

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: _____

Location Address: 7-Eleven - 100 N. State Road 7 - Hollywood

Lot(s): 29 Block(s): _____ Subdivision: Gracewood 3

Folio Number(s): 5141-13-07-0240

Zoning Classification: SR7 CCD-CC Land Use Classification: TOC

Existing Property Use: Commercial Sq Ft/Number of Units: 3,648

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: The site contains a convenience store/gas station with 16 fueling positions.

The current structures on the site will be demolished and a 3,010 SF convenience store with an 8 MPD fuel canopy will be constructed.

Number of units/rooms: N/A Sq Ft: 3,010

Value of Improvement: \$1.5 million Estimated Date of Completion: September 2018

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Project will be single-phased

Name of Current Property Owner: 7-Eleven, Inc

Address of Property Owner: 3200 Hackberry Road, Irving TX

Telephone: 954-314-8400 Fax: _____ Email Address: rposey@creightondev.com

Name of Consultant/Representative/Tenant (circle one): Bill Pfeffer, P.E.

Address: 13450 W Sunrise Blvd, Suite 320 Telephone: 954-314-8400

Fax: _____ Email Address: bpfeffer@bowmanconsulting.com

Date of Purchase: 4 Nov 2015 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract. **See attached warranty deed**

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Grant Distel Date: 13 Sep 2017

PRINT NAME: 7-Eleven, Inc Date: 13 Sep 2017

Signature of Consultant/Representative: [Signature] Date: 13 Sept 2017

PRINT NAME: William Pfeffer, P.E. Date: 13 Sep 2017

Signature of Tenant: n/a (owner of property same as tenant) Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for site development approval to my property, which is hereby made by me or I am hereby authorizing William Pfeffer - Bowman to be my legal representative before the Technical Advisory Committee (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 13 day of September 2017

Grant Distel
Signature of Current Owner

Notary Public
State of Florida



Grant Distel
Print Name

My Commission Expires: 5 April 2021 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

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CONSTRUCTION PLANS

FOR

7-ELEVEN

100 N. STATE ROAD 7
HOLLYWOOD, FLORIDA

UTILITY SERVICE PROVIDERS

WATER
CITY OF HOLLYWOOD
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
(954) 967-4357

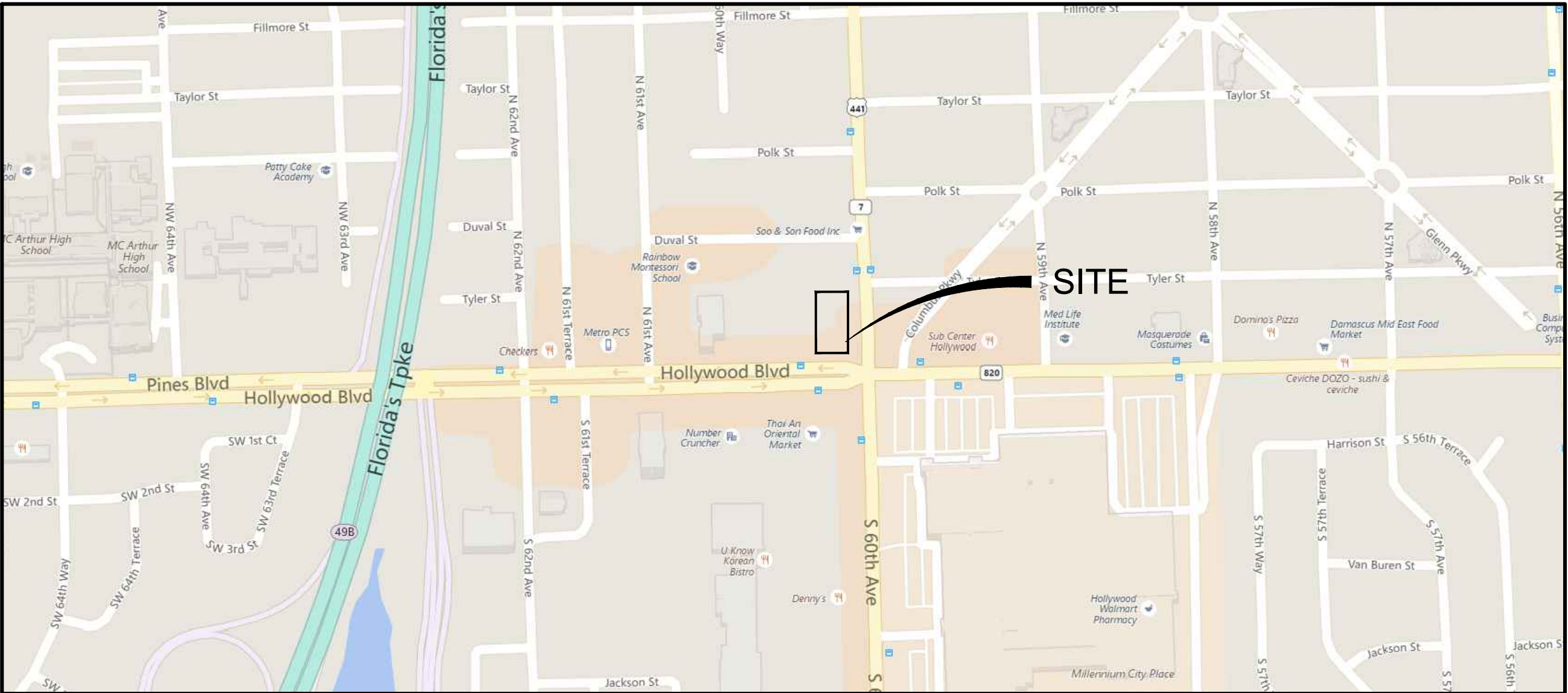
SEWER
CITY OF HOLLYWOOD
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
(954) 967-4357

ELECTRIC
FLORIDA POWER AND LIGHT - GULFSTREAM SERVICE CENTER
4000 DAVIE ROAD EXTENSION
HOLLYWOOD, FL 33024
(954) 442-6300

LEGAL DESCRIPTION

LOT 29 OF "GRACEWOOD NO. 3," ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 48, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT LANDS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED JULY 22, 1988 RECORDED IN OFFICIAL RECORDS BOOK 19630, PAGE 823, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



LOCATION MAP

N.T.S.

PRELIMINARY TAC MEETING: 10/02/2017

FINAL TAC MEETING: TBA

PLANNING & DEVELOPMENT BOARD: TBA

Bowman
CONSULTING

Certificate of Authorization License No. 30462

13450 W. SUNRISE BOULEVARD,
SUITE 320
SUNRISE, FL 33323
PHONE: (954) 314-8400

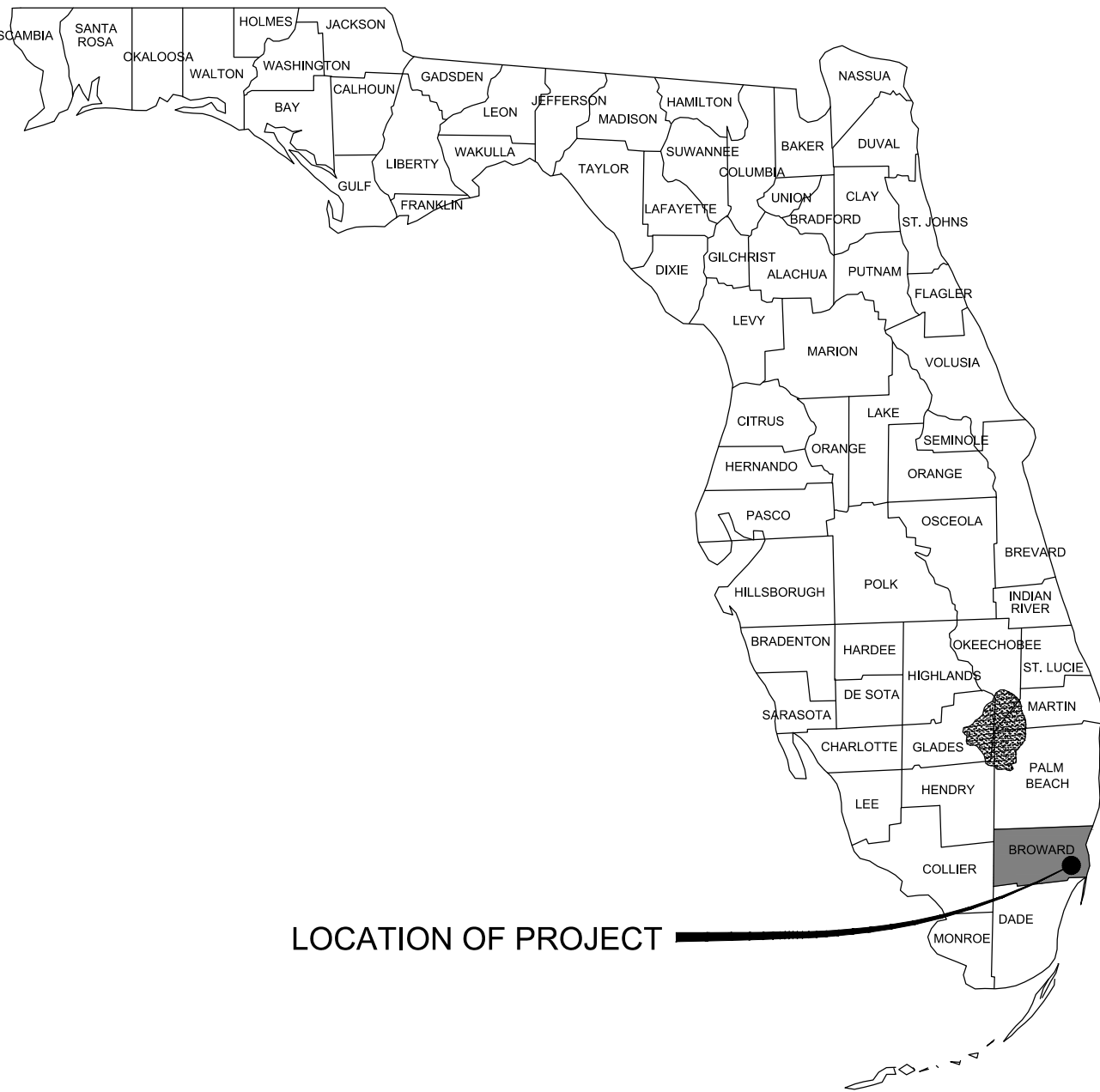
www.bowmanconsulting.com
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SITE INFORMATION

PROJECT AREA: ±1.08 ACRES
PARCEL FOLIO NO.: 5141-13-07-0240, 5141-13-07-0250
PARCEL ADDRESS: 100 N. STATE ROAD 7, HOLLYWOOD, FL
CURRENT ZONING: SR7 CCD-CC - SR 7 COMMERCIAL CORRIDOR DISTRICT
PROPOSED USE: GAS STATION / CONVENIENCE STORE

SHEET INDEX:

C-1	COVER SHEET
C-2	SITE PLAN
C-3	PAVING, GRADING AND DRAINAGE PLAN
C-4	UTILITY PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN



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COVER SHEET
7-ELEVEN
100 N. STATE ROAD 7

CITY OF HOLLYWOOD

BROWARD COUNTY, FLORIDA

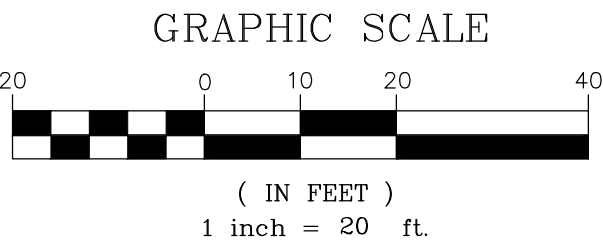
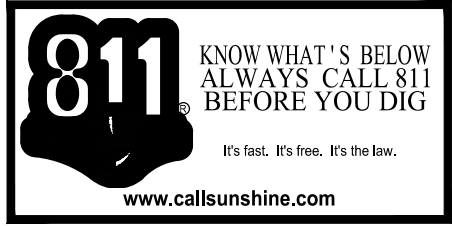
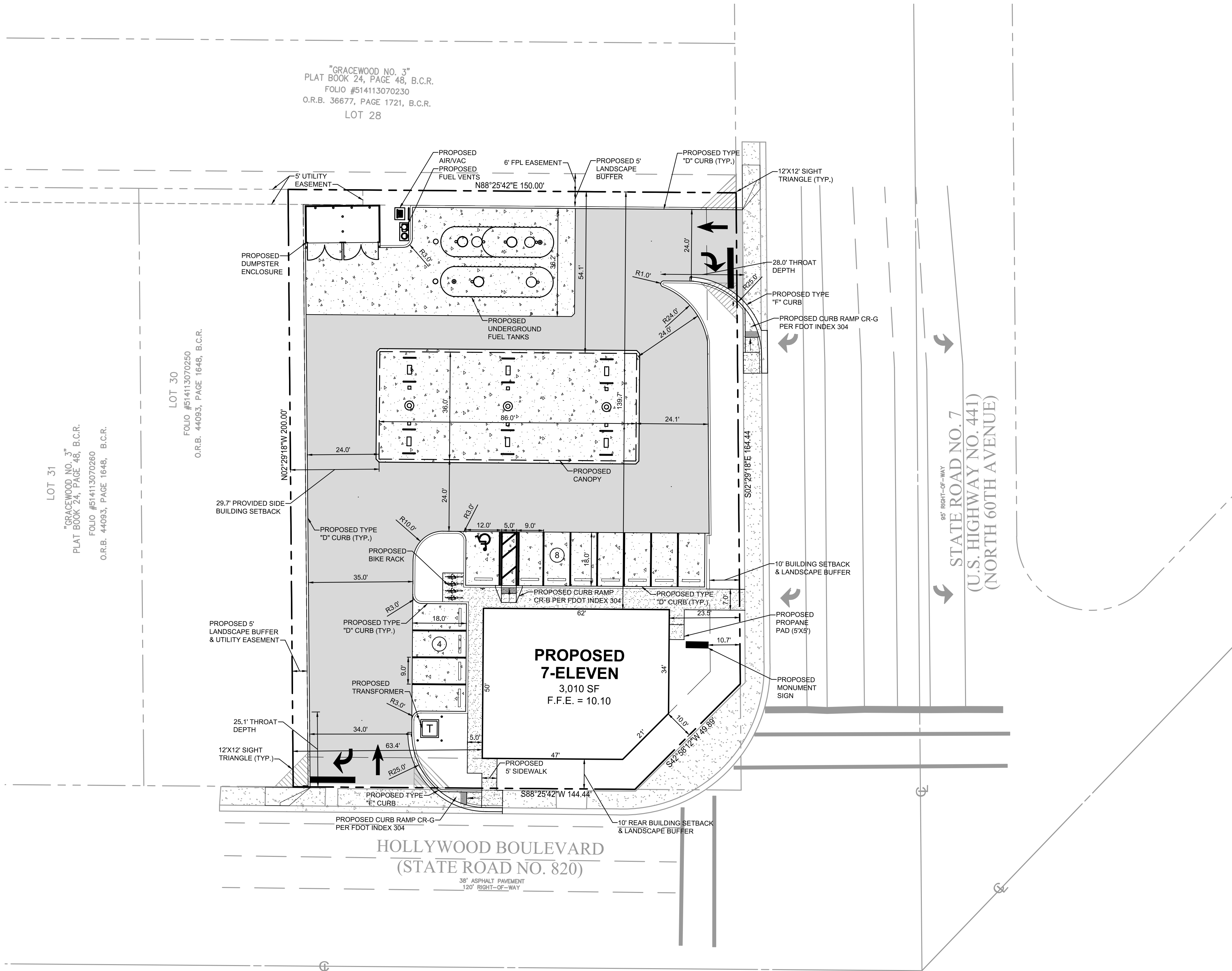


WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
09/15/2017

REVISIONS

DATE	NO.	DESCRIPTION
KM DESIGN	KM DRAWN	JT CHKD
SCALE	AS SHOWN	
JOB No.	010063-02-141	
DATE	09/15/2017	
FILE	010063-d-cp-141-01-cov.dwg	
SHEET	C-1	

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EXISTING LEGEND

---	PROPERTY LINE
- - - -	ADJACENT ROW
[Pattern]	CONCRETE SIDEWALK
---	BUILDING SETBACK LINE
---	LANDSCAPE BUFFER LINE
---	FPL EASEMENT
---	UTILITY EASEMENT
+	SIGN / CROSSWALK SIGNAL

PROPOSED LEGEND

---	TYPE "D" CURB
---	TYPE "F" CURB & GUTTER
(R)	PARKING COUNT
[Pattern]	ASPHALT PAVEMENT
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Symbol]	FUEL VENTS
[Symbol]	AIR / VAC
[Symbol]	SIGN
[Symbol]	MONUMENT SIGN
[Symbol]	BIKE RACK
[Symbol]	TRANSFORMER

SITE DATA TABLE			
JURISDICTION	CITY OF HOLLYWOOD		
ZONING	SR7 CCD-CC		
TOTAL SITE AREA	29,363 SF	0.67 AC	100%
OPEN SPACE AREA	5,067 SF	0.12 AC	18%
IMPERVIOUS AREA	24,296 SF	0.55 AC	82%
PARKING CALCULATIONS			
USE	AREA	RATIO	REQUIRED
BUILDING AREA	3,000 SF	1 / 250 SF	12 SPACES
TOTAL REQUIRED			12 SPACES
TOTAL PROPOSED			12 SPACES
BUILDING SETBACKS			
YARD	REQUIRED	PROPOSED	
FRONT (NORTH)	10.0'	54.1'	
SIDE (WEST)	10.0'	63.5'	
SIDE STREET (EAST)	10.0'	23.5'	
REAR (SOUTH)	10.0'	10.0'	
LANDSCAPE BUFFERS			
YARD	REQUIRED	PROPOSED	
FRONT (NORTH)	10.0'	5.0'	
SIDE (WEST)	10.0'	5.0'	
SIDE STREET (EAST)	10.0'	10.0'	
REAR (SOUTH)	10.0'	10.0'	
VARIANCES & ISSUES			
1. WILL REQUIRE A LANDSCAPE BUFFER VARIANCE ALONG NORTH AND WEST PROPERTY LINES			

GENERAL SITE NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURBING SHALL BE PER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 300.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION AND DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ALL SIGNS SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT AND B.C.T.E.D. ALL SIGNS SHALL BE INSTALLED AND MOUNTED PER B.C.T.E.D. ATTACHED DETAIL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 613, 616, AND 660.
- ALL CURB RAMPS SHALL HAVE DETECTABLE WARNINGS PER FDOT STANDARD INDEX 304.
- ALL UNPAVED DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SODDED.
- ALL PLANS SUBMITTED FOR PERMITTING SHALL MEET THE CITY'S CODES AND THE APPLICABLE BUILDING CODES IN EFFECT AT THE TIME OF PERMIT APPLICATION.
- MAINTENANCE OF TRAFFIC TO BE IN ACCORDANCE WITH FDOT INDEX 616
- VALLEY CURB ACROSS DRIVEWAY SHALL BE INSTALLED WITH A MINIMUM FOUR (4) INCH THICK CURB PAD AND THE PAD SHALL EXTEND A MINIMUM OF SIX (6) INCHES BEYOND EDGE OF CONCRETE, IN ACCORDANCE WITH BROWARD COUNTY MINIMUM STANDARDS (BCMS) SECTION 6-1.10.
- INLET PROTECTION REQUIRED FOR ALL INLETS IMPACTED BY THE PROJECT DURING CONSTRUCTION
- DRIVEWAY TO BE INSTALLED IN ACCORDANCE WITH BROWARD COUNTY MINIMUM STANDARDS.

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SITE PLAN

7-ELEVEN

100 N. STATE ROAD 7

BROWARD COUNTY, FLORIDA



WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
09/15/2017

REVISIONS

DATE	NO.	DESCRIPTION
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KM DESIGN	KM DRAWN	JT CHKD
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SCALE 1" = 20'

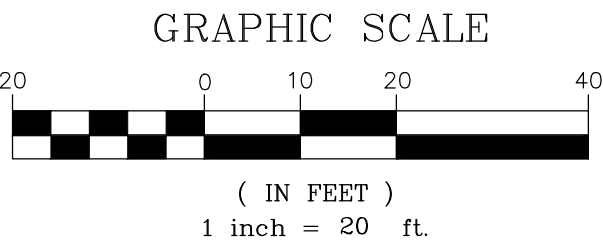
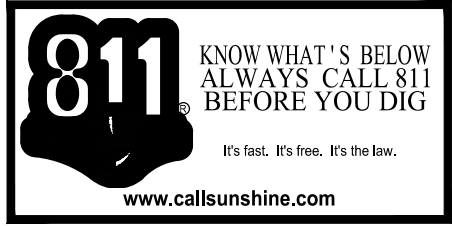
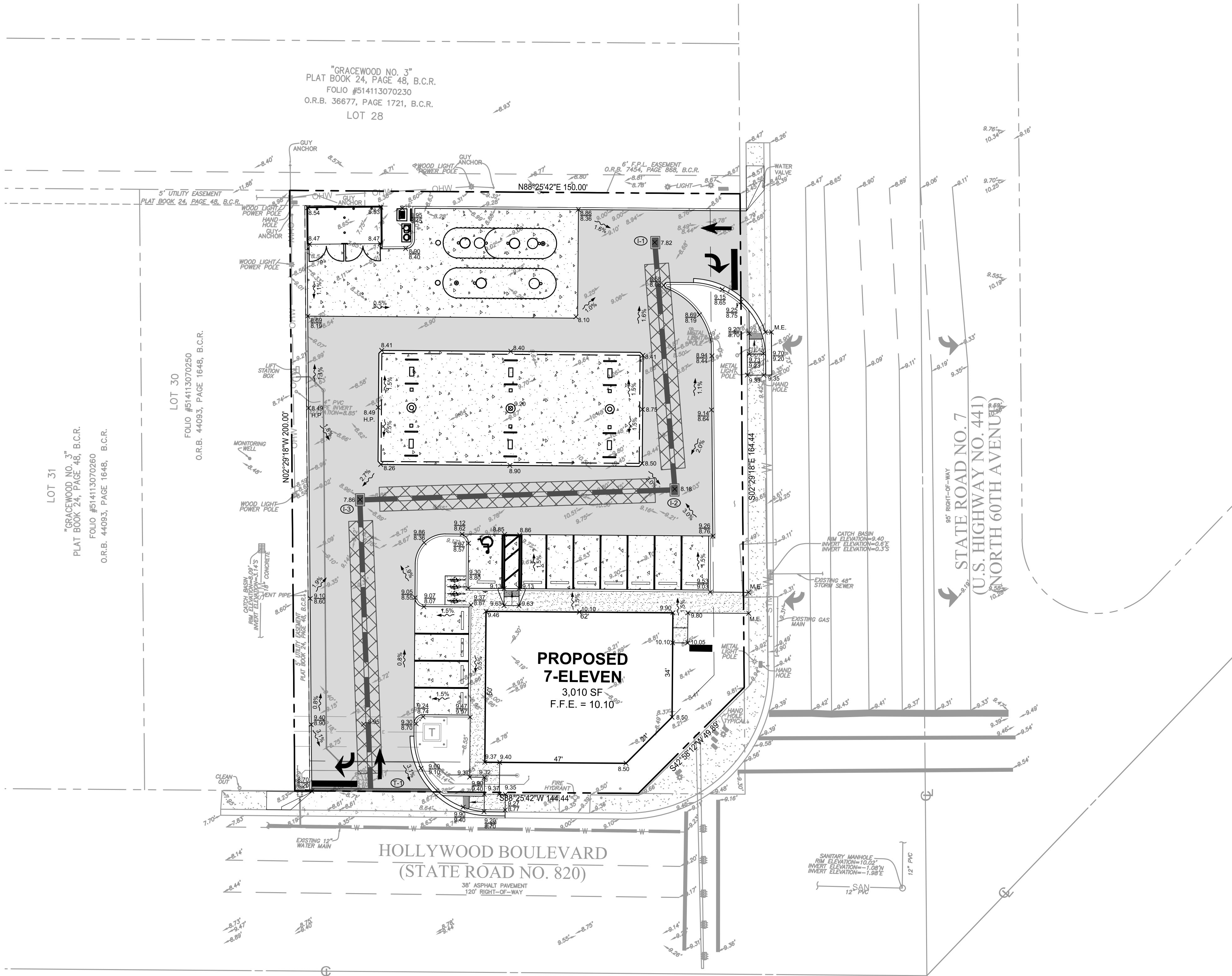
JOB No. 010063-02-141

DATE 09/15/2017

FILE 010063-d-cp-141-06-sit.dwg

SHEET C-2

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EXISTING LEGEND

- PROPERTY LINE
- ADJACENT ROW
- CONCRETE SIDEWALK
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FPL EASEMENT
- UTILITY EASEMENT
- OVERHEAD ELECTRIC SERVICE
- SAN - SANITARY LINE SERVICE
- STM - STORM LINE SERVICE
- GAS - GAS LINE SERVICE
- W - WATER LINE SERVICE
- VALLEY INLET
- SIGN / CROSSWALK SIGNAL
- SANITARY MANHOLE
- STORM MANHOLE
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTER
- LIGHT POLE
- HAND HOLE
- ELEVATION (NAVD)

PROPOSED LEGEND

- TYPE "D" CURB
- TYPE "F" CURB & GUTTER
- PARKING COUNT
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- FUEL VENTS
- AIR / VAC
- SIGN
- MONUMENT SIGN
- TRANSFORMER
- BIKE RACK
- ELEVATION (NAVD)
- EXFILTRATION TRENCH

DRAINAGE STRUCTURE TABLE

STRUCTURE NUMBER	STRUCTURE TYPE	RIM	N INVERT	S INVERT	E INVERT	W INVERT	REMARKS
I-1	TYPE "C"	7.82	-----	-----	-----	-----	SEE DETAIL SHEET 9
I-2	TYPE "C"	8.18	-----	-----	-----	-----	SEE DETAIL SHEET 9
I-3	TYPE "C"	7.86	-----	-----	-----	-----	SEE DETAIL SHEET 9
T-1	TRENCH DRAIN	8.20	-----	-----	-----	-----	SEE DETAIL SHEET 9

PAVING, GRADING AND DRAINAGE PLAN

7-ELEVEN

100 N. STATE ROAD 7

CITY OF HOLLYWOOD

BROWARD COUNTY, FLORIDA



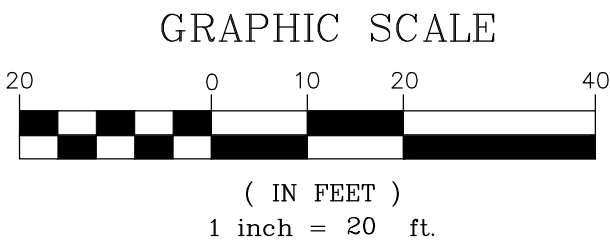
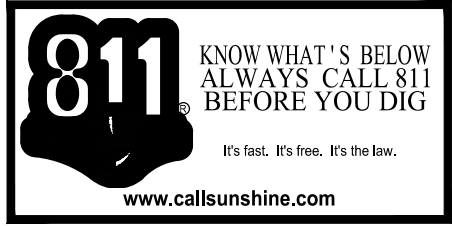
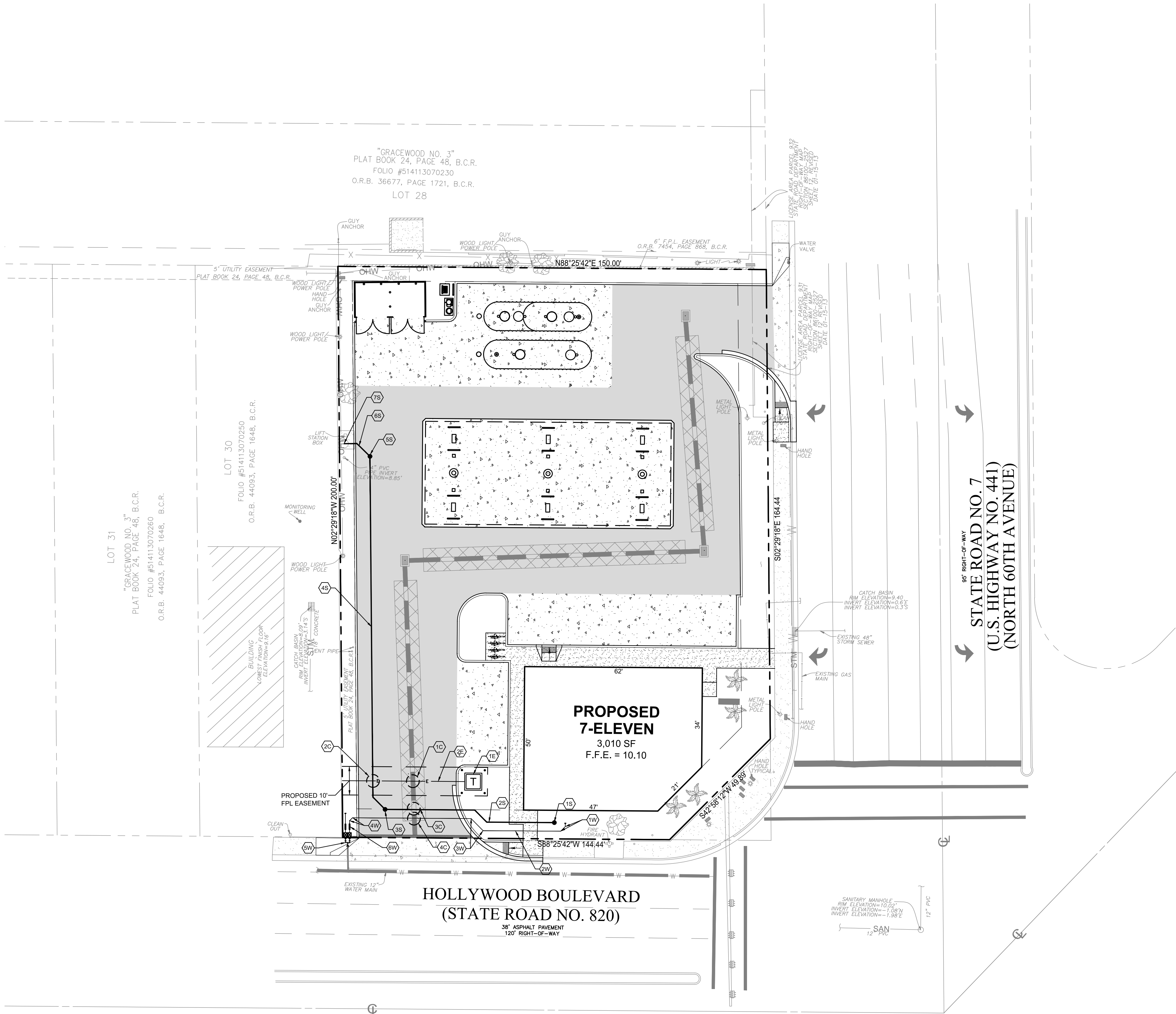
WILLIAM PFEFFER, P.E. LICENSE NO. 73058 09/15/2017			
REVISIONS			
DATE	NO.	DESCRIPTION	
KM DESIGN	KM DRAWN	JT	CHKD
SCALE 1" = 20'			
JOB No. 010063-02-141			
DATE 09/15/2017			
FILE 010063-d-cp-141-08-grd.dwg			

SHEET C-3

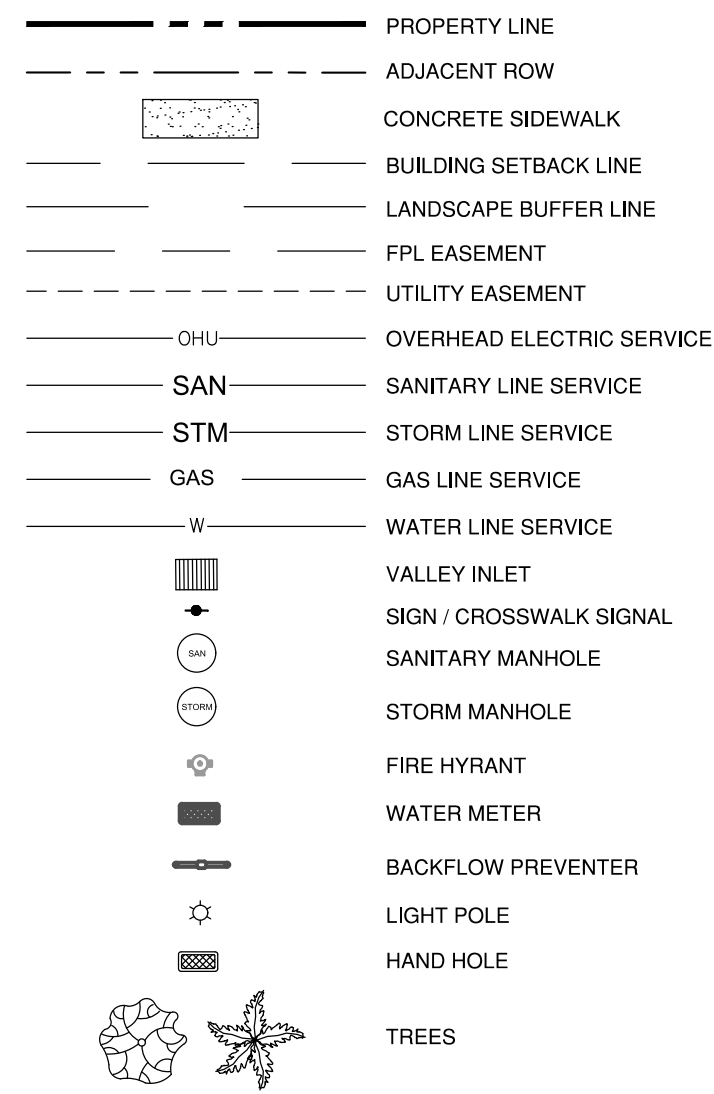
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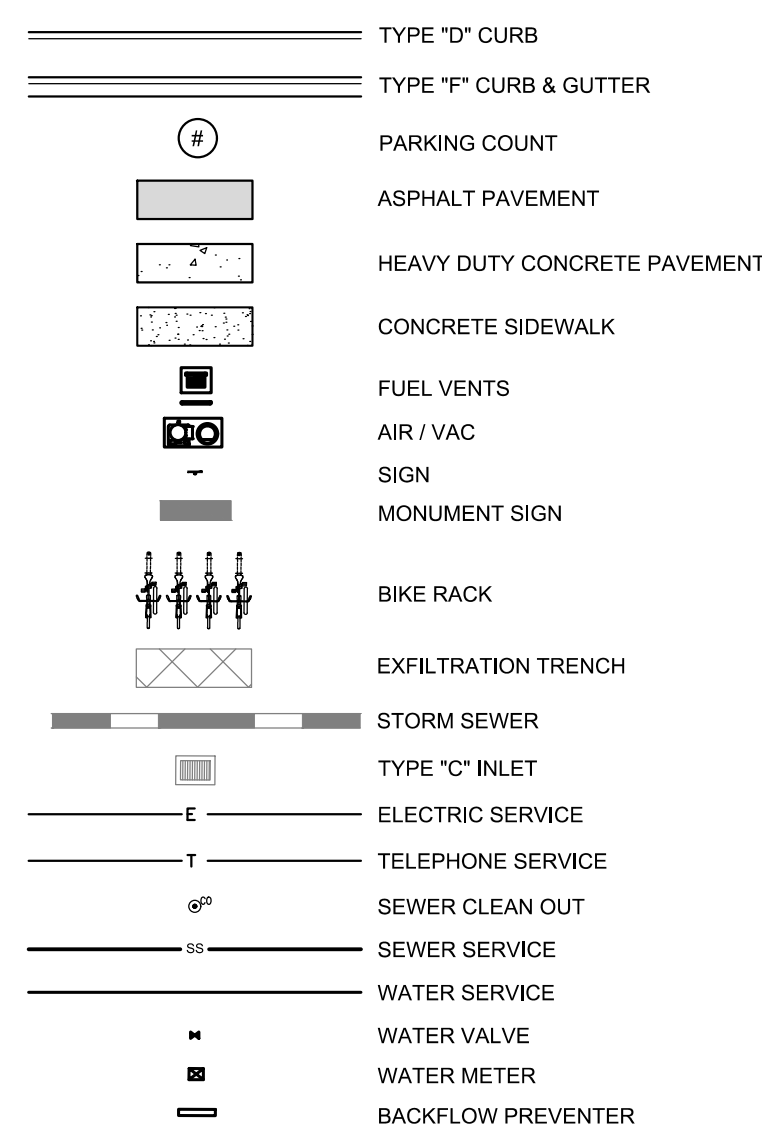
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EXISTING LEGEND



PROPOSED LEGEND



PLAN NOTES

SANITARY SEWER

- 1S 4" CLEAN OUT ELEV. IN = 7.60 ELEV. OUT = 7.50
- 2S 61 LF OF 4" PVC PIPE @ 2.0%
- 3S 4" CLEAN OUT ELEV. IN = 6.28 ELEV. OUT = 6.18
- 4S 125 LF OF 4" PVC PIPE @ 2%
- 5S 4" CLEAN OUT ELEV. IN = 3.78 ELEV. OUT = 3.68
- 6S 11 LF OF 4" PVC PIPE @ 2%
- 7S CONNECT TO EXISTING LIFT STATION. CONTRACTOR TO CONFIRM LOCATION, ELEVATION OF EXISTING LIFT STATION PRIOR TO CONSTRUCTION

WATER SERVICE

- 1W CONST. 45 DEGREE BEND (2)
- 2W CONST. 80 LF OF 1" PVC PIPE
- 3W CONST. 45 DEGREE BEND (2)
- 4W CONST. 45 DEGREE BEND (2)
- 5W CONST. DUAL 1.5" METER WATER SERVICE INCLUDING (2) 1" WATER METERS
- 6W CONST. 1" BACKFLOW PREVENTER
- 7W CONST. 1" IRRIGATION METER AND BACKFLOW PREVENTER (SEE IRRIGATION PLAN FOR CONTINUATION)
- 8W CONNECT TO EXISTING 8" DIP WATER MAIN WITH 8" X 4" TAPPING SLEEVE AND VALVE. CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING MAIN PRIOR TO CONSTRUCTION

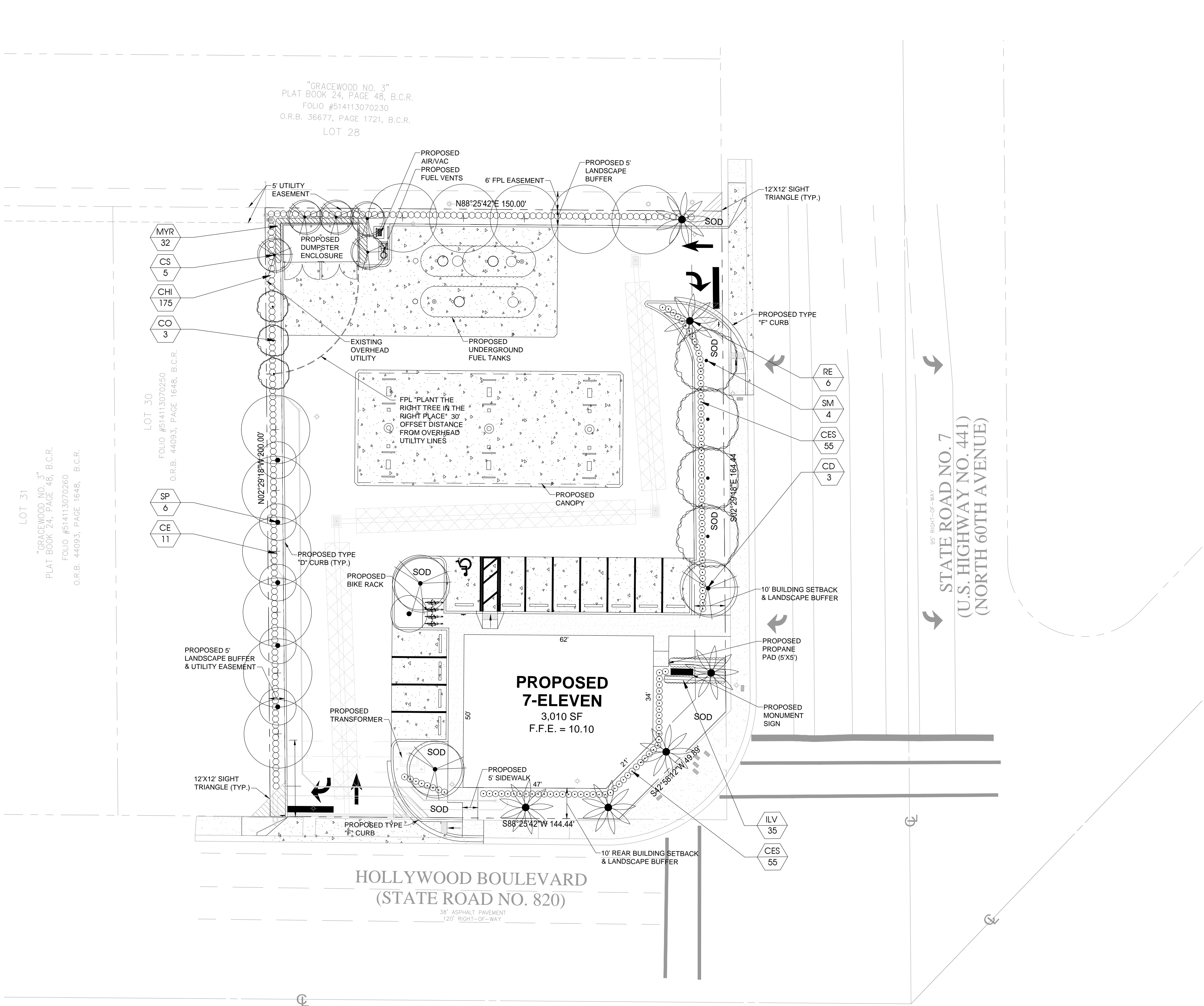
ELECTRIC SERVICE

- 1E PROP. TRANSFORMER
- 2E PROP. 44 LF ELECTRIC SERVICE

CONFLICTS

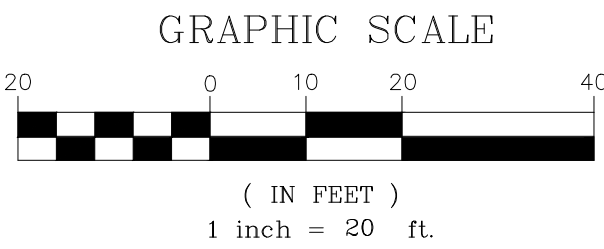
- 1C ELECTRIC SERVICE TO PASS OVER STORMWATER SERVICE
- 2C ELECTRIC SERVICE TO PASS OVER WATER SERVICE
- 3C SANITARY SERVICE TO PASS OVER STORMWATER SERVICE
- 4C WATER SERVICE TO PASS OVER STORMWATER SERVICE





General Notes

1. All utility boxes and structures, not currently known or shown on the plan, shall be screened with Cocoplum plants on three (3) sides.
2. Contractor to include drainage testing for all trees and palms in bid. If drainage is inadequate and the soil specification in item #8 of the landscape specifications is not appropriate for site conditions, the soil mixture shall be revised for this site's conditions. The Contractor shall notify the Owner and Landscape Architect of the poor drainage conditions in writing and written direction will be provided to the contractor of appropriate soil mixture specification to be used.
3. All prohibited, exotic and invasive species shall be removed from the entire site area of site prior to issuance of certificate of occupancy.
4. All planting areas to be irrigated to provide 100% coverage and provide adequate irrigation of landscape areas for the first full growing season and continue thereafter only as necessary to maintain required vegetation in good and healthy condition. Shop drawings to be submitted by the irrigation contractor for approval prior to installation.
5. The irrigation system shall be continuously maintained in working order.
6. All required landscape improvements must be inspected and approved by the City of Hollywood prior to the issuance of a Certificate of Occupancy.
7. This plan has been designed to meet with the tree planting requirements contained within the FPL document entitled Plant the Right Tree in the Right Place on new (proposed) plantings.
8. Planting adjacent to fire hydrants shall have a minimum clear radius of 7.5' front and sides and 4' in the rear as required by the NFPA Uniform Fire Code Florida Edition 18.3.4.1 Hydrants.
9. No plant substitutions can be made without Owner's and the City of Hollywood's approval.
10. An automatic Rain sensor shall be placed on-site as part of the required irrigation system.
11. Required buffer hedges shall be planted and maintained so as to form a continuous, unbroken solid visual screen, with a minimum height of three (3) feet, to be attained within one (1) year after planting.
12. Topsoil shall be clear and free of construction debris, weeds, rocks, noxious pests, and diseases. The topsoil for all planting areas shall be composed of a minimum of fifty percent (50%) muck or horticulturally-acceptable organic material.
13. The use of soil amendments to increase the water holding capacity of sandy soils or improve the drainage of heavy soils may be required.
14. Plant material shall not be planted in the root balls of any tree.
15. All hedge material adjacent to chain link fences shall be required to grow to six feet (6') in height and maintained at that height.

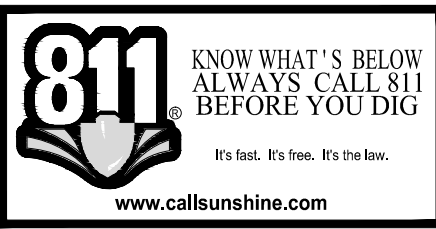


Conceptual
Design
Group, Inc.

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 130d
Stuart, Florida 34994
(772) 344-2340
LC: 26000198

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.



PLANT LIST

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS	WATER USAGE
TREES							
3	CD*	COCOLOBIA DIVERSIFOLIA	PIGEON PLUM	14' x 5', 3' D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
11	CE*	CONOCARPUS ERECTUS	GREEN BUTTWOOD	14' x 5', 3' D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
5	CS*	CONOCARPUS ERECTUS VAR. SERICEUS	SILVER BUTTWOOD	10' x 5', 3' D.B.H.	A.S.	FULL CANOPY, 3' C.T.	LOW
3	CO	CORDIA SEBESTENA	GEIGER TREE	14' x 5', 3' D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
4	SM*	SWietenia MAHOGANY	MAHOGANY	14' x 5', 3' D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
PALMS							
6	RE*	ROYSTONEA ELATA	ROYAL PALM	12' C.T.	A.S.	FULL, STRAIGHT TRUNK, MATCHED	LOW
6	SP*	SABAL PALMETTO	SABAL PALM	12' - 16' C.T.	A.S.	SLICK TRUNKS	LOW
SHRUBS							
110	CES*	CONOCARPUS ERECTUS VAR. SERICEUS	SILVER BUTTWOOD	#3, 2' x 2'	2' O.C.	FULL & THICK	LOW
175	CH*	CHRYSOBALANUS ICACO	COCOPLUM	#3, 2' x 2'	2' O.C.	FULL & THICK	LOW
32	MYR*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#7, 4' x 2'	2' O.C.	FULL & THICK	LOW
LOW SHRUBS							
32	ILV*	ILEX VOMITORIA	DWARF YALPON HOLLY	#3, 1' x 1'	2' O.C.	FULL & THICK	LOW
	SOD	STENOTAPHRUM SECUNDATUS	ST. AUGUSTINE SOD			SEE SPECS.	MEDIUM

* = FLORIDA NATIVE

LANDSCAPE DATA

PERIMETER LANDSCAPE BUFFER WITH PARKING ADJACENT TO HOLLYWOOD BOULEVARD:
1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 20'
REQUIRED = 1 TREE
PROVIDED = 1 TREE

4' TALL HEDGE SETBACK 3' FROM STREET RIGHT OF WAY
REQUIRED = 10 SHRUBS
PROVIDED = 55 SHRUBS

PERIMETER LANDSCAPE BUFFER WITH PARKING ADJACENT TO S.R. 7:
1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 102'
REQUIRED = 5 TREES
PROVIDED = 5 TREES

4' TALL HEDGE SETBACK 3' FROM STREET RIGHT OF WAY
REQUIRED = 51 SHRUBS
PROVIDED = 55 SHRUBS

NORTH PERIMETER LANDSCAPE BUFFER:
1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 150'
REQUIRED = 8 TREES
PROVIDED = 8 TREES

2' TALL HEDGE
REQUIRED = 75 SHRUBS
PROVIDED = 75 SHRUBS

WEST PERIMETER LANDSCAPE BUFFER:
1 TREE / 20 L.F. OF STREET FRONTAGE - LENGTH = 200'
REQUIRED = 10 TREES
PROVIDED = 10 TREES

2' TALL HEDGE
REQUIRED = 100 SHRUBS
PROVIDED = 100 SHRUBS

PARKING LOT TERMINAL ISLANDS:
1 TREE / ISLAND
REQUIRED = 3 TREES
PROVIDED = 3 TREES

VEHICULAR USE AREA INTERIOR LANDSCAPE:
25% OF OF THE TOTAL S.F. OF PAVED V.U.A. SHALL BE LANDSCAPED
V.U.A. = 21,296 S.F. x 25% = 5,324 S.F.
REQUIRED = 5,324 S.F.
PROVIDED = 758.54 S.F.

OPEN SPACE:
1 TREE / 1,000 S.F. OF PERVIOUS AREA IN ADDITION TO THE V.U.A.
5,067 / 1,000 = 5 TREES
REQUIRED = 5 TREES
PROVIDED = 5 TREES

TOTAL TREES REQUIRED:
REQUIRED = 32 TREES
PROVIDED = 32 TREES

MITIGATION TREES REQUIRED = 0
MITIGATION TREES PROVIDED = 0

MITIGATION PALMS REQUIRED = 6
MITIGATION PALMS PROVIDED = 6

TOTAL TREES SPECIES REQUIRED:
WHEN THE REQUIRED TREES EQUAL 21-40 TREES, FOUR (4) SPECIES ARE REQUIRED TO BE PLANTED
REQUIRED = 32 TREES = 4 SPECIES
PROVIDED = 5 SPECIES

MAXIMUM USE OF PALMS:
A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE PALMS, HOWEVER, IF MORE THAN 20% ARE USED, ALL REQUIRED TREES AND PALMS SHALL BE NATIVE

REQUIRED = 32 TREES x 20% = 6 PALMS
PROVIDED = 6 PALMS (EXCLUDES 6 MITIGATION SABAL PALMS)

NATIVE PLANTS:
60% OF REQUIRED TREES SHALL BE NATIVE
32 TREES x 60% = 19
REQUIRED = 19 TREES
PROVIDED = 23 TREES (72%)

50% OF THE REQUIRED SHRUBS SHALL BE NATIVE
REQUIRED = 236 SHRUBS
PROVIDED = 317 SHRUBS (100%)

LANDSCAPE PLAN

7-ELEVEN

100 N. STATE ROAD 7

Bowman Consulting Group, Ltd.

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BROWARD COUNTY, FLORIDA

CITY OF HOLLYWOOD



Seal: REGISTERED AND SEAL

Prepared, Reviewed & Supervised By:
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(772) 344-2340 LC: 26000198

Name: Jeffrey W. Smith, RLA

License #: LA0001635

PLAN STATUS

DATE DESCRIPTION

JWS JS JWS

DESIGN DRAWN CHKD

SCALE 1" = 20'

JOB No. BOWMAN / CDG

010063-02-141 / 17-0901

DATE 9/15/2017

FILE

SHEET

L-1 of 2

LANDSCAPE NOTES

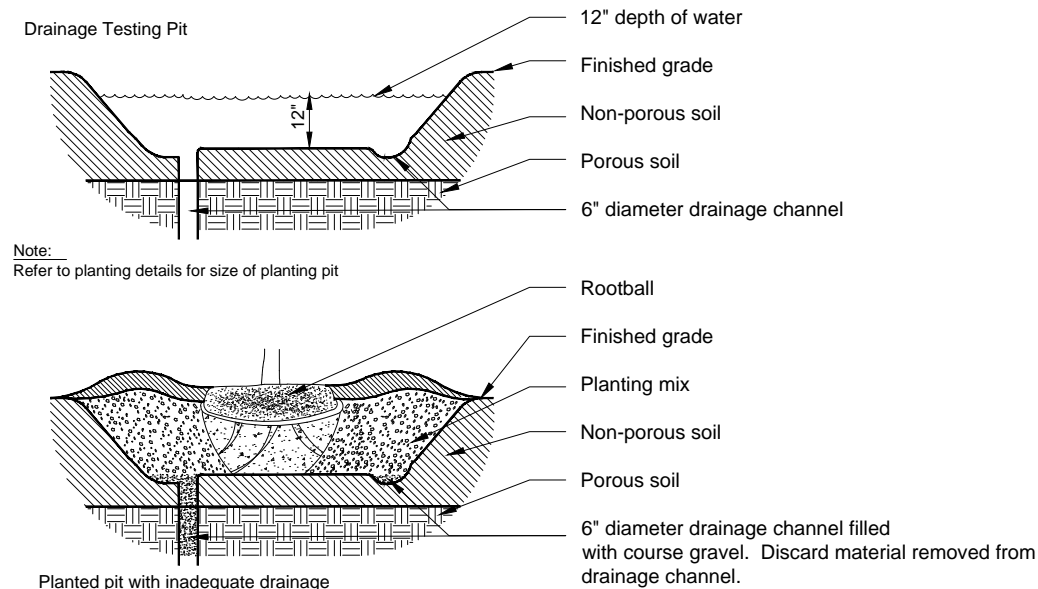
1. All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part 1 and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species.
2. Undersizing or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
3. Project Warranty: All plant material shall be warranted for a period of one (1) year after date of substantial completion against defects, including death and unsatisfactory growth, except for defects resulting from abuse or damage by others or unusual phenomena or incidents which are beyond the contractor's control.
4. Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
5. The contractor shall verify the location of underground utilities prior to commencing work on any project area.
6. Mulch planting areas with 3" layer of Metalamica, Eucalyptus, or EnviroMulch. Cypress Mulch is NOT ACCEPTABLE. Planting beds to receive mulch throughout entire bed area.
7. All plants to be set to ultimate grade. No filling will be permitted around trunks or stems. Mulch to be kept a minimum of 2" away from trunks and stems.
8. Planting trees and shrubs: Excavate hole per planting detail. When plant is set, place additional backfill consisting of a 50% mixture of Peat humus and natural soil around the base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Water again after placing final layer of backfill and before installing mulch.
9. Guy and stake trees in 3 directions with galvanized wire, through flexible hose chafing guards, with wooden stake anchors immediately after planting. (See Detail)
10. Trees and shrubs shall be fertilized with a complete natural organic fertilizer with a ratio of approximately 3:1:2 or 3:1:3 (e.g. one labeled 12-4-8). Similar analysis such as 16-4-8 (4:1:2) can also be used. Fertilizers that are slow release, controlled release, sulphur coated or with nitrogen as IBDU or ureaformaldehyde have extended release period. Thirty to fifty percent of the nitrogen should be water insoluble or slow release.

Palms should receive a complete granular fertilizer formulated for palms ("Palm Special") at a rate of 5 to 8 lbs. per palm.

Agriform 20-10-5 twenty-one gram planting tablets may be substituted for granular fertilizer. If utilized, the following rates shall be utilized: Position plant in hole. Backfill halfway up the rootball. Place tablet(s) beside rootball about 1" from root tips. Do not place tablet(s) in bottom of hole.

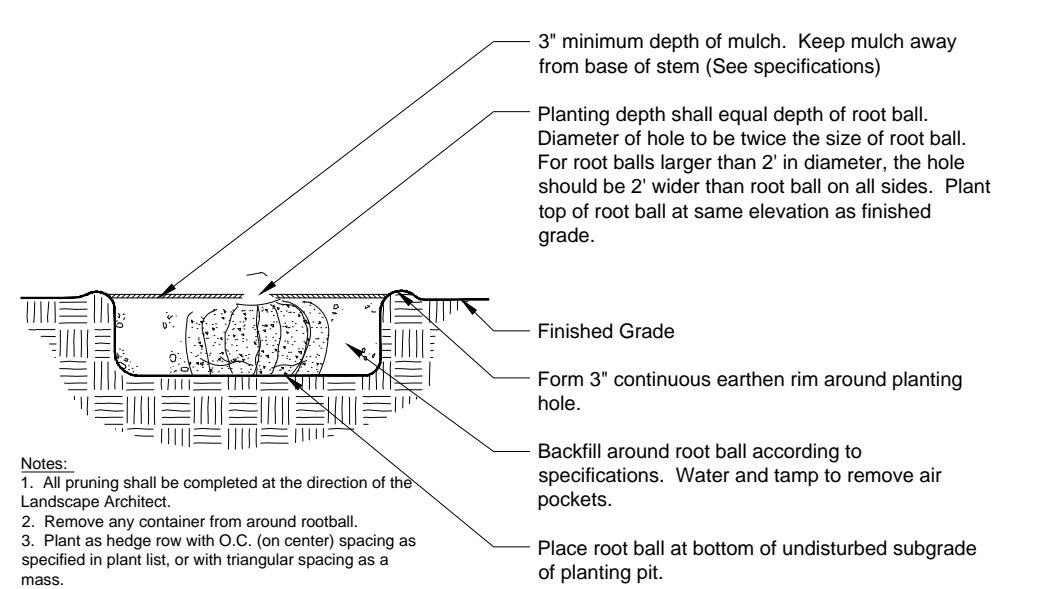
- 1 Gallon 1 Tablet
3 Gallon 2 Tablets
25 Gallon & B&B Trees 2 per 1" caliper

11. Maintain trees, shrubs, and other plants by watering, cultivating, and weeding as required for healthy growth. Restore planting saucers and mulch. Tighten and repair stake and guying and reset trees and shrubs to proper grade or vertical position as required. Spray as necessary to keep trees and shrubs free of insects and disease. The contractor shall begin maintenance immediately after planting and shall continue maintenance through final acceptance when Certificate of Occupancy is issued to the General Contractor by the governing agency and project is released by the General Contractor to Client.
12. Prune trees and shrubs only to remove damaged branches.
13. Planting Lawns: Provide clean, strongly rooted, uniformly sized strips of Stenotaphrom secundatus - St. Augustine "Floriam" sod (unless otherwise noted in Plant List), machine stripped not more than 24 hours prior to laying. Grade and roll prepared lawn surface. Water thoroughly but not to create muddy soil conditions. Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.
14. Maintain positive drainage, no planting is to block drainage.
15. Drainage Testing
Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
A) Dig each planting pit to the minimum specified size.
B) Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
C) When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
D) Discard all material removed from the drainage channel.
E) When backfilling the planting pit, add course gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.
16. All fertilizers shall meet any governing agencies (local / County, etc.) ordinances and/or requirements.



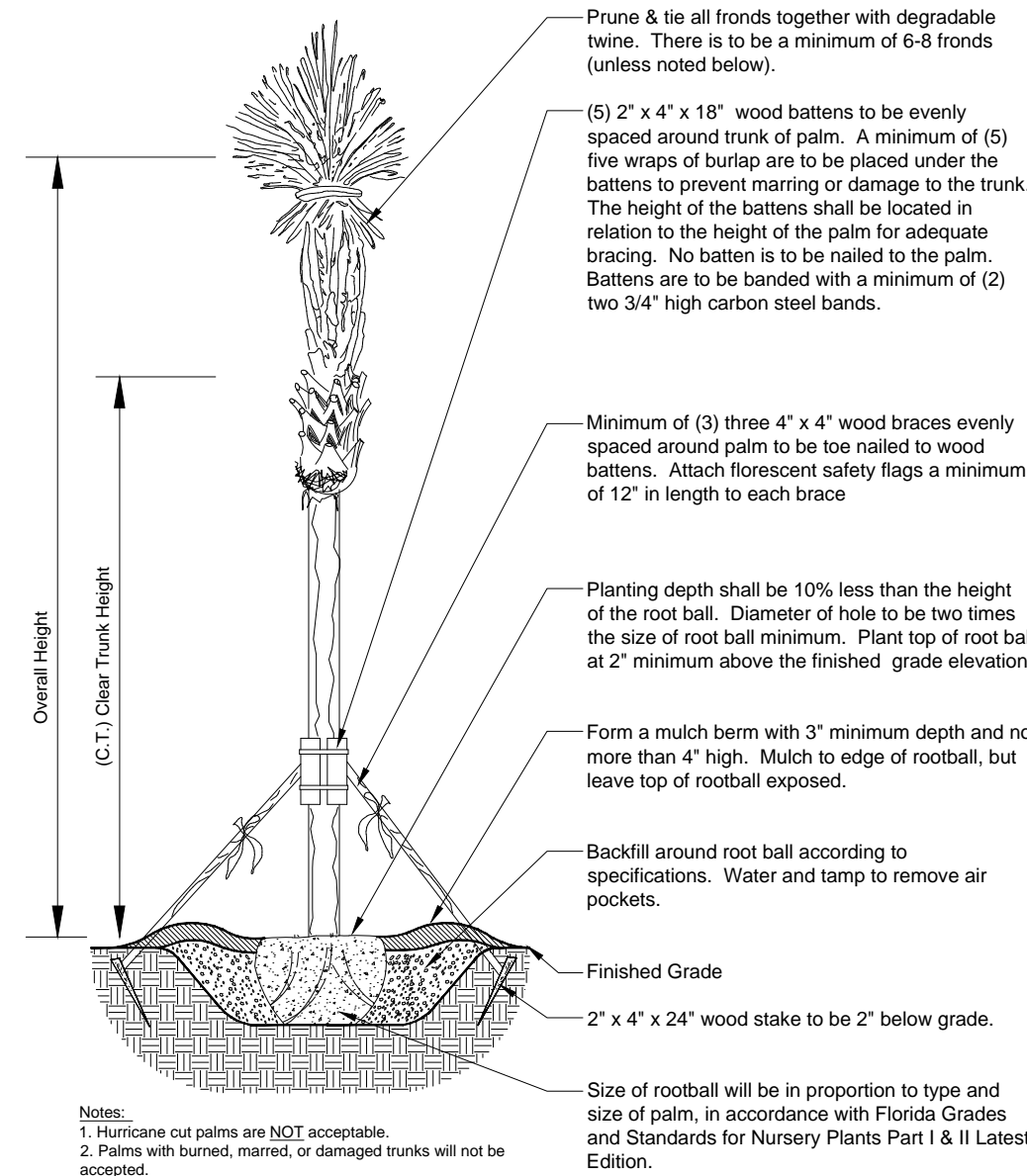
Drainage Testing Detail

Not to Scale



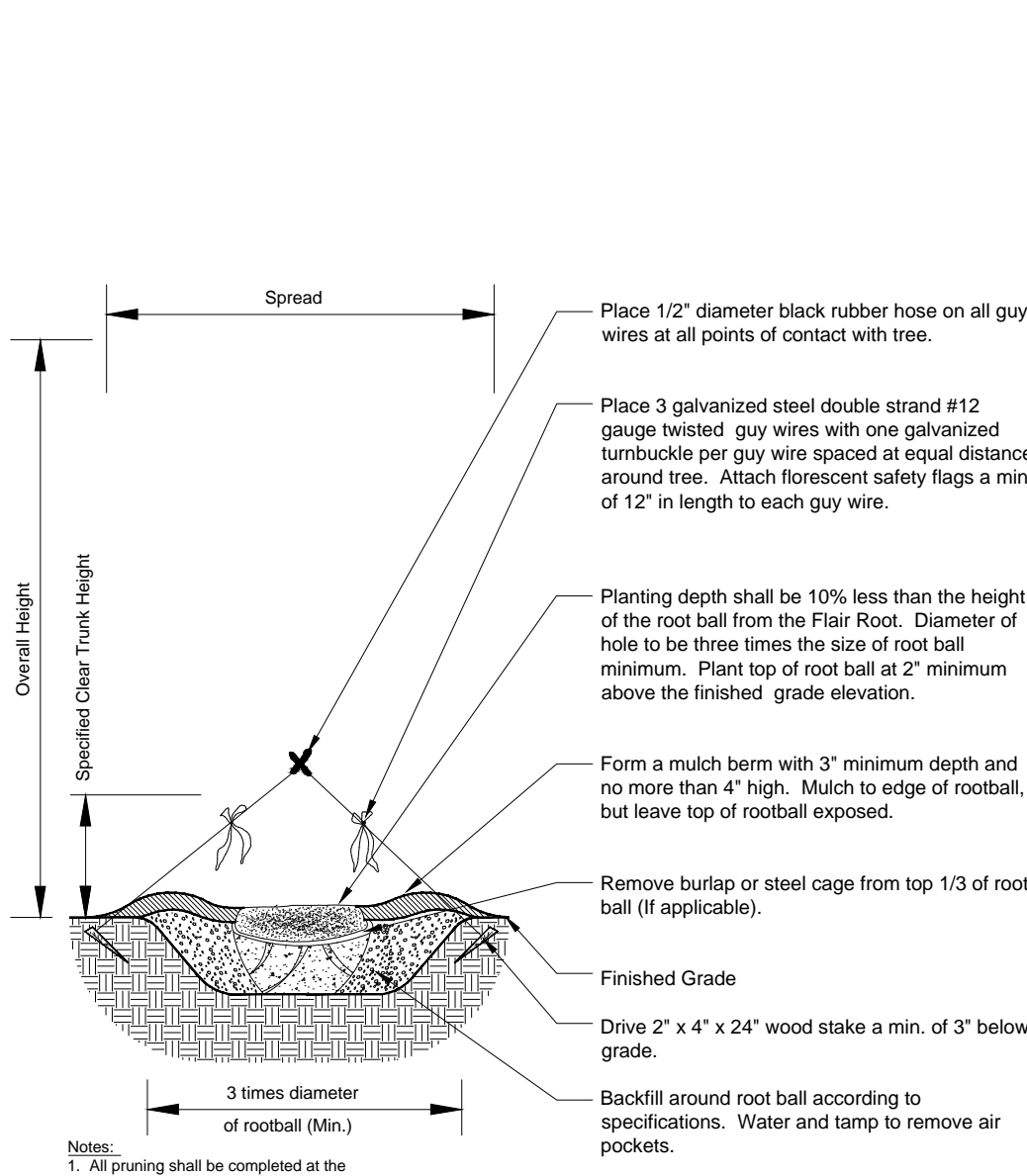
Shrub Detail

Not to Scale



Palm Planting Detail

Not to Scale



Tree Planting Detail

Not to Scale

Conceptual
Design
Group, Inc.

Landscape Architecture - Site Planning

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These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.



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LANDSCAPE PLAN
7-ELEVEN
100 N. STATE ROAD 7

BROWARD COUNTY, FLORIDA

CITY OF HOLLYWOOD



Seal : REGISTERED AND SEAL

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Name : Jeffrey W. Smith, RLA
License #: LA0001635

PLAN STATUS

DATE DESCRIPTION

JWS JS JWS
DESIGN DRAWN CHKD

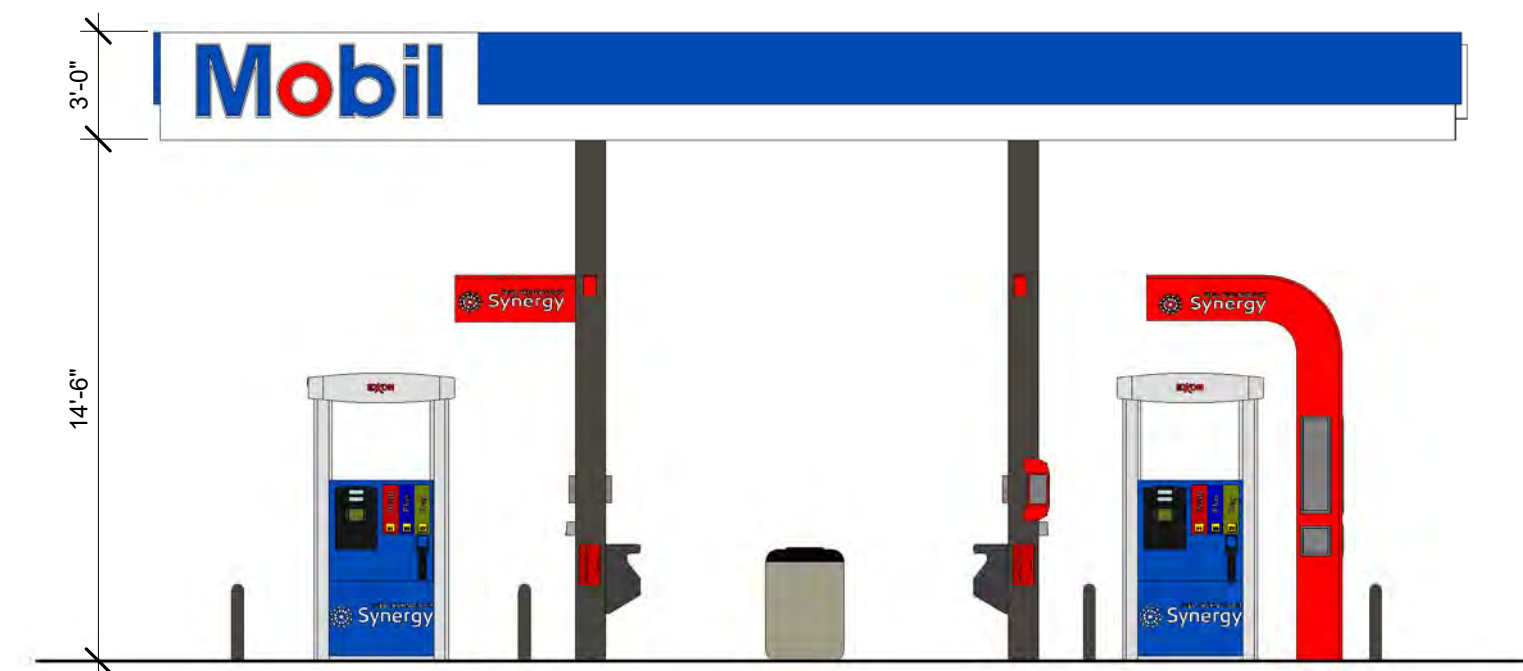
SCALE 1" = 20'

JOB No. BOWMAN / CDG
010083-02-141 / 17-0901

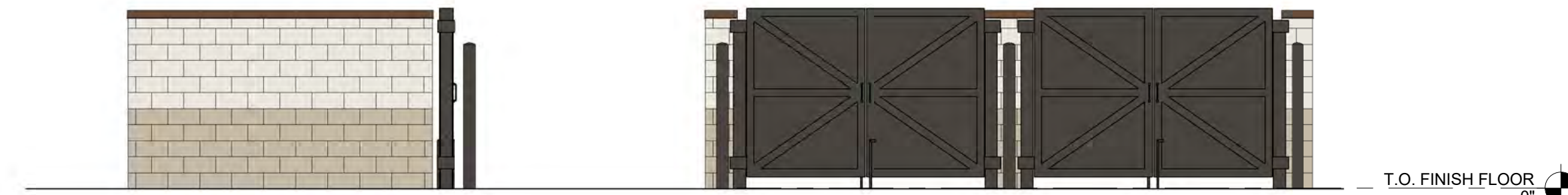
DATE 9/15/2017

FILE

SHEET L-2 OF 2



8 FUEL CANOPY - SHORT
R0.01 **3/16" = 1'-0"**



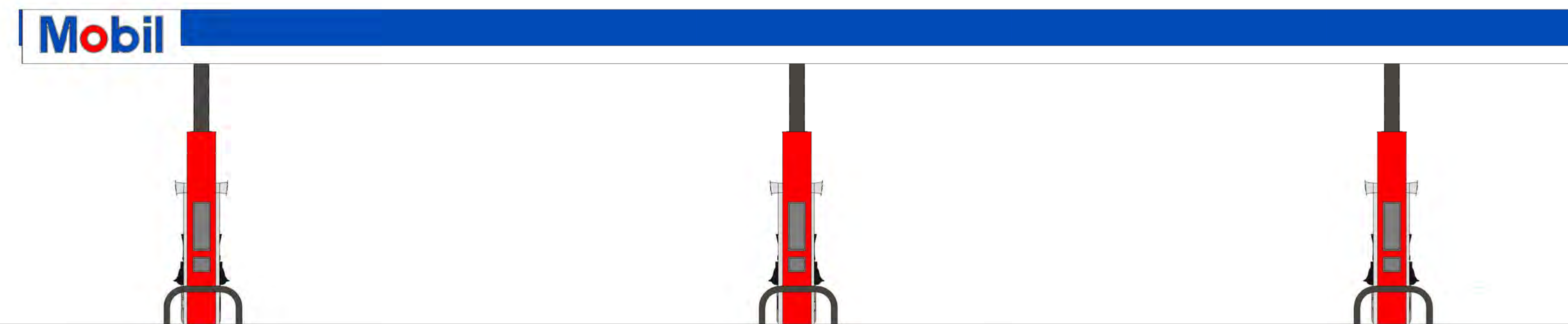
7 **DUMPSTER GATE ELEVATION**
3/16" = 1'-0"



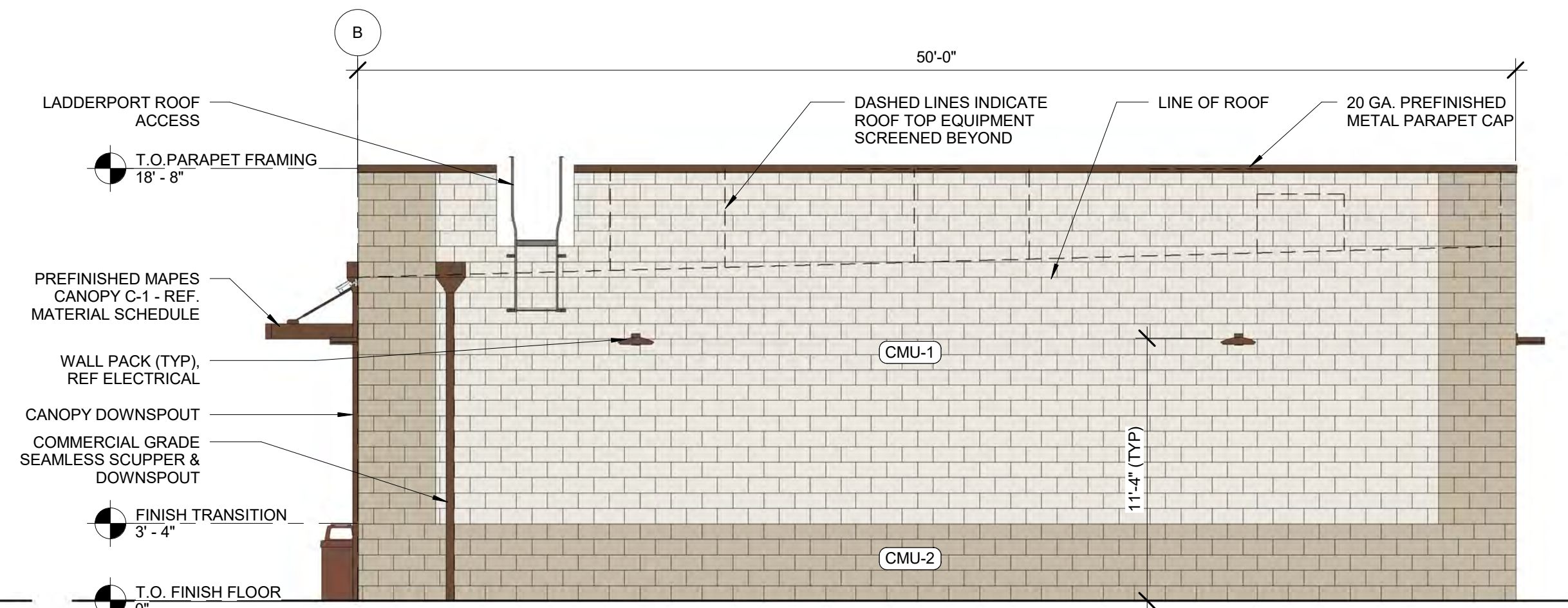
SPLITFACE CMU TO BE
PAINTED (SHERWIN
WILLIAMS - BALANCED
BEIGE - SW7037)

SPLITFACE CMU TO BE
PAINTED (SHERWIN
WILLIAMS - AESTHETIC
WHITE - SW 7035)

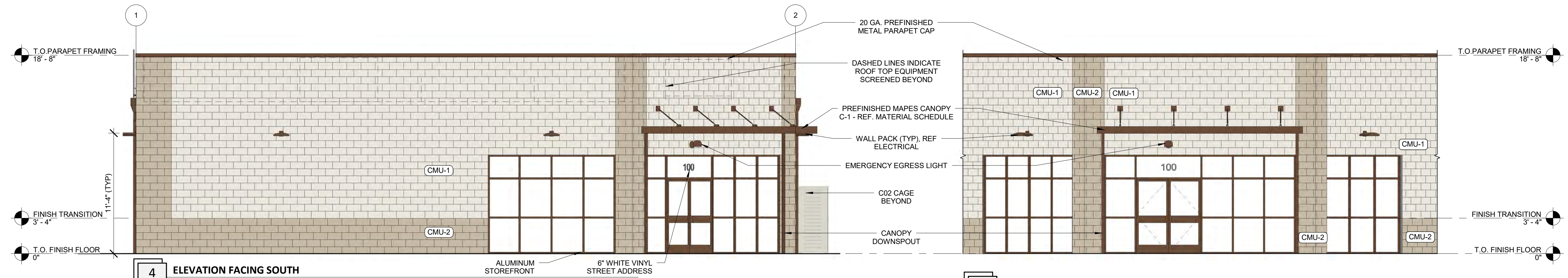
EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR - 1	MEMBRANE ROOFING	DUROLAST - WHITE
CMU-1	MASONRY BLOCK	SHERWIN WILLIAMS - AESTHETIC WHITE - SW 7035
CMU-2	MASONRY BLOCK	SHERWIN WILLIAMS - BALANCED BEIGE - SW 7037
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	KAWNEER - DARK BRONZE
C-1	PREFINISHED CANOPY	MAPES LUMISHADE CANOPY - BRAINSTORM BRONZE ENAMEL W/ REAR GUTTER CONNECTIONS



6 **FUEL CANOPY - LONG**
R0.01 **3/16" = 1'-0"**

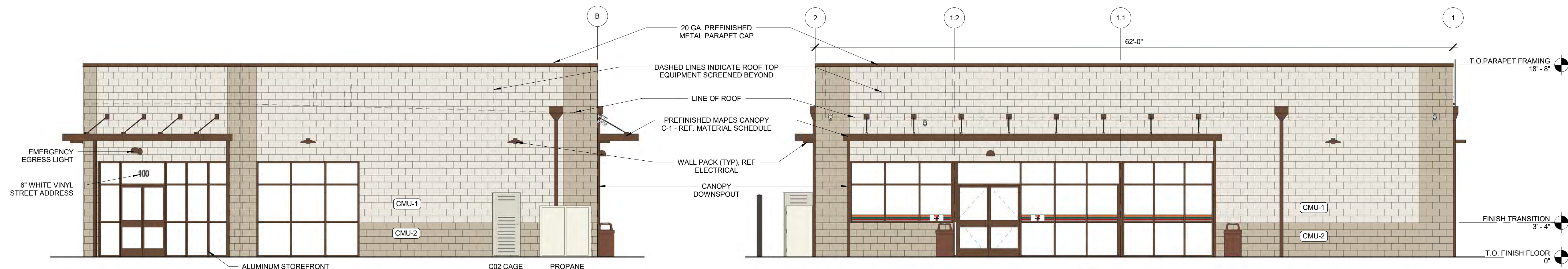


5 WEST ELEVATION
R0.01 $3/16" = 1'-0"$



4	ELEVATION FACING SOUTH
RO.01	3/16" = 1'-0"

3	ELEVATION FACING SOUTHEAST
R0.01	3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"

1 ELEVATION FACING - NORTH
3/16" = 1'-0"

