

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: _____

Location Address: Chase Bank - Young Circle, FL

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142 10 62 0010

Zoning Classification: SS (in RAC) Land Use Classification: Vacant

Existing Property Use: Vacant Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Request for the construction of a new freestanding Chase Bank with a drive thru ATM and variances for drive-thru stacking (2) spaces; and (1) increase in max. parking count

Number of units/rooms: N/A Sq Ft: 4,443 SF

Value of Improvement: \$1,340,000.00 Estimated Date of Completion: 8/12/2018

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Real Sub LLC. % Publix Super Markets Inc.

Address of Property Owner: 3300 Publix Corporate Prky, Lakeland, FL 33811

Telephone: 800-242-1227 Fax: _____ Email Address: _____

Name of ~~Consultant~~ Representative/Tenant (circle one): Core States Group (Zach Thornton)

Address: 110 N. 11th Street Ste. 101 Tampa, FL 33602 Telephone: 813-490-1755

Fax: _____ Email Address: zthornton@core-eng.com

Date of Purchase: 5/26/15 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Real Sub, LLC
By: William W Rayburn Date: 5-18-2017

PRINT NAME: William W. Rayburn, Director of R/E Assets Date: 5-18-2017

Signature of Consultant/Representative: Z Thornton Date: 5/22/2017

PRINT NAME: Zach H. Thornton, P.E. (Core States Group) Date: 5/22/2017

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the Director of Real Estate Assets for Real Sub, LLC, the current owner of the described real property and I am aware of the nature and effect the request for Approval of JPMorgan Chase Bank's plans to improve Real Sub, LLC's property, which is hereby made by me or I am hereby authorizing Zach H. Thornton, P.E. to be my legal representative before the Planning and Development (Board and/or Committee) relative to all matters concerning this application; provided: (1) such representative shall not have the authority to bind owner to any monetary or non-monetary obligations, or to in any way affect the zoning or land use of the property, (2) this power of attorney only applies to land folio #514210620010; and (3) owner reserves the right to revoke the power at any time upon written notice.

Sworn to and subscribed before me
this 18th day of May 2017

Patricia Cooley
Notary Public
State of Florida

PATRICIA COOLEY
MY COMMISSION # FF 114839
EXPIRES: August 20, 2018
Bonded Thru Budget Notary Services

Real Sub, LLC

By: William W Rayburn
William W. Rayburn, Director of Real Estate Assets
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

July 13, 2017

Ms. Alexandra Carcamo
Principal Planner
City of Hollywood, Florida
2600 Hollywood Blvd. Room 315
Hollywood, FL 33022

Dear Ms. Carcamo:

On behalf of JPMorgan Chase, N.A., Core States Group ("CSG") is providing the following letter in response to comments issued on June 19, 2017 regarding a new Chase Bank located at 1700 Sheridan Street, Hollywood, FL 33020.

The comments received are listed below followed by our response in bold letters.

A. APPLICATIONSUBMITTAL:

1. The cover sheet shall include the current meeting date. Leave space for future meeting dates (i.e. Preliminary TAC, Final TAC, Board meeting).

Response: Please refer to the revised Sheet C1, Cover Sheet, for the City Meeting Record table.

2. Work with the Engineering Department to ensure Survey is correct and consistent with the plat. ALTA Survey should be based on O&E and list all easements and/or dedications with O.R. or plat book(s) and page number(s). Work with Engineering Department to ensure the survey is accurate.

Response: CSG has coordinated with the engineering department to ensure the survey is accurate. Please note the survey was revised after the O&E dated within 30 days of initial submittal and list all easements and / or dedications with O.R. / Plat book and page number.

3. Site Plan shall include Legal Description and shall match O&E and Survey. Revise accordingly.

Response: Please refer to the revised Sheet C1, Cover Sheet, for updated legal description that now matches the O&E and survey. Please note the survey matches O&E in the previous submittal.

4. The square footage of the building is not consistent. Provide the actual square footage of the building and ensure it is the same on all documents including the general application, site plan, etc.

Response: Please refer to the revised Sheet C7, Site Plan, and the general application for the updated building area.

5. Drawings shall be fully dimensioned. Several dimensions are missing (i.e. landscape setback on west side, etc.).

Response: Please refer to the revised Sheet C7, Site Plan, for the updated site dimensions.

6. Indicate the location of mechanical equipment. Include a Roof Plan if located on the roof. If not, include note stating that all mechanical equipment shall be properly screened from public view.

Response: Please refer to the included roof plan and the revised Sheet C9, Utility Plan, for utility note 10 regarding screened equipment. Please note all mechanical equipment is to be located on the roof and screened by the parapet.

7. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

Response: Please refer to the attached colored rendering included behind the architectural colored elevations showing the landscaping along the western elevation. The City's Landscape Architect was consulted for the appropriate planting material.

8. Staff encourages Applicant to meet with surrounding civic associations, if any and adjacent homeowners. Please provide update with next submittal.

Response: CSG has reached out to Clay Milan and obtained the contact information for both the Liberia Neighborhood Civic Association and Hollywood Lakes civic association. CSG will attend one of the regularly scheduled, upcoming monthly meetings to discuss the project.

9. Provide written responses to all comments with next submittal.

Response: Comment acknowledged with this letter.

10. Additional comments may be forthcoming.

Response: Comment acknowledged.

B. ZONING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Revise Site data to include the correct Land Use and Zoning, and the correct required and proposed Heights, setbacks, etc. Existing information shall be removed as this is a vacant parcel. Please reference Ordinance O-2016-22 as this area was rezoned.

Response: Please refer to the revised Sheet C7, Site Plan, for revised site data table for the above corrected information.

2. The proposed parking exceeds the maximum allowed in this zoning district. Revise Accordingly.

Response: Please refer to the revised Sheet C7, Site Plan, for the revised requested variance table. Please note that during the Preliminary TAC hearing, staff indicated that the proposed project may be alleviated from the maximum requirement based on it being in a master planned development. Please note the request for landscaping variance has been removed and one parking stall has been removed from the plans. The current plans show 24 proposed spaces, with a maximum of 23 per code. Based on the approved plans for the overall development, the site as a whole, was granted additional parking over which was required.

3. The calculations for required and proposed pervious and impervious areas are not clear. Required landscaping for paved vehicular use areas should be calculated as a percentage of the paved vehicular use area and not the lot area; and shall not include required parking lot setbacks, buffers, or parking overhangs. Variance requested may be eliminated once parking count is corrected and calculations are provided.

Response: Please refer to the revised Sheet C7, Site Plan, for the revised site data table.

4. Parking stalls shall be 8.5x18 feet long or 17 feet with a one foot grass overhang. Dimension stalls and revise as necessary. One foot overhang does not count towards landscape calculations.

Response: Please refer to the revised Sheet C7, Site Plan, for the revised parking stall dimensions and VUA Detail. No overhang was included in the VUA landscaping parking calculation. Please note the request for landscaping variance has been removed and parking space dimensions revised.

5. All terminal islands shall be a minimum of 190 square feet and have a length equal to that of the adjacent parking stall. Show dimensions for compliance.

Response: Please refer to the revised Sheet C7, Site Plan, for the updated terminal landscape islands to be a minimum of 190 SF.

6. Include note indicating provisions for recycling will be included.

Response: Please refer to the revised Sheet C7, Site Plan, for site note 12 regarding recycling services. Please note that per coordination with Public Works (Karen Arndt), the proposed project meets the recycling ordinance as the proposed recycling receptacles will be kept within the facility. Please note the banking facility does not allow any paper material waste to be disposed of in any garbage receptacle per Company standards (highly sensitive banking documentation) and the

remaining recyclable waste will be collected in bins and either appropriately disposed of by cleaning staff or rolled out in containers for collection.

7. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

Response: Please refer to the revised Sheet C9, Utility Plan, for the proposed garbage truck turn analysis. Access to the proposed trash enclosure is adequate per conversations with Public Works and Engineering Division and is indicated on the truck turning analysis.

8. Location of all utilities shall be coordinated with appropriate departments.

Response: Utility locations have been verified with James Rusnak and are accurately shown on the survey and plans.

9. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O2016-02.

Response: Please refer to the revised Sheet C9, Utility Plan, for keynote "Z". Please note the infrastructure for a future electric vehicle charging station will be provided.

C. ARCHITECTURE AND URBAN DESIGN

Alexandra Carcamo, Principal Planner 954-921-3471

1. Provide material samples and paint chips with next submittal.

Response: Please refer to the attached material samples and paint chips.

2. For the parking lot, consider using material with high albedo to limit absorption of sunlight and reduce urban heat island effect or consider using permeable paving material which reduces runoff and increase water penetration.

Response: Please refer to Sheet C7, Site Plan, for the revised parking lot which now includes concrete parking stalls to limit absorption of sunlight and reduce urban heat island effect.

Terrence Comiskey, Architect, 954-921-3930

1. No dumpster details were included for review. Need to incorporate recycling.

Response: Please refer to Sheet A0.3, Trash Enclosure, for the trash enclosure details. Please note that per coordination with Public Works (Karen Arndt), the proposed project meets the recycling ordinance as the proposed recycling receptacles will be kept within the facility. Please note the banking facility does not allow any paper material waste to be disposed of in any garbage receptacle per Company standards (highly sensitive banking documentation) and the remaining recyclable waste will be collected in bins and either appropriately disposed of by cleaning staff or rolled out in containers for collection.

2. How are they meeting the requirements of the City's Green Building Ordinance?

Response: Please refer to the revised Sheet C7, Site Plan, for the list of green ordinance practices proposed for this project.

D. LANDSCAPING

Dale Bryant, Landscape Architect 954-921-3997

1. No comments received.

Response: Per conversations with Dale Bryant, the Landscape Plans have been revised per City recommendations.

E. SIGNAGE

Alexandra Carcamo, Principal Planner 954-921-3471

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevation, dimensions on Site Plan, etc.

Response: Please refer to the attached signage package.

2. Include a note on plans that all signage will comply with Zoning and Land Development Regulations.

Response: Please refer to the revised Sheet C7, Site Plan, for site note 13 regarding signage compliance.

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Response: Comment acknowledged. Sheet C7, Site Plan, for site note 14 regarding electrically illuminated signs.

F. LIGHTING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential).

Response: Please refer to the revised Sheet C7, Site Plan, for site note 7 regarding site lighting.

G. GREEN BUILDING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. For next submittal list practices on Site Plan.

Response: Please refer to Sheet C7, Site Plan, for the list of green ordinance practices proposed for this project.

H. ENVIRONMENTAL SUSTAINABILITY

Lindsey Nieratka, Environmental Sustainability Coordinator, 954-921-3201

1. Make sure that you meet the requirements of the green building ordinance. Include some of the following suggestions as you meet those requirements.

Response: Please refer to Sheet C7, Site Plan, for the list of green ordinance practices proposed for this project.

2. Install daylight sensors in the office and make sure individual offices have occupant control over the lighting in order to save energy and encourage the use of daylight.

Response: Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

3. Install water efficient fixtures.

Response: Proposed project conforms.

4. The roof should meet Energy Star standards as a “cool roof”.

Response: Proposed project conforms. See attached spec.

5. External lights should be energy efficient and also comply with International Dark Sky Association (IDA) standards.

Response: The exterior lighting conforms to item (Q) of Code section 151.152 as all outdoor lighting consists of LED lighting. Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

6. The project will have to install the infrastructure for car charging, Also install a car charger and dedicated space for charging.

Response: Please refer to the revised Sheet C9, Utility Plan, for keynote “Z”.

7. Consider using permeable pavement or creating bioretention on site to manage storm water.

Response: Please refer to Sheet C7, Site Plan, for the revised parking lot which now includes concrete parking stalls to limit absorption of sunlight and reduce urban heat island effect. The concrete pavement is proposed to be installed in lieu of the permeable pavers. Please note that per the overall development, the Chase outparcel is required to constructed 450 LF of exfiltration trench which is included in the design of the stormwater system.

8. Consider the landscaping around the ATM and Drive up teller in terms of its function to absorb emissions from idling vehicles. Add additional landscaping for this purpose.

Response: No landscaping space is available due to the restrictions of the site. Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

9. Consider providing a “conspicuous display of green technology” as part of the development. This means that a green feature of the building should be prominently visible (e.g. car charger, rain barrel) or that there be signage describing less visible green features (e.g. a sign explaining energy efficiency features, sign showing NWF Habitat Certification).

Response: Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

I. UTILITY

James Rusnak, Engineer 954-921-3302
Wilford Zephyr, Engineer 954-924-2985

1. No comments received.

J. BUILDING

Philip Sauer, Chief Building Official 954-921-3025

1. No Comments received.

K. ENGINEERING

Luis Lopez, City Engineer 954-921-3251
Clarissa Ip, Engineering Support Services Manager 954-921-3915

1. Indicate the one outbound stacking space for the drive-thru ATM on plans.

Response: Please refer to the revised Sheet C7, Site Plan, for the outbound stacking location.

2. In the Queuing Analysis, Page 1 of the report states an average of 17.80 transactions per peak hour, the backup provided in the tables shows 534 for 6pm; please clarify.

Response: Per conversations with Clarissa, she acknowledged the 534 trips are based on one (1) month (534/30 day = 17.80).

3. Four inbound stacking spaces provided for the drive-thru ATM is two less than the six required by Code. A variance will be required. Queuing Analysis is pending clarification.

Response: Comment acknowledged.

4. All outside agency permits must be obtained prior to issuance of Building Permit.

Response: Comment acknowledged.

5. TAC approval will be contingent on the completion of the proposed traffic signal permitting with approval from all permitting agencies and a construction bond from Publix for the work.

Response: Comment acknowledged. Per the preliminary TAC hearing, this condition will be waived if Publix produces a copy of the FDOT performance bond for the roadway and signalization improvements.

6. Remove “Young Circle” as location from the plan set (title blocks and cover sheet).

Response: Please refer to all sheets for the revised site description.

L. FIRE

Janet A. Washburn, Fire Prevention Officer III 954-921-3263

This review is limited to water supply for firefighting purposed and fire dept. access. A full architectural review will be completed when the plan is submitted for building permit review.

1. On pg. C9, fire truck turn is shown. However, on the west side of the building, a minimum width of unobstructed access of 20' width is required per NFPA 1, chapter 18.2.3.4.1.1. Please show on one of the pages. Pg. C7 only shows a 15' width for the access.

Response: Please refer to the revised Sheet C9, Utility Plan, for the revised fire truck turn analysis. Please note that the truck turn analysis was revised to not show the fire truck traverse the 15' wide lane as it is not required for the fire access road. The fire access road as shown conforms to NFPA 1 standards and is within 150' of any portion of any exterior wall (18.2.3.2.2), and within 50' of any exterior doorway (per 18.2.3.2.1).

2. Our required turning radius is: 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior. Please show on the plan.

Response: Please refer to the revised Sheet C9, Utility Plan, for the revised fire truck turn analysis which does not require the vehicle to turn at the minimum allowed radii.

3. In order to determine the minimum fire flow requirements found in NFPA 1, 18.4.5.2, a fire flow test must be scheduled. Please call underground utilities to schedule at 954-921-3046. After the results are completed, show the calculations on the next submittal showing how the minimum

flow is achieved. If more fire hydrants are required as a result of that test, show them on the plan. Unable to locate any existing fire hydrants on the plans submitted.

Response: Please refer to the attached fire flow test and refer to keynote “H” as initially submitted. Please note there are two (2) existing hydrants adjacent to the site, one located at the northwest corner and one located at the southwest corner.

4. Additionally, no legend appears on pg. C9 for fire hydrants. If there are existing fire hydrants, Please show them on the plan.

Response: Please refer to the revised Sheet C9, Utility Plan, for the existing water structures legend and keynote “H” as initially submitted. Please note there are two (2) existing hydrants adjacent to the site, one located at the northwest corner and one located at the southwest corner.

M. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager 954-921-3271

1. Application is substantially compliant.

N. PARK, RECREATION AND CULTURAL ARTS

Eric Brown, Recreation Supervisor 954-921-3404

David Vazquez, Assistant Director 954-921-3404

1. Application is substantially compliant.

O. POLICE DEPARTMENT

Tracey Thomas, Police 954-967-4549

Doreen Avitabile, Police 954-967-4371

P. PUBLIC WORKS

Karen Arndt, Assistant Director 954-967-4264

Charles Lassiter, Environmental Services Supervisor 954-967-4207

Q. ECONOMIC DEVELOPMENT

Brian Rademacher, Corridor Redevelopment Manager 954-924-29221.

1. Application is substantially complaint.

R. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director 954-924-2980

Susan Goldberg, Deputy Director 954-924-2980

1. Not applicable.

S. PARKING AND INTERGOVERNMENTAL AFFAIRS

Tamikia Bacon, Parking Operations Manager 954-921-3548
Harold King, Parking Administrator 954-921-3549

T. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner 954-921-3471

1. Additional comments may be forthcoming.

Should you need any further information or have any questions, please feel free to contact us at (813) 490-1755.

Sincerely,



Zach H. Thornton, P.E.
Civil Engineer
Core States Group

Hydrant Flow Test Procedure


Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1 & F2** simultaneously and record GPM separately from **F1** and **F2** and record **P** hydrant residual.

Legend:

F1 & F2 Designation shall represent first and second flowed hydrants respectively
P Designation shall represent test hydrant for static and residual distribution system pressures.

1700 Sheridan ST. (CoreState. Inc.)

Date: June 27 2017	Time: 8:05 AM	 60	
Residual/Static Hydrant	Address/Location	Residual Pressures	
P - Hydrant FH003834	1780 Sheridan st	F-1 Only	F-2 Only
		60	60
		F-1& F-2	59
Flow Hydrants	Address/Location	Flow Rate	
F-1 Hydrant (Individual) FH003635	1780 Sheridan st. sw entrance by Pollo	GPM	
		1130	
F-2 Hydrant (Individual) FH003634	1700 Sheridan St.	GPM	
		1160	
F-1 Hydrant (Both Flowing)		GPM	
		1100	
F-2 Hydrant (Both Flowing)		GPM	
		1130	

CHASE
SECTION 220700 – PLUMBING INSULATION

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Work Included: Perform all work necessary to complete the insulation of the mechanical systems, as shown on the Drawings and specified herein. The work shall include insulation for but not be limited to the following principal items.
 - 1. Piping.
 - 2. Equipment.
- B. Related Work Specified Elsewhere: 221000 - Plumbing Piping.

1.2 JOB CONDITIONS

- A. Contractor shall refer to the Architectural plans for details and to the Mechanical Drawings for locations of ductwork, piping and equipment furnished under other sections of these Specifications.
- B. Each Contractor shall do all cutting and patching of building material required for installation work in his contract. No structural members shall be cut without the approval of the Architect and all cutting shall be done in a manner as directed by him.

1.3 GUARANTEE

- A. Insulation Contractor shall guarantee and shall require guarantee from all manufactures furnishing materials, that materials and installation comply with all the requirements of the drawings and specifications.

1.4 PROTECTION

- A. Protect insulation against dirt, water, chemical or mechanical damage before, during and after installation. Any such insulation or covering prior to final acceptance of the work shall be satisfactorily repaired or replace at no additional cost to the Owner.

1.5 SUBMITTALS

- A. Product Data: For each type of product indicated.

1.6 QUALITY ASSURANCE

- A. Conform to the following characteristics for insulation including facings, cements, and adhesives, when tested according to ASTM E 84, by UL or other testing or inspecting organization acceptable to the authority having jurisdiction. Label insulation with appropriate markings of testing laboratory.
- B. Interior Insulation: Flame spread rating of 25 or less and a smoke developed rating of 50 or less.
- C. Exterior Insulation: Flame spread rating of 75 or less and a smoke developed rating of 150 or less.

PART 2 - PRODUCTS

2.1 INSULATION MATERIALS

- A. Provide insulation materials of manufacture and type as listed below, or approval equal.
 - 1. Glass Fiber Insulation: Inorganic glass fibers, bonded with a thermosetting resin.
 - a. Jacket: All-purpose, factory-applied, laminated glass-fiber-reinforced, flame-retardant kraft paper and aluminum foil having self-sealing lap.
 - b. Board: ASTM C 612, Class 2, semi-rigid jacketed board.
 - 1) Thermal Conductivity: 0.26 average maximum, at 75 deg F mean temperature.
 - 2) Density: 12 pcf average maximum.
 - c. Blanket: ASTM C 553, Type II, Class F-1, jacketed flexible blankets.
 - 1) Thermal Conductivity: 0.32 average maximum, at 75 deg F mean temperature.
 - d. Preformed Pipe Insulation: ASTM C 547, Class 1, rigid pipe insulation, jacketed.
 - 1) Thermal Conductivity: 0.26 average maximum at 75 deg F mean temperature.
 - 2) Density: 10 average maximum.
 - e. Adhesive: Produced under the UL Classification and Follow-up service.

CHASE
SECTION 220700 – PLUMBING INSULATION

- 1) Lagging Adhesive: MIL-A-3316C, non-flammable adhesive in the following Classes and Grades:
 - a) Class 1, Grade A for bonding glass cloth and tape to unfaced glass fiber insulation, sealing edges of glass fiber insulation, and bonding lagging cloth to unfaced glass fiber insulation.
 - b) Class 2, Grade A for bonding glass fiber insulation to metal surfaces.
 - 2) Service Temperature Range: Minus 20 to 180 deg F.
- f. Vapor Barrier Coating: Waterproof coating recommended by insulation manufacturer for outside service.
2. Flexible Elastomeric Cellular Insulation: Flexible expanded closed-cell structure with smooth skin on both sides.
 - a. Tubular Materials: ASTM C 534, Type I.
 - b. Sheet Materials: ASTM C 534, Type II.
 - c. Thermal Conductivity: 0.30 average maximum at 75 deg F.
 - d. Coating: Water based latex enamel coating recommended by insulation manufacturer.
 - e. Adhesive: Solvent-based, contact adhesive recommended by insulation manufacturer.
3. Jackets: ASTM C 921, Type 1, except as otherwise indicated.
 - a. Foil and Paper Jacket: Laminated glass-fiber-reinforced, flame-retardant kraft paper and aluminum foil.
 - 1) Water Vapor Permeance: 0.02 perm maximum, when tested according to ASTM E 96.
 - 2) Puncture Resistance: 50 beach units minimum, when tested according to ASTM D 781.
 - b. PVC Jacketing: High-impact, ultra-violet-resistant PVC, 20-mils thick, roll stock ready for shop or field cutting and forming to indicated sizes.
 - 1) Adhesive: As recommended by insulation manufacturer.
 - c. PVC Fitting Covers: Factory-fabricated fitting covers manufactured from 20-mil-thick, high-impact, ultra-violet-resistant PVC.
 - 1) Adhesive: As recommended by insulation manufacturer.
4. Accessories and Attachments: Provide the following accessories:
 - a. Glass Cloth and Tape: Woven glass fiber fabrics, plain weave, presized a minimum of 8 ounces per sq. yd.
 - 1) Tape Width: 4 inches.
 - 2) Cloth Standard: MIL-C-20079H, Type I.
 - 3) Tape Standard: MIL-C-20079H, Type II.
 - b. Bands: 3/4-inch wide, in one of the following materials compatible with jacket:
 - 1) Stainless Steel: Type 304, 0.020 inch thick.
 - 2) Galvanized Steel: 0.005 inch thick.
 - 3) Aluminum: 0.007 inch thick.
 - c. Wire: 14-gage nickel copper alloy, 16-gage, soft-annealed stainless steel, or 16-gage, soft-annealed galvanized steel.
 - d. Corner Angles: 28-gage, 1-inch by 1-inch aluminum, adhered to 2-inch by 2-inch kraft paper.
 - e. Anchor Pins: Capable of supporting 20 pounds each. Provide anchor pins and speed washers of sizes and diameters as recommended by the manufacturer for insulation type and thickness.
5. Vapor Barrier Compound: Water-based, fire-resistive composition.
 - a. Water Vapor Permeance: 0.08 perm maximum.
 - b. Temperature Range: Minus 20 to 180 deg F.
6. Weatherproof Sealant: Flexible-elastomer-based, vapor-barrier sealant designed to seal metal joints.
 - a. Water Vapor Permeance: 0.02 perm maximum.
 - b. Temperature Range: Minus 50 to 250 deg F.
 - c. Color: Aluminum.

PART 3 - EXECUTION

3.1 INSTALLATION STANDARDS

- A. Workmanship: Insulation shall be installed in first-class, neat, workmanlike fashion. Stapling of vapor-barrier jackets will not be allowed. Vapor-barrier and canvas shall run continuously through hangers

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and vapor-barrier shall not be pierced for any reason. ASME stamps, UL labels and similar stamps and labels shall not be covered. Unsatisfactory installations will be rejected and shall be removed and replaced.

- B. Pipe covering: Insulate piping as specified below. At hanger points of piping insulation with glass fiber, provide wood blocks as specified.
- C. Installation, General: Refer to schedules at the end of this Section for materials, forms, jackets, and thicknesses required for each mechanical system.
 - 1. Select accessories compatible with materials suitable for the service. Select accessories that do not corrode, soften, or otherwise attack the insulation or jacket in either the wet or dry state.
 - 2. Install vapor barriers on insulated pipes, ducts, and equipment having surface operating temperatures below 60 deg F.
 - 3. Apply insulation material, accessories, and finishes according to the manufacturer's printed instructions.
 - 4. Install insulation with smooth, straight, and even surfaces.
 - 5. Seal joints and seams to maintain vapor barrier on insulation requiring a vapor barrier.
 - 6. Seal penetrations for hangers, supports, anchors, and other projections in insulation requiring a vapor barrier.
 - 7. Seal Ends: Except for flexible elastomeric insulation, taper ends at 45 degree angle and seal with lagging adhesive. Cut ends of flexible elastomeric cellular insulation square and seal with adhesive.
 - 8. Apply adhesives and coatings at manufacturer's recommended coverage-per-gallon rate.
 - 9. Keep insulation materials dry during application and finishing.
 - 10. Items Not Insulated: Unless otherwise indicated do not apply insulation to the following systems, materials, and equipment:
 - a. Nameplates and data plates.
 - b. Access panels and doors in air distribution systems.
 - c. Fire protection piping systems.
 - d. Sanitary drainage and vent piping.
 - e. Drainage piping located in crawl spaces, unless indicated otherwise.
 - f. Below grade piping.
 - g. Chrome-plated pipes and fittings, except for plumbing fixtures for the disabled.
 - h. Piping specialties including air chambers, unions, strainers, check valves, plug valves, and flow regulators.
- D. Pipe Insulation Installation, General: Unless otherwise indicated, install pipe insulation as follows:
 - 1. Tightly butt longitudinal seams and end joints. Bond with adhesive.
 - 2. Stagger joints on double layers of insulation.
 - 3. Apply insulation continuously over fittings, valves, and specialties, except as otherwise indicated.
 - 4. Apply insulation with a minimum number of joints.
 - 5. Apply insulation with integral jackets as follows:
 - a. Pull jacket tight and smooth.
 - b. Cover circumferential joints with butt strips, at least 3-inches wide, and of same material as insulation jacket. Secure with adhesive and outward clinching staples along both edges of butt strip and space 4 inches on center.
 - c. Longitudinal Seams: Overlap seams at least 1-1/2 inches. Apply insulation with longitudinal seams at bottom of pipe. Clean and dry surface to receive self-sealing lap. Staple laps with outward clinching staples along edge at 4 inches on center.
 - 1) Exception: Do not staple longitudinal laps on insulation applied to piping systems with surface temperatures at or below 35 deg F.
 - d. Vapor Barrier Coatings: Where vapor barriers are indicated, apply on seams and joints, over staples, and at ends butt to flanges, unions, valves, and fittings.
 - e. At penetrations in jackets for thermometers and pressure gages, fill and seal voids with vapor barrier coating.
 - f. Repair damaged insulation jackets, except metal jackets, by applying jacket material around damaged jacket. Adhere, staple, and seal. Extend patch at least 2 inches in both directions beyond damaged insulation jacket and around the entire circumference of the pipe.
 - 6. Roof Penetrations: Apply insulation for interior applications to a point even with the top of the roof flashing. Seal with vapor barrier coating. Apply insulation for exterior applications butted tightly to

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- interior insulation ends. Extend metal jacket for exterior insulation outside roof flashing at least 2 inches below top of roof flashing. Seal metal jacket to roof flashing with vapor barrier coating.
7. Exterior Wall Penetrations: For penetrations of below grade exterior walls, terminate insulation flush with mechanical sleeve seal. Seal terminations with vapor barrier coating.
 8. Exterior Wall Penetrations: For penetrations of below grade exterior walls, extend metal jacket for exterior insulation through penetration to a point 2 inches from interior surface of wall inside the building. Seal ends of metal jacket with vapor barrier coating. Secure metal jacket ends with metal band. At point where insulation metal jacket contacts mechanical sleeve seal, insert cellular glass preformed pipe insulation to allow sleeve seal tightening against metal jacket. Tighten and seal sleeve to jacket to form a watertight seal.
 9. Interior Walls and Partitions Penetrations: Apply insulation continuously through walls and partitions, except fire-rated walls and partitions. Apply an aluminum jacket with factory-applied moisture barrier over insulation. Extend 2 inches from both surfaces of wall or partition. Secure aluminum jacket with metal bands at both ends. Seal ends of jacket with vapor barrier coating. Seal around penetration with joint sealer. Refer to Division 7 Section "Joint Sealants."
 10. Fire-Rated Walls and Partitions Penetrations: Terminate insulation at penetrations through fire-rated walls and partitions. Seal insulation ends with vapor barrier coating. Seal around penetration with firestopping or fire-resistant joint sealer. Refer to Division 7 for firestopping and fire-resistant joint sealers.
 11. Floor Penetrations: Terminate insulation underside of floor assembly and at floor support at top of floor.
 12. Flanges, Fittings, and Valves - Interior Exposed and Concealed: Coat pipe insulation ends with vapor barrier coating. Apply premolded, precut, or field-fabricated segments of insulation around flanges, unions, valves, and fittings. Make joints tight. Bond with adhesive.
 - a. Use same material and thickness as adjacent pipe insulation.
 - b. Overlap nesting insulation by 2 inches or 1-pipe diameter, whichever is greater.
 - c. Apply materials with adhesive, fill voids with mineral fiber insulating cement. Secure with wire or tape.
 - d. Insulate elbows and tees smaller than 3-inches pipe size with premolded insulation.
 - e. Insulate elbows and tees 3 inches and larger with premolded insulation or insulation material segments. Use at least 3 segments for each elbow.
 - f. Cover insulation, except for metal jacketed insulation, with PVC fitting covers and seal circumferential joints with butt strips.
 - g. Cover insulation, except for metal jacketed insulation, with 2 layers of lagging adhesive to a minimum thickness of 1/16 inch. Install glass cloth between layers. Overlap adjacent insulation by 2 inches in both directions from joint with glass cloth and lagging adhesive.
 13. Hangers and Anchors: Apply insulation continuously through hangers and around anchor attachments. Install saddles, shields, and inserts as specified in Division 15 Section "Supports and Anchors." For cold surface piping, extend insulation on anchor legs a minimum of 12 inches and taper and seal insulation ends.
 - a. Inserts and Shields: Cover hanger inserts and shields with jacket material matching adjacent pipe insulation.
- E. Glass Fiber Pipe Insulation Installation: Bond insulation to pipe with lagging adhesive. Seal exposed ends with lagging adhesive. Seal seams and joints with vapor barrier compound.
- F. Flexible Elastomeric Cellular Pipe Insulation Installation: Slip insulation on the pipe before making connections wherever possible. Seal joints with adhesive. Where the slip-on technique is not possible, cut one side longitudinally and apply to the pipe. Seal seams and joints with adhesive.
1. Valves, Fittings, and Flanges: Cut insulation segments from pipe or sheet insulation. Bond to valve, fitting, and flange and seal joints with adhesive.
 - a. Miter cut materials to cover soldered elbows and tees.
 - b. Fabricate sleeve-fitting covers from flexible elastomeric cellular insulation for screwed valves, fittings, and specialties. Miter cut materials. Overlap adjoining pipe insulation.
- G. Equipment Insulation Installation, General: Unless otherwise indicated install equipment insulation as follows:
1. Install board and block materials with a minimum dimension of 12 inches and a maximum dimension of 48 inches.

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2. Groove and score insulation materials as required to fit as closely as possible to the equipment and to fit contours of equipment. Stagger end joints.
 3. Insulation Thicknesses Greater than 2 Inches: Install insulation in multiple layers with staggered joints.
 4. Bevel insulation edges for cylindrical surfaces for tight joint.
 5. Secure sections of insulation in place with wire or bands spaced at 9-inch centers, except for flexible elastomeric cellular insulation.
 6. Protect exposed corners with corner angles under wires and bands.
 7. Manholes, Handholes, and Information Plates: Bevel and seal insulation ends around manholes, handholes, ASME stamps, and nameplates.
 8. Removable Insulation: Install insulation on components that require periodic inspecting, cleaning, and repairing for easy removal and replacement without damage to adjacent insulation.
 9. Pumps: Where insulation is indicated, fabricate galvanized steel boxes lined with insulation. Fit boxes around pumps and coincide joints in box with the splits in the pump casings. Fabricate joints with outward bolted flanges.
 10. Finishing: Except for flexible elastomeric cellular insulation, apply 2 coats of vapor barrier compound to a minimum thickness of 1/16 inch. Install a layer of glass cloth embedded between layers.
- H. Glass Fiber Equipment Insulation Installation: Secure insulation with anchor pins and speed washers. Space anchors at maximum intervals of 18 inches in both directions and not more than 3 inches from edges and joints. Apply a smoothing coat of insulating and finishing cement to finished insulation.
- I. Flexible Elastomeric Cellular Equipment Insulation Installation: Install sheets of the largest manageable size. Apply full coverage of adhesive to the surfaces of the equipment and to the insulation. Butt insulation joints firmly together and apply adhesive to insulation edges at joints.
- J. Jackets: Unless otherwise indicated, install jackets as follows:
1. Foil and Paper Jackets (FP): Install jackets drawn tight. Install lap or butt strips at joints with material same as jacket. Secure with adhesive. Install jackets with 1-1/2-inch laps at longitudinal joints and 3-inch-wide butt strips at end joints.
 - a. Seal openings, punctures, and breaks in vapor barrier jackets and exposed insulation with vapor barrier compound.
 2. Interior Exposed Insulation: Install continuous PVC jackets.
 3. Interior Exposed Insulation: Install continuous glass cloth jackets.
 4. Exterior Exposed Insulation: Install continuous PVC jackets and seal all joints and seams with waterproof sealant.
 5. Install the PVC jacket with 1-inch overlap at longitudinal and butt joints and seal with adhesive.
 6. Install glass cloth jacket directly over insulation. On insulation with a factory applied jacket, install the glass cloth jacket over the factory applied jacket. Install jacket drawn smooth and tight with a 2-inch overlap at joints. Embed glass cloth between (2) 1/16-inch-thick coats of lagging adhesive. Completely encapsulate the insulation with the jacket, leaving no exposed raw insulation.
- K. Finishes: Paint finished insulation as specified in Division 9 Section "Painting."
- L. Flexible Elastomeric Cellular Insulation: After adhesive has fully cured, apply 2 coats of protective coating to exposed insulation.
- M. Applications: Materials and thicknesses are specified in schedules at the end of this Section.
1. Interior, Exposed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.
 - b. Storm water. Insulate only roof drain bodies and horizontal rainwater leaders of storm water piping.
 - c. Domestic hot water.
 - d. Sanitary drains for fixtures accessible to the disabled.
 - e. Refrigerant suction.
 2. Interior, Concealed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.

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- b. Storm water. Insulate only roof drain bodies and horizontal rainwater leaders of storm water piping.
- c. Domestic hot water.
- d. Refrigerant suction.
- e. Chilled water (35 to 55 deg F).
- 3. Exterior, Exposed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.
 - b. Storm water.
 - c. Refrigerant suction.
- 4. Exterior, Concealed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.
 - b. Storm water.
 - c. Refrigerant suction.
- 5. Equipment: Unless otherwise indicated, insulate the following indoor equipment:
 - a. Domestic cold water equipment, tanks, and pumps.
 - b. Domestic hot water equipment, tanks, and water heaters.
 - c. Refrigerated drinking water equipment, tanks, pumps, and heat exchangers.
- 6. Duct Systems: Unless otherwise indicated, insulate the following duct systems:
 - a. Interior concealed supply, return and outside air ductwork.
 - b. Interior exposed supply, return and outside air ductwork.
 - c. Exterior exposed supply and return ductwork.
 - d. Interior exposed and concealed supply fans, air handling unit casings and outside air plenums.
- N. Pipe Insulation Schedules: Abbreviations used in the following schedules include:
 - 1. Field-Applied Jackets: P - PVC, K - Foil and Paper.
 - 2. Pipe Sizes: NPS - Nominal Pipe Size.
- O. Domestic Cold Water and Storm Water All Sizes (Interior): 1/2-inch-thick glass fiber, cellular glass, or flexible elastomeric insulation. Field-applied jacket is not required.

INTERIOR DOMESTIC HOT WATER

PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1/2 TO 1-1/4	GLASS FIBER	1/2	NO	NONE
	FLEXIBLE ELASTOMERIC	1/2	NO	NONE
1-1/2 TO 4	GLASS FIBER	1/2	NO	NONE
	FLEXIBLE ELASTOMERIC	3/4	NO	NONE

SANITARY DRAINS AND TRAPS EXPOSED AT FIXTURES FOR DISABLED

PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1 TO 1-1/2	GLASS FIBER	1	NO	NONE
	FLEXIBLE ELASTOMERIC	1/2	NO	NONE

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INTERIOR REFRIGERANT SUCTION - EXPOSED AND CONCEALED

PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1/2 TO 1-1/4	GLASS FIBER	1	YES	NONE
	FLEXIBLE ELASTOMERIC	3/4	YES	NONE

EXTERIOR REFRIGERANT SUCTION - EXPOSED AND CONCEALED

PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1/2 TO 1-1/4	GLASS FIBER	2	YES	(P)
	FLEXIBLE ELASTOMERIC	3/4	YES	NONE

P. Equipment Insulation Schedules:

INTERIOR EXPOSED DOMESTIC COLD WATER EQUIPMENT, TANKS, AND PUMPS

MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK OR BOARD	1	YES	(P)(K)
FLEXIBLE ELASTOMERIC	SHEET	3/4	YES	NONE

INTERIOR EXPOSED DOMESTIC HOT WATER EQUIPMENT, TANKS, AND PUMPS

MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK	2	NO	(K)

MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK	2	YES	(P)

INTERIOR EXPOSED HEATING WATER EQUIP, TANKS, PUMPS, AND HEAT EXCHANGERS
(100 TO 250 DEG F)

MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK OR BOARD	2	NO	(K)

END OF SECTION

EverGuard® TPO 60 mil Membrane

Applicable Standards

UL Listed, FM Approved, Miami-Dade County Approved, Florida Building Code Approved, CRRC Listed, Title 24 Compliant*, ENERGY STAR® Qualified**, ASTM D6878.

Physical Properties	ASTM Test Method	ASTM D6878 Minimum	EverGuard® Typical Test Data
1. Certain data is provided in MD (machine direction) x CMD (cross machine direction) format. 2. Data is based upon typical product performance, and is subject to normal manufacturing tolerance and variance.			
Nominal Thickness	ASTM D751	0.039" (min.) [0.99 mm]	0.060" [1.52 mm]
Breaking Strength	ASTM D751 Grab Method	220 lbf/in. [38.5 kn/m]	305 lbf x 290 lbf [454 x 432 kg/m]
Factory Seam Strength	ASTM D751	66 lbf [98.34 kg/m]	135 lbf (membrane failure) [201.1 kg/m]
Elongation at Break	ASTM D751	15%	30%
Heat Aging	ASTM D573	90% Retention of Breaking Strength and Elongation at Break	100%
Tear Strength	ASTM D751 8" x 8" [203 x 203 mm] Sample	55 lbf [81.95 kg/m]	75 lbf x 130 lbf [111.8 x 193.7 kg/m]
Puncture Resistance	FTM 101C Method 2031	Not Established	380 lbs. [172 kg]
Cold Brittleness	ASTM D2137	-40°C	-40°C
Permeance	ASTM E96	Not Established	0.08 Perms
Dimensional Change	ASTM D1204 @158°F (70°C), 6 hrs.	+/-1%	0.4%
Water Absorption	ASTM D471 @158°F (70°C), 1 week	+/-3.0% (top coating only)	0.7%
Hydrostatic Resistance	ASTM D751 Method D	Not Established	430 psi
Ozone Resistance	ASTM D1149	No visible deterioration @ 7 x magnification	No visible deterioration @ 7 x magnification
Reflectivity (white) Initial/Aged	ASTM C1549	N/A	0.76/0.68
Emissivity (white) Initial/Aged	ASTM C1371	N/A	0.90/0.83
Weather Resistance	ASTM G155/D6878	10,080 KJ/(m² · nm) at 340 nm	>25,000 KJ/(m² · nm) at 340 nm
Heat Aging	ASTM D573	240°F [115°C] for 32 weeks	60 weeks
Thickness Above Scrim	ASTM D7635	Min 30% of Total Thickness	22.1 mil (Nominal)
Guarantee			
Up to 25 years			

*White, Energy Gray, and Energy Tan Membranes Only

**ENERGY STAR® only valid in the USA

Product Data

Roll Size	Note: Product sizes, dimensions, and widths are nominal values and are subject to normal manufacturing/packaging tolerance and variation.				
	Colors	Full Size Roll	Full Roll Weight	Half Roll Size	Half Roll Weight
	White, Tan, Gray, Energy Tan, Energy Gray	10' x 100' (3.05 x 30.5 m) (1,000 sq. ft. [92.9 sq.m])	322 lbs. (146 kg)	5' x 100' (1.52 x 30.5 m) (500 sq. ft. [46.5 sq.m])	162 lbs. (73.5 kg)
		8' x 100' (2.44 x 30.5 m) (800 sq. ft. [74.3 sq.m])	257 lbs. (117 kg)	4' x 100' (1.21 x 30.5 m) (400 sq. ft. [37.1 sq.m])	128.8 lbs. (58.4 kg)
Note: Membrane rolls shipped horizontally on pallets, stacked pyramid-style and banded.					
Storage	Store rolls on their sides on pallets or shelving in a dry area.				
Safety Warning	Membrane rolls are heavy. Position and install by at least two people.				



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CHASE
SECTION 088000 – GLAZING

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Work included: The Contractor shall furnish and install all glass and glazing work shown, noted or indicated on the drawings and/or specified herein and not specified as a part of other Sections, including all materials, labor, equipment and services necessary for the provision and proper installation of the work required. The work of this section includes, but is not limited to:
 - 1. Glass.
 - a. Building fenestration
 - b. Interior partitions
 - 2. Specialty glass products.
 - a. Glass partition systems, including rails, channels, clips and miscellaneous mounting and finish hardware.
 - b. Decorative applique films.
 - 3. Glass door hardware.
 - 4. Glazing sealants.
 - 5. Glazing gaskets and tapes.
 - 6. Miscellaneous glazing materials.
- B. Work excluded: The contractor shall refer to the specifications and other resources for information relative to conditions, which may affect his work.

1.2 RELATED SECTIONS

- A. 013564 – Green Requirement Summary
- B. 017800 - Closeout Submittals
- C. 062000 – Finish Carpentry
- D. 079200 – Joint Sealants
- E. 087100 – Door Hardware
- F. 084113 – Aluminum-Framed Entrances and Storefronts
- G. 088700 – Window Film

1.3 REFERENCES

- A. American National Standards Institute (ANSI); latest edition unless otherwise noted
 - 1. ANSI Z97.1: *American National Standard for Safety Glazing Materials Used in Buildings, Safety Performance Specifications and Methods of Test.*
- B. American Architectural Manufacturers Association, latest edition unless otherwise noted
 - 1. AAMA CW-10: *Care and Handling of Architectural Aluminum From Shop to Site*; American Architectural Manufacturers Association.
- C. American Society for Testing and Materials International (ASTM); latest edition unless otherwise noted
 - 1. ASTM C 1036: *Standard Specification for Flat Glass.*
 - 2. ASTM C1048: *Standard Specification for Heat-Treated Flat Glass--Kind HS, Kind FT Coated and Uncoated Glass.*
 - 3. ASTM E773: *Standard Test Method for Accelerated Weathering of Sealed Insulating Glass Units.*
 - 4. ASTM E774: *Standard Specification for the Classification of the Durability of Sealed Insulating Glass Units.*
 - 5. ASTM E1300: *Standard Practice for Determining Load Resistance of Glass in Buildings.*
- D. U.S. Consumer Product Safety Commission (CPSC)
 - 1. 16CFR 1201: *Safety Standard for Architectural Glazing Materials.*
- E. Glass Association of North America (GANA) ; latest edition unless otherwise noted
 - 1. GANA GM: *Glazing Manual*; Glass Association of North America.

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SECTION 088000 – GLAZING

2. GANA SM: *FGMA Sealant Manual*.
3. GANA #89-1-6, Section 4.1: *Specification for Environmental Durability of Fully Tempered or Heat-Strengthened Spandrel Glass with Applied Opacifiers*.

1.4 SUBMITTALS

- A. See Section 013000 for submittal procedures.
- B. Submit the following to Architect of Record for review and approval
 1. Manufacturer's product data sheets including construction details, material descriptions, dimensions of individual components and profiles, hardware, finishes, and installation instructions for each type of glass and glazing system indicated.
 2. Shop drawings of interior glass partitions including plans, elevations, sections, details, hardware, and attachments to other work, operational clearances and installation details.
 3. Shop drawings of custom-fabricated and finished metal glazing clips, including dimensions, base and finish materials, and standard finish designations.
 4. Material samples, two of each type
 - a. Glass, 12"x12" including sealed insulating units.
 - b. Glazing rail, channel and similar material, 6" length each, including one end cap with each sample, with finish as indicated in the construction drawings.
 - c. Glazing gaskets, spacers and similar accessories, 6" length.
 5. Manufacturer's certificates for each material indicating that the products supplied meet or exceed the specified requirements.
 6. Jurisdictional approvals as applicable
- C. Closeout submittals
 1. Report of field testing for water leakage.
 2. Manufacturer's warranty with forms completed in Owner's name and registered with manufacturer.

1.5 SYSTEM PERFORMANCE REQUIREMENTS

- A. Installed glazing systems shall withstand normal thermal movement and wind and impact loads (where applicable) without failure, including loss or glass breakage attributable to the following: defective manufacture, fabrication, or installation; failure of sealants or gaskets to remain watertight and airtight; deterioration of glazing materials; or other defects in construction.
- B. Glass units and freestanding glass support systems, including comprehensive engineering analysis according to ASTM E 1300, shall be designed by a qualified professional engineer, using the following design loading criteria
 1. Design wind pressures and seismic loading as determined by authorities having jurisdiction.
 2. Maximum center-of-glass lateral deflection units supported on all four edges shall be limited to 1/200 times the short-side length or the flexure limit of the glass, whichever is less.
 3. Design glass to resist thermal stresses induced by differential shading within individual glass lites.
 4. Allow for thermal movements from ambient and surface temperature changes acting on glass framing members and glazing components.

1.6 QUALITY ASSURANCE

- A. Installer Qualifications: Company specializing in performing the work of this section at other projects of similar size and scope with minimum 5 years documented experience.
- B. Installer shall have had successful experience with installation of the same or similar units required for the project.
- C. Manufacturer shall be capable of fabricating glazing units that meet or exceed performance requirements indicated and of documenting this performance by inclusion of test reports and calculations.
- D. Obtain glazing units through one source from a single manufacturer for each type.
- E. Drawings indicate specific size, profiles, and dimensional requirements of aluminum framed storefront system and flush doors. Refer to Division 01 Section – Product Requirements. Do not modify dimensional requirements.

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SECTION 088000 – GLAZING

- F. Do not modify intended aesthetic effects, as judged solely by Architect of Record, except with Architect's approval. If modifications are proposed, submit comprehensive explanatory data to Architect for review.

1.7 PRE-INSTALLATION MEETING

- A. Convene pre-installation meeting with Architect of Record, General Contractor and fenestration installer before starting work of this section, with adequate time to allow remaining preparation work at the site to complete.

1.8 DELIVERY, STORAGE, AND HANDLING

- A. Handle products of this section in accordance with AAMA CW-10.
- B. Upon receipt of materials, installer shall examine the shipment for damage and completeness, including failure of insulated unit seals. Return damaged units for re-fabrication.
- C. Store materials in a clean, covered, dry location, out of direct sunlight.
- D. Stack all materials to prevent damage and to allow for adequate ventilation.

1.9 PROJECT CONDITIONS

- A. Verify actual dimensions of Aluminum framed storefront openings by field measurements before fabrication and indicate field measurements on shop drawings.
- B. Coordinate the work with installation of firestopping components or materials.
- C. Install sealants within sealant manufacturer's required temperature and humidity conditions range, and never less than 50 deg. F. Maintain this minimum temperature during and 48 hours after installation.

1.10 WARRANTY

- A. Refer to Section 017800 - Closeout Submittals, for additional warranty requirements.
- B. Provide installer warranty covering correction of defective work within a five year period after Date of Substantial Completion. Warranty shall include seal failure, inter-pane dusting or misting, and replacement of same.

PART 2 - PRODUCTS

2.1 INSULATING EXTERIOR GLASS UNITS

- A. Physical and performance characteristics:
 - 1. 1" total thickness 2-pane assemblies, with glass pane thicknesses as determined by the manufacturer for the indicated span and loading.
 - 2. All units shall be Energy Star compliant, meeting the minimum thermal transmittance (U-Factor) and solar heat gain (SHGC) requirements for the project's climate zone indicated by the National Fenestration Rating Council (NFRC).
 - 3. Solar Heat Gain Coefficient (SHGC) shall be selected by the Architect or Engineer of Record as appropriate for the building's climate and exposure so as to allow the highest Visual Transmittance (VT) possible while minimizing negative effects on the building's environmental control equipment.
 - 4. All units shall include Low-E coating(s) at the interior surface(s).
 - 5. Spacer bars shall be mill-finish or clear anodized Aluminum.
 - 6. Unit cavity shall be filled with Argon or Krypton gas.
 - 7. Units shall comply with ASTM E773 and E774.
- B. Where required by building code or authorities having jurisdiction, provide 'safety glass' complying with ASTM C1048, Kind FT and ANSI 97.1.
- C. Units designated as 'spandrel' shall be insulated units with spray-applied water-based silicone opaque coating applied to surface #3 (outward-facing surface of interior pane).
 - 1. ICD High-Performance Coatings Opaci-Coat 300 #3-0770 'Warm Gray'. For substitutions, refer to Section 016000.
 - 2. Units shall comply with GANA #89-1-6, Section 4.1.

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SECTION 088000 – GLAZING

D. Manufacturers

1. AGC Glass Company North America, Inc.; www.us.agc.com.
2. PPG Industries, Inc.; www.ppg.com.
3. Pilkington (Nippon Sheet Glass Co., Ltd.); www.pilkington.com/en/us
4. Oldcastle; www.oldcastlebe.com/products/architectural-glass
5. Substitutions: refer to Section 016000.

2.2 INTERIOR CLEAR FLAT GLASS UNITS

- A. 1/2" thick clear annealed transparent flat float glass complying with ASTM C1036, Type I, Class 1, Quality Q3; used where not otherwise required by code to be 'safety' glass.
- B. Where required by building code or authorities having jurisdiction, provide 'safety glass' complying with ASTM C1048, Kind FT and ANSI 97.1.
- C. Manufacturers: as indicated for Insulating Exterior Glass Units.

2.3 INTERIOR DECORATIVE GLASS UNITS

- A. Obscured glass partition panels
 - a. 3/8" total thickness 2-lite low-iron transparent flat float glass complying with ASTM C1036, Type I, Class 1, Quality Q3; laminated with patterned adhesive sheet between the glass, pattern and color as indicated in the Interior Finish Materials Schedule in the Drawings. Assembly shall comply with CPSC 16CFR 1201 Category II and ANSI 97.1.
 - b. Where required by authorities having jurisdiction, provide tempered glass compliant with ASTM C1048.
 - c. Alternate: surface-applied glazing film over clear glass.
 - 1) Glazing film as indicated in the Interior Finish Materials Schedule in the Drawings.
 - 2) Clear glass panels as indicated in Section 2.2 Interior Clear Flat Glass Units above.
- B. Manufacturer
 1. As indicated in the Interior Finish Materials Schedule in the Drawings.
 2. Substitutions not permitted.

2.4 GLAZING MATERIALS

- A. Exterior glass units and interior glass units set in storefront framing.
 1. Gaskets, spacers, sealants and other glazing materials and accessories shall be as specified in 084113 – Aluminum-Framed Entrances and Storefronts.
- B. Interior glass units.
 1. Joint sealant shall be Type D – interior partition glazing adhesive (clear structural silicone adhesive) as specified in Section 079200 – Joint Sealants.
 2. Gaskets, spacers, and other glazing materials and accessories shall be as specified in the Interior Finish Materials Schedule in the Drawings.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that openings for glazing are correctly sized and within tolerance.
- B. Verify that surfaces of glazing channels or recesses are clean, free of obstructions that may impede moisture movement, weeps are clear, and ready to receive glazing.

3.2 PREPARATION

- A. Clean contact surfaces with solvent and wipe dry.
- B. Install sealant in accordance with manufacturer's instructions.

3.3 INSTALLATION - EXTERIOR/INTERIOR DRY METHOD (GASKET GLAZING)

- A. Perform Work in accordance with GANA Glazing Manual and FGMA Sealant Manual for glazing installation methods.

CHASE
SECTION 088000 – GLAZING

- B. Place setting blocks at 1/4 points with edge block no more than 6 inches from corners.
- C. Rest glazing on setting blocks and push against fixed stop with sufficient pressure on gasket to attain full contact.
- D. Install removable stops without displacing glazing gasket; exert pressure for full continuous contact.

3.4 INSTALLATION - INTERIOR DRY METHOD (TAPE AND TAPE)

- A. Cut glazing tape to length and set against permanent stops, projecting 1/16 inch (1.6 mm) above sight line.
- B. Place setting blocks at 1/4 points with edge block no more than 6 inches from corners.
- C. Rest glazing on setting blocks and push against tape for full contact at perimeter of pane or unit.
- D. Place glazing tape on free perimeter of glazing in same manner described above.
- E. Install removable stop without displacement of tape. Exert pressure on tape for full continuous contact.
- F. Knife trim protruding tape.

3.5 CLEANING

- A. Remove glazing materials from finish surfaces.
- B. Remove labels after Work is complete.
- C. Clean glass and adjacent surfaces.

3.6 PROTECTION

- A. After installation, mark pane with an 'X' by using removable plastic tape or paste; do not mark heat absorbing or reflective glass units.

END OF SECTION



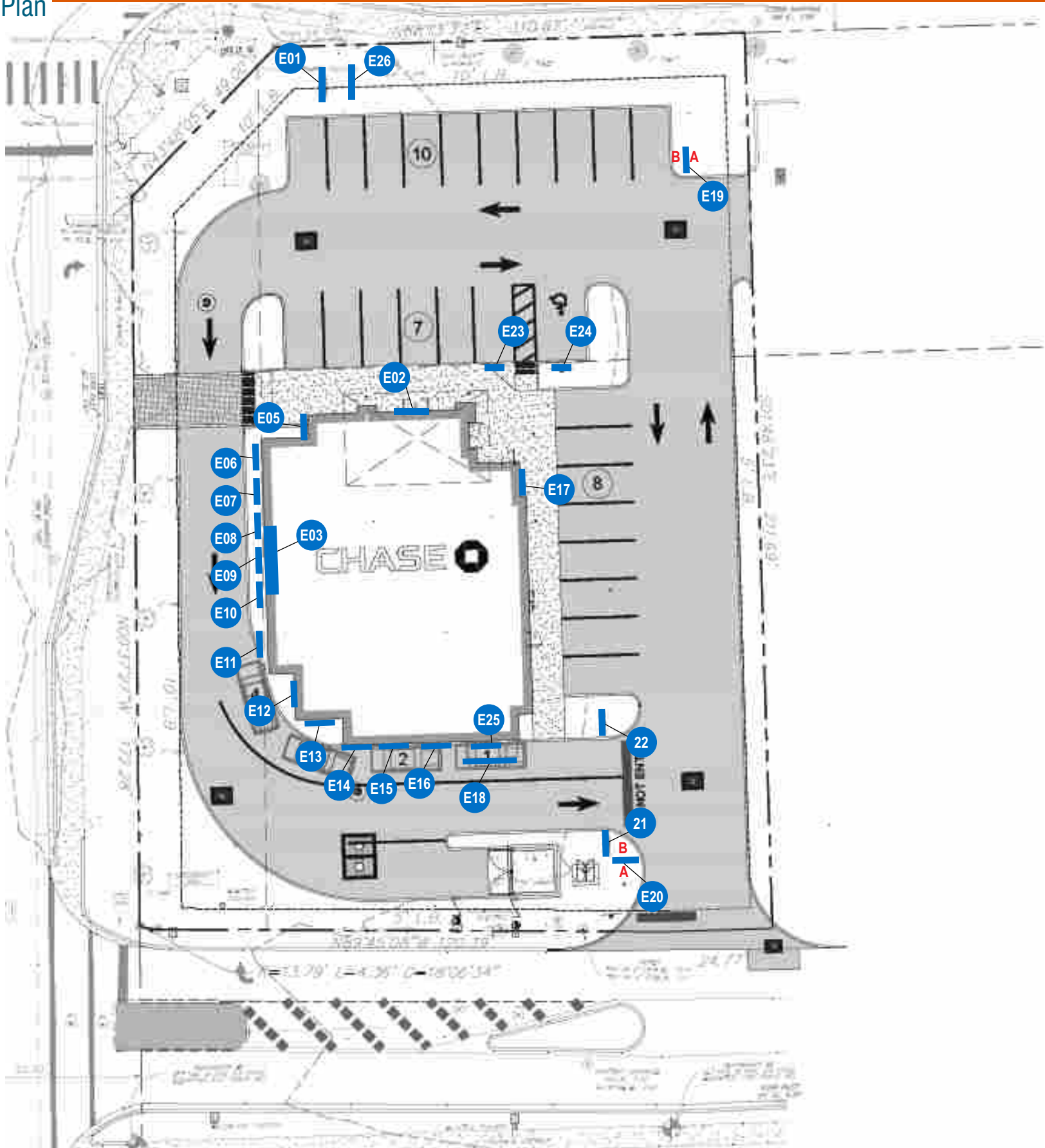
NEW BUILD PROGRAM

May 12, 2017

Sheridan st & Federal Hwy
Dania, FL 33020

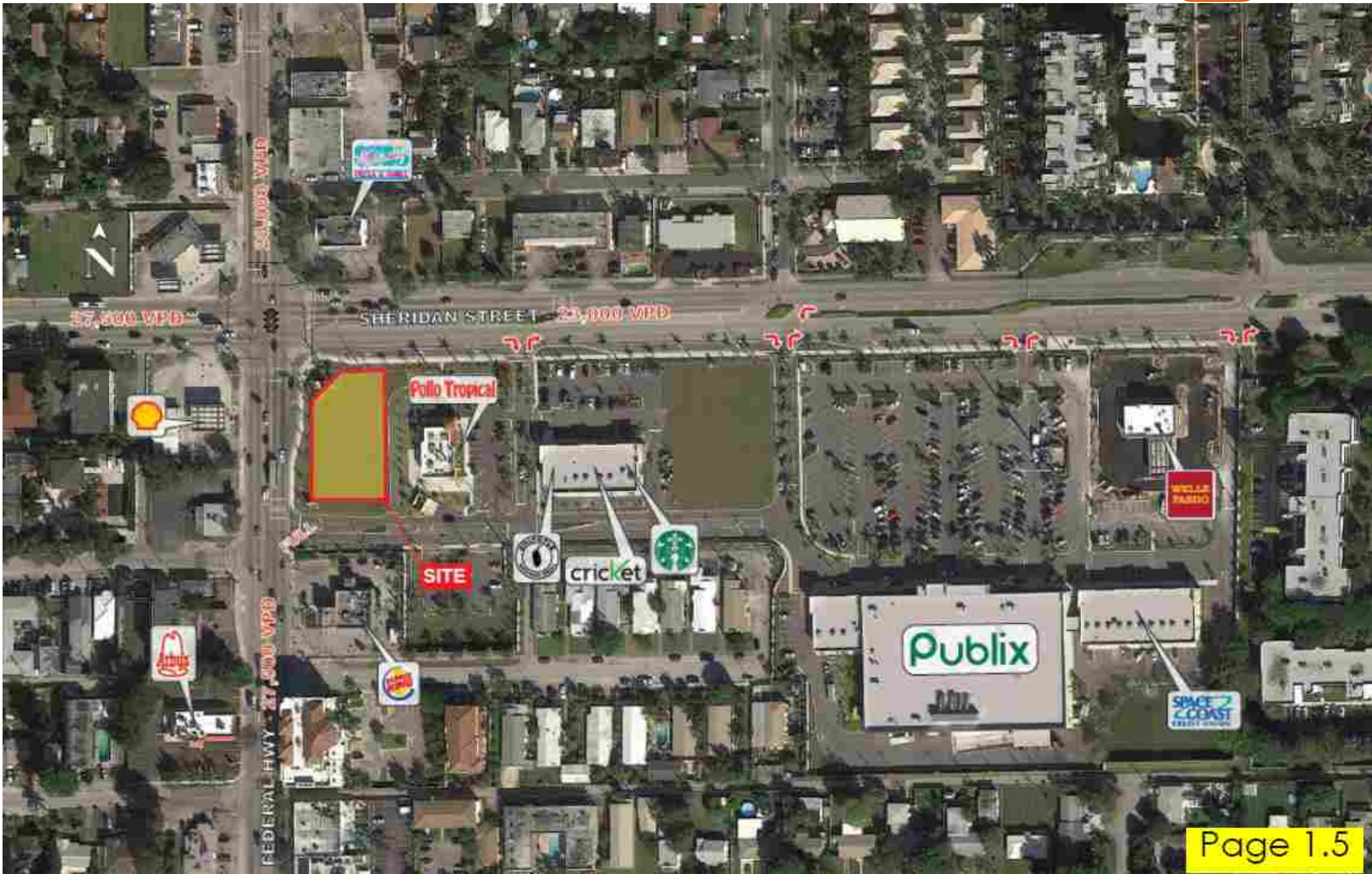
PID #	Revision Notes
SITE NAME: Young Circle	1. chng to custom Monument 4/10/17 mlh 2. add new site plan and floor plan. Trans sign and add'l awning 5/15/17 mlh





SIGN SCHEDULE			
No.	Qty.	Item Code	Item Description
E01	1	M-10-CUST	Monument - SqFt 10.41
E02	1	LIF-WBO-24	Channel Letters - SqFt 36.87
E03	1	LIF-WBO-30	Channel Letters - SqFt 57.61
E04	1	TS-21	Transom Sign
E05	1	AWN-WU-M-NI	Awning
E06	1	AWN-WU-M-NI	Awning
E07	1	AWN-WU-M-NI	Awning
E08	1	AWN-WU-M-NI	Awning
E09	1	AWN-WU-M-NI	Awning
E10	1	AWN-WU-M-NI	Awning
E11	1	AWN-WU-M-NI	Awning
E12	1	AWN-WU-M-NI	Awning
E13	1	AWN-WU-M-NI	Awning
E14	1	AWN-WU-M-NI	Awning
E15	1	AWN-WU-M-NI	Awning
E16	1	AWN-WU-M-NI	Awning
E17	1	AWN-WU-M-NI	Awning
E18	1	CAN-ATM-DU-BLDG-CUST	Drive Up Canopy
E19	1	D-2-RE	Directional
E20	1	D-2-RE	Directional
E21	1	DOT-DNE-P	Do Not Enter Sign
E22	1	DOT-DNE-P	Do Not Enter Sign
E23	1	TC-P-ADA-FL-RE	Handicap Parking Sign
E24	1	TC-P-ADA-V-FL-RE	Handicap Parking (Van)
E25	1	SUR-TTW-U-4-TP	ATM Surround
E26	1	PPTEMP-F-DB	Temp Sign

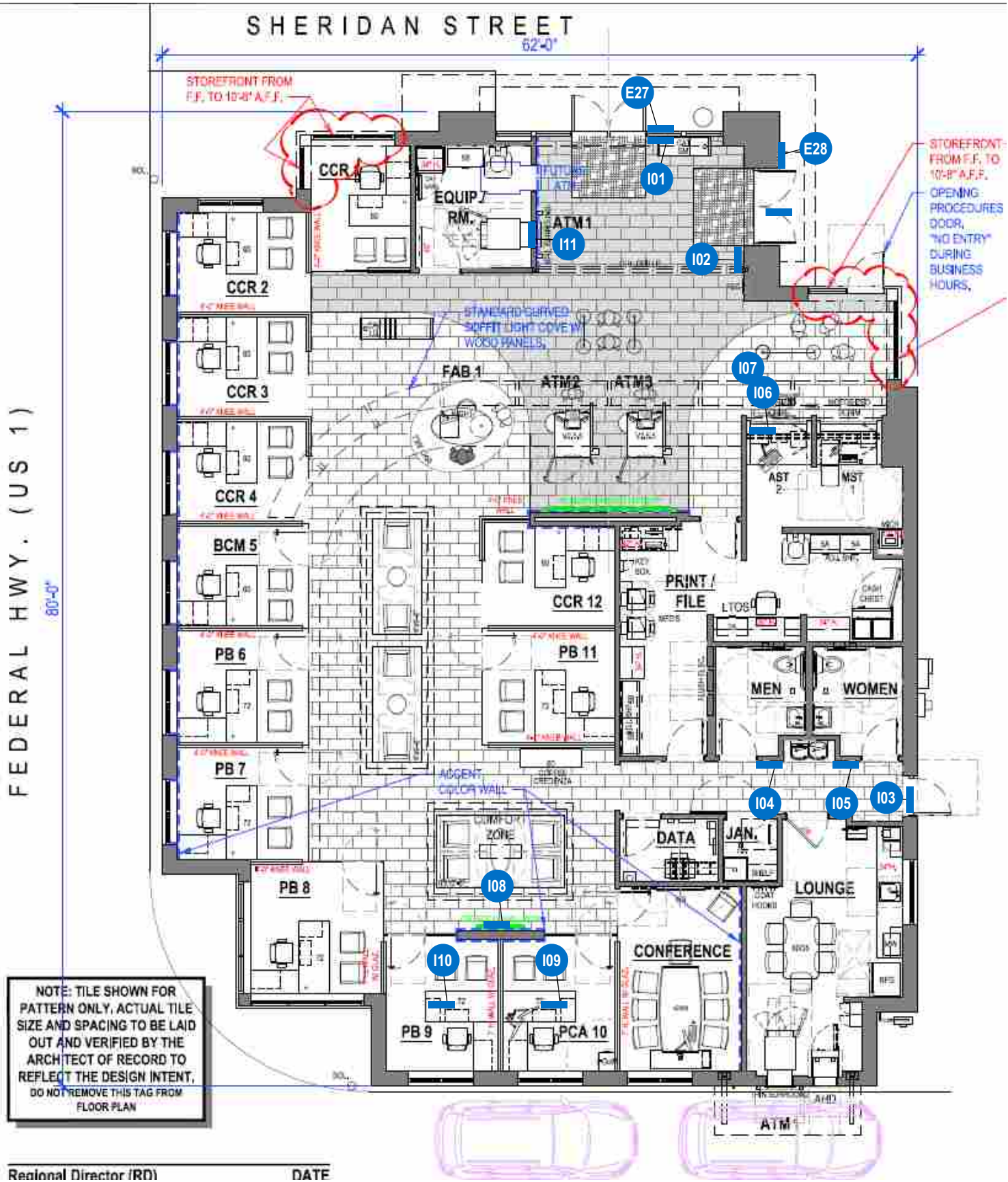




CLIENT NAME	ADDRESS	SITE	PAGE NUMBER	DRAWING NUMBER
CHASE	Sheridan st & Federal Hwy Dania, FL 33020	Young Circle	3	17-61718-02

CORPORATE OFFICE: 360 CRIDER AVE MOORESTOWN, NJ 08057 P-856.802.1677 F-856.802.0412 FLORIDA: 9180 Boggy Creek rd Units 7&8 Orlando, FL 32824 - TEXAS: 1170 109th st Grand Prairie, TX 75050

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SIGN SCHEDULE			
No.	Qty.	Item Code	Item Description
E27	1	ADA-EP	ADA Entrance Panel
E28	1	ADA-EP	ADA Entrance Panel
I01	1	ADA-EX	ADA Exit Panel
I02	1	ADA-EX	ADA Exit Panel
I03	1	ADA-EEX	Emergency Exit Sign
I04	1	ADA-RRM-A-G	Men's Room Sign
I05	1	ADA-RRW-A-G	Women's Room Sign
I06	1	ADA-TW	ADA Teller Window
I07	1	ADA-TW-ALS	ADA Listening System
I08	1	CPC-BFW-48-RE-NI	Brand Focal Wall-Cherry
I09	1	CPC-TTS-10-RE	CPC Table Top Sign
I10	1	CPC-TTS-10-RE	CPC Table Top Sign
I11	1	SUR-TTW-U-4-TP	ATM Surround

CLIENT NAME

CHASE

ADDRESS

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SITE

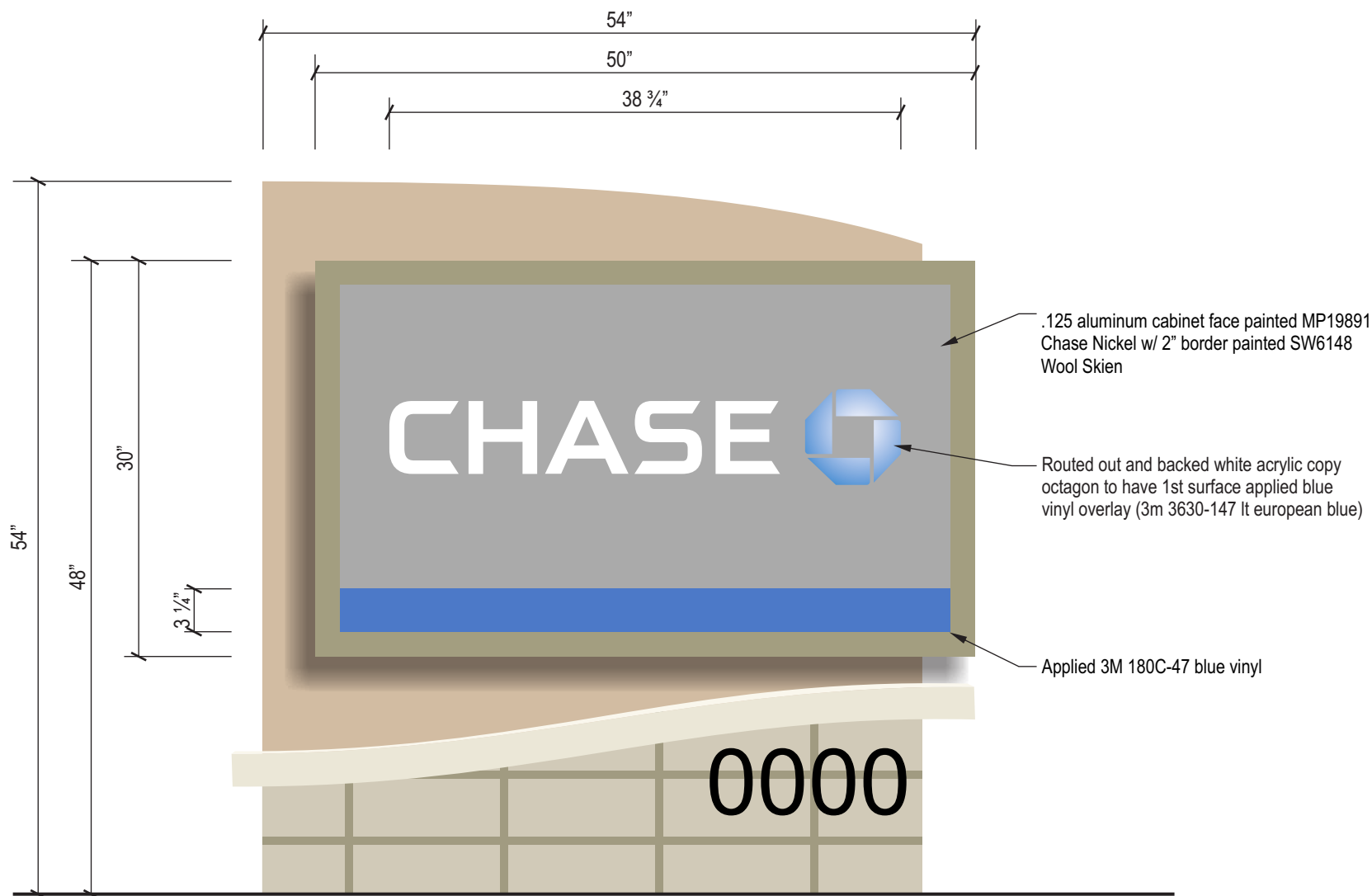
Young Circle

PAGE NUMBER

4

DRAWING NUMBER

17-61718-02



E01

Monument - M-10-CUST

scale: 1" = 1'-0"

Sq ft: 10.41

CLIENT NAME

CHASE

ADDRESS

Sheridan st & Federal Hwy Dania, FL 33020

SITE

Young Circle

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DRAWING NUMBER

17-61718-02



North Elevation

Scale: 1/16" = 1'-0"



West Elevation

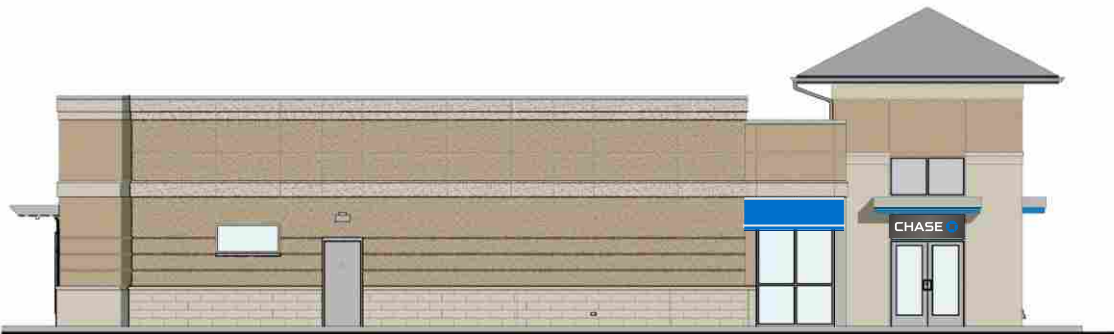
Scale: 1/16" = 1'-0"

SW7045 Intellectual Gray	Painted EIFS SW7036 Accessible Beige	Painted EIFS SW6108 Latte	Canopy/Trim Metal Blue
Berridge Metal Roof Zinc-Grey	Mullions Anodized Aluminum	Savanna Stone Limestone #3	



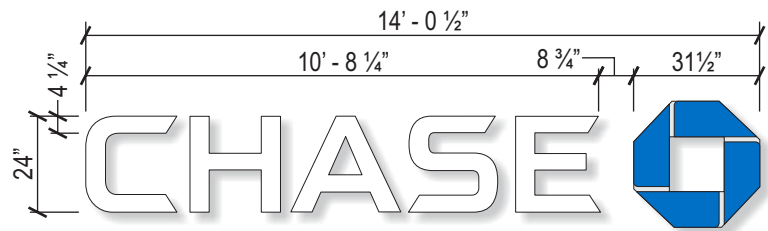
South Elevation

Scale: 1/16" = 1'-0"



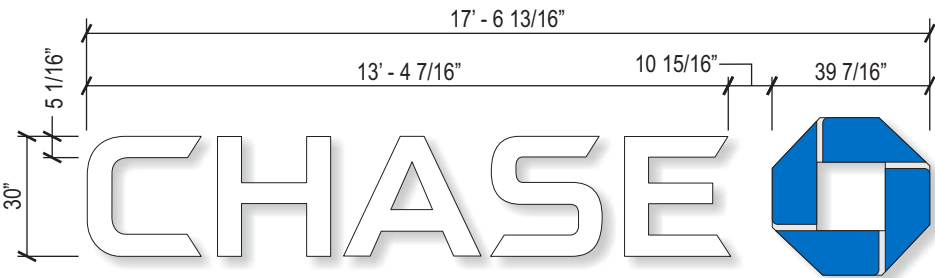
East Elevation

Scale: 1/16" = 1'-0"



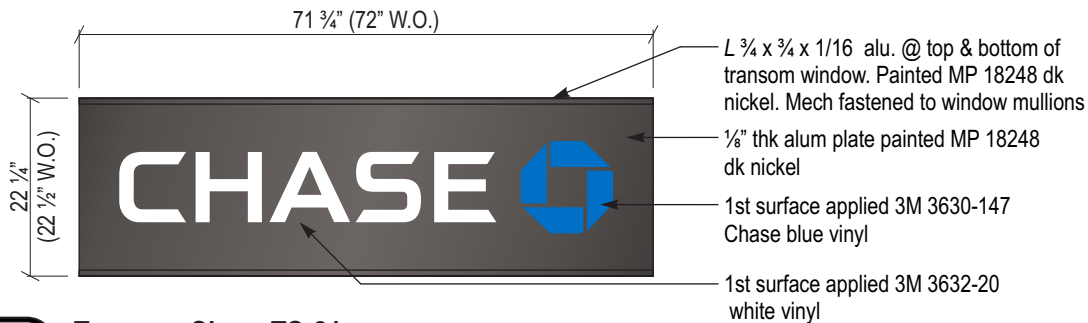
E02 Channel Letters - LIF-WBO-24
scale: 1/4" = 1'-0"
SQ FT = 36.87

Octagon bridge to be painted SW6108 Latte



E03 Channel Letters - LIF-WBO-30
scale: 1/4" = 1'-0"
Sq ft: 57.61

Octagon Bridge to be painted SW6108



E04 Transom Sign - TS-21
scale: 1/2" = 1'-0"

NOTE: to be installed after permits are closed out & branch opens.

Black vinyl to be provided to cover back of transom window, to conceal VHB/silicon connection to glass.



Side View
scale: 1/2" = 1'-0"

CLIENT NAME

CHASE

ADDRESS

Sheridan st & Federal Hwy Dania, FL 33020

SITE

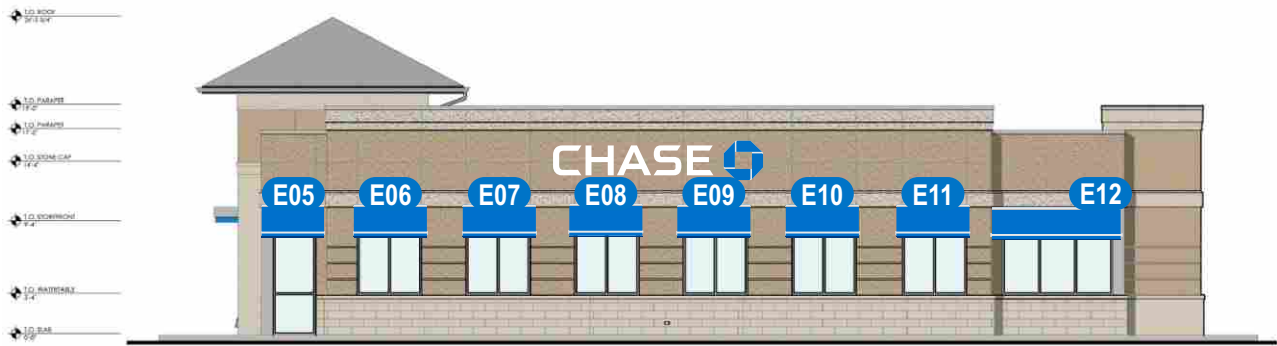
Young Circle

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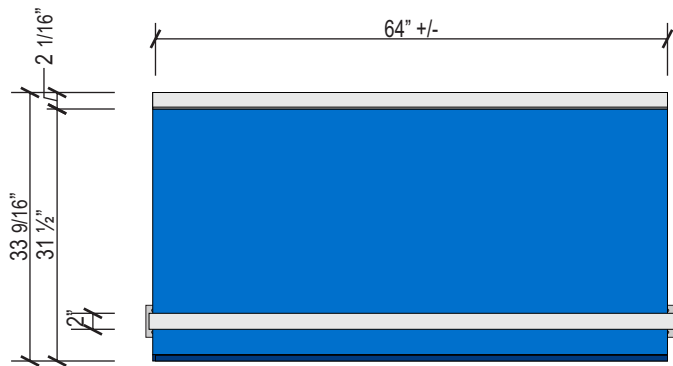
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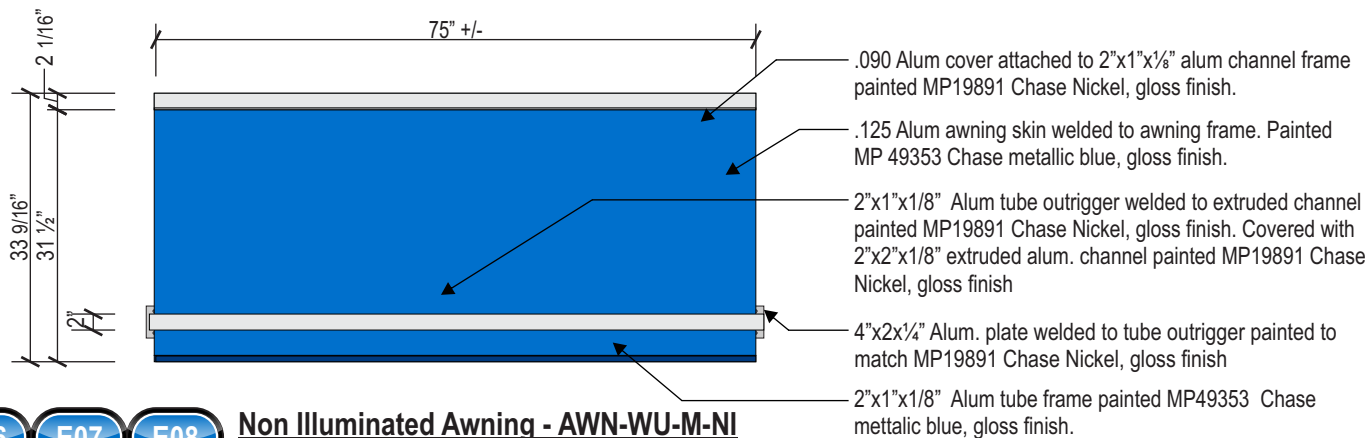
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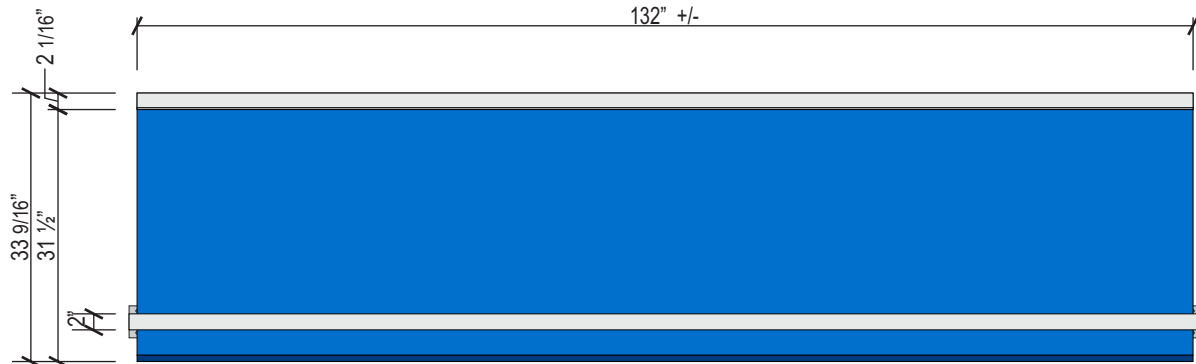
West Elevation
Scale: 1/16" = 1'-0"



E05 Non Illuminated Awning - AWN-WU-M-NI
scale: 1/2" = 1'-0"



Side View



E12 Non Illuminated Awning - AWN-WU-M-NI
scale: 1/2" = 1'-0"



Non Illuminated Awning - AWN-WU-M-NI
scale: 1/2" = 1'-0"

Survey needed for exact size
Prior to fabrication

CLIENT NAME

CHASE

ADDRESS

Sheridan st & Federal Hwy Dania, FL 33020

SITE

Young Circle

PAGE NUMBER

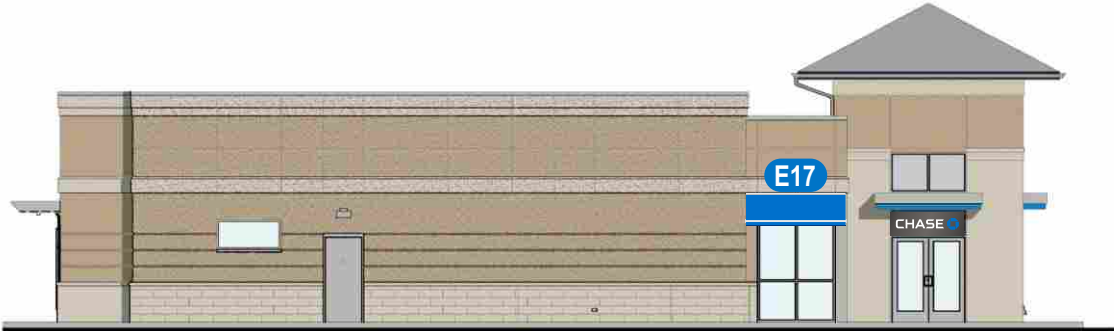
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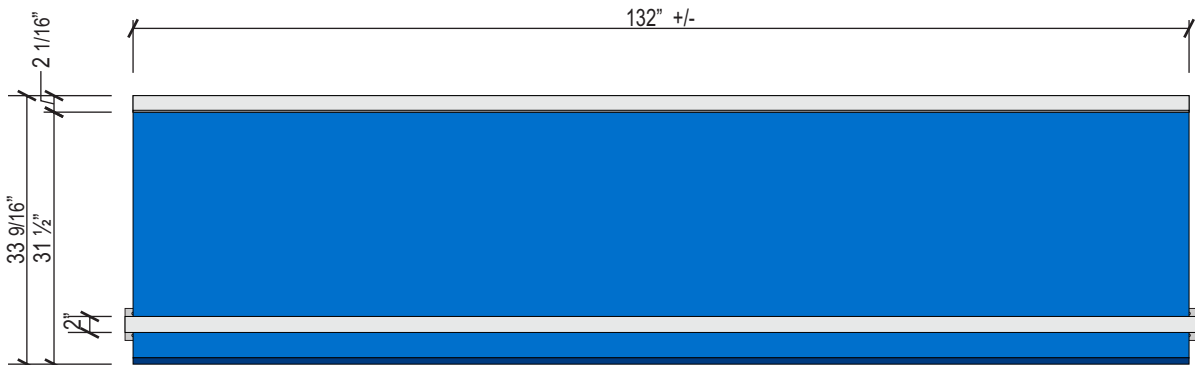
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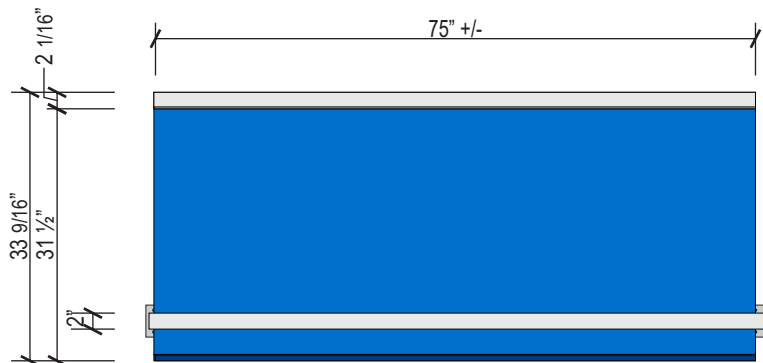
South Elevation
Scale: 1/16" = 1'-0"



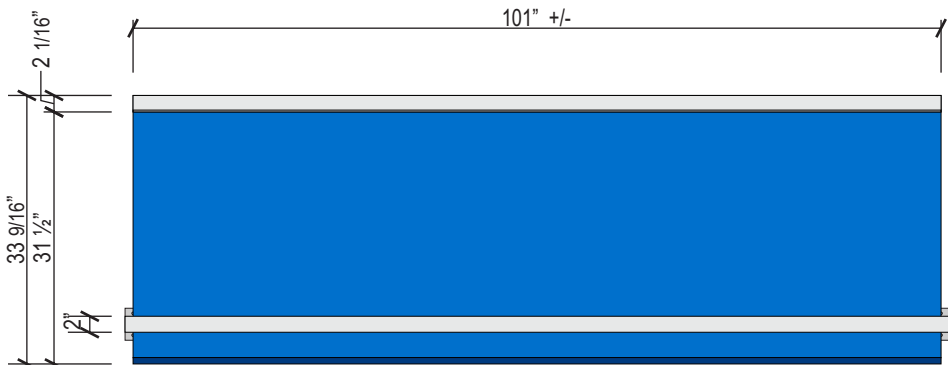
East Elevation
Scale: 1/16" = 1'-0"



E13 **Non Illuminated Awning - AWN-WU-M-NI**
scale: 1/2" = 1'-0"



E14 **E15** **E16** **Non Illuminated Awning - AWN-WU-M-NI**
scale: 1/2" = 1'-0"



E17 **Non Illuminated Awning - AWN-WU-M-NI**
scale: 1/2" = 1'-0"

CLIENT NAME

CHASE

ADDRESS

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SITE

Young Circle

PAGE NUMBER

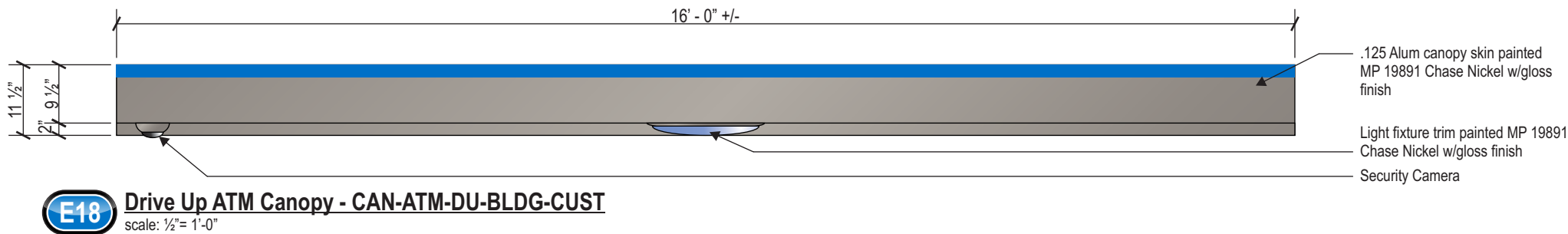
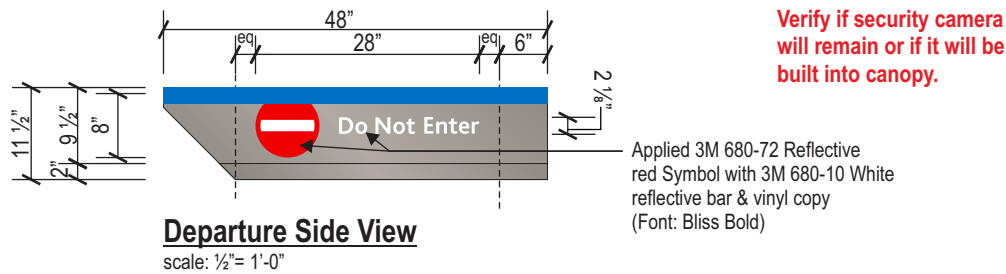
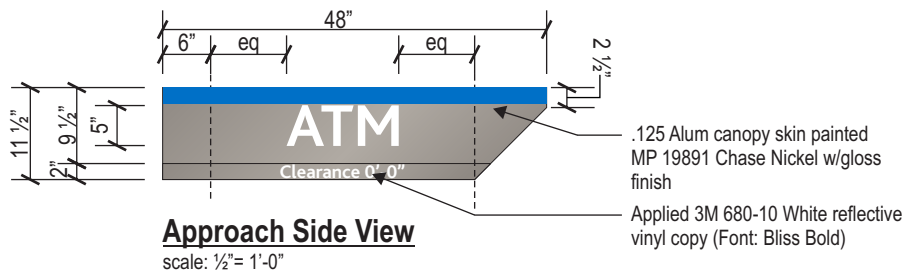
8

DRAWING NUMBER

17-61718-02



South Elevation
Scale: 1/16" = 1'-0"



Custom Blue stripe on top of awning *VERIFY HEIGHT* prior to fabrication

CLIENT NAME

CHASE

ADDRESS

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SITE

Young Circle

PAGE NUMBER

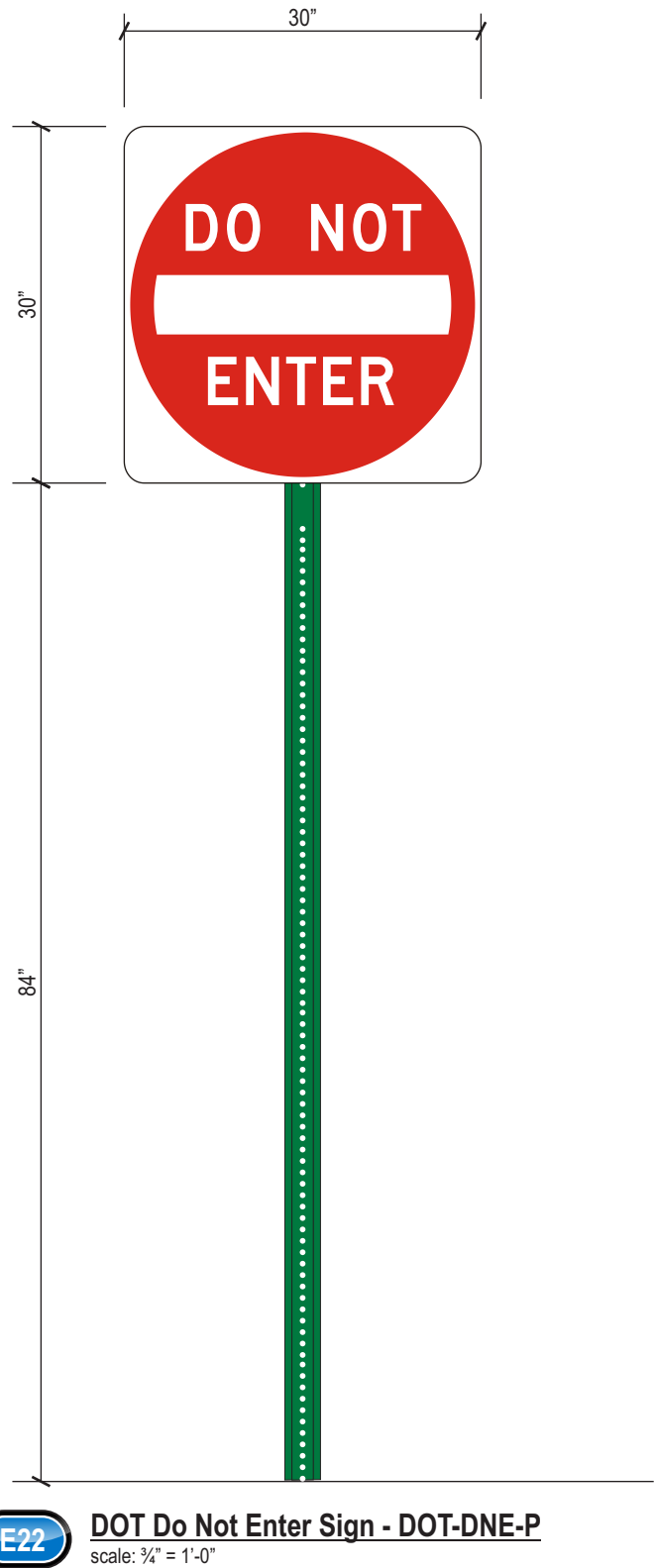
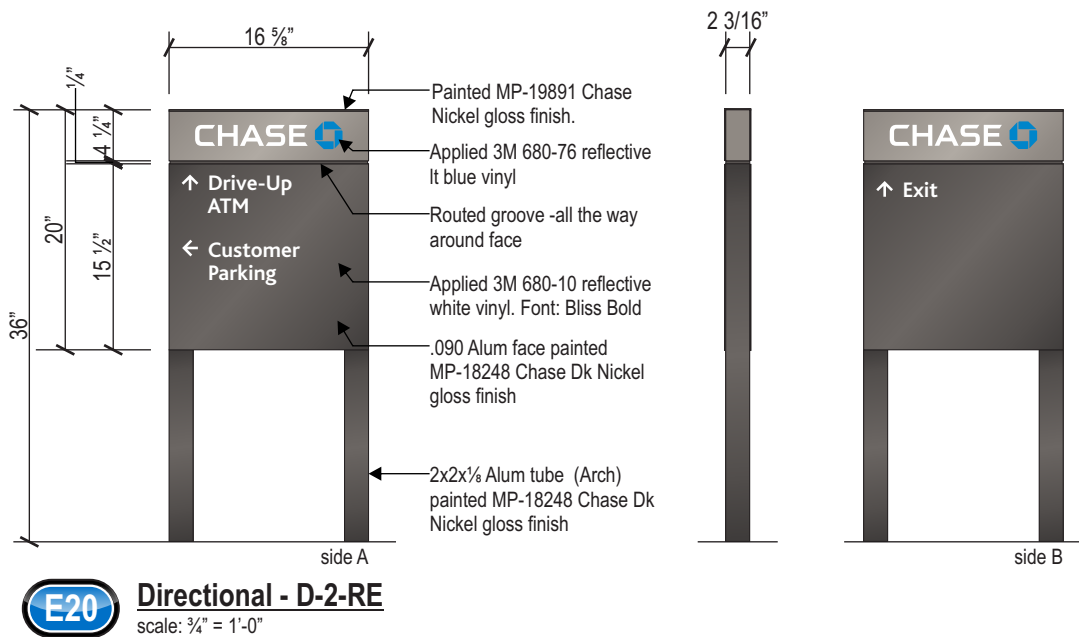
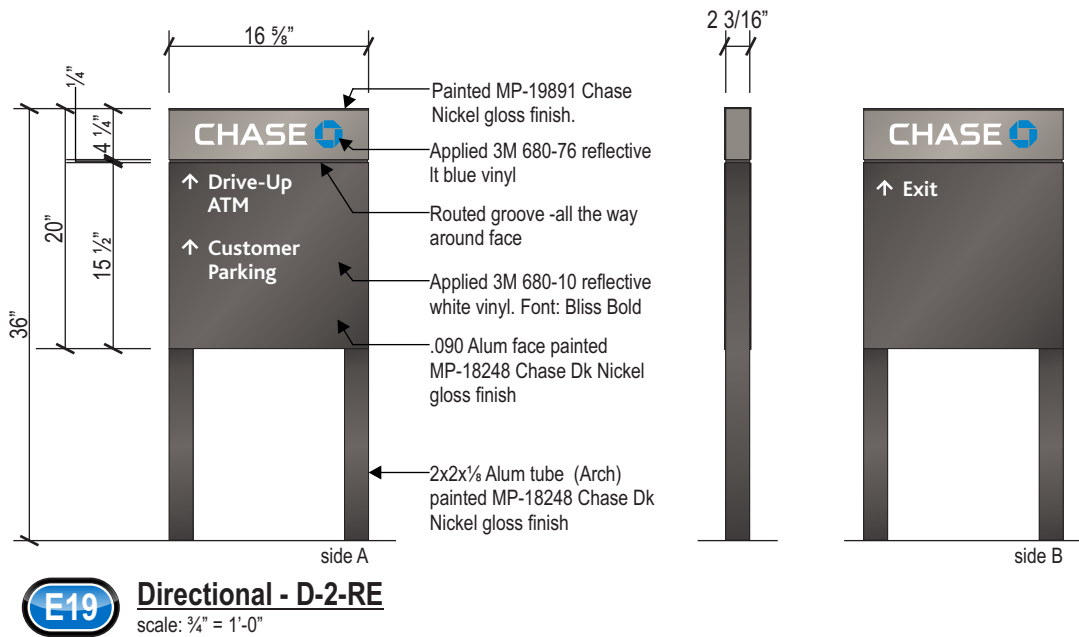
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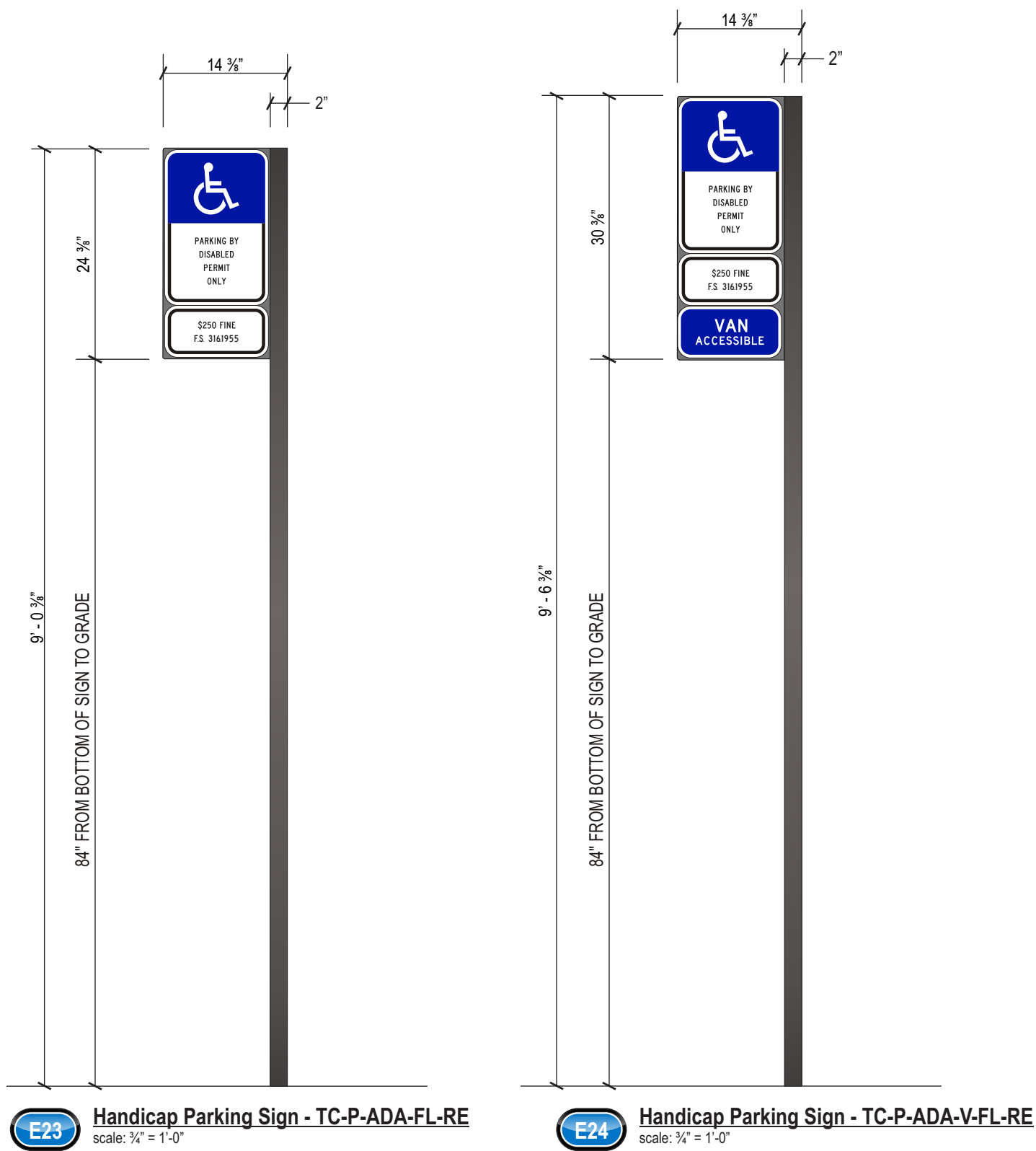
Young Circle

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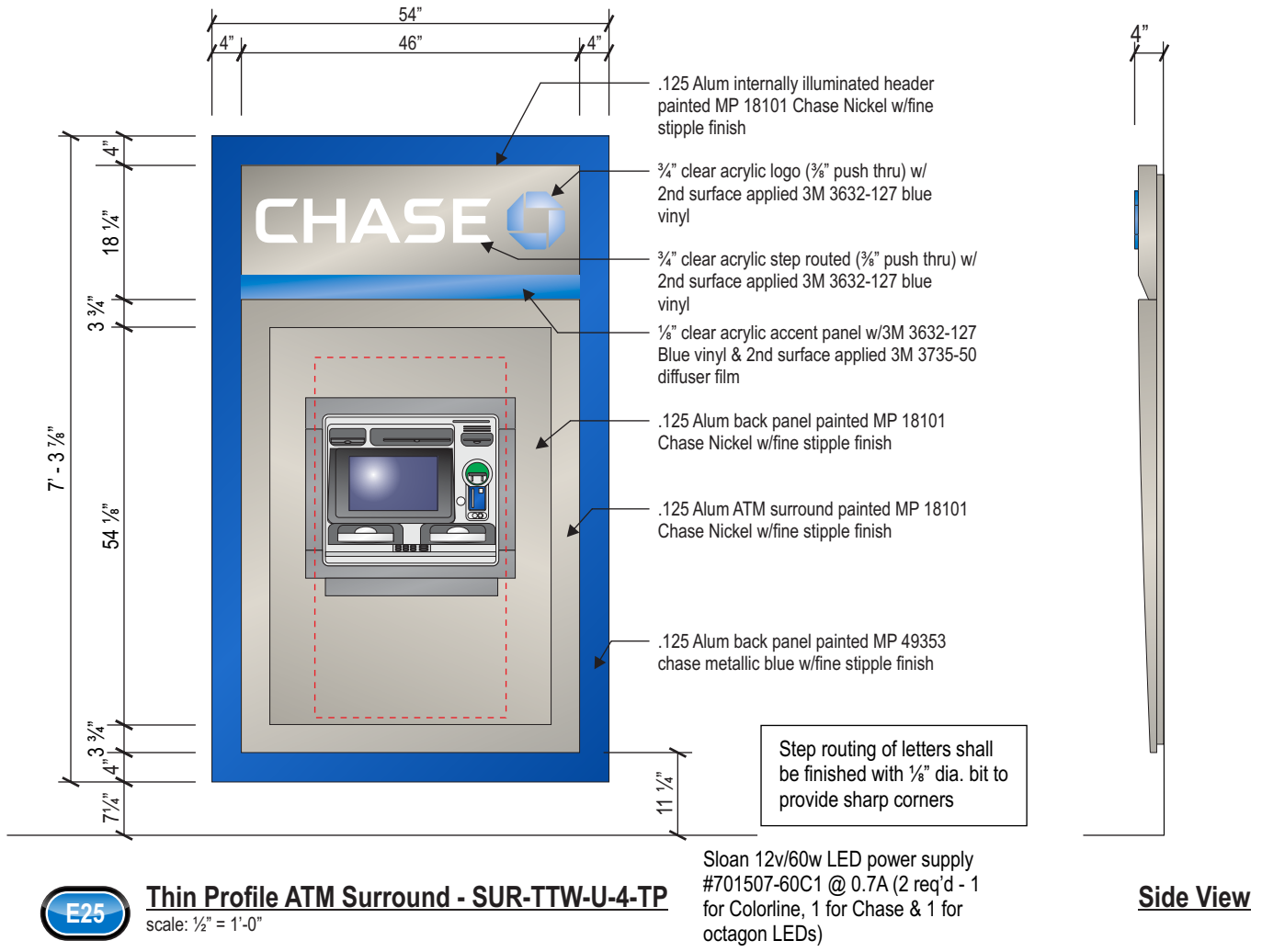
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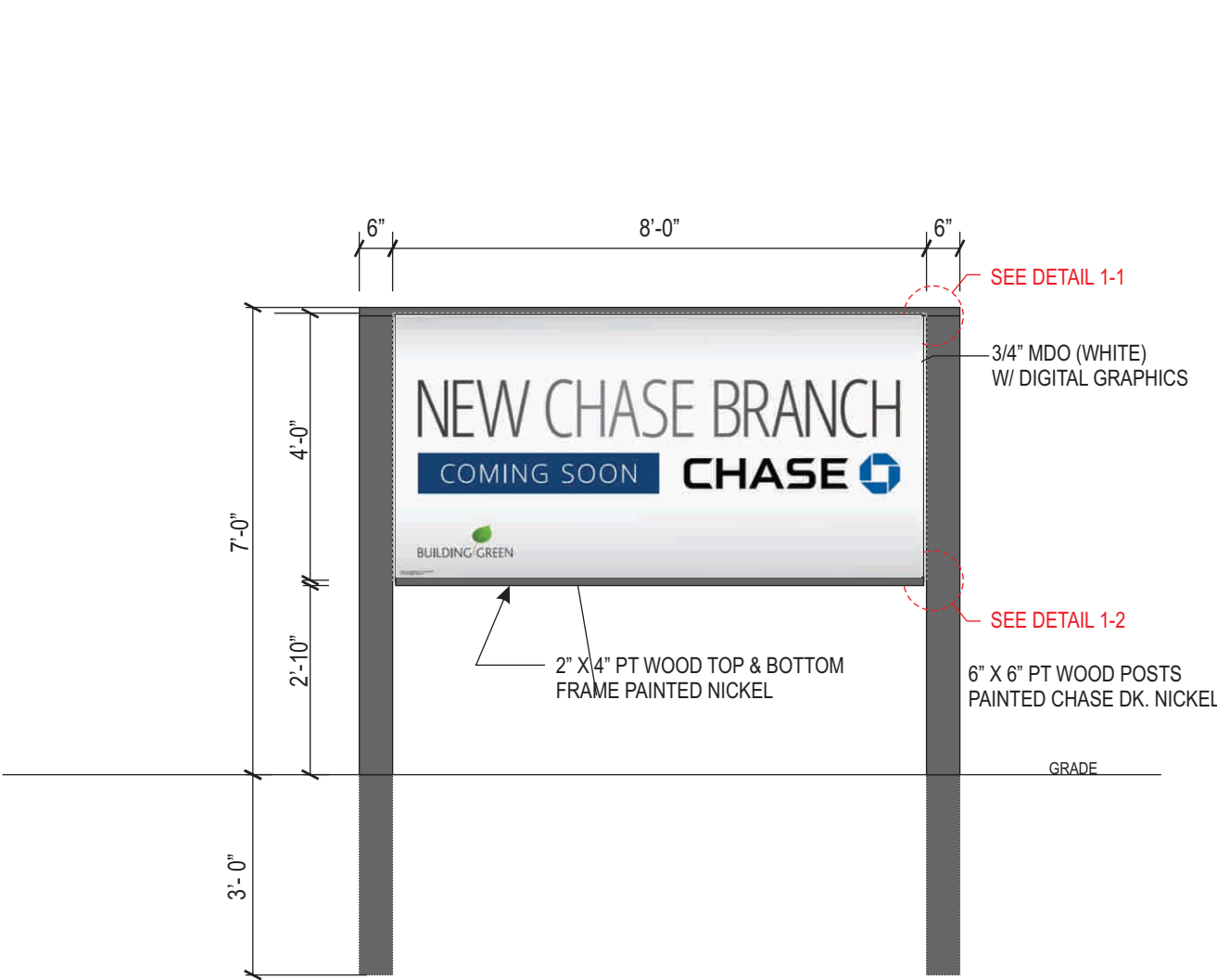
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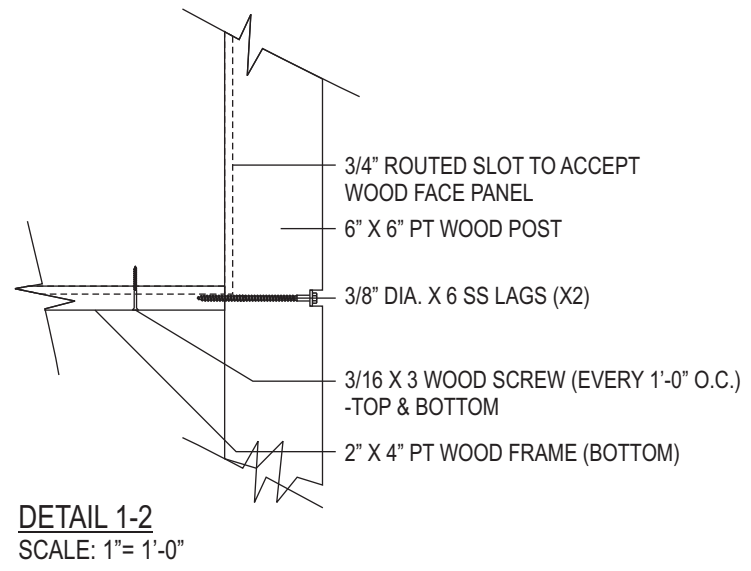
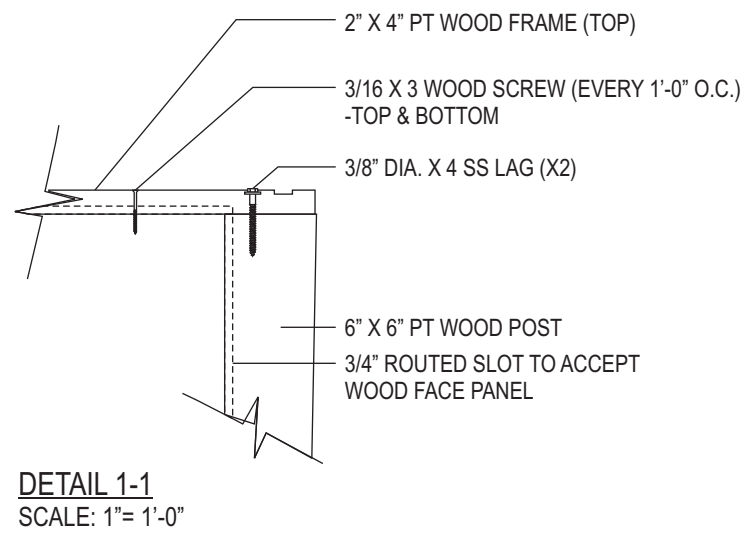
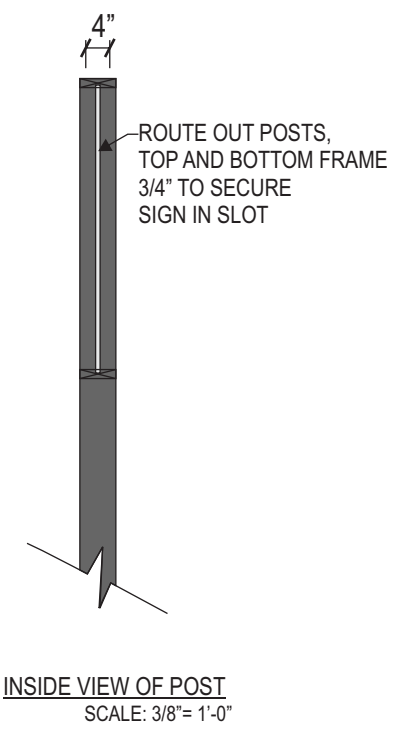


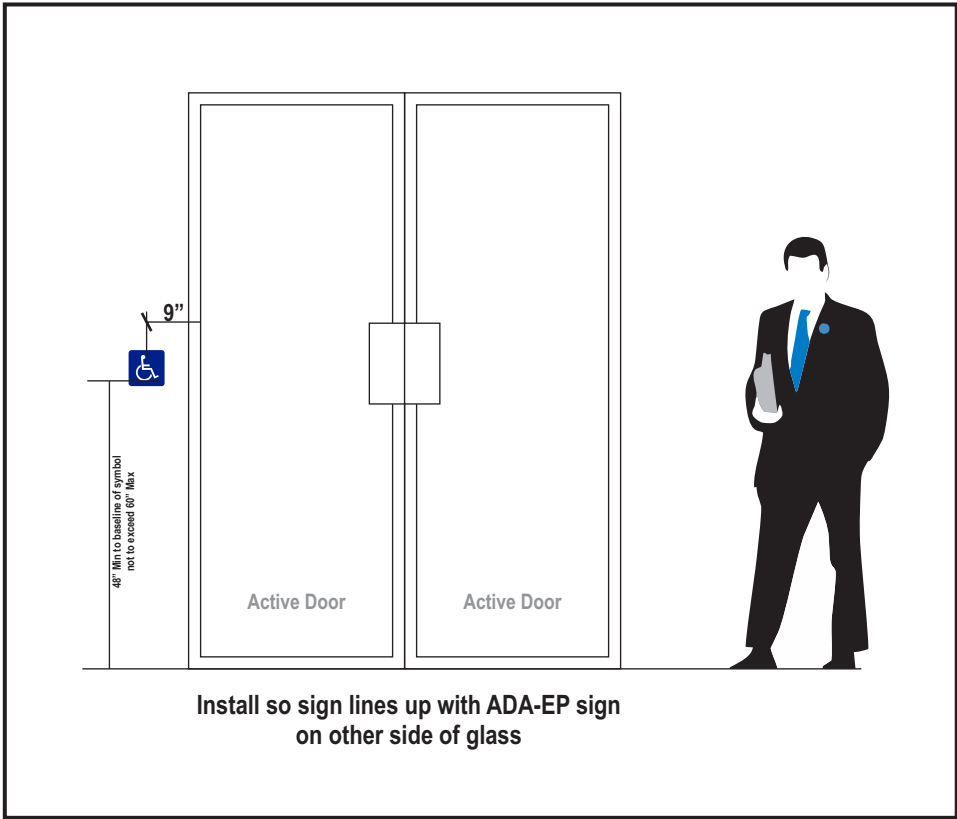
South Elevation
Scale: 1/16" = 1'-0"



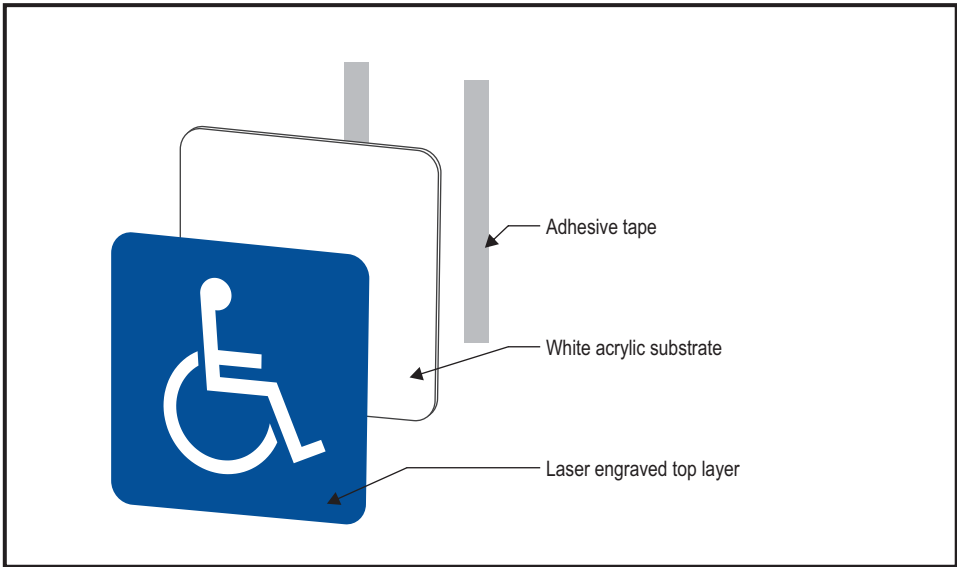


E26 **Coming Soon (Florida) - PPTMP-F-DB**
scale: 3/8" = 1'-0"





Installation Detail - NTS



Construction Detail - NTS

E27

E28

Accessible Building Entrance - ADA-EP

scale: 3" = 1'-0"

Size: 6"x6"
Color: White on blue
SKU: NHE-1_WHITE_ON_BLUE
Order From: Compliance Signs

CLIENT NAME

CHASE

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SITE

Young Circle

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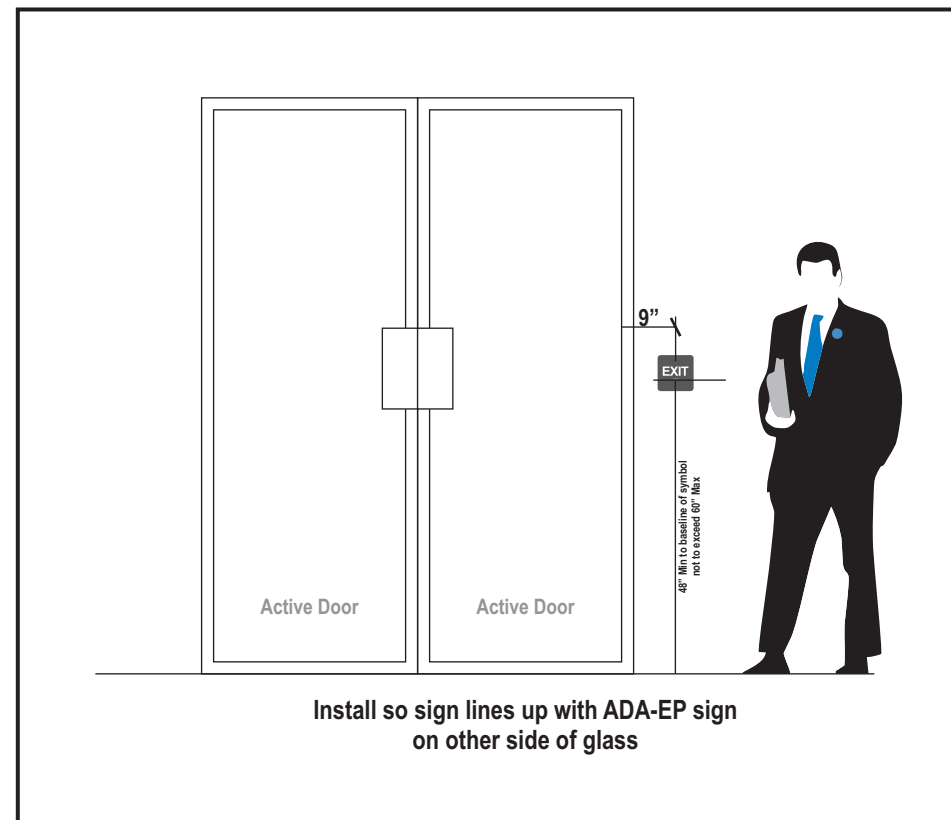


I01

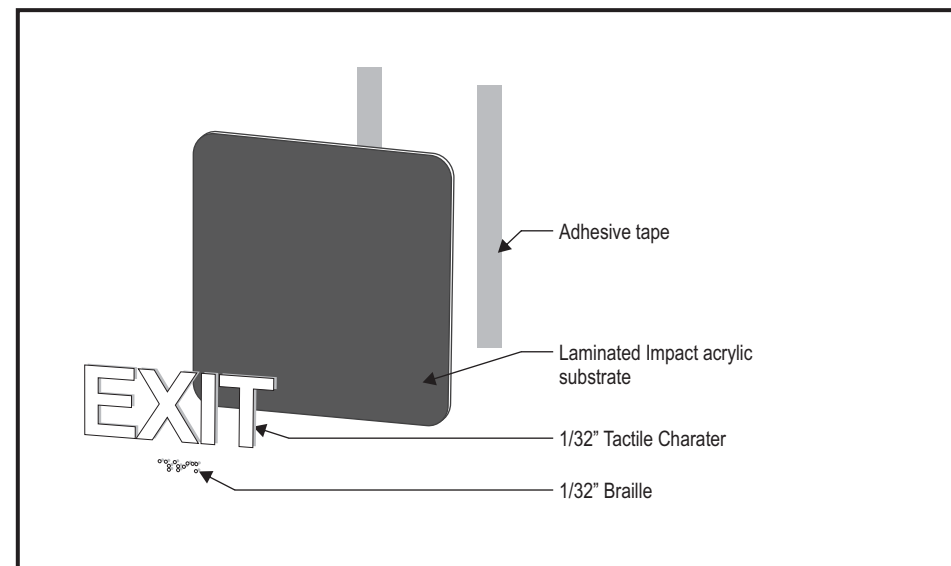
I02

Exit Door Sign - ADA-EX
scale: 3" = 1'-0"

Size: 6"x6"
Color: White on charcoal gray
SKU: RRE-655-66_WHITE_ON_CHARCOALGRAY
Order From: Compliance Signs



Installation Detail - NTS



Construction Detail - NTS

CLIENT NAME
CHASE

ADDRESS
Sheridan st & Federal Hwy Dania, FL 33020

SITE
Young Circle

PAGE NUMBER
14

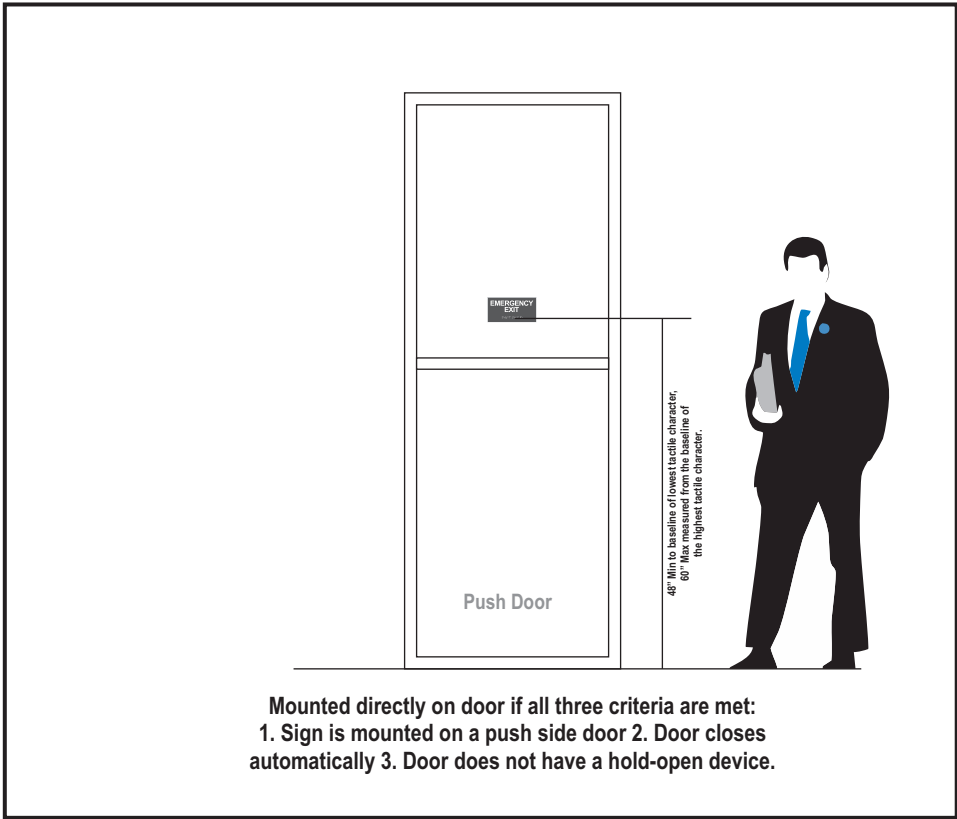
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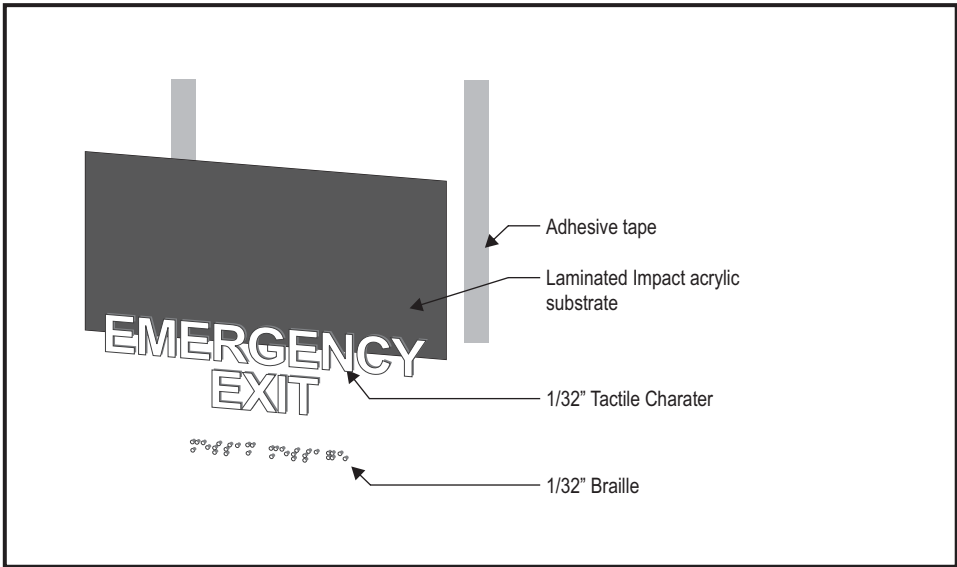
103

Permanent Room ID - ADA-EEX
scale: 3" = 1'-0"

Size: 8"x4"
Color: White on charcoal gray
SKU: Varies depending on message
Order From: Compliance Signs



Installation Detail - NTS



Construction Detail - NTS

CLIENT NAME

CHASE

ADDRESS

Sheridan st & Federal Hwy Dania, FL 33020

SITE

Young Circle

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DRAWING NUMBER

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104

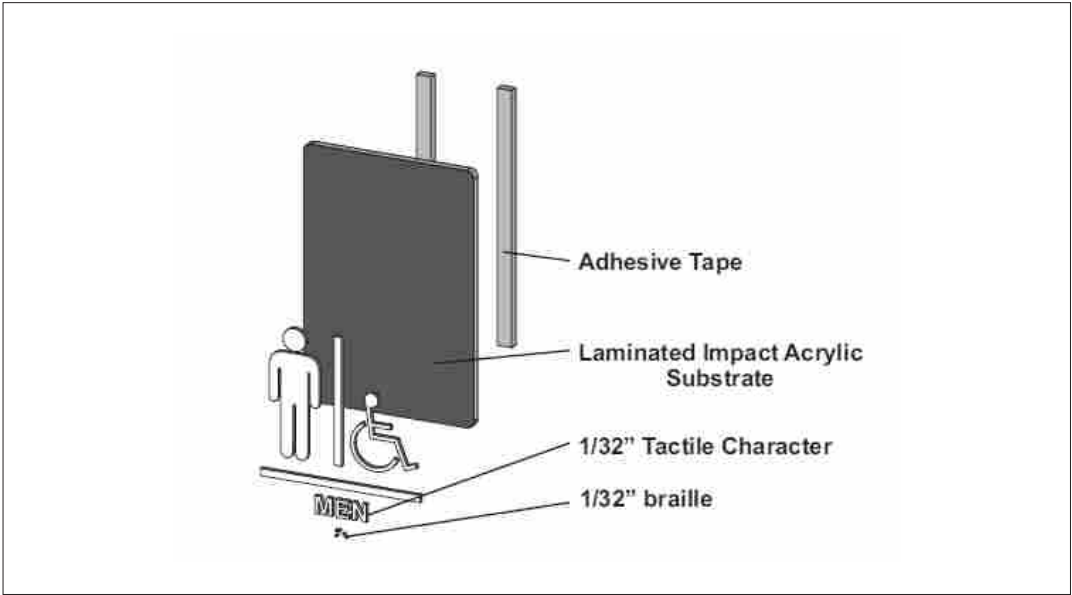
ADA Men's Restroom Sign - ADA-RRM-A-G

scale: 3" = 1'-0"

Size: 6"x9"
Color: White on charcoal gray
SKU: RRE-150_WHITE_ON_CHARCOALGRAY
Order From: Compliance Signs



INSTALLATION DETAIL
SCALE: NTS



CONSTRUCTION DETAIL
SCALE: NTS

CLIENT NAME

CHASE

ADDRESS

Sheridan st & Federal Hwy Dania, FL 33020

SITE

Young Circle

PAGE NUMBER

16

DRAWING NUMBER

17-61718-02

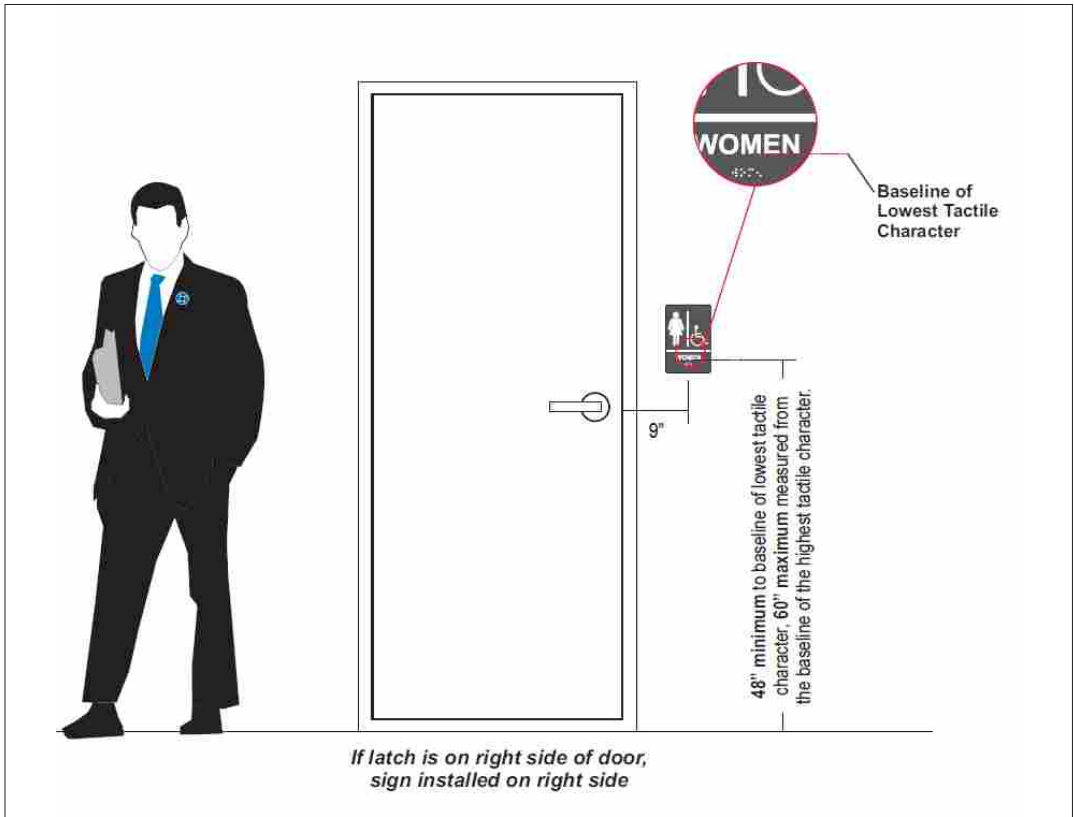


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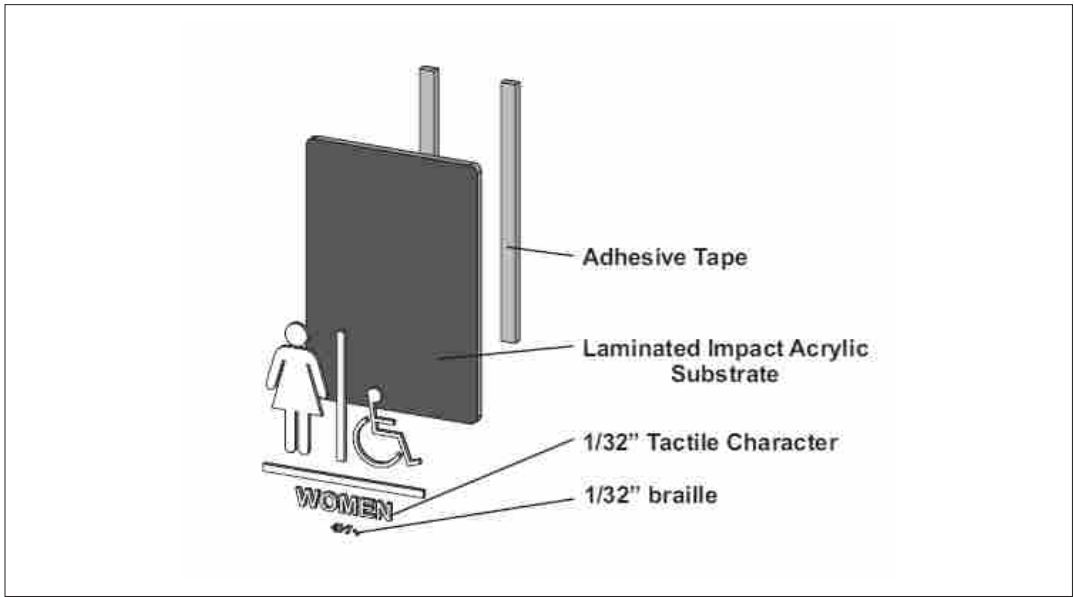
ADA Women's Restroom Sign - ADA-RRW-A-G

scale: 3" = 1'-0"

Size: 6"x9"
Color: White on charcoal gray
SKU: RRE-130_WHITE_ON_CHARCOALGRAY
Order From: Compliance Signs



INSTALLATION DETAIL
SCALE: NTS



CONSTRUCTION DETAIL
SCALE: NTS

CLIENT NAME

CHASE

ADDRESS

Sheridan st & Federal Hwy Dania, FL 33020

SITE

Young Circle

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17-61718-02



I06 **Accessible Teller Window - ADA-TW**
scale: 3" = 1'-0"

Size: 4"x4"
Color: White on blue
SKU: NHE-1-44_Custom_WHITE_ON_BLUE
Order From: Compliance Signs

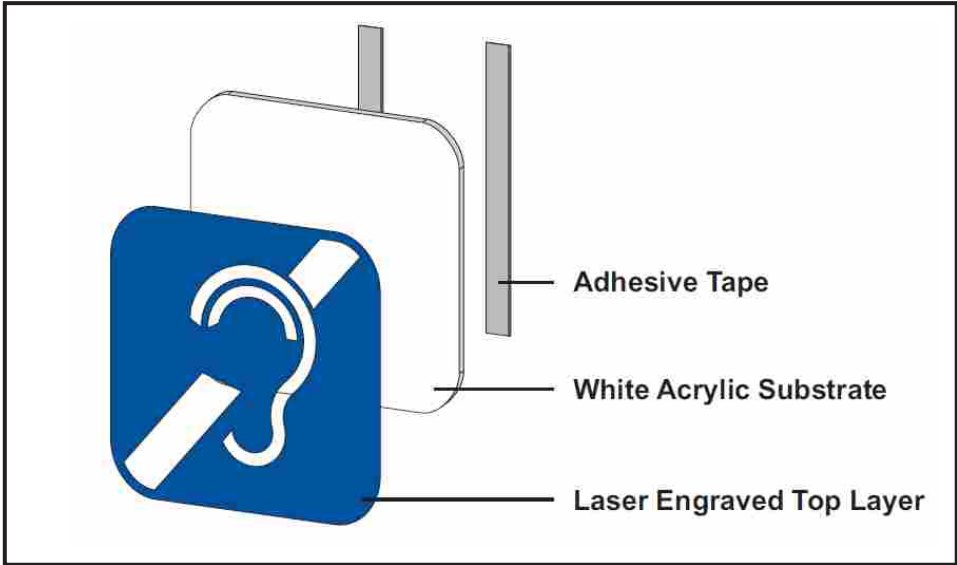


Installation Detail - NTS



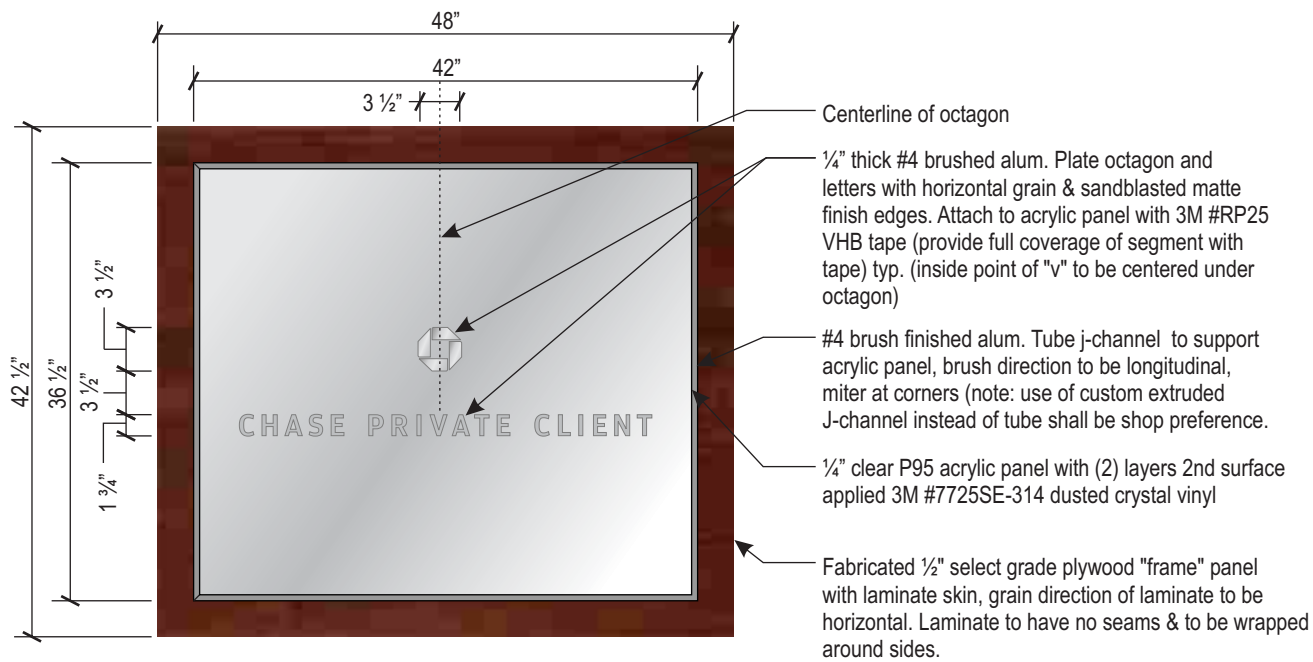
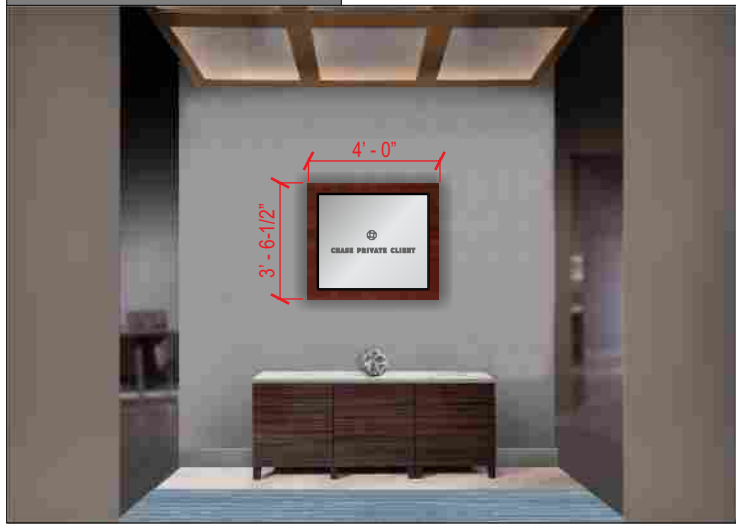
I07 **Accessible Teller Window w/Listening System - ADA-TW-ALS**
scale: 3" = 1'-0"

Size: 4"x4"
Color: White on blue
SKU: NHE-28042-44-Custom_White_on_Blue
Order From: Compliance Signs



Construction Detail - NTS

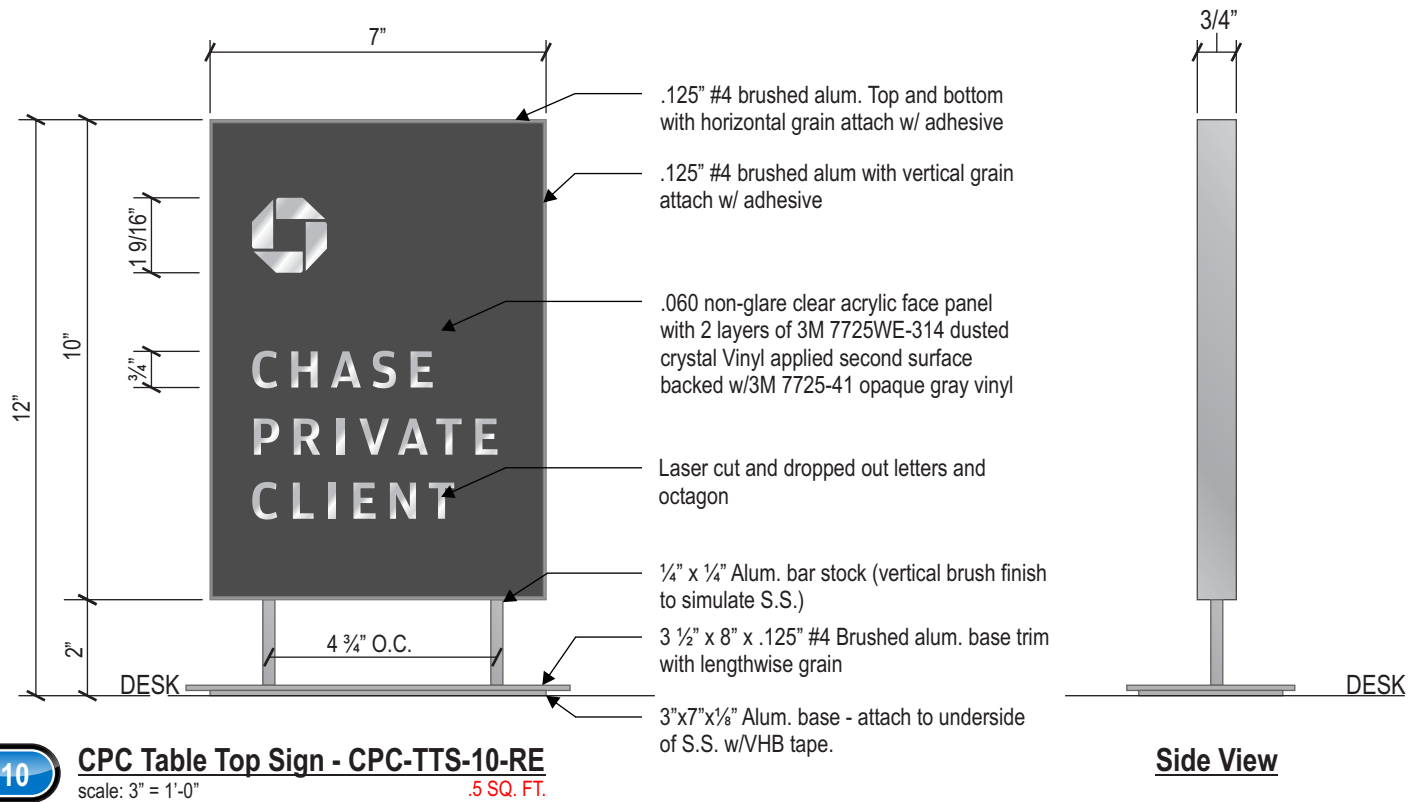
PROPOSED ELEVATION



108 **CPC Brand Focal Wall - Shaker Cherry - CPC-BFW-48-RE-NI**
scale: 3/4" = 1'-0" **14.16 SQ. FT.**

SEE LINK DWG: B244627 FOR EXACT FABRICATION SPECIFICATIONS

SEE CPC SIGNAGE GUIDELINES PAGES 18 AND 20 FOR SPECIFIC MTG. INSTRUCTIONS



SCALE: 3"= 1'-0"

SEE LINK DWG: B244332 - CPC-TTS-10-RE FOR EXACT FABRICATION METHOD

CLIENT NAME

CHASE

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SITE

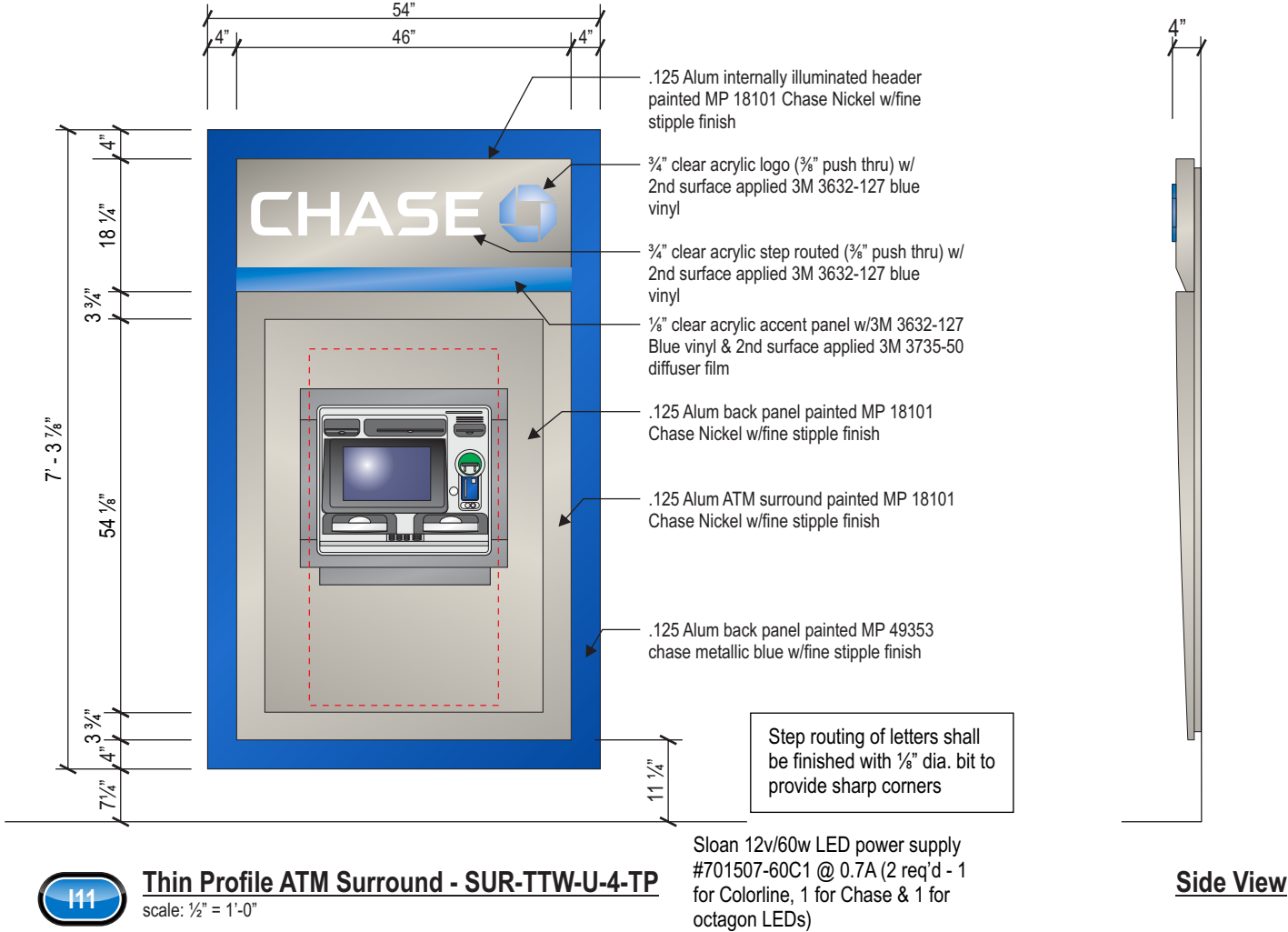
Young Circle

PAGE NUMBER

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DRAWING NUMBER

17-61718-02



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Sheridan st & Federal Hwy Dania, FL 33020

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DRAWING NUMBER

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CLIENT NAME
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SITE
Young Circle

PAGE NUMBER
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DRAWING NUMBER
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CORPORATE OFFICE: 360 CRIDER AVE MOORESTOWN, NJ 08057 P-856.802.1677 F-856.802.0412 **FLORIDA:** 9180 Boggy Creek rd Units 7&8 Orlando, FL 32824 - **TEXAS:** 1170 109th st Grand Prairie, TX 75050

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FRONT ELEVATION



REAR ELEVATION



CLIENT NAME

CHASE

ADDRESS

Sheridan st & Federal Hwy Dania, FL 33020

SITE

Young Circle

PAGE NUMBER

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DRAWING NUMBER

17-61718-02

CORPORATE OFFICE: 360 CRIDER AVE MOORESTOWN, NJ 08057 P-856.802.1677 F-856.802.0412 FLORIDA: 9180 Boggy Creek rd Units 7&8 Orlando, FL 32824 - TEXAS: 1170 109th st Grand Prairie, TX 75050

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Signage Due Diligence Worksheet

Project Name:	Young Circle		
Project Site Number:	55203	Chase MDRE:	Gregg Garden
Address / Legal Description / Intersection:		Chase RE PM:	Rodrigo Silva - JLL
City / State / Zip:	Dania FL 33020-6824	Sign Vendor:	NW Sign Industries Inc
Turn Over to Retail:	09/18/2017	Signage DD Created:	09/05/2016 by Tom McKenna
Opening Date:	09/23/2017	Signage DD Revised:	09/05/2016 by Tom McKenna

Developer / Landlord Restrictions - completed by MDRE / PM	
General Info	
Developer / Landlord Name	
Temporary Signs	
Is the 8' x 4' Coming Soon Ground Sign Allowed? If so, how many?	
Are temporary banners allowed? If so, for how long?	
Are fly guys allowed? If so, for how long?	
Primary Ground Sign	
Will Developer/ LL allow our standard pylon or monument? If yes, which one (ex: P-100, P-75, M-50, M-25, refer to reference guide for all standard options). Is more than 1 primary ground sign allowed?	
If not, what are the pylon / monument restrictions? (include illumination restrictions/overall allowable sf / custom design requirements.	
Is there a Multi-tenant ground sign (pylon or monument) available to us?	
Are there any Off Premise Pylon / Monument / Directory signs that we have the opportunity to brand?	
Building Sign	
Prototypical FS branch - Will Developer/ LL allow our standard illuminated bldg. sign package (30" letterset on front and sides, 24" letterset on rear)?	
If not, what are the variables/restrictions (include illumination and sf restrictions, as well as custom sign requirements).	
In-line / Urban branch - what are the exterior wall sign restrictions (sign type, including max. sf and illumination)	
Interior Window Signs- List all interior window signs restrictions, including storefront set back requirements.	
ATM Topper- does this count against our overall allowable sf.? Is illumination allowed?	
Are decorative logos allowed (EFIS octagon)? Does it count against overall SF?	
Directional / Regulatory Signs	
Is our standard directional and regulatory sign package allowed?	
If not, what are the variables/restrictions?	
Awnings / ATM Sunscreens	
Will Developer / LL allow our branded awnings?	
What if any restrictions are there (Illumination, color/materials, min & max projection)?	
Are ATM sunscreens allowed? Do they count against overall SF?	
Other Restricting Factors:	
Is there a MSP that will effect the outcome of us being granted our standard package once we apply for permitting?	
List MSP restrictions:	
Is there a condo board or any other assoc. related to the Landlord's property that would prohibit us from receiving our standard package?	
List any other variable / restrictions that may apply.	
Architectural Lighting	
Is Architectural lighting allowed? Does it count against overall SF? List provisions.	
Additional Comments	
Please list any additional comments	

Code Allowances - completed by Sign Vendor	
General Info	
Zoning Designation	NSH-C-2 City of Hollywood
Temporary Signs	
Is the 8' x 4' Coming Soon Ground Sign Allowed? If so, how many?	yes - 1 32 square feet; 8' max height and must be permitted
Are temporary banners allowed? If so, for how long?	Yes - 10 days max
Are fly guys allowed? If so, for how long?	no
Primary Ground Sign	
Will code allow our standard pylon or monument? If yes, which one (ex: P-100, P-75, M-50, M-25, refer to reference guide for all standard options). Is more than 1 primary ground sign allowed?	yes - if corner will consider 2
If not, what are the pylon / monument restrictions? (include illumination restrictions/overall allowable sf / custom design requirements)	it must have visual interest and compatable with the architecture of the development - must have address numbers and landscaping where the length in area is x 2' in ground cover or shrubs that are florida tolerant - 100' of frontage 24 square feet; 200' of frontage 36 square feet 1' set back for every 2' of sign height with a minimum of 3' with a visibility triangle
List the set back requirements.	
Building Sign	
Prototypical FS branch - Will code allow our standard illuminated bldg. sign package (30" letterset on front & sides, 24" letterset on the rear)? Please list size and locations of signs allowed.	1 wall or awning per street frontage - 1 square foot for every linear foot of frontage max 150 square feet.
If not, what are the variables/restrictions (include illumination and sf restrictions, as well as custom sign requirements)?	
In-line / Urban branch - what are the exterior wall sign restrictions (sign type, including max. sf and illumination).	
Interior Window Signs- List all interior window signs restrictions, including storefront set back requirements.	does not need to be permitted
ATM Topper- does this count against our overall allowable sf.? Is illumination allowed?	does not count against square footage - illuminated is allowed
Are decorative logos allowed (EFIS octagon)? Does it count against overall SF?	Yes and Yes
Directional / Regulatory Signs	
Is our standard directional and regulatory sign package allowed?	D-2s recommended. 2 square feet and 4' in height - 2 per driveway
If not, what are the variables/restrictions?	
Awnings / ATM Sunscreens	
Are branded awnings allowed?	Yes
What if any restrictions are there (Illumination, color/materials, min & max projection)?	12" letters and 75% of length
Are ATM sunscreens allowed? Do they count against overall SF?	can't get an answer on this - as they believe they would consider this an awning
Other Governing Agencies	
Identify other governing agencies that could override code (ARB, HRB, PUD, etc) and list the known restrictions.	
Permitting / Variance Process	
What is the application process and timing for variance approval ? What are the variance application fees?	
What is the likelihood of being granted a variance with this municipality?	Variance is possible. if a good enough hardship case should win
Architectural Lighting	
Is Architectural lighting allowed? Does it count against overall SF? List provisions.	must be reviewed before the board -
Additional Comments	
Please list any additional comments	

July 14, 2017

Alexandra Carcamo
Principal Planner
City of Hollywood
Department of Development Services
2600 Hollywood Blvd.
Hollywood, FL 33022

Re: Proposed Chase Bank Store No. 55203 – Young's Circle
Preliminary Technical Advisory Committee (TAC) Submission
1700 Sheridan Street, Hollywood, FL

Dear Ms. Carcamo:

On behalf of JPMorgan Chase, N.A., Core States Group ("CSG") is requesting that the proposed 4,453 sf Chase Bank be considered for Preliminary Technical Advisory Committee approval. The subject property is an outparcel within the West Lakes Commons Shopping Center located at the southeast corner of Sheridan Street and US1 (Federal Highway), more specifically at 1700 Sheridan Street, Hollywood, FL 33020.

The proposed parcel encompasses 0.696 acres and is currently zoned Sheridan Street Mixed Use District (SS) located within the Regional Activity Center Overlay District per Ordinance O-2016-22. Per the PACO meeting held on March 13, 2017, the site was requested to conform to the Federal Highway Medium-High Intensity, Mixed Use District (FH-2) regulations as well as the SS regulations. Therefore, the site layout was revised and the building was relocated to the maximum building setback of thirty (30) feet from Federal Highway.

Based on an additional meeting held with City staff on April 27, 2017, the site was revised to provide a fifteen (15) feet wide drive aisle on the west side of the building, adjacent to Federal Highway, and a landscape strip along the west side of the building which would visually enhance the building elevation facing Federal highway. The site design includes an enhanced pedestrian entrance of concrete pavers from the existing sidewalk along Federal Highway to the front entrance and will also incorporate other elements to make the building more interactive with the pedestrian traffic on Federal Highway, such as bicycle parking and possible future benches.

The project proposes two (2) variances. One for excess parking in which the project proposes one (1) additional space over the maximum allowed. The project proposes 24 parking spaces while code restricts the site to 23. Based on the preliminary TAC hearing, the project lies within an overall development which was permitted for excessive parking and therefore, the additional space may be granted by the TAC. The second variance is for the reduction of the Land Development Regulations required stacking from six (6) spaces to four (4) spaces. The City Land Development Regulations does not make a distinction between a banking facility drive thru with teller line and a drive-up ATM. Please note other municipalities have eliminated stacking requirements for Chase banks based on the self-service, automated system not being a typical teller service. Also, please note that per Chase Operational standards, the typical self-service ATM queue does not exceed four (4) stacking positions. In fact, Chase does not offer check cashing or deposits at their ATMs which reduces the transaction time for stopped vehicles. Please refer to the previously provided Chase Bank Queuing Analysis prepared by a licensed professional engineer in the State of Florida.

Please accept this letter as a request for review and approval of the project documents and variances. The granting of the requested variances will not cause conflicts with other sections of the County Land Regulations and will not adversely affect public safety. No feasible engineering or construction solutions can be applied to satisfy the regulations at this time. In addition, it is Core States belief that the proposed development will greatly improve the appearance, functionality, and value of the subject parcel and the surrounding parcels. The proposed project within West Lake Commons will bring both revenue and jobs to this area and the City. The proposed development will create a site that is both aesthetically pleasing and function.

If you should have any questions, please do not hesitate to contact me directly at (813)319-8753.

Sincerely,

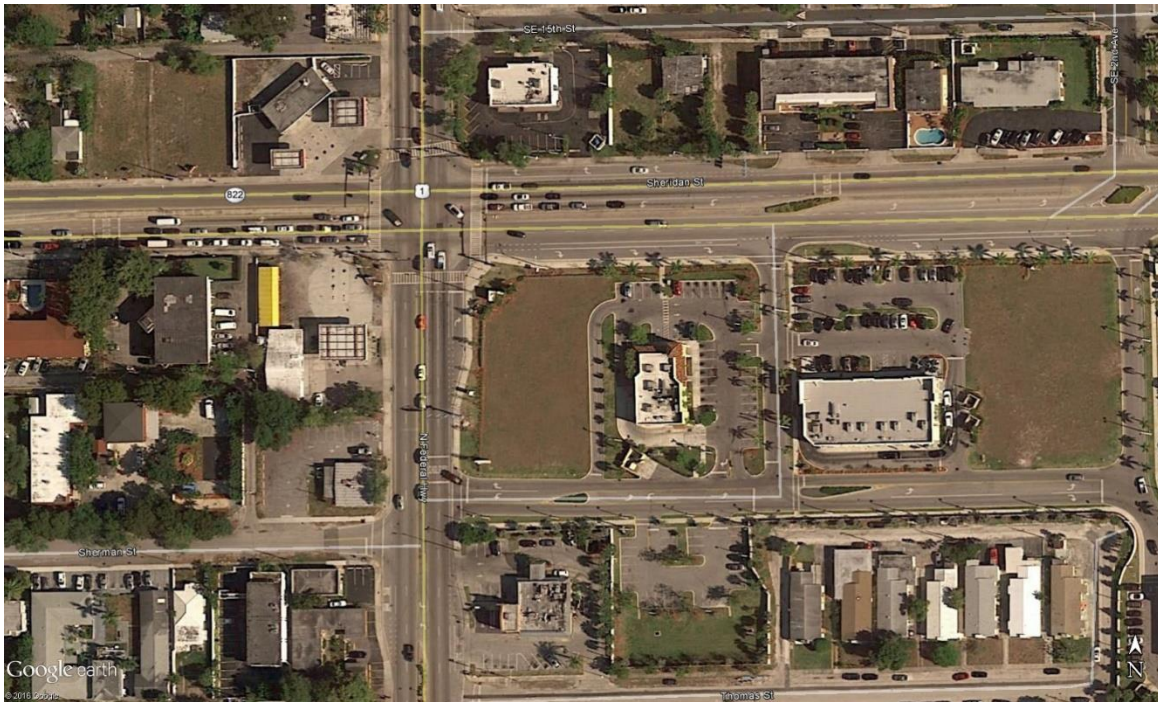


Zach H. Thornton, P.E.
Civil Engineer
Core States Group

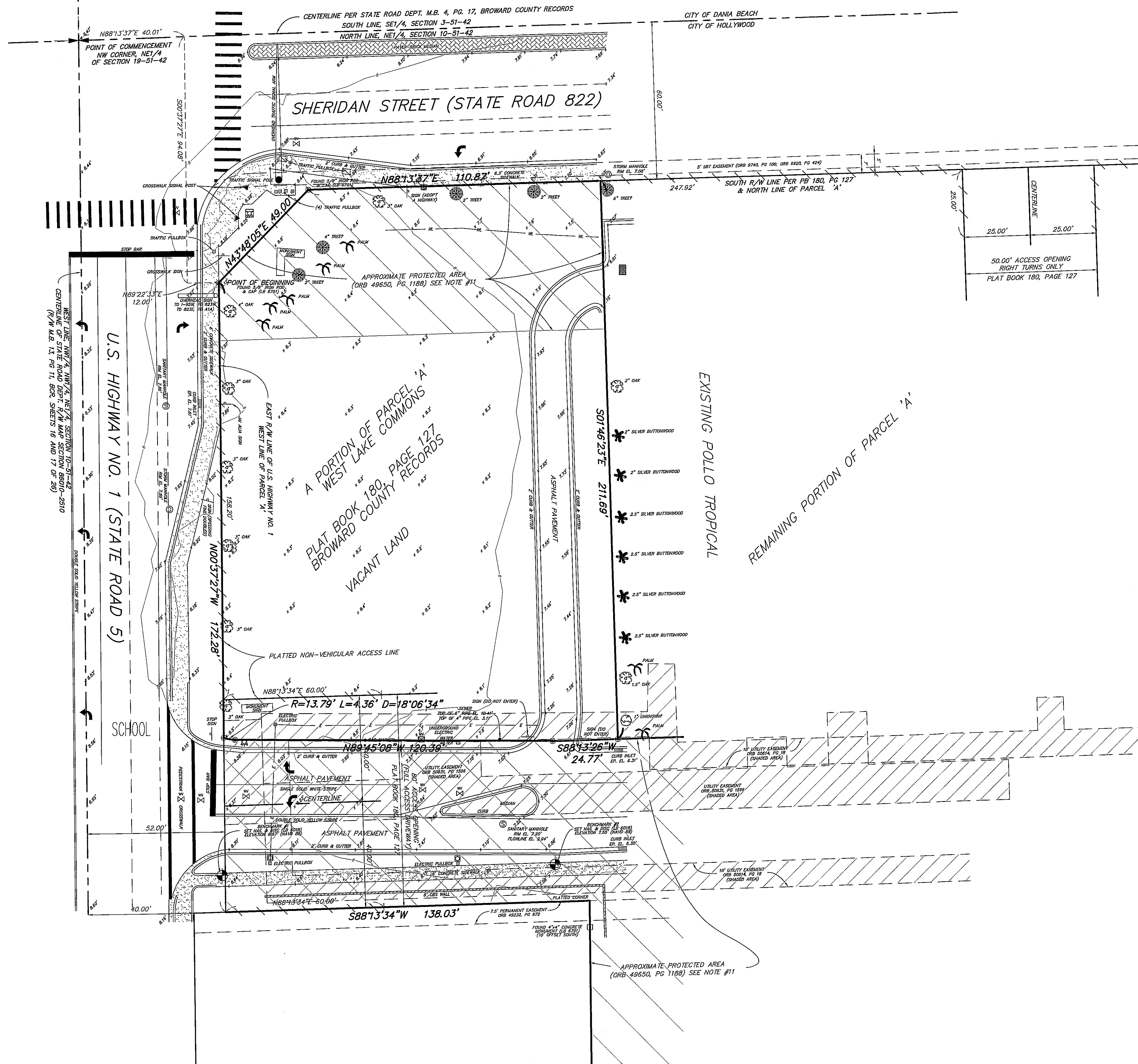
Attachments:

1) Location and Aerial Maps

AERIAL MAP:



ALTA/NSPS LAND TITLE SURVEY
A PORTION OF PARCEL 'A', WEST LAKE COMMONS
PLAT BOOK 180, PAGE 147
HOLLYWOOD, BROWARD COUNTY, FLORIDA



LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10; THENCE NORTH 88°13'37\"/>

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
3. LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25, 2017 AT 5:00 PM.
- 4.) PLAT BOOK 180, PAGES 127-130 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 5.) ORB 49459, PG 972 - AFFECTS PROPERTY, UNPLOTTABLE
- 6.) ORB 49650, PG 1109; INSTRUMENT # 113020931 - AFFECTS PROPERTY, UNPLOTTABLE
- 7.) ORB ORB 49650, PG 1210; ORB 51142, PG 1361 - AFFECTS PROPERTY - BOUNDARY
- 8.) ORB 50263, PG 891 - AFFECTS PROPERTY, UNPLOTTABLE
- 9.) ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
- 10.) ORB 50631, PG 1596 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 11.) ORB 50690, PG 1996 - AFFECTS PROPERTY, UNPLOTTABLE
- 12.) ORB 51126, PG 100 - AFFECTS PROPERTY, UNPLOTTABLE
- 13.) INSTRUMENT #113020930 - AFFECTS PROPERTY, UNPLOTTABLE
4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37\"/>

SURVEYOR'S CERTIFICATION:

TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26, 2014.
SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ROBERT BLOOMSTER JR.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.
L.B. #8018

641 NORTHEAST SPENCER STREET
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868


CORE STATES GROUP
1790 SHERIDAN STREET
HOLLYWOOD, BROWARD COUNTY, FLORIDA

SHEET 1 OF 1		
DRAWN BY:	DPK	
SCALE:	1" = 20'	
FIELD WORK COMPLETED:	7/26/2016	
FIELD BOOK:	SKETCH	
JOB NO.	13652	
REVISIONS		
DATE:	DESCRIPTION:	BY:
12/9/16	EXC#15 CORR.	DPK
5/8/17	TREES	DPK
5/18/17	ALTA O&E UPDATE	DPK



**YOUNG CIRCLE RELO
RETAIL BANKING CENTER**
SHERIDAN ST. & FEDERAL HWY.
DANIA, FL 33020-6824

CORE STATES



GROUP

110 North 11th Street, Suite 101
Tampa, FL 33602
Phone (813) 490-1755
Fax (813) 490-1759

CORESTATES, INC. FL CERTIFICATE
OF AUTHORIZATION #9578

ARCHITECT: JAMES T. LALLI
 LICENSE NUMBER: AR97551



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Issue	Date	Description
	2017.07.13	TAC COMM

PROJECT INFORMATION BLOCK

PROJECT#: JPM-1

DATE: 2017.

DRAWN BY: _____ RC
CHECKED BY: _____

CHECKED BY: _____
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MODEL

4.2.1. CUS FIES MTL CA

6.2-1-CUS-EIFS-MIL-CM

SHEET TITLE

TRACU

TRASH

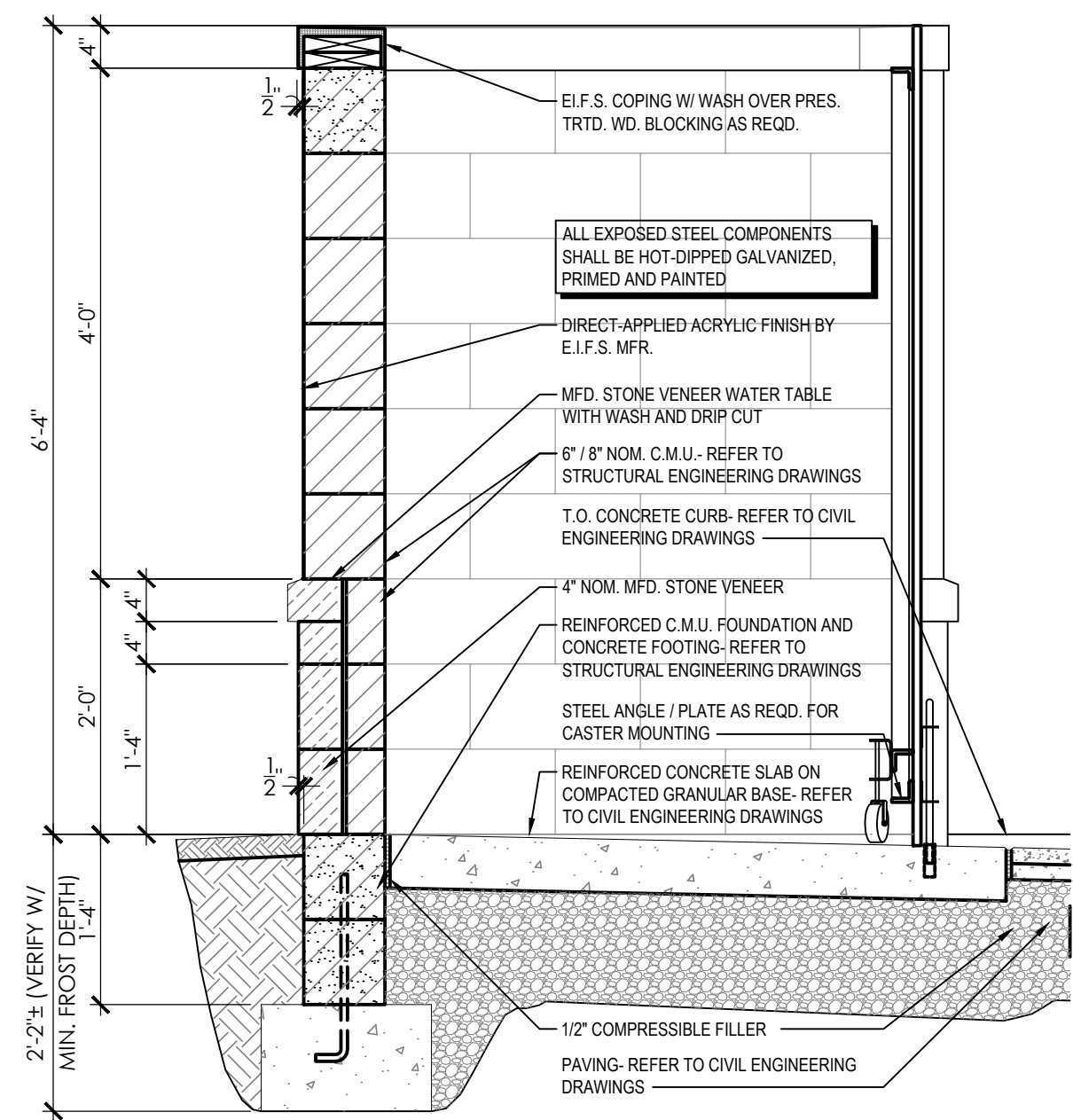
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SHEET NUMBER

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A03

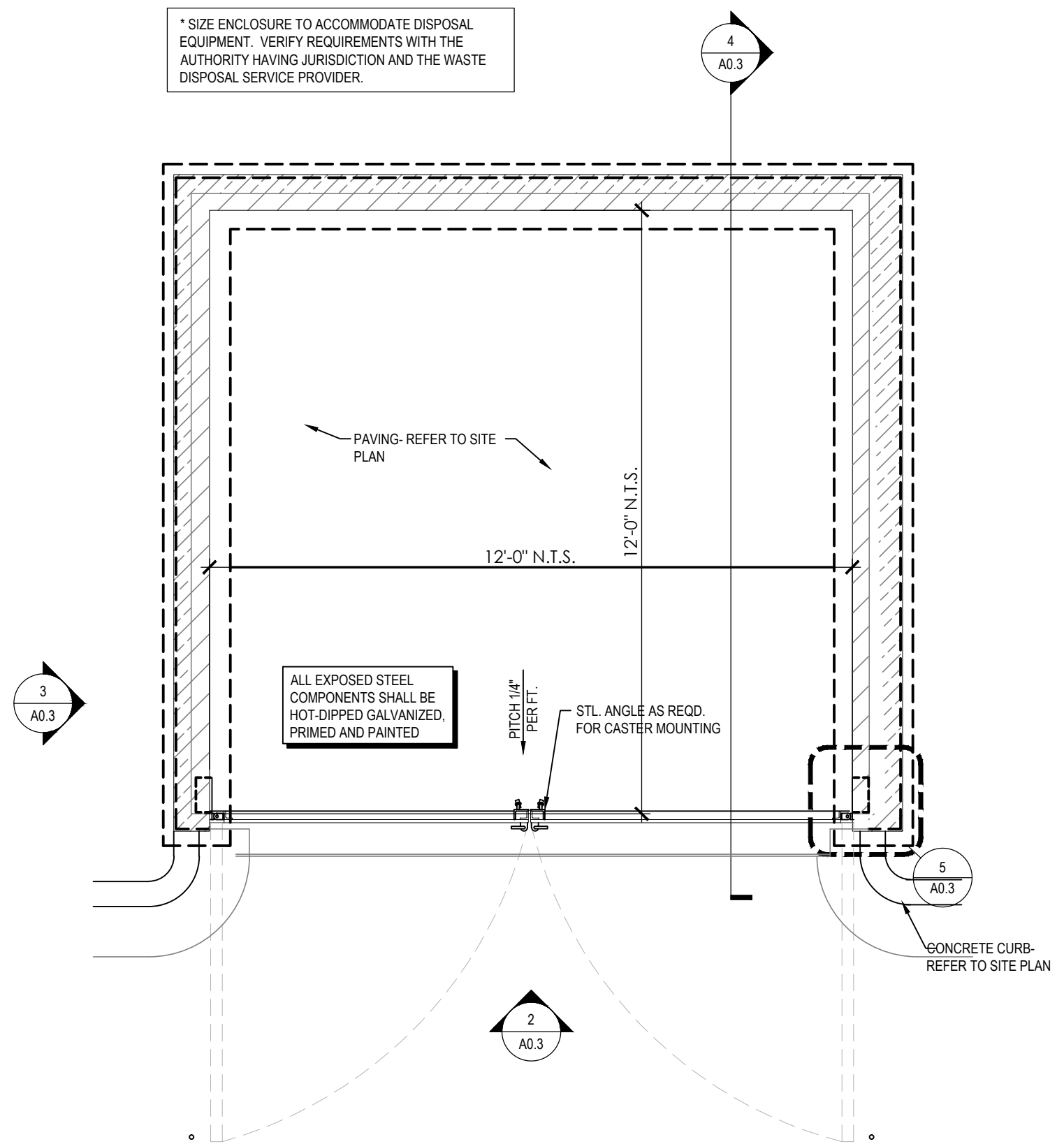
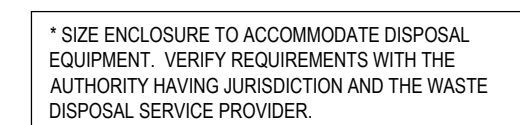
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TRASH ENCLOSURE - SECTION

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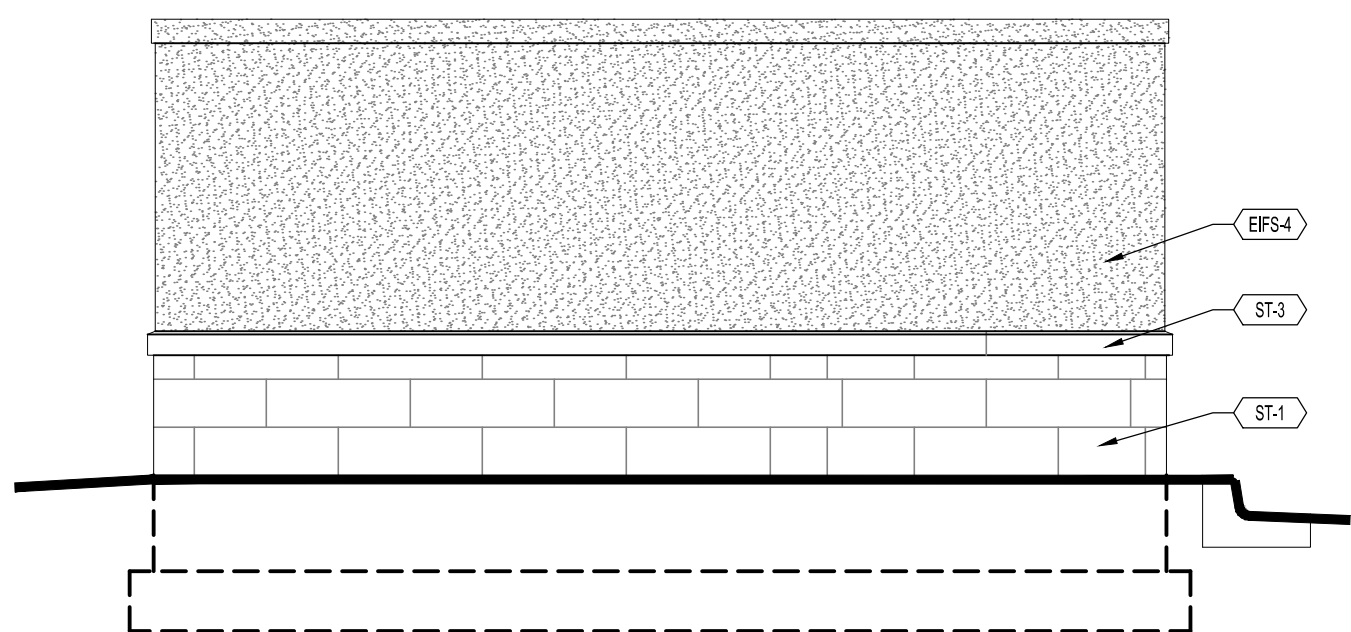
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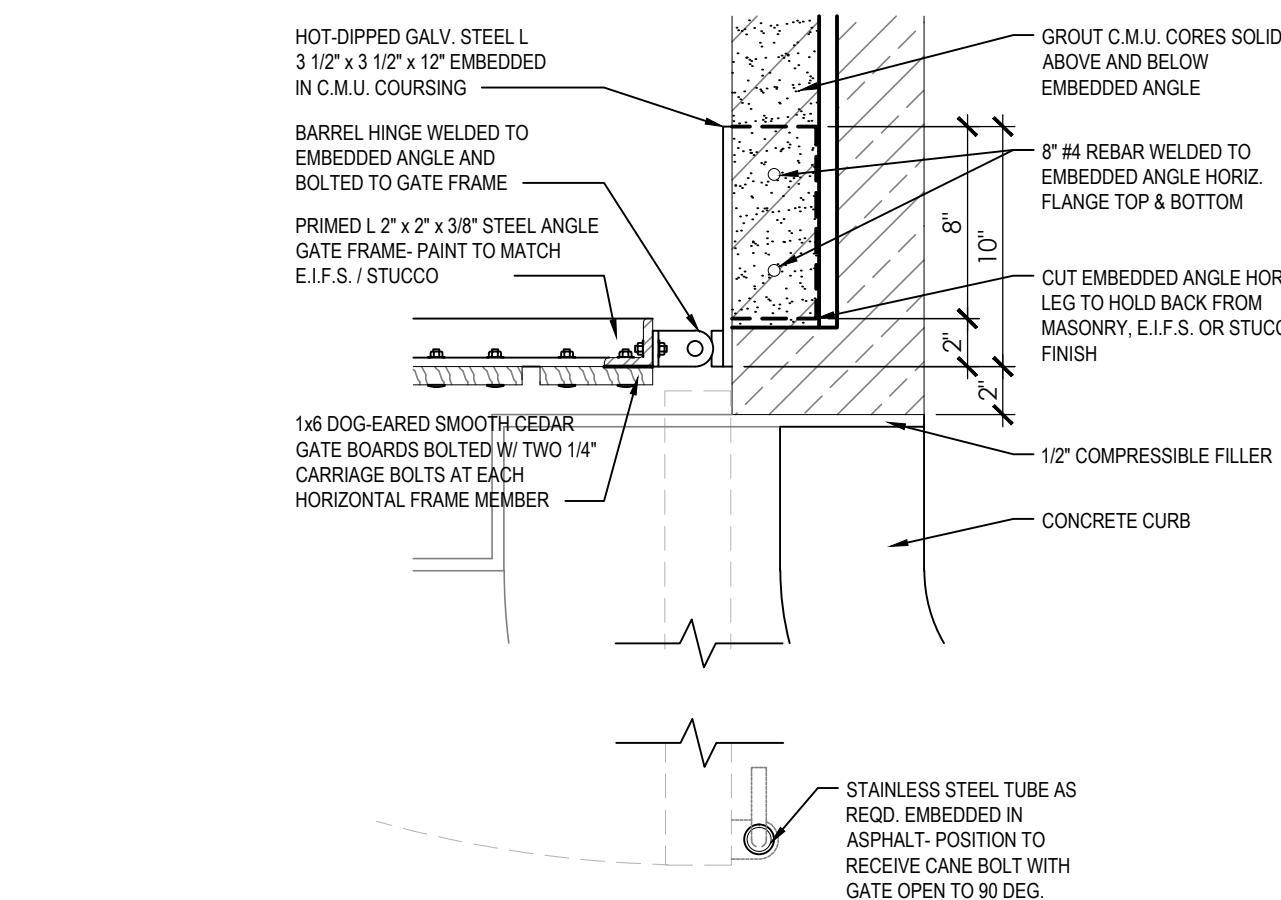
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TRASH ENCLOSURE - SIDE ELEVATION

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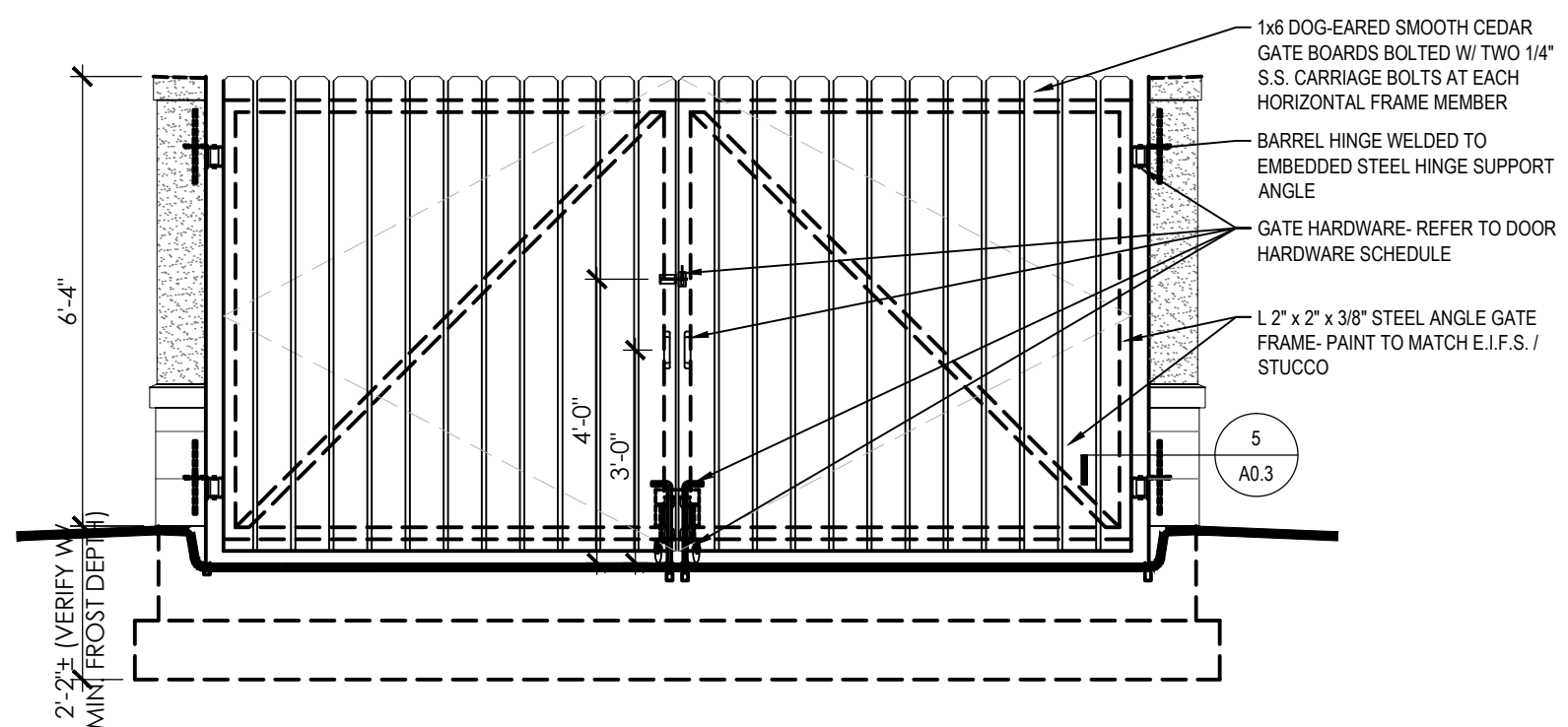
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TRASH ENCLOSURE - CORNER DETAIL

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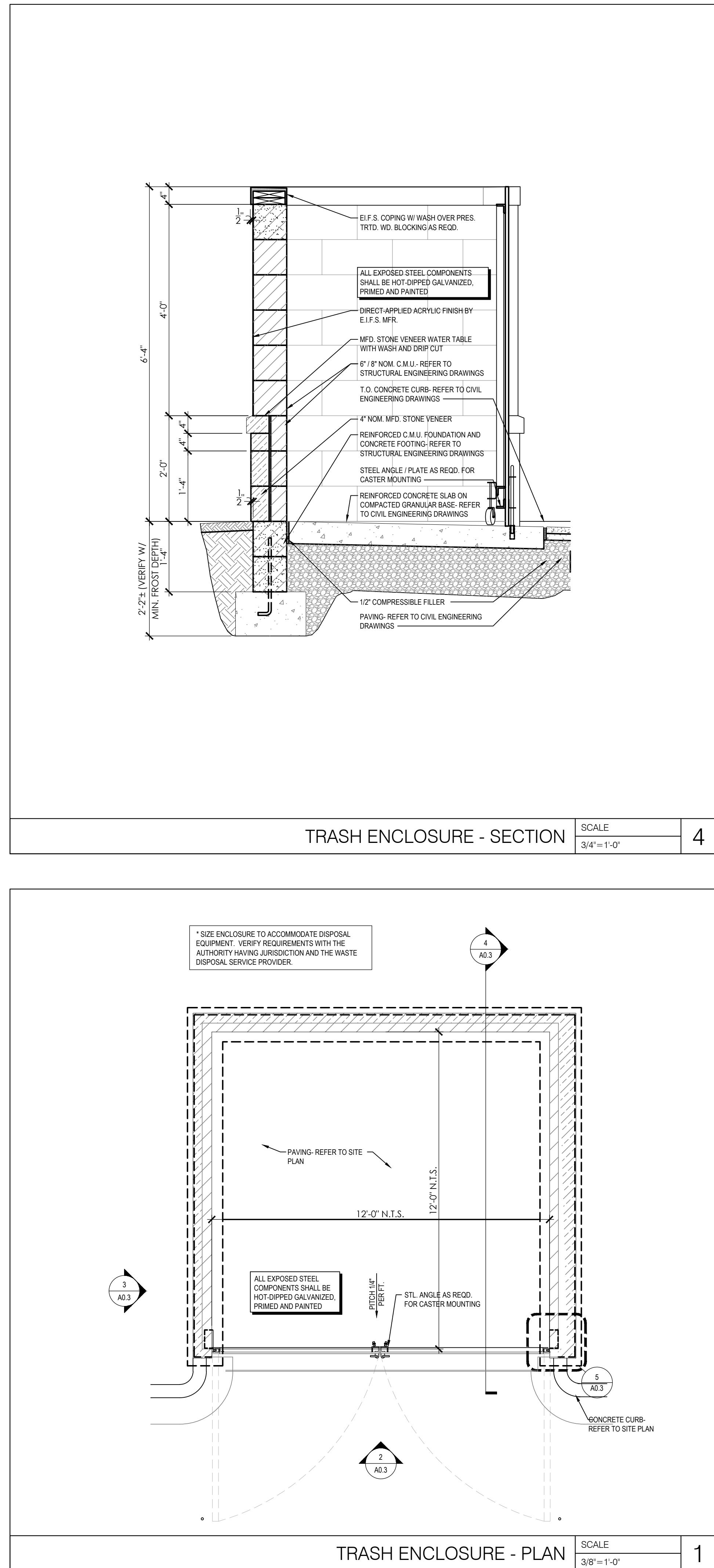
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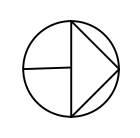


TRASH ENCLOSURE - GATE ELEVATION

SCALE
$3/8" = 1'-0"$

2





FLOOR PLAN

SCALE
1/4" = 1'-0"

1



YOUNG CIRCLE RELO
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SHERIDAN ST. & FEDERAL HWY.
DANIA, FL 33020-6824

CORE STATES
GROUP
110 North 11th Street, Suite 101
Tampa, FL 33602-1755
Tel: (813) 490-1755
Fax: (813) 490-1759
Email: core-eng.com

SEAL
ENGINEER: RALPH W. BERGERSON
LICENSE NUMBER: AR17051

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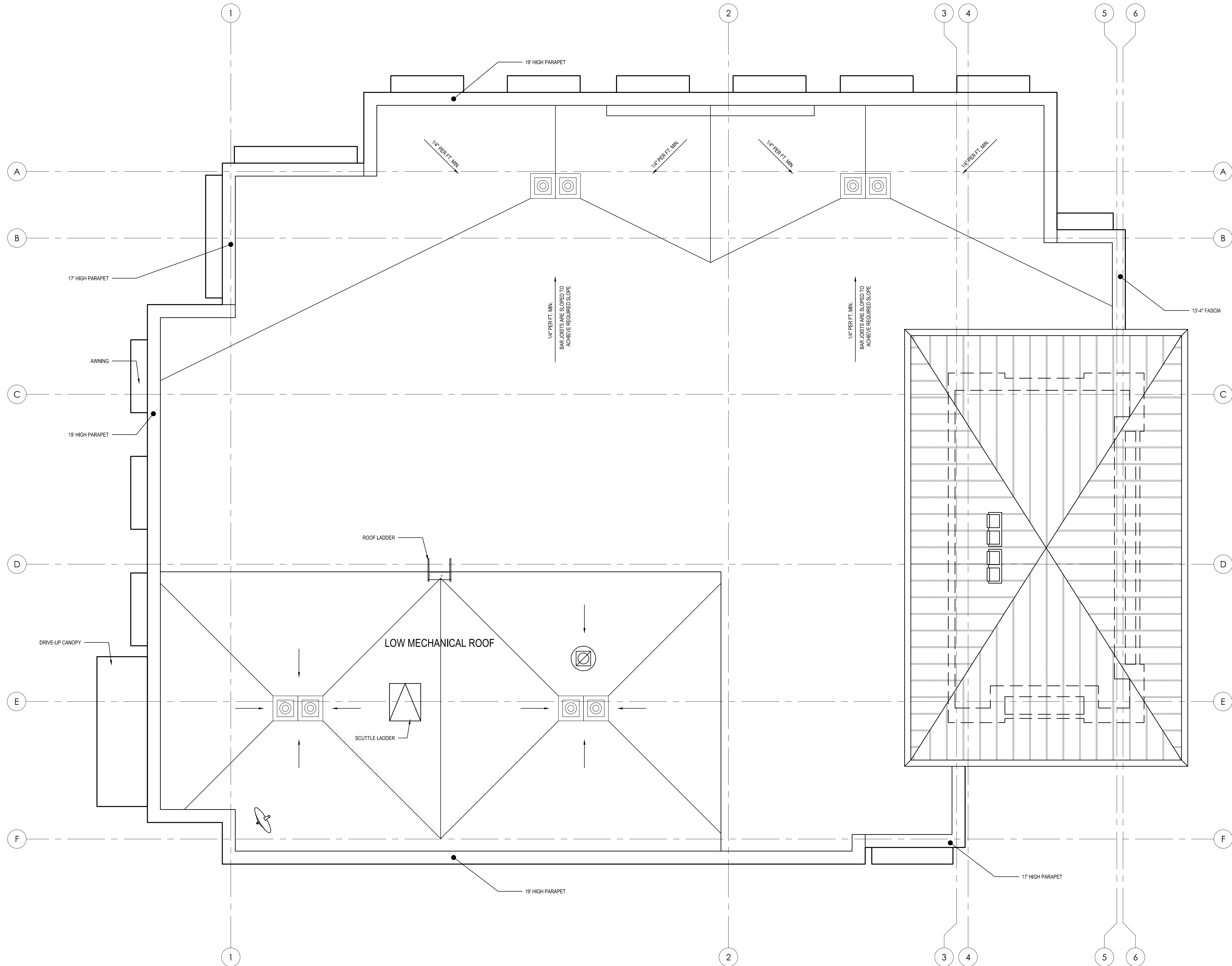
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16.2-1-CUS-EIFS-MTL-CMU

SHEET TITLE

FLOOR PLAN

SHEET NUMBER

A1.1



ROOF PLAN

SCALE
1/4" = 1'-0"

1

CHASE

YOUNG CIRCLE RELO
RETAIL BANKING CENTER
SHERIDAN ST. & FEDERAL HWY.
DANIA, FL 33020-6824

CORE STATES
GROUP
110 North 11th Street, Suite 101
Tampa, FL 33602-1755
Tel: (813) 490-7755
Fax: (813) 490-7759
Email: core-eng.com



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DATE:	2017.07.31
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CHECKED BY:	ML
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MODEL

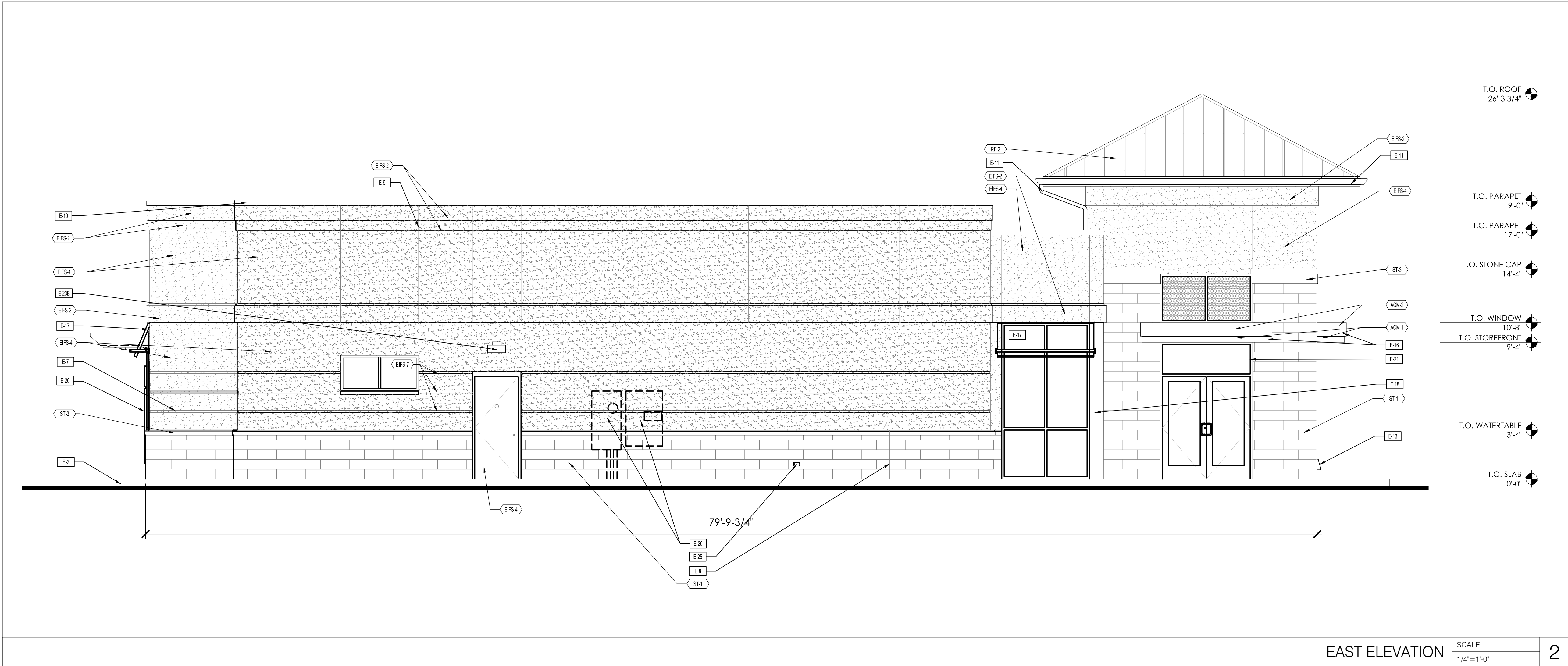
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A1.5



EAST ELEVATION

SCALE
1/4"=1'-0"

2



NORTH ELEVATION

SCALE
1/4"=1'-0"

1

ELEVATION NOTES

E-1	"CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS."
E-2	"CONCRETE CURB AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN"
E-3	"EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY- RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH- VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION"
E-4	IRRIGATION SYSTEM SENSOR
E-5	"LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS"
E-6	IRRIGATION SYSTEM CONTROL BOX.
E-7	"REVEAL: REFER TO WALL SECTIONS AND DETAILS - STOP 4" FROM BANK EQUIPMENT OPENINGS"
E-8	"CONTROL JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH MASONRY VENEER- MATCH SEALANT COLOR TO VENEER COLOR- ALSO PLACE CONTROL JOINTS AT EACH INSIDE CORNER (NOT GRAPHICALLY INDICATED)- REFER TO DETAIL 2/A5.4.1"
E-9	"EIFS REVEAL: 3/8" WIDE V-GROOVE ALIGNED WITH MASONRY CONTROL JOINTS BELOW"
E-10	"COPING: REFER TO ROOF PLAN- FINISH TO MATCH EPT-1"
E-11	"GUTTERS & DOWNSPOUTS: REFER TO ROOF PLAN- FINISH TO MATCH EPT-1"
E-12	"SCUPPER: REFER TO ROOF PLAN"
E-13	"DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND PLUMBING FIXTURE SCHEDULE"
E-14	"ROOF VENT: REFER TO ROOF PLAN"
E-15	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT
E-16	"CANOPY FASCIA: REFER TO WALL SECTIONS AND DETAILS"
E-17	"AWNING: OPTIONAL DESIGN ELEMENT- VERIFY WITH OWNER- BY SIGNAGE VENDOR, NOT IN CONTRACT- COORD. STRUCTURAL SUPPORT / BLOCKING IN WALL AS REQD."
E-18	STOREFRONT CORNER ASSEMBLY
E-19	"BOLLARD: CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER- REFER TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE (LANDSCAPE, WALK, ETC.)"
E-20	"BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA"
E-21	"SIGNAGE: BY OWNER'S SIGN VENDOR- N.I.C. - PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION"
E-22	"BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE"
E-23	"LIGHT FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE"
E-24	"HOSE BIB SET FLUSH WITH FACE OF MASONRY VENEER- REFER TO PLUMBING FIXTURE SCHEDULE"
E-25	"ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER- PROVIDE METAL COVER COMPLIANT WITH N.E.C."
E-26	"UTILITY EQUIPMENT: PROVIDE AND INSTALL UTILITY TERMINATION CABINETS AND METERS AS REQUIRED- COORD. WITH OWNER'S SECURITY AND TELE-DATA SERVICES- COORD. CABINET AND METER LOCATIONS WITH LOCAL JURISDICTION- REFER TO SITE PLAN"
E-27	"FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING- REFER TO WALL SECTIONS AND DETAILS- COLOR TO MATCH EPT-4- VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS"
E-31	"TELE / DATA / UTILITY CONNECTIONS: COORDINATE FINAL LOCATION WITH CIVIL ENGINEER"

CHASE

YOUNG CIRCLE RELO
RETAIL BANKING CENTER
SHERIDAN ST. & FEDERAL HWY.
DANIA, FL 33020-6824

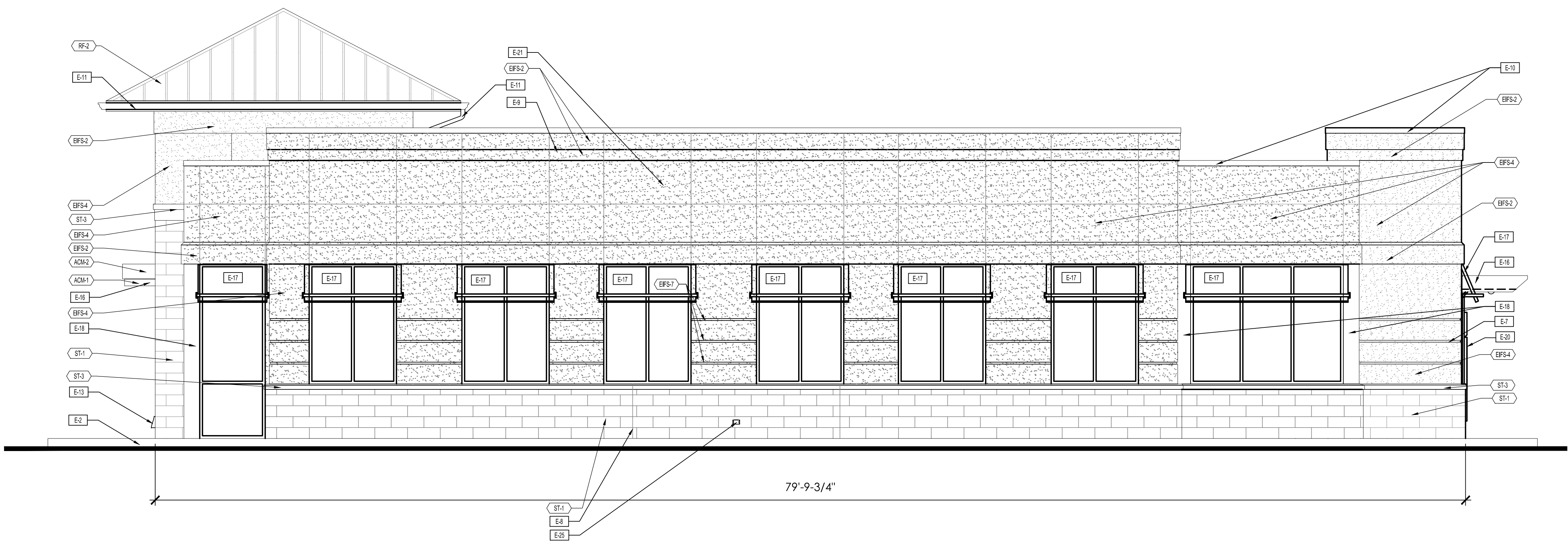
CORE STATES GROUP

110 North 11th Street, Suite 101
Dania Beach, FL 33024
Ph: (813) 480-7255
Fax: (813) 480-7759
Email: core-stg.com

CORE STATES, INC. FL CERTIFICATE
OF AUTHORIZATION #0578

SEAL
ARCHITECT: JAMES T. LALLI LICENSE NUMBER: AR97551
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2017.07.13 TAC COMMENTS
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PROJECT#: JPM-19067
DATE: 2017.07.31
DRAWN BY: KC/CP
CHECKED BY: ML
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MODEL
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SHEET TITLE
EXTERIOR ELEVATIONS
SHEET NUMBER
A3.1

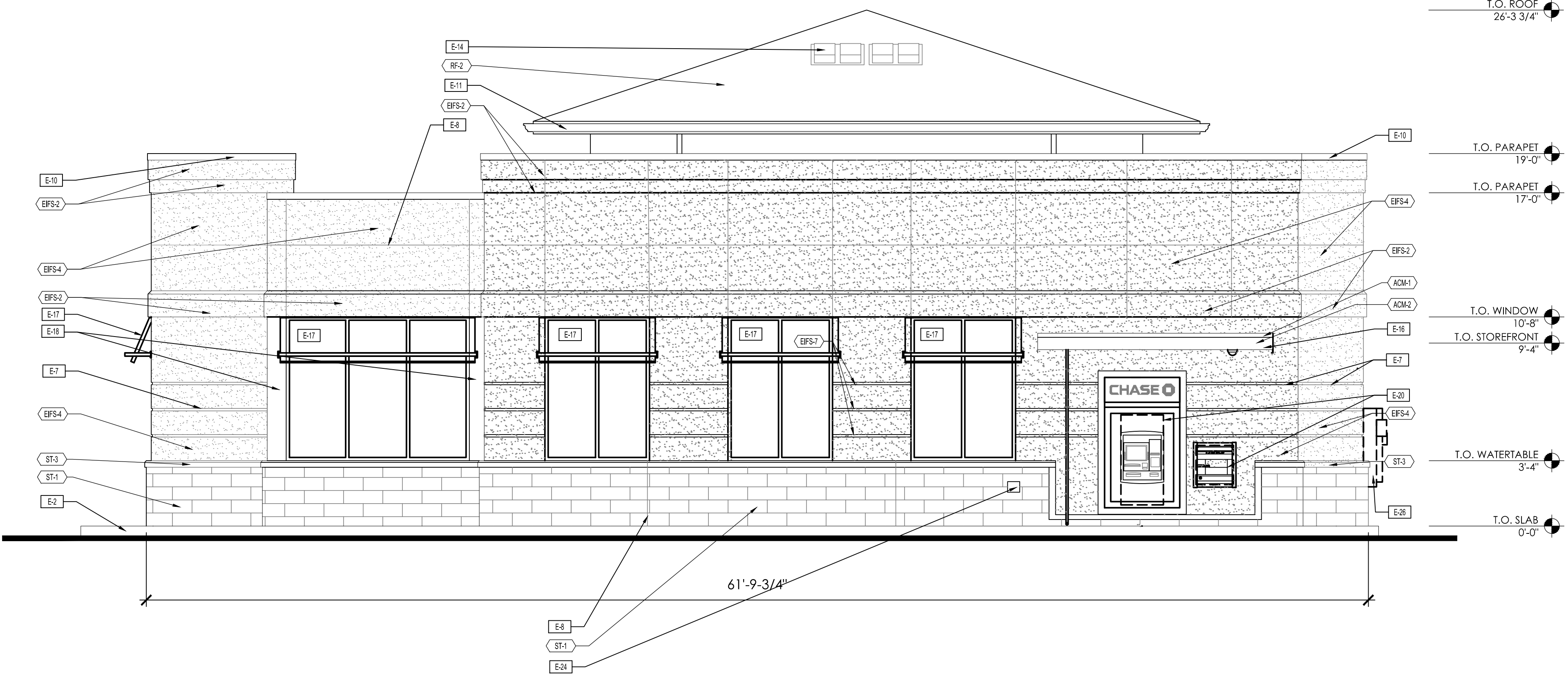
- T.O. ROOF
26'-3 3/4"
- T.O. PARAPET
19'-0"
- T.O. PARAPET
17'-0"
- T.O. STONE CAP
14'-4"
- T.O. STOREFRONT
9'-4"
- T.O. WATERTABLE
3'-4"
- T.O. SLAB
0'-0"



WEST ELEVATION

SCALE
1/4" = 1'-0"

2



SOUTH ELEVATION

SCALE
1/4" = 1'-0"

1

ELEVATION NOTES

E-1	"CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS."
E-2	"CONCRETE CURB AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN"
E-3	"EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY- RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH- VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION"
E-4	IRRIGATION SYSTEM SENSOR
E-5	"LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS"
E-6	IRRIGATION SYSTEM CONTROL BOX.
E-7	"REVEAL: REFER TO WALL SECTIONS AND DETAILS - STOP 4" FROM BANK EQUIPMENT OPENINGS"
E-8	"CONTROL JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH MASONRY VENEER- MATCH SEALANT COLOR TO VENEER COLOR- ALSO PLACE CONTROL JOINTS AT EACH INSIDE CORNER (NOT GRAPHICALLY INDICATED)- REFER TO DETAIL 2/A5.4.1"
E-9	"EIFS REVEAL: 3/8" WIDE V-GROOVE ALIGNED WITH MASONRY CONTROL JOINTS BELOW"
E-10	"COPING: REFER TO ROOF PLAN- FINISH TO MATCH EPT-1"
E-11	"GUTTERS & DOWNSPOUTS: REFER TO ROOF PLAN- FINISH TO MATCH EPT-1"
E-12	"SCUPPER: REFER TO ROOF PLAN"
E-13	"DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND PLUMBING FIXTURE SCHEDULE"
E-14	"ROOF VENT: REFER TO ROOF PLAN"
E-15	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT
E-16	"CANOPY FASCIA: REFER TO WALL SECTIONS AND DETAILS"
E-17	"AWNING: OPTIONAL DESIGN ELEMENT- VERIFY WITH OWNER- BY SIGNAGE VENDOR, NOT IN CONTRACT- COORD. STRUCTURAL SUPPORT / BLOCKING IN WALL AS REQD."
E-18	STOREFRONT CORNER ASSEMBLY
E-19	"BOLLARD: CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER- REFER TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE (LANDSCAPE, WALK, ETC.)"
E-20	"BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA"
E-21	"SIGNAGE: BY OWNER'S SIGN VENDOR- N.I.C.- PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION"
E-22	"BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE"
E-23	"LIGHT FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE"
E-24	"HOSE BIB SET FLUSH WITH FACE OF MASONRY VENEER- REFER TO PLUMBING FIXTURE SCHEDULE"
E-25	"ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER- PROVIDE METAL COVER COMPLIANT WITH N.E.C."
E-26	"UTILITY EQUIPMENT: PROVIDE AND INSTALL UTILITY TERMINATION CABINETS AND METERS AS REQUIRED- COORD. WITH OWNER'S SECURITY AND TELE-DATA SERVICES- COORD. CABINET AND METER LOCATIONS WITH LOCAL JURISDICTION- REFER TO SITE PLAN"
E-27	"FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING- REFER TO WALL SECTIONS AND DETAILS- COLOR TO MATCH EPT-4- VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS"
E-31	"TELE / DATA / UTILITY CONNECTIONS: COORDINATE FINAL LOCATION WITH CIVIL ENGINEER"

CHASE

YOUNG CIRCLE RELO
RETAIL BANKING CENTER
SHERIDAN ST. & FEDERAL HWY.
DANIA, FL 33020-6824

CORE STATES GROUP

110 North 11th Street, Suite 101
Dania Beach, FL 33024
Phone: (813) 480-7255
Fax: (813) 480-1759
Email: core-eng.com

CORE STATES, INC. FL CERTIFICATE
OF AUTHORIZATION #0578

SEAL

ARCHITECT: JAMES T. LALLI
LICENSE NUMBER: AR97551

THESE DRAWINGS ARE NOT COMPLETE
WITHOUT THE SEPARATE TYPE WRITTEN
SPECIFICATIONS MANUAL WHICH ARE PART
OF THE CONTRACT DOCUMENTS

Issue	Date	Description
	2017.07.13	TAC COMMENTS

PROJECT INFORMATION BLOCK
PROJECT#: JPM-19067
DATE: 2017.07.31
DRAWN BY: KC/CP
CHECKED BY: ML
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MODEL
16.2-1-CUS-EIFS-MTL-CMU

SHEET TITLE
EXTERIOR
ELEVATIONS

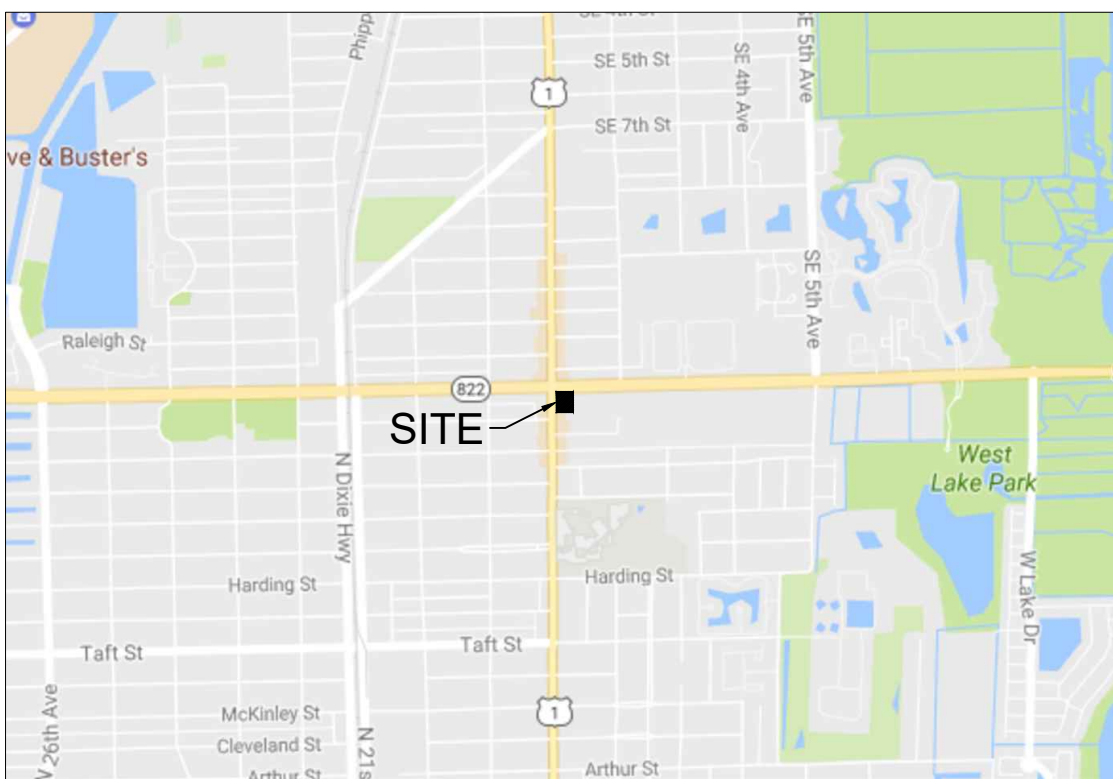
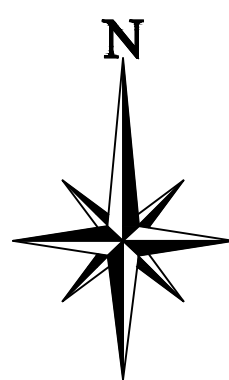
SHEET NUMBER
A3.2

CIVIL CONSTRUCTION PLANS FOR CHASE

PLANNING AND ZONING:	CITY OF HOLLYWOOD COMMUNITY DEVELOPMENT DEPARTMENT 2600 HOLLYWOOD BOULEVARD, ROOM 315 HOLLYWOOD, FL 33021 TEL: 954.921.3471
FIRE DEPARTMENT:	CITY OF HOLLYWOOD FIRE DEPARTMENT 2741 STIRLING ROAD HOLLYWOOD, FL 33312 TEL: 954.967.4357
WATER/WASTEWATER:	CITY OF HOLLYWOOD PUBLIC UTILITIES 1621 N. 14TH AVENUE HOLLYWOOD, FL 33020 TEL: 954.967.4455
STORMWATER:	BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT 1 N. UNIVERSITY DRIVE, SUITE 201-A PLANTATION, FL 33324 TEL: 954.519.1483

ELECTRIC COMPANY: FPL
4000 DAVIE ROAD EXTENSION
HOLLYWOOD, FL 33024
CONTACT: ERIC DOAN
TEL: 954.442.6369

TELEPHONE / INTERNET: COMCAST
4571 SHERIDAN STREET
HOLLYWOOD, FL 33021
TEL: 800.266.2278




VICINITY MAP:
SCALE = 1" = 2,000'

SHEET INDEX				
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
C1	COVER SHEET	X		
C2	GENERAL NOTES	X		
C3	PHASE 1 EROSION AND SEDIMENTATION CONTROL PLAN	X		
C4	PHASE 2 EROSION AND SEDIMENTATION CONTROL PLAN	X		
C5	EROSION CONTROL DETAILS	X		
C6	DEMOLITION PLAN	X		
C7	SITE PLAN	X		
C8	GRADING AND DRAINAGE PLAN	X		
C9	UTILITY PLAN	X		
C10-C12	CONSTRUCTION DETAILS	X		
C13	PHOTOMETRIC PLAN	X		
REFERENCE SHEETS				
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
SHEET 1 OF 1	ALTA/AACSM LAND TITLE SURVEY BY BLOOMSTER	X		
L-01	EXISTING LANDSCAPE PLAN	X		
L-02	LANDSCAPE PLAN	X		
L-03	LANDSCAPE DETAILS	X		
L-04	LANDSCAPE NOTES	X		

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR CITY OF HOLLYWOOD, FLORIDA, COMMUNITY NUMBER 125113 0567H EFFECTIVE DATE 8/18/2014.

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

CORE STATES



GROUP

110 NORTH 11TH STREET, SUITE 101
TAMPA, FL 33602
PHONE (813) 460-1755
FAX (813) 430-1759
CCARDEN@CORE-ENG.COM

CORESTATES, INC.
CA # 9878

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CLIENT



CHASE



**Know what's below...
Call before you dig.**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWMAN'S RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CROWN EYE, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK
STORE NO. 55203
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

SHEET TITLE
COVER SHEET

JOB #:	JPM.19067
DATE:	05.12.2017
SCALE:	N/A
DRAWN BY:	CED
CHECKED BY:	ZHT

SHEET NO.

C1

GENERAL DEMOLITION NOTES:

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- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL, PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.

ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES RESON AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION WITH THE UTILITY COMPANY. THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

SHOULD REMOVE AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN. ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.

CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.

THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDE WATER MAIN SHUT OFFS TO THE CITY/COUNTY UTILITY DEPARTMENT DURING CONSTRUCTION, ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.

DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

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- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.

ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.

IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE AND THE SITE SHALL BE STABILIZED PER THE PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).

THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.

ALL VEGETATION FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE.

CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GOVERNING AGENCY STANDARDS.

ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.

GENERAL PAVING AND GRADING NOTES:

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- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL, SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.

ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST EDITION) RESPECTIVELY.

ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI IN 28 DAYS. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5-FOOT CENTERS AND EXPANSION JOINTS PLACED ON 60-FOOT CENTERS. CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS. CONSTRUCTION JOINT SPACING MATCHES WIDTH OF SIDEWALK AND EXPANSION JOINTS ARE REQUIRED AT A MAXIMUM OF 24 FEET. THIS WOULD MEAN 24 FEET FOR A 6 INCH CURB. PAVEMENT JOINTS SHALL BE SPACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR DETAILS.

ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND GEOTECHNICAL REPORT.

THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDERLIE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.

CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DEWATERING MAY BY REQUIRED.

IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT/ENGINEER PRIOR TO EXCAVATION.

STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.

FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.

CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.

THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED.

GENERAL UTILITY NOTES:

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- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.

ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY AT THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.

ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

EXISTING LEGEND:

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BCR

E

NAVD
- CLEAN OUT

MANHOLE

WATER VALVE

WATER HYDRANT

SPOT ELEVATIONS

LIGHT POST

GAS VALVE

INVERT

ELEVATION

DEPARTMENT

CONCRETE BLOCK STRUCTURE

EDGE OF PAVEMENT

RIGHT OF WAY

MAP BOOK

PAGE

OFFICIAL RECORDS BOOK

FLAT BOOK

LICENSED BUSINESS

BROWARD COUNTY RECORDS

UNDERGROUND ELECTRIC

UNDERGROUND WATER LINE

NORTH AMERICAN VERTICAL DATUM

STANDARD ABBREVIATIONS

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCRP	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

CORE STATES

110 NORTH 11TH STREET, SUITE 101
CORTEZ, FL 32925
PHONE (813) 490-1755
FAX (813) 490-1759
SCARDEN@CORE-ENG.COM

GROUP

CORESTATES, INC.
CA # 9578

DOCUMENTS PREPARED BY CORESTATES, INC. ARE FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S SOLE RISK. CORESTATES, INC. MAKES NO OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

81
Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT THE UTILITIES SHOWN ARE EXACT. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. ANY DISRUPTIONS TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

REVISIONS

REV	DATE	COMMENT	BY
1	07/14/17	TAC COMMENTS	CED

DOCUMENT
CIVIL

CONSTRUCTION
PLANS FOR
CHASE BANK
STORE NO. 55203

SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

SHEET TITLE

GENERAL
NOTES

JOB #:

DATE:

SCALE:

DRAWN BY:

CHECKED BY:

JPM:19067

05.12.2017

N/A

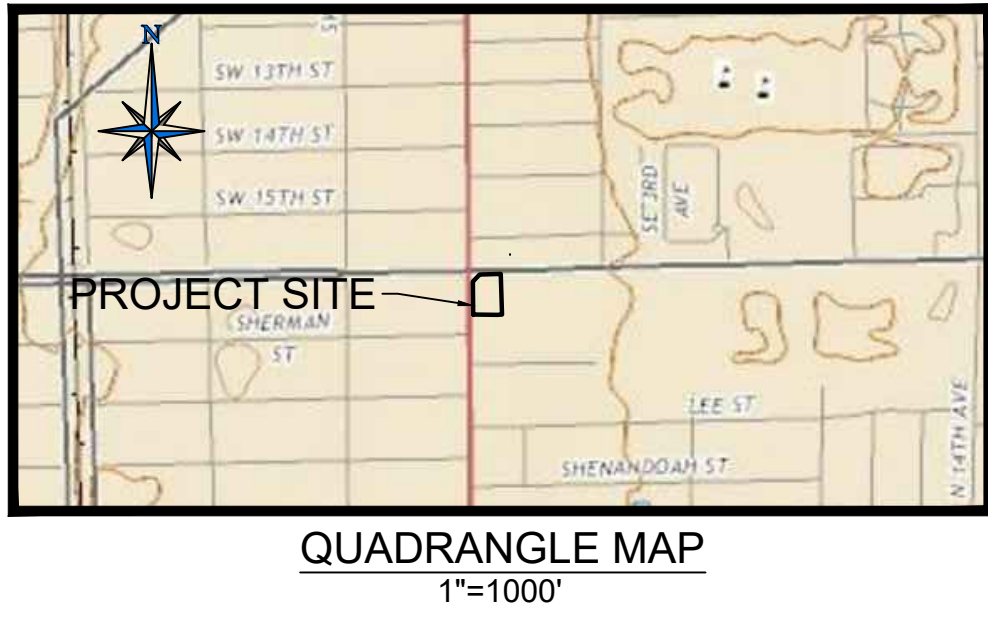
CED

ZHT

SHEET NO.

C2

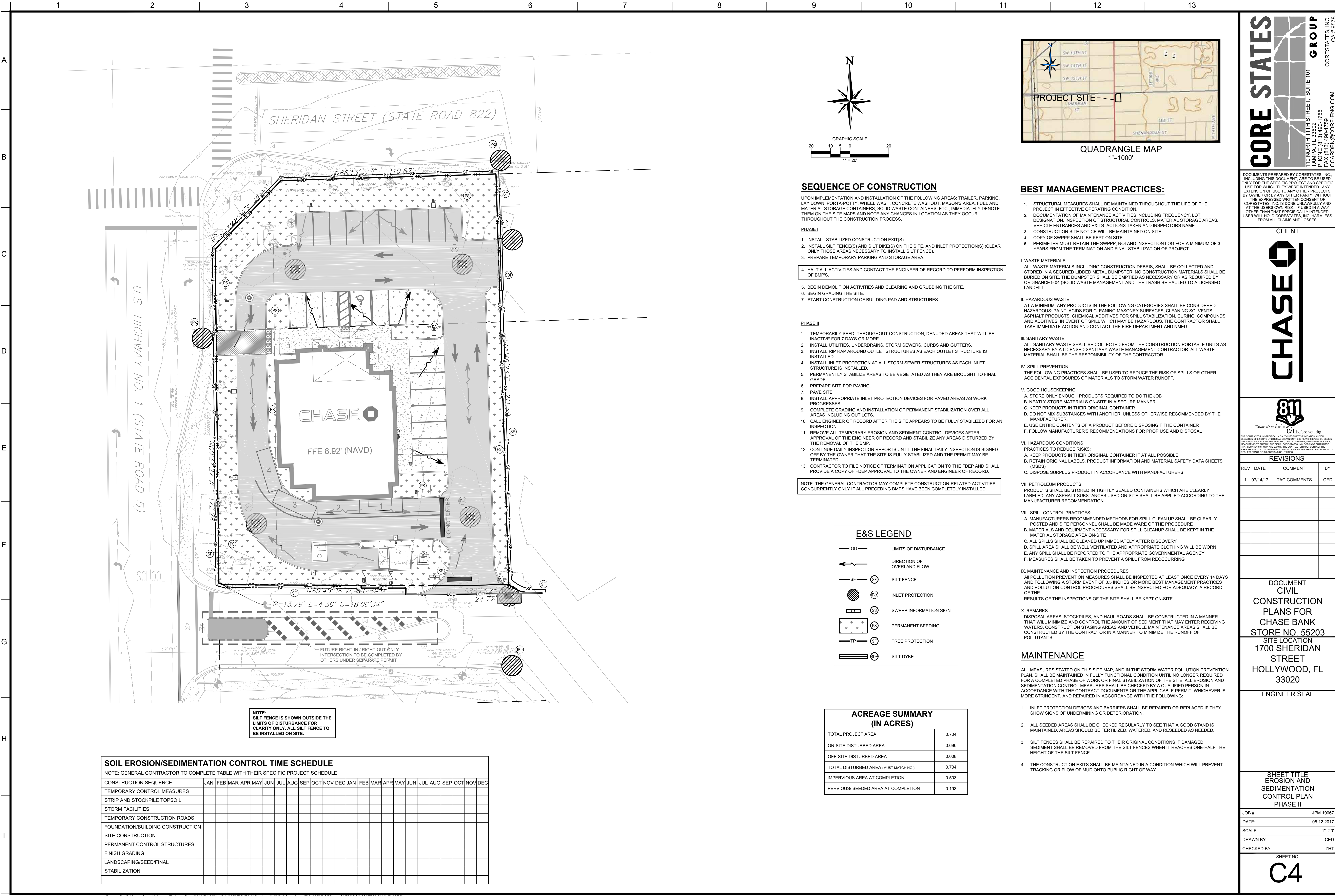
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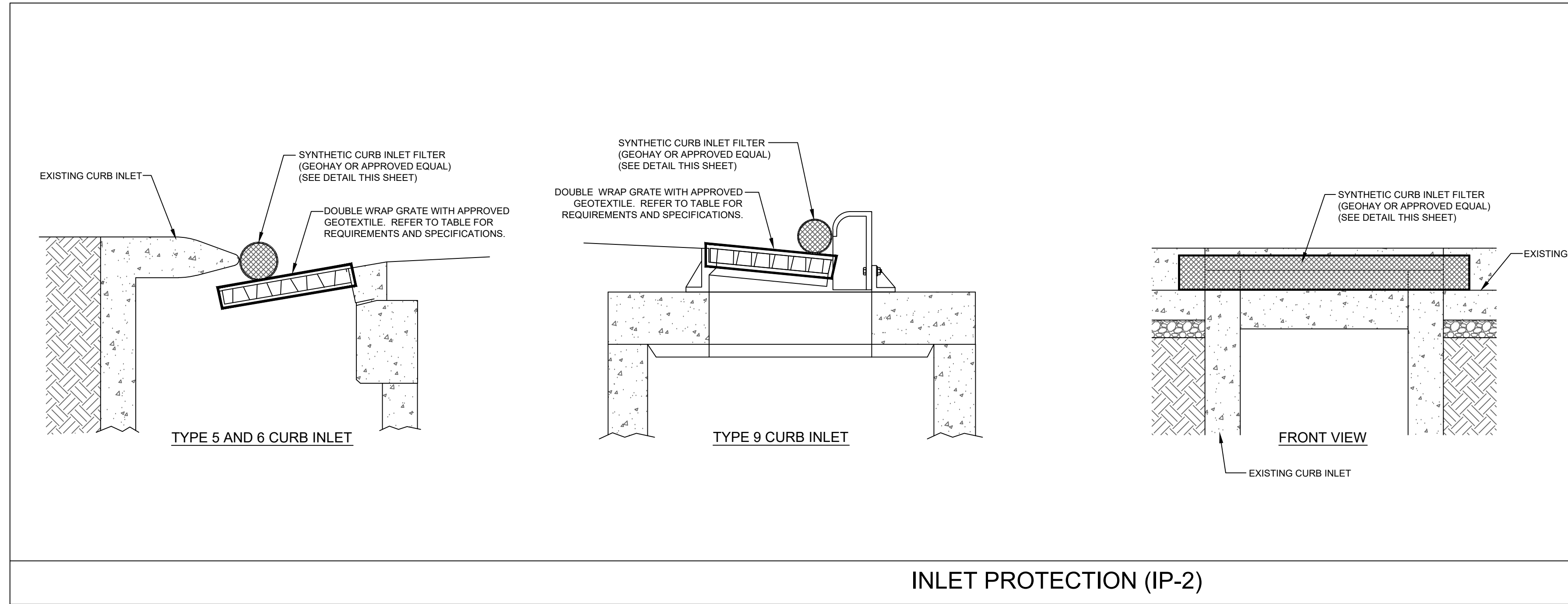
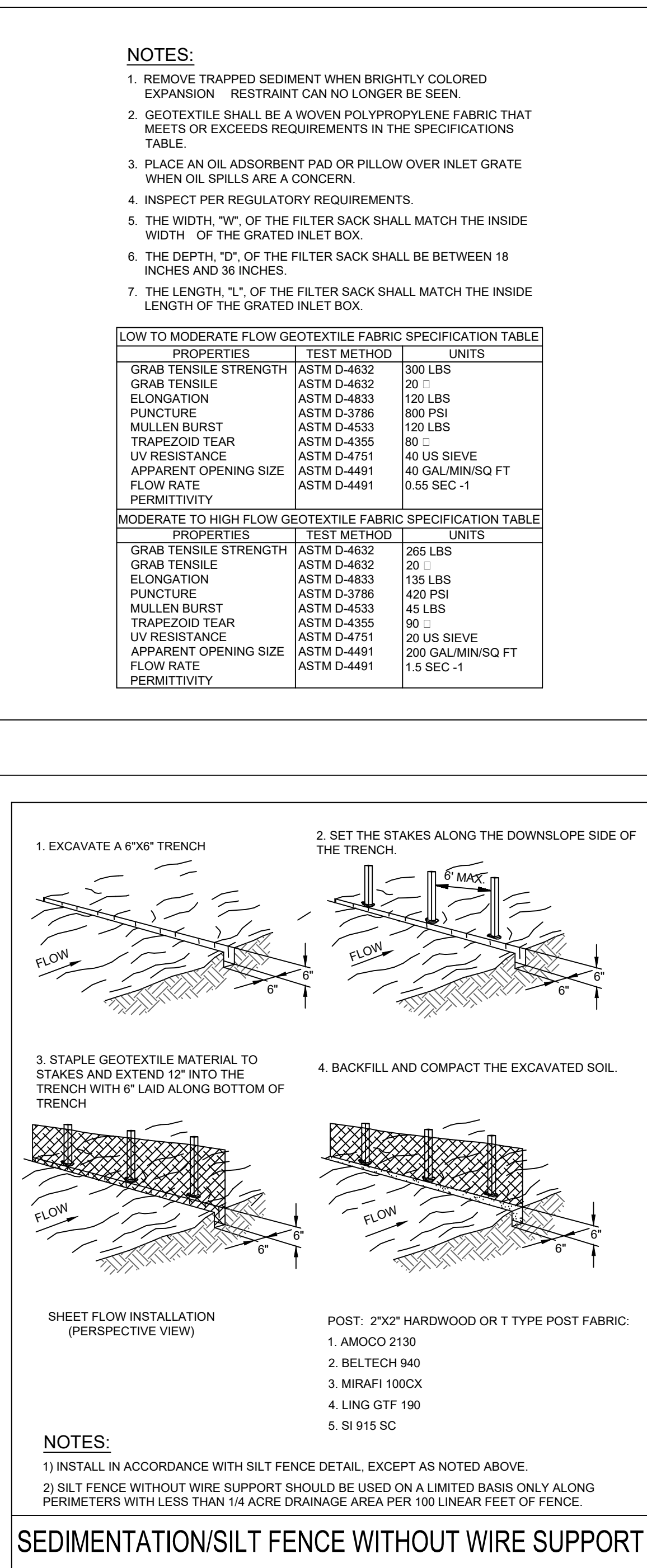
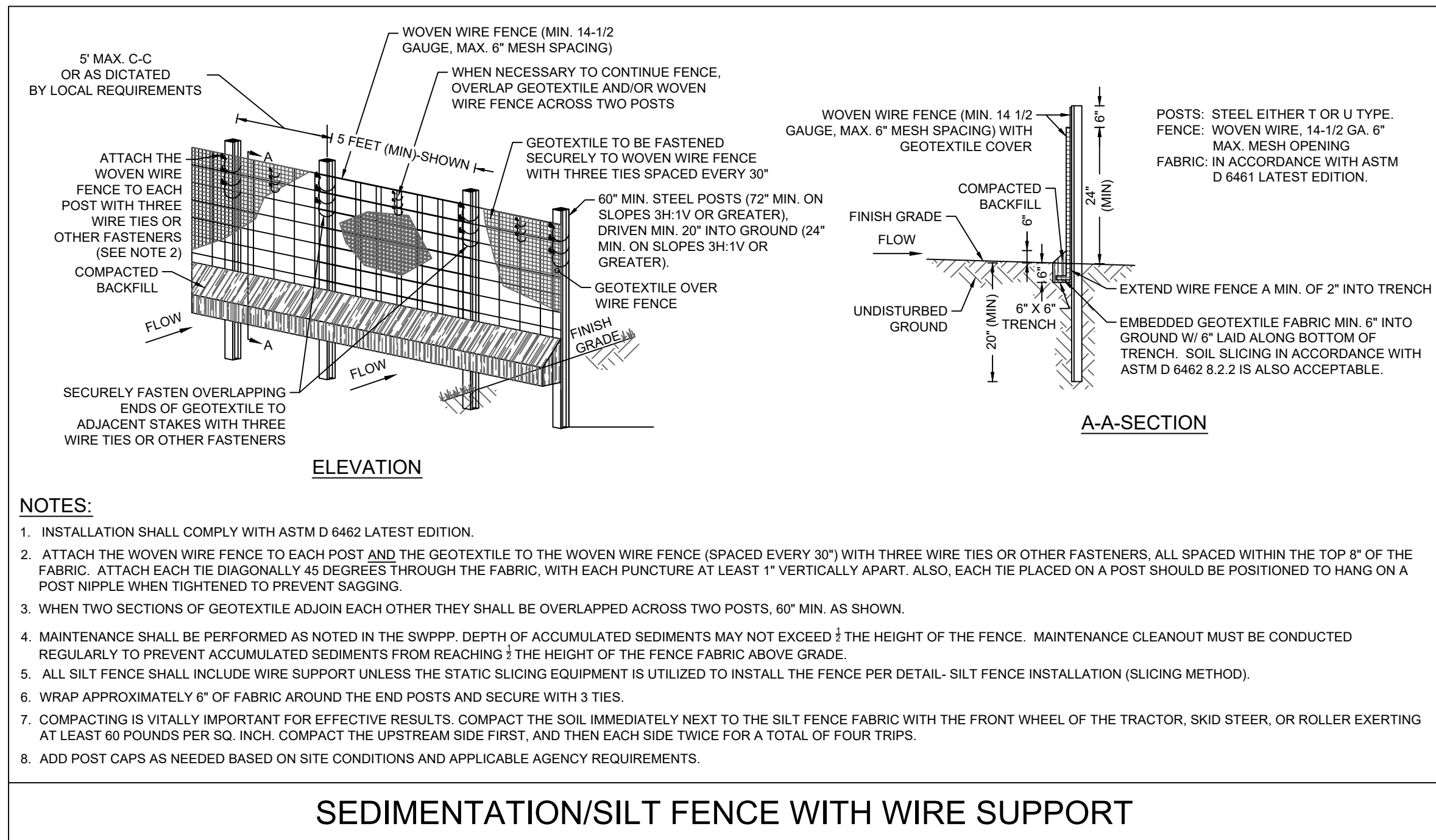
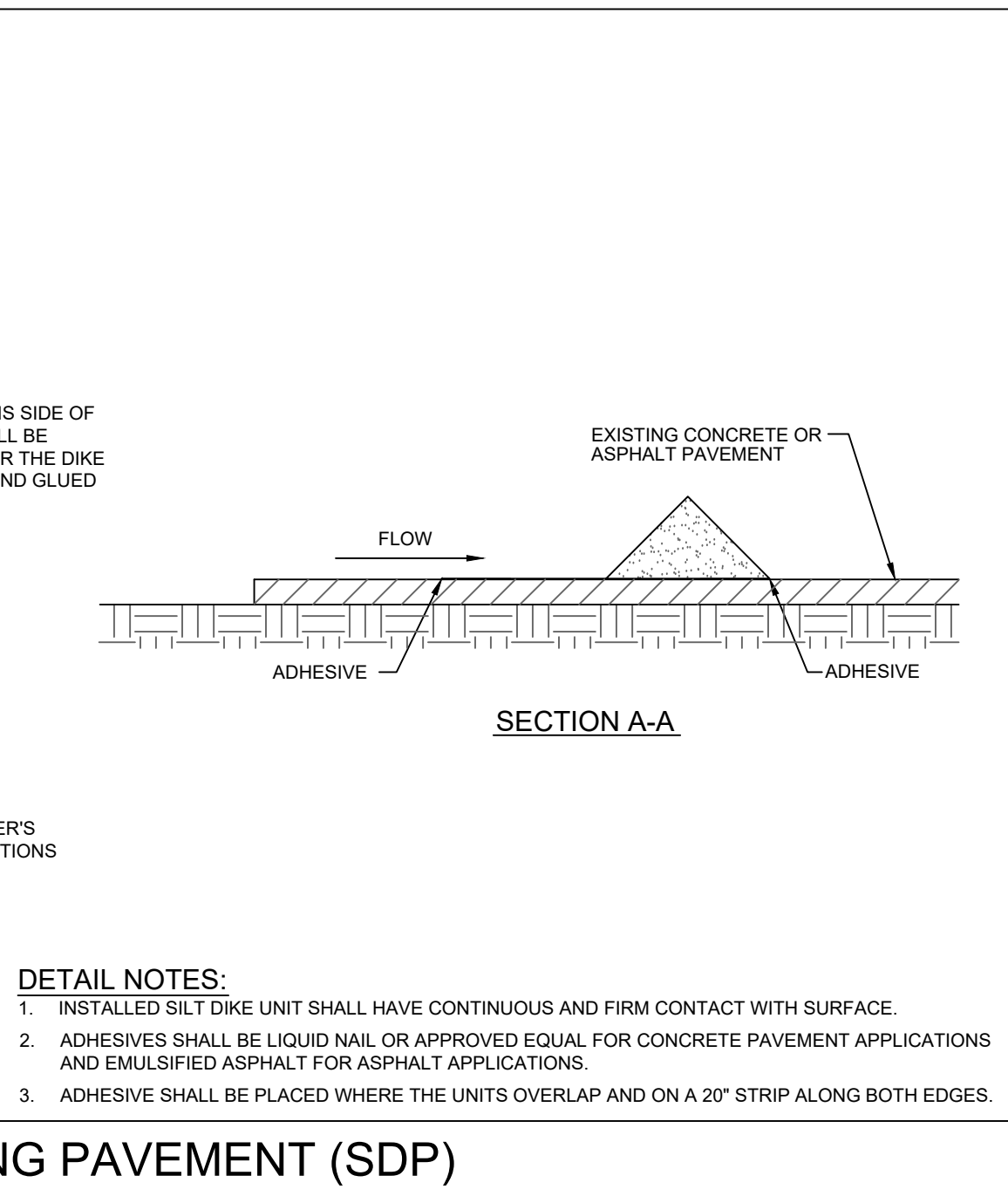
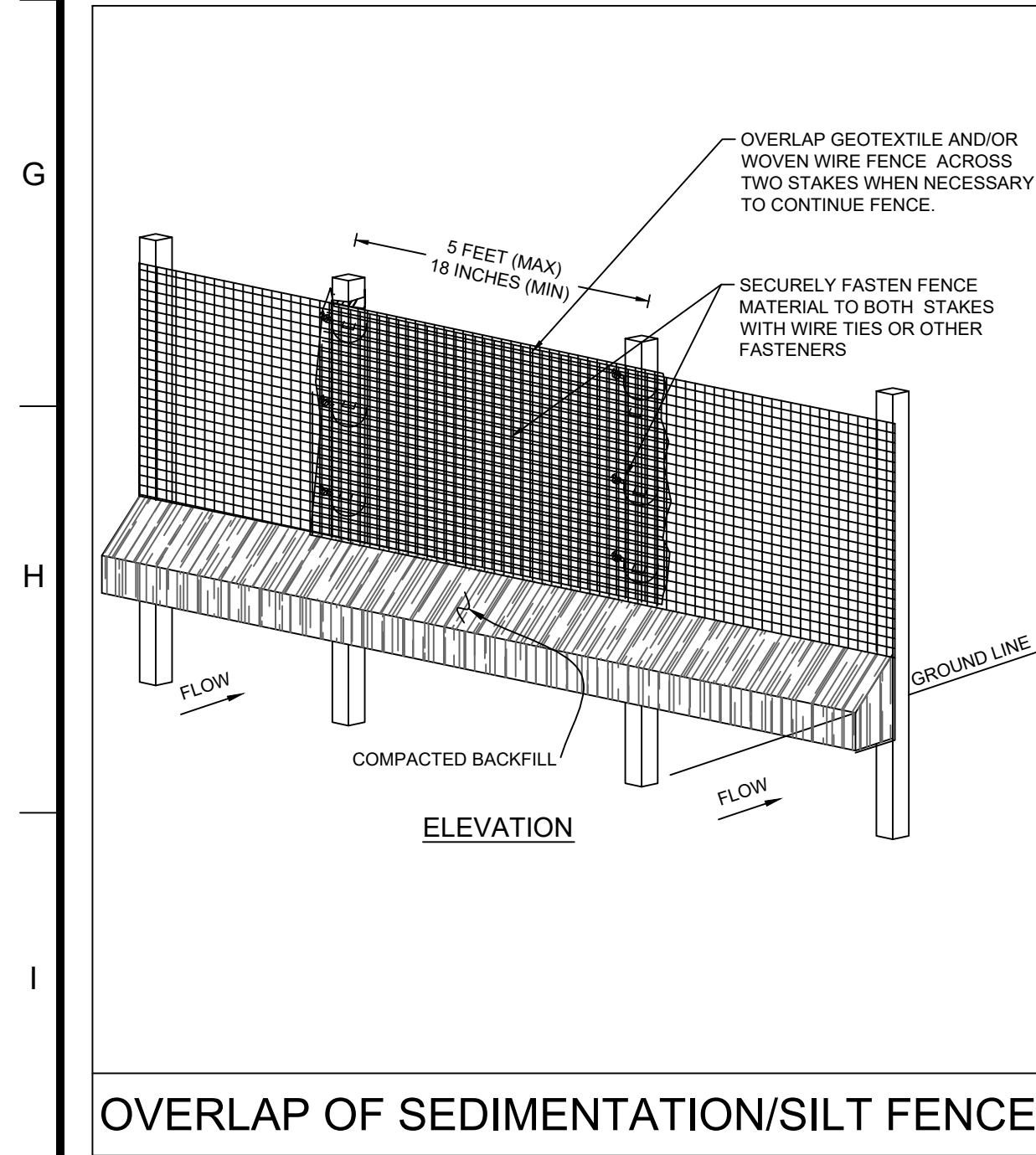
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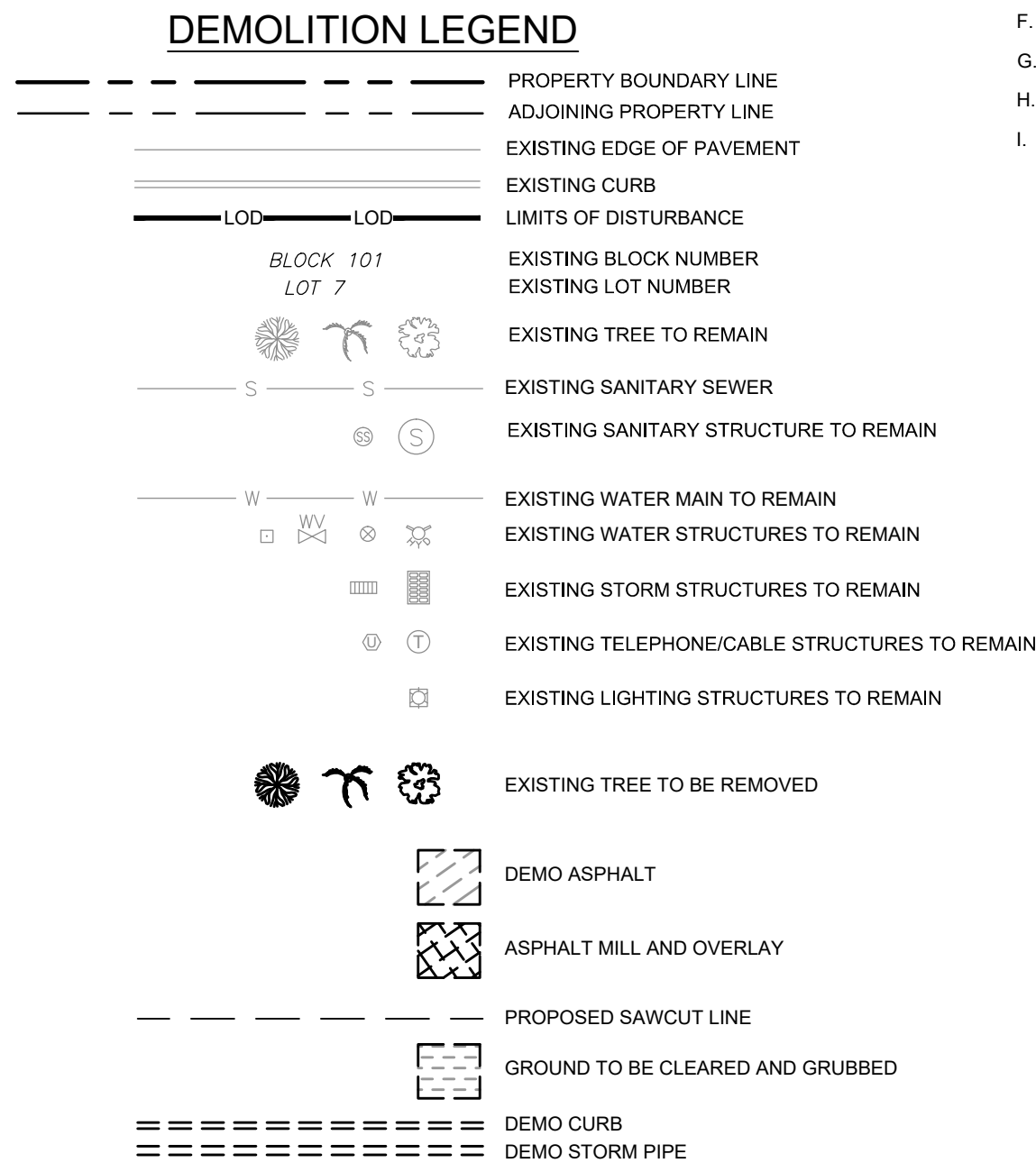
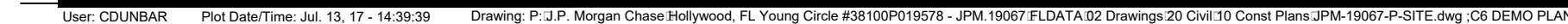
ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	0.704
ON-SITE DISTURBED AREA	0.696
OFF-SITE DISTURBED AREA	0.008
TOTAL DISTURBED AREA (MUST MATCH NOI)	0.704
IMPERVIOUS AREA AT COMPLETION	0.503
PERVIOUS/ SEEDED AREA AT COMPLETION	0.193

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF T₁ HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY.

SHEET NO.
C3





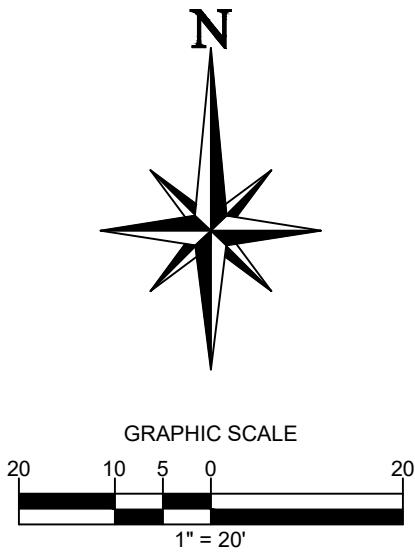
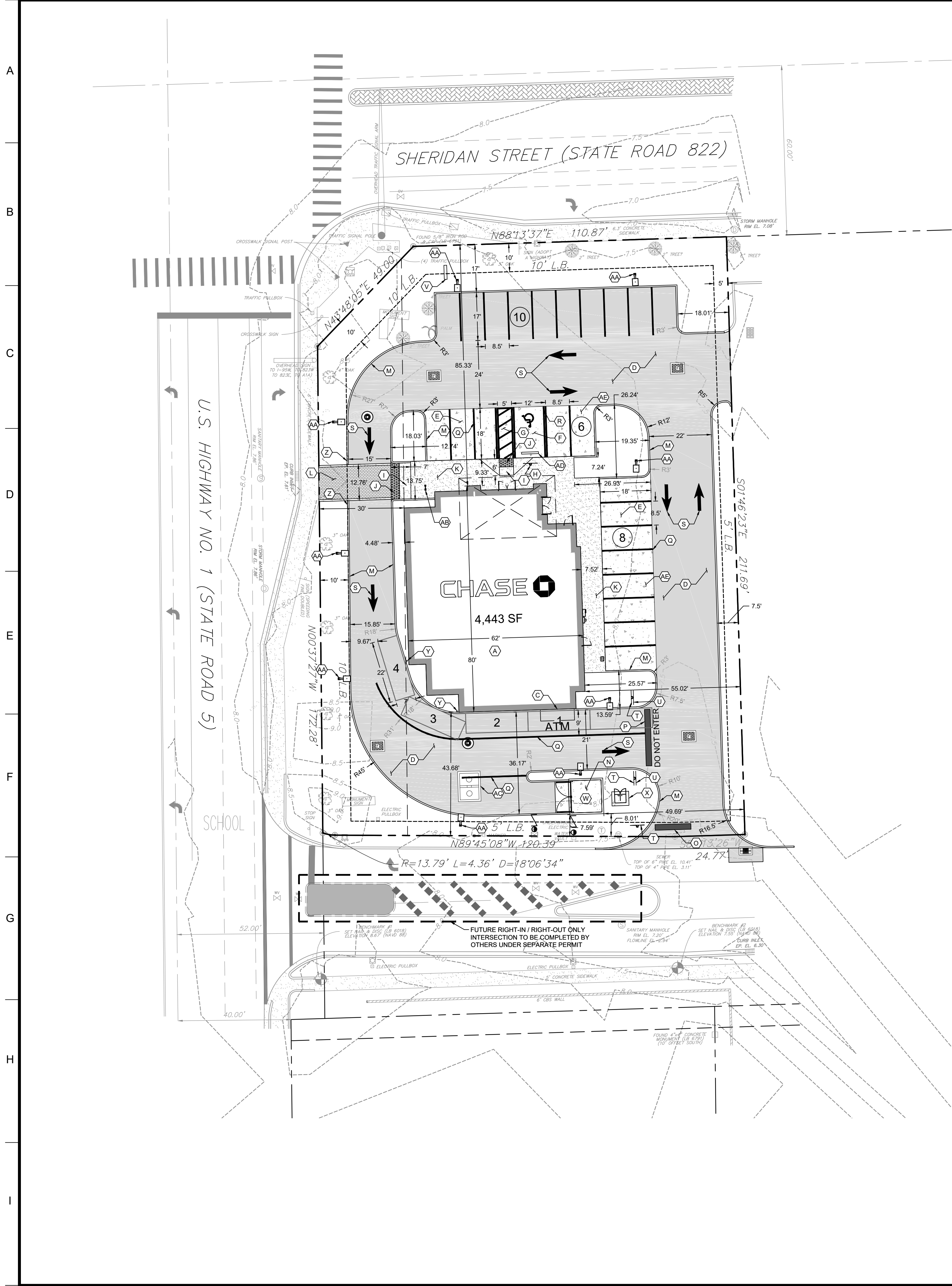


1. CONTRACTOR TO FIELD LOCATE ALL EXISTING ON-SITE UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
2. ALL ITEMS DARK AND DASHED TO BE REMOVED OR REPLACED PER KEYED NOTES.
3. ALL PROPER EROSION CONTROL METHODS SHALL BE INSTALLED AND FUNCTIONAL PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
4. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.

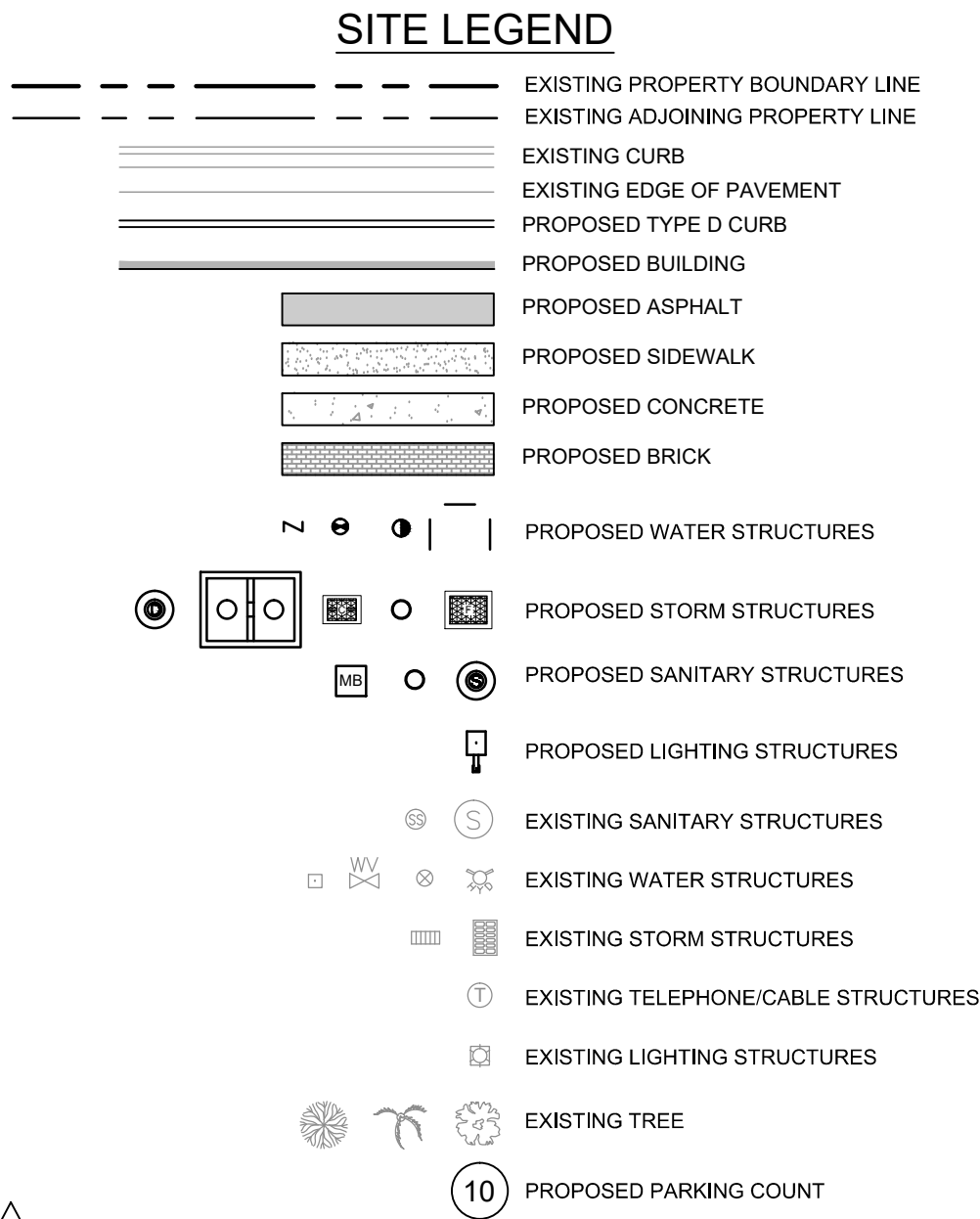
- A. EXISTING CONCRETE CURB TO BE REMOVED (430 LF ±).
- B. EXISTING ASPHALT PAVEMENT TO BE REMOVED (2,300 SF ±).
- C. EXISTING ASPHALT PAVEMENT TO BE MILLED (50 SF ±).
- D. EXISTING STORM INLET STRUCTURE TO BE REMOVED. CONTRACTOR SHALL ENSURE EXISTING STORMWATER FLOW IS PUMPED AND CONTAINED ON-SITE DURING INSTALLATION OF PROPOSED STRUCTURE.
- E. EXISTING 15" STORM SEWER STUB TO BE REMOVED (10 LF ±).
- F. EXISTING SIGN TO BE REMOVED.
- G. EXISTING TREE TO BE REMOVED.
- H. GROUND TO BE CLEARED AND GRUBBED (22,680 SF ±).
- I. SAWCUT LINE.

ENGINEER SEAL	
SHEET TITLE DEMOLITION PLAN	
JOB #:	JPM 19067
DATE:	05.12.2017
SCALE:	1"=20'
DRAWN BY:	CED
CHECKED BY:	ZHT

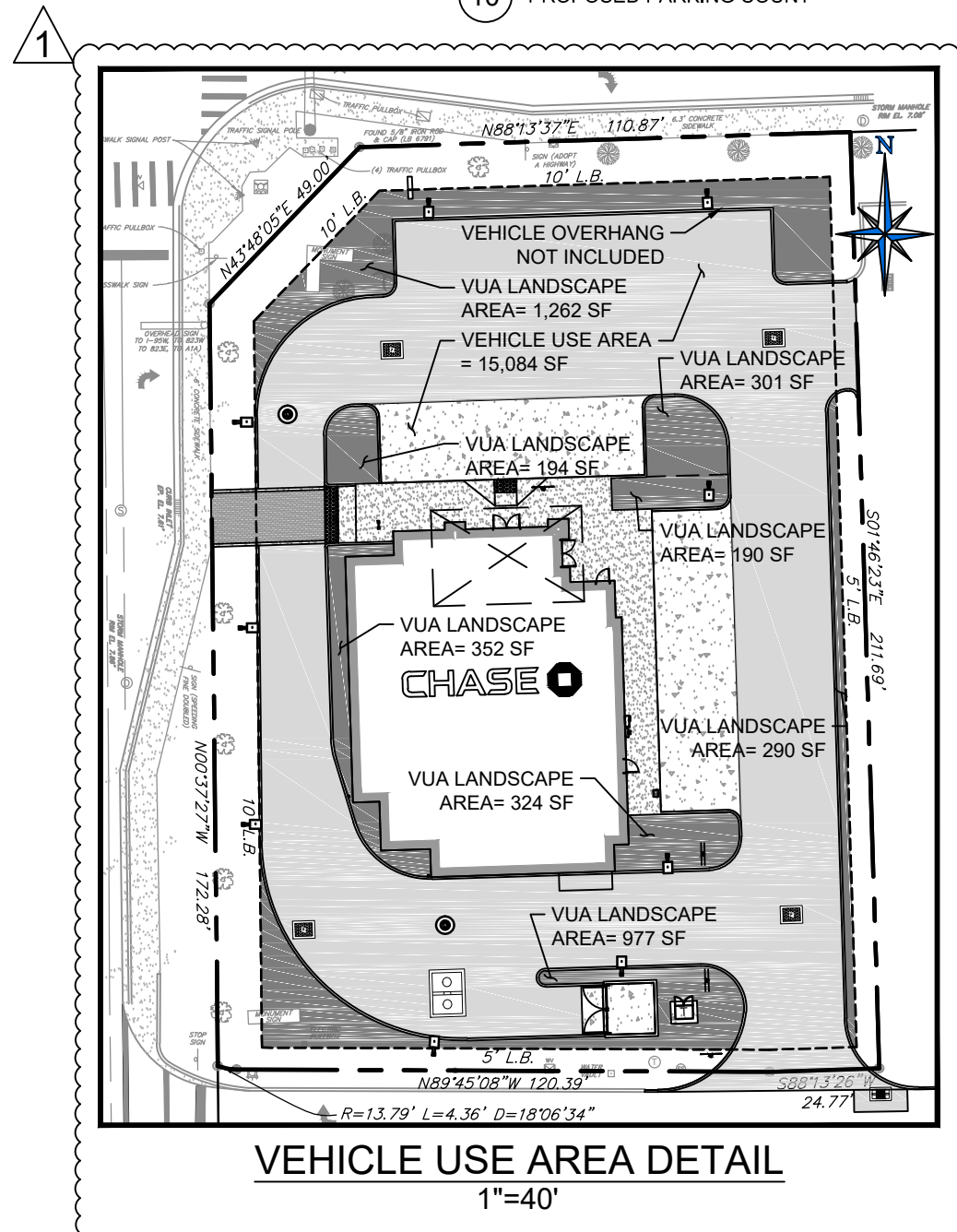
SHEET NO.
C6



- SITE NOTES:**
- REFER TO SHEET C2 FOR GENERAL NOTES.
 - REFER TO SHEET C6 FOR DEMOLITION PLAN.
 - REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
 - REFER TO SHEET C9 FOR UTILITY PLAN.
 - REFER TO SHEET L-01 FOR LANDSCAPE PLAN.
 - REFER TO SHEET C12 FOR FOR SITE LIGHTING DETAILS.
 - REFER TO SHEET C13 FOR PHOTOMETRIC PLAN. THE PROPOSED SITE IS NOT LOCATED ADJACENT TO RESIDENTIAL PROPERTIES AND MAXIMUM PROPERTY LINE FOOT-CANDLES ARE SPECIFIED ON SHEET C13.
 - ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
 - ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO INSTALL MEDIUM DUTY ASPHALT IN ALL DRIVING AREAS. REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.
 - ON SITE RECYCLING WILL BE PROVIDED BY ROLLING BINS STORED INDOORS.
 - ALL SIGNAGE SHALL COMPLY WITH CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.
 - ALL SIGN ELECTRONICALLY ILLUMINATED (BY NEON OR OTHER MEANS) SHALL REQUIRE SEPARATE PERMIT AND INSPECTION.



ZONING DATA PER ORDINANCE 0-2016-22 ZONED SS - SHERIDAN STREET MIXED-USE DISTRICT		
ITEM	REGULATION	PROPOSED
BUILDING HEIGHT MAXIMUM (FT)	28 FT	23.31'
BUILDING AREA (SF)	N/A	4,443 SF
FRONT SETBACK (FT)	0 FT MINIMUM 30' MAXIMUM ALONG US HIGHWAY 1	85.33 FT (SHERIDAN) 30.00 FT (US HIGHWAY 1)
SIDE SETBACK (FT)	0 FT MINIMUM	55.02 FT
REAR SETBACK (FT)	0 FT MINIMUM	43.68 FT
BICYCLE PARKING	1 BIKE RACK PER 20 PARKING SPACES	2
PARKING SPACES	5 SPACES / 1,000 SF GFA 4,453 / 1000 = 23 SPACES MAX.	24 SPACES
ADA PARKING SPACES	1 SPACE	1 SPACES
TOTAL PARCEL AREA	0.696 AC (30,318 SF)	0.696 AC (30,318 SF)
BUILDING AREA / F.A.R. (% OF LOT AREA)	N/A	0.102 AC (4,443 SF) 14.65 %
ASPHALT PAVEMENT AREA (% OF LOT AREA)	N/A	0.286 AC (12,397 SF) 40.89 %
CONCRETE & PAVER PAVEMENT AREA (% OF LOT AREA)	N/A	0.097 AC (4,237 SF) 13.99 %
VEHICLE USE AREA (% OF LOT AREA)	N/A	0.346 AC (15,084 SF) 49.75 %
REQUIRED VEHICLE USE AREA LANDSCAPING (% OF VUA)	0.087 AC (3,771 SF) 25 %	0.090 AC (3,931 SF) 26.06 %
IMPERVIOUS SURFACES AREA (% OF LOT AREA)	0.557 AC (24,254 SF) 80 % MAXIMUM	0.503 AC (21,892 SF) 72.21 %
PERVIOUS SURFACE AREA (% OF LOT AREA)	0.139 AC (6,064 SF) 20 % MINIMUM	0.193 AC (8,426 SF) 27.79 %
USE	VACANT	BANK & FINANCIAL INSTITUTION



- KEY NOTES:**
- PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
 - PROPOSED BUILDING SIGNS TO BE PROVIDED AND INSTALLED BY OTHERS.
 - PROPOSED DRIVE-THRU ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
 - PROPOSED ASPHALT PAVEMENT (15,850 SF ±). REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED 9' ± 18' PARKING SPACE (TYPICAL).
 - PROPOSED 12' ± 18' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED 5' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED ADA COMPLIANT CURB RAMP. REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED DETECTABLE WARNING. REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED CONCRETE SIDEWALK WITH TURNED DOWN EDGE (1,581 SF ±). REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED BRICK PAVEMENT CROSSWALK (327 SF ±). REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED FDOT TYPE "D" CURB (971 LF ±). REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED HEAVY DUTY CONCRETE PAVEMENT (166 SF ±). REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED 24" WIDE THERMOPLASTIC STOP BAR. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED 24" WIDE THERMOPLASTIC STOP BAR WITH "DO NOT ENTER" PAINTED ON PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED 6" SOLID WHITE PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED 6" SOLID BLUE PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED DIRECTION TRAFFIC MARKING. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED STOP SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED MONUMENT SIGN BY OTHERS. REFER TO SIGNAGE PACKAGE PREPARED BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
 - PROPOSED TRASH ENCLOSURE LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
 - PROPOSED CONCRETE TRANSFORMER PAD.
 - PROPOSED BOLLARD. REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED CURB TRANSITION. REFER TO SHEET C10 FOR DETAIL.
 - PROPOSED 25' HIGH DIRECT BURRY CONCRETE SITE LIGHT POLE. (SEE SITE NOTE # 6)
 - PROPOSED "U" SHAPE BICYCLE RACK. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED DRAINAGE WELL. REFER TO SHEET C12 FOR DETAIL.
 - PROPOSED WHISTLESTOP. REFER TO SHEET C11 FOR DETAIL.
 - PROPOSED MEDIUM DUTY CONCRETE PAVEMENT (2,304 SF ±). REFER TO SHEET C10 FOR DETAIL.

VARIANCE	REQUIRED	PROPOSED
STACKING LANES	6	4
PARKING SPACES	23 MAX	24

GREEN BUILDING ORDINANCE PRACTICES	
1	CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
2	PROGRAMMABLE THERMOSTAT
3	OCCUPANCY / VACANCY SENSORS
4	ALL ENERGY-EFFICIENT OUTDOOR LIGHTING
5	ALL HOT WATER PIPES INSULATED
6	MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT
7	TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER
8	ENERGY EFFICIENT (LOW E) WINDOWS
9	INSTALL WATER EFFICIENT FIXTURES
10	ENERGY STAR "COOL ROOF"
11	MIN. 80% OF PLANTS, TREES AND GRASSES MEET SFWMD RECOMMENDATIONS
12	PROVIDE CONCRETE PAVEMENT TO LIMIT ABSORPTION OF SUNLIGHT AND REDUCE URBAN HEAT ISLAND EFFECT

CORE STATES GROUP
110 NORTH 11TH STREET, SUITE 101
HOUSTON, TEXAS 77002
PHONE (813) 490-1755
FAX (813) 490-1759
CCARDEN@CORE-ENG.COM
CA # 9578

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CLIENT
CHASE

811
Know what's below. Call before you dig.
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS, RECORDS OF SURVEY, AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.

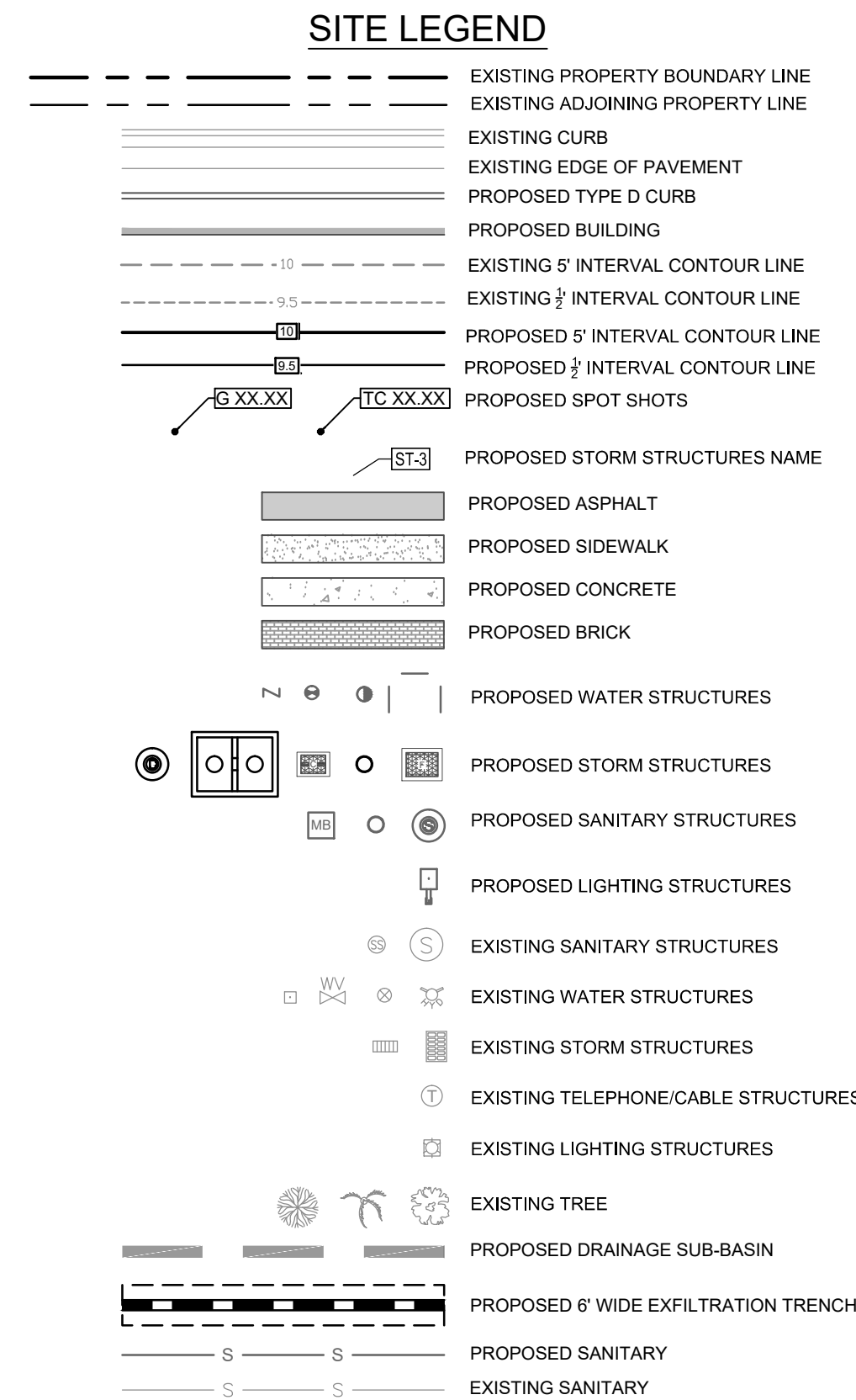
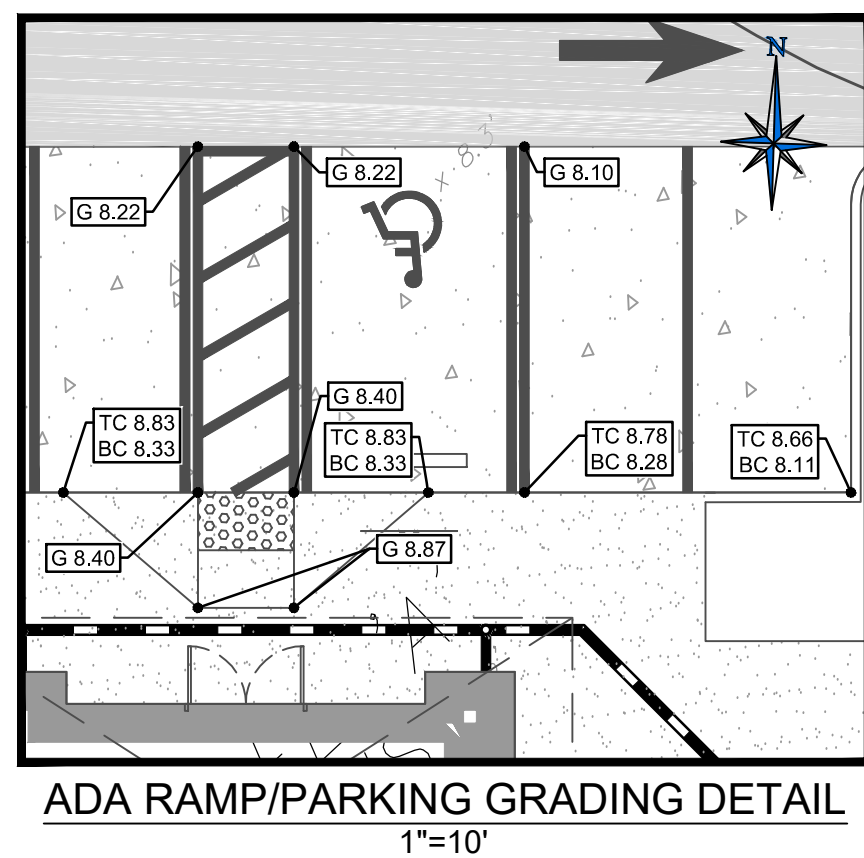
REVISIONS			
REV	DATE	COMMENT	BY
1	07/14/17	TAC COMMENTS	CED

DOCUMENT CIVIL
CONSTRUCTION PLANS FOR CHASE BANK
STORE NO. 55203
SITE LOCATION
1700 SHERIDAN STREET
HOLLYWOOD, FL 33020
ENGINEER SEAL

SHEET TITLE
SITE PLAN

JOB #: JPM-19067
DATE: 05.12.2017
SCALE: 1"=20'
DRAWN BY: CED
CHECKED BY: ZHT

SHEET NO.
C7



- ## GRADING NOTES:
1. REFER TO SHEET C2 FOR GENERAL NOTES.
 1. ALL DIMENSIONS ARE TO GROUND LEVEL MEASUREMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
 3. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
 4. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
 5. CONTRACTOR TO INSTALL MEDIUM DUTY ASPHALT IN ALL DRIVING AREAS. REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.
 6. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM BROWARD COUNTY: C&S BM DISC ELEVATION 1.076' (NGVD 29); CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'.
 7. THIS SITE LIES IN FLORIDA ZONE "X" AS SOLID AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 16, 2014.
 8. THE MINIMUM FINISHED FLOOR ELEVATION IS 10.50 (NGVD) (8.92 NAVD); PER THE APPROVED MASTER STORMWATER SYSTEM.
 9. PER THE APPROVED MASTER STORMWATER SYSTEM, THE PARCEL SHALL PROVIDE 436 LF OF EXFILTRATION TRENCH.
 10. REFER TO SHEET C12 FOR EXFILTRATION TRENCH DETAILS.
 11. REFER TO SHEET C10 FOR DRAINAGE WELL DETAILS.

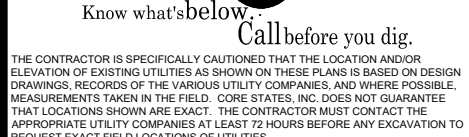
STRUCTURE NUMBER	STRUCTURE TYPE	DRAINAGE AREA TO STRUCTURE (AC.)	GRATE/E.O.P./ RIM ELEV.	INVERT ELEV.	DOWNSTREAM PIPE INFORMATION		
					PIPE LENGTH (FEET)	PIPE SIZE / TYPE	PERCENT SLOPE
ST-1	TYPE F	0.1250	7.11	2	87 (WEST) 132 (SOUTH)	18" HDPE EXFILTRATION TRENCH	0.00%
ST-2A	STUB	0.090	--	5.42	2	4" PVC	2.50%
ST-2B	CLEANOUT	--	8.90	5.37	21	4" PVC	2.50%
ST-3C	CLEANOUT	--	8.85	4.85	19	4" PVC	2.50%
ST-2D	STUB	0.008	--	4.42	2	4" PVC	2.50%
ST-2E	CLEANOUT	--	8.90	4.37	24	4" PVC	2.50%
ST-2F	STUB	0.008	--	3.82	2	4" PVC	2.50%
ST-2G	CLEANOUT	--	8.90	3.77	39	4" PVC	2.50%
ST-2	TYPE F	0.116	7.40	2	28	15" HDPE	0.00%
ST-3	MANHOLE	--	7.70	2	116	18" HDPE EXFILTRATION TRENCH	0.00%
ST-4	TYPE F	0.082	7.48	2	32	18" HDPE EXFILTRATION TRENCH	0.00%
ST-5	DRAINAGE WELL	--	8.02	2	--	24" WELL	0.00%
ST-6	MANHOLE	--	7.97	2	11	18" HDPE	0.00%
ST-7	TYPE F	0.107	7.11	2	79 (WEST) 43 (SOUTHEAST)	18" HDPE	0.00%
□ST-8	TYPE C	EXISTING	6.31	2	EXISTING	EXISTING	EXISTING

□VALLEY GUTTER INLET TO USE USF 5105 INLET FRAME AND 6148 GRATE.

☐ VALLEY GUTTER INLET TO USE USF 5105 INLET FRAME AND 6148 GRATE

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

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[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK
STORE NO. 55203
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

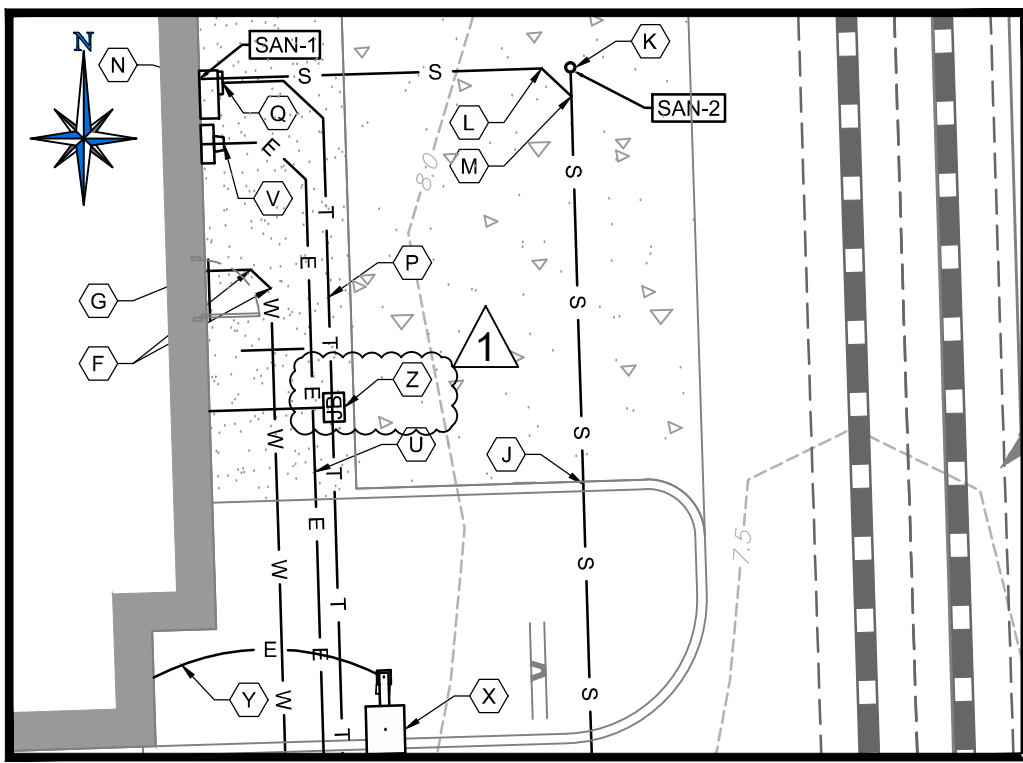
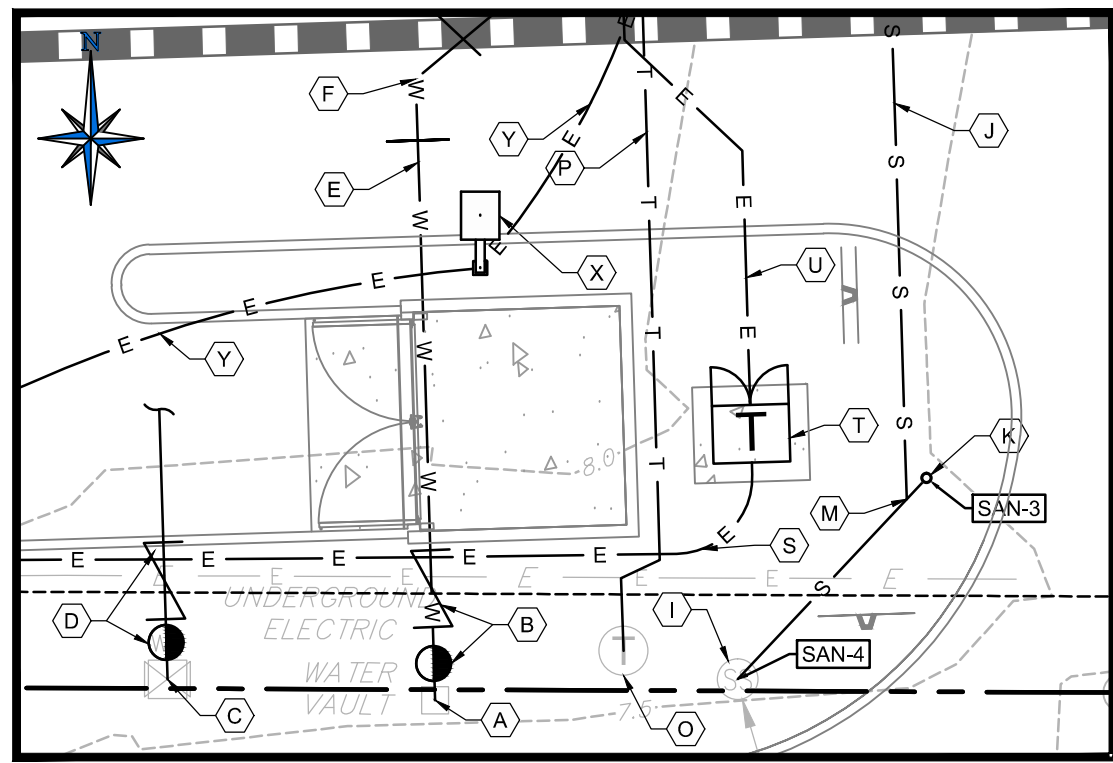
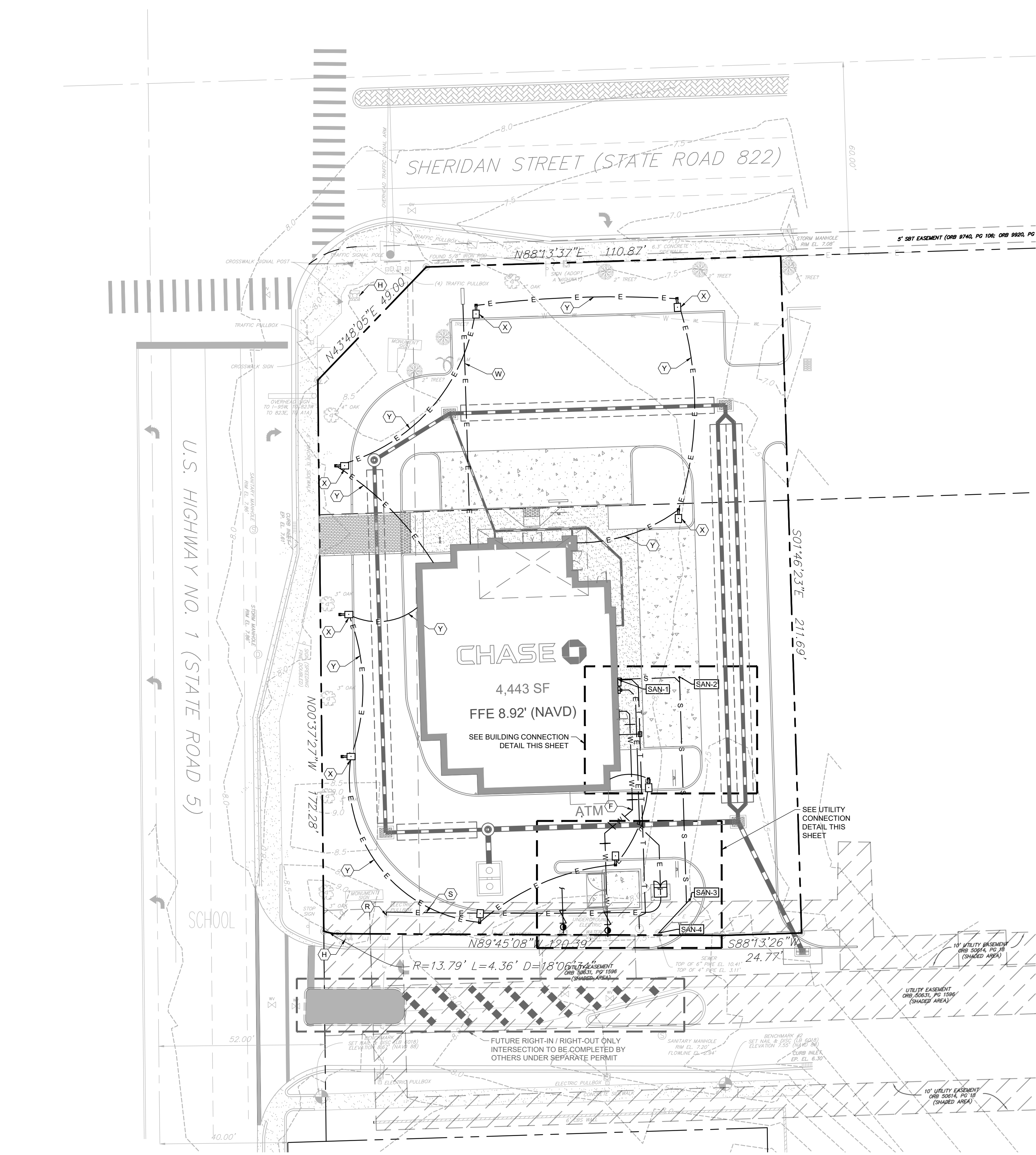
ENGINEER SEAL

SHEET TITLE
GRADING AND
DRAINAGE PLAN

JOB #:	JPM.19067
DATE:	05.12.2017
SCALE:	1"=20'
DRAWN BY:	CED
CHECKED BY:	ZHT

SHEET NO.

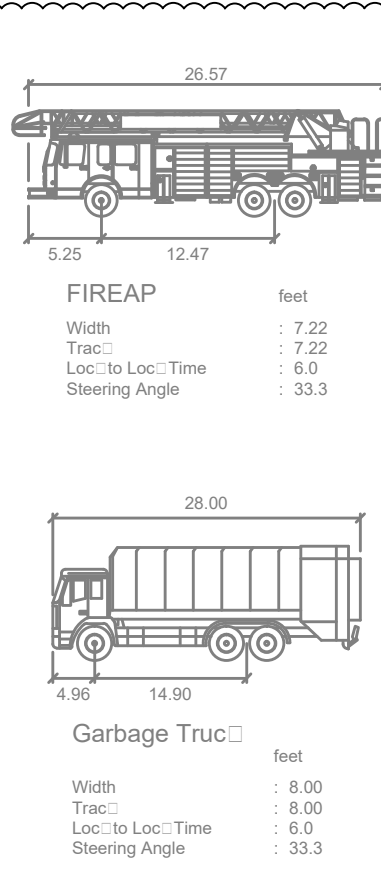
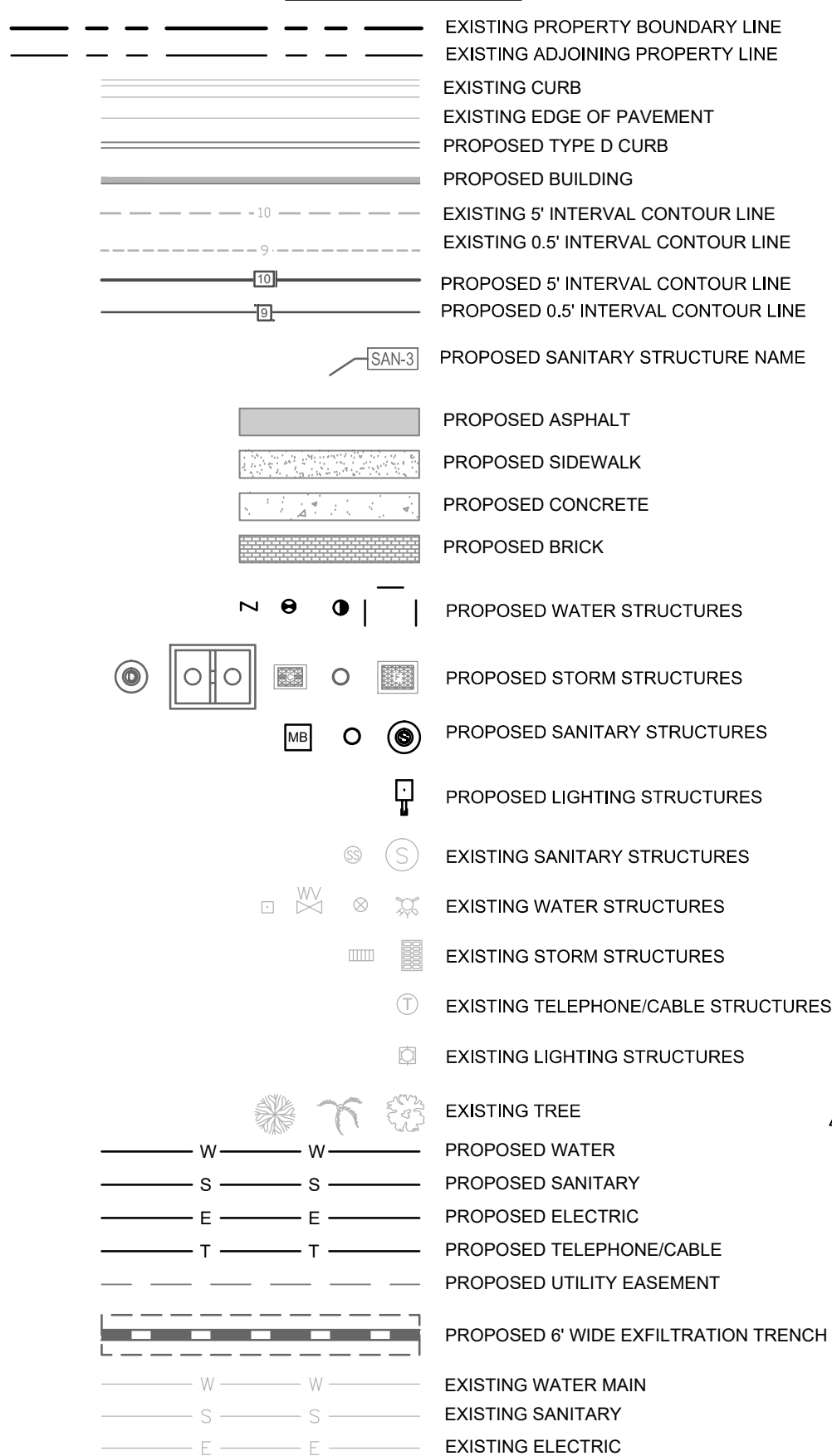
C8



SANITARY SEWER SCHEDULE

STRUCTURE NUMBER	STRUCTURE TYPE	GRATE/E.O.P. / RIM ELEV.	INVERT ELEV.	DOWNSTREAM PIPE INFORMATION		
				PIPE LENGTH (FEET)	PIPE SIZE / TYPE	PERCENT SLOPE
SAN-1	STUB	-	5.42	20	4" PVC	2.25%
SAN-2	CLEANOUT	7.04	4.97	69	4" PVC	2.25%
SAN-3	CLEANOUT	7.75	3.42	13	4" PVC	2.38%
SAN-4	EXISTING CLEANOUT	7.70	3.11	--	4" PVC	-

SITE LEGEND



UTILITY NOTES:

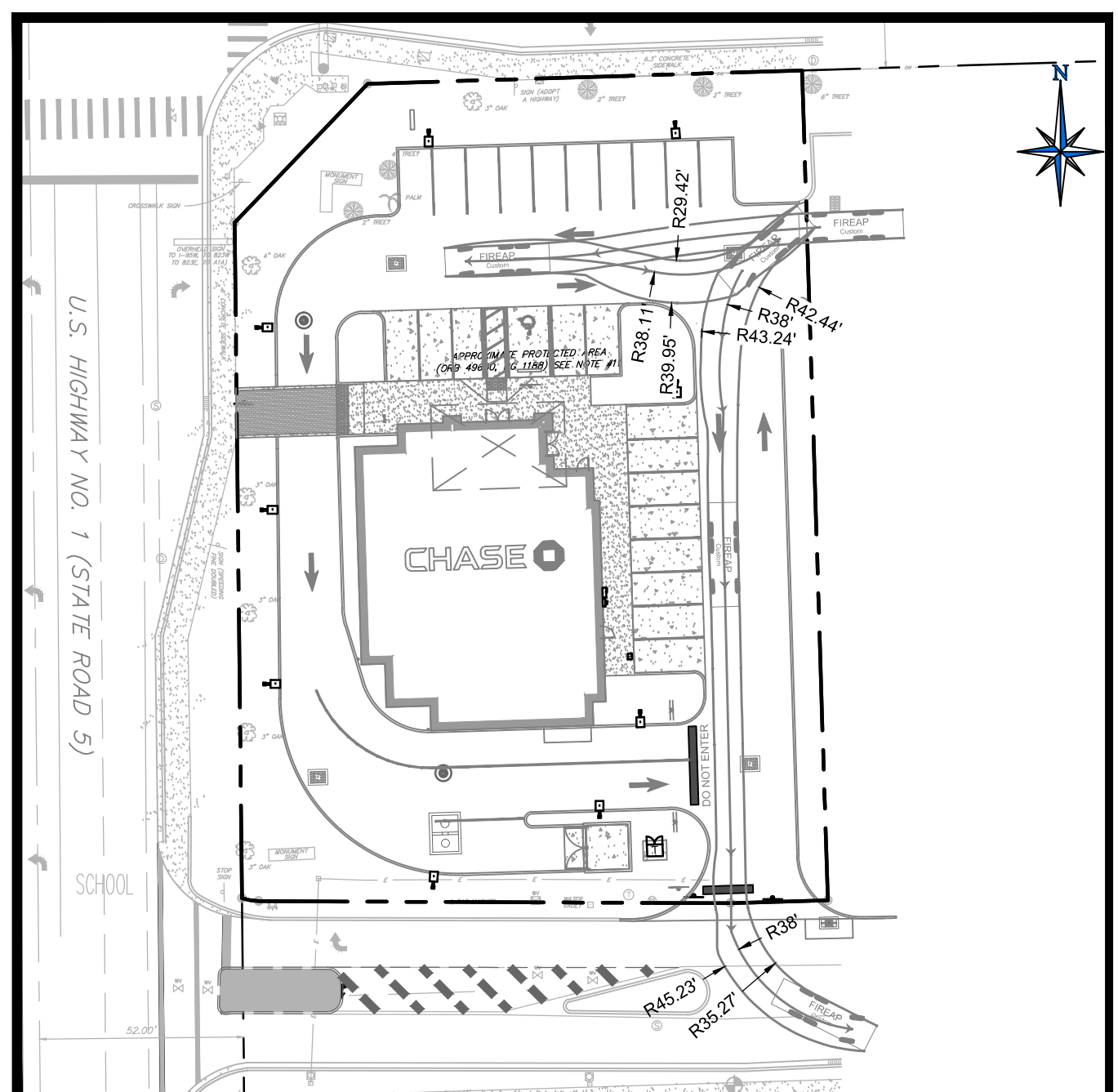
- REFER TO SHEET C2 FOR GENERAL NOTES.
- REFER TO SHEET C6 FOR DEMOLITION PLAN.
- REFER TO SHEET C7 FOR SITE PLAN.
- REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- REFER TO SHEET L-01 FOR LANDSCAPE PLAN.
- REFER TO SHEET IR-01 FOR IRRIGATION PLAN.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM BROWARD COUNTY, C&GS BM DISC: ELEVATION 11.076' (NGVD 29). CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'.
- ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW. ALL MECHANICAL EQUIPMENT IS PROPOSED ON THE ROOFTOP AND WILL BE SCREENED BY THE PARAPET. REFER TO ROOF PLAN FOR EQUIPMENT LOCATIONS.

KEY NOTES:

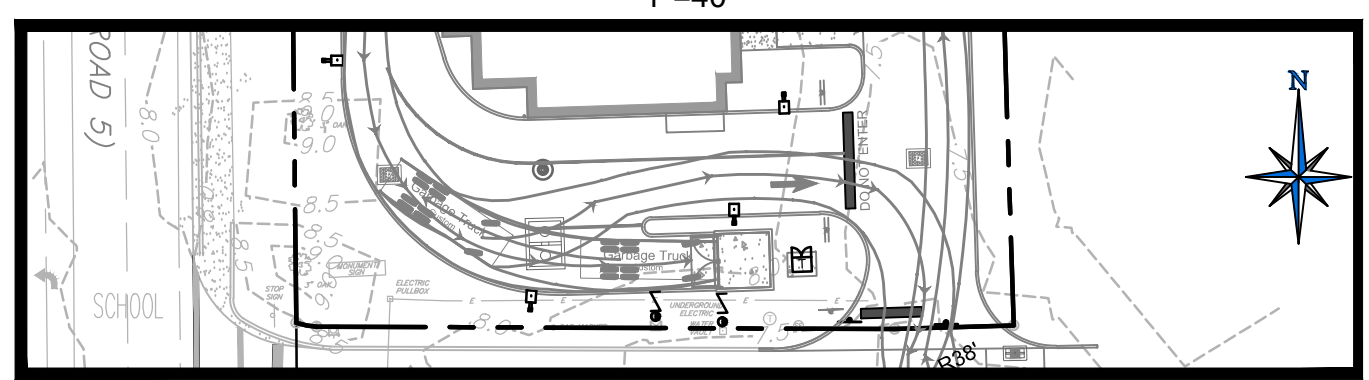
- PROPOSED POTABLE WATER CONNECTION POINT TO EXISTING 2" SERVICE STUB. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 1" POTABLE WATER METER AND 1" BACKFLOW PREVENTOR FOR SINGLE SERVICE. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED IRRIGATION WATER CONNECTION POINT TO EXISTING 4" SERVICE PLUG WITH 2" BLOWOFF. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 1" IRRIGATION METER AND 1" BACKFLOW PREVENTOR FOR IRRIGATION SERVICE. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 1" (DR-29) DOMESTIC WATER SERVICE. MAINTAIN 36" OF COVER (76 LF TOTAL).
- PROPOSED 1" PVC - 45' BEND.
- PROPOSED LOCATION FOR 1" PVC POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- EXISTING FIRE HYDRANT ASSEMBLY.
- CONNECT TO EXISTING 6" PVC SANITARY SEWER CLEANOUT. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERTS PRIOR TO CONSTRUCTION. (SEE NOTE #7).
- PROPOSED 4" (SDR 26) PVC SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT A MINIMUM SLOPE OF 2:100 (1/2 LF TOTAL).
- PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 4" - 45' BEND.
- PROPOSED 4" - 45' WYE BEND.
- PROPOSED LOCATION FOR 4" PVC SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED POINT OF CONNECTION FOR TELEPHONE SERVICE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY.
- CONTRACTOR TO PROVIDE (2) 4" UNDERGROUND CONDUITS FOR TELEPHONE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY FOR CONDUIT SPECIFICATIONS.
- PROPOSED LOCATION FOR UNDERGROUND TELEPHONE AND CABLE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE BY ELECTRIC COMPANY (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
- ELECTRIC COMPANY TO INSTALL UNDERGROUND CONDUITS FOR ELECTRICAL SERVICE TO TRANSFORMER. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY (FPL).
- PROPOSED TRANSFORMER WITH CONCRETE PAD TO BE INSTALLED BY ELECTRIC COMPANY (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
- CONTRACTOR SHALL PROVIDE (6) 4" UNDERGROUND SECONDARY CONDUIT FOR ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (FPL).
- PROPOSED WALL MOUNTED ELECTRIC METER AND MANUAL TRANSFER SWITCH. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED 3/4" ELECTRICAL CONDUIT FOR MONUMENT SIGN.
- PROPOSED SITE LIGHT FIXTURE. 25' MOUNTING HEIGHT (SEE PHOTOMETRIC PLAN). REFER TO SHEET C13 FOR DETAIL.
- PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR SITE LIGHTING. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATIONS ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATE PROPOSED WIRING SCHEMATIC.
- PROPOSED ELECTRIC VEHICLE CHARGING JUNCTION BOX WITH 3/4" CONDUIT TO BE TIED INTO ELECTRICAL PANEL (6 LF). REFER TO ELECTRICAL PLANS FOR DETAILS.

WATER AND SEWR DEMAND FLOWS PER CHAPTER 64E-6 F.A.C.

OFFICE BUILDING: 15 GPD PER 100 SF
4,453 SF X 15 GPD/100 = 668 GPD
668 GPD X 2.5 (PEAKING FACTOR) = 1,670 GPD = 70 GPH = 1.17 GPM



FIRE TRUCK TURN
1"=40'



GARBAGE TRUCK TURN
1"=40'

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CLIENT



Know what's below. Call before you dig.
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REVISIONS

REV	DATE	COMMENT	BY
1	07/14/17	TAC COMMENTS	CED

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK
STORE NO. 55203
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

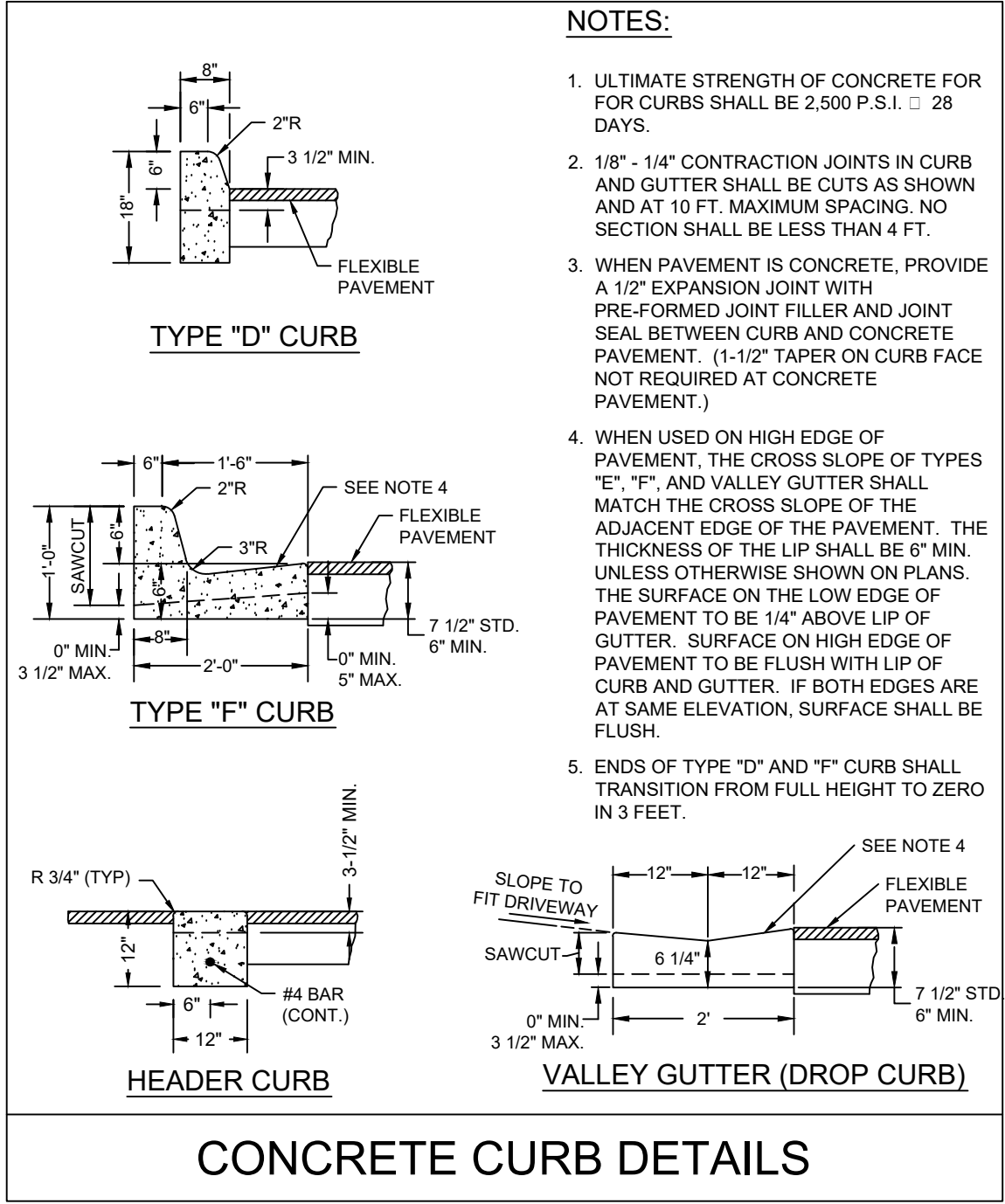
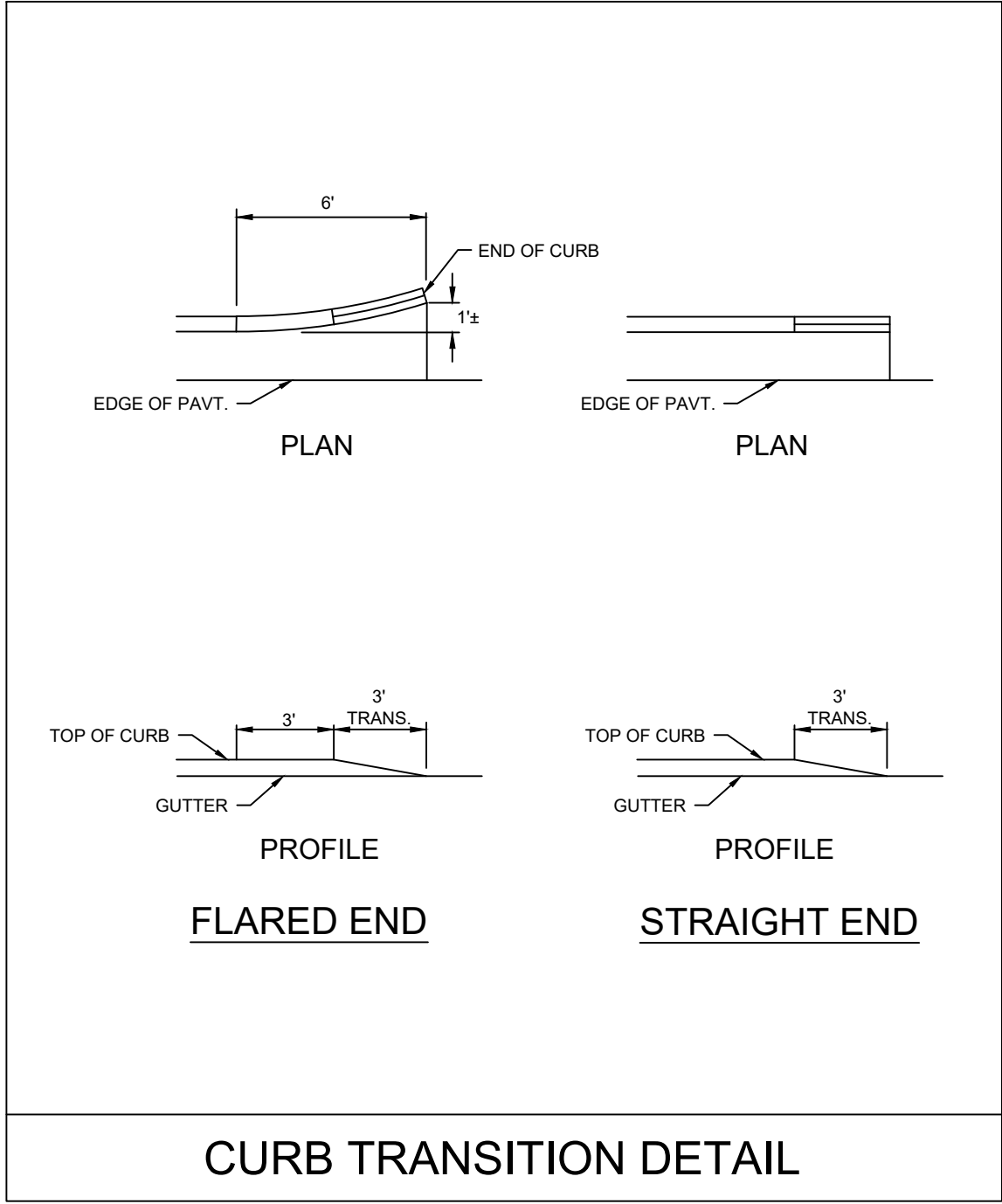
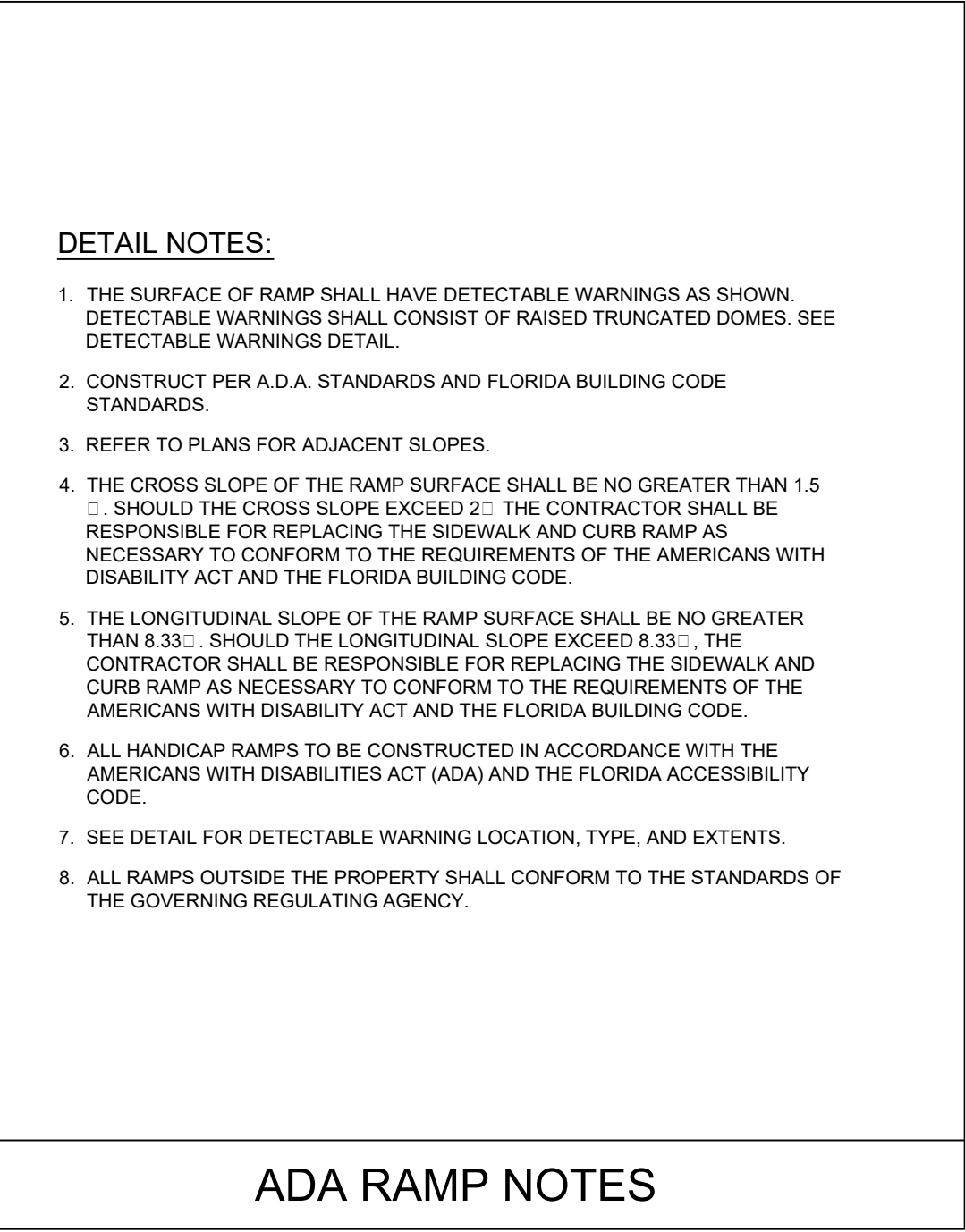
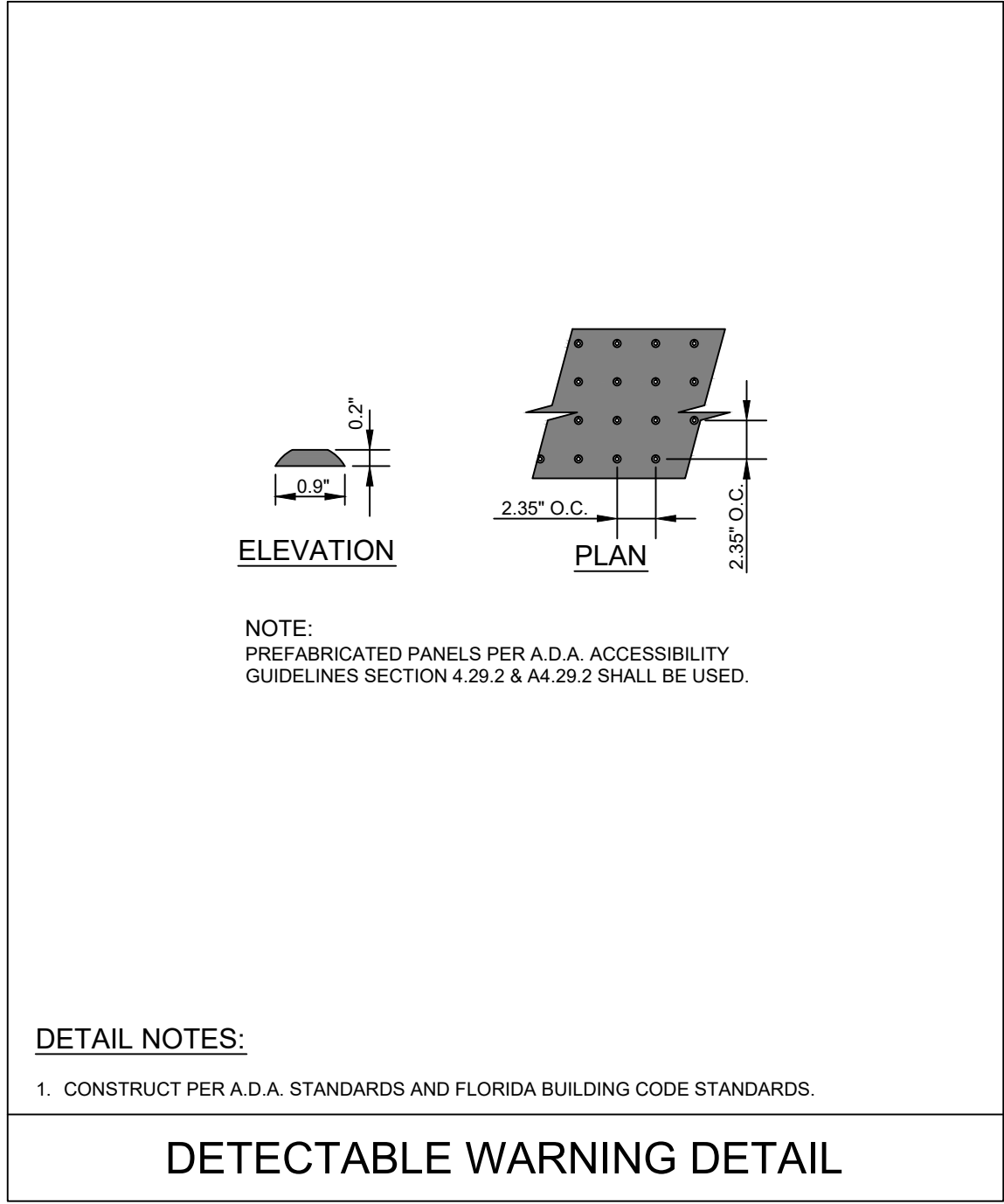
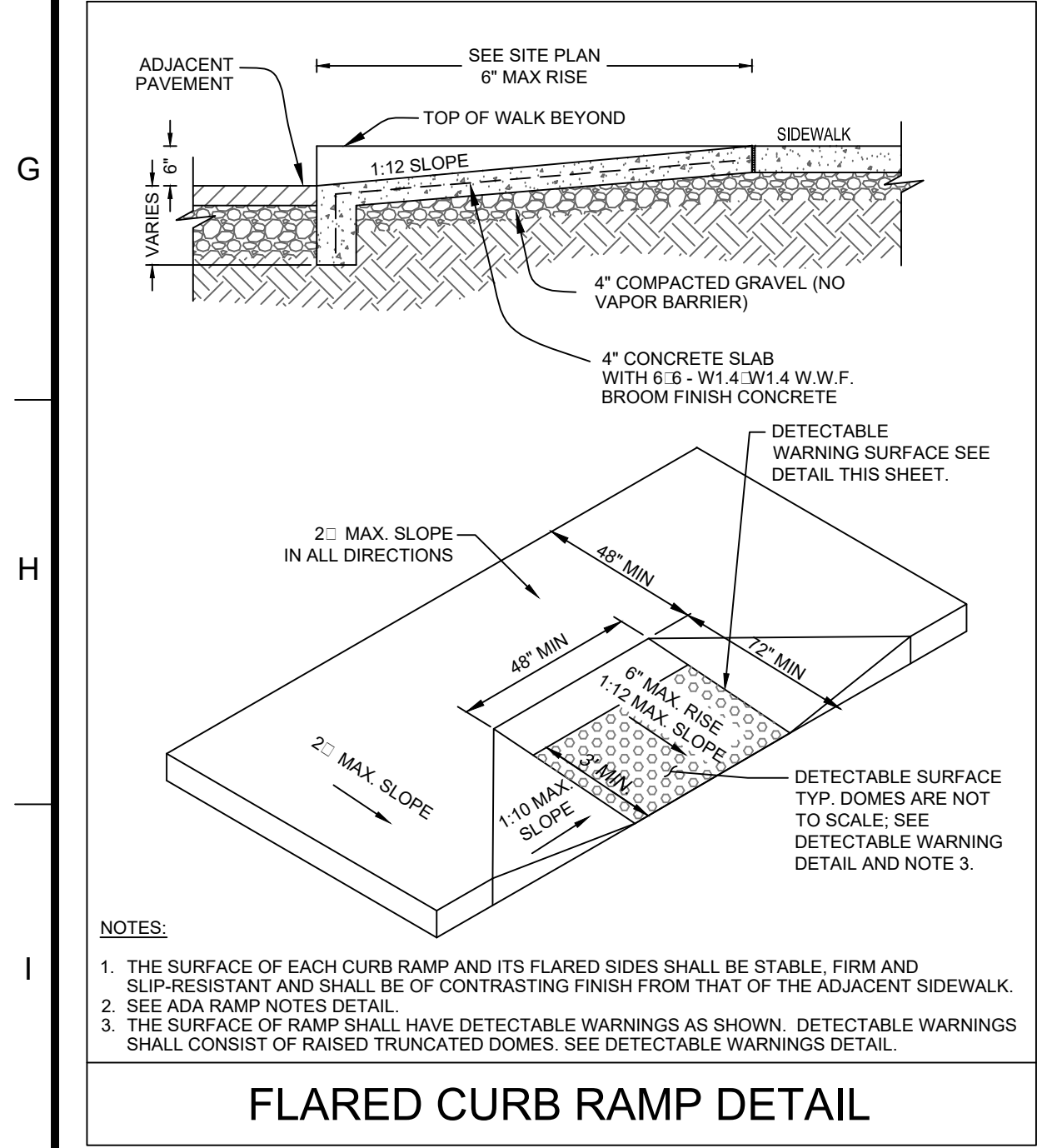
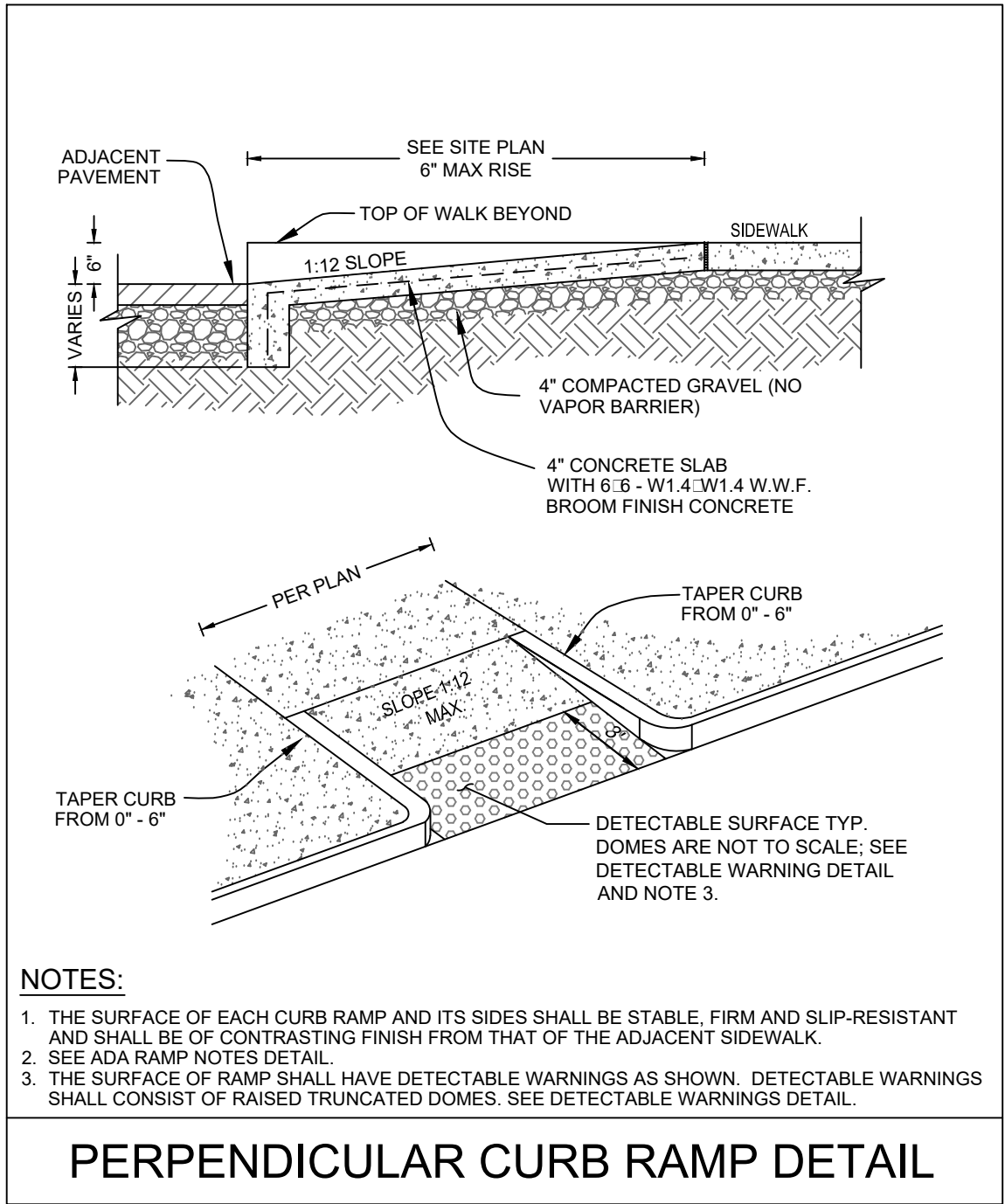
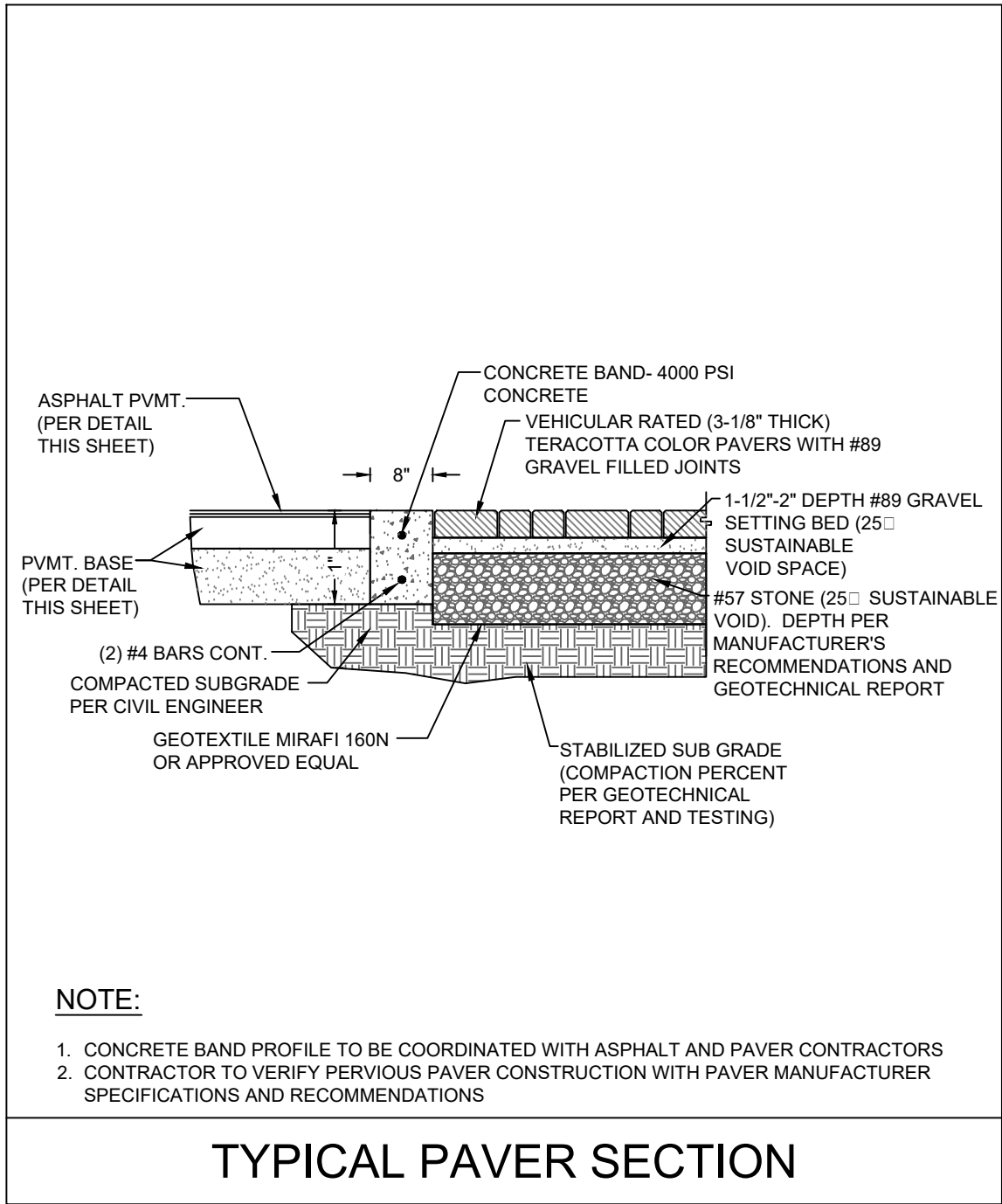
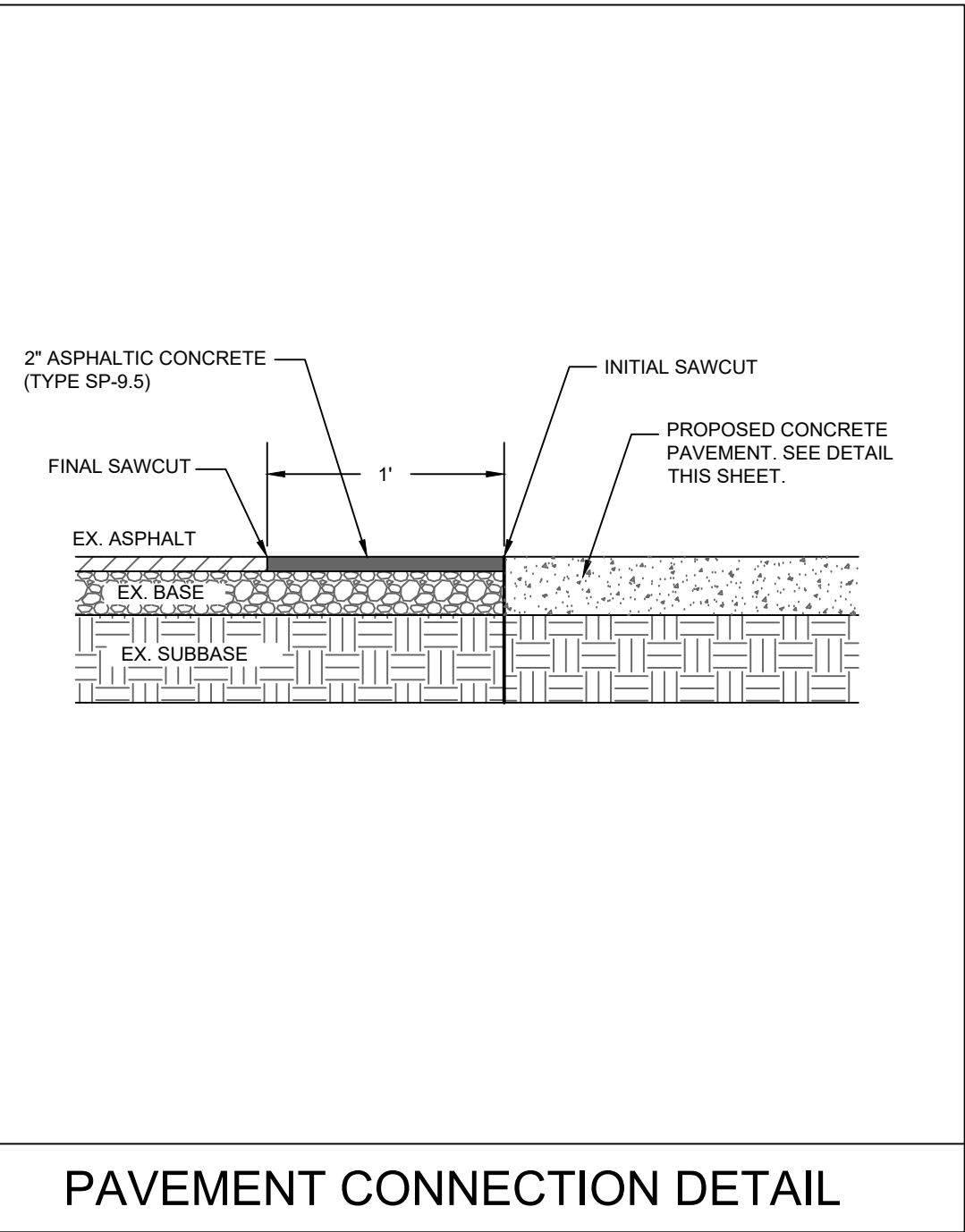
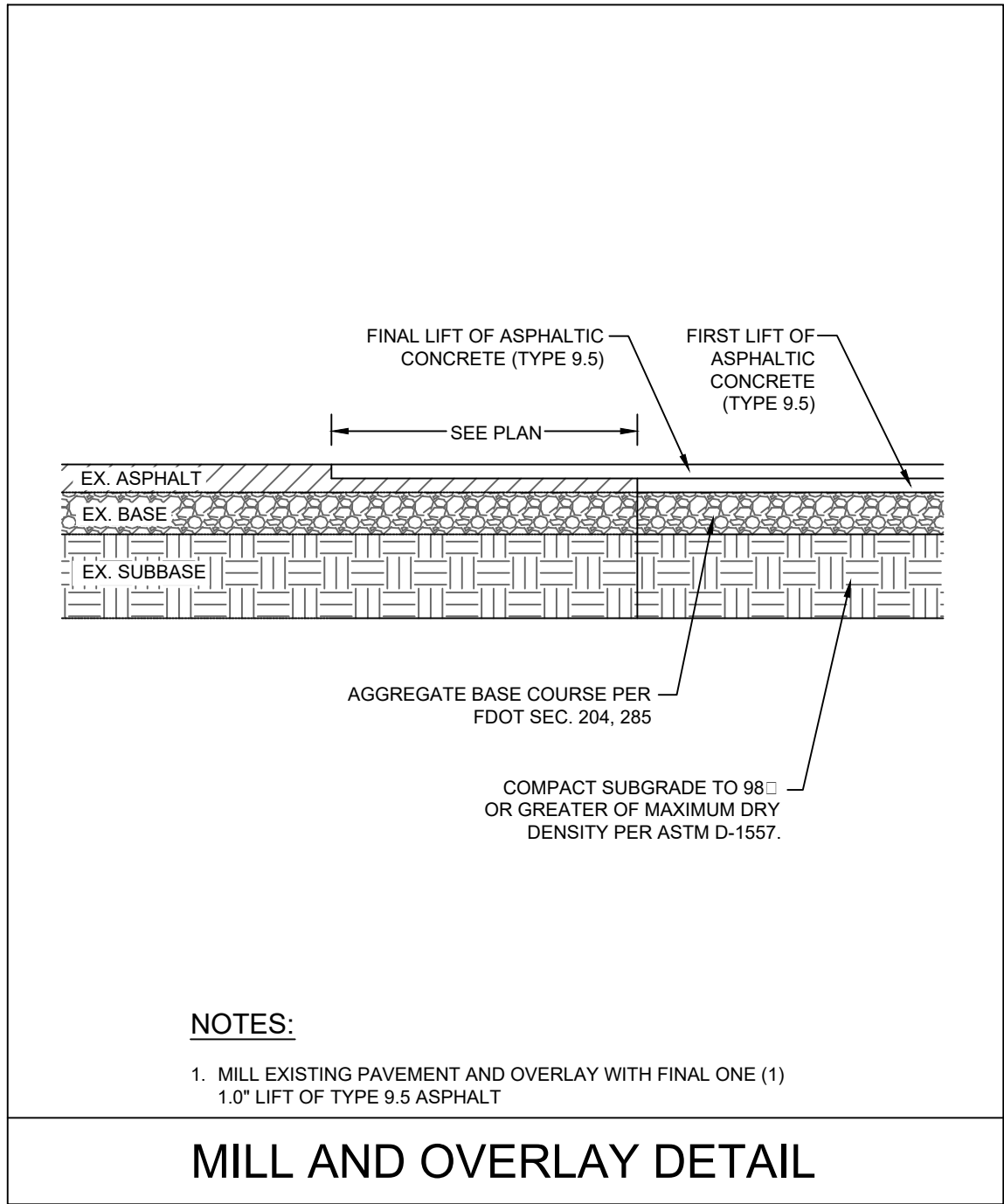
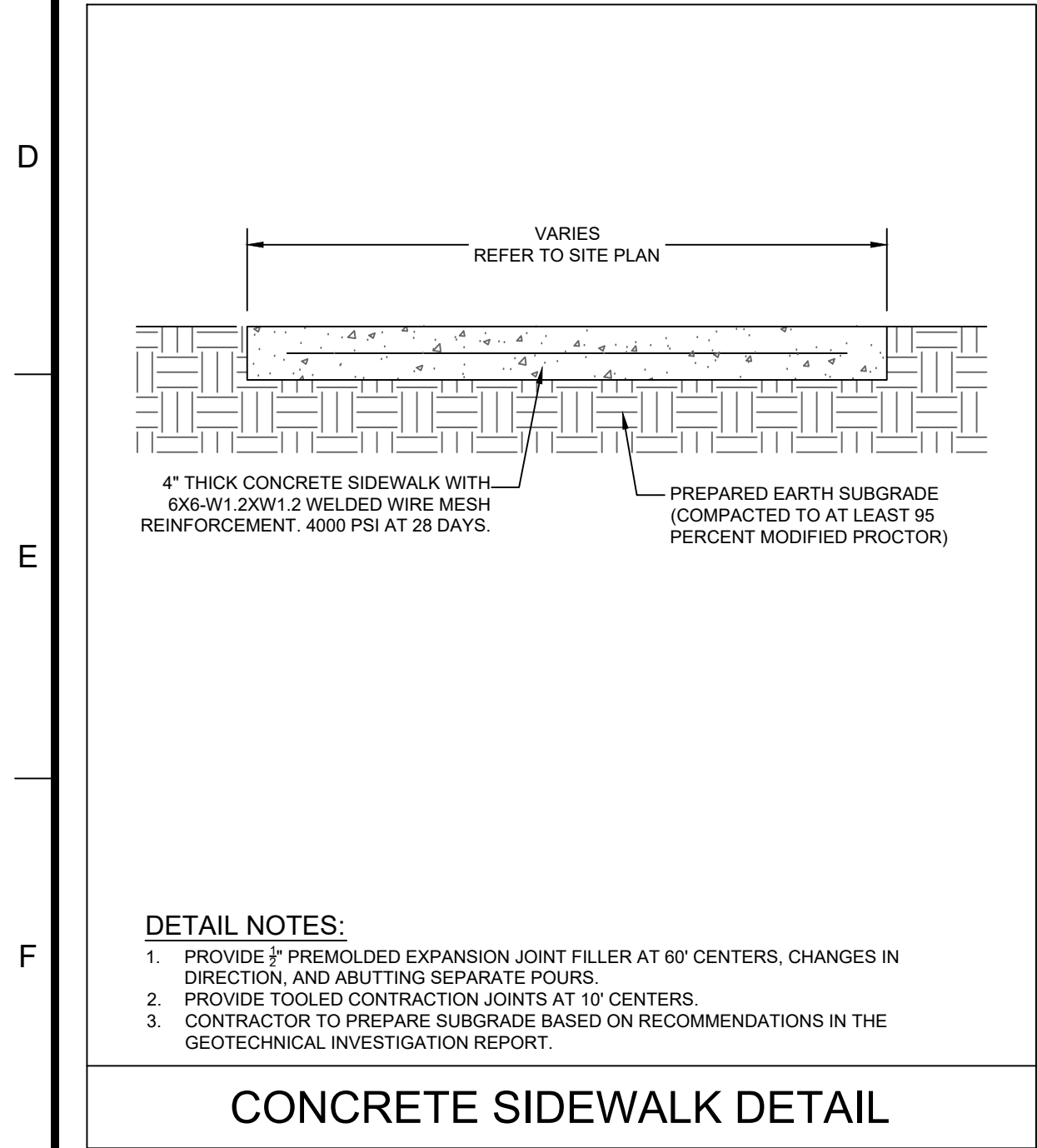
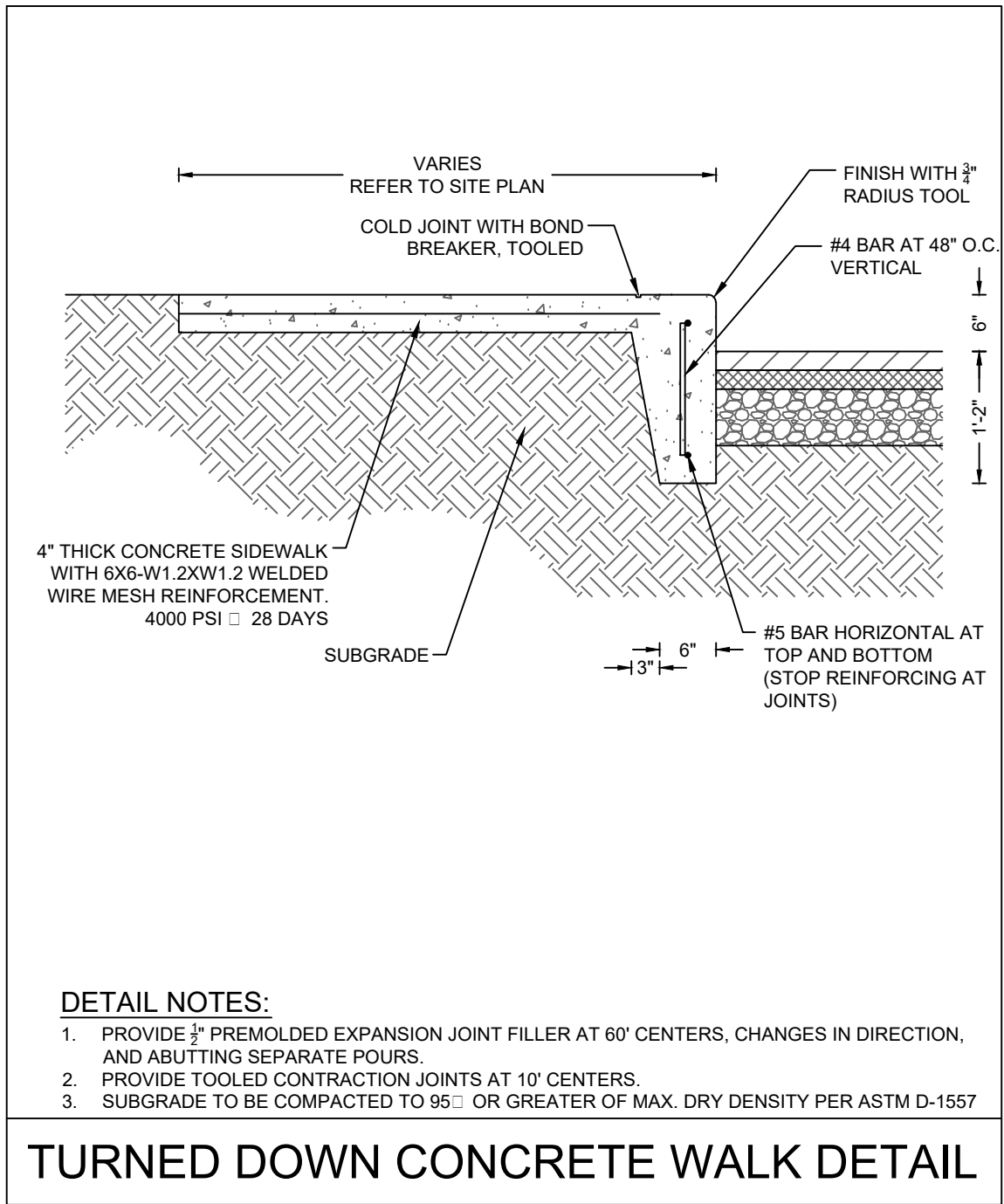
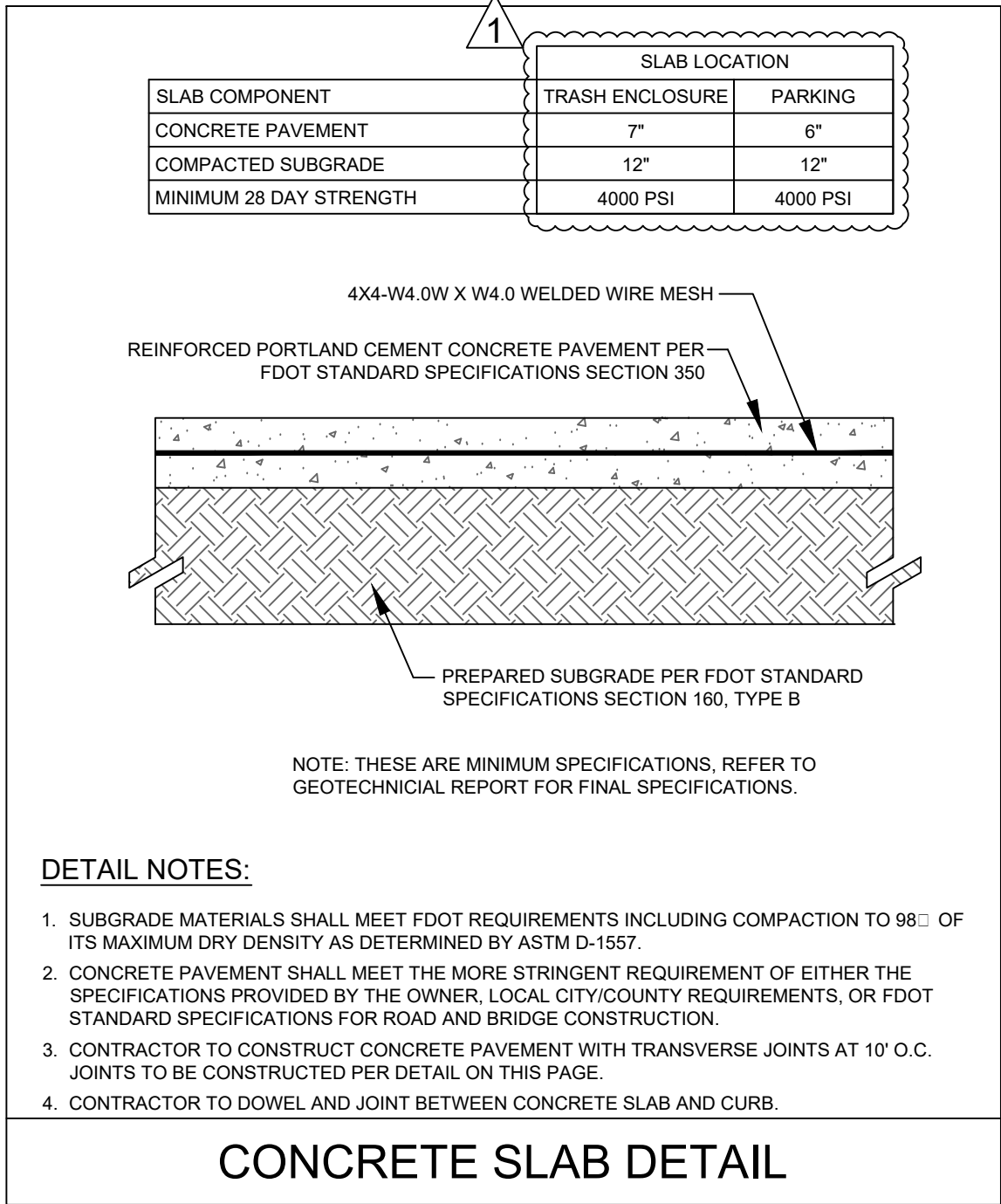
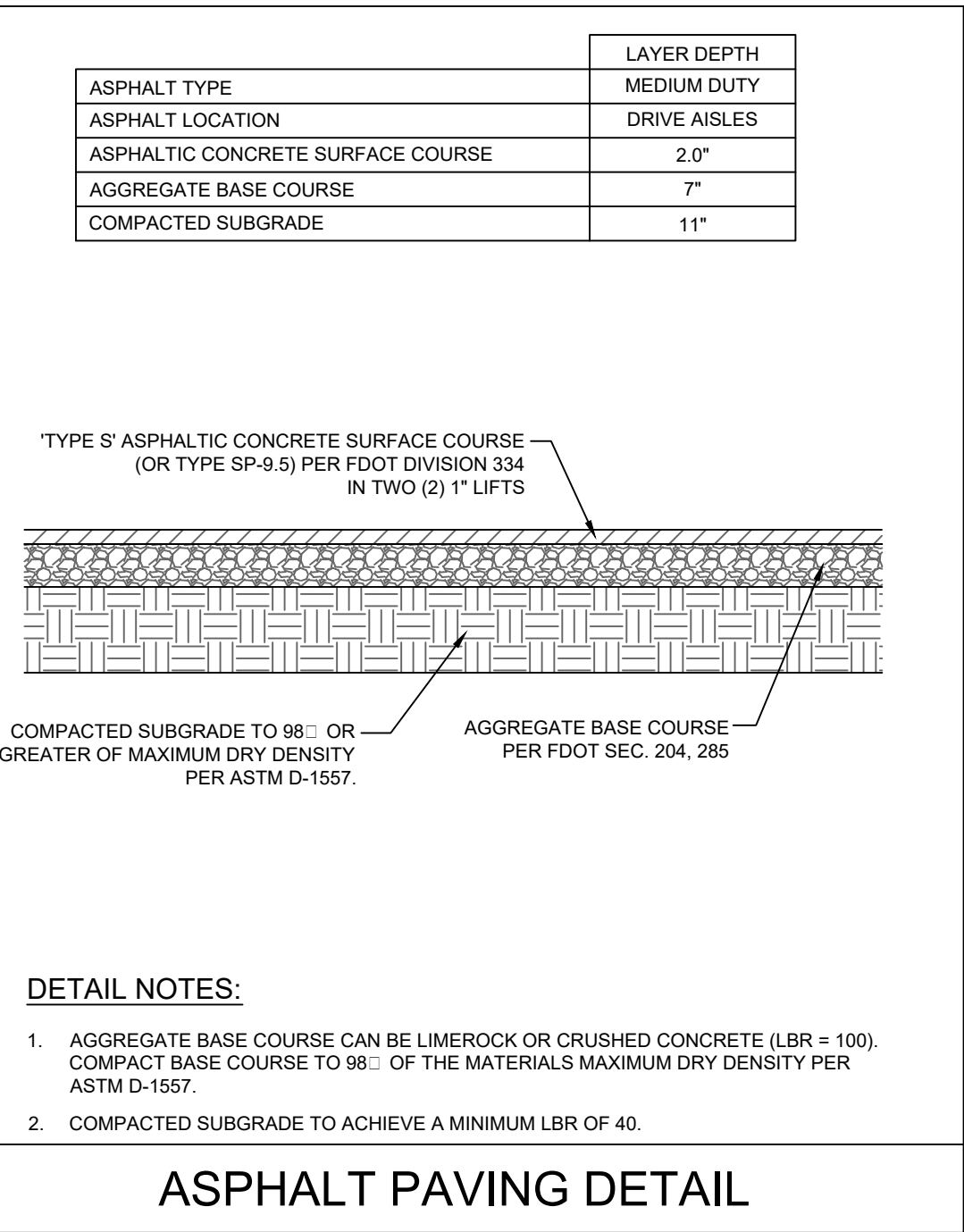
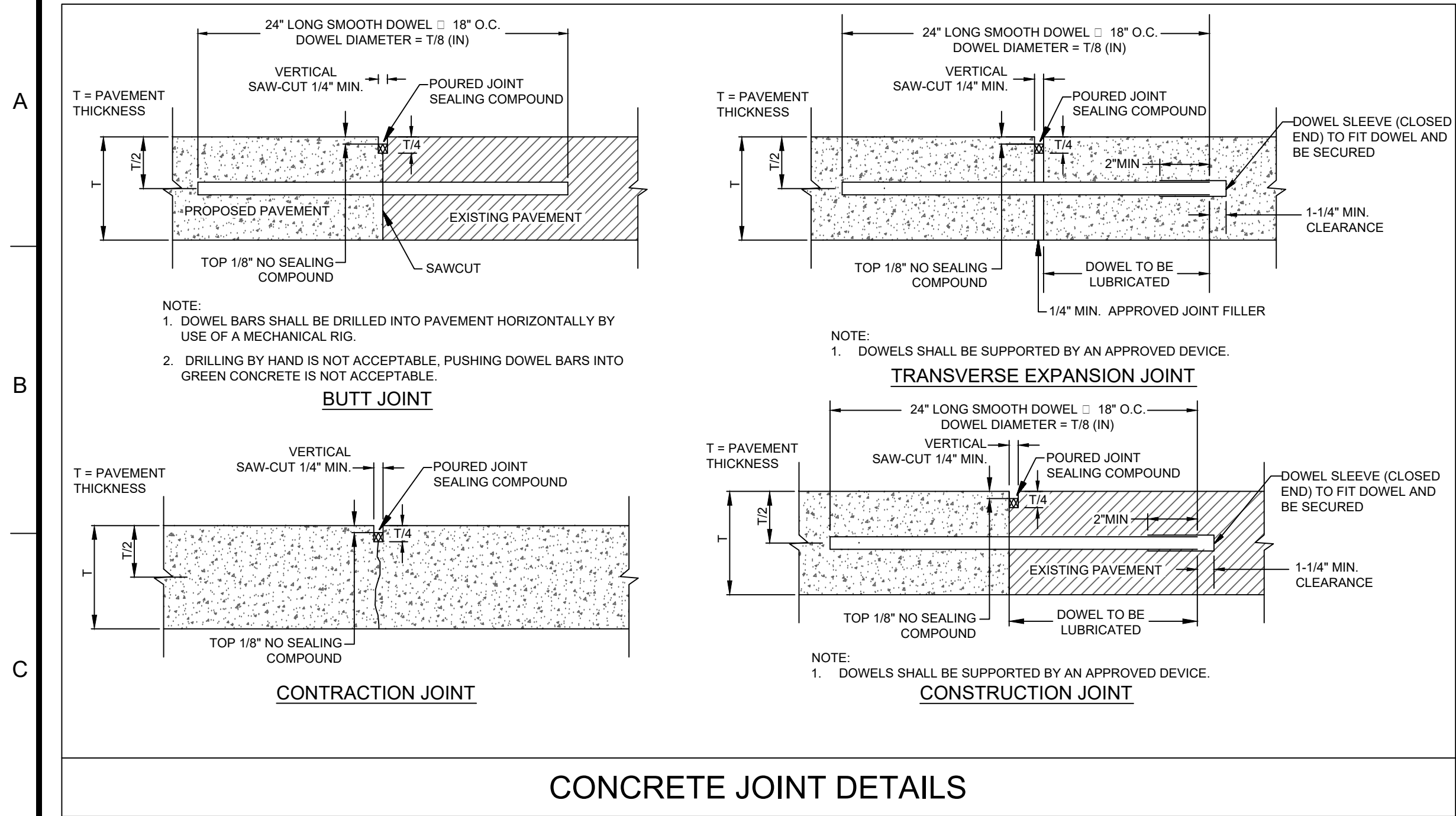
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SHEET TITLE
UTILITY PLAN

JOB #: JPM.19067
DATE: 05.12.2017
SCALE: 1"=20'
DRAWN BY: CED
CHECKED BY: ZHT

SHEET NO.

C9



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REVISIONS			
REV	DATE	COMMENT	BY
1	07/14/17	TAC COMMENTS	CED

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK
STORE NO. 55203
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

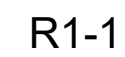
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CONSTRUCTION
DETAILS

JOB #: JPM.19067
DATE: 05.12.2017
SCALE: N/A
DRAWN BY: CED
CHECKED BY: ZHT



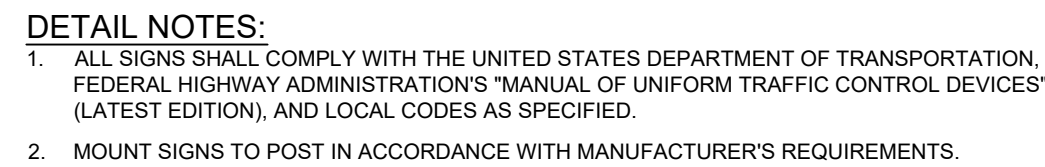
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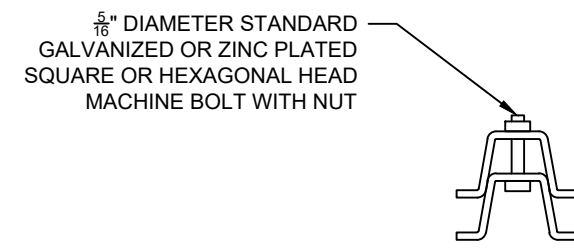


- DETAIL NOTES:**
1. LEGEND SHALL BE WHITE (RETROREFLECTIVE).
 2. BACKGROUND SHALL BE RED (RETROREFLECTIVE).

G



BREAK AWAY POST (ELEVATION)



BREAK AWAY POST (PLAN)



The diagram illustrates a wheelchair accessible space. It shows a rectangular area with a total width of 12 feet, divided into a 4-foot wide 'HANDICAPPED' zone on the left and an 8-foot wide 'AISLE' on the right. The aisle is further divided into a 5-foot wide section and a 3-foot wide section. A wheelchair icon is positioned in the 4-foot wide zone. A vertical dimension of 13.0 feet is shown on the left. Callouts (A) point to the top and bottom edges of the 4-foot wide zone. Callout (B) points to the 5-foot wide section of the aisle. A 'H/C SIGN' is shown above the 4-foot wide zone.

STRIPING LEGEND

- (A) 4" BLUE
- (B) 4" BLUE @ 45°

N.T.S.

SOLID PARKING SPACE LINE (4" WIDE WHITE)

SOLID PARKING LINE (4" WIDE BLUE)

SOLID LANE LINE (6" WIDE WHITE)

SOLID DOUBLE CENTER LINE (6" WIDE YELLOW)

SOLID CROSSWALK TRANSVERSE LINE (12" WIDE WHITE)

SOLID STOP BAR LINE (24" WIDE WHITE)

NOTE: ALL STRIPING SHALL BE THERMOPLASTIC OR NOTED ON THE SITE PLAN AND SHALL MEET THE CRITERIA OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.

THROUGH LANE ARROW

TURN LANE ARROW


- DETAIL NOTES:**
1. RIGHT TURN ARROW TO BE THE REVERSE OF TURN LANE ARROW SHOWN ABOVE.
 2. ARROWS SHALL BE THERMOPLASTIC PAINTED REFLECTIVE WHITE.
 3. ARROWS SHALL BE APPLIED PER FOOT INDEX 17346, LATEST EDITION.

A diagram of a circular 'DO NOT ENTER' sign. The sign is dark gray with the words 'DO NOT' at the top and 'ENTER' at the bottom, separated by a thick white horizontal bar. The sign is mounted on a white rectangular plate. Dimension lines indicate the sign is 30 inches wide and 30 inches high.

R5-1

- DETAIL NOTES:**
1. LEGEND AND BACKGROUND SHALL BE WHITE (RETROREFLECTIVE).
 2. SYMBOLS SHALL BE RED (RETROREFLECTIVE).

CORE STATES

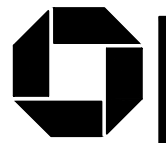


GROUP
CORESTATES, INC.
CA # 9578

110 NORTH 11TH STREET, SUITE 101
TAMPA, FL 33602
PHONE (813) 900-1755
FAX (813) 480-1789
CARDEN@CORE-ENG.COM

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CLIENT



CHASE



Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO

[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK
STORE NO. 55203

STORE NO. 00200
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

SHEET TITLE
CONSTRUCTION
DETAILS

JOB #:	JPM.1906
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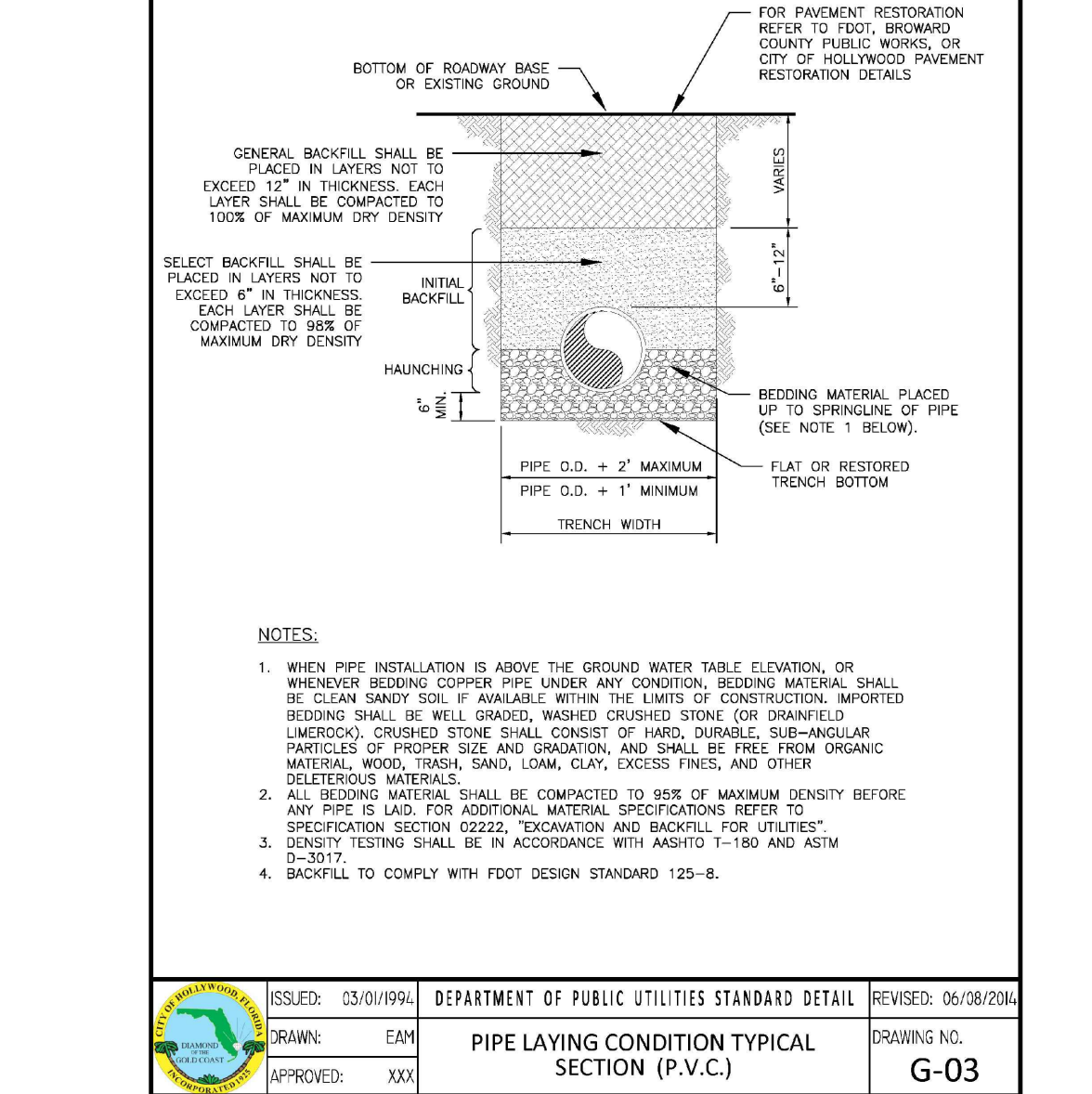
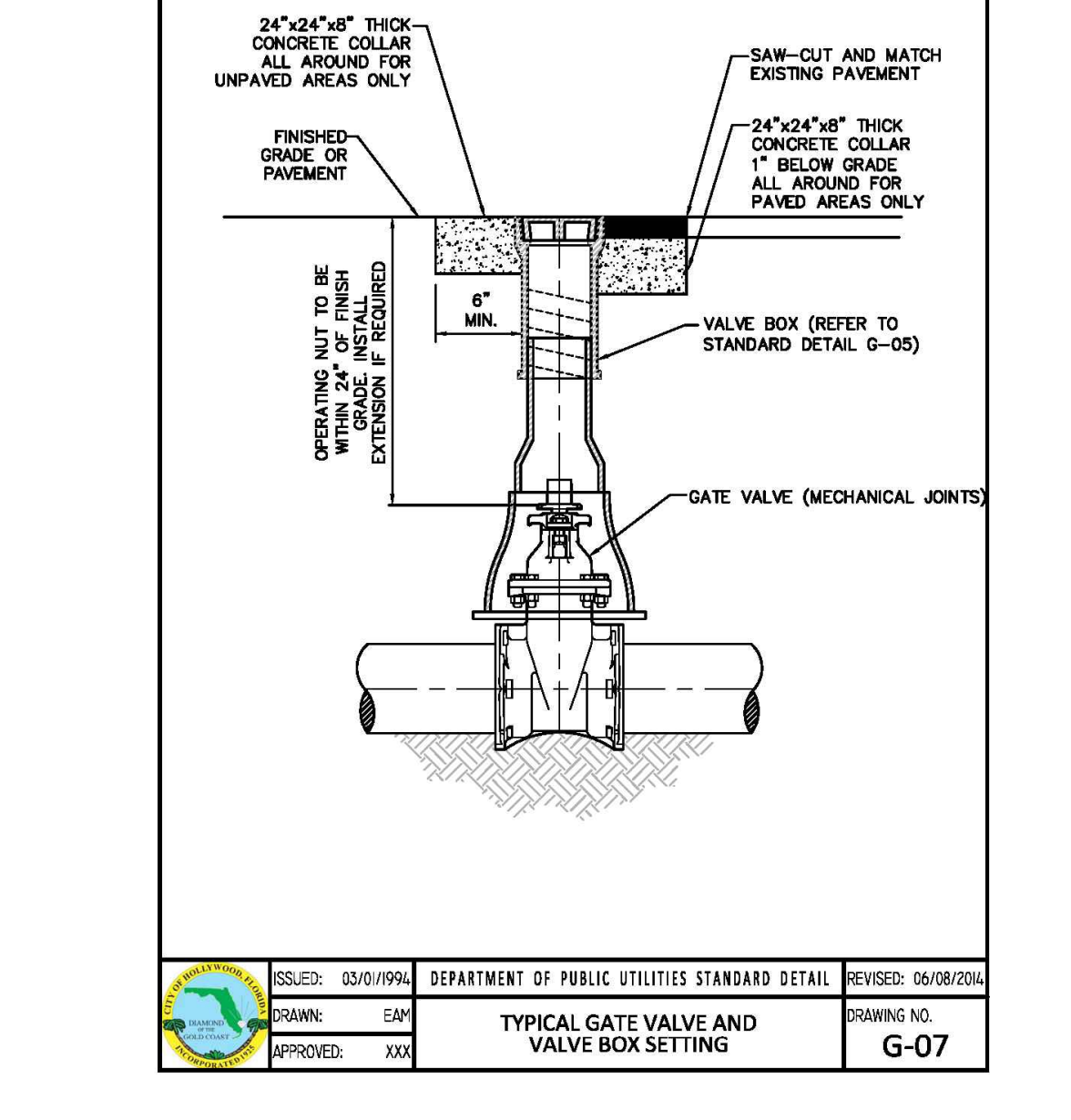
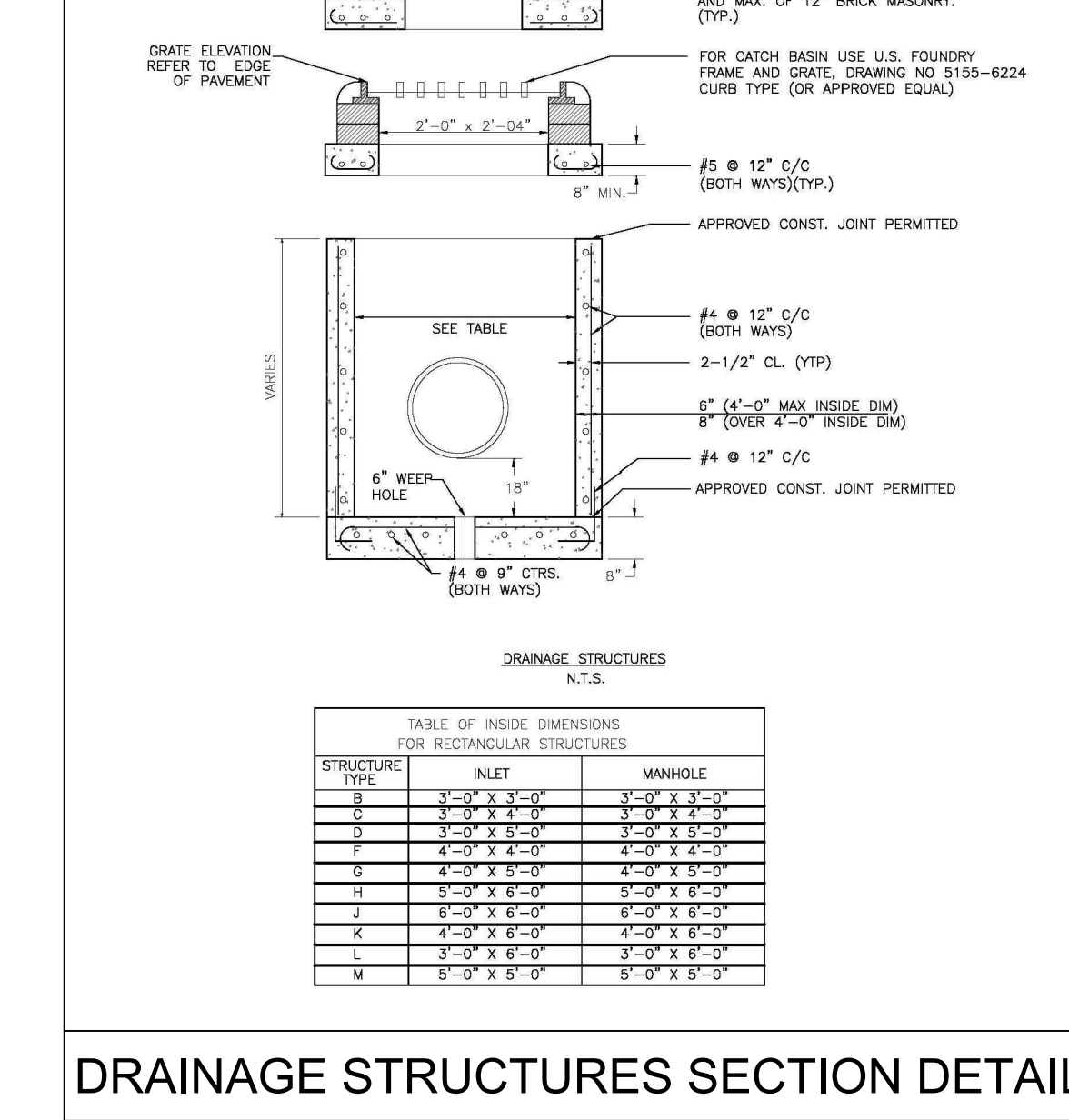
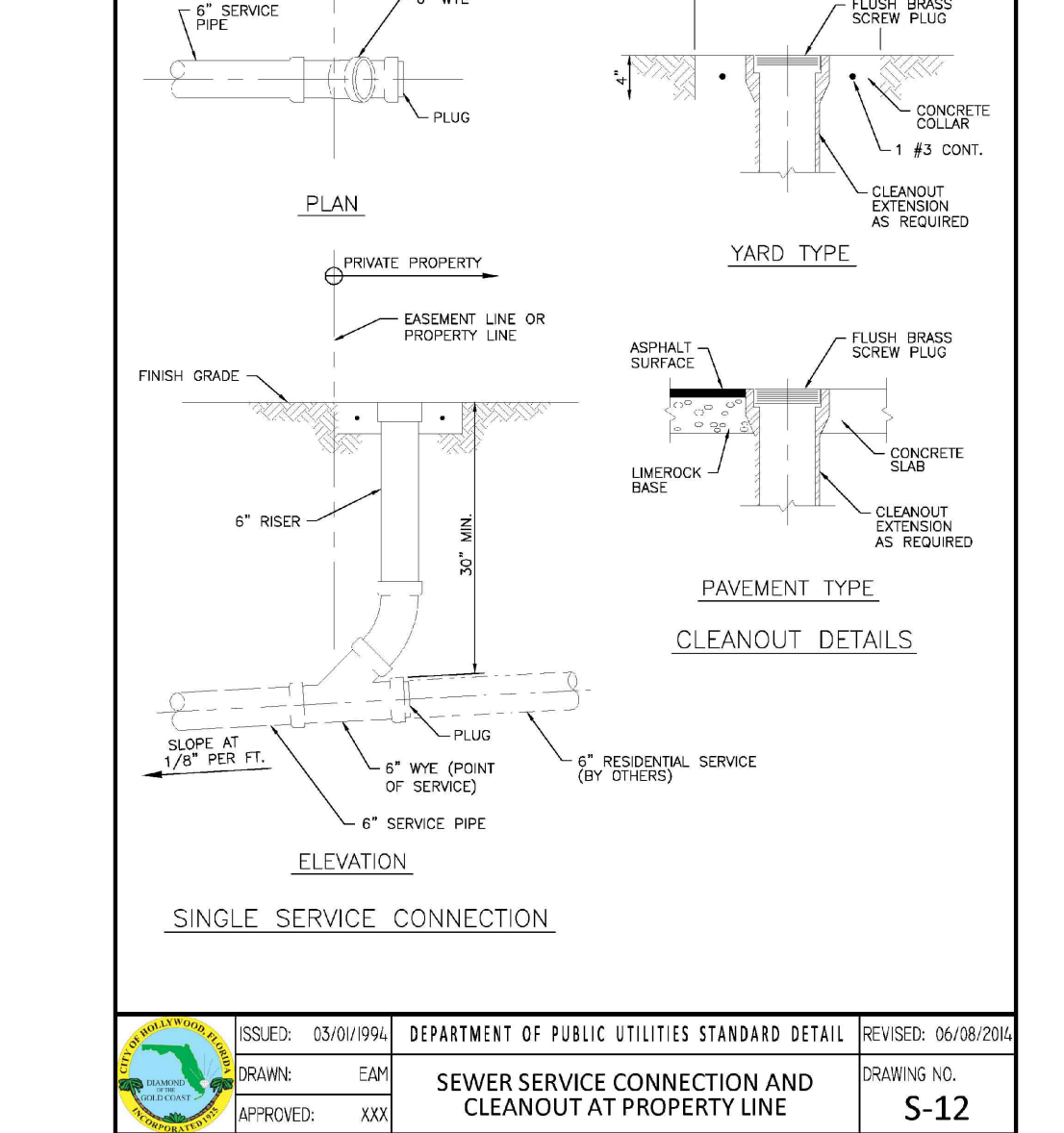
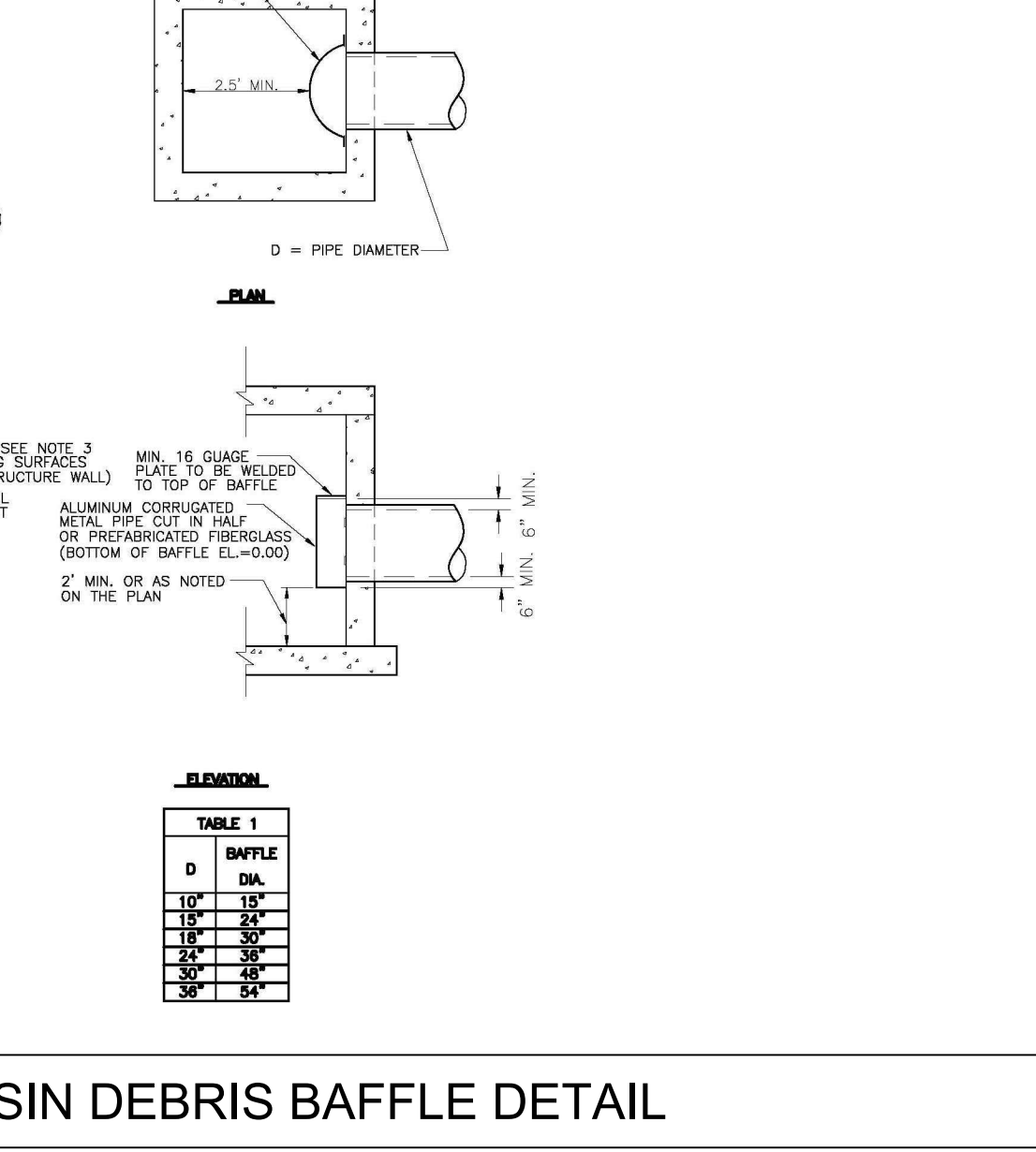
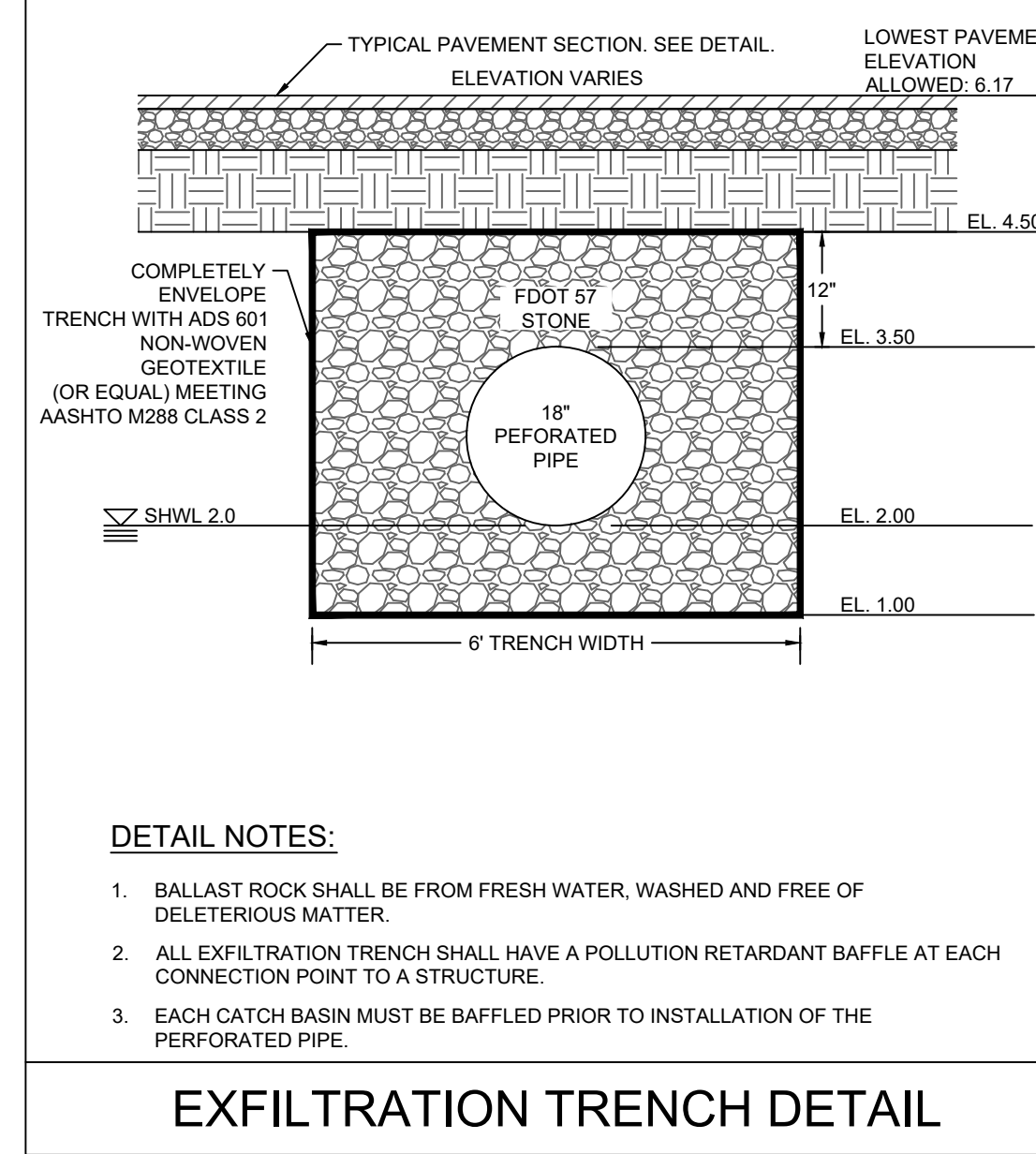
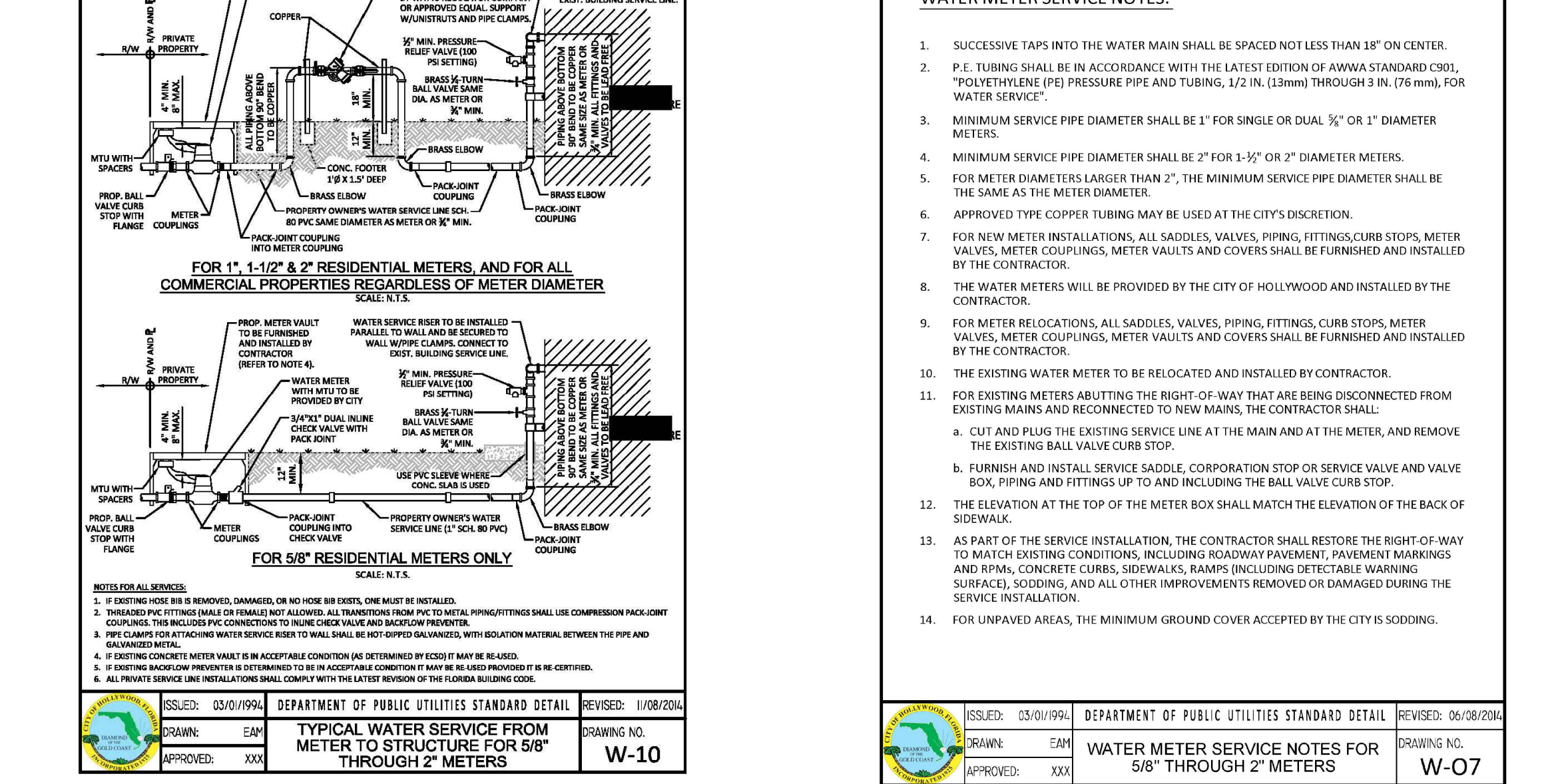
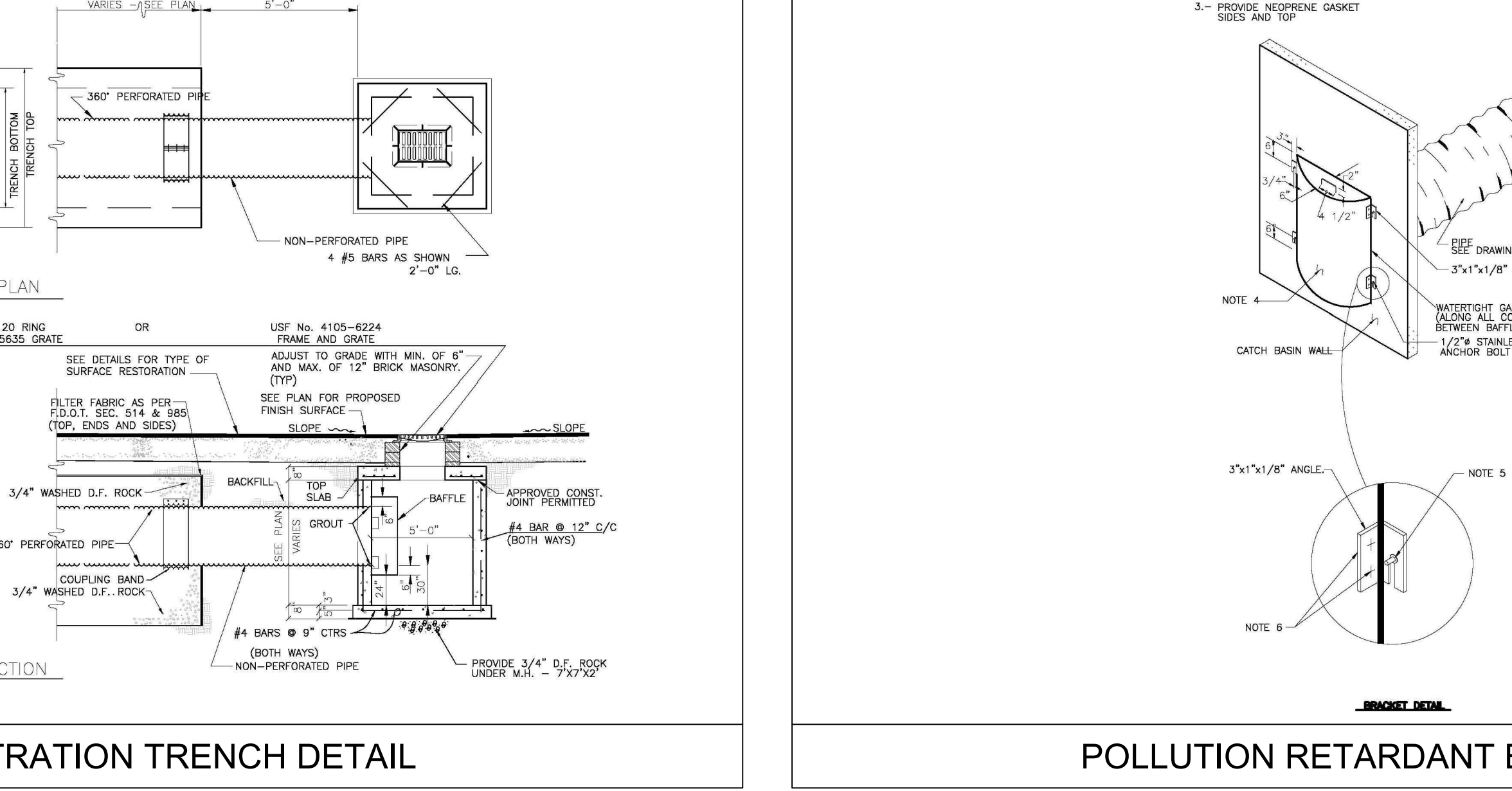
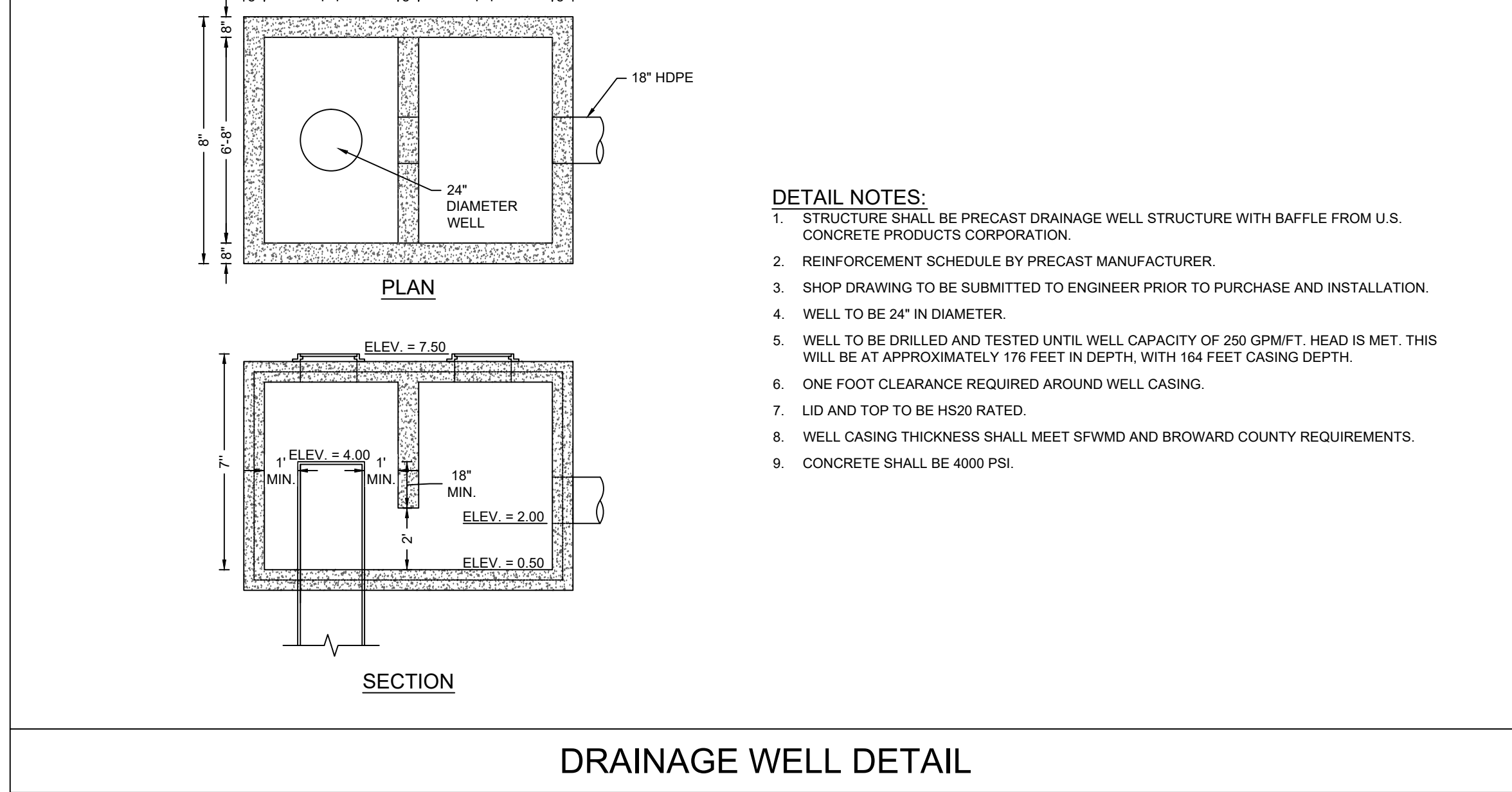
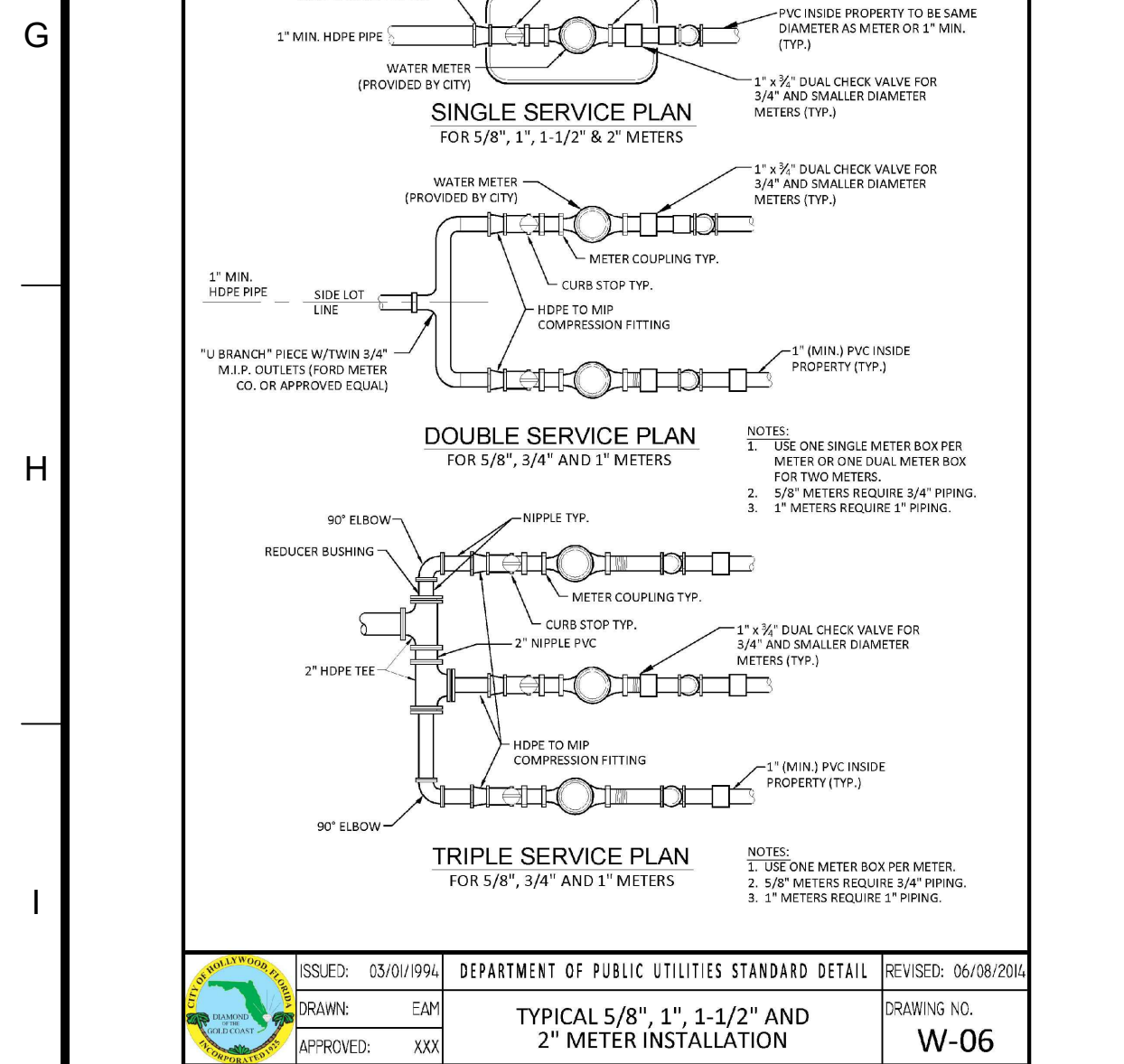
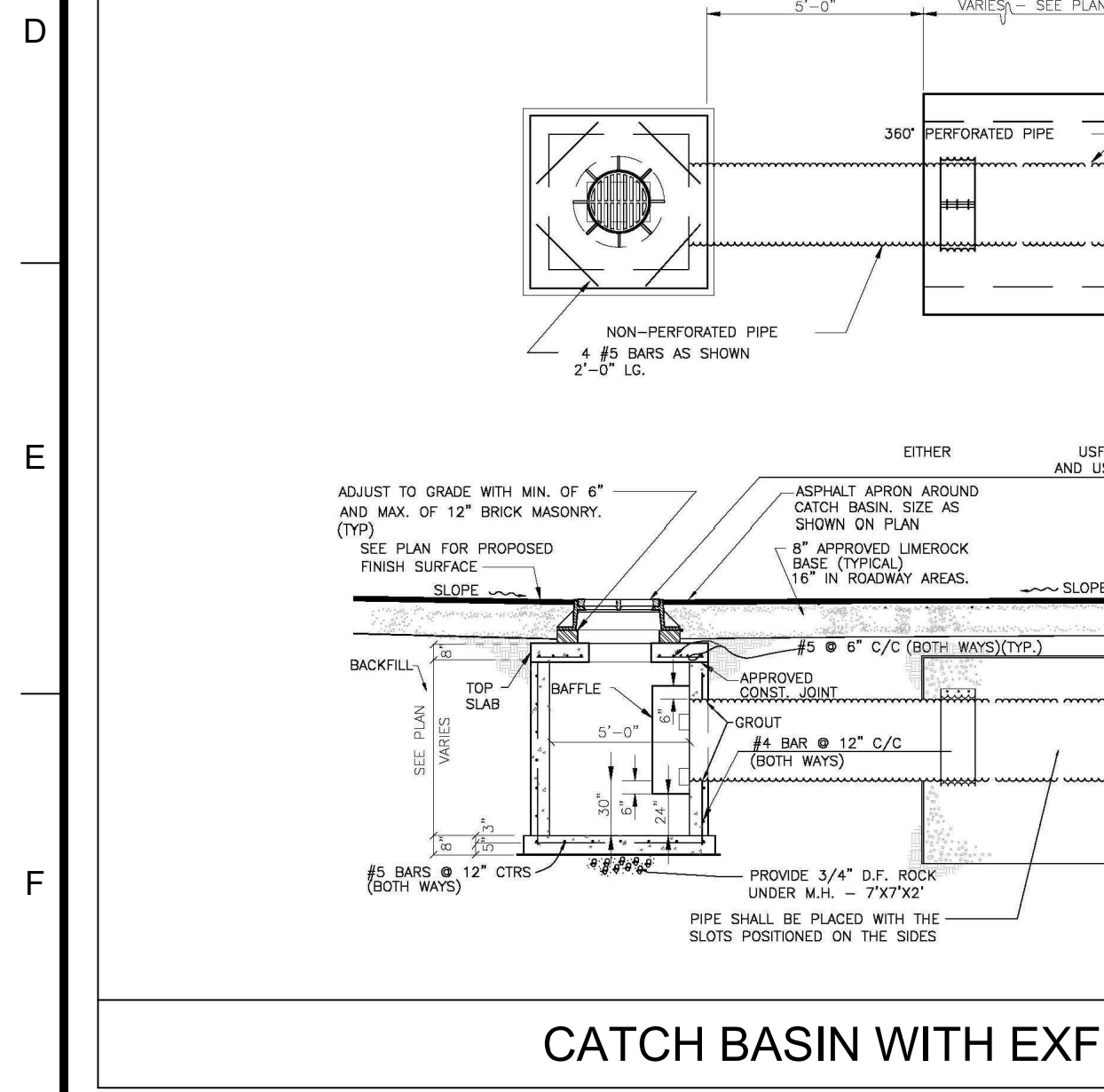
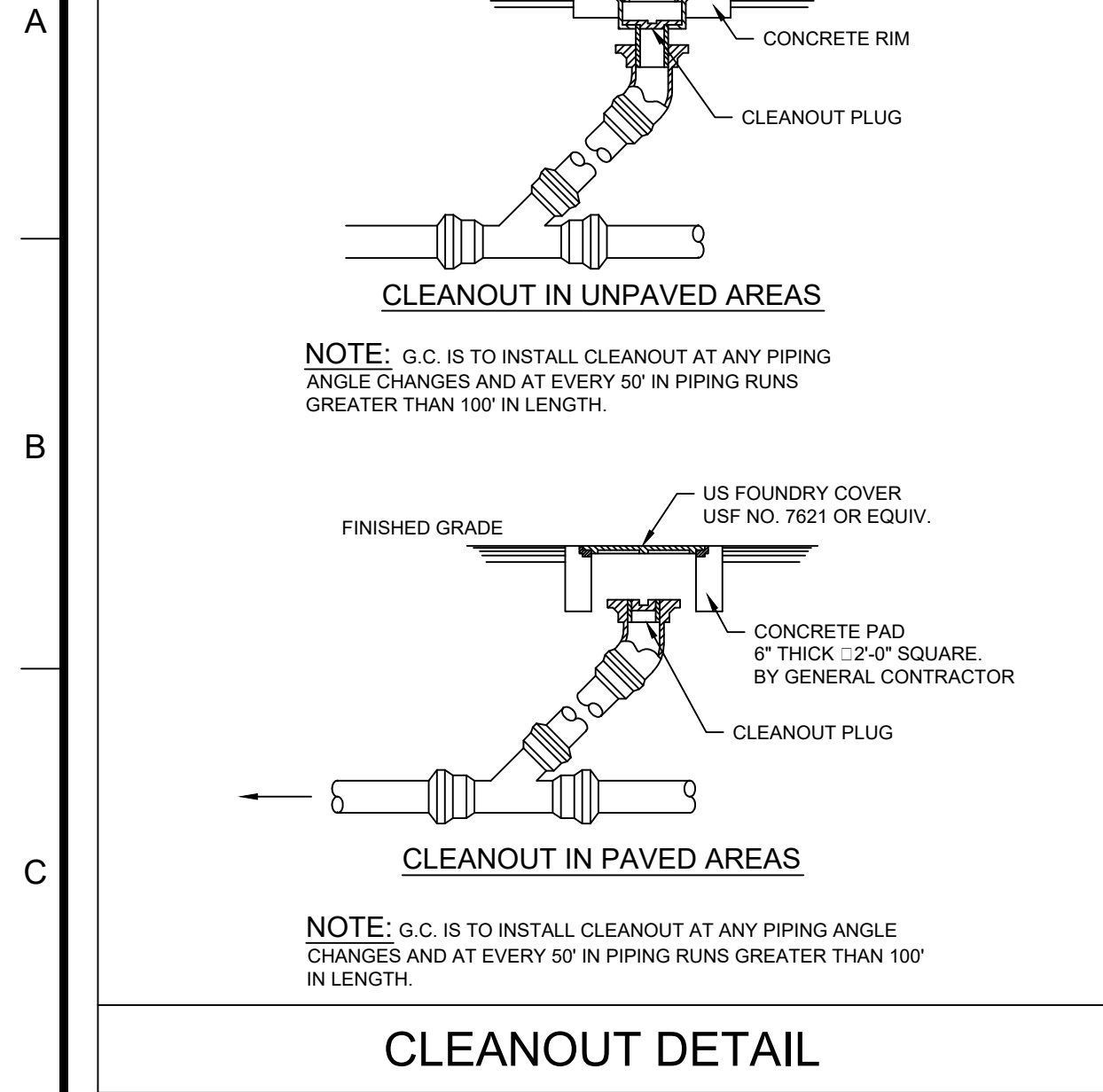
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SCALE: N/A

DRAWN BY: CED

SHEET NO.

C11



CORE STATES GROUP

110 NORTH 11TH STREET, SUITE 101
FORT LAUDERDALE, FL 33304
PHONE (813) 490-1755
FAX (813) 490-1759
CCARDEN@CORE-ENG.COM

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CHASE

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN INFORMATION RECEIVED BY THE CITY OF HOLLYWOOD. CORE STATES, INC. DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 10 DAYS BEFORE ANY EXCAVATION TO DETERMINE THE LOCATION AND DEPTH OF EXISTING UTILITIES.

REVISIONS

REV	DATE	COMMENT	BY
1	07/14/17	TAC COMMENTS	CED

DOCUMENT CIVIL

CONSTRUCTION PLANS FOR CHASE BANK

STORE NO. 55203

SITE LOCATION

1700 SHERIDAN STREET

HOLLYWOOD, FL 33020

ENGINEER SEAL

SHEET TITLE

CONSTRUCTION DETAILS

JOB #: JPM-19067

DATE: 05.12.2017

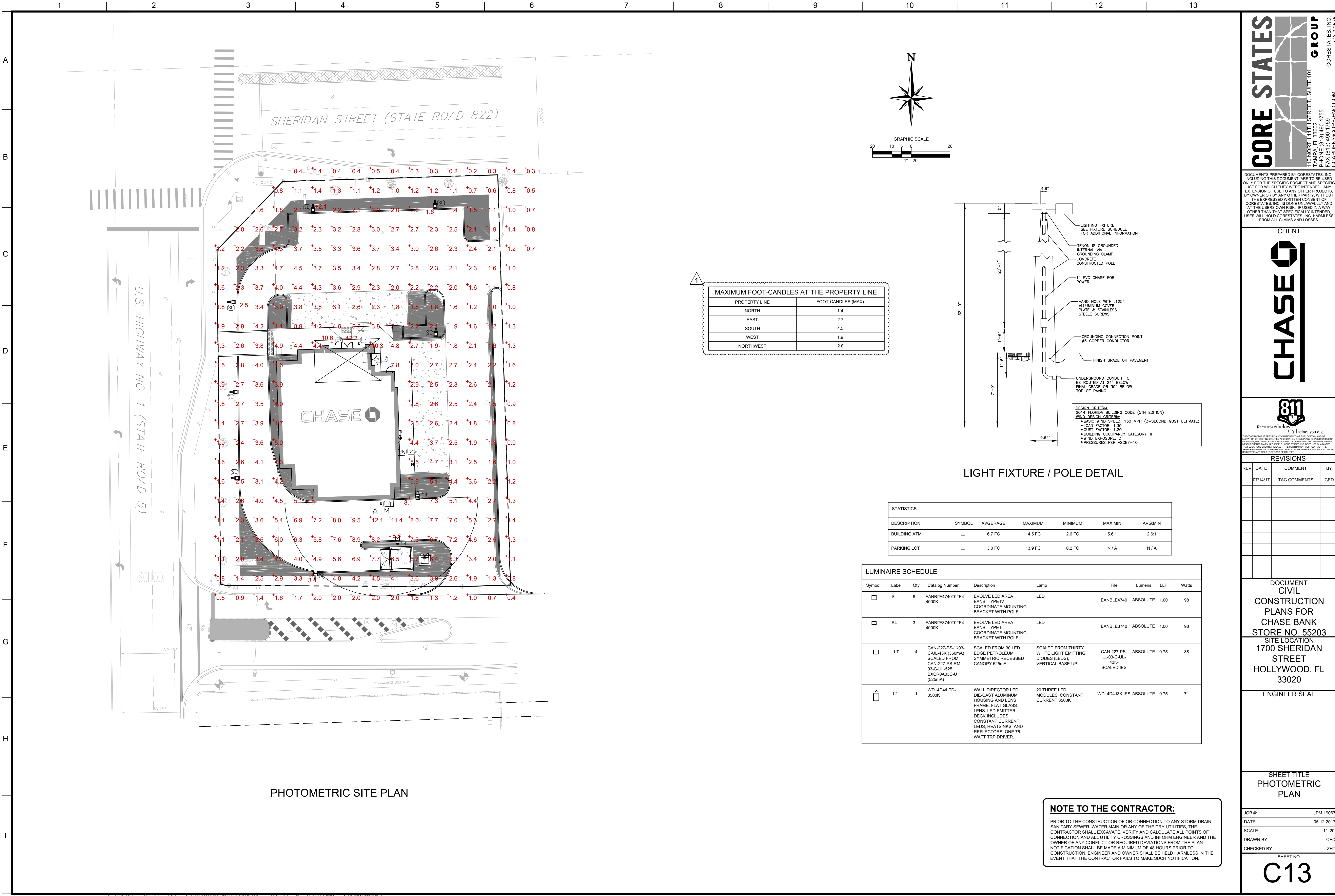
SCALE: N/A

DRAWN BY: CED

CHECKED BY: ZHT

SHEET NO.

C12



CORE STATES GROUP

170 NORTH 11TH STREET, SUITE 101
HOLLYWOOD, FL 33020
PHONE (813) 490-1755
FAX (813) 490-1759
CCARDEN@CORE-ENG.COM

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CLIENT

CHASE

81

Know what's below. Call before you dig.
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN INFORMATION PROVIDED BY THE CLIENT. CORE STATES, INC. DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION TO AVOID DAMAGE TO UTILITIES AND PERSONAL INJURY.

REVISIONS			
REV	DATE	COMMENT	BY
1	07/14/17	TAC COMMENTS	CED

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK
STORE NO. 55203
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

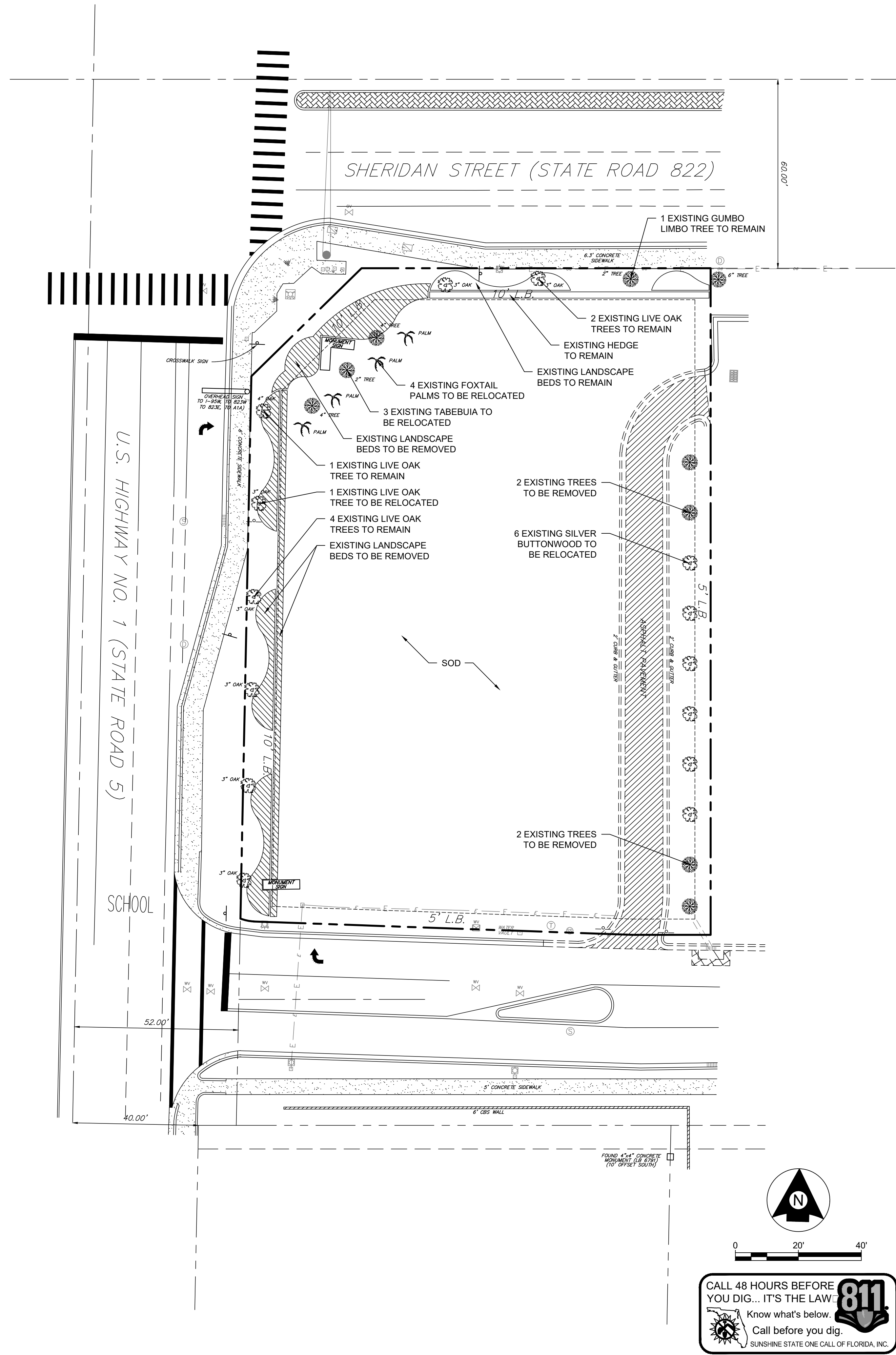
ENGINEER SEAL

SHEET TITLE
PHOTOMETRIC
PLAN

JOB #:	JPM-19067
DATE:	05.12.2017
SCALE:	1"=20'
DRAWN BY:	CED
CHECKED BY:	ZHT

SHEET NO.
C13

This document, together with the concepts and designs presented
Drafted by Charles Bailey Creative CAD Source 561 628 9822



CHASE
CHASE BANK - STORE NO. 55203
SHERIDAN ST. & US HWY 1
HOLLYWOOD, FLORIDA 33020

EXISTING
LANDSCAPE PLAN

SCALE: AS NOTED	LANDSCAPE ARCHITECT:
DESIGNED BY: PMC	
DRAWN BY: CMB	
CHECKED BY: PMC	
PATRICIA M. CASTELLANO, RLA LICENSE NUMBER: 1667	
DATE:	

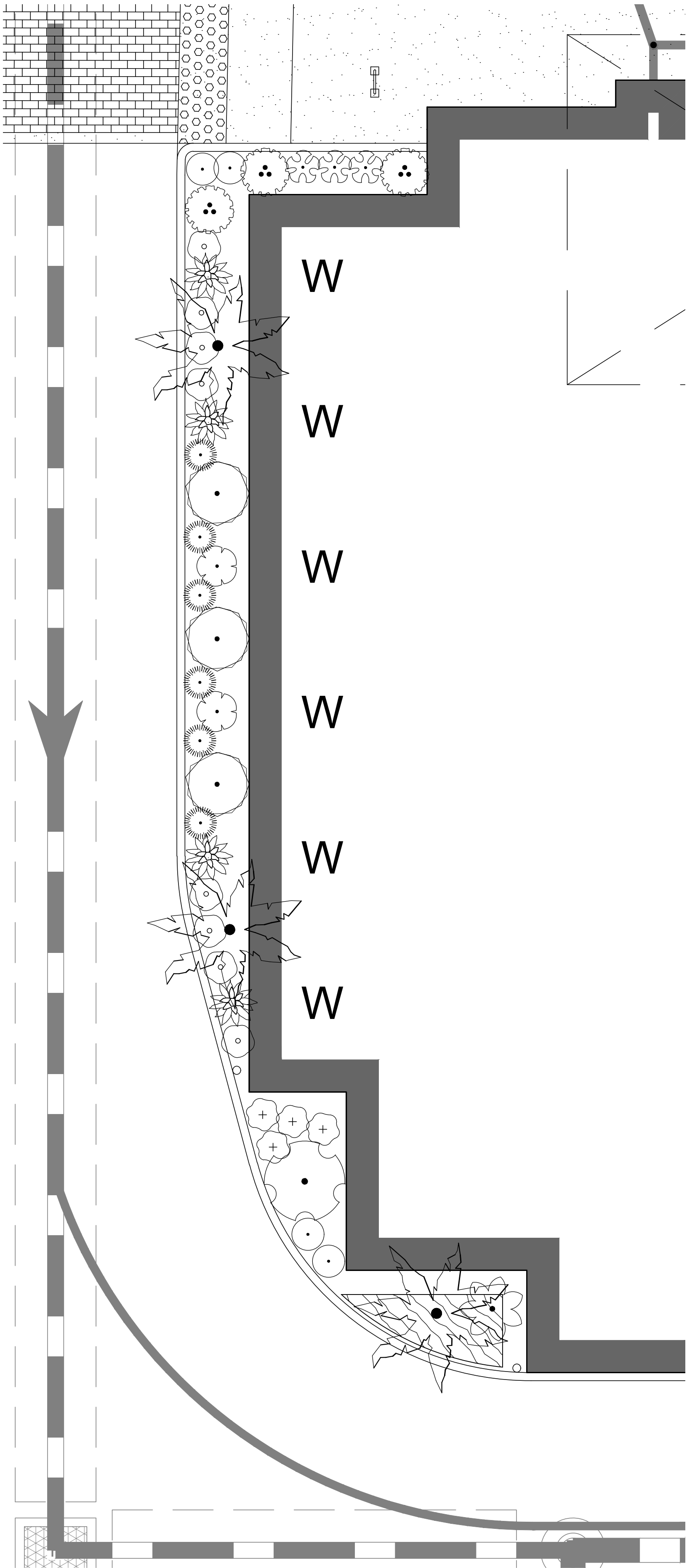
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SimplyVerde
 Landscape Architecture
 829 38th Avenue North, St. Petersburg, FL 33704
 727 521, 7290 License Number: LC26000392

L-01

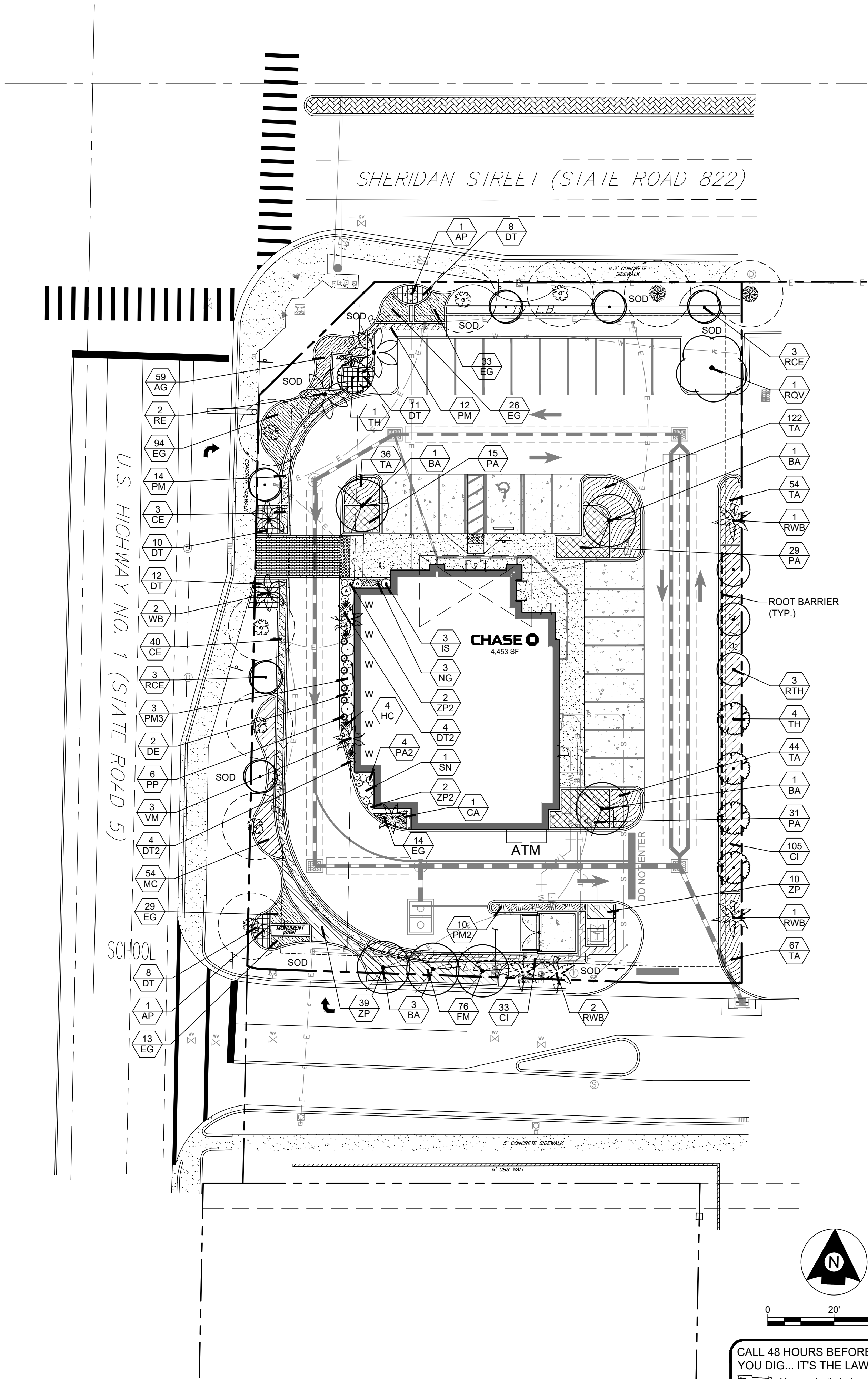
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Drafted by Charles Bailey, Creative CAD Source, 851 628.9822

Landscape Code Requirements				
Description	Application	Calculation	Qty. Required	Qty. Provided
Street Trees				
Sheridan Street Trees	1 Tree / 50 LF	146 / 50	3	3 Existing
Federal Highway Trees	1 Tree / 50 LF	209 / 50	4	4 Existing
Perimeter Trees				
Eastern Perimeter	1 Tree / 20 LF	185 / 20	9	9
Southern Perimeter	1 Tree / 20 LF	124 / 20	6	6
Parking Lot				
Parking Islands	1 Tree per Island	4 Islands	4	4
Open Space				
Pervious Area	1 Tree / 1,000 SF	7,664 / 1,000	7	7
Paved Vehicular Use Area				
VUA Calculation	25% of VUA	15,084 x 25%	3,771 SF	3,931 SF
		Total Trees	33	33
Tree Mitigation				
Remain	N/A	8	-	8
Relocated	N/A	14	-	14
Removed	N/A	4	4	-
Native Plant Material				
Trees	60%	19 x 60%	11	14
Shrubs	50%	561 x 50%	281	288
Notes:				
1). The equivalent value of trees being removed shall be paid to the City of Hollywood's tree trust fund for purchase of replacement trees. For the purposes of calculating replacement value, the City shall utilize the same standards as Broward County, as provided by the Broward County Department of Natural Resource Protection.				
2). 3 sabal palms are equal 1 tree.				
3). A tree removal / relocation permit will be required prior to board consideration. A bound and tree mitigation agreement will be required for trees proposed to be relocated prior to issuance of building permits.				



Foundation Planting Enlargement

SCALE: 1" = 5'



020'40'

CALL 48 HOURS BEFORE YOU DIG... IT'S THE LAW.
Know what's below.
Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

811

DATE
05/10/2017

PROJECT NUMBER
CSG17-05CBH

SHEET NUMBER
L-02

CHASE

CHASE BANK - STORE NO. 55203
SHERIDAN ST. & US HWY 1
HOLLYWOOD, FLORIDA 33020

LANDSCAPE PLAN

SCALE: AS NOTED
DESIGNED BY: PMC
DRAWN BY: CMB
CHECKED BY: PMC

LANDSCAPE ARCHITECT:
PATRICIA M. CASTELLANO, RLA
LICENSE NUMBER: 1687

REVISED PER CITY COMMENTS
NO. DATE BY

SimplyVerde

SV Landscape Architecture
829 38th Avenue North, St. Petersburg, FL 33704
727.521.7290
License Number: LC26000392

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - $146/50 = 3$ TREES

PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - $209/50 = 4$ TREES

PROVIDED: 5 EXISTING TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE.

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,084 SF X .25 = 3,771 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

PROVIDED: 1 TREE PER ISLAND AND 3,931 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PERVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY. MINIMUM OF ONE TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS.

REQUIRED: $7,664 \text{ SF} / 1000 \text{ SF} = 7 \text{ TREES}$ AND $7,664 \text{ SF} \times .25 = 1,916 \text{ SF}$

PROVIDED: 7 TREES AND 66% OF PERVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD)

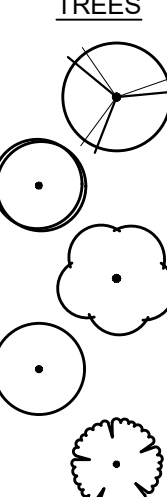

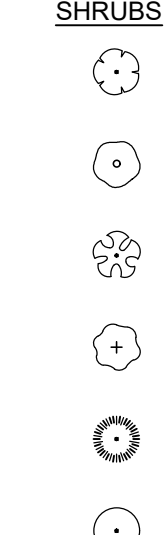
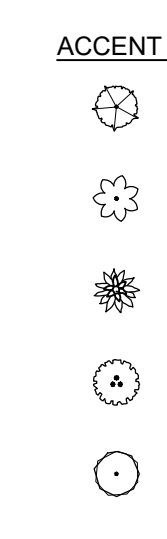
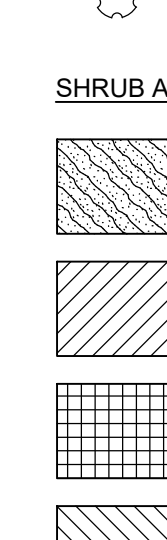
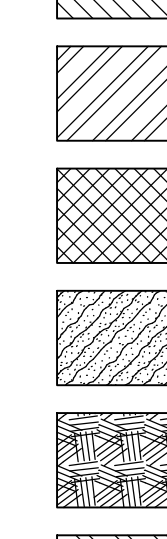
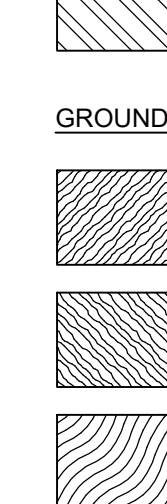
SPECIFICATIONS AND MINIMUM REQUIREMENTS

1. ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
2. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL.
3. THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:
REQUIRED: 11-20 TREES = 3 REQUIRED
PROVIDED: 6 SPECIES OF TREES AND PALMS
4. PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
5. ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12" IN HEIGHT.
6. A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.
REQUIRED: 19 X .60 = 11 TREES AND 561 X .50 = 281 SHRUBS
PROVIDED: 14 TREES AND 288 SHRUBS
7. A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES.
REQUIRED: 19 X .50 = 10 OR 20% = 4
PROVIDED: 4 RELOCATED FOXTAIL PALMS
8. THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR STAGGERED).
9. SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO LAY THE SOD.
10. GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
11. PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
12. AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCA OR EUCALYPTUS MULCH IS RECOMMENDED.
13. CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

1. LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
2. WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
3. PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
4. TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/2 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
5. ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABOUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
6. TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE REQUIREMENTS.
7. IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
8. APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT	
	BA	6	BULNESIA ARBOREA / VERAWOOD	FG., MIN. 16" HT., 4" CAL.	NO	HIGH	
	RCE	6	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	RELOCATED	YES	HIGH	
	RQV	1	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	RELOCATED	YES	HIGH	
	RTH	3	TABEBUIA HETEROPHYLLA / PINK TRUMPET TREE	RELOCATED	NO	HIGH	
	TH	5	TABEBUIA HETEROPHYLLA / PINK TRUMPET TREE	FG., MIN. 14" HT., 6" CAL.	NO	HIGH	
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT	
	RE	2	ROYSTONEA ELATA / FLORIDA ROYAL PALM	FG., MIN. 10' GW, MATCHED	YES	HIGH	
	RWB	4	WODYETIA BIFURCATA / FOXTAIL PALM	RELOCATED	NO	MEDIUM	
	VM	3	VEITCHIA MONTGOMERYANA / MONTGOMERY PALM	FG., MIN. 16" HT., MATCHED, STRAIGHT	NO	HIGH	
	WB	2	WODYETIA BIFURCATA / FOXTAIL PALM	FG., MIN. 10' GW, MATCHED	NO	MEDIUM	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	DE	2	DURANTA ERECTA 'GOLD MOUND' / GOLD MOUND DURANTA	3 GAL MIN, 18" X 18", FULL	AS SHOWN	NO	MEDIUM
	DT2	8	DIANELLA TASMANICA 'VARIEGATA' / VARIEGATED FLAX LILY	3 GAL., MIN. 16" X 16", FULL	AS SHOWN	NO	HIGH
	NG	3	NEOMARICA GRACILIS 'REGINA' / GIANT APOSTLE IRIS	3 GAL., MIN. 2' HT., FULL	AS SHOWN	NO	MEDIUM
	PA2	4	PLUMBAGO AURICULATA 'IMPERIAL BLUE' / IMPERIAL BLUE PLUMBAGO	3 GAL., MIN. 14" X 14", FULL	AS SHOWN	NO	HIGH
	PP	6	PENNISSETUM PURPUREUM 'VERTIGO' / BLACKLEAF MILLET	3 GAL., FULL	AS SHOWN	NO	MEDIUM
	PP	6	PENNISSETUM PURPUREUM 'VERTIGO' / BLACKLEAF MILLET	3 GAL., FULL	AS SHOWN	NO	MEDIUM
	PP	6	PENNISSETUM PURPUREUM 'VERTIGO' / BLACKLEAF MILLET	3 GAL., FULL	AS SHOWN	NO	MEDIUM
	PP	6	PENNISSETUM PURPUREUM 'VERTIGO' / BLACKLEAF MILLET	3 GAL., FULL	AS SHOWN	NO	MEDIUM
	PP	6	PENNISSETUM PURPUREUM 'VERTIGO' / BLACKLEAF MILLET	3 GAL., FULL	AS SHOWN	NO	MEDIUM
	PP	6	PENNISSETUM PURPUREUM 'VERTIGO' / BLACKLEAF MILLET	3 GAL., FULL	AS SHOWN	NO	MEDIUM
ACCENT SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	AP	2	ALOCASIA 'PORTORA' / PORTORA ELEPHANT EAR	15 GAL., MIN. 5' HT., FULL	AS SHOWN	NO	MEDIUM
	CA	1	CRINUM AUGUSTUM 'QUEEN EMMA' / QUEEN EMMA CRINUM	7 GAL., MIN. 36" X 24", UPRGHT	AS SHOWN	NO	MEDIUM
	HC	4	HELICONIA PSITTACORUM 'CHOCONIANA' / PARROT BEAK HELICONIA	7 GAL., MIN. 4' HT., FULL	AS SHOWN	NO	MEDIUM
	IS	3	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL HOLLY	30 GAL., MIN. 6' HT., FULL	AS SHOWN	NO	HIGH
	PM3	3	PODOCARPUS MACROPHYLLUS / PODOCARPUS	FG., MIN. 8' HT., FULL	AS SHOWN	NO	HIGH
	SN	1	STRELITZIA NICOLAI / WHITE BIRD OF PARADISE	10 GAL., MIN. 7' HT., 4 PPP, FULL	AS SHOWN	NO	MEDIUM
	SN	1	STRELITZIA NICOLAI / WHITE BIRD OF PARADISE	10 GAL., MIN. 7' HT., 4 PPP, FULL	AS SHOWN	NO	MEDIUM
	SN	1	STRELITZIA NICOLAI / WHITE BIRD OF PARADISE	10 GAL., MIN. 7' HT., 4 PPP, FULL	AS SHOWN	NO	MEDIUM
	SN	1	STRELITZIA NICOLAI / WHITE BIRD OF PARADISE	10 GAL., MIN. 7' HT., 4 PPP, FULL	AS SHOWN	NO	MEDIUM
	SN	1	STRELITZIA NICOLAI / WHITE BIRD OF PARADISE	10 GAL., MIN. 7' HT., 4 PPP, FULL	AS SHOWN	NO	MEDIUM
SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	CE	43	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	10 GAL., MIN. 42" HT., FULL	30" O.C.	YES	HIGH
	CI	138	CHRYSOBALANUS ICACO / COCO PLUM	7 GAL., MIN. 24" HT., FULL	30" O.C.	YES	HIGH
	DT	49	DIANELLA TASMANICA 'VARIEGATA' / VARIEGATED FLAX LILY	3 GAL., MIN. 16" X 16", FULL	30" O.C.	NO	HIGH
	FM	76	FICUS MICROCARPA 'GREEN ISLAND' / GREEN ISLAND FICUS	3 GAL., MIN. 12" X 12", FULL	24" O.C.	NO	HIGH
	MC	54	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	3 GAL., MIN. 18" X 18", FULL	24" O.C.	YES	HIGH
	PA	75	PLUMBAGO AURICULATA 'IMPERIAL BLUE' / IMPERIAL BLUE PLUMBAGO	3 GAL., MIN. 14" X 14", FULL	30" O.C.	NO	HIGH
	PM	26	PODOCARPUS MACROPHYLLUS / PODOCARPUS	7 GAL., MIN. 42" HT., FULL	30" O.C.	NO	HIGH
	PM2	10	PODOCARPUS MACROPHYLLUS / PODOCARPUS	15 GAL., MIN. 6' HT., FULL	30" O.C.	NO	HIGH
	ZP	49	ZAMIA PUMILA / COONTIE	3 GAL., MIN. 14"-16" X 14"-16", FULL	24" O.C.	YES	HIGH
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	AG	59	ARACHIS GLABRATA 'ECOTURF' / ECOTURF PERENNIAL PEANUT	1 GAL., FULL	18" O.C.	NO	MEDIUM
	EG	209	EVOLVULUS GLOMERATUS 'BLUE MY MIND' / BLUE MY MIND BLUE DAZE	1 GAL., FULL	18" O.C.	NO	MEDIUM
	TA	323	TRACHELOSPERMUM ASIATICUM 'MINIMA VARIEGATA' / VARIEGATED MINIMA ASIATIC JASMINE	1 GAL., FULL	18" O.C.	NO	YES

LANDSCAPE SPECIFICATION REQUIREMENTS:

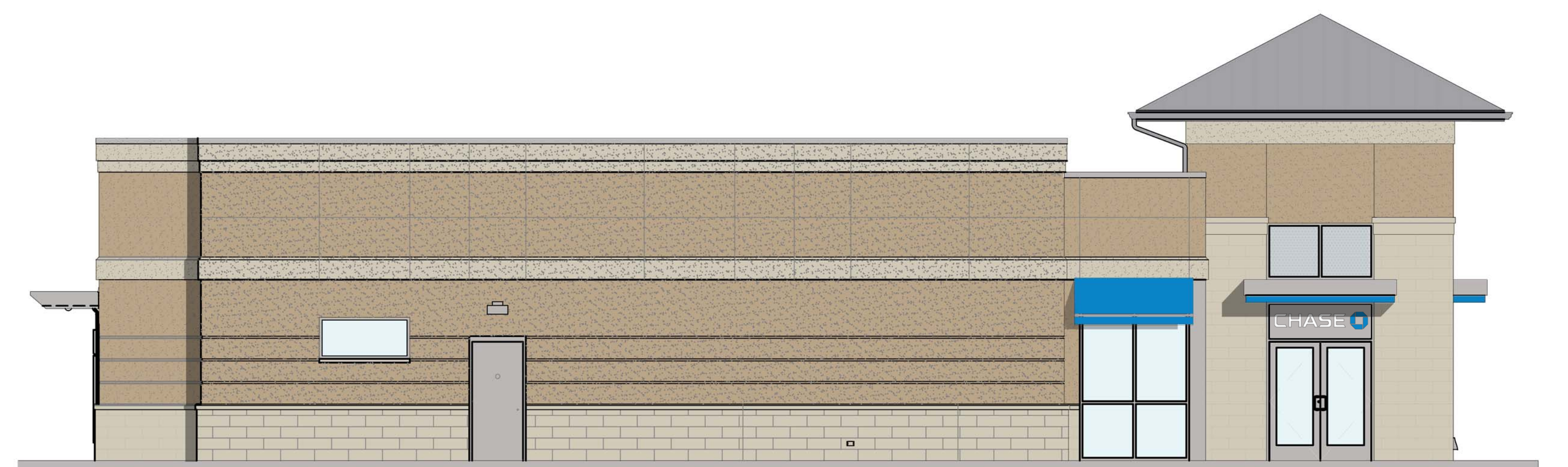
1. ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
2. ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL.
3. ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM.
4. ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES.
5. ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM 'FLORATAM').
6. PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.



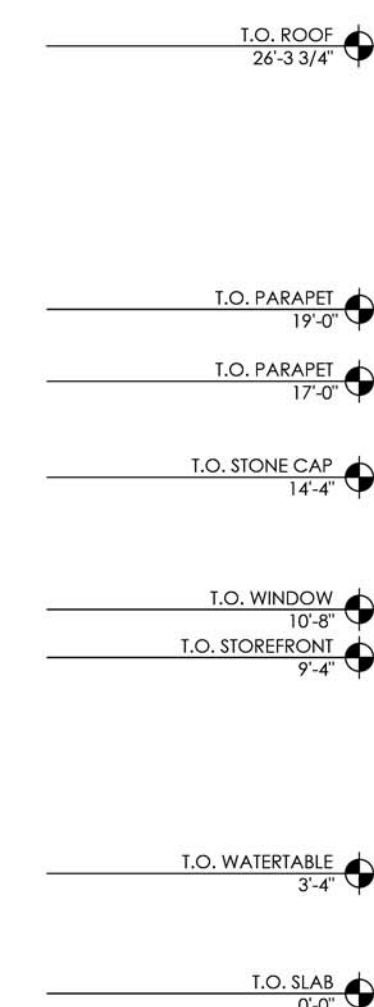
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

PAINT - EPT1
APPLICATION: EXTERIOR MATERIAL
COLOR: MATCH TO SHERWIN WILLIAMS
SW-7045 "INTELLECTUAL GRAY"

PAINT - EPT2
APPLICATION: EIFS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 "ACCESSIBLE BEIGE"

PAINT - EPT4
APPLICATION: EIFS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-6108 "LATTE"

ROOF
APPLICATION: BERRIDGE METAL ROOF
COLOR: ZINC GREY

MULLIONS
APPLICATION: EXTERIOR MATERIAL
COLOR: ANNOXIDIZED ALUMINUM

STONE - ST1
APPLICATION: SAVANNA STONE
COLOR: LIMESTONE #3

METAL
APPLICATION: CANOPY/TRIM
COLOR: BLUE

CHASE
SHERIDAN STREET &
FEDERAL HIGHWAY

PROPOSED EXTERIOR ELEVATIONS

JULY 7, 2017
SCALE: $\frac{3}{16}$ " = 1'-0"

110 N. 11TH ST.
SUITE 101,
TAMPA, FL 33602
Contact: James Lalli
jlalli@core-eng.com

CORE STATES
GROUP



WEST ELEVATION