

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 9/18/2017

Location Address: 5700 S State Road 7, Hollywood FL 33314

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 504136010480; 504136220010; 504136220020; 504136220030; 504136220040

Zoning Classification: SR7-CCD-RC / RM-18 Land Use Classification: TOC

Existing Property Use: Vacant Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Request to permit a temporary parking lot in support of the construction of a new hotel immediately to the west.

Number of units/rooms: N/A Sq Ft: N/A

Value of Improvement: N/A Estimated Date of Completion: _____

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: S.T.O.F Holdings, LTD.

Address of Property Owner: 6365 Taft Street, Ste. 3006; Hollywood, FL 33024

Telephone: 954-585-5652 Fax: _____ Email Address: deborah.grant@stofgaming.com

Name of Consultant/Representative/Tenant (circle one): Michelle Diffenderfer, Esq.

Address: 515 N Flagler Drive, Ste. 1500; West Palm Beach, FL 33401 Telephone: 561-640-0820

Fax: 561-640-8202 Email Address: mdiffenderfer@LLW-LAW.COM

Date of Purchase: June, 1999 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Seth Behn, Esq.

Address: 515 N Flagler Drive, Ste. 1500; West Palm Beach, FL 33401

Email Address: sbehn@LLW-LAW.COM

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for all permits to permit construction parking _____ to my property, which is hereby made by me or I am hereby authorizing Michelle Diffenderfer, Esq. _____ to be my legal representative before the _____ Board and Committee (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 14th day of September 2017

[Signature]

Notary Public

State of Florida

My Commission Expires: _____

(Check One) _____

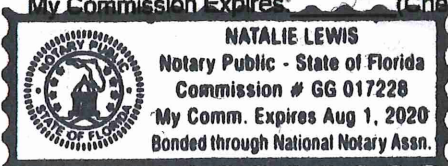
Personally known to me; OR ☒ Produced Identification

FL Driver's License
K422 432 79 705 0

Signature of Current Owner

Print Name

Jennifer Kolakowski



PROJECT NARRATIVE
Miro Corners – Temporary Construction Parking
TAC Submittal: September 18, 2017

I. Background / Proposed Use

The Seminole Tribe of Florida is beginning construction of a hotel expansion at the Hard Rock Resort, located on the Tribe's Reservation land along the west side of State Road 7. During the construction of the new hotel, the existing resort facilities will remain in operation. Accordingly, there is a need to provide parking and drop off areas for construction staff.

To accommodate the construction parking, the Tribe is seeking approval of a temporary parking facility at 5700 S. State Road 7, in Hollywood, Florida. This property is owned by S.T.O.F Holdings, LTD., a wholly owned subsidiary of the Seminole Tribe of Florida. The parking will remain in operation during the approximately 2-year construction period, after which time the use will cease.

II. Property Details

The property is comprised of 49.7 acres on the east side of State Road 7, just north of Stirling Road (hereinafter, "Subject Property"). The Subject Property is vacant.

The Subject Property's Future Land Use is *Transit Oriented Corridor* ("TOC"), and the zoning is split between *SR7-CCD-RC* along State Road 7 and *RM-18* over the eastern half. A drainage pond is located on the north end of the Subject Property, which is utilized for drainage of the State Road 7 right of way. This pond will not be impacted or modified by this application.

A tree survey was performed on the Subject Property, and impacts to existing trees have been minimized to the greatest extent possible. Any tree impacts will be mitigated according to the City of Hollywood's Tree ordinance. A wetland delineation report revealed low-quality wetlands along portions of the eastern half of the site. The proposed temporary parking will be located entirely outside of the wetlands, with an additional 25 foot buffer included.

III. Proposed Use Details

The proposed temporary construction parking will be comprised of stabilized rock or gravel parking areas, with limited paved areas at the entrance and drop off areas. Two access points are proposed. The primary entrance will be located at the existing fully-signalized intersection with Seminole Way, the entrance into the Hard Rock Resort. A right-in/right-out only driveway is also proposed south of the parking areas.

All setback requirements for the proposed use have been adhered to. Drainage will be controlled on-site, through a system of berms, swales, and detention. Landscaping will be utilized to screen the parking areas, enhance the appearance of the SR7 corridor, and compliment the Hard Rock resort property to the west. Handicap parking for the construction site will be located on the Hard Rock resort property.

IV. Required Approvals

The project was reviewed by the Pre-Application Conceptual Overview. Upon review and approval by the Technical Advisory Committee, it is anticipated that the proposed project will require public hearings for the following:

- Special Exception Uses:
 - “Parking Establishment” within the SR7 CCD-RC zoning district
 - “Non-commercial parking lot” within the RM-18 zoning district
- Variances:
 - Allow for gravel parking areas without painted stripping in lieu of fully paved and stripped parking areas.
 - Eliminate requirement for concrete car stops

V. Conclusion

The Seminole Tribe of Florida respectfully requests the approval of the proposed Temporary Parking Facility, and that the project be scheduled for the necessary public hearings at the earliest possible date.

REPORT OF ALTANSPS LAND TITLE SURVEY
BOUNDARY AND TOPOGRAPHIC SURVEY
FOR
THE "OASIS LOT" SITE
SEMINOLE TRIBE OF FLORIDA
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

ARTICLE I
DEFINITIONS, GENERALLY:

CLIENT: SHALL MEAN THE SEMINOLE TRIBE OF FLORIDA.
ALTANSPS: SHALL MEAN THE AMERICAN LAND TITLE ASSOCIATION (ALTA) AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS), THE CONTENT OF WHICH THIS BOUNDARY AND TOPOGRAPHIC SURVEY MAKES REFERENCE TO THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS AS JOINTLY ADOPTED BY THE MEMBERS THEREOF.
SURVEY MAP: SHALL MEAN COLLECTIVELY THE GRAPHIC REPRESENTATIONS OF THIS COMBINED ALTANSPS LAND TITLE SURVEY/BOUNDARY AND TOPOGRAPHIC SURVEY. SAID SURVEY MAP IS INTENDED TO BE DISPLAYED AT THE STATED AND GRAPHIC SCALES IN ENGLISH UNITS OF MEASUREMENT.
SUBJECT PROPERTY: SHALL MEAN ALL THAT LOT, PARCEL OR PIECE OF LAND INDICATED IN ARTICLE III OF THIS REPORT, REFERENCE TO WHICH IS MADE FOR A MORE FULL AND COMPLETE DESCRIPTION THEREOF.
COUNTY: SHALL MEAN BROWARD COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA.
CITY: SHALL MEAN THE CITY OF HOLLYWOOD, A MUNICIPAL CORPORATION OF THE STATE OF FLORIDA.

ARTICLE II
MAP OF ALTANSPS LAND TITLE SURVEY:

SEE SURVEY MAP INCORPORATED HEREIN AND MADE A PART HEREOF BY REFERENCE. THE DATE OF COMPLETION OF FIELD SURVEY IN CONNECTION WITH SAME WAS ON SEPTEMBER 1, 2017. (THE "SURVEY DATE.")

ARTICLE III
DESCRIPTION OF SUBJECT PROPERTY:

ALL OF TRACTS A, B, F, O AND THE INGRESS EGRESS EASEMENT WITHIN SAID TRACT A AS DELINEATED ON THE PLAT OF "MIRO CORNERS," ACCORDING TO THE PLAT THEREOF, AS RECORDED MARCH 26, 1991 IN PLAT BOOK 148 AT PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

A PORTION OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 DESCRIBED IN BROWARD COUNTY RESOLUTION NUMBER 96-0147, AS RECORDED APRIL 8, 1996 IN OFFICIAL RECORDS BOOK 24713 AT PAGE 803 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, VIZ:

BEGIN AT THE SOUTHEAST CORNER OF TRACT F AS DELINEATED ON THE PLAT OF "MIRO CORNERS," ACCORDING TO THE PLAT THEREOF, AS RECORDED MARCH 26, 1991 IN PLAT BOOK 148 AT PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE NORTHEASTERLY ALONG THE EASTERLY LINE OF SAID TRACT F AND THE WESTERLY RIGHT OF WAY LINE OF VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 FOR THE FOLLOWING COURSES; THENCE NORTHEASTERLY ALONG THE ARC OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 988.37 FEET AND A CENTRAL ANGLE OF 00°23'33" TO THE RIGHT FOR 6.77 FEET TO THE POINT OF TANGENCY; THENCE N34°38'53"E FOR 213.63 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 922.37 FEET AND A CENTRAL ANGLE OF 24°04'47" TO THE LEFT FOR 388.23 FEET TO THE NORTHEAST CORNER OF SAID TRACT F; THENCE S79°56'31"E FOR 33.00 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF SAID VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7; THENCE NORTHEASTERLY ALONG SAID CENTERLINE OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 AND THE ARC OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; HAVING A RADIUS OF 965.37 FEET AND A CENTRAL ANGLE OF 1°58'49" TO THE LEFT FOR 198.93 FEET TO THE POINT OF TANGENCY; THENCE N01°52'11"W ALONG SAID CENTERLINE OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 FOR 27.11 FEET; THENCE CONTINUE N01°52'11"W ALONG SAID CENTERLINE OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 FOR 616.49 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH THE ARC OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 2224.93 FEET, A CENTRAL ANGLE OF 01°17'10" TO THE LEFT, A CHORD BEARING OF N09°05'52"E AND A CHORD DISTANCE OF 65.66 FEET FOR 65.66 FEET TO A POINT OF TERMINATION OF SAID CURVE; THENCE N87°58'52"E FOR 20.49 FEET TO A POINT OF INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF SAID VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE OF THE VACATED OLD FLORIDA STATE ROAD NO. 7 FOR THE FOLLOWING COURSES; S01°52'11"E FOR 608.11 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 988.37 FEET AND A CENTRAL ANGLE OF 22°39'52" TO THE RIGHT FOR 388.23 FEET TO A POINT OF TERMINATION OF SAID CURVE; FROM SAID POINT OF TERMINATION, THENCE S62°31'30"E ALONG A LINE RADIAL TO THE LAST AND NEXT DESCRIBED CURVES FOR 17.12 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING RADIUS OF 1095.37 FEET AND A CENTRAL ANGLE OF 1°04'10" TO THE RIGHT FOR 242.05 FEET TO THE POINT OF TANGENCY; THENCE S34°05'51"W FOR 214.25 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 905.37 FEET, A CENTRAL ANGLE OF 08°18'22" TO THE LEFT, A CHORD BEARING OF S30°02'14"W AND A CHORD DISTANCE OF 131.14 FEET FOR 131.25 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A LINE BEARING N03°03'09"W TO THE EAST AND THE EASTERLY RIGHT OF WAY LINE OF THE VACATED OLD FLORIDA STATE ROAD NO. 7, N02°03'09"W ALONG SAID LINE FOR 154.70 FEET TO SAID SOUTHEAST CORNER OF TRACT F AND THE POINT OF BEGINNING.

ARTICLE IV
ACCURACY:

THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA," PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE IS "COMMERCIAL/HIGH RISK;" THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET; THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF CLOSED GEOMETRIC FIGURES WERE FOUND TO EXCEED THIS REQUIREMENT, FOR MORE INFORMATION REGARDING METHODS AND PROCEDURES FOR THIS SURVEY, REFER TO THE BOUNDARY INCONSISTENCIES PORTION (ARTICLE VII) OF THIS REPORT.

ARTICLE V
SOURCES OF DATA:

- BEARINGS AS SHOWN HEREON REFER TO A CALCULATED BEARING OF S02°39'55"E ALONG THE EASTERLY LINE OF TRACTS A AND B AS INDICATED ON THE SURVEY MAP; FOR COMPARATIVE PURPOSES, THE BEARING OF THE SAME LINE PER SAID PLAT OF "MIRO CORNERS" IS S02°40'05"E.
- WARRANTY DEED FROM SEMINOLE MANAGEMENT ASSOCIATES, LTD. TO S.T.O.F. HOLDINGS LTD., DATED AUGUST 3, 2000 AND RECORDED AUGUST 21, 2000 IN OFFICIAL RECORDS BOOK 30778 AT PAGE 1754 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THIS APPEARS TO BE THE CURRENT VESTING DEED OF RECORD.
- OWNERSHIP AND ENCUMBRANCE REPORT FOR TRACT A AND A PORTION OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7, PREPARED BY TOWN & COUNTRY TITLE GUARANTY OF HOLLYWOOD DATED JUNE 5, 2017 UNDER FILE NUMBER 504136-22-0010.
- OWNERSHIP AND ENCUMBRANCE REPORT FOR THE INGRESS AND EGRESS EASEMENT LYING NORTH OF TRACT A, PREPARED BY TOWN & COUNTRY TITLE GUARANTY OF HOLLYWOOD DATED AUGUST 4, 2017 UNDER FILE NUMBER 504136-22-0010.
- OWNERSHIP AND ENCUMBRANCE REPORT FOR TRACT B, PREPARED BY TOWN & COUNTRY TITLE GUARANTY OF HOLLYWOOD DATED JUNE 5, 2017 UNDER FILE NUMBER 504136-22-0010.
- OWNERSHIP AND ENCUMBRANCE REPORT FOR TRACT F AND A PORTION OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7, PREPARED BY TOWN & COUNTRY TITLE GUARANTY OF HOLLYWOOD DATED AUGUST 5, 2017 UNDER FILE NUMBER 504136-22-0010.
- OWNERSHIP AND ENCUMBRANCE REPORT FOR THE INGRESS AND EGRESS EASEMENT LYING NORTH OF TRACT A, PREPARED BY TOWN & COUNTRY TITLE GUARANTY OF HOLLYWOOD DATED JUNE 5, 2017 UNDER FILE NUMBER 504136-22-0010.
- AN UNRECORDED COPY OF RIGHT OF WAY MAP SERIES PREPARED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION, FOR FLORIDA STATE ROAD NUMBER 7, PROJECT NUMBER 86100-2535, APPROVED OCTOBER 10, 2013 IN 11 SHEETS.
- RIGHT OF WAY MAP PREPARED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION, FOR FLORIDA STATE ROAD NUMBER 7, SECTION 86100, AS RECORDED SEPTEMBER 17, 1980 IN RIGHT OF WAY PLAT BOOK 11 AT PAGE 6 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- BROWARD COUNTY RESOLUTION NUMBER 96-0147, AS RECORDED APRIL 8, 1996 IN OFFICIAL RECORDS BOOK 24713 AT PAGE 803 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, VACATING OLD STATE ROAD 7.
- TAX ROLL ENTRIES PUBLISHED BY THE BROWARD COUNTY PROPERTY APPRAISER'S OFFICE FOR THE 2016 TAX YEAR.
- THE ABUTTING AND UNDERLYING PLATS RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND AS SHOWN ON THE SURVEY MAP. NOTE: THE NOTATION ON THE SURVEY MAP AS TO "NEWMAN'S SURVEY," AS RECORDED IN PLAT BOOK 2 AT PAGE 26 OF THE PUBLIC RECORDS OF DADE COUNTY (NOW MIAMI-DADE COUNTY), FLORIDA IS AN ABBREVIATION OF THE FULL PLAT NAME WHICH IS "NEWMAN'S SUBDIVISIONS ONE (SHOWN IN RED) AND TWO (SHOWN IN BLACK) TP. 50 S., R. 41 E., DADE COUNTY, FLA."
- FIELD NOTES AND SURVEY MAPS ISSUED BY THE UNITED STATES DEPARTMENT OF THE INTERIOR, BUREAU OF LAND MANAGEMENT, ENTITLED "TOWNSHIP 50 SOUTH, RANGE 41 EAST, OF THE TALLAHASSEE MERIDIAN, FLORIDA DEPENDANT RESERVE," SUBDIVISION OF SECTION 36, AND METES-AND-BOUNDS SURVEY; THIS SURVEY WAS CERTIFIED BY THE CHIEF CADASTRAL SURVEYOR FOR THE EASTERN STATES ON JULY 12, 1993.
- THE PROPERTY LIES WITHIN MULTIPLE FLOOD ZONES AS DEFINED BY THE UNITED STATES DEPARTMENT OF HOMELAND SECURITY, FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, NUMBER 1201100502H, EFFECTIVE DATE: AUGUST 18, 2014.
- ELEVATIONS AS SHOWN HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- TWO STATIONS ESTABLISHED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION WERE USED FOR CONTROL; THESE POINTS ARE IDENTIFIED IN THE FLORIDA DEPARTMENT OF TRANSPORTATION CONTROL (DNC) SPECIFIC PURPOSE SURVEY SHEETS FOR FLORIDA STATE ROAD NO. 7 UNDER FINANCIAL PROJECT NUMBER 227773-1-52-01, SHEET 28, SAID STATIONS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM FOR THE EAST ZONE OF FLORIDA, NORTH AMERICAN DATUM OF 1983/1990 ADJUSTMENT (NAD83/90) AS TO THE HORIZONTAL ASPECT AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS THE VERTICAL ASPECT. DETAILS ARE AS FOLLOWS, VIZ:

POINT	EASTING	NORTHING	SCALE FACTOR	CONVERGENCE	LATITUDE (N)	LONGITUDE (E)	STATION	OFFSET	ELEVATION	DESCRIPTION
BLC25	916038.39'	620836.01'	1.00001861	0.034750360	26° 02' 22"	80° 12' 38"	272+63.54	33.81'	7.76'	FOOT DISC STAMPED 78 6 96 CGPS 63, SET IN CONCRETE
BLC27	914154.16'	623343.46'	1.00001750	0.34508887	26° 02' 47"	80° 12' 51"	296+36.11	-1760.52'	29.77'	FOOT DISC STAMPED 78 6 96 CGPS 65, SET IN CONCRETE

ARTICLE VI
LIMITATIONS:

- THE CLIENT IS HEREBY ADVISED THAT THERE MAY LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE SURVEY MAP OR CONTAINED WITHIN THIS REPORT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY, THE CITY OF HOLLYWOOD, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.
- NO INFORMATION WAS PROVIDED BY THE CLIENT AS TO DEED STATUS, TAX FOLIO DATA OR OWNERSHIP WITH RESPECT TO ABUTTING PROPERTIES.
- THE CLIENT DID NOT PROVIDE RECORD DRAWINGS OR AS-BUILT DATA FOR UNDERGROUND UTILITIES, UNLESS OTHERWISE INDICATED, NO EXCAVATION OR DETERMINATION WAS MADE AS TO HOW THE SUBJECT PROPERTY IS SERVED BY UTILITIES, SUBSURFACE UTILITIES, INCLUDING, BUT WITHOUT LIMITATION TO PIPES, WIRES, VAULTS, BOXES, DRAIN TILES, VOIDS, CABLES AND OTHER MATERIALS ANCILLARY TO THE DELIVERY AND/OR DISPOSAL OF WATER, WASTEWATER, SEWAGE, ELECTRICITY, GAS, CABLE TELEVISION &C. AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY. THIS NOTICE IS REQUIRED BY THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA," PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.
- THE OVERHEAD UTILITY LINES CONNECTED TO THE POLES WITHIN THE PROPERTY INTERIOR ARE NOT SHOWN ON THE SURVEY MAP, IN SOME CASES, SAID OVERHEAD UTILITY LINES HAVE SAGGED ALMOST TO NEAR GROUND LEVEL.
- THE APPROXIMATE EDGE OF THE WETLAND AREA WAS FLAGGED BY OTHERS, THE LOCATION OF SAME AS INDICATED ON THE SURVEY MAP IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- UNLESS OTHERWISE INDICATED ON THE SURVEY MAP, NO EXCAVATION OR DETERMINATION WAS BY THE SURVEYOR AS TO SOIL CONDITIONS, THESE MAY INCLUDE THE DETERMINATION OF WETLANDS, FILLED IN AREAS THEREOF, OR THE LOCATION OR DEFINITION OF AREAS THAT MAY BE CONTAMINATED BY HAZARDOUS LIQUID OR SOLID WASTES.
- NOTICE IS HEREBY GIVEN THAT SUNSHINE STATE ONE CALL OF FLORIDA, INC. MUST BE CONTACTED AT 1-800-432-4770 AT LEAST 2 BUSINESS DAYS IN ADVANCE OF ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITY WITHIN, UPON, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY. THIS NOTICE IS GIVEN IN COMPLIANCE WITH THE "UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT," PURSUANT TO CHAPTER 556.101-111 OF THE FLORIDA STATUTES.
- WELL-IDENTIFIED FEATURES AS DEPICTED ON THE SURVEY MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT.
- ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THE SURVEY MAP WERE MEASURED TO AND ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES.
- THE SURVEY MAP IS INTENDED TO BE DISPLAYED IN THE STATED AND GRAPHIC SCALES IN ENGLISH UNITS OF MEASUREMENT AS DEPICTED THEREON. ATTENTION IS DIRECTED TO THE FACT THAT SAID SURVEY MAP MAY BE ALTERED IN SCALE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

ARTICLE VII
INCONSISTENCIES:

THE COMPARATIVE DIMENSIONS BETWEEN CALCULATED VALUES DERIVED FROM FIELD MEASUREMENTS AND OTHER VALUES ARE AS MORE FULLY SHOWN ON THE SURVEY MAP AS MAY APPLY.

ARTICLE VIII
APPARENT PHYSICAL USE:

- THE SUBJECT PROPERTY IS OWNED THE SEMINOLE TRIBE OF FLORIDA, TOPOGRAPHIC FEATURES ACQUIRED DURING THE COURSE OF THIS SURVEY ARE AS MORE FULLY DESCRIBED ON THE SURVEY MAP OR CITED IN THIS REPORT, AS THE CASE MAY BE.
- THESE MEASUREMENTS AND EXAMINATIONS WERE PERFORMED UNDER MY DIRECT SUPERVISION AND IN MY PROFESSIONAL JUDGEMENT, EVERY ATTEMPT WAS MADE TO LOCATE THE BOUNDARIES IN QUESTION USING THE STANDARD OF CARE FOR SURVEYING AND MAPPING IN THESE MATTERS, SUBJECT TO THE LIMITATIONS AS SET FORTH IN THIS SURVEY MAP AND REPORT.
- THE SUBJECT PROPERTY LIES WITHIN THE CONFINES OF THE SEMINOLE RESERVATION AND AS A FEDERALLY RECOGNIZED TRIBAL NATION, THE LAND APPEARS TO BE EXEMPT FROM CITY AND COUNTY ZONING, SETBACKS AND BUILDING REQUIREMENTS; (SEE SECTION 16 OF THE INDIAN REORGANIZATION ACT OF 1934, 25 U.S.C. §476 AND CHAPTER 286 OF THE FLORIDA STATUTES) INSTEAD, THE SEMINOLE TRIBE OF FLORIDA HAS A SERIES OF REGULATIONS THAT ARE LIMITED TO WATER AND WASTEWATER ENGINEERING.
- NO BUILDINGS OBSERVED.

ARTICLE IX
EASEMENTS AND ENCUMBRANCES:

- UNLESS OTHERWISE INDICATED, NO INFORMATION WAS PROVIDED AS TO THE EXISTENCE OF ANY EASEMENTS, PLEASE REFER TO THE LIMITATIONS PORTION (ARTICLE VI) OF THIS REPORT WITH RESPECT TO POSSIBLE RESTRICTIONS OF RECORD AND UTILITY SERVICES.

ARTICLE X
CLIENT INFORMATION:

THIS "ALTANSPS LAND TITLE SURVEY" AND THE SURVEY MAP AND REPORT RESULTING THEREFROM WERE PREPARED AT THE INSTINCE OF THE SEMINOLE TRIBE OF FLORIDA.

ARTICLE XI
SURVEYOR'S CERTIFICATE:

THE STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) S.S.

THIS "ALTANSPS LAND TITLE SURVEY" AND THE SURVEY MAP AND REPORT ARE HEREBY CERTIFIED TO THE FOLLOWING PARTIES, VIZ:

SEMINOLE TRIBE OF FLORIDA

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND CONTAINS ITEMS 1, 3, 4, 5, 8, 11, (OBSERVED EVIDENCE), 14 AND 18 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE FIELDWORK WAS COMPLETED ON SEPTEMBER 1, 2017.

THE UNDERSIGNED ALSO CERTIFIES THAT THIS "ALTANSPS LAND TITLE SURVEY" AND THE SURVEY MAP AND REPORT RESULTING THEREFROM WAS PERFORMED UNDER HIS SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID SURVEY MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA," PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES AND RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

ATKINS NORTH AMERICA, INC.

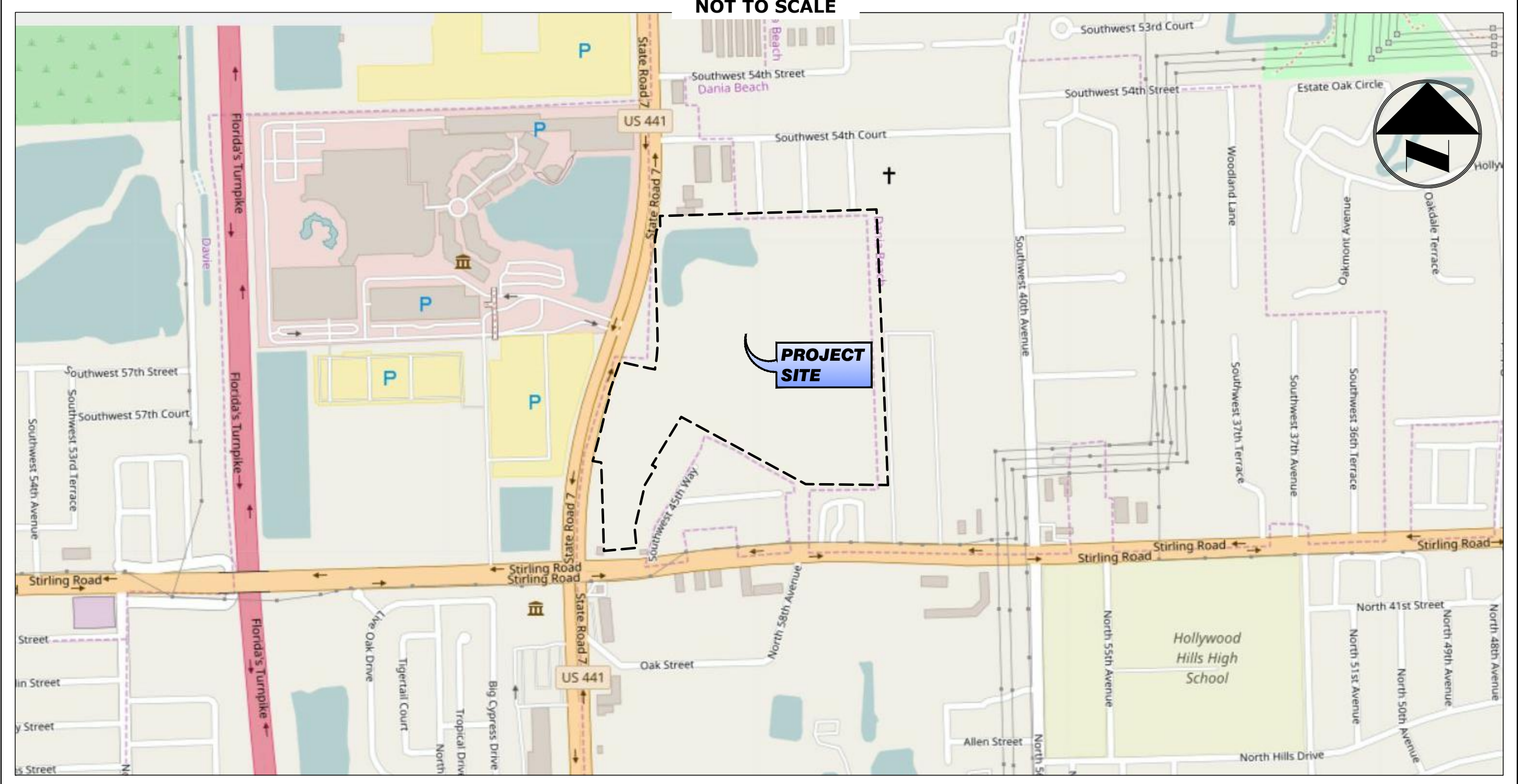
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24

BY: _____
ROBERTO MANTECON, PLS
PROFESSIONAL LAND SURVEYOR NO. 3431
STATE OF FLORIDA
DATE OF CERTIFICATION: SEPTEMBER 15, 2017

NOTICE: NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, ADDITIONS OR DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS SURVEYOR'S REPORT, CERTIFICATE AND SURVEY MAP CONSISTS OF MULTIPLE PAGES AND EXHIBITS, EACH COMPONENT AS INCORPORATED THEREIN SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHERS. THIS NOTICE IS REQUIRED BY RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

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LOCATION MAP
NOT TO SCALE



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FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24

2001 N.W. 107th AVE.
MIAMI, FL
33172-2507
(305) 592-7275



CLIENT
**SEMINOLE TRIBE
OF FLORIDA**

PROJECT
**OASIS LOT
HOLLYWOOD, FLORIDA**

TASK
**ALTA/NSPS LAND TITLE
SURVEY, BOUNDARY AND
TOPOGRAPHIC SURVEY**

(SURVEYOR'S REPORT)

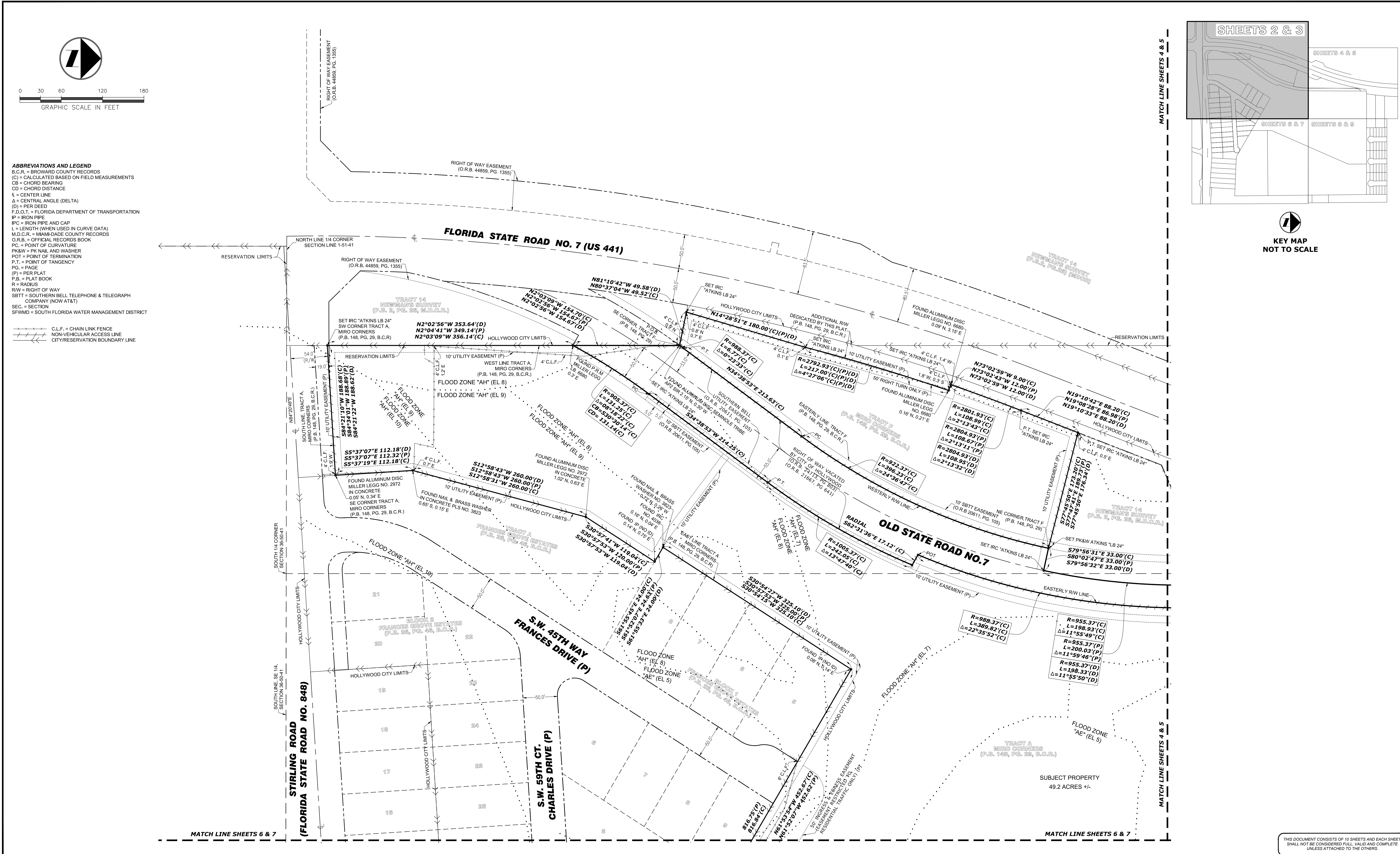
ORIGINAL: 08/25/2017
REVISIONS:
1 9/01/2017 ADDITIONAL TREES
2 _____
3 _____
4 _____
5 _____

811

Know what's below.
Call before you dig.

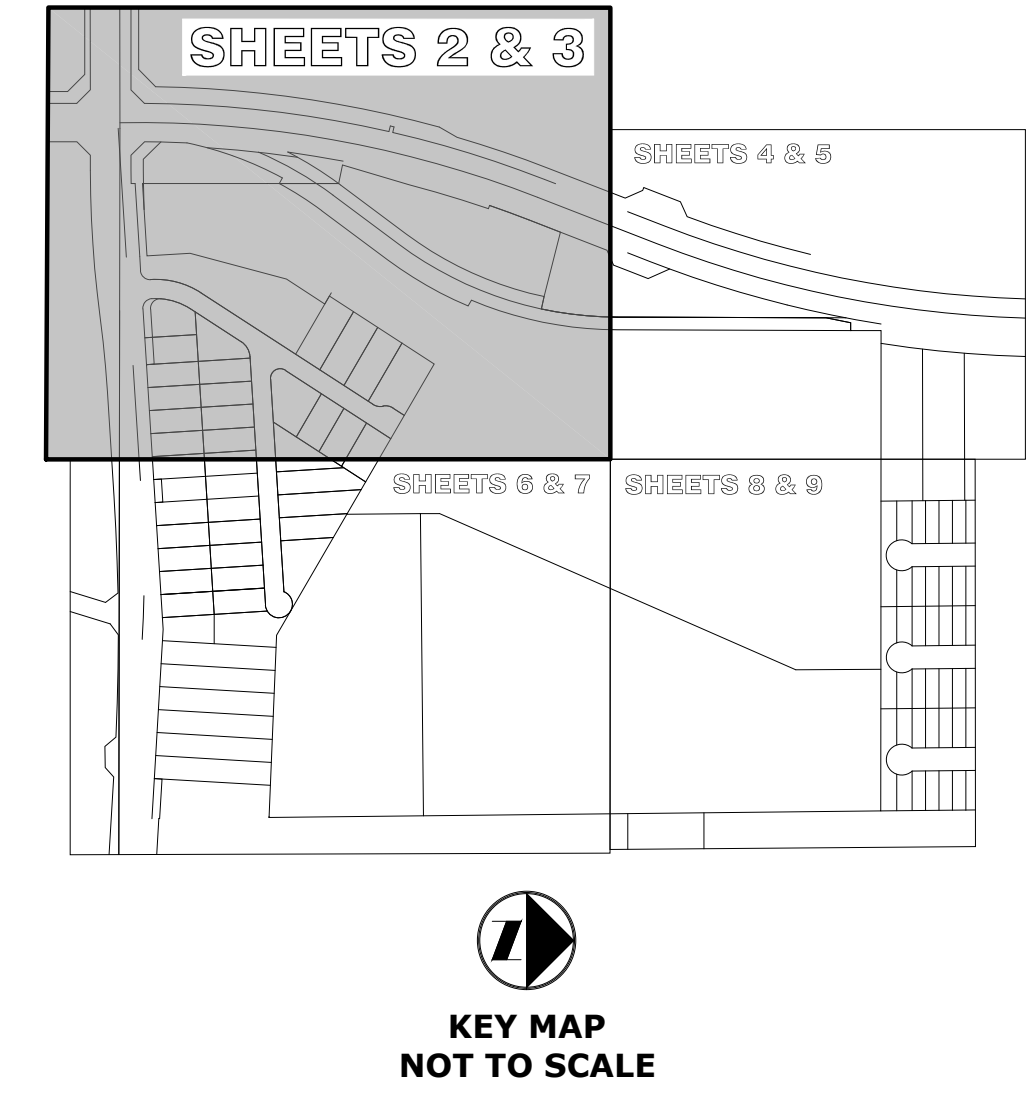
SURVEYORS OFFICIAL SEAL

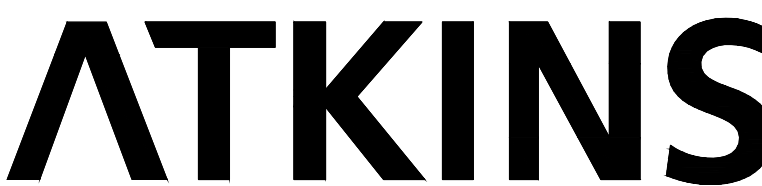


JOB NO. 100056131 00.1 L
DRAWN _____ A.S.
DESIGNED _____ D.A.
CHECKED _____ D.W.D.
QC _____ D.W.D.
SHEET: 1 OF 10



ABBREVIATIONS AND LEGEND
B.C.R. = BROWARD COUNTY RECORDS
(C) = CALCULATED BASED ON FIELD MEASUREMENTS
CB = CHORD BEARING
CD = CHORD DISTANCE
CL = CENTER LINE
Δ = CENTRAL ANGLE (DELTA)
(D) = PER DEED
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
IP = IRON PIPE
IPC = IRON PIPE AND CAP
L = LENGTH (WHEN USED IN CURVE DATA)
M.D.C.R. = MIAMI-DADE COUNTY RECORDS
O.R.B. = OFFICIAL RECORDS BOOK
PC = POINT OF CURVATURE
PK&W = PK NAIL AND WASHER
POT = POINT OF TERMINATION
P.T. = POINT OF TANGENCY
PG. = PAGE
(P) = PER PLAT
P.B. = PLAT BOOK
R = RADIUS
RW = RIGHT OF WAY
SBTT = SOUTHERN BELL TELEPHONE & TELEGRAPH COMPANY (NOW AT&T)
SEC. = SECTION
SFWMD = SOUTH FLORIDA WATER MANAGEMENT DISTRICT

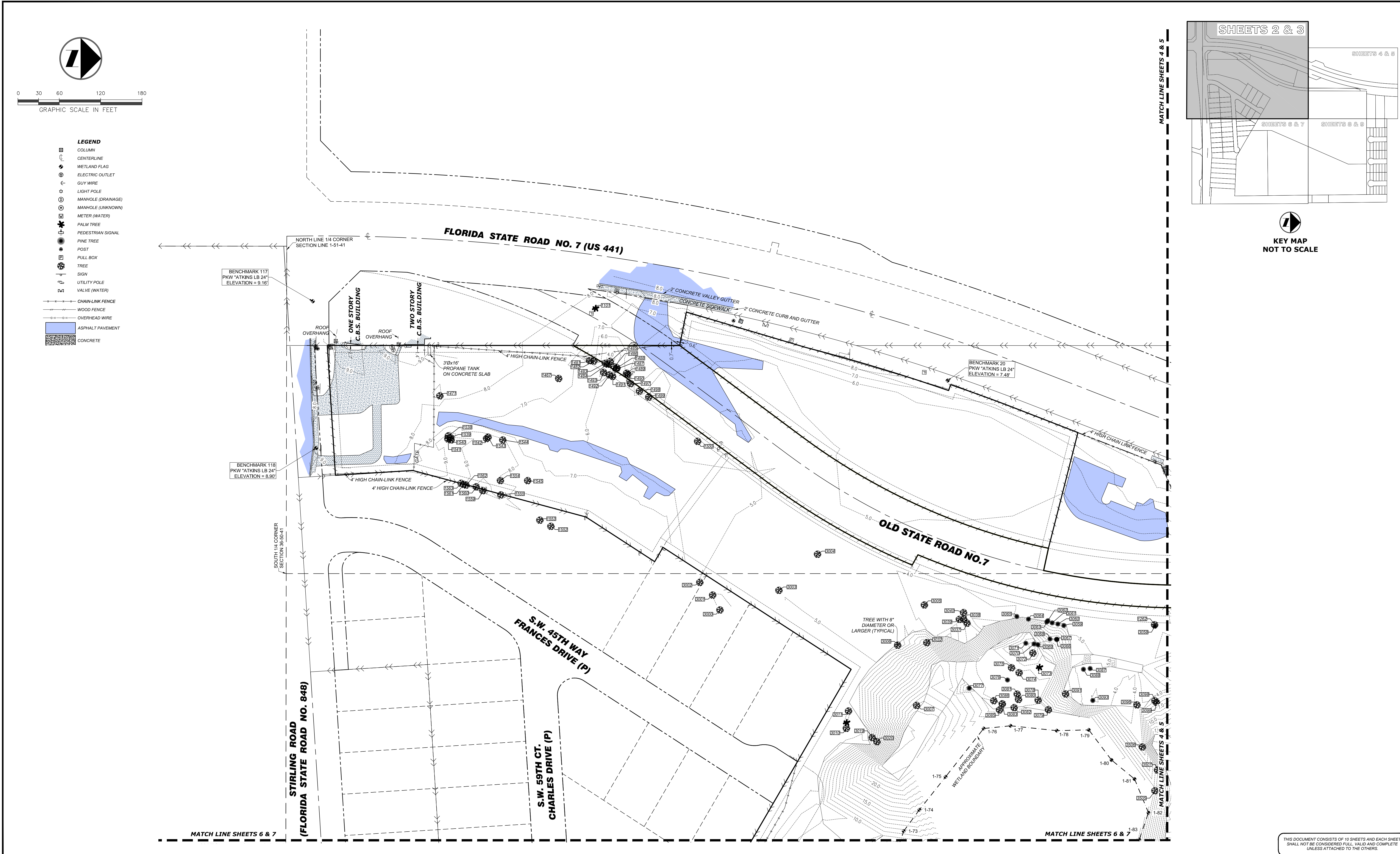
CL.F. = CHAIN LINK FENCE
N.V. = NON-VEHICULAR ACCESS LINE
C.R. = CITY/RESERVATION BOUNDARY LINE



 ATKINS NORTH AMERICA, INC. FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24	 SEMINOLE TRIBE OF FLORIDA	CLIENT SEMINOLE TRIBE OF FLORIDA	PROJECT OASIS LOT HOLLYWOOD, FLORIDA	TASK ALTA/NSPS LAND TITLE SURVEY, BOUNDARY AND TOPOGRAPHIC SURVEY (BOUNDARY SURVEY MAP)	ORIGINAL: 08/25/2017	 Know what's below. Call before you dig.	JOB NO. .100056131.00.1.L DRAWN _____ A.S. DESIGNED _____ D.A. CHECKED _____ D.W.D. QC _____ D.W.D. SHEET: 2 OF 10
					REVISIONS: 1 9/01/2017 ADDITIONAL TREES 2 _____ 3 _____ 4 _____ 5 _____		

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33172-2507
(305) 592-7275



CLIENT

**SEMINOLE TRIBE
OF FLORIDA**

PROJECT


**OASIS LOT
HOLLYWOOD, FLORIDA**

TASK

**ALTA/NSPS LAND TITLE
SURVEY, BOUNDARY AND
TOPOGRAPHIC SURVEY**

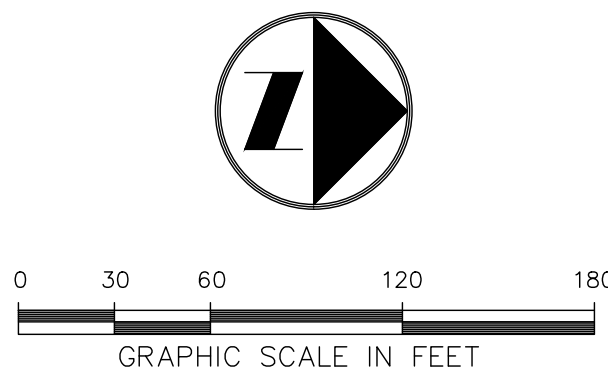
(TOPOGRAPHIC SURVEY MAP)

ORIGINAL:	8/25/2017
REVISIONS:	
1	9/01/2017 ADDITIONAL TREES
2	
3	
4	
5	


Know what's below.
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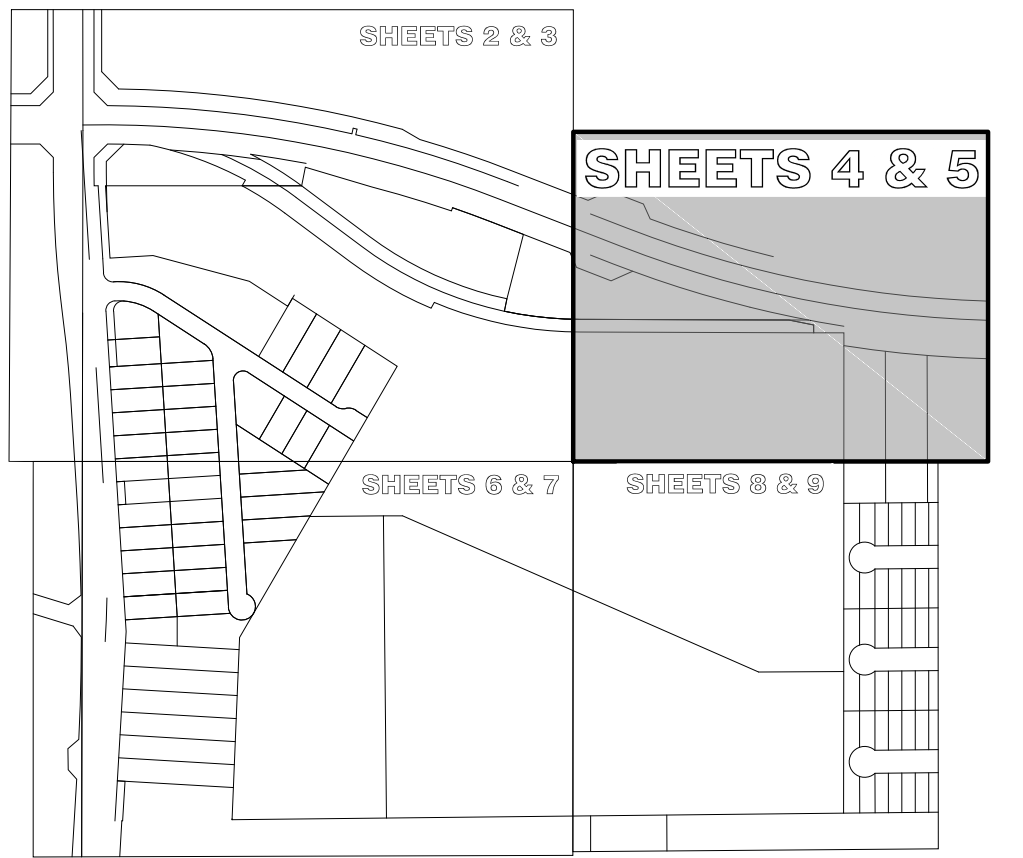
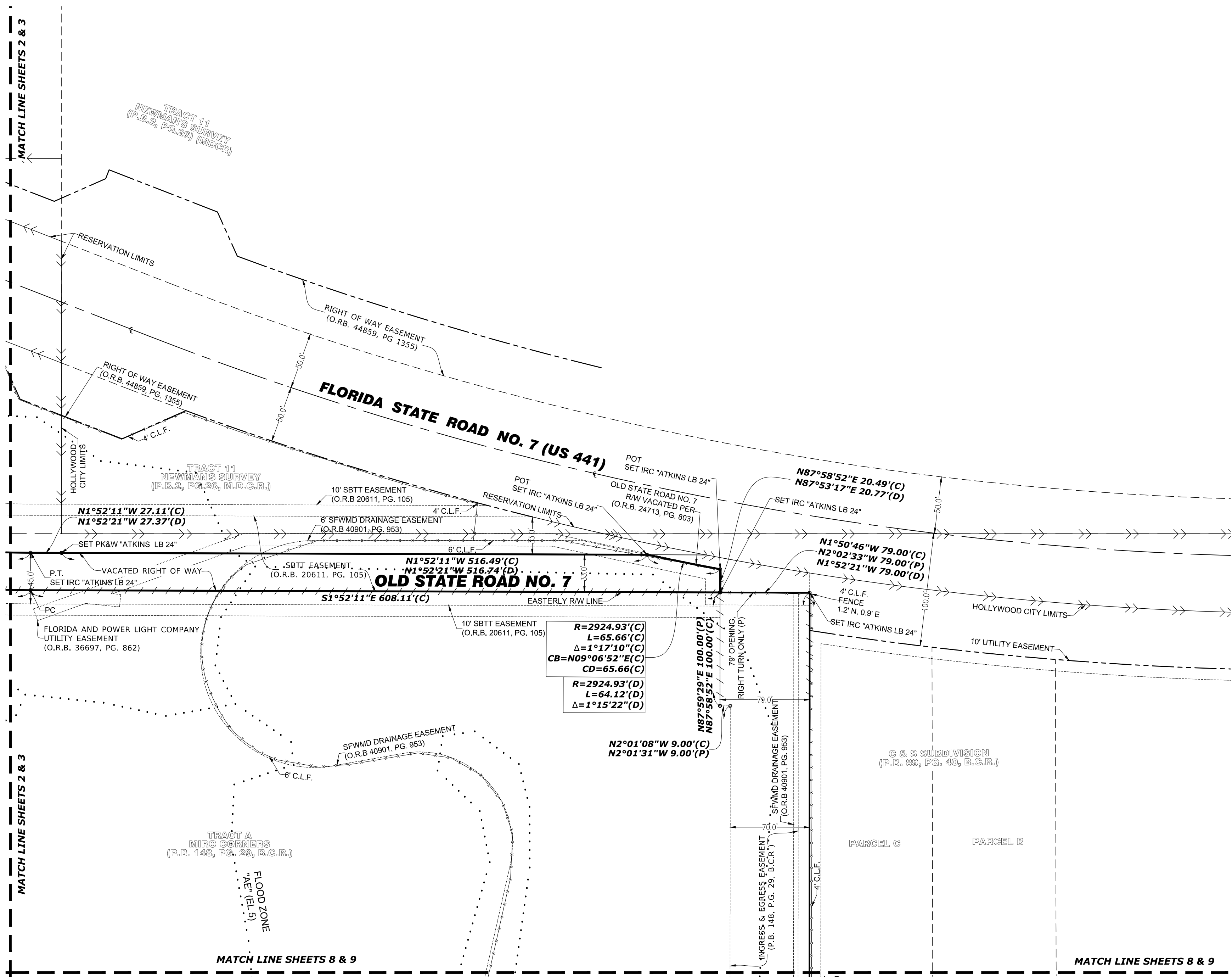
SURVEYOR'S OFFICIAL SEAL

JOB NO. 100056131 00.1.L
DRAWN A.R.
DESIGNED A.R.
CHECKED D.W.D.
QC D.W.D.
SHEET: 3 OF 10



ABBREVIATIONS AND LEGEND
B.C.R. = BROWARD COUNTY RECORDS
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--- C.L.F. = CHAIN LINK FENCE
--- NON-VEHICULAR ACCESS LINE
--- CITY/RESERVATION BOUNDARY LINE



KEY MAP
NOT TO SCALE

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CLIENT
**SEMINOLE TRIBE
OF FLORIDA**

PROJECT
**OASIS LOT
HOLLYWOOD, FLORIDA**

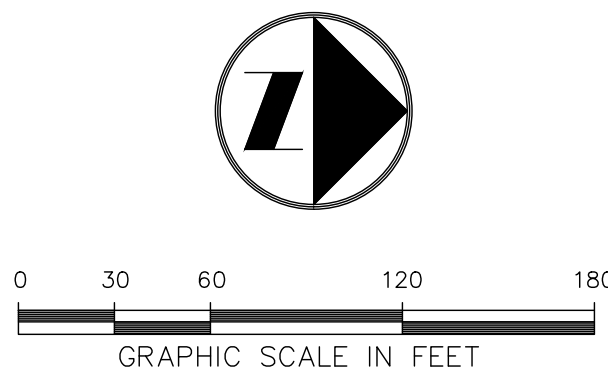
TASK
**ALTA/NSPS LAND TITLE
SURVEY, BOUNDARY AND
TOPOGRAPHIC SURVEY**
(BOUNDARY SURVEY MAP)

ORIGINAL: 08/25/2017
REVISIONS:
1 9/01/2017 ADDITIONAL TREES
2
3
4
5

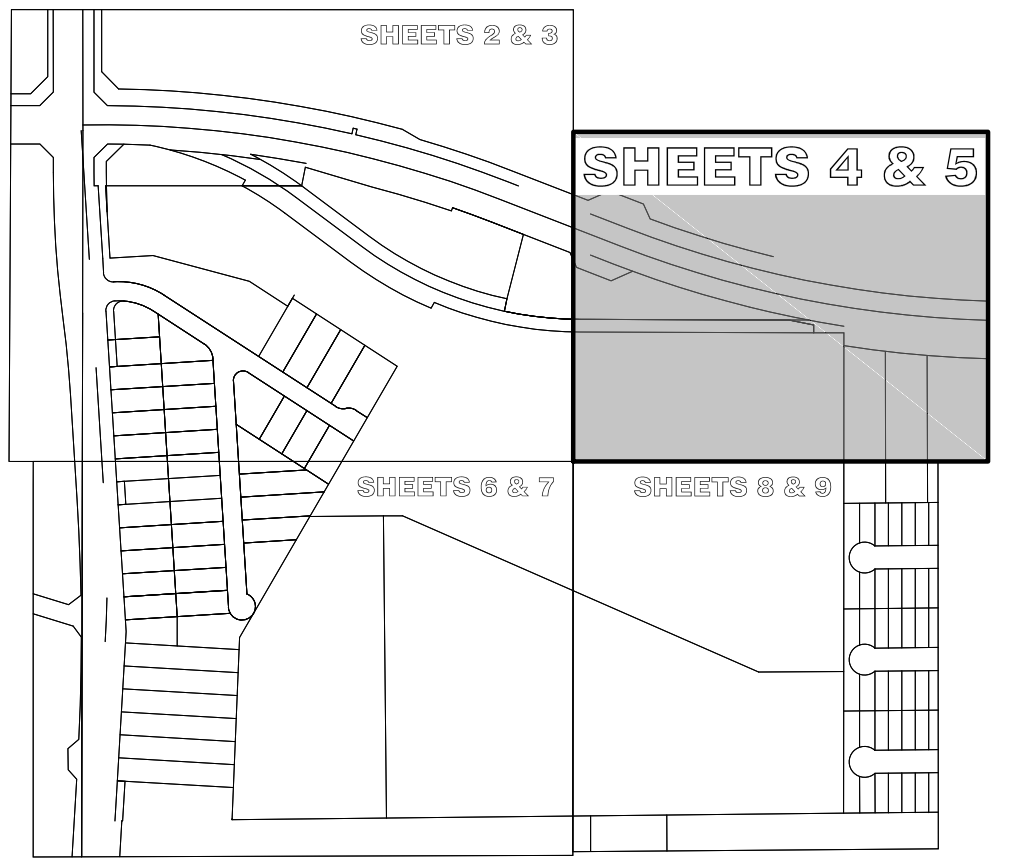
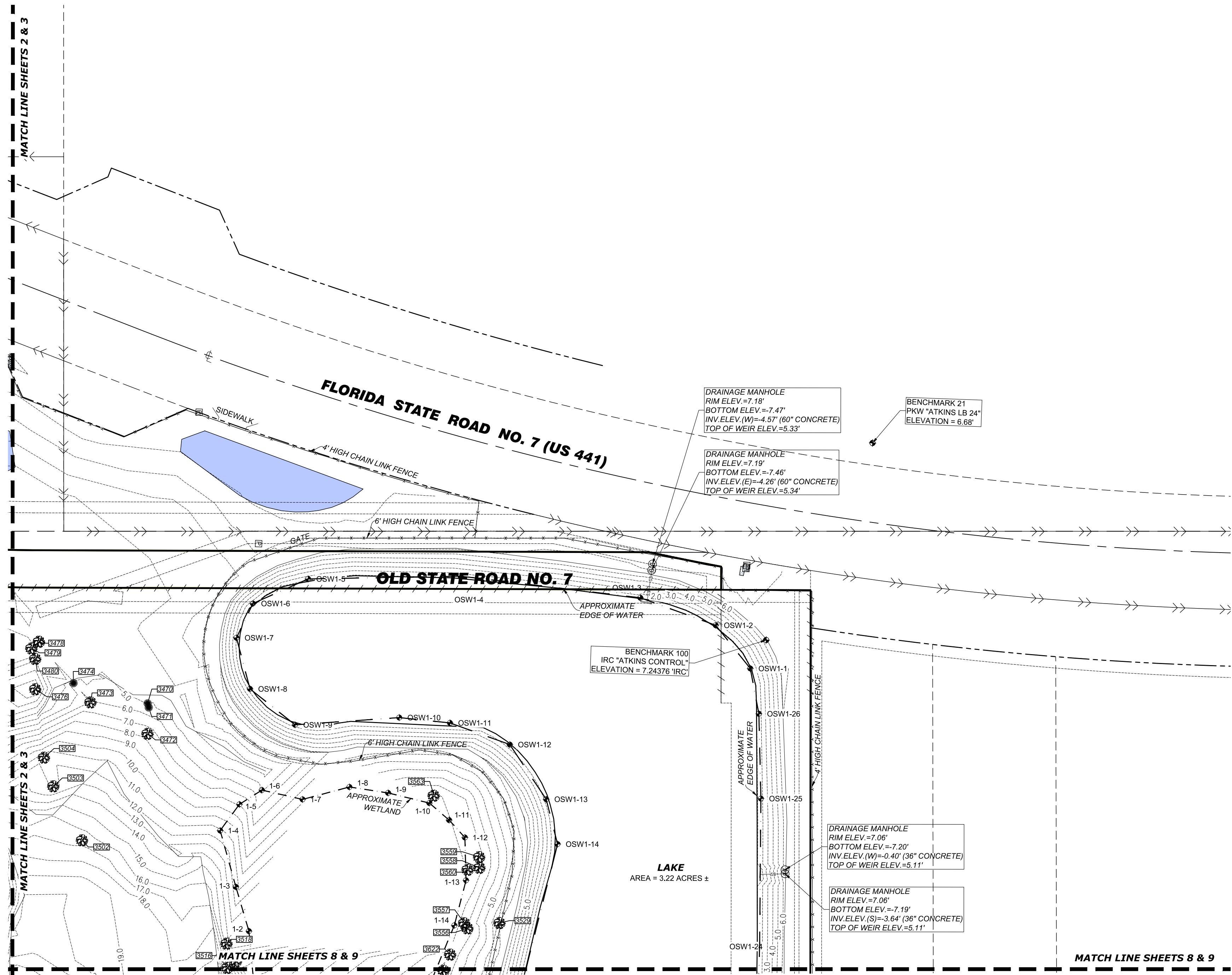


Know what's below.
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JOB NO. 100056131 00.1 L
DRAWN A.S.
DESIGNED D.A.
CHECKED D.W.D.
QC D.W.D.
SHEET: 4 OF 10



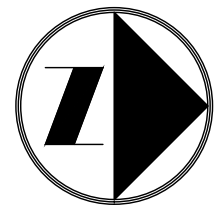
- LEGEND**
- COLUMN
 - CENTERLINE
 - WETLAND FLAG
 - ELECTRIC OUTLET
 - GUY WIRE
 - LIGHT POLE
 - MANHOLE (DRAINAGE)
 - MANHOLE (UNKNOWN)
 - METER (WATER)
 - PALM TREE
 - PEDESTRIAN SIGNAL
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 - TREE
 - SIGN
 - UTILITY POLE
 - VALVE (WATER)
 - CHAIN-LINK FENCE
 - WOOD FENCE
 - OVERHEAD WIRE
 - ASPHALT PAVEMENT
 - CONCRETE



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<p>2001 N.W. 107th AVE. MIAMI, FL 33172-2507 (305) 592-7275</p> <p>ATKINS NORTH AMERICA, INC. FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24</p>	<p>CLIENT SEMINOLE TRIBE OF FLORIDA</p>	<p>PROJECT</p> <p>OASIS LOT HOLLYWOOD, FLORIDA</p>	<p>TASK</p> <p>ALTA/NSPS LAND TITLE SURVEY, BOUNDARY AND TOPOGRAPHIC SURVEY</p> <p>(TOPOGRAPHIC SURVEY MAP)</p>	<p>ORIGINAL: 8/25/2017</p> <p>REVISIONS:</p> <table><tr><td>1</td><td>9/01/2017</td><td>ADDITIONAL TREES</td></tr><tr><td>2</td><td></td><td></td></tr><tr><td>3</td><td></td><td></td></tr><tr><td>4</td><td></td><td></td></tr><tr><td>5</td><td></td><td></td></tr></table>	1	9/01/2017	ADDITIONAL TREES	2			3			4			5			<p>Know what's below. Call before you dig.</p>	<p>JOB NO. 100056131 00.1.L</p> <p>DRAWN _____ A.R.</p> <p>DESIGNED _____ A.R.</p> <p>CHECKED _____ D.W.D.</p> <p>QC _____ D.W.D.</p> <p>SHEET: 5 OF 10</p>
1	9/01/2017	ADDITIONAL TREES																			
2																					
3																					
4																					
5																					

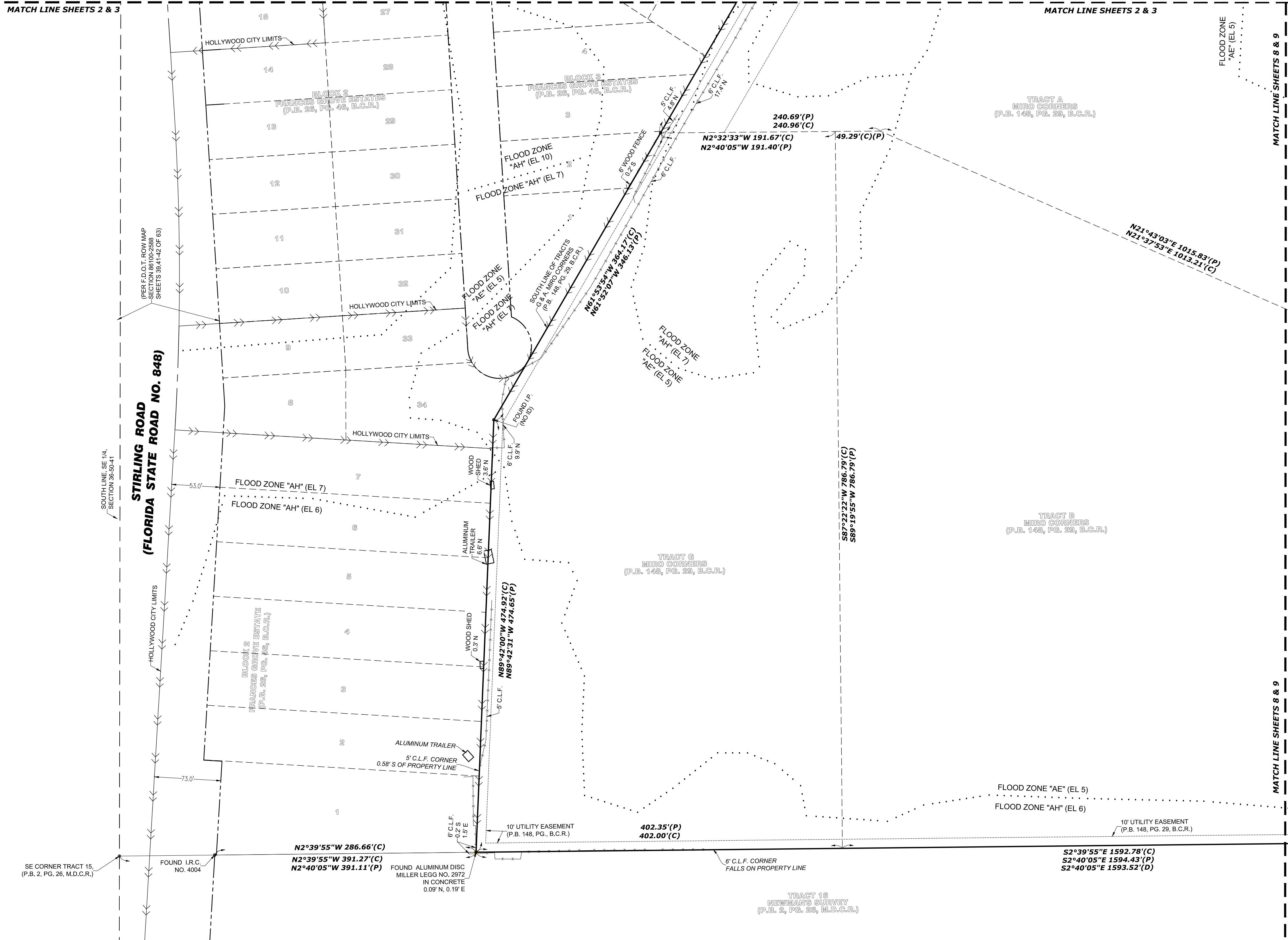


0 30 60 120 180
GRAPHIC SCALE IN FEET

ABBREVIATIONS AND LEGEND

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NON-VEHICULAR ACCESS LINE
CITY/RESERVATION BOUNDARY LINE



KEY MAP
NOT TO SCALE

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FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24



CLIENT

**SEMINOLE TRIBE
OF FLORIDA**

PROJECT

**OASIS LOT
HOLLYWOOD, FLORIDA**

TASK

**ALTA/NSPS LAND TITLE
SURVEY, BOUNDARY AND
TOPOGRAPHIC SURVEY**

(BOUNDARY SURVEY MAP)

ORIGINAL: 08/25/2017
REVISIONS:

1 9/01/2017 ADDITIONAL TREES
2 _____
3 _____
4 _____
5 _____



Know what's below.
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JOB NO. 100056131 00.1.L

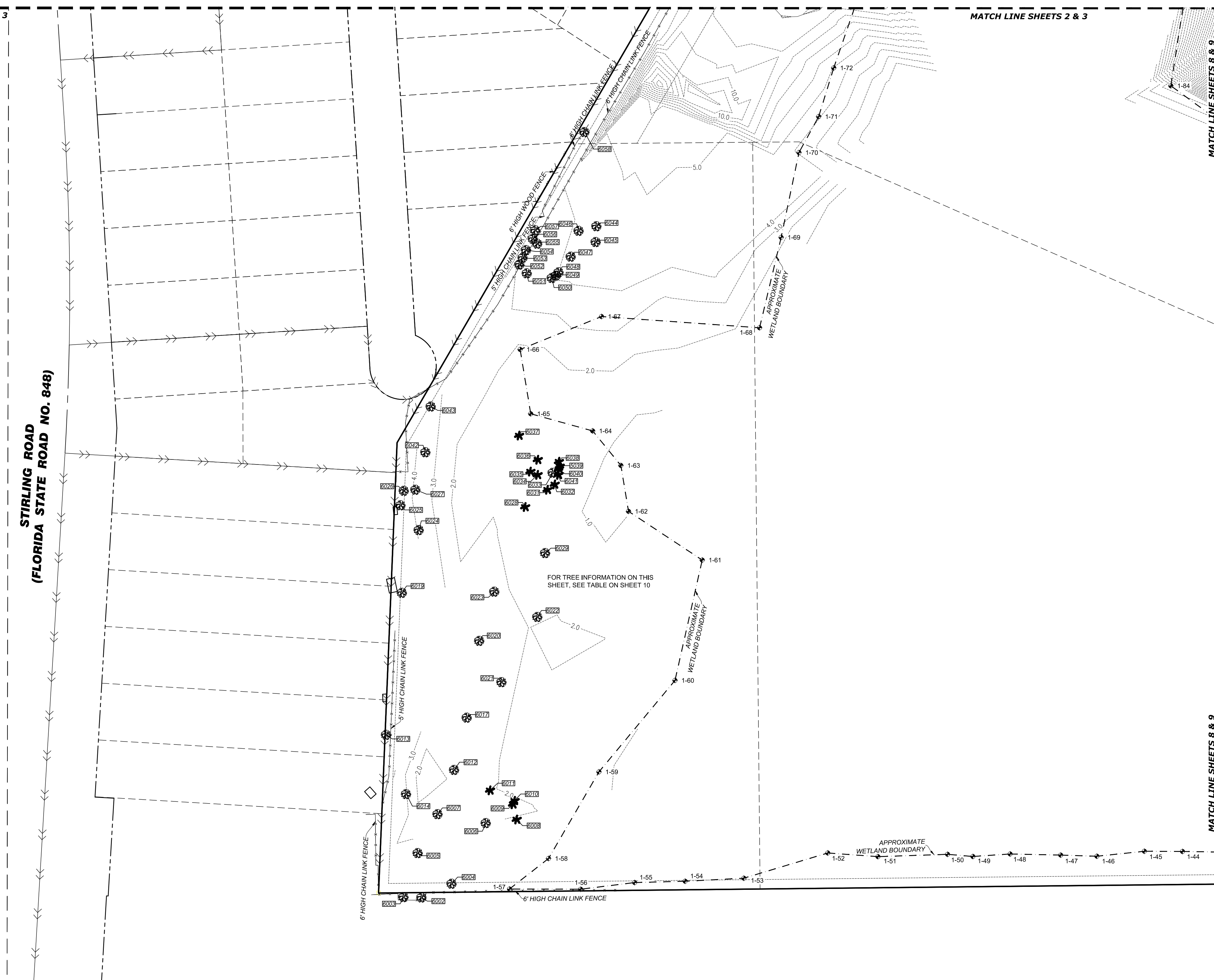
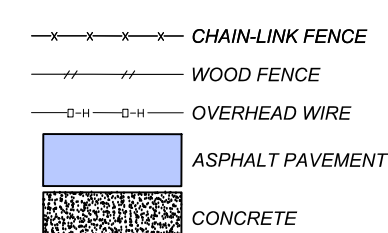
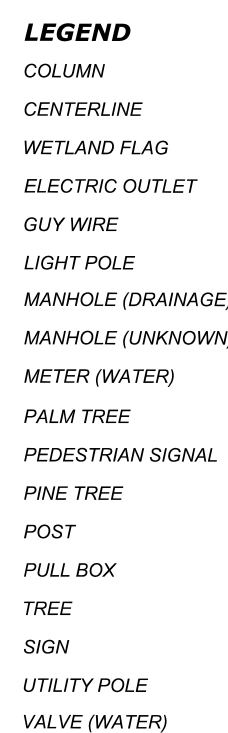
DRAWN _____ A.S.

DESIGNED _____ D.A.

CHECKED _____ D.W.D.

QC _____ D.W.D.

SHEET: 6 OF 10



FOR TREE INFORMATION ON THIS
SHEET, SEE TABLE ON SHEET 10

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FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24



**SEMINOLE TRIBE
OF FLORIDA**

OASIS LOT
HOLLYWOOD, FLORIDA

(TOPOGRAPHIC SURVEY MAP)

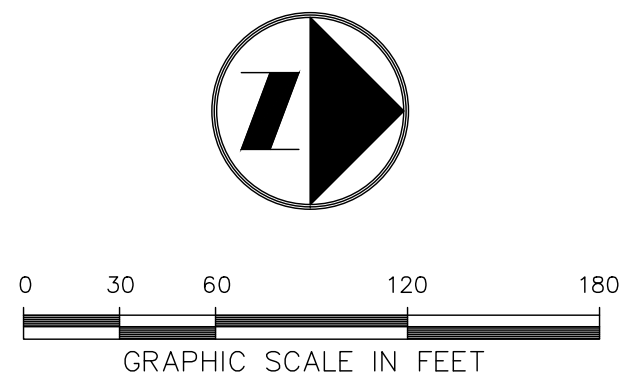
F _____



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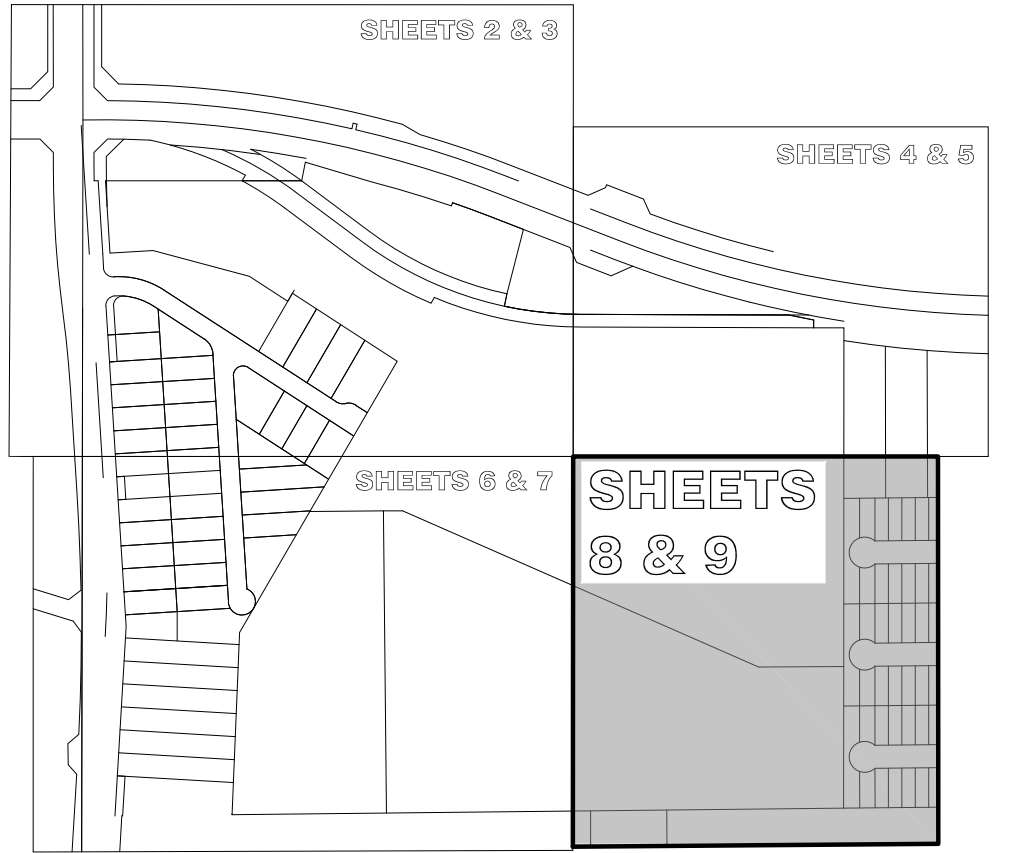
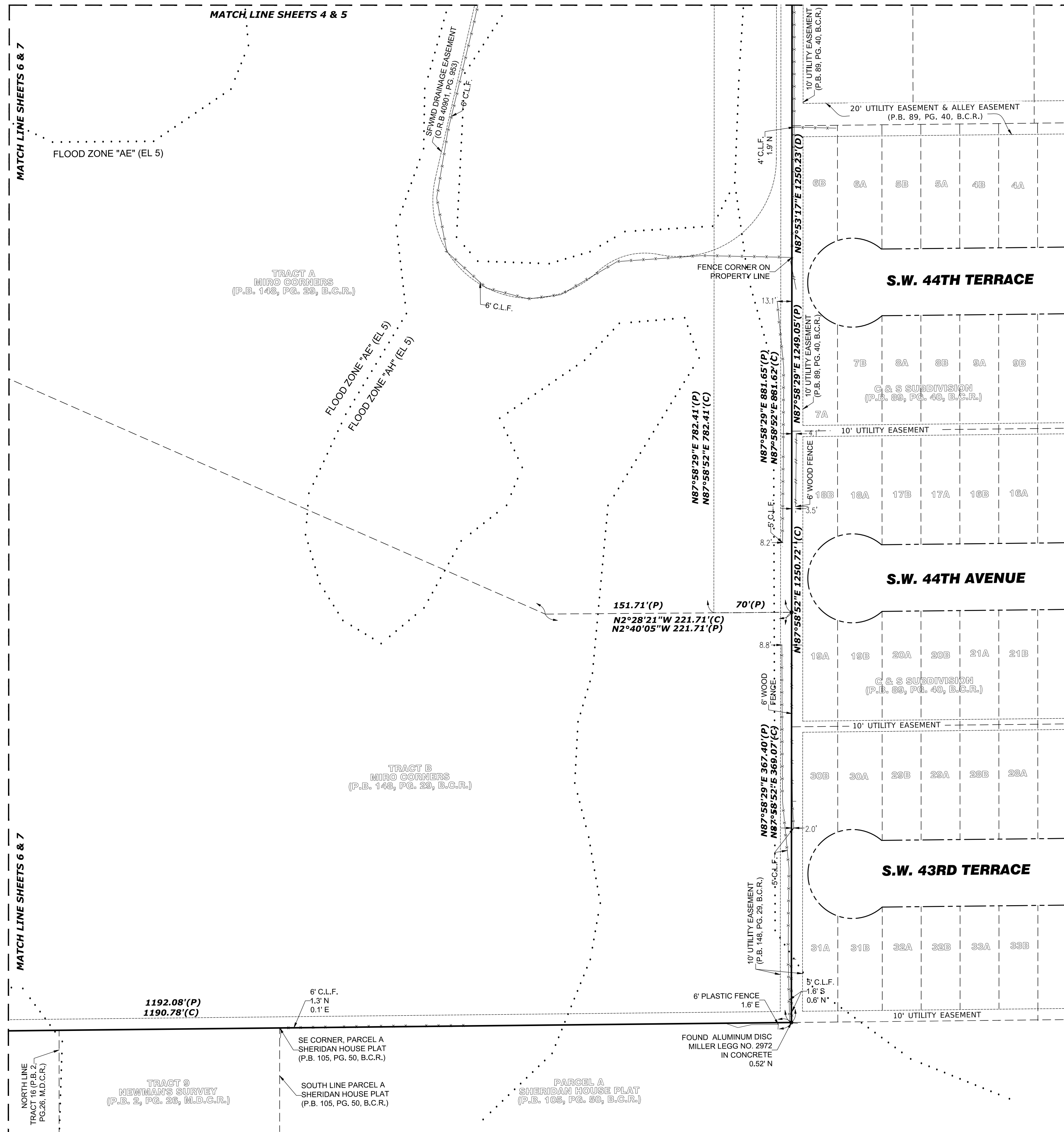
SURVEYOR'S OFFICIAL SEA

SHEET: 7 OF 10



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FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24



CLIENT

**SEMINOLE TRIBE
OF FLORIDA**

PROJECT

**OASIS LOT
HOLLYWOOD, FLORIDA**

TASK

**ALTA/NSPS LAND TITLE
SURVEY, BOUNDARY AND
TOPOGRAPHIC SURVEY**

(BOUNDARY SURVEY MAP)

ORIGINAL: 08/25/2017
REVISIONS:

1 9/01/2017 ADDITIONAL TREES
2 _____
3 _____
4 _____
5 _____



Know what's below.
Call before you dig.

JOB NO. 100056131 00.1.L

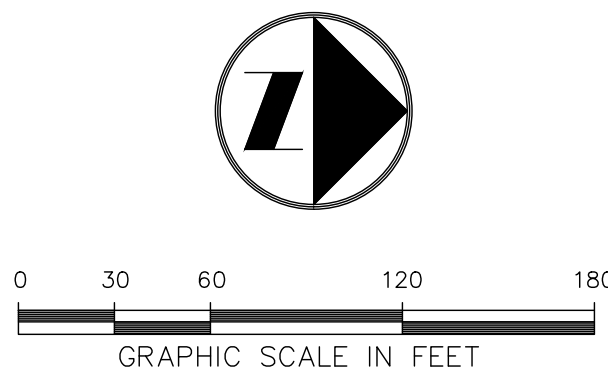
DRAWN _____ A.S.

DESIGNED _____ D.A.

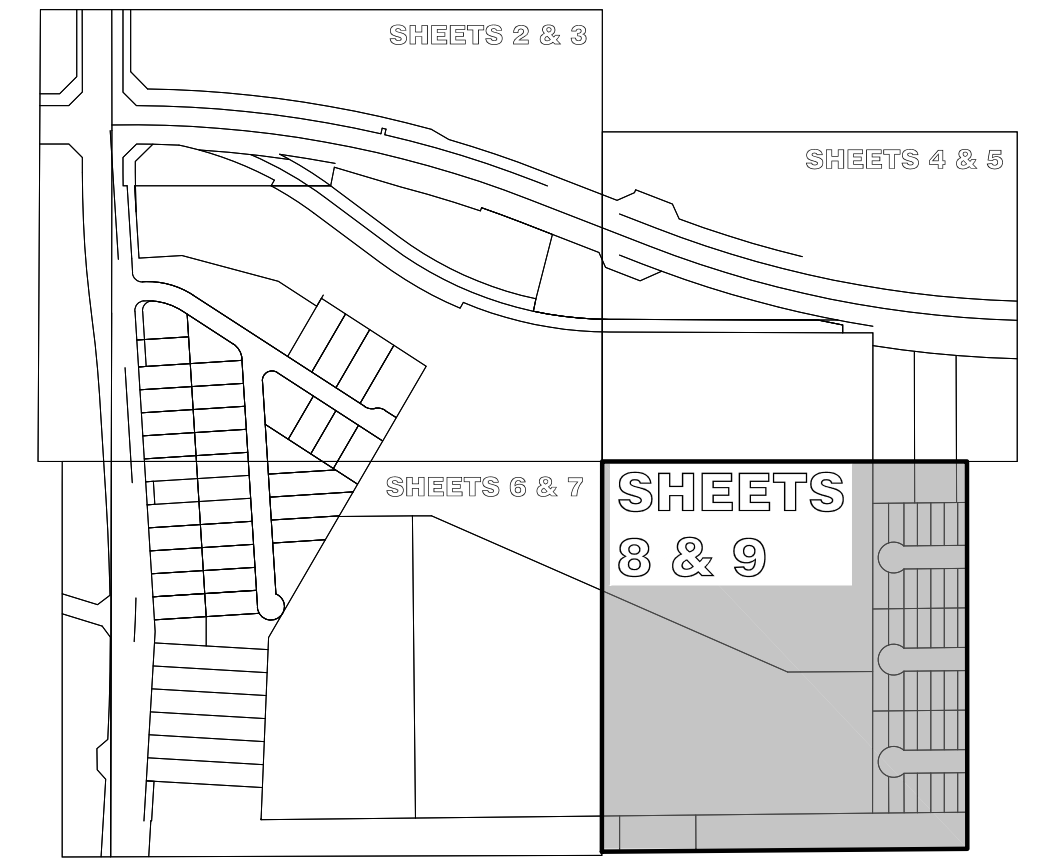
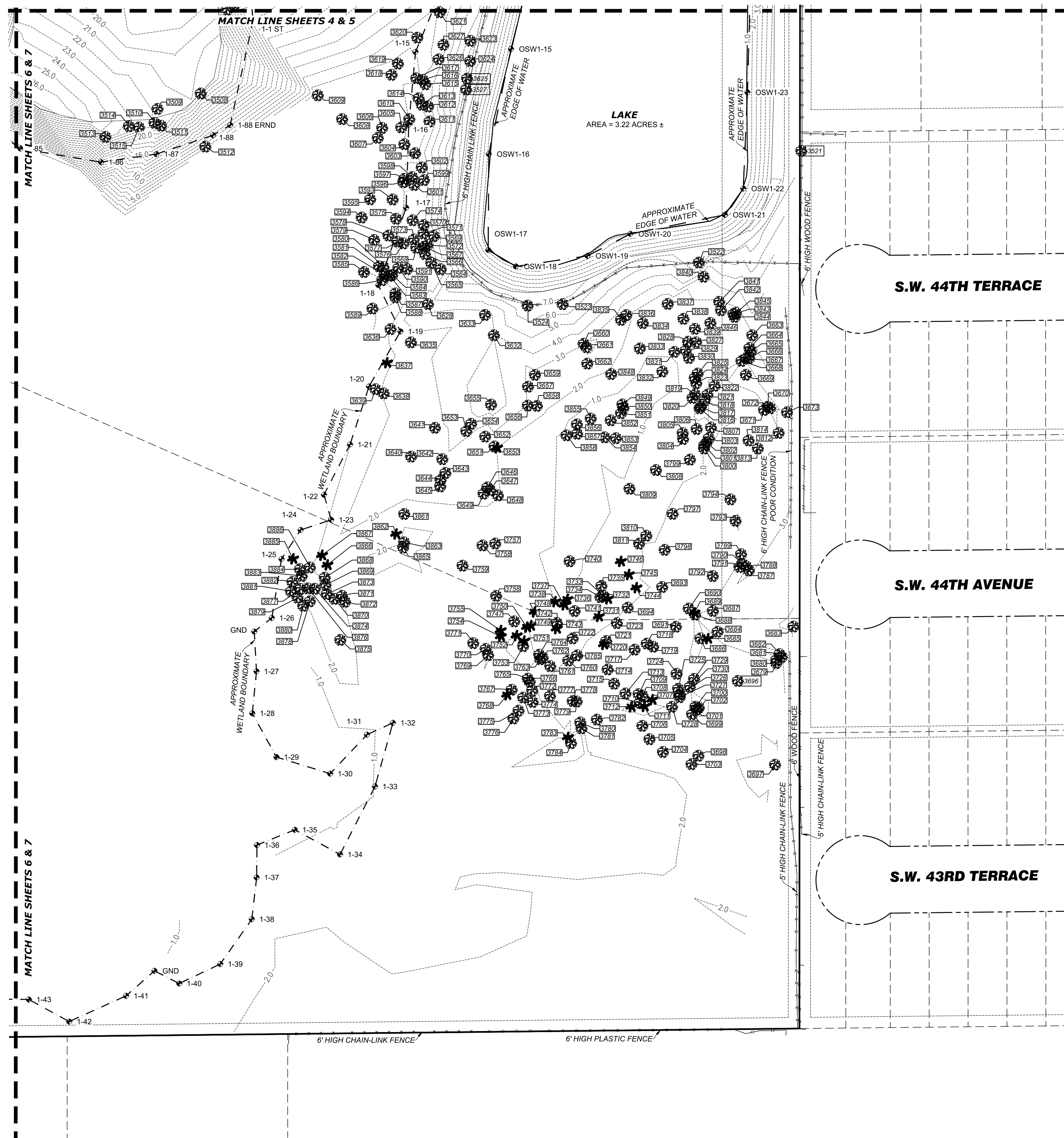
CHECKED _____ D.W.D.

QC _____ D.W.D.

SHEET: 8 OF 10



- LEGEND**
- COLUMN
 - CENTERLINE
 - WETLAND FLAG
 - ELECTRIC OUTLET
 - GUY WIRE
 - LIGHT POLE
 - MANHOLE (DRAINAGE)
 - MANHOLE (UNKNOWN)
 - METER (WATER)
 - PALM TREE
 - PEDESTRIAN SIGNAL
 - PINE TREE
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PROJECT

**OASIS LOT
HOLLYWOOD, FLORIDA**

TASK

**ALTA/NSPS LAND TITLE
SURVEY, BOUNDARY AND
TOPOGRAPHIC SURVEY**

(TOPOGRAPHIC SURVEY MAP)

ORIGINAL: 8/25/2017
REVISIONS:

- 9/01/2017 ADDITIONAL TREES
-
-
-
-



Know what's below.
Call before you dig.

SURVEYOR'S OFFICIAL SEAL

JOB NO. .100056131.00.1.L

DRAWN _____ A.R.

DESIGNED _____ A.R.

CHECKED _____ D.W.D.

QC _____ D.W.D.

SHEET: 9 OF 10

TREE LOCATION			
NO.	DIA(")	Common Name	Scientific Name
6002	48	LIVE OAK	QUERCUS VIRGINIANA
6003	36	LIVE OAK	QUERCUS VIRGINIANA
6004	40	STRANGLER FIG	FICUS AUREA
6005	48	LIVE OAK	QUERCUS VIRGINIANA
6006	60	LIVE OAK	QUERCUS VIRGINIANA
6007	12	LIVE OAK	QUERCUS VIRGINIANA
6008	12	ROYAL PALM	ROYSTONIA ELATA
6009	8	ROYAL PALM	ROYSTONIA ELATA
6010	12	ROYAL PALM	ROYSTONIA ELATA
6011	16	ROYAL PALM	ROYSTONIA ELATA
6012	12	RED BAY	PERSEA BORBONIA
6013	48	LIVE OAK	QUERCUS VIRGINIANA
6014	12	LAUREL OAK	QUERCUS LAURIFOLIA
6017	14	LIVE OAK	QUERCUS VIRGINIANA
6019	24	LIVE OAK	QUERCUS VIRGINIANA
6020	14	ROYAL POINCIANA	DELONIX REGIA
6021	12	LIVE OAK	QUERCUS VIRGINIANA
6022	10	LIVE OAK	QUERCUS VIRGINIANA
6023	12	ROYAL POINCIANA	DELONIX REGIA
6024	16	ROYAL POINCIANA	DELONIX REGIA
6025	16	ROYAL POINCIANA	DELONIX REGIA
6026	28	LIVE OAK	QUERCUS VIRGINIANA
6027	18	GUMBO LIMBO	BURSERA SIMAURBA
6028	12	ROYAL PALM	ROYSTONIA ELATA
6029	18	LAUREL OAK	QUERCUS LAURIFOLIA
6031	16	ROYAL PALM	ROYSTONIA ELATA
6032	12	ROYAL PALM	ROYSTONIA ELATA
6033	60	LIVE OAK	QUERCUS VIRGINIANA
6034	16	ROYAL PALM	ROYSTONIA ELATA
6035	20	ROYAL PALM	ROYSTONIA ELATA
6036	14	ROYAL PALM	ROYSTONIA ELATA
6037	24	ROYAL PALM	ROYSTONIA ELATA
6038	10	ROYAL PALM	ROYSTONIA ELATA
6039	12	ROYAL PALM	ROYSTONIA ELATA
6040	20	ROYAL PALM	ROYSTONIA ELATA
6041	14	ROYAL PALM	ROYSTONIA ELATA
6042	8	ROYAL POINCIANA	DELONIX REGIA
6043	22	ROYAL POINCIANA	DELONIX REGIA
6044	10	BLACK OLIVE	BUCIDA BUCERUS
6045	16	STRANGLER FIG	FICUS AUREA
6046	8	BLACK OLIVE	BUCIDA BUCERUS
6047	8	BLACK OLIVE	BUCIDA BUCERUS
6048	8	BLACK OLIVE	BUCIDA BUCERUS
6049	15	STRANGLER FIG	FICUS AUREA
6050	10	STRANGLER FIG	FICUS AUREA
6051	18	BLACK OLIVE	BUCIDA BUCERUS
6052	22	BLACK OLIVE	BUCIDA BUCERUS
6053	12	BLACK OLIVE	BUCIDA BUCERUS
6054	10	BLACK OLIVE	BUCIDA BUCERUS
6055	18	BLACK OLIVE	BUCIDA BUCERUS
6056	20	BLACK OLIVE	BUCIDA BUCERUS
6057	24	BLACK OLIVE	BUCIDA BUCERUS
6058	36	BLACK OLIVE	BUCIDA BUCERUS

DRAWING: X:\PROJECTS\SEMINOLE PROJECTS\100056131 OASIS LOT\DWG\100056131 OASIS LOT ALTA TOPO.DWG / PRINTED: 9/15/2017 2:46 PM

ATKINS

ATKINS NORTH AMERICA, INC.

FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB24

2001 N.W. 107th AVE.
MIAMI, FL
33172-2507
(305) 592-7275



SEMINOLE TRIBE
OF FLORIDA

CLIENT

SEMINOLE TRIBE
OF FLORIDA

PROJECT

OASIS LOT
HOLLYWOOD, FLORIDA

TASK

ALTA/NSPS LAND TITLE
SURVEY, BOUNDARY AND
TOPOGRAPHIC SURVEY

(TOPOGRAPHIC SURVEY MAP)

ORIGINAL: 8/25/2017

REVISIONS:

1 9/01/2017 ADDITIONAL TREES

2 -

3 -

4 -

5 -



Know what's below.
Call before you dig.

SURVEYOR'S OFFICIAL SEAL

JOB NO. .100056131.00.1.L

DRAWN _____ A.R.

DESIGNED _____ A.R.

CHECKED _____ D.W.D.

QC _____ D.W.D.

SHEET: 10 OF 10



SEMINOLE TRIBE OF FLORIDA HOLLYWOOD, FL MIRO CORNERS PARKING PRELIMINARY SITE PLAN

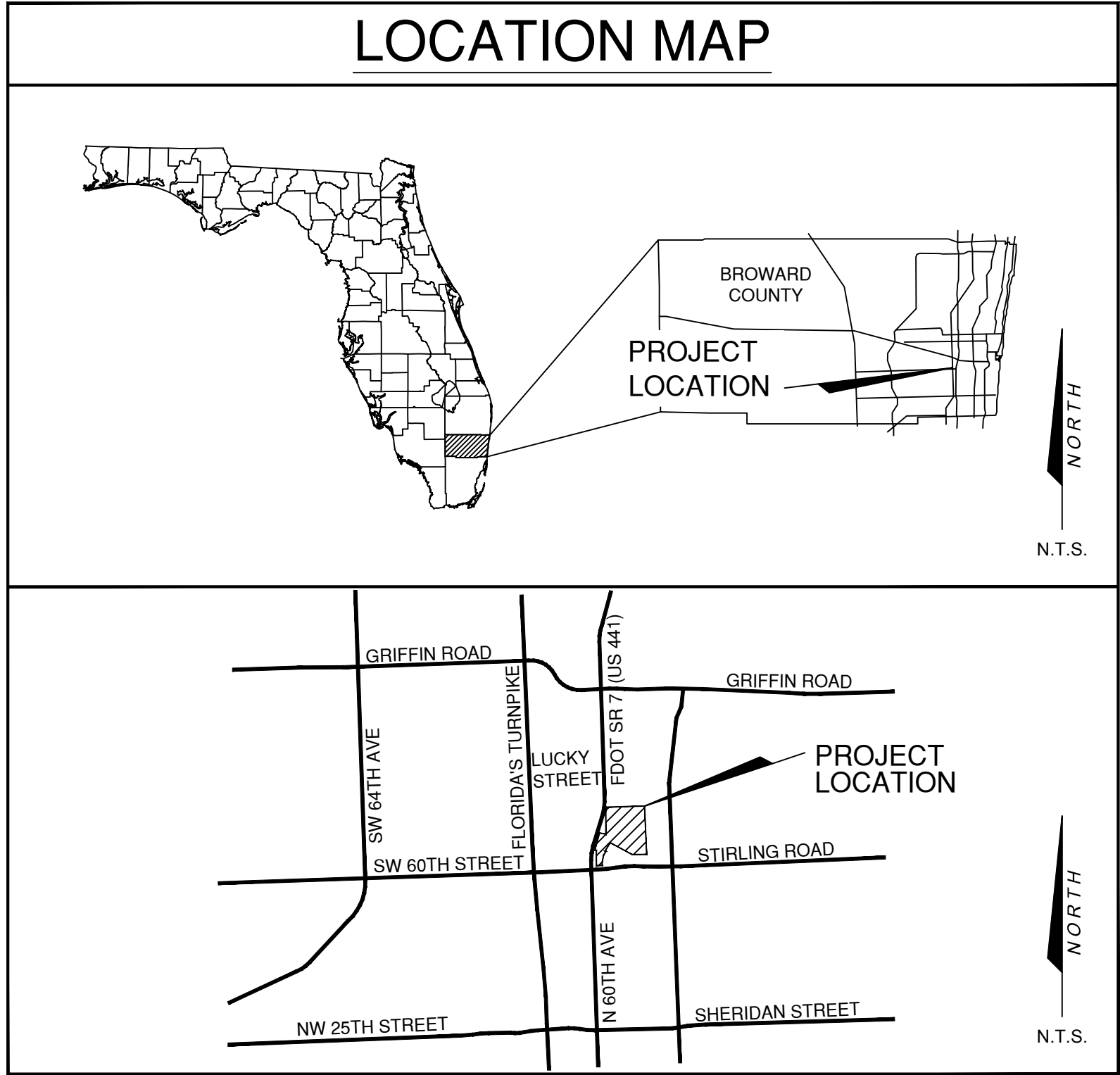
LEGAL DESCRIPTION OF SUBJECT PROPERTY:

ALL OF TRACTS A, B, F, G AND THE INGRESS EGRESS EASEMENT WITHIN SAID TRACT A AS DELINEATED ON THE PLAT OF "MIRO CORNERS," ACCORDING TO THE PLAT THEREOF, AS RECORDED MARCH 26, 1991 IN PLAT BOOK 148 AT PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

A PORTION OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 DESCRIBED IN BROWARD COUNTY RESOLUTION NUMBER 96-0147, AS RECORDED APRIL 8, 1996 IN OFFICIAL RECORDS BOOK 24713 AT PAGE 803 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, VIZ.:

BEGIN AT THE SOUTHEAST CORNER OF TRACT F AS DELINEATED ON THE PLAT OF "MIRO CORNERS," ACCORDING TO THE PLAT THEREOF, AS RECORDED MARCH 26, 1991 IN PLAT BOOK 148 AT PAGE 29 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE NORTHEASTERLY ALONG THE EASTERLY LINE OF SAID TRACT F AND THE WESTERLY RIGHT OF WAY LINE OF VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 FOR THE FOLLOWING COURSES; THENCE NORTHEASTERLY ALONG THE ARC OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 988.37 FEET AND A CENTRAL ANGLE OF 00°23'33" TO THE RIGHT FOR 6.77 FEET TO THE POINT OF TANGENCY; THENCE N34°38'53"E FOR 213.63 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 922.37 FEET AND A CENTRAL ANGLE OF 24°36'47" TO THE LEFT FOR 396.23 FEET TO THE NORTHEAST CORNER OF SAID TRACT F; THENCE S79°56'31"E FOR 33.00 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF SAID VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7; THENCE NORTHEASTERLY ALONG SAID CENTERLINE OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 AND THE ARC OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 955.37 FEET AND A CENTRAL ANGLE OF 11°55'49" TO THE LEFT FOR 198.93 FEET TO THE POINT OF TANGENCY; THENCE N01°52'11"W ALONG SAID CENTERLINE OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 FOR 27.11 FEET; THENCE CONTINUE N01°52'11"W ALONG SAID CENTERLINE OF THE VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7 FOR 516.49 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH THE ARC OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 2924.93 FEET, A CENTRAL ANGLE OF 01°17'10" TO THE LEFT; A CHORD BEARING OF N09°06'52"E AND A CHORD DISTANCE OF 65.66 FEET FOR 65.66 FEET TO A POINT OF TERMINATION OF SAID CURVE; THENCE N87°58'52"E FOR 20.49 FEET TO A POINT OF INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF SAID VACATED RIGHT OF WAY FOR OLD FLORIDA STATE ROAD NO. 7; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE OF THE VACATED OLD FLORIDA STATE ROAD NO. 7 FOR THE FOLLOWING COURSES; S01°52'11"E FOR 608.11 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 988.37 FEET AND A CENTRAL ANGLE OF 22°35'52" TO THE RIGHT FOR 389.82 FEET TO A POINT OF TERMINATION OF SAID CURVE; FROM SAID POINT OF TERMINATION, THENCE S62°31'36"E ALONG A LINE RADIAL TO THE LAST AND NEXT DESCRIBED CURVES FOR 17.12 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING RADIUS OF 1005.37 FEET AND A CENTRAL ANGLE OF 13°47'40" TO THE RIGHT FOR 242.05 FEET TO THE POINT OF TANGENCY; THENCE S34°38'53"W FOR 214.25 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 905.37 FEET, A CENTRAL ANGLE OF 08°18'22" TO THE LEFT, A CHORD BEARING OF S30°30'14"W AND A CHORD DISTANCE OF 131.14 FEET FOR 131.25 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A LINE BEARING N02°03'09"W; THENCE DEPARTING SAID EASTERLY RIGHT OF WAY LINE OF THE VACATED OLD FLORIDA STATE ROAD NO. 7, N02°03'09"W ALONG SAID LINE FOR 154.70 FEET TO SAID SOUTHEAST CORNER OF TRACT F AND THE POINT OF BEGINNING.



NOTES
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Rev.	Date	Description	By	Ch	Ap
				Kid	pr

Drawing Status

Exhibit

Suitability

ATKINS
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7175 MURRELL ROAD
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TAMPA, FLORIDA 33607
FBPR CERTIFICATE OF
AUTHORIZATION NO.24
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Client

SEMINOLE TRIBE OF FLORIDA
HOLLYWOOD, FLORIDA

Project Title

SEMINOLE TRIBE OF FLORIDA
MIRO CORNERS PARKING

Drawing Title				
COVER SHEET				
Scale	Designed	Drawn	Checked	Authorized
Original Size ARCH D	Date	Date	Date	Date
Drawing Number				Revision

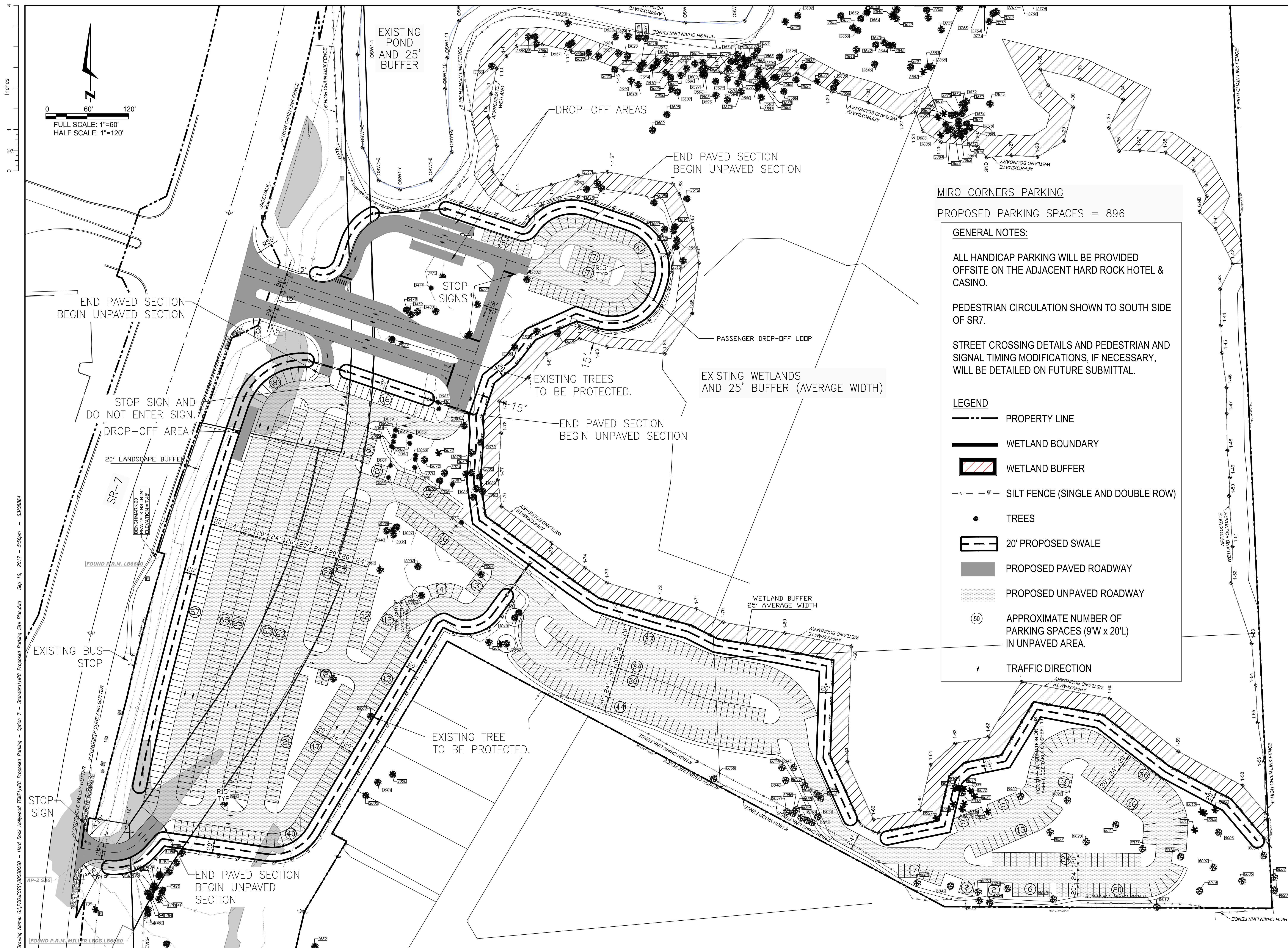
CHESTER W. WENDEZYK, P.E.
FLORIDA REGISTRATION #56992

SEMINOLE
Hard Rock
HOTEL & CASINO

SEMINOLE GAMING

HOLLYWOOD, FL

1 SEMINOLE WAY, HOLLYWOOD FL 33314



MIRO CORNERS PARKING

PROPOSED PARKING SPACES = 896

GENERAL NOTES:

ALL HANDICAP PARKING WILL BE PROVIDED
OFFSITE ON THE ADJACENT HARD ROCK HOTEL &
CASINO.

PEDESTRIAN CIRCULATION SHOWN TO SOUTH SIDE
OF SR7.

STREET CROSSING DETAILS AND PEDESTRIAN AND
SIGNAL TIMING MODIFICATIONS, IF NECESSARY,
WILL BE DETAILED ON FUTURE SUBMITTAL.

LEGEND

— · — PROPERTY LINE

———— WETLAND BOUNDARY

 WETLAND BUFFER

— SF — = SF = SILT FENCE (SINGLE AND DOUBLE ROW)

 TREES

 20' PROPOSED SWALE

PROPOSED PAVED ROADWAY

PROPOSED UNPAVED ROADWAY

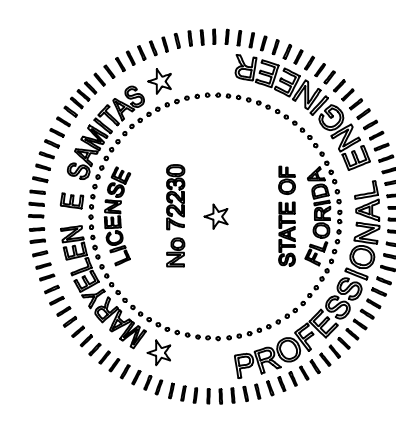
50 APPROXIMATE NUMBER OF
PARKING SPACES (9'W x 20'L
IN UNPAVED AREA.

TRAFFIC DIRECTION

SEMINOLE
GAMING**HOLLYWOOD, FL**

1 SEMINOLE WAY, HOLLYWOOD FL 33314

MARYELEN E. SAMITAS, P.E.
FLORIDA REGISTRATION #72230



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Rev.	Date	Description	By	Ch kd	A p
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Drawing Status	Switchgear
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EXHIBIT

ATKINS

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TAMPA, FLORIDA 33607
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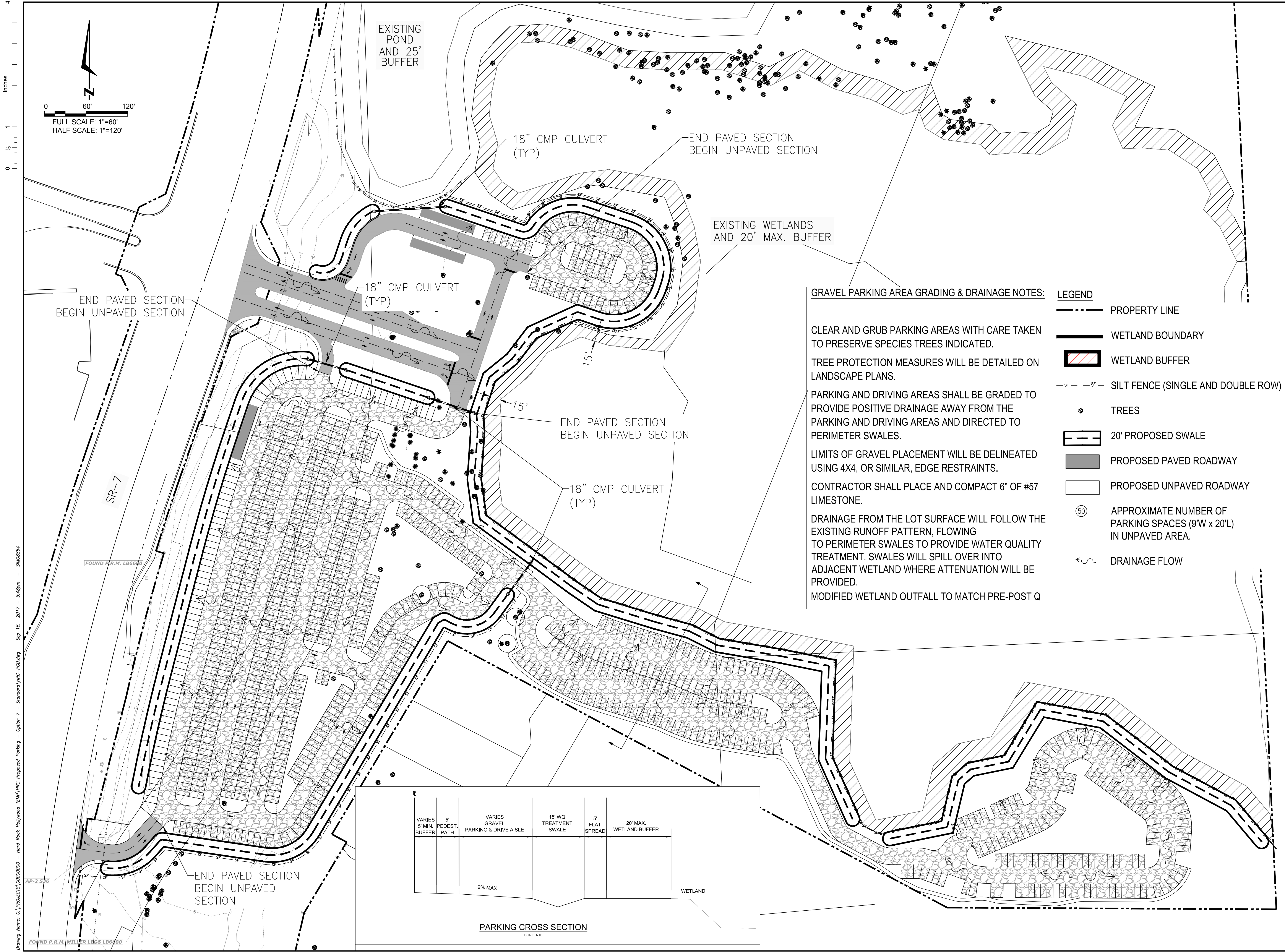
SEMINOLE TRIBE OF FLORIDA
HOLLYWOOD, FLORIDA

Project Title

SEMINOLE TRIBE OF FLORIDA
MIRO CORNERS PARKING

Drawing Title
PARKING LOT SITE PLAN

Scale 1"=60'	Designed RAR	Drawn RAR	Checked	Authorized
Original Size ARCH D	Date 9/16/17	Date 9/16/17	Date	Date
Drawing Number			Revision	



SEMINOLE GAMING
Hard Rock HOTEL & CASINO
HOLLYWOOD, FL

1 SEMINOLE WAY, HOLLYWOOD FL 33314

CHESTER W. WENDRZYK, P.E.
FLORIDA REGISTRATION #59892

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Drawing Status			Suitability		
EXHIBIT					

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Client

SEMINOLE TRIBE OF FLORIDA
HOLLYWOOD, FLORIDA

Project Title

SEMINOLE TRIBE OF FLORIDA
MIRO CORNERS PARKING

Drawing Title

SCHEMATIC
PAVING, GRADING,
& DRAINAGE PLAN

Scale	Designed	Drawn	Checked	Authorized
1"=60'	RAR	RAR		
Original Size	Date	Date	Date	Date
ARCH D	9/16/17	9/16/17		
Drawing Number				Revision