

# ATTACHMENT A

## Application Package

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: October 4th, 2016

Location Address: 121 South 24th Avenue, Hollywood, FL 33020

Lot(s): 10 & 11 Block(s): 6 Subdivision: Hollywood Little Ranches

Folio Number(s): 5142 16 01 2840

Zoning Classification: TC-1 Land Use Classification: RAC

Existing Property Use: Place of Worship/ School Sq Ft/Number of Units: 6,250 Sq.Ft.

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development

Explanation of Request: Building demolition, existing church renovations & new two story charter school building

Number of units/rooms: 12 classrooms & support spaces Sq Ft: 3,440 s.f. renovated church  
16,003 g.s.f. new school building

Value of Improvement: \$2,400,000.00 Estimated Date of Completion: July 2019

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Faith & Life Fellowship Ministries, Inc. & Carol Gardner, CPA.

Address of Property Owner: 121 South 24th Avenue, Hollywood, FL 33020

Telephone: (305) 775-2181 Fax: \_\_\_\_\_ Email Address: cgardner@tedcmiami.org

Name of Consultant/Representative/Tenant (circle one): Frank Costoya, Jr., R.A., A.I.A., NCARB

Address: 600 N. Pine Island Rd. St #175 Plantation, FL 33324 Telephone: (954) 680-4440

Fax: (954) 680-4441 Email Address: joseph@fcarchitect.com

Date of Purchase: N/A Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Frank Costoya Architect, P.A.

Address: 600 N. Pine Island Road. Suite #175  
Plantation, FL 33324 Email Address: joseph@fcarchitect.com

# DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Hamilton W. Taith

Date: 11/13/17

PRINT NAME: HAMILTON W. TAITH

Date: 11/13/17

Signature of Consultant/Representative: Francisco Costoya, Jr.

Date: 11/13/17

PRINT NAME: Francisco Costoya, Jr., R.A., A.I.A., NCARB

Date: 11/13/17

Signature of Tenant: Carol Gardner

Date: 11/13/17

PRINT NAME: Carol Gardner

Date: 11/13/17

### CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Renovations & New School Building to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Francisco Costoya, Jr., R.A., A.I.A., NCARB to be my legal representative before the TAC, PDB & City Council (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 13<sup>th</sup> day of November

Carol Gardner

Notary Public State of Florida

Hamilton W. Taith

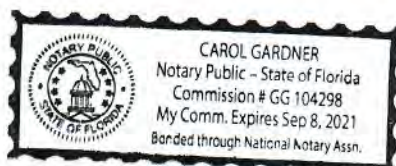
SIGNATURE OF CURRENT OWNER

HAMILTON W. TAITH

PRINT NAME

My Commission Expires: 9/8/21 (Check One)

Personally known to me; OR







**FRANK COSTOYA ARCHITECT, P.A.**

Architecture • Land Planning

Member American Institute of Architects

600 N. Pine Island Road • Suite 175  
Lakeside Office Center  
Plantation, Florida 33324

November 30, 2017

Attn: City of Hollywood  
Department of Development Services  
Planning Division  
Planning & Development Board  
2600 Hollywood Blvd., Room 315  
Hollywood, FL 33022  
Phone: 954-921-3471

Re: **Criteria Statement:**  
**Variance Criteria**  
**Alpha International Academy**  
121 south 24<sup>th</sup> Avenue  
Hollywood, FL 33020

File Number: 16-DP-44 - Faith & Life Fellowship Ministries and Alpha International Academy  
FCA Project No.: FCA-1615  
Responses following by: Frank Costoya Jr., R.A., A.I.A., NCARB  
President • Principal Architect of Record

**VARIANCE CRITERIA**

The Planning and Development Board shall have the authority to consider petitions relating to variances for all development outside the Historic District and Historic Sites.

- a. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and

*R/: Requested variance is for shared parking by different uses in order to meet code and city requirements. Proposed design meets and exceeds individual use requirements by adding ADA parking, landscaped islands and a dumpster enclosure within the same footprint of the existing parking lot bringing the project to current codes. The proposed building and parking lot will embellish and improve the neighborhood by adding new landscaping all around the main roads as a buffer while also controlling inner traffic through improved vehicular circulation and points of access in addition to pedestrian connection from public sidewalk to property and new high efficiency LED site lighting.*

- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and

*R/: Requested variance for shared parking meets land use requirements while also meeting code requirements with substantial site improvements. Please note that proposed uses are the same as existing uses and will not be detrimental to the community, in the contrary, will improve the neighborhood.*



- c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and

*R/: Requested variance for shared parking allows for the proposed design to meet goals, objectives and policies adopted by the City of Hollywood's Comprehensive plan.*

- d. That the need for the requested Variance is not economically based or self-imposed; or

*R/: Requested variance for shared parking is not economically based or self-imposed and rather needed to comply city requirements considering that proposed parking meets and exceeds individual uses. School and Church will have opposite hours of operation to avoid any parking conflict.*

- e. That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

*R/: Requested variance for shared parking is needed to meet required parking by allowing two different uses to share the parking lot. This will be achieved by having different hours of operation; therefore the School and the Church will have opposite hours of operation.*

These items are considered according to quasi-judicial procedures.

#### QUASI-JUDICIAL

The application regarding your property has been interpreted by Florida courts to be quasi-judicial in nature. This means that the City's decision is to be supported by competent, substantial evidence in the record regarding your application. In quasi-judicial procedures all witnesses are sworn in, subject to cross-examination, and the applicant, the City and any other interested party (e.g. a neighbor) are allowed opening and closing statements. However, the City's adopted quasi-judicial procedures allow you to waive this process and have your application heard and considered in a more informal manner, or legislatively, if you so wish and elect, and staff present agrees. You may identify your choice at the time of the meeting.

---

**End of Responses**

Sincerely,



Frank Costoya, Jr., A.I.A., NCARB  
Architect of Record - President  
Frank Costoya Architect, P.A.



**FRANK COSTOYA ARCHITECT, P.A.**

Architecture • Land Planning

Member American Institute of Architects

600 N. Pine Island Road • Suite 175

Lakeside Office Center

Plantation, Florida 33324

November 30, 2017

Attn: City of Hollywood  
Department of Development Services  
Planning Division  
Planning & Development Board  
2600 Hollywood Blvd., Room 315  
Hollywood, FL 33022  
Phone: 954-921-3471

Re: **Criteria Statement:**  
**Design Review Criteria**  
**Alpha International Academy**  
121 south 24<sup>th</sup> Avenue  
Hollywood, FL 33020

File Number: 16-DP-44 - Faith & Life Fellowship Ministries and Alpha International Academy  
FCA Project No.: FCA-1615  
Responses following by: Frank Costoya Jr., R.A., A.I.A., NCARB  
President • Principal Architect of Record

## **DESIGN REVIEW CRITERIA**

Design Review encompasses the examination of architectural drawings for consistency with the General Criteria, Criteria as they appear in Design Guidelines Manual, and the Neighborhood Specific Design Review Criteria all of which is approved by the Board with regard to the aesthetics, appearances, safety, and function of the structure in relation to the site, adjacent structures and surrounding community.

The Board and the Office Planning and Development Services Director shall review plans based upon the aforementioned Criteria (See above paragraph). If the Board and the Director determines that an application is not consistent with the criteria, it shall set forth in writing the reasons substantiating its finding.

General Criteria. The architectural style of the building, accessory structures and landscaping shall be evaluated in terms of the following criteria (1-4):



## DESIGN CRITERIA

1. **Architectural and Design components.** Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

*R/: The new two story building offers a clean contemporary design made out of concrete, glass, metals and commercial fabrics that interact through an orthogonal grid accentuated by horizontal and vertical planes. These planes are accentuated on the main façade as horizontal elements moving along with the pedestrian flow and end in a subtle fold highlighting the new main entry that introduces the user to "Via de Alpha", a private open air linear plaza that connects the existing church and the new school.*

2. **Compatibility.** The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

*R/: The building is composed by a clean modular design accentuated by some angular lines connecting the modular profile of the commercial buildings along Hollywood Blvd and the pitch roofs by the immediate church and the adjacent residential area. The building has a base white color to peacefully interact with its surroundings, yet it incorporates some primary colors on strategic areas like the front triangular accent wall that symbolizes the initials of the institution, "AiA – Alpha International Academy". In addition the sides and rear of the building also incorporate primary colors on linear, round and rectangular elements around areas like the playground and exterior staircases creating geometric interaction with children. The new building stands in the middle of the block opening up the south corner as a parking lot keeping a clear visual of the intersection with new landscaping.*

3. **Scale/Massing.** Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

*R/: The new building embraces the two story profile found on the adjacent properties and has been placed in the middle of the block creating an inwards gradual elevation of the vertical profile by keeping the one story, pitch roof building of the church on one side and an open parking lot on the other side. This design creates a clean visual point of hierarchy by having the new two story school building in the middle of the block opening the corners for better interaction with its surroundings. The building incorporates several cantilevered slabs and metal sunshades extruding from the building creating a horizontal language intersected at strategic points by vertical elements like round columns and walls accentuated in primary colors. The modular design allows for the extrusion elements generating spaces like the exterior play area and the exterior staircases. In addition, the covered vehicular drive-thru drop-off area for students has been created by subtracting the bottom part of the building mass while leaving the top part as classroom spaces.*



4. **Landscaping.** Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

*R/: The property which encompasses the whole block, has been redesigned at the site plan level introducing large landscaped spaces around the whole perimeter accentuating areas along the main streets. The design also introduces several new landscaped islands around the parking lot meeting code and creating a smooth transition between the building and the street. Native species have been used around the whole property accentuating strategic areas and blending in with preserved trees embellishing the whole block and bringing the whole community to a new improved standard.*

These items are considered according to quasi-judicial procedures.

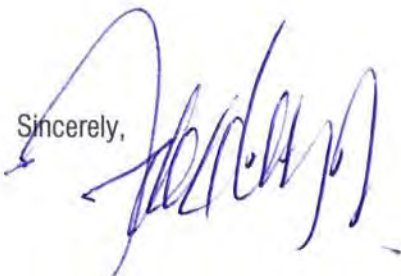
#### QUASI-JUDICIAL

The application regarding your property has been interpreted by Florida courts to be quasi-judicial in nature. This means that the City's decision is to be supported by competent, substantial evidence in the record regarding your application. In quasi-judicial procedures all witnesses are sworn in, subject to cross-examination, and the applicant, the City and any other interested party (e.g. a neighbor) are allowed opening and closing statements. However, the City's adopted quasi-judicial procedures allow you to waive this process and have your application heard and

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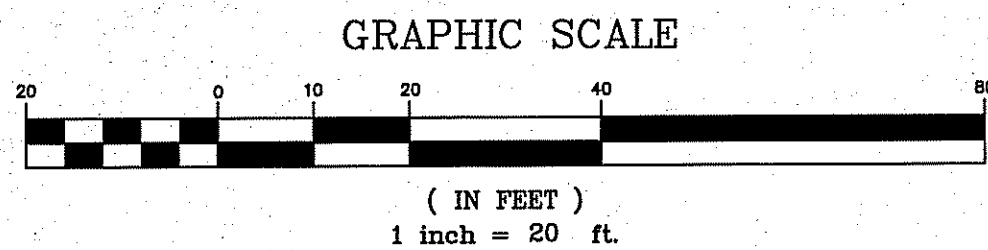
**End of Statement**

Sincerely,



Frank Costoya, Jr., A.I.A., NCARB  
Architect of Record - President  
Frank Costoya Architect, P.A.





**TREE SYMBOLS**

- INDICATES DIAMETER± (D.B.H.)
- ACACIA
  - BLACK OLIVE
  - BUSH OR SHRUB
  - OAK TREE
  - SEA GRAPE
  - UNKNOWN TREE

**TITLE NOTES:**

There are no easements, road reservations or rights of way of record affecting this property per Ownership and Encumbrance Report issued by Attorney's Title Fund Services, LLC, dated November 17, 2017 at 11:00 PM.

Notes corresponding to Special Exceptions in the above referenced Ownership and Encumbrance Report:

- Matters per Plat Book 1, Page 26, B.C.R. affect this property and as shown.
- Easement per Official Records Book 4517, Page 374, B.C.R. affects this property and as shown.
- Ordinance No. 2005-19 per O.R. 40082, Page 1789, B.C.R. affects this property (no easements contained therein).  
Ordinance No. 2005-18 per O.R. 40082, Page 1783, B.C.R. affects this property (no easements contained therein).  
Ordinance No. 2002-61 per O.R. 34145, Page 1891, B.C.R. affects this property (Property is not delineated as containing Wetlands).  
Ordinance No. 78 per O.R. 8136, Page 244, B.C.R. affects this property (no easements contained therein).
- Resolution per O-7-50025, Official Records Book 50025, Page 1835 and Instrument Number 113284742, B.C.R. affects this property (nothing plottable).

**NOTES:**

- This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.
- Underground improvements if any not located.
- This drawing is not valid unless sealed with an embossed surveyors seal.
- Boundary survey information does not infer Title or Ownership.
- All iron rods 5/8", unless otherwise noted.
- Reference Bench Mark: City of Hollywood Benchmark-Box Cut @ P.I. of conc. sidewalk @ NW corner of 24th Ave & Van Buren Street. Elev.=12.12(NGVD 29) converted to 10.52(NAVD 83).
- Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: Elev. = 11.85
- This property lies in Flood Zone "X". Elev.=0.28' Annual Chance of Flood Hazard Per Flood Insurance Rate Map No. 12011C0569 H Dated: August 16, 2014. Community Panel No. 125113.

**OFFICE NOTES**

FIELD BOOK NO. TD5, LB# 311/23, Print

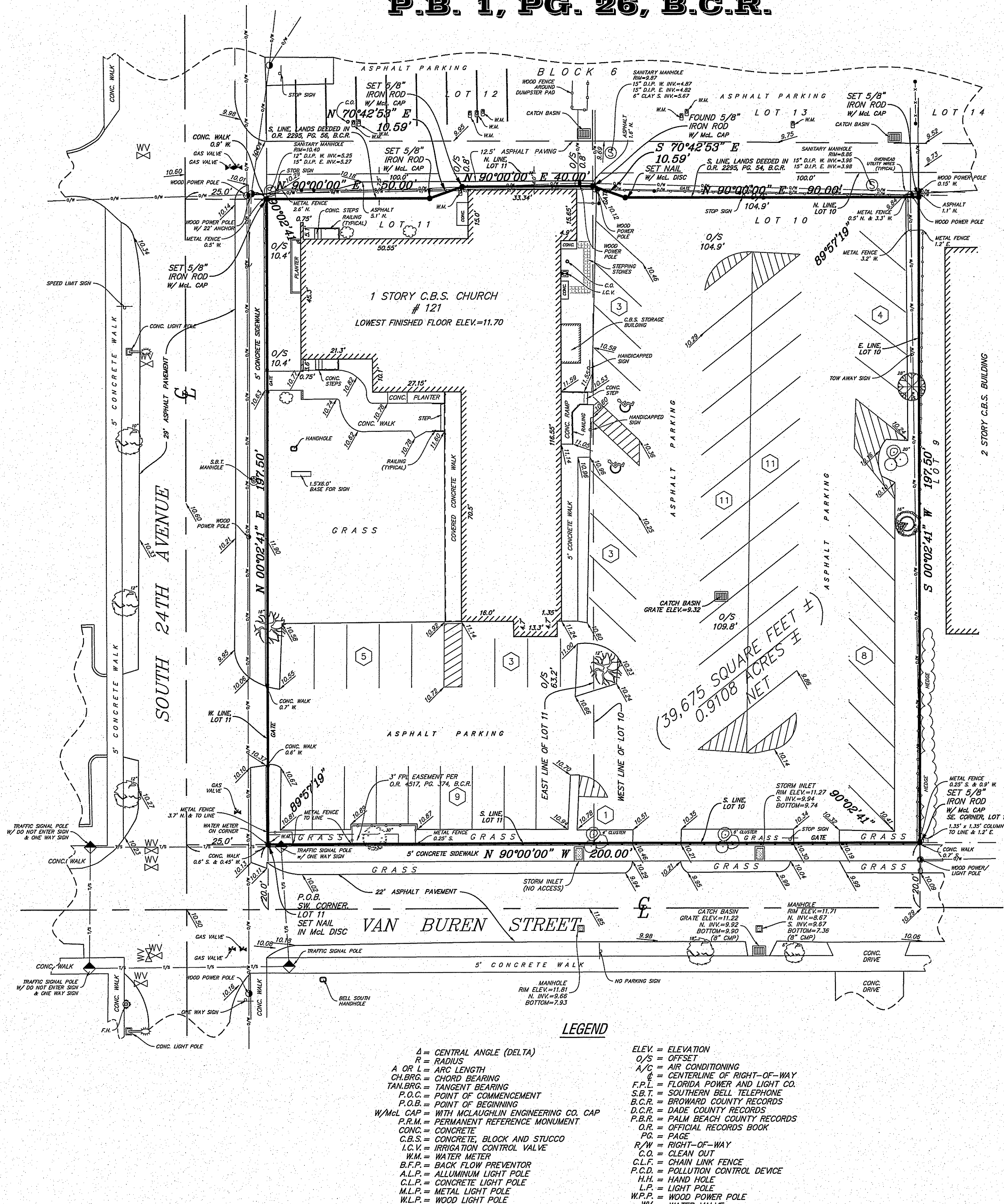
JOB ORDER NO. U-7193, V-2613

CHECKED BY: \_\_\_\_\_

DRAWN BY: RDR, EAJ, RT

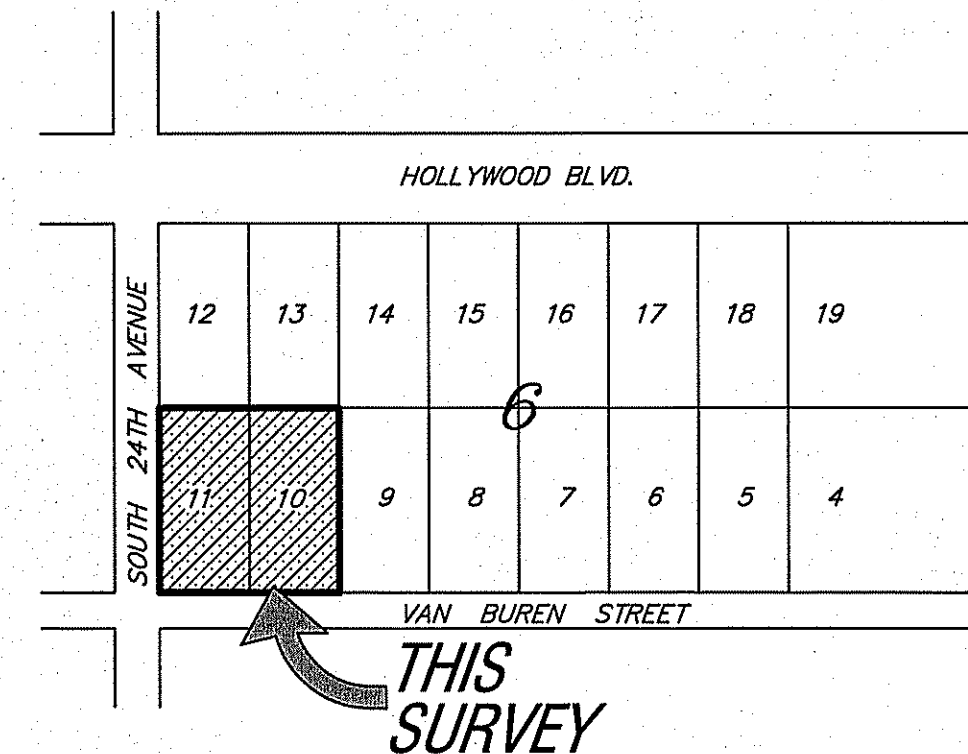
# RECORD LAND SURVEY

## Lots 10 and 11, Block 6, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES P.B. 1, PG. 26, B.C.R.



**LEGEND**

- A = CENTRAL ANGLE (DELTA)  
R = RADIUS  
A OR L = ARC LENGTH  
CH.BRG = CHORD BEARING  
TAN.BRG = TANGENT BEARING  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
W/MAL CAP = WITH McLAUGHLIN ENGINEERING CO. CAP  
P.R.M. = PERMANENT REFERENCE MONUMENT  
CONC. = CONCRETE  
C.B.S. = CONCRETE, BLOCK AND STUCCO  
I.C.V. = IRRIGATION CONTROL VALVE  
W.M. = WATER METER  
B.F.P. = BACK FLOW PREVENTOR  
A.L.P. = ALUMINUM LIGHT POLE  
C.L.P. = CONCRETE LIGHT POLE  
M.L.P. = METAL LIGHT POLE  
W.L.P. = WOOD LIGHT POLE
- ELEV. = ELEVATION  
O/S = OFFSET  
A/C = AIR CONDITIONING  
C = CENTERLINE OF RIGHT-OF-WAY  
F.P. = FLORIDA POWER AND LIGHT CO.  
S.B.T. = SOUTHERN BELL TELEPHONE  
B.C.R. = BROWARD COUNTY RECORDS  
D.C.R. = DADE COUNTY RECORDS  
P.B.C. = PALM BEACH COUNTY RECORDS  
O.R. = OFFICIAL RECORDS BOOK  
PG. = PAGE  
R/W = RIGHT-OF-WAY  
C.O. = CLEAN OUT  
C.L.F. = CHAIN LINK FENCE  
P.C.D. = POLLUTION CONTROL DEVICE  
H.H. = HAND HOLE  
L.P. = LIGHT POLE  
W.P.P. = WOOD POWER POLE  
WV = WATER VALVE



**Location Sketch**  
Not To Scale

**Legal Description**

That portion of Lots 10 and 11, Block 6, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, according to the plat thereof as recorded in Plat Book 1, Page 26 of the public records of Broward County, Florida, lying South of and adjacent to lands deeded to the City of Hollywood, Broward County Florida in Official Records Book 2295, Pages 54 and 56 of the public records of Broward County, Florida and being more fully described as follows:

Beginning at the Southwest corner of said Lot 11, thence North 00°02'41" East on the West line of said Lot 11, a distance of 197.50 feet to a point on the South line of said deeded lands; thence Easterly on the South line of said deeded lands in Official Records Book 2295, Pages 54 and 56 of the public records of Broward County, Florida the following Five (5) courses and distances; thence North 90°00'00" East, on a line 7.50 feet South of and parallel with the North line of said Lot 11, a distance of 50.00 feet; thence North 70°42'53" East, a distance of 10.59 feet; thence North 90°00'00" East on a line 4.00 feet South of and parallel with the North line of said Lot 11, a distance of 40.00 feet; thence South 70°42'53" East, a distance of 10.59 feet; thence North 90°00'00" East on a line 7.50 feet South of and parallel with the North line of said Lot 10, a distance of 90.00 feet to a point on the East line of said Lot 10 and the point of termination of said Five (5) courses and distances; thence South 00°02'41" West on the said East line of Lot 10, a distance of 197.50 feet to the Southeast corner of said Lot 10; thence North 90°00'00" West on the South line of said Lots 10 and 11, a distance of 200.00 feet to the Point of Beginning.

Said lands situate lying and being in the City of Hollywood, Broward County, Florida And containing 39,675 square feet or 0.9108 acres more or less.

**CERTIFICATION**

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 7th day of March, 2012.  
Inwitness added South of property this 25th day of August, 2017.  
Revised title commitment notes and legal description this 28th day of November, 2017.

**McLAUGHLIN-ENGINEERING COMPANY**

JERALD A. McLAUGHLIN  
Registered Land Surveyor No. 5269  
State of Florida.

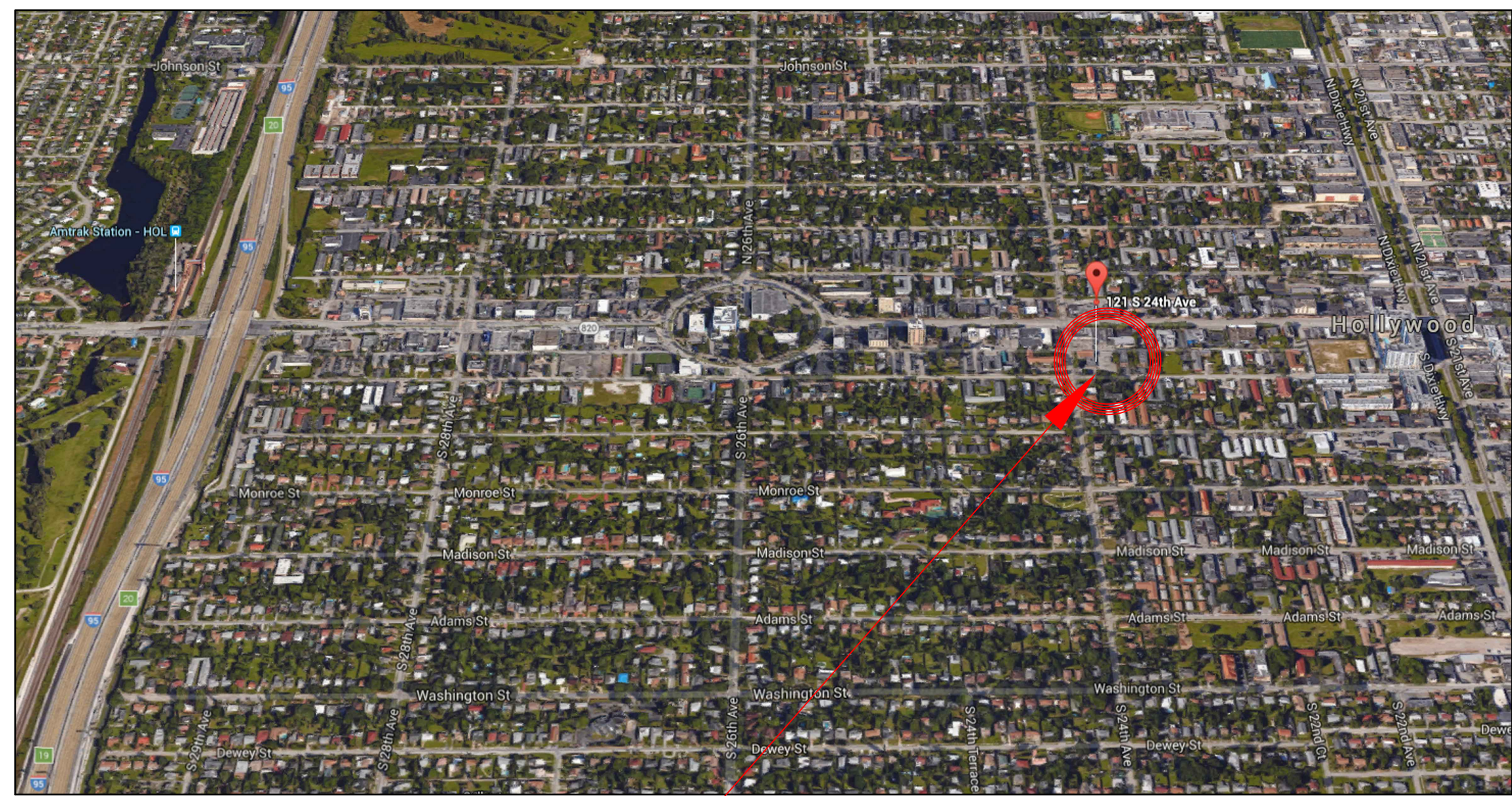
FILE NO.: **12-3-017(17)**



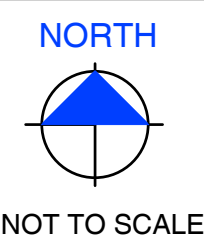
Site Plan Approval Documents for:  
Existing Church Renovations and New Two Story Charter School Building for:  
**FAITH and LIFE FELLOWSHIP MINISTRIES, INC.**  
**AND**  
**ALPHA INTERNATIONAL ACADEMY**  
**CHARTER SCHOOL**

121 SOUTH 24TH AVENUE  
HOLLYWOOD, FLORIDA 33020  
BROWARD COUNTY

- OCCUPANCY TYPE "A-3" - "PLACES OF RELIGIOUS WORSHIP" AND "E" - "EDUCATIONAL" •
- TYPE III B CONSTRUCTION • EXPOSURE C •
- FULLY SPRINKLERED BUILDING •



**PROJECT LOCATION**  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, FLORIDA 33020  
BROWARD COUNTY



- CITY OF HOLLYWOOD FILE No. 16-DP-44 •
- **PLANNING & DEVELOPMENT BOARD** •
- SUBMITTAL MEETING DATE •
- JANUARY 16th, 2018 •

**FCA**  
**FRANK COSTOYA ARCHITECT. P.A.**

Architecture • Land Planning  
Member of the American Institute of Architects  
Member of the American Planning Association  
Member of the Urban Land Institute  
Member of the National Council of Architectural Registration Board  
AR0012198 • AA26000696

600 N. Pine Island Road - Suite 175  
Lakeside Office Center  
Plantation, FL 33324  
Telephone: 954.680.4440 • Facsimile: 954.680.4441  
E.mail: frank@fcarchitect.com

**CONSULTANTS**

**LANDSCAPE ARCHITECTURE**

M.L.A. Group Inc.  
Landscape & Irrigation Design  
Scott Mc Clure, R.L.A.  
1016 Northeast 45th Street  
Oakland Park, Florida 33334  
Off: 954 763 4071 Fax: 954 639 9668  
E mail: mlagroupinc@yahoo.com

**M.E.P ENGINEERING**

P.M.E. Engineering  
Carlos Morales, Robert Germain, P.E.  
5230 South University Drive  
Suite 101  
Town of Davie, FL 33328  
Off: 954 680 3166 Fax: 954 680 9266  
E mail: cm\_pme@bellsouth.net

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**OWNER**

**PROJECT OWNER / DEVELOPER**

Faith and Life Fellowship Ministries, Inc.  
Ministry Representatives:  
Bishop Hamilton Taitt  
Rev. Vincent S. Joseph  
Rev. Ethelence Taitt  
121 South 24th Avenue  
Hollywood, FL 33020  
Ph: 954 922 5422  
Email: church@flfm.org

**CONSULTANTS**

**CIVIL ENGINEER / SURVEYOR**

McLaughlin Engineering Company  
Lou Campanile  
1700 N.W. 64th Street  
Suite 400  
Fort Lauderdale, FL 33309  
Ph: 954 763 7611  
Email: Lou@meco400.com

**STRUCTURAL ENGINEERING**

PLF Structural Engineers  
Structural Engineering  
Pedro L. Fiallo, P.E.  
4960 SW 52nd Street, Suite #407  
Town of Davie, FL 33314  
Off: 954 533 3237 Fax: 954 533 2117



VICINITY / LOCATION MAP

PROJECT LOCATION  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, FLORIDA 33020  
BROWARD COUNTY

NORTH

NOT TO SCALE

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FA

FIRE ALARM

FP

FIRE SPRINKLER

SITE / BUILDING DATA

1. PROPERTY ADDRESS

PROPERTY ADDRESS:  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, FLORIDA 33020  
BROWARD COUNTY

2. FOLIO NUMBER

5142 16 01 2840

3. LEGAL DESCRIPTION:

SEE SURVEY FOR COMPLETE LEGAL DESCRIPTION

4. OWNER:

FAITH AND LIFE FELLOWSHIP MINISTRIES, INC.

5. OWNER ADDRESS:

OWNER ADDRESS:  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, FLORIDA 33020  
BROWARD COUNTY

6. ZONE: FEMA FLOOD INFORMATION:

X (0.2% ANNUAL CHANCE OF FLOOD HAZARD)  
WITH A FLOOD ELEVATION OF: N/A  
FLOOD INSURANCE RATE MAP NO. 12000C0569-H  
DATE: AUGUST 18, 2014  
COMMUNITY PANEL NO.: 125113  
INDEX MAP DATED: AUGUST 18, 2014

7. LAND USE DESIGNATION:

LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER (RAC)

8. ZONING DESIGNATION:

ZONING: TC-1 (TRANSITIONAL CORE)

9. EXISTING USE OF LAND:

EXISTING USE OF LAND: PLACE OF WORSHIP/ SCHOOL

10. WATER/ WASTEWATER SERVICE PROVIDER:

WATER/WASTEWATER SERVICE PROVIDER: CITY OF HOLLYWOOD

11. PROPERTY AREA:

OVERALL PROPERTY AREA (GROSS): EXISTING GROSS AREA 39,675 SQ. FT. OR 0.9108 ACRES  
134 S.F. PROPOSED R.O.W. DEDICATION  
NEW GROSS AREA IS 39,541 SQ. FT. OR 0.9108 ACRES

12. BUILDING AREAS:

NOTE: BUILDING AREAS INCLUDE OUTSIDE FACE TO OUTSIDE FACE OF BUILDINGS. IT DOES NOT INCLUDE EXTERIOR CORRIDORS, STAIRS.

EXISTING BUILDING AREAS:  
EXISTING CHURCH 4,022 G.S.F.  
EXISTING COMMON LOBBY AREA 196 G.S.F.  
EXISTING CLASSROOM BUILDING (5 CLASSROOMS) 2,031 G.S.F.  
TOTAL EXISTING BUILDING AREAS 6,249 G.S.F.

EXISTING DEMOLITION BUILDING AREAS:  
EXISTING CHURCH 584 G.S.F.  
EXISTING COMMON LOBBY AREA 196 G.S.F.  
EXISTING CLASSROOM BUILDING 2,031 G.S.F.  
TOTAL DEMOLITION BUILDING AREA 2,811 G.S.F.

PROPOSED BUILDING AREAS:  
EXISTING CHURCH TO REMAIN (RENOVATED) 3,436 G.S.F.  
NEW CHURCH'S COVERED ENTRY 393 G.S.F.  
NEW CLASSROOM BUILDING GROUND FLOOR 5,887 G.S.F.  
NEW CLASSROOM BUILDING SECOND FLOOR 9,392 G.S.F.  
NEW COVERED PLAY AREA 716 G.S.F.  
TOTAL PROPOSED (NEW-EXISTING) BUILDING AREA 19,824 G.S.F.

13. OCCUPANT LOAD CALCULATIONS:

NOTE: BOTH BUILDING WILL NOT BE IN USE AT THE SAME TIME.

EXISTING CONDITIONS CHURCH & SCHOOL:  
CHURCH (FBC - MEANS OF EGRESS - TABLE 1004.1.2) 230 PERSONS  
NUMBER OF STUDENTS 90 PERSONS  
NUMBER OF TEACHERS 4 PERSONS  
NUMBER OF STAFF 7 PERSONS  
TOTAL OCCUPANT LOAD 316 PERSONS

NEW PROPOSED:  
CHURCH 230 PERSONS  
NUMBER OF STUDENTS: 6 x 18 = 108  
3-5 (22/CLASS) 6 x 22 = 132  
NUMBER OF TEACHERS (1 TEACHER PER 25 STUDENTS) 12 PERSONS  
NUMBER OF STAFF 12 PERSONS  
TOTAL OCCUPANT LOAD 479 PERSONS

14. PARKING REQUIREMENTS:

REQUIRED: (MINIMUM)  
CHURCH: 1 SPACE PER 60 S.F. 1,690 SF/ 60 = 28 SPACES  
CLASSROOM: 1 SPACE PER TEACHER/ STAFF 24 PERSONS = 24 SPACES  
REQUIRED SPACES: 28 PARKING SPACES REQUIRED (CHURCH AND CLASSROOMS NOT USED AT THE SAME TIME. SEE HOURS OF OPERATION)

HANDICAPPED PARKING: (FBC-ACCESSIBILITY 2014 - TABLE 208.2)  
26-50 TOTAL SPACES PROVIDED: 2 HANDICAP PARKING SPACES REQUIRED

PROVIDED:  
HANDICAP: 2 HANDICAP PARKING SPACES PROVIDED  
STANDARD: 33 PARKING SPACES PROVIDED  
TOTAL PROVIDED PARKING SPACES: 35 PARKING SPACES PROVIDED

NOTE: SCHOOL AND CHURCH HAVE OPPOSITE HOURS/ DAYS OF OPERATION AND WILL NOT OPERATE AT THE SAME TIME. PLEASE REFER TO "PROPOSED HOURS OF OPERATION"

15. PROPOSED HOURS OF OPERATION:

SCHOOL  
SCHOOL HOURS: 7:00 A.M. - 3:00 P.M. MONDAY - FRIDAY  
\*\*NOTE: DROP OFF IN THE MORNINGS AND PICK UP IN THE AFTERNOONS WILL BE STAGGERED BY AN HOUR, GRADES K-2 & 3-5.  
AFTER SCHOOL HOURS: 3:00 P.M. - 6:00 P.M. MONDAY - FRIDAY  
SANCTUARY  
SANCTUARY HOURS: 7:00 A.M. - 3:00 P.M. SATURDAY - SUNDAY

16. NUMBER OF STORIES:

EXISTING: ONE (1) STORY  
PROPOSED: TWO (2) STORIES  
BUILDING HEIGHT TOP OF PARAPET 35' - 0"

17. SETBACK TABLE:

A. BUILDING SITE  
\*\*AS PER THE CITY OF HOLLYWOOD LAND DEVELOPMENT REGULATIONS, ARTICLE 4, SETBACK REQUIREMENTS MAIN STRUCTURE RM-25, SECTION 4.2, C, (2), (1) PEDESTAL.  
REQUIRED: (MINIMUM)  
A. FRONT (SOUTH) (VAN BUREN STREET): 25'-0"  
B. SIDE/INTERIOR (EAST): 50'-0" (NOT < 10'-0")  
25% LOT WIDTH (NOT > 50'-0") (NOT < 10'-0")  
C. SIDE/STREET (WEST) (SOUTH 24TH AVENUE): 15'-0" MIN  
D. REAR (2 STORY OR HIGHER) (NORTH) (ALLEYWAY): 30'-0"  
15% LOT WIDTH (20'-0" MIN) (50'-0" MAX)  
EXISTING:  
A. FRONT (SOUTH) (VAN BUREN STREET): 63'-2"  
B. SIDE / INTERIOR (EAST): VARIES SEE EXIST.  
C. SIDE / STREET (WEST) (SOUTH 24TH AVENUE)(EXISTING CHURCH): 10'-5"  
D. REAR (2 STORY OR HIGHER) (NORTH) (ALLEYWAY)(EXISTING CHURCH): 10'  
PROVIDED:  
A. FRONT (SOUTH) (VAN BUREN STREET): 68'-5"  
B. SIDE / INTERIOR (EAST): 55'-0"  
C. SIDE / STREET (WEST) (SOUTH 24TH AVENUE): 10'-0"  
D. REAR (2 STORY OR HIGHER) (NORTH) (ALLEYWAY): 10'

B. PARKING  
\*\*AS PER THE CITY OF HOLLYWOOD LAND DEVELOPMENT REGULATIONS, ARTICLE 4, AT GRADE PARKING LOTS, SECTION 4.22, I, (2), (b) GREATER THAN 150'-0" LOT WIDTH/DEPTH.  
\*\*LANDSCAPE SETBACKS FOR AT GRADE PARKING LOTS WITH GREATER THAN 150'-0" LOT WIDTH/DEPTH  
REQUIRED: (MINIMUM)  
A. FRONT (SOUTH) (VAN BUREN STREET): 10'-0"  
B. SIDE (EAST): 10'-0"  
C. REAR (NORTH) (ALLEYWAY): 10'-0"  
EXISTING:  
A. FRONT (SOUTH) (VAN BUREN STREET): 3'-6"  
B. SIDE (EAST): 3'-5"  
C. REAR (NORTH) (ALLEYWAY): 10'-5"  
PROVIDED:  
A. FRONT (SOUTH) (VAN BUREN STREET): 7'-5"  
B. SIDE (EAST): 10'-0"  
C. REAR (NORTH) (ALLEYWAY): VARIES

18. GREEN AREA:

EXISTING LANDSCAPE GREEN AREA: 5,742 S.F. OR 14%  
PROVIDED NEW LANDSCAPE GREEN AREA: 7,920 S.F. OR 20%

19. NET AREA BREAKDOWN:

EXISTING:  
EXISTING CHURCH / SCHOOL BUILDING FOOTPRINT 6,250 S.F. OR 16%  
GREEN AREA 5,742 S.F. OR 15%  
FLATWORK / SIDEWALKS / CURBING 1,807 S.F. OR 4%  
PLAYGROUND 895 S.F. OR 2%  
VEHICULAR PAVEMENT (ASPHALT / CONCRETE) 25,181 S.F. OR 63%  
TOTAL NET LAND AREA 39,675 S.F. OR 100%

PROVIDED:  
EXISTING CHURCH BUILDING FOOTPRINT TO REMAIN 3,436 S.F. OR 8%  
NEW CHURCH COVERED ENTRY 393 S.F. OR 1%  
NEW SCHOOL BUILDING FOOTPRINT (INCL. STAIRS) 6,018 S.F. OR 15%  
NEW COVERED PLAY AREA 716 S.F. OR 2%  
NEW GREEN AREA 7,920 S.F. OR 20%  
NEW FLATWORK / SIDEWALKS / DUMPSTER PADS / CURBING 5,345 S.F. OR 13%  
NEW SITE WALLS / SITE ELEMENTS 102 S.F. OR 1%  
NEW VEHICULAR PAVEMENT (ASPHALT / CONCRETE) 15,941 S.F. OR 40%  
TOTAL NET LAND AREA 39,541 S.F. OR 100%  
(INCL. DEDUCTION OF PROPOSED 134 S.F. RIGHT-OF-WAY DEDICATION)

20. FLOOR TO AREA RATIO (TC-1 ZONING)

MAXIMUM F.A.R. 1.50  
REQUIRED: 39,541 S.F. @ 1.50 = 26,360 S.F.  
PROVIDED: 19,824 S.F.

GREEN BUILDING PRACTICES AS STATED IN ORDINANCE 0-2011-06 WITH WHICH WE COMPLY:  
1) 151.152 COMMERCIAL GREEN BUILDING PRACTICES: (B) RECYCLING. A DEDICATED AREA FOR COLLECTING RECYCLED MATERIALS THAT IS ACCESSIBLE TO ALL OCCUPANTS MUST BE PROVIDED. THIS CAN BE INTERNAL OR EXTERNAL BUT MUST BE SHOWN ON PLANS AND VERIFIED BY PLANS EXAMINER AT PERMIT REVIEW AND BY BUILDING INSPECTOR AT FINAL INSPECTION.  
SHALL COMPLY WITH AND PARTICIPATE IN THE CITY OF HOLLYWOOD'S RECYCLING PROGRAM.  
RECYCLE BIN PROVIDED WITHIN DUMPSTER ENCLOSURE.  
2) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (A) CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER.  
CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER SHALL BE PROVIDED.  
3) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (D) ENERGY EFFICIENT LOW V. WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC.  
WINDOWS SHALL BE LOW E.  
4) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (E) ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.  
DOORS SHALL BE ENERGY EFFICIENT.  
5) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (G) ENERGY STAR APPROVED ROOFING MATERIALS.  
ROOFING MATERIALS ARE ENERGY STAR RATED. PLEASE REFER TO ROOFING SPECIFICATIONS.  
6) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (H) PROGRAMMABLE THERMOSTATS.  
ALL THERMOSTATS PROVIDED SHALL BE PROGRAMMABLE.  
7) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (P) AT LEAST 80% OF PLANTS, TREES, AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION). LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION.  
LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.  
100% OF THE LANDSCAPING MEETS THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS.  
8) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (Q) ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. SUGGESTED LIGHTS FOR OUTDOOR SPACES INCLUDE FLUORESCENT BULBS AND FIXTURES WITH ELECTRONIC BALLASTS (MORE EFFICIENT THAN MAGNETIC TYPES), LOW PRESSURE SODIUM OR MERCURY VAPOR, PHOTOVOLTAGE SYSTEMS, LED LIGHTING AND LOW VOLTAGE LANDSCAPE LIGHTS THAT RUN ON A TIMER. ALL ENERGY-EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY ELECTRICAL INSPECTOR AT FINAL INSPECTION.  
OUTDOOR LIGHTING SHALL BE ENERGY-EFFICIENT.  
9) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (R) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THEN STANDARD ESTABLISHED BY ASHRAE (LATEST EDITION). CALCULATIONS SHALL BE SUBMITTED WITH PERMIT APPLICATION.  
ENERGY PERFORMANCE SHALL BE AT LEAST 10% MORE EFFICIENT THEN STANDARDS OF ASHRAE.  
10) 151.153 RESIDENTIAL AND COMMERCIAL GREEN BUILDING PRACTICES (APPROVED FOR EITHER CATEGORY): (T) ALL HOT WATER PIPES INSULATED. ALL HOT WATER PIPES SHALL HAVE A MINIMUM OF 1" INSULATION, INCLUDING BURIED PIPES. (CIVIC IS NOT A SUITABLE REPLACEMENT FOR INSULATION). ALL HOT WATER PIPES INSULATED SHALL BE SHOWN ON PLANS AND VERIFIED BY PLUMBING INSPECTOR ON SITE AT FINAL INSPECTION.  
ALL HOT WATER PIPES HAVE A MINIMUM OF 1/2" INSULATION.

Revision type

Date

by

TAC COMMENTS

8/12/16

JP/RD

TAC COMMENTS

10/24/16

RD

TAC COMMENTS

10/11/17

JP/RD

TAC COMMENTS

11/10/17

JP

TO THE BEST OF THE ARCHITECT OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AT THE TIME OF THEIR PREPARATION AS DETERMINED BY THE LOCAL AUTHORITIES IN ACCORDANCE WITH SECTION 105 (F.B.C.) FLORIDA BUILDING CODE AND 633 FLORIDA STATUTES.

NOTE: AUTHENTIC COPIES OF THIS DOCUMENT SHALL BEAR THE SIGNATURE IN ORIGINAL AND THE RAISED SEAL OR STAMP OF THE ATTESTING ARCHITECT OR ENGINEER OF RECORD AND BE DATED.  
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FEA

FRANK COSTOYA ARCHITECT, P.A.

Architecture - Land Planning

5530 South University Drive - Suite 103

Deerfield, Florida 33326

Tel: (954) 680-4440 / Fax: (954) 680-4441

Member American Institute of Architects

AA26000696 - AR0012198

Project Title:

Site Plan Approval Documents for:  
Existing Church Renovations and New 2 Story Charter School Building for:  
FAITH AND LIFE FELLOWSHIP MINISTRIES, INC.  
AND  
ALPHA INTERNATIONAL ACADEMY  
CHARTER SCHOOL  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020

Drawing date:

OCTOBER 17, 2016

Drawn by: RKD / JP

Chkd by: FC

Drawing Scale:

NTS

Project Number:

FCA-1615

Sheet title:

VICINITY/ LOCATION MAP

LEGAL DESCRIPTION

INDEX

SITE & BLDG DATA

Seal/Signature:

FRANK COSTOYA, JR., A.I.A.  
FL. REG. NO. AR0012198

Date:

Sheet Number:

D-1

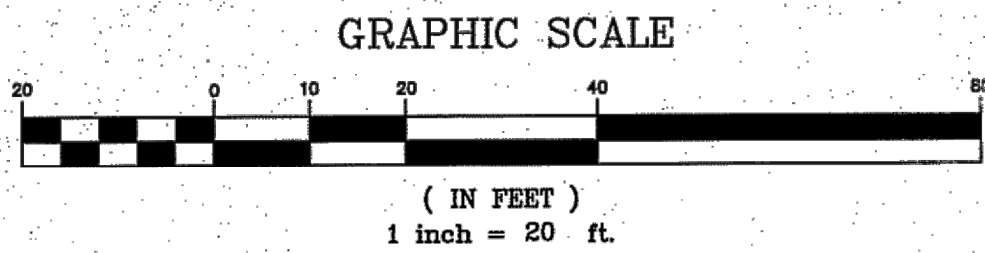
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of sheets





prepared by:  
McLAUGHLIN ENGINEERING COMPANY (LB#285)  
1700 N.W. 64th STREET, SUITE 400,  
FORT LAUDERDALE, FLORIDA, 33309  
PHONE: (954) 763-7611 FAX: (954) 763-7615



#### TREE SYMBOLS

- INDICATES DIAMETER± (D.B.H.)
- ACACIA
  - BLACK OLIVE
  - BUSH OR SHRUB
  - OAK TREE
  - SEA GRAPE
  - UNKNOWN TREE

#### NOTE NOTES:

There are no easements, road reservations or rights of way of record affecting this property per Ownership and Encumbrance Report issued by Attorney's Title Fund Services, LLC, dated November 17, 2017 at 11:00 PM.

Notes corresponding to Special Exceptions in the above referenced Ownership and Encumbrance Report:

- Matters per Plot Book 1, Page 26, B.C.R. affect this property and as shown.
- Easement per Official Records Book 4517, Page 374, B.C.R. affects this property and as shown.
- Ordinance No. 2005-19 per O.R. 40082, Page 1789, B.C.R. affects this property (no easements contained therein).
- Ordinance No. 2005-19 per O.R. 40082, Page 1783, B.C.R. affects this property (no easements contained therein).
- Ordinance No. 2005-51 per O.R. 34143, Page 1891, B.C.R. affects this property (Property is not delineated as containing Wetlands).
- Ordinance No. 76 per O.R. 8136, Page 244, B.C.R. affects this property (no easements contained therein).
- Resolution per O-7-20025, Official Records Book 50025, Page 1835 and Instrument Number 113294742, B.C.R. affects this property (nothing plottable).

#### NOTES:

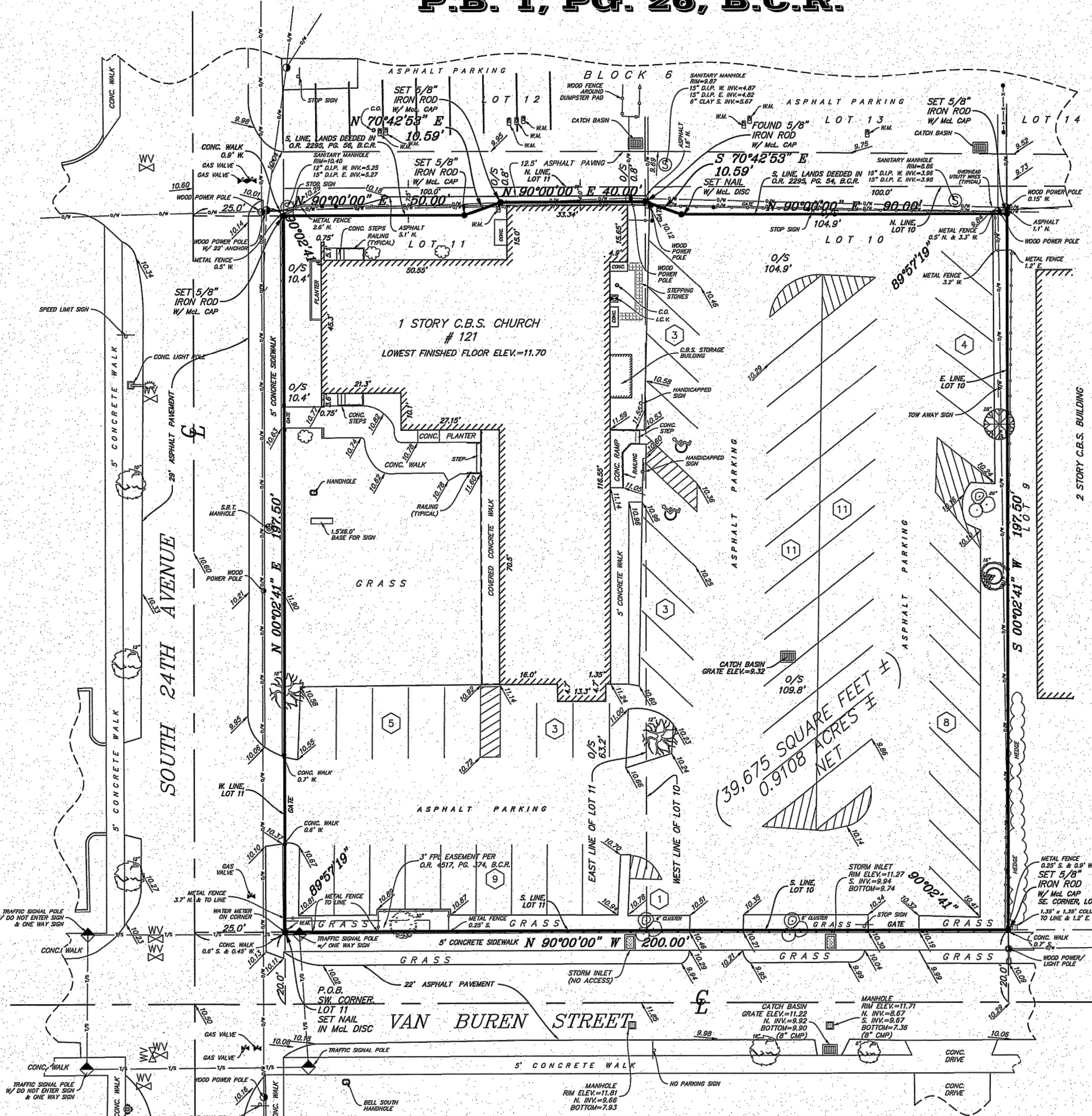
- This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- Underground improvements if any not located.
- This drawing is not valid unless sealed with an embossed surveyor's seal.
- Boundary survey information does not infer Title or Ownership.
- All iron rods 5/8", unless otherwise noted.
- Reference Bench Mark: City of Hollywood Benchmark-Box Cut @ P.I. of conc. sidewalk @ NW corner of 24th Ave & Van Buren Street. Elev.=12.12(NGVD 29) converted to 10.82(MAD 88).
- Elevations shown, refer to North American Vertical Datum (1988), and are indicated thus:  $\Delta$ , Elev. = 11.85.
- This property lies in Flood Zone "X", Elev.=0.2% Annual Chance of Flood Hazard Per Flood Insurance Rate Map No. 12011C0269 H Dated: August 18, 2014. Community Panel No. 12513.

#### OFFICE NOTES

FIELD BOOK NO. TDS, LB# 311/23, Print  
JOB ORDER NO. U-7183, V-2913  
CHECKED BY: \_\_\_\_\_  
DRAWN BY: ROR, EJJ, RT

## RECORD LAND SURVEY

**Lots 10 and 11, Block 6,  
AMENDED PLAT OF HOLLYWOOD  
LITTLE RANCHES  
P.B. 1, PG. 26, B.C.R.**

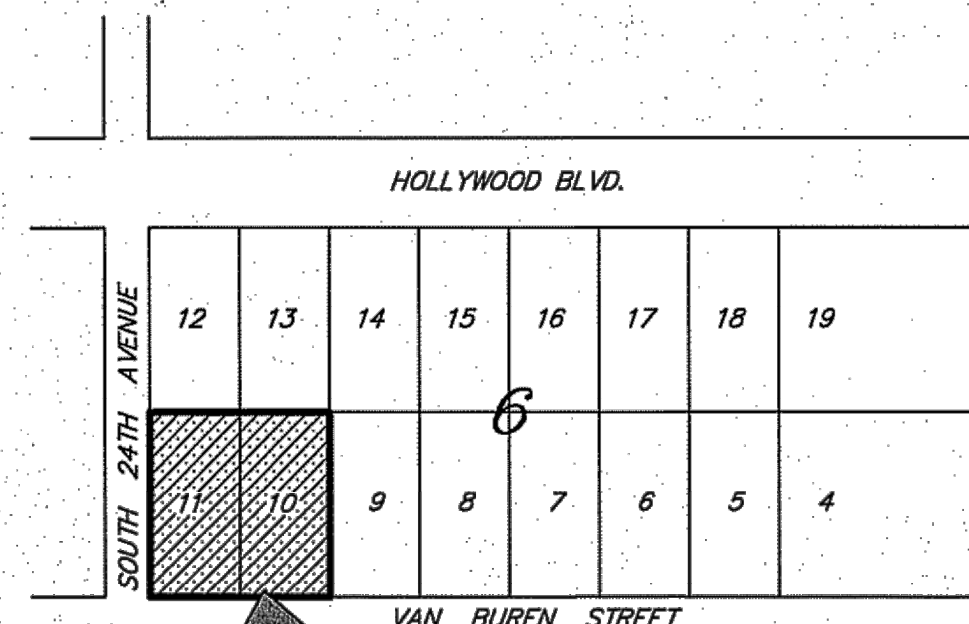


#### LEGEND

- Δ = CENTRAL ANGLE (DELTA)  
R = RADIUS  
A OR L = ARC LENGTH  
C.B.R.G. = CHORD BEARING  
TAN.BRG. = TANGENT BEARING  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
W/M.L. CAP = WITH McLAUGHLIN ENGINEERING CO. CAP  
P.R.M. = PERMANENT REFERENCE MONUMENT  
CONC. = CONCRETE  
C.B.S. = CONCRETE BLOCK AND STUCCO  
I.C.V. = IRRIGATION CONTROL VALVE  
W.M. = WATER METER  
B.C.P. = BACK FLOW PREVENTOR  
A.L.P. = ALUMINUM LIGHT POLE  
C.L.P. = CONCRETE LIGHT POLE  
M.L.P. = METAL LIGHT POLE  
W.L.P. = WOOD LIGHT POLE
- ELEV. = ELEVATION  
O/S = OFFSET  
A/C = AIR CONDITIONING  
C.C. = CENTERLINE OF RIGHT-OF-WAY  
F.P.L. = FLORIDA POWER AND LIGHT CO.  
S.B.T. = SOUTHERN BELL TELEPHONE  
B.C.R. = BROWARD COUNTY RECORDS  
D.C.R. = DADE COUNTY RECORDS  
P.B.R. = PALM BEACH COUNTY RECORDS  
O.R. = OFFICIAL RECORDS BOOK  
P.R. = PACE  
R/W = RIGHT-OF-WAY  
C.D. = CLEAN OUT  
C.L.F. = CHAIN LINK FENCE  
P.C.D. = POLLUTION CONTROL DEVICE  
H.H. = HAND HOLE  
L.P. = LIGHT POLE  
W.P.A. = WOOD POWER POLE  
W.V. = WATER VALVE

FILE NO.:

12-3-017(17)



Location Sketch  
Not To Scale

#### Legal Description

That portion of Lots 10 and 11, Block 6, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, according to the plat thereof as recorded in Plat Book 1, Page 26 of the public records of Broward County, Florida, lying South of and adjacent to lands deeded to the City of Hollywood, Broward County Florida in Official Records Book 2295, Pages 54 and 56 of the public records of Broward County, Florida and being more fully described as follows:

Beginning at the Southwest corner of said Lot 11, thence North 00°02'41" East on the West line of said Lot 11, a distance of 197.50 feet to a point on the South line of said deeded lands; thence Easterly on the South line of said deeded lands in Official Records Book 2295, Pages 54 and 56 of the public records of Broward County, Florida the following Five (5) courses and distances; thence North 90°00'00" East, on a line 7.50 feet South of and parallel with the North line of said Lot 11, a distance of 50.00 feet; thence North 70°42'53" East, a distance of 10.59 feet; thence North 90°00'00" East on a line 4.00 feet South of and parallel with the North line of said Lot 11, a distance of 40.00 feet; thence South 70°42'53" East, a distance of 10.59 feet; thence North 90°00'00" East on a line 7.50 feet South of and parallel with the North line of said Lot 10, a distance of 90.00 feet to a point on the East line of said Lot 10 and the point of termination of said Five (5) courses and distances; thence South 00°02'41" West on the said East line of Lot 10, a distance of 197.50 feet to the Southeast corner of said Lot 10; thence North 90°00'00" West on the South line of said Lots 10 and 11, a distance of 200.00 feet to the Point of Beginning.

Said lands situate lying and being in the City of Hollywood, Broward County, Florida, and containing 39,675 square feet or 0.9108 acres more or less.

#### CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 7th day of March, 2012.  
Inverts added South of property this 25th day of August, 2017.  
Revised title commitment notes and legal description this 28th day of November, 2017.

McLAUGHLIN-ENGINEERING COMPANY

JERALD A. McLAUGHLIN  
Registered Land Surveyor No. 5269  
State of Florida.

Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD
TAC COMMENTS	10/24/16	RD
TAC COMMENTS	10/11/17	JP/RD
TAC COMMENTS	11/10/17	JP

TO THE BEST OF THE ARCHITECT OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AT THE TIME OF THEIR PREPARATION AS DETERMINED BY THE LOCAL AUTHORITIES IN ACCORDANCE WITH SECTION 105 (F.S.C.) FLORIDA BUILDING CODE AND 633 FLORIDA STATUTES.

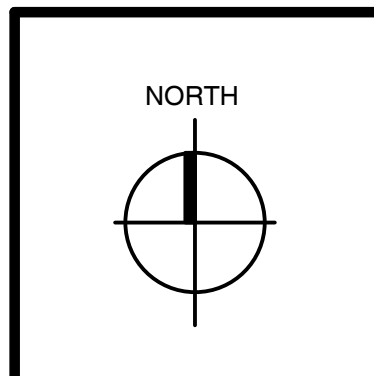
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AA26000696 - AR0012198

Project Title: Site Plan Approval Documents for:  
Existing Church Renovations and New 2 Story Charter School Building for:  
**FAITH AND LIFE FELLOWSHIP MINISTRIES, INC.**  
AND  
**ALPHA INTERNATIONAL ACADEMY  
CHARTER SCHOOL**  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020



Drawing date:  
OCTOBER 17, 2016  
Drawn by: RKD/JF  
Chkd by: FC  
Drawing Scale:  
1" = 20'-0"  
Project Number:  
FCA-1615

Sheet title:  
• ALTA SURVEY

Seal/Signature:  
FRANK COSTOYA, JR. A.I.A.  
FL. REG. NO. AR0012198  
Date:

Sheet Number:  
**SU-1**  
consecutive  
of sheets



1 SOUTH VIEW OF HOLLYWOOD BLVD. & SOUTH 24th AVE. INTERSECTION

6 NW VIEW OF SOUTH 24th AVE. & VAN BUREN ST. INTERSECTION

11 NW VIEW ALONG SOUTH 24th AVE. SOUTH OF VAN BUREN ST.

16 WEST VIEW ALONG VAN BUREN ST. (EAST OF ALPHA INTERNATIONAL ACADEMY)

18 EAST VIEW OF S. 29th TERRACE (NORTH SIDE OF FAITH & LIFE FELLOWSHIP MINISTRIES)

2 VIEW OF PARKING LOT @ CORNER OF SOUTH 24th AVE. & SOUTH 29th TERRACE

7 NE VIEW OF SOUTH 24th AVE. & VAN BUREN ST. INTERSECTION

12 EAST VIEW OF VAN BUREN ST. & S. 24th AVE. INTERSECTION (SOUTH OF ALPHA INTERNATIONAL ACADEMY)

17 WEST VIEW ALONG S. 29th TERRACE (NORTH OF FAITH & LIFE FELLOWSHIP MINISTRIES)

19 WEST VIEW OF S. 29th TERRACE (NORTH SIDE OF FAITH & LIFE FELLOWSHIP MINISTRIES)

3 SE VIEW @ SOUTH 24th AVE & SOUTH 29th TERRACE INTERSECTION (NW SIDE OF FAITH & LIFE FELLOWSHIP MINISTRIES)

8 SE VIEW OF S. 24th AVE. & VAN BUREN ST. INTERSECTION (SW CORNER OF ALPHA INTERNATIONAL ACADEMY)

13 EAST VIEW ALONG VAN BUREN ST. (SOUTH SIDE OF ALPHA INTERNATIONAL ACADEMY)

AERIAL VIEW KEYPLAN

4 SW VIEW OF SOUTH 24th AVE. & SOUTH 29th TERRACE INTERSECTION

9 SW VIEW OF SOUTH 24th AVE. & VAN BUREN ST. INTERSECTION

14 EAST VIEW OF VAN BUREN ST. INTERSECTION (SOUTH OF ALPHA INTERNATIONAL ACADEMY)

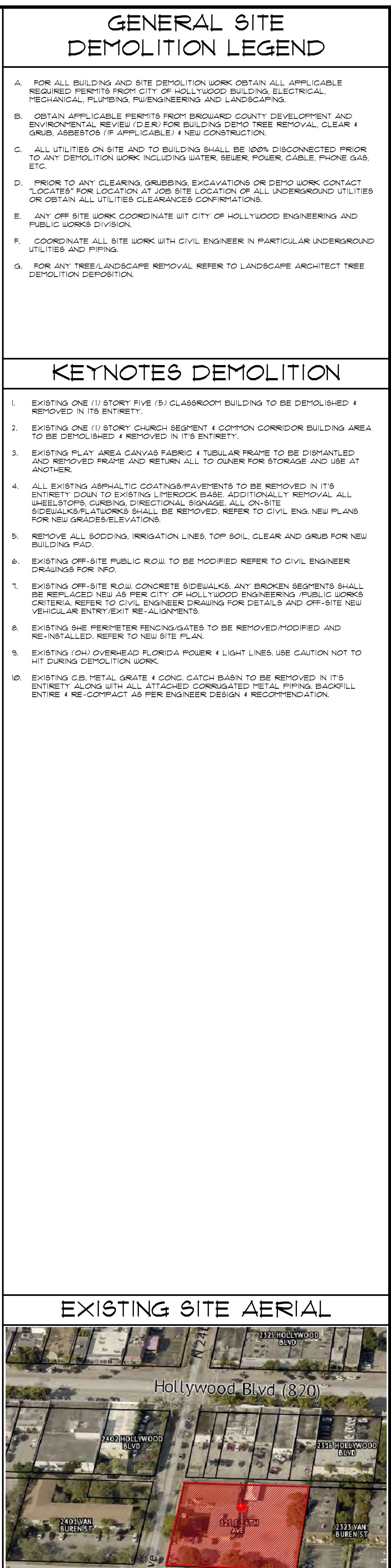
5 NE VIEW OF S. 24th AVE BETWEEN S. 29th Terr. & VAN BUREN ST. (WEST SIDE OF ALPHA INTERNATIONAL ACADEMY)

10 NORTH VIEW ALONG SOUTH 24th AVE. SOUTH OF VAN BUREN ST.

15 EAST VIEW ALONG VAN BUREN ST. (SOUTH OF ALPHA INTERNATIONAL ACADEMY)

<div>Revision type</div> <div><div>TAC COMMENTS</div><div>TAC COMMENTS</div><div>TAC COMMENTS</div><div>TAC COMMENTS</div></div>	<div>Date</div> <div><div>8/12/16</div><div>10/24/16</div><div>10/11/17</div><div>11/10/17</div></div>	<div>by</div> <div><div>JP/RD</div><div>RD</div><div>JP/RD</div><div>JP</div></div>	<div>TO THE BEST OF THE ARCHITECT OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AT THE TIME OF THEIR PREPARATION AS DETERMINED BY THE LOCAL AUTHORITIES IN ACCORDANCE WITH SECTION 105 (F.S.C.) FLORIDA BUILDING CODE AND 633 FLORIDA STATUTES.</div>	<div>NOTE: AUTHENTIC COPIES OF THIS DOCUMENT SHALL BEAR THE SIGNATURE IN ORIGINAL AND THE RAISED SEAL OR STAMP OF THE ATTESTING ARCHITECT OR ENGINEER OF RECORD AND BE DATED.</div> <div>ALL DESIGNS AND DETAILS INDICATED BY AND REPRESENTED BY THIS DRAWING ARE FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIED PROJECT. ALL DRAWINGS CONTAINED HEREIN ARE THE PROPERTY OF FRANK COSTOYA ARCHITECT, P.A. AND NOT TO BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE ADVANCED WRITTEN PERMISSION AND CONSENT FROM THE FIRM. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</div> <div>COPYRIGHT FCA 2015 - 2020</div>	<div>FRANK COSTOYA ARCHITECT, P.A.</div> <div>Architecture - Land Planning</div> <div>5530 South University Drive - Suite 103</div> <div>Davie, Florida 33328</div> <div>Tel: (954) 680-4440 / Fax: (954) 680-4441</div> <div>Member American Institute of Architects</div> <div>AA26000696 - AR0012198</div>	<div>Project Title:</div> <div>Site Plan Approval Documents for: Existing Church Renovations and New 2 Story Charter School Building for: FAITH AND LIFE FELLOWSHIP MINISTRIES, INC. AND ALPHA INTERNATIONAL ACADEMY CHARTER SCHOOL</div> <div>121 SOUTH 24TH AVENUE HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020</div>	<div>NORTH</div> <div></div>	<div>Drawing date:</div> <div>OCTOBER 17, 2016</div> <div>Drwn by: Chkd by:</div> <div>RKD/JP FC</div> <div>Drawing Scale:</div> <div>NTS</div> <div>Project Number:</div> <div>FCA-1615</div>	<div>Sheet title:</div> <div>SUBJECT SITE &amp; ADJACENT PROPERTIES</div>	<div>Seal/Signature:</div> <div>FRANK COSTOYA, JR. A.I.A. FL. REG. NO. AR0012198</div> <div>Date:</div>	<div>Sheet Number:</div> <div>EX-1</div> <div>consecutive of sheets</div>
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SC : 1" = 10'-0"

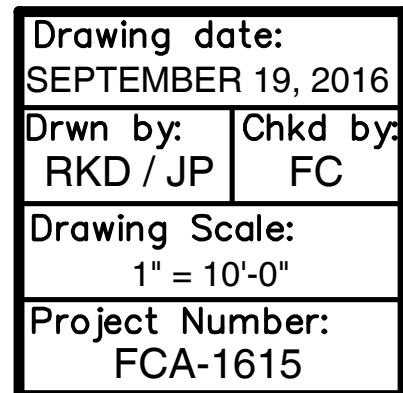
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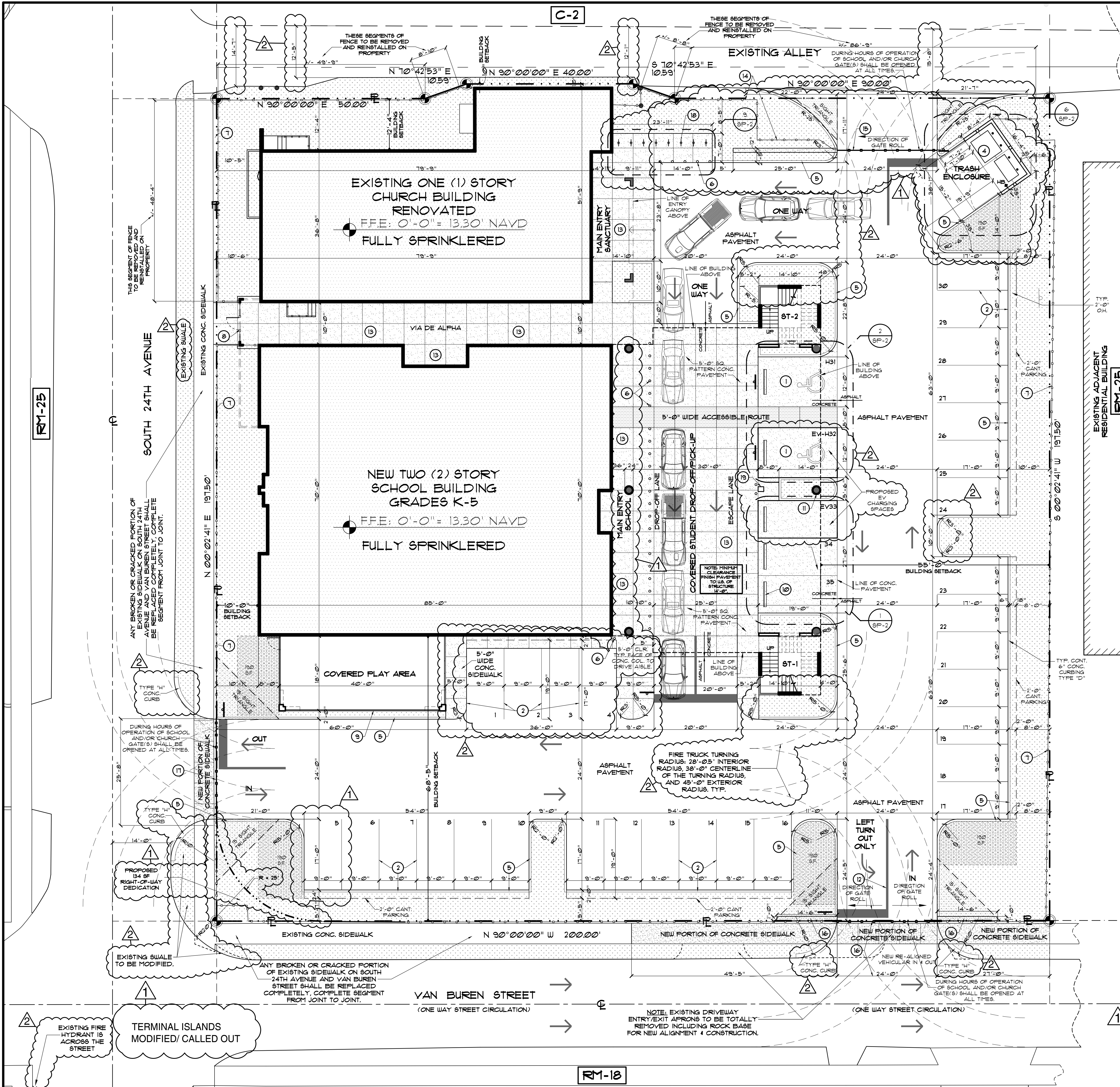


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FRANK COSTOYA, JR. A.I.A.  
FL. REG. NO. AR0012198

**Date:**

Sheet Number:  
**DSP-1**  
consecutive  
of sheets





1. PROPERTY ADDRESS:

PROPERTY ADDRESS:  
21 SOUTH 24TH AVENUE  
HOLLYWOOD, FLORIDA 33020  
BROWARD COUNTY

2. FOLIO NUMBER:

5142 16 01 2640

3. LEGAL DESCRIPTION:

SEE SURVEY FOR COMPLETE  
LEGAL DESCRIPTION

4. OWNER:

FAITH AND LIFE FELLOWSHIP  
MINISTRIES, INC.

5. OWNER ADDRESS:

OWNER ADDRESS:  
21 SOUTH 24TH AVENUE  
HOLLYWOOD, FLORIDA 33020  
BROWARD COUNTY

6. ZONE: FEMA FLOOD INFORMATION:

1% (0.2% ANNUAL CHANCE OF FLOOD HAZARD) /  
WITH A FLOOD ELEVATION OF: N/A  
FLOOD INSURANCE RATE MAP NO. 12060200663-H-1  
DATE: AUGUST 18, 2014  
COMMUNITY PANEL NO. 1513  
INDEX MAP DATED: AUGUST 18, 2014

7. LAND USE DESIGNATION:

LAND USE DESIGNATION: \_\_\_\_\_ REGIONAL ACTIVITY CENTER (RAC)

8. ZONING DESIGNATION:

ZONING: \_\_\_\_\_ TC-1 (TRANSITIONAL CORE)

9. EXISTING USE OF LAND:

EXISTING USE OF LAND: \_\_\_\_\_ PLACE OF WORSHIP/ SCHOOL

10. WATER/WASTEWATER SERVICE PROVIDER:

WATER/WASTEWATER SERVICE PROVIDER: \_\_\_\_\_ CITY OF HOLLYWOOD

11. PROPERTY AREA:

OVERALL PROPERTY AREA (GROSS): \_\_\_\_\_ EXISTING GROSS AREA 39,670 SQ. FT.  
OR 0.9106 ACRES  
(PROPOSED DEDICATION 134 SF. RIGHT-OF-WAY DEDICATION) /  
NEW GROSS AREA 39,841 SQ. FT. OR 0.9106 ACRES

12. BUILDING AREAS:

NOTE: BUILDING AREAS INCLUDE OUTSIDE FACE TO OUTSIDE FACE OF BUILDINGS. IT DOES NOT INCLUDE EXTERIOR CORRIDORS, STAIRS.  
EXISTING BUILDING AREAS:  
EXISTING CHURCH \_\_\_\_\_ 4,022 G.S.F.  
EXISTING COMMON LOBBY AREA \_\_\_\_\_ 196 G.S.F.  
EXISTING CLASSROOM BUILDING (5 CLASSROOMS) \_\_\_\_\_ 2,031 G.S.F.  
TOTAL EXISTING BUILDING AREAS \_\_\_\_\_ 6,249 G.S.F.  
EXISTING DEMOLITION BUILDING AREAS:  
EXISTING CHURCH \_\_\_\_\_ 584 G.S.F.  
EXISTING COMMON LOBBY AREA \_\_\_\_\_ 196 G.S.F.  
EXISTING CLASSROOM BUILDING \_\_\_\_\_ 2,031 G.S.F.  
TOTAL DEMOLITION BUILDING AREA \_\_\_\_\_ 2,811 G.S.F.  
PROPOSED BUILDING AREAS:  
EXISTING CHURCH TO REMAIN (RENOVATED) \_\_\_\_\_ 3,436 G.S.F.  
NEW CHURCH COVERED ENTRY \_\_\_\_\_ 393 G.S.F.  
NEW CLASSROOM BUILDING GROUND FLOOR \_\_\_\_\_ 5,887 G.S.F.  
NEW CLASSROOM BUILDING SECOND FLOOR \_\_\_\_\_ 3,332 G.S.F.  
NEW COVERED PLAY AREA \_\_\_\_\_ 116 G.S.F.  
TOTAL PROPOSED (NEW/EXISTING) BUILDING AREA \_\_\_\_\_ 13,824 G.S.F.

13. OCCUPANT LOAD CALCULATIONS:

NOTE: BOTH BUILDING WILL NOT BE IN USE AT THE SAME TIME.  
EXISTING CONDITIONS CHURCH & SCHOOL:  
CHURCH (FBC - MEANS OF EGRESS - TABLE 1004.1.2) \_\_\_\_\_ 215 PERSONS  
NUMBER OF STUDENTS \_\_\_\_\_ 30 PERSONS  
NUMBER OF TEACHERS \_\_\_\_\_ 4 PERSONS  
NUMBER OF STAFF \_\_\_\_\_ 1 PERSONS  
TOTAL OCCUPANT LOAD \_\_\_\_\_ 316 PERSONS  
NEW PROPOSED:  
CHURCH \_\_\_\_\_ 215 PERSONS  
NUMBER OF STUDENTS \_\_\_\_\_ 240 PERSONS  
K-2 (18/CLASS) \_\_\_\_\_ 6 x 18 = 108  
3-5 (22/CLASS) \_\_\_\_\_ 6 x 22 = 132  
NUMBER OF TEACHERS (1 TEACHER PER 25 STUDENTS) \_\_\_\_\_ 12 PERSONS  
NUMBER OF STAFF \_\_\_\_\_ 1 PERSONS  
TOTAL OCCUPANT LOAD \_\_\_\_\_ 479 PERSONS

14. PARKING REQUIREMENTS:

REQUIRED (MINIMUM):  
CHURCH: \_\_\_\_\_ 1 SPACE PER 60 SF.  
16,920 SF. 60' x 28 SPACES  
CLASSROOM: \_\_\_\_\_ 1 SPACE PER TEACHER/ STAFF  
24 PERSONS = 24 SPACES  
REQUIRED SPACES: \_\_\_\_\_ 28 PARKING SPACES REQUIRED  
(CHURCH AND CLASSROOMS NOT USED AT THE SAME TIME. SEE HOURS OF OPERATION)  
HANDICAPPED PARKING (FBC-ACCESSIBILITY 2014 - TABLE 2002.2)  
26-50 TOTAL SPACES PROVIDED \_\_\_\_\_ 2 HANDICAP PARKING SPACES REQUIRED  
PROVIDED:  
HANDICAP: \_\_\_\_\_ 2 HANDICAP PARKING SPACES PROVIDED  
STANDARD \_\_\_\_\_ 33 PARKING SPACES PROVIDED  
TOTAL PROVIDED PARKING SPACES: \_\_\_\_\_ 35 PARKING SPACES PROVIDED  
NOTE: SCHOOL AND CHURCH HAVE OPPOSITE HOURS/ DAYS OF OPERATION AND WILL NOT OPERATE AT THE SAME TIME. PLEASE REFER TO "PROPOSED HOURS OF OPERATION".

15. PROPOSED HOURS OF OPERATION:

SCHOOL:  
SCHOOL HOURS: \_\_\_\_\_ 7:00 AM - 3:00 PM, MONDAY - FRIDAY  
NOTE: DROP OFF IN THE MORNINGS AND PICK UP IN THE AFTERNOONS WILL BE STAGGERED BY AN HOUR. GRADES K-2 4:30-5:00 PM. GRADES 3-5 3:00 PM - 6:00 PM, MONDAY - FRIDAY

16. NUMBER OF STORIES:

EXISTING: \_\_\_\_\_ ONE (1) STORY  
PROPOSED: \_\_\_\_\_ TWO (2) STORIES  
BUILDING HEIGHT TOP OF PARAPET: \_\_\_\_\_ 35' - 0"

17. SETBACK TABLE:

A. BUILDING SETBACK:

AS PER THE CITY OF HOLLYWOOD LAND DEVELOPMENT REGULATIONS, ARTICLE 4, SETBACK REQUIREMENTS MAIN STRUCTURE RM-25, SECTION 42. C. (2) (1) FEDESTAL:  
REQUIRED (MINIMUM):  
A. FRONT (SOUTH) (VAN BUREN STREET): \_\_\_\_\_ 25'-0"  
B. SIDE/INTERIOR (EAST): \_\_\_\_\_ 25% LOT WIDTH (NOT BE 50'-0") (NOT 5'-0")  
C. SIDE/STREET (WEST) (SOUTH 24TH AVENUE): \_\_\_\_\_ 15'-0" MIN  
D. REAR (2 STORY OR HIGHER) (NORTH) (ALLEYWAY): \_\_\_\_\_ 15'-0" MIN  
EXISTING:  
A. FRONT (SOUTH) (VAN BUREN STREET): \_\_\_\_\_ 63'-2"  
B. SIDE / INTERIOR (EAST): \_\_\_\_\_ VARIES SEE EXIST. SITE PLAN  
C. SIDE / STREET (WEST) (SOUTH 24TH AVENUE/EXISTING CHURCH): \_\_\_\_\_ 10'-0"  
D. REAR (2 STORY OR HIGHER) (NORTH) (ALLEYWAY/EXISTING CHURCH): \_\_\_\_\_ 10'-0"  
PROVIDED:  
A. FRONT (SOUTH) (VAN BUREN STREET): \_\_\_\_\_ 68'-5"  
B. SIDE / INTERIOR (EAST): \_\_\_\_\_ 55'-0"  
C. SIDE / STREET (WEST) (SOUTH 24TH AVENUE): \_\_\_\_\_ 10'-0"  
D. REAR (2 STORY OR HIGHER) (NORTH) (ALLEYWAY): \_\_\_\_\_ 10'-0"

B. PARKING:

AS PER THE CITY OF HOLLYWOOD LAND DEVELOPMENT REGULATIONS, ARTICLE 4, AT GRADE PARKING LOTS, SECTION 42.2. (2) (b) GREATER THAN 150'-0" LOT WIDTH/DEPTH, LANDSCAPE SETBACKS FOR AT GRADE PARKING LOTS WITH GREATER THAN 150'-0" LOT WIDTH/DEPTH:  
REQUIRED (MINIMUM):  
A. FRONT (SOUTH) (VAN BUREN STREET): \_\_\_\_\_ 10'-0"  
B. SIDE (EAST): \_\_\_\_\_ 10'-0"  
C. REAR (NORTH) (ALLEYWAY): \_\_\_\_\_ 10'-0"  
EXISTING:  
A. FRONT (SOUTH) (VAN BUREN STREET): \_\_\_\_\_ 3'-6"  
B. SIDE (EAST): \_\_\_\_\_ 3'-5"  
C. REAR (NORTH) (ALLEYWAY): \_\_\_\_\_ 10'-5"  
PROVIDED:  
A. FRONT (SOUTH) (VAN BUREN STREET): \_\_\_\_\_ 1'-5"  
B. SIDE (EAST): \_\_\_\_\_ 10'-0"  
C. REAR (NORTH) (ALLEYWAY): \_\_\_\_\_ VARIES

18. GREEN AREA:

EXISTING LANDSCAPE GREEN AREA: \_\_\_\_\_ 5,742 SF. OR 14%  
PROVIDED NEW LANDSCAPE GREEN AREA: \_\_\_\_\_ 11,920 SF. OR 20%

**GENERAL SITE PLAN NOTES**

A. THIS SITE IS TO BE READ AND COORDINATED IN CONJUNCTION WITH ALL RELATED DISCIPLINES INCLUDING SURVEY, DEMOLITION PLAN, TREE DISPOSITION PLAN, CIVIL ENGINEERING, LANDSCAPE, IRRIGATION, SITE PHOTOGRAPHICS / LIGHTING AND ARCHITECTURE.

B. SITE LIGHTING PHOTOGRAPHICS SHALL NOT EXCEED 05 FOOT CANDLES \* PROPERTY LINES ABUTTING RESIDENTIAL ZONED PROPERTIES.

C. ALL NEW SITE DEVELOPMENT CONSTRUCTION SHALL COMPLY OR EXCEED STANDARDS SET BY THE CITY OF HOLLYWOOD'S GREEN BUILDING ORDINANCE.

D. CONSTRUCTION WILL BE PERFORMED ALL AT ONE (1) TIME / PHASE. PROPERTY WILL BE VACATED. SCHOOL & CHURCH WILL RELOCATE UNTIL CONSTRUCTION IS COMPLETED AND CERTIFICATE OF OCCUPANCY ISSUED.

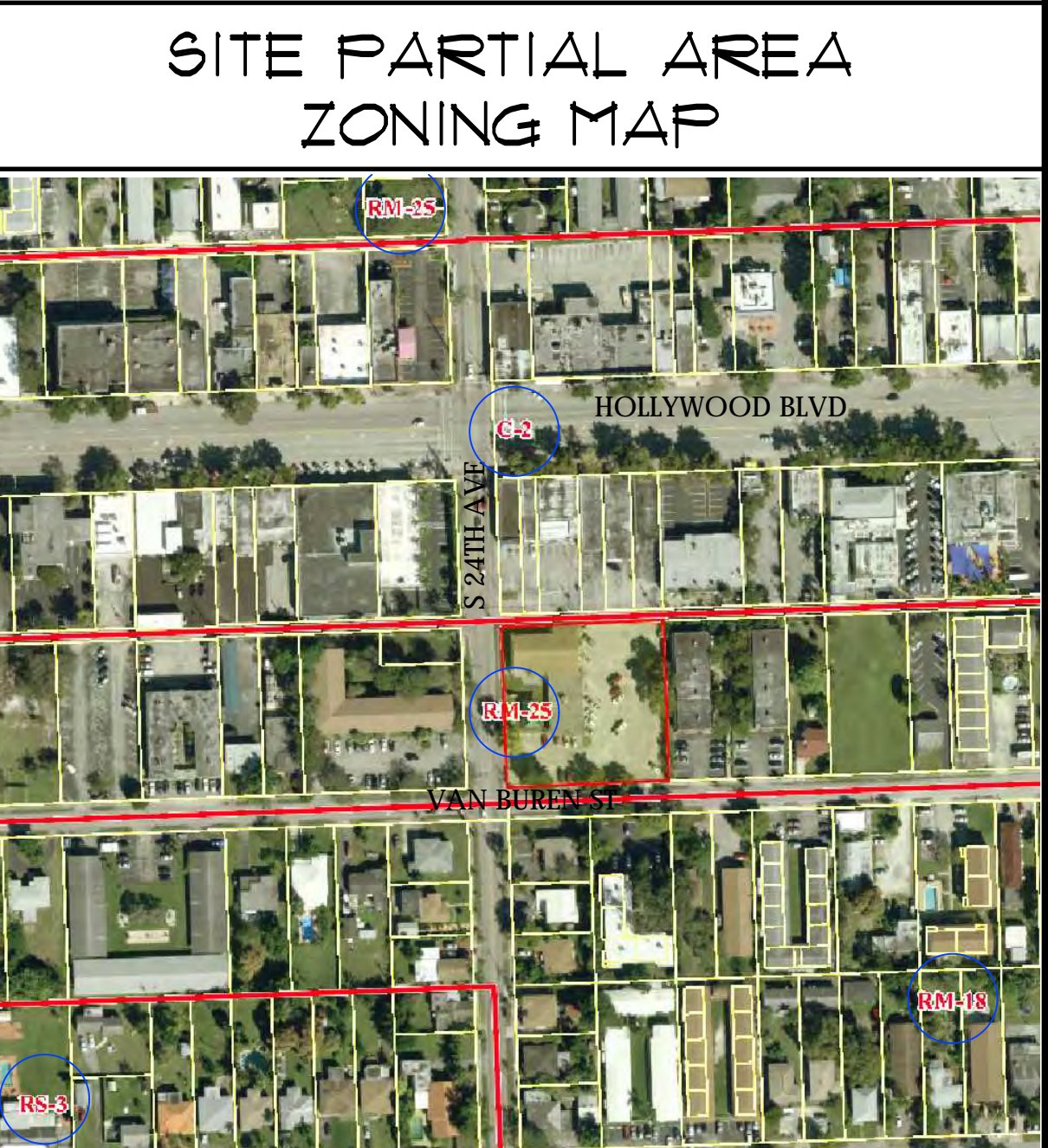
E. MASS OR CELEBRATIONS WILL NOT OCCUR AT CHURCH DURING SCHOOL HOURS MONDAY THRU FRIDAY 7:00 AM THRU 3:00 PM.

INDICATES OPEN / GREEN AREA

SITE KEYNOTES LEGEND	
1	ADA PARKING STALL (12'-0" X 13'-0") W/ STANDARD 5'-0" WIDE AISLE ON ACCESSIBLE ROUTE TO BUILDING. REFER TO DETAILS ON SHEET SP-3.
2	STANDARD PARKING STALL 9'-0" WIDE X 17'-0" DEPTH (PAVEMENT) W/ 2'-0" CANTILEVER OVER CONCRETE CURBS. REFER TO DETAILS ON SHEET SP-3.
3	N/A
4	TRASH ENCLOSURE (6 C.Y. CONTAINER FOR TRASH AND 2 C.Y. CONTAINER FOR RECYCLING) REFER TO SHEET SP-3 FOR PLAN, ELEVATIONS AND SECTIONS AND SPECIFICATIONS OF ENCLOSURE.
5	TYPICAL TYPE 'D' CONTINUOUS CONCRETE CURBING.
6	TYP. 6" DIAMETER STEEL PIPE BOLLARD. CURBING BEING 36" HIGH. PAINT WITH BRIGHT TRAFFIC ENAMEL YELLOW PAINT AT COVERED DROP-OFF/PICK-UP.
7	EXISTING METAL FENCING TO REMAIN.
8	NEW METAL FENCE W/ 3'-0" WIDE GATE HEIGHT DESIGN AND COLOR TO MATCH EXISTING FENCING. PROVIDE SPRING HINGE ADJUSTED TO PRESSURE NOT BUILDING CODE (ADA) PERMITTED PRESSURE FENCE LINE / DOOR BUNG OUT SHALL BE HELD BACK 5'-0" OFF PROPERTY.
9	SCREEN WALL - REFER TO FLOOR PLAN EXTERIOR ELEVATIONS FOR HEIGHT, DESIGN MATERIALS, ETC.
10	TYPICAL CONCRETE WHEEL STOPPER.
11	TYPICAL 2'-0" DIAMETER CONCRETE COLUMN / STUCCO 8'00"00" / PAINT.
12	TYPICAL STOP SIGN BAR AND STRIPPING. REFER TO CIVIL DRAWINGS FOR DETAILS.
13	NEW CONCRETE FLATWORK/ SIDEWALKS. PAVEMENT IN 5'-0" X 5'-0" GRID SCORED PATTERN IN BROOM FINISH WITH SMOOTH TROUPEL (POLISH) PICTURE FRAME. REFER TO SHEET SP-3 FOR DETAILS.
14	NEW SEGMENT OF METAL FENCE. APPROX. 5'-0" HIGH. BLACK PICKET FENCE TO MATCH EXISTING IN HEIGHT, STYLE & FINISH. ETC.
15	EXISTING ROLLING GATE RELOCATED FROM SOUTH SIDE OF PROPERTY TO NORTH SIDE * NEW EXIT. ADJUST EXISTING FENCING AS NECESSARY TO ACCOMMODATE GATE AT NEW LOCATION. PROVIDE NEW 1'-0" WIDE REIN. CONC. PAD. FLUSH W/ PAVEMENT. FOR ROLLING GATE WHEN IN OPEN POSITION. DURING HOURS OF OPERATION OF SCHOOL AND/OR CHURCH GATE SHALL BE OPENED AT ALL TIMES.
16	EXISTING ROLLING GATES RELOCATED FROM NORTH SIDE OF PROPERTY TO SOUTH SIDE * NEW ENTRY/EXIT. ADJUST EXISTING FENCING AS NECESSARY TO ACCOMMODATE GATES AT NEW LOCATION. PROVIDE NEW 1'-0" WIDE REIN. CONC. PADS FLUSH W/ PAVEMENT. ONE (1) EACH SIDE. FOR ROLLING GATES WHEN IN OPEN POSITION. DURING HOURS OF OPERATION OF SCHOOL AND/OR CHURCH GATES SHALL BE OPENED AT ALL TIMES.
17	EXISTING ROLLING GATES TO REMAIN. DURING HOURS OF OPERATION OF SCHOOL AND/OR CHURCH GATES SHALL BE OPENED AT ALL TIMES.
18	DUAL BICYCLE PARKING RACKS - TYPICAL OF (8) EIGHT FOR A TOTAL OF (16) SIXTEEN BIKES.
19	FUTURE ELECTRICAL VEHICLE (EV) CHARGING STATION. PROVIDE FIFTY 3/4" CONDUIT FROM PANEL BD TO DES. PARKING W/ TWO-GANG J-BOX W/ BLANK PLATE.

VARIANCE: SHARED PARKING	
REQUIRED (MINIMUM):	CHURCH: 1 SPACE PER 60 SF. 16,920 SF. 60' x 28 SPACES
CLASSROOM:	1 SPACE PER TEACHER/STAFF 24 PERSONS = 24 SPACES
PROVIDED:	HANDICAP: 2 HANDICAP PARKING SPACES PROVIDED
STANDARD:	33 PARKING SPACES PROVIDED
TOTAL PROVIDED PARKING SPACES:	35 PARKING SPACES PROVIDED
VARIANCE CRITERIA: EXISTING PARKING LOT BEING MODIFIED BY ADDING ADA PARKING, LANDSCAPED ISLANDS AND DUSTIER ENCLOSURE TO MEET CODE AND CITY REQUIREMENTS. PROVIDED PARKING MEETS AND EXCEEDS SPECIFIC INDIVIDUAL USE SHARED PARKING VARIANCE IS REQUIRED TO MEET THE REQUIREMENT. SCHOOL AND CHURCH WILL HAVE OPPOSITE HOURS/DAYS OF OPERATION AND WILL NOT BE USING THE PARKING LOT AT THE SAME TIME. PLEASE REFER TO "PROPOSED HOURS OF OPERATION".	

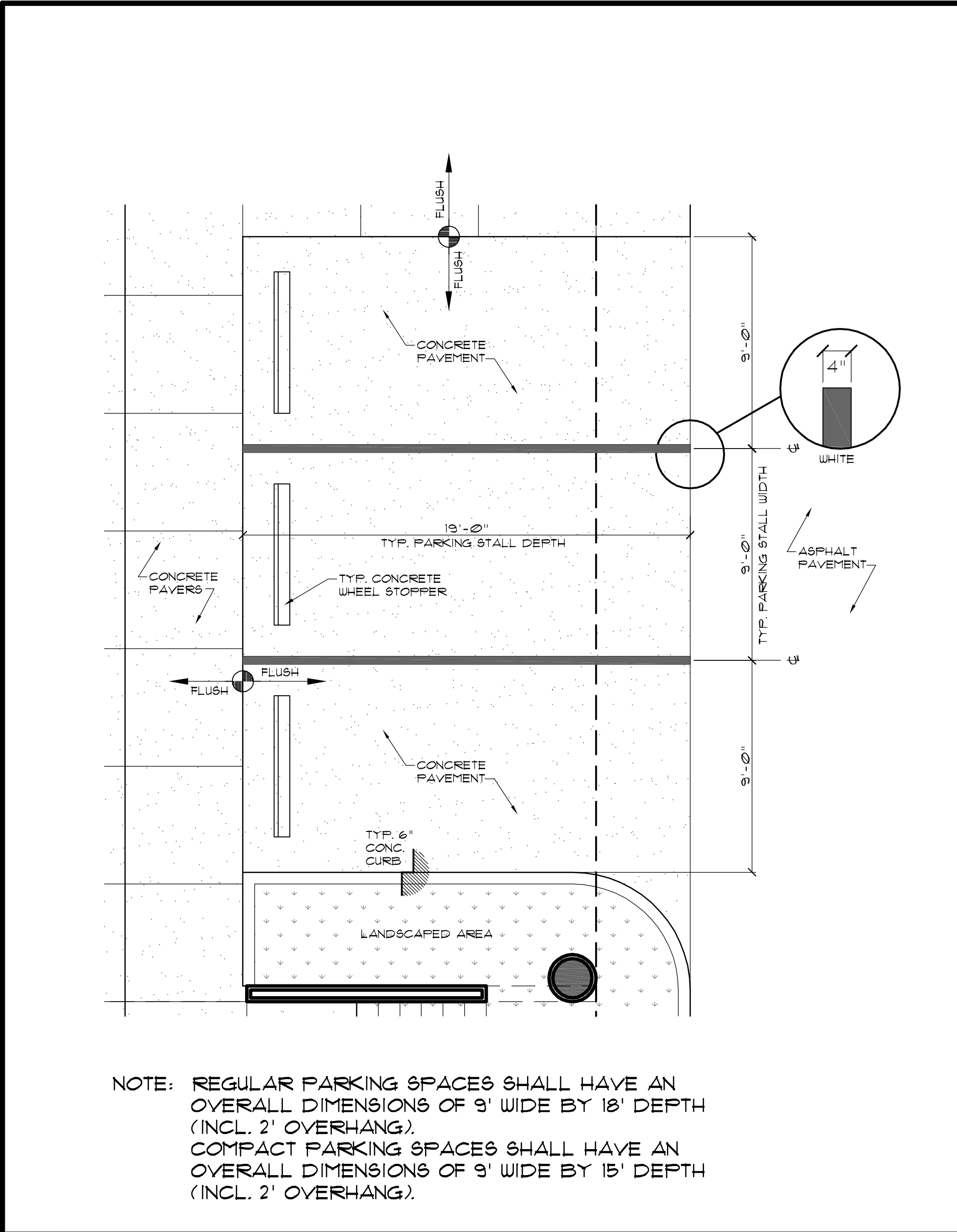
NOTE: MAXIMUM 05 FOOT CANDLE LIGHTING LEVEL AT ALL PROPERTY LINES ABUTTING RESIDENTIALLY ZONED PROPERTIES.



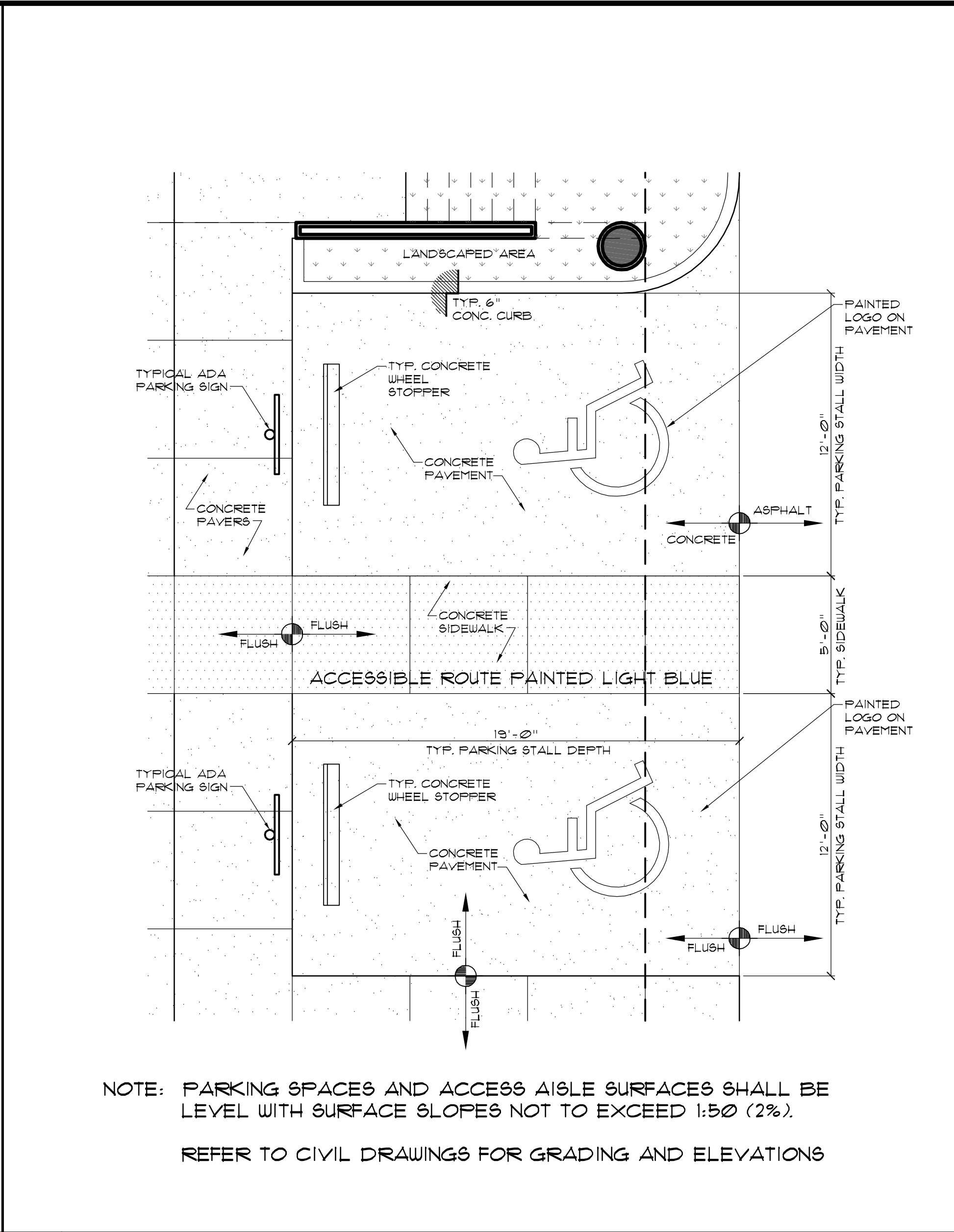
NEW SITE PLAN

<b>Revision type</b> TAC COMMENTS TAC COMMENTS TAC COMMENTS TAC COMMENTS	<b>Date</b> 8/12/16 10/24/16 10/11/17 11/10/17	<b>by</b> JP/RD RD JP/RD JP	TO THE BEST OF THE ARCHITECT OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AT THE TIME OF THEIR PREPARATION AS DETERMINED BY THE LOCAL AUTHORITIES IN ACCORDANCE WITH SECTION 105 (F.S.C.) FLORIDA BUILDING CODE AND 633 FLORIDA STATUTES.	NOTE: AUTHENTIC COPIES OF THIS DOCUMENT SHALL BEAR THE SIGNATURE IN ORIGINAL AND THE RAISED SEAL OR STAMP OF THE ATTESTING ARCHITECT OR ENGINEER OF RECORD AND BE DATED. ALL DESIGNS AND DETAILS INDICATED BY AND REPRESENTED BY THIS DRAWING ARE FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIED PROJECT. ALL DRAWINGS CONTAINED HEREIN ARE THE PROPERTY OF FRANK COSTOYA ARCHITECT, P.A. AND NOT TO BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE ADVANCED WRITTEN PERMISSION AND CONSENT FROM THE FIRM. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. COPYRIGHT FCA 2015 - 2020	<b>FRANK COSTOYA ARCHITECT, P.A.</b> Architecture - Land Planning 5530 South University Drive - Suite 103 Davie, Florida 33328 Tel: (954) 680-4440 / Fax: (954) 680-4441 Member American Institute of Architects AA26000696 - AR0012198	<b>Project Title:</b> Site Plan Approval Documents for: Existing Church Renovations and New 2 Story Charter School Building for: FAITH AND LIFE FELLOWSHIP MINISTRIES, INC. AND ALPHA INTERNATIONAL ACADEMY CHARTER SCHOOL 121 SOUTH 24TH AVENUE HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020	<b>Drawing date:</b> OCTOBER 17, 2016 <b>Drawn by:</b> RKD/JP <b>Chkd by:</b> FC <b>Drawing Scale:</b> 1" = 10'-0" <b>Project Number:</b> FCA-1615	<b>Sheet title:</b> NEW SITE PLAN SITE/BUILDING DATA KEY NOTES LEGEND ZONING MAP	<b>Seal/Signature:</b> FRANK COSTOYA, JR. A.I.A. FL. REG. NO. AR0012198 <b>Date:</b>	<b>Sheet Number:</b> SP-1 consecutive of sheets
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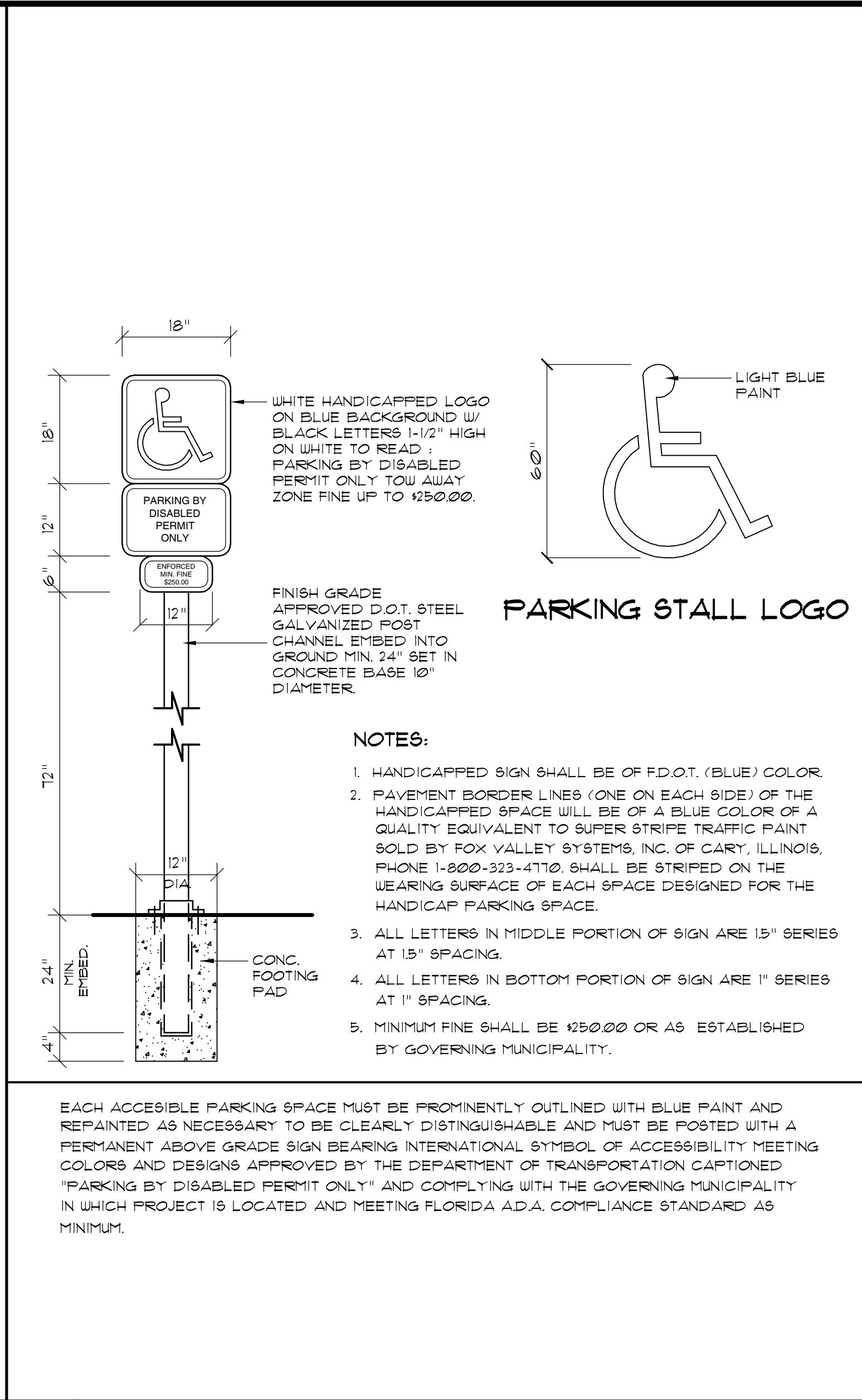




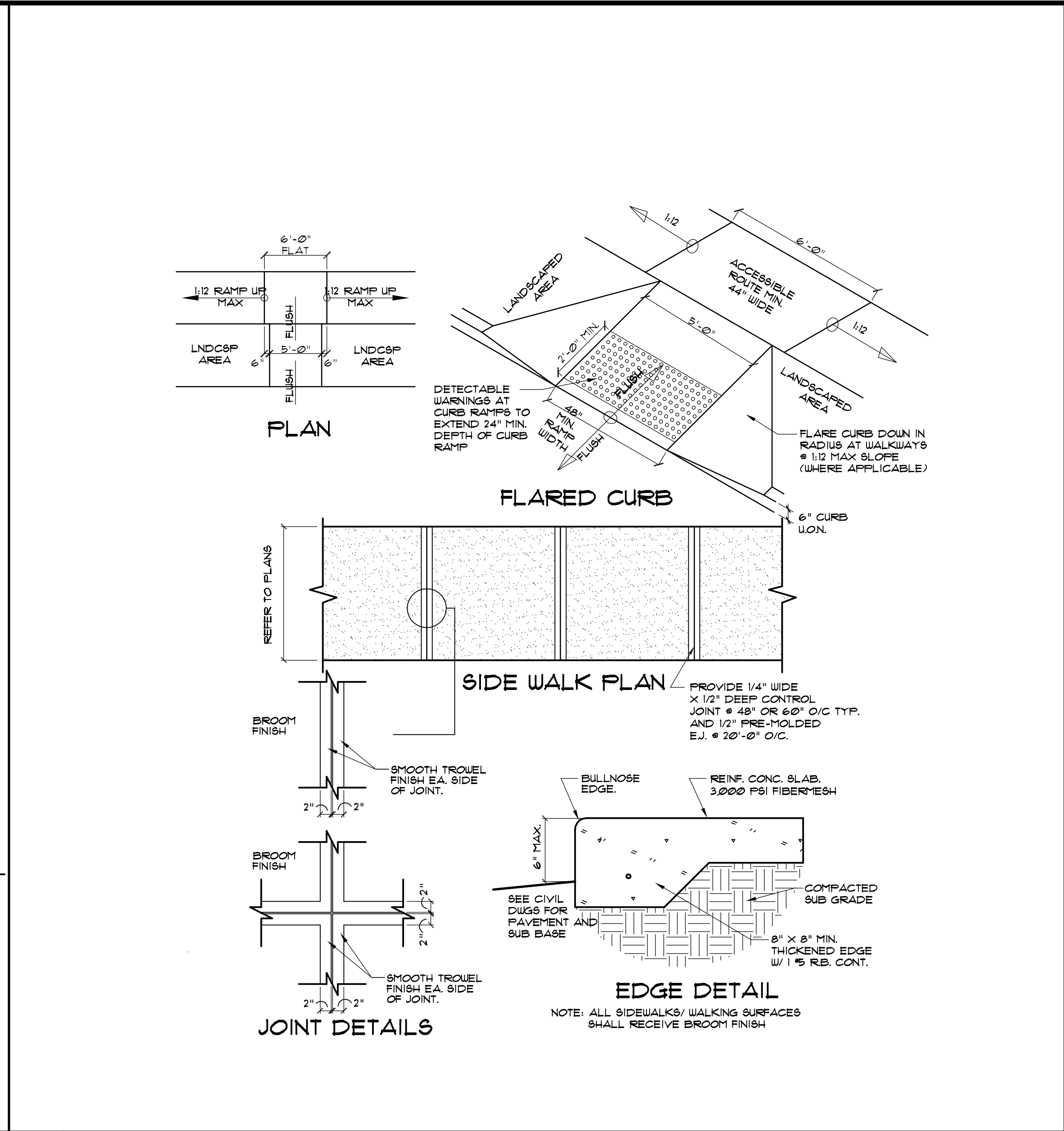
1 TYPICAL PARKING STALL SC: 1/4" = 1'-0"



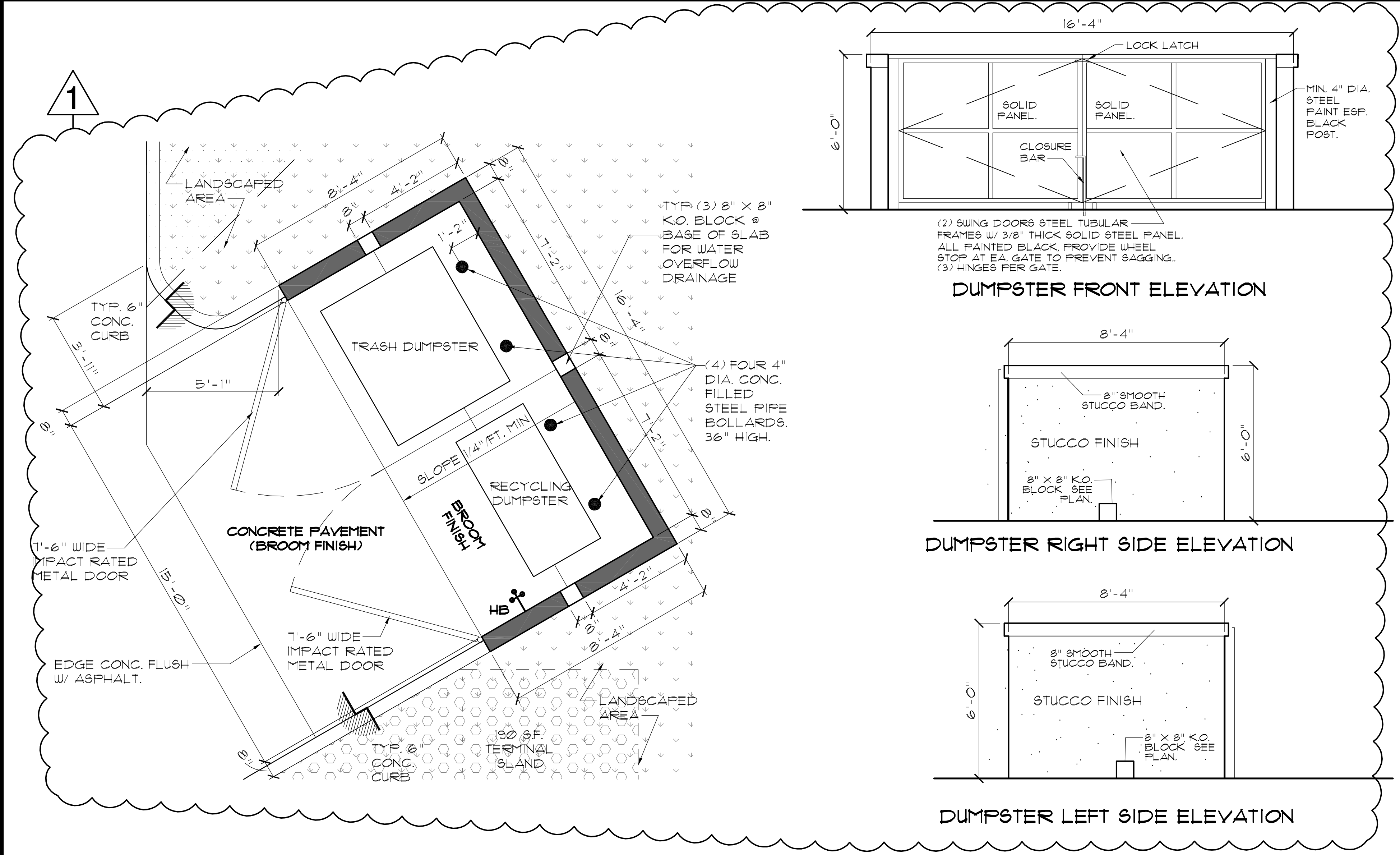
2 HANDICAPPED PARKING STALL SC: 1/4" = 1'-0"



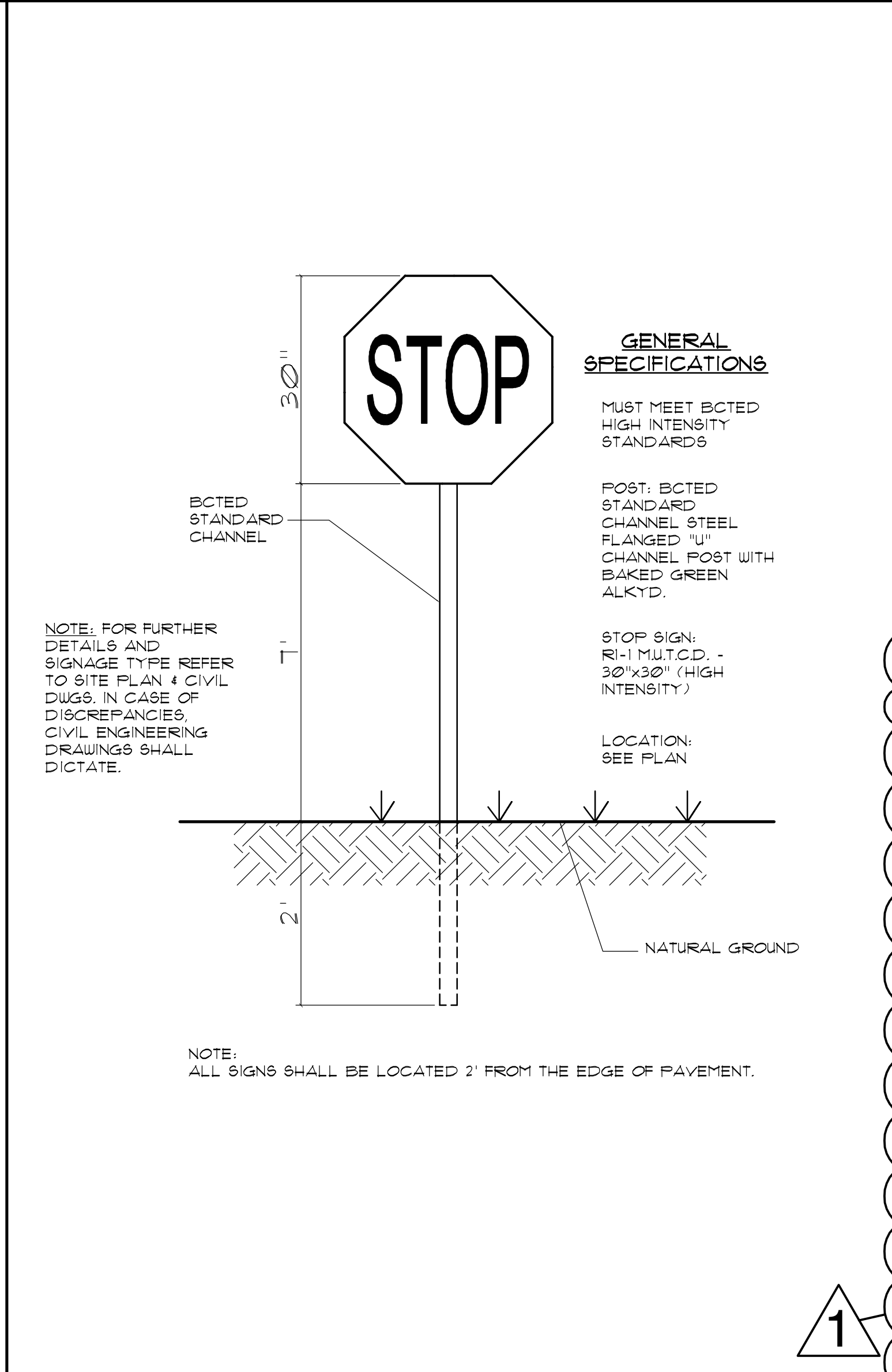
3 HANDICAPPED PARKING SIGN/LOGO SC: NT5



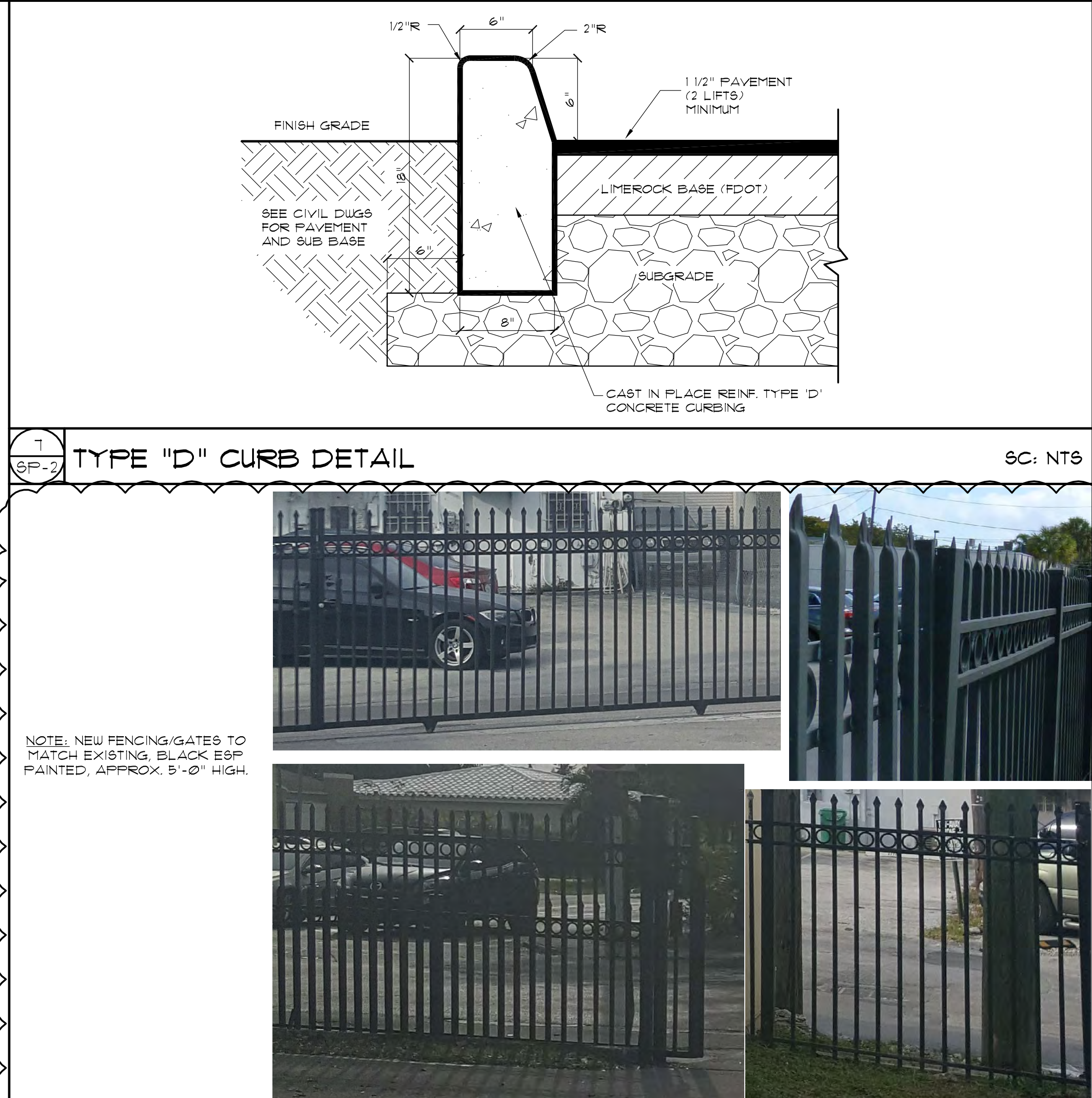
4 CURB RAMP/SIDEWALK DETAILS SC: NT5



5 DUMPSTER / TRASH ENCLOSURE SC: 3/8" = 1'-0"



6 STOP SIGN DETAIL SC: NT5



7 TYPE "D" CURB DETAIL SC: NT5

Revision type	Date	by
TAC COMMENTS	8/12/16	JP/RD

TO THE BEST OF THE ARCHITECT OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AT THE TIME OF THEIR PREPARATION AS DETERMINED BY THE LOCAL AUTHORITIES IN ACCORDANCE WITH SECTION 105 (F.L.C.) FLORIDA BUILDING CODE AND 633 FLORIDA STATUTES.

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

**FCA**  
**FRANK COSTOYA ARCHITECT, P.A.**  
Architecture - Land Planning  
5520 South University Drive - Suite 103  
Davie, Florida 33328  
Tel: (954) 680-4440 / Fax: (954) 680-4441  
Member American Institute of Architects  
AA2600696 - AR0012198

Project Title: Site Plan Approval Documents for:  
Existing Church Renovations and New 2 Story Charter School Building for:  
**FAITH AND LIFE FELLOWSHIP MINISTRIES, INC.**  
AND  
**ALPHA INTERNATIONAL ACADEMY CHARTER SCHOOL**  
121 SOUTH 24TH AVENUE  
HOLLYWOOD, BROWARD COUNTY, FLORIDA 33020

Drawing date: SEPTEMBER 19, 2016  
Drawn by: [chkd by] RKD/JP FC  
Drawing Scale: AS NOTED  
Project Number: FCA-1615

Sheet title: SITE DETAILS  
Seal/Signature: FRANK COSTOYA, JR. AIA, FL. REG. NO. AR0012198  
Date: \_\_\_\_\_  
Sheet Number: **SP-2**  
consecutive of sheets

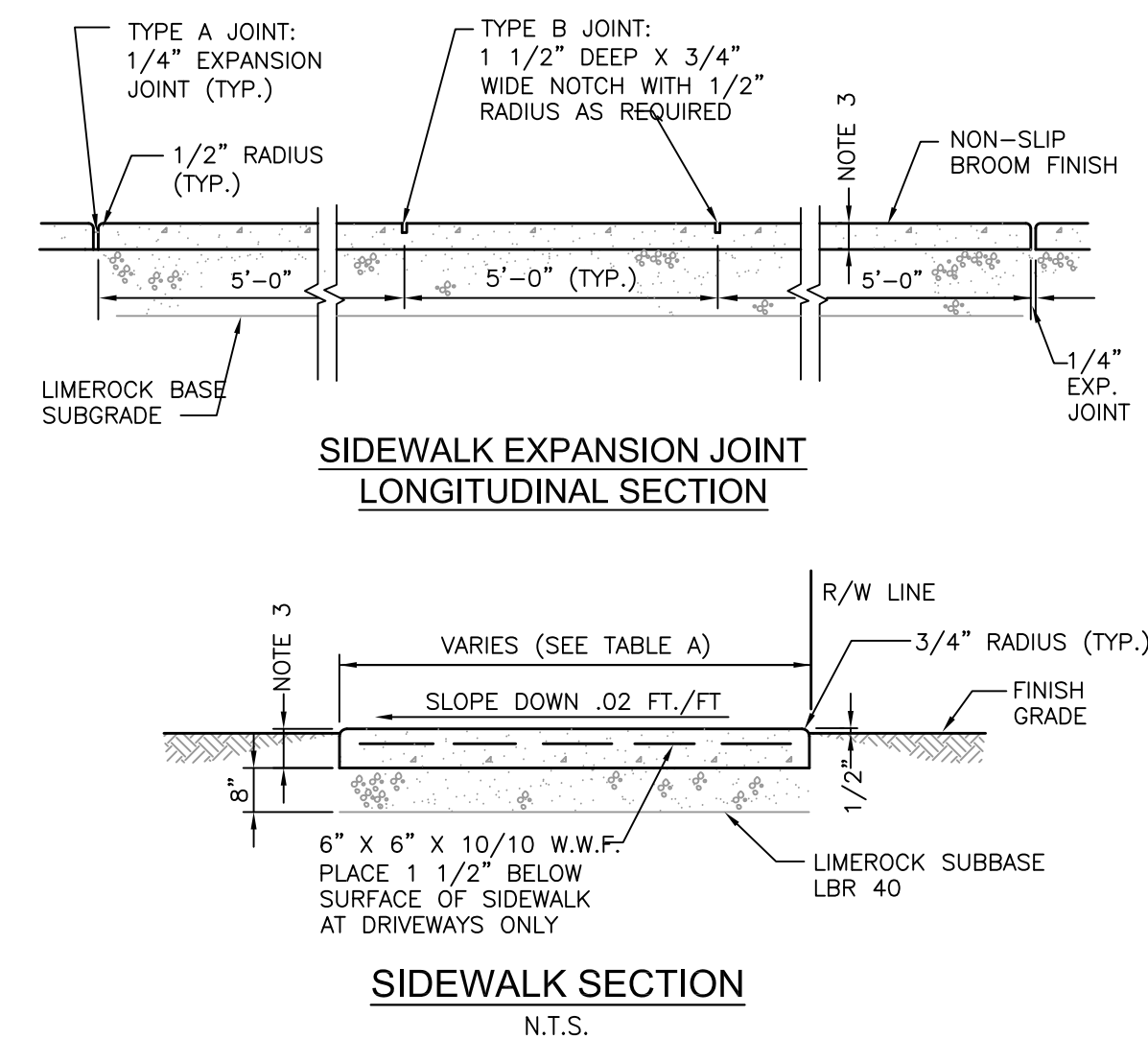
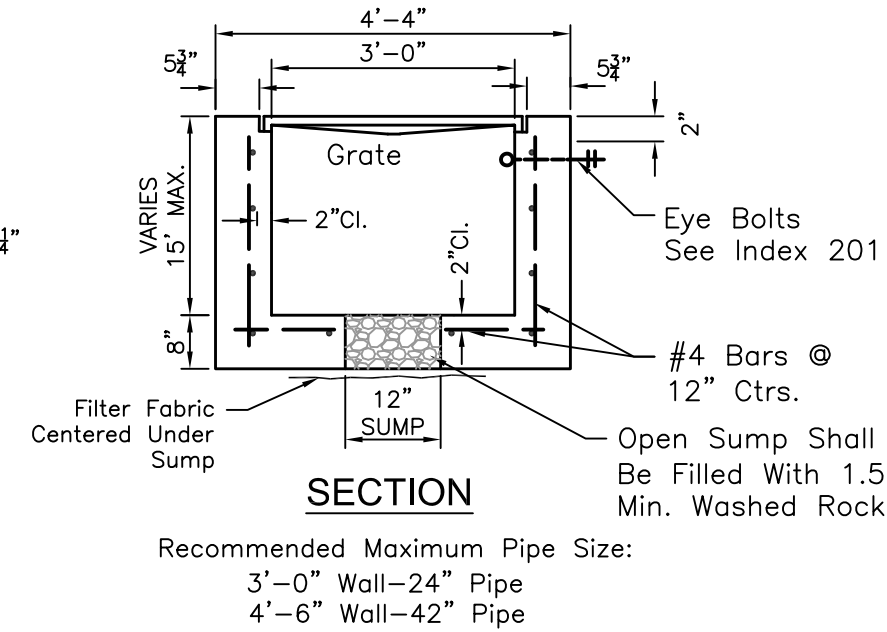
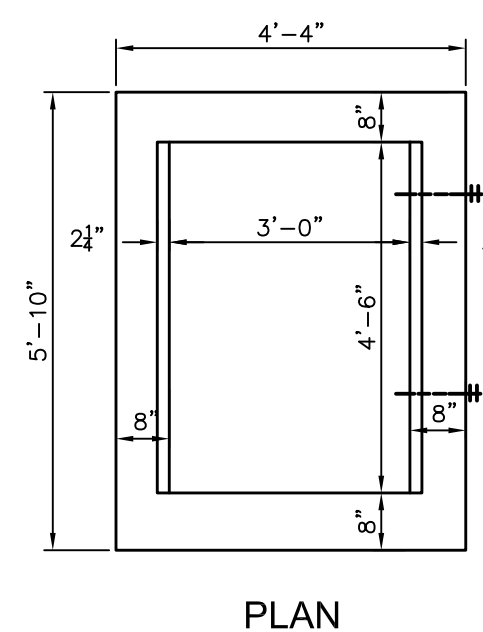
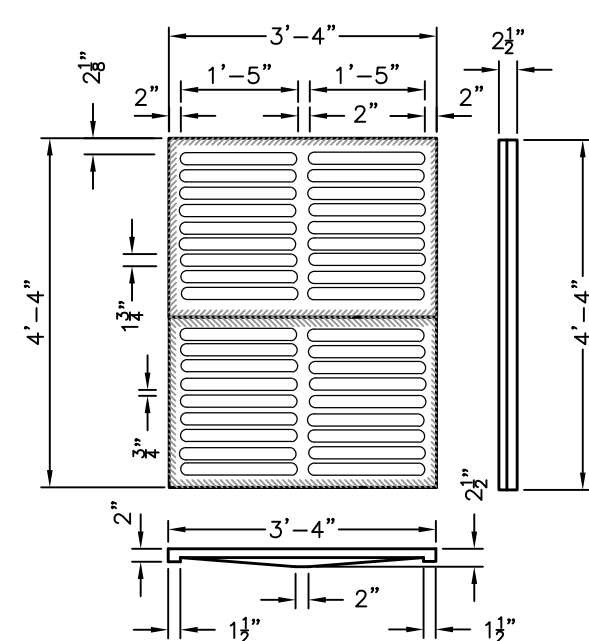
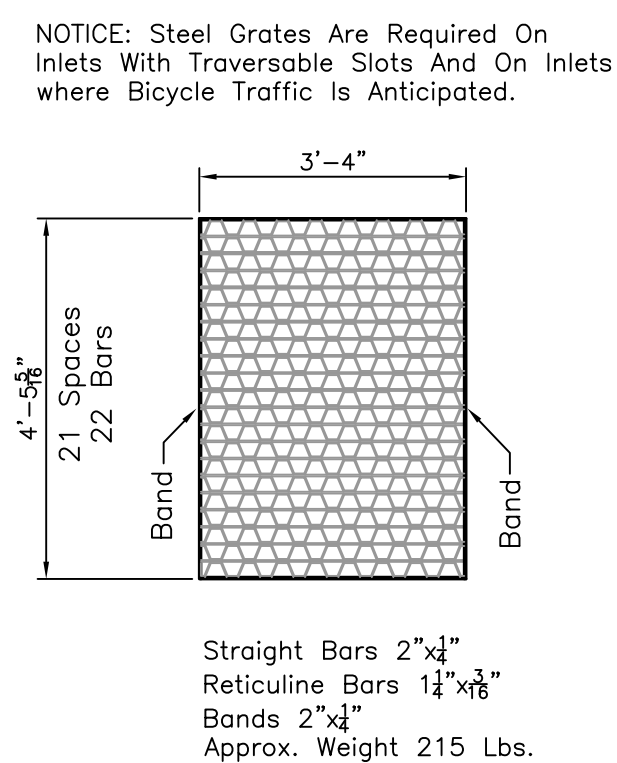
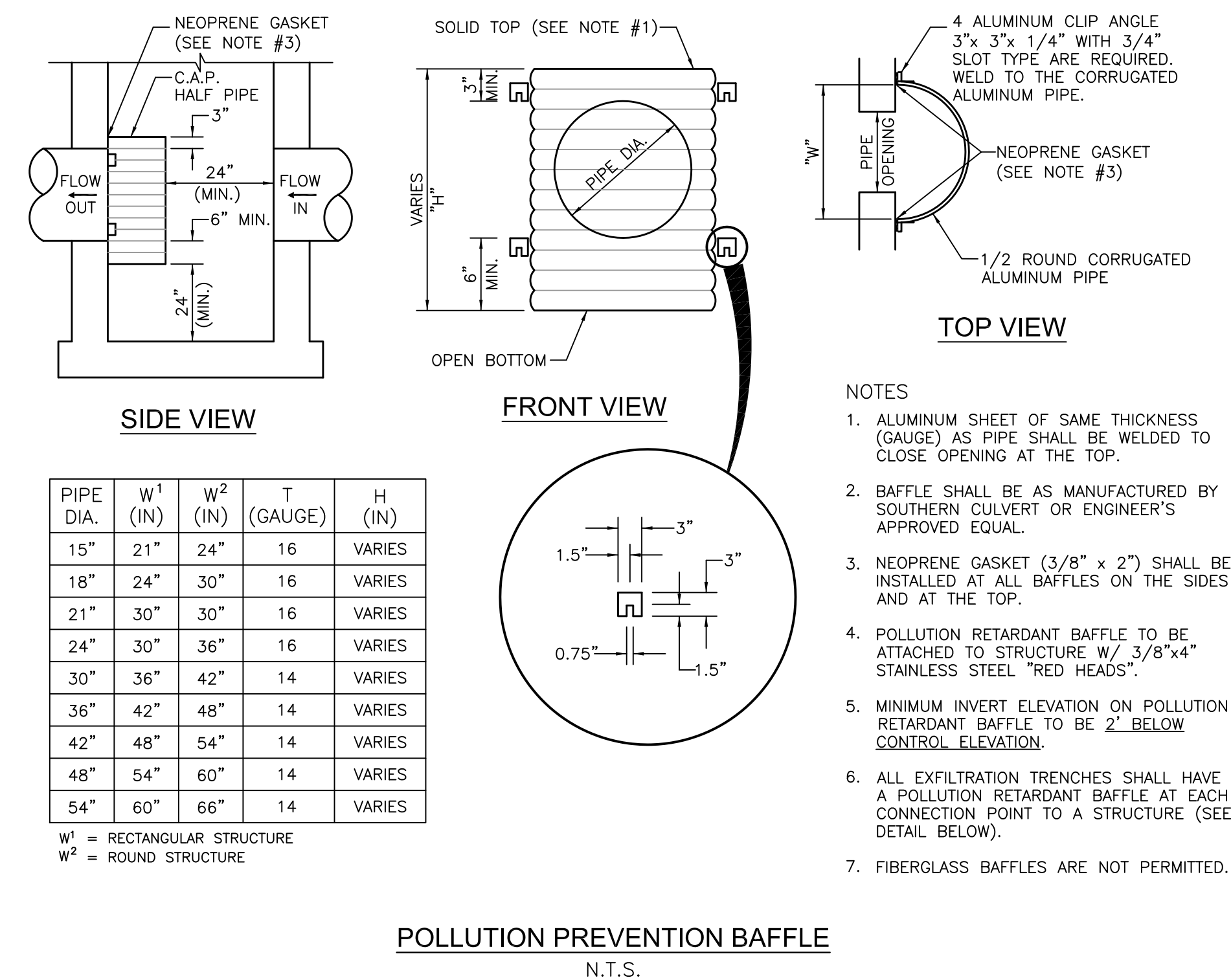
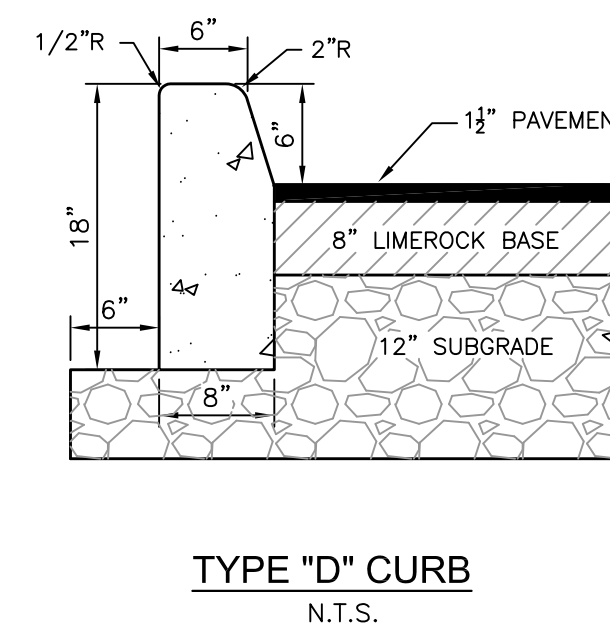
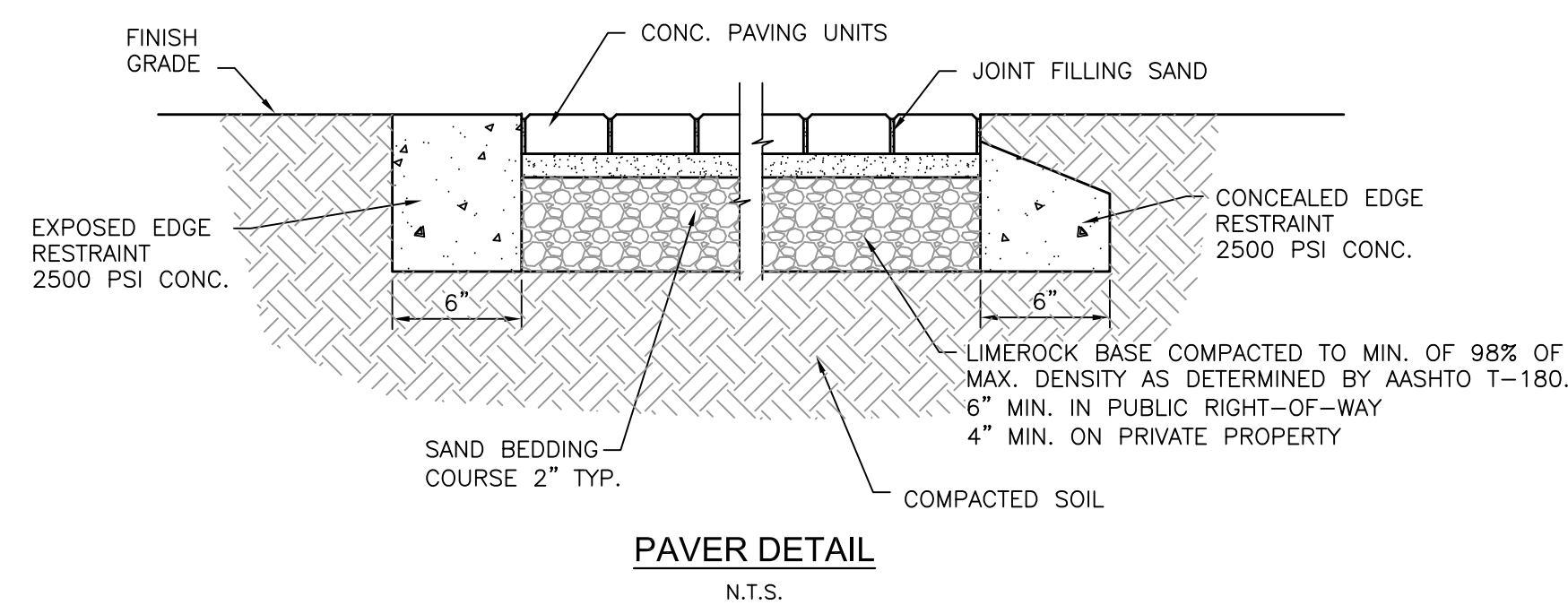
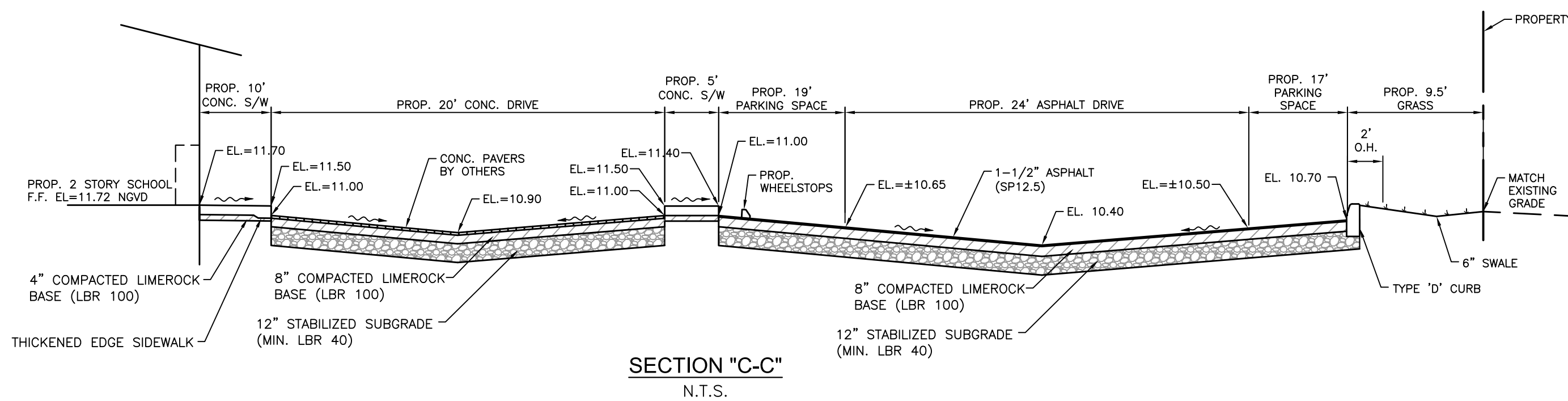
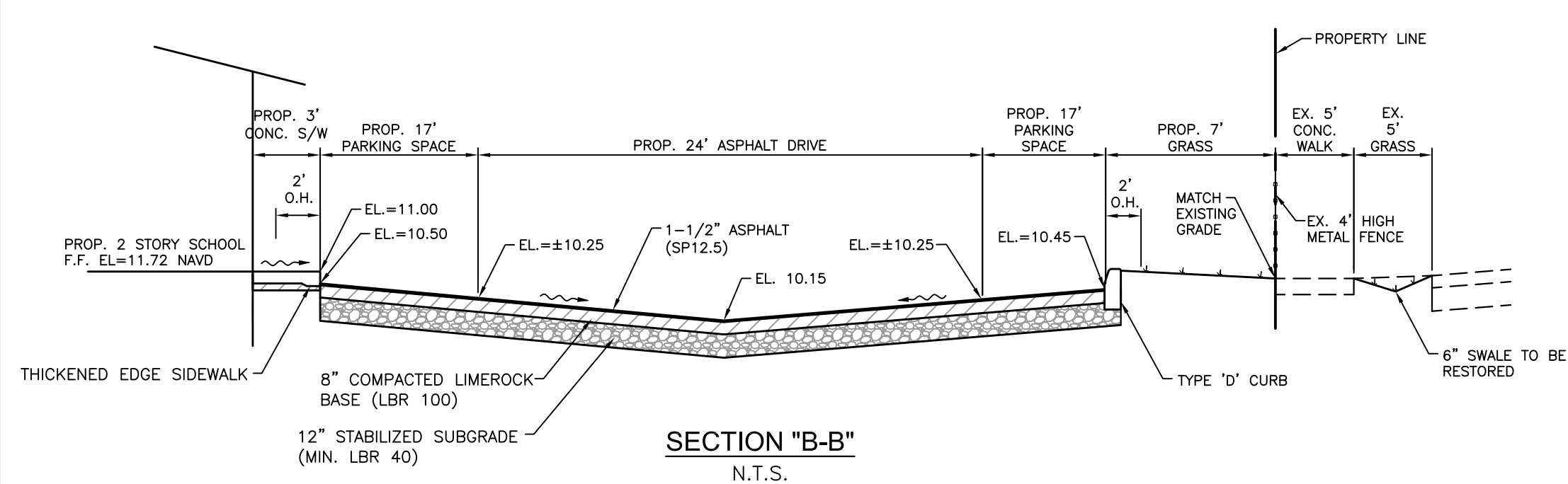


BCR	BROWARD COUNTY RECORDS
DCR	DADE COUNTY RECORDS
PB	PLAT BOOK
PG	PAGE
ORB	OFFICIAL RECORDS BOOK
CL	CENTERLINE
R/W	RIGHT-OF-WAY
SEC	SECTION
CBS	CONCRETE BLOCK STRUCTURE
WPP	WOOD POWER POLE
CLP	CONCRETE LIGHT POLE
ANC	ANCHOR
TYP	TYPICAL
	FIRE HYDRANT
	GATE VALVE
	WATER METER
	SANITARY SEWER MANHOLE
	CATCH BASIN
	EXISTING ELEVATION
	PROPOSED ELEVATION
	FLOW DIRECTION
	REMOVE EXISTING CONCRETE DRIVE

ENGINEER'S SEAL  
NOT VALID WITHOUT  
ORIGINAL SIGNATURE

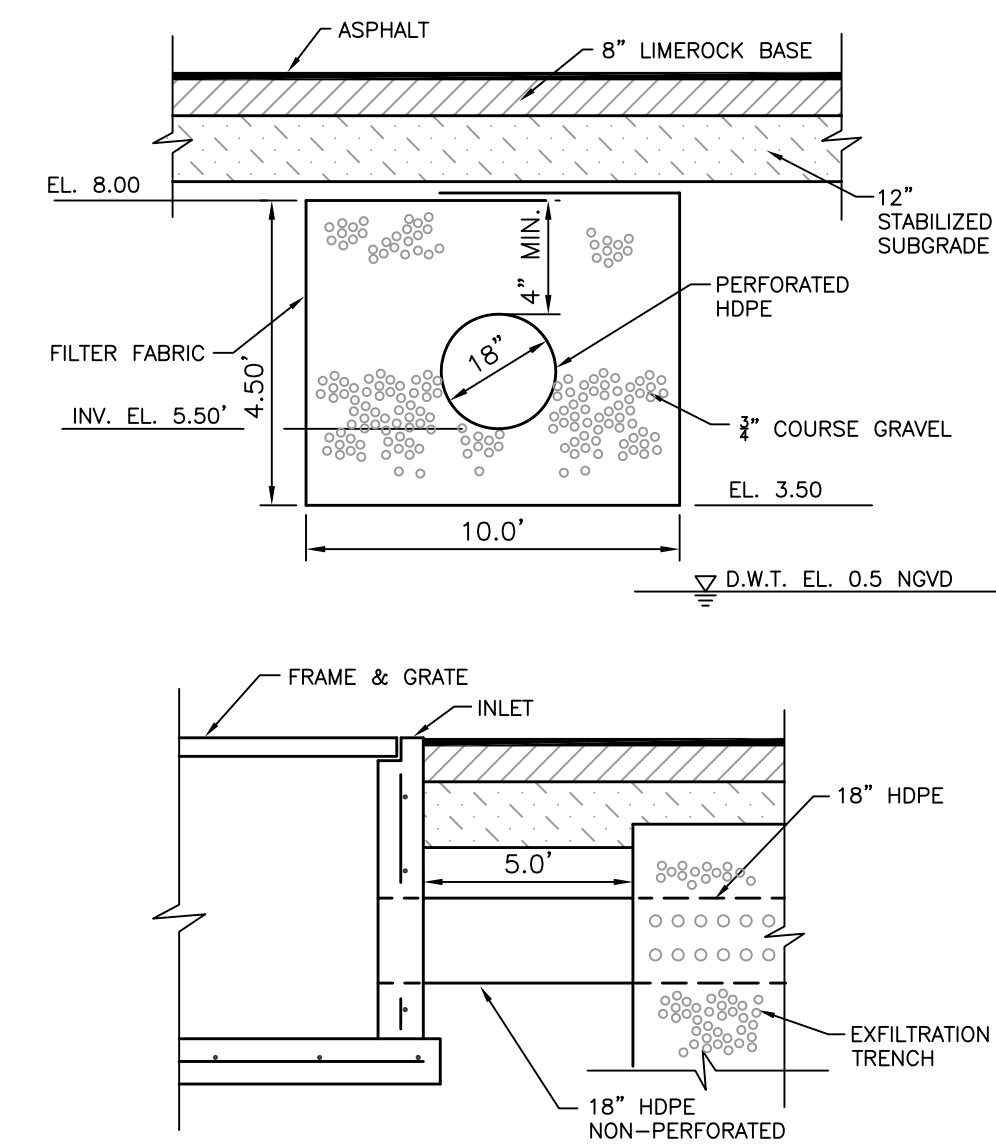


<i>SHEET</i>	<i>TITLE</i>
<b>PAVING AND DRAINAGE PLAN</b>	



WIDTH	ROADWAY APPLICATION
4'	LOCAL STREET ACCESSES
5'	TWO-LANE COLLECTOR
5'	FOUR-LANE COLLECTOR
6'	ARTERIAL ROADWAYS

SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. P.T. OF CURVES
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS



**NOTES:**

1. PIPES SHALL TERMINATE 5' FROM END OF TRENCH (CAP ENDS OF PIPE) OR CONNECT TO ADDITIONAL CATCH BASINS AS REQUIRED.
2. SIDES AND TOP OF TRENCH ONLY TO BE LINED WITH FILTER FABRIC. OVERLAP LINER A MINIMUM OF 2' AT THE TOP OF THE TRENCH.
3. COURSE GRAVEL SHALL BE FROM FRESH WATER, WASHED AND FREE OF DELETERIOUS MATTER.
4. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE. (SEE POLLUTION RETARDANT BAFFLE DETAIL).
5. GASKETS SHALL BE USED WITH RCP IN EXFILTRATION TRENCH.

THE ELEVATIONS AS SHOWN HEREON  
ARE BASED ON THE NORTH AMERICAN  
VERTICAL DATUM OF 1988 (NAVD 1988).

SHEET	TITLE
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## PAVING & DRAINAGE DETAILS

## REVISIONS

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PILLAR CONSULTANTS, INC.

**THELMA CONSULTANTS, INC.**  
Consulting Engineers, Planners, Surveyors, Construction Management, General Contracting  
5230 S. University Drive – Suite 104

5230 S. University Drive – Suite 104

5230 S. University

LIC.# QB-0015697

Fax: (954) 680-0323

Phone: (954) 680-6533

ALPHA INTERNATIONAL  
ACADEMY

CITY OF HOLLYWOOD  
BROWARD COUNTY, FLORIDA

SCALE: N.T.S.

DATE: 07/01/07

DRAWN BY: BAM

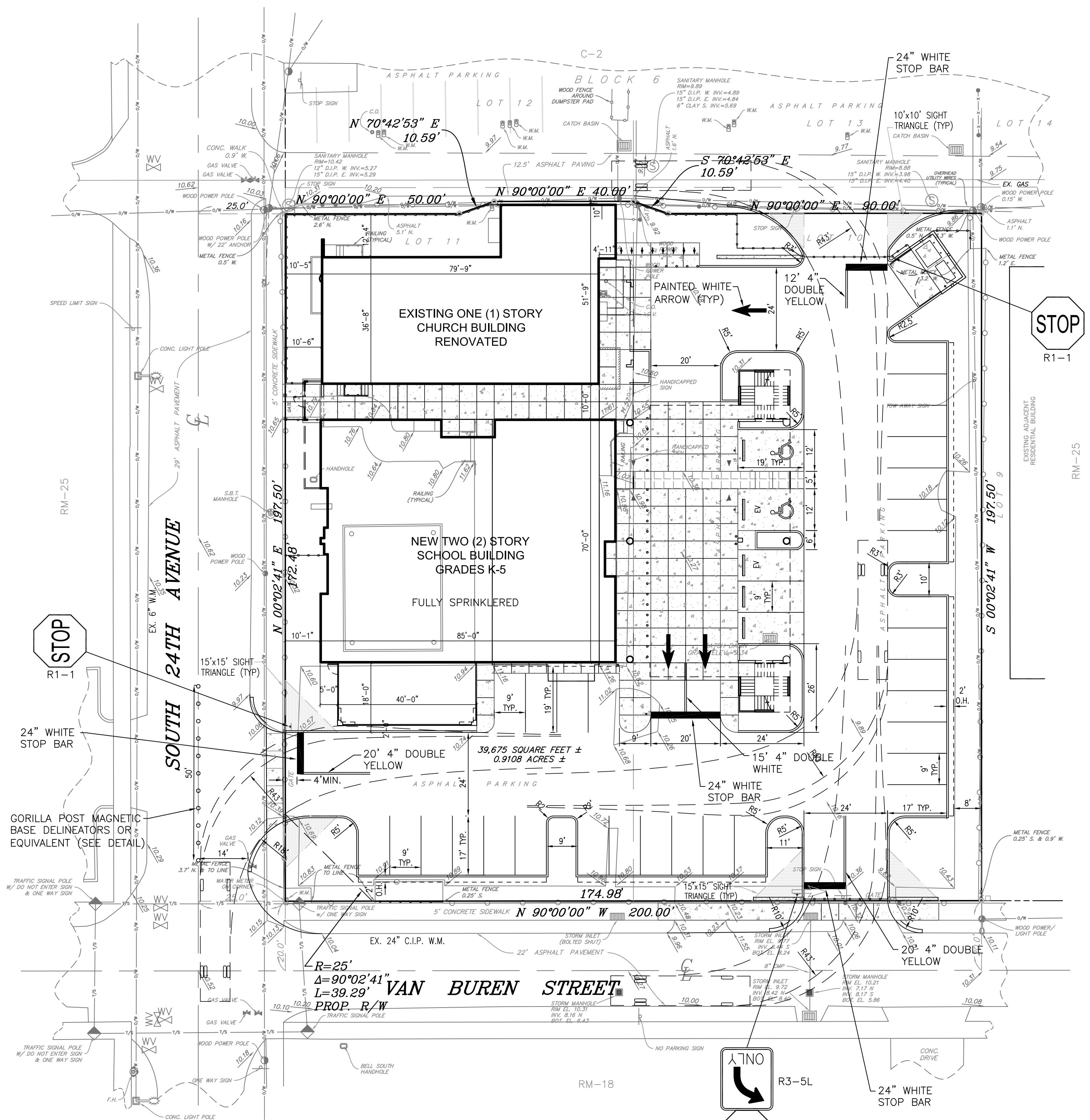
SHEET No.

C-2

16029







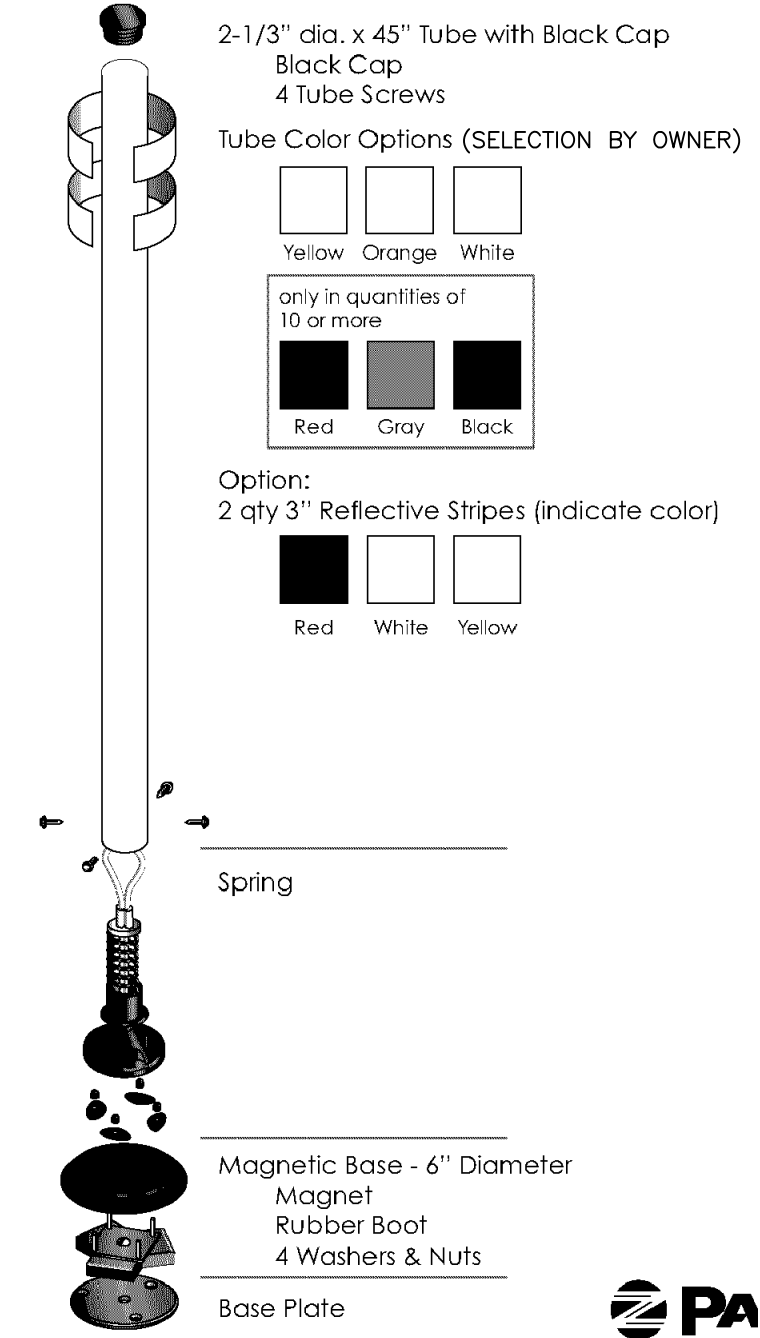
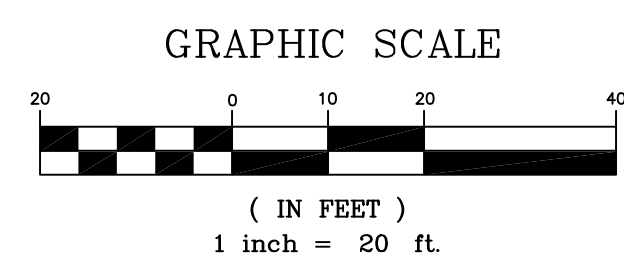
NOTE: ALL ONSITE PAVEMENT MARKING AND STRIPING TO BE PAINT.

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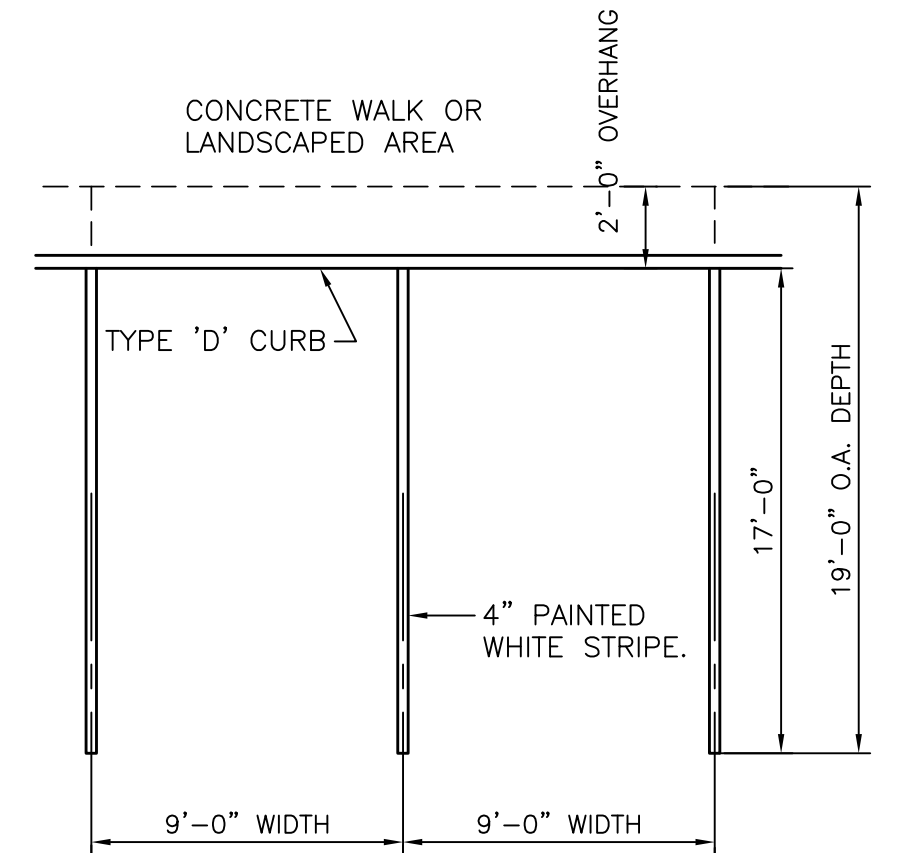
BCR BROWARD COUNTY RECORDS  
DCR DADE COUNTY RECORDS  
PB PLAT BOOK  
PG PAGE  
ORB OFFICIAL RECORDS BOOK  
CL CENTERLINE  
R/W RIGHT-OF-WAY  
SEC SECTION  
PP WOOD POWER POLE  
CLP CONCRETE LIGHT POLE  
ANC ANCHOR  
TYP TYPICAL  
T.O.B. TOP OF BANK  
E.O.W. EDGE OF WATER  
F.F. FINISH FLOOR  
U.E. UTILITY EASEMENT  
C.E. CANAL EASEMENT  
S.E. SIDEWALK EASEMENT

#### LEGEND CONT:

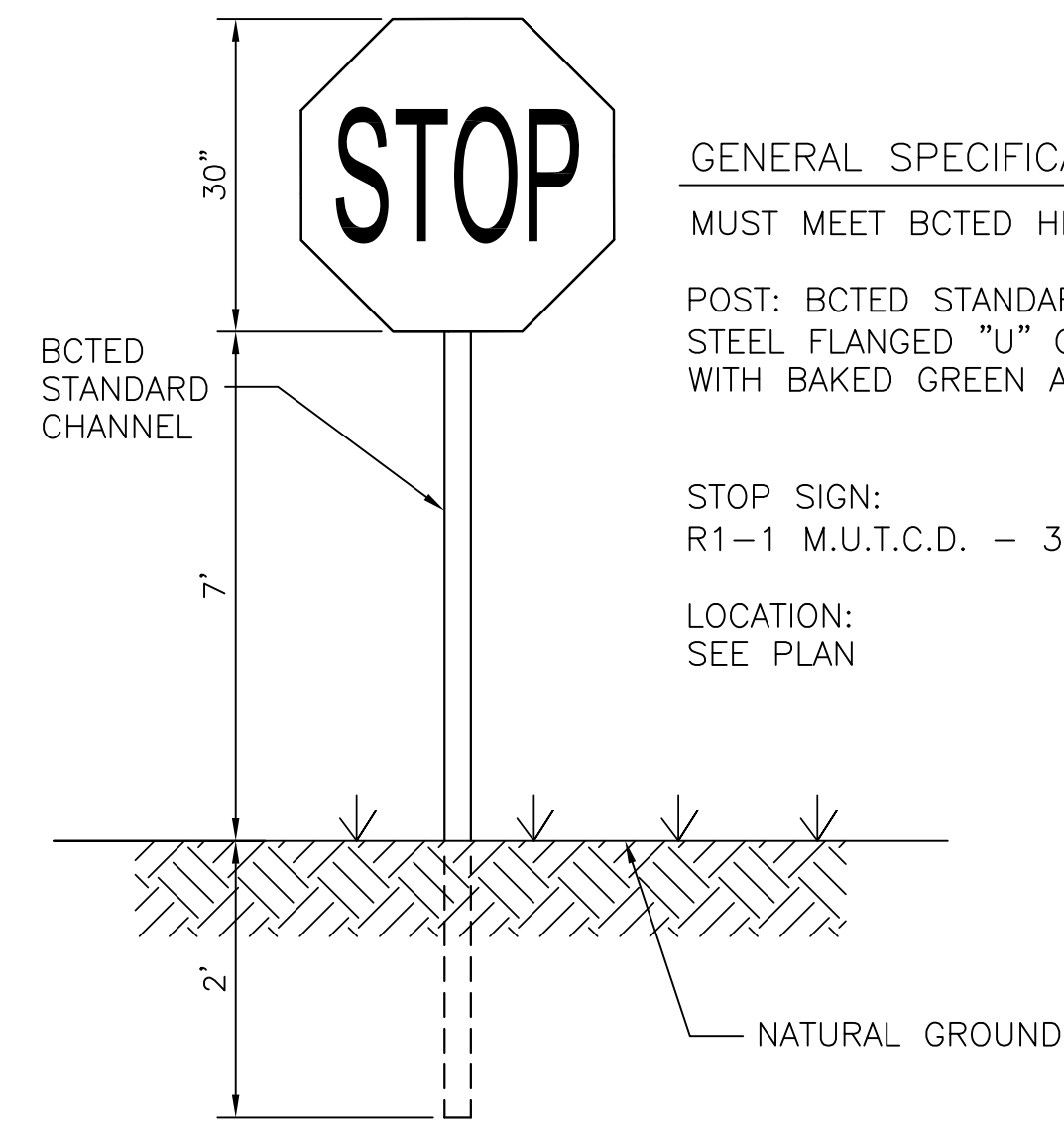
CBWCD CENTRAL BROWARD WATER CONTROL DISTRICT  
D.F.S.E. DRAINAGE, FLOWAGE & STORAGE EASEMENT  
D.E. DRAINAGE EASEMENT  
C.M.E. CANAL MAINTENANCE EASEMENT  
L.M.E. LAKE MAINTENANCE EASEMENT  
L.A.E. LAKE ACCESS EASEMENT  
F.V. FIRE HYDRANT  
G.V. GATE VALVE  
W.M. WATER METER  
S.S.M. SANITARY SEWER MANHOLE  
C.B. CATCH BASIN  
E.E. EXISTING ELEVATION  
P.E. PROPOSED ELEVATION  
F.D. FLOW DIRECTION  
E.L. EXIST. LIGHT POLE  
P.L. PROP. LIGHT POLE  
M.U.T.C.D. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES



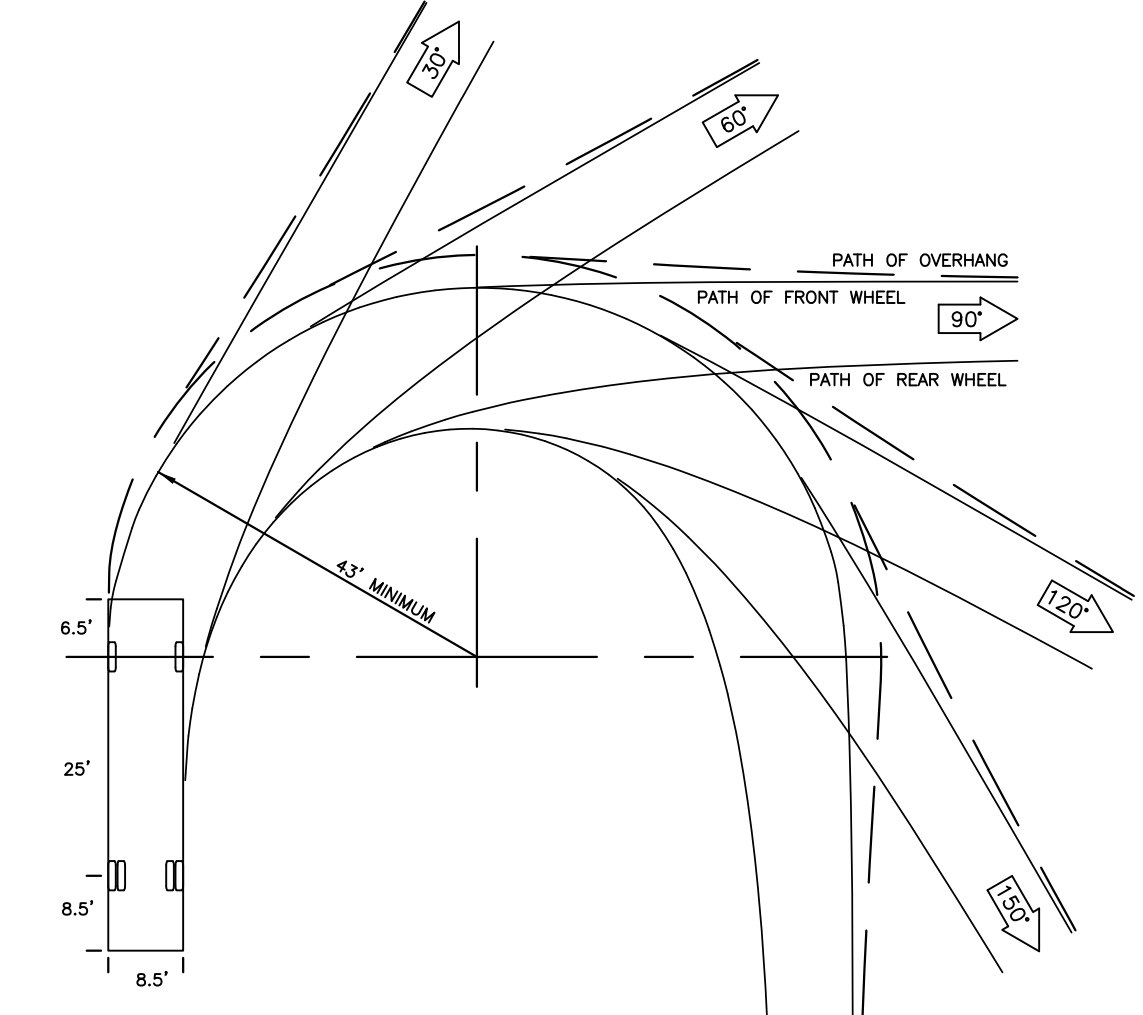
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N.T.S.



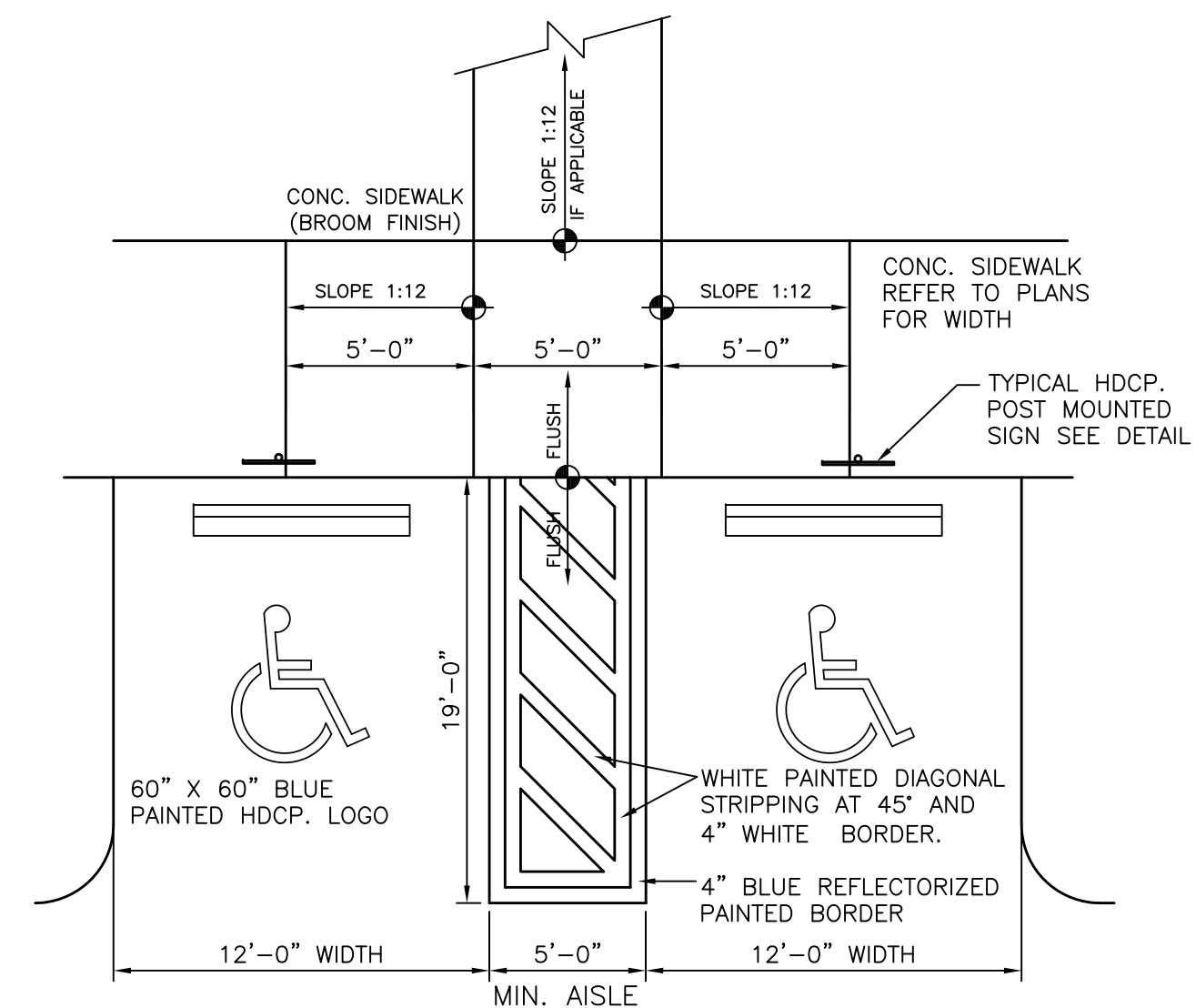
STANDARD PARKING STALL  
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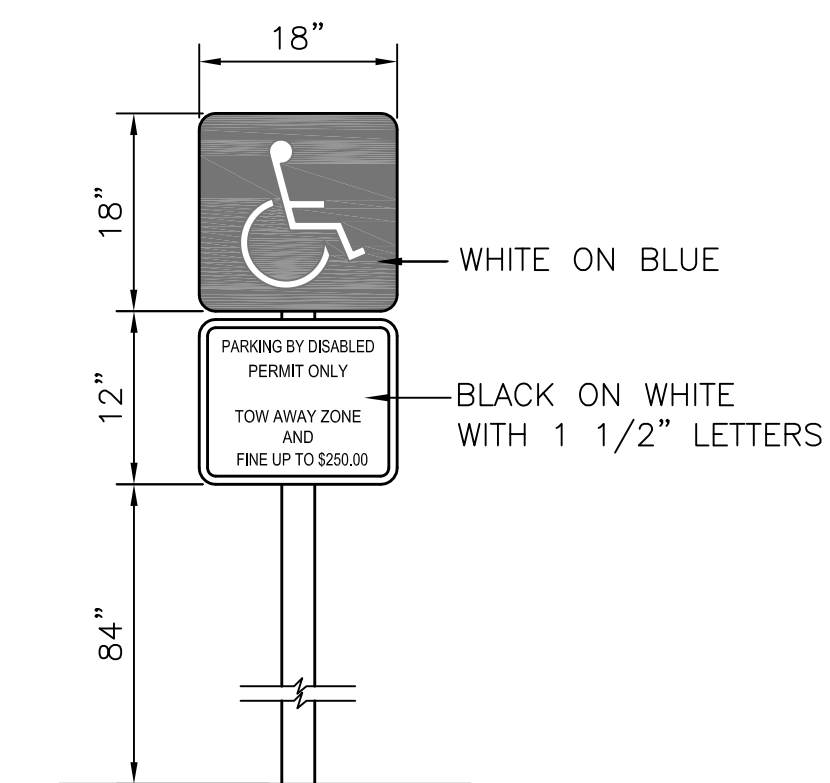
STOP SIGN DETAIL  
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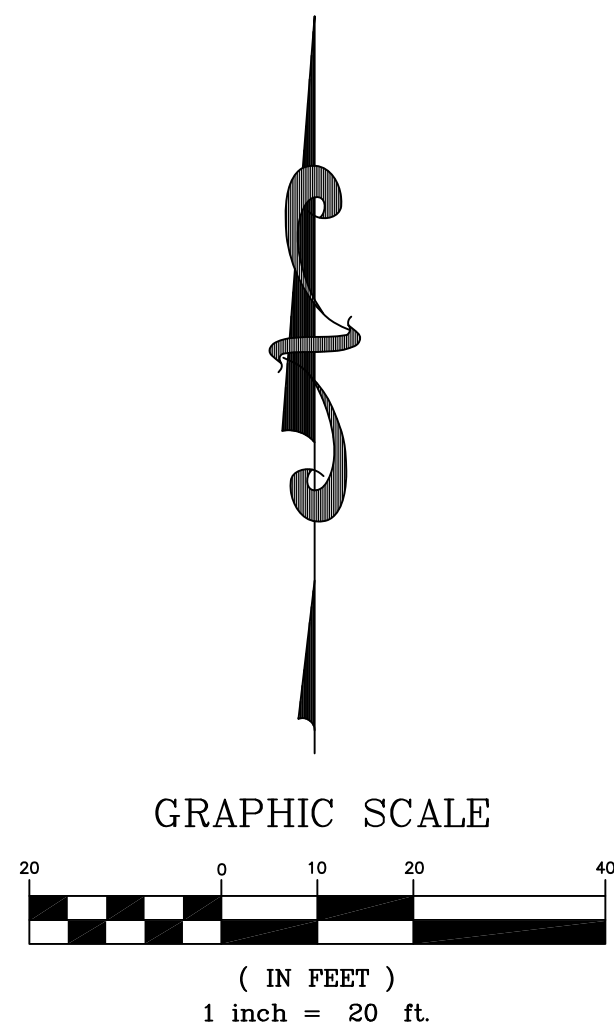
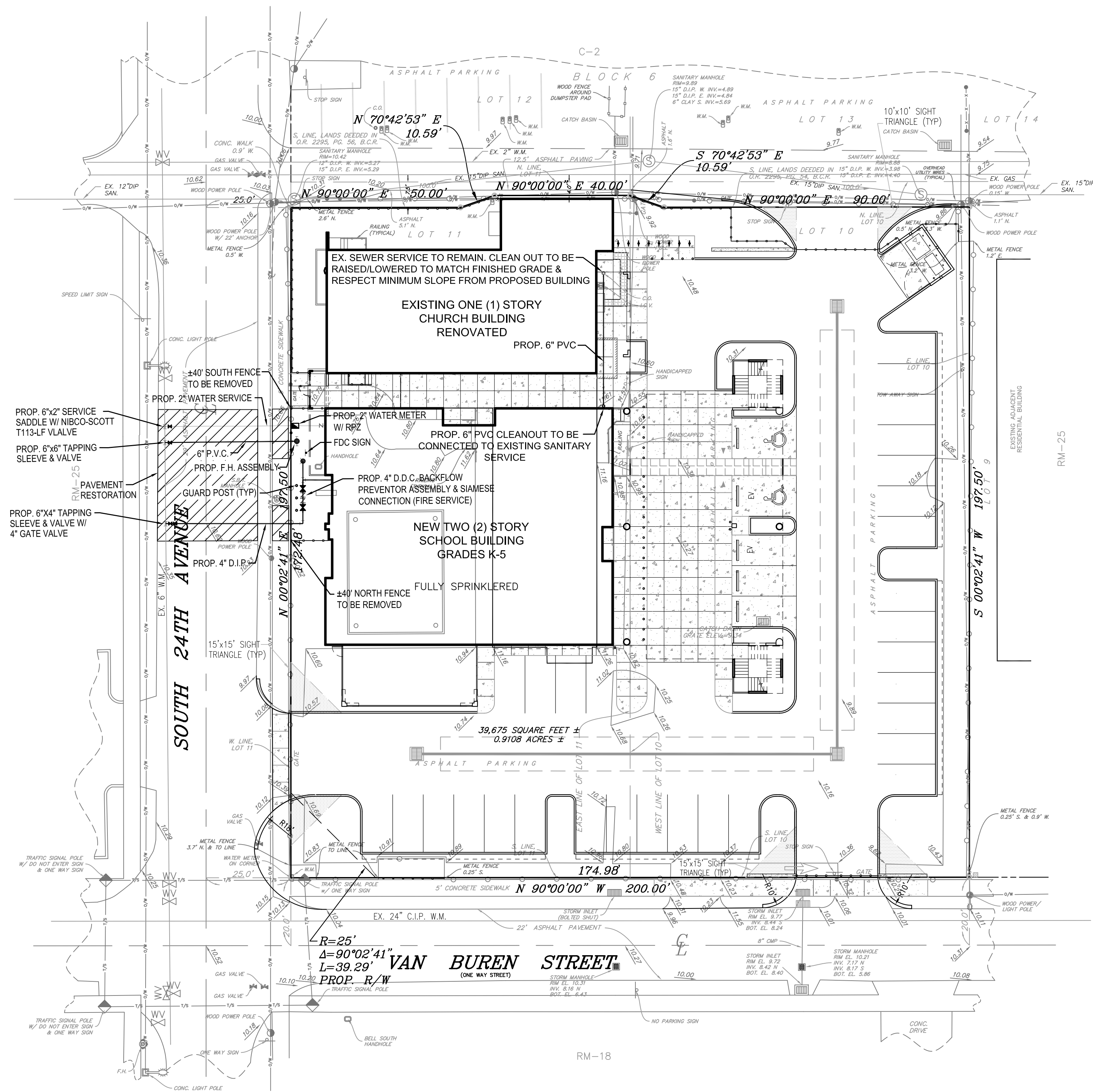
SINGLE UNIT BUS DESIGN VEHICLE  
CALTRANS



HANDICAPPED PARKING STALL STANDARD  
N.T.S.



HANDICAP SIGN DETAIL  
N.T.S.



LEGEND:

- |     |                          |
|-----|--------------------------|
| BCR | BROWARD COUNTY RECORDS   |
| DCR | DADE COUNTY RECORDS      |
| PB  | PLAT BOOK                |
| PG  | PAGE                     |
| ORB | OFFICIAL RECORDS BOOK    |
| C   | CENTERLINE               |
| R/W | RIGHT-OF-WAY             |
| SEC | SECTION                  |
| CBS | CONCRETE BLOCK STRUCTURE |
| WPP | WOOD POWER POLE          |
| CLP | CONCRETE LIGHT POLE      |
| ANC | ANCHOR                   |
| TYP | TYPICAL                  |
| ●   | FIRE HYDRANT             |
| ●   | GATE VALVE               |
| ●   | WATER METER              |
| ■   | SANITARY SEWER MANHOLE   |
| ■   | CATCH BASIN              |

NOTES:

1. STORM DRAINAGE SYSTEM AND SANITARY SEWER SYSTEM ARE PRIVATE.
2. CONTRACTOR TO BE CAUTIOUS OF EXISTING UNDERGROUND UTILITIES GIVEN EXISTING BUILDINGS ONSITE.
3. SURVEY PREPARED BY MCLAUGHLIN ENGINEERING COMPANY (LB#285), 400 J.W. MCLAUGHLIN AVENUE (N.E. 3RD AVENUE), FORT LAUDERDALE, FLORIDA 33301.
4. SEE ARCHITECTURAL PLANS FOR DUMPSTER DETAILS.
5. SEE ARCHITECTURAL PLANS FOR SPECIFICATIONS OF BOLLARDS, FENCES & GATES.
6. SEE ARCHITECTURAL PLANS FOR BIKE RACKS.
7. CONTRACTOR TO VERIFY DEPTH OF EXISTING SEWER CLEAN OUT POINT OF CONNECTION TO BE SURE THERE IS AMPLE FALL TO SERVICE THE NEW BUILDING.

PROPOSED SCHOOL WITH CAFETERIA DESIGN FLOW		
# OF PUPILS	UNIT DESIGN FLOW	TOTAL DESIGN FLOW
240	15 GPD PER PUPIL	3,600 GPD (WEEKDAY)

EXISTING CHURCH DESIGN FLOW		
# OF SEATS	UNIT DESIGN FLOW	TOTAL DESIGN FLOW
230	3 GPD PER SEAT	690 GPD (WEEKEND)

ENGINEER'S SEAL  
NOT VALID WITHOUT  
ORIGINAL SIGNATURE



SHEET TITLE  
WATER AND SEWER PLAN

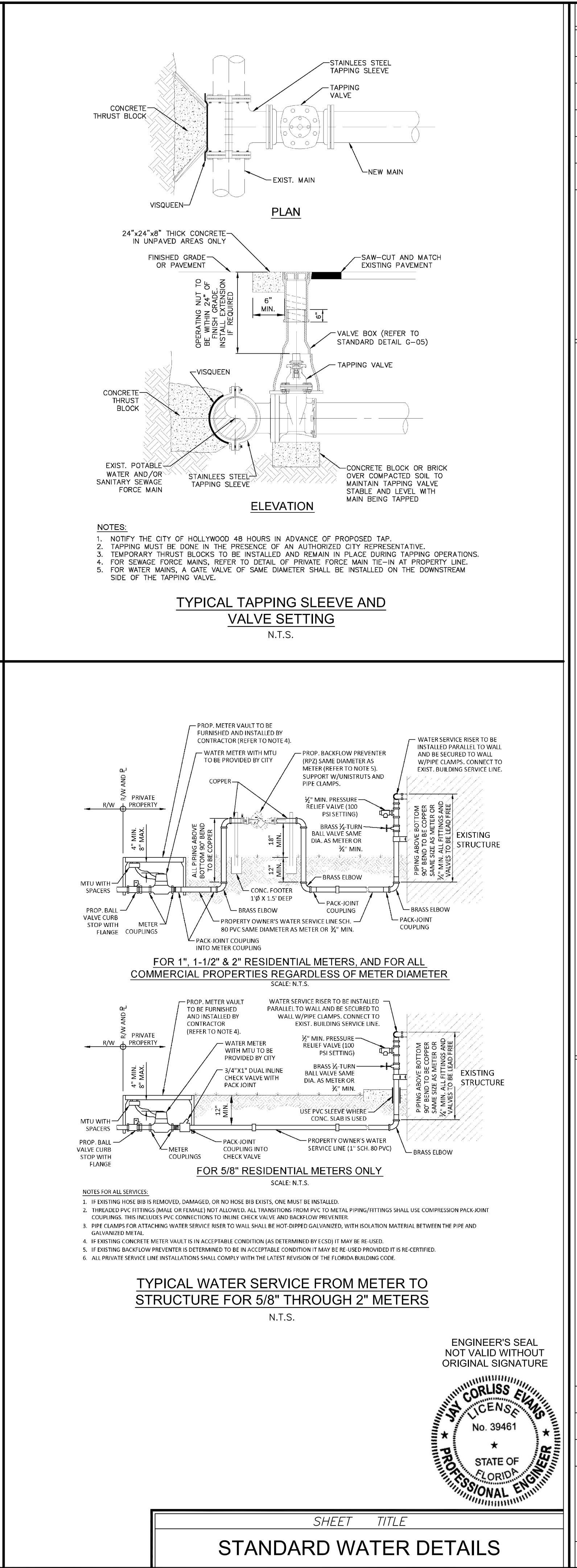
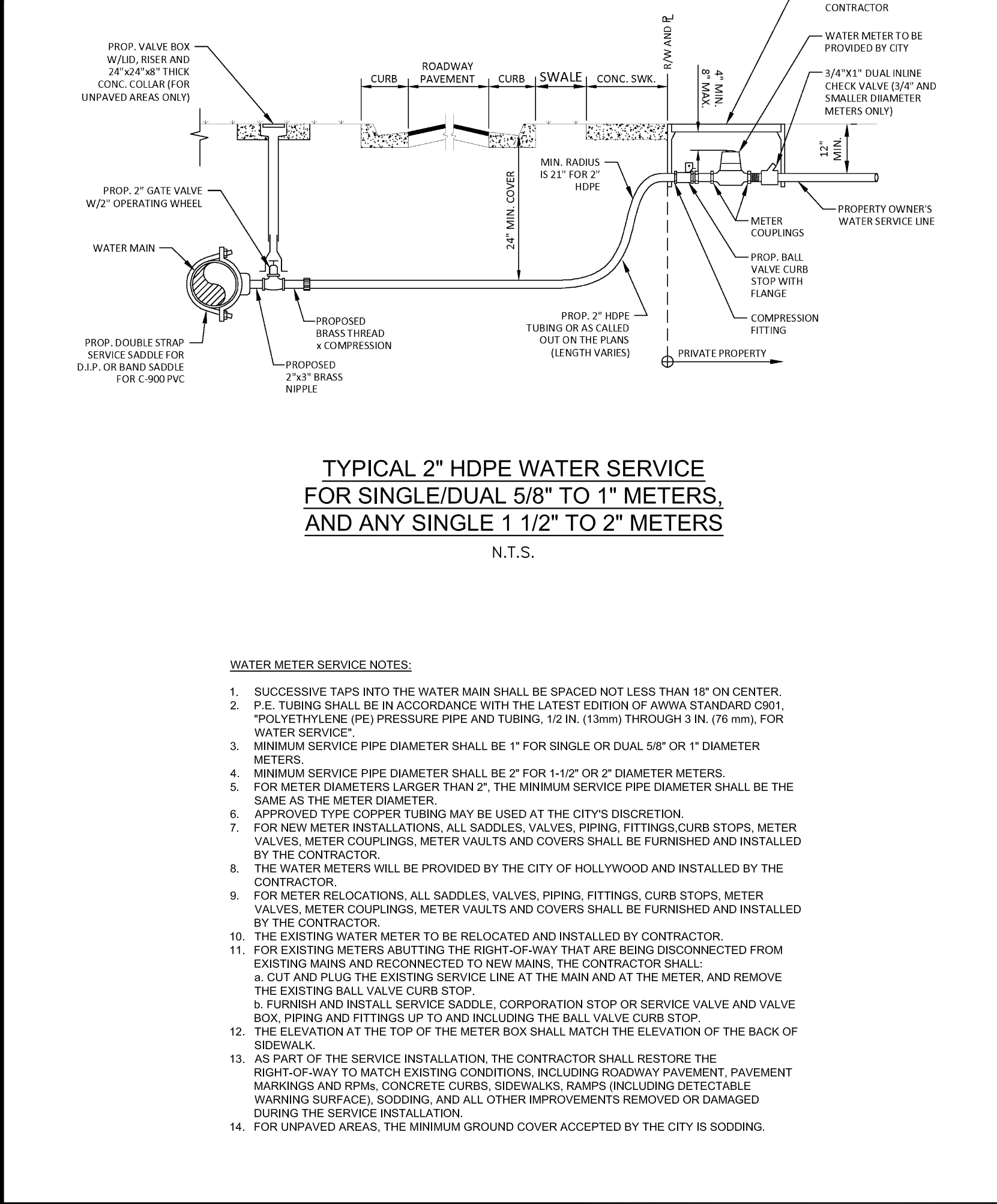
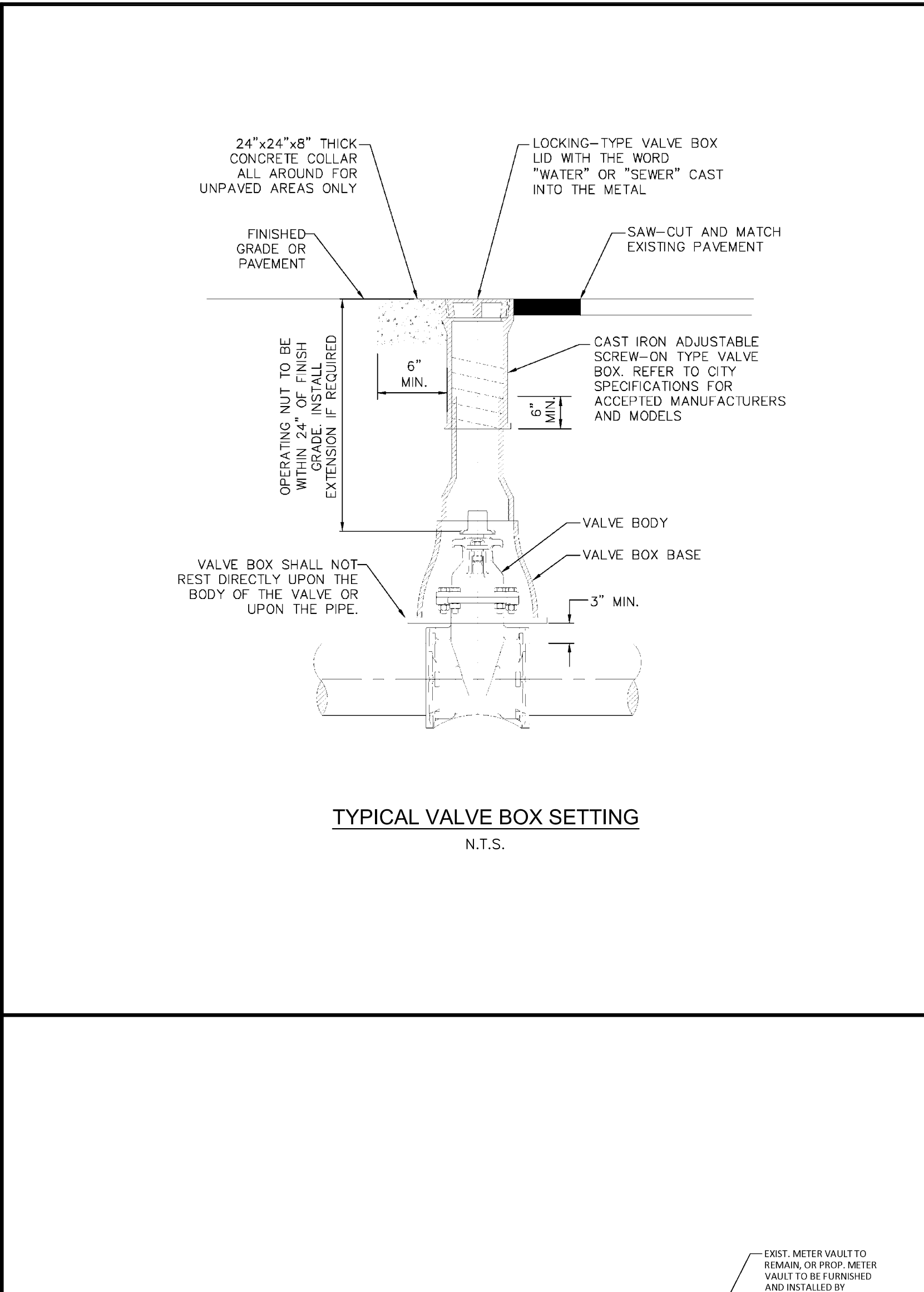
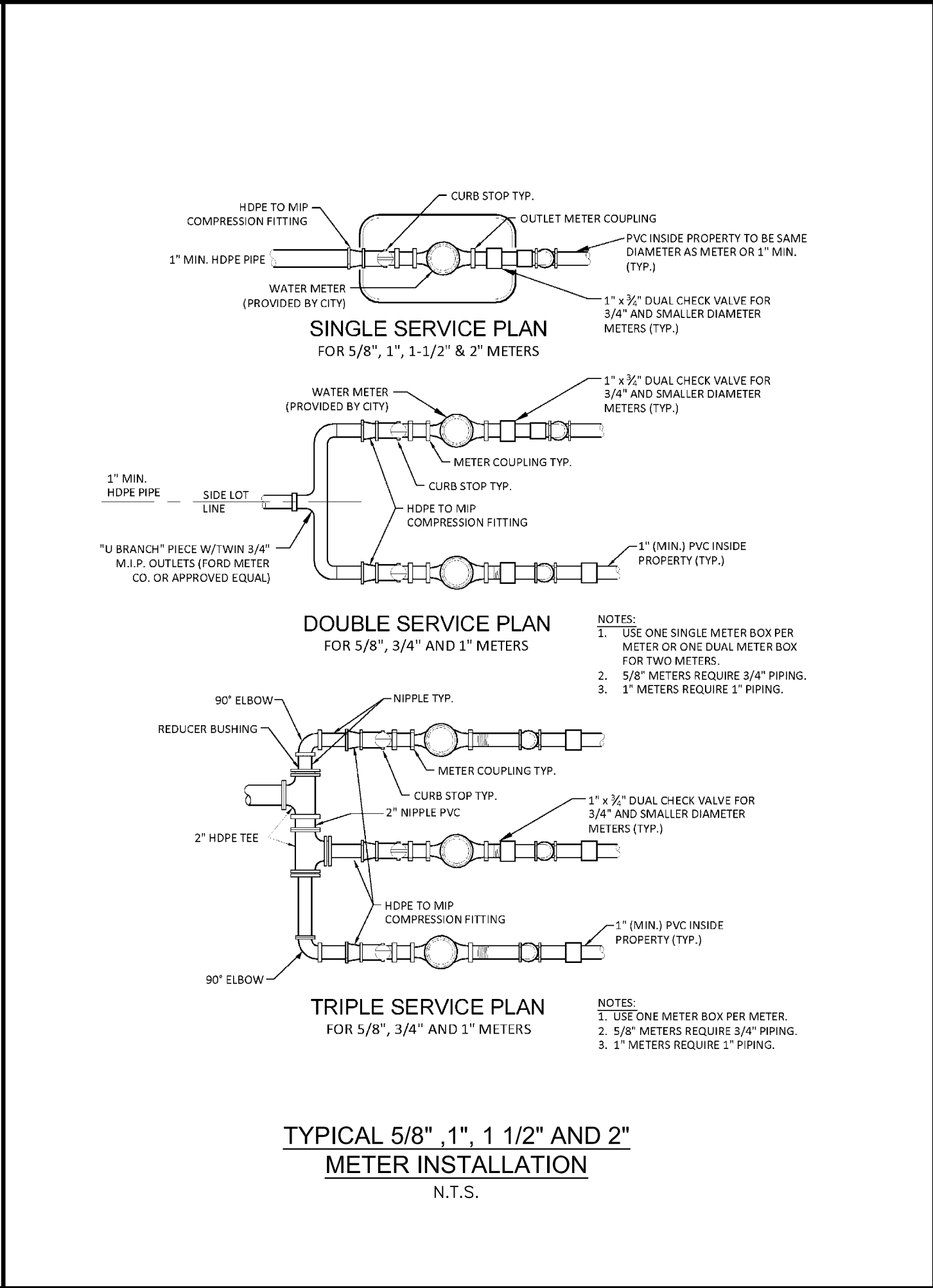
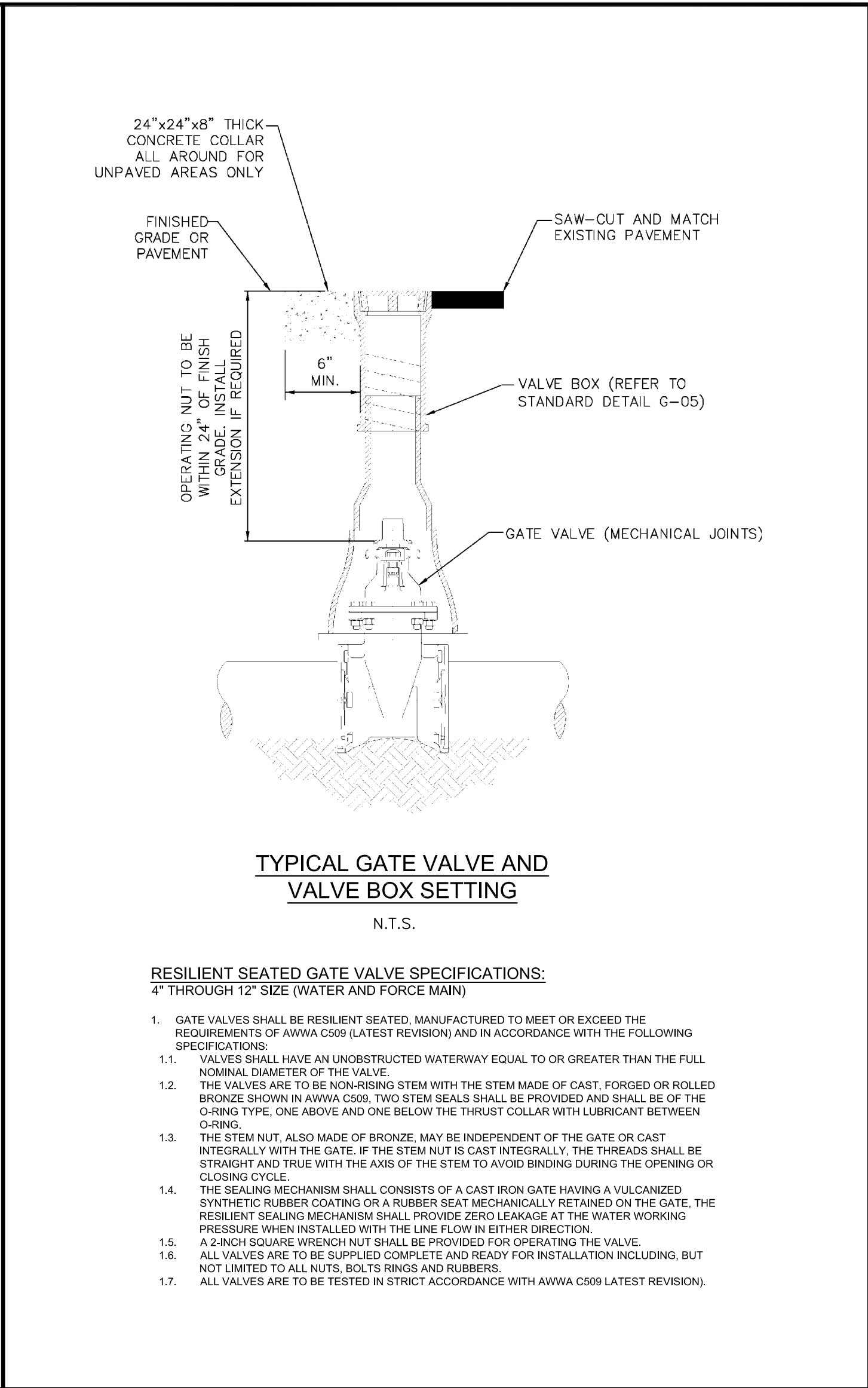
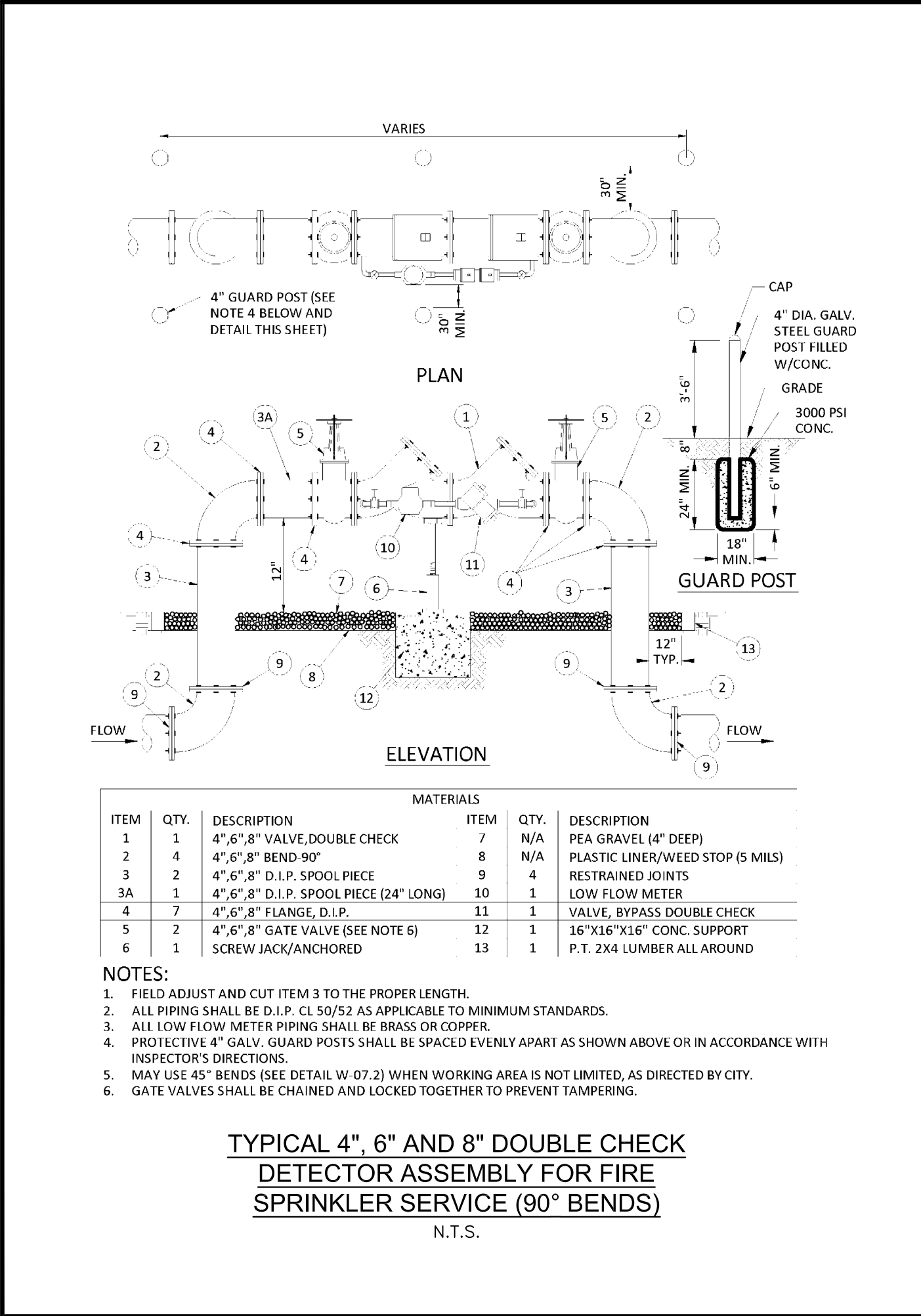
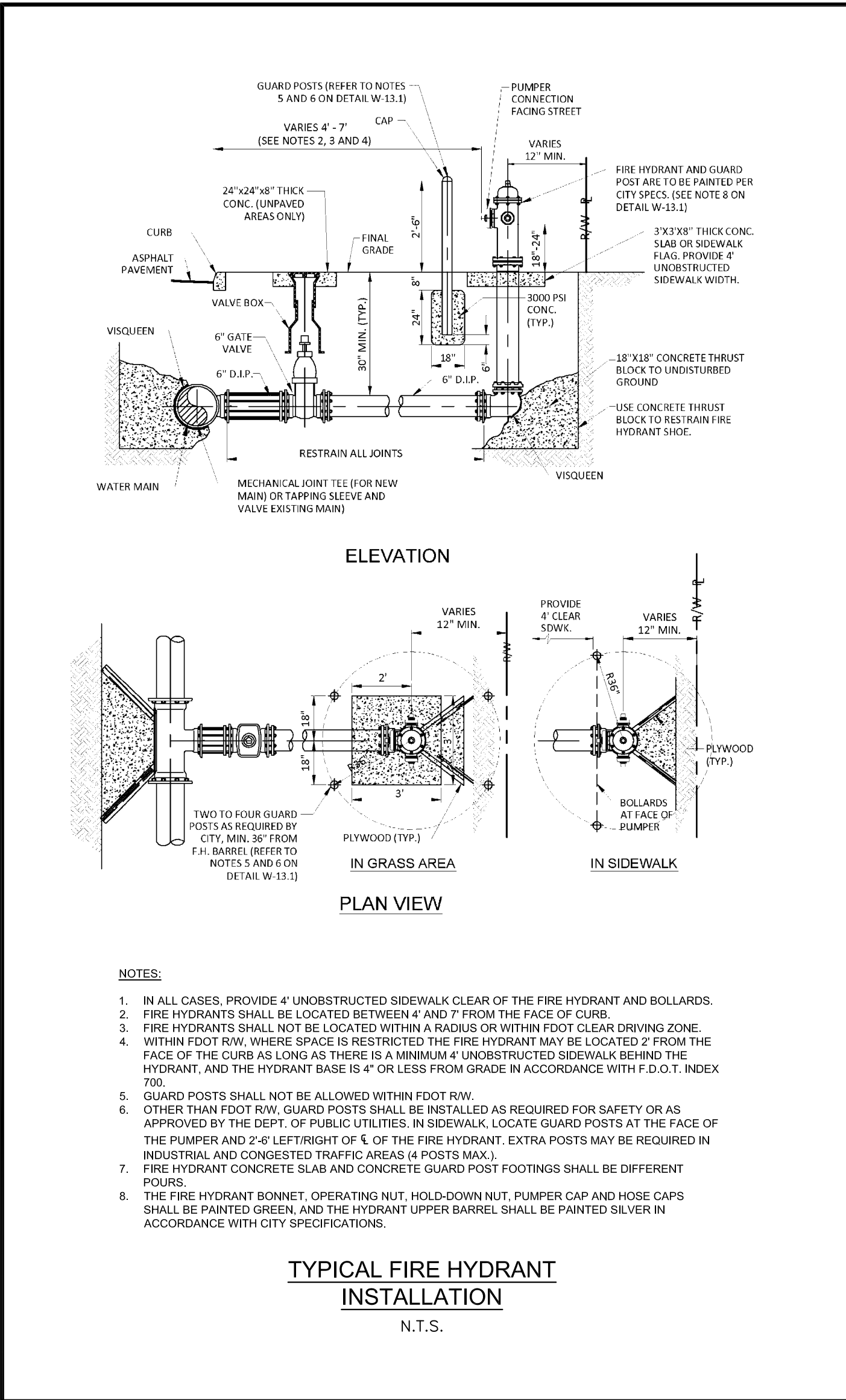
PILLAR CONSULTANTS, INC.

Consulting Engineers, Planners, Surveyors, Construction Management, General Contracting  
5230 S. University Drive - Suite 104  
Davie, Florida 33328  
Phone: (954) 680-6533 Fax: (954) 680-0323  
P.E. # 39461 LIC # QB-0015697

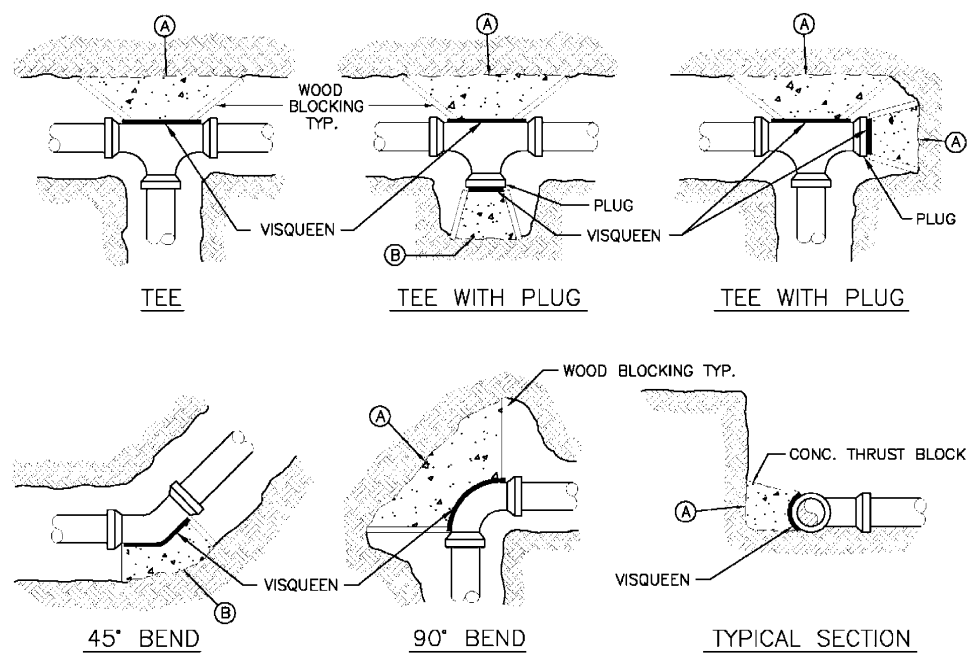
ALPHA INTERNATIONAL  
ACADEMY  
CITY OF HOLLYWOOD  
BROWARD COUNTY, FLORIDA

SCALE: 1"=20'  
DATE: 07/01/17  
DRAWN BY: BAM  
SHEET No.  
**C-4**  
16029









MINIMUM CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL (SQ. FT.)		PIPE SIZE	
MARK		4" OR 6"	8" 10" 12"
A			
B			

#### NOTES:

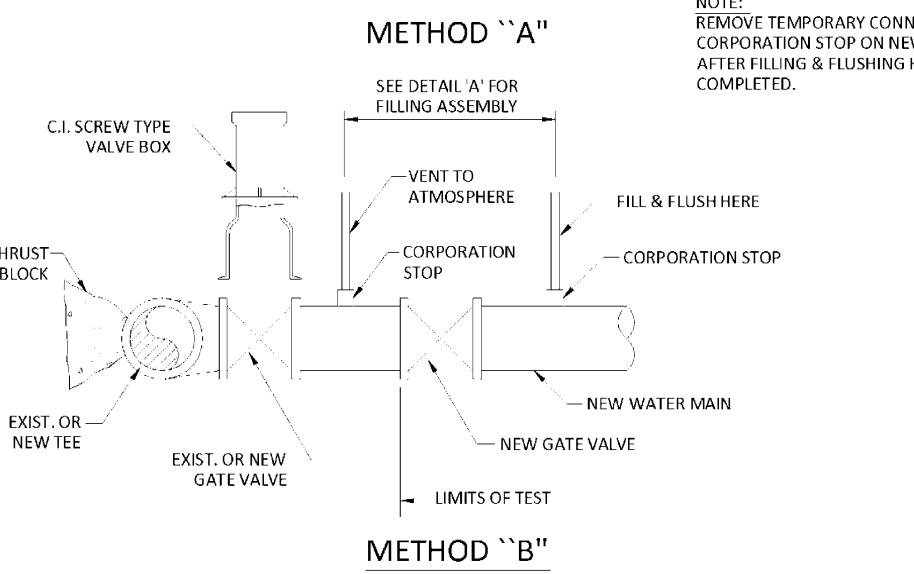
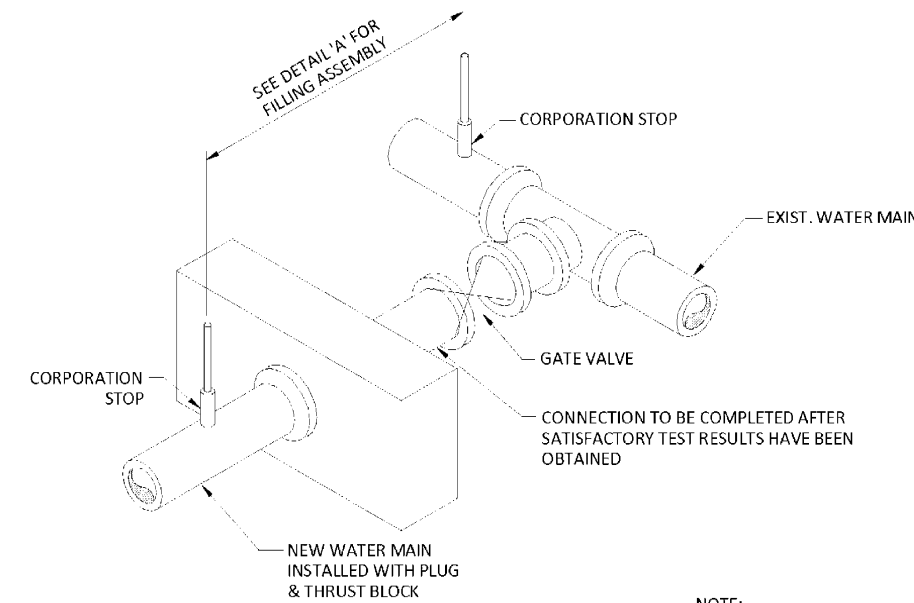
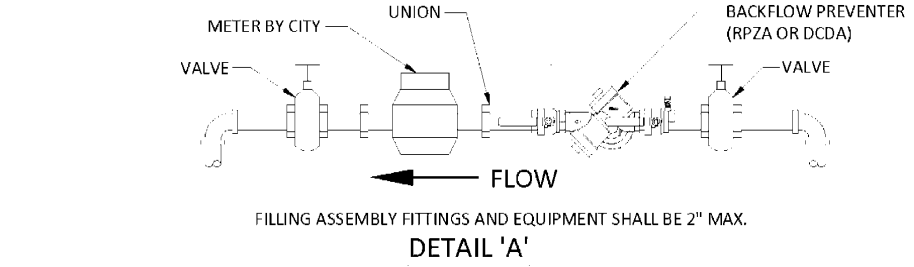
- THRUST BLOCKS ARE TO BE USED IN COMBINATION WITH, AND NOT IN LIEU OF, MECHANICAL JOINT RESTRAINTS AS REQUIRED BY THE CITY. REFER TO THRUST RESTRAINT DESIGN TABLE IN STANDARD DETAIL G-10.
- THE AREAS IN THE TABLE ARE BASED ON \_\_\_\_\_ POUNDS PER SQUARE FOOT SOIL BEARING AGAINST THE UNDISTURBED TRENCH WALL AND ARE TO REPRESENT THE MINIMUM VERTICAL PROJECTED AREA AT THE THRUST BLOCK IN A PLANE PERPENDICULAR TO THE LINE BISECTING THE INCLUDING ANGLE OF THE FITTING.
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL WHERE TRENCH WALL HAS BEEN DISTURBED, EVACUATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- DO NOT COVER COUPLING OR JOINTS WITH CONCRETE.
- CONCRETE TO BE 2500 P.S.I. MINIMUM 28 DAY STRENGTH.
- TABLE TO BE COMPLETED BY DESIGN ENGINEER.

#### THRUST RESTRAINT NOTES:

- ALL JOINTS BETWEEN BENDS AT HORIZONTAL & VERTICAL OFFSETS SHALL BE RESTRAINED.
- MECHANICAL THRUST RESTRAINTS FOR D.I.P. FITTINGS ON D.I.P. OR P.V.C. PIPE SHALL BE MEGALUGS MANUFACTURED BY EBAA IRON, INC., OR APPROVED EQUAL.
- DUCTILE IRON FITTINGS UP TO 20 INCHES IN DIAMETER SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL.
- DUCTILE IRON FITTINGS 24-INCH IN DIAMETER AND ABOVE SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL, WITH THE ADDITION OF THRUST BLOCKS AND CONCRETE ANCHORS AT THE DISCRETION OF THE ENGINEER OF RECORD.
- ANY THRUST BLOCKS AND ANCHORS ARE TO BE DESIGNED BY THE ENGINEER OF RECORD, SIGNED AND SEALED CALCULATIONS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.
- THRUST BLOCKS CONSISTING OF POURED-IN-PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AFTER 28 DAYS.

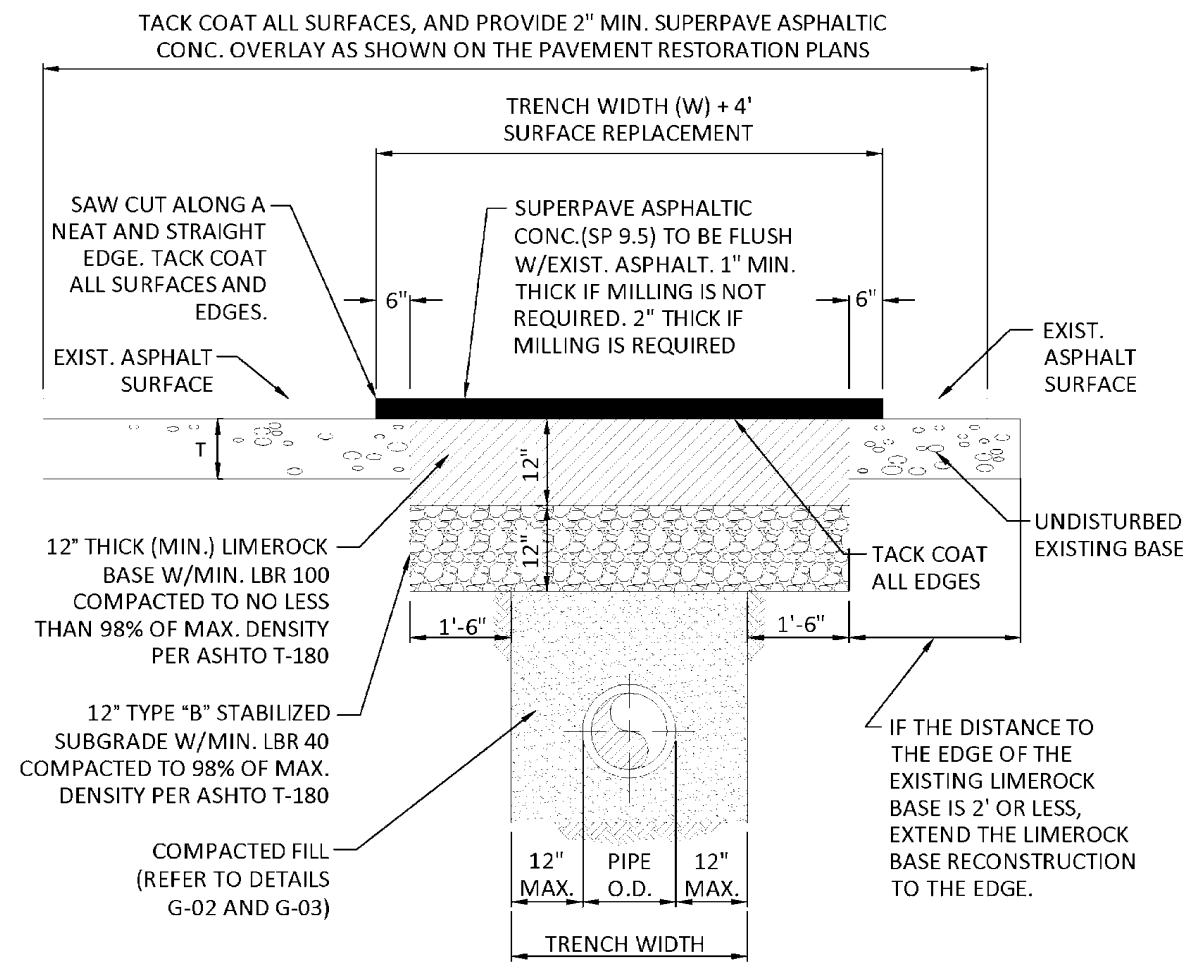
#### THRUST BLOCK DESIGN

N.T.S.



#### FILLING AND FLUSHING DETAILS

N.T.S.

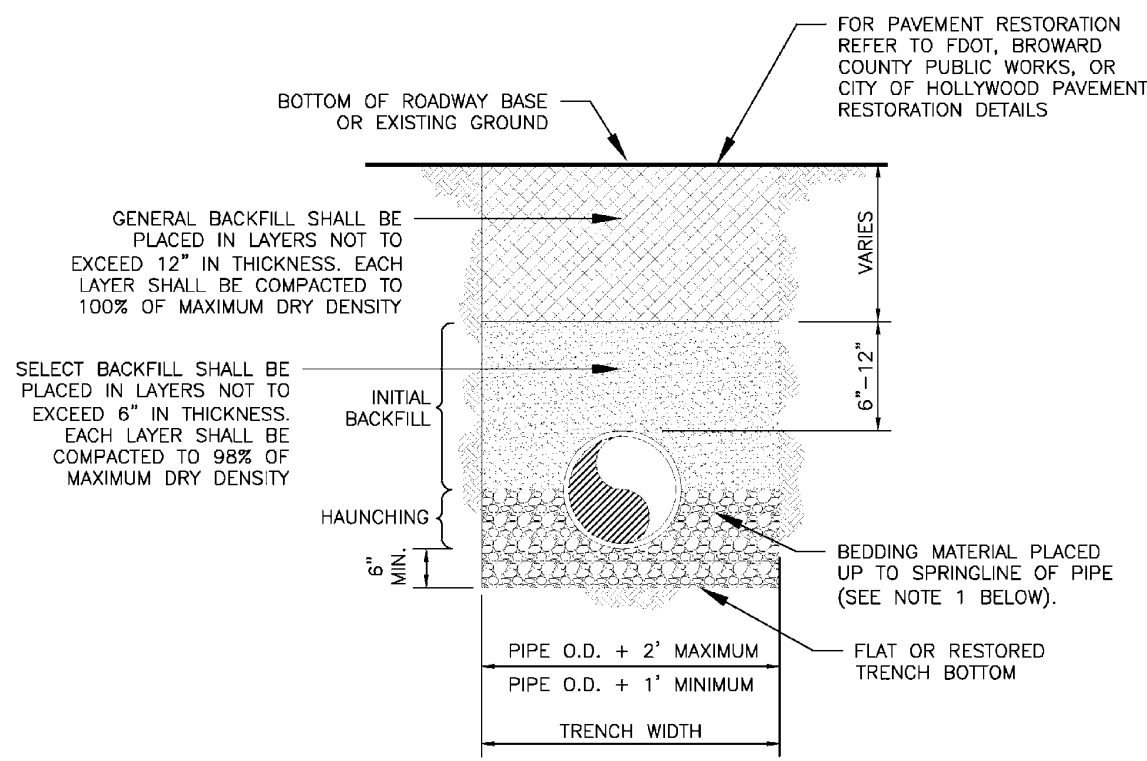


#### FLEXIBLE PAVEMENT RESTORATION NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FOOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
- BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FOOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED FOR A SMOOTH, FLUSH TRANSITION TO EXISTING PAVEMENT.
- IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
- REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

#### FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY

N.T.S.

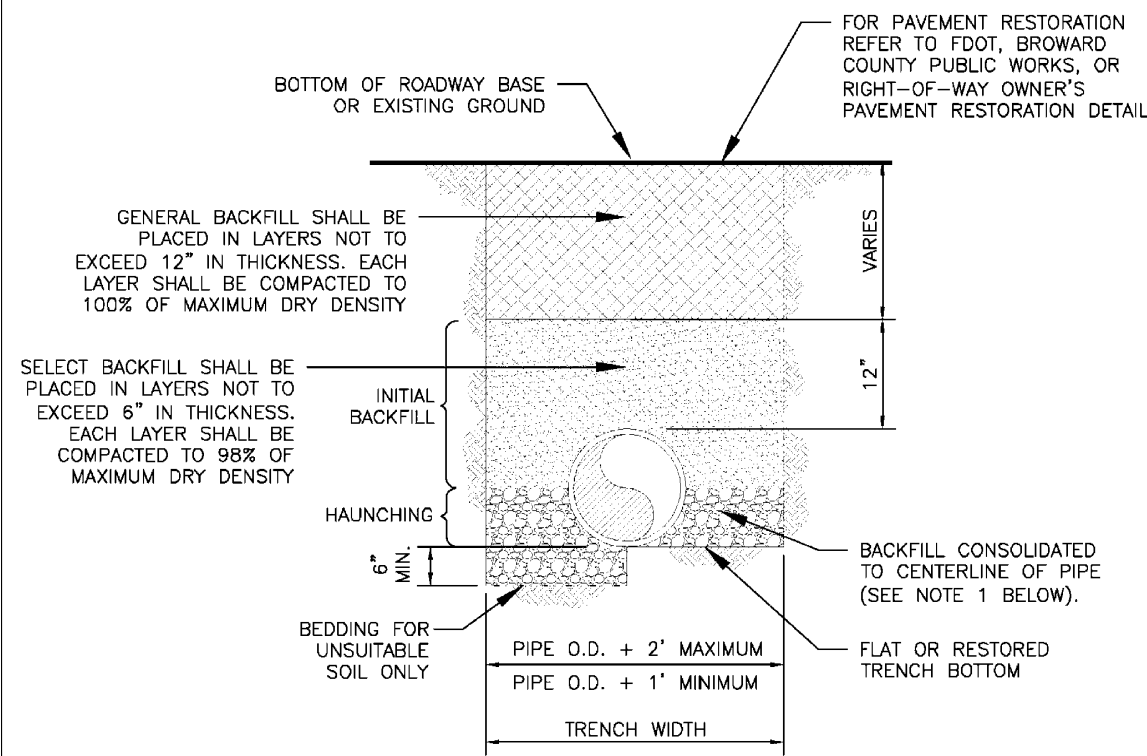


#### NOTES:

- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL, IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION, IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FOOT DESIGN STANDARD 125-8.

#### PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)

N.T.S.



#### NOTES:

- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL, IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION, IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FOOT DESIGN STANDARDS 125-8.

#### PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)

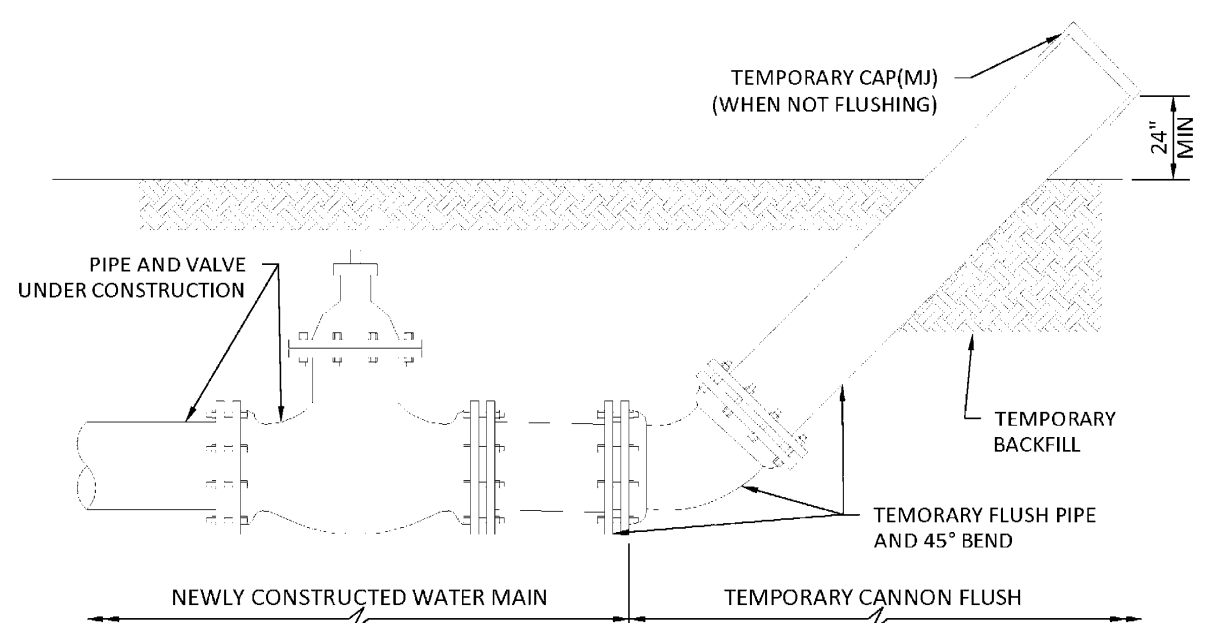
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WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314			
OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	3 ft minimum	12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft minimum
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	10 ft preferred 6 ft minimum	12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

#### SEPARATION REQUIREMENTS OF F.D.E.P./F.D.N.R.P.

N.T.S.



#### GENERAL NOTES:

- FLUSHING LOCATIONS ARE TO BE PROPOSED BY CONTRACTOR AND APPROVED BY CITY.
- UPON COMPLETION OF THE PIPE INSTALLATION FOR ANY SECTION, THE MAIN SHALL BE CANNON FLUSHED TO REMOVE DIRT AND ANY OTHER FOREIGN MATTER.
- INSTALL A TEMPORARY 45° BEND AND ASSOCIATED TEMPORARY PIPING AS SHOWN TO DIRECT THE FLUSHING WATER AWAY FROM THE IMMEDIATE WORK AREA AND EXERCISE DUE CARE SO AS TO ENSURE THAT THE WATER USED IN FLUSHING DOES NOT CAUSE A NUISANCE OR INFLICT PROPERTY DAMAGE.
- BENDS AND PIPING SHALL BE THE SAME SIZE OR LARGER AS THE LINE BEING FLUSHED.
- PRIOR TO THE ACTUAL LINE FLUSHING OPERATION THE CONTRACTOR SHALL PROPERLY NOTIFY CITY INSPECTOR OF SUCH INTENDED WATER USE.
- NO EXISTING VALVE SHALL BE OPERATED, EXCEPT BY AUTHORIZED CITY PERSONNEL.
- FLUSHING SHALL NOT BE ACCOMPLISHED WITHOUT THE ACTUAL PRESENCE OF THE CITY INSPECTOR.
- AFTER THE LINE UNDER CONSTRUCTION HAS BEEN SUCCESSFULLY FLUSHED, THE CONTRACTOR SHALL REMOVE THE TEMPORARY PIPING ARRANGEMENT AND PROCEED WITH THE REMAINING CONSTRUCTION AS SPECIFIED.
- ALL PIPING SHALL BE MECHANICALLY RESTRAINED IN ACCORDANCE WITH CITY STANDARDS.
- IF REQUIRED BY CITY, WATER MAINS SHALL BE CLEANED BY PIGGING.
- CONTRACTOR WILL INSTALL A PRESSURE GAUGE AT OR NEAR THE FILL AND FLUSH LOCATION AND MAINTAIN A MINIMUM PRESSURE OF 40 PSI AT ALL TIMES. THE FILL VALVE WILL BE OPENED AND CLOSED SLOWLY TO AVOID RAPID PRESSURE CHANGES IN THE WATER SYSTEM.
- CONTRACTOR IS CAUTIONED THAT GOVERNING AGENCIES OR UTILITIES MAY HAVE REGULATIONS LIMITING OR PROHIBITING DISCHARGE INTO SEWERS, SURFACE WATERS, CANALS, DITCHES AND OTHER CONVEYANCES/RETENTION AREA. ALL COMPLIANCE WITH GOVERNING AGENCIES REQUIREMENTS (INCLUDING PERMITTING, IF REQUIRED) IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CANNON FLUSHING TO PROCEED AFTER HEALTH DEPARTMENT CLEARANCE IS RECEIVED.

#### CANNON FLUSHING

N.T.S.

#### REVISIONS

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ALPHA INTERNATIONAL ACADEMY

CITY OF HOLLYWOOD

BROWARD COUNTY, FLORIDA

SCALE: N.T.S.

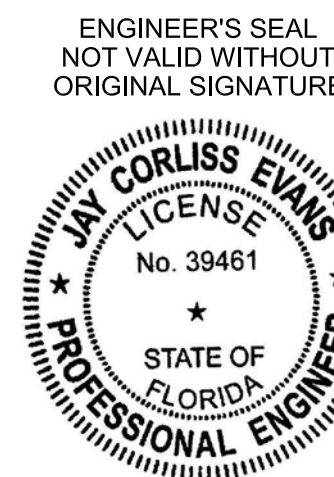
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SHEET No.

C-6

16029



SHEET TITLE

STANDARD WATER & SEWER DETAILS



16029







IX. WET WELL MOUNTED WASTEWATER PUMPING STATION		XII. STORM DRAINAGE PRE--TREATMENT/EXFILTRATION SYSTEM	
A. GENERAL:		A. ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY IMPERMEABLE MATERIAL ENCOUNTERED IN THE EXCAVATION FOR THE DRAIN FIELD SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.	
1. SCOPE OF WORK FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS REQUIRED AND INSTALL, PLACE IN OPERATION, AND FIELD TEST A TELEMETRY CONTROLLED WET WELL MOUNTED WASTEWATER PUMPING STATION AND A EMERGENCY GENERATOR OR BYPASS PUMP TO PROVIDE EMERGENCY SERVICE TO THE PUMP STATION. THE STATION SHALL BE COMPLETE WITH PUMPS, MOTORS, PIPING, VALVES, TELEMETRY, ELECTRICAL WORK (INCLUDING MOTOR CONTROLS), STRUCTURES OR CONNECTION AND APPURTENANCES, TESTER AND READY FOR SERVICE. THE GENERATOR OR PUMP SHALL BE TRAILER MOUNTED, DIESEL POWERED SIZED TO MAINTAIN THE PUMP STATION FLOW. REFER TO PLANS FOR OTHER SITE FEATURES.		B. THE TRENCH LINER SHALL BE TYPED SPUN BONDED POLYPROPYLENE FILTER FABRIC AS MANUFACTURED BY THE DUPONT COMPANY, OR APPROVED EQUAL. IT SHALL BE USED ON THE SIDES AND TOP OF DRAIN FIELD DITCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 24 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.	
2. DESCRIPTION OF SYSTEM:		C. PERFORATED PIPE WITHIN THE DRAIN FIELD SHALL HAVE 3/8 INCH PERFORATIONS 360° AROUND THE PIPE WITH APPROXIMATELY 120 PERFORATIONS PER FOOT OF PIPE.	
o. THE CONTRACTOR SHALL FURNISH AND INSTALL ONE FACTORY BUILT, AUTOMATIC PUMPING STATION. THE STATION SHALL BE COMPLETE WITH ALL NEEDED EQUIPMENT, FACTORY-INSTALLED ON A WELDED STEEL BASE WITH FIBERGLASS COVER.		D. PERFORATED PIPE SHALL TERMINATE FIVE FEET (5') FROM THE DRAINAGE STRUCTURE. THE REMAINING FIVE FEET (5') SHALL BE NON-PERFORATED PIPE.	
b. THE PRINCIPAL ITEMS OF EQUIPMENT SHALL INCLUDE TWO VERTICAL, CLOSE-COUPLED, MOTOR DRIVEN, VACUUM PRIMED, NON-CLOG SEWAGE PUMPS; VALVES; INTERNAL PIPING; CENTRAL CONTROL PANEL WITH CIRCUIT BREAKERS; MOTOR STARTERS AND AUTOMATIC PUMPING LEVEL CONTROLS; HEATER; VENTILATING BLOWER; PRIMING PUMPS AND APPURTENANCES; AND ALL INTERNAL WIRING.		E. PIPES SHALL TERMINATE TWO FEET (2') FROM THE END OF THE TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS.	
c. REFER TO PLANS FOR A COMPLETE LIST OF OPERATING CONDITIONS.		XIII. PAVING	
d. THE PUMPING STATION SHALL PUMP RAW, UNSCREENED, DOMESTIC WASTEWATER INTO A FORCE MAIN, WHICH IS PUMPED TO A LOCAL MANHOLE OR TRANSMISSION SYSTEM.		A. GENERAL:	
e. THE REMOTE TELEMETRY UNIT SHALL INCLUDE AN ENCLOSURE WITH POWER SUPPLY, CENTRAL PROCESSING UNIT, ANALOG AND DIGITAL OUTPUTS, RADIO, DIRECTIONAL ANTENNA AND APPURTENANCES AND ALL WIRING.		1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF OF LIMEROCK BASE AND PRIOR TO PLACEMENT OF THE PAVEMENT.	
f. THE CONTRACTOR SHALL FURNISH, AT THE UTILITY SERVICE PROVIDER'S DISCRETION, EITHER AN EMERGENCY GENERATOR OR EMERGENCY BYPASS PUMP. THE GENERATOR SHALL BE SIZED TO MEET THE STARTING AMPERAGE OF BOTH PUMPS SIMULTANEOUSLY. THE BYPASS PUMP SHALL BE A MINIMUM SIX (6) INCH SELF-PRIMING PUMP. EITHER SHALL BE DIESEL POWERED, TRAILER MOUNTED WITH NECESSARY TOWING EQUIPMENT INCLUDING, LIGHTS AND HITCH. THE GENERATOR SHALL BE SUPPLIED WITH NECESSARY PLUG AND CABLE FOR SUPPLYING POWER TO THE PUMP STATION CONTROL PANEL. THE BYPASS PUMP SHALL BE SUPPLIED WITH THE NECESSARY HOSES AND CONNECTIONS TO PROVIDE BYPASSING OF THE PUMP STATION.		2. ALL EXISTING PAVEMENT CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.	
3. QUALIFICATIONS:		3. WHERE PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.	
TO ASSURE UNITY OF RESPONSIBILITY, THE MOTORS AND CONTROL SYSTEM SHALL BE FURNISHED AND COORDINATED BY THE LOCAL PUMP MANUFACTURER REPRESENTATIVE. THE CONTRACTOR AND PUMP MANUFACTURER SHALL ASSUME RESPONSIBILITY FOR THE SATISFACTORY INSTALLATION AND OPERATION OF THE ENTIRE PUMPING SYSTEM INCLUDING PUMPS, MOTORS, CONTROLS, GENERATOR OR BYPASS AS SPECIFIED.		4. ALL STREET CORNER PAVEMENT RADII SHALL BE 25 FEET UNLESS OTHERWISE NOTED ON THE PLANS.	
4. SUBMITTALS:		5. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND LIMEROCK BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD AND THE LOCAL MUNICIPALITY "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND THE PERTINENT GRADES OF ALL DRAINAGE INSTALLATIONS, AND THE FINISHED ROCK, GRADES OF THE ROAD CROWN AND EDGE OF PAVEMENT AT 50 FEET INTERVALS. THESE "AS-BUILTS" SHALL BE APPROVED BY THE MUNICIPALITY PRIOR TO THE PLACEMENT OF ASPHALT.	
o. COPIES OF ALL MATERIALS REQUIRED ESTABLISHING COMPLIANCE WITH SPECIFICATIONS SHOULD BE SUBMITTED IN ACCORDANCE WITH PROVISIONS FOR THE GENERAL CONDITIONS. SUBMITTALS SHALL INCLUDE AT LEAST THE FOLLOWING:		B. MATERIALS:	
i. SHOP ERECTION DRAWINGS SHOWING ALL-IMPORTANT DETAILS OF CONSTRUCTIONS, DIMENSIONS AND ANCHOR BOLT LOCATIONS.		1. BASE COURSE SHALL BE CRUSHED LIMEROCK MIAMI OOLITE WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM (60% FOR LOCAL STREETS AND PARKING AREAS) AND A MINIMUM LIMEROCK BEARING RATIO 100.	
ii. DESCRIPTIVE LITERATURE, BULLETINS AND CATALOGS OF THE EQUIPMENT.		2. PRIME COAT AND TACK COAT SHALL MEET F.D.O.T. STANDARDS.	
iii. DATA ON THE CHARACTERISTICS AND PERFORMANCE OF EACH STATION PUMP, GENERATOR DATA SHALL INCLUDE A CERTIFIED PERFORMANCE TEST, BASED ON ACTUAL SHOP TESTS OF THE SALE UNITS, WHICH SHOW THAT THEY MEET THE SPECIFIED REQUIREMENTS FOR HEAD, CAPACITY, EFFICIENCY, AND HORSEPOWER. CURVES SHALL BE SUBMITTED ON 8 1/2 INCH BY 11 INCH SHEETS AT AS LARGE A SCALE AS PRACTICAL. CURVES SHALL BE PLOTTED FROM NO FLOW AT SHUT OFF HEAD TO PUMP CAPACITY AT MINIMUM SPECIFIED TOTAL DYNAMIC HEAD. CATALOG SHEETS SHOWING A FAMILY OF CURVES WILL NOT BE ACCEPTABLE.		3. SURFACE COURSE SHALL BE EQUAL TO F.D.O.T. TYPE S-3 ASPHALT.	
iv. COMPLETE MASTER WIRING DIAGRAMS, TELEMETRY OR CONTROL SCHEMATICS, INCLUDING COORDINATION WITH OTHER ELECTRICAL DEVICES OPERATING IN CONJUNCTION WITH THE PUMP CONTROL SYSTEM AND SUITABLE OUTLINE DRAWINGS SHALL BE FURNISHED FOR APPROVAL BEFORE PROCEEDING WITH MANUFACTURER, STANDARD PRE-PRINTED SHEETS OR DRAWINGS SIMPLY MARKED TO INDICATE APPLICABILITY TO THIS CONTRACT WILL NOT BE ACCEPTABLE.		4. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" No. 6 GAUGE WIRE MESH.	
v. A DRAWING SHOWING THE LAYOUT OF THE PUMP CONTROL PANEL SHALL BE FURNISHED, THE LAYOUT SHALL INDICATE EVERY DEVICE MOUNTED ON THE DOOR WITH COMPLETE IDENTIFICATION.		C. INSTALLATION:	
vi. THE TOTAL WEIGHT OF THE EQUIPMENT INCLUDING THE WEIGHT OF THE SINGLE LARGEST ITEM.		1. LIMEROCK BASE MATERIAL SHALL BE 8 INCHES THICK AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.	
vii. A COMPLETE TOTAL BILL OF MATERIALS OF ALL EQUIPMENT.		2. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO OR MORE EQUAL LIFTS.	
viii. A LIST OF THE MANUFACTURER'S RECOMMENDED SPARE PARTS TO BE SUPPLIED IN ADDITION TO THOSE SPECIFIED IN PARAGRAPH 6.A. WITH THE MANUFACTURER'S CURRENT PRICE FOR EACH ITEM. INCLUDE GASKETS, SEALS, ETC. ON THE LIST. LIST BEARING BY THE BEARING MANUFACTURER'S NUMBERS ONLY.		3. ASPHALTIC CONCRETE SHALL BE A MINIMUM OF 1 1/2" THICK AND SHALL BE PLACED IN TWO 3/4" LIFTS. (NOTE: SECOND LIFT TO BE PLACED AFTER A MINIMUM OF 80% OF THE HOUSES HAVE BEEN COMPLETED OR AS DIRECTED BY THE MUNICIPALITY'S ENGINEER.	
ix. ALL SUBMITTAL DATES REQUIRED BY THE GENERAL CONDITIONS.		4. PRIME COAT SHALL BE PLACED ON ALL LIMEROCK BASES IN ACCORDANCE WITH F.D.O.T. STANDARDS.	
x. COMPLETE MOTOR DATA.		5. TACK COAT SHALL BE PLACED AS REQUIRED IN ACCORDANCE WITH F.D.O.T. STANDARDS.	
b. IN THE EVENT THAT IT IS IMPOSSIBLE TO CONFORM TO CERTAIN DETAILS OF THE SPECIFICATIONS DUE TO DIFFERENT MANUFACTURING TECHNIQUES, DESCRIBE COMPLETELY ALL NON-CONFORMING ASPECTS.		D. TESTING:	
c. UPON RECEIPT OF APPROVAL OF SUBMITTED MATERIAL, PROVIDE FIVE PRINTS.		ALL SUBGRADE, LIMEROCK AND ASPHALT TESTS REQUIRED SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER AND/OR THE LOCAL MUNICIPALITY.	
5. OPERATING INSTRUCTIONS:		1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.	
o. OPERATING AND MAINTENANCE MANUALS SHALL BE FURNISHED WHICH WILL INCLUDE PARTS LISTS OF COMPONENTS AND COMPLETE SERVICE PROCEDURES AND TROUBLE-SHOOTING GUIDE. THE MANUALS SHALL BE PREPARED SPECIFICALLY FOR THE INSTALLATION AND SHALL INCLUDE ALL REQUIRED CUTS, DRAWINGS, EQUIPMENT LISTS, DESCRIPTION, ETC. THAT ARE REQUIRED TO INSTRUCT OPERATING AND MAINTENANCE PERSONNEL UNFAMILIAR WITH SUCH EQUIPMENT.		2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, AND TAKEN AS DIRECTED BY THE ENGINEER AND THE LOCAL MUNICIPALITY.	
b. A FACTORY TRAINED REPRESENTATIVE OF ALL MAJOR COMPONENT MANUFACTURERS, WHO HAS COMPLETE KNOWLEDGE OF PROPER OPERATION AND MAINTENANCE, SHALL BE PROVIDED FOR ONE (1) DAY AT THE STATION, TO INSTRUCT REPRESENTATIVES OF THE MUNICIPALITY AND THE ENGINEER ON PROPER OPERATION AND MAINTENANCE AND TO PERFORM INITIAL START-UP OF THE PUMP STATION. WITH PERMISSION OF THE CITY, THIS WORK MAY BE CONDUCTED IN CONJUNCTION WITH THE INSPECTION OF THE INSTALLATION AND TEST RUN. IF THERE ARE DIFFICULTIES IN OPERATION OF THE EQUIPMENT DUE TO THE MANUFACTURER'S DESIGN OR FABRICATION, ADDITIONAL SERVICE SHALL BE PROVIDED AT NO COST TO THE OWNER.		3. ALL TESTING COSTS (PAYING) SHALL BE PAID FOR BY THE OWNER EXCEPT THOSE TESTS FAILING TO MEET THE SPECIFIED REQUIREMENTS, WHICH ARE TO BE PAID BY THE CONTRACTOR.	
6. SPARE PARTS:		XIV. SIGNING AND MARKING	
o. A COMPLETE REPLACEMENT PUMP SHAFT SEAL ASSEMBLY SHALL BE FURNISHED WITH EACH PUMP STATION. THE SPARE SEAL SHALL BE PACKED IN A SUITABLE CONTAINER AND SHALL INCLUDE COMPLETE INSTALLATION INSTRUCTIONS. IN ADDITION, A SPARE SEAL GASKET SHALL BE PROVIDED.		A. ALL PAVEMENT MARKINGS SHALL BE HOT APPLIED THERMOPLASTIC MANUFACTURED AND APPLIED IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATION'S SECTION 711 AND BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS WHERE APPLICABLE.	
b. SPARE PARTS SHALL BE PROPERLY BOUND AND LABELED FOR EACH IDENTIFICATION WITHOUT OPENING THE PACKAGING AND SUITABLY PROTECTED FOR LONG TERM STORAGE.		B. ALL SIGNS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.	
7. GUARANTEE:		C. REFLECTIVE PAVEMENT MARKERS SHALL BE CLASS B MARKERS MANUFACTURED IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS 706 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.	
o. THE MANUFACTURER OF THE LIFT STATION SHALL GUARANTEE THE STRUCTURE AND ALL EQUIPMENT TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF UP TO ONE YEAR FROM DATE OF START-UP, NOT TO EXCEED 18 MONTHS FROM THE DATE OF SHIPMENT.		XV. ABANDONMENT/GROUTING OF EXISTING PIPING	
b. WARRANTIES AND GUARANTEES BY THE SUPPLIERS OF VARIOUS COMPONENTS IN LIEU OF SINGLE-SOURCE RESPONSIBILITY BY THE STATION MANUFACTURER WILL NOT BE ACCEPTED. THE STATION MANUFACTURER SHALL BE SOLELY RESPONSIBLE FOR THE GUARANTEE OF THE STATION AND ALL ITS COMPONENTS.		A. GENERAL:	
c. THE REPAIR OR REPLACEMENT OF THOSE ITEMS NORMALLY CONSUMED IN SERVICE, SUCH AS SEALS, GREASE, LIGHT BULBS, ETC., SHALL BE CONSIDERED AS PART OF ROUTINE MAINTENANCE AND UPKEEP.		PIPING DESIGNATED TO BE "ABANDONED/GROUTED" IN PLACE SHALL BE PRESSURE GROUTED WITH A LIME/CEMENT/SAND SLURRY AND SEALED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND/OR UTILITY SERVICE PROVIDER AND THE PROVISIONS SPECIFIED HEREIN AND, WHERE NECESSARY DUE TO CONFLICT WITH PROPOSED INSTALLATIONS OR REMOVAL OF UNSUITABLE MATERIAL, SECTIONS OF PIPE SHALL BE CUT OUT AS REQUIRED, REMOVED AND PROPERLY DISPOSED OF.	
B. EXECUTION:		B. HAZARDOUS MATERIALS:	
1. INSTALLATION:		PIPING TO BE ABANDONED AND STABILIZED OR CUT AND REMOVED IS OF ASBESTOS-CEMENT MATERIAL COMPOSITION AND SHALL BE HANDLED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THE AGENCIES HAVING JURISDICTION.	
o. INSTALLATION SHALL BE STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS IN THE LOCATIONS SHOWN ON THE DRAWINGS. INSTALLATION SHALL INCLUDE FURNISHING THE REQUIRED OIL AND GREASE FOR THE INITIAL OPERATION. THE GRADES OF OIL AND GREASE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.		1. PROVIDE THE SERVICES OF A PROPERLY QUALIFIED, EXPERIENCED AND, WHERE MANDATORY, FLORIDA LICENSED ASBESTOS REMOVAL CONTRACTOR TO PERFORM THE REQUIRED WORK. PROVIDE FOR THE SAFETY AND PROPER PROTECTION OF PERSONS AGAINST EXPOSURE TO HAZARDOUS MATERIALS INVOLVED IN THE PROJECT.	
b. THE CONTRACTOR SHALL SUBMIT A CERTIFICATE FROM THE EQUIPMENT MANUFACTURER STATING THAT THE INSTALLATIONS OF THE EQUIPMENT IS SATISFACTORY, THAT THE EQUIPMENT IS READY FOR OPERATION, AND THAT THE OPERATION PERSONNEL HAVE BEEN SUITABLY INSTRUCTED IN THE OPERATION, LUBRICATION AND CARE OF EACH UNIT.		2. DETERMINE AND COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, CONTAINMENT, HANDLING, AND DISPOSAL OF HAZARDOUS MATERIAL. DISPOSAL METHOD FOR THIS PIPING SHALL BE TO CUT PIPE, DISLOCATE IT AND LEGALLY DISPOSE OF THE PIPING OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.	
c. INSTALLATION OF THE PUMP CHAMBER SHALL BE DONE IN ACCORDANCE WITH THE WRITTEN INSTRUCTIONS PROVIDED BY THE MANUFACTURER.		C. SUBMITTALS:	
2. SHOP PAINTING:		1. SUBMIT DATA ON PROPOSED METHODS AND EQUIPMENT FOR LIME SLURRY INJECTION PROCESS.	
o. BEFORE EXPOSURE TO WEATHER AND PRIOR TO SHOP PAINTING, ALL SURFACES SHALL BE THOROUGHLY CLEANED, DRY AND FREE FROM ALL MILL-SCALE, RUST, GREASE, DIRT AND OTHER FOREIGN MATTER.		2. SUBMIT MANUFACTURER'S CERTIFICATE INDICATING MATERIALS COMPLIANCE WITH SPECIFICATIONS.	
b. ALL PUMPS AND MOTORS SHALL BE SHOP COATED, WITH MANUFACTURER'S STANDARD COATING.		3. SUBMIT CERTIFICATION OF APPLICATOR'S TRAINING AND EXPERIENCE (2 YEARS MINIMUM) USING PRESSURE GROUTING PROCESS.	
c. ALL NAMEPLATES SHALL BE PROPERLY PROTECTED DURING PAINTING.		D. LIME SLURRY:	
d. GEARS, BEARING SURFACES AND OTHER SIMILAR SURFACES OBVIOUSLY NOT TO BE PAINTED SHALL BE GIVEN A HEAVY SHOP COAT OF GREASE OR OTHER SUITABLE RUST-RESISTANT COATING. THIS COATING SHALL BE MAINTAINED AS NECESSARY TO PREVENT CORROSION DURING PERIODS OF STORAGE AND ERECTION AND SHALL BE SATISFACTORY TO THE ENGINEER UP TO THE TIME OF THE FINAL ACCEPTANCE TEST.		1. MATERIALS:	
3. INSPECTION AND TESTING:		o. HYDRATED LIME: ASTM C 141.	
o. GENERAL:		b. PORTLAND CEMENT: ASTM C 150, TYPE I.	
i. THE ENGINEER SHALL HAVE THE RIGHT TO INSPECT, TEST OR WITNESS A TEST OF ALL MATERIALS OR EQUIPMENT TO BE FURNISHED UNDER THESE SPECIFICATIONS, PRIOR TO THEIR SHIPMENT FROM THE POINT OF MANUFACTURE.		c. WATER: POTABLE QUALITY.	
ii. THE ENGINEER SHALL BE NOTIFIED IN WRITING PRIOR TO INITIAL SHIPMENT IN AMPLE TIME SO THAT ARRANGEMENTS CAN BE MADE FOR INSPECTION BY THE ENGINEER.		d. SURFACTANT: BIODEGRADABLE, NONIONIC DETERGENT (USAGE TO BE CONTRACTOR OPTION)	
iii. THE ENGINEER OR HIS REPRESENTATIVE SHALL BE FURNISHED ALL FACILITIES, INCLUDING LABOR, AND SHALL BE ALLOWED PROPER TIME INSPECTION AND TESTING OF MATERIAL AND EQUIPMENT.		e. SAND: CLEAN SAND WITH 100% PASSING THE 3/8" SIEVE AND NOT MORE THAN 10% PASSING THE 200 MESH.	
iv. MATERIALS AND EQUIPMENT SHALL BE TESTED OR INSPECTED AS REQUIRED BY THE ENGINEER AND THE COST OF SUCH WORK SHALL BE INCLUDED IN THE COST OF THE EQUIPMENT. THE CONTRACTOR SHALL ANTICIPATE THAT DELAYS MAY BE CAUSED BECAUSE OF THE NECESSITY OF INSPECTION, TESTING AND ACCEPTING MATERIALS AND EQUIPMENT BEFORE THEIR USE IS APPROVED.		2. MIX:	
v. THE SERVICE OF A FACTORY REPRESENTATIVE SHALL BE FURNISHED FOR ONE (1) DAY, FOR THE STATION, AND SHALL HAVE COMPLETE KNOWLEDGE OF PROPER OPERATION AND MAINTENANCE TO INSPECT THE FINAL INSTALLATION AND SUPERVISE THE TEST RUN OF THE EQUIPMENT.		o. PROPORTION LIME SLURRY AT RATE OF 2.5 TO 3.0 POUNDS OF HYDRATED LIME PER GALLON OF WATER; CONTINUOUSLY AGITATE.	
vi. FIELD TESTS SHALL NOT BE CONDUCTED UNTIL SUCH TIME THAT THE ENTIRE INSTALLATION IS COMPLETE AND READY FOR TESTING, INCLUDING PERMANENT ELECTRICAL POWER AND TELEMETRY CONTROL.		b. SPECIFIC GRAVITY RANGE 1.14 TO 1.16 AT 60 F.	
vii. ALL COMPONENTS OF THE PUMP STATION SHALL BE GIVEN AN OPERATIONAL TEST AT THE PUMP STATION MANUFACTURER'S FACILITY TO CHECK FOR EXCESSIVE VIBRATION, FOR LEAKS IN THE PUMPING OR SEALS AND CORRECT OPERATION OF THE AUTOMATIC CONTROL AND VACUUM PRIMING SYSTEMS AND ALL AUXILIARY EQUIPMENT. INSTALLED PUMPS SHALL TAKE SUCTION FROM A DEEP WET WELL, SIMULATING ACTUAL SERVICE CONDITIONS. THE CONTROL PANEL SHALL UNDERGO BOTH A DRY LOGIC TEST AND A FULL OPERATIONAL TEST WITH ALL SYSTEMS OPERATING.		c. ADD CEMENT TO LIME SLURRY AT THE RATE OF 2.0 POUNDS PER GALLON OF WATER.	
viii. FACTORY TEST INSTRUMENTATION MUST INCLUDE FLOW MEASURING WITH INDICATOR; COMPOUND SUCTION GAUGE; BOURBON TUBE TYPE DISCHARGE PRESSURE GAUGE; ELECTRICAL METERS TO MEASURE AMPERES, VOLTS, KILOWATTS AND POWER FACTOR; SPEED INDICATOR AND VIBROMETER CAPABLE OF MEASURING BOTH AMPLITUDE AND FREQUENCY.		d. ADD SURFACTANT TO MIX NOT TO EXCEED THE RATE OF ONE UNDILUTED GALLON PER 3,000 GALLONS OF SLURRY.	
b. PUMPS:		e. FLOWABLE FILL MATERIAL SHALL BE PROPORTIONED TO PRODUCE A 28-DAY COMPRESSIVE STRENGTH OF 50-150 PSI.	
i. AFTER ALL PUMPS HAVE BEEN COMPLETELY INSTALLED, WORKING UNDER THE DIRECTION OF THE MANUFACTURER, CONDUCT IN THE PRESENCE OF THE ENGINEER AND THE UTILITY SERVICE PROVIDER REPRESENTATIVE, SUCH TESTS AS ARE NECESSARY TO INDICATE THAT PUMPS CONFORM TO THE SPECIFICATIONS. FIELD TESTS SHALL INCLUDE ALL PUMPS INCLUDED UNDER THIS SECTION, SUPPLY ALL ELECTRICAL POWER, WATER OR WASTEWATER LABOR, EQUIPMENT AND INCIDENTALS REQUIRED TO COMPLETE THE FIELD TESTS.			
ii. IF THE PUMP PERFORMANCE DOES NOT MEET THE SPECIFICATIONS, CORRECTIVE MEASURES SHALL BE TAKEN OR PUMPS SHALL BE REMOVED AND REPLACED WITH PUMPS WHICH SATISFY THE CONDITIONS SPECIFIED.			
c. MOTORS:			
i. THE CONTRACTOR SHALL CHECK ALL MOTORS FOR CORRECT CLEARANCE AND ALIGNMENT AND FOR CORRECT LUBRICATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL CHECK DIRECTION OF ROTATION OF ALL MOTORS AND REVERSE CONNECTIONS IF NECESSARY.			
d. TELEMETRY:			
i. THE CONTRACTOR SHALL DEMONSTRATE THAT THE TELEMETRY SYSTEM IS FUNCTIONAL AND HAS COMMUNICATIONS WITH THE BASE UNIT.			
e. GENERATOR:			
i. THE CONTRACTOR SHALL PROVIDE FOR A LOAD TEST EQUAL TO THE START UP AMPERAGE OF BOTH PUMPS.			
f. BYPASS PUMP:			
i. THE CONTRACTOR SHALL DEMONSTRATE THAT THE BYPASS PUMP IS CAPABLE OF MEETING ACTUAL SERVICE CONDITIONS.			
X. EARTHWORK AND COMPACTION			
A. GENERAL:			
1. NONE OF THE EXISTING MATERIAL IS TO BE INCORPORATED IN THE LIMEROCK BASE.			
2. ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM LBR VALUE OF 40 AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.			
3. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.			
4. A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED.			
5. SOD SHALL BE ST. AUGUSTINE, BITTER BLUE OR FLORATAN AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO INSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT.			
6. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS OR LAKES, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED.			
B. ON-SITE:			
1. ALL ORGANIC AND OTHER UNSUITABLE MATERIAL WITHIN THREE FEET OF AREAS TO BE PAVED SHALL BE REMOVED.			
2. SUITABLE BACKFILL SHALL BE MINIMUM LBR 40 MATERIAL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 FOR THREE (3) FEET BEYOND THE PERIMETER OF THE PAVING.			
XII. STORM DRAINAGE			
A. CONTRACTOR MAY UTILIZE ONE OF THE FOLLOWING MATERIALS:			
1. ALUMINUM:			
o. PIPE SHALL BE ALUMINUM, MANUFACTURED IN CONFORMANCE WITH ASTM B209.			
b. PIPE SHALL BE SPIRAL RIB DRAINAGE PIPE WITH 3/4" BY 3/4" RIBS, APPROXIMATELY 7-1/2" ON CENTER. GAUGE THICKNESS SHALL MEET FDOT STANDARD 945-1.			
c. PIPE COUPLING BANDS SHALL BE 12" WIDE STANDARD SPLIT BANDS OF THE SAME ALLOY AS THE PIPE AND MAY BE ONE GAUGE LIGHTER THAN THE PIPE.			
d. POLYURETHANE OR OTHER SEALANT SHALL BE USED WITH COUPLING BANDS ON ALL NON-PERFORATED PIPE.			
2. REINFORCED CONCRETE PIPE (RCP):			
o. CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM L70-79, TABLE III, WALL B, OR LATEST REVISION. ALL PIPE SHALL HAVE MODIFIED TONGUE AND GROOVE JOINTS, AND HAVE RUBBER GASKETS, UNLESS OTHERWISE SPECIFIED.			
3. HIGH DENSITY POLYETHYLENE (HDPE):			
o. HDPE 12 THROUGH 60 INCH (300 TO 1500 MM) SHALL MEET AASHTO M294, TYPE S OR SP OR ASTM F2306.			
4. MISCELLANEOUS:			
o. BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPES SHALL BE SAND WITH NO ROCK LARGER THAN 1" DIAMETER.			
b. BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.			
c. BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.			
d. CATCH BASINS SHALL BE PRECAST MINIMUM 3000 PSI CONCRETE AND GRADE 40 REINFORCED STEEL.			
5. INSTALLATION:			
o. PIPE SHALL BE PLACED ON STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO UNIFORM GRADE AND LINE.			
b. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL WELL TAMPED IN LAYERS NOT TO EXCEED SIX INCHES (6").			
c. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.			
d. THE CONTRACTOR SHALL NOTIFY THE LOCAL WATER CONTROL DISTRICT AT LEAST 24 HOURS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.			

E. EQUIPMENT:	
1. SLURRY TANK: MECHANICAL AGITATOR EQUIPPED TANK OF APPROPRIATE CAPACITY.	
2. PRESSURE GAUGES: CALIBRATED TO INDICATE POUNDS PER SQUARE INCH IN APPROPRIATE RANGE AND SCALE.	
3. HOSES: RATED TO SPECIFIED PRESSURES.	
4. PIPE TAP: INJECTION PORT SHALL CONSIST OF A 1-INCH TAPPING SADDLE DRILLED AND TAPPED TO RECEIVE A THREADED GALVANIZED PIPE NIPPLE TO RECEIVE THE PRESSURE HOSE FITTINGS.	
5. INJECTION EQUIPMENT SHALL BE A SELF-CONTAINED MOBILE UNIT SPECIFIC TO THE WORK TO BE PERFORMED.	
6. INJECTION PORTS SHALL BE INSTALLED AT REGULAR INTERVALS ALONG THE PIPELINE, CORRESPONDING TO THE MAXIMUM CAPABILITY OF THE PUMPING EQUIPMENT IN SERVICE.	
F. INSTALLATION:	
1. VERIFY THAT PIPELINE INJECTION PORTS ARE IN PLACE TO VENT AIR AND WATER PRIOR TO STARTING THE INJECTION PROCEDURES.	
2. CORRECT ANY DEFECTS THAT WOULD PREVENT PROPER INJECTION OF THE SLURRY.	
3. PERFORM GROUTING OF PIPELINE IN SEGMENTS FROM CLOSED VALVE TO CLOSED VALVE.	
4. CONTINUOUSLY AGITATE SLURRY DURING INJECTION PROCESS; MAINTAIN SAME SPECIFIC GRAVITY AT THE SLURRY TANK.	
5. RECORD INJECTION PRESSURES FOR EACH SECTION OF PIPELINE.	
6. INJECT EACH SECTION UNTIL SLURRY IS EJECTED FROM THE FOLLOWING PORT.	
7. PLUG OR CAP THE INJECTION PORT USED AND REPEAT THE PROCESS UNTIL THE PIPELINE FROM VALVE TO VALVE IS COMPLETED.	
8. AS EACH SECTION OF PIPELINE IS GROUTED, EXCAVATED ACCESS HOLES SHALL BE BACKFILLED.	

ENGINEER'S SEAL  
NOT VALID WITHOUT  
ORIGINAL SIGNATURE

JAY CORLISS  
LICENSE  
No. 39461  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

SCALE: N.T.S.

DATE: 07/01/17

DRAWN BY: MTE

SHEET No.

C-9

16029C

PILLAR CONSULTANTS, INC.

Consulting Engineers, Planners, Surveyors, Construction Management, General Contracting

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P.E. # 39461

ALPHA INTERNATIONAL  
ACADEMY

CITY OF HOLLYWOOD  
BROWARD COUNTY, FLORIDA



GENERAL NOTES:

1.

THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2.

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3.

LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4.

THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6.

CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7.

THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8.

THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10.

THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
12.

CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13.

CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14.

CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15.

CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE WITH ULTRA-DRAIN GUARDS. CONTRACTOR SHALL MAINTAIN AND REMOVE DIRT TRAPPED IN THE ULTRA-DRAIN GUARDS AFTER EACH RAIN EVENT.
16.

THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17.

SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18.

ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19.

THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSD FIELD ENGINEER.
20.

THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22.

MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23.

CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24.

NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSD FIELD ENGINEER.
25.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26.

IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSD.

27.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28.

WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29.

UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30.

ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31.

ALL CAST IRON PRODUCTS SHALL BE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32.

ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34.

EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35.

TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36.

CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37.

CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38.

CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02/40 DEWATERING.
40.

THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).

Always call 811 two full business days before you dig



41.

WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
42.

ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
43.

A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:

a.

PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.

b.

THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.

c.

THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.

d.

PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.

e.

THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.

WATER SYSTEM NOTES:

1.

NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2.

NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3.

AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4.

NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5.

POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6.

THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7.

FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8.

GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISEING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 18" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9.

VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10.

ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
11.

ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12.

ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13.

FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14.

ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15.

PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16.

ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17.

THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
18.

MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19.

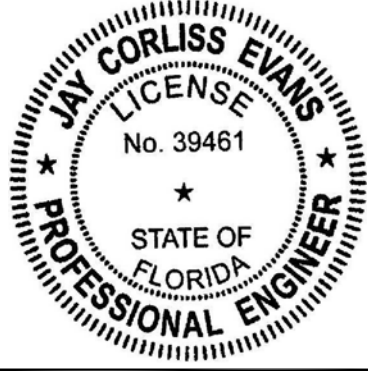
MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20.

CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21.

PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
22.

WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION, TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ENGINEER'S SEAL  
NOT VALID WITHOUT  
ORIGINAL SIGNATURE



SHEET TITLE

CITY OF HOLLYWOOD GENERAL NOTES

REVISIONS

PILLAR CONSULTANTS, INC.

Consulting Engineers, Planners, Surveyors, Construction Management, General Contracting

5230 S. University Drive – Suite 104

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P.E. # 39461

LIC # QB-0015697

ALPHA INTERNATIONAL  
ACADEMY

CITY OF HOLLYWOOD  
BROWARD COUNTY, FLORIDA

SCALE: N.T.S.

DATE: 07/01/17

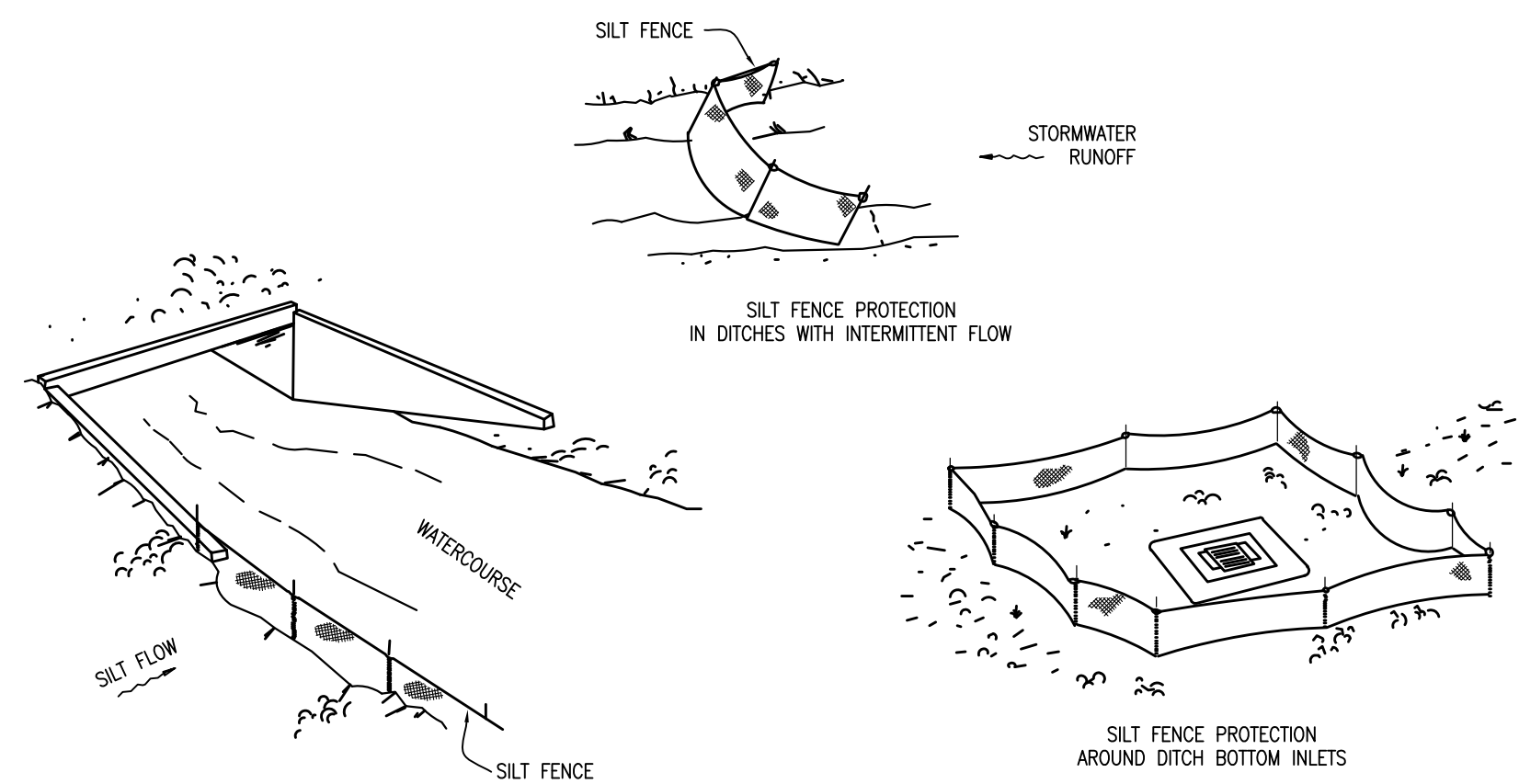
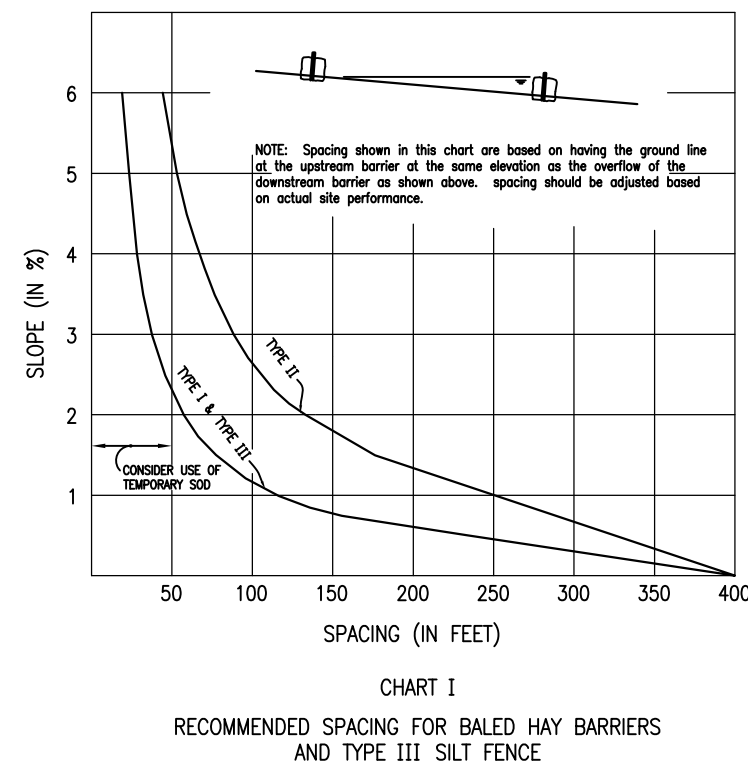
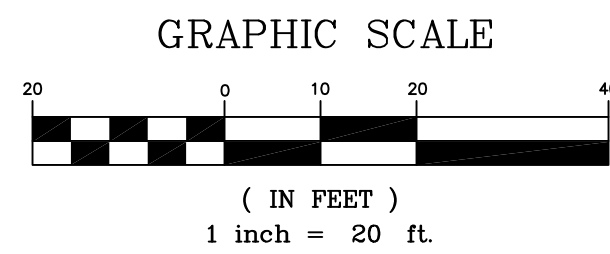
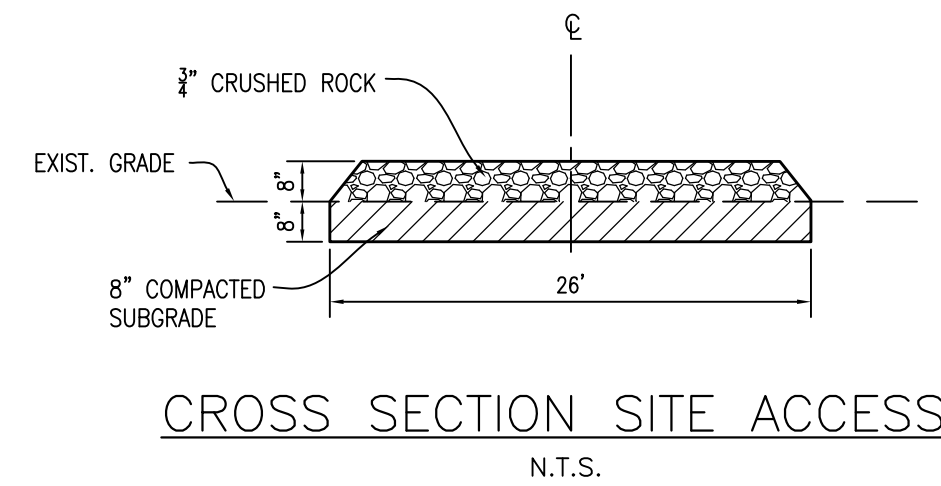
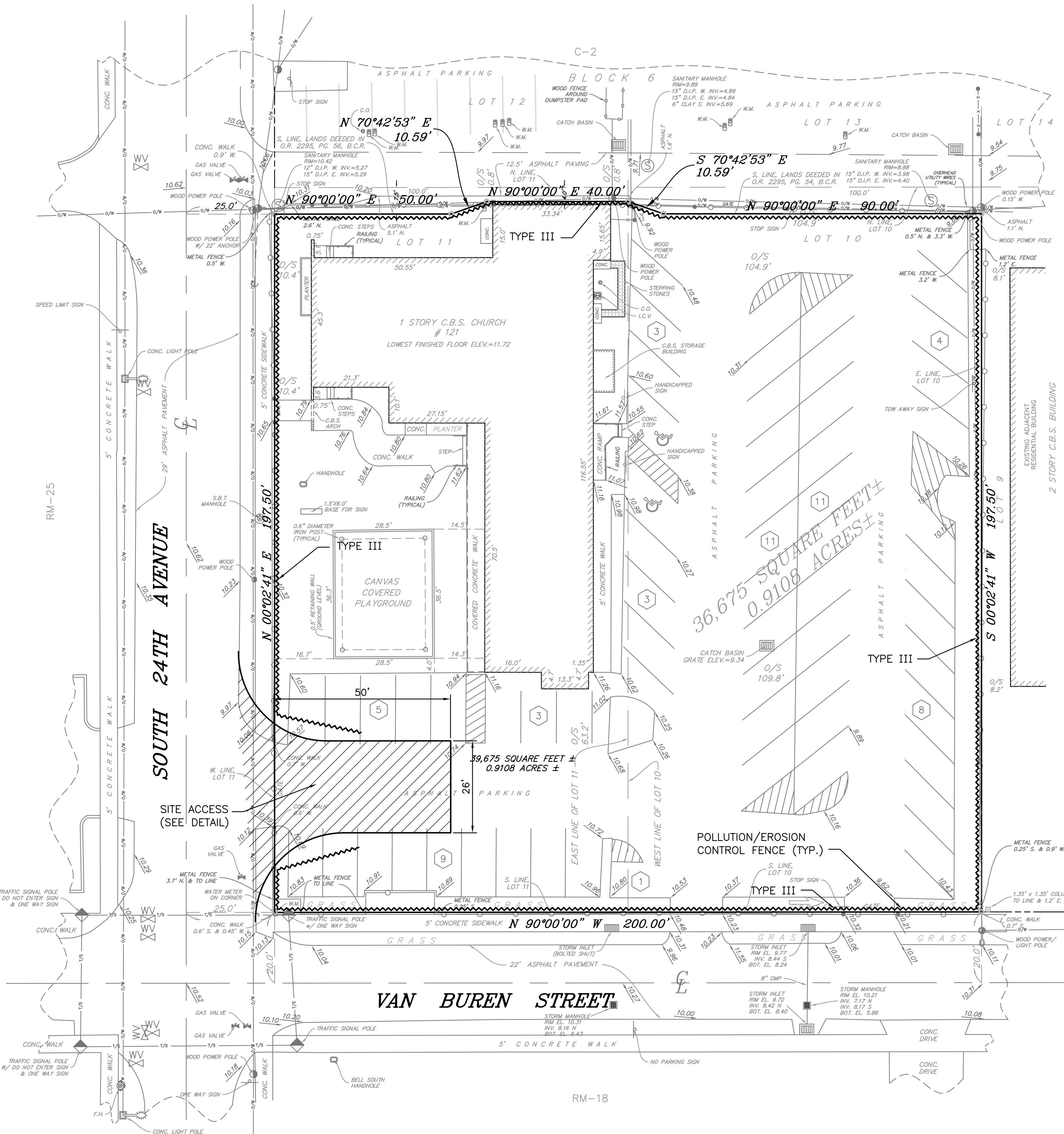
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C-10

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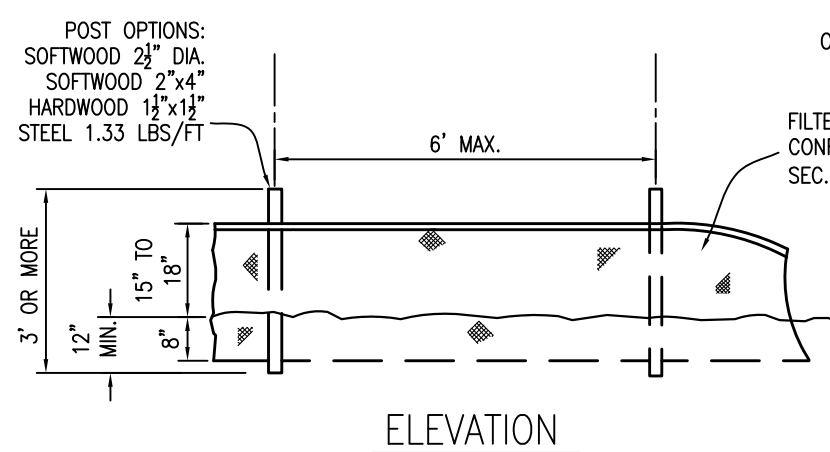
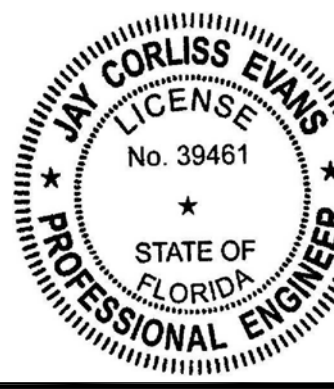


SILT FENCE APPLICATIONS

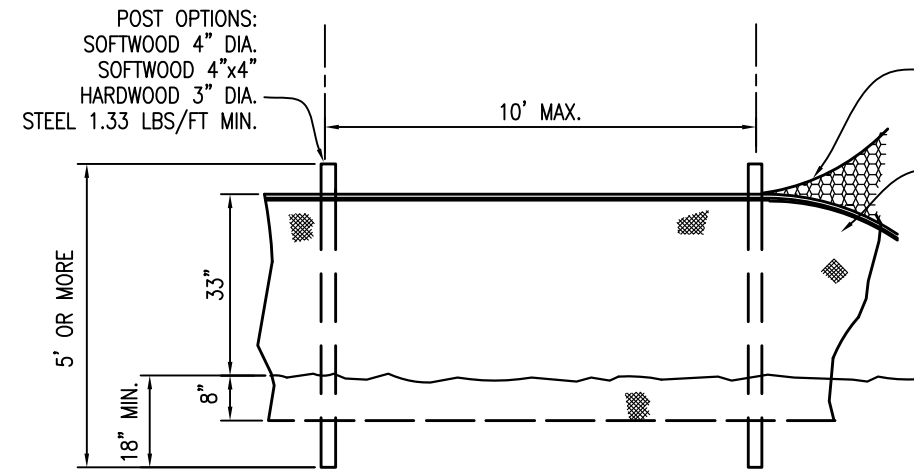
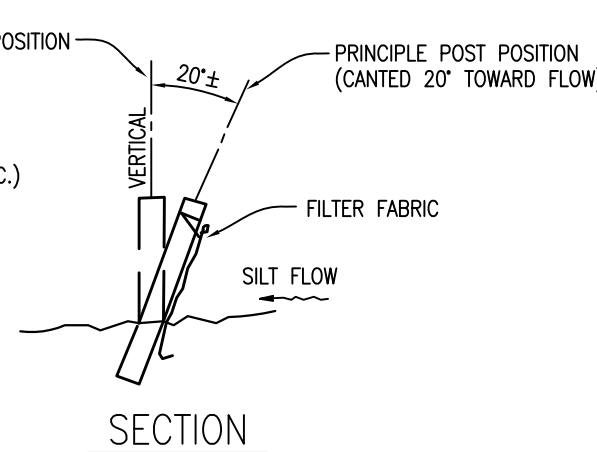
NOTES FOR SILT FENCES

- TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1, SHEET 1.
- TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
- DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
- WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
- SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE, (L.F.).

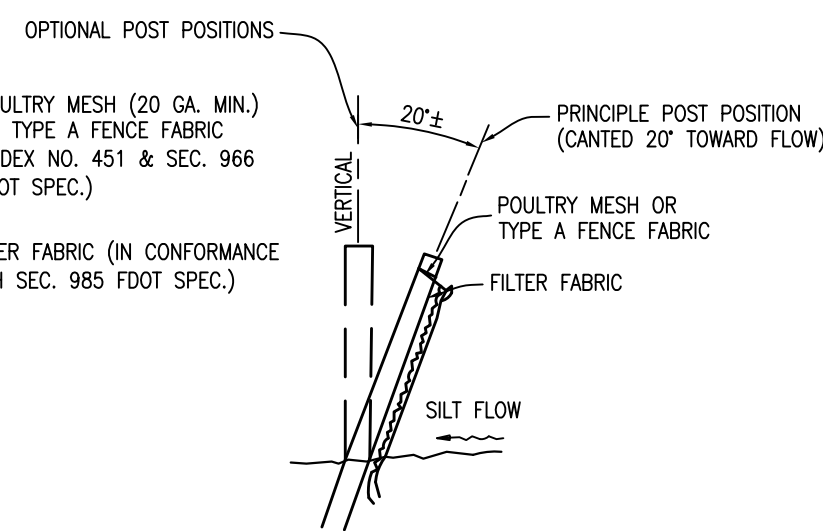
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TYPE III SILT FENCE



TYPE IV SILT FENCE



POLLUTION/EROSION CONTROL DETAIL  
SEE F.D.O.T. INDEX 102 SHEETS 1 & 3 OF 3

SHEET TITLE  
EROSION CONTROL PLAN

REVISIONS

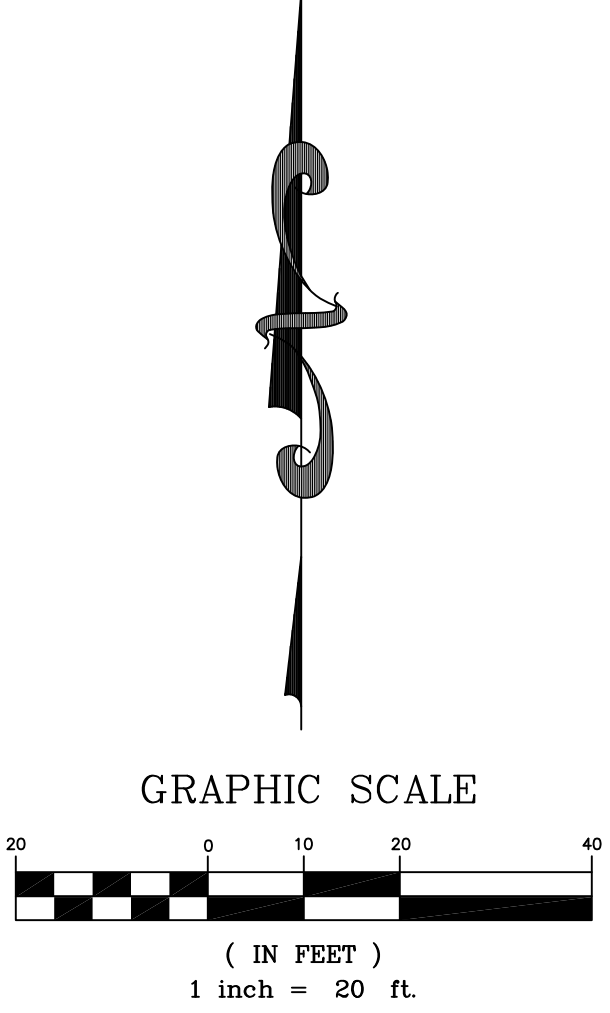
PILLAR CONSULTANTS, INC.  
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ALPHA INTERNATIONAL  
ACADEMY  
CITY OF HOLLYWOOD  
BROWARD COUNTY, FLORIDA

SCALE: 1"=20'  
DATE: 07/01/17  
DRAWN BY: BAM

SHEET No.  
ER-1  
16029





A circular professional engineer seal for Jay Corliss Evans. The outer ring contains the text "JAY CORLISS EVANS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the word "LICENSE" is at the top, "No. 39461" is in the center, and "STATE OF FLORIDA" is at the bottom, also separated by two stars.

SCALE: 1"=20' DATE: 07/01/17 DRAWN BY: BAM SHEET No. <b>D-1</b> 16029		ALPHA INTERNATIONAL ACADEMY CITY OF HOLLYWOOD BROWARD COUNTY, FLORIDA		PILLAR CONSULTANTS, INC. Consulting Engineers, Planners, Surveyors, Construction Management, General Contracting 5230 S. University Drive - Suite 104 Davie, Florida 33328 P.E. # 39461 Phone: (954) 680-6533 Fax: (954) 680-0323 LIC.# QB-0015697		REVISIONS
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**PILLAR CONSULTANTS, INC.**  
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**ALPHA INTERNATIONAL  
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CITY OF HOLLYWOOD  
BROWARD COUNTY, FLORIDA

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SHEET No.  
**D-1**

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16029