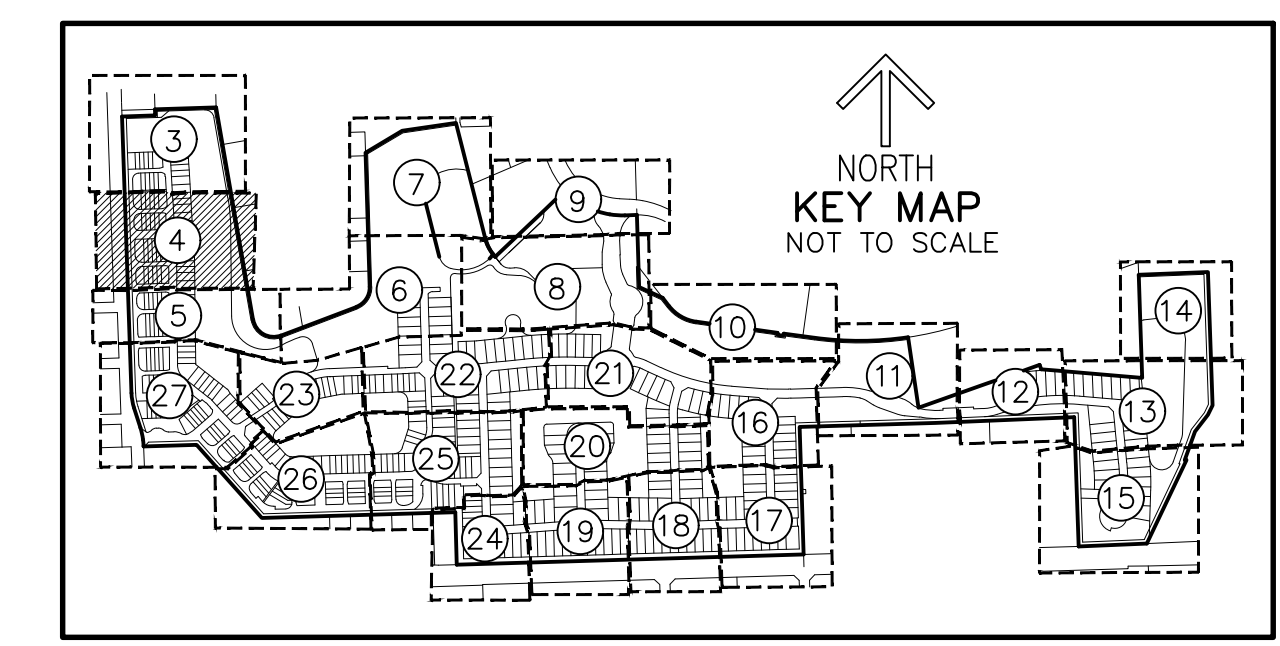
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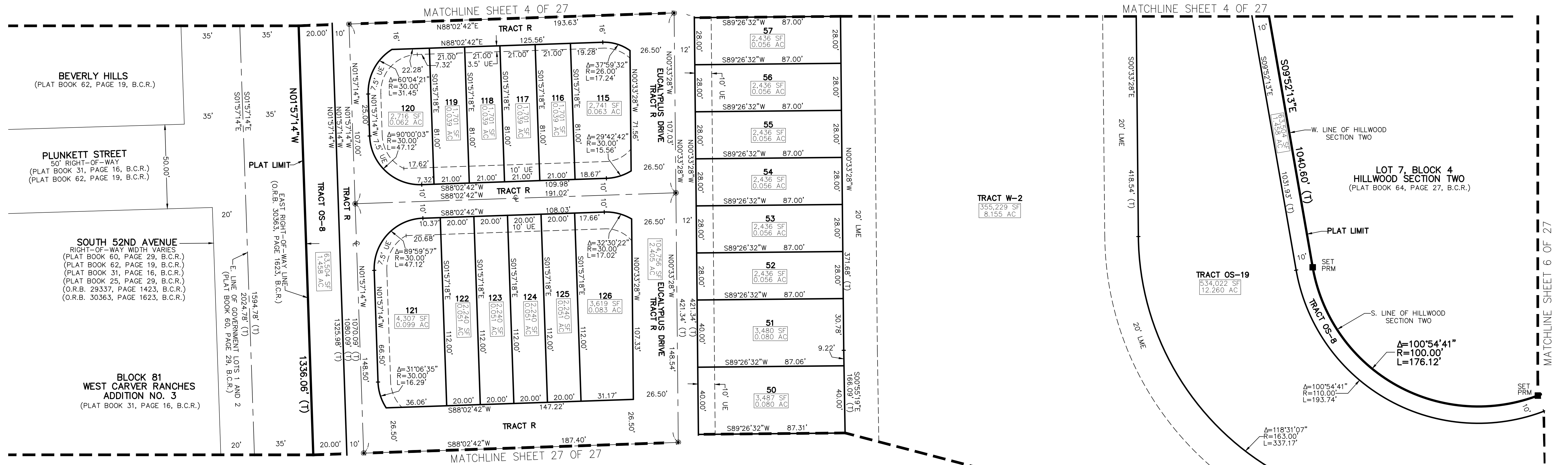
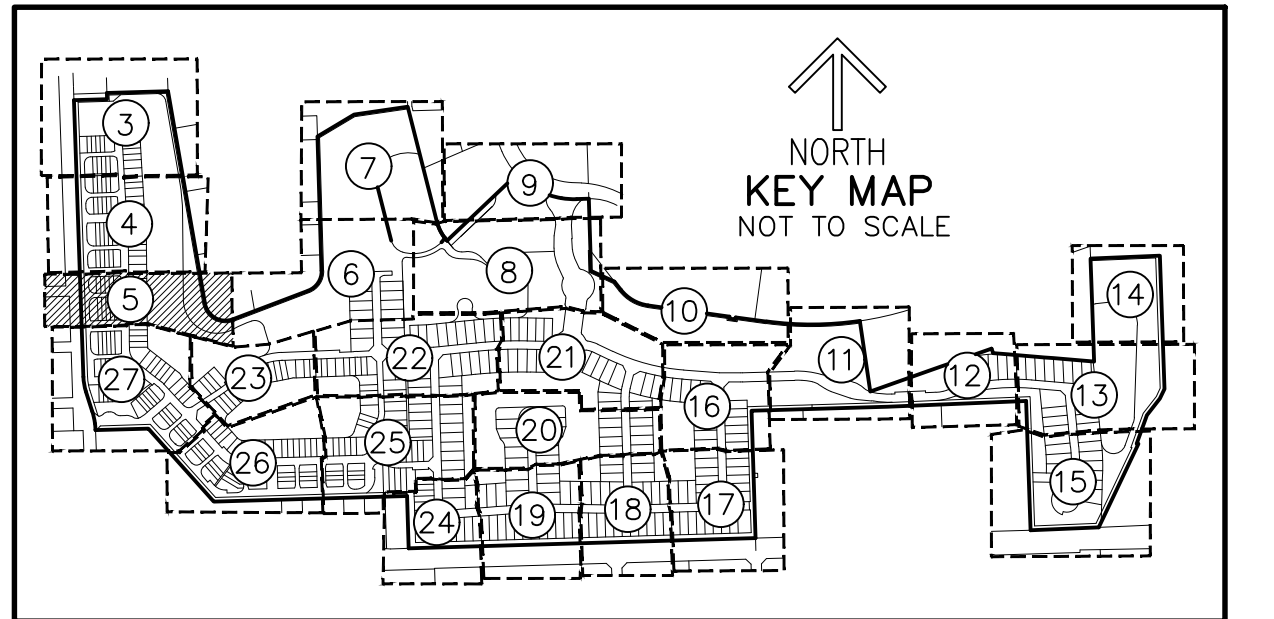


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PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
SHEET 5 OF 27



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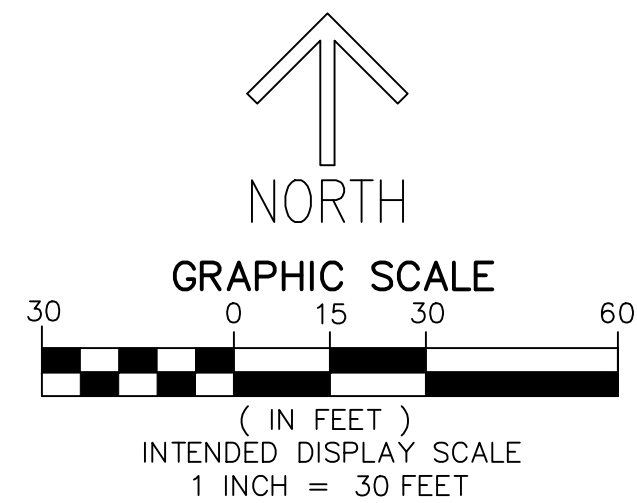
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CONTROL POINT B47: BROWARD COUNTY NAIL AND DISK LOCATED IN THE CONCRETE SIDEWALK IN THE N.W. QUADRANT OF THE INTERSECTION OF S.W. 25TH STREET AND S.W. 48TH AVENUE. NORTHING 602163.461 EASTING 921793.338  
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THIS INSTRUMENT PREPARED BY  
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SURVEYORS — ENGINEERS — PLANNERS  
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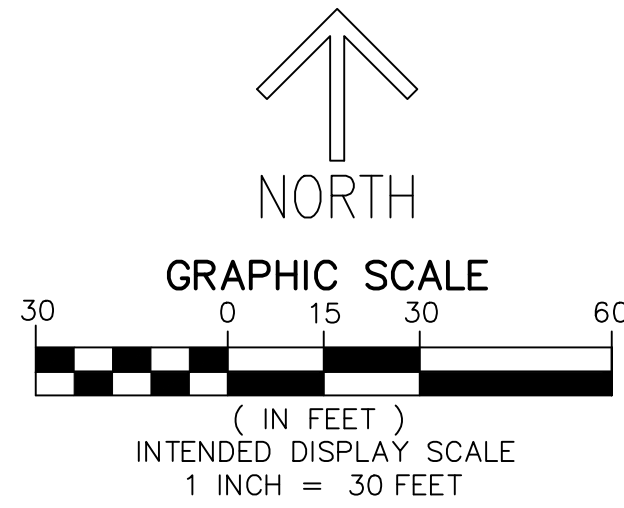
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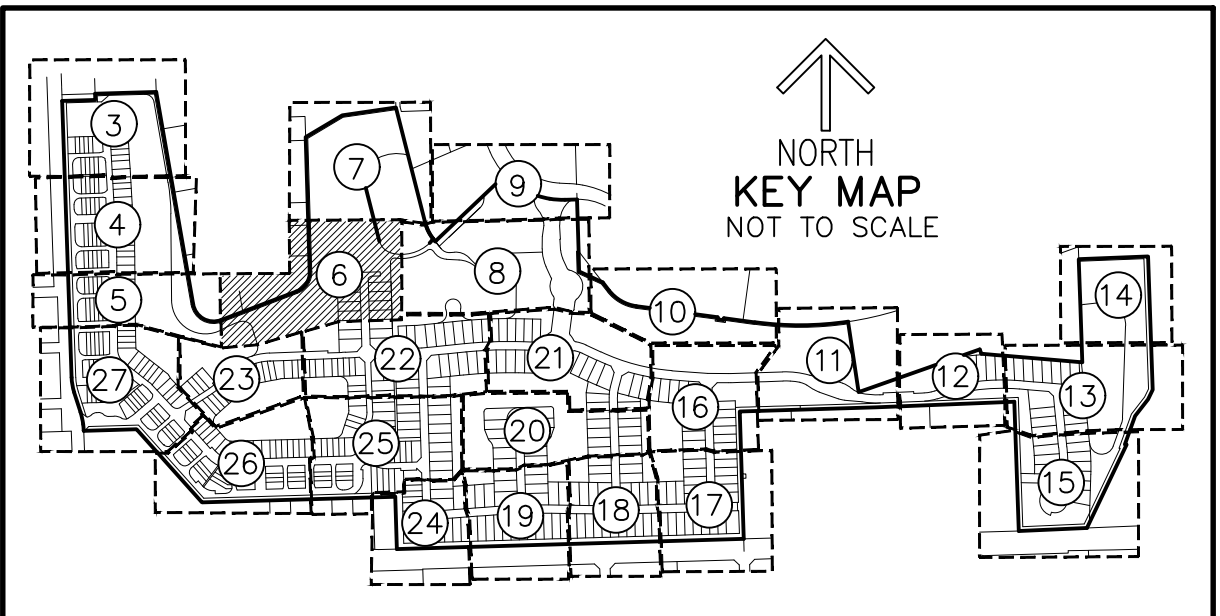
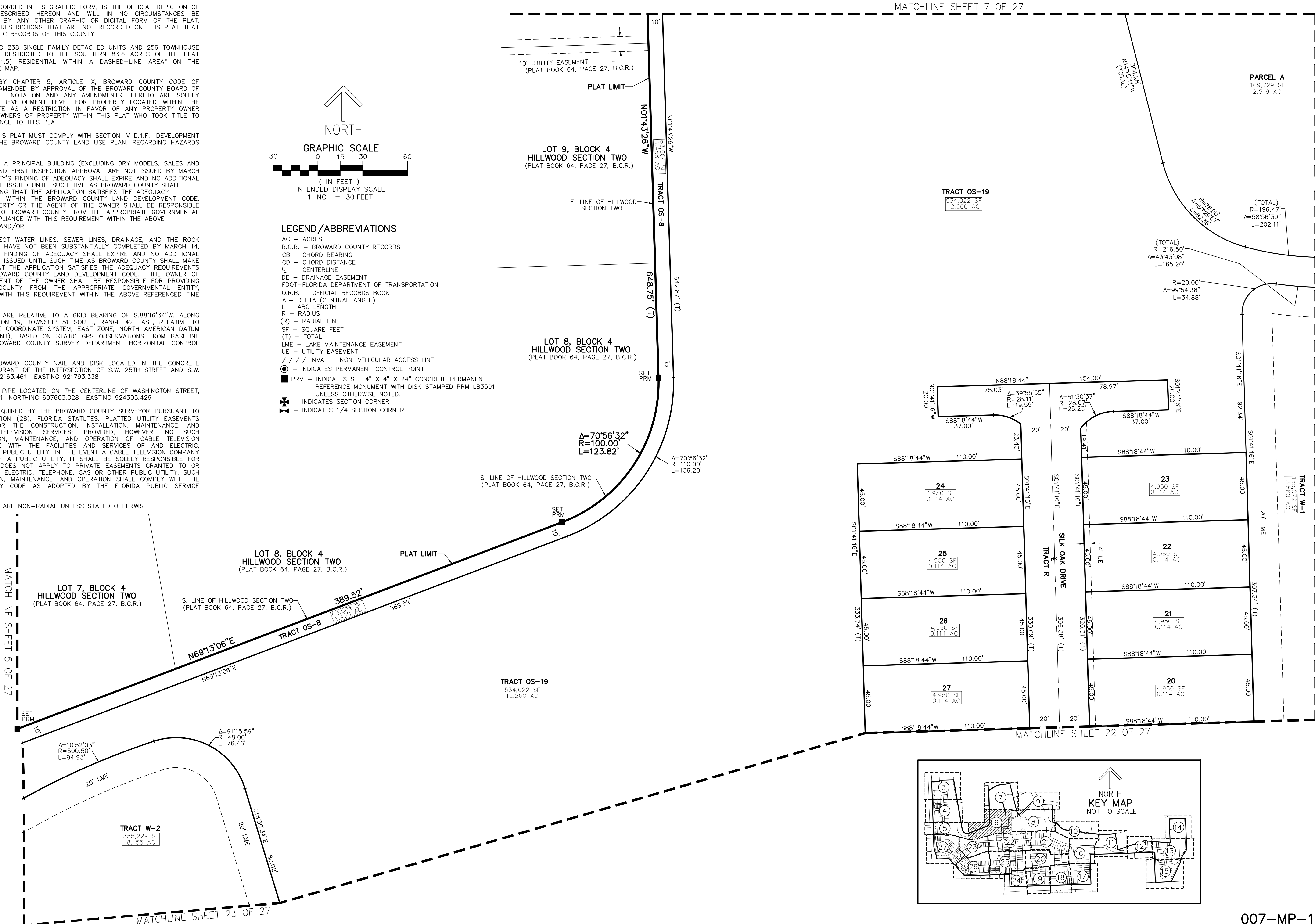
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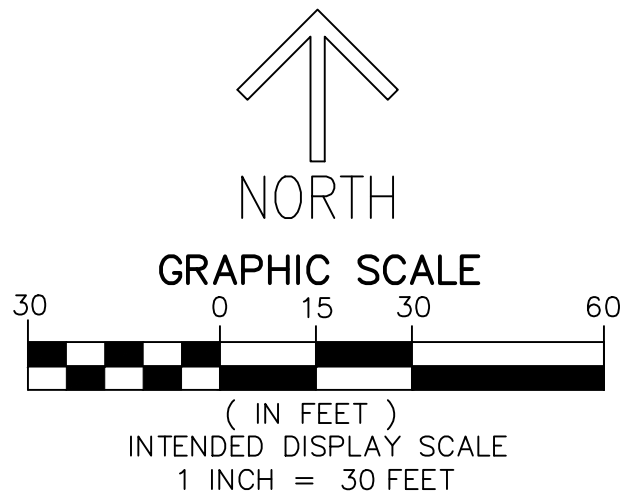
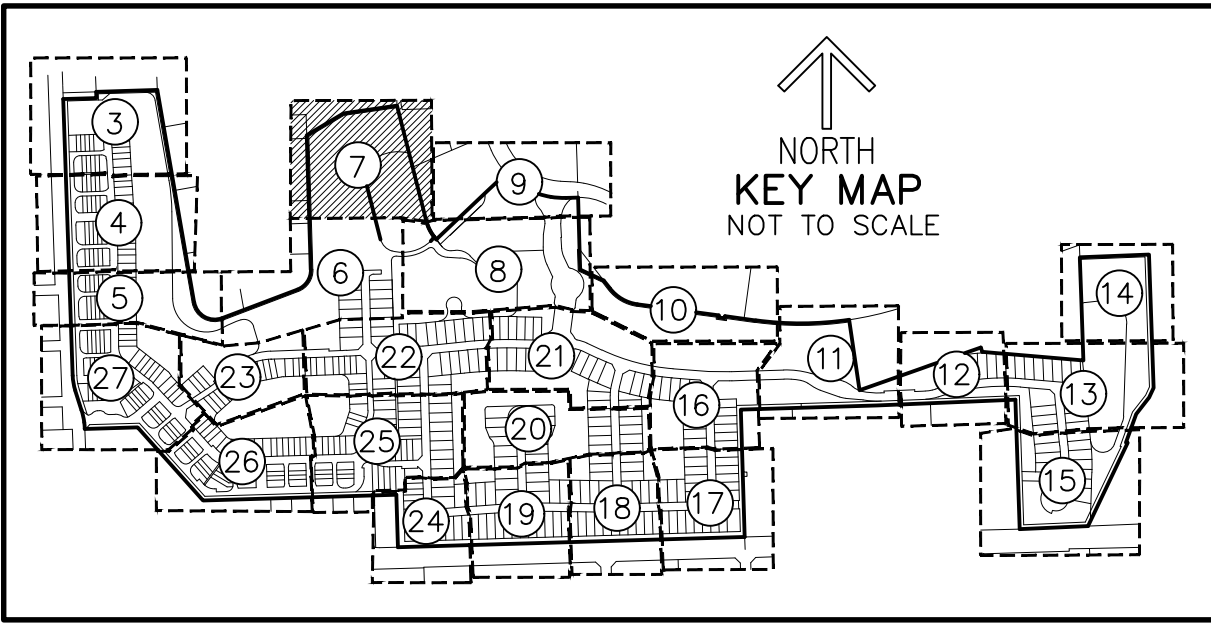


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