

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☒ City Commission ☒ Planning and Development Board

Date of Application: _____

Location Address: 7-Eleven - 100 N. State Road 7 - Hollywood
Lot(s): 29 Block(s): _____ Subdivision: Gracewood 3
Folio Number(s): 5141-13-07-0240

Zoning Classification: SR7 CCD-CC Land Use Classification: TOC
Existing Property Use: Commercial Sq Ft/Number of Units: 3,648

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: The site contains a convenience store/gas station with 16 fueling positions. The current structures on the site will be demolished and a 3,010 SF convenience store with an 8 MPD fuel canopy will be constructed. This application will require a sign variance.

Number of units/rooms: N/A Sq Ft: 3,010
Value of Improvement: \$1.5 million Estimated Date of Completion: September 2018
Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Project will be single-phased

Name of Current Property Owner: 7-Eleven, Inc
Address of Property Owner: 3200 Hackberry Road, Irving TX
Telephone: 954-314-8400 Fax: _____ Email Address: rposey@creightondev.com

Name of Consultant/Representative/Tenant (circle one): Bill Pfeffer, P.E.
Address: 13450 W Sunrise Blvd, Suite 320 Telephone: 954-314-8400
Fax: _____ Email Address: bpfeffer@bowmanconsulting.com

Date of Purchase: 4 Nov 2015 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____
Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: Bill Pfeiffer, P.E. (Bowman Consulting) Date: 2 Jan 2018

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan approval to my property, which is hereby made by me or I am hereby authorizing Bill Pfeiffer/Bowman Consulting be my legal representative before the Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 02 day of January 2018

Notary Public

State of Florida



My Commission Expires: 3 April 2021

(Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

Signature of Current Owner (agent)

Bill Pfeiffer
Print Name

The purpose of this letter is to accompany the Planning & Development Board Application for the above referenced proposed commercial project. The project is located at 100 N State Road 7, in Hollywood, Florida.

Architectural and Design Components

The Applicant proposes to completely redevelop the property by constructing a new 3,010 square-foot convenience store, new fuel canopy and state of the art fueling equipment and technology. The current car wash will be eliminated and removed from the property. At the request of the City, 7-Eleven has designed the new development with an “inverted” site plan – one that inverts or reverses the typical 7-Eleven site layout. Here, the convenience store structure sits on the corner of Hollywood Boulevard and State Road 7 flush against the rights-of-way and the fuel operations, store parking and access points for customers are behind the building.

The convenience store is a one-story structure with architectural features including varying rooflines, horizontal banding and a tower element that makes it prominent and more visible from the street. The design consists of a combination of textured stucco painted different tones to create a visually engaging material palette along with storefront windows on all sides of the building framed by prefinished aluminum canopies. 7-Eleven added decorative medallions and deep cornices to further accent the façades. The building will also have skylights on the roof that will allow more natural light to come in.

This site design will complement pedestrian connectivity in this corridor. Lush landscaping will be planted along the corridors and a large sidewalk will be constructed to activate the urban amenities and pedestrian conveniences for the enjoyment of the general public. Moreover, 7-Eleven prides itself on safety and accessibility for its patrons, and pedestrians and vehicles will be able to traverse the property without conflict.

Compatibility

The Project is also compatible with existing adjacent uses. The Property is zoned State Road 7 Commercial Corridor, Commercial Core Sub-Area (SR7 CCD-CC). This district provides for a variety of transit oriented commercial uses, such as a video store to the south, carwash facilities to the east, a laundromat to the north. 7-Eleven firmly believes the re-development of this site will improve the areas in and around the business properties located on the State Road 7 corridor from Hollywood Boulevard to Washington Street.

The redevelopment of this property is consistent with and in furtherance of the goals, objectives and policies of the Comprehensive Plan and the City’s Master Plan for this corridor. The proposed 7-Eleven project complies at a minimum with Objective 3.1, which is to prioritize, promote and enhance economic development along the US441/SR7 corridor; Objective 4, which promotes improved architectural and streetscape design standards; and Objective 5 which encourages infill and economic redevelopment in blighted areas.

Scale/Massing

The Project's scale and mass is compatible with surrounding structures and uses and has been designed to ensure the area is not adversely impacted.

Landscaping

7-Eleven has worked with City Staff to provide beautiful, mature landscaping throughout the site, which will greatly improve the stability and appearance of this corner, the general area and the City. As agreed to by Staff, 7-Eleven will provide a hedge instead of a wall lining the rights-of-way to mitigate CPTED issues and opportunity for unwanted graffiti.

If you have any questions or require additional information, please do not hesitate to contact us.



Bill Pfeffer, PE | Principal | Branch Manager
Bowman Consulting

13450 W Sunrise Blvd, Sunrise FL 33323
office: 954-314-8400 | mobile: 772-341-6223



Proposed 7-Eleven
100 N. State Road 7, Hollywood, Florida
Sign Variance Criteria Narrative/Justification

The Applicant, 7-Eleven Inc. (the “Applicant”), is proposing a new 7-Eleven convenience store with fueling positions (the “7-Eleven”) located at 100 N. State Road 7, Hollywood, Florida (the “Property”). The Property is located at the northwest corner of Hollywood Boulevard and State Road 7 and is approximately 29,363 square feet (0.67 acre). The Property currently contains an older Mobil gas station and the Applicant is proposing to completely redevelop the Property by constructing a new 3,010 square foot convenience store, new fuel canopy and state of the art fueling equipment and technology.

At the request of the City, the Applicant has agreed to a pilot site plan design for this site, which involves an “inverted” site plan – one that inverts or reverses the typical 7-Eleven site layout. Here, the convenience store structure sits on the corner of Hollywood Boulevard and State Road 7, flush against the rights-of-way, and the fuel operations, store parking and access points for customers are located behind the building. This is not the preferred design for 7-Eleven or most retail operations, but 7-Eleven has agreed to try this design at this location at the request of the City’s planning staff. As a result, the City’s sign requirement, which permits signs only along rights-of-way, creates a hardship for the Applicant, as without a sign on its primary business entrance, there will be confusion and safety issues created for its visitors and guests. Therefore, the Applicant is seeking a variance from Section 8.5.B.4 of the City’s Land Development Regulations in order to permit a wall sign on the north face of its structure at its primary vehicular and pedestrian entrance for its business.

The Applicant submits that the criteria to granting sign variances established by Section 5.3.F.2 of the City Code are satisfied as demonstrated below:

a. The Variance is not contrary to the public interest.

The granting of the sign variance will not be contrary to the public interest, and in fact, will create a safer environment for patrons and guests visiting the Property. Due to the inverted site plan and a small, secondary pedestrian entrance at the corner of SR 7 and Hollywood

Boulevard, the main vehicular entrance is not visible and adequate signage is needed. The additional wall sign on the north side of the building is not contrary to the public interest, as it is internal to the Property and will allow 7-Eleven's visitors to enter the convenience store without confusion. Providing this additional sign on the north side of the structure, will increase visibility to the Property and create a safer roadway network for patrons trying to find the commercial establishment on the Property.

b. The Variance is required due to special conditions.

The signage requested is due to the unique property conditions and to create safe roadways for the citizens of Hollywood, by adequately notifying guests of the commercial establishment on the Property. The additional wall sign on the north side of the convenience store will enable the patrons and visitors to locate the business without creating unnecessary traffic hazards along the major roadways. The Property is located at the corner of two of Hollywood's major roadways – SR 7 and Hollywood Boulevard. City staff requested that 7-Eleven invert the site plan by pushing the convenience store up flush with the corner. This request and design is unique and a special condition for this commercial property which creates a hardship for the Applicant, as most commercial/retail properties are setback from the roadways with adequate signage for their patrons. The lack of adequate signage could result in visitors and guests who cannot locate the entrance of the store and slowing down or slamming on their brakes after passing the entrance, causing traffic hazards and safety issues. Also, if visitors cannot find the entrance or drive passed it, there will be an increase in U-turns at the various intersections, causing additional safety concerns. Due to the Property's special conditions and circumstances as referenced above, the requested sign is warranted.

c. A literal enforcement of the provisions of Article 8 may result in unnecessary hardship.

If the requested sign is not granted, valuable business exposure would be lost that other properties currently enjoy. With literal interpretation of the sign requirements, the Applicant would incur an undue hardship, as signage is of vital importance to the 7-Eleven business, their visitors and patrons. Adequate signage is necessary at this Property to notify potential visitors and guests of the commercial establishment's whereabouts. The hardship is not self-imposed by anyone associated with the Property, but as a result of the location along these two major City thoroughfares and the request by the City to invert the site plan, so that the fueling, parking and main entrance to the convenience store is located in the rear of the Property. Not granting the Applicant's request for the sign variance would cause unnecessary and undue hardship on the Applicant.

KBP CONSULTING, INC.

August 19, 2017

Mr. Roger Posey
Project Manager
Creighton Construction & Management, LLC
900 SW Pine Island Road, Suite 202
Cape Coral, Florida 33991

**Re: 7-Eleven – Hollywood, Florida
Traffic Statement**

Dear Roger:

There is an existing Mobil gas station with 12 fueling positions and a convenience store located in the northwest quadrant of the intersection at Hollywood Boulevard (State Road 820) and State Road 7 in Hollywood, Broward County, Florida. More specifically, the subject site is located at 100 N. State Road 7. This site is proposed to be redeveloped with a new 7-Eleven gas station with 12 fueling positions and a convenience store. (A preliminary site plan for this project is presented in Attachment A to this memorandum.) The purpose of this technical memorandum is to document the trip generation characteristics of the existing and the proposed development at this location.

Trip Generation Comparison

A trip generation analysis comparing the existing and the proposed land uses has been conducted utilizing the trip generation equations contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (9th Edition)*. According to the subject ITE manual, the most appropriate land use category for the subject site is Land Use #945 – Gasoline / Service Station with Convenience Market. The trip generation rates used to determine the vehicle trips associated with this analysis are presented below.

ITE Land Use #945 – Gasoline / Service Station with Convenience Market

- Weekday: $T = 162.78 (X)$
where T = number of trips and X = number of fueling positions
- AM Peak Hour: $T = 10.16 (X)$ (50% in / 50% out)
- PM Peak Hour: $T = 13.51 (X)$ (50% in / 50% out)
- Pass-By: Daily: 59%, AM Peak: 62%, PM Peak: 56%

Table 1 on the following page summarizes the trip generation characteristics associated with the current and proposed uses at 100 N. State Road 7 in Hollywood, Florida.

| Table 1 Trip Generation Summary 7-Eleven - Hollywood, Florida | | | | | | | | |
|--|-------|------------------|--------------------|------------|-------------|--------------------|------------|-------------|
| Land Use | Size | Daily Trips | AM Peak Hour Trips | | | PM Peak Hour Trips | | |
| | | | In | Out | Total | In | Out | Total |
| Existing | | | | | | | | |
| Gas Station w/C-Store - Pass-By (59%/62%/56%) | 12 FP | 1,953 (1,152) | 61 (38) | 61 (38) | 122 (76) | 81 (45) | 81 (46) | 162 (91) |
| Sub Total | | 801 | 23 | 23 | 46 | 36 | 35 | 71 |
| Proposed | | | | | | | | |
| Gas Station w/C-Store - Pass-By (59%/62%/56%) | 12 FP | 1,953 (1,152) | 61 (38) | 61 (38) | 122 (76) | 81 (45) | 81 (46) | 162 (91) |
| Sub Total | | 801 | 23 | 23 | 46 | 36 | 35 | 71 |
| Difference (Proposed - Existing) | | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

Compiled by: KBP Consulting, Inc. (July 2017).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition).

As indicated in Table 1 above, the proposed 7-Eleven gas station and convenience store is not anticipated to result in an increase in traffic on a daily, AM peak hour, or PM peak hour basis when compared with the existing Mobil gas station and convenience store on the same site. This condition is attributed to the fact that the number of fueling positions will remain constant.

Conclusions

The proposed redevelopment of the existing Mobil gas station and convenience store located at 100 N. State Road 7 in Hollywood, Florida with a new 7-Eleven gas station and convenience store is expected to have little or no impact on the number of vehicle trips generated on a daily, AM peak hour, or PM peak hour basis.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

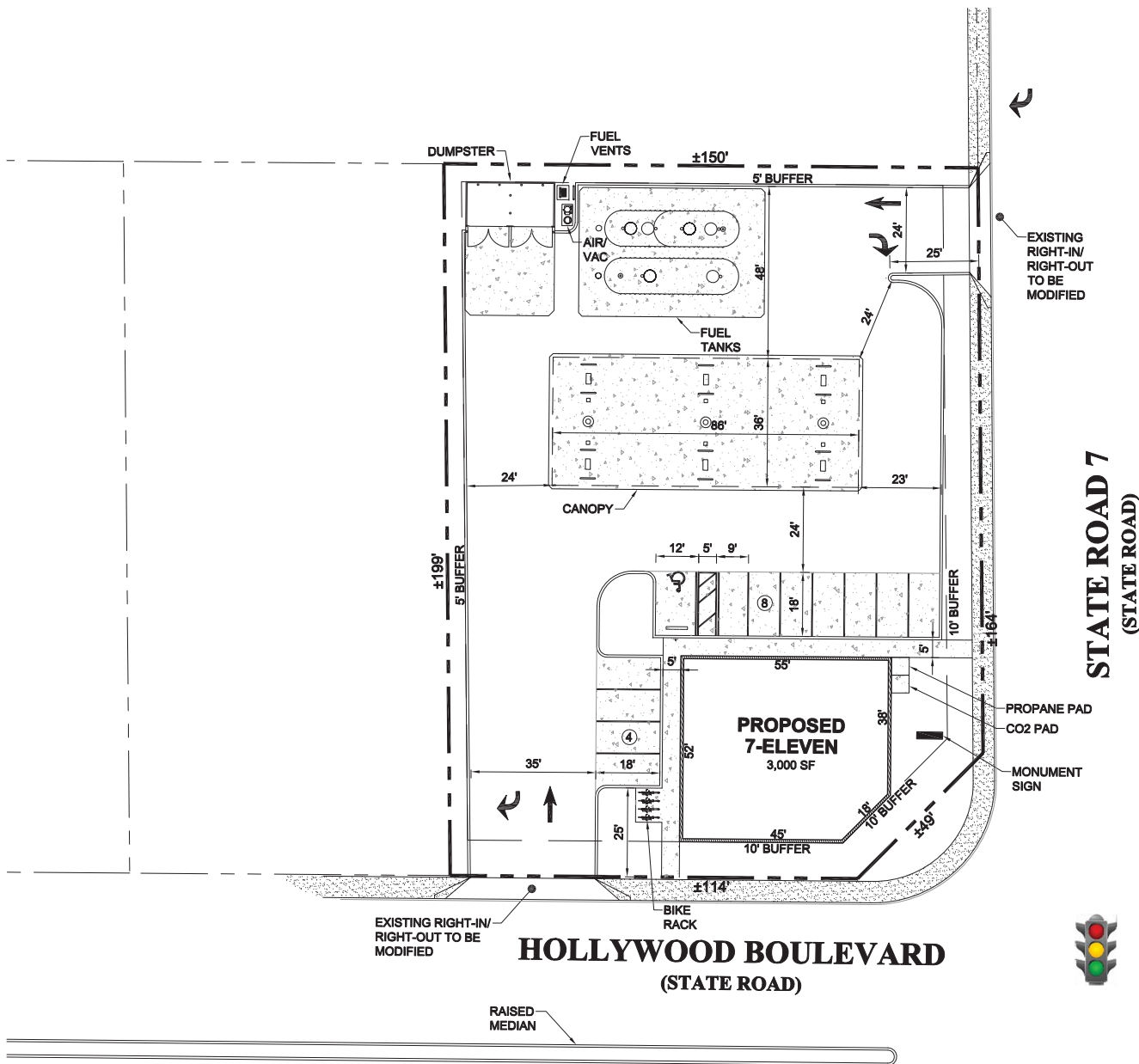
KBP CONSULTING, INC.



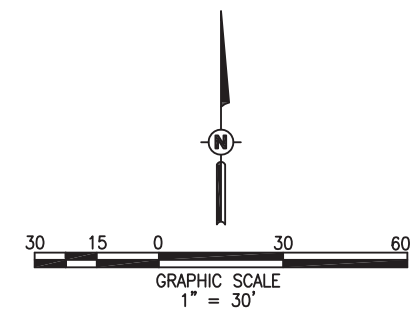
Karl B. Peterson, P.E.
Florida Registration Number 49897
Engineering Business Number 29939

Attachment A

7-Eleven – Hollywood, FL Preliminary Site Plan



| SITE DATA TABLE | | | |
|--|-------------------|------------|-----------|
| JURISDICTION | CITY OF HOLLYWOOD | | |
| ZONING | SR7 CCD-CC | | |
| TOTAL SITE AREA | 29,365 SF | 0.67 AC | 100% |
| OPEN SPACE AREA | 5,354 SF | 0.12 AC | 18% |
| IMPERVIOUS AREA | 24,011 SF | 0.55 AC | 82% |
| PARKING CALCULATIONS | | | |
| USE | AREA | RATIO | REQUIRED |
| BUILDING AREA | 3,000 SF | 1 / 250 SF | 12 SPACES |
| TOTAL REQUIRED | | | 12 SPACES |
| TOTAL PROPOSED | | | 12 SPACES |
| BUILDING SETBACKS | | | |
| YARD | REQUIRED | PROPOSED | |
| FRONT (WEST) | 10.0' | 25.5' | |
| SIDE (NORTH) | 10.0' | 137.7' | |
| SIDE STREET (SOUTH) | 10.0' | 10.0' | |
| REAR (EAST) | 10.0' | 64.4' | |
| LANDSCAPE BUFFERS | | | |
| YARD | REQUIRED | PROPOSED | |
| FRONT (WEST) | 10.0' | 5.0' | |
| SIDE (NORTH) | 10.0' | 5.0' | |
| SIDE STREET (SOUTH) | 10.0' | 10.0' | |
| REAR (EAST) | 10.0' | 10.0' | |
| VARIANCES & ISSUES | | | |
| 1. WILL REQUIRE A VARIANCE FOR LANDSCAPE BUFFER. | | | |



Bowman
CONSULTING

Bowman Consulting Group, Ltd.
13450 W. Sunrise Blvd.
Sunrise, FL 33323
Phone: (954) 314-4468
www.bowmanconsulting.com
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7-ELEVEN
100 N. STATE ROAD 7
HOLLYWOOD, FL

CONCEPTUAL
SITE PLAN

DATE
6/23/2017
PROJECT NO.
-
SHEET
CON 12

Looking west:



Looking south:



Looking north:



Looking north-east:



Adjacent property to the west:



Adjacent property to the east:

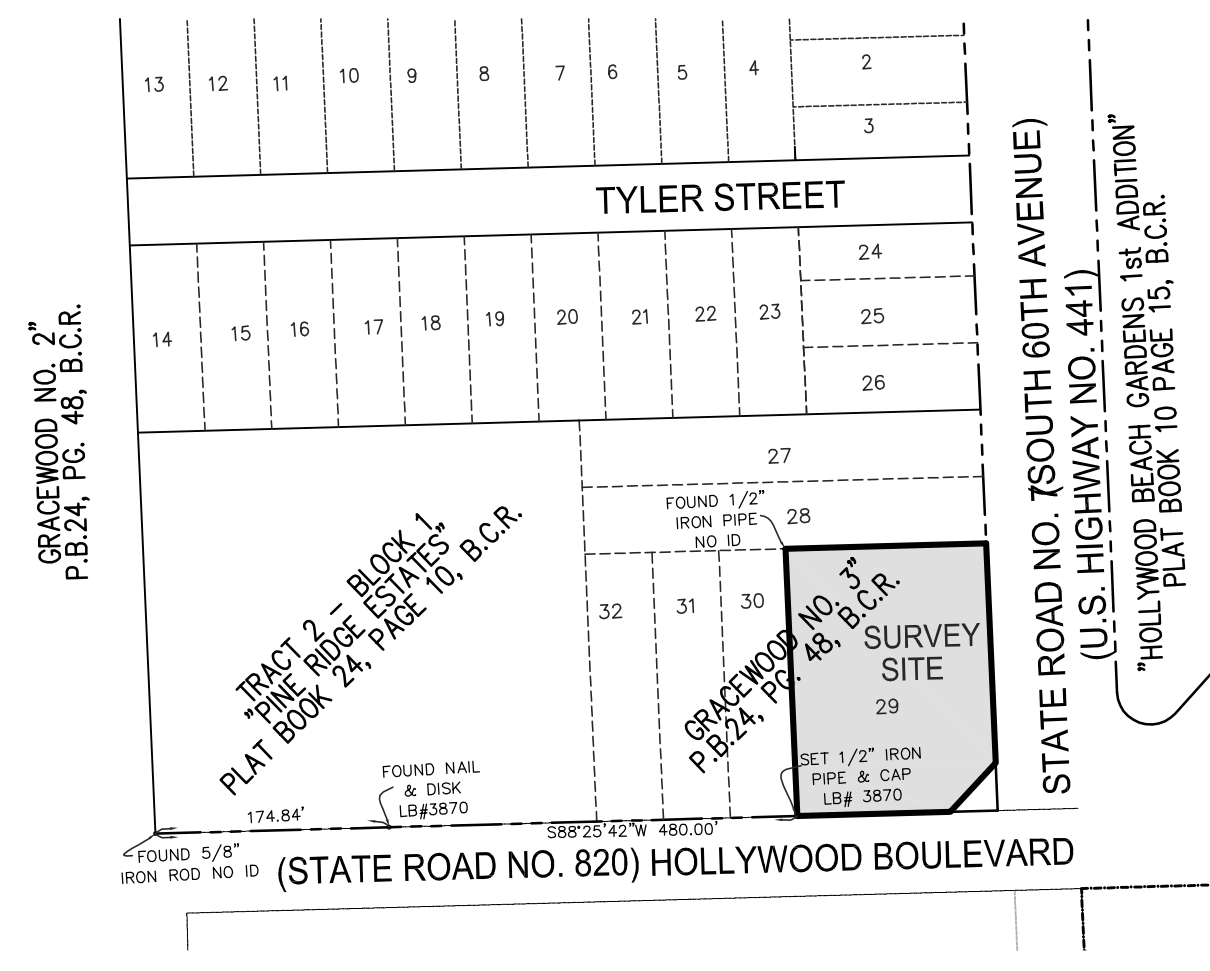
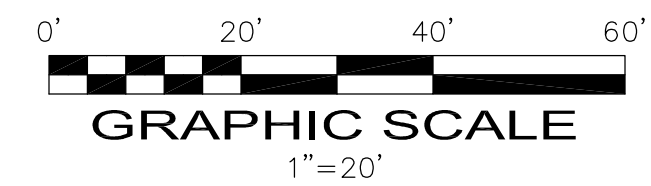
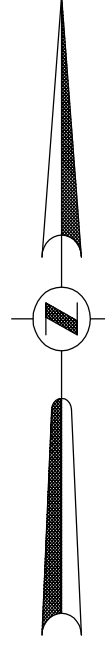


Adjacent property to the south:



Adjacent property to the north:





VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

LOT 29 OF "GRACEWOOD NO. 3", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 48, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT LANDS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED JULY 22, 1988 RECORDED IN OFFICIAL RECORDS BOOK 15630, PAGE 823, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.


NOTES:

- 1) THIS SITE CONTAINS 29,366 SQUARE FEET (0.6741 ACRES) MORE OR LESS.
- 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #52062; ELEVATION: 8.50 FEET.
- 3) FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #12011 0564H; MAP DATE: 8/18/14.
- 4) THIS SITE LIES IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- 5) BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD (STATE ROAD 820) BEING 588'25'42"W.
- 6) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 7) THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: CORESTATES INC..
- 8) THIS SITE CONTAINS 5 TOTAL STRIPED PARKING SPACES (4 REGULAR & 1 DISABLED).
- 9) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.07'$. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.07'$.
- 10) THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE INSURANCE, PREPARED BY STEWART TITLE GUARANTY COMPANY, SERIAL NUMBER C-72526-20150304, WITH AN EFFECTIVE DATE OF JULY 10, 2015 @ 8:00 AM. THE FOLLOWING ITEMS ARE EXCEPTIONS LISTED IN SCHEDULE B-II OF SAID COMMITMENT:
 - ITEMS 1, 2, 3 & 4 - STANDARD EXCEPTIONS NOT ADDRESSED.
 - ITEM 5 - THE MATTERS IN PLAT BOOK 24, PAGE 48 APPLY TO THIS SITE AS DEPICTED HEREON.
 - ITEM 6 - RESERVATIONS IN DEED BOOK 49, PAGE 213 CAN NOT DETERMINED BECAUSE DOCUMENT IS ILLEGIBLE.
 - ITEM 7 - SPECIAL WARRANTY IN DEED INCLUDING RESTRICTIONS AND COVENANTS RUNNING WITH THE LAND IN O.R.B. 47852, PAGE 801 CAN NOT DETERMINED BECAUSE DOCUMENT IS ILLEGIBLE.
 - ITEM 8 - RESTRICTIONS, COVENANTS AND ACCESS RIGHT IN O.R.B. 48346, PAGE 1791 APPLY TO THIS SITE BUT ARE NOT PLOTTABLE.
 - ITEM 9 - NOT ADDRESSED.
- 11) THE LEGAL DESCRIPTION WAS MODIFIED BY LEAVING OUT METES AND BOUNDS DESCRIPTION WHICH DOES NOT MATCH THOSE BASED ON STATE PLANE COORDINATES (FL EAST) WHICH THIS SURVEY IS BASED.

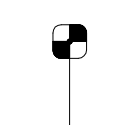
TO : CREIGHTON CONSTRUCTION MANAGEMENT; STEWART TITLE GUARANTY COMPANY; 7-ELEVEN, INC., A TEXAS CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, & 11 OF TABLE A THEREOF.

☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
STATE OF FLORIDA

| | | | | | |
|-----|-----------|----|--|---|--|
| 6 | | | |  | PROPOSED 7-ELEVEN SITE #34954 100 NORTH STATE ROAD 7 HOLLYWOOD, BROWARD COUNTY FLORIDA 33024 |
| 5 | | | | | |
| 4 | | | | | |
| 3 | | | | | |
| 2 | | | | | |
| 1 | | | | | |
| NO. | REVISIONS | BY | | | |

BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY



PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777
FAX: (954) 572-1778

E-MAIL: surveys@puliceandsurveyors.com
 WEBSITE: www.puliceandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

| | | |
|--------------------|---------------------|---|
| DRAWN BY: M.D. | SCALE: 1" = 20' | FILE: CREIGHTON CONSTRUCTION MANAGEMENT |
| CHECKED BY: J.F.P. | SURVEY DATE: 8-4-17 | ORDER NO.: 63521 |

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSUMPTION OF BOWMAN CONSULTING SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING.

CONSTRUCTION PLANS

FOR

7-ELEVEN

100 N. STATE ROAD 7
HOLLYWOOD, FLORIDA

UTILITY SERVICE PROVIDERS

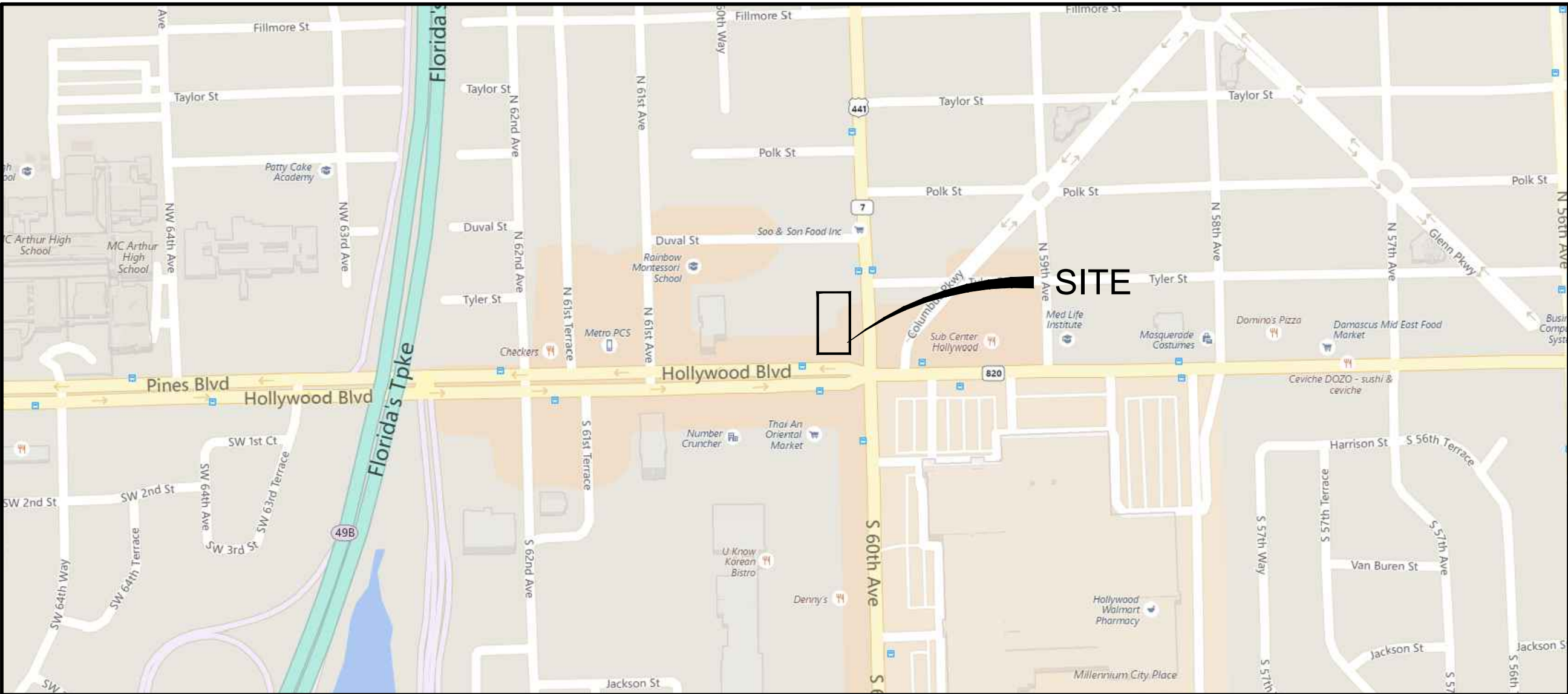
WATER
CITY OF HOLLYWOOD
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
(954) 967-4357

SEWER
CITY OF HOLLYWOOD
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
(954) 967-4357

ELECTRIC
FLORIDA POWER AND LIGHT - GULFSTREAM SERVICE CENTER
4000 DAVIE ROAD EXTENSION
HOLLYWOOD, FL 33024
(954) 442-6300

LEGAL DESCRIPTION

LOT 29 OF "GRACEWOOD NO. 3," ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 48, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LESS AND EXCEPT LANDS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED JULY 22, 1988 RECORDED IN OFFICIAL RECORDS BOOK 19530, PAGE 823, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



LOCATION MAP

N.T.S.

PRELIMINARY TAC MEETING: 10/02/2017

FINAL TAC MEETING: 10/30/2017

PLANNING & DEVELOPMENT BOARD: JAN, 2018

Bowman
CONSULTING

Certificate of Authorization License No. 30462

13450 W. SUNRISE BOULEVARD,
SUITE 320
SUNRISE, FL 33323
PHONE: (954) 314-8400

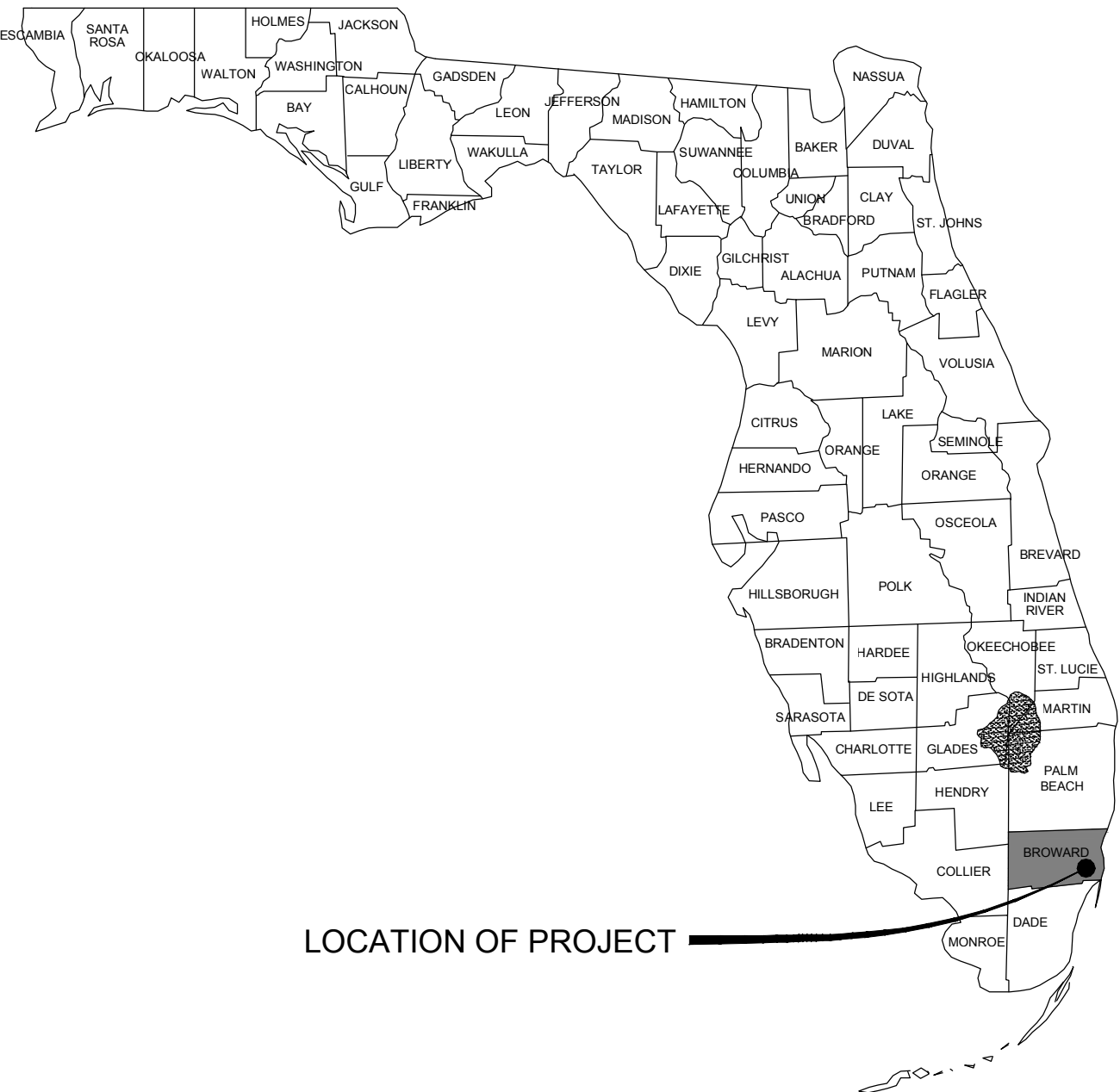
www.bowmanconsulting.com
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SITE INFORMATION

PROJECT AREA: ±0.67 ACRES
PARCEL FOLIO NO.: 5141-13-07-0240
PARCEL ADDRESS: 100 N. STATE ROAD 7, HOLLYWOOD, FL
CURRENT ZONING: SR7 CCD-CC - SR 7 COMMERCIAL CORRIDOR DISTRICT
PROPOSED USE: GAS STATION / CONVENIENCE STORE

SHEET INDEX:

| | |
|------|---------------------------------------|
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| C-1 | EXISTING CONDITIONS |
| C-2 | DEMOLITION PLAN |
| C-3 | EROSION & SEDIMENT CONTROL - PHASE I |
| C-4 | EROSION & SEDIMENT CONTROL - PHASE II |
| C-5 | EROSION CONTROL DETAILS |
| C-6 | SITE PLAN |
| C-7 | SITE DETAILS |
| C-8 | PAVING, GRADING AND DRAINAGE PLAN |
| C-9 | SITE CROSS SECTIONS |
| C-10 | PAVING, GRADING AND DRAINAGE DETAILS |
| C-11 | UTILITY PLAN |
| C-12 | UTILITY DETAILS |
| L-1 | LANDSCAPE PLAN |
| L-2 | LANDSCAPE PLAN |



LOCATION OF PROJECT

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
13450 W Sunrise Blvd, Suite 320
Sunrise, FL 33323
Phone: (954) 314-8400
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

COVER SHEET
7-ELEVEN
100 N. STATE ROAD 7

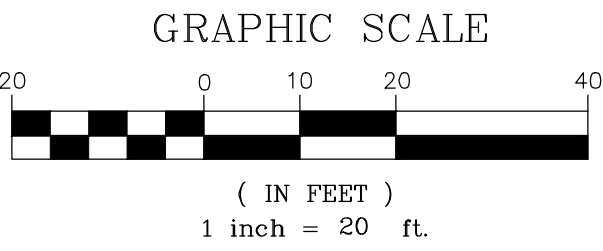
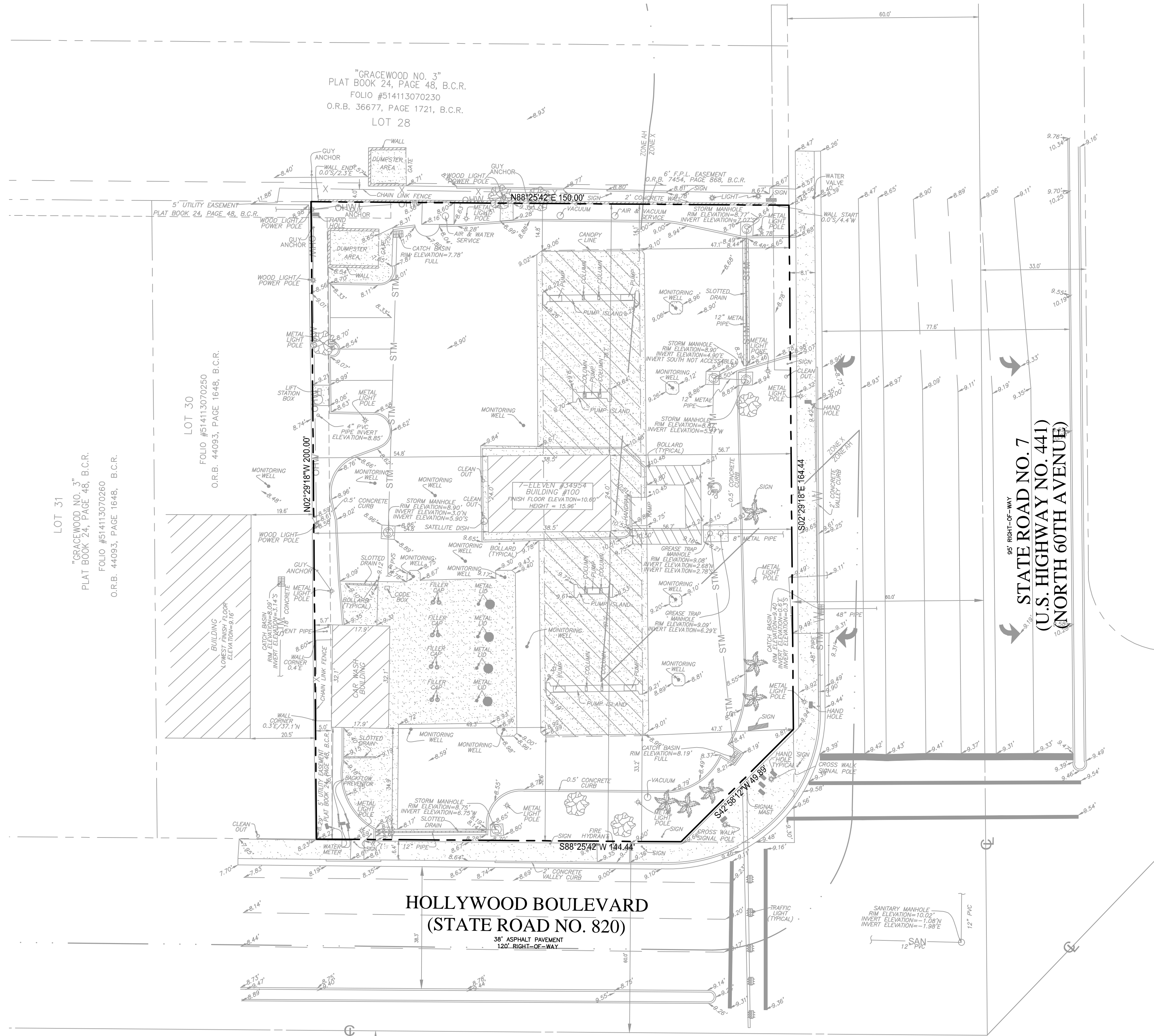
CITY OF HOLLYWOOD

BROWARD COUNTY, FLORIDA



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| WILLIAM PFEFFER, P.E. LICENSE NO. 73058 11/13/2017 | | | |
| REVISIONS | | | |
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| | | | |
| DATE | NO. | DESCRIPTION | |
| KM DESIGN | KM DRAWN | AG | CHKD |
| SCALE | AS SHOWN | | |
| JOB No. | 010063-02-141 | | |
| DATE | 11/13/2017 | | |
| FILE | 010063-d-cp-141-00-cov.dwg | | |
| SHEET | C-0 | | |

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EXISTING LEGEND

- PROPERTY LINE
- CONCRETE SIDEWALK
- BUILDING
- OVERHANG/CANOPY
- EDGE OF PAVEMENT
- EDGE OF SIDEWALK
- SIGN / CROSSWALK SIGNAL
- CATCH BASIN
- SANITARY MANHOLE
- CLEAN OUT
- GREASE TRAP LID
- SANITARY SEWER VALVE
- UNDERGROUND FUEL STORAGE TANK LID
- WATER VALVE / BACKFLOW PREVENTER
- WATER METER
- FIRE HYDRANT
- LIGHT POLE
- WOOD UTILITY POLE
- CONCRETE UTILITY POLE
- OVERHEAD ELECTRIC SERVICE
- ELECTRIC HANDHOLE
- MONITOR WELL
- ADJACENT ROW
- TREES
- CHAIN LINK FENCE

EXISTING CONDITIONS
7-ELEVEN
100 N. STATE ROAD 7



| | | | |
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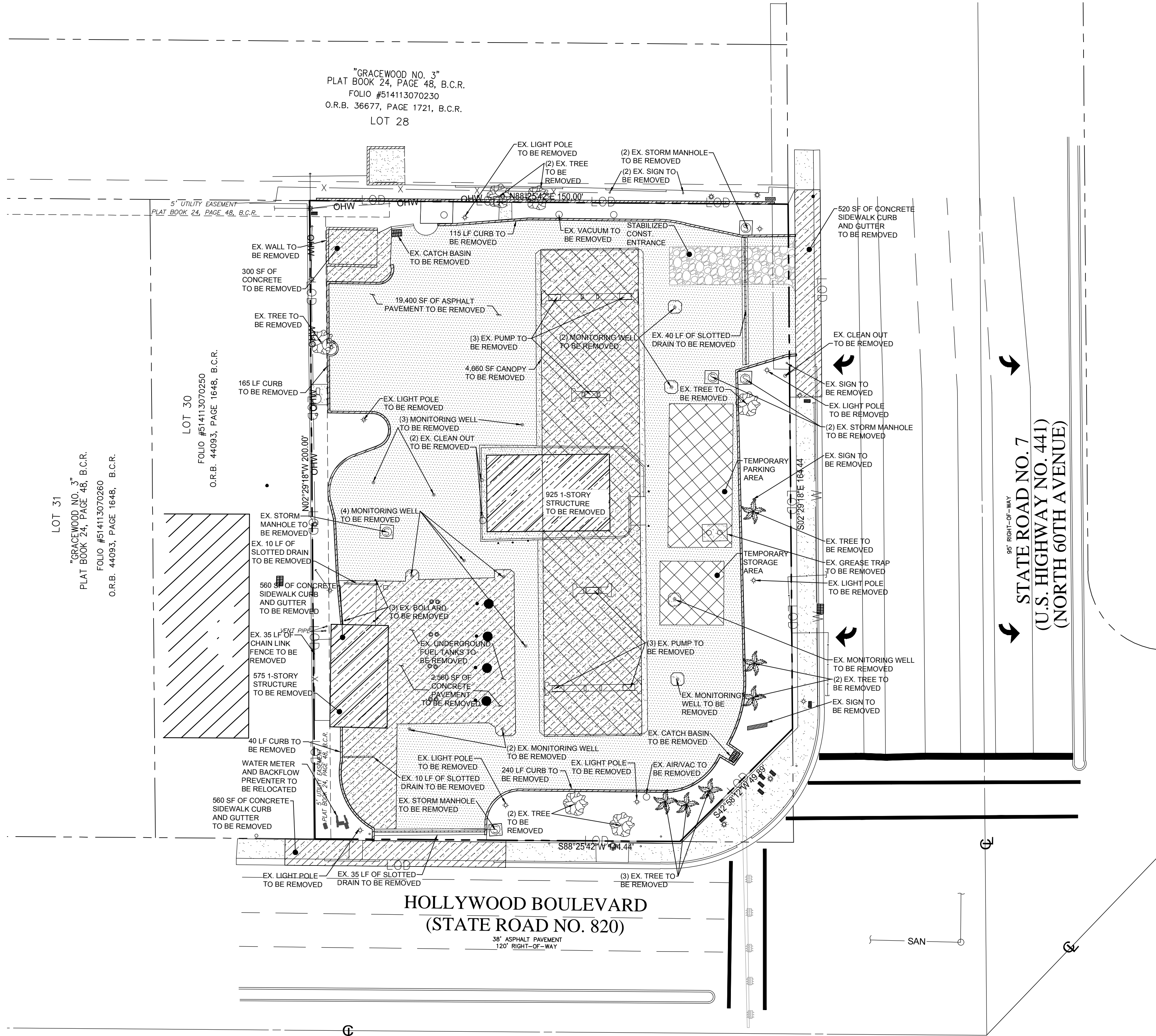
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13450 W Sunrise Blvd., Suite 320
Sunrise, FL 33323
Phone: (954) 314-9400
www.bowmanconsulting.com
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CONSULTING

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DEMOLITION LEGEND

| | |
|--|----------------------------------|
| | PROP. STABILIZED CONST. ENTRANCE |
| | TEMPORARY PARKING & STAGING AREA |
| | PROP. ASPHALT DEMO |
| | PROP. STRUCTURE/CONCRETE DEMO |
| | PROP. OPEN SPACE DEMO |
| | LIMITS OF DISTURBANCE |

GENERAL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED, AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE FDEP GENERIC PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
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- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SODDED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SODDED/LANDSCAPED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
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CONSTRUCTION SEQUENCE

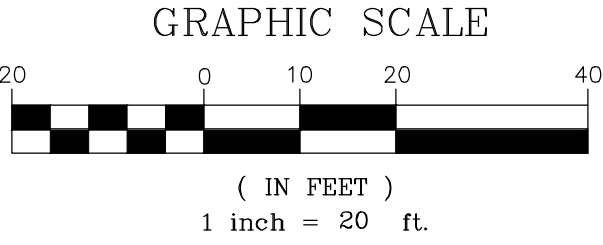
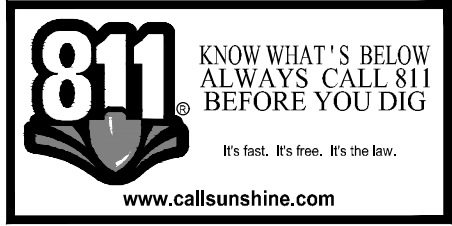
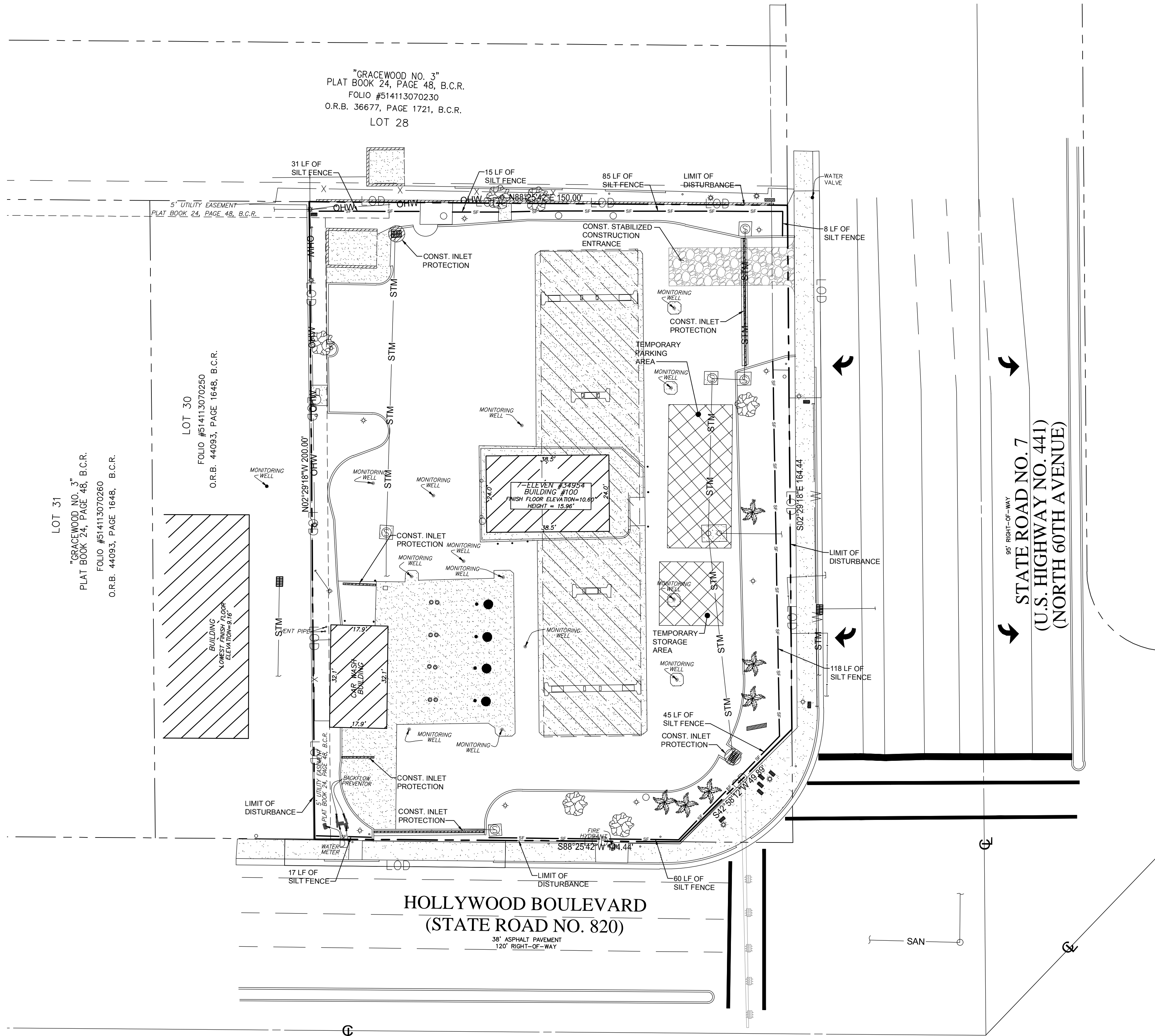
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 - INSTALL STABILIZED CONSTRUCTION EXIT AND POST SWPPP AND SITE COMPLIANCE SIGNAGE PUBLICLY VISIBLE.
 - INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN WITHIN THE CONSTRUCTION LIMITS.
 - INSTALL CONSTRUCTION FENCES AND TEMPORARY TRAFFIC AND PEDESTRIAN CONTROL DEVICES.
 - PREPARE TEMPORARY PARKING AND STORAGE AREAS.
 - DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
 - BEGIN GRADING THE SITE.
 - BEGIN CONSTRUCTION OF UTILITIES.
 - BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
 - BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
 - COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
 - COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 - OBTAIN CONCURRENCE FROM THE OWNER AND THE COUNTY THAT THE SITE HAS BEEN FULLY STABILIZED.
 - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
 - STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.
- CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.
- THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

BMP MAINTENANCE NOTES

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| DEMOLITION LEGEND | |
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| | PROP. STRUCTURE/CONCRETE DEMO |
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| | PROPOSED SILT FENCE |
| | FILTER SACK INLET PROTECTION |

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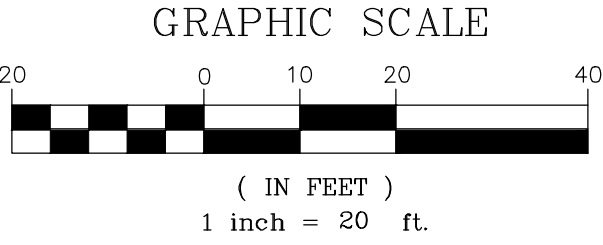
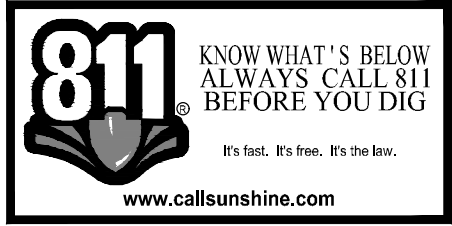
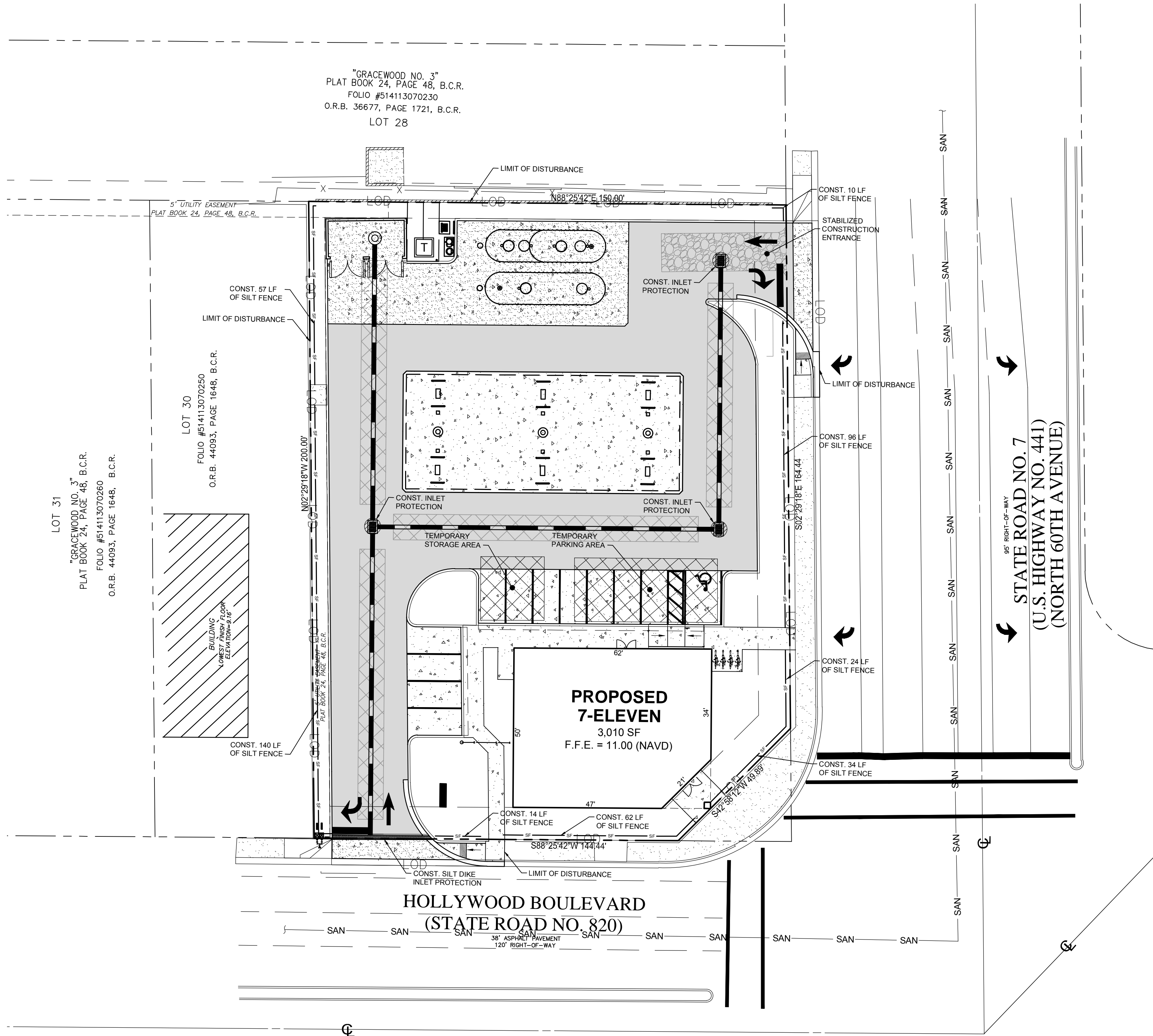
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| WILLIAM PFEFFER, P.E. LICENSE NO. 73058 11/13/2017 | | |
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- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED, AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE FDEP GENERIC PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SODDED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SODDED/LANDSCAPED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH FDEP GENERIC PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- ANY ROAD CUTS FOR UTILITIES OR CURB CUTS WITHIN 50-FT IN THE CITY RIGHTS-OF-WAY SHALL BE RESTORED TO FULL LANE WIDTH, AND PROVIDE FINAL RESURFACE OF 25-FT IN EACH DIRECTION OF CUT, PER CITY CODE OF ORDINANCES SECTION 25-108 AND SHOW ON THE CIVIL PLANS THE TEMPORARY AND THE FINAL ASPHALT RESTORATION FOR MASTER PERMIT APPROVAL.

CONSTRUCTION SEQUENCE

- CONDUCT PRE-CONSTRUCTION MEETING WITH THE COUNTY TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
- INSTALL STABILIZED CONSTRUCTION EXIT AND POST SWPPP AND SITE COMPLIANCE SIGNAGE PUBLICLY VISIBLE.
- INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN WITHIN THE CONSTRUCTION LIMITS.
- INSTALL CONSTRUCTION FENCES AND TEMPORARY TRAFFIC AND PEDESTRIAN CONTROL DEVICES.
- PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
- BEGIN GRADING THE SITE.
- BEGIN CONSTRUCTION OF UTILITIES.
- BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
- BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
- COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
- COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- OBTAIN CONCURRENCE FROM THE OWNER AND THE COUNTY THAT THE SITE HAS BEEN FULLY STABILIZED.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

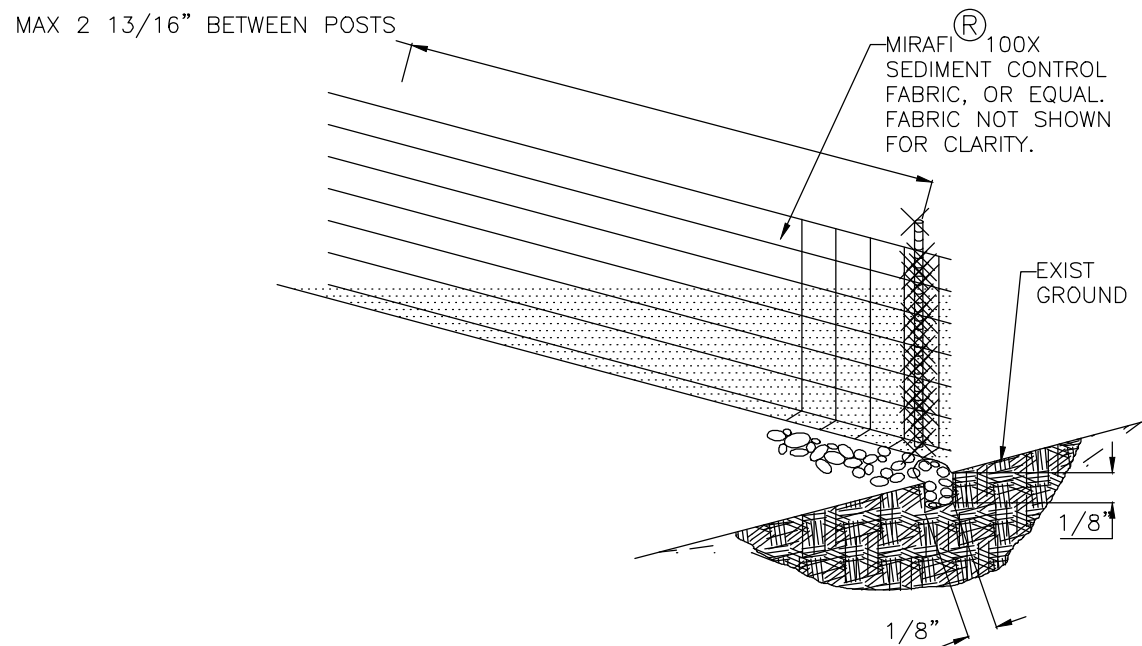
BMP MAINTENANCE NOTES

- ALL MEASURES STATED ON THESE PLANS SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION FDEP GENERIC PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
 - ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
 - THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
 - PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT LEAVING THE SITE SHALL BE CLEANED IMMEDIATELY.
 - ALL INLETS AND STORM DRAINS SHALL BE KEPT CLEAN OF DEBRIS AND SEDIMENT. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.



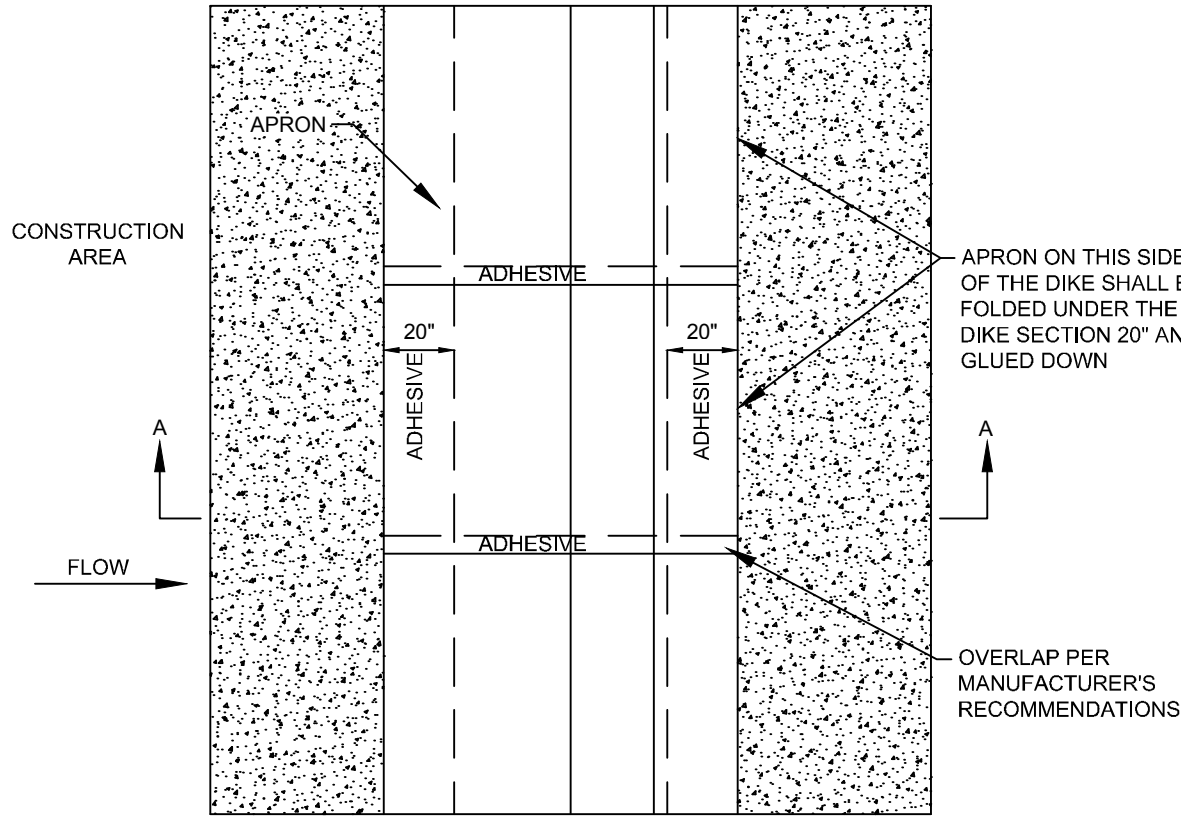
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| WILLIAM PFEFFER, P.E. LICENSE NO. 73058 11/13/2017 | | |
| REVISIONS | | |
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| DATE | NO. | DESCRIPTION |
| KM DESIGN | KM DRAWN | AG CHKD |
| SCALE | 1" = 20' | |
| JOB NO. | 010063-02-141 | |
| DATE | 11/13/2017 | |
| FILE | 010063-d-cp-141-04-ec2.dwg | |
| SHEET | C-4 | |

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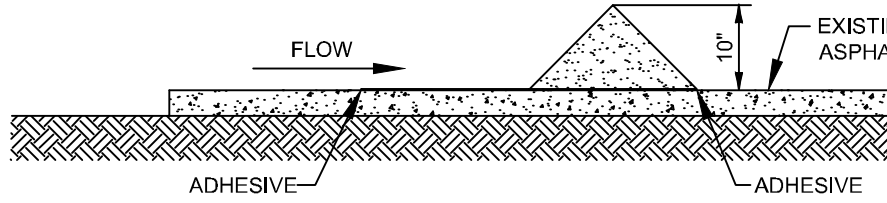
DRIVE WOOD POSTS (1.3 LBS/FT MIN) 18" MIN INTO GROUND AND EXCAVATE A 4"x4" TRENCH UPHILL 5' LONG (MIN) ALONG LINE OF POSTS, WOOD.
POSTS 4" IN DIAMETER OR 2"x4" MAY BE USED.
ATTACH WIRE FENCE TO POSTS AND EXTEND THE BOTTOM OF THE FENCE 8" INTO THE EXCAVATED TRENCH. ALTERNATE : USE SEDIMENT CONTROL FABRIC WITH PRE-SEWN POCKETS FOR POSTS SO THAT WIRE FENCE IS NOT REQ'D.
ATTACH THE SEDIMENT CONTROL FABRIC (36" WIDE) TO THE WIRE FENCE W/METAL CLIPS OR WIRE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 6" ABOVE GROUND LEVEL, SO THAT RUNOFF IS FORCED TO GO THROUGH THE FENCE AND CANNOT GO UNDER IT.
SILT FENCE SHALL BE MAINTAINED AND TRAPPED SEDIMENTS SHALL BE REMOVED BY THE CONTRACTOR PERIODICALLY AS DETERMINED BY THE ENGINEER OR AS NECESSARY (MAX. 6 MONTHS).
THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FENCES AND AREA TO BE RESTORED TO THE ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.

D105

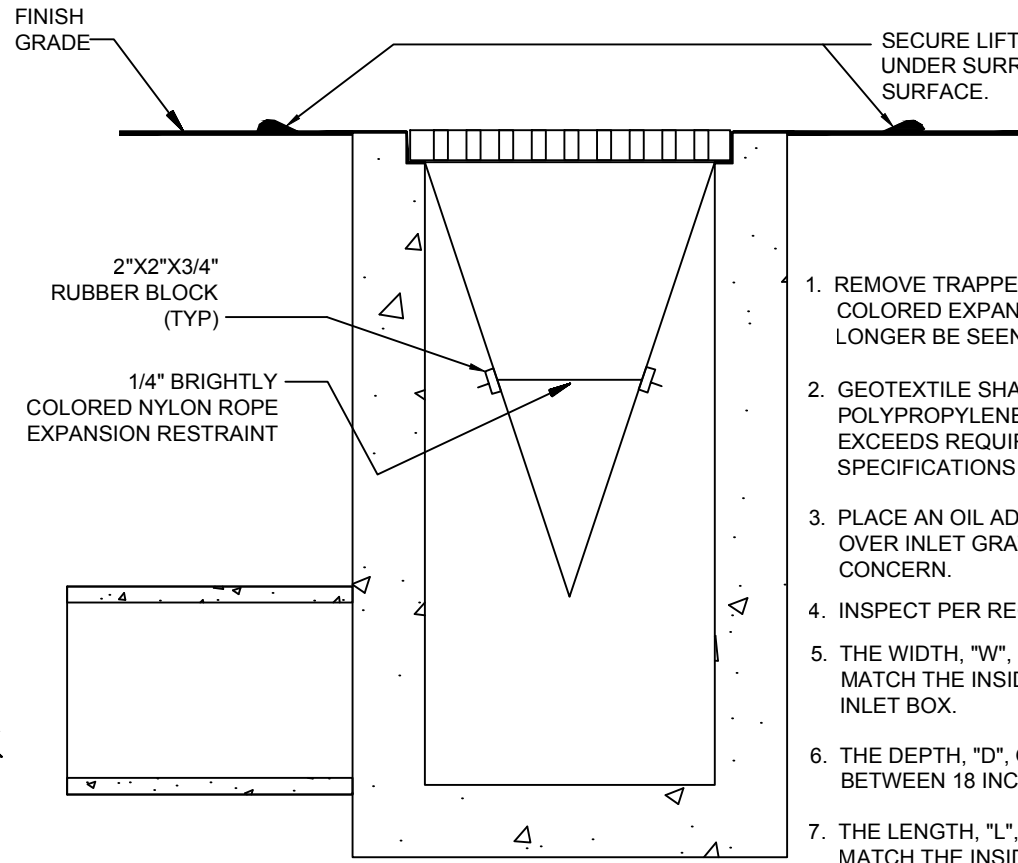
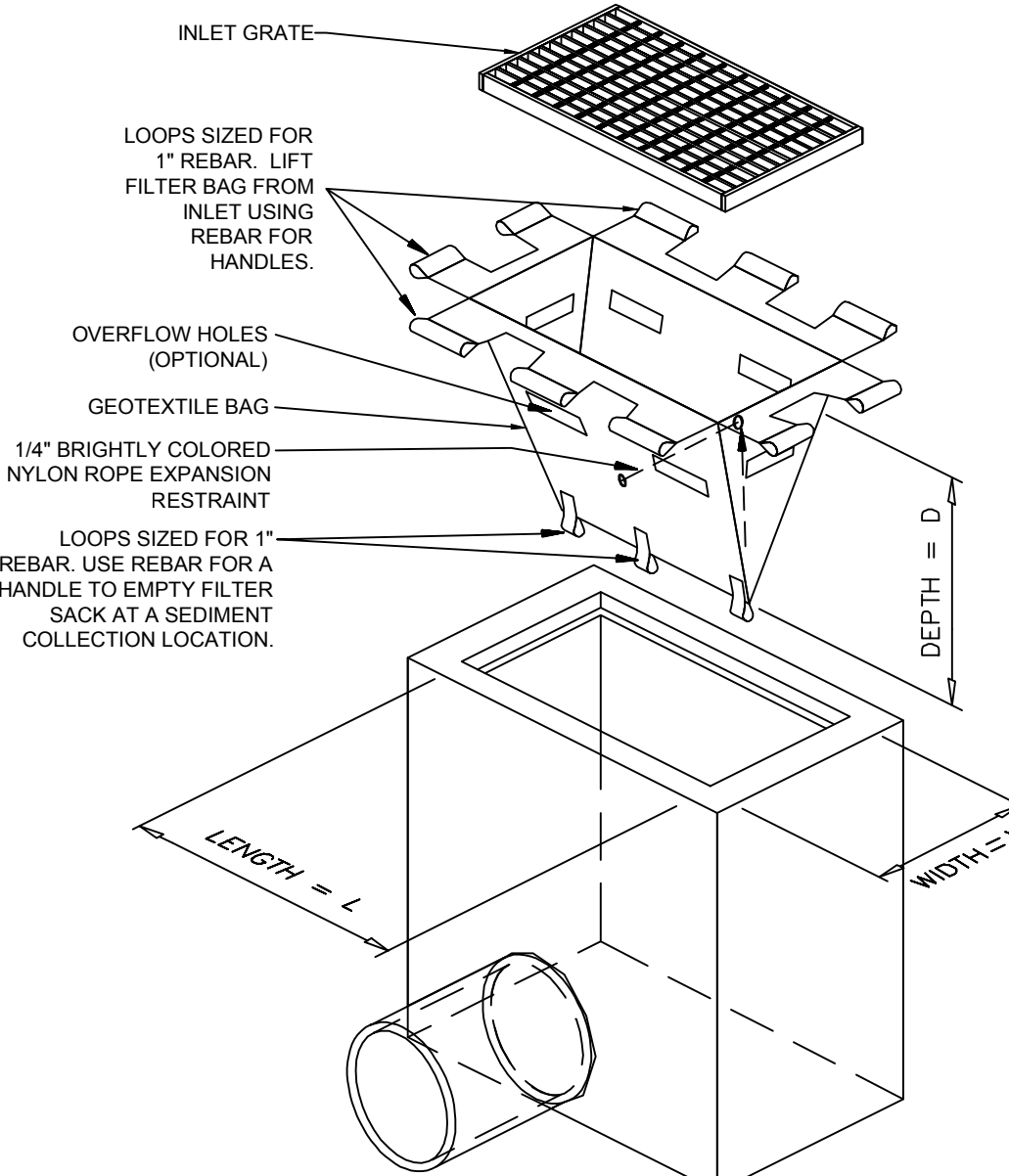


NOTES:

1. INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
2. ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.

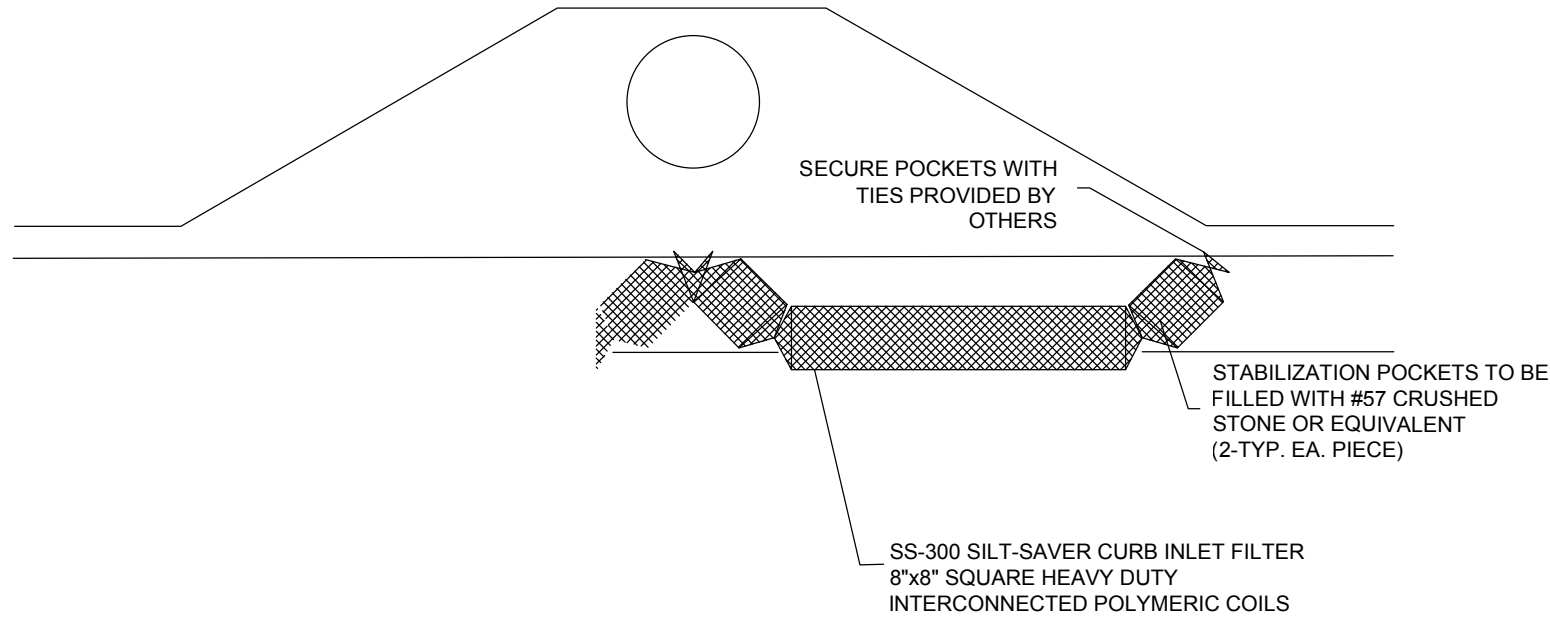


SECTION A-A
SILT DIKE ON EXISTING PAVEMENT
NOT TO SCALE



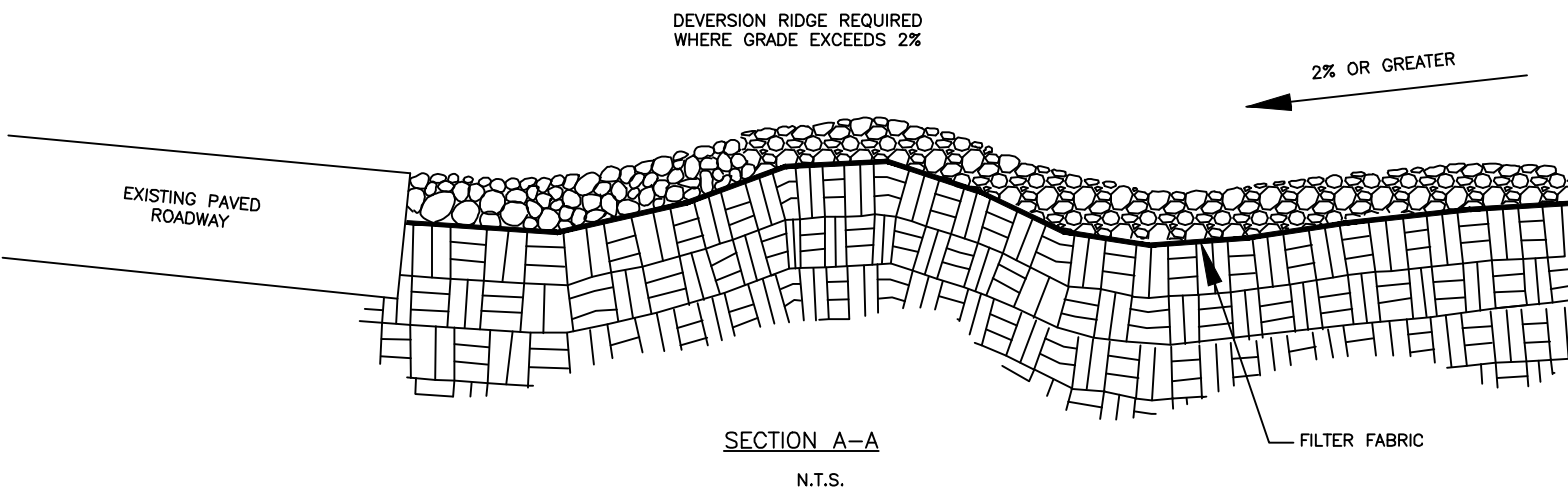
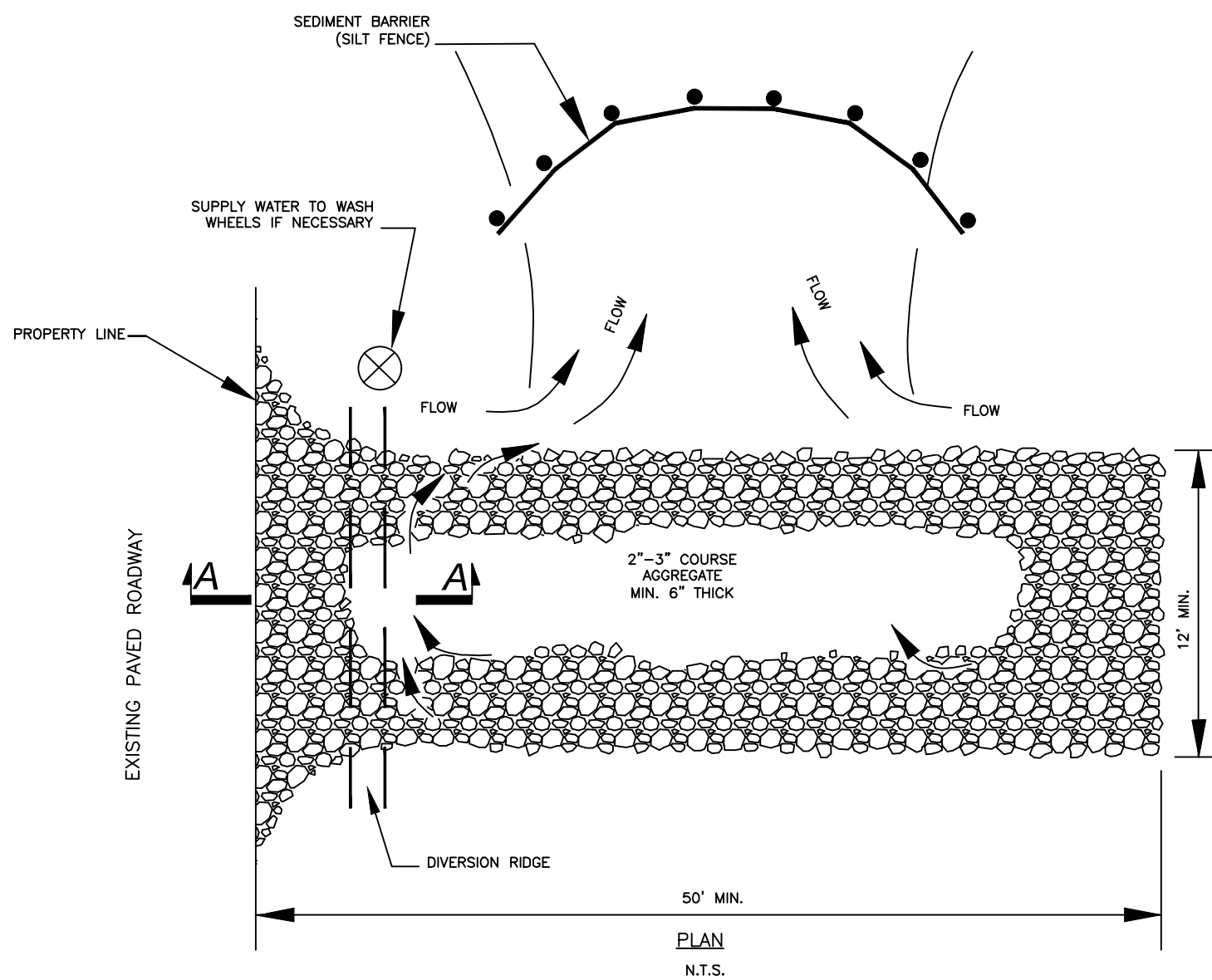
FILTER SACK INLET PROTECTION
NOT TO SCALE

| LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
|---|-------------|-------------------|
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 300 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4633 | 120 LBS |
| MULLEN BURST | ASTM D-3786 | 800 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 120 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APARENT OPENING SIZE | ASTM D-4751 | 40 US SIEVE |
| FLOW RATE | ASTM D-4491 | 40 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 0.05 SEC -1 |
| MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 265 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4633 | 135 LBS |
| MULLEN BURST | ASTM D-3786 | 420 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 45 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APARENT OPENING SIZE | ASTM D-4751 | 20 US SIEVE |
| FLOW RATE | ASTM D-4491 | 200 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 1.5 SEC -1 |



- INSTALLATION PROCEDURE:
1. IDENTIFY OPENING DIMENSIONS TO DETERMINE THE NUMBER OF SS-300 CURB INLET FILTERS THAT WILL BE REQUIRED.
 2. COMPLETELY FILL THE STABILIZATION CHAMBER ON EACH END OF EACH SS-300 CURB INLET FILTER WITH #57 CRUSHED STONE.
 3. SECURE ENDS OF THE STABILIZATION POCKETS WITH TIES TO BE PROVIDED BY OTHERS.
 4. PLACE THE SS-300 CURB INLET FILTERS IN FRONT OF THE CURB INLET OR OPENING TO PREVENT THE MIGRATION OF SILT INTO THE STORM DRAIN SYSTEM.

CURB INLET FILTER
NOT TO SCALE



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ANY SEDIMENT TRACKED ONTO ROADWAYS SHALL BE SWEEPED BACK ONTO SITE AT THE END OF EACH WORKING DAY.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

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EROSION CONTROL DETAIL SHEET
7-ELEVEN
100 N. STATE ROAD 7
BROWARD COUNTY, FLORIDA

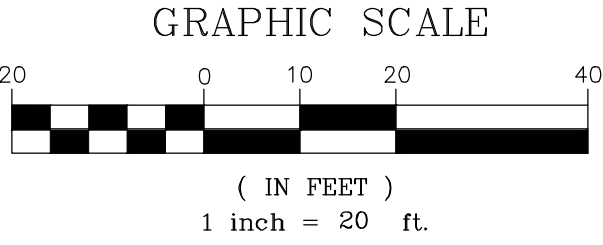
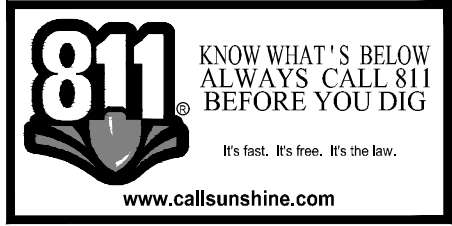
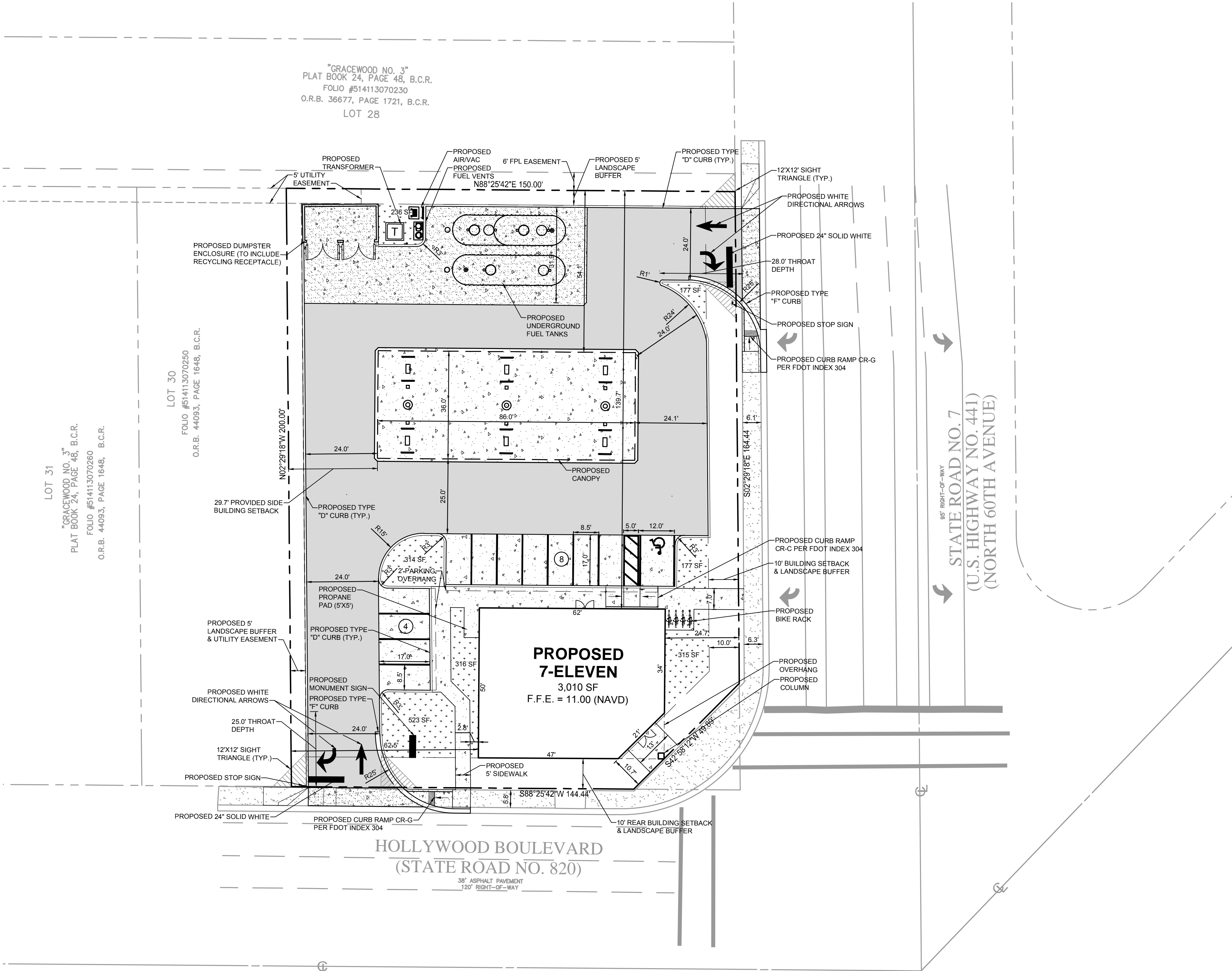


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| WILLIAM PFEFFER, P.E. LICENSE NO. 73058 11/13/2017 | | | |
| REVISIONS | | | |
| DATE | NO. | DESCRIPTION | |
| KM DESIGN | KM DRAWN | AG | CHKD |
| SCALE AS SHOWN | | | |
| JOB No. 010063-02-141 | | | |
| DATE 11/13/2017 | | | |
| FILE 010063-d-cp-141-05-ecl.dwg | | | |
| SHEET C-5 | | | |

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LEGAL DESCRIPTION

LOT 29 OF "GRACEWOOD NO. 3", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 48, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LESS AND EXCEPT LANDS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED JULY 22, 1988 RECORDED IN OFFICIAL RECORDS BOOK 19630, PAGE 823, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



EXISTING LEGEND

| | |
|-----------|-------------------------|
| --- | PROPERTY LINE |
| - - - - | ADJACENT ROW |
| [Pattern] | CONCRETE SIDEWALK |
| --- | BUILDING SETBACK LINE |
| --- | LANDSCAPE BUFFER LINE |
| --- | FPL EASEMENT |
| --- | UTILITY EASEMENT |
| + | SIGN / CROSSWALK SIGNAL |

PROPOSED LEGEND

| | |
|-----------|-------------------------------|
| ===== | TYPE "D" CURB |
| ===== | TYPE "F" CURB & GUTTER |
| (R) | PARKING COUNT |
| [Pattern] | ASPHALT PAVEMENT |
| [Pattern] | HEAVY DUTY CONCRETE PAVEMENT |
| [Pattern] | CONCRETE SIDEWALK |
| [Pattern] | PERVIOUS WITHIN VEH. USE AREA |
| [Symbol] | FUEL VENTS |
| [Symbol] | AIR / VAC |
| [Symbol] | SIGN |
| [Symbol] | MONUMENT SIGN |
| [Symbol] | BIKE RACK |
| [T] | TRANSFORMER |

OVERALL SITE DATA

| | |
|-------------------------------|---------------------------------------|
| TOTAL SITE AREA | 29,363 SF / 0.67 AC |
| FUTURE LAND USE | TOC (TRANSIT ORIENTED CORRIDOR) |
| EXISTING ZONING | SR7 CCD-CC (SR 7 COMMERCIAL CORRIDOR) |
| PROPOSED PAVEMENT AREA | 3,000 SF |
| PROPOSED BUILDING HEIGHT | 16'-8" |
| PROPOSED # OF STORIES | 1 STORY |
| UNDERLYING ZONING DESIGNATION | C-4 (COMMERCIAL) |
| EXISTING PAVEMENT AREA | 5,340 SF / 0.12 AC |

VARIANCES REQUESTED:

(SEC. 8.5.8.4) TO PERMIT A WALL SIGN ON THE NORTH FACE OF THE PROPOSED BUILDING

SITE CALCULATIONS

| AREA | SF | ACRES | % |
|-----------------------|--------|-------|-----|
| TOTAL SITE AREA | 29,363 | 0.67 | 100 |
| TOTAL PAVEMENT AREA | 5,928 | 0.14 | 21 |
| LANDSCAPE BUFFERS | 3,953 | 0.09 | 13 |
| PARKING OVERHANG | 204 | 0.01 | 1 |
| BUILDING | 3,000 | 0.07 | 10 |
| PAVEMENT / SIDEWALK | 20,435 | 0.47 | 70 |
| TOTAL IMPERVIOUS AREA | 23,435 | 0.54 | 80 |

VEHICULAR USE AREA

| AREA | SF | ACRES | % |
|--------------------------|--------|-------|-----|
| TOTAL VEHICULAR USE AREA | 24,025 | 0.55 | 100 |
| IMPERVIOUS AREA | 22,050 | 0.51 | 92 |
| PAVEMENT AREA | 1,975 | 0.05 | 8 |

BUILDING SETBACKS

| SETBACKS | REQUIRED | PROPOSED |
|--------------------|----------|----------|
| FRONT (NORTH) | 10.0' | 54.1' |
| REAR (SOUTH) | 10.0' | 63.5' |
| SIDE (WEST) | 10.0' | 23.5' |
| SIDE STREET (EAST) | 10.0' | 10.0' |

LANDSCAPE BUFFERS

| SETBACKS | REQUIRED | PROPOSED |
|--------------------|----------|----------|
| FRONT (NORTH) | 10.0' | 5.0' |
| REAR (SOUTH) | 10.0' | 10.0' |
| SIDE (WEST) | 10.0' | 5.0' |
| SIDE STREET (EAST) | 10.0' | 10.0' |

PARKING

| | |
|--|-----------------------------------|
| VEHICLE PARKING REQUIRED | |
| (FLOOR AREA): 3,000 SF * 1 SPACES/250 SF = 12 SPACES | |
| TOTAL REQUIRED: | = 12 SPACES |
| ACCESSIBLE PARKING REQUIRED | |
| TOTAL REQUIRED: | = 1 ACCESSIBLE |
| VEHICLE PARKING PROVIDED | |
| TOTAL PROVIDED | = 12 SPACES (INCLUDES ACCESSIBLE) |

GENERAL SITE NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURBING SHALL BE PER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 300.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION AND DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ALL SIGNS SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT AND B.C.T.E.D. ALL SIGNS SHALL BE INSTALLED AND MOUNTED PER B.C.T.E.D. ATTACHED DETAIL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 613, 616, AND 660.
- ALL CURB RAMP SHALL HAVE DETECTABLE WARNINGS PER FDOT STANDARD INDEX 304.
- ALL UNPAVED DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SOODED.
- ALL PLANS SUBMITTED FOR PERMITTING SHALL MEET THE CITY'S CODES AND THE APPLICABLE BUILDING CODES IN EFFECT AT THE TIME OF PERMIT APPLICATION.
- MAINTENANCE OF TRAFFIC TO BE IN ACCORDANCE WITH FDOT INDEX 616
- VALLEY CURB ACROSS DRIVEWAY SHALL BE INSTALLED WITH A MINIMUM FOUR (4) INCH THICK CURB PAD AND THE PAD SHALL EXTEND A MINIMUM OF SIX (6) INCHES BEYOND EDGE OF CONCRETE, IN ACCORDANCE WITH BROWARD COUNTY MINIMUM STANDARDS (BCMS) SECTION 6-1.10.
- INLET PROTECTION REQUIRED FOR ALL INLETS IMPACTED BY THE PROJECT DURING CONSTRUCTION
- ALL LIGHTING LEVELS SHALL NOT EXCEED 0.5 FOOT-CANDLES AT ANY PROPERTY LINE.
- ELECTRICAL VEHICLE CHARGING STATION INFRASTRUCTURE TO BE PROVIDED PER CITY OF HOLLYWOOD ORDINANCE O-2016-02. PLEASE SEE UTILITY PLAN SHEET C4. ELECTRICAL NOTES FOR CONTINUATION.
- SITE SHALL ADHERE TO THE CITY OF HOLLYWOOD'S GREEN BUILDING REGULATIONS. THE PRACTICES TO BE IMPLEMENTED INCLUDE: BICYCLE STORAGE, RECYCLING, ENERGY STAR APPROVED ROOFING, PROGRAMMABLE THERMOSTATS, OCCUPANCY/VACANCY SENSORS, ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. ALL HOT WATER PIPES ARE INSULATED, M.E.R.V. AIR FILTERS, SKYLIGHTS ARE CERTIFIED BY THE N.F.R.C., AND VEHICLE CHARGING STATIONS ARE TO BE INSTALLED.

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SITE PLAN

7-ELEVEN

100 N. STATE ROAD 7

CITY OF HOLLYWOOD BROWARD COUNTY, FLORIDA



WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
11/13/2017

REVISIONS

| DATE | NO. | DESCRIPTION |
|-----------|----------|-------------|
| KM DESIGN | KM DRAWN | AG CHKD |

SCALE 1" = 20'

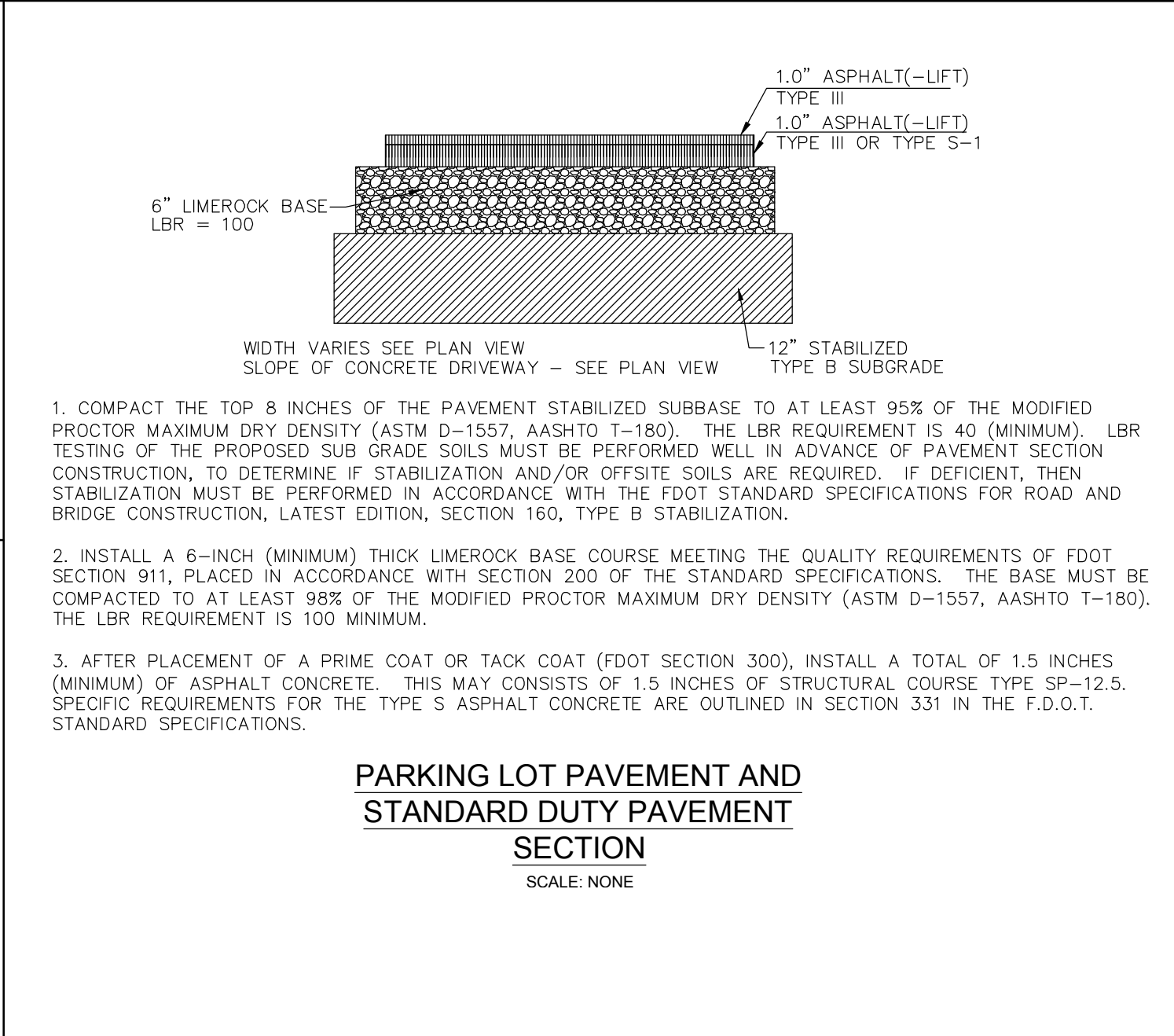
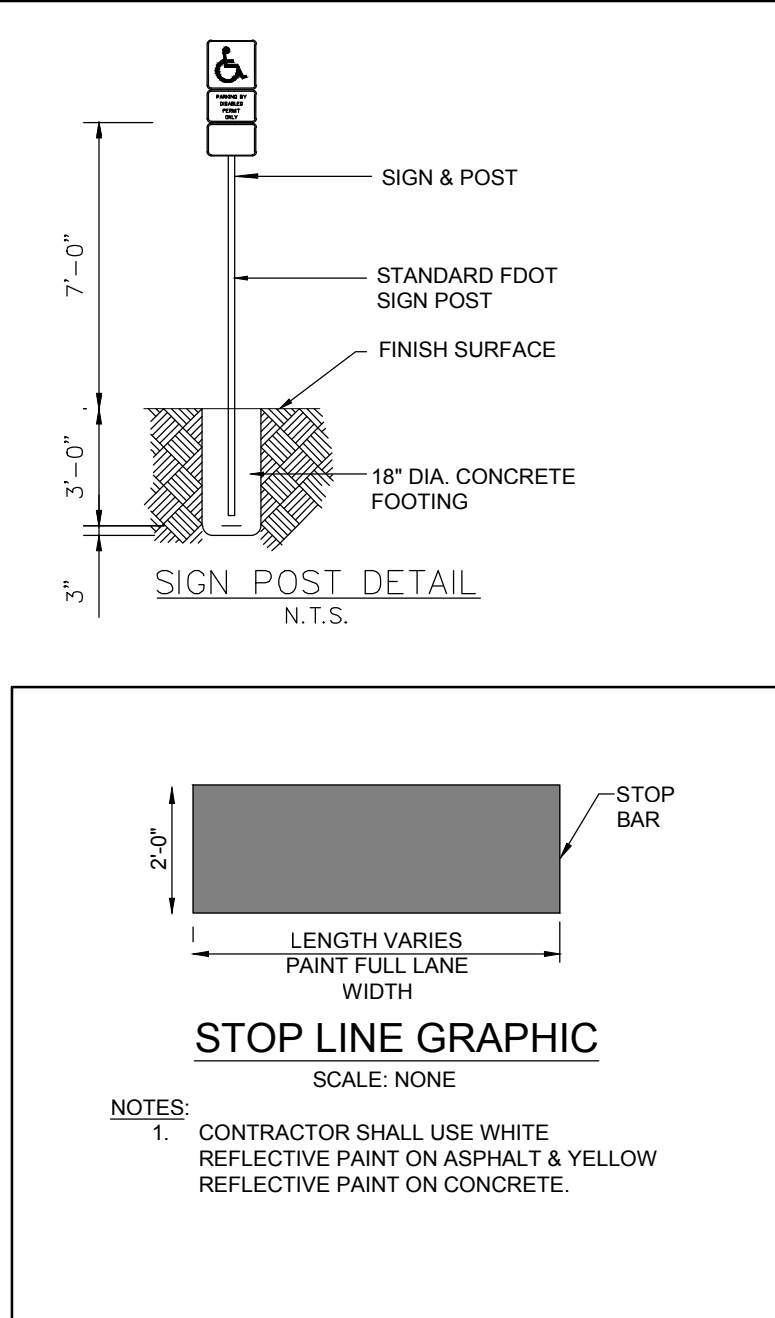
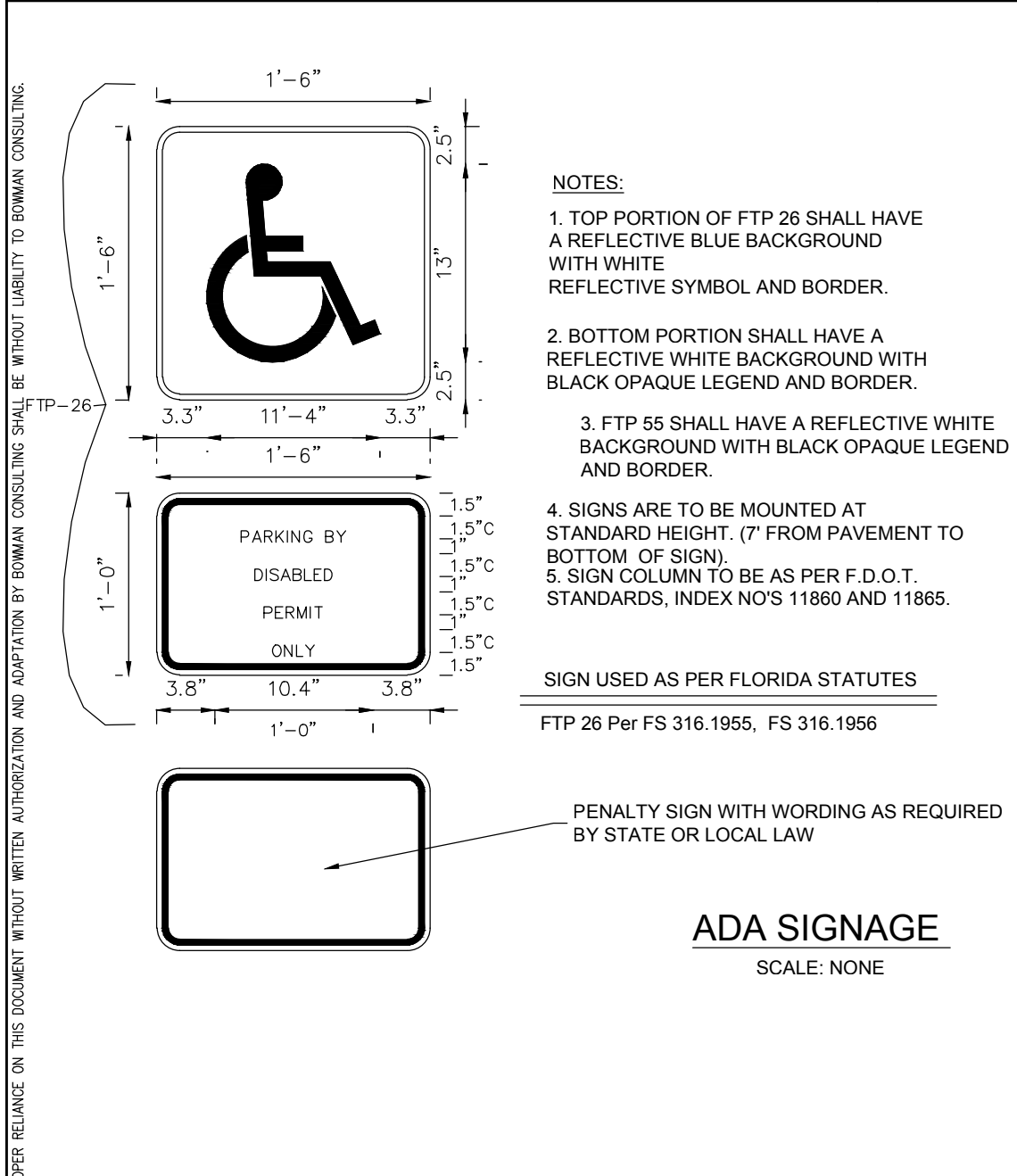
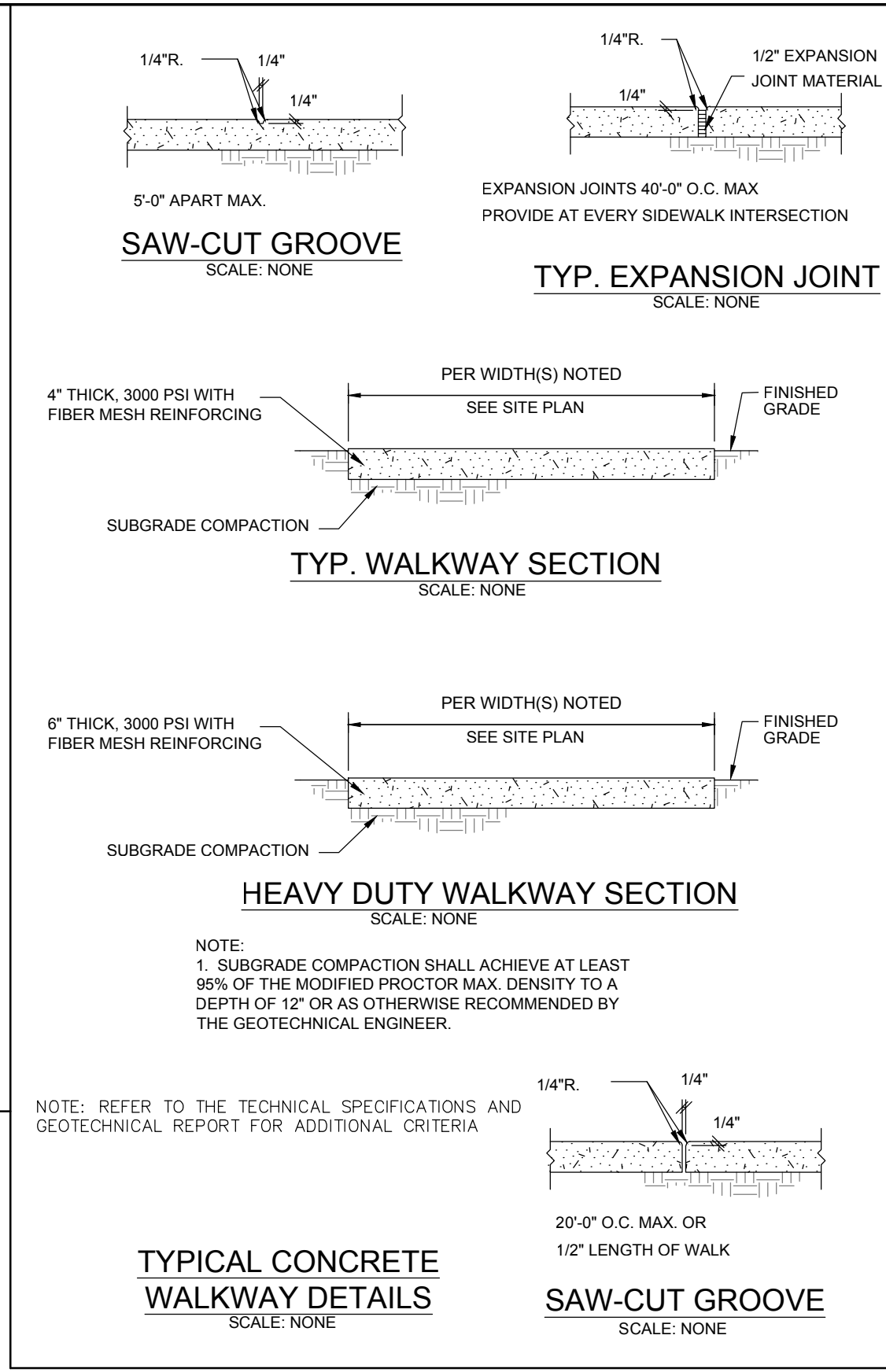
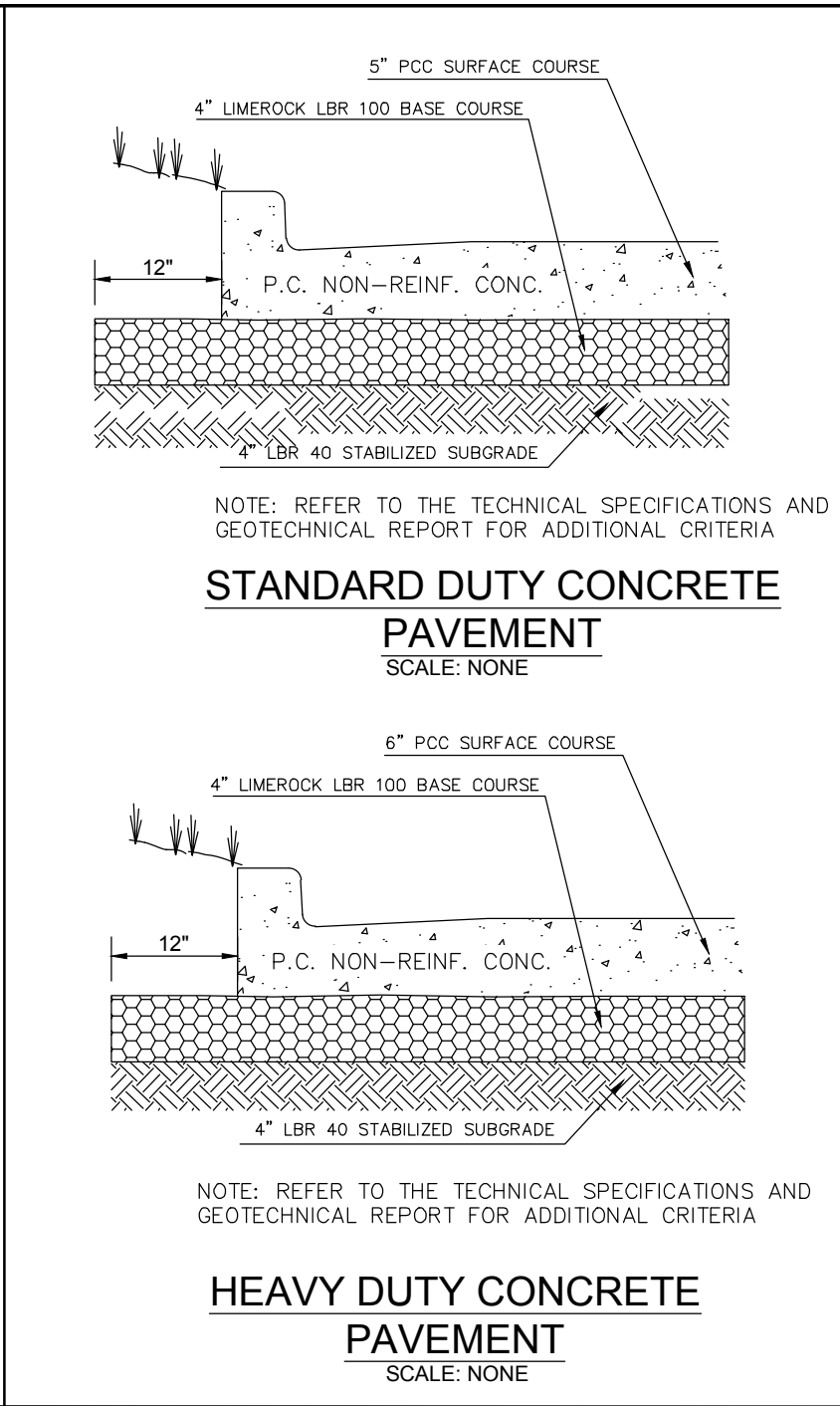
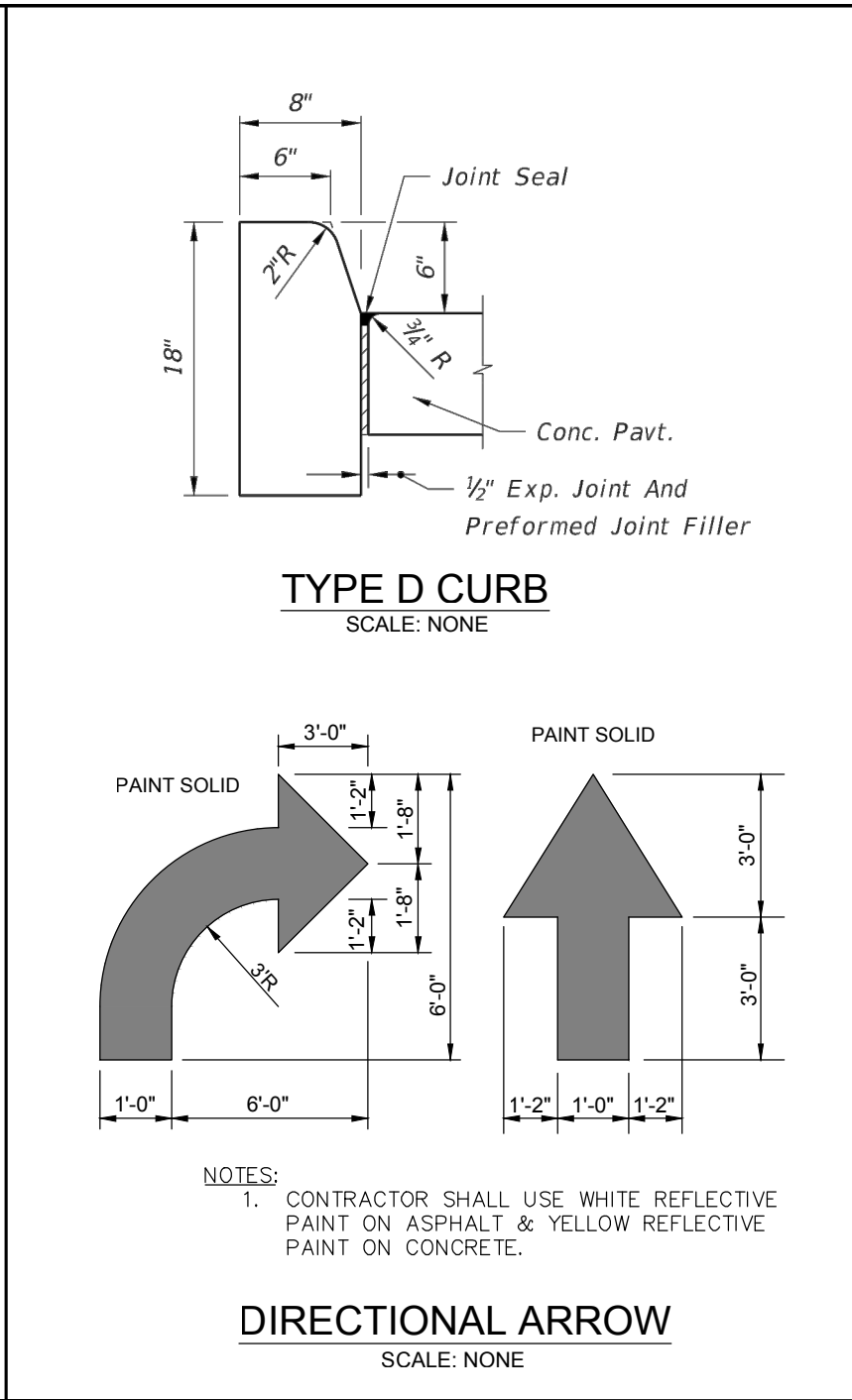
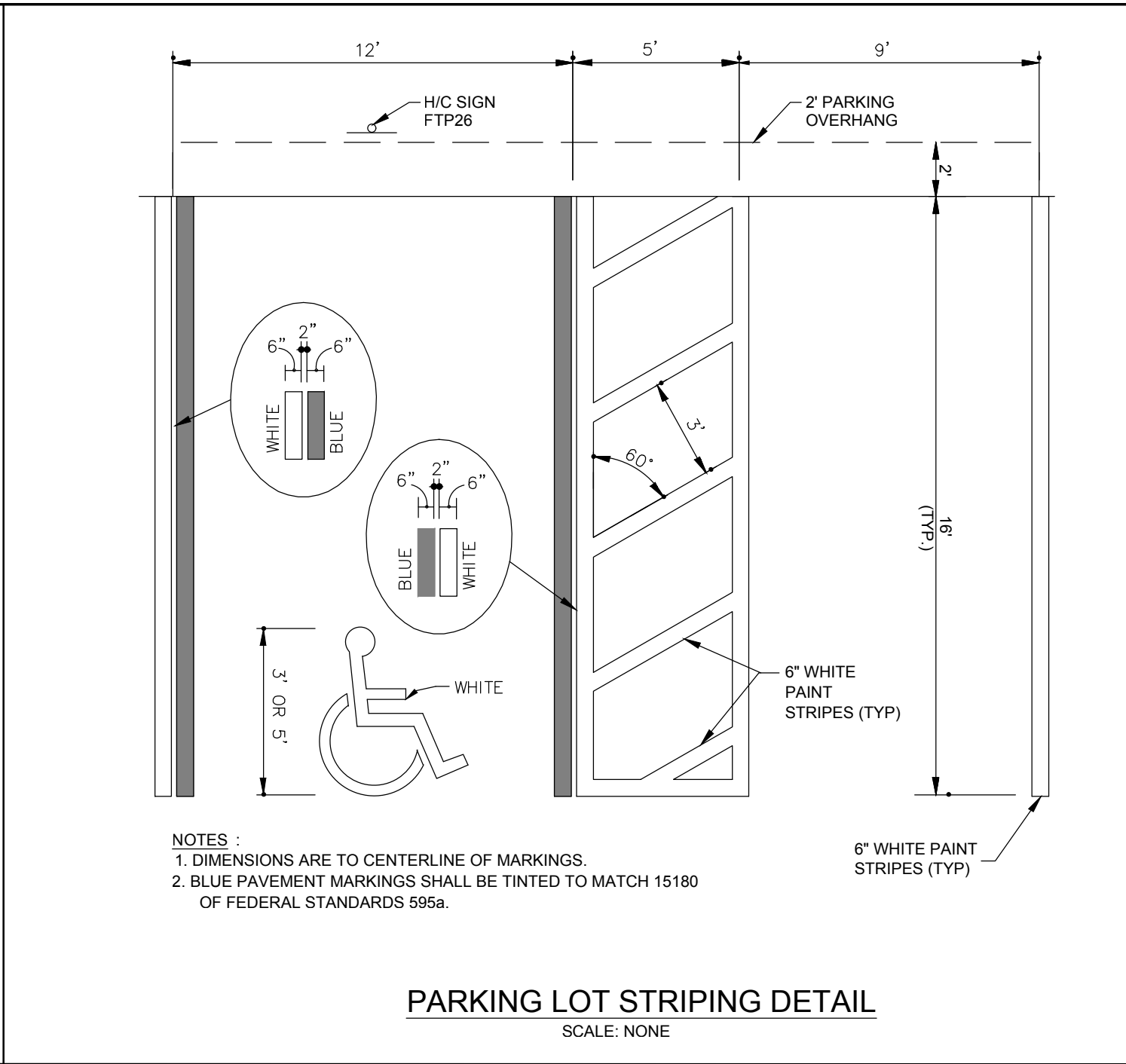
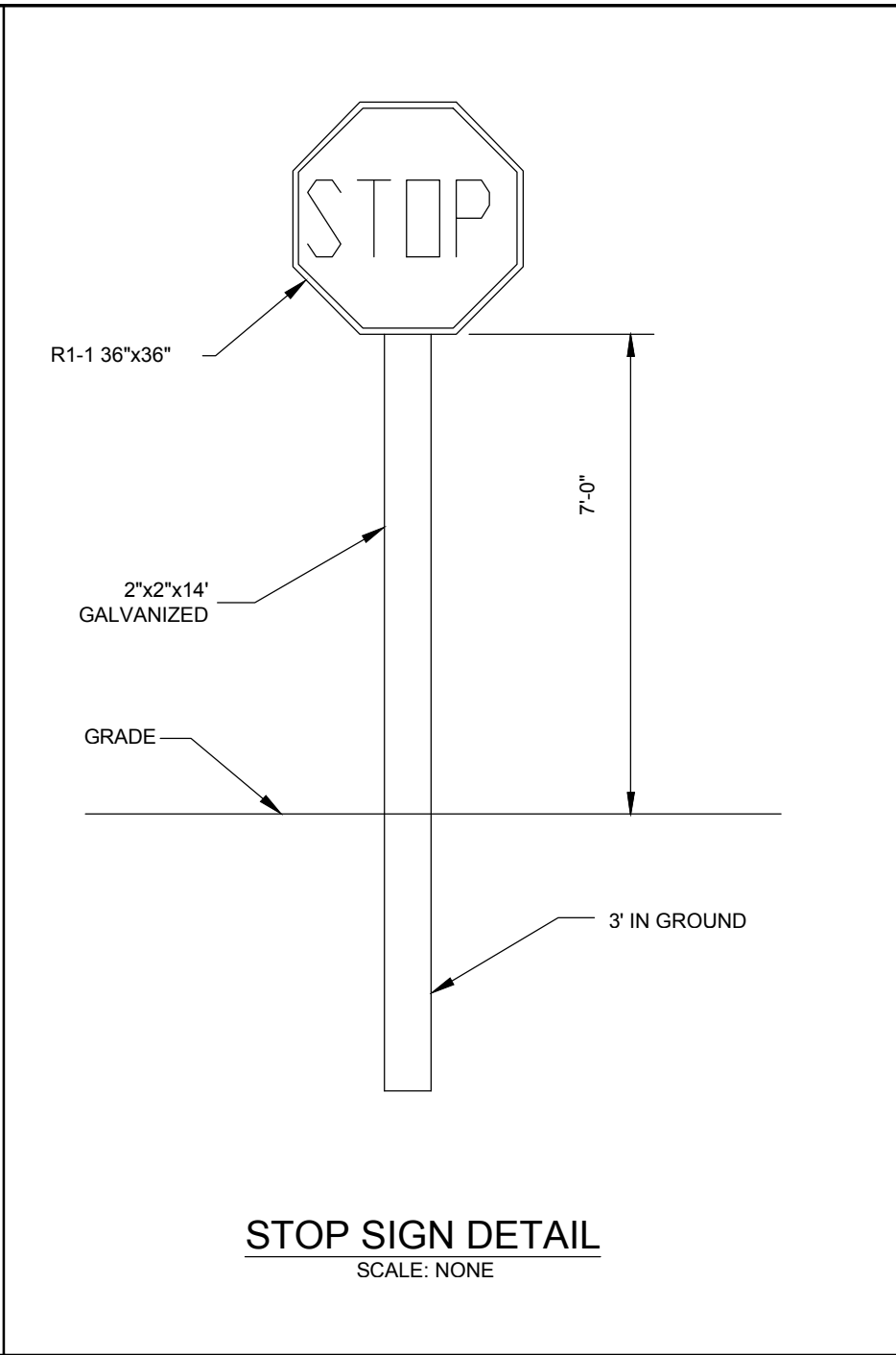
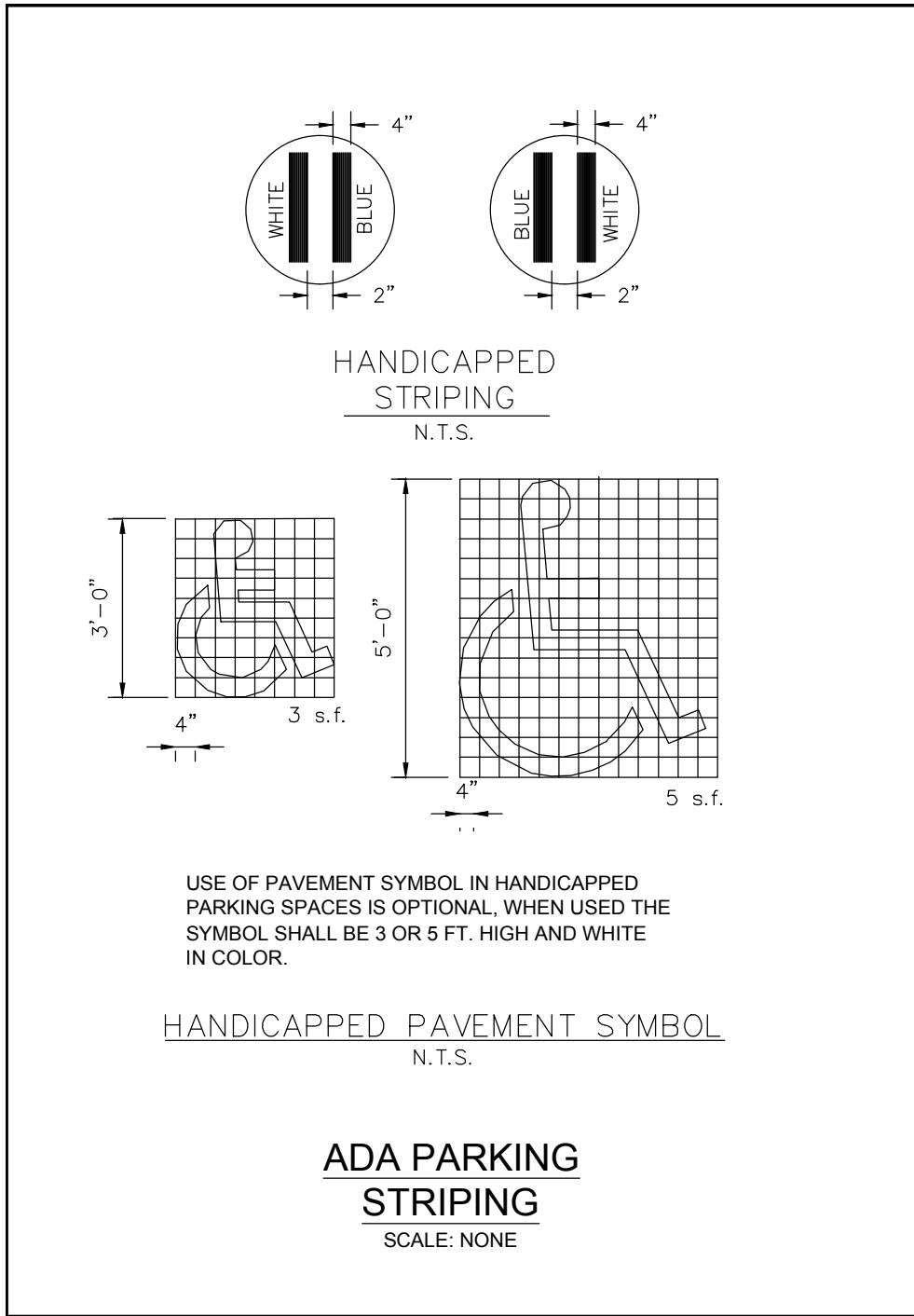
JOB NO. 010063-02-141

DATE 11/13/2017

FILE 010063-d-cp-141-06-sit.dwg

SHEET C-6

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13450 W Sunrise Blvd., Suite 320
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Phone: (954) 314-9400
www.bowmanconsulting.com
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SITE DETAILS

7-ELEVEN

100 N. STATE ROAD 7

CITY OF HOLLYWOOD

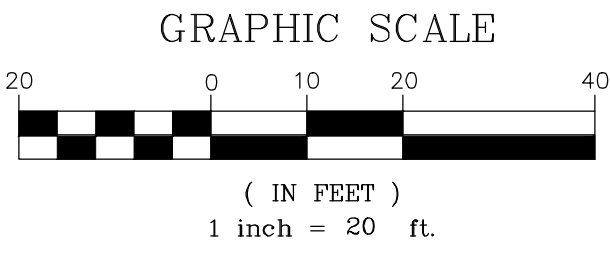
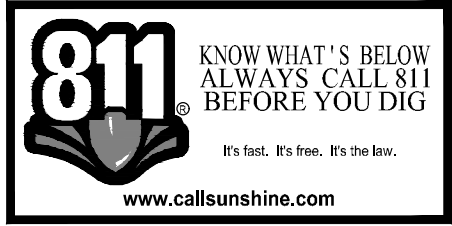
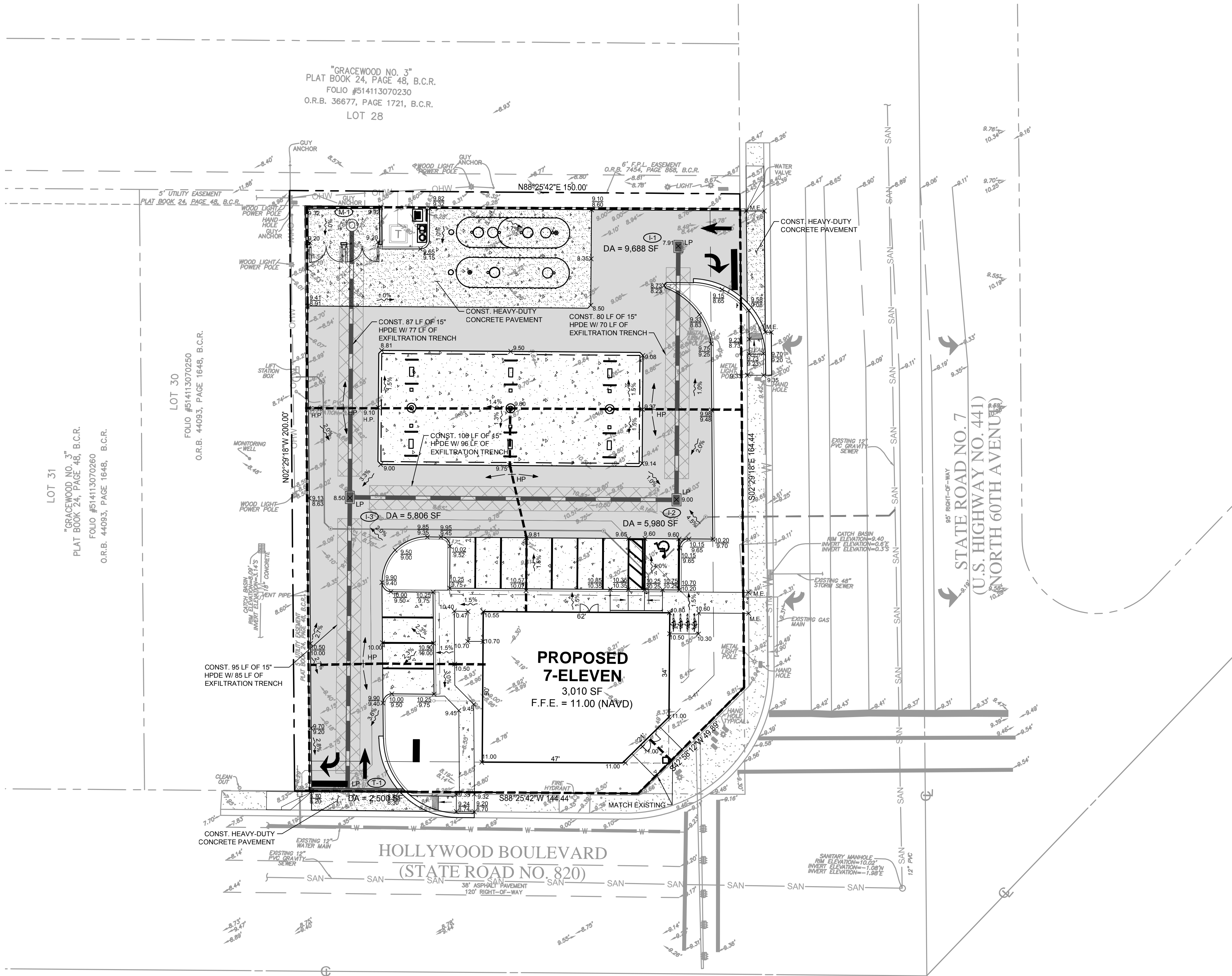
BROWARD COUNTY, FLORIDA

WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
11/13/2017

| REVISIONS | | |
|---------------------------------|----------|-------------|
| DATE | NO. | DESCRIPTION |
| KM DESIGN | KM DRAWN | AG CHKD |
| SCALE AS SHOWN | | |
| JOB No. 010063-02-141 | | |
| DATE 11/13/2017 | | |
| FILE 010063-d-cp-141-07-det.dwg | | |

SHEET **C-7**

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EXISTING LEGEND

- PROPERTY LINE
- ADJACENT ROW
- CONCRETE SIDEWALK
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FPL EASEMENT
- UTILITY EASEMENT
- OVERHEAD ELECTRIC SERVICE
- SAN SANITARY LINE SERVICE
- STM STORM LINE SERVICE
- GAS GAS LINE SERVICE
- W WATER LINE SERVICE
- VALLEY INLET
- SIGN / CROSSWALK SIGNAL
- SANITARY MANHOLE
- STORM MANHOLE
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTER
- LIGHT POLE
- HAND HOLE
- ELEVATION (NAVD)

PROPOSED LEGEND

- TYPE "D" CURB
- TYPE "F" CURB & GUTTER
- PARKING COUNT
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- FUEL VENTS
- AIR / VAC
- SIGN
- MONUMENT SIGN
- TRANSFORMER
- BIKE RACK
- ELEVATION (NAVD)
- EXFILTRATION TRENCH

| DRAINAGE STRUCTURE TABLE | | | | | | | |
|--------------------------|----------------|------|----------|----------|----------|----------|--------------------|
| STRUCTURE NUMBER | STRUCTURE TYPE | RIM | N INVERT | S INVERT | E INVERT | W INVERT | REMARKS |
| I-1 | TYPE "C" | 7.90 | ----- | 3.00 | ----- | ----- | SEE DETAIL SHEET 9 |
| I-2 | TYPE "C" | 9.00 | 3.00 | ----- | ----- | 3.00 | SEE DETAIL SHEET 9 |
| I-3 | TYPE "C" | 8.50 | 3.00 | 3.00 | 3.00 | ----- | SEE DETAIL SHEET 9 |
| T-1 | TRENCH DRAIN | 8.20 | 3.00 | ----- | ----- | ----- | SEE DETAIL SHEET 9 |
| M-1 | MANHOLE | 9.25 | ----- | 3.00 | ----- | ----- | SEE DETAIL SHEET 9 |

| WATER ERU TABLE | | | | | | |
|---|-----------------|--------|--------------|---------|-----------|---------|
| TYPE OF USE | UNIT OF MEASURE | #UNITS | ERU PER UNIT | #ERU'S | REF. CODE | COMMENT |
| GAS STATION | FUEL PUMP | 12 | 0.353 | 4.236 | C02 | |
| CONVENIENCE STORE | 1000 SF | 3.01 | 0.614 | 1.848 | C05 | |
| IRRIGATION | 1000 SF | - | 0.549 | - | I02 | |
| IRRIGATION CREDIT (20% OF BUILDING ERU) | | | | - | - | CREDIT |
| | | | | TOTAL = | 6.084 | |

| SEWER ERU TABLE | | | | | | |
|-------------------|-----------------|--------|--------------|---------|-----------|---------|
| TYPE OF USE | UNIT OF MEASURE | #UNITS | ERU PER UNIT | #ERU'S | REF. CODE | COMMENT |
| GAS STATION | FUEL PUMP | 12 | 0.353 | 4.236 | C02 | |
| CONVENIENCE STORE | 1000 SF | 2.884 | 0.614 | 1.848 | C05 | |
| | | | | TOTAL = | 6.084 | |

Bowman
CONSULTING

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Phone: (954) 314-9400
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PAVING, GRADING AND DRAINAGE PLAN

7-ELEVEN

100 N. STATE ROAD 7

BROWARD COUNTY, FLORIDA



WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
11/13/2017

REVISIONS

| DATE | NO. | DESCRIPTION |
|-----------|----------|-------------|
| KM DESIGN | KM DRAWN | AG CHKD |

SCALE 1" = 20'

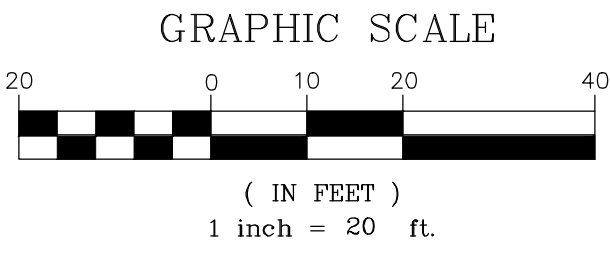
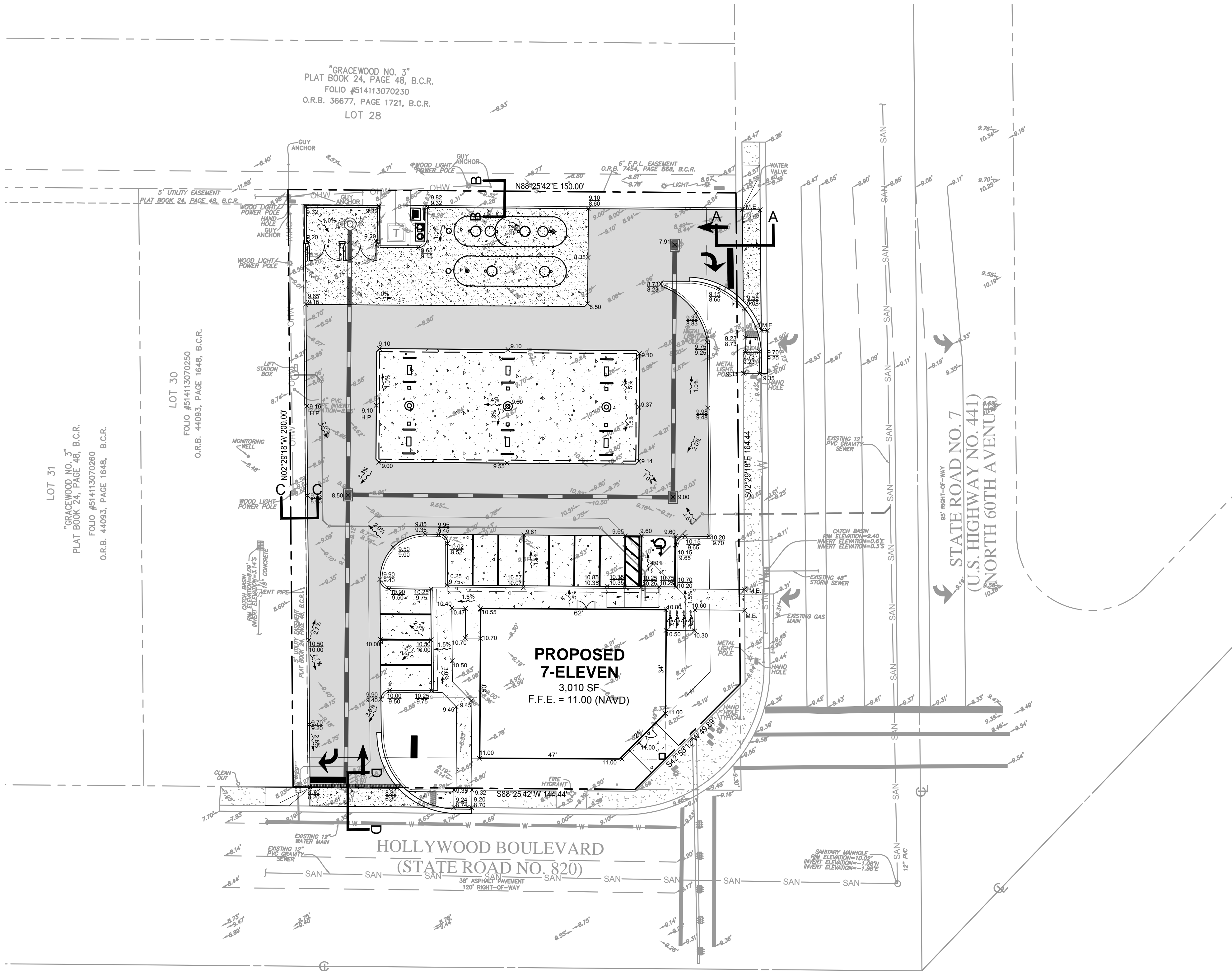
JOB No. 010063-02-141

DATE 11/13/2017

FILE 010063-d-cp-141-08-grp.dwg

SHEET C-8

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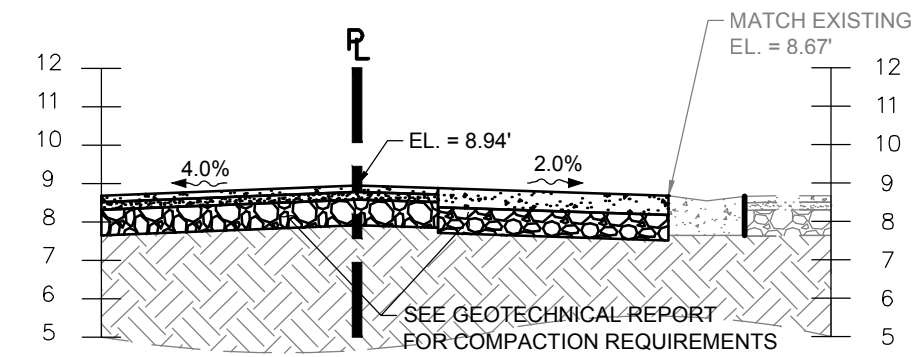


EXISTING LEGEND

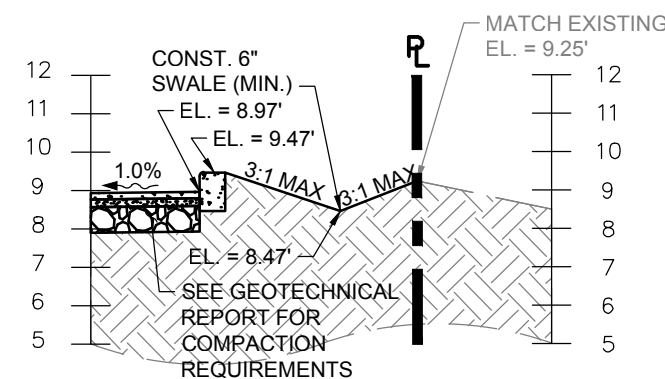
- PROPERTY LINE
- ADJACENT ROW
- CONCRETE SIDEWALK
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FPL EASEMENT
- UTILITY EASEMENT
- OVERHEAD ELECTRIC SERVICE
- SAN - SANITARY LINE SERVICE
- STM - STORM LINE SERVICE
- GAS - GAS LINE SERVICE
- W - WATER LINE SERVICE
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- SANITARY MANHOLE
- STORM MANHOLE
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTER
- LIGHT POLE
- HAND HOLE
- ELEVATION (NAVD)

PROPOSED LEGEND

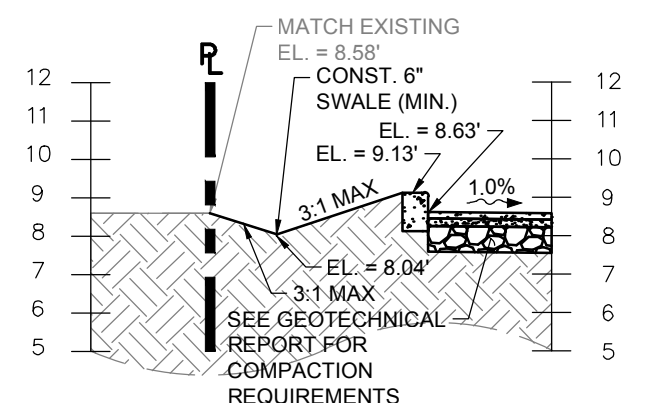
- TYPE "D" CURB
- TYPE "F" CURB & GUTTER
- PARKING COUNT
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- FUEL VENTS
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- MONUMENT SIGN
- TRANSFORMER
- BIKE RACK
- ELEVATION (NAVD)
- EXFILTRATION TRENCH



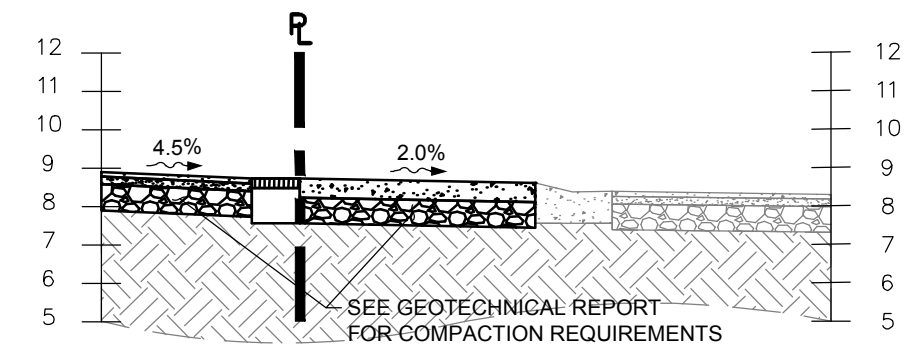
SECTION A-A
SCALE: 1"=5'



SECTION B-B
SCALE: 1"=5'



SECTION C-C
SCALE: 1"=5'

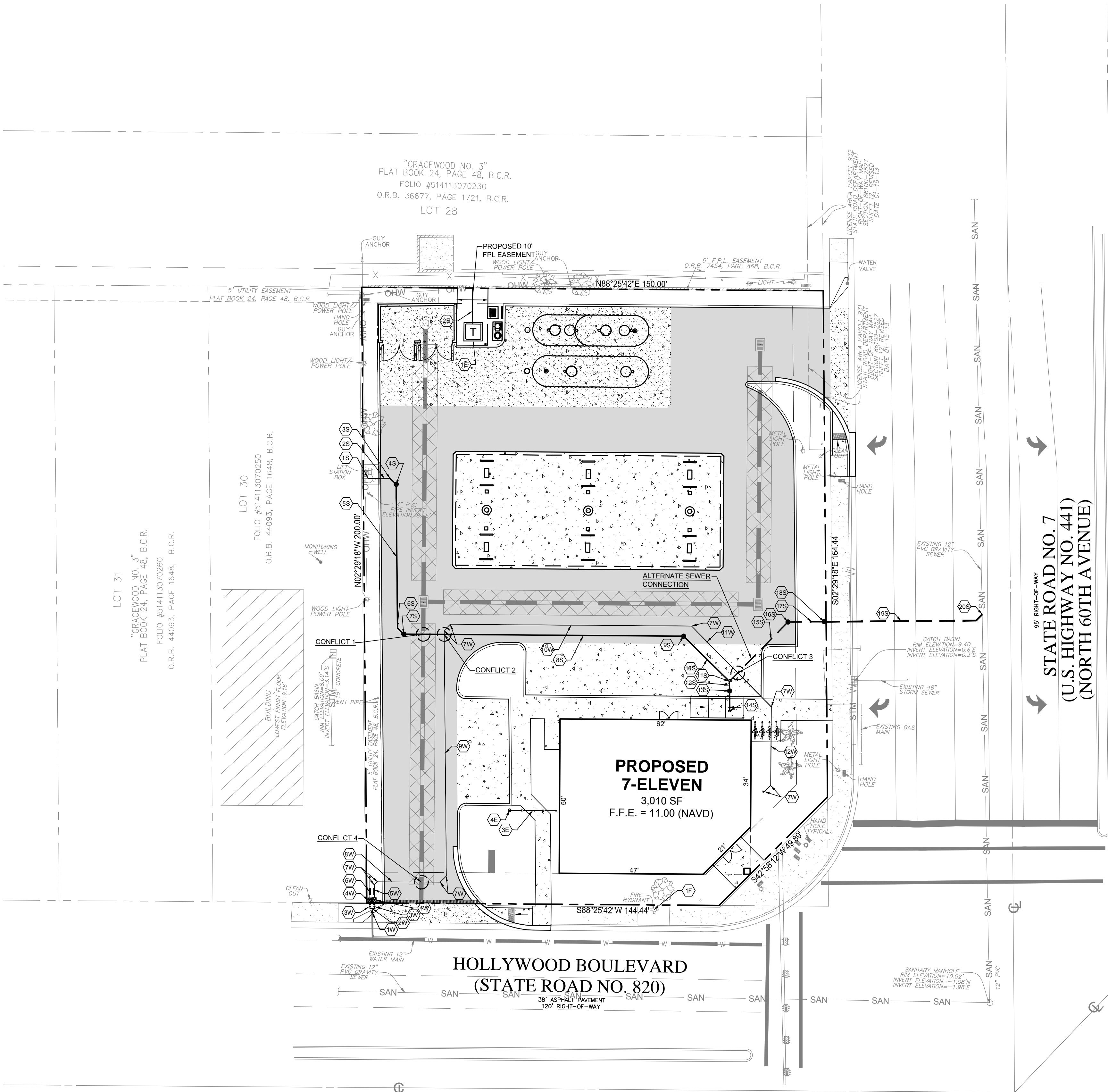


SECTION D-D
SCALE: 1"=5'

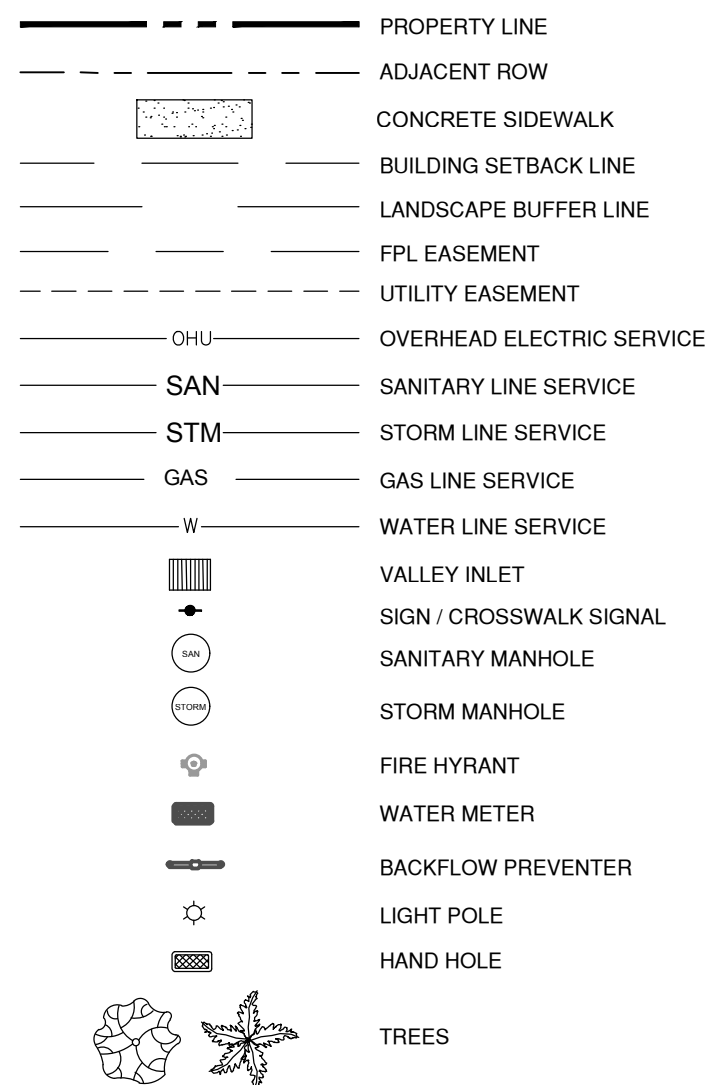


| | | |
|--|----------|-------------|
| WILLIAM PFEFFER, P.E. LICENSE NO. 73058 11/13/2017 | | |
| REVISIONS | | |
| DATE | NO. | DESCRIPTION |
| KM DESIGN | KM DRAWN | AG CHKD |
| SCALE 1" = 20' | | |
| JOB No. 010063-02-141 | | |
| DATE 11/13/2017 | | |
| FILE 010063-d-cp-141-09.xss.dwg | | |

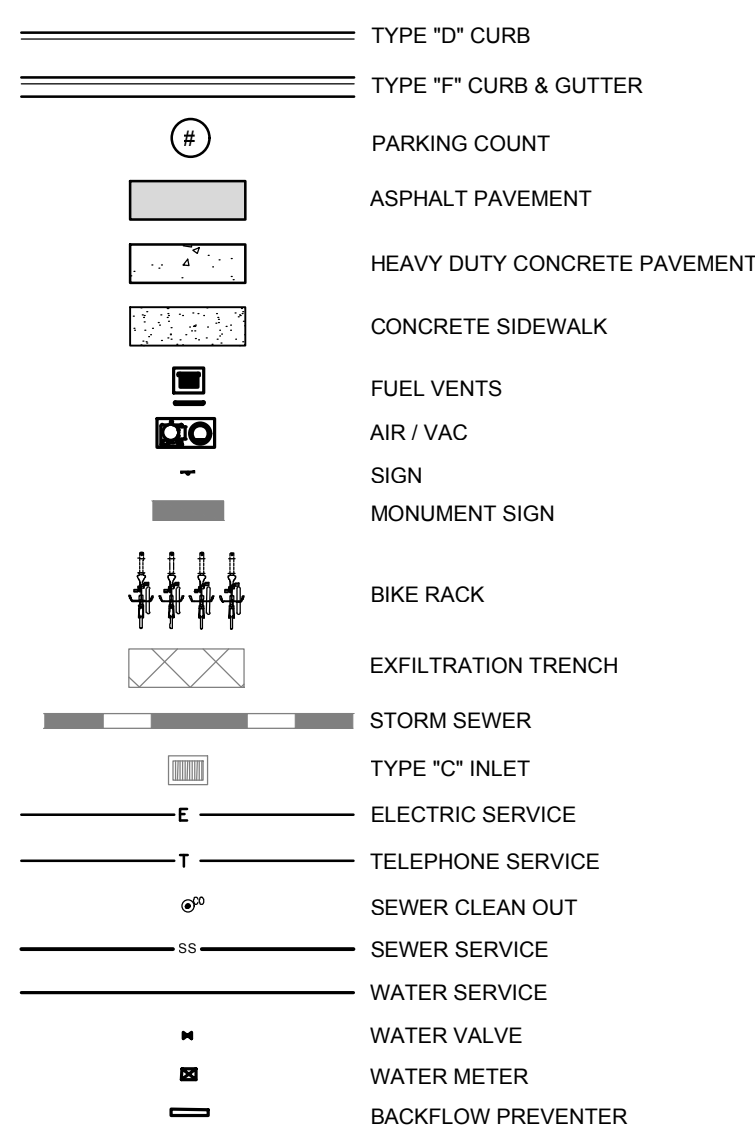
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EXISTING LEGEND



PROPOSED LEGEND



SANITARY SEWER NOTES

15. CONNECT TO EXISTING LIFT STATION @ EL. = 6.10' NAVD; CONTRACTOR TO CONFIRM CONDITION, LOCATION AND ELEVATION OF CONNECTION PRIOR TO CONSTRUCTION
25. CONST. 7' LF OF 4" PVC SANITARY SEWER SERVICE @ 1% SLOPE
35. CONST. 4" PVC - 45° BEND
45. CONST. 4" PVC - 45° BEND WITH CLEANOUT; INV. EL. = 6.30' NAVD
55. CONST. 47' LF OF 4" PVC GRAVITY SEWER SERVICE @ 1% SLOPE
65. CONST. 4" PVC - 45° BEND
75. CONST. 4" PVC - 45° BEND WITH CLEANOUT; INV. EL. = 6.80' NAVD
85. CONST. 91' LF OF 4" PVC GRAVITY SEWER SERVICE @ 1% SLOPE
95. CONST. 4" PVC - 45° BEND WITH CLEANOUT; INV. EL. = 7.70' NAVD
105. CONST. 21' LF OF 4" PVC GRAVITY SEWER SERVICE @ 1.0% SLOPE
115. CONST. 4" - 45° BEND
125. CONST. 3' LF OF 4" PVC GRAVITY SEWER SERVICE @ 1.0% SLOPE
135. CONST. 4" CLEAN OUT - INV. EL. = 7.95' NAVD
145. CONST. 6' LF OF 4" GRAVITY SEWER LINE; STUB OUT 3' FROM EXTERIOR OF PROPOSED BUILDING @ EL. = 8.00' NAVD
155. CONST. 27' LF OF 4" PVC GRAVITY SEWER SERVICE @ 1.0% SLOPE
165. CONST. 4" PVC - 45° BEND WITH CLEANOUT; INV. EL. = 7.70' NAVD
175. CONST. 12' LF OF 4" PVC GRAVITY SEWER SERVICE @ 1.0% SLOPE
185. CONST. 6" CLEANOUT AT PROPERTY LINE; INV. EL. = 7.50' NAVD
195. CONST. 51' LF OF 6" PVC GRAVITY SEWER SERVICE @ 1.0% SLOPE
200. CONNECT TO EXISTING 12" GRAVITY SEWER MAIN WITH 12" X 6" WYE; LOCATION AND ELEVATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION

WATER NOTES

- 1W. CONNECT TO EXISTING 6" DIP LATERAL WITH 6" X 2" REDUCER; CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING LATERAL PRIOR TO CONSTRUCTION
- 2W. CONST. DUAL METER SERVICE
- 3W. CONST. 2" GATE VALVE
- 4W. CONST. 1" WATER METER
- 5W. CONST. RPZ BACK FLOW PREVENTER
- 6W. CONST. PRESSURE VACUUM BREAKER (SEE IRRIGATION PLANS FOR CONTINUATION)
- 7W. CONST. 1" - 45° BEND
- 8W. CONST. 20' LF OF 1" WATER SERVICE PIPE
- 9W. CONST. 80' LF OF 1" WATER SERVICE PIPE
- 10W. CONST. 78' LF OF 1" WATER SERVICE PIPE
- 11W. CONST. 37' LF OF 1" WATER SERVICE PIPE
- 12W. CONST. 25' LF OF 1" WATER SERVICE PIPE

ELECTRICAL NOTES

- 1E. CONST. TRANSFORMER (BY OTHERS)
- 2E. CONST. 12' LF OF ELECTRICAL SERVICE (BY OTHERS)
- 3E. CONST. 15' LF OF EMPTY 3/4" RACEWAY (PER O-2016-02)
- 4E. CONST. TWO-GANG JUNCTION BOX WITH BLANK PLATE (PER O-2016-02)

FIRE NOTES

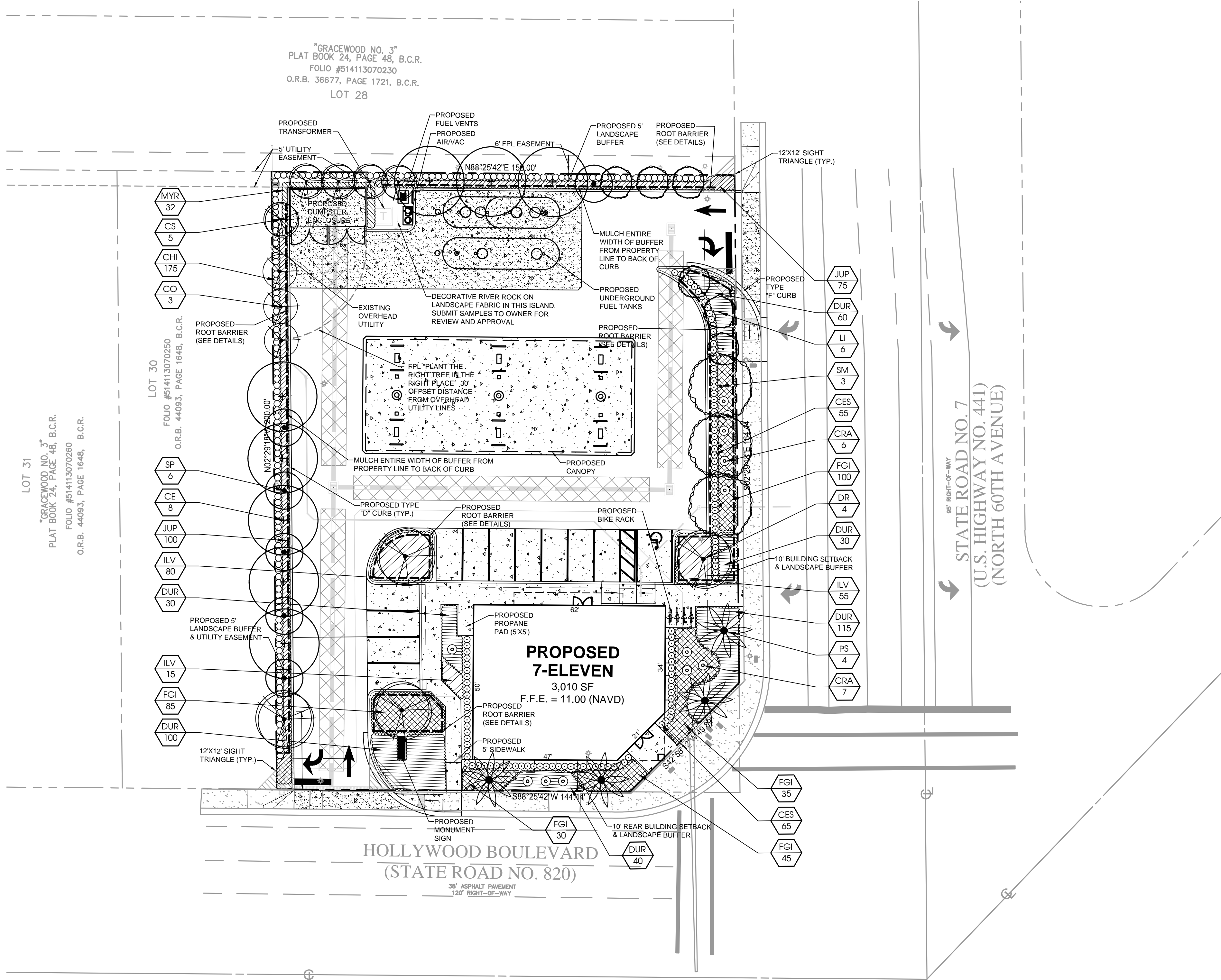
- 1F. EXISTING FIRE HYDRANT

CONFLICTS

- CONFLICT 1:
SEWER TO PASS OVER STORM
T.O.P. WATER = 4.25'
B.O.P. SEWER = 6.85'
CLEARANCE = 2'-7"
- CONFLICT 2:
WATER TO PASS UNDER SEWER
T.O.P. WATER = 6.00'
B.O.P. SEWER = 7.00'
CLEARANCE = 1'-0"
- CONFLICT 3:
WATER TO PASS UNDER SEWER
T.O.P. WATER = 6.85'
B.O.P. SEWER = 7.85'
CLEARANCE = 1'-0"
- CONFLICT 4:
WATER TO PASS OVER STORM
T.O.P. STORM = 4.25'
B.O.P. WATER = 5.25' (MIN.)
CLEARANCE = 1'-0"

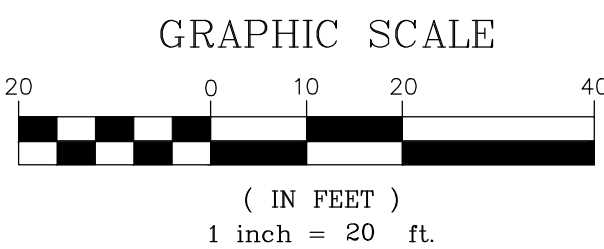
SERVICE FLOW CALCULATION

| CONVENIENCE STORE SF | | | 3,010 |
|---------------------------------------|-----------------|------------|-------|
| FUELING PUMPS | | | 12 |
| ESTIMATED WATER FLOW | | | |
| | RATE | UNIT (GPD) | |
| C05 - GAS STATION (FUEL ONLY) | 70 GPD/PUMP | | 840 |
| C02 - MERCHANDISING | 37 GPD/1,000 SF | | 111 |
| TOTAL ESTIMATED WATER FLOW (GPD) | | | 951 |
| ESTIMATED WASTEWATER FLOW | | | |
| | RATE | UNIT (GPD) | |
| C05 - GAS STATION (FUEL ONLY) | 57 GPD/PUMP | | 684 |
| C02 - MERCHANDISING | 30 GPD/1,000 SF | | 90 |
| TOTAL ESTIMATED WASTEWATER FLOW (GPD) | | | 774 |



General Notes

- All utility boxes and structures, not currently known or shown on the plan, shall be screened with Cocoplum plants on three (3) sides.
- Contractor to include drainage testing for all trees and palms in bid. If drainage is inadequate and the soil specification in item #8 of the landscape specifications is not appropriate for site conditions, the soil mixture shall be revised for this site's conditions. The Contractor shall notify the Owner and Landscape Architect of the poor drainage conditions in writing and written direction will be provided to the contractor of appropriate soil mixture specification to be used.
- All prohibited, exotic and invasive species shall be removed from the entire site area of site prior to issuance of certificate of occupancy.
- All planting areas to be irrigated to provide 100% coverage and provide adequate irrigation of landscape areas for the first full growing season and continue thereafter only as necessary to maintain required vegetation in good and healthy condition. Shop drawings to be submitted by the irrigation contractor for approval prior to installation.
- The irrigation system shall be continuously maintained in working order.
- No plant substitutions can be made without Owner's and the City of Hollywood's approval.
- This plan has been designed to meet with the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' on new (proposed) plantings.
- Planting adjacent to fire hydrants shall have a minimum clear radius of 7.5' front and sides and 4' in the rear as required by the NFPA Uniform Fire Code Florida Edition 18.3.4.1 Hydrants.
- An automatic Rain sensor shall be placed on-site as part of the required irrigation system.
- Required buffer hedges shall be planted and maintained so as to form a continuous, unbroken solid visual screen, with a minimum height of three (3) feet, to be attained within one (1) year after planting.
- Topsoil shall be clear and free of construction debris, weeds, rocks, noxious pests, and diseases. The topsoil for all planting areas shall be composed of a minimum of fifty percent (50%) muck or horticulturally-acceptable organic material.
- The use of soil amendments to increase the water holding capacity of sandy soils or improve the drainage of heavy soils may be required.
- Plant material shall not be planted in the root balls of any tree.
- All hedge material adjacent to chain link fences shall be required to grow to six feet (6') in height and maintained at that height.



**Conceptual
Design
Group, Inc.**

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 130d
Stuart, Florida 34994
(772) 344-2340
LC: 26000198

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PLANT LIST

| QTY | SYM | SPECIES | COMMON NAME/DESCRIPTION | SIZE | SPACING | REMARKS | WATER USAGE |
|------------|------|----------------------------------|--------------------------|---------------------|---------|--------------------------------|-------------|
| TREES | | | | | | | |
| 8 | CE* | CONOCARPUS ERECTUS | GREEN BUTTONWOOD | 14' x 5', 3' D.B.H. | A.S. | FULL CANOPY, 4' C.T. | LOW |
| 3 | CO* | CORDIA SEBESTENA | GEIGER TREE | 14' x 5', 3' D.B.H. | A.S. | FULL CANOPY, 4' C.T. | LOW |
| 5 | CS* | CONOCARPUS ERECTUS VAR. SERICEUS | SILVER BUTTONWOOD | 10' x 5', 3' D.B.H. | A.S. | FULL CANOPY, 3' C.T. | LOW |
| 4 | DR | DELONIX REGIA | ROYAL POINCIANA | 16' x 6', 4' D.B.H. | A.S. | FULL CANOPY, 4' C.T. | LOW |
| 6 | LI | LAGERSTROEMIA INDICA 'TUSKEGEE' | CREPE MYRTLE 'RED' | 10' x 5', 3' D.B.H. | A.S. | FULL CANOPY, LIMB UP 4' | LOW |
| 3 | SM* | SWIETENIA MAHOGANY | MAHOGANY | 14' x 5', 3' D.B.H. | A.S. | FULL CANOPY, 4' C.T. | LOW |
| PALMS | | | | | | | |
| 4 | PS | PHOENIX SYLVESTRIS | WILD DATE PALMS/YLVESTER | 12' C.W. | A.S. | FULL, STRAIGHT TRUNKS, MATCHED | LOW |
| 6 | SP* | SABAL PALMETTO | SABAL PALM | 12' - 16' C.T. | A.S. | SLICK TRUNKS | LOW |
| SHRUBS | | | | | | | |
| 120 | CE* | CONOCARPUS ERECTUS VAR. SERICEUS | SILVER BUTTONWOOD | #3, 2' x 2' | 2' O.C. | FULL & THICK | LOW |
| 175 | CHI* | CHRYSOBALANUS ICAGO | COCORUM | #3, 2' x 2' | 2' O.C. | FULL & THICK | LOW |
| 13 | CRA* | CRINUM AUGUSTUM | QUEEN EMMA CRINUM | #15, 3' x 3' | A.S. | FULL & THICK | LOW |
| 32 | MVR* | MYRICANTHES FRAGRANS | SIMPSON STOPPER | #7, 4' x 2' | 2' O.C. | FULL & THICK | LOW |
| LOW SHRUBS | | | | | | | |
| 375 | DUR | DURANTA ERECTA | GOLD MOUND | #3, 1' x 1' | 2' O.C. | FULL & THICK | LOW |
| 235 | FGI | FICUS MICROCARPA 'GREEN ISLAND' | FICUS GREEN ISLAND | #3, 1' x 1' | 2' O.C. | FULL & THICK | LOW |
| 150 | ILV* | ILEX VOMITORIA | DWARF YAUPOIN HOLLY | #3, 1' x 1' | 2' O.C. | FULL & THICK | LOW |
| 175 | JUP* | JUNIPERUS CONFERTA | SHORE JUNIPER | #3, 1' x 1' | 2' O.C. | FULL & THICK | LOW |

* = FLORIDA NATIVE

LANDSCAPE DATA

PERIMETER LANDSCAPE BUFFER WITH PARKING ADJACENT TO HOLLYWOOD BOULEVARD:

1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 20'
REQUIRED = 1 TREE
PROVIDED = 1 TREE

4' TALL HEDGE SETBACK 3' FROM STREET RIGHT OF WAY
REQUIRED = 10 SHRUBS
PROVIDED = 55 SHRUBS

PERIMETER LANDSCAPE BUFFER WITH PARKING ADJACENT TO S.R. 7:

1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 102'
REQUIRED = 5 TREES
PROVIDED = 5 TREES

4' TALL HEDGE SETBACK 3' FROM STREET RIGHT OF WAY
REQUIRED = 51 SHRUBS
PROVIDED = 55 SHRUBS

NORTH PERIMETER LANDSCAPE BUFFER:

1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 150'
REQUIRED = 8 TREES
PROVIDED = 8 TREES

2' TALL HEDGE
REQUIRED = 75 SHRUBS
PROVIDED = 75 SHRUBS

WEST PERIMETER LANDSCAPE BUFFER:

1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 200'
REQUIRED = 10 TREES
PROVIDED = 10 TREES

2' TALL HEDGE
REQUIRED = 100 SHRUBS
PROVIDED = 100 SHRUBS

PARKING LOT TERMINAL ISLANDS:

1 TREE / ISLAND
REQUIRED = 3 TREES
PROVIDED = 3 TREES

VEHICULAR USE AREA INTERIOR LANDSCAPE:

25% OF THE TOTAL S.F. OF PAVED V.U.A. SHALL BE LANDSCAPED
V.U.A. = 21,296 S.F. x 25% = 5,324 S.F.
REQUIRED = 5,324 S.F.
PROVIDED = 758.54 S.F.

OPEN SPACE:

1 TREE / 1,000 S.F. OF PERVIOUS AREA IN ADDITION TO THE V.U.A.
5,067 / 1,000 = 5 TREES
REQUIRED = 5 TREES
PROVIDED = 5 TREES

TOTAL TREES REQUIRED:

REQUIRED = 32 TREES
PROVIDED = 32 TREES

MITIGATION TREES REQUIRED = 0

MITIGATION TREES PROVIDED = 0

MITIGATION PALMS REQUIRED = 6

MITIGATION PALMS PROVIDED = 6

TOTAL TREES SPECIES REQUIRED:

WHEN THE REQUIRED TREES EQUAL 21-40 TREES, FOUR (4) SPECIES ARE REQUIRED TO BE PLANTED
REQUIRED = 32 TREES = 4 SPECIES
PROVIDED = 6 SPECIES

MAXIMUM USE OF PALMS:

A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE PALMS, HOWEVER, IF MORE THAN 20% ARE USED, ALL REQUIRED TREES AND PALMS SHALL BE NATIVE

REQUIRED = 32 TREES x 20% = 6 PALMS
PROVIDED = 4 PALMS (EXCLUDES 6 MITIGATION SABAL PALMS)

NATIVE PLANTS:

60% OF REQUIRED TREES SHALL BE NATIVE
32 TREES x 60% = 19
REQUIRED = 19 TREES
PROVIDED = 19 TREES (66%)

50% OF THE REQUIRED SHRUBS SHALL BE NATIVE

REQUIRED = 1,335 SHRUBS
PROVIDED = 655 / 1,335 SHRUBS (50%)

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Sunrise, FL 33323
Phone: (954) 314-8400
www.bowmanconsulting.com
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LANDSCAPE PLAN

7-ELEVEN

100 N. STATE ROAD 7

CITY OF HOLLYWOOD

BROWARD COUNTY, FLORIDA



Seal: REGISTERED AND REAL LANDSCAPE ARCHITECT

Prepared, Reviewed & Supervised By:
Conceptual Design Group, Inc.
900 East Ocean Boulevard, Suite 130d,
Stuart, Florida 34994
(772) 344-2340 LC: 26000198

Name: Jeffrey W. Smith, R.L.A.
License #: LA0001635

PLAN STATUS

11/21/2017 ROOT BARRIER

DATE DESCRIPTION

JWS JS JWS

DESIGN DRAWN CHKD

SCALE 1" = 20'

JOB No. BOWMAN / CDG

010063-02-141 / 17-0901

DATE 9/15/2017

FILE

SHEET

L-1 OF 2

LANDSCAPE NOTES

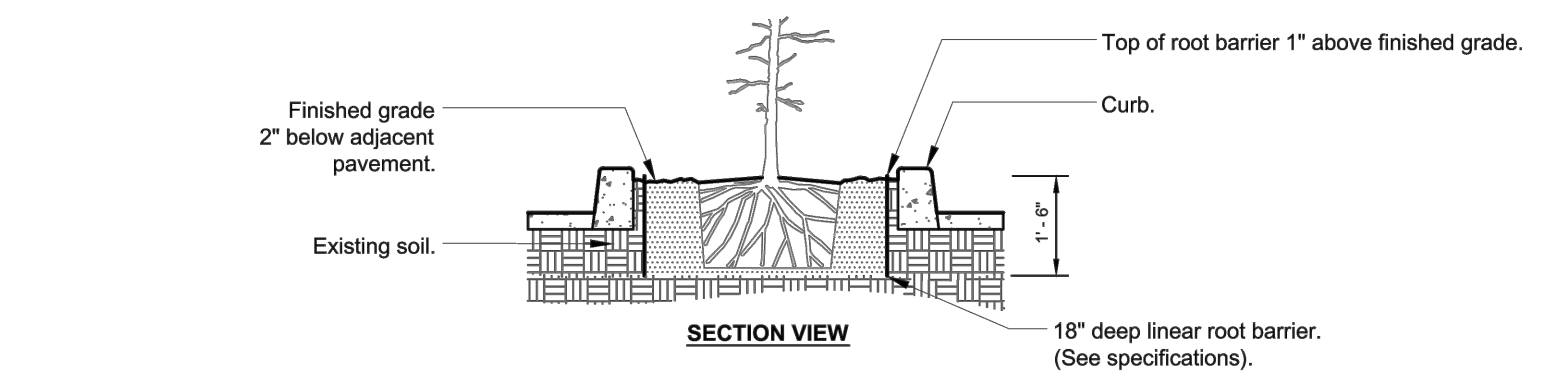
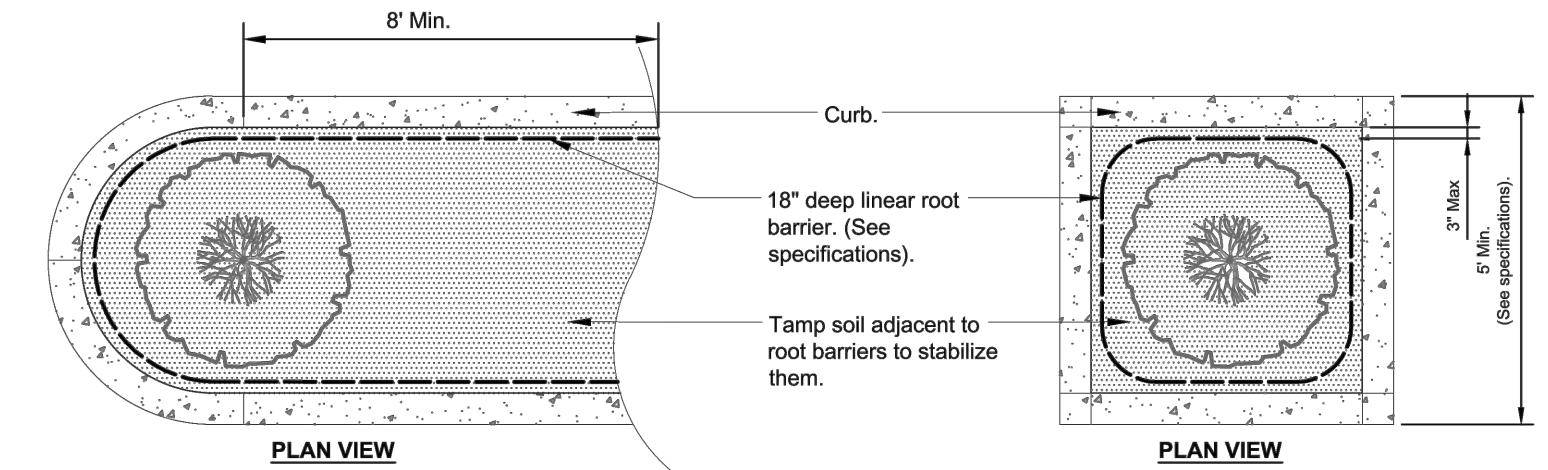
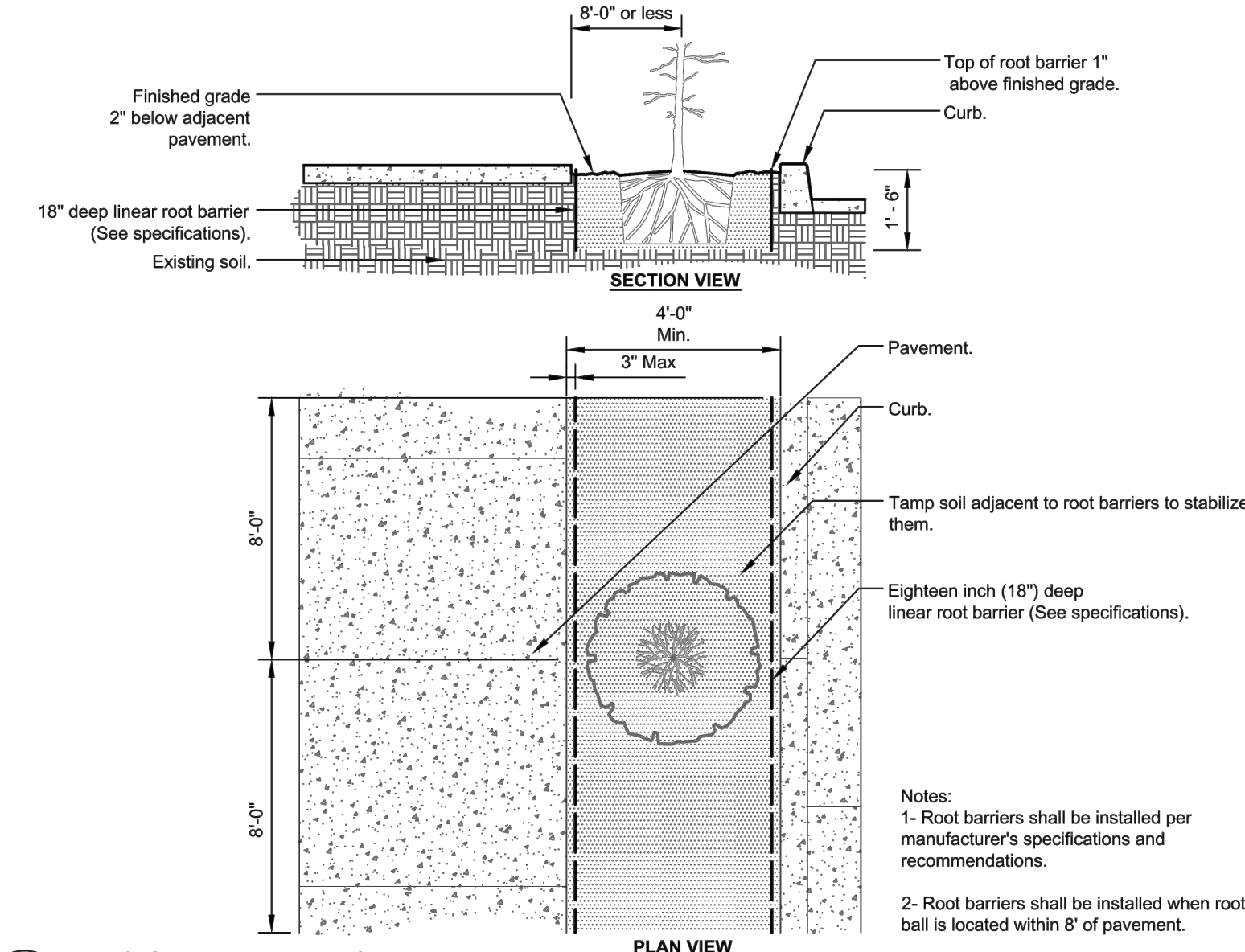
1. All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part 1 and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species.
2. Undersizing or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
3. Project Warranty: All plant material shall be warranted for a period of one (1) year after date of substantial completion against defects, including death and unsatisfactory growth, except for defects resulting from abuse or damage by others or unusual phenomena or incidents which are beyond the contractor's control.
4. Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
5. The contractor shall verify the location of underground utilities prior to commencing work on any project area.
6. Mulch planting areas with 3" layer of Melaleuca, Eucalyptus, or Enviromulch. Cypress Mulch is **NOT ACCEPTABLE**. Planting beds to receive mulch throughout entire bed area.
7. All plants to be set to ultimate grade. No filling will be permitted around trunks or stems. Mulch to be kept a minimum of 2" away from trunks and stems.
8. Planting trees and shrubs: Excavate hole per planting detail. When plant is set, place additional backfill consisting of a 50% mixture of Peat humus and natural soil around the base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Water again after placing final layer of backfill and before installing mulch.
9. Guy and stake trees in 3 directions with galvanized wire, through flexible hose chaling guards, with wooden stake anchors immediately after planting. (See Detail)
10. Trees and shrubs shall be fertilized with a complete natural organic fertilizer with a ratio of approximately 3:1:2 or 3:1:3 (e.g. one labeled 12-4-8). Similar analysis such as 16-4-8 (4:1:2) can also be used. Fertilizers that are slow release, controlled release, sulphur coated or with nitrogen as IBDU or ureaformaldehyde have extended release period. Thirty to fifty percent of the nitrogen should be water insoluble or slow release.

Palms should receive a complete granular fertilizer formulated for palms ("Palm Special") at a rate of 5 to 8 lbs. per palm.

Agriform 20-10-5 twenty-one gram planting tablets may be substituted for granular fertilizer. If utilized, the following rates shall be utilized: Position plant in hole. Backfill halfway up the rootball. Place tablet(s) beside rootball about 1" from roots. Do not place tablet(s) in bottom of hole.

- 1 Gallon 1 Tablet
3 Gallon 2 Tablets
25 Gallon & B&B Trees 2 per 1" caliper

11. Maintain trees, shrubs, and other plants by watering, cultivating, and weeding as required for healthy growth. Restore planting saucers and mulch. Tighten and repair stake and guying and reset trees and shrubs to proper grade or vertical position as required. Spray as necessary to keep trees and shrubs free of insects and disease. The contractor shall begin maintenance immediately after planting and shall continue maintenance through final acceptance when Certificate of Occupancy is issued to the General Contractor by the governing agency and project is released by the General Contractor to Client.
12. Prune trees and shrubs only to remove damaged branches.
13. Planting Lawns: Provide clean, strongly rooted, uniformly sized strips of Stenotaphrum secundatum - St. Augustine "Floritann" sod (unless otherwise noted in Plant List), machine stripped not more than 24 hours prior to laying. Grade and roll prepared lawn surface. Water thoroughly but not to create muddy soil conditions. Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.
14. Maintain positive drainage, no planting is to block drainage.
15. Drainage Testing
Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
A) Dig each planting pit to the minimum specified size.
B) Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
C) When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
D) Discard all material removed from the drainage channel.
E) When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.
16. All fertilizers shall meet any governing agencies (local / County, etc.) ordinances and/or requirements.

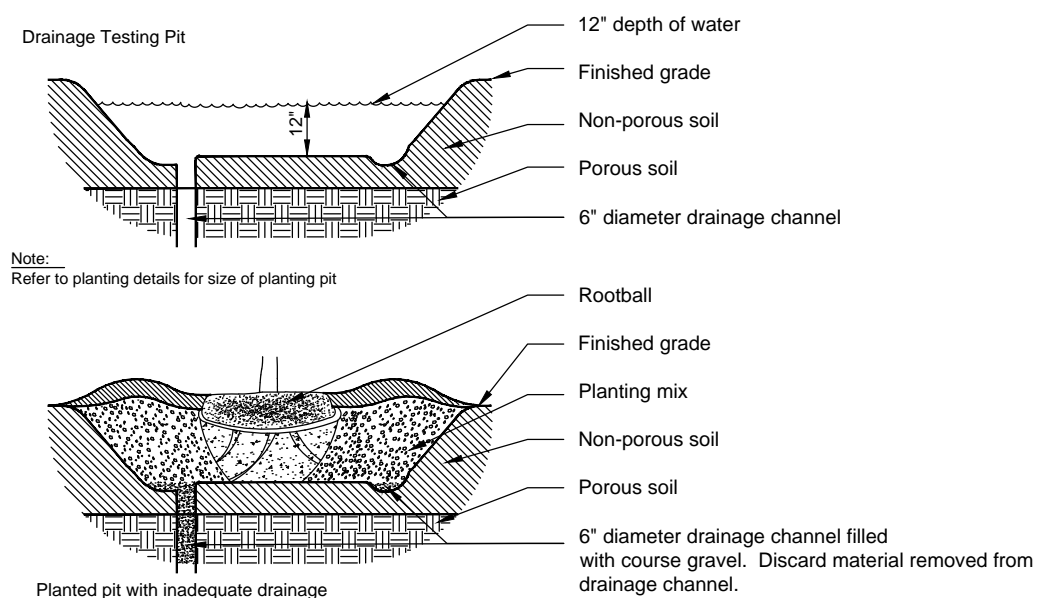


- Notes:
- 1- Root barriers shall be installed per manufacturer's specifications and recommendations.
- 2- Root barriers shall be installed when root ball is located within 8' of pavement.

- Root Barrier Product
- Root Barrier shall be NDS "EP Series" Root Barrier (www.ndspro.com) model # EP-1850 18" x 24" panels.
 - "See Specifications" in details above shall mean refer to manufacture's specifications.

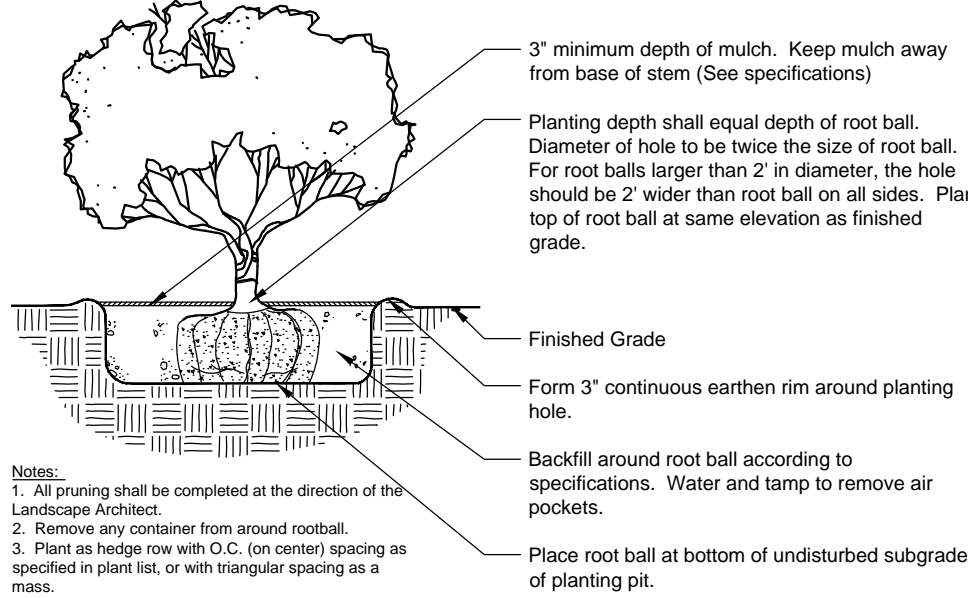
Root Barrier Details

Not to Scale



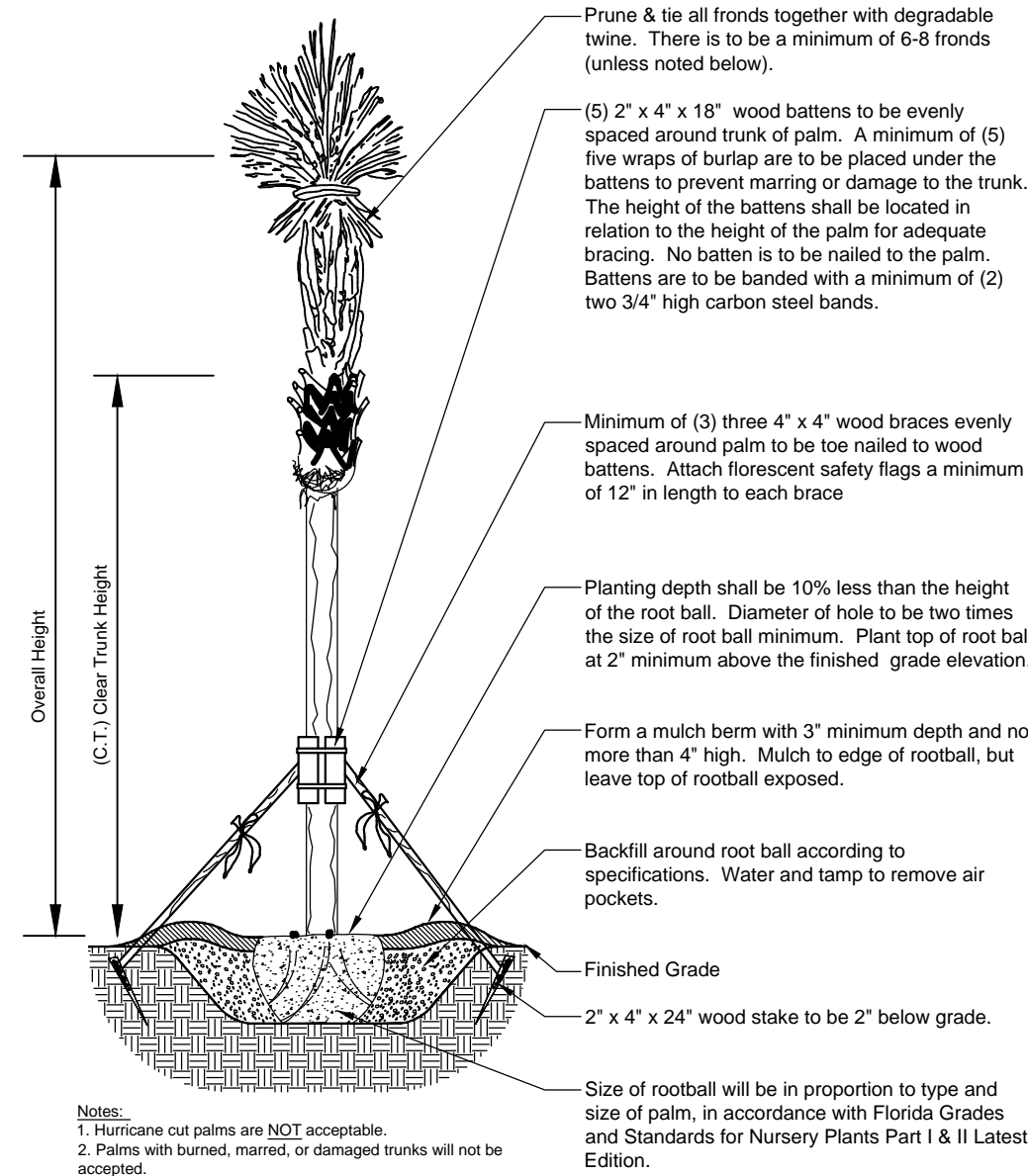
Drainage Testing Detail

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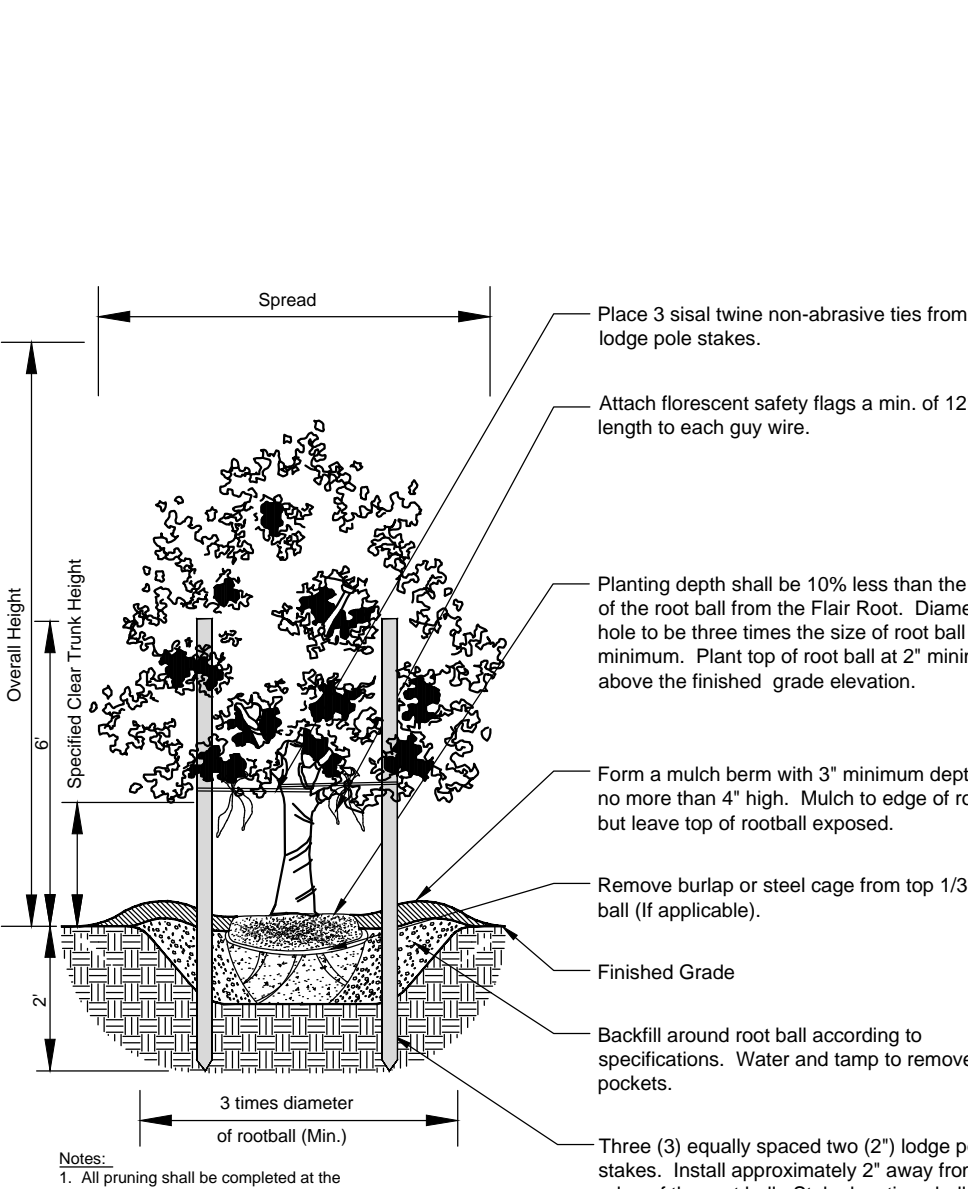
Shrub Detail

Not to Scale



Palm Planting Detail

Not to Scale



Tree Planting Detail

Not to Scale

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Design
Group. Inc.

Landscape Architecture - Site Planning

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(772) 344-2340
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LANDSCAPE PLAN
7-ELEVEN
100 N. STATE ROAD 7

BROWARD COUNTY, FLORIDA

CITY OF HOLLYWOOD



Seal : SEVENTH AND SEAL
Landscape Architect

Prepared, Reviewed & Supervised By:
Conceptual Design Group, Inc.
900 East Ocean Boulevard, Suite 130d,
Stuart, Florida 34994
(772) 344-2340 LC: 26000198

Name : Jeffrey W. Smith, RLA
License # : LA0001635

PLAN STATUS

11/21/2017 ROOT BARRIER

DATE DESCRIPTION

JWS JS JWS
DESIGN DRAWN CHKD

SCALE 1" = 20'

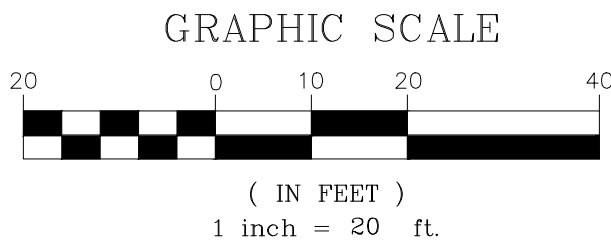
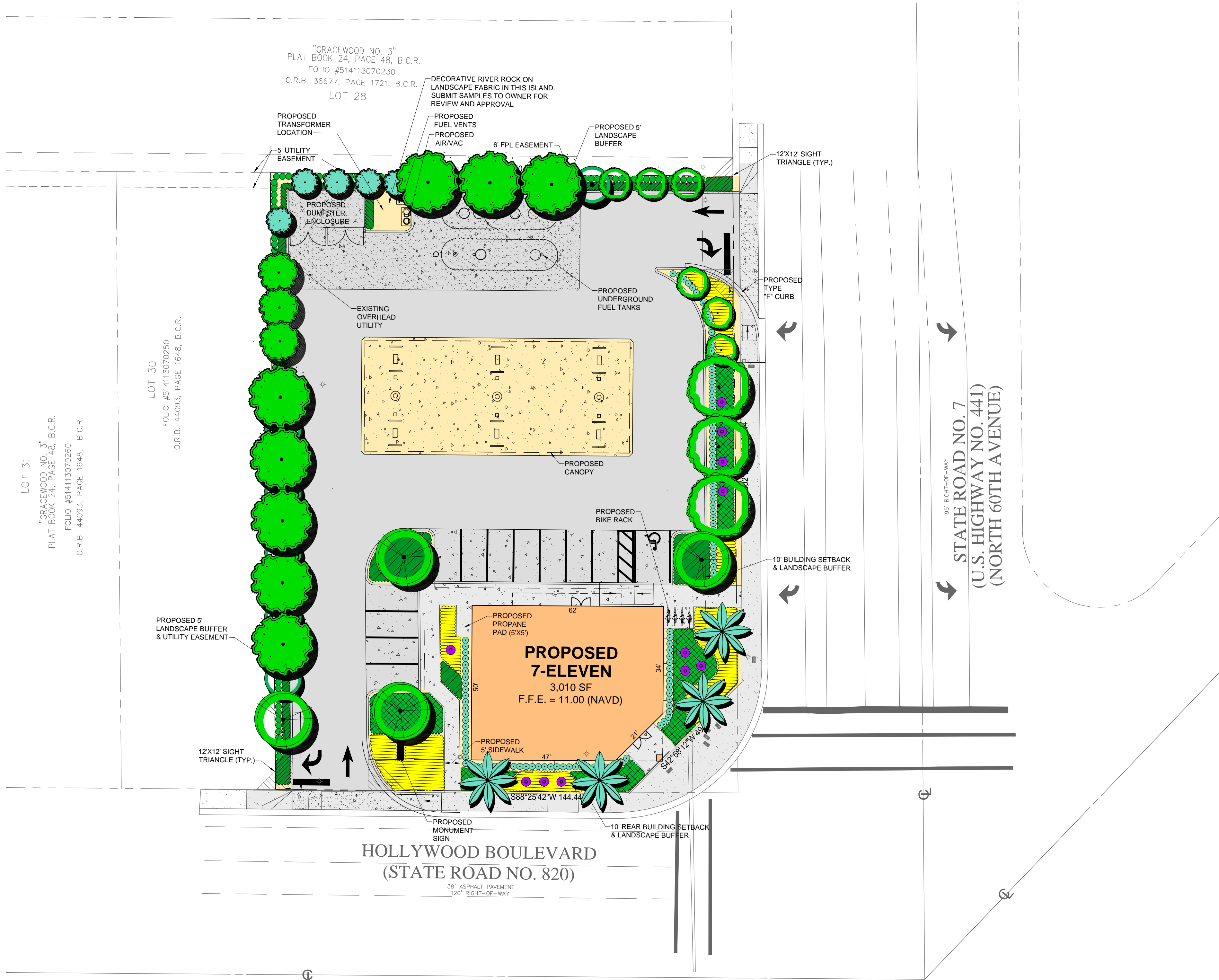
JOB No. BOWMAN / CDG
010063-02-141 / 17-0901

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LANDSCAPE PLAN
7-ELEVEN
100 N. STATE ROAD 7

CITY OF HOLLYWOOD BROWARD COUNTY, FLORIDA



Seal : SIGNATURE AND SEAL
LANDSCAPE ARCHITECT

Prepared, Reviewed & Supervised By:
Conceptual Design Group, Inc.
900 East Ocean Boulevard, Suite 130d,
Stuart, Florida 34994
(772) 344-2340 LC: 26000198

Name : Jeffrey W. Smith, R.L.A.
License # : LA0001635

PLAN STATUS

| DATE | DESCRIPTION |
|---------------|---|
| JWS DESIGN | JS DRAWN |
| JWS CHKD | |
| SCALE | AS SHOWN |
| JOB No. | BOWMAN / CDG 010063-02-141 / 17-0901 |
| DATE | 11/21/2017 |
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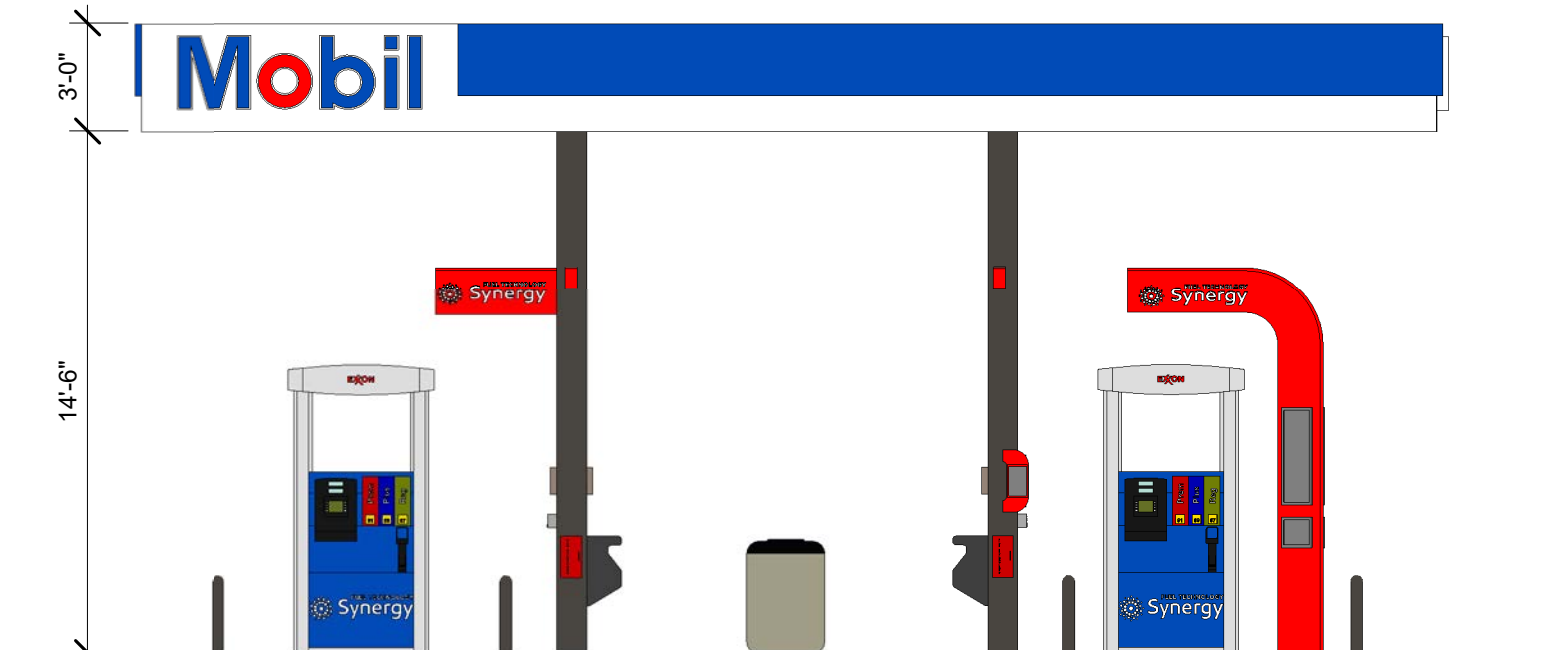
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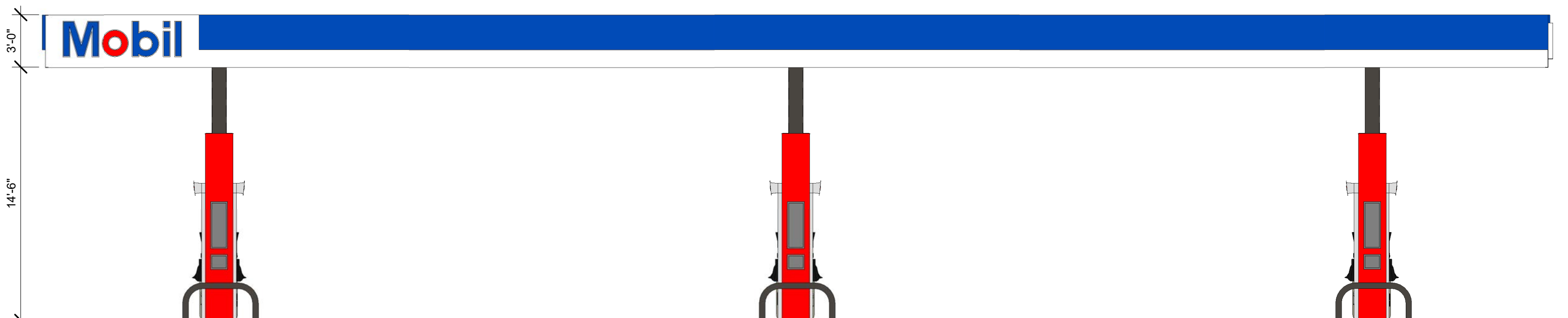
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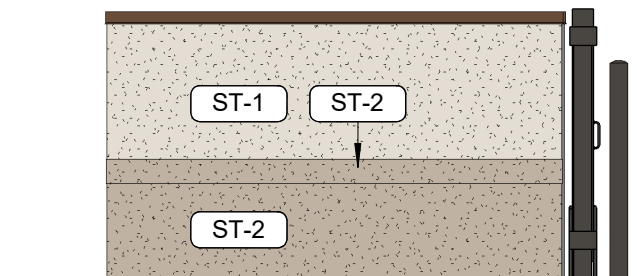


9 FUEL CANOPY - SHORT
3/16" = 1'-0"

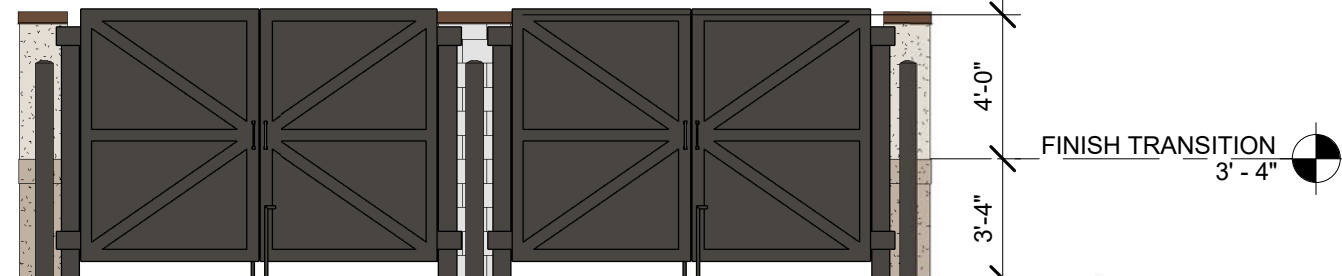


6 FUEL CANOPY - LONG
3/16" = 1'-0"

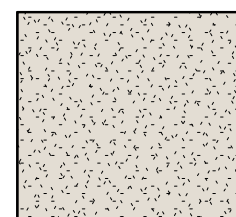
| EXTERIOR MATERIALS SCHEDULE | | | |
|--|---|------------------------|--|
| (NOT ALL MATERIALS IN SCHEDULE ARE USED) | | | |
| NO. | MATERIAL | MANUFACTURER | COLOR |
| MR-1 | MEMBRANE ROOFING | DUROLAST | WHITE |
| P-3 | EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES | SHERWIN WILLIAMS | SEAL SKIN SW 7675 |
| P-6 | EXTERIOR BOLLARDS | SHERWIN WILLIAMS | SEAL SKIN SW 7675 |
| S-1 | ALUMINUM STOREFRONT GLAZING | KAWNEER | DARK BRONZE |
| C-1 | PREFINISHED ALUMINUM CANOPY | MAPES LUMISHADE CANOPY | BRAINSTORM BRONZE ENAMEL |
| ST-1 | STUCCO | DRYVIT | SHERWIN WILLIAMS - AESTHETIC WHITE - SW 7035 |
| ST-2 | STUCCO | DRYVIT | SHERWIN WILLIAMS - BALANCED BEIGE - SW 7037 |



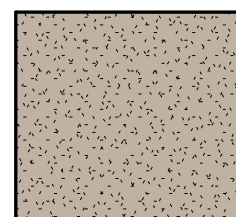
8 DUMPSTER SIDE ELEVATION
3/16" = 1'-0"



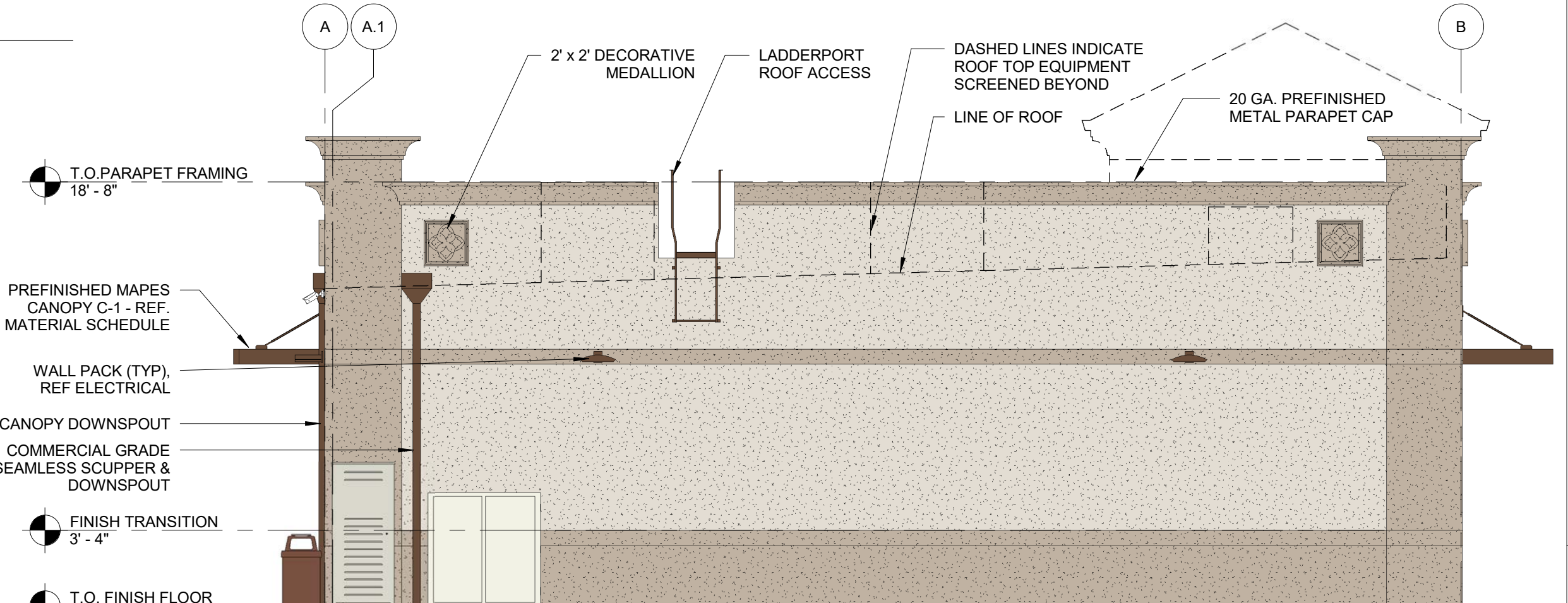
7 DUMPSTER GATE ELEVATION
3/16" = 1'-0"



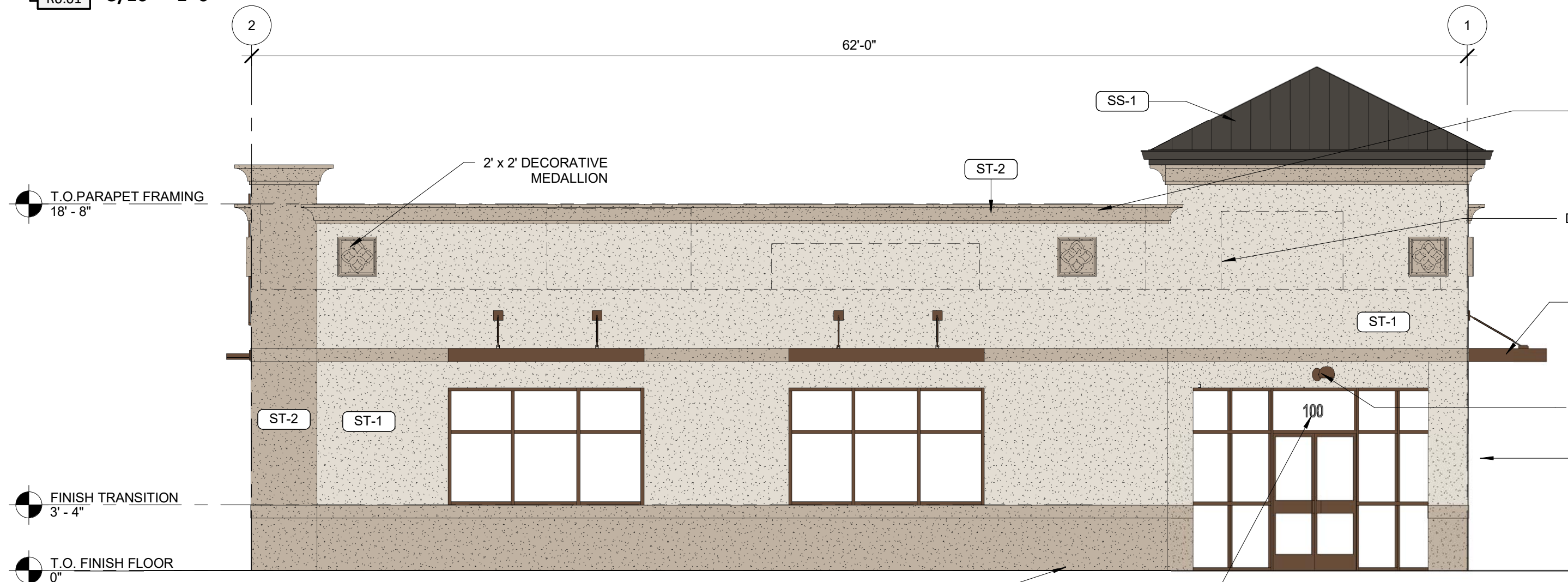
STUCCO FINISH TO BE PAINTED (SHERWIN WILLIAMS - BALANCED BEIGE - SW7037) (ST-1)



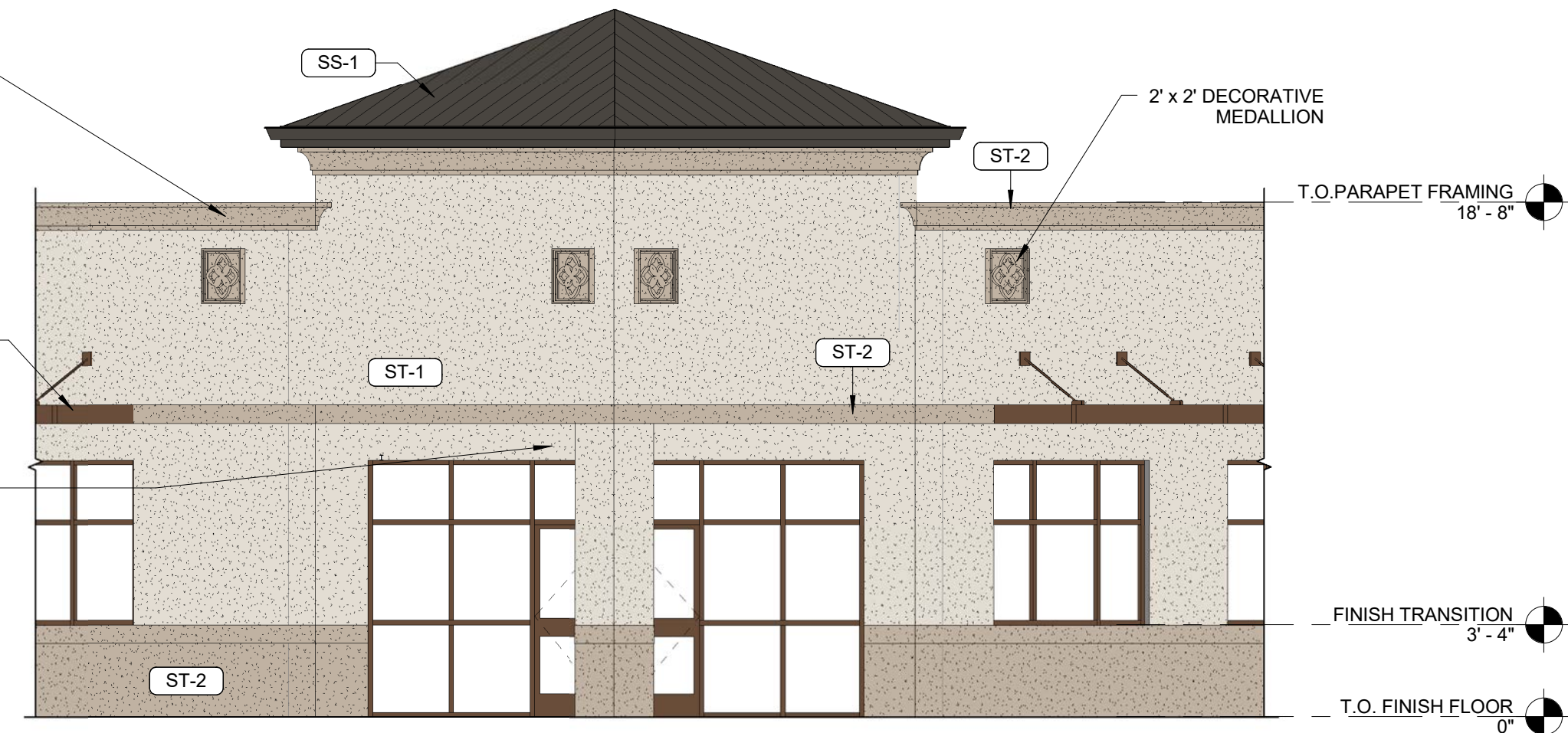
STUCCO FINISH TO BE PAINTED (SHERWIN WILLIAMS - AESTHETIC WHITE - SW 7035) (ST-2)



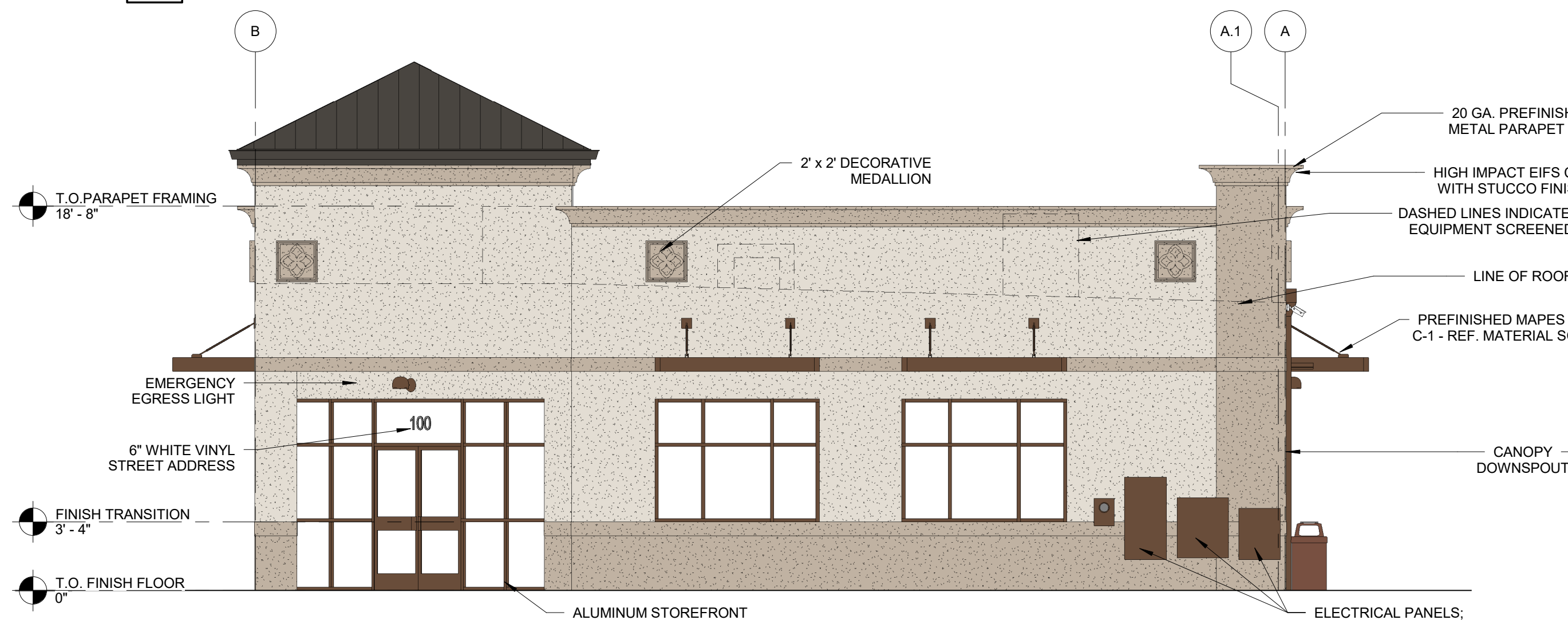
5 ELEVATION FACING WEST
3/16" = 1'-0"



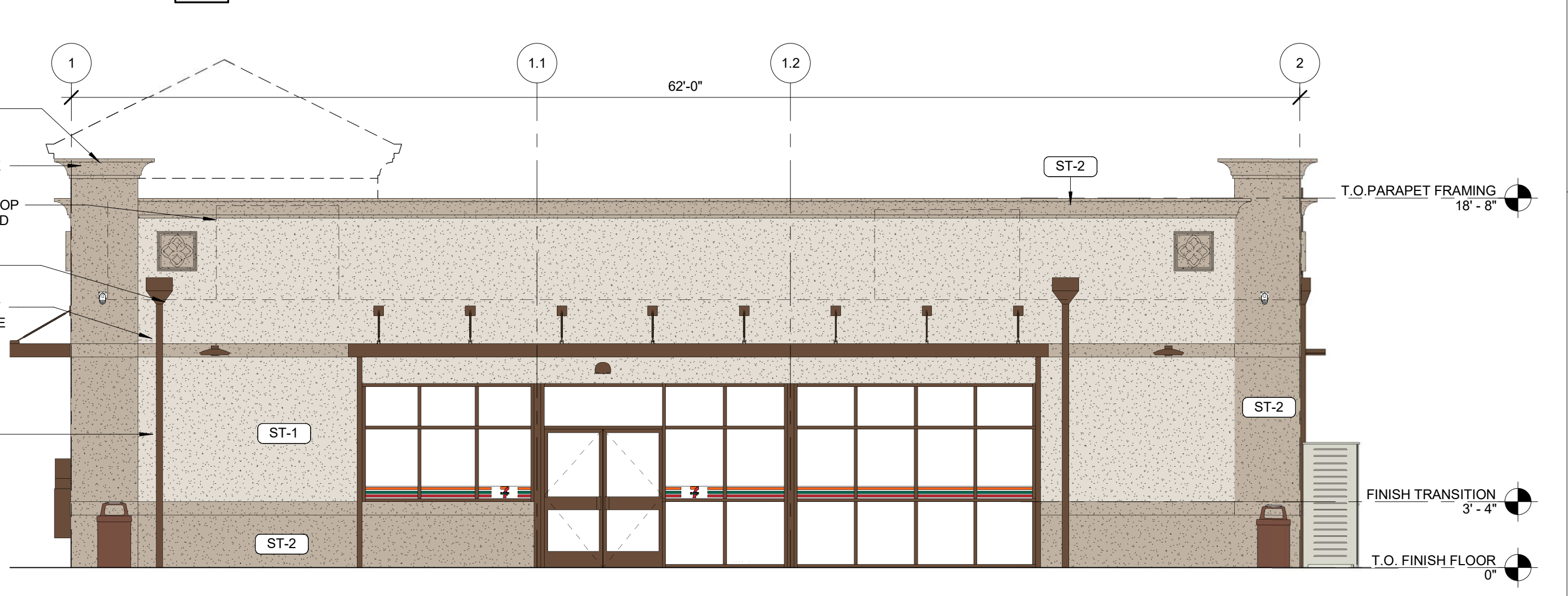
4 ELEVATION FACING SOUTH
3/16" = 1'-0"



3 ELEVATION FACING SOUTHEAST
3/16" = 1'-0"



2 ELEVATION FACING EAST
3/16" = 1'-0"



1 ELEVATION FACING - NORTH
3/16" = 1'-0"

bates

106 N 37TH STREET, SUITE C
ROGERS, ARKANSAS 72756
WWW.BATESARCHITECTS.COM
TEL: 479.633.8165

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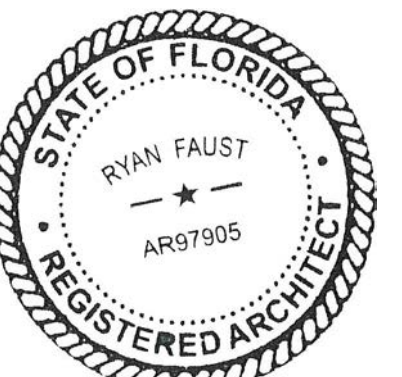
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7-ELEVEN INC.
3200 HACKBERRY ROAD IRVING, TX 75063

7-ELEVEN STORE
100 N STATE ROAD 7
HOLLYWOOD, FL 33023

CREIGHTON CONSTRUCTION & MANAGEMENT, LLC

900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991



Ryan M. Faust, License # AR97905
Expiration Date: February 28, 2019

Architect Name - RYAN M FAUST
Architect Number - AR97905

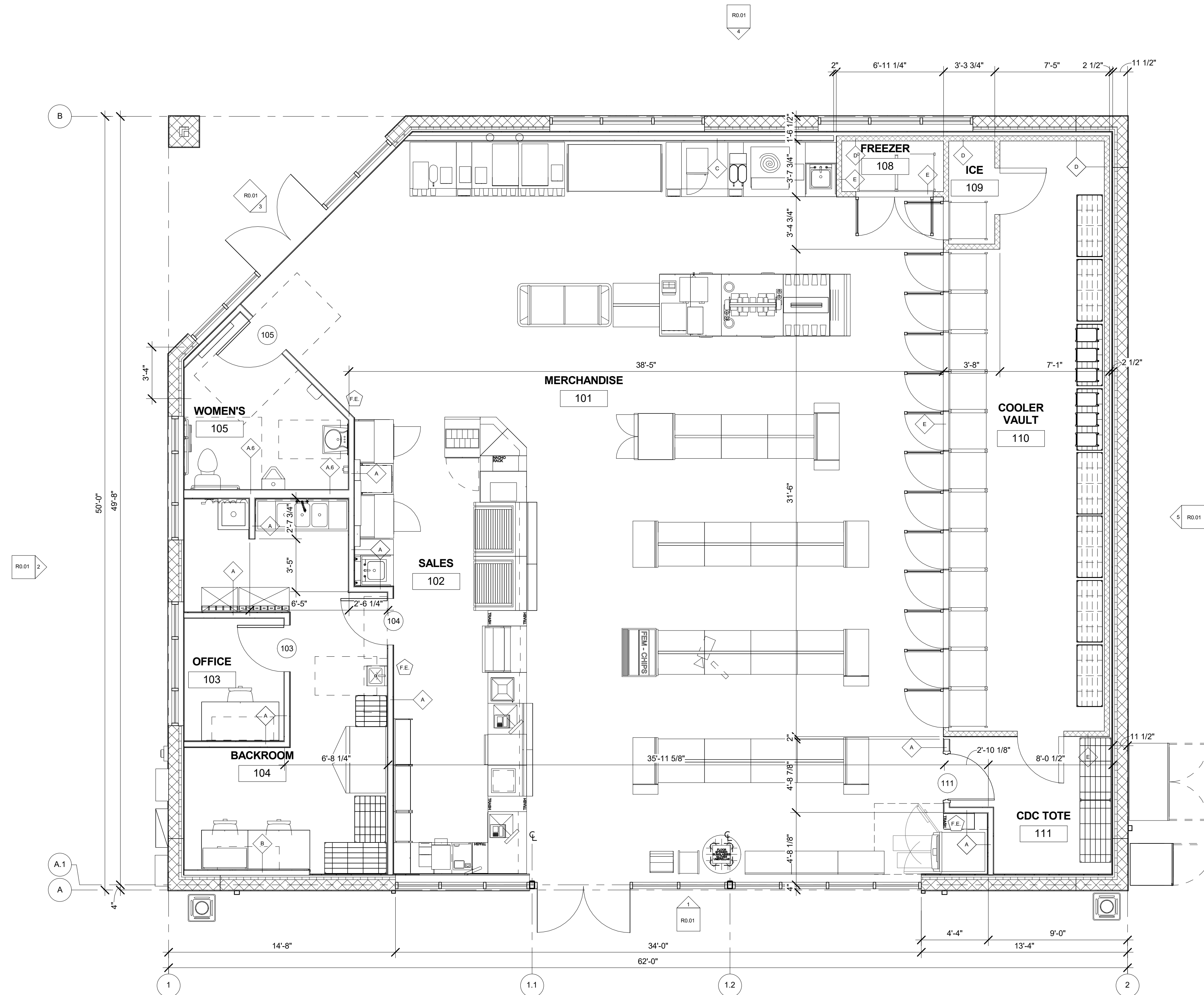
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NO. DATE DESCRIPTION

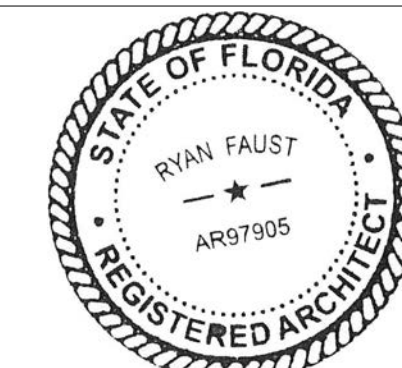
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RELEASE DATE: 10/13/17

REVIEW BOARD ELEVATIONS

R0.01



1 FLOOR PLAN
R0.02 **1/4" = 1'-0"**

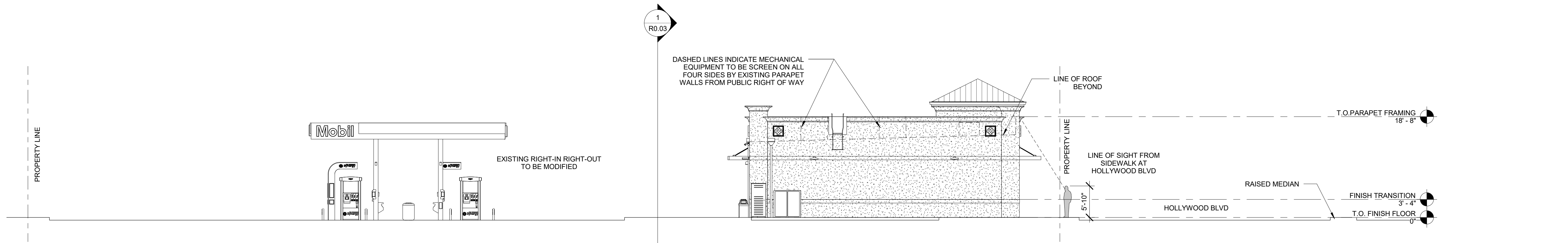


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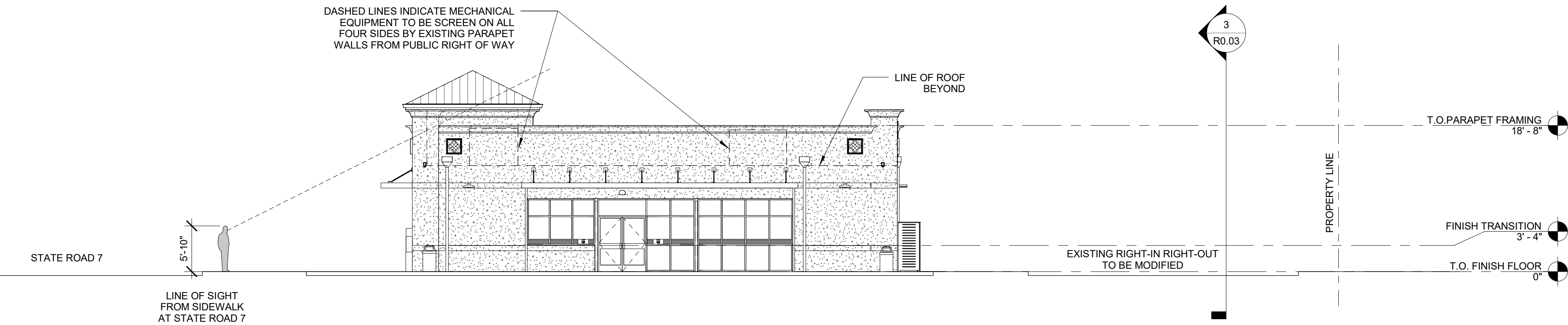
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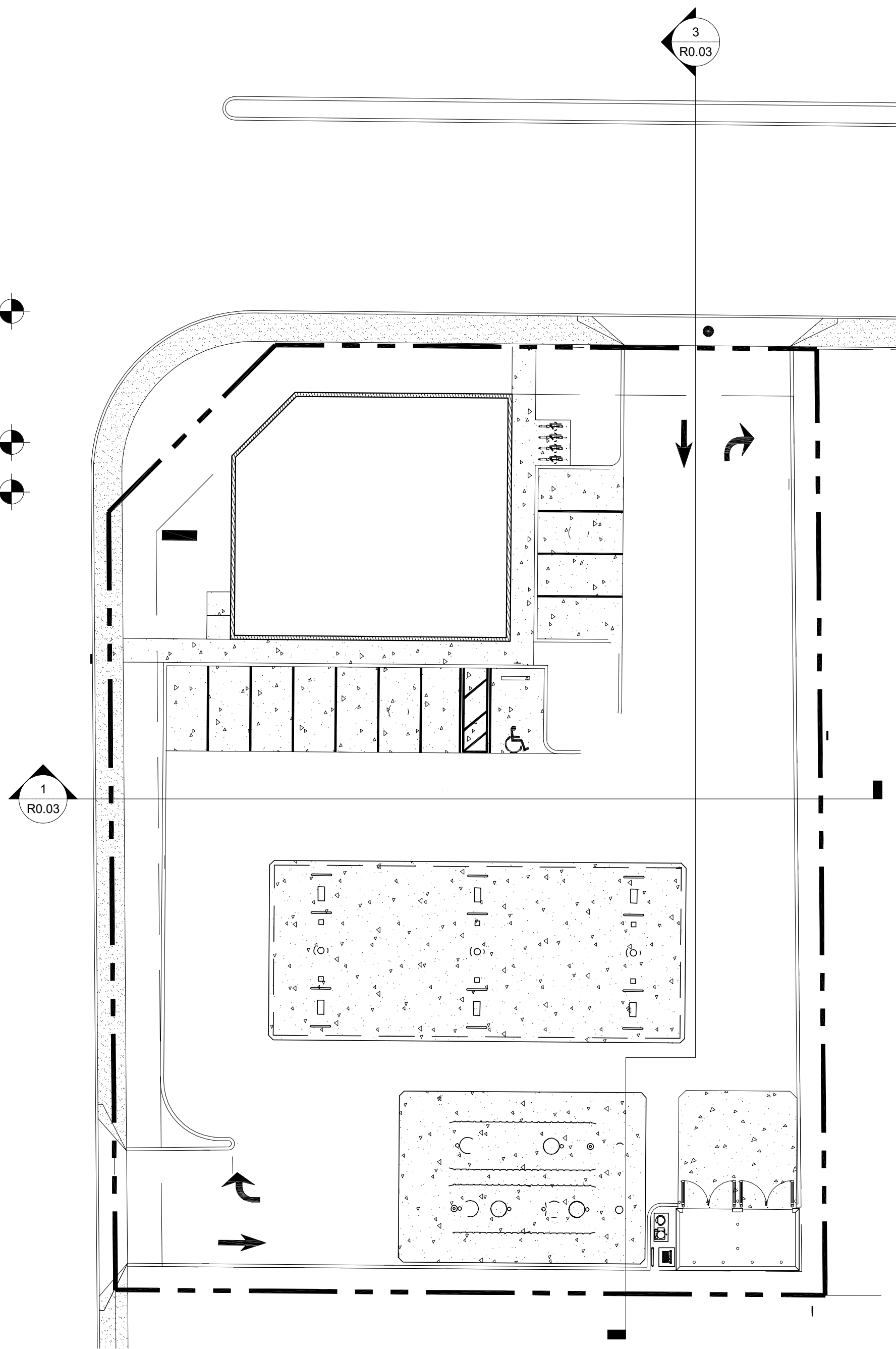
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3 STREET PROFILE AT HOLLYWOOD BOULEVARD
1" = 10'-0"



1 STREET PROFILE AT STATE ROAD 7
1" = 10'-0"



2 ARCHITECTURAL SITE PLAN
1" = 20'-0"

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CAPE CORAL, FL 33991
TENANT
7-ELEVEN INC.
3200 HACKBERRY ROAD IRVING, TX 75063

7-ELEVEN STORE
100 N STATE ROAD 7
HOLLYWOOD, FL 33023
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991



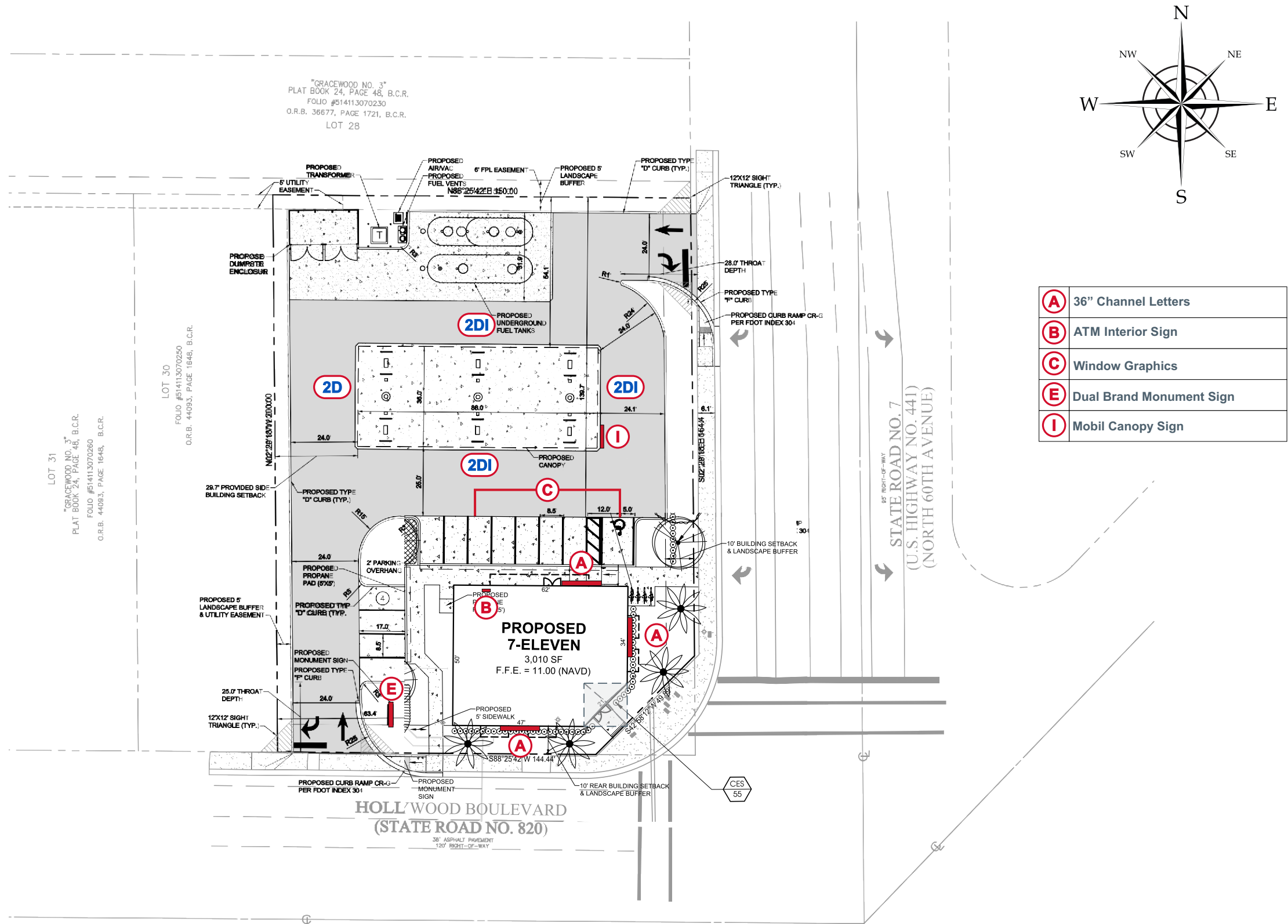
Architect Name - RYAN M FAUST
Architect Number - AR97905
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| REVISIONS | |
|-----------|-------------|
| NO. | DESCRIPTION |

PROJECT NUMBER: 17196
RELEASE DATE: 10/13/17

REVIEW BOARD STREET PROFILE

R0.03



NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH ZONING & LAND DEVELOPMENT REGULATIONS

Site Plan
1"=40'

harbinger
sign of the future

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681
2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450



7-Eleven #34954 (1040651)
100 State Road 7
Hollywood, Florida 33023

SVE6159-R4

F:\Customers\7 Eleven\Art
\SVE6159-R4 #34954 (1040651).cdr

| date: | rev. | description: | designer: |
|----------|------|---|-----------|
| 06.30.17 | 00 | Original Concept | mh |
| 06.12.17 | R1 | Update elevations & site plan, & add blade sign & notes | bw |
| 11.08.17 | R2 | Update Monument sign & revised wall signage | bw |
| 11.22.17 | R3 | Revise Sqft & blade per additional city comments | gh |
| 11.27.17 | R4 | Remove blade sign | gh |

Salesperson: rg

PM: gh

Designer: mh

Page: 1

customer approval

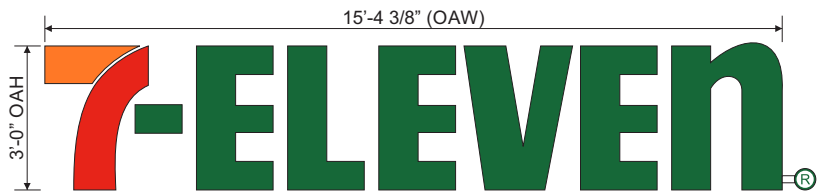
date:



Complies with
UL 48
CSA C22.2 No.207

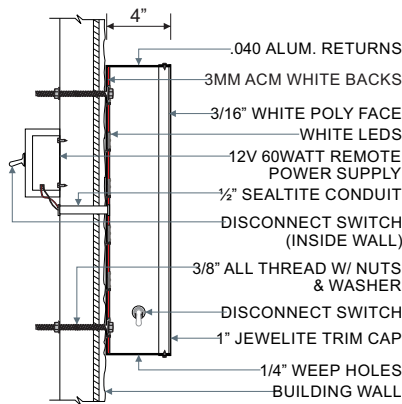
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THREE (3) SETS OF **CL36REM** 36" INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS. 3/16" THICK WHITE ACRYLIC FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 4" DEEP ALUMINUM RETURNS PRE-PAINTED **313 DURANODIC BRONZE**. 1" **DURANODIC BRONZE**(JEWELITE) TRIM CAP. LETTERS TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN
PAINT SPECS: 313 DURANODIC BRONZE



(SIDE DETAIL SCALE: 1"= 1'-0")

Front View & Side Mounting Detail - **CL36REM 36" Internally Illuminated Remote Channel Letters - Sign A**

1/4" = 1'-0"

Display Square Footage: **48.1**



7-Eleven #34954 (1040651)

100 State Road 7
Hollywood, Florida 33023

SVE6159-R4

F:\Customers\7 Eleven\Art
\SVE6159-R4 #34954 (1040651).cdr

| date: | rev. | description: | designer: |
|----------|------|---|-----------|
| 06.30.17 | 00 | Original Concept | mh |
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| | | | |
| | | | |

Salesperson: rg

PM: gh

Designer: mh

Page: 2

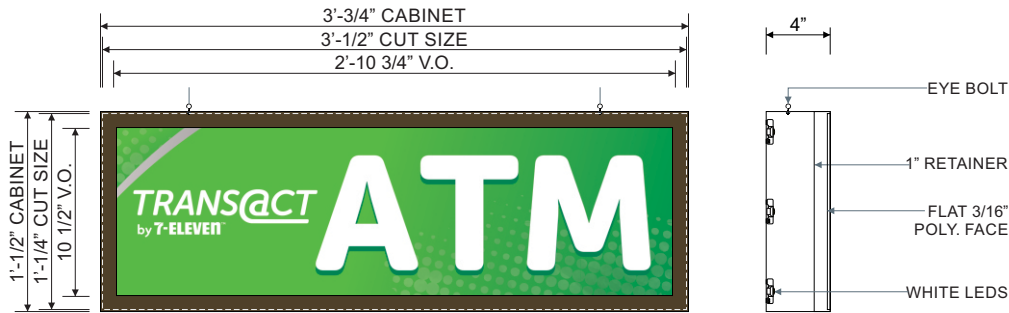
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ONE (1) **INTERIOR ATM** INTERNALLY ILLUMINATED S/F WINDOW SIGN. 3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS. 4 DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED **313E DURANODIC BRONZE**. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: DIGITALLY PRINTED IMAGE VINYL
PAINT SPECS: 313E DURANODIC BRONZE

NOTE: ATM SIGN TO BE FABRICATED & INSTALLED BY OTHERS

Front Elevation & Side Mounting Detail - **ATM S/F Window Sign - Sign B**

1" = 1'-0"

Display Square Footage (Cabinet): **3.2**



WINDOW VINYL GRAPHICS.
VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK.
NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

Front Elevation - **Typical Window Vinyl Graphics - Sign C**

3/8" = 1'-0"

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7-Eleven #34954 (1040651)

100 State Road 7
Hollywood, Florida 33023

SVE6159-R4

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\SVE6159-R4 #34954 (1040651).cdr

| date: | rev. | description: | designer: |
|----------|------|---|-----------|
| 06.30.17 | 00 | Original Concept | mh |
| 06.12.17 | R1 | Update elevations & site plan, & add blade sign & notes | bw |
| 11.08.17 | R2 | Update Monument sign & revised wall signage | bw |
| 11.22.17 | R3 | Revise Sqft & blade per additional city comments | gh |
| 11.27.17 | R4 | Remove blade sign | gh |
| | | | |
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| | | | |

Salesperson: rg

PM: gh

Designer: mh

Page: 3

customer approval

date:

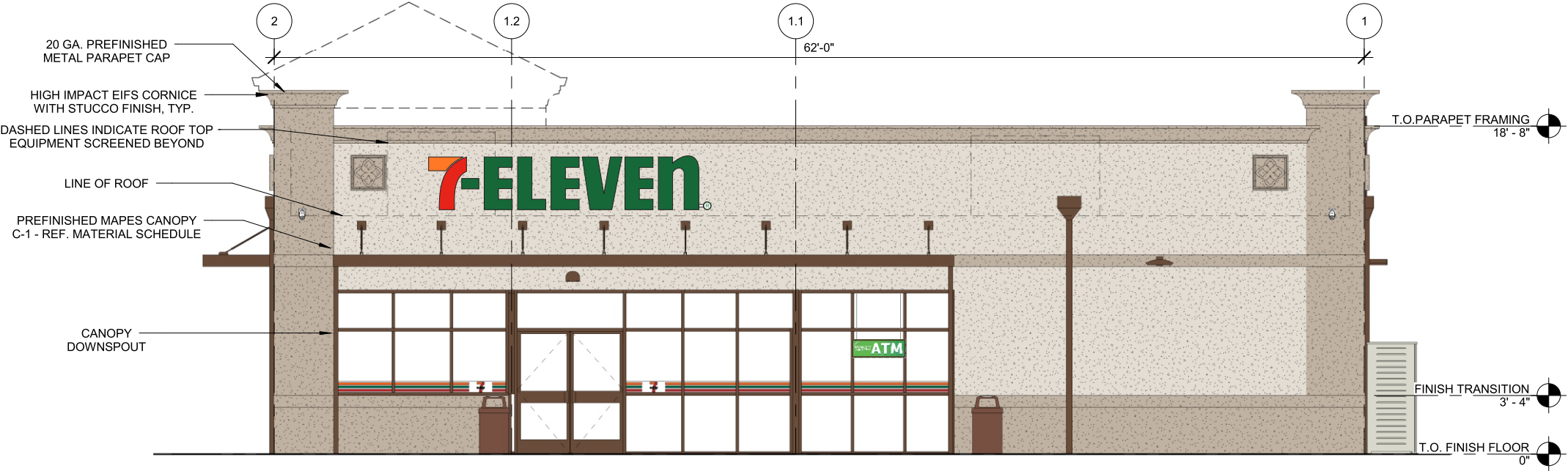


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NOTE: THIS SET OF CHANNEL LETTERS REQUIRES VARIANCE

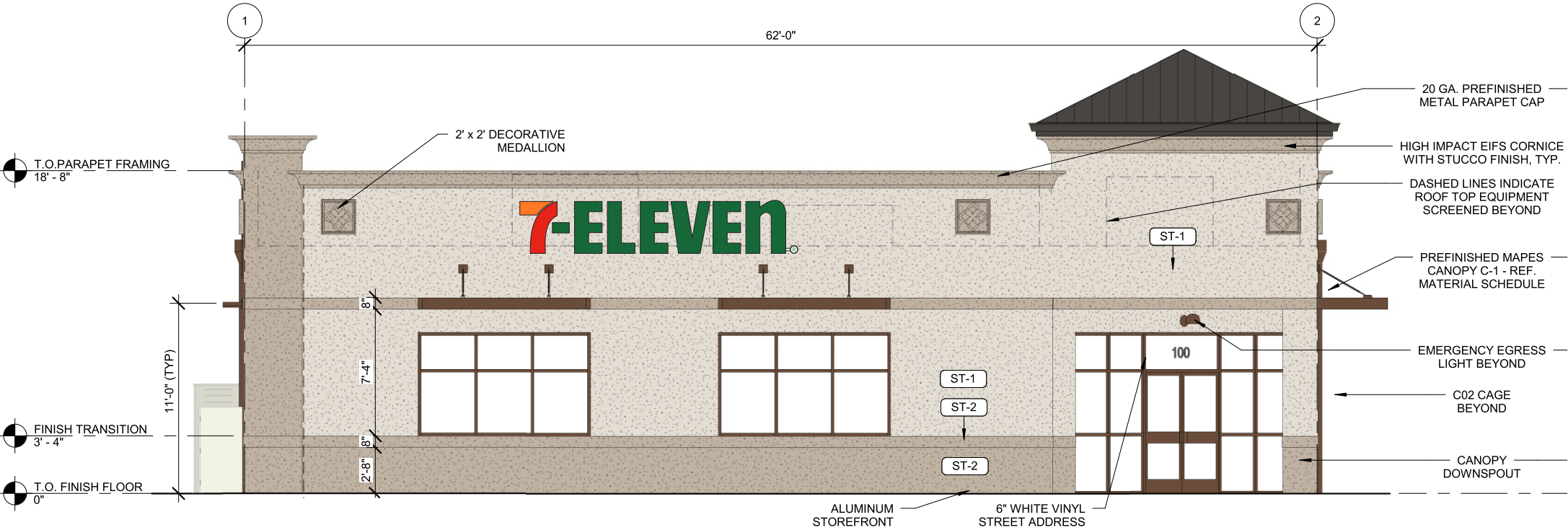


| Square footage Calculations: | |
|------------------------------|-----------|
| Allowed: | 62.0 sqft |
| Proposed: | 48.1 sqft |

NOTE: VARIANCE IS REQUIRED

North Elevation - Signs A, B, C

1/8"= 1'-0"



| Square footage Calculations: | |
|------------------------------|-----------|
| Allowed: | 62.0 sqft |
| Proposed: | 48.1 sqft |

South Elevation - Sign A

1/8"= 1'-0"

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| 11.22.17 | R3 | Revise Sqft & blade per additional city comments | gh |
| 11.27.17 | R4 | Remove blade sign | gh |

Salesperson: rg

PM: gh

Designer: mh

Page: 4

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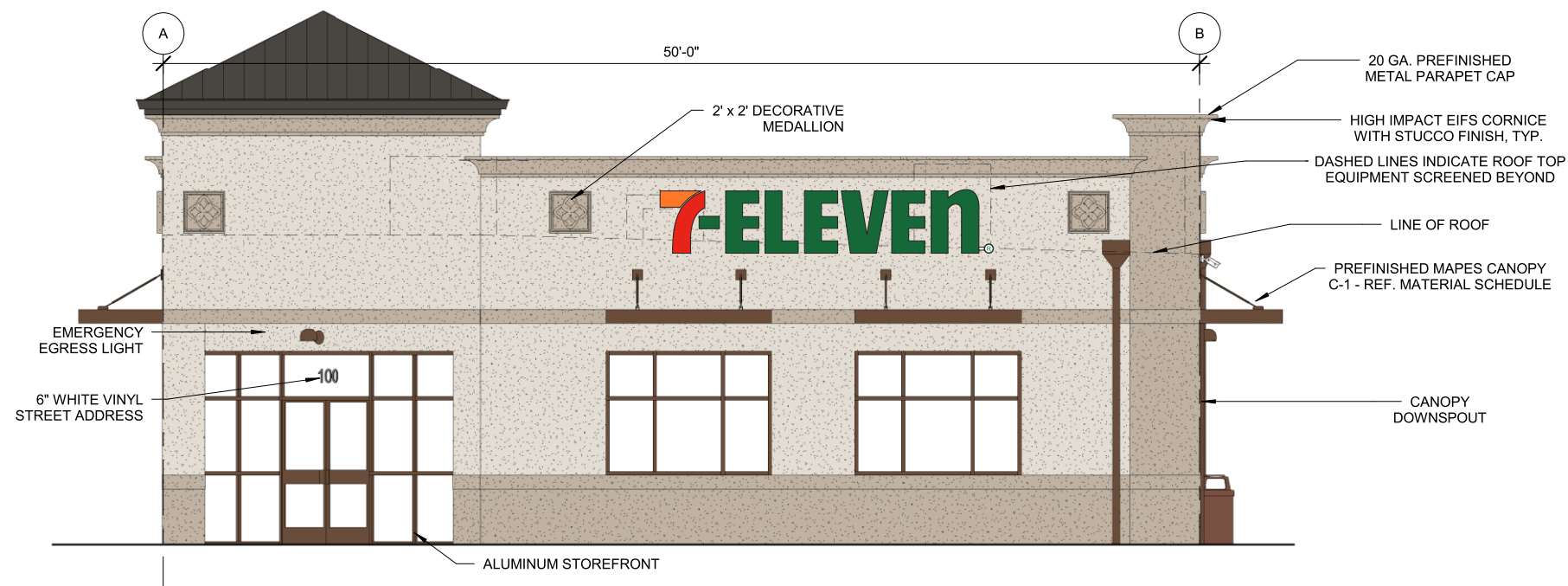
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| Square footage Calculations: | |
|------------------------------|-----------|
| Allowed: | 50.0 sqft |
| Proposed: | 48.1 sqft |

East Elevation - Sign A

1/8"= 1'-0"



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| 11.27.17 | R4 | Remove blade sign | gh |
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Salesperson: rg

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Designer: mh

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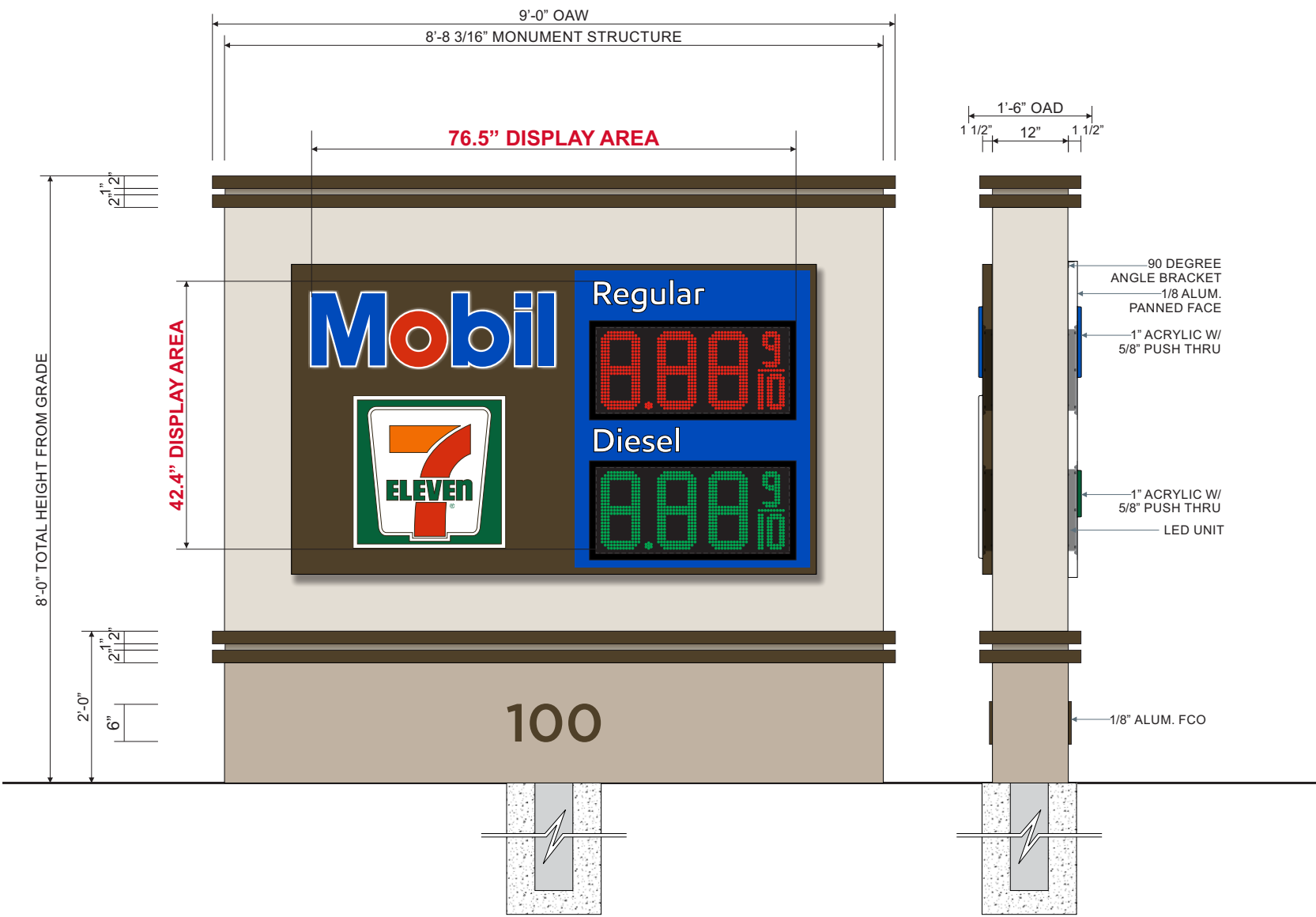
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NOTE: DEDICATED 20 AMP CIRCUIT REQUIRED FOR LED GAS PRICE CABINET, MUST BE PROVIDED BY CUSTOMER



TWO (2) **CUSTOM** ALUM. PAN FACES W/ PUSH THROUGH MOBIL/7-ELEVEN MAIN-ID INTERNALLY ILLUMINATED S/F MONUMENT SIGN. .125 BREAK FORM 1 1/2" DEEP ALUM. PAN W/ 1" THICK CLEAR ACRYLIC PUSH THROUGH FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE THEN BACKED W/ **3M 3630-20 WHITE** TRANSLUCENT VINYL SECOND SURFACE. ALUM. PAN TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. ALUM. PAN INSTALLED FLUSH TO 90 DEGREE ANGLE BRACKETS MOUNTED TO MONUMENT FACADE USING 3/8" ALL THREAD/LAG BOLT.

TWO (2) **CUSTOM** GAS PRICE ALUM. PAN FACES W/ RED & GREEN LED MODULES. ROUTED AND BACK .125 BREAK FORM 1 1/2" DEEP ALUM. FACE PAN. BACK W/ 3/16" THICK FLAT WHITE ACRYLIC FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. ALUM. PAN TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. ALUM. PAN INSTALLED FLUSH TO 90 DEGREE ANGLE BRACKETS MOUNTED TO MONUMENT FACADE USING 3/8" ALL THREAD/LAG BOLT.

PROPOSED WITH 12" PRICE VISION **RED** & **GREEN** LED SCREENS.

PROVIDED CUSTOMER WITH 6" TALL 1/8 ALUM. FCO ADDRESS NUMBERS FOR MONUMENT STRUCTURE

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN
MOBIL VINYL SPECS: 3M 3630-2675 RED, 3M 3630-8248 BLUE
PAINT SPECS: DURANODIC BRONZE, MOBIL BLUE

NOTE: VERTICAL STEEL SUPPORT & FOOTING TO BE SPECIFIED BY ENGINEERING & PROVIDED BY INSTALLER
NOTE: MONUMENT SIGN ALUM. STRUCTURE TO BE PROVIDED BY HARBINGER
NOTE: SIGN DESIGN SUBJECT TO CHANGE PENDING CITY REVIEW

| Total Sign Square footage Calculations: | |
|---|-----------|
| Allowed: | 24.0 sqft |
| Proposed: | 23.1 sqft |
| For properties with a street frontage of at least 200 feet but less than 300 feet: 1 monument sign with an overall sign area not to exceed 36 square feet per side, 2 side maximum, and a maximum height of 8 feet. | |

| Overall Height: | |
|-----------------|----------|
| Allowed Max: | 8.0 Feet |
| Proposed: | 8.0 Feet |

| SEP PRICE VISION LED UNITS: |
|--------------------------------|
| LED UNIT SIZE: 14.284" X 31.3" |
| LED CHARACTER SIZE: 12.340" |

Face View & Side Detail - Custom Monument Signs - Sign Type E
1/2" = 1'-0"

Display Square Footage (Display Area): 23.1 sqft



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| customer approval | | | date: |

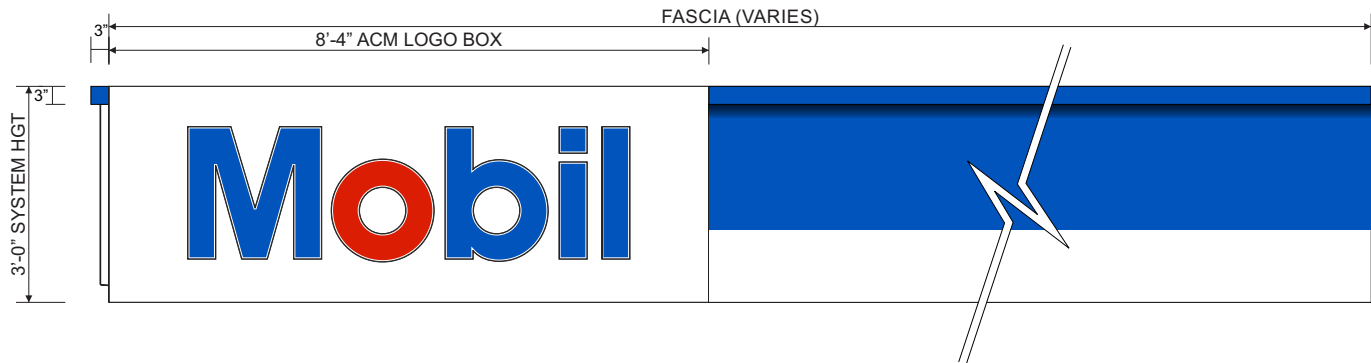




ONE (1) 2DI MOBIL ACM LOGO BOX CANOPY SIGNS.
POLYCARBONATE LETTER SETS MOUNTED TO ACM BOX. BOXES TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL.

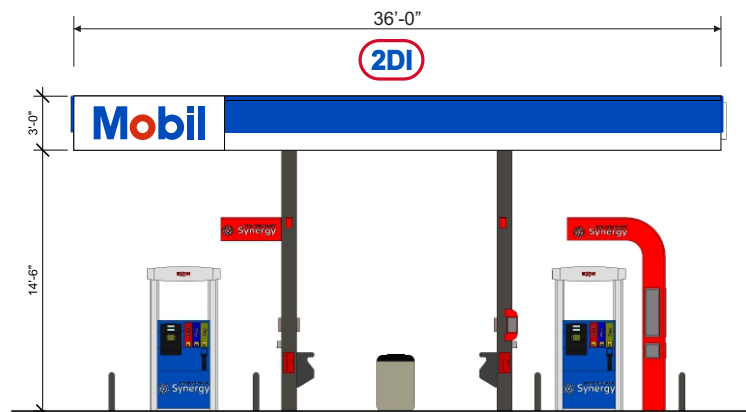
Front Elevation & Side Mounting Detail - Mobil ACM Logo Box - 2D Canopy Fascia - Sign I
1/2" = 1'-0" Display Square Footage: (Letter Set) 11.2



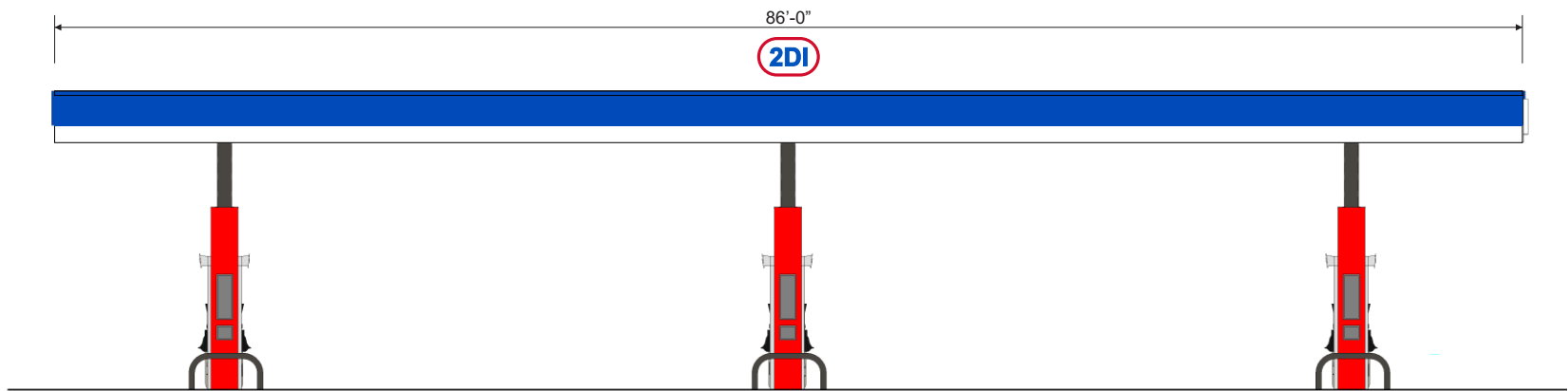
2DI- ILLUMINATED CANOPY STRIPE: THREE (3) LED ILLUMINATED CANOPY "EYEBROW" RAIL SYSTEM.
2D- NON-ILLUMINATED CANOPY STRIPE: ONE (1) NON-ILLUMINATED CANOPY STRIPE.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL

Typical Canopy Sign & LED Illuminated EYEBROW Rail System Layout - Sign I
3/8" = 1'-0"

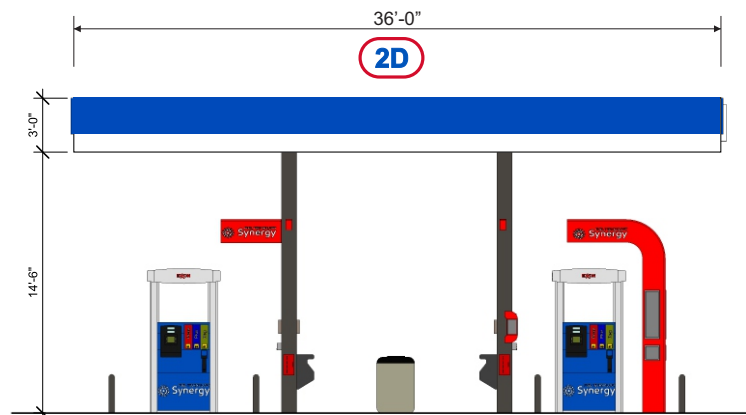


EAST ELEVATION: ILLUMINATED CANOPY EYEBROW RAIL SYSTEM

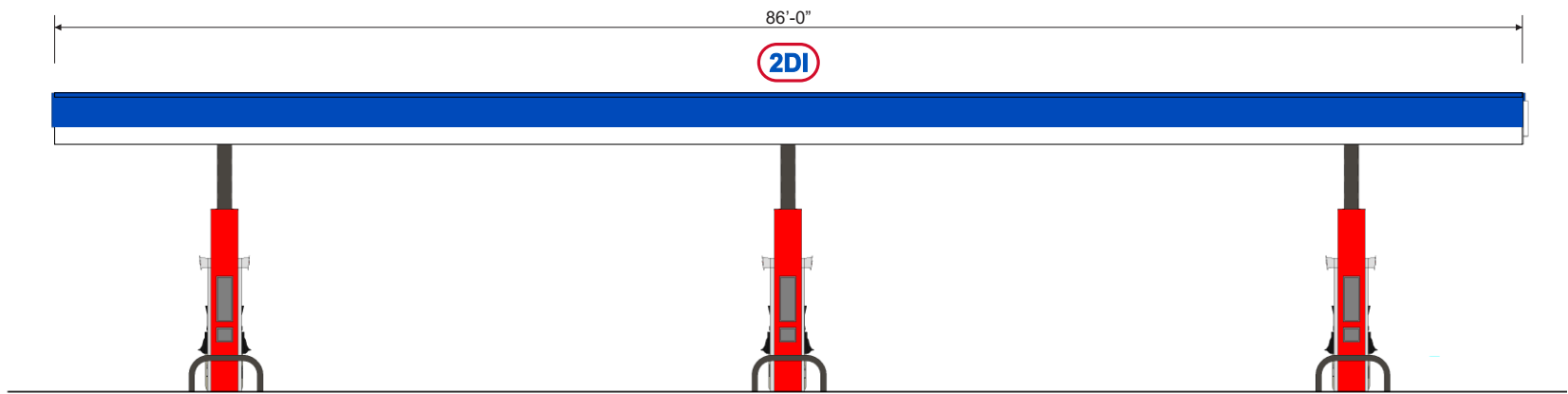


NORTH ELEVATION: ILLUMINATED CANOPY EYEBROW RAIL SYSTEM

| Square footage Calculations: | |
|------------------------------|------------------|
| Allowed: | 40.0 sqft (EACH) |
| Proposed: | 11.2 sqft (EACH) |



WEST ELEVATION: NON-ILLUMINATED CANOPY GRAPHIC



SOUTH ELEVATION: ILLUMINATED CANOPY BAND

Front and Side Elevation (Canopy Configuration) - Sign I
3/32" = 1'-0"

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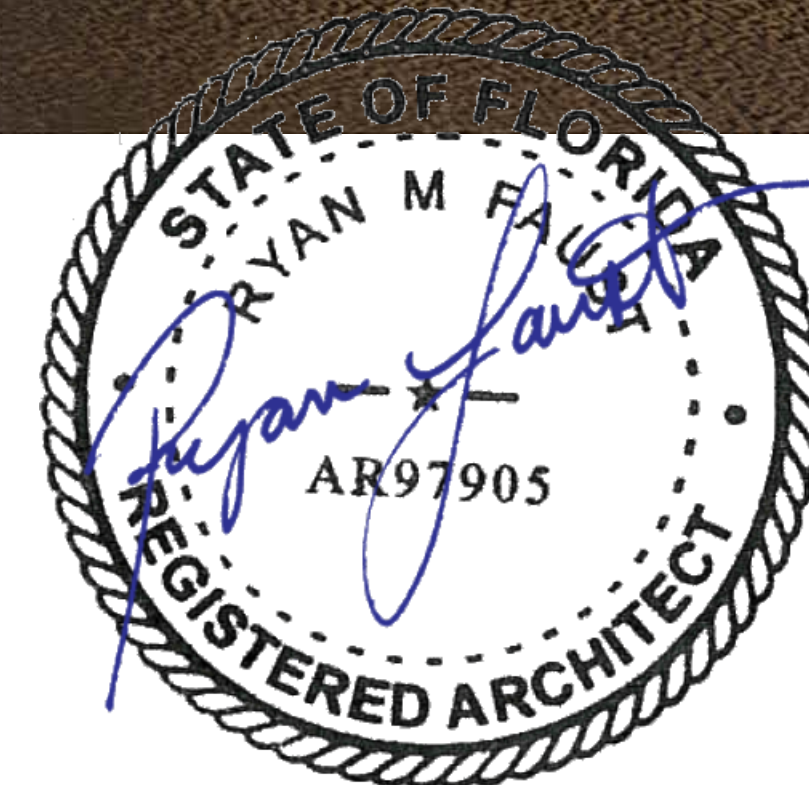
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