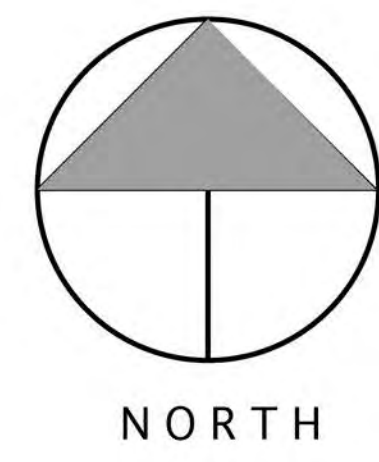


SOUTH 24TH AVENUE

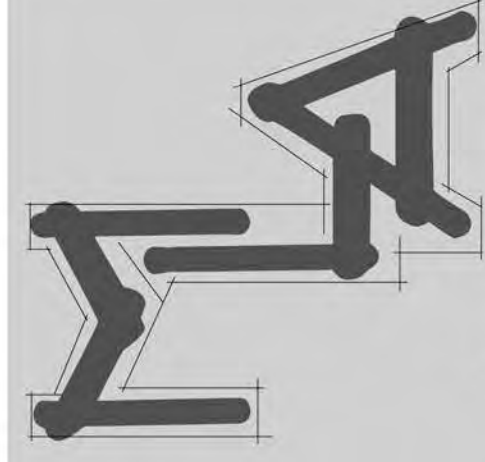


VAN BUREN STREET



REVISIONS:	
SHEET TITLE: LANDSCAPED SITE PLAN COLOR	
PROJECT:	FAITH AND LIFE MINISTRIES INC. ALPHA INTERNATIONAL ACADEMY CHARTER SCHOOL 121 S. 124TH AVENUE HOLLYWOOD, FL.
SEAL:	
SCALE: 1"=10'	
DATE DRAWN: 10-17-16	
SHEET NO.	L-0

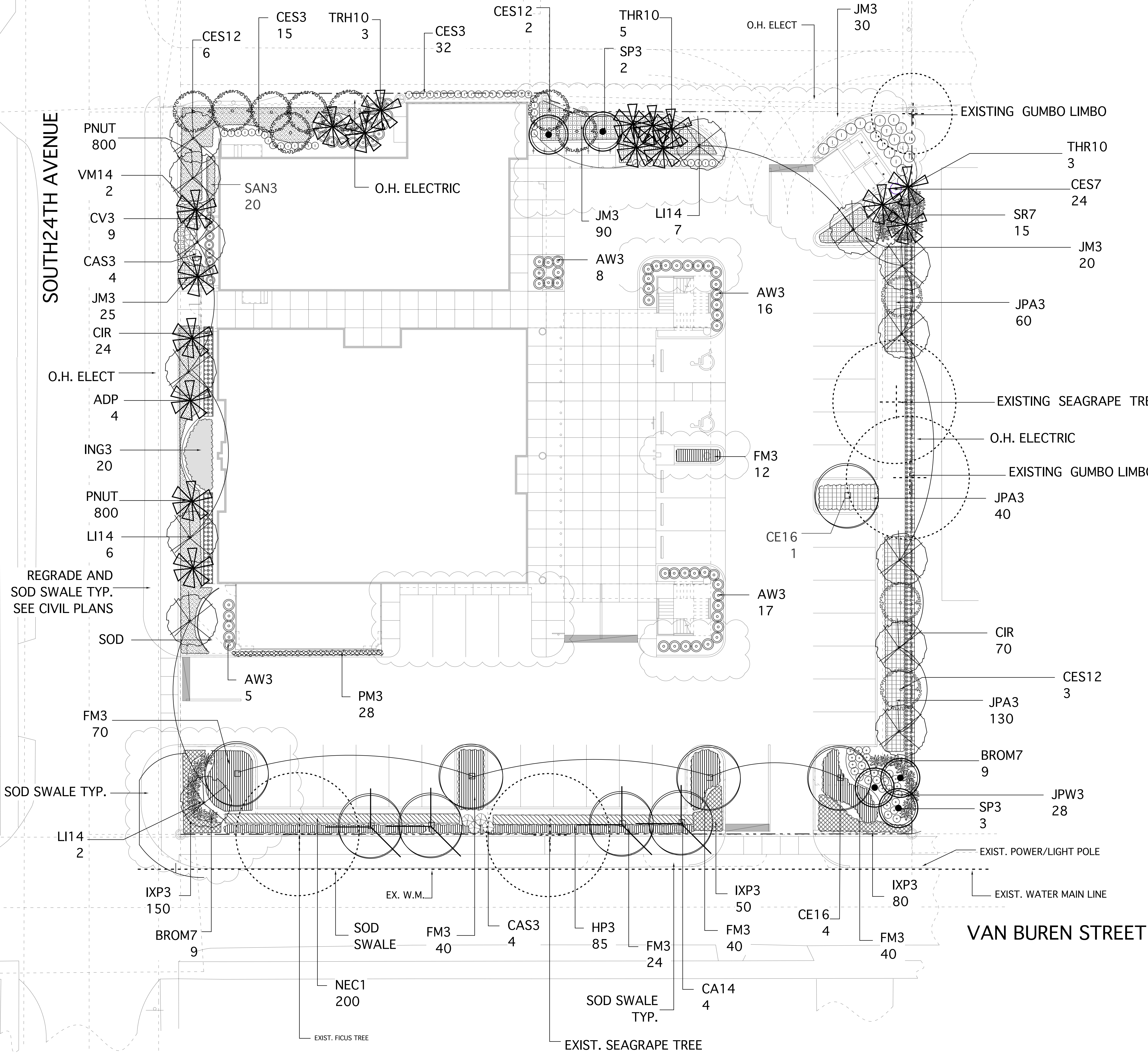
LA 666695 ISA 0827A  
1016 W 45TH STREET  
OAKLAND PARK, FL 33334  
TEL 954 763-4071  
954 763-1047  
e - mlagraphics@jplho.com  
mlagraphics.com



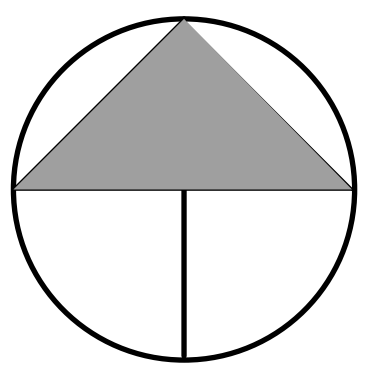
landscape architecture



SOUTH 24TH AVENUE



Know what's below.  
Call before you dig.



NOTES

MULCH ALL LANDSCAPE AREAS. EXISTING AND PROPOSED WITH GRADE 8 OR BETTER NON CYPRESS BLEND. ALL EXISTING LANDSCAPE MATERIALS IN POOR CONDITION OR MISSING AT TIME OF C.O. SHALL BE REPLACED WITH SAME SPECIES AND SIZE. ALL EXISTING TREES SHALL BE CORRECTIVELY PRUNED AS NEEDED PER ANSI-300 STD'S

REFER TO SHEET L-3 FOR LANDSCAPE DETAILS, SPECIFICATIONS, AND PLANT MATERIAL LIST.

REFER TO SHEET L-2 FOR EXISTING TREE INFORMATION

CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN

CONTRACTOR SHALL NOTIFY THE CITY LANDSCAPE REVIEWER PRIOR TO ANY CHANGES IN APPROVED LANDSCAPE MATERIALS

ALL LANDSCAPE WORK SHALL MEET THE MIN. REQUIREMENTS PER THE CITY OF HOLLYWOOD'S LANDSCAPE CODE.

IRRIGATION DESIGN AND SPECIFICATIONS SHALL BE PROVIDED AT TIME OF PERMIT.

DRC REV: 7/19/16  
DRC REV: 9/16/16 DRC REV: 11/1/16

CITY OF HOLLYWOOD  
LANDSCAPE CALCULATIONS  
ZONING: RM-25  
TOTAL SITE AREA: 39,675 SF. .91 ACRES  
PERVIOUS AREA: 7,920 SF. (20%)  
VUA: 15,941 SF (40%)

PERIMETER LANDSCAPE:  
(1) STREET TREE PER 50 LF. OF STREET FRONTAGE

VAN BUREN ST. 200 LF. = 4 TREES REQUIRED  
PROPOSED = 4 TREES

S. 24TH AVE 198LF. = 4 TREES REQUIRED  
PROPOSED = 4 TREES

BUFFERS: (1) TREE PER 20 LF.  
WEST BUFFER 198 LF./20 = 9 TREES  
REQUIRED = 9  
PROVIDED = 9

NORTH BUFFER 200 LF./20 = 10  
PROVIDED = 10 TREES

INTERIOR LANDSCAPE FOR VUA:  
(1) TREE PER 190 SF. ISLAND = 8  
PROVIDED = 8 TREES

25% OF VUA AREA SHALL BE LANDSCAPE  
OPEN SPACE: 15,941 VUA X.25 = 3,985  
REQUIRED = 3,985 SF  
PROVIDED = 3,985 SF.

OPEN SPACE:  
(1) TREE PER 1,000 SF. OF PERVIOUS LOT AREA  
7,920 SF. /1,000 = 8 TREES REQUIRED  
PROVIDED = 8 TREES

TOTAL TREES REQ. ON SITE= 43  
TOTAL TREES PROVIDED = 41 + 5 EXISTING  
NATIVE TREES REQUIRED 60% = 25  
PROVIDED = 28  
NATIVE SHRUBS REQUIRED = 50%  
673 SHRUBS PROVIDED  
NATIVE SHRUBS PROVIDED = 448 (67%)

TREE MITIGATION REQUIRED = 82" + 3  
PALMS  
REPLACEMENT TREES PARTIALLY MITIGATED  
BY INCREASING THE SIZE OF CODE MIN.  
TREES BY (20") IN ADDITION TO (5)  
EXISTING TREES TO REMAIN.

IRRIGATION SYSTEM REQUIREMENT:  
AUTOMATIC IRRIGATION SYSTEM PROVIDED  
SEE SHEET IR-1 AT TIME OF PERMIT.

REVISIONS:

DRC REV: 7/19/16

DRC REV: 9/16/16

DRC REV: 10/21/16

DRC REV: 11/1/16

SHEET TITLE:

LANDSCAPE  
PLANTING  
PLAN

PROJECT:

FAITH AND LIFE MINISTRIES INC.  
ALPHA INTERNATIONAL ACADEMY  
CHARTER SCHOOL  
121 S. 124TH AVENUE  
HOLLYWOOD, FL.

SEAL:

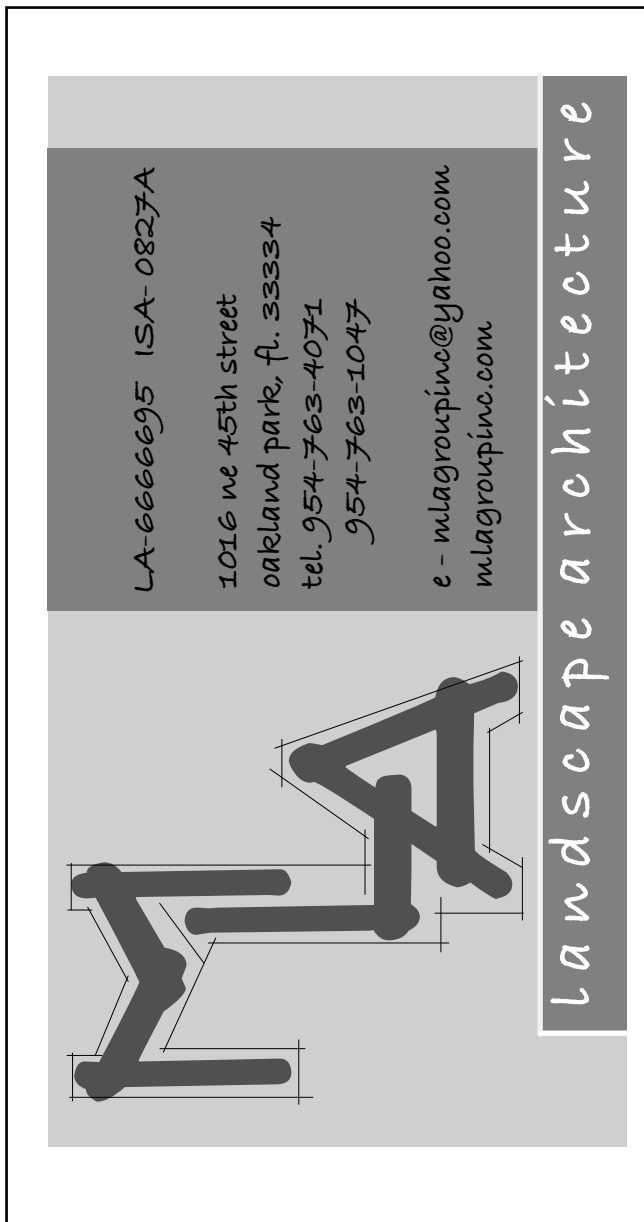
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DATE DRAWN: 10-17-16

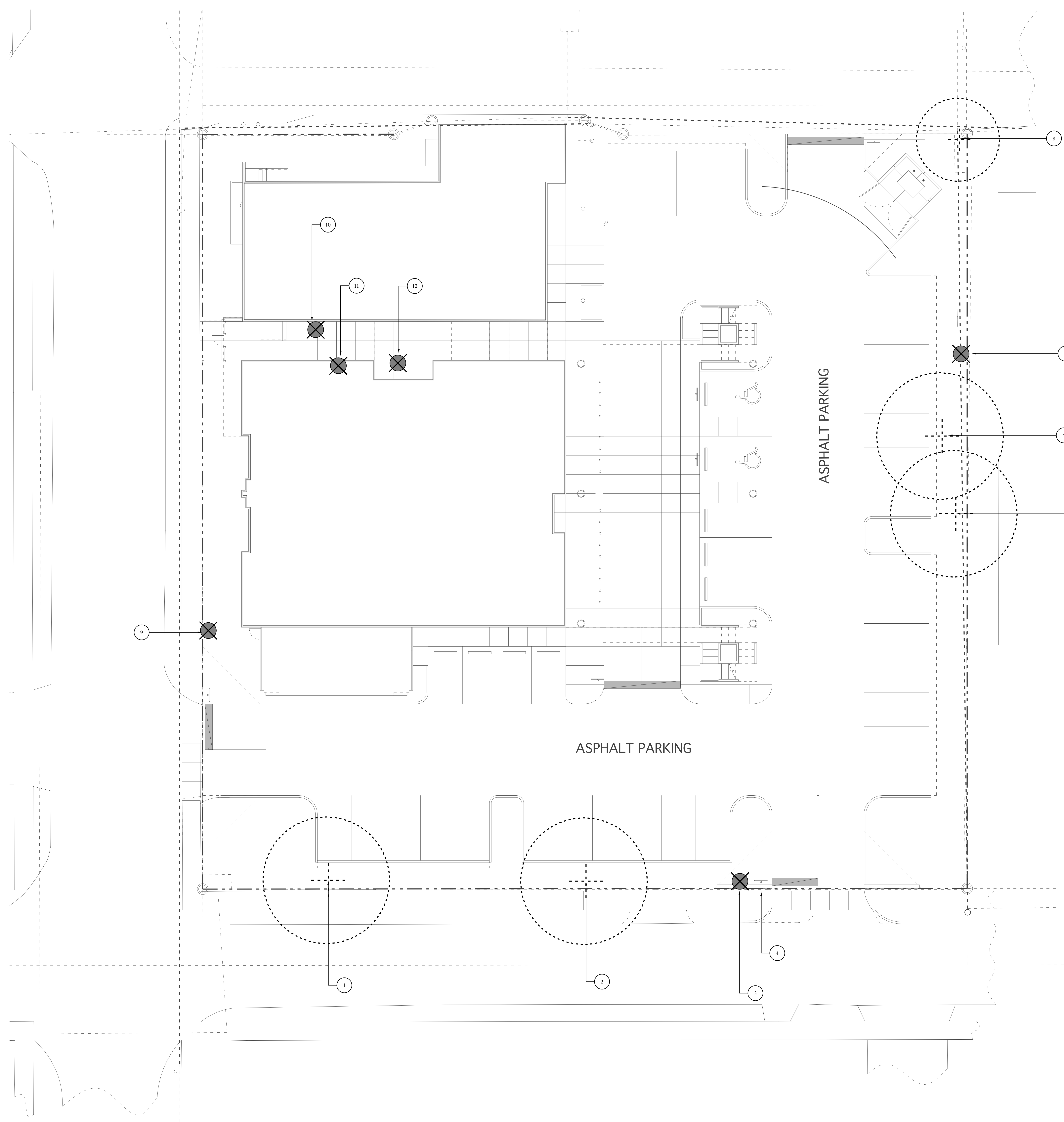
SHEET NO.

L-1

of-3







KEY

#

EXISTING TREE/PALM TO REMAIN  
IN PLACE

✕

EXISTING PALM TO REMOVE

EXISTING TREE INVENTORY				
NO.	COMMON NAME	SIZE (DBH, HT,X SPR.)	CONDITION	DETERMINATION
1.	FICUS AUREA	50" DBH, 27'X40'	GOOD	REMAIN
2.	SEA GRAPE	47" DBH, 23'X33'	GOOD	REMAIN
3.	SEA GRAPE	19" DBH, 25'X28'	FAIR	REMOVE/MITIGATE
4.	SEA GRAPE	11" DBH, 16'X20'	FAIR	REMOVE/MITIGATE
5.	GUMBO LIMBO	18.5" DBH, 25'X18'	GOOD	REMAIN
6.	SEA GRAPE	21" DBH, 33'X30'	FAIR	REMAIN
7.	UNKNOWN	35" DBH, 35'X30'	POOR	REMOVE/MITIGATE
8.	GUMBO LIMBO	9" DBH, 20'X20;	FAIR	REMAIN
9.	BLACK OLIVE	17" DBH, 35'X30'	POOR	REMOVE/MITIGATE
10.	FOXTAIL PALM	12' CT.	GOOD	REMOVE/MITIGATE
11.	FOXTAIL PALM	6' CT.	FAIR	REMOVE/MITIGATE
12.	FOXTAIL PALM	10' CT.	GOOD	REMOVE/MITIGATE

TREE CALIPER REMOVED = 82" INCHES

TREE MITIGATION REQUIRED = 82" REFER TO SHEET L-1 DATA FOR MITIGATION REPLACEMENT

PALMS REMOVED TO BE MITIGATED = 3

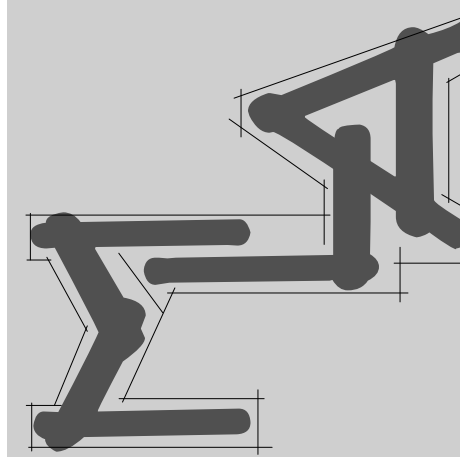
SEE SHEET L-1 DATA FOR REPLACEMENT VALUES

TREE MITIGATION: NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT THE APPROVAL OF A TREE REMOVAL PERMIT.

ALL TREES TO REMAIN SHALL BE PROTECTED BY A TREE PROTECTION BARRIER

REFER TO DETAIL SHEET L-3

LA 000005 ISA-0027A  
1016 W 45th Street  
Oakland Park, FL 33334  
Tel. 954-763-4072  
954-763-1047  
e-mlandscapeinc@jphoo.com  
mlandscapeinc.com



REVISIONS:
DRC REV: 7/19/16
DRC REV: 9/16/16

SHEET TITLE:  
EXISTING TREE  
DISPOSITION  
PLAN

PROJECT:  
FAITH AND LIFE MINISTRIES INC.  
ALPHA INTERNATIONAL ACADEMY  
CHARTER SCHOOL  
121 S. 124TH AVENUE  
HOLLYWOOD, FL.

SEAL:

SCALE: 1"=10'

DATE DRAWN: 10-17-16

SHEET NO.

L-2



GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
6. ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID, UNLESS OTHERWISE NOTED. SOD SHALL BE WEED AND PEST FREE. SOD SHALL BE LAID ON A SMOOTH SURFACE WITH TIGHT JOINT CUT TO CONFORM TO PLANTERS AND CURBS.
7. ALL RED AREAS TO RECEIVE A 1" LAYER OF EUCALYPTUS MULCH FLORE MULCH & SHALL BE A MIN. OF 1'-6" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE). MULCH TYPE SHALL BE FREE OF ABSORBENT BY PRODUCTS.
8. ALL TREES FIELD GROWN UNLESS OTHERWISE NOTED.
9. LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING: PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PEST, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE PROVIDED BY OTHERS.
10. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
11. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
12. LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
13. PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
14. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
15. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
16. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
17. LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
18. THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITH PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
19. METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
20. PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FRONDS); GAL (GALLON CAN); T GAL (TWO GALLON); GALL (INDICATES HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HYV (INDICATED HEAVY); MIN (INDICATES MINIMUM).
21. SUBSTITUTIONS: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
22. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF NATURE" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
23. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10% ABOVE FINAL GRADE SURROUNDING THE PLANTING AREA. NO PLANT MATERIAL SHALL BE ACCEPTED IF PLANTED TOO DEEP. ALL CUTS AND STAKING SHALL BE REMOVED WITHIN ONE YEAR AFTER FINAL INSPECTION OR ESTABLISHMENT.
24. DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.
25. COMMERCIAL FERTILIZER FOR TREES, SHRUBS AND GROUND COVER COMMERCIAL FERTILIZER SHALL BE NUTRI-PAK 3-18-7. THE RELEASE FERTILIZER PACKET DISTRIBUTED BY HORT- ENTERPRISES INC. EQUAL SUBSTITUTIONS MAY BE ACCEPTED NUTRI-PAK FERTILIZER PACKETS ARE AVAILABLE IN SPECIAL NUTRIENT FORMULATIONS FOR SPECIFIC PLANT TYPES I.E. TREES, SHRUBS, FLOWERING PLANTS, TOTTIE PLANTS AND PALMS.

NEW TREE AND SHRUB APPLICATIONS: PLACE PACKET 6"-8" DEEP, SPACED EVENLY AROUND OUTER EDGES OF ROOTS 12 INCHES ON CENTER.

PERENNIALS: PLACE PACKETS 6"-8" DEEP NEAR ROOTS ESTABLISHED PLANTINGS.

MATURE PLANTINGS:

TREES: USE 1 PACKET PER INCH OF TRUNK DIAMETER SPACED EVENLY AROUND DRIP LINE BURY 6"-8" BELOW SOIL IN UPRIGHT POSITION, TAP HOLE CLOSED WITH HELL OF YOUR FOOT.

SHRUBS: USE 1 PACKET FOR EVERY 12 INCHES OF HEIGHT OR SPREAD.

GENERAL SLOW RELEASE FERTILIZERS WITH MICOR NUTRIENTS MAY BE APPLIED WITH LOW OR NO PHOSPHORUS SUCH AS A 15-0-10.

LOW PHOSPHORUS SHALL MEAN 2% OR LESS.

APPLICATION RATES SHALL BE ADHERED TO AS WRITTEN ON THE PRODUCT LABEL. POSTPONE FERTILIZING WHEN ONE INCH OR MORE OF RAIN IS EXPECTED.

26. SUPER ABSORBENT POLYMER - TERRA SORB® OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE AND POLYMER. PARTICLE SIZE OF 0.8 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:

1 PAC PER TREE - 36" BALL SIZE

2 PAC PER TREE - OVER 36" BALL SIZE

1 PAC PER 20 GAL. CONTAINER

0.5 PACS PER 10 GAL. CONTAINER

0.25 PACS PER 5 GAL. CONTAINER

0.12 PACS PER 1 GAL. CONTAINER

27. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
28. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ENSURE 100% COVERAGE WITH 100% OVERLAP. CONTRACTOR SHALL PROVIDE A RAIN SENSOR AND ADJUST HEADS TO AVOID OVERSPRAY ONTO BUILDING WALLS, WALKS, UTILITIES, DRIVES ECT. CONTRACTOR SHALL PAINT ALL ABOVE GROUND RESERVAT BLACK.
30. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIALS PRONE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCHES IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATTRACKED.
31. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED PRIOR TO SUBMITTING ANY BIDDING. ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER.
32. MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESITTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCE AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS, SHALL BE REPAIRED PROMPTLY.
33. (NOTE: SABAL PALMETTO (CABBAGE PALM SPECIES) THE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION)

34. MULCH: MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL.
35. SOD AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PERMITTED AND SHALL BE BERGATED. ALL SOD SHALL HAVE A MIN. 07" OF TOPSOIL. SEE NOTE NO. 4 ABOVE.
36. EXCAVATION REQUIREMENT: REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES, AND FILLED WITH CLEAN FILL AND TOPSOIL TO A LEVEL 3" BELOW THE TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. ALL LANDSCAPED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 6" AND REPLACED WITH CLEAN FILL. A MIN 2" OF TOPSOIL SHALL BE INSTALLED BELOW ALL SODDED AREAS.
37. A LANDSCAPE PERMITS SHALL BE VERIFIED AND OBTAINED BY THE LANDSCAPE CONTRACTOR. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN HEIGHT WILL BE APPROVED IN SWALE AREAS.
38. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PRO-F-5 TO 7A. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE GOVERNING MUNICIPALITY.
- MINIMUM SOIL DEPTH:
  - REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
  - ROOTBALL SOIL:
  - REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
  - NATIVE SOIL:
  - REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON SITE LANDSCAPED AREAS.
  - ARID PLANS:
  - REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.

39. USE OF ORGANIC MULCHES: A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC MULCH MATERIAL AT THE TIME OF FINAL INSPECTION SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
40. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
41. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS): ALL INVASIVE AND EXOTIC VEGETATION SHALL BE REMOVED FROM SITE INCLUDING WITHIN ABUTTING RIGHTS OF WAY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NTDA MAY BE USED FOR A HEDGE WITH A 7" SEPARATION FROM WATER LINES. FICUS HEDGES SHALL NOT BE PLANTED WITHIN UTILITY EASEMENTS.
42. SHRUBS SHALL BE CONSIDERED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE GOVERNING MUNICIPALITY.
43. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE NO. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 18 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE A MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANT SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG AS THE PROCEEDING IS ACHIEVED.

DRC REV: 7/19/16  
DRC REV: 9/16/16  
DRC REV: 10/21/16

MASTER PLANT LIST

KEY	PLANT NAME	SPECIFICATION	QUANTITY
CA14	CALOPHYLLUM ANTILLANUM CALABA BEAUTY LEAF TREE	14' HT. X6" SPR. 4.5" CT. 3" DBH. R&B NATIVE. HIGH DROUGHT TOLERANCE	4
CES12	CONOCARPUS ERECTUS SERICEUS SILVER BUTTWOOD	12'X6" SPR. 2.5" DBH. 4.5 CT. STD. SINGLE TRUNK NATIVE. HIGH DROUGHT TOLERANCE	10
ADP	VITICHA MERILLI ADONDISA PALM	32-34" O.A. STAGGER HTS. SINGLE TRUNK	6
CE16	CONOCARPUS ERECTUS GREEN BUTTWOOD	16' HT. X6" SPR. 5" CT. 3.5" DBH. FG. R&B NATIVE. HIGH DROUGHT TOLERANCE	5
SP3	SABAL PALMETTO SABAL PALM	14-18- O.A. 12" DBH. MIN. SMOOTH TRUNK STAGGER HTS. NURSERY GROWN ONLY. NATIVE. HIGH DROUGHT TOLERANCE	5
THR10	THIRINAX RADIATA KEY THATCH PALM A-1-T-SHUTER PALM	8-12" SINGLE TRUNK STAGGER HTS. NATIVE. HIGH DROUGHT TOLERANCE	11
L114	LAGERSTROEMIA INDICA CREPE MYRTLE "TUSKEGEE" DARK PINK FLOWER	14-16" SPR. 4.5 CT. 3" DBH. MATCHED SINGLE TRUNK HIGH DROUGHT TOLERANCE	12

REVISIONS:

DRC REV: 7/19/16

DRC REV: 9/16/16

DRC REV: 10/21/16

DRC REV: 11/1/16

SHEET TITLE:

LANDSCAPE  
DETAILS AND  
SPECIFICATIONS

PROJECT:  
FAITH AND LIFE MINISTRIES INC.  
ALPHA INTERNATIONAL ACADEMY  
CHARTER SCHOOL

121 S. 124TH AVENUE  
HOLLYWOOD, FL.

PROJECT:

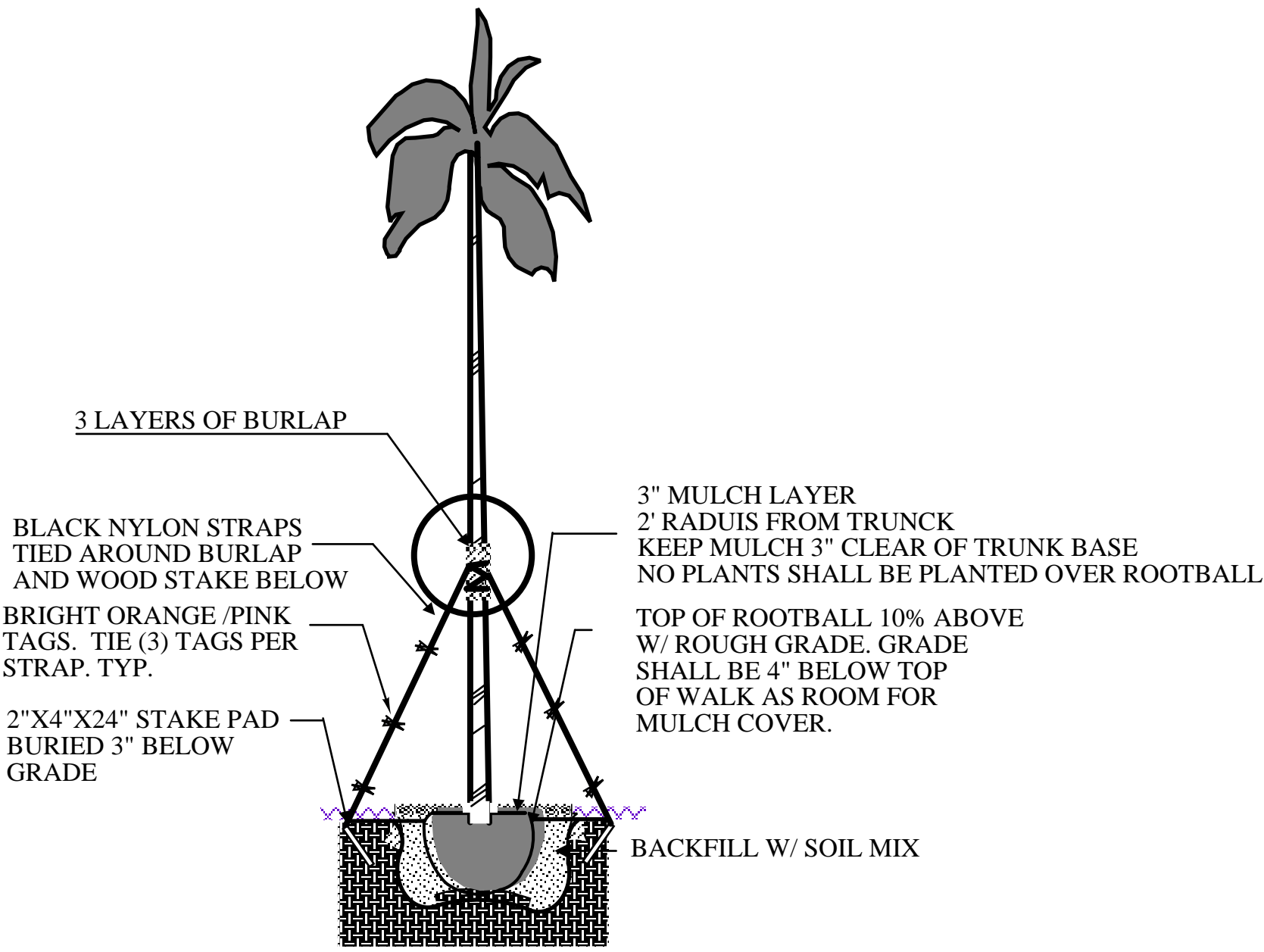
SEAL:

DATE DRAWN: 10-17-16

SHEET NO.

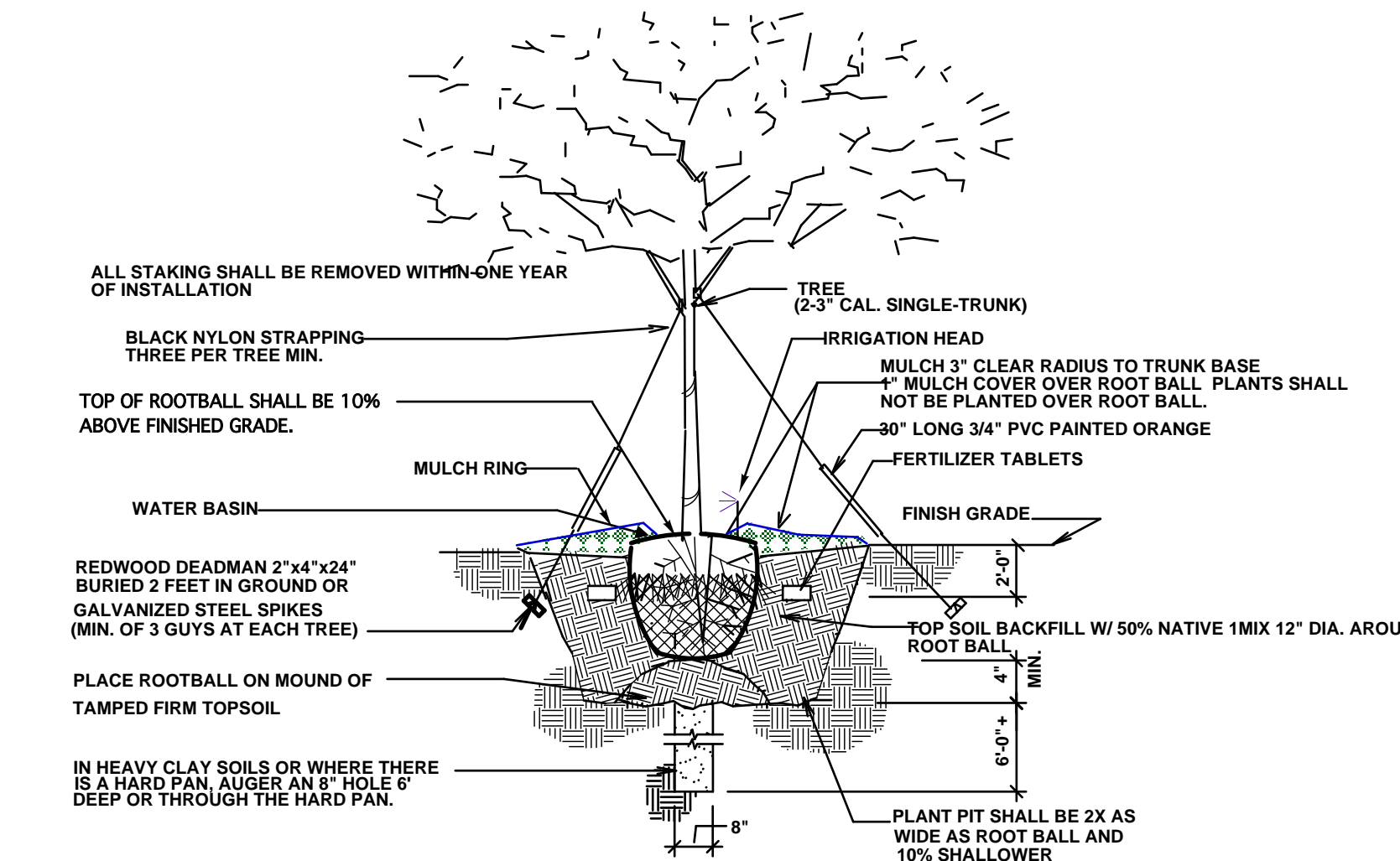
L-3

of-3



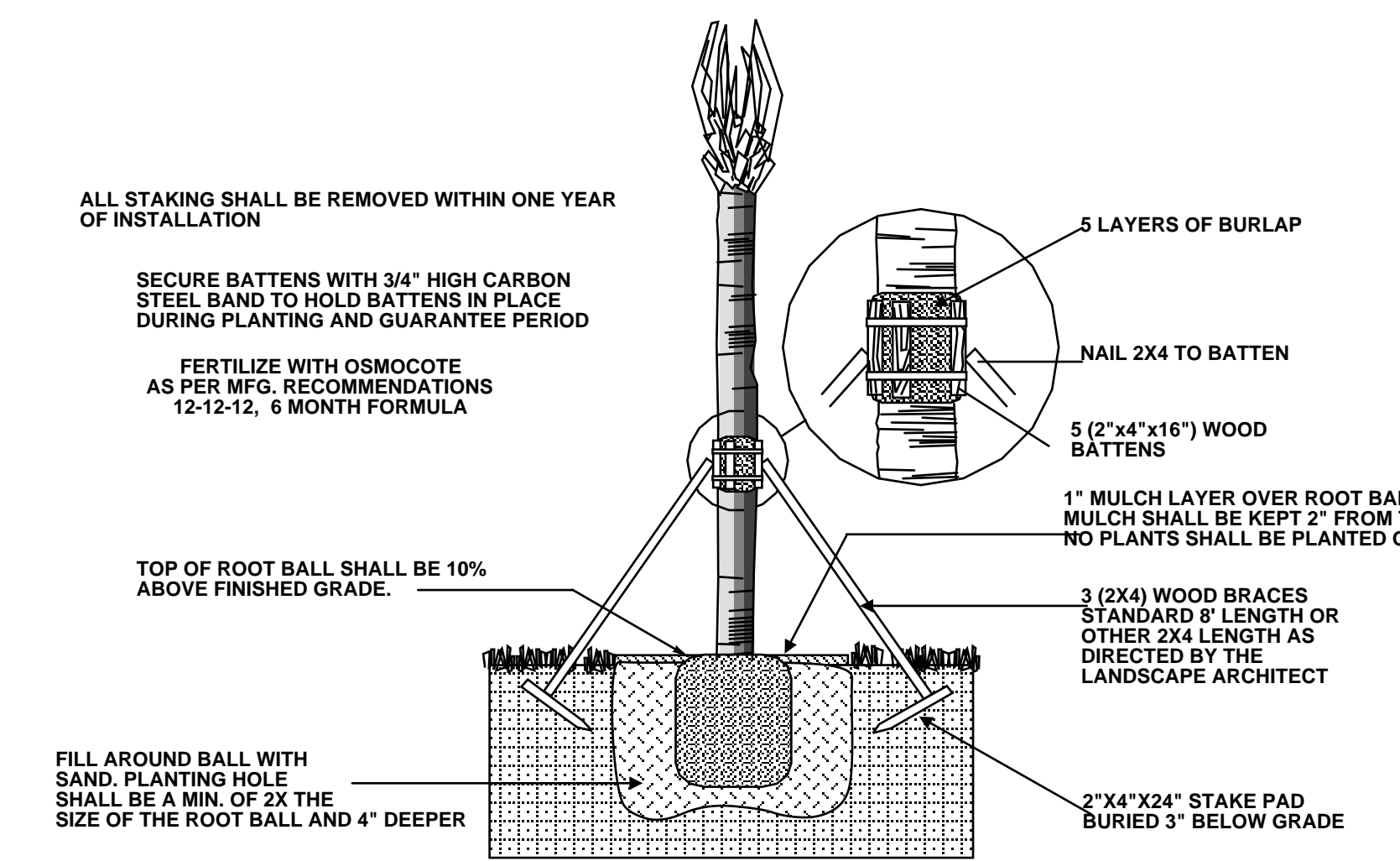
PALM PLANTING DETAIL

NOT TO SCALE



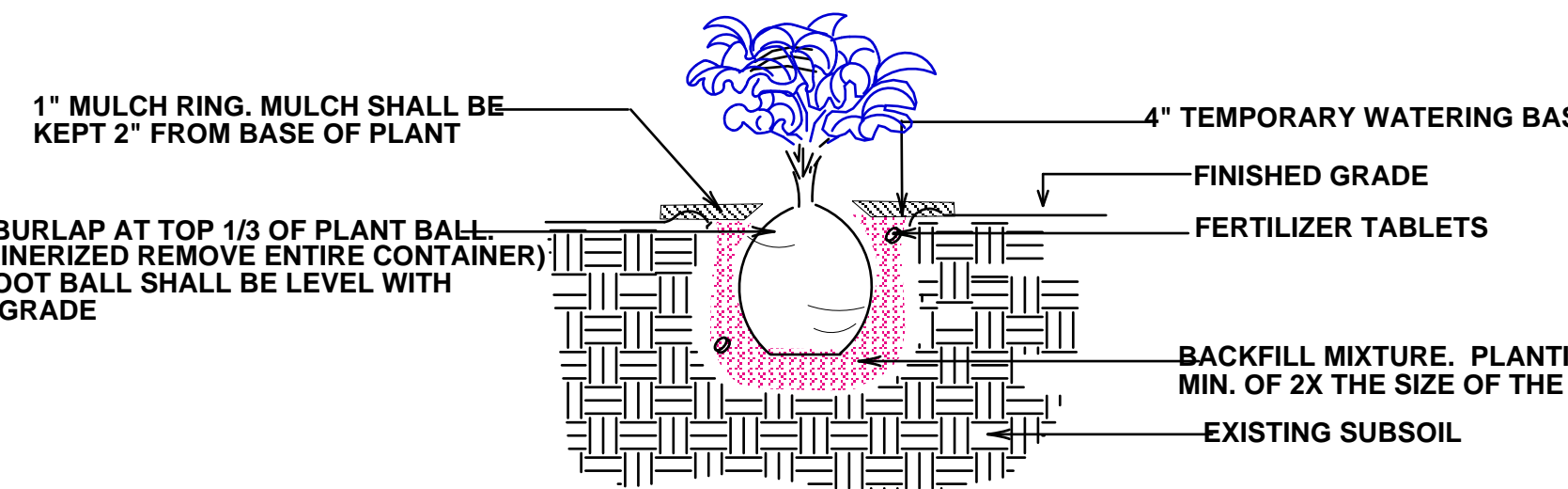
SINGLE TRUNK GUYING AND PLANTING DETAIL

NOT TO SCALE



SABAL PALM PLANTING DETAIL

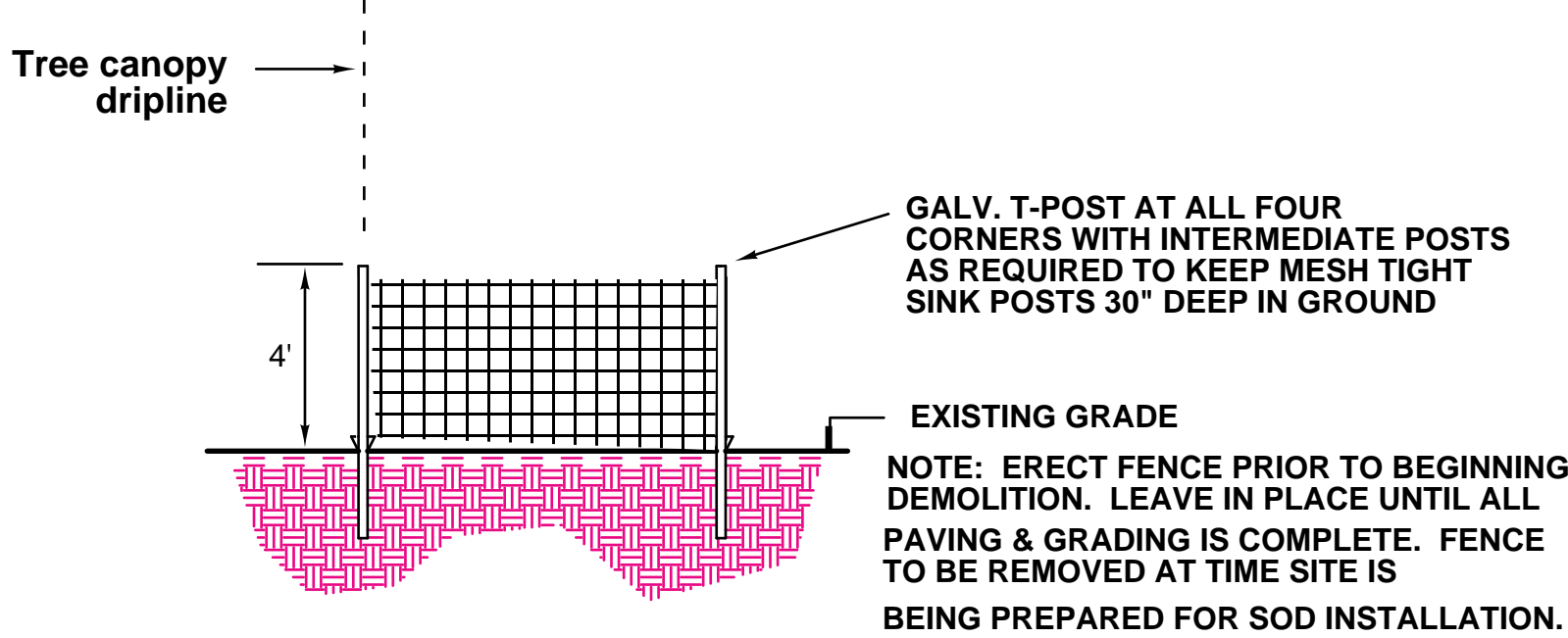
NOT TO SCALE



SHRUB PLANTING DETAIL

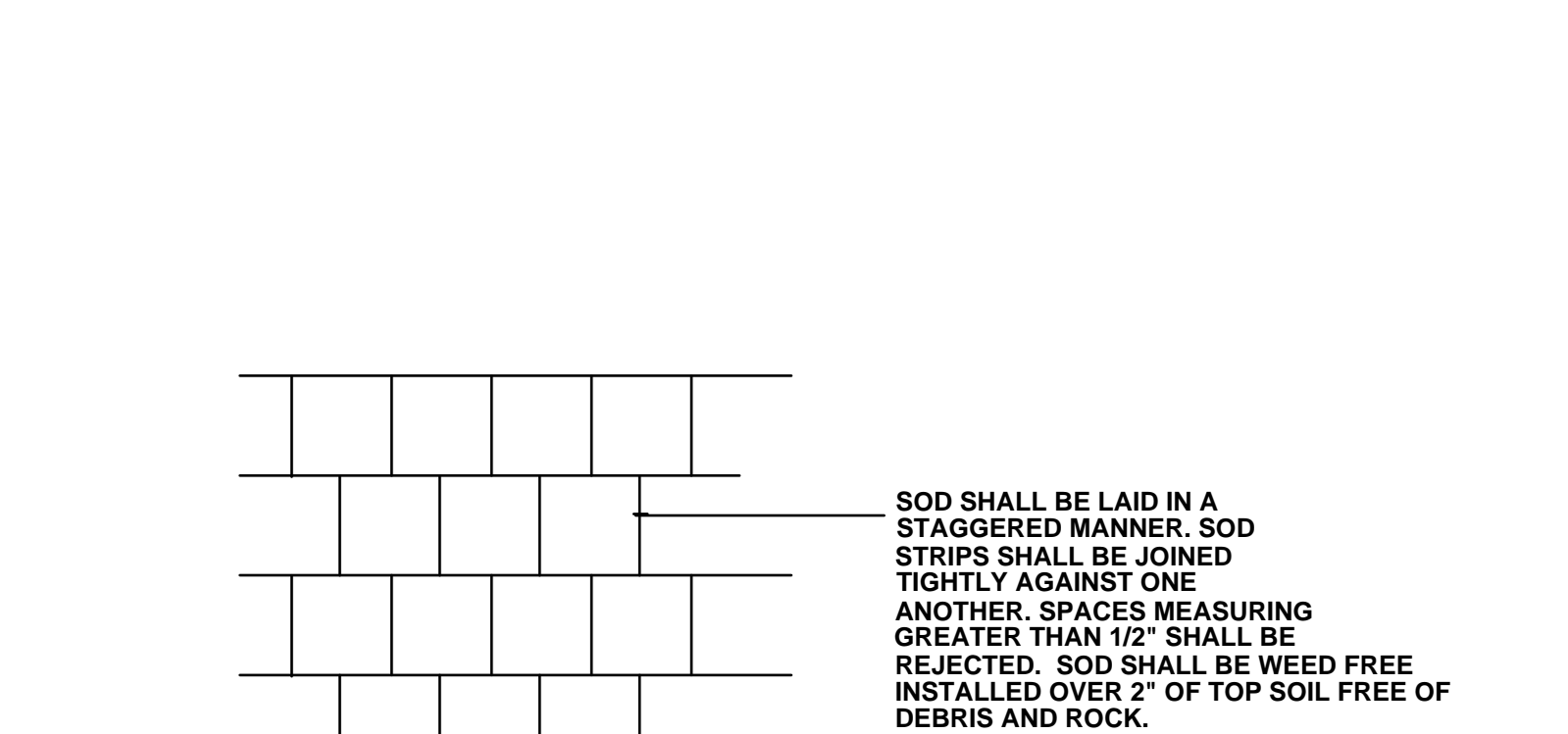
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NOTE: TREE PROTECTION BARRIER SHALL BE INSTALLED PRIOR TO STARTING WORK ON SITE. BARRIER SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED.



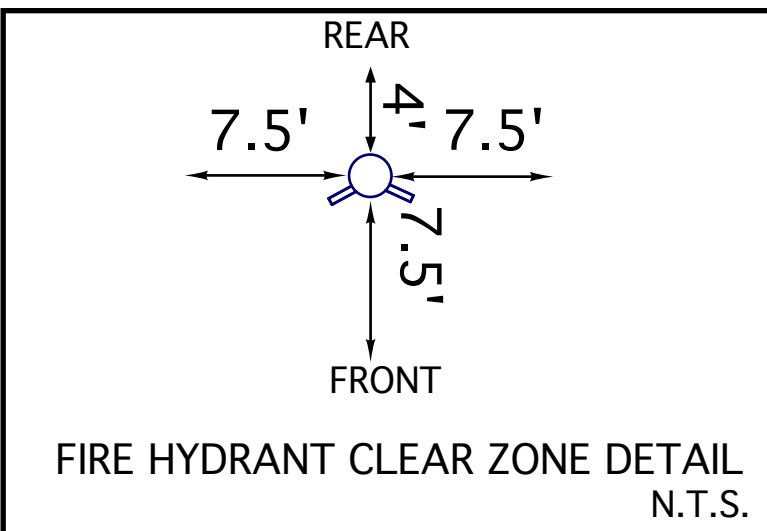
TREE PROTECTION/TEMPORARY BARRIER DETAIL

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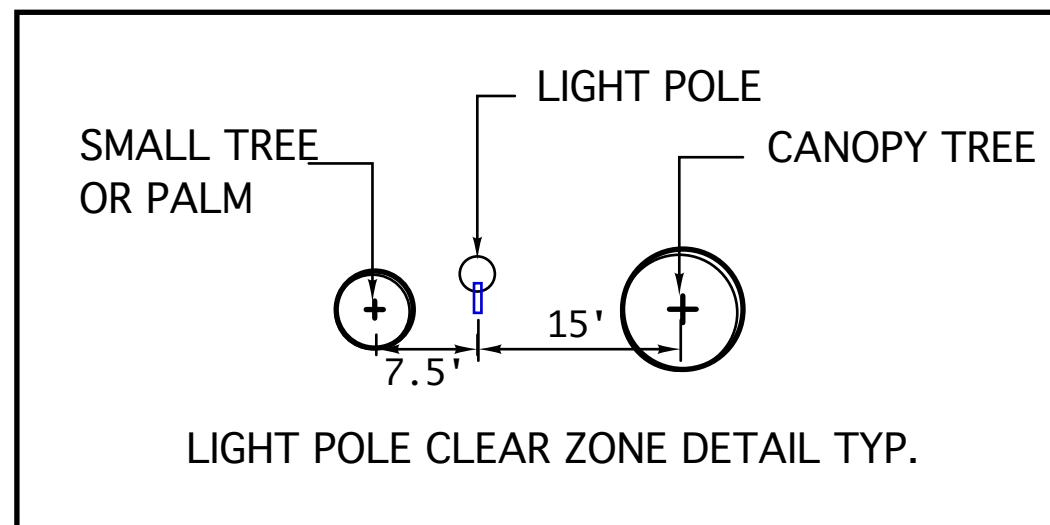


SOD PLANTING DETAIL

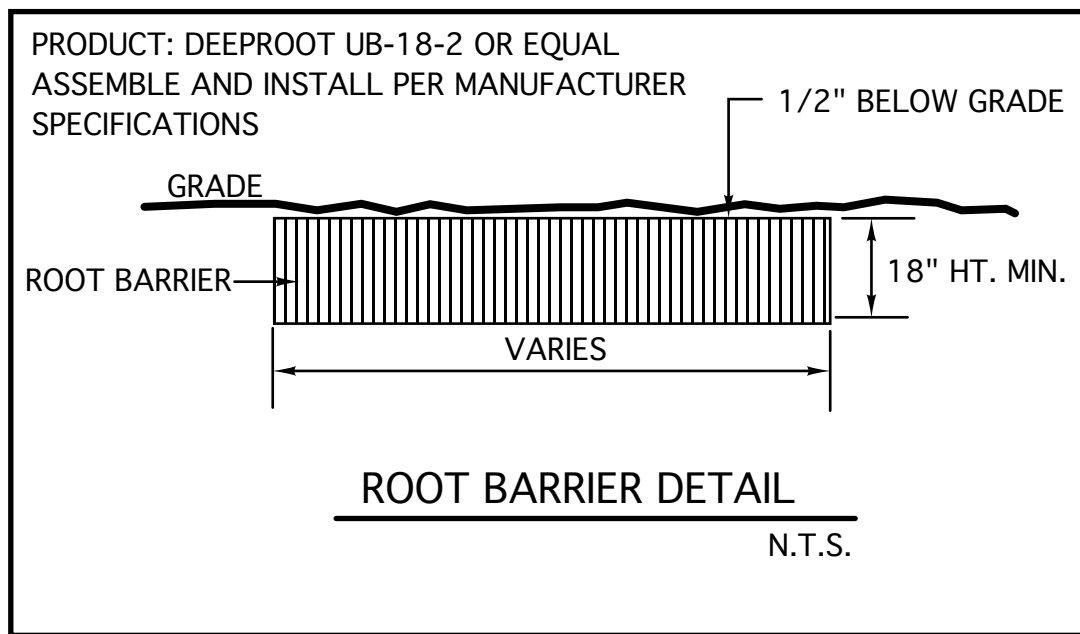
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FIRE HYDRANT CLEAR ZONE DETAIL  
N.T.S.



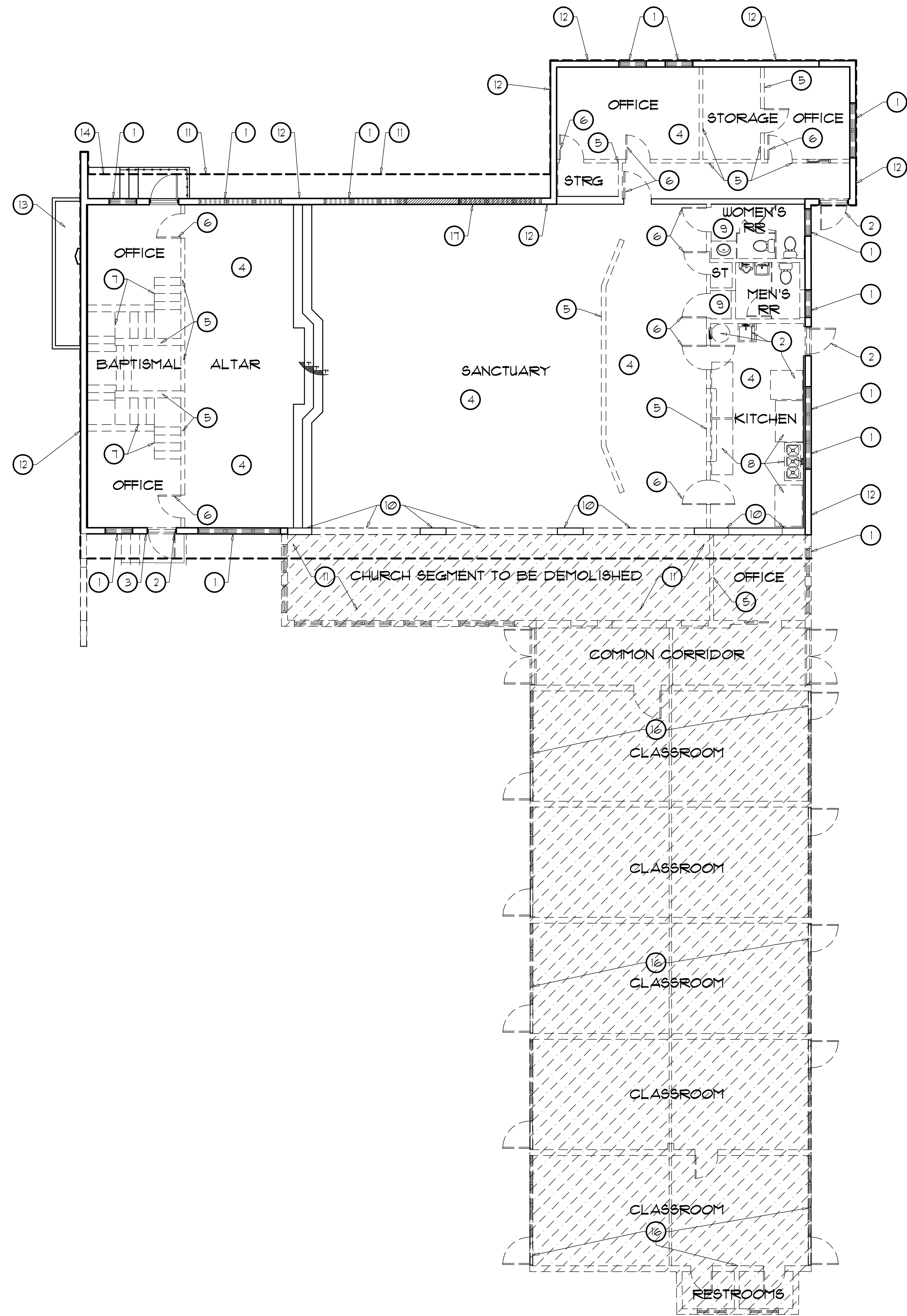
LIGHT POLE CLEAR ZONE DETAIL TYP.



ROOT BARRIER DETAIL

N.T.S.





## KEY NOTES LEGEND

- DEMOLITION CONTRACTOR SHALL VISIT SITE AND WALK BUILDINGS TO FAMILIARIZE THEMSELVES WITH THE COMPLETE SCOPE OF SERVICES AND WORKING CONDITION AND REQUEST IN WRITING (REF) ANY QUESTIONS OR COMMENTS PRIOR TO COMMENCING THE WORK.
- PRIOR TO ANY EXTERIOR OR INTERIOR BUILDING DEMOLITION WORK, ALL APPLICABLE PERMITS FROM GOVERNING AUTHORITIES SHALL BE ISSUED FOR PROJECT.
- PRIOR TO ANY DEMOLITION WORK, ALL UTILITIES SHALL BE TURNED OFF, DISCONNECTED, CAPPED OR REMOVED AS REQUIRED.
- THOROUGHLY REVIEW ASBESTOS ABETHMENT REPORT, IN EVENT EXISTING FOLLOW IN STRICT ACCORDANCE WITH LAWS AND REGULATIONS FOR ENCAPSULATION, REMOVAL, BAGGING AND DISPOSAL METHOD.
- PROVIDE SIGNAGE, BARRICADES, SUPPORT, POST SHORES, TEMP. PARTITIONS AS REQUIRED TO PROTECT SAFETY OF PERSONS AND PROTECT PORTIONS NOT BEING REMOVED OR DEMOLISHED.
- REMOVE ALL DEBRIS ON A DAILY BASIS AND KEEP STRUCTURE CLEAN, ALL SUPT AND PROTECT AT ALL TIMES FROM INCLEMENT WEATHER.

## DEMOLITION FLOOR PLAN KEYNOTES

- REMOVE EXISTING WINDOW, INFILL WITH 8" REIN. CMU. REFER TO DETAILS.
- REMOVE EXISTING DOOR, INFILL WITH 8" REIN. CMU. REFER TO DETAILS.
- REMOVE EXISTING EXTERIOR CONC. STEPS/ LANDING + RAILING AT EXTERIOR SIDE ENTRY INTO OFFICE.
- REMOVE ALL EXISTING INTERIOR FLOORING AND BASEBOARDS, THOROUGHLY SCRAPE CLEAN FREE OF DEBRIS, GROUT, THIN SET GLUES, RESIN IN PREPARATION OF SMOOTH SURFACE TO RECEIVE NEW FLOOR FINISHES.
- REMOVE EXISTING INTERIOR METAL/ GIBB PARTITION FROM FLOOR TO UNDERSIDE OF CEILING.
- REMOVE EXISTING DOORS/ CASING/ HDU/ WOOD JAMBS/ WOOD HEADER AND PARTITION ABOVE.
- EXISTING WOOD STEPS DOWN TO BAPTISMAL FONT AND BAPTISMAL FONT ALL TO BE DISCONNECTED AND REMOVED IN ITS ENTIRETY.
- ALL FOOD PREP EQUIPMENT TO BE DISCONNECTED, REMOVED AND GIVEN TO OWNERS INCLUDING REACH-IN COOLERS, FREEZER, REFRIGERATORS, HIGH-WAVES, HAND SINKS, 3 COMP. SINKS, SHELVE, WATER HEATER, TABLES, ETC.
- ALL EXISTING RESTROOM PLUMBING FIXTURES, SHALL BE DISCONNECTED, REMOVED, AND LINES CAPPED. REMOVE ALSO FLOOR DRAINS + GEAR TOILET PARTITIONS, MIRRORS, ADA GRAB BARS AND ALL RELATED BATHROOM ACCESSORIES.
- EXISTING COLUMN/ BEAMS TO REMAIN.
- LINE OF ROOF OVERHANG (EXISTING) TO REMAIN.
- EXISTING 8" CMU WALLS TO REMAIN.
- EXISTING PLANTER TO REMAIN.
- EXISTING CONC. STEPS/ LANDING/ RAILINGS TO REMAIN.
- EXISTING CHILDREN'S RESTROOM DISCONNECT WATER/ POWER PLUMBING FIXTURE ALL ACCESS AND DEMO.
- COMPLETELY DEMOLISH FROM FOUNDATIONS/ SLABS TO ROOF PORTION OF CHURCH INDICATED, OFFICE/ COMMON CORRIDOR AND ENTIRE 5-UNIT 1 STORY WOOD FRAME CLASSROOM WING BUILDING.
- EXISTING WINDOW OPENING TO BE EXPANDED FOR NEW WINDOW REMAINING VOID TO BE INFILL WITH 8" REIN. CMU. REFER TO DETAILS.



## EXISTING/ DEMOLITION FLOOR PLAN

SC: 1/8" = 1'-0" 0 5 10' 1 5 20'

## EXISTING BUILDING AERIAL VIEW

SC: N.T.S.

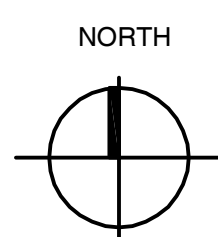
Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD

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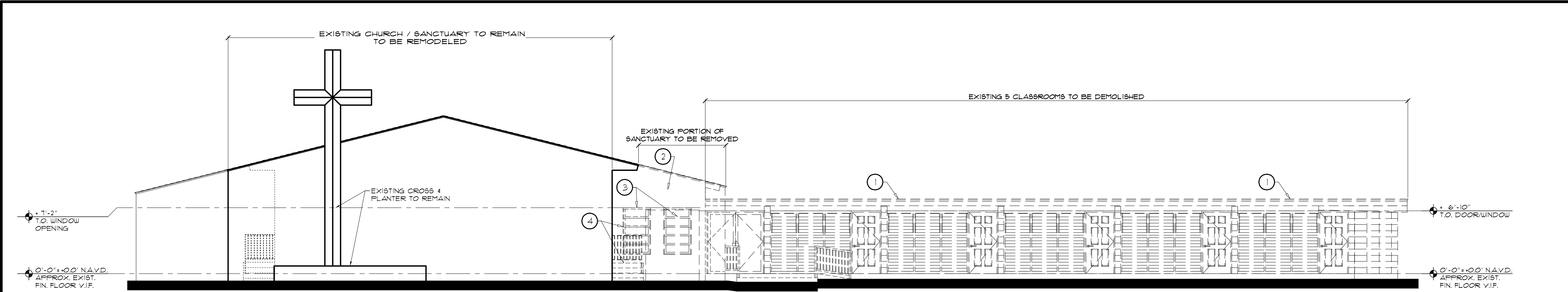
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SEPTEMBER 19, 2016  
**Drwn by:** RKD / JP  
**Chkd by:** FC  
**Drawing Scale:**  
1/8" = 1'-0"  
**Project Number:**  
FCA-1615

**Sheet title:**  
• EXISTING/  
DEMOLITION  
FLOOR PLAN  
• KEY NOTES  
LEGEND

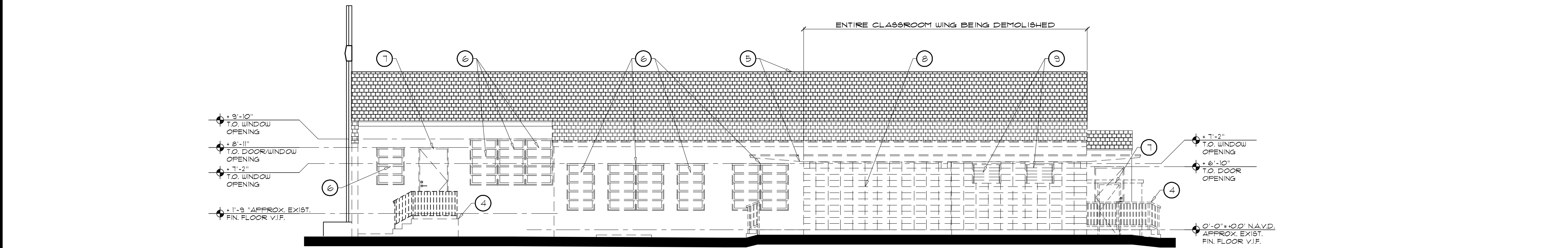
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FL. REG. NO. AR0012198  
**Date:**

**Sheet Number:**  
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consecutive  
of sheets

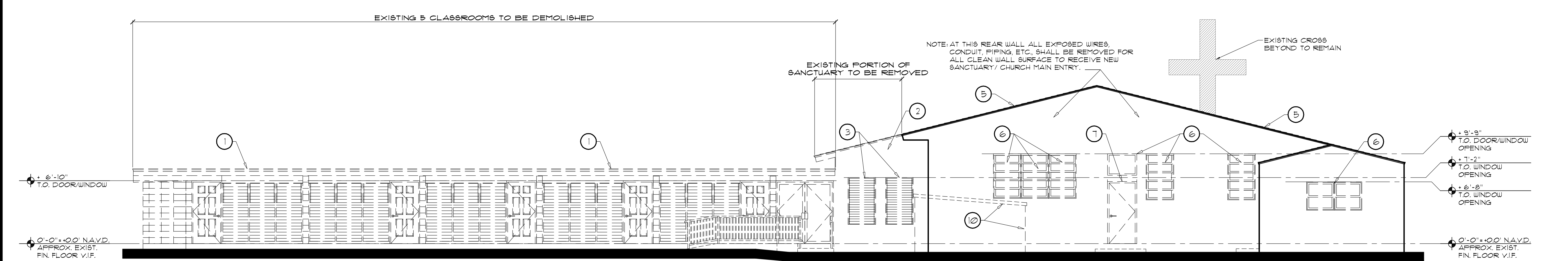




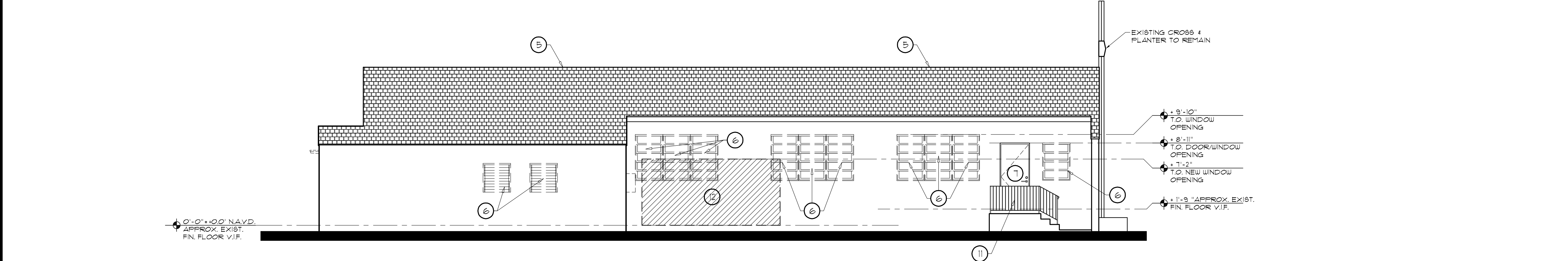
EXISTING/DEMOLITION FRONT (WEST) EXTERIOR ELEVATION - FACING SOUTH 24TH AVENUE



EXISTING/DEMOLITION RIGHT SIDE (SOUTH) EXTERIOR ELEVATION - FACING VAN BUREN STREET



EXISTING/DEMOLITION REAR (EAST) EXTERIOR ELEVATION



EXISTING/DEMOLITION LEFT SIDE (NORTH) EXTERIOR ELEVATION

DEMO KEY NOTES  
LEGEND

- EXISTING ONE (1) STORY WOOD FRAME BUILDING (5) CLASSROOMS TO BE DEMOLISHED IN ITS ENTIRETY FROM FOUNDATIONS/ SLABS TO ROOF.
- EXISTING ONE (1) STORY PORTION 8" CMU PERIMETER WALLS OF CHURCH SANCTUARY TO BE REMOVED WHEN CUTTING OFF ROOF AND WALLS. BEAMS FROM EXISTING MAIN BUILDING USE CAUTION TO NOT DAMAGE AREAS NOT TO BE DEMOLISHED OR ALTERED.
- EXISTING ALUMINUM ALUING TYPE WINDOWS TO BE REMOVED.
- EXISTING EXTERIOR CONC. STEPS, LANDING, MASONRY AND RAILINGS TO BE REMOVED IN ITS ENTIRETY.
- EXISTING ROOF BEYOND TO REMAIN.
- REMOVE EXISTING WINDOW INFILL WITH 8" REINF. CMU.
- REMOVE EXISTING DOOR 4 REPLACE NEW EXPOSED 8" CMU WALL IN STACKED BOND PATTERN PAINTED TO BE REMOVED AT CLASSROOM WING AND AT RESTROOMS.
- TURB-WALL LOUVERS AT RESTROOMS TO BE REMOVED.
- EXISTING 6-ED TO BE REMOVED.
- EXISTING RAILINGS 4 STEPS TO REMAIN.
- EXISTING WINDOW OPENING TO BE EXPANDED FOR NEW WINDOW REMAINING VOID TO BE INFILL WITH 8" REINF. CMU. REFER TO DETAILS.

EXISTING CONDITION  
PHOTOGRAPHS



Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD

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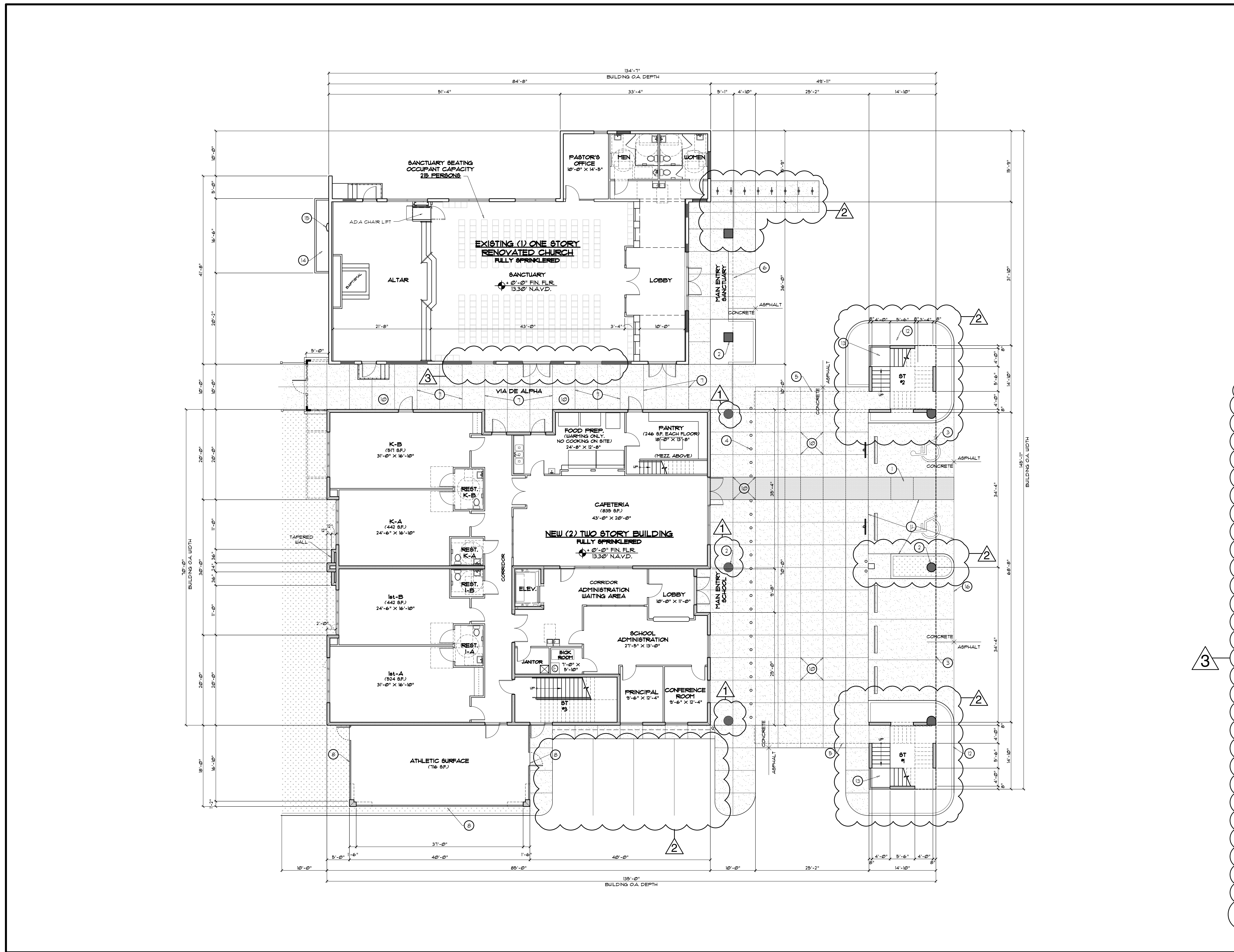
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Drawing date: SEPTEMBER 19, 2016  
Dwn by: RKD / JP  
Chkd by: FC  
Drawing Scale: 3/16" = 1'-0"  
Project Number: FCA-1615

Sheet title: EXISTING/DEMOLITION EXTERIOR ELEVATIONS KEY NOTES LEGEND  
Date:

Sheet Number: DE-2  
consecutive of sheets





## KEY NOTES LEGEND

- ACCESSIBLE ROUTE FROM ADA STALLS TO MAIN BUILDING FRONT WALK.
- TYP. 24" DIA. SNOTUBE CONCRETE COLUMN SMOOTH SAND FLOAT STUCCO FINISH PAINTED.
- EXTERIOR WALL FACE OF 2ND FLOOR BUILDING ABOVE.
- 8" DIA. STEEL PIPE BOLLARDS SET AT 30" (AFF.) ABOVE FINISH FLOOR WITH HIGH GLOSS SHOP FLOUNDER COAT FINISH.
- LINE OF CONCRETE CANTILEVERED WALKWAY ABOVE TO OPEN AIR STAIRWAYS NO. 1 OR NO. 2.
- LINE ABOVE OF NEW ROOF COVER FASCIA AT NEW SANCTUARY/ CHURCH MAIN FRONT ENTRY RENOVATED.
- ALUMINUM TRELLIS TYPE GRID FRAME WITH SKYLIGHTS, TYP. OF (4) FOUR LOCATIONS.
- SPORTS TYPE FLOORING AT PLAY AREA OVER A 4" CONC. SLAB.
- MASONRY AND STEEL PRIVACY + SECURITY FENCING AT PLAY AREA.
- TYPICAL 5'-6" x 5'-0" SQUARE PATTERN SCORED CONCRETE PAVEMENT/ SIDEWALK AREA WITH SMOOTH FRAME PICTURE BOARD AND BROOM FINISH INTERIOR.
- CONCRETE PAVEMENT (BROOM FINISH) AT ADA + VISITOR PARKING.
- CONT. CONCRETE TYPE "D" 18" O.A. DEEP REINFORCED CURING.
- OPEN-AIR-ROOFED STAIR REINFORCED 8" CHU/CONCRETE AND STEEL RAILINGS AND HANDRAILS.
- EXISTING PLANTER TO REMAIN.
- EXISTING "CROSS" TO BE PAINTED.
- EDGE OF CONCRETE PAVEMENT/ ASPHALT PAVEMENT.

## GENERAL NOTES

NOTE: OCCUPANT LOAD # SANCTUARY (FBC-MEANS OF EGRESS-TABLE 1004.1.2) 43'-0" X 35'-0" X 15'-0" GROSS SQFT # 1 SF/PERSON NON FIXED SEATING 1525 GSF # 25 PERSONS

FLOORING FIXTURE CALCULATIONS SHALL MEET CODE TO BE PROVIDED AT TIME OF BUILDING PERMIT.

## BUILDING AREAS CALCULATIONS

### GROSS BUILDING AREAS:

NOTE: GROSS BUILDING AREAS INCLUDE OUTSIDE FACE TO OUTSIDE FACE OF BUILDINGS IT DOES NOT INCLUDE EXTERIOR CORRIDORS, STAIRS.

#### 1. CHURCH

A. BUILDING AREAS (GROSS):	
EXISTING CHURCH TO REMAIN (RENOVATED)	3,436 GROSS S.F.
B. BUILDING AREAS (NET A/C):	
SANCTUARY	1,546 NET S.F.
ALTAR	779 NET S.F.
PASTOR'S OFFICE	144 NET S.F.
LOBBY	492 NET S.F.
RESTROOMS	215 NET S.F.

#### 2. SCHOOL

A. BUILDING AREAS (GROSS):	
NEW CLASSROOM BUILDING - GROUND FLOOR	5,887 GROSS S.F.
NEW CLASSROOM BUILDING - SECOND FLOOR	9,392 GROSS S.F.

B. GROUND FLOOR - BUILDING AREAS (NET A/C):	
ADMINISTRATION	1,077 NET S.F.
• WAITING AREA	314 NET S.F.
• LOBBY	110 NET S.F.
• SCHOOL ADMIN.	334 NET S.F.
• PRINCIPAL	117 NET S.F.
• CONFERENCE	117 NET S.F.
• SICK ROOM	41 NET S.F.
• JANITORIAL	44 NET S.F.
CLASSROOMS	1,925 NET S.F.
• K- GRADE (A)	442 NET S.F.
• K- GRADE (B)	517 NET S.F.
• 1st GRADE (A)	524 NET S.F.
• 1st GRADE (B)	442 NET S.F.
RESTROOMS (4)	200 NET S.F.
CAFETERIA	1620 NET S.F.
• FOOD PREPARATION	276 NET S.F.
• PANTRY	246 NET S.F.
• MEZZANINE	246 NET S.F.
• CAFETERIA	852 NET S.F.
CORRIDORS	475 NET S.F.
STAIR & ELEVATOR	275 NET S.F.

C. SECOND FLOOR - BUILDING AREAS (NET A/C):	
ADMINISTRATION	1,354 NET S.F.
• OFFICE #1	305 NET S.F.
• OFFICE #2	155 NET S.F.
• OFFICE #3	347 NET S.F.
• OFFICE #4	99 NET S.F.
• OFFICE #5	99 NET S.F.
• TEACHER'S LOUNGE	157 NET S.F.
• TEACHER'S VESTIBULE	101 NET S.F.
• TEACHER'S RESTROOM	91 NET S.F.
CLASSROOMS	4,274 NET S.F.
• 2nd GRADE (A)	524 NET S.F.
• 2nd GRADE (B)	524 NET S.F.
• 3rd GRADE (A)	553 NET S.F.
• 3rd GRADE (B)	521 NET S.F.
• 4th GRADE (A)	521 NET S.F.
• 4th GRADE (B)	553 NET S.F.
• 5th GRADE (A)	539 NET S.F.
• 5th GRADE (B)	539 NET S.F.
OPEN STUDY AREA	827 NET S.F.
RESTROOMS (3)	345 NET S.F.
MISCELLANEOUS	174 NET S.F.
• CLOSETS (3)	69 NET S.F.
• JANITORIAL	62 NET S.F.
• ELEVATOR MECH. ROOM	43 NET S.F.
CORRIDORS	1,543 NET S.F.
STAIR & ELEVATOR	275 NET S.F.

## GROUND FLOOR PLAN - NEW SCHOOL & RENOVATED EXISTING CHURCH

SC: 1/8" = 1'-0" 0' 2' 10' 1' 5' 20'

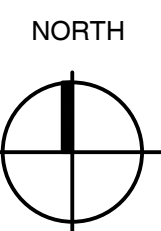
Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD
TAC COMMENTS	10/24/16	RD
TAC COMMENTS	10/11/17	JP/RD

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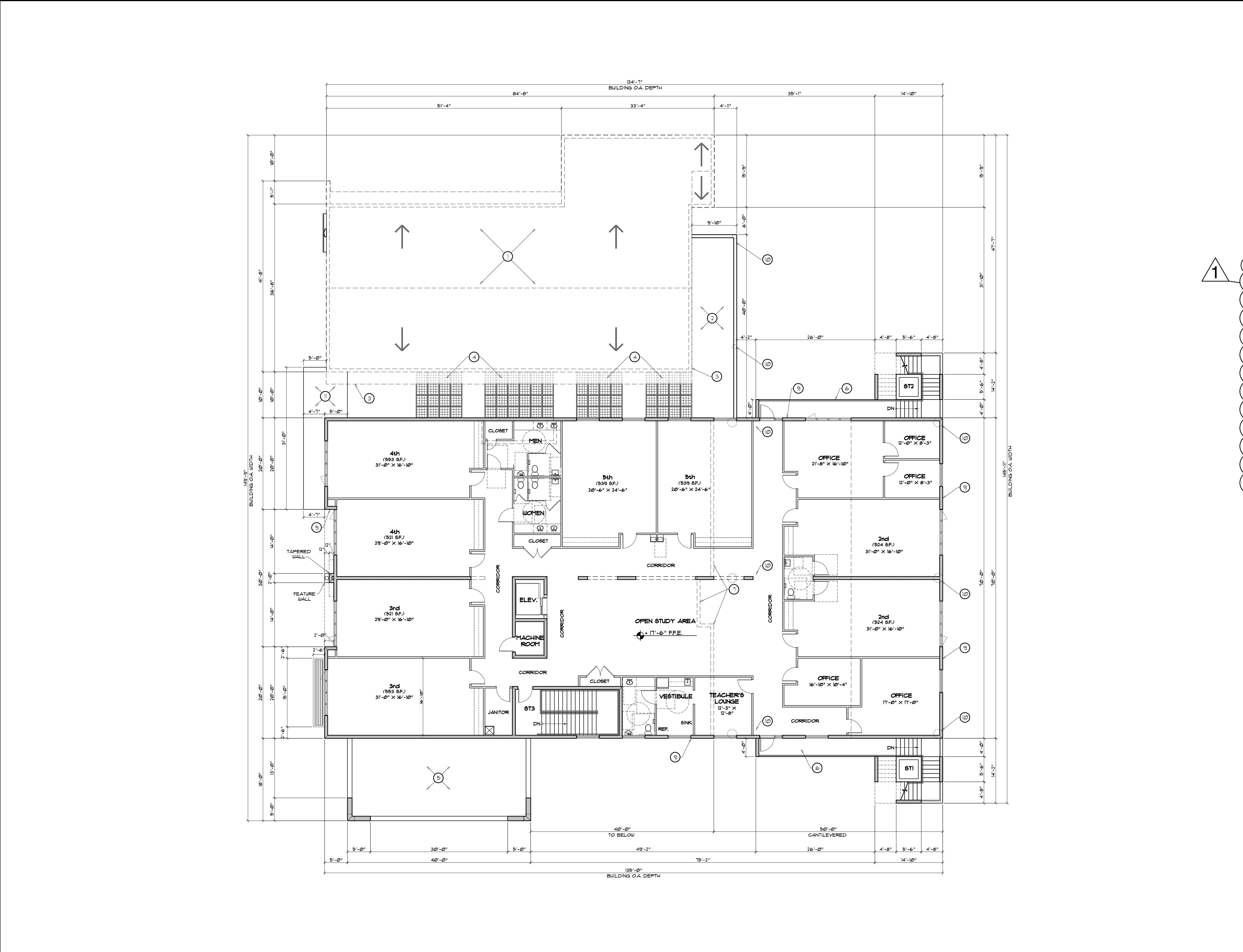
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**OCTOBER 17, 2016**  
Drwn by: RKD/J.P. Chkd by: FC  
Drawing Scale:  
1/8" = 1'-0"  
Project Number:  
FCA-1615

Sheet title:  
GROUND FLOOR PLAN  
• NEW SCHOOL  
• RENOVATED EXIST.  
CHURCH  
• KEY NOTES LEGEND  
• BUILDING AREAS  
CALCULATIONS

Seal/Signature:  
FRANK COSTOYA, JR. A.I.A.  
FL. REG. NO. AR0012198  
Date:

Sheet Number:  
**A-1.0**  
consecutive  
of sheets





## KEY NOTES LEGEND

- EXISTING ROOF (GABLE) AT EXISTING SANCTUARY / CHURCH BUILDING.
- NEW FLAT ROOF AT NEW MAIN ENTRY TO SANCTUARY CHURCH BUILDING. REFER TO ROOF PLAN FOR DETAILS.
- EXISTING ROOF OVERHANG TO BE CUT BACK FLUSH TO FACE (OUTSIDE) OF MASONRY WALL. CONTINUAL COMMERCIAL GRADE GUTTER SHALL BE INSTALLED WITH REWORKED ROOF EDGE FLASHING RUNNING CONT. EAST TO WEST WITH DOWNSPOUT LEADER AT EAST CONNECTED TO US. DRAINAGE SYSTEM. REFER TO DETAILS.
- ALUMINUM TRELLIS TYPE GRID FRAME WITH SKYLIGHTS. TYPICAL OF (4) LOCATIONS.
- NEW FLAT ROOF AT COVERED PLAY AREA ON BUILDING SOUTH SIDE. REFER TO EXTERIOR ELEVATIONS AND ROOF PLAN FOR DETAILS.
- CANTILEVERED CONCRETE EGRESS EXTERIOR WALK TO COVERED OPEN AIR STAIRWAYS NO. 1 AND NO.2.
- LINE OF EXTERIOR WALL AT GROUND FLOOR BELOW.
- REFER TO ROOF PLAN OF NEW BUILDING FOR SLOPES, ROOF DRAINS, LEADERS AND OVERFLOW (EMERGENCY) SCUPPERS.
- EXTERIOR WALL FACE - 8" REIN. CMU WITH R14 CORE FILL EXPANDABLE FOAM INSULATING TYP. ALL PERIMETER.
- 24" DIA. SONOTUBE COLUMN BELOW.
- NEW FLAT ROOF AT NEW MAIN ENTRY - "VIA DEL ALPHA". REFER TO ROOF PLAN FOR DETAILS.

## BUILDING AREAS CALCULATIONS

### 2. SCHOOL

A. BUILDING AREAS (GROSS):  
NEW CLASSROOM BUILDING - SECOND FLOOR 9,392 GROSS S.F.

### C. SECOND FLOOR - BUILDING AREAS (NET A/C):

ADMINISTRATION	308 NET S.F.	1,072 NET S.F.
• CORRIDOR	110 NET S.F.	
• LOBBY	335 NET S.F.	
• OFFICE	117 NET S.F.	
• PRINCIPAL	117 NET S.F.	
• CONFERENCE	41 NET S.F.	
• SICK ROOM	44 NET S.F.	
• JANITORIAL		
CLASSROOMS		1,925 NET S.F.
• K- GRADE (#1)	308 NET S.F.	
• K- GRADE (#2)	110 NET S.F.	
• 1st GRADE (#1)	335 NET S.F.	
• 1st GRADE (#2)	117 NET S.F.	
RESTROOMS (4)		200 NET S.F.
CAFETERIA		492 NET S.F.
• FOOD PREPARATION	276 NET S.F.	
• PANTRY	246 NET S.F.	
• CAFETERIA	852 NET S.F.	
CORRIDORS		475 NET S.F.
STAIR & ELEVATOR		280 NET S.F.

## SECOND FLOOR PLAN - NEW SCHOOL

SC: 1/8" = 1'-0" 0' 2' 10' 20'

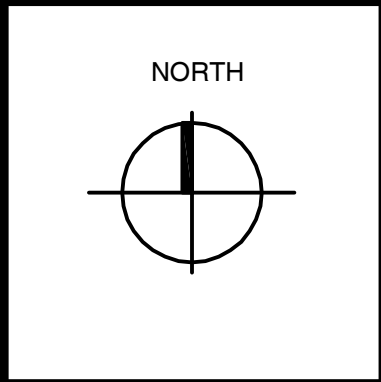
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HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020



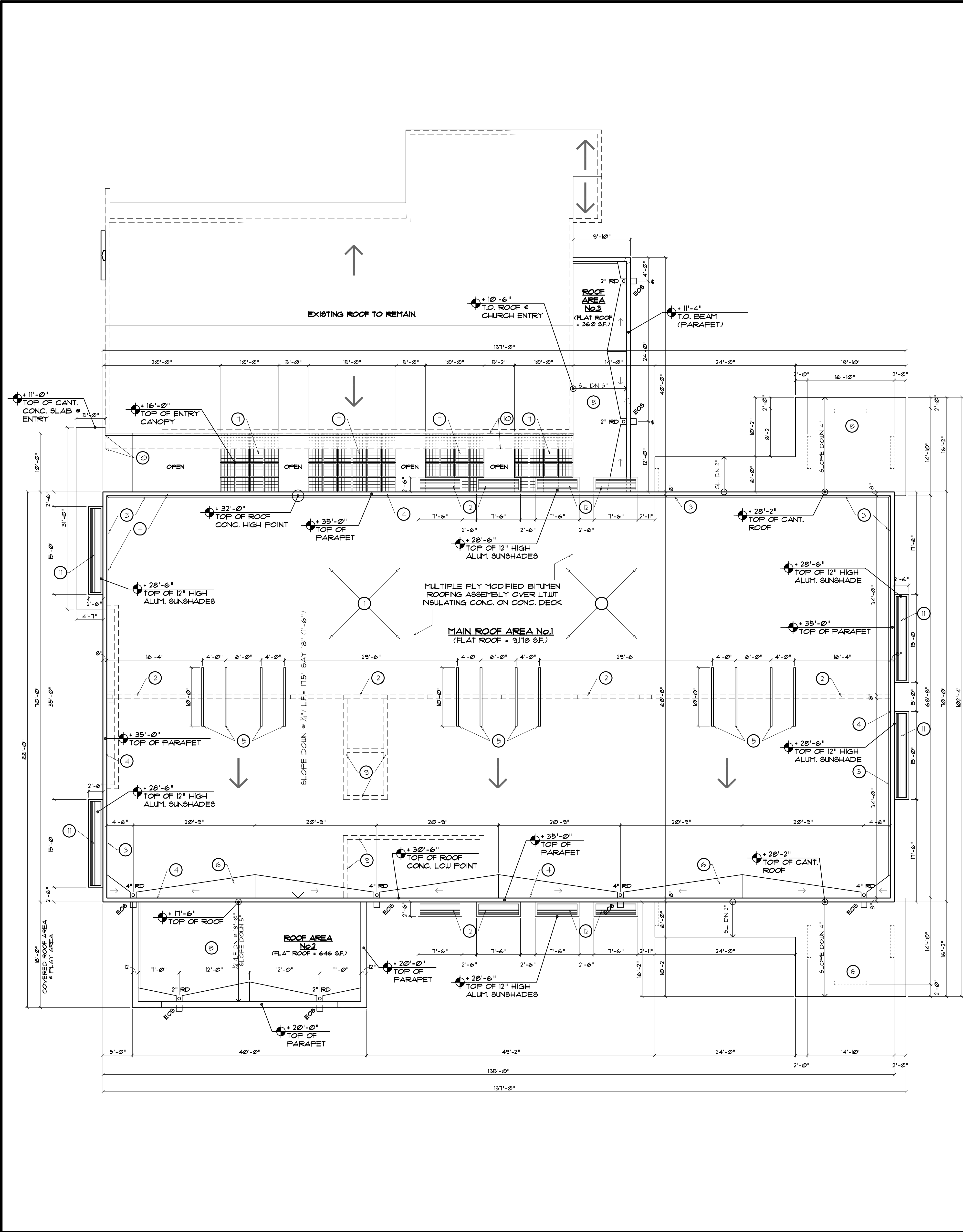
Drawing date: SEPTEMBER 19, 2016  
Drwn by: RKD / JP Chkd by: FC  
Drawing Scale: 1/8" = 1'-0"  
Project Number: FCA-1615

Sheet title: SECOND FLOOR PLAN  
• NEW SCHOOL  
• FLOOR PLAN  
• KEY NOTES  
• LEGEND

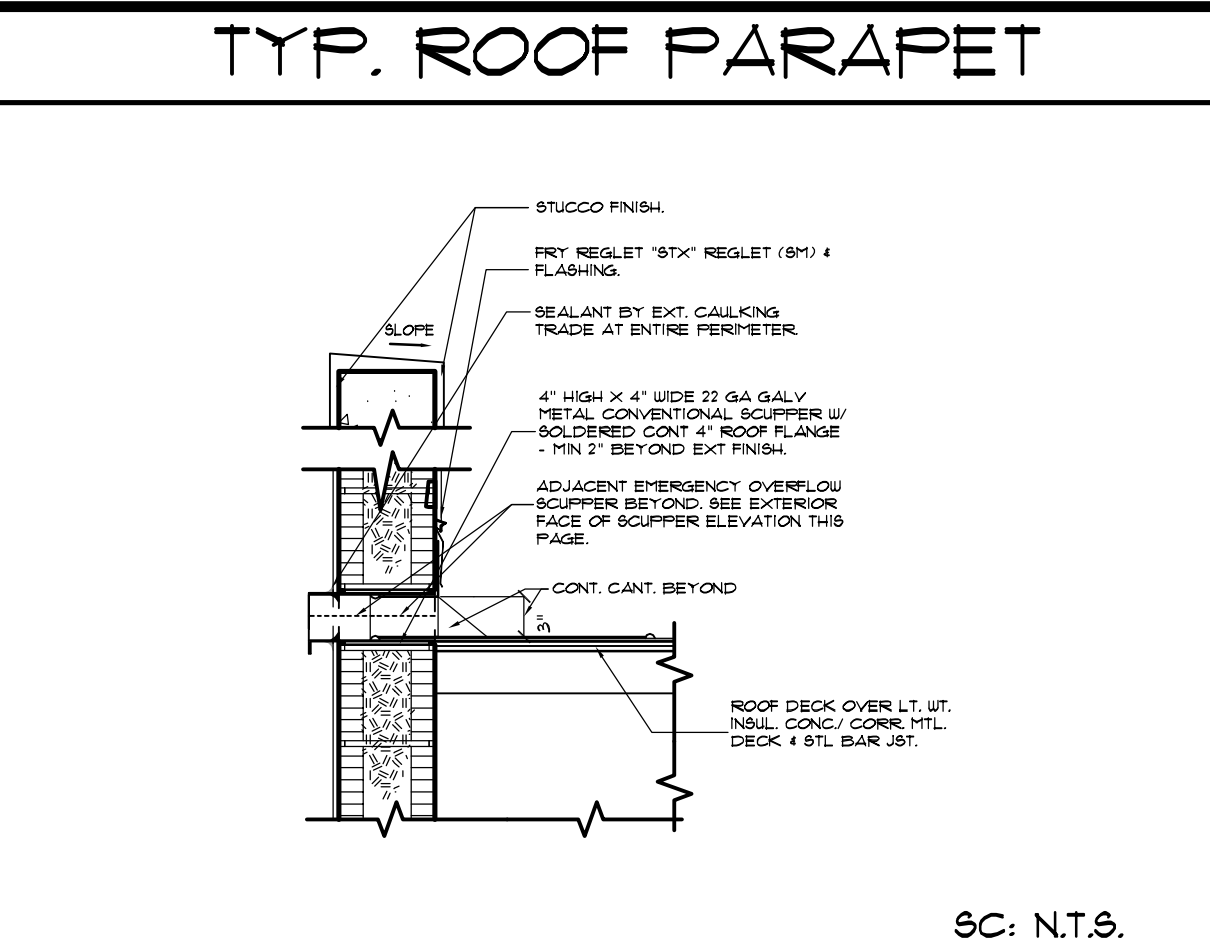
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FL. REG. NO. AR0012198  
Date:

Sheet Number: A-1.1  
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of sheets

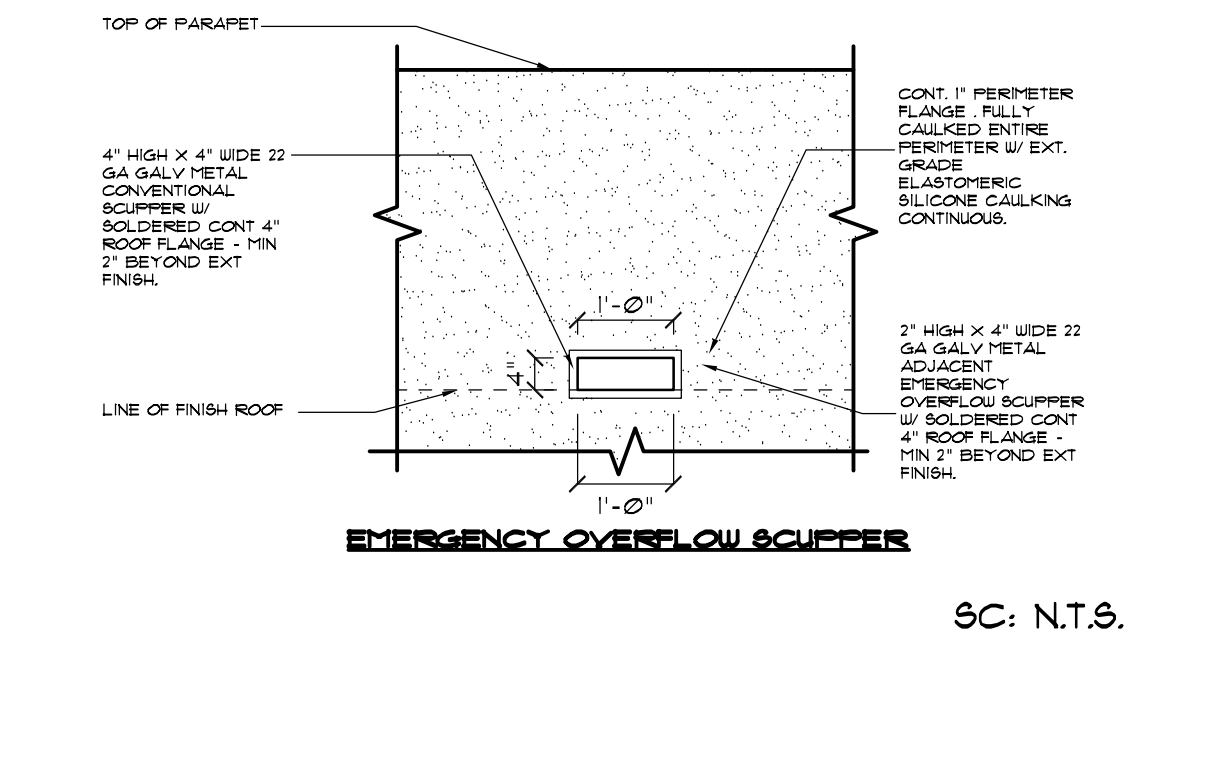
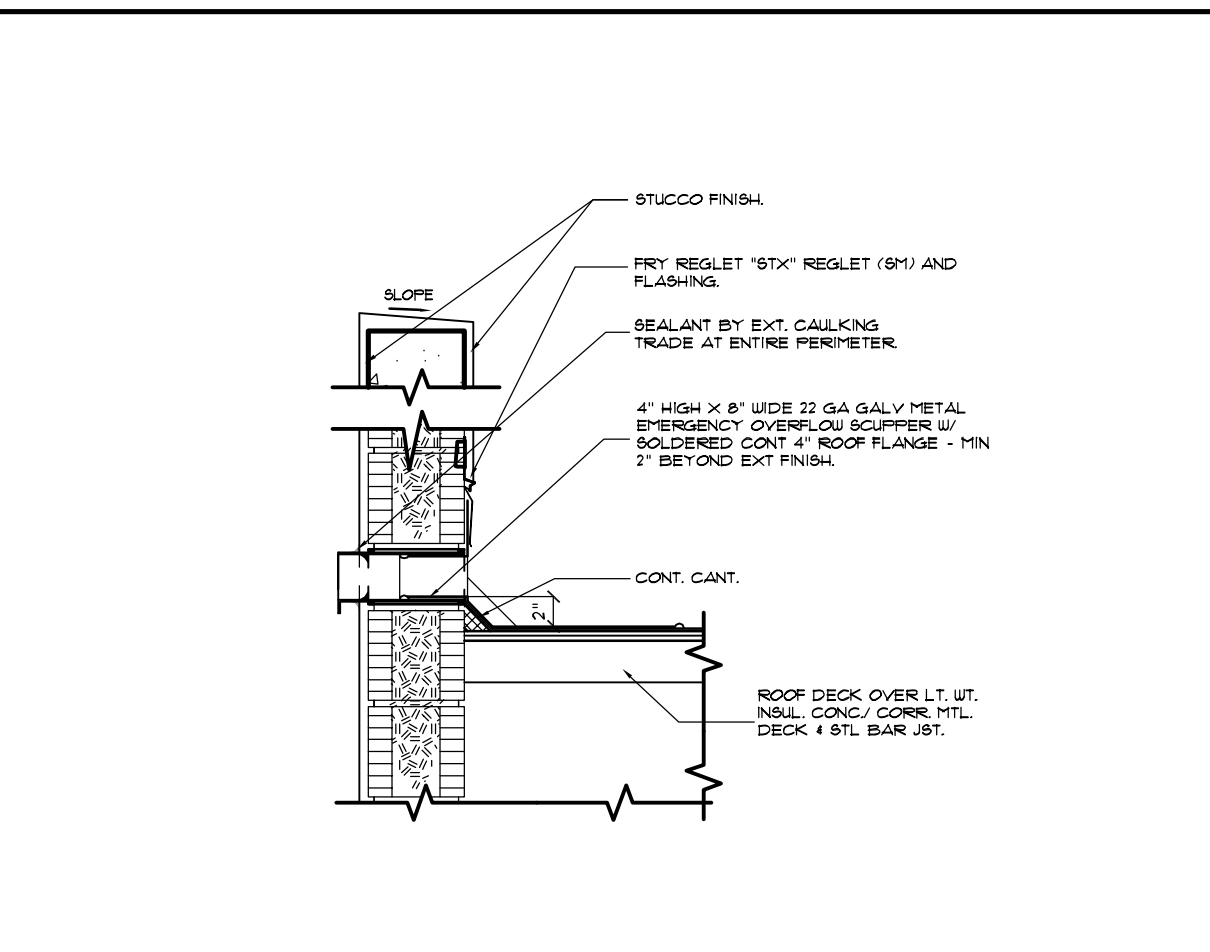




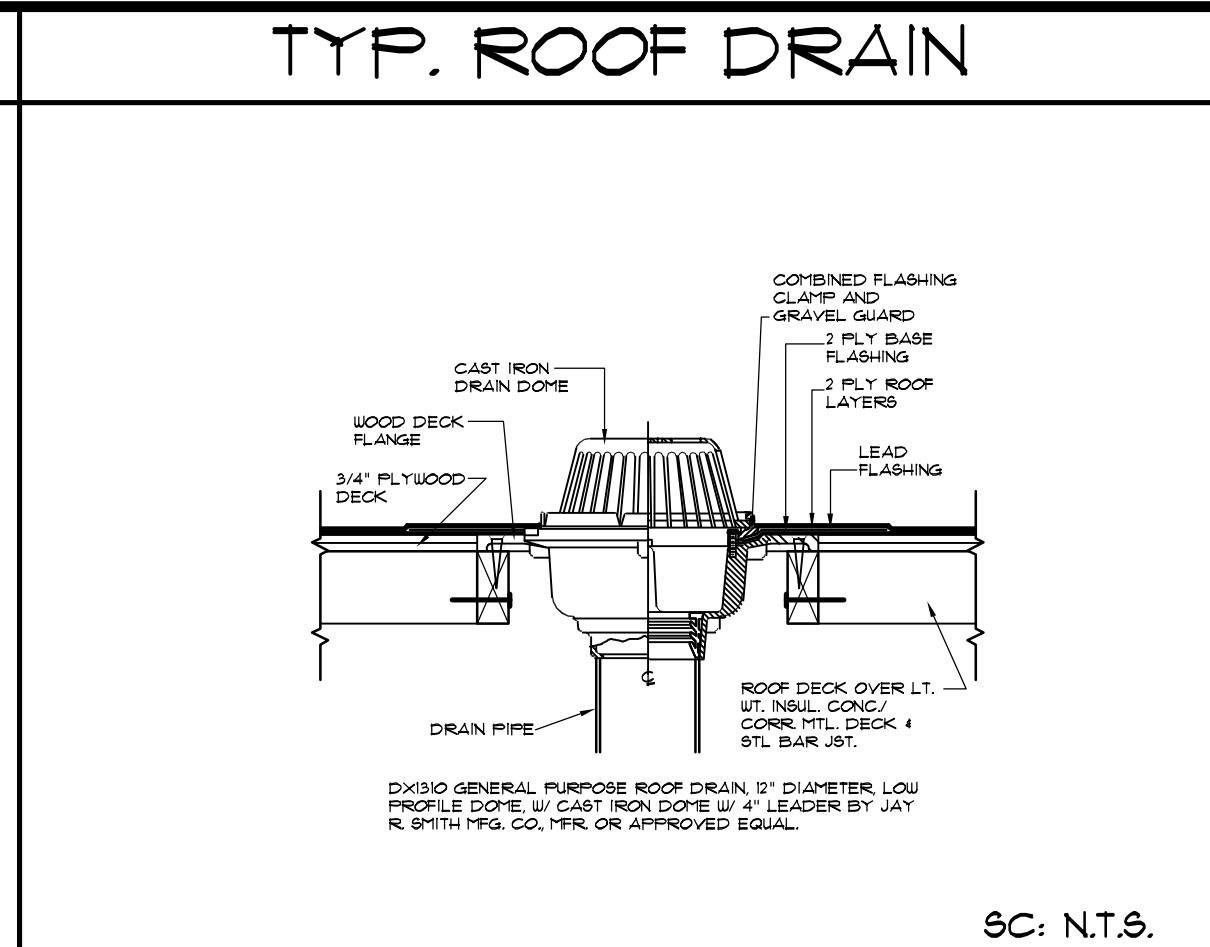
ROOF PLAN



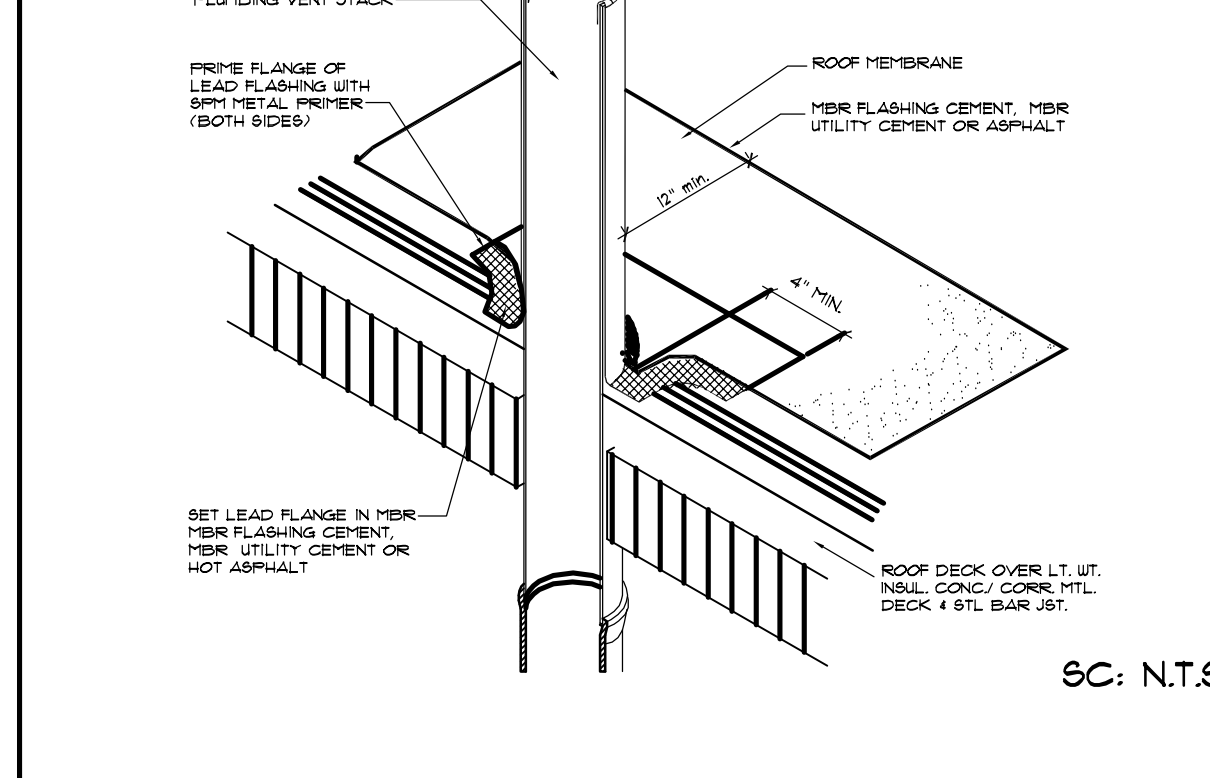
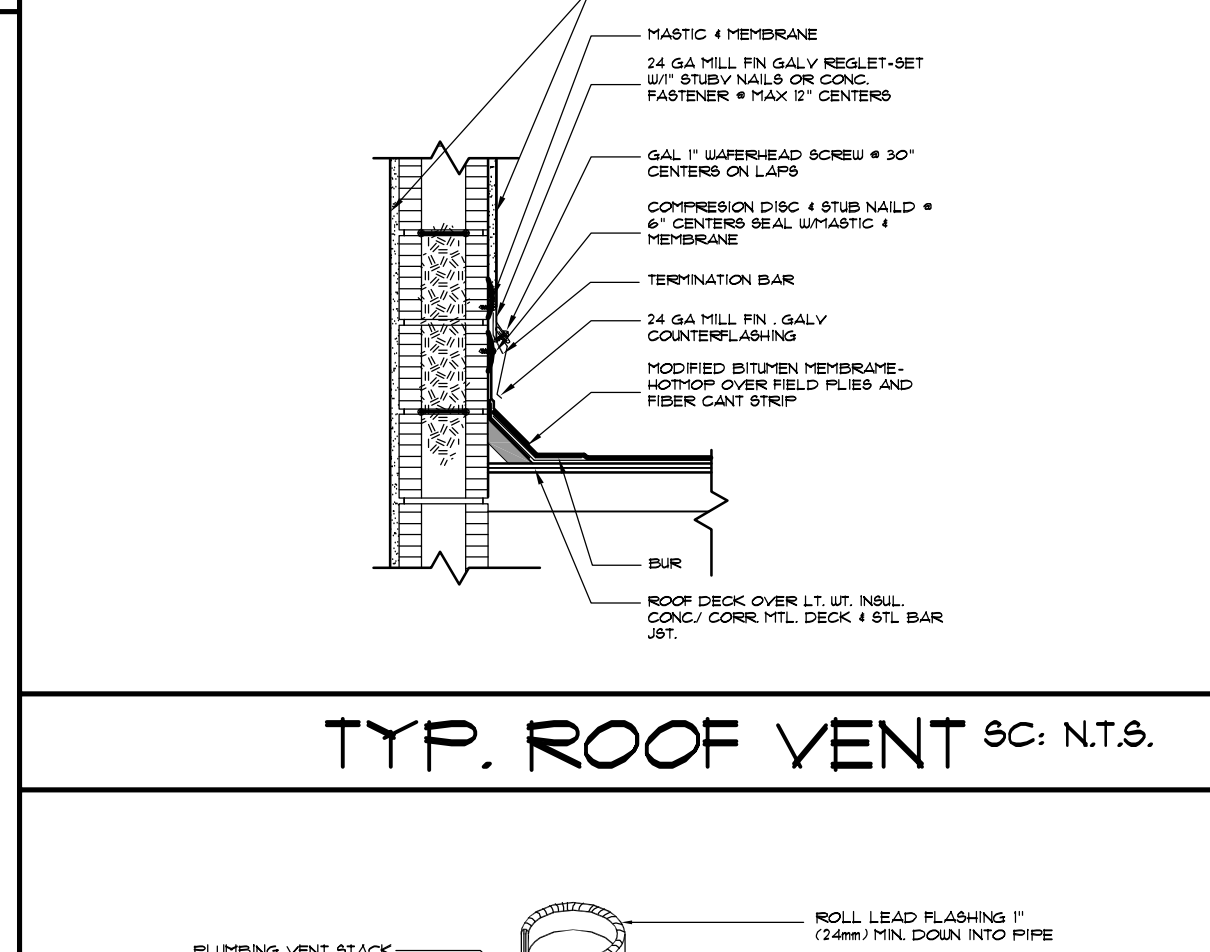
TYP. ROOF PARAPET



TYP. EMERGENCY OVERFLOW SCUPPER

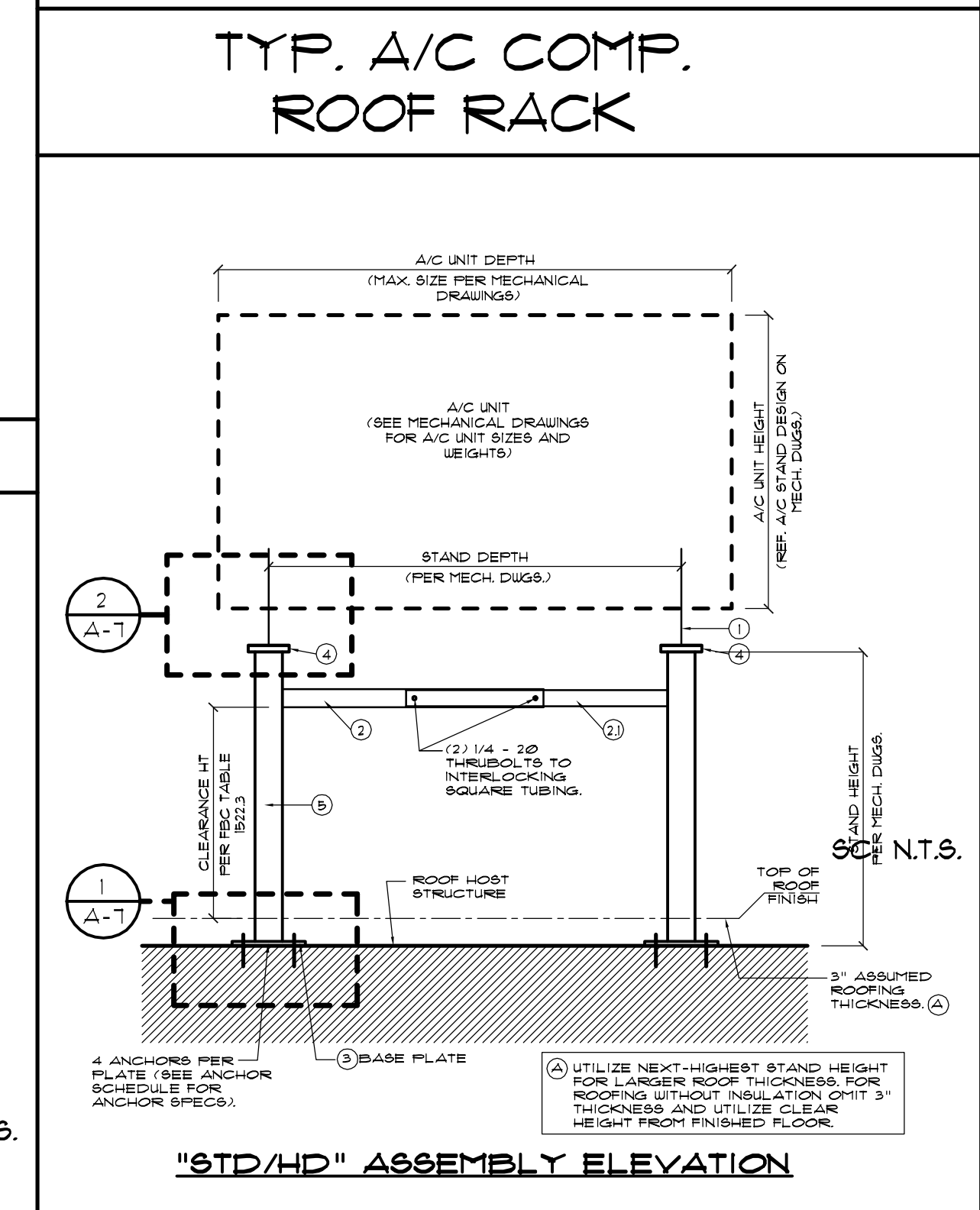


TYP. ROOF DRAIN



TYP. ROOF VENT

- ROOF KEYNOTES LEGEND
1. ROOFING ASSEMBLY OVER LIGHT WEIGHT R-19 INSULATING CONCRETE ON PRE-CAST/ PRE-FAB DOUBLE TEE 8'-0" WIDE CONCRETE TABLES.
  2. LINE OF CONCRETE BEAM/ INVERTED BEAM BEARING WALL BELOW.
  3. TYPICAL PERIMETER PRE-FAB CANT STRIP.
  4. TYPICAL TOP OF PARAPET (VARYING HEIGHTS).
  5. STEEL A/C COND. ROOF RACKS (TYP. OF 6X (6) RACKS) REFER TO DETAILS.
  6. TYPICAL ROOF CRICKETS W/ RIGID ROOFING BOARDS TAPERED SLOPING TOWARDS ROOF DRAINS AT 1/2" PER LINEAL FOOT.
  7. PRE-ENGINEERED/ PRE-FABRICATED ALUMINUM FRAME (LATTICE) GRID W/ SKYLIGHT.
  8. ROOFING ASSEMBLY OVER CONCRETE ROOF DECK SLOPE.
  9. MASONRY/ CONCRETE TIE BEAM BELOW AT STAIR NO. 3 ELEVATOR AND ELEVATOR MACHINE ROOM.
  10. EXISTING ROOF OVERHANG TO BE CUT BACK AND CONT. COMMERCIAL GUTTER ADDED. REFER TO DETAILS THIS AREA.
  11. ALUMINUM POWDER COAT FINISH WALL SUSPENDED SUN SCREEN EYEBROW 12" WIDE FASCIA, 2'-6" OVERHANG BY 15'-0" LONG.
  12. ALUMINUM POWDER COAT FINISH WALL SUSPENDED SUN SCREEN EYEBROW 12" WIDE FASCIA, 2'-6" OVERHANG BY 15'-0" LONG.



TYP. A/C COMP. ROOF RACK

ROOF DRAINAGE CALCULATIONS

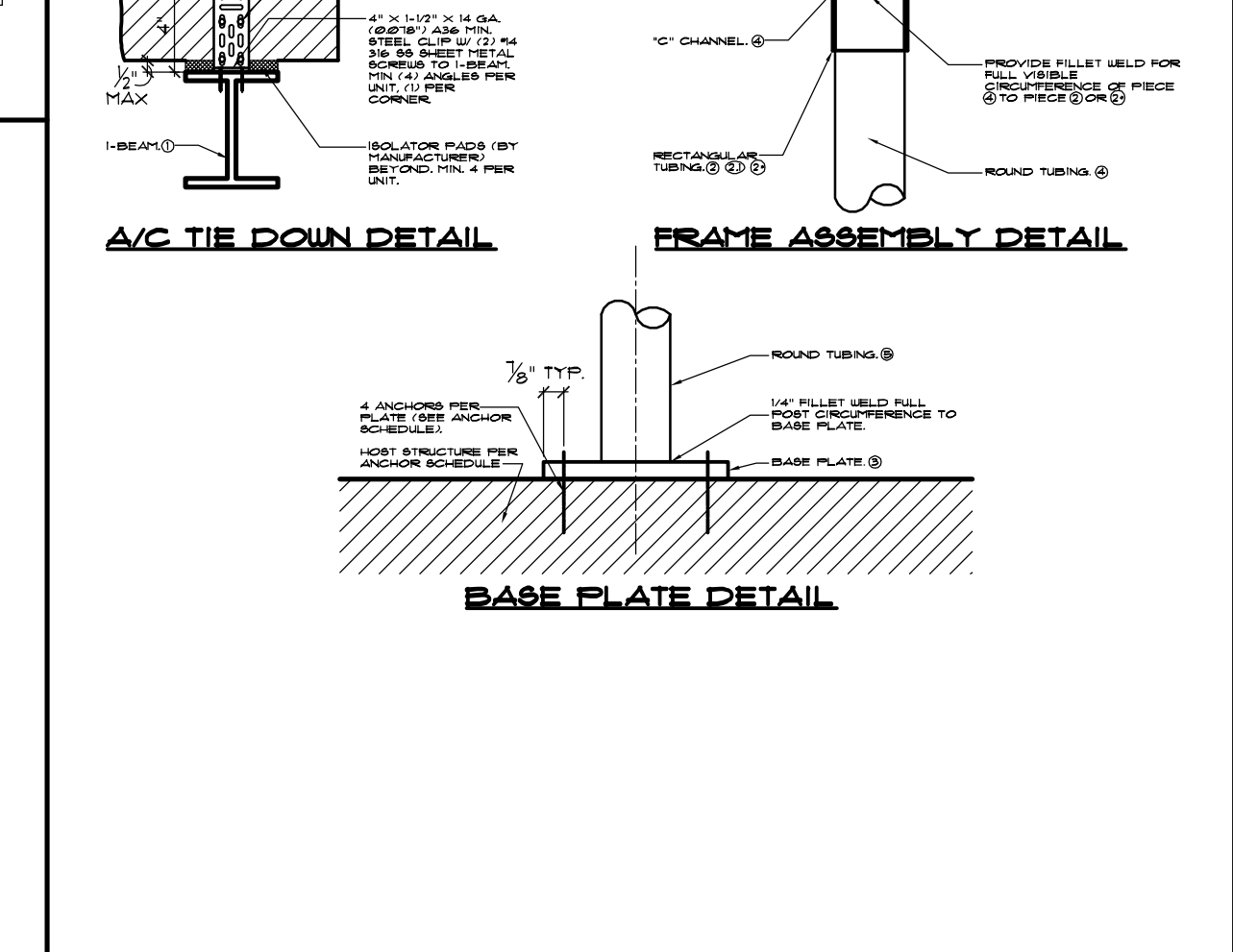
ROOF AREA	ROOF AREA (S.F.)	TOP OF PARAPET WALL AREA (S.F.)	VERTICAL PARAPET WALL AREA (S.F.)	TOTAL ROOF AREA (S.F.) (FLAT ROOF + TOP OF PARAPET + VERT. PARAPET)	PROVIDED AREA (S.F.)	CALCULATIONS
1	9,178 S.F.	271.56 sf	(400.95 sf + 601.47 sf + 257.5 sf (x2)) = 1,517.42 sf	10,208 S.F.	14,720 S.F.	9,178 S.F. ROOF AREA W/ 4" DIA. LEADER = 3,680 S.F. HORIZONTALLY PROJECTED ROOF AREA COVERED PER LEADER. 4 DRAINS X 3,680 S.F. = 14,720 S.F. TOTAL ROOF AREA COVERED
2	646 S.F.	74 sf	110 x 0.5 = 55 sf	775 S.F.	1,150 S.F.	646 S.F. ROOF AREA W/ 2" DIA. LEADER = 575 S.F. HORIZONTALLY PROJECTED ROOF AREA COVERED PER LEADER. 2 DRAINS X 575 S.F. = 1,150 S.F. TOTAL ROOF AREA COVERED
3	360 S.F.	32.76 sf	97 x 0.5 = 48.5 sf	441 S.F.	1,150 S.F.	360 S.F. ROOF AREA W/ 2" DIA. LEADER = 575 S.F. HORIZONTALLY PROJECTED ROOF AREA COVERED PER LEADER. 2 DRAINS X 575 S.F. = 1,150 S.F. TOTAL ROOF AREA COVERED

ANCHOR SCHEDULE FOR USE WITH DETAIL 1 ONLY

ANCHOR TYPE	ANCHOR DESCRIPTION
1	CONCRETE
2	STEEL
3	WOOD
4	STEEL

ANCHOR NOTES:

1. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. EMBEDMENT MINIMUM EMBEDMENT DISTANCE AS NOTED IN ANCHOR SCHEDULE FOR EACH ANCHOR.
3. WOOD HOST STRUCTURE SHALL BE SOUTHERN PINE #4 @ 55% OR GREATER DENSITY. ALL CONCRETE SUBSTRATE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. CONCRETE SUBSTRATE THICKNESS SHALL BE GREATER THAN OR EQUAL TO 18" X ANCHOR EMBEDMENT. INSTALL CONCRETE ANCHORS TO UN-CHARGED CONCRETE ONLY.
4. MINIMUM EMBEDMENT SHALL BE AS NOTED IN ANCHOR SCHEDULE. MINIMUM EMBEDMENT AND EMBED DISTANCE.
5. WHERE EXISTING STRUCTURE IS WOOD TRUSSES, EXISTING CONDITIONS MAY VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADJACENT WOOD TRUSS MEMBERS, NOT INTO PLUGWOOD.



Revision type

Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD

TO THE BEST OF THE ARCHITECT OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AT THE TIME OF THEIR PREPARATION AS DETERMINED BY THE LOCAL AUTHORITIES IN ACCORDANCE WITH SECTION 105 (F.B.C.) FLORIDA BUILDING CODE AND 633 FLORIDA STATUTES.

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**FRANK COSTOYA ARCHITECT, P.A.**  
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Member American Institute of Architects  
AA26000696 - AR0012198

Project Title: Site Plan Approval Documents for:  
Existing Church Renovations and New 2 Story Charter School Building for:  
**FAITH AND LIFE FELLOWSHIP MINISTRIES, INC.**  
AND  
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121 SOUTH 24TH AVENUE  
HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020

North arrow pointing up.

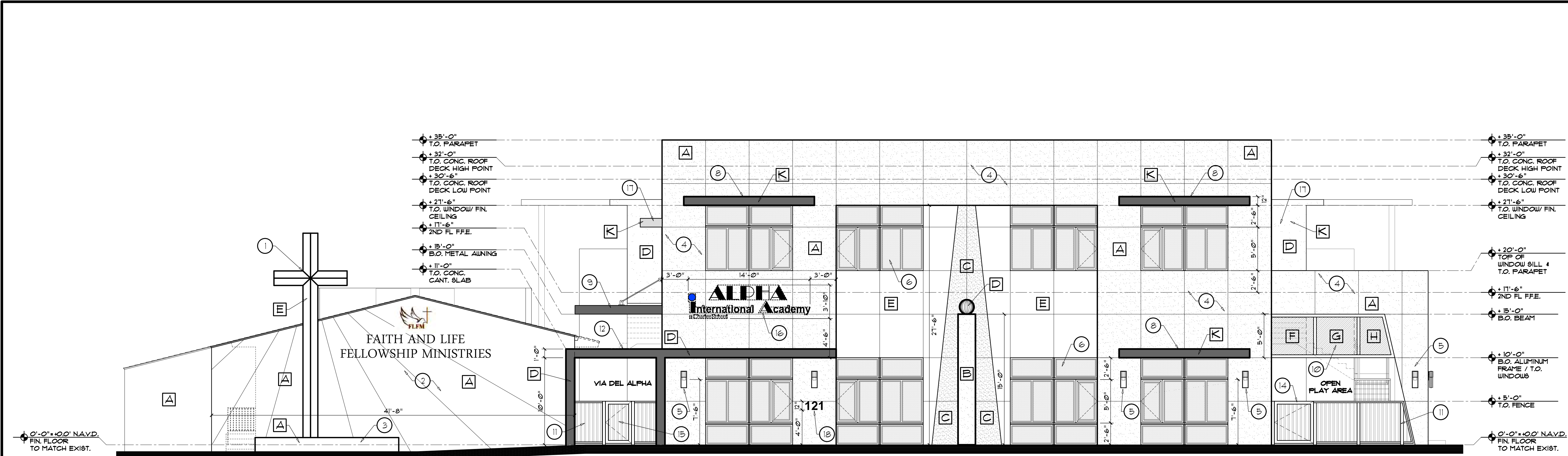
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Drawn by: Chkd by: RKD/JP FC  
Drawing Scale: AS NOTED  
Project Number: FCA-1615

Sheet title:  
• ROOF PLAN  
• ROOF DRAINAGE CALCULATIONS  
• ROOFING DETAILS  
• KEY NOTES  
LEGEND

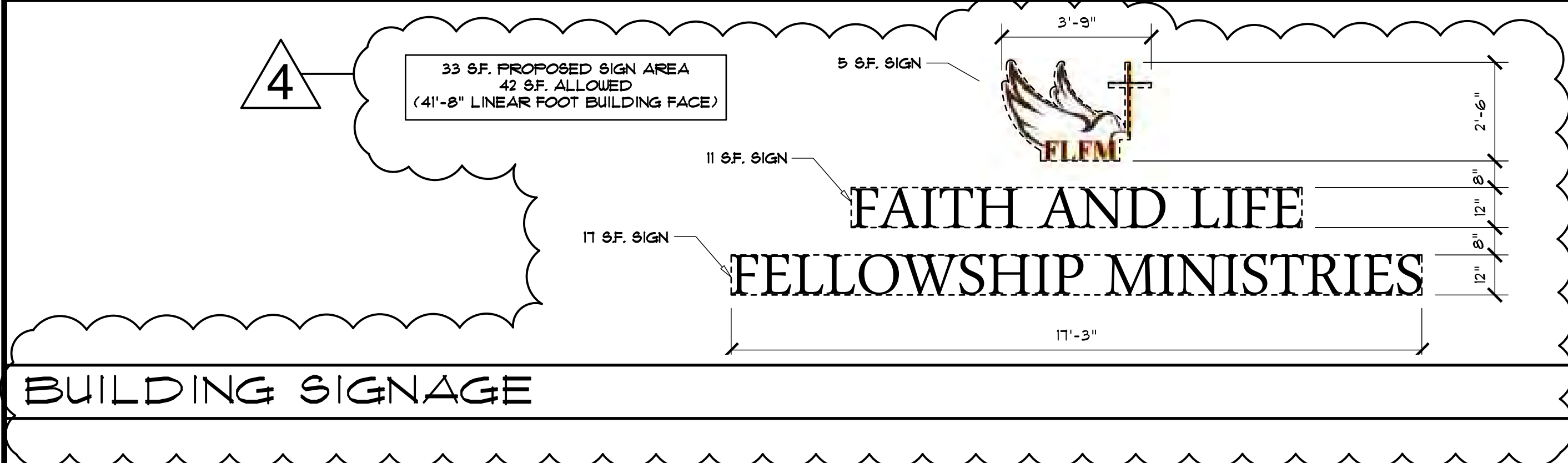
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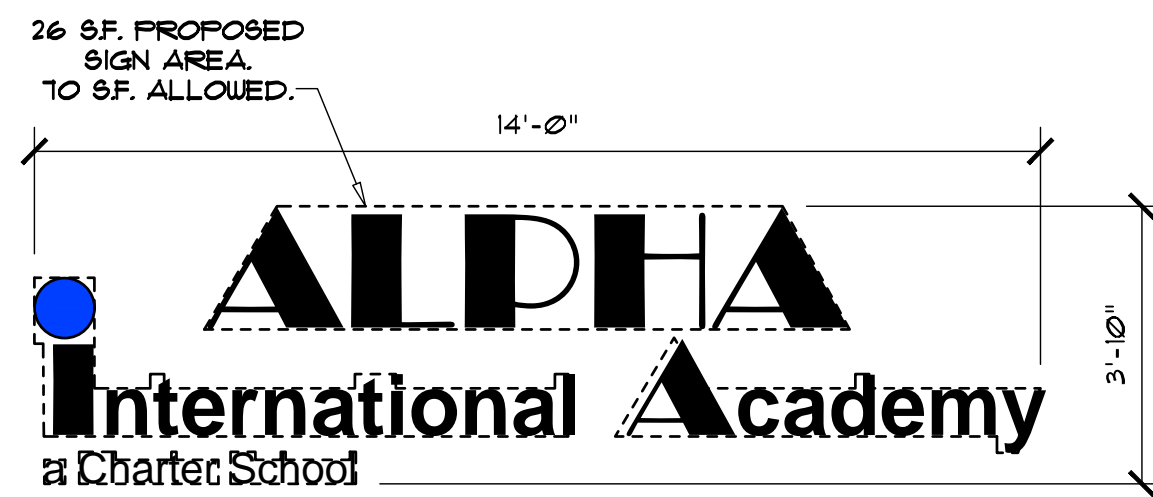




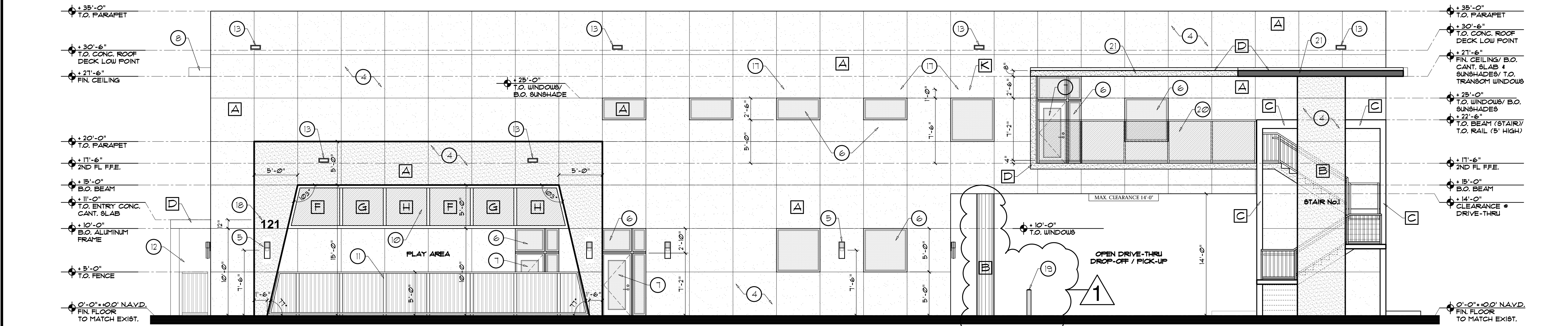
NEW FRONT (WEST) EXTERIOR ELEVATION



BUILDING SIGNAGE



NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS CODE



NEW RIGHT SIDE (SOUTH) EXTERIOR ELEVATION

## KEY NOTES LEGEND

- EXISTING CONCRETE CROSS TO RECEIVE NEW PAINT FINISH.
- EXISTING WALL TO RECEIVE NEW PAINT AND MINIMUM 3/4" NEW STUCCO FINISH. SMOOTH SAND FLOAT OVER BONDING ON NEW 5'-0" X 5'-0" GRID BY FRY REGLET STUCCO 1/2" WIDE X 3/4" DEEP REVEAL CHANNELS IN WHITE FINISH. DO NOT PAINT REVEAL. PROTECTIVE FOAM TO REMAIN IN PLACE.
- EXISTING FLANTER TO RECEIVE NEW PAINT FINISH.
- NEW STUCCO 3/4" THICK SMOOTH SAND FLOAT FINISH PAINT OF FRY REGLET 5'-0" X 5'-0" GRID BY FRY REGLET STUCCO 1/2" WIDE X 3/4" DEEP REVEAL CHANNELS IN WHITE FINISH. DO NOT PAINT REVEAL. PROTECTIVE FOAM TO REMAIN IN PLACE.
- CONTEMPORARY ACCENT WALL MOUNTED EXTERIOR UL RATED LIGHT FIXTURE. SEE DETAIL AND SPECIFICATIONS ON SHEET A-2.0.
- ALUMINUM FRAME MILL FINISH WINDOW FRAMES W/ IMPACT LAMINATED ANNEALED TINTED GLAZING IN GREEN BY CGI-CONSTRUCTION GLASS INDUSTRIES PER OR APPROVED EQUAL BY ARCHITECT.
- ALUMINUM FRAME MILL FINISH DOOR FRAMES W/ IMPACT LAMINATED ANNEALED TINTED GLAZING IN GREEN BY CGI-CONSTRUCTION GLASS INDUSTRIES PER OR APPROVED EQUAL BY ARCHITECT.
- ALUMINUM POWDER COAT FINISH WALL, SUSPENDED SUN SCREEN EYEBROW 12" WIDE FASCIA 2'-6" OVERHANG BY 15'-0" LONG.
- FIRE-RAB WALL ANCHORED/ SUSPENDED ALUMINUM ROOF AWNING PANEL SYSTEM BEYOND AT "VIA DEL ALPHA". REFER TO DETAILS.
- ALUMINUM FRAME TUBULAR 2X4 WITH TRANSLUCENT INSERT FRAMES WITH SOLAR SUNSCREEN TYPE CANVAS FABRICS IN PRIMARY COLORS AT ENTIRE PERIMETER OF OUTDOOR PLAY AREA.
- ALUMINUM MILL FINISH 5'-0" HIGH FENCING WITH 2X4 TOP 4X4 POST VERTICAL AT 5'-0" O/C, 2X4 BOLT 4 2X2 VERTICAL PICKETS SPACED TO REJECT 4" DIAMETER OBJECT.
- 12"X4 ALUMINUM FASCIA CONNECTED TO POSTS AT PED. ENTRY, CANTILEVERED OVER WINDOW. SEE DETAILS.
- 12"X4 "L-SHAPE" ALUMINUM POST. 12"X4 ALUMINUM RAILING MEMBERS FRAME WITH 2X2 ALUMINUM PICKETS SPACED TO REJECT 4" Ø OBJECTS.
- TYP. 4" HIGH X 12" WIDE 22 GA GALVANIZED METAL GUTTER TO BE SET 2" ABOVE FINISHED ROOF.
- ALUMINUM 5'-0" HIGH GATE WITH SPRING LATCH/ LOCK.
- ALUMINUM RAILING MILL FINISH 42" HIGH 2X4 CONTINUOUS TOP & BOTTOM RAIL WITH 2X4 VERTICAL POST AT 5'-0" O/C INTERVALS WITH 1" SQ. PICKETS SET 6" O/C (TO REJECT 4" DIAMETER OBJECTS).
- "ALPHA INTERNATIONAL ACADEMY - A CHARTER SCHOOL", WALL MOUNTED SIGN. ELECTROSTATIC PAINT FINISH. SUBMIT SHOP DRAWINGS FOR ATTACHMENT DETAILS. SIGNED AND SEALED BY A FLORIDA LICENSED ENGINEER, A COLOR SAMPLE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
- "ALPHA INTERNATIONAL ACADEMY - A CHARTER SCHOOL", WALL MOUNTED SIGN. ELECTROSTATIC PAINT FINISH. SUBMIT SHOP DRAWINGS FOR ATTACHMENT DETAILS. SIGNED AND SEALED BY A FLORIDA LICENSED ENGINEER, A COLOR SAMPLE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
- ALUMINUM POWDER COAT FINISH WALL, SUSPENDED SUN SCREEN EYEBROW 12" WIDE FASCIA 2'-6" OVERHANG BY 15'-0" LONG.
- 12"X4 BUILDING ADDRESS NUMBERS. 12" HIGH ALUMINUM WALL POST-MOUNTED IN "ARIAL" FONT STYLE, BLACK ANODIZED PAINT FINISH.
- TYP. 6" ROUND STEEL PIPE BOLLARD CONCRETE FILLED 36" HIGH PAINTED WITH BRIGHT TRAFFIC ENAMEL YELLOW PAINT.
- ALUMINUM RAILING MILL FINISH 42" HIGH WITH 2X4 CONTINUOUS TOP & BOTTOM RAIL. IMPACT RESISTANT CLEAR GLAZING PANELS. SEE DETAIL ON SHEET A-2.0.
- CANTILEVERED CONCRETE SLAB.
- TYP. 6" WIDE 22 GA GALVANIZED METAL GUTTER.
- FAITH & LIFE - FELLOWSHIP MINISTRIES', WALL MOUNTED SIGN ON ALUMINUM MILL FINISH ALUMINUM LETTERS. LETTERS TO BE 10" IN HEIGHT, ALL CAPS, VERDANA FONT.
- FAITH & LIFE - FELLOWSHIP MINISTRIES' LOGO, 36" WIDE X 24" HIGH.
- 20" DIAMETER ALUMINUM POST MOUNTED ACCENT CIRCLE TO RECEIVE ELECTROSTATIC PAINT FINISH. SUBMIT SHOP DRAWINGS FOR ATTACHMENT DETAILS. SIGNED AND SEALED BY A FLORIDA LICENSED ENGINEER, A COLOR SAMPLE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
- EXISTING WALL MOUNTED (2) A/C UNITS TO REMAIN.
- EXISTING STUCCO SCORING LINES TO REMAIN AND BE PAINTED SAME COLOR AS CROSS.

## EXTERIOR ELEVATION FINISHES KEY LEGEND

PAINT COLOR SCHEDULE - SHERWIN WILLIAMS MFR.		
TAG	ITEM DESCRIPTION	COLOR SPECIFICATION
A	MAIN WALLS, STUCCO	SHOUJI WHITE - SW 7042
B	ACCENT WALLS, STUCCO	LAUDABLE LIME - SW 6930
C	ACCENT WALLS, STUCCO	ENERGETIC ORANGE - SW 6880
D	ACCENT WALLS, STUCCO	CANDID BLUE - SW 6953
E	ACCENT WALLS, STUCCO	WORLDLY GRAY - SW 7043
F	CANVAS FABRIC	RED
G	CANVAS FABRIC	GREEN
H	CANVAS FABRIC	BLUE
I	RAILINGS	ALUMINUM MILL FINISH
J	WINDOWS & DOORS FRAMES	ALUMINUM MILL FINISH
K	SUNSCREEN EYEBROWS	ALUMINUM MILL FINISH

## TYP. UL RATED EXTERIOR WALL SCONCE

**HINKLEY.**

INTERIOR LIGHTING   OUTDOOR LIGHTING   IDEA CENTER   OUR STORY   CONNECT

Product Catalog | Outdoor Lighting | Fixtures

**SHELTER 1325BK-LED**

1325BK-LED

Width: 8.9"

Height: 22.2"

Weight: 9.3 lbs

Material: Solid Aluminum

Glaze: Clear Seedy

Backplate Width: 4.5"

Backplate Height: 12.0"

Wattage: 1.1W LED

Dim. Dim. Yes

LED Info: Yes

Lumens: 550

Color Temp: 2700K

CRI: 95

Equivalent: 60 0000

Dimmer: No

Tab 24: 100m Extra Thin 28 Lumen Family

Notes: 100m Extra Thin 28 Lumen Family

Extension: 100m Extra Thin 28 Lumen Family

TTO: 5.8"

Certification: C-ULS Mark Rated

Voltage: 120V

UPC: 64066032564

NOTE: ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW.

Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD
TAC COMMENTS	10/24/16	RD
TAC COMMENTS	10/11/17	JP/RD
TAC COMMENTS	11/10/17	JP

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Dave, Florida 33528

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Member American Institute of Architects

AA26000696 - AR0012198

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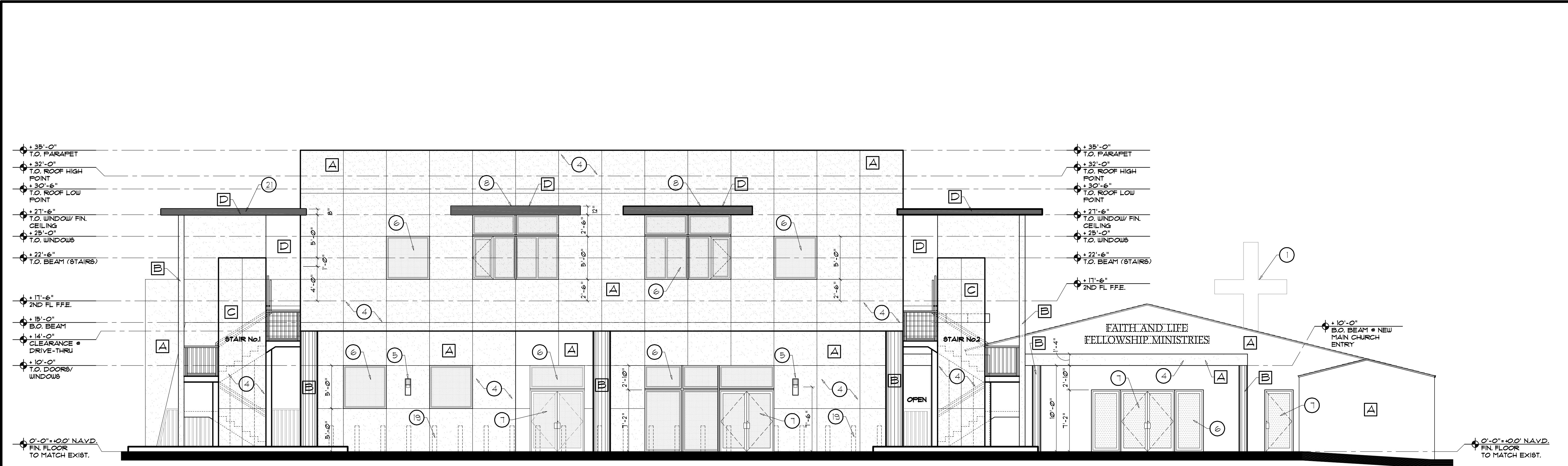
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**OCTOBER 17, 2016**  
Drawn by: RKD/JP  
Chkd by: FC  
Drawing Scale:  
AS NOTED  
Project Number:  
FCA-1615

Sheet title:  
• NEW WEST &  
• SOUTH EXTERIOR  
• ELEVATIONS  
• BUILDING SIGNAGE  
• KEY NOTES  
• LEGEND  
• FINISH KEY LEGEND  
• TYP. WALL SCONCE

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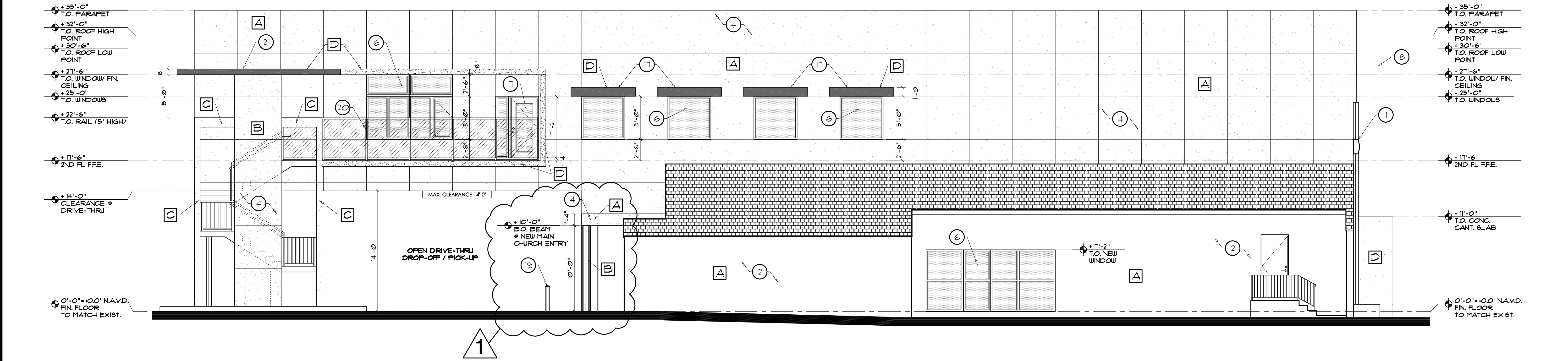


NEW REAR (EAST) EXTERIOR ELEVATION

SC: 3/16" = 1'-0"

BUILDING SIGNAGE

SC: 3/8" = 1'-0"



NEW LEFT SIDE (NORTH) EXTERIOR ELEVATION

SC: 3/16" = 1'-0"

KEY NOTES LEGEND

- EXISTING CONCRETE CROSS TO RECEIVE NEW PAINT FINISH.
- EXISTING WALL TO RECEIVE NEW PAINT AND MINIMUM 1/2" NEW STUCCO FINISH. STUCCO 1/2" WIDE X 1/2" DEEP REVEAL CHANNELS IN WHITE FINISH. DO NOT PAINT REVEAL. PROTECTIVE FOAM TO REMAIN IN PLACE.
- EXISTING PLANTER TO RECEIVE NEW PAINT FINISH.
- NEW STUCCO 1/2" THICK SMOOTH SAND FLOAT FINISH PAINT OF FRY REGLET 5'-0" X 5'-0" GRID BY FRY REGLET STUCCO 1/2" WIDE X 1/2" DEEP REVEAL CHANNELS IN WHITE FINISH. DO NOT PAINT REVEAL. PROTECTIVE FOAM TO REMAIN IN PLACE.
- CONTEMPORARY ACCENT WALL MOUNTED EXTERIOR U.L. RATED LIGHT FIXTURE. SEE DETAIL AND SPECIFICATIONS ON SHEET A-2.0.
- ALUMINUM FRAME MILL FINISH WINDOW FRAMES W/ IMPACT LAMINATED ANNEALED TINTED GLAZING IN GREEN BY CGI-CONSTRUCTION GLASS INDUSTRIES MFR. OR APPROVED EQUAL BY ARCHITECT.
- ALUMINUM FRAME MILL FINISH DOOR FRAMES W/ IMPACT LAMINATED ANNEALED TINTED GLAZING IN GREEN BY CGI-CONSTRUCTION GLASS INDUSTRIES MFR. OR APPROVED EQUAL BY ARCHITECT.
- ALUMINUM POWDER COAT FINISH WALL SUSPENDED SUN SCREEN EYEBROW 12" WIDE FASCIA 2'-6" OVERHANG BY 15'-0" LONG.
- PRE-FAB WALL ANCHORED/ SUSPENDED ALUMINUM GLAZED ROOF CANOPY PANEL SYSTEM BEYOND 4' VIA DEL. ALPHA. REFER TO DETAIL 6.
- ALUMINUM FRAME TUBULAR 2X4 WITH TRANSLUCENT INSERT FRAMES WITH SOLAR SUNSCREEN TYPE CANVAS FABRIC IN PRIMARY COLORS AT ENTIRE PERIMETER OF OUTDOOR PLAY AREA.
- ALUMINUM MILL FINISH 5'-0" HIGH FENCING WITH 2X4 TOP 4X4 POST VERTICAL AT 5'-0" O.C. 2X4 BOLT 4' X 2' VERTICAL PICKETS SPACED TO REJECT 4" DIAMETER OBJECT.
- ALUM 12' X 4' FASCIA 10'-0" LONG SPAN CONNECTED TO POST (4X12).
- ALUM 12' X 4' POST.
- ALUM 2X4 VERTICAL/ HORIZONTAL MEMBERS FRAME WITH 2X2 ALUMINUM PICKETS SPACED TO REJECT 4" DIAMETER OBJECTS.
- ALUMINUM 5'-0" HIGH GATE WITH SPRING LATCH/ LOCK.
- ALUMINUM RAILING MILL FINISH 42" HIGH 2X4 CONTINUOUS TOP 4 BOTTOM RAIL WITH 2X4 VERTICAL POST AT 5'-0" O.C. INTERVALS WITH 1" SQ. PICKETS SET 6" O.C. (TO REJECT 4" DIAMETER OBJECTS).
- "ALPHA INTERNATIONAL ACADEMY - A CHARTER SCHOOL". WALL MOUNTED SIGN ON ALUMINUM MILL FRAME WITH DIAGONAL GRID. BLACK ANODIZED PAINT FINISH ALUMINUM LETTERS SIGN TO BE 14'-0" HIGH WITH FIRST ROW - "ALPHA" LETTERS TO BE 20" IN HEIGHT. ALL CAPS. "BROADWAY" FONT. SECOND ROW - "14 A" LETTERS TO BE 16" IN HEIGHT. ALL CAPS. "BROADWAY" FONT. "INTERNATIONAL" 4" "ACADEMY" LETTERS TO BE 10" IN HEIGHT. ALL CAPS. "ARIAL" FONT. THIRD ROW - "A CHARTER SCHOOL" LETTERS TO BE 5" IN HEIGHT. ALL CAPS. "ARIAL" FONT. STYLE.
- ALUMINUM POWDER COAT FINISH WALL SUSPENDED SUN SCREEN EYEBROW 12" WIDE FASCIA 2'-6" OVERHANG BY 1'-6" LONG.
- 12" BUILDING ADDRESS NUMBERS 12" HIGH ALUMINUM WALL POST-MOUNTED IN "ARIAL" FONT STYLE. BLACK ANODIZED PAINT FINISH.
- TYP. 6" ROUND STEEL PIPE BOLLARD CONCRETE FILLED 36" HIGH PAINTED WITH BRIGHT TRAFFIC ENAMEL YELLOW PAINT.
- ALUMINUM RAILING MILL FINISH 42" HIGH WITH 2X4 CONTINUOUS TOP 4 BOTTOM RAIL. IMPACT RESISTANT (1" DIA. 17" LONG) PAINT.

EXTERIOR ELEVATION FINISHES KEY LEGEND

PAINT COLOR SCHEDULE - SHERWIN WILLIAMS MFR.		
TAG	ITEM DESCRIPTION	COLOR SPECIFICATION
A	MAIN WALLS, STUCCO	SHOUL WHITE - SW 7042
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Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD

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AA26006696 - AR0012198

Project Title: Site Plan Approval Documents for:  
Existing Church Renovations and New 2 Story Charter School Building for:  
**FAITH AND LIFE FELLOWSHIP MINISTRIES, INC.**  
AND  
**ALPHA INTERNATIONAL ACADEMY CHARTER SCHOOL**  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020

Drawing date:  
SEPTEMBER 19, 2016  
Dwn by: RKD / JP  
Chkd by: FC  
Drawing Scale:  
3/16" = 1'-0"  
Project Number:  
FCA-1615

Sheet title:  
• NEW EAST & NORTH EXTERIOR ELEVATIONS  
• KEY NOTES  
• LEGEND  
• FINISH KEY LEGEND  
• BUILDING SIGNAGE  
Seal/Signature:  
FRANK COSTOYA, JR. AIA  
FL. REG. NO. AR0012198  
Date:

Sheet Number:  
**A-2.1**  
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of  
sheets





WEST ELEVATION - FACING SOUTH 24TH AVENUE



SOUTH ELEVATION - FACING VAN BUREN STREET



EAST ELEVATION - FACING PARKING LOT



NORTH ELEVATION - FACING ALLEY

Revision type	Date	by
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121 SOUTH 24TH AVENUE  
HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020

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FRONT VIEW FROM CORNER OF SOUTH 24TH AVE & VAN BUREN STREET



VIEW FROM S.E. CORNER (PARKING LOT)



FRONT VIEW FROM SOUTH 24TH AVENUE




VIEW FROM N.E. CORNER FACING ALLEY

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