

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
PLANNING DIVISION**

DATE: December 19, 2017 **FILE:** 17-CMV-56

TO: Historic Preservation Board

VIA: Leslie A. Del Monte, Planning Manager 

FROM: Deandrea Moise, Associate Planner 

SUBJECT: Harmonia Investment, LLC requests a Variance and Certificate of Appropriateness for Demolition and Design for a single-family home located at 1110 South Southlake Drive within the Lakes Area Historic Multiple Resource Listing District.

REQUEST:

Variance and Certificate of Appropriateness for Demolition and Design for a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

RECOMMENDATION:

Certificate of Appropriateness for Demolition: To be determined by the Historic Preservation Board.

Variance: Reduce the required front yard setback from 80 feet to 53 feet.

Certificates of Appropriateness for Design: If Certificate of Appropriateness for Demolition and Variance are approved, approval with the condition a Unity of Title, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of a Building Permit and recorded in the Broward County Public Records by the City of Hollywood prior to the issuance of a Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

BACKGROUND

According to the records of the Broward County Property Appraiser, the existing two-story home was constructed in 1950 on a 0.81 acre lot located at 1110 South Southlake Drive. The subject property is composed of three prior platted lots, specifically Lots 19 through 21 of Block 35 in the Hollywood Lakes Section subdivision. The design of the existing home is in the Post War Ranch architectural style; which includes elements such as emphasis on horizontal elements, asymmetry, hipped roofs, and limited ornamentation. The Design Guidelines states that Post War Modern, Ranch Style homes were most prevalent during the post war periods dating from 1946 to 1960, and were constructed *en masse* to accommodate the influx of returning soldiers and new families moving to the south Florida region.

REQUEST

The Applicant requests to demolish the existing home and rebuild a new single-family home to meet today's regulations. According to the engineering inspection of the current residence, the structure currently presents several issues that would balloon the costs of an addition or retrofitting to resolve these issues. It states in the report that there is an approximate \$300,000 difference between retrofitting and new construction. Furthermore, a renovation being greater than 50 percent of the value of the existing structure requires the residence to conform to the FEMA minimum flood elevation. Minimum elevation required by FEMA is 7.0 feet, however, the existing structure is at 5.4 feet. The estimated costs of

renovations would exceed 50 percent requiring that the floor be raised to meet requirements. When factoring these added costs, the project is no longer economically feasible. Therefore, with cost and safety in consideration, the Applicant has moved to construct a new home conforming to current regulations, including FEMA.

The proposed request demonstrates a contemporary design that can be found throughout the Lakes district. This contemporary home is designed in a manner to give the illusion of a floating box. This unique design gives presence to the architecture of its time, while adding character to the Historic Lakes district; this is achieved through a mixture of materials such as, concrete panels, stone, glass, and aluminum elements. The entrance to the house is welcomed by a grass grid paver driveway, a decorative water feature, and a garden area which leads to the foyer and common living areas of the homes. The approximately 9,800 sq. ft. home includes, several bedrooms, a media room, and other essential spaces to a home, as well as expansive back yard improvements. The proposed landscaping will enhance the ambience achieved by the home's design, allowing for shade, visibility and framing of the property.

Due to the home being located on the lake, the City's Zoning and Land Development Regulations require the house be oriented further back on the lot by implementation of an 80 foot setback. The existing home does not currently meet the setback requirement; similar to the adjacent homes, many of which were approved through a variance prior to the installation of the Historic Preservation Board. The existing front yard setback is approximately 52 feet, and the Applicant requests to keep a similar setback at approximately 53 feet. The requested setback will help maintain a similar street pattern to what exists today.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the district. The design of the proposed development is consistent with the character of Lakes Area Historic Multiple Resource Listing District. As proposed, the design maintains the spatial relationship with surrounding properties in its scale and massing.

SITE INFORMATION

Owner/Applicant:	Harmonia Investment, LLC
Address/Location:	1110 South Southlake Drive
Size of Property:	35,090 (±0.81 acre)
Present Zoning:	Single-Family Residential (RS-9) Lakes Area Multiple Resource Listing District (HMPRL0D-1)
Future Land Use:	Low Residential
Year Built:	1950 (Broward County Property Appraiser)

ADJACENT ZONING

North:	Government Use (GU) Southlake
South:	Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRL0D-1)
East:	Single-Family Residential District (RS-9) Lakes Area Multiple Resource Listing District (HMPRL0D-1)
West:	Single-Family Residential District (RS-9) Lakes Area Multiple Resource Listing District (HMPRL0D-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.* The proposed exterior renovations allows the Applicant to make necessary improvements while maximizing the use of their property. By allowing

the Applicant to improve the existing structure, the City is accomplishing the desired reinvestment in an existing structure within the Lakes Area Historic Multiple Resource Listing District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed additions and improvements are sensitive to the character of the Historic Lakes Section through its design which is similar to existing structures in the surrounding neighborhood.

Policy 2.46: *Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

Policy CW.15: *Place a priority on protecting, preserving and enhancing residential neighborhoods.*

The CWMP also states *the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements.*

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The Applicant's significant investment in redevelopment of their property contributes to the overall enhancement of this neighborhood. The design is sensitive in scale of the adjacent properties and the surrounding neighborhood. The proposed development do not adversely affect the integrity of the Historic District.

APPLICABLE CRITERIA

Decisions on Certificates of Appropriateness for Demolition. Based on the following criteria and other appropriate considerations, the Board must determine if the building is of historic significance. The Zoning and Land Development Regulations does not provide guidance as to how much weight should be given to each criterion.

Analysis of criteria and finding for Certificate of Appropriateness for Demolition as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION 1: The building, structure, improvement, or site is designated on either a national, state, or local level as an historic preservation district or an architectural landmark or site.

ANALYSIS: The Historic District Design Guidelines recommend *identifying, retaining and preserving buildings which are important in defining the overall historic character of a historic district or neighborhood.* Although the existing home was constructed in 1950, the Applicant finds no historical merit in their study of the property. Additionally, the Applicant states they have checked the National Register, Florida Site File and the Hollywood Historic Society's listing of historical properties and the subject property does not appear on the lists.

CRITERION 2: The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.

ANALYSIS: The home as it exist today does not exhibit characteristics or elements that are unique or contributing to the character of the Historic District. While there may be no portion of the structure or design element on the home or site that could not be reproduced or

replicated without great difficulty or expense, any substantial improvement to the property would require great cost to raise the floor elevation and resolve the structural issues.

CRITERION 3: The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region.

ANALYSIS: The Historic District Design Guidelines allow for the removal of *non-significant buildings, additions, or site features which detract from the historic character of a site or the surrounding district or neighborhood*. As previously stated, although the existing two-story home was constructed in 1950, it does not possess distinct historic architectural features, and it is not an exemplar of a specific Period of Significance as indicated by the Design Guidelines for Historic Properties and Districts. Furthermore, The Design Guidelines states that Post War Modern, Ranch Style homes were most prevalent during the post war periods dating from 1946 to 1960, and were constructed en masse to accommodate the influx of returning soldiers and new families moving to the south Florida region.

CRITERION 4: The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district.

ANALYSIS: Staff finds there is not substantial historic character that could be considered to significantly contribute to the character of the district.

CRITERION 5: Retention of the building, structure, improvement, or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.

ANALYSIS: As stated hereinabove, the existing home does not embody a structure steeped in architectural style or historical character that would provide an opportunity for study of local history, architecture, or design. Should the Board approve the demolition, it may request that the Hollywood Historical Society, or the owner, at the owner's expense, document and record the existing home for archival records. Such documentation may include measured drawings and high-definition photography.

CRITERION 6: There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely effect on the historic character of the Historic District.

ANALYSIS: The Applicant is proposing to demolish the existing home and construct a new home. Meeting all applicable code requirements, the proposed design is consistent with the scale and massing of the adjacent neighbors. The proposed home is contemporary and functional, allowing the Applicant to maximize the use of their property. The design is enhanced by a formal landscape plan which provides ample pervious area and includes an array of native species. Required parking is accommodated with a three-car garage and grass grid paver driveway. As such, the proposed redevelopment of the property, if the demolition is approved, will improve the character of the area.

CRITERION 7: The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property.

ANALYSIS: The Unsafe Structures Board has not ordered the demolition of this home. However, improvements, the engineer's report shows that would not be economically feasible as the home would need to be raised to meet FEMA requirements and other various structural issues that would need to be addressed to allow renovations. This would severally impact the cost of the project and impede the Applicant's ability to move forward with design in manner that is financially feasible or sound. The reinvestment in the property without the freedom of design for a property that does not represent a Period of Significance or possess historic merit would be an undue burden for the Applicant.

CRITERION 8: The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

ANALYSIS: The Applicant states in their Criteria Statement that a determination the home has no historic merit based on their research. It is not individually designated and a Florida Site File was not found.

Analysis of Criteria and Findings for Variance as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

VARIANCE: **To reduce the required front setback from a minimum of 80 feet to allow approximately 53 feet for the main structure;**

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: Homes in the Lakes Area with lot lines adjacent to the lake are required to provide an 80 foot front setback. The existing front yard setback is approximately 52 feet and the Applicant is requesting to keep a similar setback. Additionally, surrounding properties currently have similar setbacks as demonstrated in the submittal package. Pushing the structure back would begin to change the rhythm of the street as it exists today. Furthermore, this regulation only applies to properties on the lake, therefore it would have minimal impact on the appearance of the City.

FINDING: Consistent.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: This variance would not be detrimental to the community as many of the homes along Southlake currently do not meet the 80 foot setback. Furthermore, the main structure of the home will maintain a similar setback to what currently exists on the property. The variance will help to keep the existing patterns along the street consistent.

FINDING: Consistent.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

ANALYSIS: The City of Hollywood Comprehensive Plan states as a Goal in the Land Use Element, "Promote a distribution of land uses that will enhance residential communities while allowing land owners to maximize the use of their property." The owner is seeking a Variance for the front yard setback in order to demolish and rebuild a new single-family home. The integrity of the existing property will not be compromised by maintaining these reduced setbacks as they have existed since the original date of construction. The Variances are consistent with this criterion as it will allow the owner to maximize use of the property while maintaining the character of the existing residence by keeping similar setbacks of the existing home.

FINDING: Consistent.

CRITERION 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: The request is not economically based or self-imposed. The Applicant requests to be consistent with the existing setback and other homes along the street.

FINDING: Consistent.

CRITERION 5: That the Variance is necessary to comply with State of Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The Historic District Design Guidelines encourages new structures to be compatible with the character of the neighborhood with regard to scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape and environment. Since the property is made up of several lots, Staff's condition is to provide a Unity of Title, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of a Building Permit and recorded in the Broward County Public Records by the City of Hollywood prior to the issuance of a Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: The Historic Design Guidelines recommend maintaining *consistent spacing and setbacks and further state new construction should be compatible with existing buildings. Within the context of historic preservation, elements of design such as massing, scale, and rhythm reflect architectural style as well as the richness of the historic district.* The proposed design demonstrates a contemporary design that can be found throughout the Lakes district. This contemporary home is designed in a manner to give the illusion of a floating box. This unique design gives presence to the architecture of its time, while adding character to the Historic Lakes district; this is achieved through a mixture of materials such as, concrete panels, stone, glass, and aluminum elements. The Historic Districts richness is derived from the design of the homes being appropriate for the period in which they were constructed. The Applicant is proposing a design that representative of the current architectural styles of the time, and other homes throughout the Lakes district.

FINDING: Consistent.

CRITERION: SETTING

ANALYSIS: The Historic Design Guidelines states that setting is *relationship of a building to adjacent buildings and the surrounding site environment.* The proposed addition and exterior renovations meet all applicable setback requirements. The proposed design is similar to that of homes found throughout the Lakes district and maintains the spatial relationship with surrounding properties. Massing plays an important role in determining the character of individual properties, the street, and the surrounding neighborhood. The new construction provide a similar proportion with the existing home and surrounding properties, complying with the Design Guidelines.

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials should be compatible in quality to those that are used in the historic district. The Applicant has demonstrated that the proposed design, while utilizing modern methods of construction and materials, will not affect the integrity of the surrounding neighborhood. This unique design gives presence to the architecture of its time, while adding character to the Historic Lakes district; this is achieved through a mixture of materials such as, concrete panels, stone, glass, and aluminum elements. Appropriate elements with contemporary materials and methods of construction are provided. Geometries of the home are accentuated with different materials, colors and hierarchies to create interest and shadow throughout.

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: According to the National Register, workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques.

The design of the proposed design is consistent with current workmanship styles and methods. The proposed improvements are not imitating or copying any existing style or period. In addition, the proposal does comply with all regulations and it fits within the neighborhood's character.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further states *new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district.* Meeting all applicable code requirements, the proposed design enhances the site, and is consistent with the scale and massing of the adjacent properties and surrounding neighborhood. It is enhanced by a formal landscape plan which provides more than 40-percent pervious area. Required parking is accommodated in the driveway and attached garage.

FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Aerial Photograph

ATTACHMENT A
Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 10.12.17

Location Address: 1110 S. SOUTHLAKE DRIVE

Lot(s): 19,20 AND 21 Block(s): 35 Subdivision: 51421401

Folio Number(s): 514214015910

Zoning Classification: RS-9 Land Use Classification: RESIDENTIAL

Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: SINGLE FAMILY

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: Demolition, Design and Variance

Number of units/rooms: 1 SINGLE FAMILY Sq Ft: 8,933 S.F. + 813 SF GARAGE

Value of Improvement: \$2,500.000 Estimated Date of Completion: 10.11.19

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: HARMONIA INVESTMENT LLC

Address of Property Owner: 1110 S SOUTHLAKE DRIVE, HOLLYWOOD, FL 33019

Telephone: N/A Fax: N/A Email Address: N/A

Name of Consultant Representative/Tenant (circle one): JOSEPH B. KALLER

Address: 2417 HOLLYWOOD BLVD Telephone: 954.920.5746

Fax: N/A Email Address: JOSEPH@KALLERARCHITECTS.COM

Date of Purchase: JUN 14,2017 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract. N/A

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 10/11/17

PRINT NAME: HARMONIA INVESTMENT LLC / AVI KRISER Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

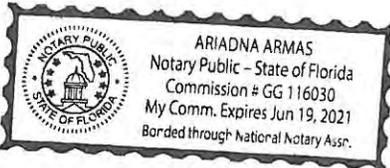
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing Gamel Fleischer to be my legal representative before the City of Hollywood (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 11 day of October.

Notary Public

State of Florida



Signature of Current Owner

Gamel Fleischer
Print Name

My Commission Expires: Jun 19, 21 (Check One) Personally known to me; OR Produced Identification Driver's License

LIMITED POWER OF ATTORNEY
(REAL ESTATE)

Harmonia Investments LLC does hereby constitute and appoint Samuel Fleischer of F&S Contractors LLC, located at 1852 Fletcher St, Hollywood FL 33020, lawful attorney for it and its name, place and stead, giving unto said attorney full power and authority to negotiate and execute any and all agreements, contracts, affidavits, including, but not limited to, a Permit Application and Notice of Commencement, and/or any other documents pertaining thereto in connection with the **City Of Hollywood** Permit application for interior improvements and/or construction as the property located at 1110 S. Southlake Dr., Hollywood FL 33019 as he in its discretion may deem advisable, giving and granting unto said attorney full power to do and perform all and every act and thing whatsoever requisite and necessary to be done in and about the premises as full to all intents and purposes, as it might or could do if personally present, with full power of substitution and revocation, hereby ratifying and confirming all that **Samuel Fleischer**. Said attorney or their substitute shall lawful do or cause to be done by virtue hereof.

This power of Attorney shall be effective for a period of eight (08) months, or until such time as the matters disclosed herein have been completed.

11 day of October in the year two thousand seventeen. (2017)

By _____

Printed Name: Avi Kreisel

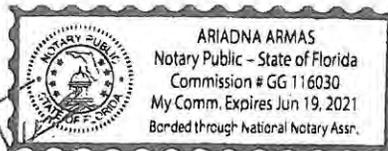
Harmonia Investments LLC

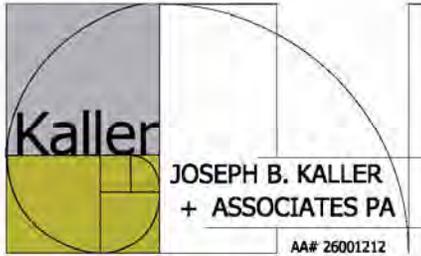
STATE OF FLORIDA

COUNTY OF

The foregoing instrument was acknowledged before me this 11 day of October in the year two thousand seventeen (2017) by

Avi Kreisel / Harmonia Investment





architecture - interiors - planning

November 16th, 2017.

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re:
1110 S. Southlake Drive
Hollywood, Florida
Architect's Project #17127

FRONT SETBACK VARIANCE REVIEW

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

ANALYSIS: The variance being requested is to reduce the front setback of the main house from the required 80'-0" to 53'-3". Additionally there is existing life Oak with a 25' canopy that limits the house to be pushed back more than the existing house on site. (see last page for picture)

The site is located on the south side of South Lake. The view from the rear yard of these homes looking north is the short width of the lake stretching west to east. In order for neighbors to enjoy this long view of the lake it means siting the buildings along the street more towards the street. This would enable neighbors to enjoy the east-west views of the lake while also enjoying a rear yard large enough for outdoor amenities.

The proposed home is sited in almost the same location of the house currently on site. The only significant difference is the existing home's garage is a 25'-0" setback from the street and the proposed home's garage is 35' from the street. The existing house is also two stories in height. With this in mind it therefore shows that the proposed home will not affect the stability of the street or appearance of the city.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The variance being requested allows the siting of the proposed home to be located in a similar location to the current building on the site. The location of the front setback is also similar to adjacent neighbors to the west and east along South Southlake Drive.

The siting of the new home will maintain the rhythm and scale of the surrounding structures and will stand out as new because of its modern architecture. This allows the historic buildings nearby to shine in contrast to the new.

The proposed building will not be a copy of any of the historical styles of architecture found throughout the Historic Lakes District, but instead will allow these historic structures to maintain their special place in the district. This makes the new build not detrimental but supportive.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

ANALYSIS: This Historic Lakes District showcases many styles of architecture from Mediterranean to Florida Vernacular. Each of these represents a certain time in the early 1900's and each brings a special characteristic to the district.

In order to truly preserve the specialness of the historic homes, it is important that the new homes being built don't copy the historic homes but instead respect them. It is important not to overpower the originals but instead respect the scale, height, and rhythm of fenestration that these historic homes express.

These are the objectives of the City of Hollywood's Comprehensive Plan and the Hollywood's Design Guidelines for historic properties. These guidelines preserve the past while allowing the future to be expressed in a creative way while still "fitting in".

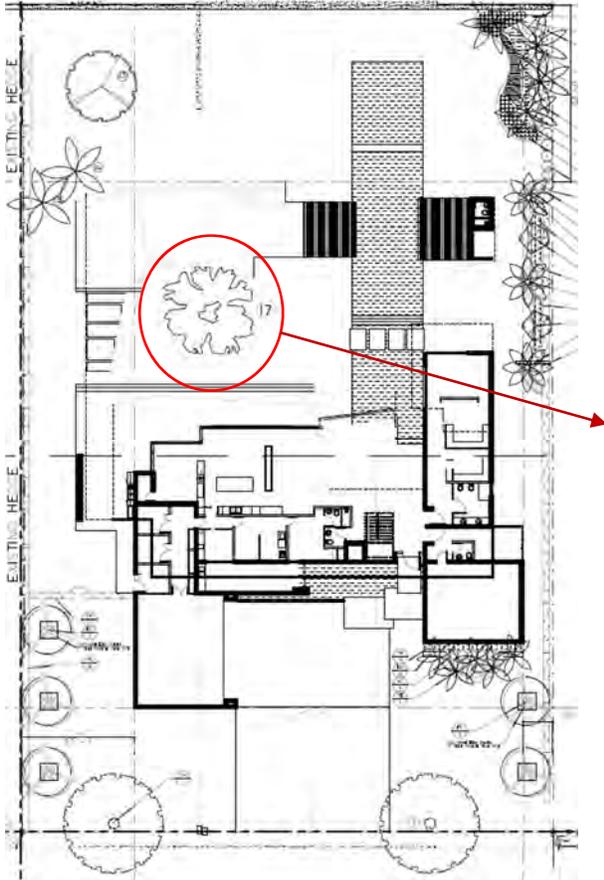
CRITERION 4: That the need for the requested Variance is not economically based or self-imposed.

ANALYSIS: The requested variance is not economically based or self-imposed. It is a variance request born out of maintaining the scale of the existing neighborhood. It is born out of being good neighbors by allowing the long view of the lake to be enjoyed unobstructed by the residents to the east and west of the site. The variance request does not harm the character of the street but instead allows the rear yard to maintain its openness and amenities.

Should you have any questions, please feel free to contact this office.

Sincerely,
Joseph B Kaller & Associates, P.A.

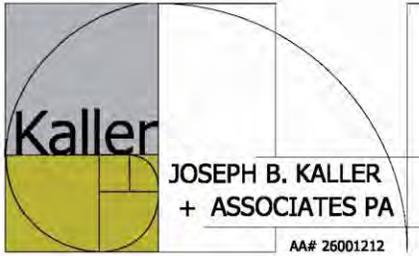
Giovanni Munoz
Associate



2417 Hollywood Blvd.
Hollywood, Florida 33020-6605

(954) 920-5746 phone (954) 926-2841 fax

joseph@kallerarchitects.com
www.kallerarchitects.com



October 12, 2017

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re: 1110 S Southlake Drive.
Hollywood, Florida
Architect's Project #17127
City Project # _____

DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR DEMOLITION FOR EXISTING STRUCTURE

The Zoning and Land Development Regulations Section 5.6.F.5.d states the Historic Preservation Board shall consider the following Criteria in evaluating an Application for Certificate of Appropriateness for Demolition.

CRITERION 1: The building, structure, improvement, or site is designated on either a National, State or Local level as a Historic Preservation District or an Architectural Landmark or Site.

ANALYSIS: The Building is located in the Historic District of Hollywood Lakes, It was built in the 1950's in the Contemporary Architectural Style.

CRITERION 2: The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty or expense.

ANALYSIS: The Building is proposed to be demolished in its entirety since it was poorly constructed of wood framing floor with CMU walls that appear to be lacking vertical re-enforcements that do not comply with todays code. There is no air conditioning, finished ceilings in certain areas. The new proposed home would be constructed in a way more in keeping with today's code.

CRITERION 3: The building, structure, improvement or site is one of the last remaining examples of its kind in the neighborhood, the county or the region.

ANALYSIS: The site size is one of the very few left in the neighborhood making this property very desirable. The existing building is one of many homes typically design from the 1960's era and examples of Contemporary Architecture are abundant in the Community.

CRITERION 4: The building, structure, improvement or site contributes significantly to the Historic Character of a Historically Designated District.

ANALYSIS: The Contemporary style with Modern feel from the 1960's will contribute to the Historical Character of the neighborhood enhancing the historical value the original property.

CRITERION 5: Retention of the building, structure, improvement or site promotes the general welfare of the City by providing an opportunity for study of local history, architecture and design or by developing an understanding of the importance and value of a culture and heritage.

ANALYSIS: The Building being demolished does not in any way add value to the Community. Its removal will help to bring back the Historic Character of the Building.

CRITERION 6: There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely affect the historic character of the Historic District.

ANALYSIS: The plan is to build a new single-family home that resembles a Contemporary style with Modern tendencies improving the Architectural Characteristics of the neighborhood. Also the new addition will be structural superior to the existing home.

CRITERION 7: The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the Owner of all economically viable uses of the Property.

ANALYSIS: This has not been reviewed by the Unsafe Structures Board.

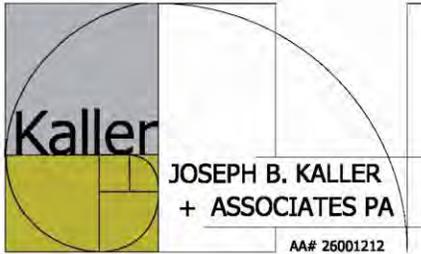
CRITERION 8: The information listed in the Historic Properties Database (a listing of historic and non-historic properties), as a guideline in determining whether a certification of Appropriateness for Demolition should be issued.

ANALYSIS: There are no records of this house in archives.

Should you have any questions, please feel free to contact this office.

Sincerely,
Joseph B Kaller & Associates, P.A.

Giovanni Munoz
Associate



architecture - interiors - planning

October 12, 2017

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re:

1110 S Southlake Drive.
Hollywood, Florida
Architect's Project #17127

**CRITERIA OF APPROPRIETNESS FOR DESIGN
1110 S Southlake Drive**

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The property is located in the Historic District of the Lakes in Hollywood at 1110 S Southlake Drive, originally Built in the mid 1950's it sits along mainly new single-family homes along Southlake Drive. The Site is made up of three 50'-0" lots which essentially is one of the few properties along the street that have 150' frontage which makes the property the second largest lot after 1161 S Southlake Drive with 240' frontage.

CRITERION: SETTING

ANALYSIS: The setting of the proposed Residence is typical to most of the homes in the Lakes Community. It is located on the north site of S Southlake Drive in basically the center of the 1000 Block. The street is in line with sidewalks for pedestrian access to the homes, which most of the homes adjacent to the lake have un-obstructed view and access to the lake.

CRITERION: MATERIALS

ANALYSIS: All materials used in the proposed New Single-family home will be authentic to the type of Contemporary Architecture with a modern twist from the 1960's, as well as durable to meet or exceed the requirements of the Florida Building Code 2014.

CRITERION: WORKMANSHIP

ANALYSIS: Workmanship on the new proposed single-family home will be such that all State and Local laws are upheld. Proper barricading will be done so that sand is preserved on Site, Practices will meet or exceed requirements of the Florida Building Code 2014 and the State of Florida Department of Environmental Protection.

CRITERION: ASSOCIATION

ANALYSIS: The City of Hollywood's Lakes are unique compared to other water front communities in South Florida. The relationship between the lake and the homes is purely view oriented. There is no vehicular movement between the homes and the lake. This environment dictates a scale, rhythm and pattern of the homes along the lake.

Should you have any questions, please feel free to contact this office.

Sincerely,
Joseph B Kaller & Associates, P.A.

Giovanni Munoz
Associate

1141 S SOUTHLAKE DR, HOLLYWOOD , FL 33019



1151 S SOUTHLAKE DR, HOLLYWOOD, FL 33019



1161 S SOUTHLAKE DR, HOLLYWOOD, FL 33019



1150 S SOUTHLAKE DR, HOLLYWOOD, FL 33019



1137 S SOUTHLAKE DR, HOLLYWOOD, FL , 33019



1131 S SOUTHLAKE DR, HOLLYWOOD, FL , 33019



1130 S SOUTHLAKE DR, HOLLYWOOD, FL , 33019



1120 S SOUTHLAKE DR, HOLLYWOOD, FL, 33019



1114 S SOUTH LAKE DR, HOLLYWOOD, FL, 33019



1101 S SOUTHLAKE DR, HOLLYWOOD, FL, 33019



1111 S SOUTHLAKE DR, HOLLYWOOD, FL, 33019



Carlos E. Hoyos, P.E.
Consulting Engineer

October 9, 2017

City of Hollywood
Planning & Zoning Department
2600 Hollywood Blvd.
Hollywood, FL 33020

To whom it may concern,

I inspected the property at 1110 S Southlake Dr, Hollywood, FL 33019 on October 6, 2017. The purpose of the inspection was to evaluate the existing building and the effects of proposed modifications or additions to the existing structural elements. The inspection consisted of visual observations of the structural elements and building components. The following descriptions are based on the field observations and documentation provided at the time of the inspection.

Building Construction and Description:

- The property appears to be supported by a deep foundation, with concrete joist and a wood framed floor observed in different areas of the crawl space.
- The flooring system appeared to be solid wood over subflooring T&G.
- The first floor is primarily composed of CMU masonry construction and the second floor appeared to be composed of wood framing.
- The roofing system is hand framed hip construction.
- The roof sheathing appeared to be wood tongue and groove.
- Hurricane strapping appeared to be lacking in some locations of the roof framing system.
- The interior partition walls are partial load bearing at interior with wood framing and drywall finish.
- Windows and doors do not appear to have impact rating however shutters were observed in some areas.
- A portion of the property was recently flooded due to hurricane activity.

Findings and Conclusion:

Although the foundation appeared to be in stable conditions at the time of this inspection, the following was observed:

- Spalling on some of the concrete joist in the crawl space.
- Damage and sagging on the wood flooring of the kitchen area.
- The existing wood floor framing is limited in span and future alterations.

- The age of the foundation system and the propensity and exposure to flooding is a concern where new loads due to modifications or additions are considered.

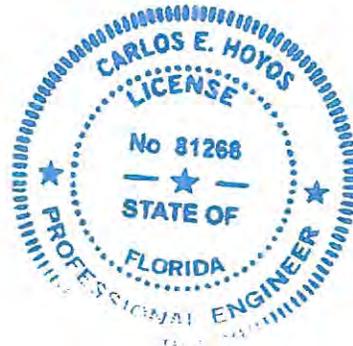
Although the exterior walls of the property appeared to be in fair condition and adequate for the time that the structure was built, the following was observed:

- The existing CMU walls do not appear to have solid concrete vertical reinforcement.
- The exterior walls showed areas in need of crack repairs.
- It is not recommended that new loads be added to the existing exterior load bearing walls.

In conclusion, it is my professional opinion that the existing structural system is below the current code requirements and at this time a proposed addition is not beneficial to the existing structural system. Additionally from a financial standpoint, maintaining and modifying the existing structural components for new loads will have a substantial cost increase. If you have any questions or concerns, please feel free to contact me at your earliest convenience.

Best Regards,

CH 10/9/17
Carlos E. Hoyos, P.E. FL 81268
9812 NW 9th CT. Plantation, FL
(954) 815 2941



Q U O T A T I O N

URBAN GROUP

Contractors

1852 Fletcher Street, Hollywood, Florida, 33020

[Cert Contractor](#)

[CGC1509028](#)

PHASE 1

We are pleased to provide you with the following quotation. All pricing includes installation and deliver. We hereby propose to furnish materials and perform the labor necessary for the completion of;

Kreisel Residence

1110 S Southlake Dr, Hollywood FL

Proposal # R17117 DATE:9/11/2017

Type of work: Remodeling 8,000 Sqft residence

1	General Conditions		10%
			5%
	<u>Project Management and Coordination</u>		
	General Labor	\$ 16,900.00	
	Superintendent	\$ 84,780.00	
	Blueprints copies	\$ 1,700.00	
	<u>Quality Control</u>		
	Testing Laboratory Services (Concrete)	\$ 1,500.00	<i>Allowance</i>
	Testing and Inspection Services	\$ 1,500.00	<i>Allowance</i>
	Testing compactation	\$ 1,500.00	<i>Allowance</i>
	<u>Temporary Facilities and Controls</u>		
	Temporary Electricity	By Owner TBD	
		<i>FPL Fee and monthly payment not included</i>	
	Temporary Lighting		
	Temporary Water	<i>Wasa fee and monthly payment not included</i>	
	<u>Construction Facilities</u>		
	Field Offices and Sheds	\$ -	
	First Aid	\$ 400.00	
	Sanitary Facilities	<i>Will use owner facilities</i>	
	<u>Temporary Barriers and Enclosures</u>		
	Dust Barriers	\$ -	
	Fences	\$ 3,200.00	<i>Allowance</i>
	Pest Control	\$ 3,000.00	<i>Allowance</i>
	<u>Project Signs</u>	\$ 700.00	
	<u>Preparation</u>		
	Construction Layout		
	Surveying	\$ 4,600.00	<i>Allowance</i>
	<u>Cleaning</u>		
	Final Cleaning	\$ 3,000.00	
	Progress Cleaning	\$ 4,800.00	
	Site Maintenance	\$ 3,800.00	
	Dumpster	\$ 20,800.00	
		\$	152,180.00
2	Site Construction		
	<u>Interior Demolition</u>	\$ 12,700.00	
	<u>Structural Demolition</u>	\$ 15,900.00	
	<u>Rental Equipment</u>	\$ 7,250.00	
	<u>Site Preparation and protection existing</u>	\$ 6,980.00	
	<u>Earthwork</u>	\$ 24,770.00	
	Storm Drainage	N/A	
	<u>Site Improvements and Amenities</u>		

	Irrigation System	\$	9,800.00		
	Planting-Landscaping	\$	64,800.00	Allowance	
				\$	142,200.00
3	Concrete				
	Basic Concrete Materials and Methods	\$	84,890.00		
	Piles	\$	75,800.00		
	Grade Beams	\$	24,500.00		
	Walls reinforcement with new columns	\$	15,900.00		
	New slab to match FEMA level	\$	19,500.00		
	2 floor precast aerial system	\$	21,800.00		
	New windows cutting and columns	\$	9,800.00		
	Tie Beams 1st and 2nd floor	\$	24,500.00		
	Roof precast aerial system	\$	28,600.00		
	Concrete Forms and Accessories	\$	67,460.00		
	Concrete Reinforcement	\$	44,780.00		
	Cast-In-Place Concrete	\$	30,780.00		
	Grouts	\$	12,790.00		
				\$	461,100.00
4	Masonry				
	Basic Masonry Materials and Methods	\$	30,490.00		
	Masonry Units	\$	37,890.00		
	Planters with masonry	\$	9,800.00		
				\$	78,180.00
5	Metals				
	<u>Basic Metal Materials and Methods</u>				
	Structural Metal Framing	\$	15,800.00		
	<u>Metal Fabrications</u>				
	Handrails and Railing	\$	15,870.00		
	<u>Ornamental Metal</u>				
	Trellis	\$	24,800.00		
				\$	56,470.00
6	Wood and Plastics				
	<u>Rough Carpentry</u>				
	Wood Trusses	\$	22,400.00		
	<u>Finish Carpentry</u>				
	Baseboards & casing 4" Painted 637'			Allowance	
	Materials @ \$2				\$ 2,474.00
	Installation @\$3.15	\$	4,000.00		
	Kitchen Cabinets			Allowance	\$ 60,000.00
	Vanities			Allowance	\$ 15,200.00
	<u>Architectural Woodwork</u>				
	Wood Stairs	TBD			
				\$	26,400.00
7	Thermal and Moisture Protection				
	Thermal Protection	\$	14,800.00		
	Membrane Roofing	\$	48,000.00		
	Planter water proofing	\$	6,390.00		
				\$	69,190.00
8	Doors and Windows				
	<u>Basic Door and Window Materials and Methods</u>				
	<u>Wood Doors</u>				\$ 46,780.00
	<u>Windows</u>				\$ 268,875.00
	<u>Hardware</u>			Allowance	\$ 6,700.00
	<u>Glazing</u>				
	Mirrors				\$ 1,200.00
	Shower doors				\$ 5,827.50
9	Finishes				

Framing, Gypsum Board and Plaster	\$	110,750.00		
Portland Cement Plaster (Stucco)	\$	64,687.50		
<u>Tile</u>				
Ceramic Tiles Wall Bathrooms Material \$8			Allowance	\$ 4,600.00
Ceramic Tiles Wall Bathrooms Installation	\$	3,640.00		
<u>Flooring</u>				
Stone Floor (Material \$8.00)			Allowance	\$ 58,780.00
Stone installation	\$	34,150.00		
Laminate material @ \$3			Allowance	\$ 5,000.00
Laminate installation	\$	3,680.00		
Sound Control 2nd floor 50 STC	\$	5,065.00		
<u>Paints and Coatings</u>	\$	38,000.00		
<u>Exterior wood Stain</u>	\$	13,000.00	Allowance	
<u>Interior stair wood and stone</u>	\$	18,900.00	Allowance	
<u>Kitchen Tops</u>			Allowance	\$ 15,000.00
			\$	291,872.50

10 **Mechanical and Plumbing**

Plumbing	\$	38,870.00		
Replace all cast iron pipes	\$	24,790.00		
Plumbing Fixtures and Equipment	\$	24,000.00	Allowance	
Heating, Ventilating, and Air Conditioning			included	
Air Distribution			included	
HVAC Instrumentation and Controls	\$	32,690.00		
			\$	120,350.00

11 **Electrical**

Basic Electrical Materials and Methods			included	
Wiring Methods			included	
Electrical Power			included	
Transmission and Distribution	\$	79,800.00		
Lighting			Allowance	\$ 14,800.00
			\$	79,800.00

12 **Exterior Areas**

FPL underground	\$	6,800.00		
Excavation for FPL underground 30" deep	\$	2,400.00		
Ecologic Fence	\$	7,800.00		
Septic tank				\$ 16,750.00
Diamond Brite	\$	17,800.00	Allowance	
Coping Pool	\$	4,200.00	Allowance	
Synthetic Grass			TBD	
Concrete side walkways	\$	9,000.00	Allowance	
Exterior Stair TBD			TBD	
			\$	48,000.00

		Total	\$	1,525,742.50	\$ 521,986.50
Insurance			\$	22,886.14	\$ 7,829.80
Overhead and profit			\$	152,574.25	\$ 26,099.33
Grand total:			\$	1,701,202.89	\$ 555,915.62
		Total Allowance			\$ 521,986.50
		Total Contract	\$	1,735,132.01	
		Grand Total	\$	2,257,118.51	
		Price per Sqft	\$	282.14	

EXCLUDED IN THIS PROPOSAL

- Permits Fees
- Any resubmittal plan
- Items not specified in this proposal is by owner or others

NOTE:

- Existing areas will remain as it is stays
- New roof will match similar to existing roof

Payment Schedule

Down Payment		20%
Demolition		10%
1st Floor Structural	<i>Excavation, Foundations, Grade beams. Slabs, Columns and beams</i>	15%
2nd Floor Structural	<i>Trusses, sheeting, columns, beams, roof trusses and roof sheeting</i>	15%
Roofing	<i>Hip and flat roofing</i>	10%
Drywall installation	<i>Framing, Gypsum Board and Plaster</i>	15%
Flooring	<i>floors and bathroom walls</i>	10%
Painting and Punch list	<i>Baseboard, doors and wall paints and patches</i>	5%
	<i>TOTAL</i>	100%

NOTICE TO OWNER

YOU, THE BUYER MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO THE THIRD BUSINESS AFTER DATE OF TRANSACTION.
 URBAN GROUP CONTRACTORS MAY HAVE LIEN ENFORCED AGAINST PROPERTY.
 ALL MATERIAL IS GUARANTEED TO BE SPECIFIED. ALL WORK TO BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES.

The Owner must carry fire, tornado, hurricane and other insurance for the above work
 We will provide Liability insurance. You the owner will be responsible for all legal expenses that may occur or emerge in case of litigation or dispute over any aspect of this contract.

Acceptance of proposal

I, the owner, consider the above prices, specifications and conditions satisfactory. I hereby accept the proposal,
 Payment will be made as outlined above. All amounts overdue will accrue 1-1/2% interest per month

Contractor's signature

Date of acceptance :

Owner's signature _____



Permit # _____

10.12.17
Date: _____

LOT COVERAGE INFORMATION

If you are the applicant for a building permit for a SINGLE FAMILY RESIDENCE, please be aware that the following information is needed in order to process your request for any additions or accessory structures, including pools, decks, and the like:

- 150' X 233.93'
1. 35,089.5 SQUARE FEET OF YOUR LOT (length x width)
 2. 1ST FLOOR 5,946 S.F. SQUARE FEET OF YOUR HOUSE 2ND FLOOR 3,800 S.F.
 3. N/A SQUARE FEET OF ALL ~~EXISTING~~ IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.)
 4. N/A SQUARE FEET OF THE ADDITION, AND OR...
 5. 7,973 S.F. SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECKS, ETC.
 6. 13,919 S.F. TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT (Add Nos. 2 + 3+ 4+ 5)...
 7. 0.39% PERCENTAGE OF IMPERVIOUS LOT COVERAGE (Divide No.6 by No. 1)

JOB CARD

OWNER: Dr. Cherenstein
 JOB ADDRESS: 1110 S. South Lake Dr.

LEGAL DESCRIPTION: [Blank]
 LOT NUMBER: [Blank] BLOCK: [Blank] SUBDIVISION OR ADDITION: [Blank]

MICROFILM NO.: 92-0059
 ARCHITECT: None
 FEE: \$ 30.00
 VALUATION: \$ 500.00

DESCRIPTION OF CONSTRUCTION: Chimney housing
 SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	112082	8-27-87	T. Kraloric CONS.	SEPTIC/SEWER PERMIT			
ROOF				AIR/CONDITIONING			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO OR WALK			

NOTES: County surcharge .20

JOB CARD

OWNER FRED EHRENSTEIN	JOB ADDRESS 1110 S SOUTHLAKE DR
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION 514214015910
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MICROFILM NO.	ARCHITECT	FEE \$ 31.50	VALUATION \$ 1100.00
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DESCRIPTION OF CONSTRUCTION 45 FEET OF 6 FEET HIGH WOOD FENCE WITH GATE	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE	104297	7-21-86	KRALOVIC CONS	PATIO or WALK			

NOTES: county surcharge \$.40

JOB CARD

OWNER Mrs. Landefeld		JOB ADDRESS 1110 S. South Lake Dr.		
LEGAL DESCRIPTION	LOT NUMBER 19-20	BLOCK 35	SUBDIVISION OR ADDITION Hollywood Lakes 1/32	
MICROFILM NO.	ARCHITECT	FEE \$ 25.00	VALUATION \$ 2660.	

DESCRIPTION OF CONSTRUCTION: **Replace central system A/C 4 ton**

SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	16930	2/13/85	E.H. Whitson
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: **County Surcharge .60**

JOB CARD

OWNER <p style="text-align: center;">C. LANDSFELD</p>	JOB ADDRESS <p style="text-align: center;">1110 S. Southlake Dr.</p>
--	---

LEGAL DESCRIPTION	LOT NUMBER <p style="text-align: center;">21</p>	BLOCK <p style="text-align: center;">30</p>	SUBDIVISION OR ADDITION <p style="text-align: center;">Hwd. Lakes</p>
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MICROFILM NO. <p style="text-align: center;">76-00-37</p>	ARCHITECT <p style="text-align: center;">Geo. Ingata</p>	FEE <p style="text-align: center;">\$ 19.40</p>	VALUATION <p style="text-align: center;">\$ 2500</p>
--	---	--	---

DESCRIPTION OF CONSTRUCTION <p style="text-align: center;">Seawall only</p>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	11221	4/27/76	Seawall & Dr.	SEWER			
ROOF				AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

1613-13

NAME OF OWNER **C.H. Landerfeld Jr.**

ADDRESS OF CONSTRUCTION **1110(?) S. So Lake Dr.**

LEGAL DESCRIPTION

Lot 19-20-21, Bl 35, Larc.

Owner's Present Address

Description of Construction

Cost **4,500.**

Addition to Residence.

Permit Type	No.	Date Issued	To Whom	Fixtures or Outlets
Blgd	15662	9-12-50	Ray Carlson.	
Electrical	9195	11-21-50	Green Street	19
Plumbing	5425	9-20-50	Hurd P4 Co	3
Gas				

INSPECTIONS

FOUNDATION 9-22-50	1st Rough Plg.	Temp. Service
COLUMNS	Final Rough Plg.	Rough Electric 11-22-50
TIE BEAM 10-5-50	Septic Tank	Temporary Final
CAP	Grease Trap	Final Electric 1-16-51
GAS	Final Plumbing 1-15-51	Rubbish Bond
	Cert. of Occupancy	

Remarks

Drainage - W 16041 - D. L. L.

Chase

NAME OF OWNER

C. H. LANGFELD

ADDRESS

1110 S. S. WALK DRIVE

LEGAL DESCRIPTION

COST 325.00

DESCRIPTION OF CONST.

ARCHITECT:

BB ROOF

PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.				
ROOF	77013	2-20-68	STAY COOL INC	
ELECTRICAL				
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS	177	12-29-67	<i>Yes</i>	
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

JOB CARD

OWNER Ehrenstein	JOB ADDRESS 1110 S. South Lake Drive
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUB-DIVISION OR ADDITION
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MICROFILM NO. NO. 5025	ARCHITECT	FEE \$ 52.50	VALIDATION \$ 2500.
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DESCRIPTION OF CONSTRUCTION Lawn Sprinkler	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	JOB FACTOR
BUILDING				SEPTIC SEWER			
ROOF				AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX. 23821	4/30/87	Del's Sprinkler	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:
County surcharge .60

JOB CARD

OWNER: EHRENSTEIN JOB ADDRESS: 1110 S SOUTH LAKE DR

LEGAL DESCRIPTION: LOT NUMBER 19-21 BLOCK 35 SUBDIVISION OR ADDITION: HOLLYWOODLAKES 1/32

NO. OF FILM NO. 91-0404 ARCHITECT: NONE FEE: \$ 309.00 VALUATION: \$ 19,500.00

DESCRIPTION OF CONSTRUCTION: NEW POYER 122 SEPTIC TANK SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	9504	2-20-87	TONY KRALOVIC	SEPTIC SEWER			
ROOF	300	10/3/87	B. J. JONES	AIR CONDITION			
ELECTRIC-BASIC	3662	7/8/87	3662	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L.P.-DRY WALL				DRIVEWAY	108136	2-20-87	TONY KRALOVIC
FENCE				PATIO OF WALK			

NOTES: county surcharge \$4.00 1746 mē 188x

Remaining balance of \$3500-

3/18/87 103024 fee \$ 50.00

(REPAIR TO 1076 DOOR) 1/1/87

JOB CARD

OWNER Dr. Fred Ehrenstein	JOB ADDRESS 1110 S. Southlake Cr.
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LEGAL DESCRIPTION	LOT NUMBER	BLK/CR	DIVISION OR AGENCY 514214015810
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MICROFILM NO. 91-0617	ARCHITECT	FEE 548.00	VALUATION 32200
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DESCRIPTION OF CONSTRUCTION Replace beam & pre-fab fireplace	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	102789	5/6/86	Krabovic	SEPTIC SEWER			
ROOF				AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL	102789	5/6/86	Krabovic
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: **County surcharge .60**

JOB CARD

OWNER Dr. & Mrs. Fred Ehrenstein	JOB ADDRESS 1110 E. Southlake Dr.		
LEGAL DESCRIPTION	LOT NUMBER 19, 20, & 21	BLOCK 35	SECTION/1/3/84 OR ADDITION 5/22/85 7/8
MICROFILM NO. 9(-0394)	ARCHITECT DeRose & Slopey Eng.	FEE \$ 135.00	VALUATION \$ 2000.

DESCRIPTION OF CONSTRUCTION
Breakfast room & deck 126

SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	8015711	5/1/86	Tony Kralovic	SEPTIC/SEWER			
ROOF	103703	16-17-86	Daker RFG	AIR/CONDITION			
ELECTRIC-BASIC	34815	5-7-86	General Electrical	MECHANICAL	102279		
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX. 22891	5-30-86	J & S DAVIS	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				10' WALK			

NOTES:
County surcharge 1.60

JOE CAPC

OWNER

Frei Ehrenstein

JOB ADDRESS

1110 S. Southlake

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SECTION OF 200-700

MICROFILM NO.

ARCHITECT

FEE

VALUATION

8F-223

\$ 105.00

\$ 0.00

DESCRIPTION OF CONSTRUCTION

New A/C

SEPTIC TANK
 SEWER TANK

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING

SEPTIC/SEWER

ROOF

AIR CONDITION

10692

4/8/86

ARCTIC FIB

ELECTRIC-BASIC

3-1731

4-22-86

Sumner Electric

MECHANICAL

ELECTRIC-SUPP.

SCREEN

PLUMBING

NO. FIX.

POOL

C.P.-DRY WALL

DRIVEWAY

FENCE

PATIO or WALK

NOTES:

County surcharge 1.20

JOB CARD

OWNER <p style="text-align: center;">C. H. LAWDEFELD</p>	JOB ADDRESS <p style="text-align: center;">1110 S S Lake Dr.</p>
---	---

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 21.50	VALIDATION \$ 4500
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DESCRIPTION OF CONSTRUCTION <p style="text-align: center;">Re Roof</p>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF	5000	3/24/76	Keng	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:	1813-13
--------	---------

JOB CARD

17

OWNER C. H. LANDEFELD, JR.	JOB ADDRESS 1110 S Southlake Dr.
--------------------------------------	--

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
-------------------	------------	-------	-------------------------

MICROFILM NO.	ARCHITECT	FEE \$ 18.70	VALUATION \$ 1500
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DESCRIPTION OF CONSTRUCTION Remove 4 Windows in living Room & Panel Walls	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	53048	3/14/79	Better Living	CONST.			
ROOF				SEPTIC/SEWER			
ELECTRIC-BASIC				AIR/CONDITION			
ELECTRIC-SUPP.				MECHANICAL			
PLUMBING	NO. FIX.			SCREEN			
L-P-DRY WALL				POOL			
FENCE				DRIVEWAY			
				PATIO or WALK			

NOTES: County Surcharge \$.63

JOB CARD

OWNER C* H* LANDERFELD	JOB ADDRESS 1110 S. Southlake Dr.
----------------------------------	---

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBSTITUTION OR ADDITION
-------------------	------------	-------	--------------------------

MICROFILM NO.	ARCHITECT	FEE \$ 15.00	VALIDATION \$ 2000
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DESCRIPTION OF CONSTRUCTION Central Sys. & Duct Sys.	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC SEWER			
ROOF				AIR CONDITION	3532	10/3/75	MS. TREN
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: Form 1-64-12

**11 permits were found for
1110 S SOUTHLAKE DR**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details	98910	P0501128	LP TANK AND PIPING	8/4/2005	8/12/2005
Details	86220	B9906228	RE-ROOF FLAT	9/24/1999	10/6/1999
Details		B9604548	RE-ROOF(COMBINATION OF TYPES)		6/27/1996
Details		B9005340	STORM SHUTTERS		8/7/1990
Details		E9000206	BURGLAR ALARM,INTERCOM,TELEPHONE,OR TV		1/29/1990
Details		B9000390	RE-ROOF(COMBINATION OF TYPES)		1/23/1990
Details		P9000054	PLUMBING WORK		1/18/1990
Details		M9000064	A/C - CENTRAL - NEW		1/17/1990
Details		E9000051	SERVICE CHANGE & A/C HOOK UP		1/8/1990
Details		B8906459	ADDITION - BEDROOM & BATH		10/31/1989
Details		B8906093	MINOR DEMOLITION		10/10/1989

1110 S SOUTH LAKE DRIVE
HOLLYWOOD, FL

PROPOSED PAINT CHIPS AND MATERIALS

Front walls



Benjamin Moore

Kendal Charcoal HC-166

Garage walls // Grey stone



Entry details // Water fall and river rock



Entry walls // Concrete panels



Rear canopy // Trellis



Pool and entry details // Concrete steps



Side // Trellis

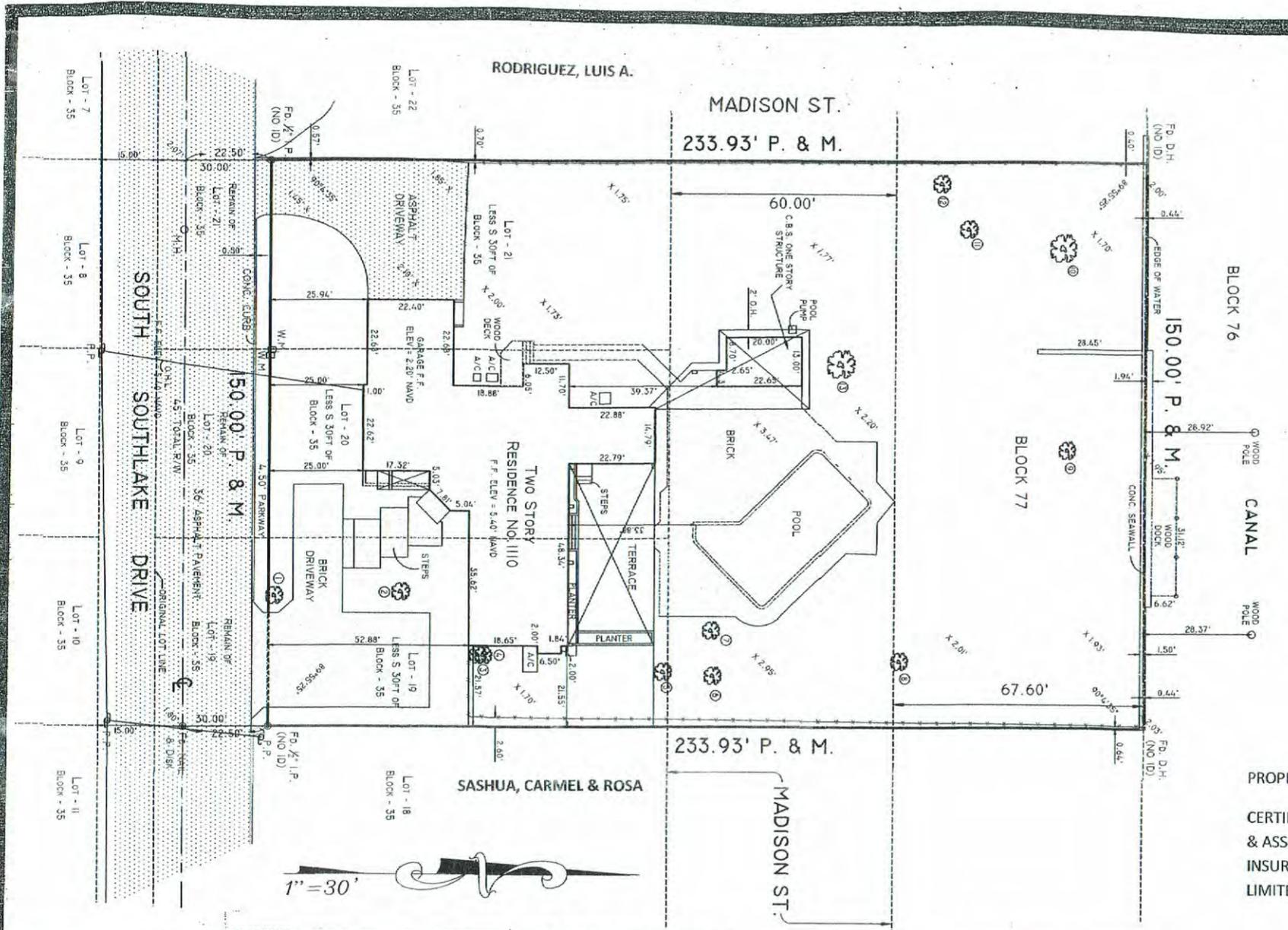








P.P.



#	TREE NAME	DIAMETER	HEIGHT	CANOPY
1	OAK	2'	30'	35'
2	UNKNOWN NAME	1'	12'	12'
3	SOLITARI PALM	0.40'	25'	6'
4	UNKNOWN NAME	0.70'	12'	10'
5	PALM	0.80'	23'	12'
6	PALM	0.75'	20'	11'
7	PALM	0.70'	18'	12'
8	UNKNOWN NAME	0.70'	12'	8'
9	PALM	1.00'	30'	12'
10	ROYAL POINCIANA	3.00'	45'	35'
11	COCONUT	0.70'	20'	12'
12	COCONUT	0.80'	22'	12'
13	UNKNOWN NAME	1.00'	22'	20'

NET AREA = 35,089.47 (0.8055 ACRES)
 GROSS AREA = 39,589.47 (0.9088 ACRES)

ALTA SURVEY

PROPERTY ADDRESS: 1110 S. SOUTHLAKE DR., HOLLYWOOD, FL. 33019.
 CERTIFIED TO: JP MORGAN CHASE BANK, N.A., ISAOA/ATIMA; FELDMAN & ASSOCIATES; PAUL FELDMAN PA; FIDELITY NATIONAL TITLE INSURANCE COMPANY; HARMONIA INVESTMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY.

ELEVATION BASED ON LOC. #
 CBM# 192 1978 ELV. 10.092'

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) UNDERGROUND ENCROACHMENTS NOT LOCATED. 4) ELEVATIONS ARE BASED ON ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. 5) OWNERSHIP OF FENCES ARE UNKNOWN. 6) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 7) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 8) PROPERTY HAS DIRECT VEHICULAR ACCESS TO A PUBLICLY DEDICATED RIGHT-OF-WAY

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB 1 PAGE 32

NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL

REVISED:

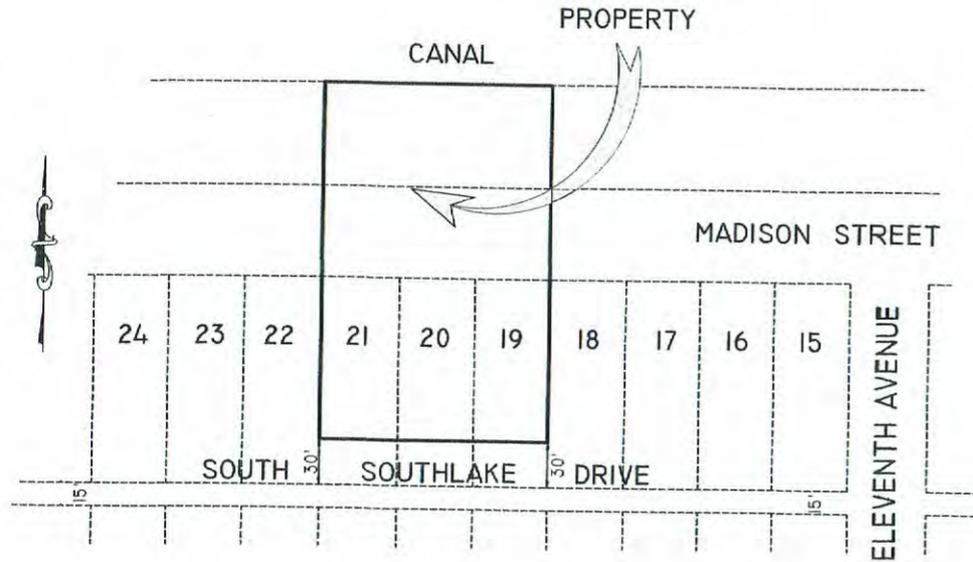
I HEREBY CERTIFY that the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes.
 There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

Adis N. Nunez
 ADIS N. NUNEZ
 REGISTERED LAND SURVEYOR
 STATE OF FLORIDA #5924

SINCE 1987
BLANCO SURVEYORS INC.
 Engineers • Land Surveyors • Planners • LB # 0007059
 555 NORTH SHORE DRIVE
 MIAMI BEACH, FL 33141
 (305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

FLOOD ZONE: AE	SUFFIX: H	DATE: 8/18/14	BASE: 7'
PANEL: 0569	COMMUNITY # 125113		
DATE: 7/24/17	SCALE: 1" = 30'	DWN. BY: F. Blanco	JOB No 17-710

LOCATION SKETCH
SCALE: NTS



ALTA SURVEY

PROPERTY ADDRESS: 1110 S. SOUTHLAKE DR., HOLLYWOOD, FL. 33019.

CERTIFIED TO: JP MORGAN CHASE BANK, N.A., ISAOA/ATIMA; FELDMAN & ASSOCIATES; PAUL FELDMAN PA; FIDELITY NATIONAL TITLE INSURANCE COMPANY; HARMONIA INVESTMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B, 8, 9 AND 11A OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 24TH, 2017.

SURVEY DONE ACCORDING TO FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NO.: 6336727

- ALL SCHEDULE B-II TITLE EXCEPTIONS ARE BLANKET IN NATURE AND NOT PLOTTABLE.
- ASPHALT DRIVEWAY APPROACH ENCREACHES INTO SOUTH SOUTHLAKE DRIVE R.O.W. (SOUTH PROPERTY LINE)
- THERE ARE NO OTHER ENCREACHMENTS ON THE PROPERTY.

LEGAL DESCRIPTION: LOTS 19, 20 AND 21, BLOCK 35, LESS THE SOUTH 30 FEET THEREOF, HOLLYWOOD LAKES SECTION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND

ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS: BEING A PART OF MADISON STREET AND A PART OF BLOCK 77 OF SAID "HOLLYWOOD LAKES SECTION", BOUNDED ON THE SOUTH BY THE NORTH LINE OF SAID LOTS 19, 20 AND 21, OF BLOCK 35 OF SAID SUBDIVISION; ON THE NORTH BY BLOCK 76, ALSO DESCRIBED AS SOUTH LAKE OF SAID SUBDIVISION, ON THE EAST BY THE EAST LINE OF LOT 19 OF SAID BLOCK 35, EXTENDED IN A NORTHERLY DIRECTION TO SAID BLOCK 76, AND ON THE WEST BY THE WEST LINE OF LOT 21 OF SAID BLOCK 35, EXTENDED IN A NORTHERLY DIRECTION TO SAID BLOCK 76, AS SHOWN ON THE PLAT OF "HOLLYWOOD LAKES SECTION", AS THE SAME IS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING ALL THAT PARCEL OF LAND LYING NORTH OF SAID LOTS 19, 20 AND 21, BLOCK 35, "HOLLYWOOD LAKES SECTION" EXTENDING TO THE SOUTH LAKE OF SAID SUBDIVISION.

ABBREVIATIONS:

SWC=SIDEWALK, CBS=CONCRETE BLOCK STRUCTURE, CLF=CHAIN LINK FENCE, PL=PROPERTY LINE, DUE=DRAINAGE UTILITY EASEMENT, IP=IRON PIPE, F=FOUND, A/C=AIR CONDITIONER PAD, P/C=PROPERTY CORNER, D/H=DRILLED HOLE, W/F=WOODEN FENCE, RES=RESIDENCE, CL-CLEAR, RB=REBAR, UE=UTILITY EASEMENT, CONC=CONCRETE SLAB, R/W=RIGHT OF WAY, DE=DRAINAGE EASEMENT, CL=CENTER LINE, O=DIAMETER, TYP=TYPICAL, M=MEASURED, R=RECORDED, ENCR=ENCROACHMENT, COMP=COMPUTER, ASH=ASPHALT, ND=NAIL & DISC, S=SET, FEE=FINISH FLOOR ELEVATION, O/S=OFFSET, P/P=POWER POLE, OHP=OVERHEAD POWERLINE, WM=WATER METER, WOOD FENCE=

MASONRY WALL= [Symbol]
CONCRETE= [Symbol]
MAINTENANCE & DRAINAGE EASEMENT=M & D.E.

ELEVATION BASED ON LOC. #
CBM# 192 1978 ELV. 10.092'
NGVD

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) UNDERGROUND ENCREACHMENTS NOT LOCATED. 4) ELEVATIONS ARE BASED ON ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. 5) OWNERSHIP OF FENCES ARE UNKNOWN. 6) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 7) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 8) PROPERTY HAS DIRECT VEHICULAR ACCESS TO A PUBLICLY DEDICATED RIGHT-OF-WAY

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REVISED:

I HEREBY CERTIFY that the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes. There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

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FLOOD ZONE: AE	SUFFIX: H	DATE: 8/18/14	BASE: 7'
PANEL: 0569	COMMUNITY # 125113		
DATE: 7/24/17	SCALE: 1"= 30'	DWN. BY: F. Blanco	JOB No 17-710



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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

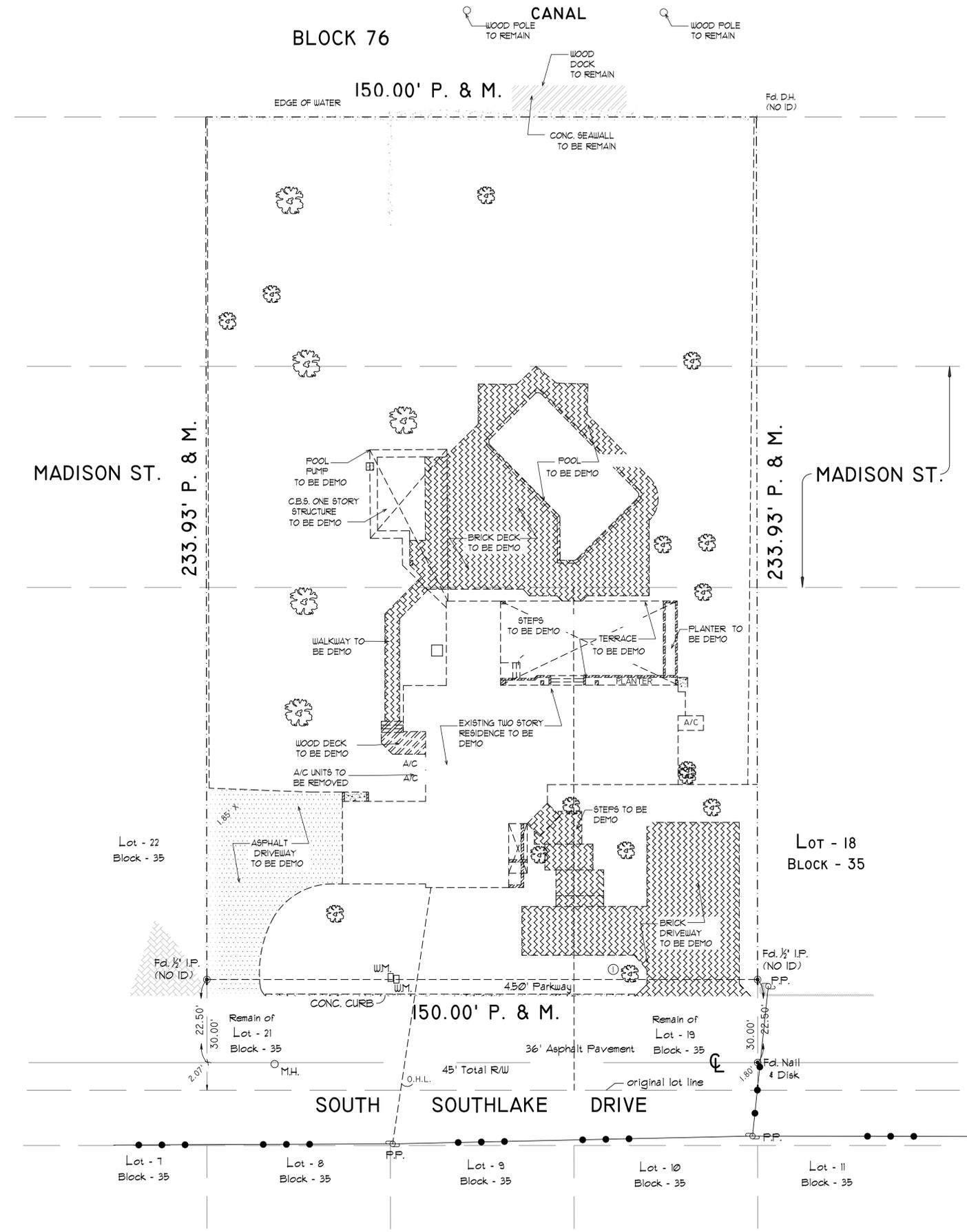
PROJECT TITLE
1110 S SOUTHLAKE DRIVE
HOLLYWOOD, FLORIDA
33019

SHEET TITLE
SITE PLAN DEMOLITION

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 17127
DATE: 10.02.17
DRAWN BY: GMV
CHECKED BY: JBK

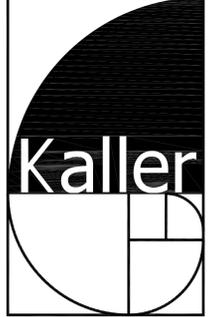
SHEET
SP-D



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SEAL

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FLORIDA R.A. # 0009239

PROJECT TITLE
1110 S SOUTHLAKE DRIVE
HOLLYWOOD, FLORIDA
33019

SHEET TITLE
SETBACK JUSTIFICATION

REVISIONS

No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 17127
DATE: 10.02.17
DRAWN BY: GMV
CHECKED BY: JBK

SHEET
SITE

GENERAL NOTES:

ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PLANTATION, FDOT, AND ALL OTHER LOCAL AND NATIONAL CODES WHERE APPLICABLE. THE CONTRACTOR SHALL FOLLOW ALL PERMIT REQUIREMENTS.

CONTRACTOR TO BE TOTALLY RESPONSIBLE FOR MAINTENANCE OF TRAFFIC AND SAFETY OF MOTORISTS AND PEDESTRIANS USING THE SITE, ADJACENT STREETS, SIDEWALKS, AND ROADWAYS, DURING CONSTRUCTION. MAINTENANCE AND SAFETY PROCEDURES SHALL CONFORM TO MUTCD AND OSHA REQUIREMENTS.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND OBTAIN A SUNSHINE CERTIFICATION NUMBER AND FIELD MARKINGS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.

THE LOCATION, SIZE AND MATERIAL OF THE EXISTING FACILITIES AND TOPOGRAPHY HAVE BEEN RECORDED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES AND TOPOGRAPHY SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL VERIFY THROUGH VACUUM EXTRACTION AND TEST HOLE METHODS, THE ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES SHOWN OR NOT SHOWN PRIOR TO BEGINNING CONSTRUCTION, SUFFICIENTLY AHEAD OF HIS CONSTRUCTION SCHEDULE. ANY AND ALL CONFLICTS SHALL BE REPORTED TO THE ENGINEER SUFFICIENTLY AHEAD OF CONSTRUCTION, TO ALLOW THE ENGINEER AMPLE RE-DESIGN TIME. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

CONTRACTOR TO SPOT-DIG AND LOCATE EXISTING UTILITIES AS DIRECTED BY THE ENGINEER, AT NO ADDITIONAL COST.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL LINES AND GRADES TOGETHER WITH ALL REFERENCE POINTS AS REQUIRED UNDER THIS CONTRACT. ALL REQUIRED LAYOUT SHALL BE DONE USING A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA. THE LINES AND GRADES SHALL BE SUBJECT TO ANY CHECKING THE OWNER OR ENGINEER MAY DEcide NECESSARY. NO SEPARATE COST ITEM IS PROVIDED FOR THIS WORK, THE COST OF WHICH SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE BID PRICE.

THE CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY ERRORS OR CONFLICTS TO THE ENGINEER.

THE CONTRACTOR SHALL REPLACE IN KIND ALL ITEMS DAMAGED BY HIS OPERATIONS, TO THE SATISFACTION OF THE ENGINEER, AT NO COST. ALL INFORMATION REGARDING EXISTING CONDITIONS SHOWN ON THESE CONSTRUCTION DRAWINGS WAS FROM THE SURVEY DONE BY ATLANTIC COAST SURVEYING, INC., DATED 6/25/01.

THE ENGINEER RESERVES THE RIGHT TO CHANGE THE DESIGN. THIS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN A CONFLICT BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS IS DISCOVERED DURING THE COURSE OF CONSTRUCTION.

PAVEMENT TO BE REMOVED SHALL BE CUT IN A STRAIGHT LINE WITH SMOOTH EDGES WITH A POWER SAW.

THE SUBGRADE SHALL BE 12" THICK WITH A MIN. LBR OF 40. THE SUBGRADE SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER AASHTO T-180.

THE LIMEROCK BASE SHALL BE 8" THICK WITH A MIN. LBR OF 100, SHALL BE OF THE MIAMI FORMATION, AND SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER AASHTO T-180.

THE ASPHALT SURFACE SHALL BE 1-1/2" THICK APPLIED IN TWO 1" LIFTS WITH TACK COAT USED BETWEEN THE PAVING COURSES.

IN LANDSCAPE AREAS, ELEVATIONS SHOWN ARE TO THE TOP OF SOD/LANDSCAPE.

LANDSCAPE GROUND ADJACENT TO ROADWAY/PAVEMENT HAVING RUNOFF SHALL BE GRADED SO THAT THE FINISHED TOP OF LANDSCAPE GRADE IS A MINIMUM OF 1/2 INCH LOWER THAN THE EDGE OF PAVEMENT.

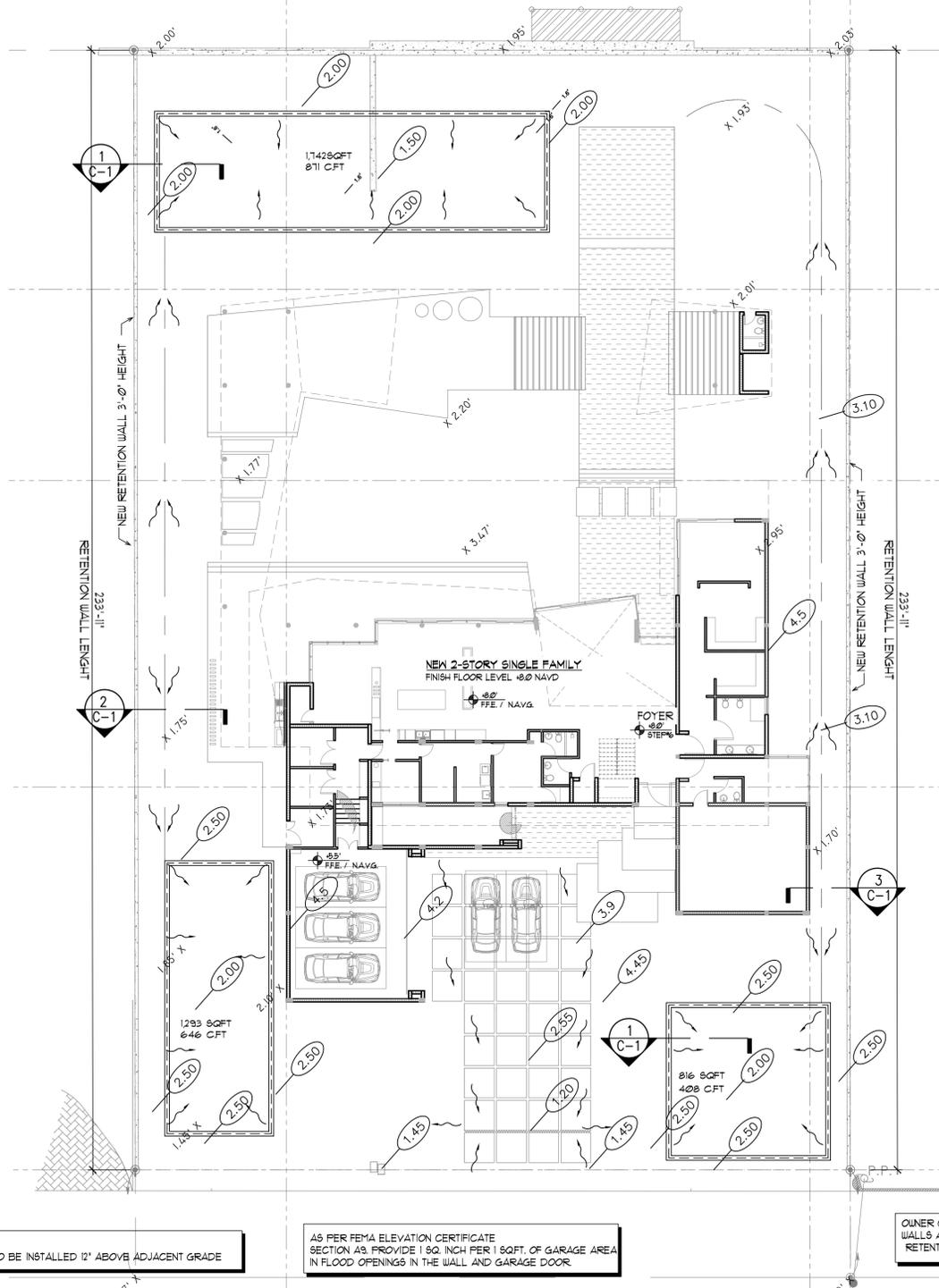
SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.

UPON COMPLETION OF CONSTRUCTION, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



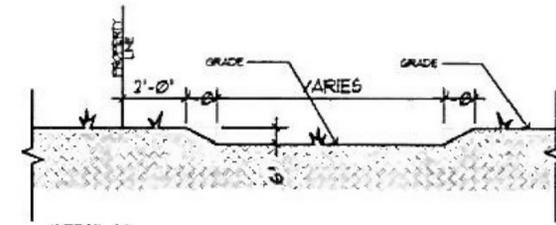
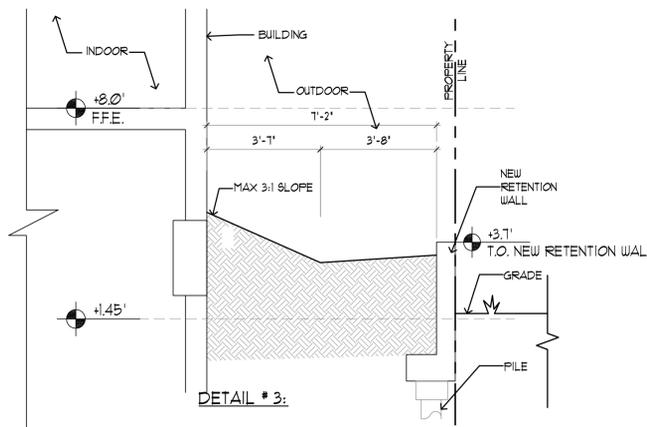
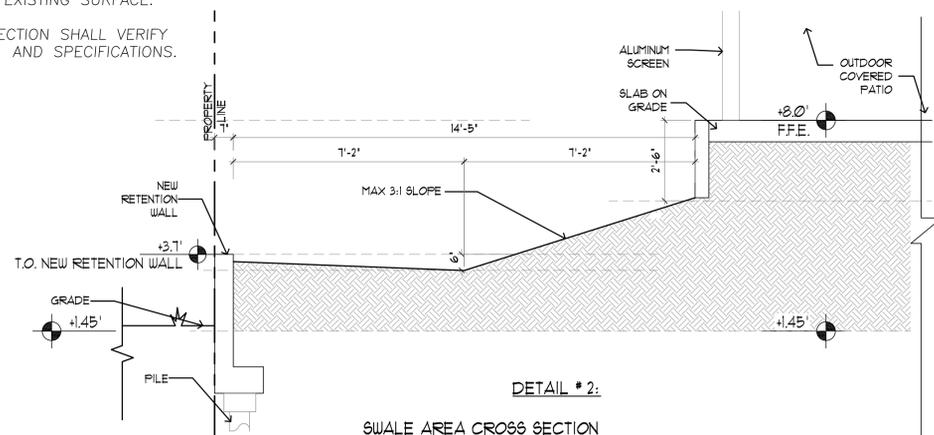
- NOTES:
- CONTRACTOR TO VERIFY EXISTING AND PROPOSED ELEVATIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER, PRIOR TO THE START OF CONSTRUCTION.
 - NEW SIDEWALK CONSTRUCTION WITHIN THE ROW TO BE TO THE NEAREST JOINT.
 - LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER ONTO ADJACENT PROPERTY. CONTRACTOR TO PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.



NOTE: VENTS ARE TO BE INSTALLED 12" ABOVE ADJACENT GRADE

AS PER FEMA ELEVATION CERTIFICATE SECTION A3, PROVIDE 1 SQ. INCH PER 1 SQ. FT. OF GARAGE AREA IN FLOOD OPENINGS IN THE WALL AND GARAGE DOOR

OWNER COMMITS TO BUILD RETENTION WALLS AS SHOWN FOR DRAINAGE RETENTION PURPOSES



DETAIL #1: DRY-RETENTION AREA CROSS SECTION

1 | DETAIL 1
N.T.S.

LEGEND:

- PROPERTY LINE
- RIDGE LINE
- CENTERLINE OF NEW SWALE AND DRAINAGE FLOW DIRECTION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- DRAINAGE FLOW ARROW
- PROPOSED NEW MINIMUM 8" LIMEROCK BASE W/MIN. 1-1/2" TYPE S-III ASPHALT
- CONCRETE

PROPERTY ADDRESS:

1110 S SOUTH LAKE DRIVE
HOLLYWOOD, FL 33019

SITE INFORMATION

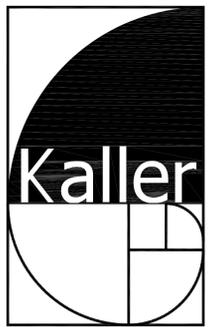
1)- ZONING:	RS-9 RESIDENTIAL SINGLE FAMILY
2)- LOT AREA: NET LOT AREA: GROSS LOT AREA:	35,003.5 SQ. FT. (0.8 ACRES) 39,503.5 SQ. FT. (0.9 ACRES)
3)- SETBACKS:	REQUIRED PROVIDED:
SUM OF SIDE SETBACKS:	25% OF 150'-0" = 37'-6" - MIN
SIDE INTERIOR (WEST)	30'-0" MIN 37'-0"
SIDE INTERIOR (EAST)	7'-6" MIN 8'-6"
TOTAL SIDE SETBACKS	40'-6"
FRONT (S. SOUTHLAKE DRIVE)	80'-0" MIN. 53'-3" (VARIANCE REQUEST)
REAR (LAKE)	(15% OF LOT DEPTH+ 35'-0") 89'-11"
4)- PARKING:	5 5
5)- PERVIOUS/IMPERVIOUS:	
IMPERVIOUS LOT AREA:	13,919 SF. 39%
PERVIOUS LOT AREA:	21,110 SF. 61%
	TOTAL 35,029 SF. 100%

BUILDING INFORMATION:

1)- LOT COVERAGE:	5,946 + 7,973	13,919 SF. (39.66%)
2)- BUILDING AREA		
A- FIRST FLOOR:	5,133 SF.	
GARAGE:	813 SF.	
B- SECOND FLOOR:	3,000 SF.	
TOTAL SF.	9,746 SF.	

DRAINAGE REQUIRED

1)- 1/2" RAINFALL OVER ENTIRE SITE
35,003.5 X .041 = 16,491.8 CF.
STORAGE REQUIRED = 16,491.8 CF
PROVIDED STORAGE = 1925 CF.



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SEAL

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PROJECT TITLE
1110 S SOUTHLAKE DRIVE
HOLLYWOOD, FLORIDA
33019

SHEET TITLE
RETENTION PLAN

REVISIONS

No.	DATE	DESCRIPTION

PROJECT No.: 17127
DATE: 10.02.17
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

C-1



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PROJECT TITLE
1110 S SOUTHLAKE DRIVE
HOLLYWOOD, FLORIDA
33019

SHEET TITLE
SECOND FLOOR PLAN

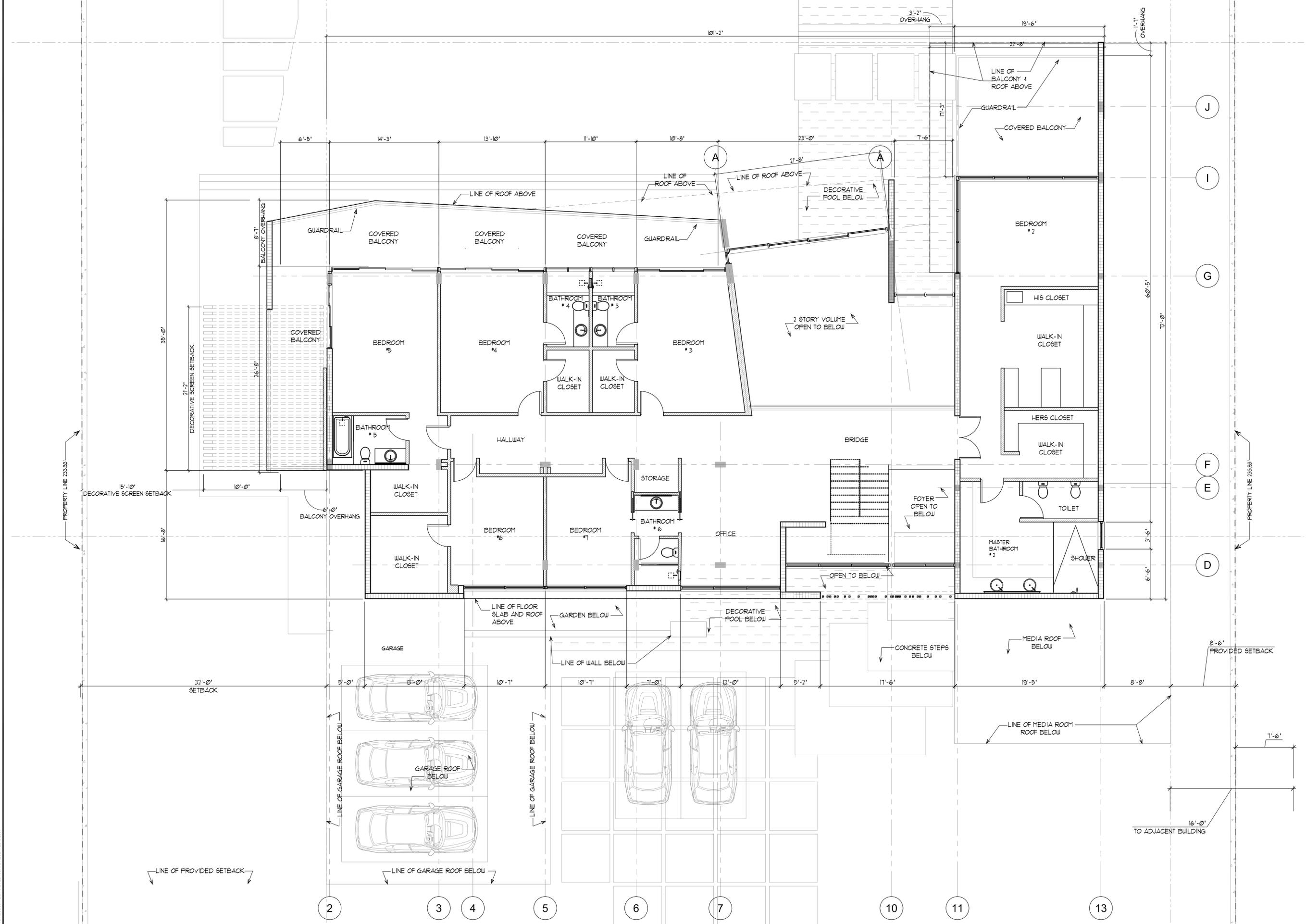
REVISIONS

No.	DATE	DESCRIPTION

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PROJECT No.: 17127
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SHEET
A-2.0



1 SECOND FLOOR PLAN
3/16" = 1'-0"

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PROJECT TITLE
1110 S SOUTHLAKE DRIVE
HOLLYWOOD, FLORIDA
33019

SHEET TITLE
ROOF PLAN

REVISIONS

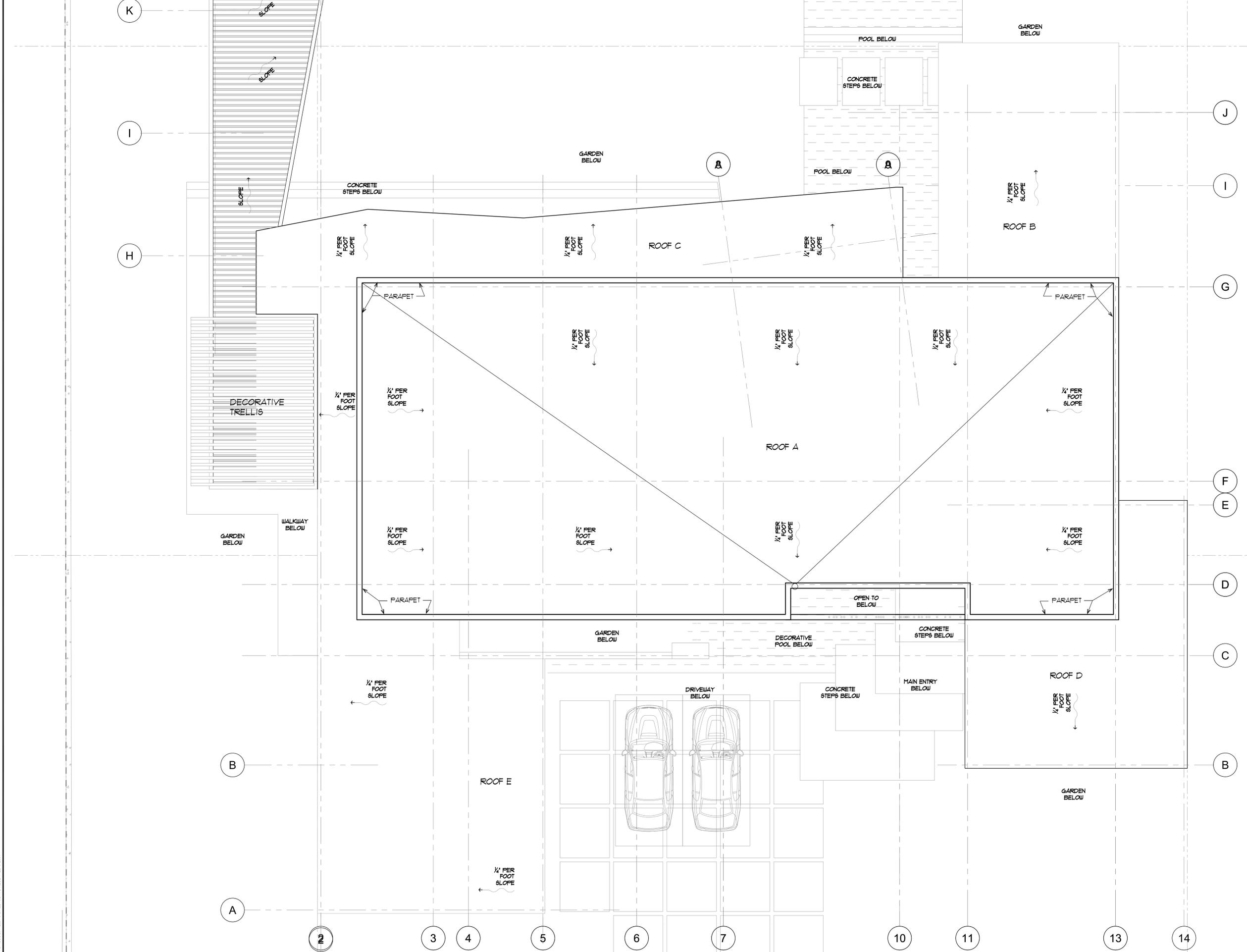
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SHEET

A-3.0



1 ROOF PLAN
3/16" = 1'-0"

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1110 S SOUTHLAKE DRIVE
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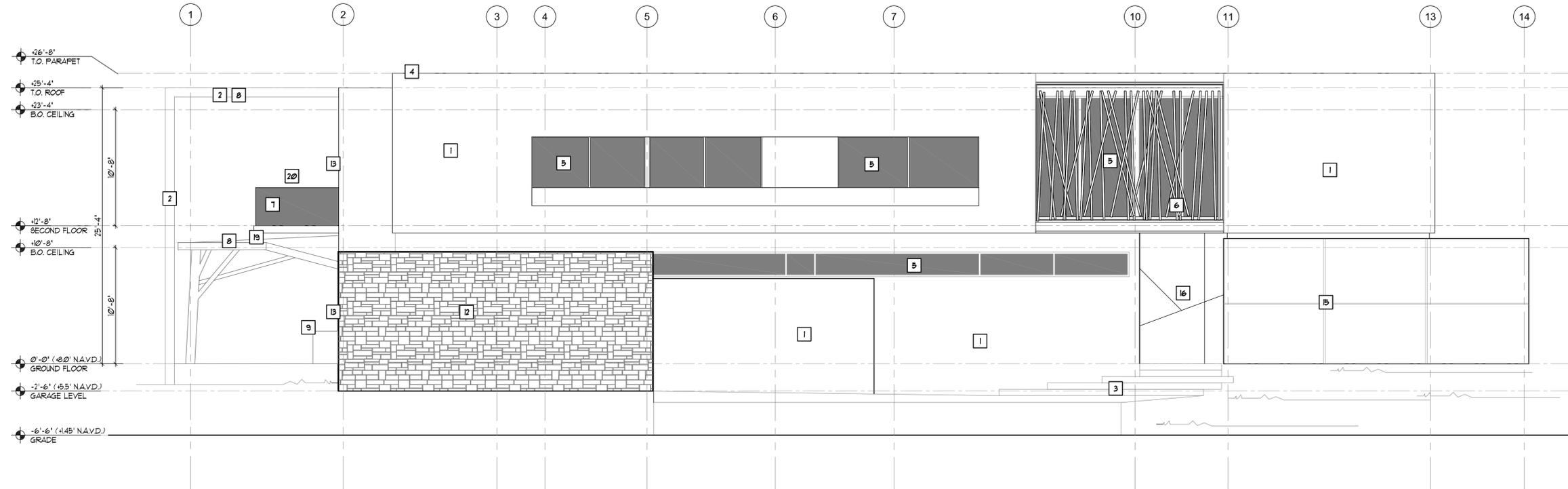
SHEET TITLE
EXTERIOR ELEVATIONS
FRONT (SOUTH)
REAR (NORTH)

REVISIONS

No.	DATE	DESCRIPTION

PROJECT No.: 17127
DATE: 10.02.17
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SHEET
A-4.0



1 SOUTH ELEVATION (FRONT)

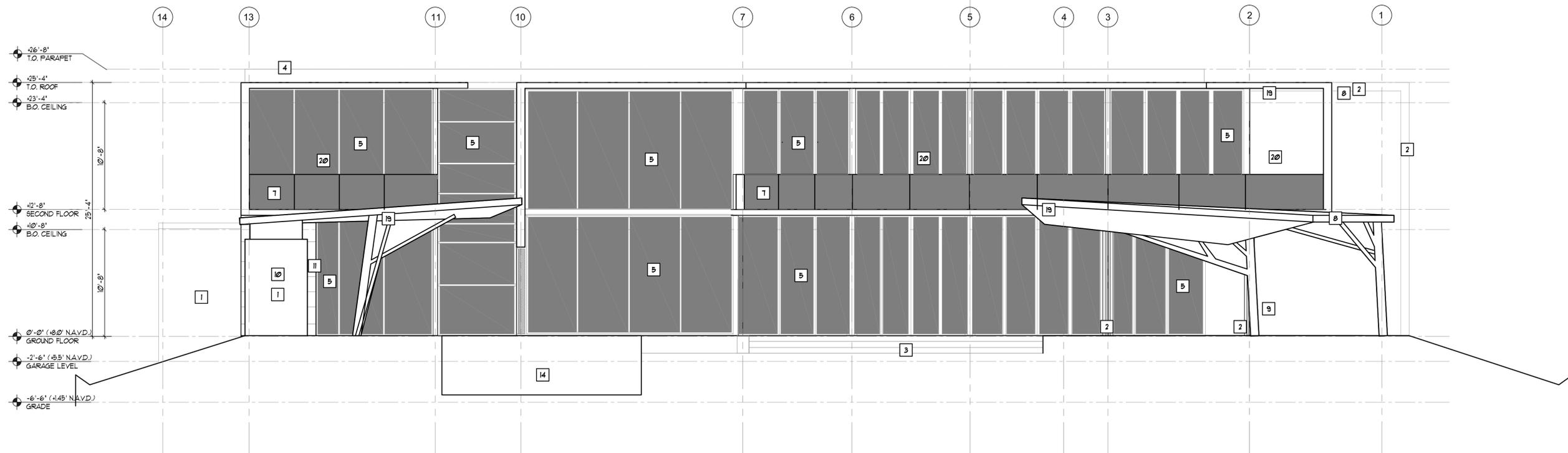
3/16" = 1'-0"

ELEVATION NOTES

- 1 SMOOTH STUCCO FINISH - COLOR SELECTION BY OWNER
- 2 DECORATIVE STEEL TRELLIS
- 3 CONCRETE STEPS
- 4 6" PARAPET
- 5 CONTRACTOR TO PROVIDE NOA6 4 PRE-ENGINEERED SHOP DWGS FOR ALL EXTERIOR IMPACT RESISTANT WINDOWS 4 DOORS FOR ARCHITECT REVIEW/APPROVAL PRIOR TO FABRICATION
- 6 ENTRANCE, DECORATIVE FEATURE OPEN TO SKY
- 7 42" (MIN) HIGH EXTERIOR GUARD-RAIL AFF. CONTRACTOR SHALL PROVIDE PRE-ENG'D SHOP DWGS FOR ARCHITECT REVIEW/APPROVAL PRIOR TO FABRICATION
- 8 PRE-ENGINEERED TRELLIS, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO FABRICATION
- 9 EXTERIOR BBQ KITCHEN 4 34" HIGH COUNTER, CONTRACTOR TO PROVIDE SHOP DWGS FOR OWNER APPROVAL PRIOR TO FABRICATION
- 10 POOL BATHROOM
- 11 SCORED STUCCO
- 12 BLACK STONE FINISH
- 13 INDEPENDENT STRUCTURE FOR DECORATIVE TRELLIS (SHARED FOUNDATION)
- 14 INFINITY POOL
- 15 REVEAL
- 16 DECORATIVE FINISH TO MATCH GARAGE DOOR FINISH AND MAIN ENTRY DOOR, GC TO PROVIDE SHOP DWGS FOR APPROVAL
- 17 579 SQFT 'GREENPANEL' ATTACHED TO EXTERIOR WALL, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING MATERIAL
- 18 ALUMINUM DECORATIVE SCREEN
- 19 PROVIDE GALV METAL LIP/D RIP EDGE (TYP)
- 20 BALCONY

3 KEY NOTES

n.t.s.



2 NORTH ELEVATION (REAR)

3/16" = 1'-0"

ATTACHMENT B
Aerial Photograph

1110 S Southlake Drive

