

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 8/4/17

Location Address: 1955 Tyler Street & 209 N. 20th Avenue

Lot(s): 1, 2, 3 Block(s): 23 Subdivision: Hollywood

Folio Number(s): 514215014040 & 514215014041

Zoning Classification: ND-3 Land Use Classification: RAC

Existing Property Use: Commercial Sq Ft/Number of Units: 15938

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): P.A.C.O.

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Technical Advisory Review of a three story office & retail building

Number of units/rooms: N/A Sq Ft: N/A

Value of Improvement: 2 million Estimated Date of Completion: July 2018

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Ezekiel Development, LLC

Address of Property Owner: 1235 Seagull Terrace Hollywood, FL

Telephone: 954-364-7437 Fax: 954-456-6582 Email Address: mezekiel@bfi-products.com

Name of Consultant/Representative/Tenant (circle one): Joseph B. Kaller

Address: 2417 Hollywood Blvd. Hollywood Telephone: 954-920-5746

Fax: 954-926-2841 Email Address: Joseph@kallerarchitects.com

Date of Purchase: 7/24/13 Is there an option to purchase the Property? Yes () No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: MP Ezekiel

Date: 8/4/17

PRINT NAME: Michael Ezekiel

Date: 8/4/17

Signature of Consultant/Representative: _____

Date: 8/4/17

PRINT NAME: Joseph B. Kauer

Date: 8/4/17

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

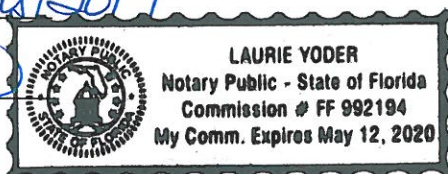
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Final TAC Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kauer to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 4th day of August 2017

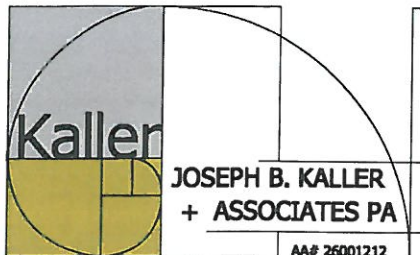
Notary Public
State of Florida



My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

MP Ezekiel
Signature of Current Owner

Michael Ezekiel
Print Name



architecture - interiors - planning

August 14, 2017

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33019

Reference: 1955 Tyler Street Mixed Use
Hollywood, Florida
Architect's Project #17093
TAC #17-DP-37

To Whom It May Concern:

The following are our responses to your Final Technical Advisory Comments for the above referenced Project.

A. APPLICATION SUBMITTALS – Deandrea Moise

1. All items have been provided as listed in the O&E Report.
2. The last warranty Deed listed in the O&E Book 50052 Page 864 shows Ezekiel Development LLC. Sunbiz.org page enclosed shows Michael Ezekiel as manager of the development company.
3. Dates on title sheet have been corrected.
4. ALTA Survey:
 - a. A 24x36 copy of the survey has been included in the submittals.
 - b. Zoning information removed.
 - c. Lot size now defined as net lot.
 - d. Survey now based on O&E Report and it is noted in Note #2.
 - e. Survey now signed and sealed.
5. Site Plan:
 - a. Dimensions and other elements now do not overlap.
 - b. ND-3 now shown throughout the plan in the notes.
 - c. 19th Avenue now corrected to say 20th Avenue.
6. Noted.
7. Landscape plans now included in this submittal.
8. Plans fully dimensioned including parking area.
9. The President and Sergeant at Arms of the Civic Association met in our office to review the project as August is a recess month for the Civic Association. They are

in full support of the project and will write a letter saying such. The President and Sergeant at Arms are Ken Crawford and Christina Corbo respectively.

10. Noted.

11. Noted.

B. ZONING – Deandrea Moise

1. Wall mounted mail boxes will be provided in the entry lobby on the first floor.
2. Parking stalls are fully dimensioned on sheet SP-1.
3. The parking stalls are dimensioned showing 16' in length with a 2'-0" overhang to make it 18' in total length x 8'-6" in width.
4. Column to parking stall now 36" back from entry to stall.
5. The stall width has been increased to 9'-6" wide.
6. The alley is one way west bound. The garbage truck would enter the alley at 19th Avenue and travel west to the trash room at the corner of 20th and the alley. The garbage truck would pull out the containers in front of it and dispose of the garbage without blocking 20th Avenue.
7. Active liners illustrated and calculated on new sheet A-7.
8. The retail/restaurant/market type are 2591 sq. ft., less than the 10,000 sq. ft. required for a loading space. The office/institutional type uses one 10,030 sq. ft., less than the 20,000 sq. ft. required for a loading space.
9. Net lot area now matches the ALTA survey.
10. All encroachments are now dimensioned on the site and floor plans.
11. Noted. Data has been checked and corrected.
12. The garage is screened solid at eye level. Openings in screen in other places (high and low) are required for ventilation. See screen detail on sheet SP-3.
13. An electric charging station has been added to parking space #11.

C. ARCHITECTURE & URBAN DESIGN – Deandrea Moise

1. Canopy has now been labeled concrete (15)
2. Decorative screen acts as a shading device for windows and will help with energy efficiency of AC units which is why it covers the glazing.
3. Materials have been provided in this submittal.

-Terrence Cominsky

1. Mailboxes now shown in the main first floor lobby.
2. The canopy is concrete. This is now called out in the elevations.
3. Third floor shrubbery removed.
4. Noted.
5. Noted. This will be discussed with client at a later date.
6. The reception counter will have to be ADA. This will be noted and detailed in the construction documents.

D. LANDSCAPING – Dale Bryant

1. No comments.

E. SIGNAGE – Deandrea Moise

1. Letter heights now differentiated.
2. This separate sign permit is noted on the plans. Sheet SP-3.

F. LIGHTING – Deandrea Moise

1. Substantially Compliant.

G. GREEN BUILDING – Deandrea Moise

1. Substantially Compliant.

H. ENVIRONMENTAL SUSTAINABILITY – Lindsey Nieratka

1. Cool roof, highly reflective pavement, and the charging station have all been added to the site plan (SP-1) and the floor plan (A-1) sheets.

I. UTILITIES – James Rusnak/Wilford Zephyr

1. Civil plans now submitted.

J. BUILDING – Philip Sauer

1. Substantially Compliant

K. ENGINEERING – Luis Lopez/Clarissa Ip

1. Street name revised.
2. Noted.
3. Columns are now 36" back from parking space entry.
4. Width of parking space adjacent to wall has been increased to 9.5 ft.
5. Minimum parking space length is 18' or 16' with 2' overhang as shown.
6. The parking detail on sheet SP-2 has been revised.
7. The text on sheet A-1 has been fixed.
8. Use for small retail space not yet known.
9. Pavement parking showing accessible route added.
10. Civil plans now included in submission.
11. Dropped curb indicated on plans.
12. Pavers are now only proposed within the boundaries of the site. Existing concrete sidewalk to remain until CRA proposed improvements finalized.

13. Existing light poles now on plans.
14. Existing on street parking plus the addition of one new space shown on site plan.
15. Mailbox bank shown in main entry lobby.
16. Noted.
17. Commercial space is 2591 sq. ft. Office space is 10,030 sq. ft. See new loading calculations.
18. Noted.
19. Noted.

L. FIRE – Janet Washburn

1. Fire flow testing has been scheduled and paid for. Calculations will be shown on civil drawings to meet 18.4.
2. Noted.
3. Fire department connection now shown on plans.
4. Note has been added to the civil plans.
5. Two way radio compliance noted on plans. Sheet SP-1.

M. COMMUNITY DEVELOPMENT – Clay Milan

1. Roof top canopy has now been described on elevation sheets.
2. The elevator does serve the third floor. It serves all floors.
3. Landscape plan and colored rendering now included in the submittal.

N. ECONOMIC DEVELOPMENT – Brian Rademacher

1. Retail #1 use is yet to be determined.
2. Building will not be designed to support additional floors as it will not have the parking required to support the additional square footage.

O. PARKS, RECREATION & CULTURAL ARTS – David Vasquez

1. No comments received.

P. POLICE DEPARTMENT – Christine Adamcik/Steven Bolger/Doreen Avitabile

1. No Comments Received.

Q. PUBLIC WORKS – Charles Lassiter/Karen Arndt

1. No comments received.

R. DOWNTOWN AND BEACH CRA – Jorge Camejo/Susan Goldberg

1. Substantially compliant.

S. PARKING – Harold King

1. Substantially Compliant.

T. ADDITIONAL COMMENTS – Deandrea Moise

1. Noted.

If you should have any questions concerning these comments, please feel free to contact our office.

Sincerely,
Joseph B. Kaller & Associates, P.A.

Michele Sherlock
Senior Associate

Tyler Street

Mixed Use
HOLLYWOOD FLORIDA

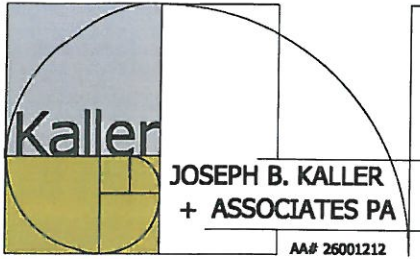
PROJECT INFO:

3 STORY MIXED USE COMMERCIAL
BUILDING

LEGAL DESCRIPTION

LOTS 1, 2 AND 3, ALL IN BLOCK 23,
LESS THE NORTH 43 FEET OF LOTS 1, 2
AND 3, BLOCK 23 OF HOLLYWOOD,
ACCORDING TO THE PLAT THEREOF,
RECORDED IN PLAT BOOK 1, PAGE 21, OF
THE PUBLIC RECORDS OF BROWARD
COUNTY, FLORIDA.

TOGETHER WITH THE NORTH 43 FEET OF
LOTS 1, 2 AND 3, BLOCK 23 OF
HOLLYWOOD, ACCORDING TO THE PLAT
THEREOF, RECORDED IN PLAT BOOK 1,
PAGE 21, OF THE PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA; ALSO KNOW
AS ALL OF LOTS 1, 2 AND 3, BLOCK 23
OF HOLLYWOOD, ACCORDING TO THE
PLAT THEREOF, RECORDED IN PLAT BOOK
1, PAGE 21, OF THE PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA.



architecture - interiors - planning

GENERAL CRITERIA STATEMENT
TYLER STREET MIXED USE
1955 TYLER STREET
17-DP-37
August 21, 2017

1. Architectural and Design Components. Architecture refers to the Architectural elements of exterior building surfaces. Architectural Details should be commensurate with the building mass. The use of traditional materials for new Architectural Details is recommended. Design of the Building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

Tyler Street Mixed Use is located at 1955 Tyler Street in the Downtown District of the City of Hollywood. It is sited on the northeast corner of Tyler Street and N. 20th Avenue.

The proposed Mixed Use Building is 3 stories in height with the Retail/Restaurant portion on the first floor and the Office portion on the two floors above. The Retail/Restaurant areas are accessed directly from the public right of way along Tyler Street and N. 20th Avenue, while the Offices are accessed through the Main Lobby on the first floor.

The first floor Retail/Restaurant bays have large storefronts that would attract both pedestrian and vehicular traffic to stop in. The Office floors are little more discreet with laser cut circular copper screening that acts as both a privacy barrier and a shading device. Occupants on the second floor are able to see out on to the street while outside cannot easily see inside. The third floor is set back allowing for outdoor areas where meetings, lunch, or other activities can take advantage of nice Florida days.

The style of architecture is Modern. These are clean lines, glass railings, large windows, concrete canopies, and laser cut metal panels that wrap the second floor. There is a play on volumes, with them placed at different elevations in order to evoke movement and interest. As the sun travels, so will interesting shadows dance across the façade.

The paint and awning colors are bold but also inviting. It beckons passersby's to come in and see what's happening here.

2. Compatibility. The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

The surrounding structures range in size and scale from small to large. The architectural styles are from Mediterranean Revival to Modern. The common thread that binds all these sizes and styles are the presence of prominent storefronts that are on the first floor lining the street.

The storefront is the main characteristic of a downtown district. It tells the public that this is an area open and ready to invite people in. Awnings, canopies, and eyebrows shade these storefronts as well as the sidewalk all along the street.

3. Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings. Architectural details included, but are not limited to, banding, molding and fenestration.

The scale of the proposed Mixed Use Building is low, and although wider than the building directly adjacent to it, it is broken up, pushed back and pulled forward, to give the appearance of being a series of smaller buildings together. The scale is extremely pedestrian friendly as there is a connection to the street at every level.

4. Landscaping. Landscaped area should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

In an urban setting, landscaping and the built environment are two separate parts of the choreography of a dance or composition of a song. The placement of trees is almost always in a rhythmical pattern, accentuating the entries to the buildings, shading outdoor seating on the sidewalks and framing specific architectural elements of a building. In the dance, planters along the base of buildings and flora entwined in trellises and overhangs softened the hard edges of walls, parapets, and balconies. These two elements are always in close proximity, relying on each other to create special and memorable spaces.

The Tyler Street Mixed Use project uses all of the elements described above to enhance the quality of the project.

Tyler Street

Mixed Use

HOLLYWOOD

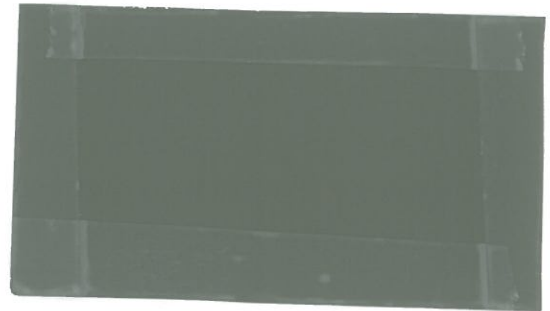
FLORIDA

main building color

benjamin moore OC-130
cloud white

accent color

benjamin moore 1490
country life



canvas awning

sunbrella
ginko



lazer cut screen

powder coated copper



Tyler Street

Mixed Use

HOLLYWOOD

FLORIDA



railing

white storefront framing



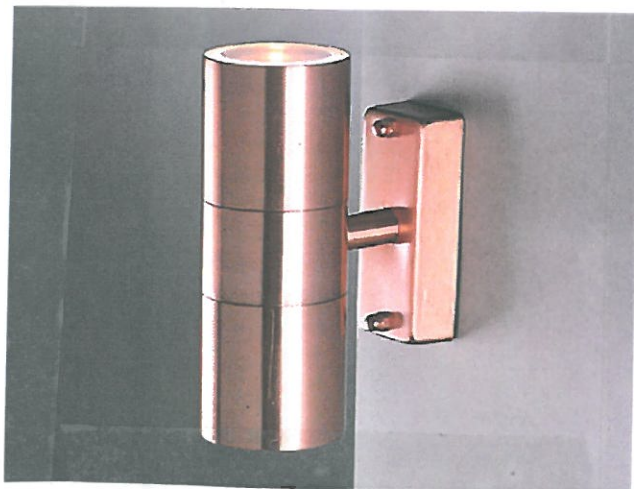
Tyler Street

Mixed Use
HOLLYWOOD FLORIDA

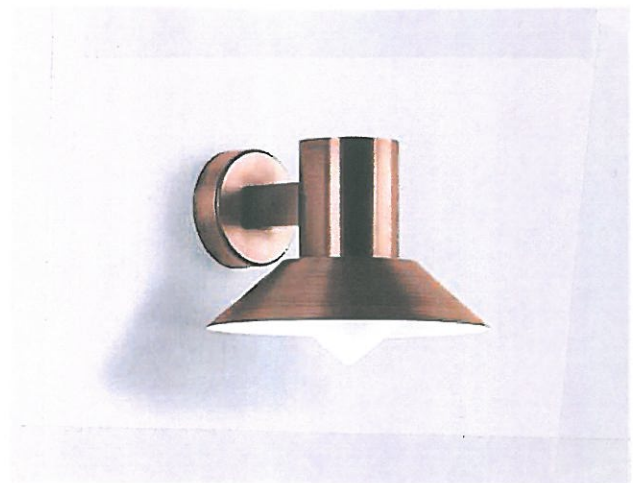
"bronze" horizontal
metal tube screening



sconce



sconce





2001 TYLER ST.
(WEST OF SITE)



950 POLK ST.
(NORTH OF SITE)



123 N 20TH AVE
(SOUTH OF SITE)



20TH & TYLER ST LOOKING
SOUTH WEST



20TH & TYLER LOOKING
SOUTH EAST



(EAST OF SITE)

1939 TYLER ST.



1943 TYLER ST
(EAST OF SITE)

TYLER STREET MIXED USE

1955 TYLER STREET AND 209 N. 20TH AVE.

HOLLYWOOD FLORIDA



P.A.C.O. - JULY 10, 2017
PRELIMINARY T.A.C. MEETING - JULY 31, 2017
FINAL T.A.C. MEETING - SEPTEMBER 5, 2017

PROJECT DATA

CODES:
FLORIDA BUILDING CODE, 5TH EDITION 2014
5TH EDITION FLORIDA FIRE PREVENTION CODE, 2016 BROWARD FIRE AMENDMENTS
FLORIDA ADMINISTRATIVE CODE 63A-40

JURISDICTION:
CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

PROJECT TEAM

ARCHITECT
JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR. JOSEPH B. KALLER
ADDRESS: 2411 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
PHONE: (954) 920-5746
FAX: (954) 926-2841
EMAIL: josephkallerarchitects.com

OWNER
EZEKIEL DEVELOPMENT LLC
CONTACT: MICHAEL EZEKIEL
ADDRESS: 1235 SEAGULL TERRACE
HOLLYWOOD, FL 33019
TEL: (954) 364-1431
EMAIL: mezekiel@b7productsinc.com

SURVEYOR
COUSINS SURVEYORS AND ASSOCIATES, INC.
CONTACT: RICHARD COUSINS
ADDRESS: 3921 SW 4TH AVENUE, SUITE 1011
DAVIE, FL 33314
PHONE: (954) 690-9885
EMAIL: RECSurvey@aol.com

LANDSCAPE ARCHITECT
TONNING AND ASSOCIATES INC.
CONTACT: WAYNE TONNING
199 JEFFREY STREET
BOCA RATON, FL 33481
PHONE: (561) 414-9269
FAX: (561) 892-9911
EMAIL: tonningr@aol.com

CIVIL ENGINEER
CHARLES O. BUCKALEW
CONTACT: CHARLES O. BUCKALEW
801 SOUTH OCEAN DR. SUITE 201
HOLLYWOOD, FL 33019
PHONE: (954) 921-0561
CELL: (954) 558-189

DRAWING INDEX

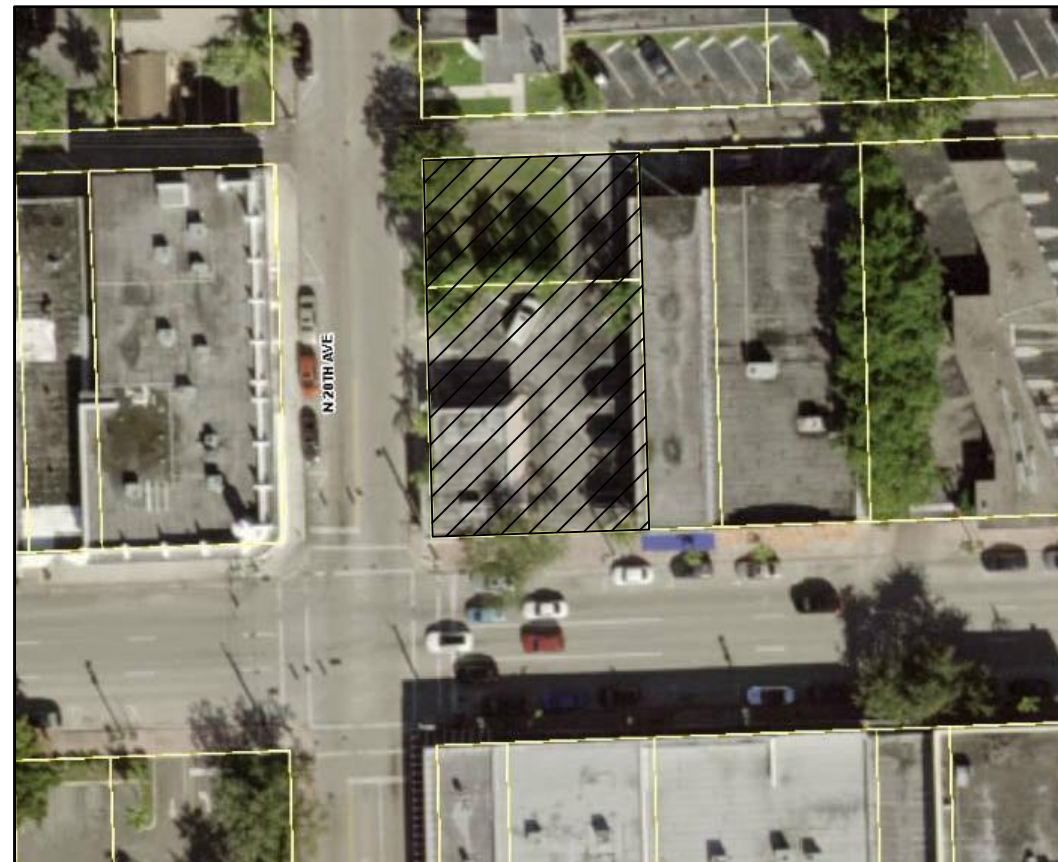
- T-1 COVER SHEET
- SURVEY**
- SP-1 SITE PLAN AND SITE DATA
 - SP-2 SITE DETAILS
 - SP-3 SIGN DETAILS AND CONTEXTUAL STREET ELEVATIONS
- C-**
- C-1 PAVING & DRAINAGE AND WATER & SEWER PLANS
 - C-2 CONSTRUCTION DETAILS
 - C-3 CONSTRUCTION DETAILS
 - EC-1 EROSION CONTROL PLAN
- LP-**
- LP-1 LANDSCAPE PLAN - FIRST FLOOR
 - LP-2 LANDSCAPE PLAN - THIRD FLOOR
- A-**
- A-1 FIRST FLOOR PLAN
 - A-2 SECOND FLOOR PLAN
 - A-3 THIRD FLOOR PLAN
 - A-4 ROOF PLAN
 - A-5 BUILDING ELEVATIONS
 - A-6 BUILDING ELEVATIONS
 - A-7 ACTIVE LINER DIAGRAMS

LOCATION MAP

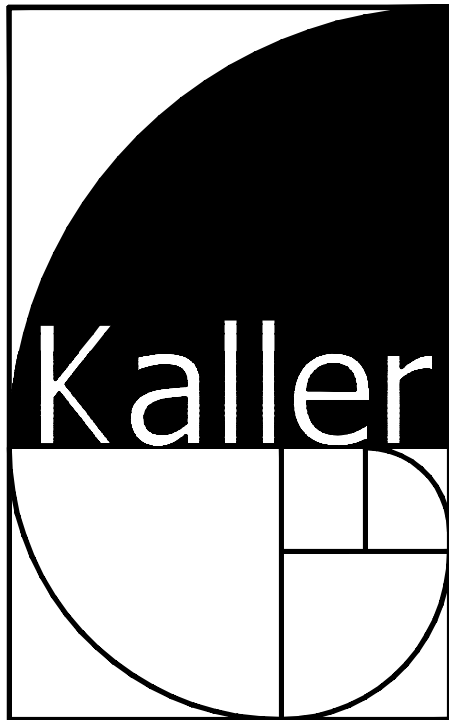


SITE

AERIAL



SITE



JOSEPH B. KALLER
+
ASSOCIATES PA
AIA 28801212
2417 Hollywood Blvd. Hollywood, Florida 33020
(954) 920 5746 phone - (954) 926 2841 fax
kaller@buckalew.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0007239

PROJECT TITLE
TYLER STREET MIXED USE
1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE
TITLE PAGE
FINAL TAC

REVISIONS		
No.	DATE	DESCRIPTION
1	8-10-17	PRELIM TAC
2		

This drawing, as an instrument of service, is not shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

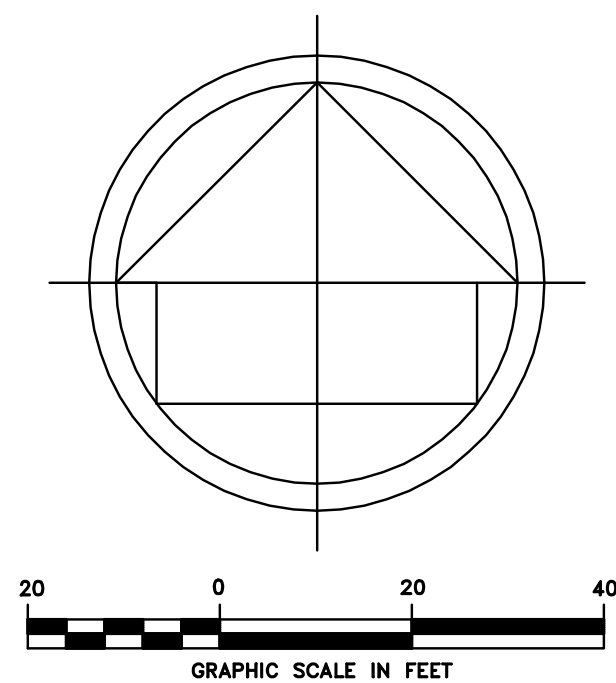
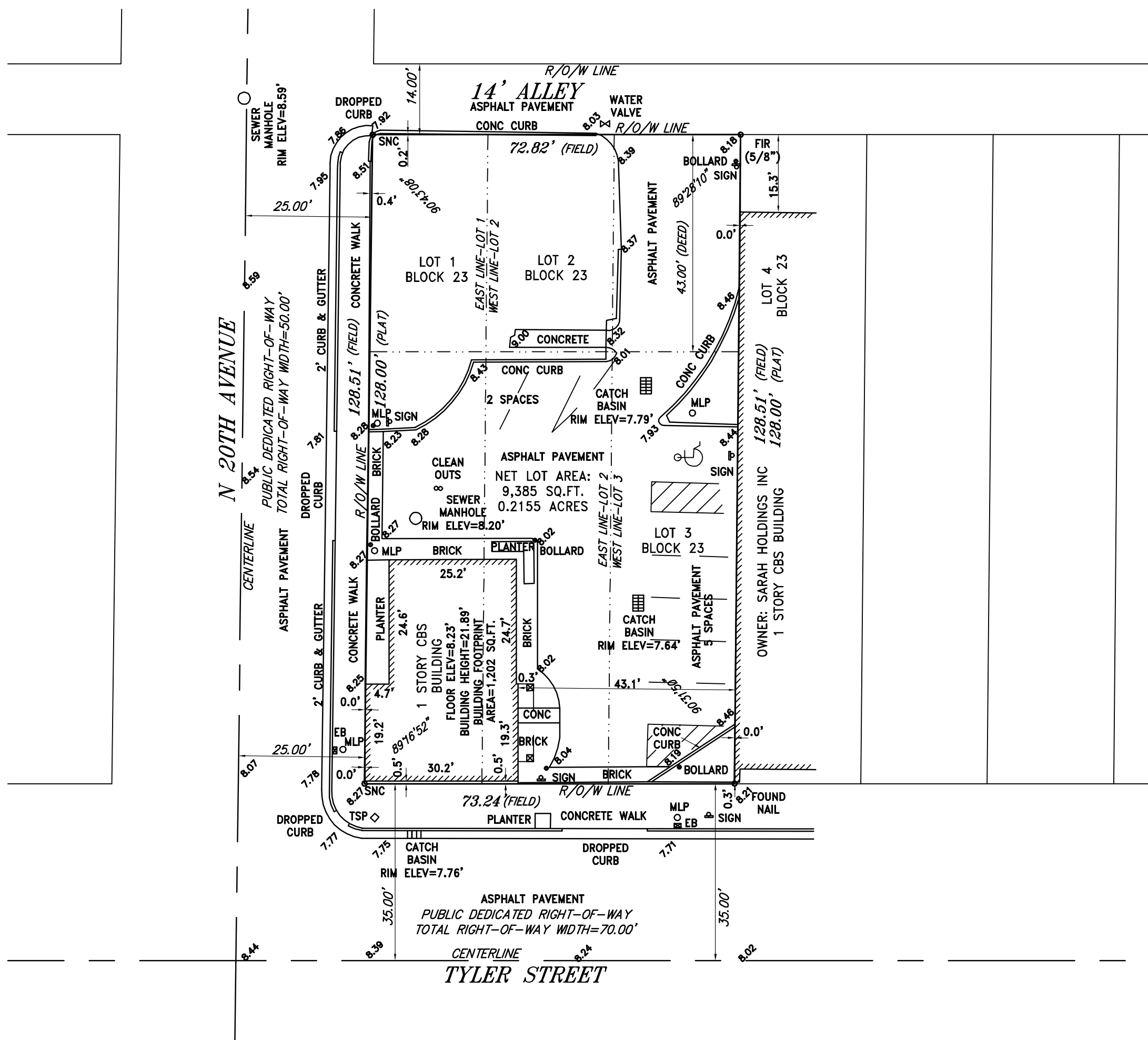
PROJECT No.: 17093
DATE: 7-11-17
DRAWN BY: THS
CHECKED BY: JMK

SHEET

T-1

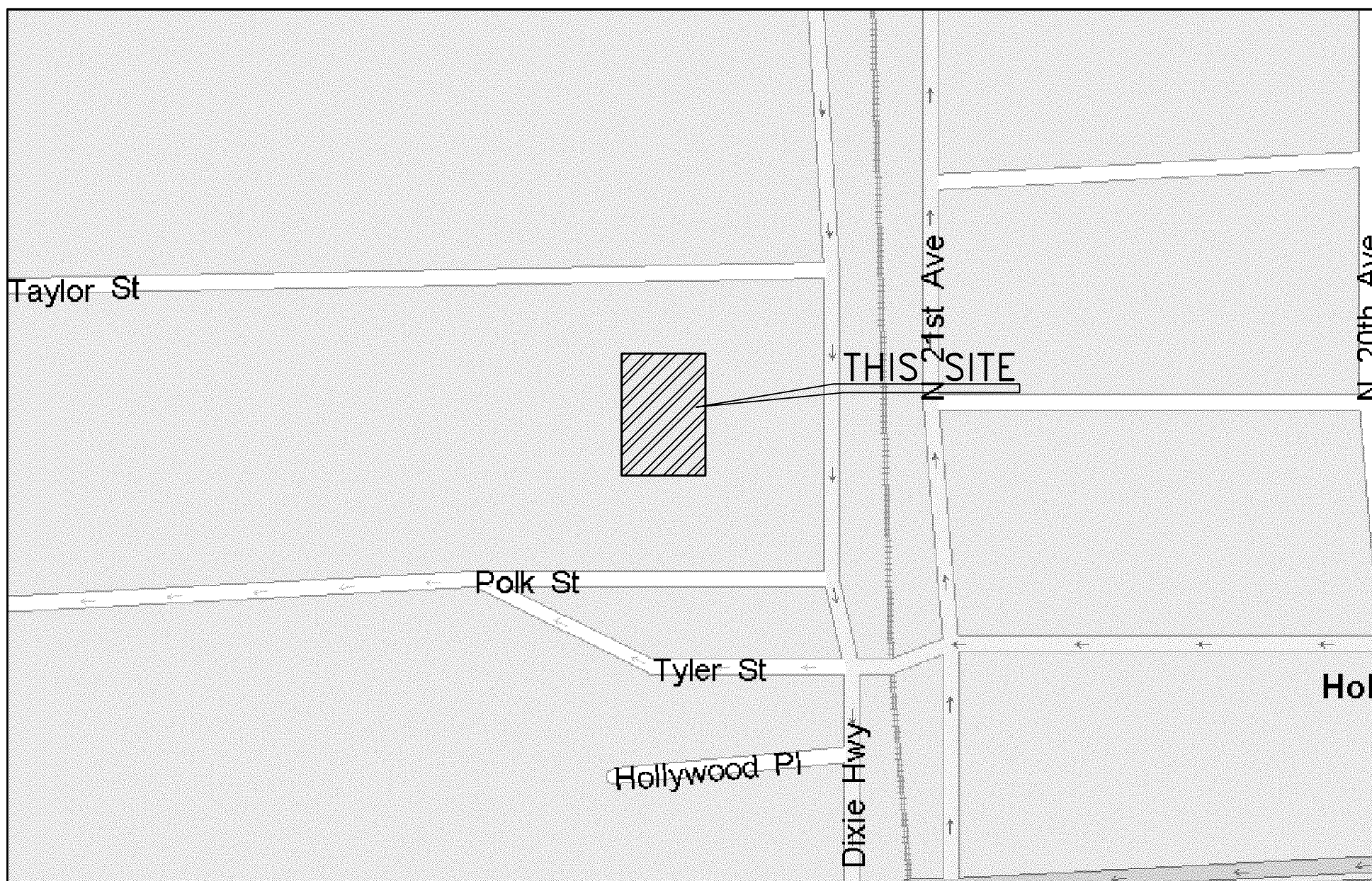
1 OF 3

ALTA/NSPS LAND TITLE SURVEY

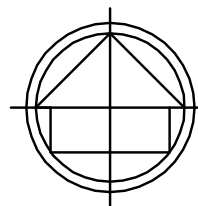


LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
FND	FOUND NAIL & DISC
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
CBS	CONCRETE BLOCK STRUCTURE
-X-	CHAIN LINK/ WOOD FENCE
-E-	OVERHEAD UTILITY LINE
MLP	METAL LIGHT POLE
WM	WATER METER
MLP	METAL LIGHT POLE
EB	ELECTRIC BOX
TSP	TRAFFIC SIGNAL POLE
TSB	TRAFFIC SIGNAL BOX
WPP	WOOD POWER POLE
FDH	FOUND DRILL HOLE
A/C	AIR CONDITIONER
FDH	FOUND DRILL HOLE
R/W	RIGHT OF WAY
TOP	TOP OF PIPE
D.B.	DEED BOOK
L.W.D.D.	LAKE WORTH DRAINAGE DISTRICT
PRM	PERMANENT REFERENCE MONUMENT
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIATY OF PROFESSIONAL SURVEYORS
ORB	OFFICIAL RECORDS BOOK



LOCATION MAP (NTS)



FLOOD ZONE INFORMATION

COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	0.2PCT
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON TITLE SEARCH REPORT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY. EFFECTIVE DATE: FROM SEPTEMBER 14, 1921 (PLAT RECORDING) THROUGH JULY 11, 2017 FATC FILE #: 1062-3807982, CUSTOMER FILE #: EZEKIEL DEVELOPMENT LLC
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
- BENCHMARK REFERENCE: CITY OF HOLLYWOOD BENCHMARK AT JEFFERSON STREET & 16TH AVENUE, ELEVATION=4.19' (NAV88)

EXCEPTIONS:

ALL MATTERS PER PLAT BOOK 1, PAGE 21, B.C.R.

LAND DESCRIPTION:

ALL OF LOTS 1, 2 AND 3, ALL IN BLOCK 23, LESS THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

TOGETHER WITH THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

ALSO KNOWN AS ALL OF LOTS 1, 2, AND 3, BLOCK 23 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

CERTIFIED TO:

EZEKIEL DEVELOPMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY
FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 7(A), 7(B), 7(C), 8, 9, 11, 13, 14, 16, 17, 18, 19 (NONE DISCLOSED) AND 20 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON JULY 13, 2017.

FOR THE FIRM BY:

Richard E. Cousins

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :

EZEKIEL DEVELOPMENT LLC

209 N 20TH AVENUE, 1955 TYLER STREET
HOLLYWOOD, FLORIDA

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	07/13/17	SKETCH	AM	REC
REVISED TO REFLECT TITLE SEARCH REPORT	07/17/17	-----	JD	REC

REVISIONS	DATE	FB/PG	DWN	CKD

PROJECT NUMBER : 8420-17

SCALE : 1" = 20'

SHEET

1

OF

1

SHEET

GREEN BUILDING PRACTICES
FROM CITY OF HOLLYWOOD ORDINANCE 10-2011-026

(1) CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
(2) RADIANT BARRIER - ENERGY STAR QUALIFIED
(4) ENERGY EFFICIENT LOW E WINDOWS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
(5) ENERGY EFFICIENT DOORS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
(8) PROGRAMMABLE THERMOSTATS
(9) OCCUPANCY / VACANCY SENSORS
(14) DUAL FLUSH TOILETS
(16) 80% OF PLANTS AND TREES PER SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS
(17) ALL ENERGY EFFICIENT OUTDOOR LIGHTING (SHIELDED)
(18) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THAN STANDARD ESTABLISHED BY ASHRAE
(20) ALL HOT WATER PIPES INSULATED
(21) MEV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT.

ADDITIONAL PRACTICES

1. POLYURETHANE FOAM BASED CLOSED CELL SPRAY INSULATION
2. ELECTRIC VEHICLE-CHARGING-STATION
3. COOL ROOF
4. HIGHLY REFLECTIVE PAVEMENT

ORDINANCE 2016-02
The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle-charging station within be included in such project. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate or a fully functional electric vehicle-charging station.

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE ND-3 ZONING DISTRICT.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

TWO WAY RADIO COMPLIANCE:
BUILDING WILL BE IN COMPLIANCE WITH NFPA 1, 110 AND BROWARD COUNTY CODE AMENDMENT 182 FOR TWO WAY RADIO COMMUNICATION.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.
EXTERNAL LIGHTS TO BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FPPC 2016 BROWARD AMENDMENTS, NFPA 101 SECTION 383.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

UNITY OF TITLE:
A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

CITY OF HOLLYWOOD CODE OF ORDINANCES
TITLE XV 15450 BUILDINGS AND STRUCTURES
Section (C) (1) (b)
Nonresidential buildings. New construction and substantial improvement of nonresidential buildings shall have the lowest floor, including basement, elevated or dry floodproofed to or above the elevation required in the Florida Building Code, Building or at least six inches above the highest point of the crown of all streets adjacent to the plot upon which such buildings are located or in accordance with a system or method of design admitting of rational analysis in accordance with well-established principles of mechanics and sound engineering practices as determined by the Director, Public Utilities.

DRY FLOOD PROOFING:
REQUIRE FLOOR ELEVATION TO BE EQUAL TO 6' ABOVE THE HIGHEST CROWN OF THE ROAD
ELEVATION = 8.59' + 0.5' = 9.09' NAVD

PROVIDED FLOOR ELEVATION = 8.10' NAVD

PROVIDE DRY FLOOD PROOFING UP 5' ABOVE PROPOSED F.F.E.

SITE DATA

LEGAL DESCRIPTION

LOTS 1, 2 AND 3, ALL IN BLOCK 23, LESS THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
TOGETHER WITH THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; ALSO KNOWN AS ALL OF LOTS 1, 2 AND 3, BLOCK 23 OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESSES

1955 TYLER STREET AND 209 N 20TH AVE
HOLLYWOOD, FL 33020

SITE INFORMATION

EXISTING ZONING:	NORTH DOWNTOWN HIGH INTENSITY MIXED USE DISTRICT (ND-3)	
LAND USE DESIGNATION:	REGIONAL ACTIVITY CENTER	
NET LOT AREA:	9,385.0 SQUARE FEET	
FAR:	3.00	
	ALLOWED	PROVIDED
BUILDABLE AREA:	28,155.0 SF	14,378.0 SF
COMMERCIAL USE:	RETAIL OFFICES	2591 SF 10,030 SF
PARKING:	REQUIRED	PROVIDED
COMMERCIAL 1ST AND 2ND FLOORS	0 SPACES	0 SPACES
ND-3 DISTRICT 3RD FLOOR	11 SPACES	11 SPACES
TOTAL	= 11 SPACES	11 SPACES
LOADING:	REQUIRED	PROVIDED
RETAIL/ MARKET (2591 SF)	NOT REQ. LESS THAN 10,000 SF	0 SPACE
OFFICES (10,030 SF)	NOT REQ. LESS THAN 20,000 SF	0 SPACES

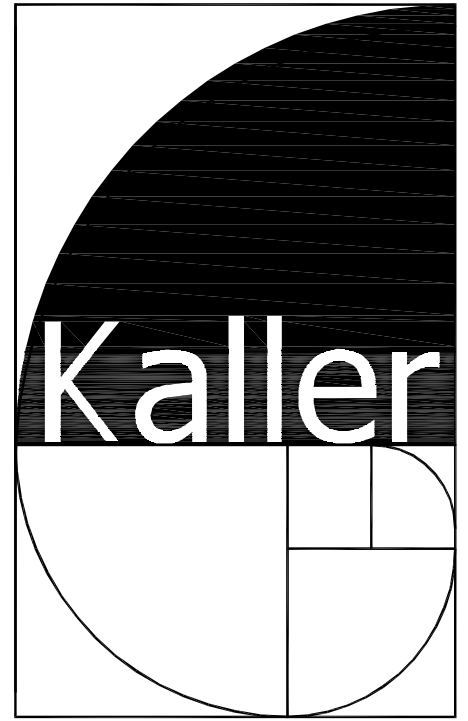
SETBACKS:	REQUIRED	PROVIDED
	BASE (<55')	BASE (<55')
(a) FRONTAGE (TYLER ST)	10'-0" C	10'-0" C
(b) FRONTAGE (20TH AVE)	10'-0" C	10'-0" C
(c) SIDE INTERIOR (EAST)	0'-0"	0'-0"
(d) ALLEY	5'-0"	5'-0"

BUILDING SUMMARY

BUILDING HEIGHT:	ALLOWED	PROVIDED
	10 STORIES/ 140'-0"	3 STORIES/ 39'-0"
GROSS BUILDING AREA:	INTERIOR	TERRACES TOTAL
FIRST FLOOR	2903	
SECOND FLOOR	6726	143
THIRD FLOOR	4207	1959
TOTAL	13836	2102 15938

AREAS

	SPACE	AREA		GROSS AREA		AREA NOT INCL.
		AC	NON AC	AC	NON AC	
1ST FL	COMMERCIAL -RETAIL	2049		2521	382	3576
	RESIDENTIAL LOBBY	288				
	TRASH ROOM	149				
	MECH ROOM	35				
	STAIRWELLS		308			
	ELEVATOR		74			
2ND FL	GARAGE		3576	6344	525	
	COMMERCIAL -OFFICE	6344				
	STAIRWELLS		308			
	ELEVATOR		74			
3RD FL	TERRACE		143	3825	2341	
	OFFICE SUITES	3686				
	STAIRWELLS		308			
	ELEVATOR		74			
	RESTROOMS	139		1959		
	TERRACES					
TOTAL GROSS AREA				12690	3248	
				15938 SF		



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kaller@bellsouth.net

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
TYLER STREET MIXED USE
1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE
SITE PLAN AND DATA
PRELIM. TAC

REVISIONS

No.	DATE	DESCRIPTION
1		
2		

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PROJECT No.: 17093
DATE: 7-11-17
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

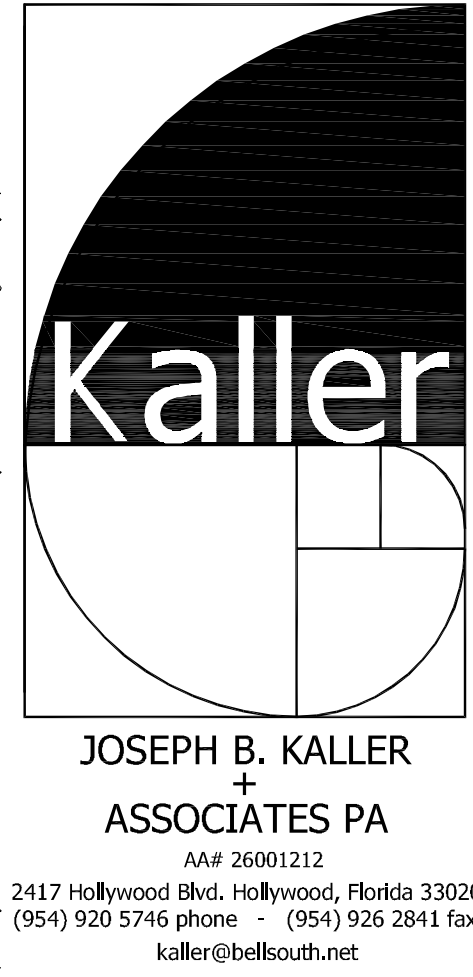
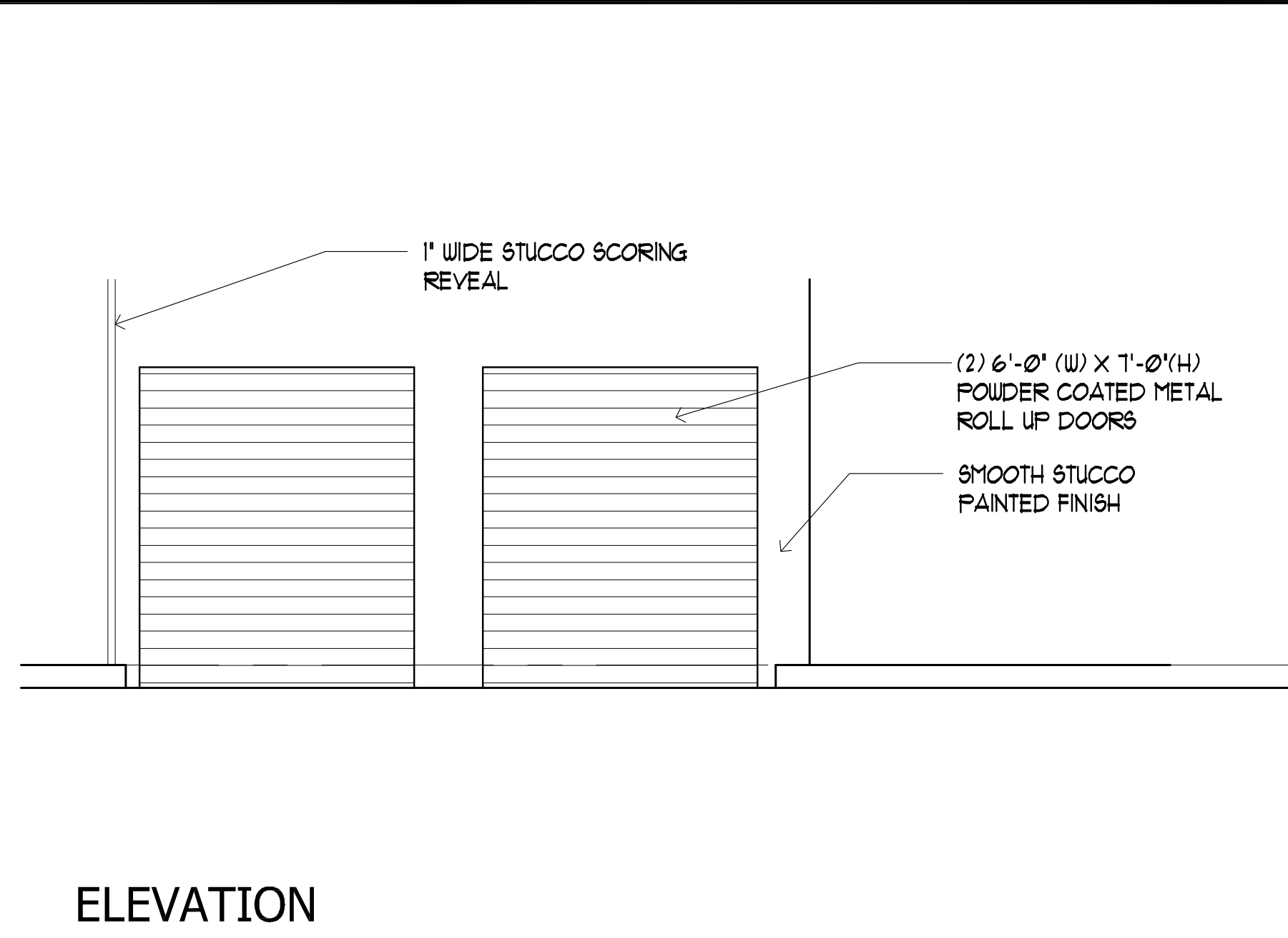
SP-1

1 SITE PLAN

SCALE: 1/8" = 1'-0"

PUBLIC DEDICATED RIGHT-OF-WAY
TOTAL RIGHT-OF-WAY WIDTH=50.00'





JOSEPH B. KALLER
FLORIDA B.A. # 0000020

JOSEPH B. KALLER
FLORIDA B.A. # 0000020

TYLER STREET MIXED USE
1955 TYLER STREET
209 N 20TH AVE
HOLLYWOOD FL 33020

SITE DETAILS
FINAL TAC

PROJECT TITLE

SHEET TITLE

No.	DATE	DESCRIPTION
<u>1</u>	<u>8-10-17</u>	<u>PRELIM TAC</u>
<u>2</u>		

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CHECKED BY: JBK

SHEET

SP-2

2 OF 3

(NTS)

ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH FOLLOWING:

SLOPE AND RISE

THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN.

CLEAR WIDTH

1. MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44" CLEAR
2. RAMP THAT ARE PART OF A REQUIRED MEANS OF EGRESS SHALL BE NOT LESS THAN 44 INCHES CLEAR

LANDINGS

RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN.

RAMPS SHALL HAVE THE FOLLOWING FEATURES:

1. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
2. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES
3. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY WITH ACCESSIBILITY 200

HANDRAILS

IF A RAMP RUN HAS A RISE GREATER THAN 6 IN OR A HORIZONTAL PROJECTION GREATER THAN 12 IN THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS OR ADJUNCT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 426 OF THE ADA CODE OR SHALL HAVE THE FOLLOWING FEATURES:

1. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS, INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMP SHALL ALWAYS BE CONTINUOUS.
2. HANDRAILS ON RAMPS WHICH ARE NOT CONTINUOUS SHALL EXTEND NOT LESS THAN 18" BEFORE THE SLOPED SEGMENT AND 18" AFTER THE SLOPED SEGMENT.
3. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2 INCH
4. GRIPPING SURFACES SHALL BE CONTINUOUS.
5. TOP OF HANDRAIL GRIPPING SURFACES SHALL BE MOUNTED BETWEEN 34 IN AND 38 IN ABOVE RAMP SURFACES.
6. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST
7. HANDRAILS SHALL NOT ROTATE WITH THEIR FITTINGS.

CROSS SLOPE SURFACES

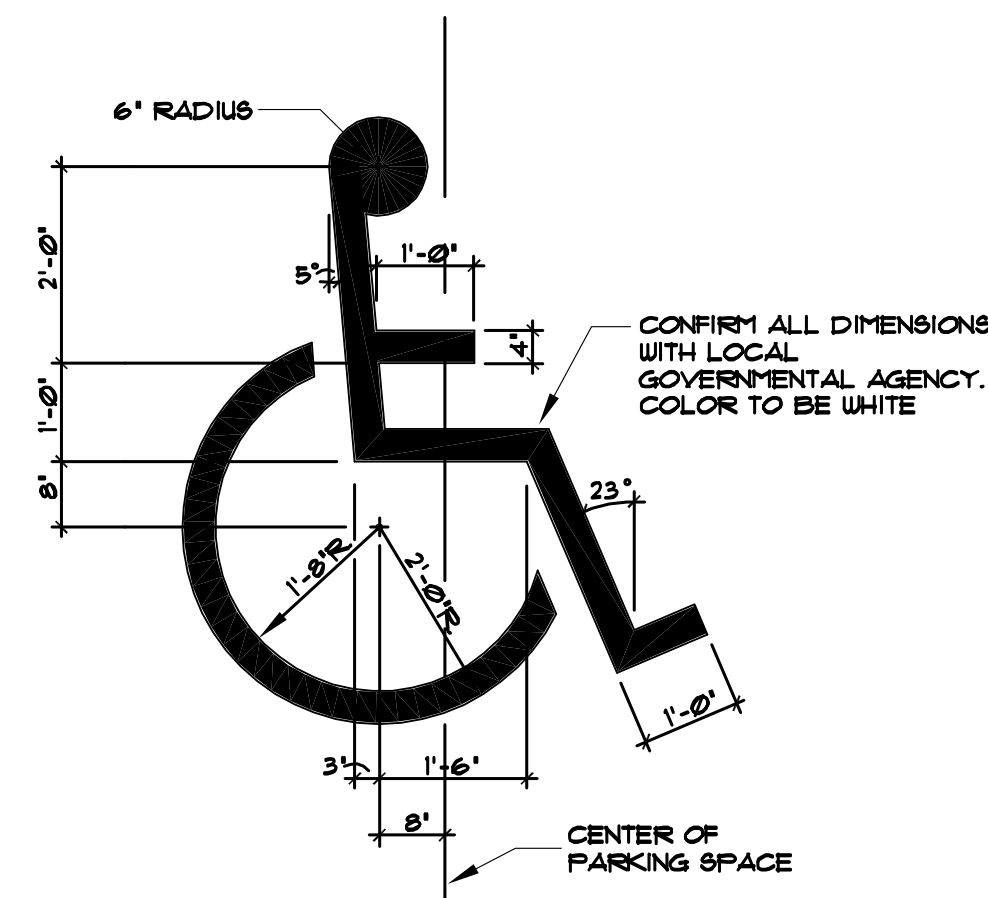
THE CROSS SLOPE OR RAMP SURFACES SHALL BE NO GREATER THAN 1:50. RAMP SURFACES SHALL COMPLY WITH CHAPTER 4 OF IFBC 200 ACCESSIBILITY CODE.

EDGE PROTECTION

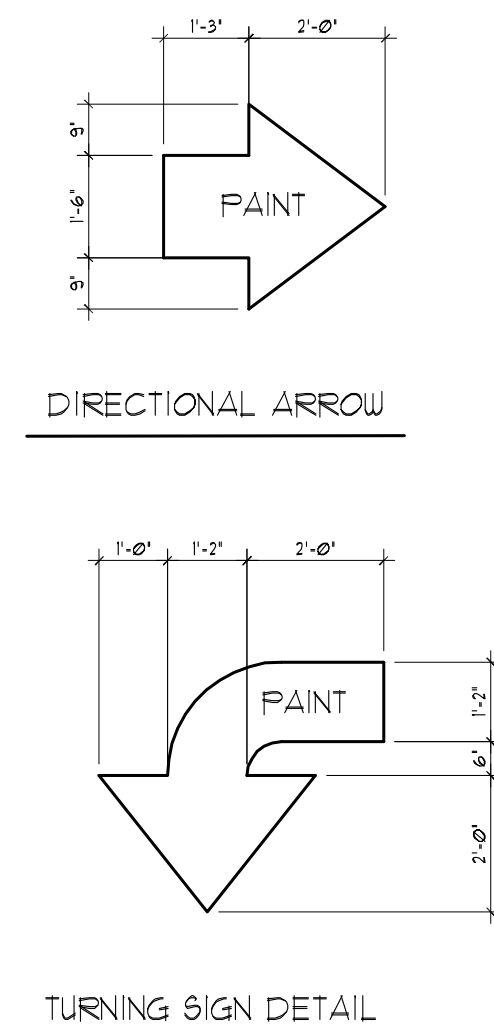
RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS OR GRIPPING SURFACES THAT PREVENT PEOPLE FROM FALLING OFF THE RAMP. CURBS SHALL BE A MINIMUM OF 2 IN IN HIGH.

OUTDOOR CONDITIONS

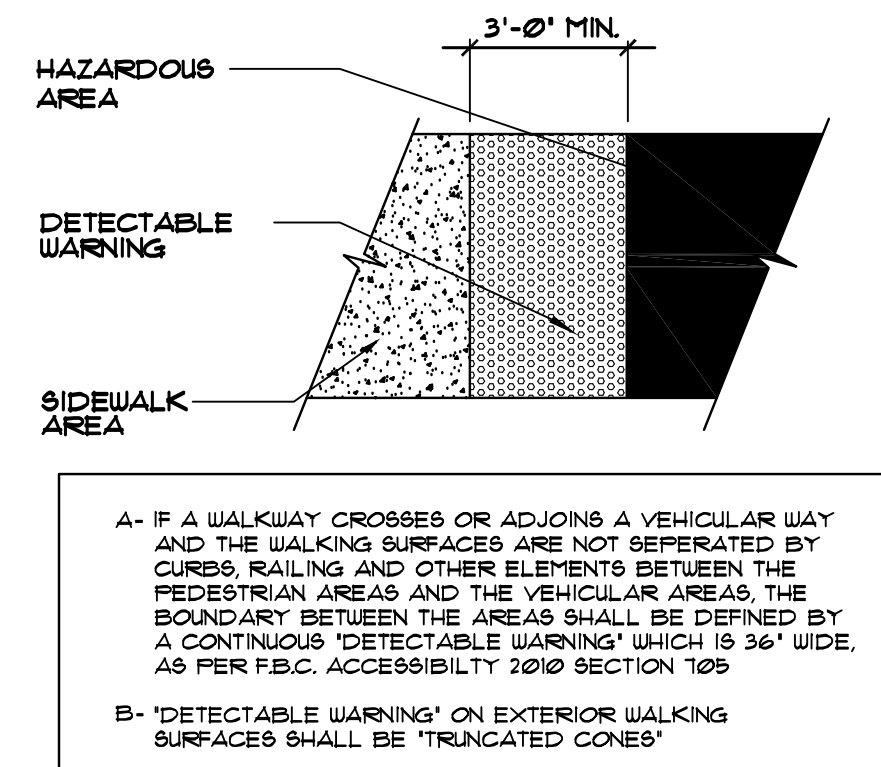
OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.



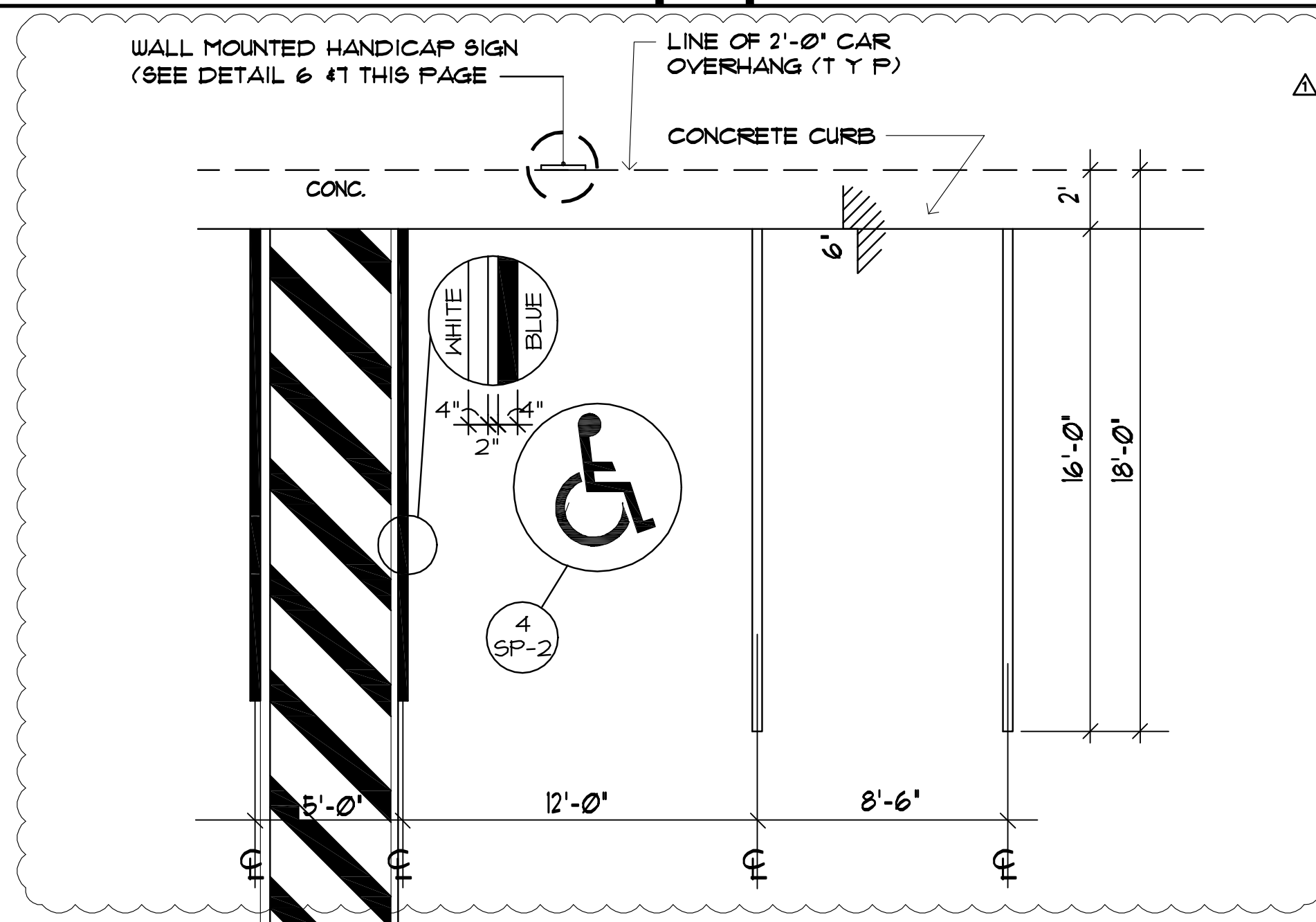
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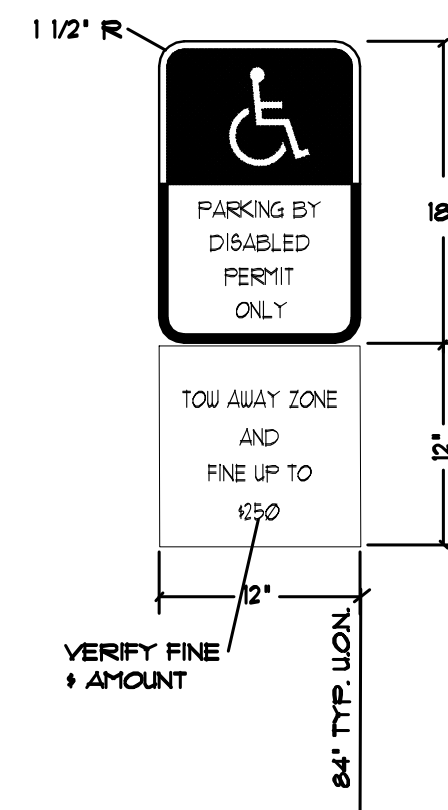
NOTE: SEE CIVIL ENGINEER'S DRAWINGS FOR ADDITIONAL 'DIRECTIONAL' DRIVEWAY PAVING DETAILS.



TYP. TYPE D CONCRETE CURB



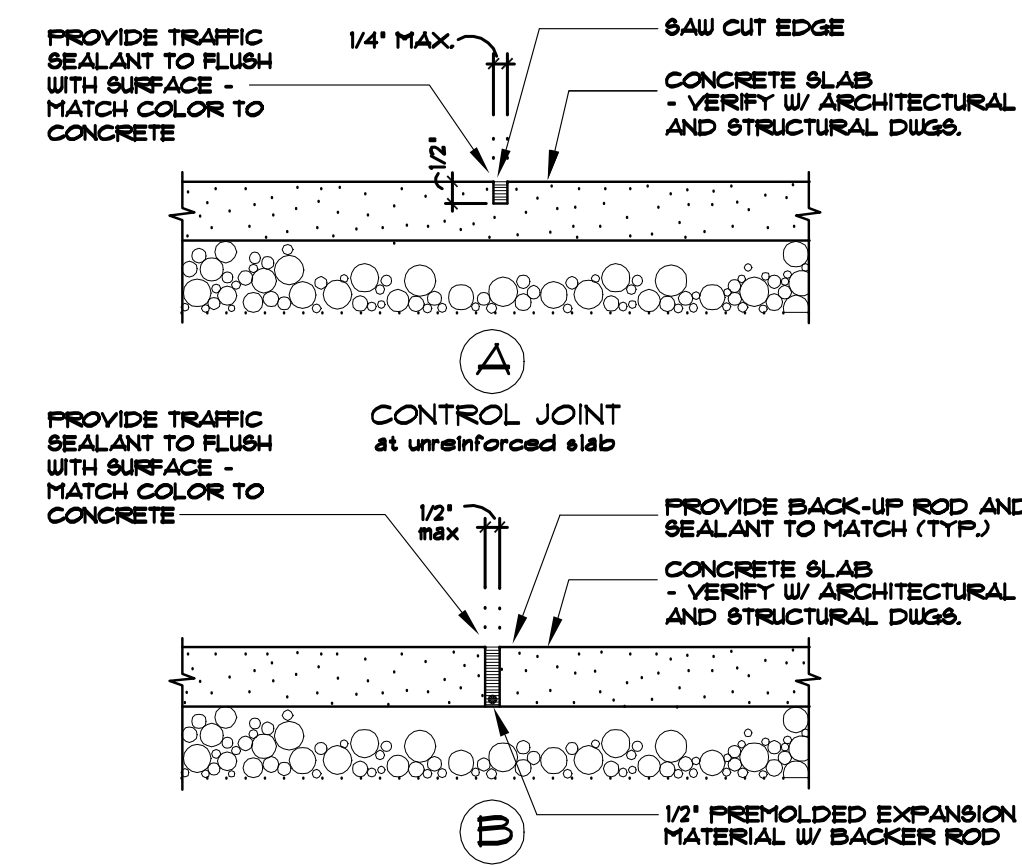
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NOTES:

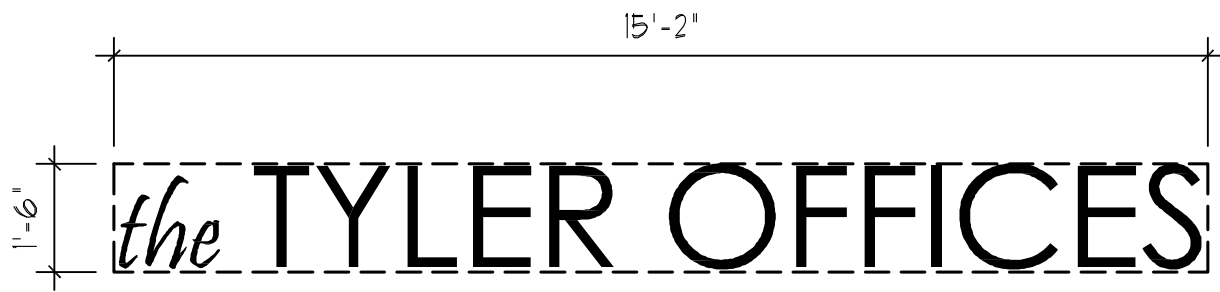
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER
3. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6' FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 3'-0" CLEAR IF MOUNTED ON POST. WHERE SIGN IS MOUNTED ON BLDG, SIGN SHALL BE MOUNTED ON BUILDING WALL AT LOCATIONS DEPICTED ON SITE PLAN.

EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE FIRSTED AND MAINTAINED WITH FERMINT. ABOVE-GRADE SIGN BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY" OR BEARING BOTH SYMBOL AND CAPTION SUCH SYMBOL SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE GOVERNING AGENCY.

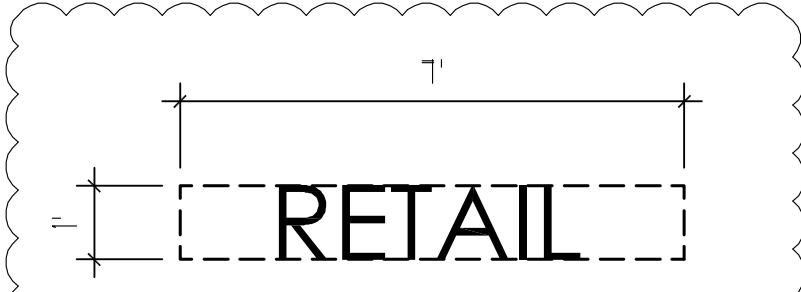


(NTS)

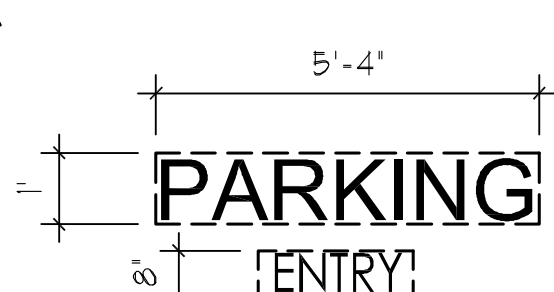
TYP. CONC. SLAB JOINTS



NAME SIZE = 55 SF.
FONT STYLE - FRISTINA
FONT STYLE - CENTURY GOTHIC

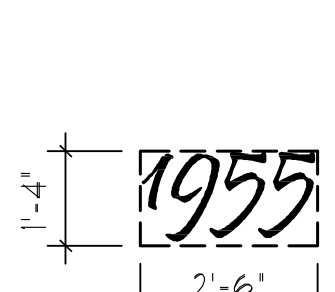


NAME SIZE = 1 SF.
FONT STYLE - CENTURY GOTHIC

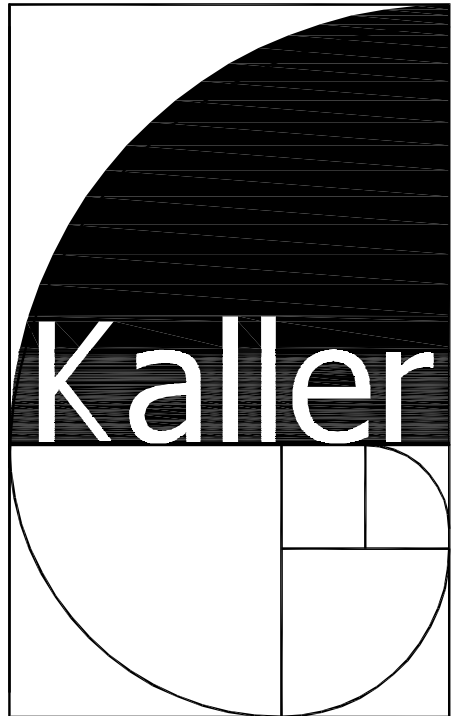
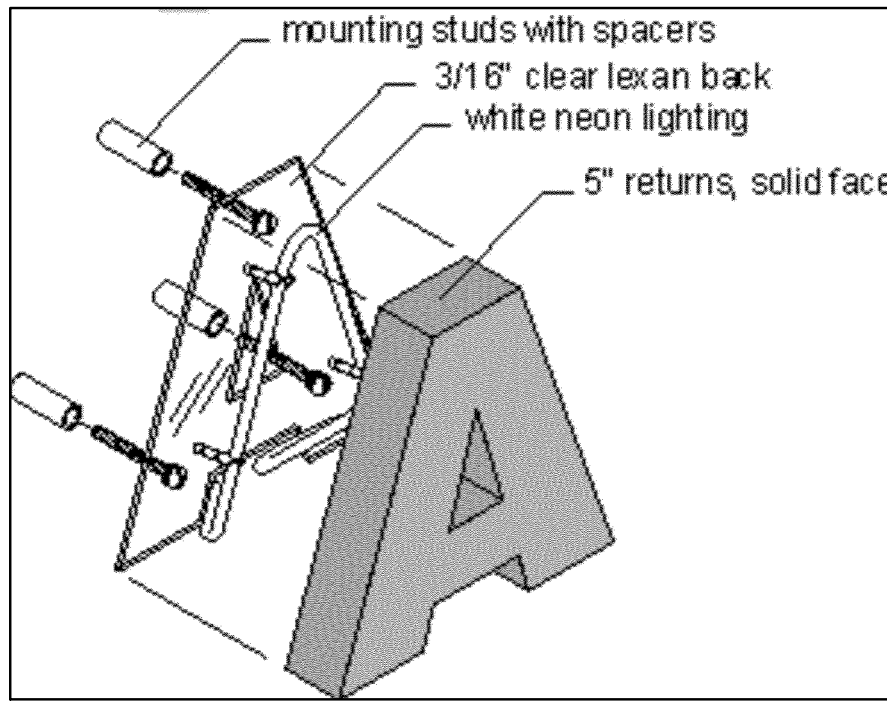


NAME SIZE = 5.5 SF.
FONT STYLE - CENTURY GOTHIC

NAME SIZE = 15 SF.
FONT STYLE - CENTURY GOTHIC



NUMBER SIZE = 32 SF.
FONT STYLE - FRISTINA



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SEAL

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FLORIDA R.A. # 0009239

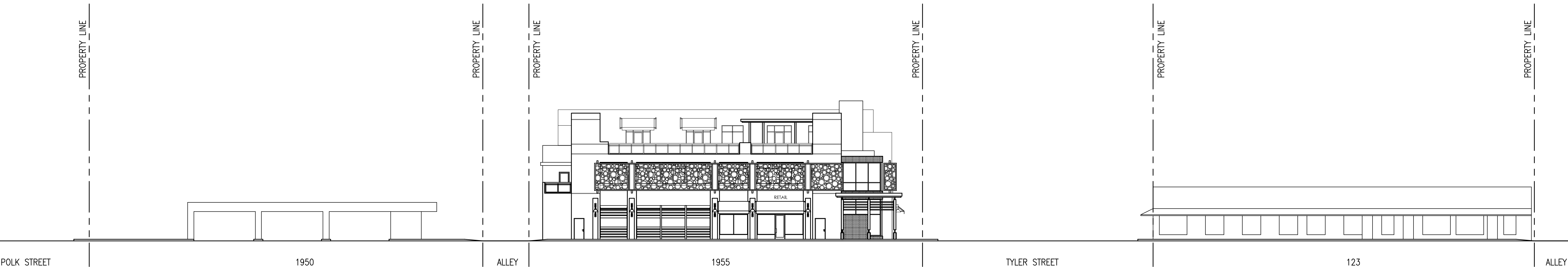
2 SIGN DETAILS

SCALE: 3/8"= 1'-0"

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED
CHANNEL LETTERS

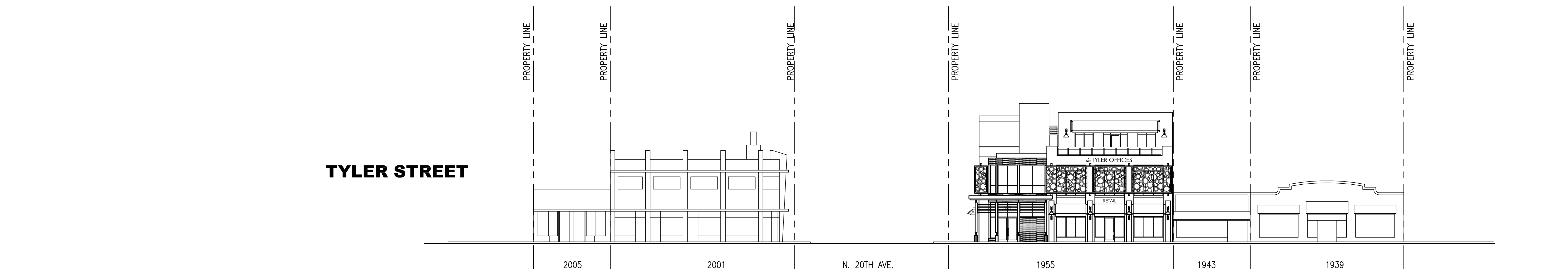
ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF
THE CITY OF HOLLYWOOD ZONING AND LAND
DEVELOPMENT CODE BASED ON THE ND-2 ZONING
DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH
SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR
SIGNS REQUIRING ILLUMINATION.



VIEW EAST FROM NORTH 20TH AVE.

N. 20TH AVE.



VIEW NORTH FROM TYLER STREET

2 CONTEXTUAL STREET ELEVATIONS

SCALE: 1/16"= 1'-0"

PROJECT TITLE

TYLER STREET MIXED USE
1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE

SIGN DETAILS
STREET ELEVATIONS
FINAL TAC

REVISIONS

No.	DATE	DESCRIPTION
1		
2		

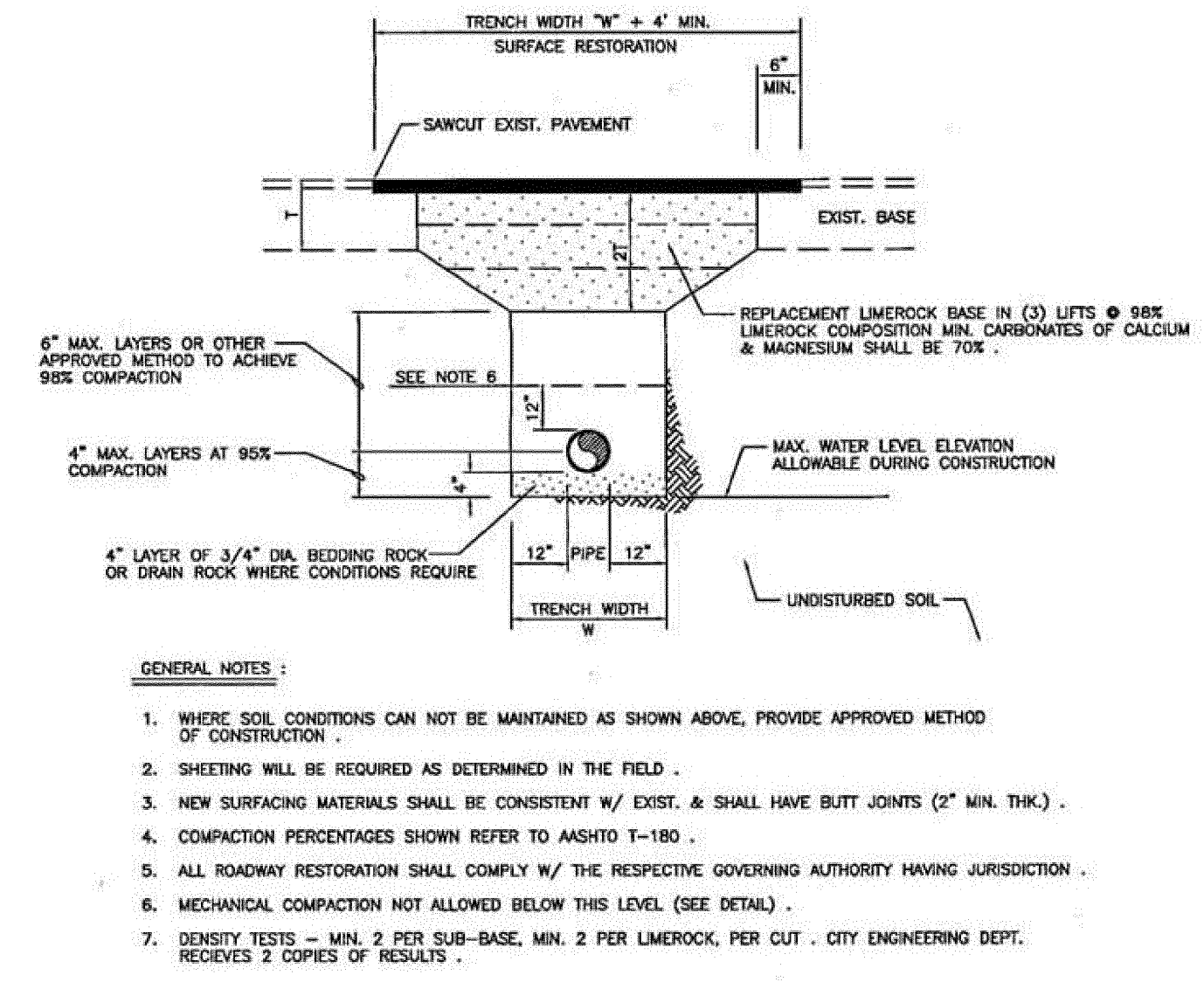
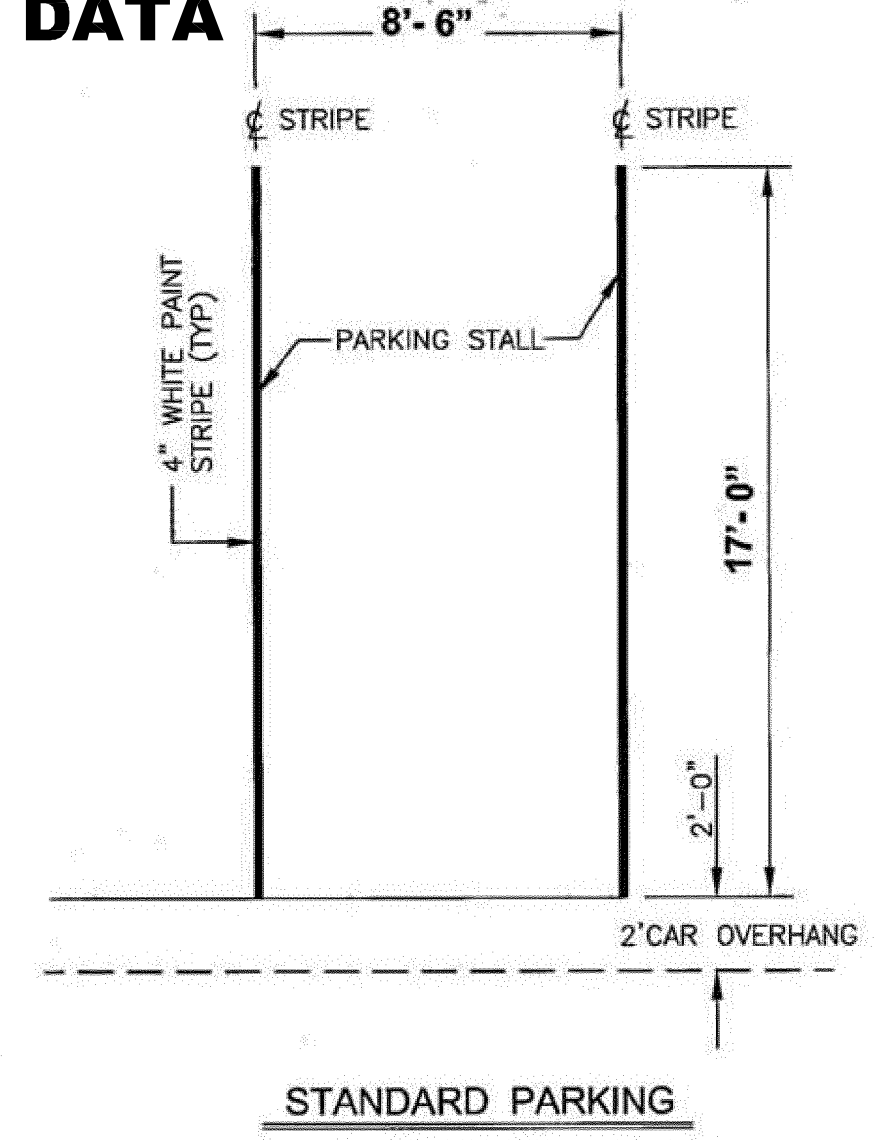
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DATE: 7-11-17
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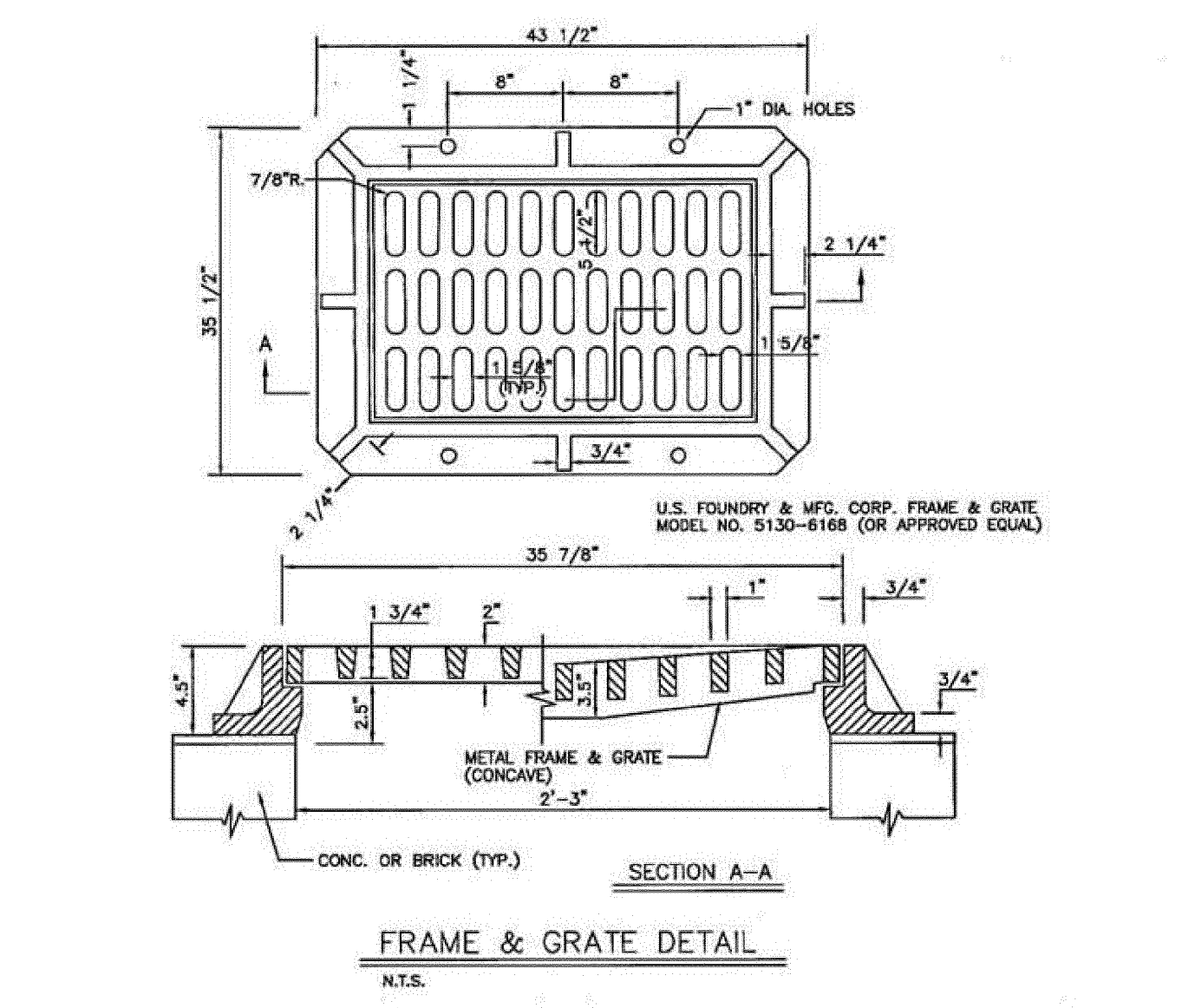
SHEET

SP-3

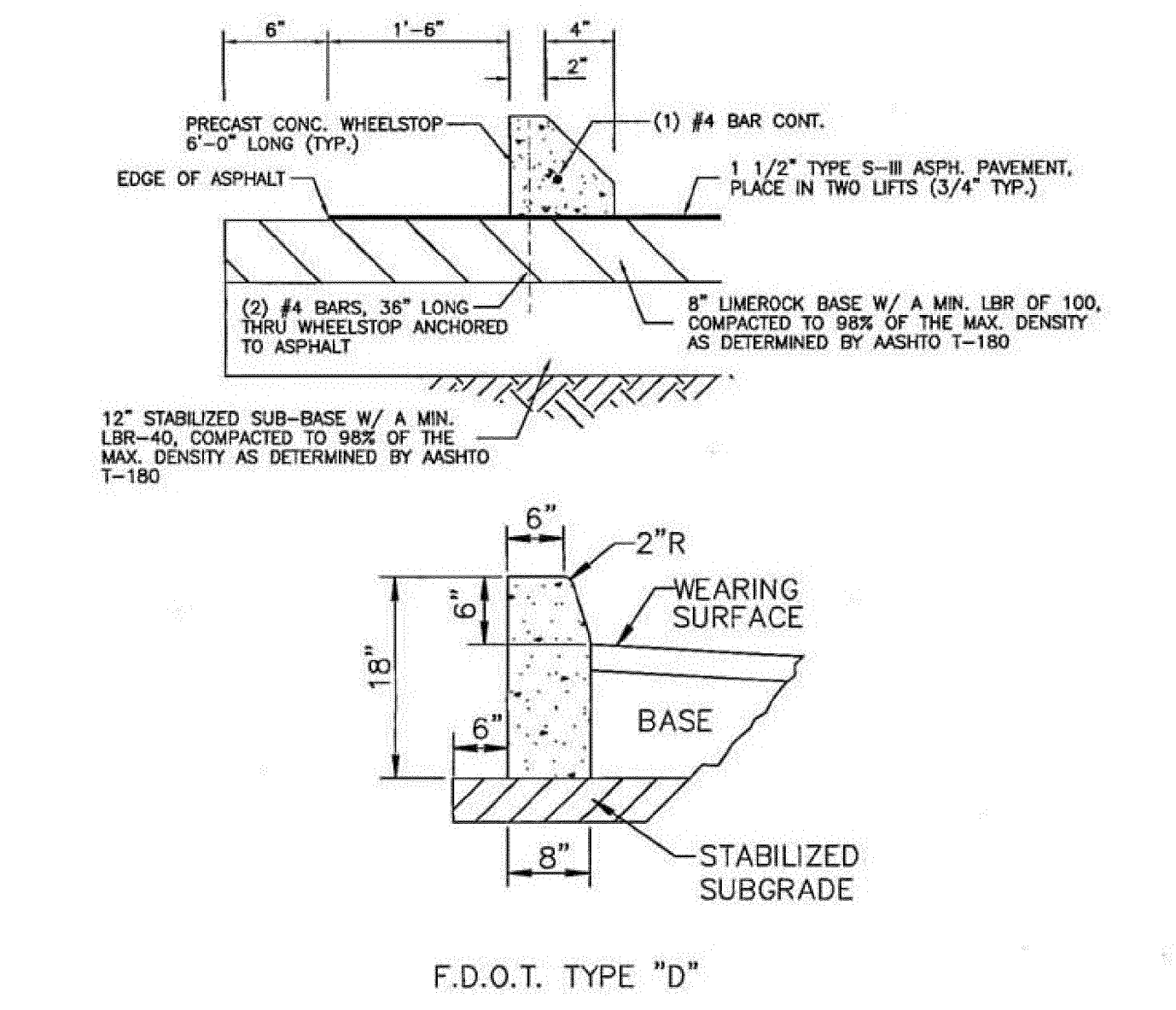
SITE DATA



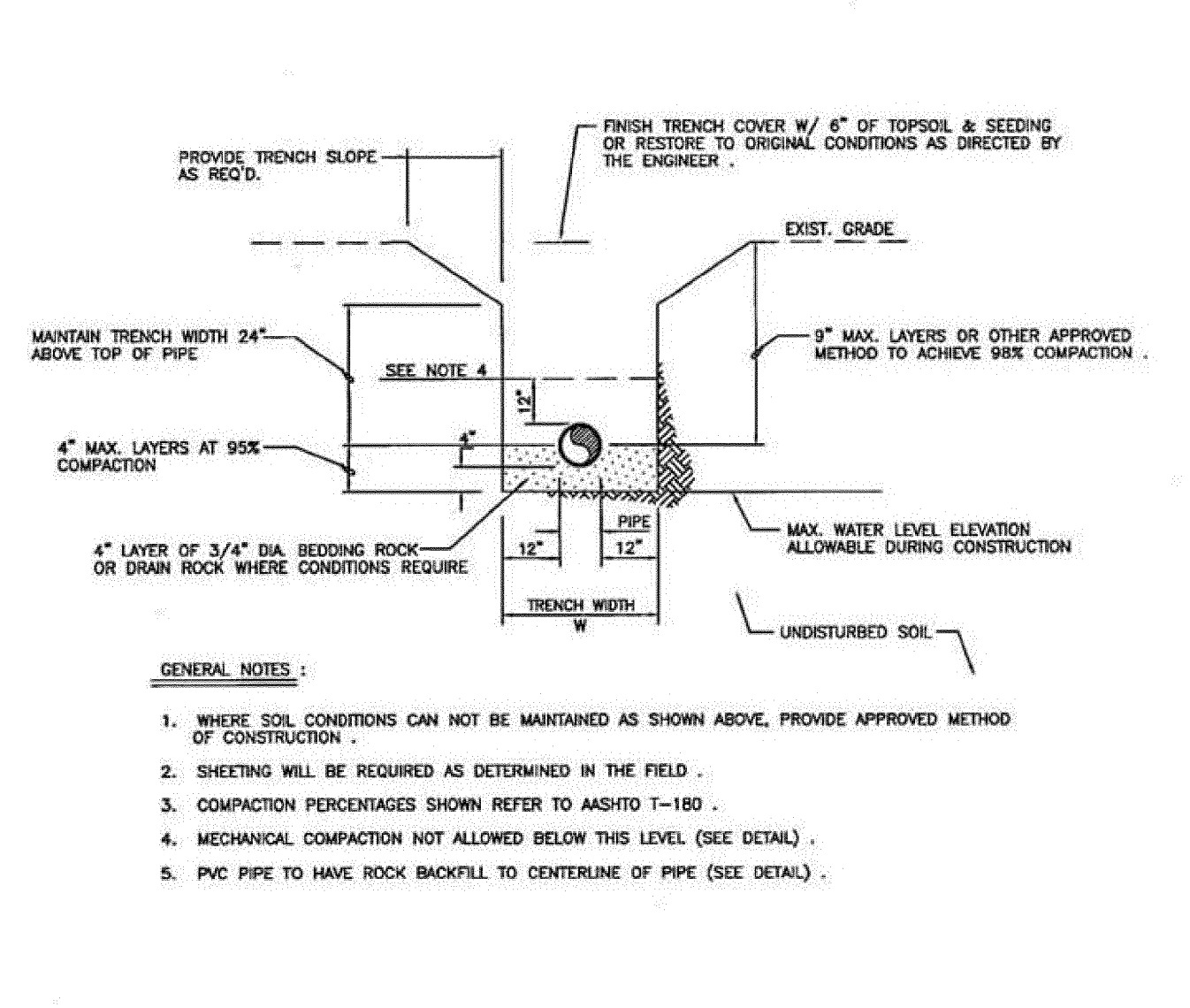
ASPHALT RESTORATION DETAIL



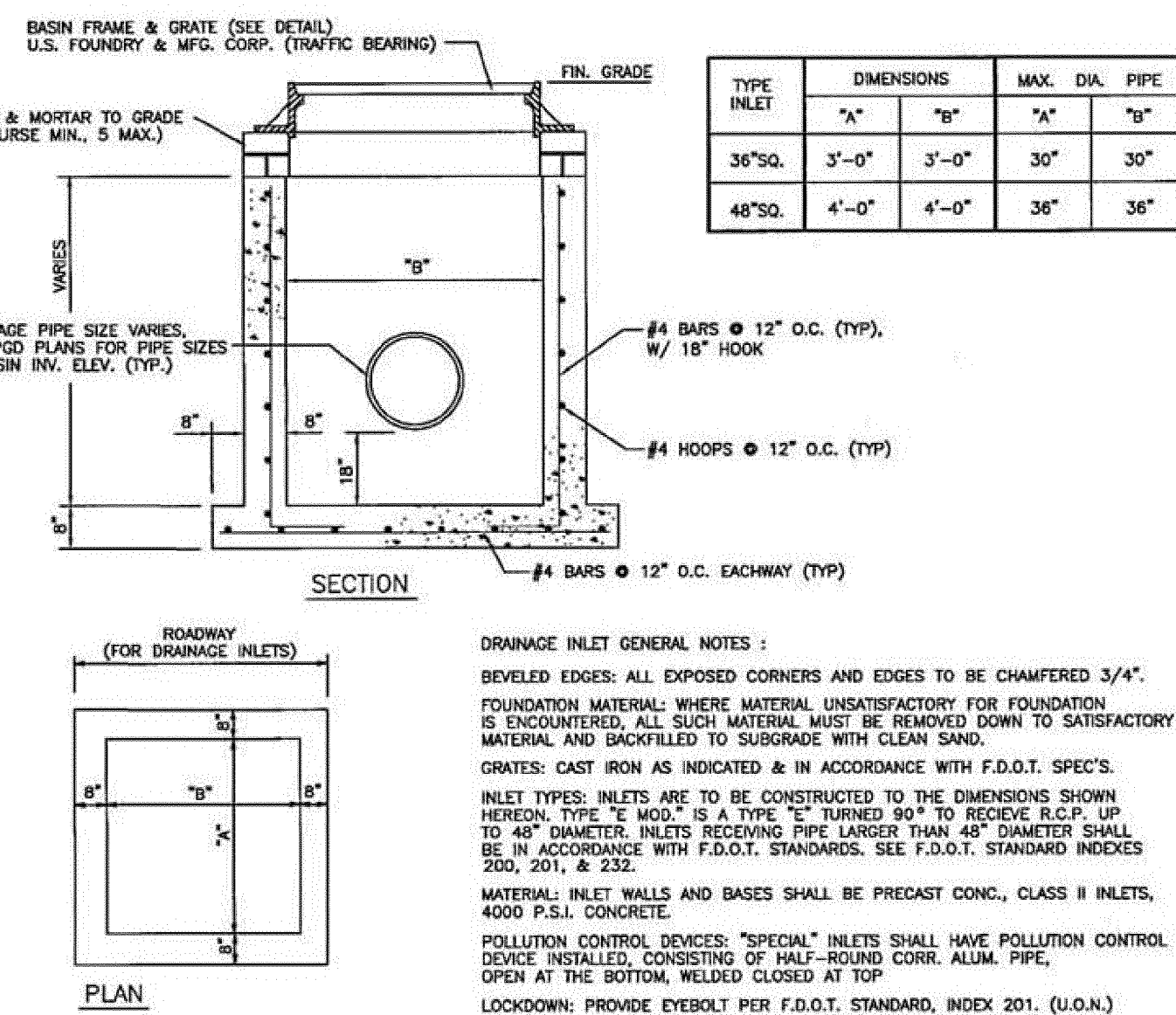
FRAME/GRATE DETAIL



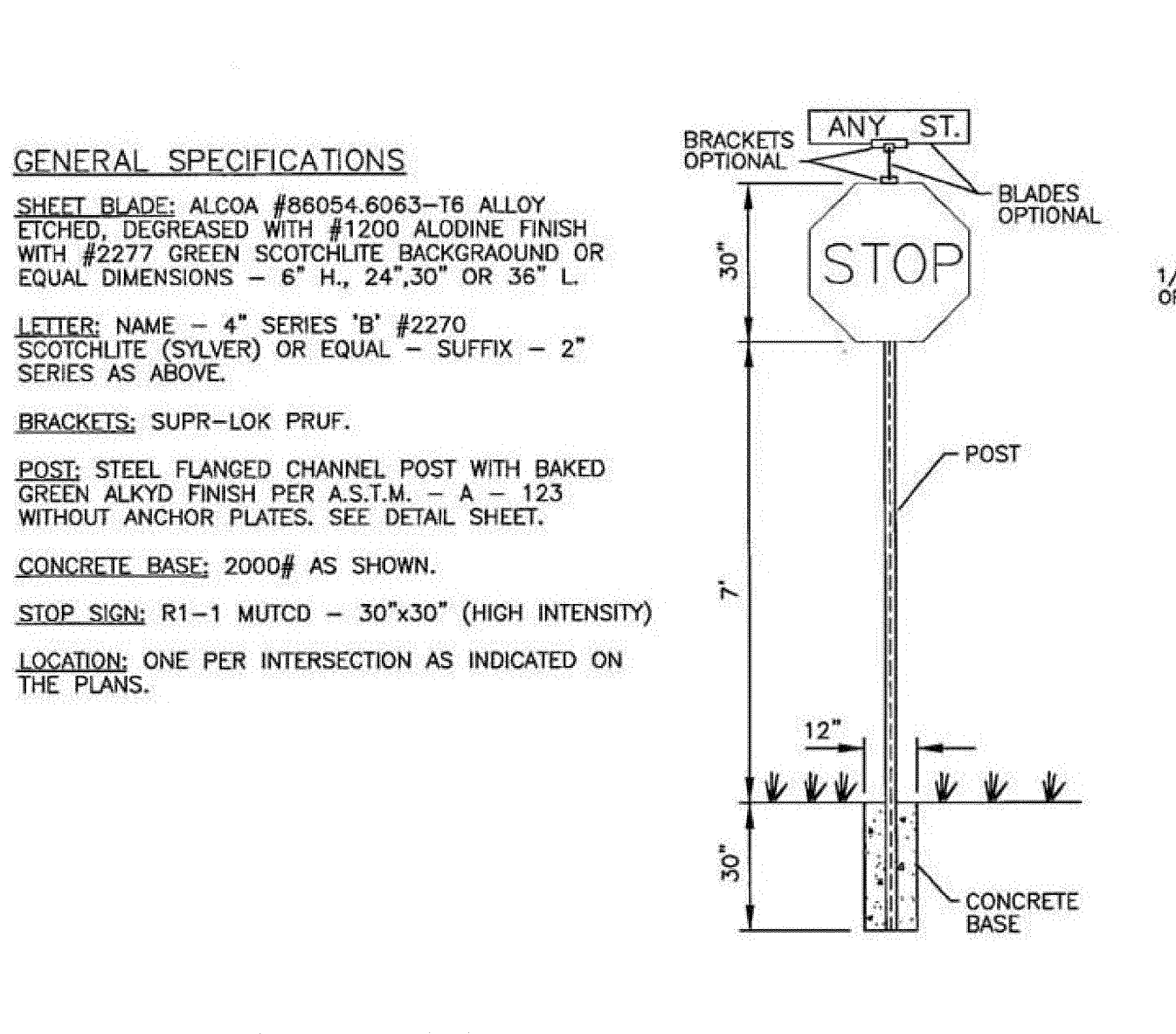
"D" CURB - WHEELSTOP DETAIL



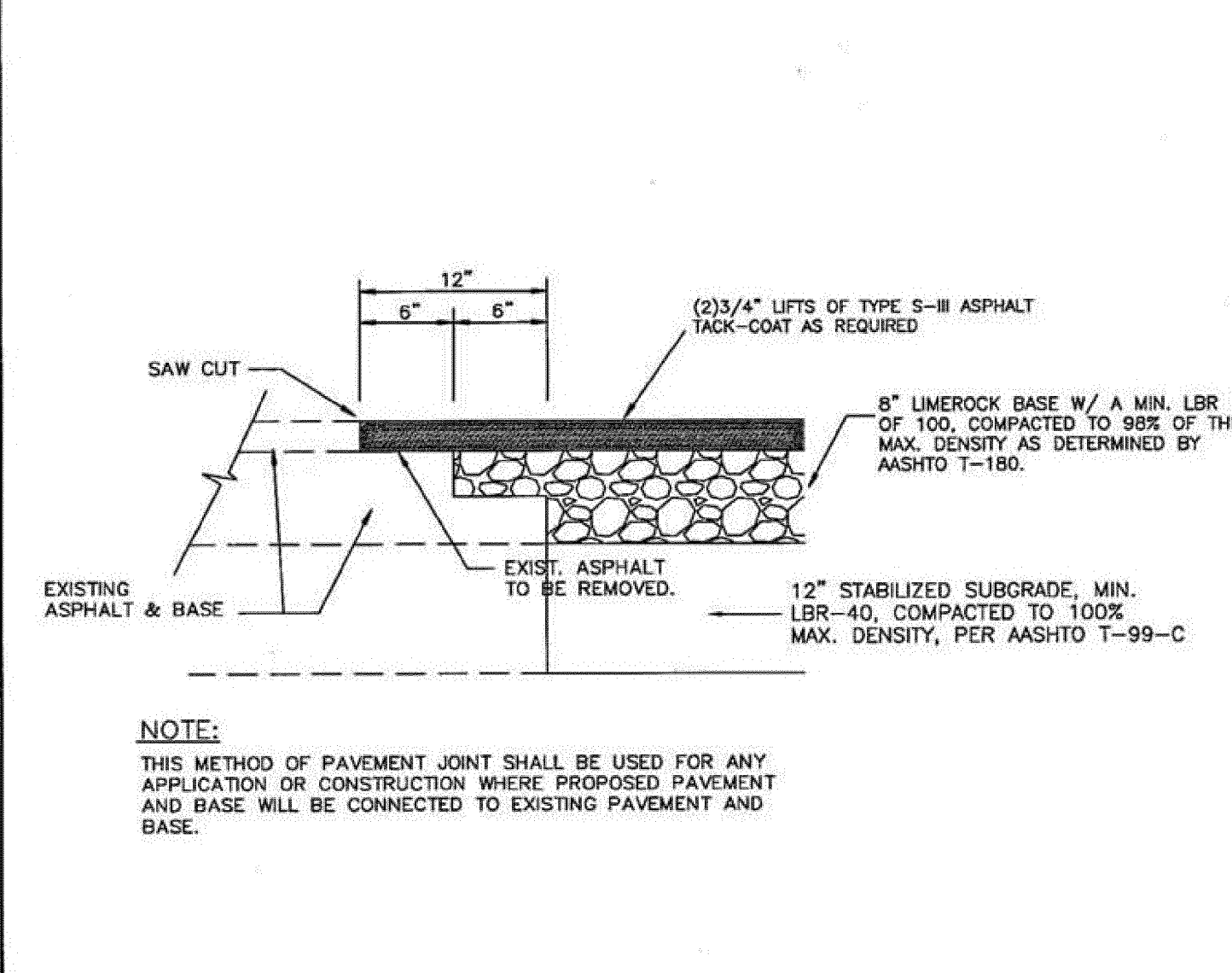
STANDARD TRENCH DETAIL



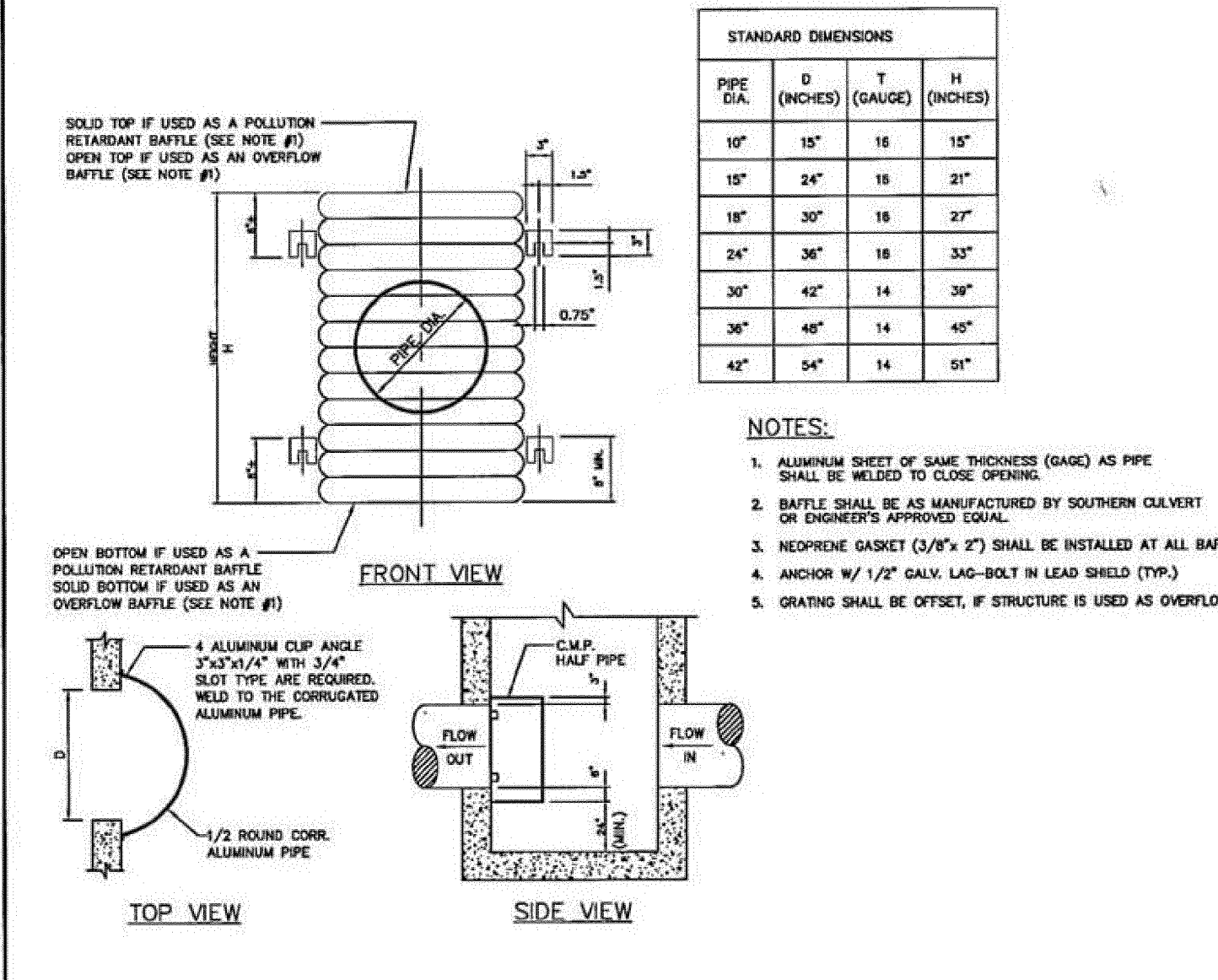
CATCH BASIN DETAIL



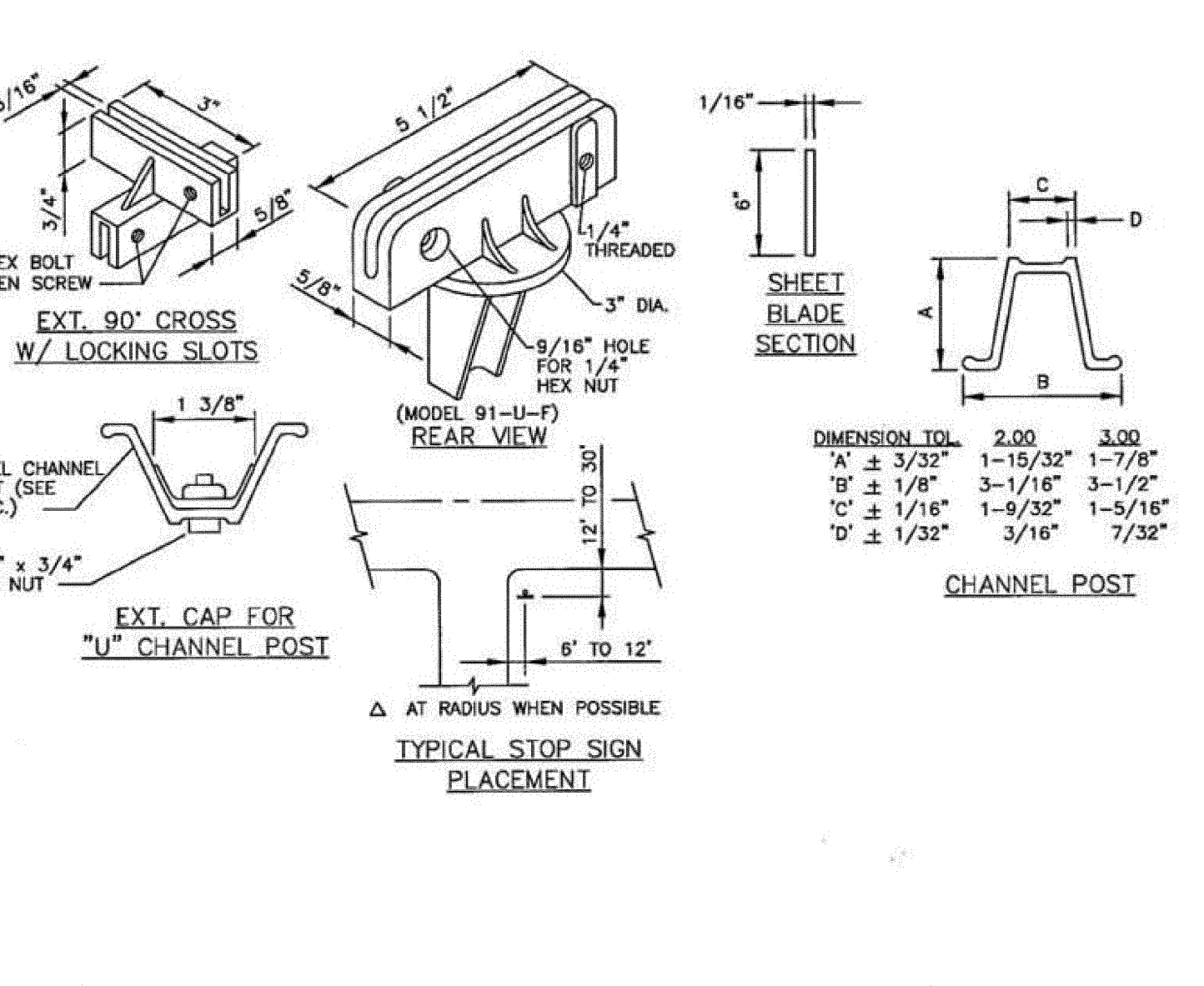
SITE SIGNAGE DETAILS



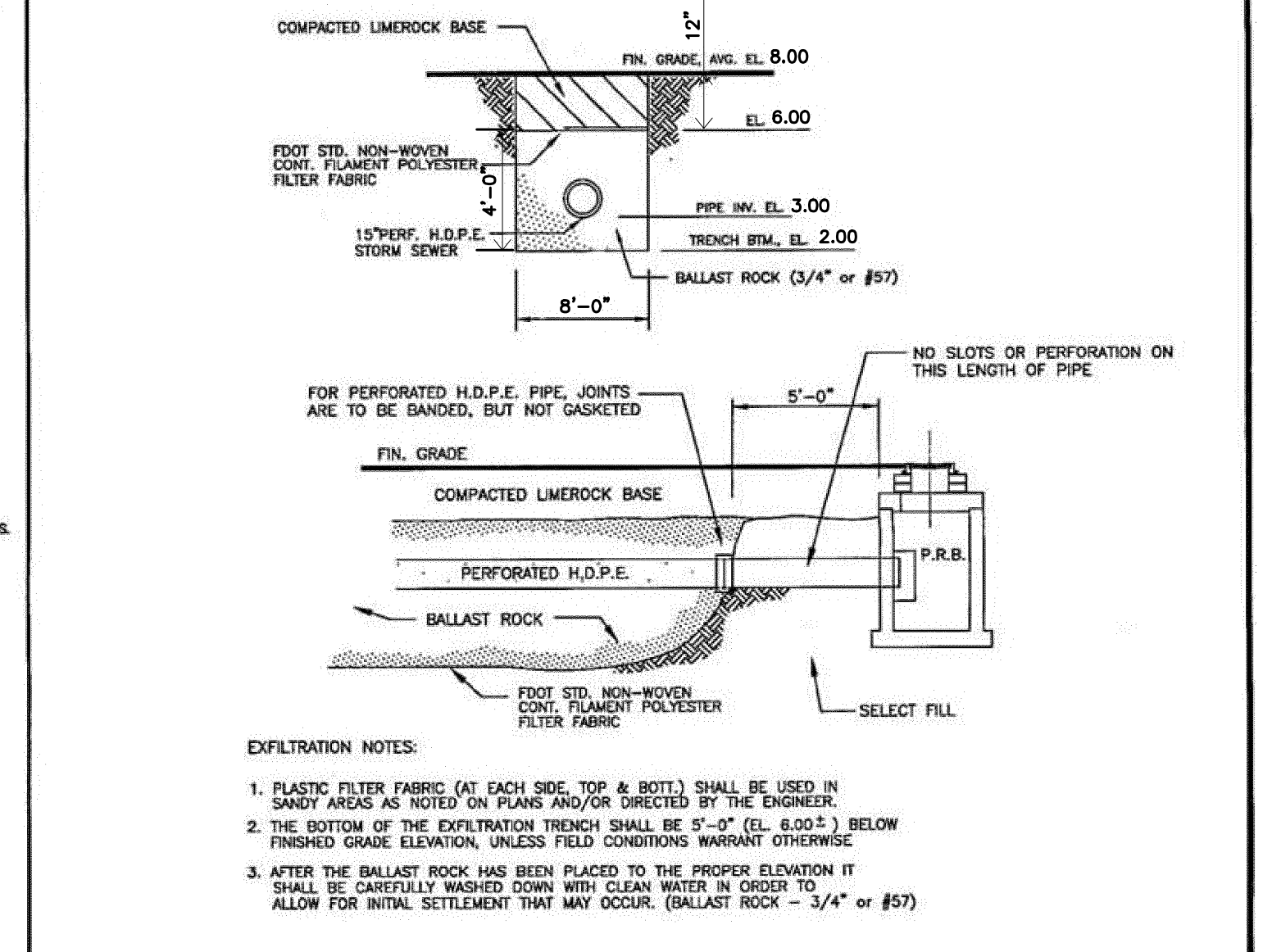
ASPHALT CONNECTION DETAIL



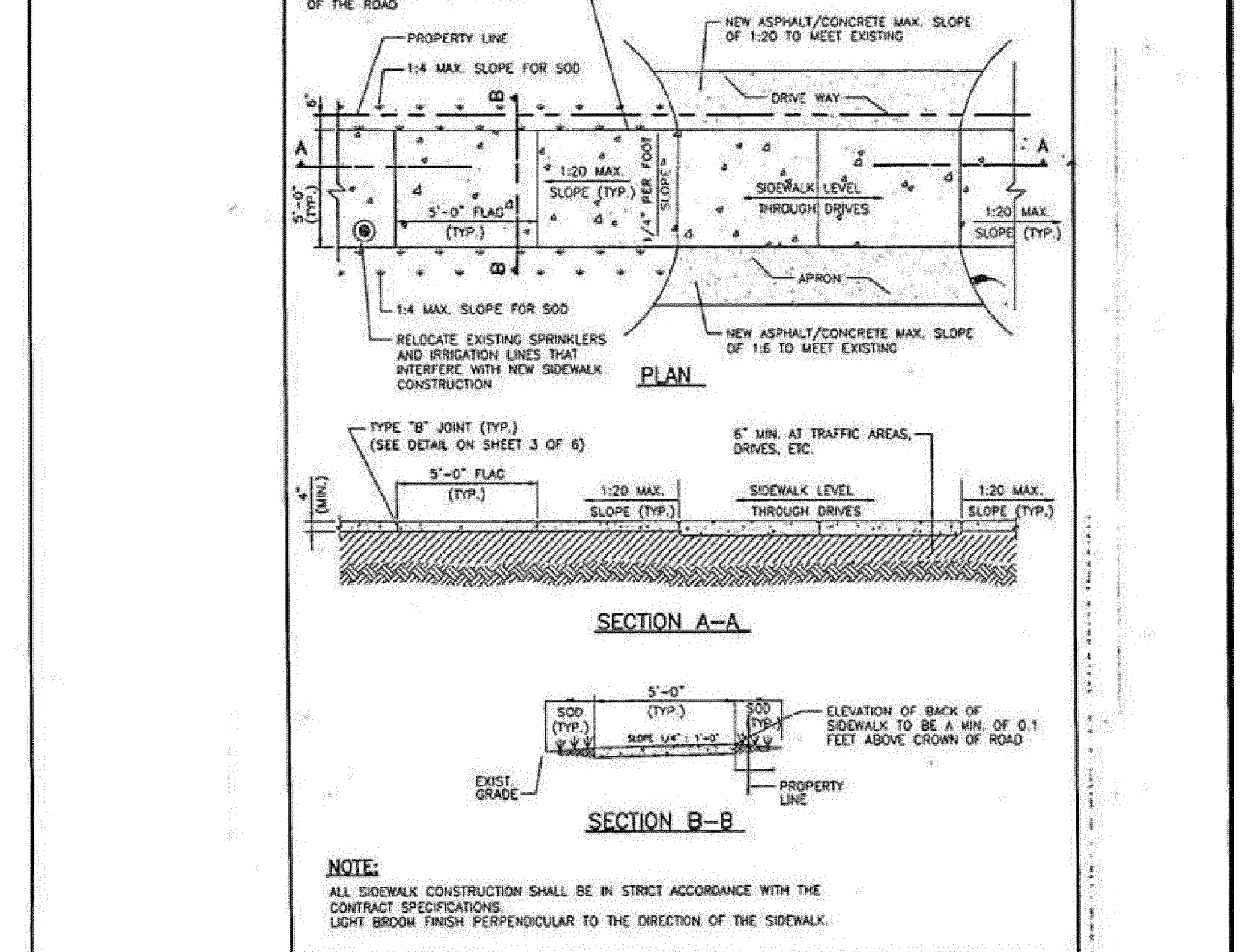
POLLUTION RETARDANT BAFFLE



EXFILTRATION TRENCH DETAIL



EXFILTRATION TRENCH DETAIL



SIDEWALK CONSTRUCTION DETAILS

WATER NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE NIBCO-SCOTT T-113 LF WITH NO SUBSTITUTIONS ALLOWED. LARGE GATE VALVES OVER 3" THRU 16" IN DIAMETER, MUST BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. MANUFACTURERS: MUELLER, AMERICAN DARLING, AVK, OR CITY APPROVED EQUAL. VALVES FOR SPECIAL APPLICATION WILL REQUIRE CITY UTILITY APPROVAL.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO. W-01
APPROVED: XXX		

WATER NOTES CONTINUED:

- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY. VALVE BOXES SHALL BE TYLER BRAND, NO SUBSTITUTES.
- FIRE HYDRANTS: PRESENTLY CITY OF HOLLYWOOD UTILITIES SPECIFICATIONS ALLOW ONLY MANUFACTURERS: MUELLER MODEL SUPER CENTURION 200 5/2" SIZE REFERENCE CATALOG NO. A-423 AND AMERICAN DARLING MODEL B-84-B 5/2" SIZE. ANY DEVIATION FROM REQUIRED SPECIFICATIONS WILL REQUIRE CITY OF HOLLYWOOD UTILITIES APPROVAL.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C300 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- GATE VALVES 4" AND LARGER SHALL BE RESILIENT SEAT AND SHALL MEET ANSI/AWWA C-509-01 SPECIFICATIONS, LATEST REVISION. VALVES MUST BE MUELLER (O.A.E.). VALVE BOXES SHALL BE TYLER UNION, CONTROL/GATE VALVES 3" AND SMALLER SHALL BE NIBCO T-133 LF. NO SUBSTITUTIONS.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM CLEARANCE BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 2', AND MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURERS RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- TAPPING SLEEVES SHALL BE MUELLER H-615 (O.A.E.). TAPPING VALVES 4" AND LARGER SHALL BE RESILIENT WEDGE TYPE MEETING ANSI/AWWA C509-01. ALL TAPPING VALVES SHALL HAVE A CAST-IN ALIGNMENT RING AND BE CAPABLE OF ACCEPTING A FULL-SIZE CUTTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER NOTES	DRAWING NO. W-01.1
APPROVED: XXX		

WATER NOTES CONTINUED:

- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

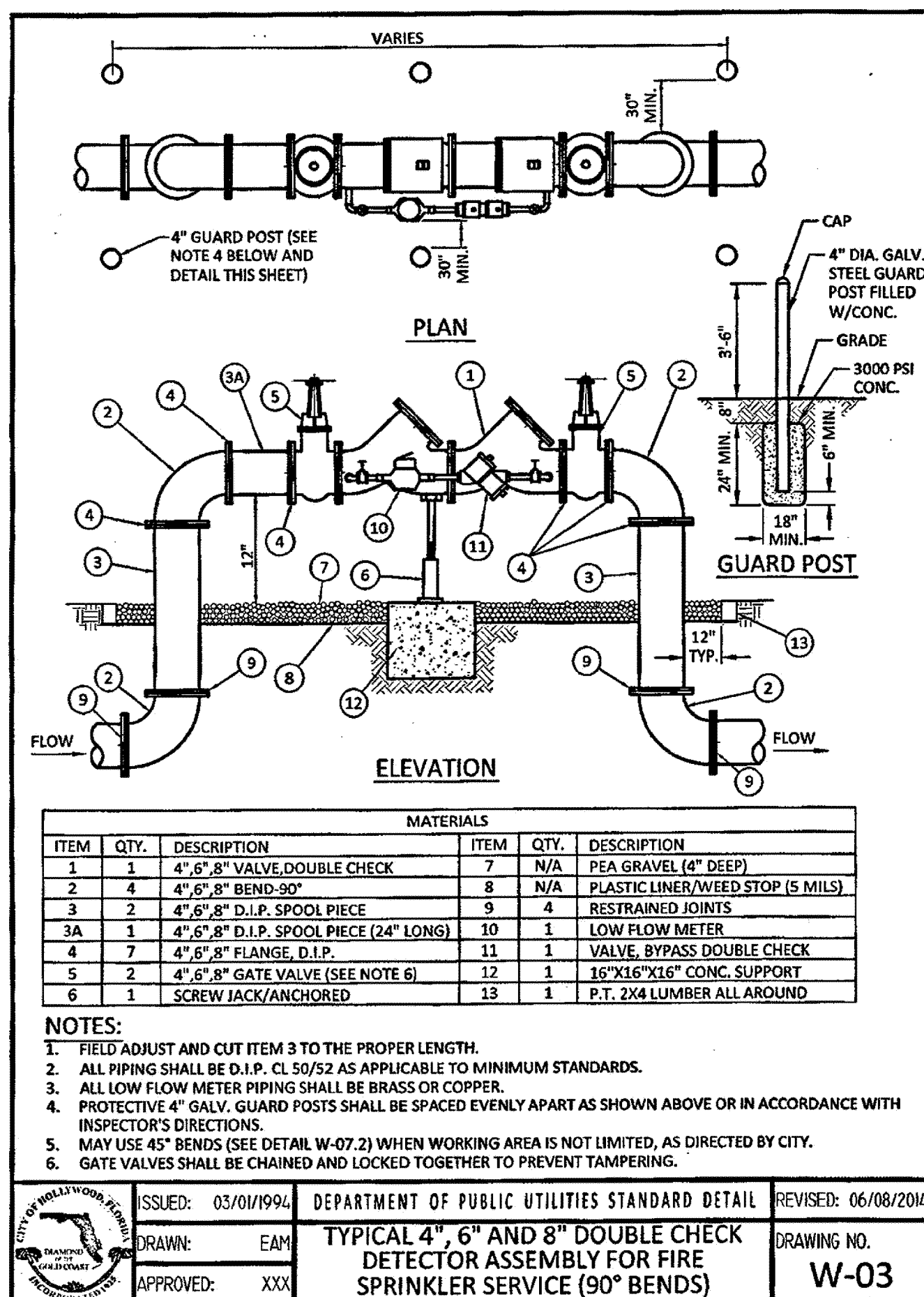
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER NOTES	DRAWING NO. W-02
APPROVED: XXX		

SITE DATA

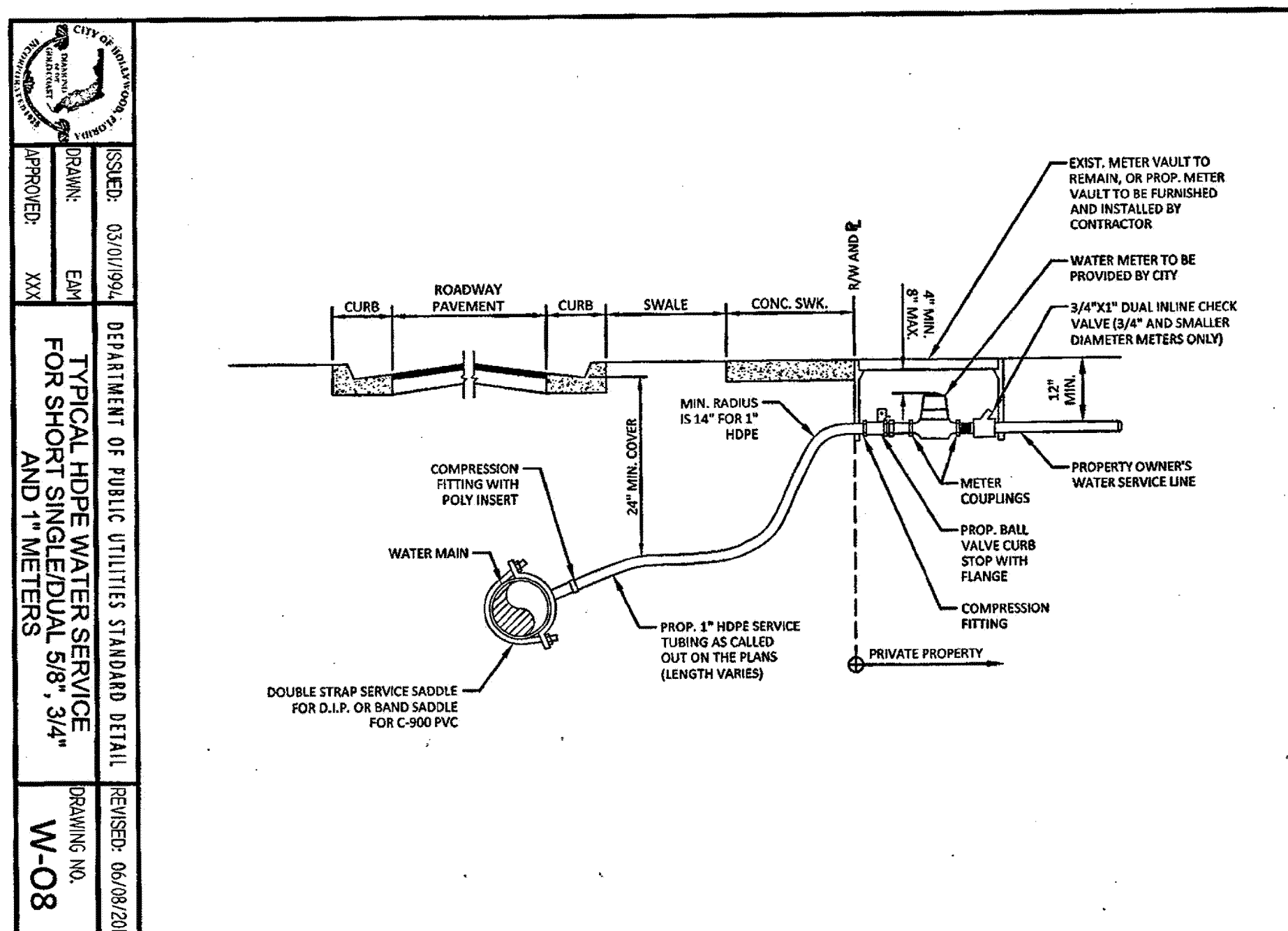
WATER METER SERVICE NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- SERVICE PIPE SHALL BE THE SAME SIZE AS THE WATER METER EXCEPT THAT NO SERVICE PIPE SHALL BE SMALLER THAN 1" DIAMETER.
- SERVICE PIPE CROSSING UNDER THE ENTIRE WIDTH OF A ROADWAY PAVEMENT MUST BE 2" MINIMUM UNLESS OTHERWISE DIRECTED BY THE CITY.
- THE 3" CASING UNDER THE ROAD IS TO BE USED ONLY WHEN THE WATER MAIN RUNS WITHIN THE SWALE ON THE OPPOSITE SIDE OF THE ROAD FROM THE METER SERVICE. ALL CASING PIPE SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF PAVED STREETS.
- APPROVED TYPE COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- THE WATER METERS WILL BE PROVIDED BY THE CITY OF HOLLYWOOD AND INSTALLED BY THE CONTRACTOR.
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

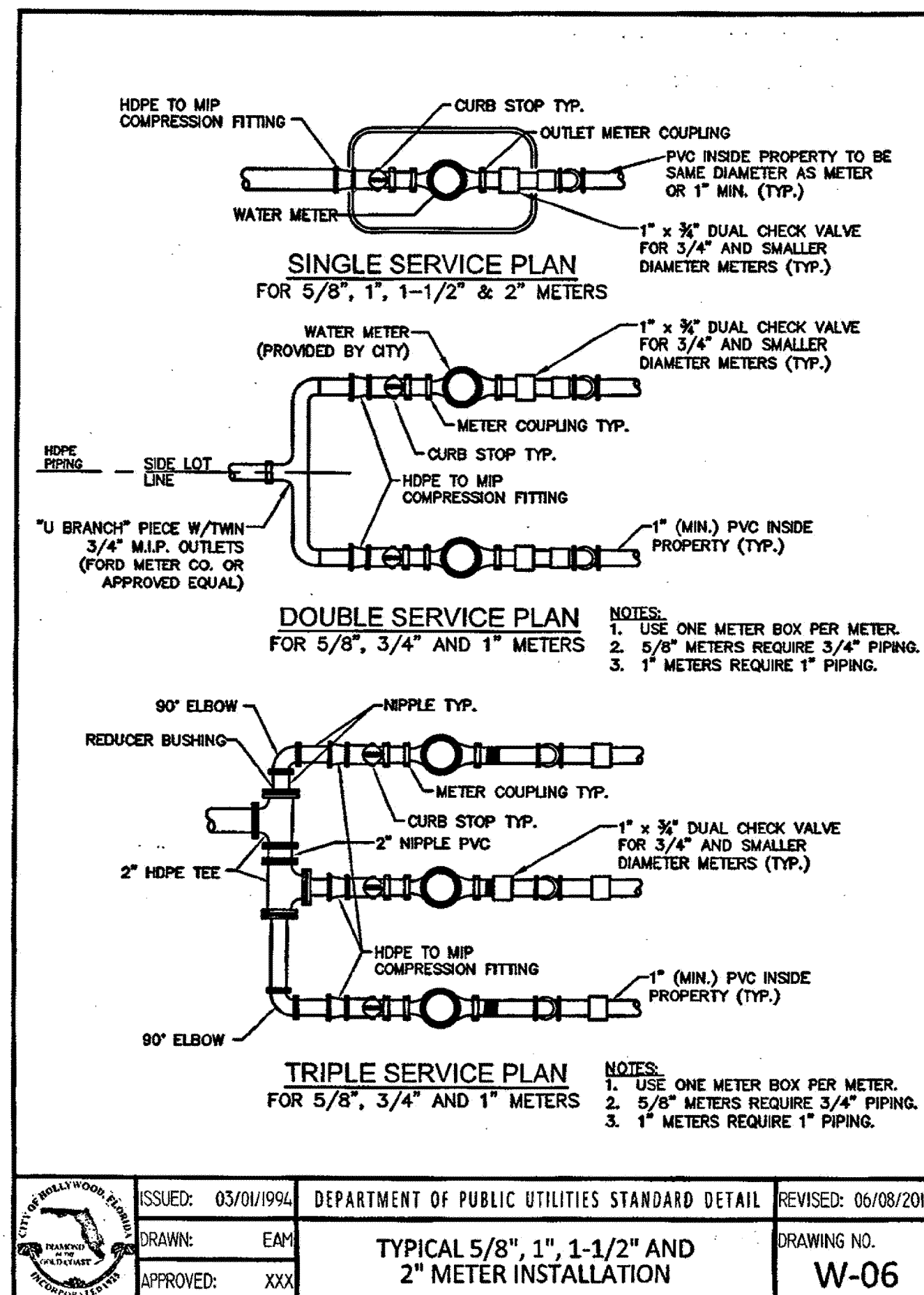
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-07
APPROVED: XXX		



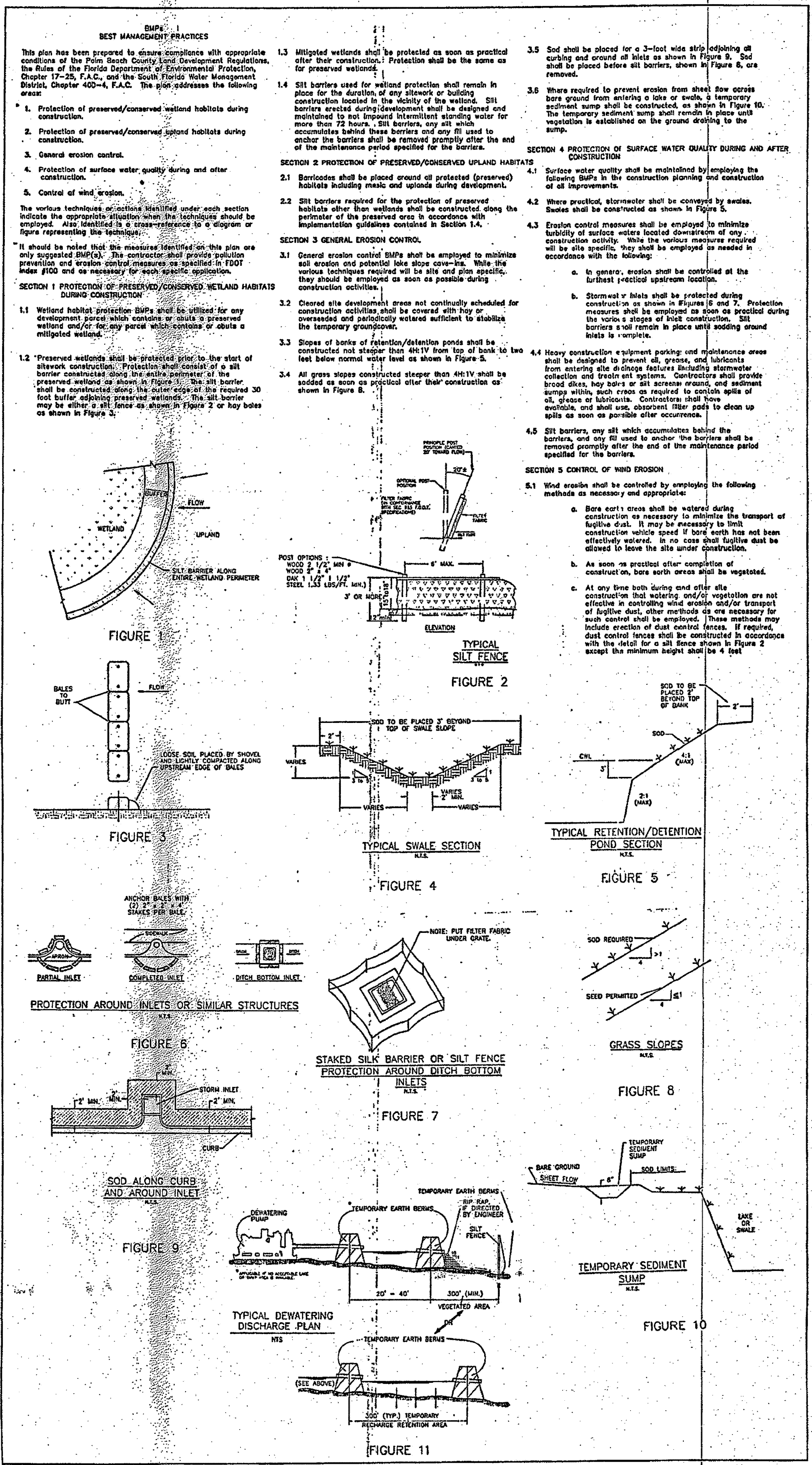
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)	DRAWING NO. W-03
APPROVED: XXX		



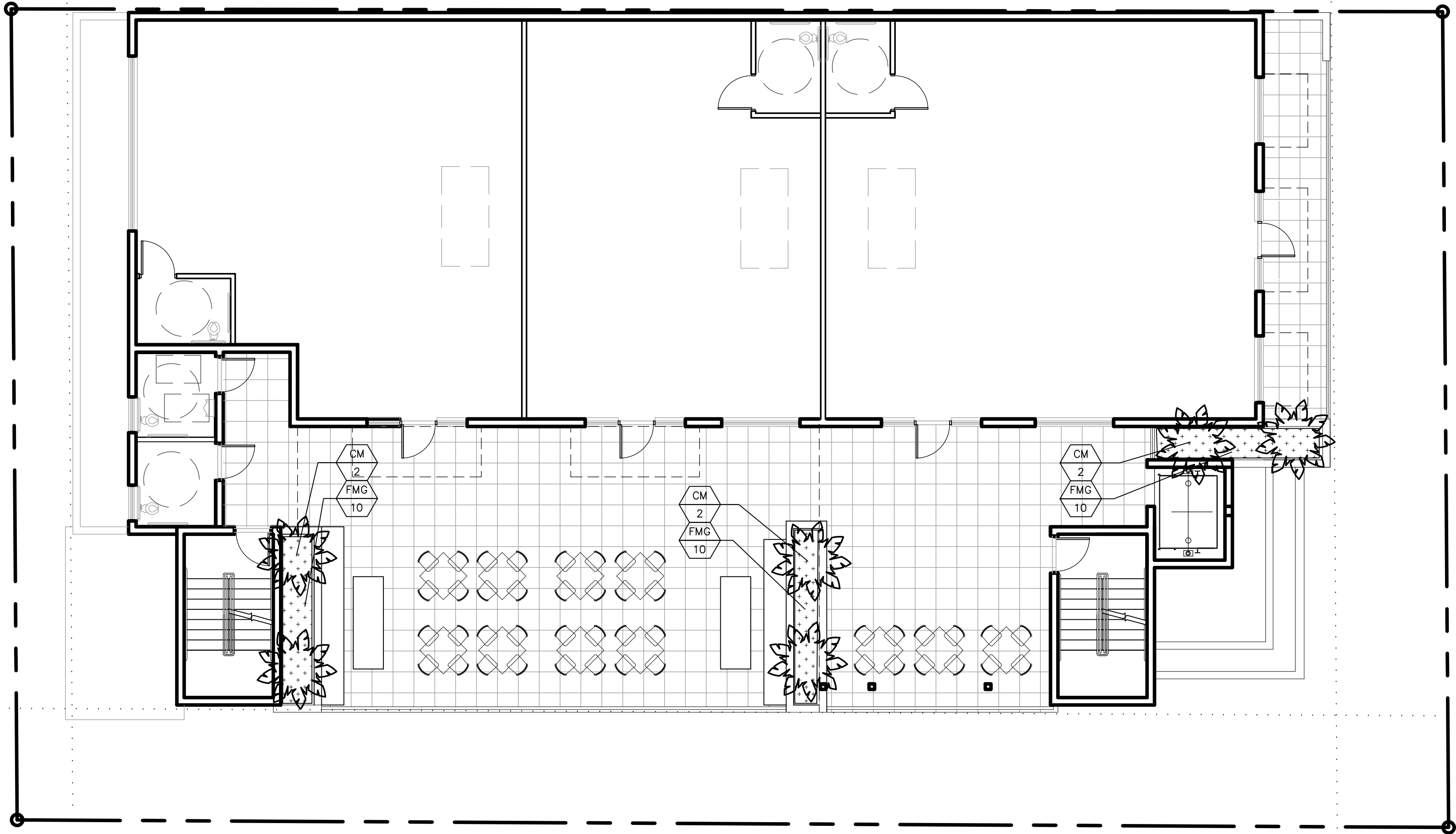
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO. W-06
APPROVED: XXX		



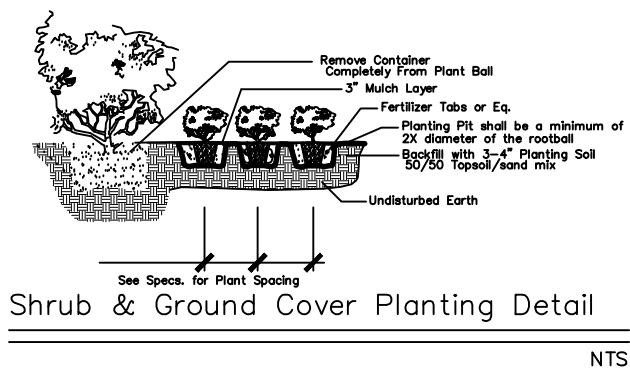
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DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO. W-06
APPROVED: XXX		



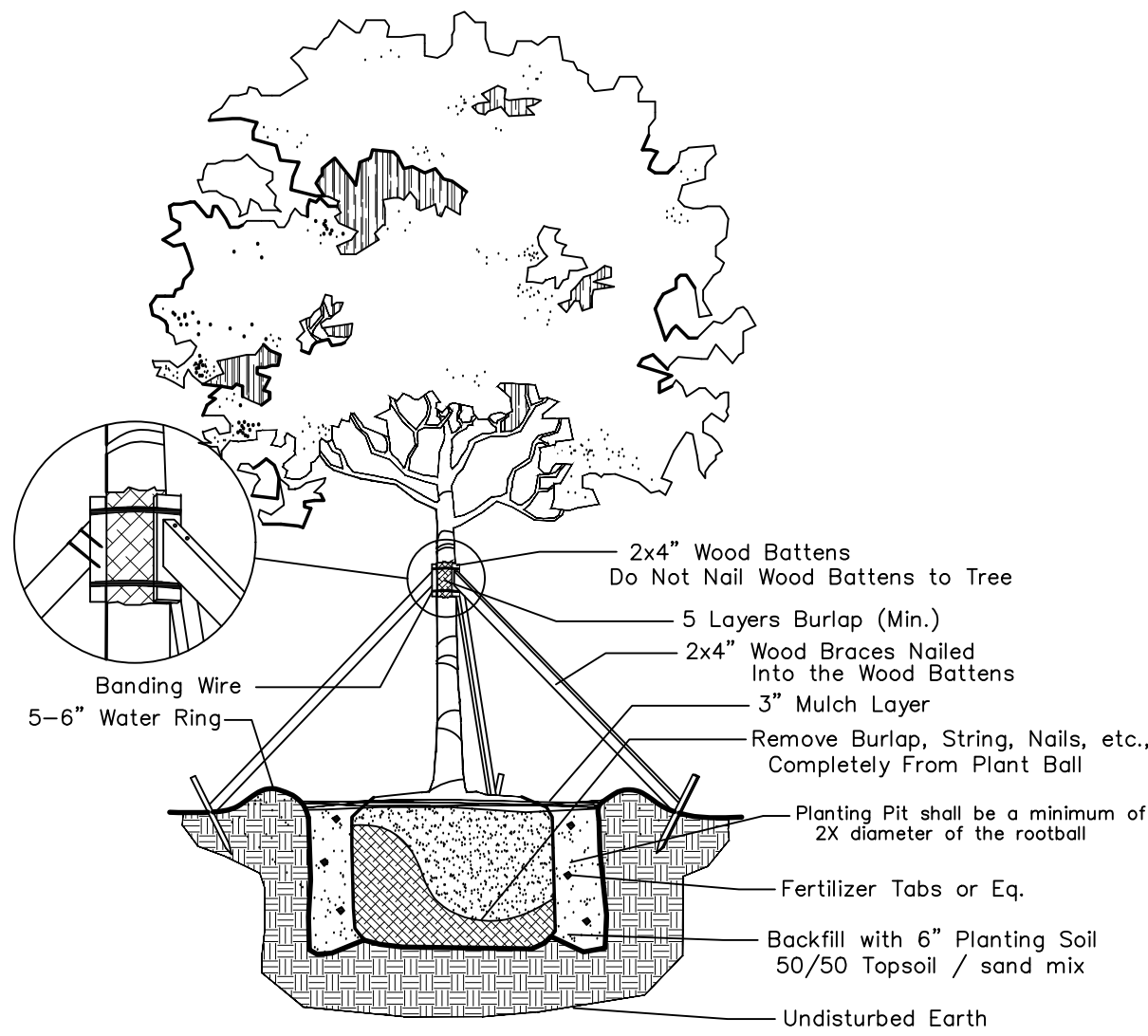
1 EROSION CONTROL PLAN
C3.3 SCALE: AS NOTED



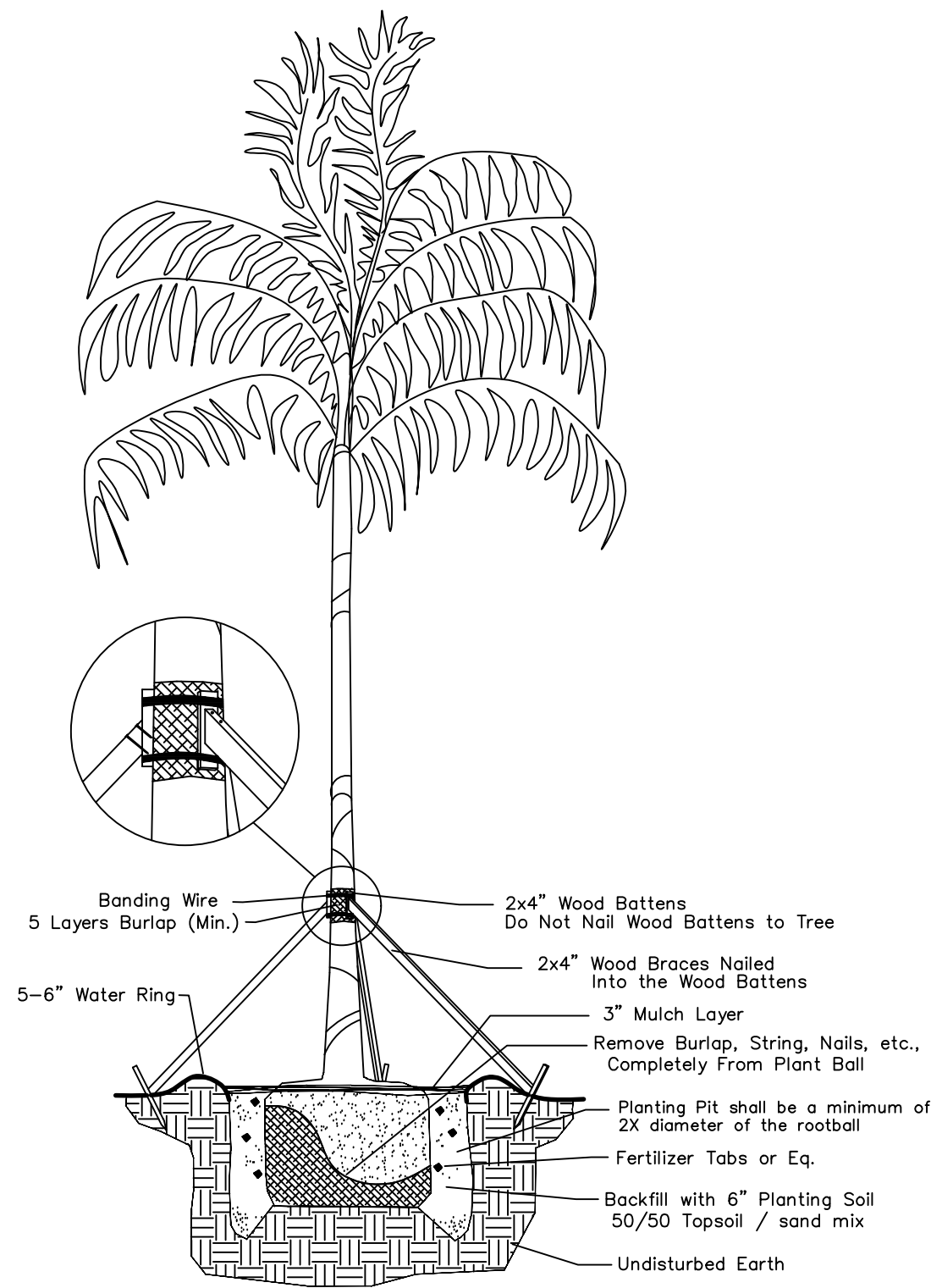
SCALE: 1/8" = 1'-0"



Shrub & Ground Cover Planting Detail
NTS



Large Tree Planting Detail



Palm Planting Detail

PROPOSED PLANT LIST

TREES / PALMS

Code	Drought	QTY.	Botanical Name / Common Name	Specifications
CM	V	6	Coccothrinax Miraguama / Miraguama Palm	B&B Field Grown, 6-8' OA

ACCENTS / SHRUBS / GROUND COVERS

FMG	V	30	Ficus macrocarpa / Green Island Ficus	3 gal., 18" OA, 24" OC
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MISCELLANEOUS

(N)	Florida Native Plant Species
L	Low Drought Tolerance
M	Moderate Drought Tolerance
V	Very Drought Tolerant

NOTES:

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Wayne K. Tanning, RLA.

The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Floratum' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.



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DRWG. TITLE : LANDSCAPE PLAN THIRD FLOOR

PROJECT : TYLER STREET MIXED USE

1955 TYLER STREET
HOLLYWOOD, FLORIDA

CLIENT : KALLER ARCHITECTS

SEAL

PROJECT NO. 17-127

DRAWN BY WKT

DESIGNED BY WKT

CHECKED BY WKT

DATE : 08-17-17

DWG. NO. LP-2

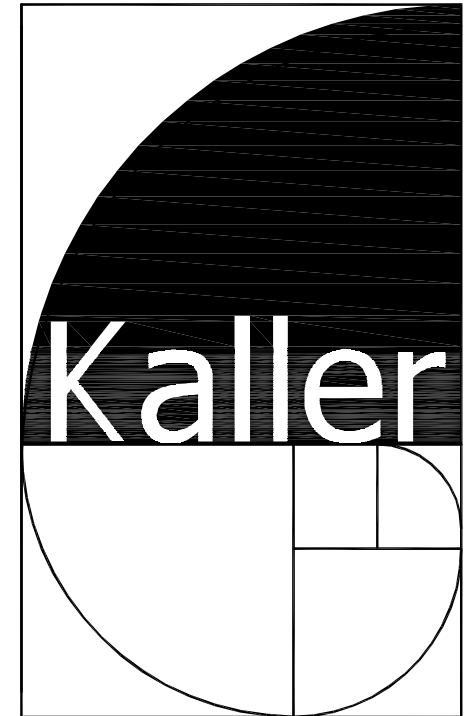
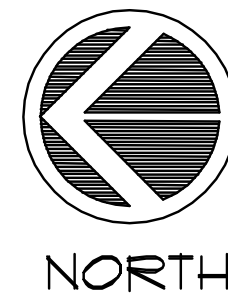
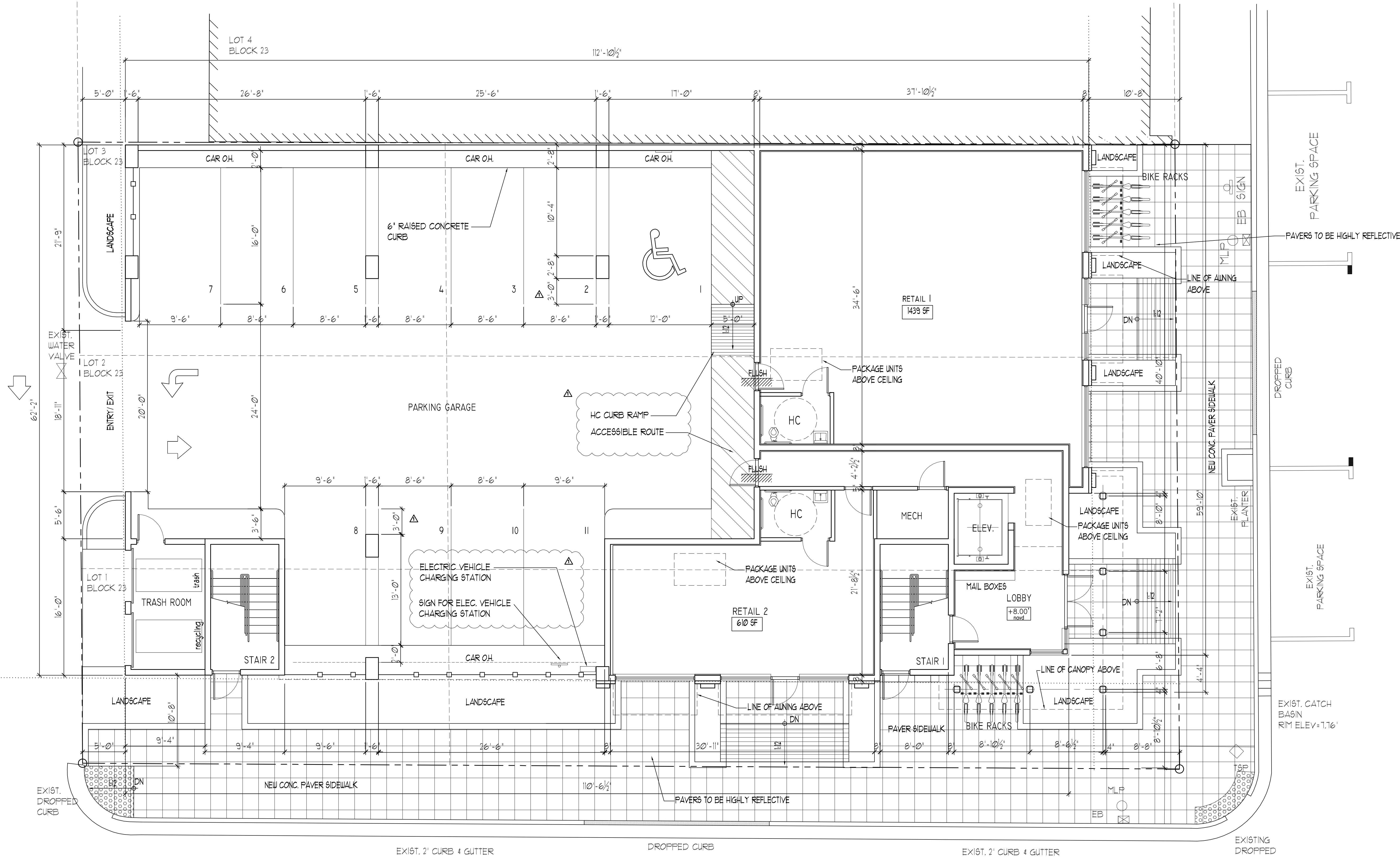
SHT. NO. 2 of 2

REVISIONS :

WAYNE K. TONNING, RLA
RLA #6666709

1 **FIRST FLOOR PLAN**

SCALE: 3/16" = 1'-0"
MANHOLE



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SEAL

JOSEPH B. KALLER
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PROJECT TITLE
TYLER STREET MIXED USE
1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE
FIRST FLOOR PLAN
FINAL TAC

REVISIONS		
No.	DATE	DESCRIPTION
1	8-10-17	FINAL TAC
2		

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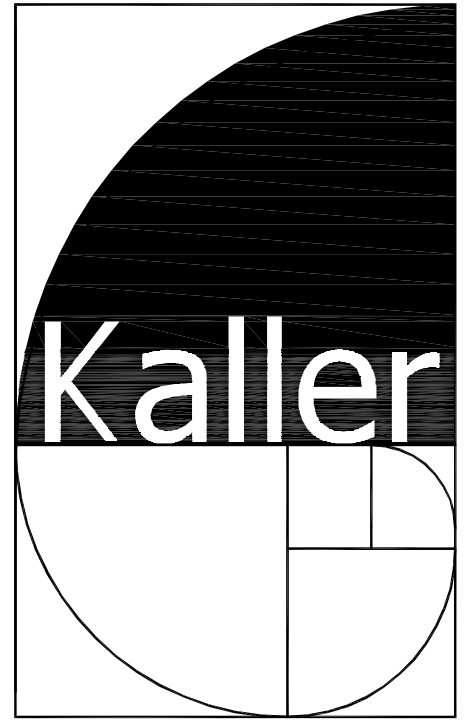
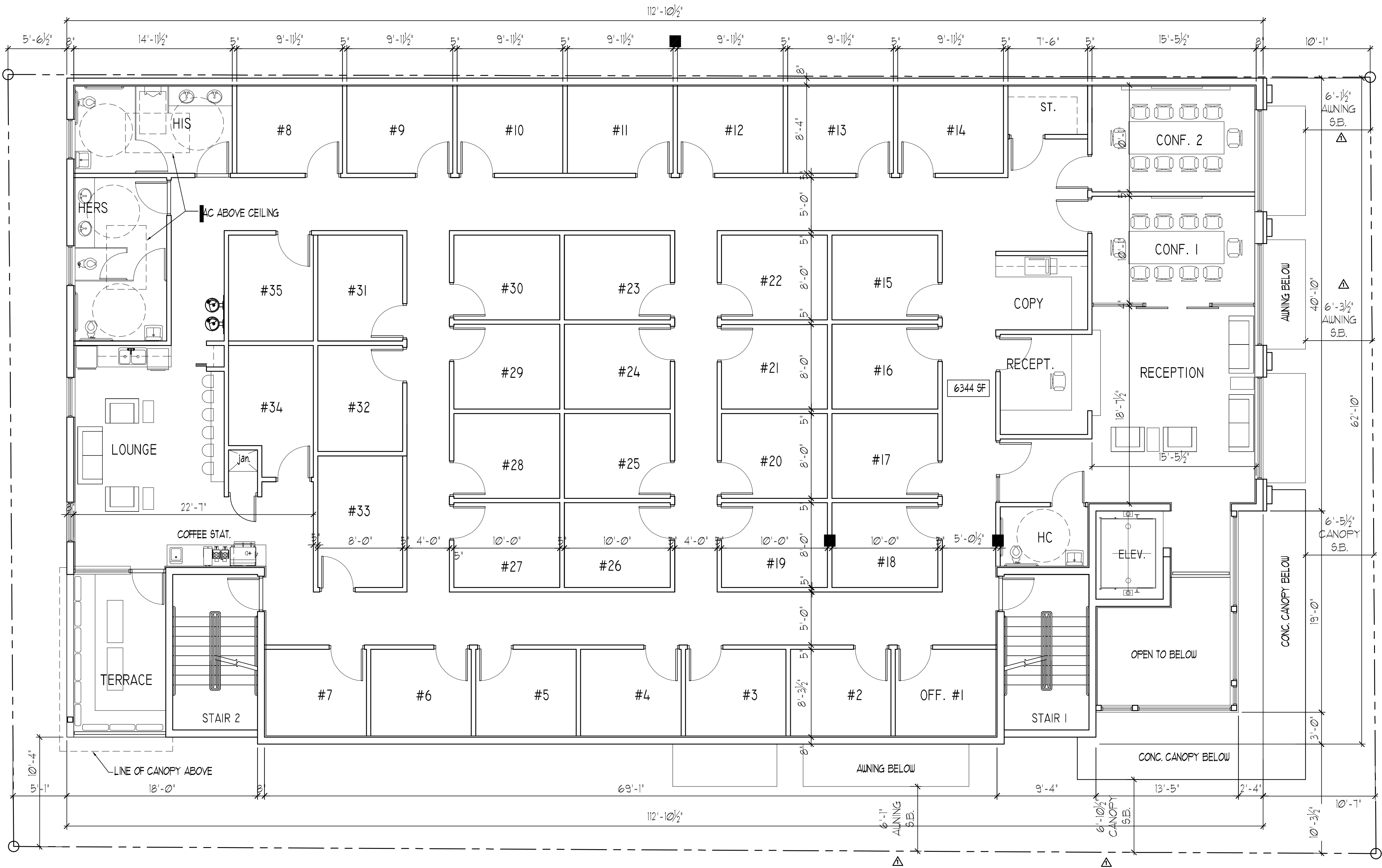
PROJECT No.: 17093
DATE: 7-11-17
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-1

1 SECOND FLOOR PLAN

SCALE: 3/16"= 1'-0"



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PROJECT TITLE
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1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE
SECOND FLOOR PLAN
FINAL TAC

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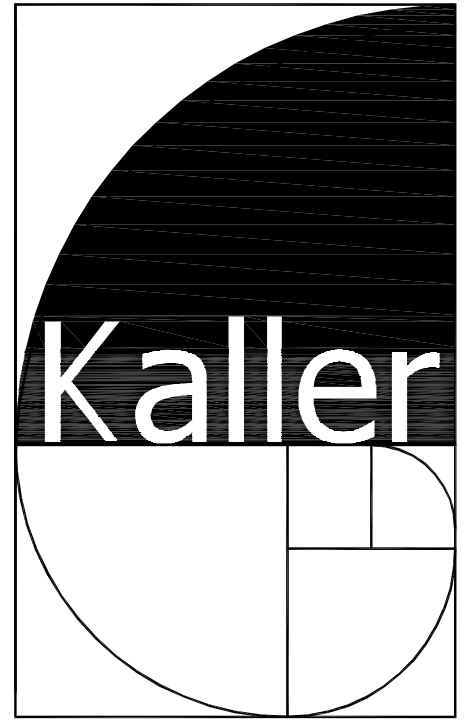
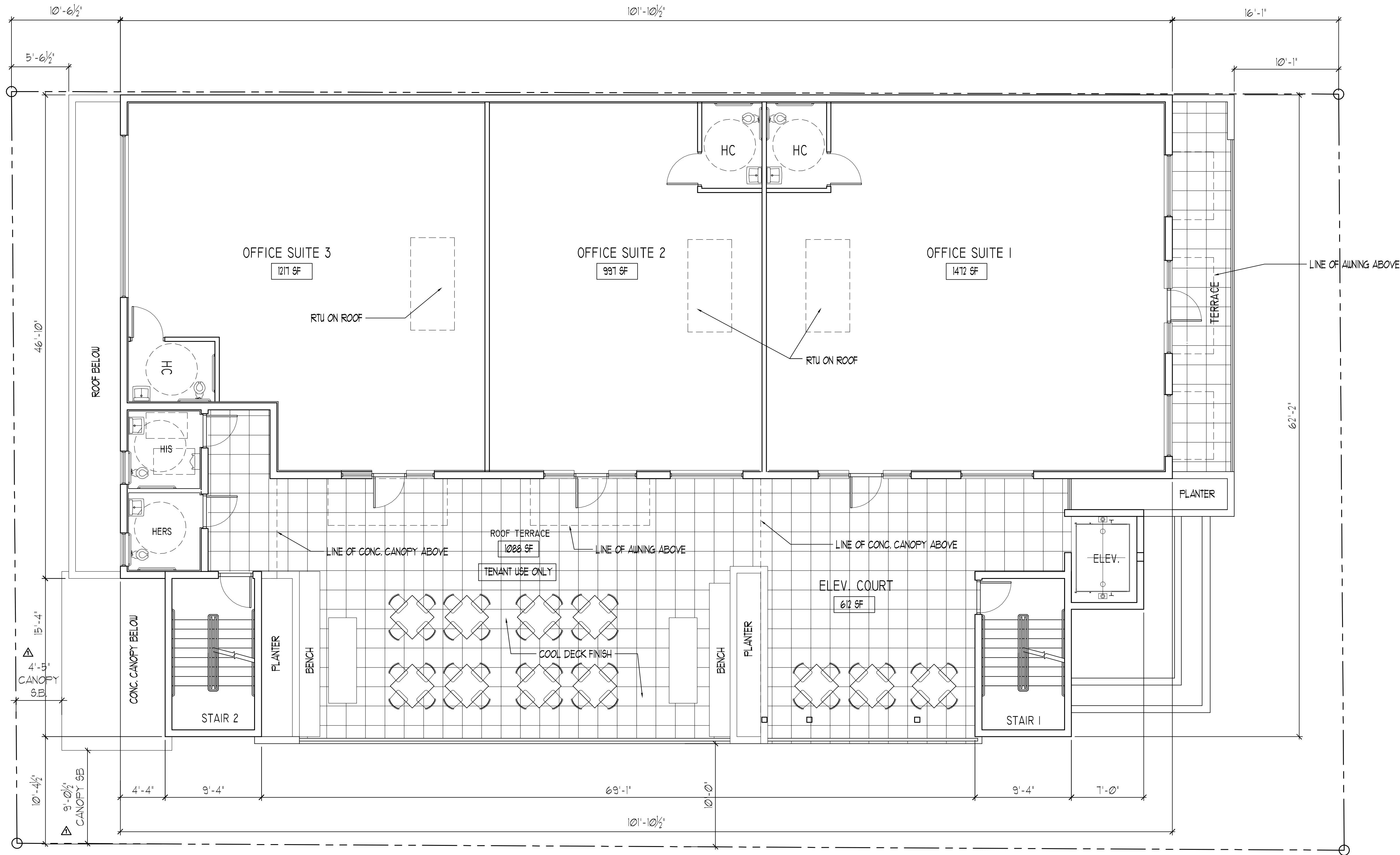
PROJECT No.: 17093
DATE: 7-11-17
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SHEET
A-2
2 OF 6



1 **THIRD FLOOR PLAN**

SCALE: 3/16"= 1'-0"



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PROJECT TITLE
TYLER STREET MIXED USE
1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE
THIRD FLOOR PLAN
FINAL TAC

REVISIONS		
No.	DATE	DESCRIPTION
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2		

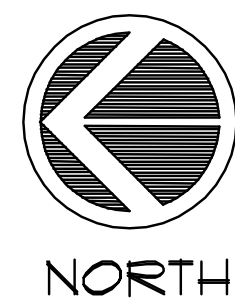
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DATE: 7-11-17
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SHEET

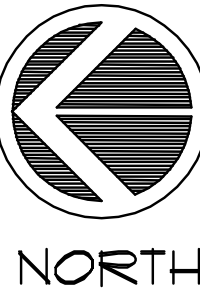
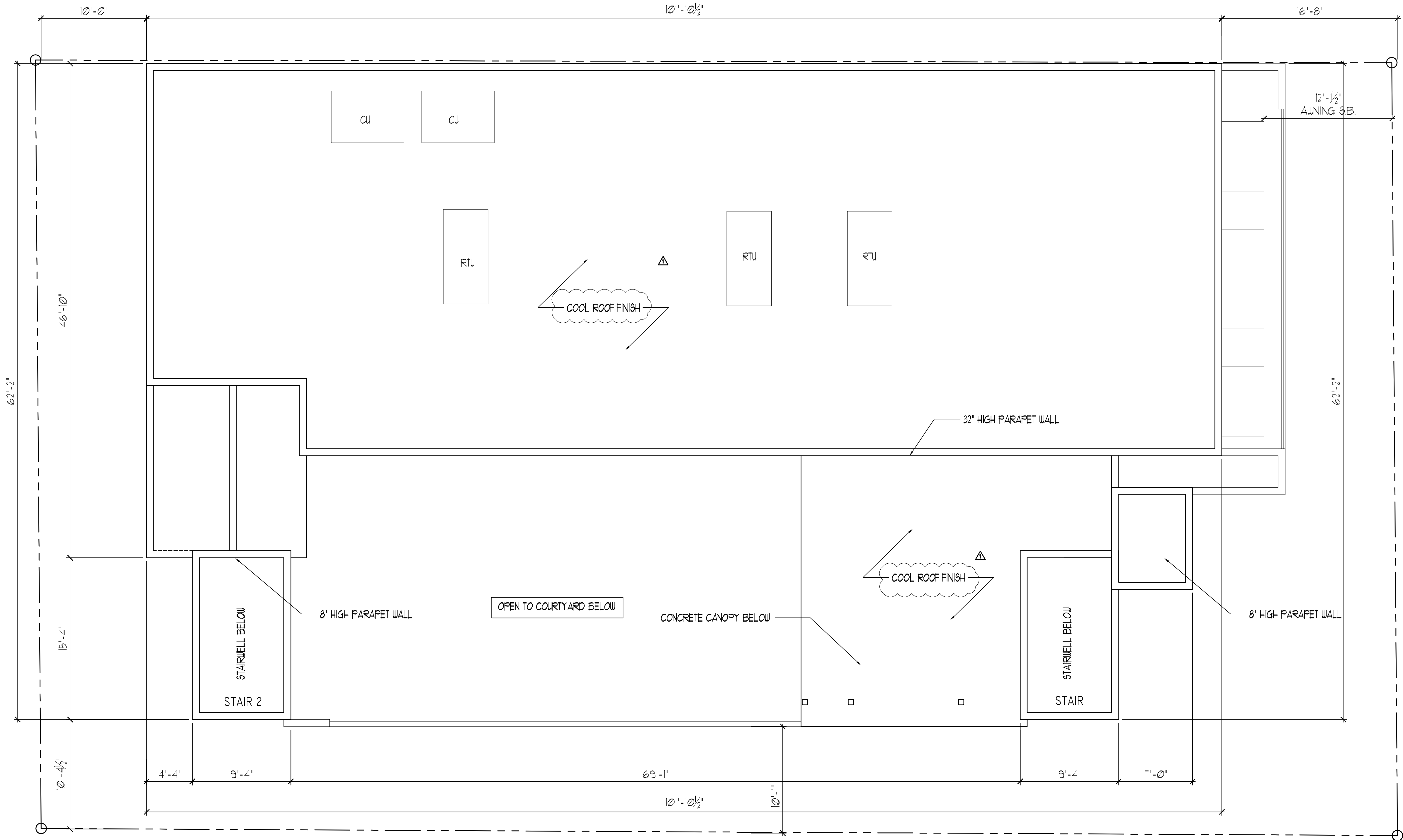
A-3

3 OF 6



1 ROOF PLAN

SCALE: 3/16" = 1'-0"



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PROJECT TITLE

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1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE

ROOF PLAN
FINAL TAC

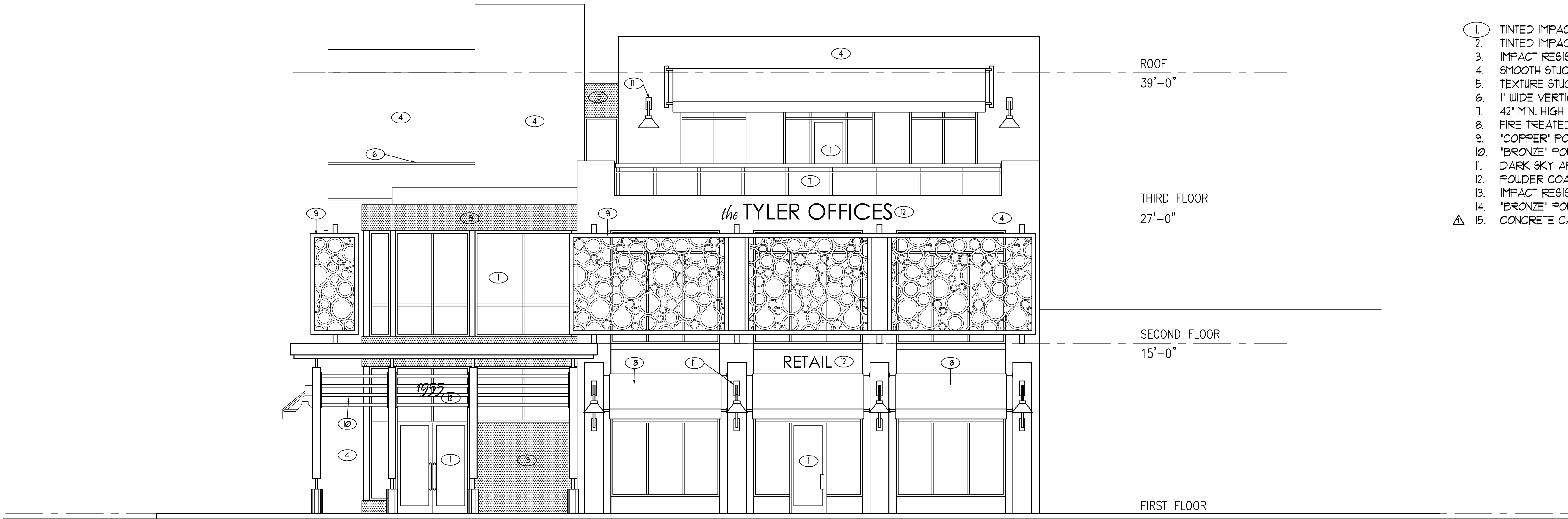
REVISIONS		
No.	DATE	DESCRIPTION
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2		

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DATE: 7-11-17
DRAWN BY: TMS
CHECKED BY: JBK

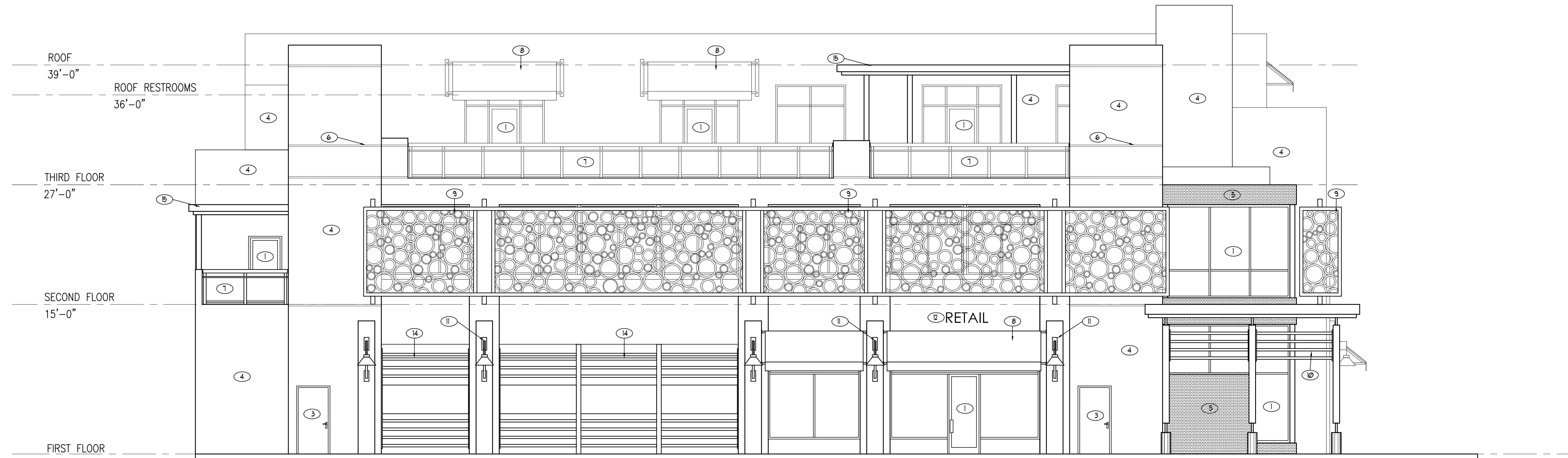
SHEET

A-4



- 1. TINTED IMPACT RESISTANT STOREFRONT
- 2. TINTED IMPACT RESISTANT WINDOWS
- 3. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 4. SMOOTH STUCCO WALL FINISH
- 5. TEXTURE STUCCO WALL FINISH
- 6. 1" WIDE VERTICAL / HORIZONTAL STUCCO SCORING
- 7. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
- 8. FIRE TREATED CANVAS AWNING
- 9. 'COPPER' POWDER COATED ALUMINUM LAZER CUT METAL SCREEN
- 10. 'BRONZE' POWDER COATED DECORATIVE HORIZONTAL ALUMINUM TUBE
- 11. DARK SKY APPROVED EXTERIOR WALL SCONCE
- 12. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
- 13. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
- 14. 'BRONZE' POWDER COATED ALUMINUM HORIZONTAL PICKET SCREEN
- 15. CONCRETE CANOPY

SOUTH ELEVATION



WEST ELEVATION

1 ELEVATIONS

SCALE: 3/16"= 1'-0"

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SEAL

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PROJECT TITLE
TYLER STREET MIXED USE
1955 TYLER STREET
HOLLYWOOD FL 33020

SHEET TITLE
ELEVATIONS
FINAL TAC

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

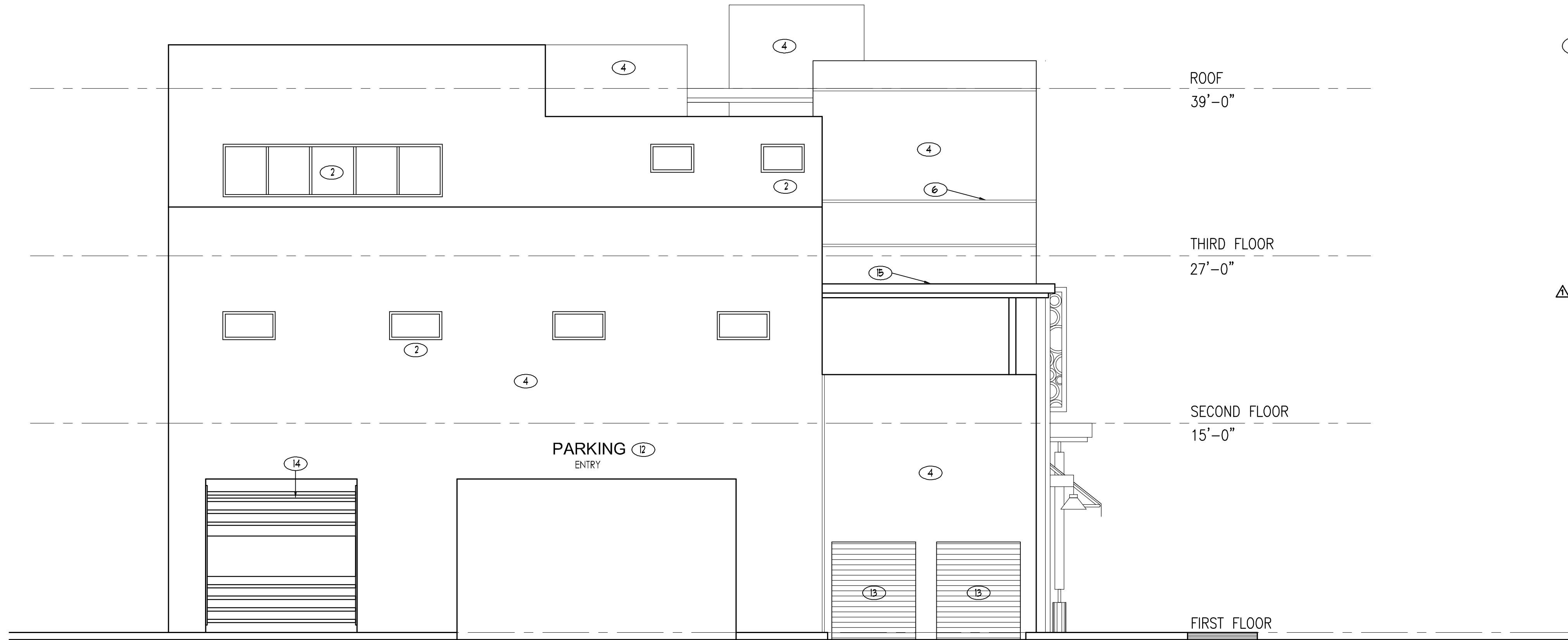
PROJECT No.: 17093
DATE: 7-11-17
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CHECKED BY: JBK

SHEET
A-5
5 OF 6

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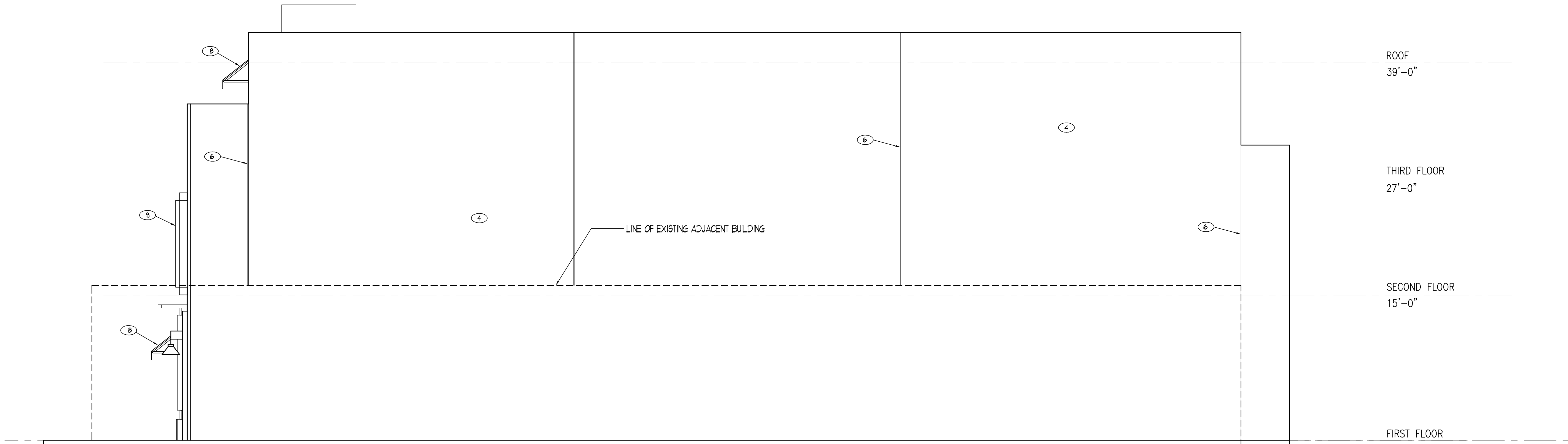
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1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT WINDOWS
3. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
4. SMOOTH STUCCO WALL FINISH
5. TEXTURE STUCCO WALL FINISH
6. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
7. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
8. FIRE TREATED CANVAS AWNING
9. 'COPPER' POWDER COATED ALUMINUM LAZER CUT METAL SCREEN
10. 'BRONZE' POWDER COATED DECORATIVE HORIZONTAL ALUMINUM TUBE
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13. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
14. 'BRONZE' POWDER COATED ALUMINUM HORIZONTAL PICKET SCREEN
15. CONCRETE CANOPY

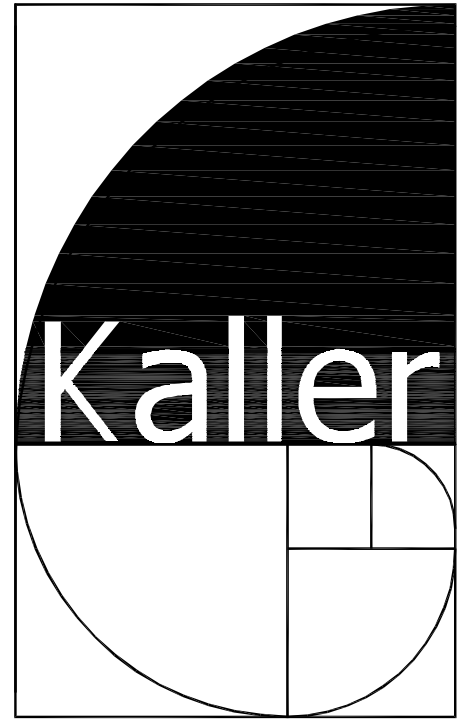
NORTH ELEVATION



EAST ELEVATION

1 ELEVATIONS

SCALE: 3/16"= 1'-0"



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PROJECT TITLE

TYLER STREET MIXED USE
1955 TYLER STREET AND
HOLLYWOOD FL 33020
209 N. 20TH AVE.

SHEET TITLE

ELEVATIONS
FINAL TAC

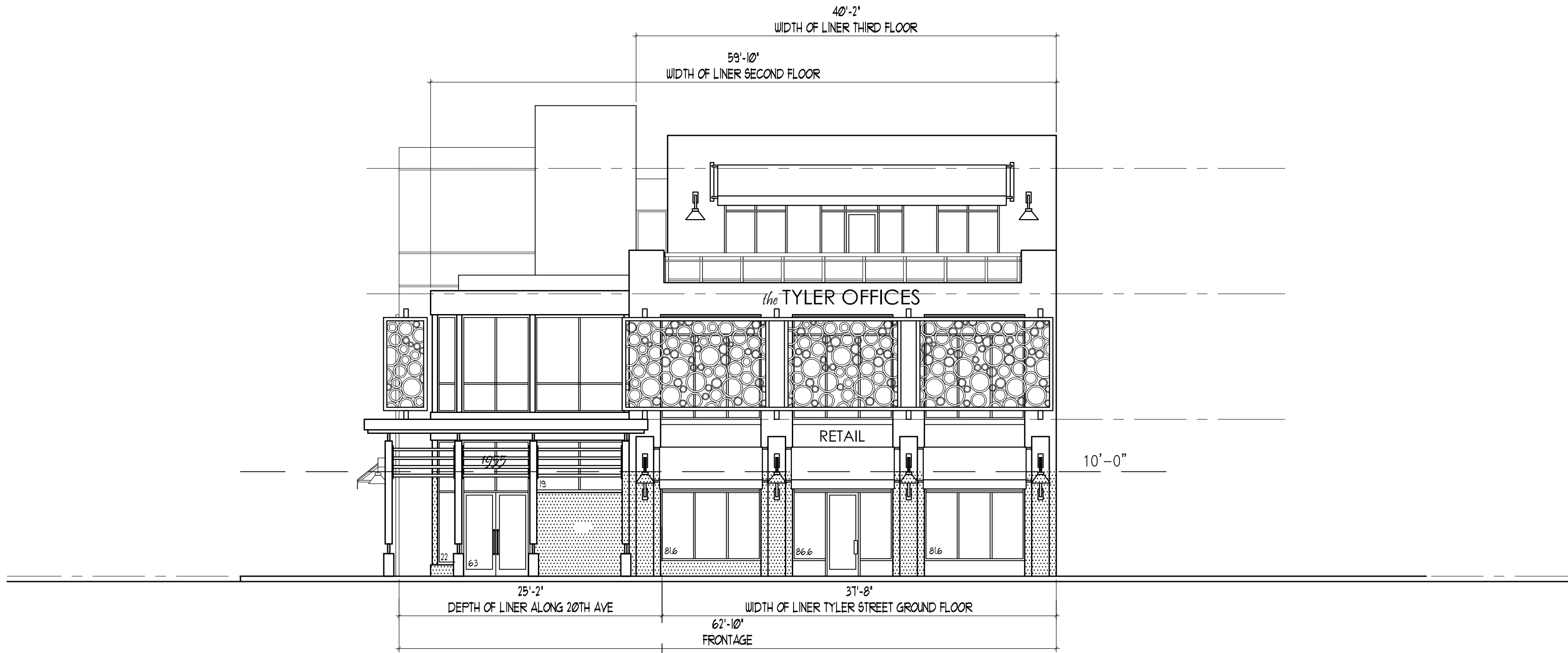
REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET

A-6



ACTIVE LINERS	
GROUND FLOOR	
BUILDING FRONTAGE = 62'-10"	
ACTIVE LINER REQUIRED AT 25' DEPTH = 31'-8" (60%)	
ACTIVE LINER PROVIDED AT 25' DEPTH = 31'-8" (60%)	
THIRD FLOOR	
BUILDING FRONTAGE = 62'-10"	
ACTIVE LINER REQUIRED AT 20' DEPTH = 25'-2" (40%)	
ACTIVE LINER PROVIDED AT 20' DEPTH = 40'-2" (63%)	

ACTIVE LINER TRANSPARENCY
COMMERCIAL ACTIVE LINER AREA = 650.5 SF.
TRANSPARENCY REQUIRED = 325.25 SF. (50%)
TRANSPARENCY PROVIDED = 353.8 SF. (54.4%)



ACTIVE LINERS	
BUILDING FRONTAGE = 113'-6"	
ACTIVE LINER REQUIRED = 45'-4" (40%)	
ACTIVE LINER PROVIDED AT 25' DEPTH = 26'-10" (23.1%)	
ACTIVE LINER PROVIDED AT 45' DEPTH = 18'-6" (16.3%)	
45'-4" (40.0%)	

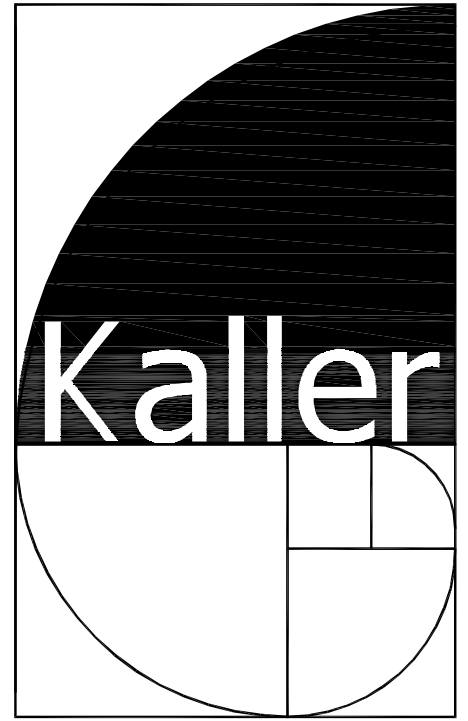
ACTIVE LINER TRANSPARENCY
COMMERCIAL ACTIVE LINER AREA = 483 SF.
TRANSPARENCY REQUIRED = 241.5 SF. (50%)
TRANSPARENCY PROVIDED = 262.4 SF. (54.3%)

SOUTH ELEVATION

WEST ELEVATION

1 ELEVATIONS

SCALE: 1/8"= 1'-0"



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1955 TYLER STREET
HOLLYWOOD FL 33020

SHEET TITLE

ACTIVE LINERS
FINAL TAC

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SHEET

A-7





the TYLER OFFICES