PLANNING DIVISION



File No. (internal use only):

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471 Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

http://www.hollywoodfl.org/DocumentCenter/Home/View/21



APPLICATION TYPE (CHECK ONE):	
☐ Technical Advisory Committee	Historic Preservation Board
☐ City Commission ☐	Planning and Development Board
Date of Application:	
Location Address: Chase Bank - Young Circl	e. FL
Lot(s):Block(s):	
Folio Number(s): 5142 10 62 0010	
Zoning Classification: SS (in RAC) La	
Existing Property Use: Vacant	Sq Ft/Number of Units:
Is the request the result of a violation notice?()	
Has this property been presented to the City bet	ore? If yes, check al that apply and provide File
Number(s) and Resolution(s):	
☐ Economic Roundtable ☐ Technical Advisor	
☐ City Commission ☐ Planning and Dev	
Explanation of Request: Request for the construction	
and variances for drive-thru stacking (2) spaces; and (1) increase in max. parking count
Number of units/rooms:N/A	
Value of Improvement: \$\frac{\\$1,340,000.00}{}\$ Esti	mated Date of Completion:8/12/2018
Will Project be Phased? () Yes (^x)No	Phased, Estimated Completion of Each Phase
Name of Current Property Owner: Real Sub LI	
Address of Property Owner: 3300 Publix Corpo	rate Prky, Lakeland, FL 33811
Telephone: 800-242-1227 Fax:	Email Address:
Name Consultant/Representative/Tenant (circ	
Address: 110 N. 11th Street Ste. 101 Tampa,	
Fax: Email Address:zti	
Date of Purchase: 5/26/15 Is there an o	otion to purchase the Property? Yes () No (X)
If Yes, Attach Copy of the Contract.	the Hearings
List Anyone Else Who Should Receive Notice of	ss:
Addic	mail Address:



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at ww.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Real Sub LLC

Signature of Current Owner: By: William W Ranform	Date: 5-18- 2017
PRINT NAME: William W. Rayburn, Director of RIE Assets	Date: <u>5-18-2017</u>
Signature of Consultant/Representative: 3/houton	Date: <u>5/22/20</u> 17
PRINT NAME: Zach H. Thornton, P.E. (Core States Group)	Date: <u>5/22/20</u> F
Signature of Tenant:	Date:
PRINT NAME:	Date:

Current Owner Power of Attorney

I am the Director of Real Estate Assets for Real Sub, LLC, the current owner of the described real property and I am aware of the nature and effect the request for <u>Approval of JPMorgan Chase Bank's plans</u> to improve Real Sub, LLC's property, which is hereby made by me or I am hereby authorizing <u>Zach H. Thornton, P.E.</u>to be my legal representative before the <u>Planning and Development</u> (<u>Board</u> and/or Committee) relative to all matters concerning this application; provided: (1) such representative shall not have the authority to bind owner to any monetary or non-monetary obligations, or to in any way affect the zoning or land use of the property, (2) this power of attorney only applies to land folio #514210620010; and (3) owner reserves the right to revoke the power at any time upon written notice.

land use of the property, (2) this power of attorney only applies to land fol revoke the power at any time upon written notice.	io #514210620010; and (3) owner reserves the right t
Sworn to and subscribed before not this SH day of Would all this SH day	Real Sub, LLC By: William W. Rayburn, Director of Real Estate Assets Print Name
My Commission Expires:(Check One) Personally known to n	ne; OR Produced Identification



July 13, 2017

Ms. Alexandra Carcamo Principal Planner City of Hollywood, Florida 2600 Hollywood Blvd. Room 315 Hollywood, FL 33022

Dear Ms. Carcamo:

On behalf of JPMorgan Chase, N.A., Core States Group ("CSG") is providing the following letter in response to comments issued on June 19, 2017 regarding a new Chase Bank located at 1700 Sheridan Street, Hollywood, FL 33020.

The comments received are listed below followed by our response in bold letters.

A. APPLICATIONSUBMITTAL:

1. The cover sheet shall include the current meeting date. Leave space for future meeting dates (i.e. Preliminary TAC, Final TAC, Board meeting).

Response: Please refer to the revised Sheet C1, Cover Sheet, for the City Meeting Record table.

2. Work with the Engineering Department to ensure Survey is correct and consistent with the plat. ALTA Survey should be based on O&E and list all easements and/or dedications with O.R. or plat book(s) and page number(s). Work with Engineering Department to ensure the survey is accurate.

Response: CSG has coordinated with the engineering department to ensure the survey is accurate. Please note the survey was revised after the O&E dated within 30 days of initial submittal and list all easements and / or dedications with O.R. / Plat book and page number.

3. Site Plan shall include Legal Description and shall match O&E and Survey. Revise accordingly.

Response: Please refer to the revised Sheet C1, Cover Sheet, for updated legal description that now matches the O&E and survey. Please note the survey matches O&E in the previous submittal.



4. The square footage of the building is not consistent. Provide the actual square footage of the building and ensure it is the same on all documents including the general application, site plan, etc.

Response: Please refer to the revised Sheet C7, Site Plan, and the general application for the updated building area.

5. Drawings shall be fully dimensioned. Several dimensions are missing (i.e. landscape setback on west side, etc.).

Response: Please refer to the revised Sheet C7, Site Plan, for the updated site dimensions.

6. Indicate the location of mechanical equipment. Include a Roof Plan if located on the roof. If not, include note stating that all mechanical equipment shall be properly screened from public view.

Response: Please refer to the included roof plan and the revised Sheet C9, Utility Plan, for utility note 10 regarding screened equipment. Please note all mechanical equipment is to be located on the roof and screened by the parapet.

7. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

Response: Please refer to the attached colored rendering included behind the architectural colored elevations showing the landscaping along the western elevation. The City's Landscape Architect was consulted for the appropriate planting material.

8. Staff encourages Applicant to meet with surrounding civic associations, if any and adjacent homeowners. Please provide update with next submittal.

Response: CSG has reached out to Clay Milan and obtained the contact information for both the Liberia Neighborhood Civic Association and Hollywood Lakes civic association. CSG will attend one of the regularly scheduled, upcoming monthly meetings to discuss the project.

9. Provide written responses to all comments with next submittal.

Response: Comment acknowledged with this letter.

10. Additional comments may be forthcoming.

Response: Comment acknowledged.

B. **ZONING**

Alexandra Carcamo, Principal Planner 954-921-3471



1. Revise Site data to include the correct Land Use and Zoning, and the correct required and proposed Heights, setbacks, etc. Existing information shall be removed as this is a vacant parcel. Please reference Ordinance O-2016-22 as this area was rezoned.

Response: Please refer to the revised Sheet C7, Site Plan, for revised site data table for the above corrected information.

2. The proposed parking exceeds the maximum allowed in this zoning district. Revise Accordingly.

Response: Please refer to the revised Sheet C7, Site Plan, for the revised requested variance table. Please note that during the Preliminary TAC hearing, staff indicated that the proposed project may be alleviated from the maximum requirement based on it being in a master planned development. Please note the request for landscaping variance has been removed and one parking stall has been removed from the plans. The current plans show 24 proposed spaces, with a maximum of 23 per code. Based on the approved plans for the overall development, the site as a whole, was granted additional parking over which was required.

3. The calculations for required and proposed pervious and impervious areas are not clear. Required landscaping for paved vehicular use areas should be calculated as a percentage of the paved vehicular use area and not the lot area; and shall not include required parking lot setbacks, buffers, or parking overhangs. Variance requested may be eliminated once parking count is corrected and calculations are provided.

Response: Please refer to the revised Sheet C7, Site Plan, for the revised site data table.

4. Parking stalls shall be 8.5x18 feet long or 17 feet with a one foot grass overhang. Dimension stalls and revise as necessary. One foot overhang does not count towards landscape calculations.

Response: Please refer to the revised Sheet C7, Site Plan, for the revised parking stall dimensions and VUA Detail. No overhang was included in the VUA landscaping parking calculation. Please note the request for landscaping variance has been removed and parking space dimensions revised.

5. All terminal islands shall be a minimum of 190 square feet and have a length equal to that of the adjacent parking stall. Show dimensions for compliance.

Response: Please refer to the revised Sheet C7, Site Plan, for the updated terminal landscape islands to be a minimum of 190 SF.

6. Include note indicating provisions for recycling will be included.

Response: Please refer to the revised Sheet C7, Site Plan, for site note 12 regarding recycling services. Please note that per coordination with Public Works (Karen Arndt), the proposed project meets the recycling ordinance as the proposed recycling receptacles will be kept within the facility. Please note the banking facility does not allow any paper material waste to be disposed of in any garbage receptacle per Company standards (highly sensitive banking documentation) and the



remaining recyclable waste will be collected in bins and either appropriately disposed of by cleaning staff or rolled out in containers for collection.

7. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

Response: Please refer to the revised Sheet C9, Utility Plan, for the proposed garbage truck turn analysis. Access to the proposed trash enclosure is adequate per conversations with Public Works and Engineering Division and is indicated on the truck turning analysis.

8. Location of all utilities shall be coordinated with appropriate departments.

Response: Utility locations have been verified with James Rusnak and are accurately shown on the survey and plans.

9. Project is required to install electric vehicle charging station infrastructure, please see Ordinance 02016-02.

Response: Please refer to the revised Sheet C9, Utility Plan, for keynote "Z". Please note the infrastructure for a future electric vehicle charging station will be provided.

C. <u>ARCHITECTURE AND URBAN DESIGN</u> Alexandra Carcamo, Principal Planner 954-921-3471

1. Provide material samples and paint chips with next submittal.

Response: Please refer to the attached material samples and paint chips.

2. For the parking lot, consider using material with high albedo to limit absorption of sunlight and reduce urban heat island effect or consider using permeable paving material which reduces runoff and increase water penetration.

Response: Please refer to Sheet C7, Site Plan, for the revised parking lot which now includes concrete parking stalls to limit absorption of sunlight and reduce urban heat island effect.

Terrence Comiskey, Architect, 954-921-3930

1. No dumpster details were included for review. Need to incorporate recycling.

Response: Please refer to Sheet A0.3, Trash Enclosure, for the trash enclosure details. Please note that per coordination with Public Works (Karen Arndt), the proposed project meets the recycling ordinance as the proposed recycling receptacles will be kept within the facility. Please note the banking facility does not allow any paper material waste to be disposed of in any garbage receptacle per Company standards (highly sensitive banking documentation) and the remaining recyclable waste will be collected in bins and either appropriately disposed of by cleaning staff or rolled out in containers for collection.



2. How are they meeting the requirements of the City's Green Building Ordinance?

Response: Please refer to the revised Sheet C7, Site Plan, for the list of green ordinance practices proposed for this project.

D. LANDSCAPING

Dale Bryant, Landscape Architect 954-921-3997

1. No comments received.

Response: Per conversations with Dale Bryant, the Landscape Plans have been revised per City recommendations.

E. SIGNAGE

Alexandra Carcamo, Principal Planner 954-921-3471

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevation, dimensions on Site Plan, etc.

Response: Please refer to the attached signage package.

2. Include a note on plans that all signage will comply with Zoning and Land Development Regulations.

Response: Please refer to the revised Sheet C7, Site Plan, for site note 13 regarding signage compliance.

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Response: Comment acknowledged. Sheet C7, Site Plan, for site note 14 regarding electrically illuminated signs.

F. LIGHTING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential).

Response: Please refer to the revised Sheet C7, Site Plan, for site note 7 regarding site lighting.



G. GREEN BUILDING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. For next submittal list practices on Site Plan.

Response: Please refer to Sheet C7, Site Plan, for the list of green ordinance practices proposed for this project.

H. ENVIRONMENTAL SUSTAINABILITY

Lindsey Nieratka, Environmental Sustainability Coordinator, 954-921-3201

1. Make sure that you meet the requirements of the green building ordinance. Include some of the following suggestions as you meet those requirements.

Response: Please refer to Sheet C7, Site Plan, for the list of green ordinance practices proposed for this project.

2. Install daylight sensors in the office and make sure individual offices have occupant control over the lighting in order to save energy and encourage the use of daylight.

Response: Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

3. Install water efficient fixtures.

Response: Proposed project conforms.

4. The roof should meet Energy Star standards as a "cool roof".

Response: Proposed project conforms. See attached spec.

5. External lights should be energy efficient and also comply with International Dark Sky Association (IDA) standards.

Response: The exterior lighting conforms to item (Q) of Code section 151.152 as all outdoor lighting consists of LED lighting. Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

6. The project will have to install the infrastructure for car charging, Also install a car charger and dedicated space for charging.

Response: Please refer to the revised Sheet C9, Utility Plan, for keynote "Z".

7. Consider using permeable pavement or creating bioretention on site to manage storm water.



Response: Please refer to Sheet C7, Site Plan, for the revised parking lot which now includes concrete parking stalls to limit absorption of sunlight and reduce urban heat island effect. The concrete pavement is proposed to be installed in lieu of the permeable pavers. Please note that per the overall development, the Chase outparcel is required to constructed 450 LF of exfiltration trench which is included in the design of the stormwater system.

8. Consider the landscaping around the ATM and Drive up teller in terms of its function to absorb emissions from idling vehicles. Add additional landscaping for this purpose.

Response: No landscaping space is available due to the restrictions of the site. Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

9. Consider providing a "conspicuous display of green technology" as part of the development. This means that a green feature of the building should be prominently visible (e.g. car charger, rain barrel) or that there be signage describing less visible green features (e.g. a sign explaining energy efficiency features, sign showing NWF Habitat Certification).

Response: Please note the proposed project meets twelve (12) green building practices as listed on Sheet C7, Site Plan.

I. UTILITY

James Rusnak, Engineer 954-921-3302 Wilford Zephyr, Engineer 954-924-2985

- 1. No comments received.
- J. BUILDING

Philip Sauer, Chief Building Official 954-921-3025

- 1. No Comments received.
- K. ENGINEERING

Luis Lopez, City Engineer 954-921-3251 Clarissa lp, Engineering Support Services Manager 954-921-3915

1. Indicate the one outbound stacking space for the drive-thru ATM on plans.

Response: Please refer to the revised Sheet C7, Site Plan, for the outbound stacking location.

2. In the Queuing Analysis, Page 1 of the report states an average of 17.80 transactions per peak hour, the backup provided in the tables shows 534 for 6pm; please clarify.

Response: Per conversations with Clarissa, she acknowledged the 534 trips are based on one (1) month (534/30 day = 17.80).



3. Four inbound stacking spaces provided for the drive-thru ATM is two less than the six required by Code. A variance will be required. Queuing Analysis is pending clarification.

Response: Comment acknowledged.

4. All outside agency permits must be obtained prior to issuance of Building Permit.

Response: Comment acknowledged.

5. TAC approval will be contingent on the completion of the proposed traffic signal permitting with approval from all permitting agencies and a construction bond from Publix for the work.

Response: Comment acknowledged. Per the preliminary TAC hearing, this condition will be waived if Publix produces a copy of the FDOT performance bond for the roadway and signalization improvements.

6. Remove "Young Circle" as location from the plan set (title blocks and cover sheet).

Response: Please refer to all sheets for the revised site description.

L. FIRE

Janet A. Washburn, Fire Prevention Officer III 954-921-3263

This review is limited to water supply for firefighting purposed and fire dept. access. A full architectural review will be completed when the plan is submitted for building permit review.

1. On pg. C9, fire truck turn is shown. However, on the west side of the building, a minimum width of unobstructed access of 20' width is required per NFPA 1, chapter 18.2.3.4.1.1. Please show on one of the pages. Pg. C7 only shows a 15' width for the access.

Response: Please refer to the revised Sheet C9, Utility Plan, for the revised fire truck turn analysis. Please note that the truck turn analysis was revised to not show the fire truck traverse the 15' wide lane as it is not required for the fire access road. The fire access road as shown conforms to NFPA 1 standards and is within 150' of any portion of any exterior wall (18.2.3.2.2), and within 50' of any exterior doorway (per 18.2.3.2.1).

2. Our required turning radius is: 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior. Please show on the plan.

Response: Please refer to the revised Sheet C9, Utility Plan, for the revised fire truck turn analysis which does not require the vehicle to turn at the minimum allowed radii.

3. In order to determine the minimum fire flow requirements found in NFPA 1, 18.4.5.2, a fire flow test must be scheduled. Please call underground utilities to schedule at 954-921-3046. After the results are completed, show the calculations on the next submittal showing how the minimum



flow is achieved. If more fire hydrants are required as a result of that test, show them on the plan. Unable to locate any existing fire hydrants on the plans submitted.

Response: Please refer to the attached fire flow test and refer to keynote "H" as initially submitted. Please note there are two (2) existing hydrants adjacent to the site, one located at the northwest corner and one located at the southwest corner.

4. Additionally, no legend appears on pg. C9 for fire hydrants. If there are existing fire hydrants, Please show them on the plan.

Response: Please refer to the revised Sheet C9, Utility Plan, for the existing water structures legend and keynote "H" as initially submitted. Please note there are two (2) existing hydrants adjacent to the site, one located at the northwest corner and one located at the southwest corner.

M. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager 954-921-3271

1. Application is substantially compliant.

N. PARK, RECREATION AND CULTURAL ARTS

Eric Brown, Recreation Supervisor 954-921-3404 David Vazquez, Assistant Director 954-921-3404

1. Application is substantially compliant.

O. POLICE DEPARTMENT

Tracey Thomas, Police 954-967-4549 Doreen Avitabile, Police 954-967-4371

P. PUBLIC WORKS

Karen Arndt, Assistant Director 954-967-4264 Charles Lassiter, Environmental Services Supervisor 954-967-4207

Q. ECONOMIC DEVELOPMENT

Brian Rademacher, Corridor Redevelopment Manager 954-924-29221.

1. Application is substantially complaint.

R. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director 954-924-2980 Susan Goldberg, Deputy Director 954-924-2980

- 1. Not applicable.
- S. PARKING AND INTERGOVERNMENTAL AFFAIRS



Tamikia Bacon, Parking Operations Manager 954-921-3548 Harold King, Parking Administrator 954-921-3549

T. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner 954-921-3471

1. Additional comments may be forthcoming.

Should you need any further information or have any questions, please feel free to contact us at (813) 490-1755.

Sincerely,

Zach H. Thornton, P.E.

Civil Engineer

Core States Group

Hydrant Flow Test Procedure

Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow F1 & F2 simultaneously and record GPM separately from F1 and F2 and record P hydrant residual.

Legend:		
1	F1 & F2	Designation shall represent first and second flowed hydrants respectively
1	P	Designation shall represent test hydrant for static and residual distribution system pressures.

1700 Sheridan ST. (CoreState. Inc.)

Date: June 27 2017	Time: 8:05 AM	60
Residual/Static Hydrant	Address/Location	Residual Pressures
P - Hydrant		F-1 Only F-2 Only
FH003834	1780 Sheridan st	60 60
		F-1& F-2 59
Flow Hydrants	Address/Location	Flow Rate
F-1 Hydrant		GPM
(Individual) FHOO3635	1780 Sheridan st. sw entrace by Pollo	1130
F-2 Hydrant		GPM
(Individual) FH003634	1700 Sheridan St.	1160
F-1 Hydrant		GPM
(Both Flowing)		1100
F-2 Hydrant		GPM
(Both Flowing)		1130

SECTION 220700 - PLUMBING INSULATION

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Work Included: Perform all work necessary to complete the insulation of the mechanical systems, as shown on the Drawings and specified herein. The work shall include insulation for but not be limited to the following principal items.
 - 1. Piping.
 - 2. Equipment.
- B. Related Work Specified Elsewhere: 221000 Plumbing Piping.

1.2 JOB CONDITIONS

- A. Contractor shall refer to the Architectural plans for details and to the Mechanical Drawings for locations of ductwork, piping and equipment furnished under other sections of these Specifications.
- B. Each Contractor shall do all cutting and patching of building material required for installation work in his contract. No structural members shall be cut without the approval of the Architect and all cutting shall be done in a manner as directed by him.

1.3 GUARANTEE

A. Insulation Contractor shall guarantee and shall require guarantee from all manufactures furnishing materials, that materials and installation comply with all the requirements of the drawings and specifications.

1.4 PROTECTION

A. Protect insulation against dirt, water, chemical or mechanical damage before, during and after installation. Any such insulation or covering prior to final acceptance of the work shall be satisfactorily repaired or replace at no additional cost to the Owner.

1.5 SUBMITTALS

A. Product Data: For each type of product indicated.

1.6 QUALITY ASSURANCE

- A. Conform to the following characteristics for insulation including facings, cements, and adhesives, when tested according to ASTM E 84, by UL or other testing or inspecting organization acceptable to the authority having jurisdiction. Label insulation with appropriate markings of testing laboratory.
- B. Interior Insulation: Flame spread rating of 25 or less and a smoke developed rating of 50 or less.
- C. Exterior Insulation: Flame spread rating of 75 or less and a smoke developed rating of 150 or less.

PART 2 - PRODUCTS

2.1 INSULATION MATERIALS

- A. Provide insulation materials of manufacture and type as listed below, or approval equal.
 - 1. Glass Fiber Insulation: Inorganic glass fibers, bonded with a thermosetting resin.
 - a. Jacket: All-purpose, factory-applied, laminated glass-fiber-reinforced, flame-retardant kraft paper and aluminum foil having self-sealing lap.
 - b. Board: ASTM C 612, Class 2, semi-rigid jacketed board.
 - 1) Thermal Conductivity: 0.26 average maximum, at 75 deg F mean temperature.
 - 2) Density: 12 pcf average maximum.
 - c. Blanket: ASTM C 553, Type II, Class F-1, jacketed flexible blankets.
 - 1) Thermal Conductivity: 0.32 average maximum, at 75 deg F mean temperature.
 - d. Preformed Pipe Insulation: ASTM C 547, Class 1, rigid pipe insulation, jacketed.
 - 1) Thermal Conductivity: 0.26 average maximum at 75 deg F mean temperature.
 - 2) Density: 10 average maximum.
 - e. Adhesive: Produced under the UL Classification and Follow-up service.

SECTION 220700 – PLUMBING INSULATION

- Lagging Adhesive: MIL-A-3316C, non-flammable adhesive in the following Classes and Grades:
 - Class 1, Grade A for bonding glass cloth and tape to unfaced glass fiber insulation, sealing edges of glass fiber insulation, and bonding lagging cloth to unfaced glass fiber insulation.
 - b) Class 2, Grade A for bonding glass fiber insulation to metal surfaces.
- 2) Service Temperature Range: Minus 20 to 180 deg F.
- Vapor Barrier Coating: Waterproof coating recommended by insulation manufacturer for outside service.
- 2. Flexible Elastomeric Cellular Insulation: Flexible expanded closed-cell structure with smooth skin on both sides.
 - a. Tubular Materials: ASTM C 534, Type I.
 - b. Sheet Materials: ASTM C 534, Type II.
 - c. Thermal Conductivity: 0.30 average maximum at 75 deg F.
 - d. Coating: Water based latex enamel coating recommended by insulation manufacturer.
 - e. Adhesive: Solvent-based, contact adhesive recommended by insulation manufacturer.
- 3. Jackets: ASTM C 921, Type 1, except as otherwise indicated.
 - Foil and Paper Jacket: Laminated glass-fiber-reinforced, flame-retardant kraft paper and aluminum foil.
 - 1) Water Vapor Permeance: 0.02 perm maximum, when tested according to ASTM E 96.
 - 2) Puncture Resistance: 50 beach units minimum, when tested according to ASTM D 781.
 - b. PVC Jacketing: High-impact, ultra-violet-resistant PVC, 20-mils thick, roll stock ready for shop or field cutting and forming to indicated sizes.
 - 1) Adhesive: As recommended by insulation manufacturer.
 - c. PVC Fitting Covers: Factory-fabricated fitting covers manufactured from 20-mil-thick, high-impact, ultra-violet-resistant PVC.
 - 1) Adhesive: As recommended by insulation manufacturer.
- 4. Accessories and Attachments: Provide the following accessories:
 - a. Glass Cloth and Tape: Woven glass fiber fabrics, plain weave, presized a minimum of 8 ounces per sq. yd.
 - 1) Tape Width: 4 inches.
 - 2) Cloth Standard: MIL-C-20079H, Type I.
 - 3) Tape Standard: MIL-C-20079H, Type II.
 - b. Bands: 3/4-inch wide, in one of the following materials compatible with jacket:
 - 1) Stainless Steel: Type 304, 0.020 inch thick.
 - 2) Galvanized Steel: 0.005 inch thick.
 - 3) Aluminum: 0.007 inch thick.
 - Wire: 14-gage nickel copper alloy, 16-gage, soft-annealed stainless steel, or 16-gage, softannealed galvanized steel.
 - d. Corner Angles: 28-gage, 1-inch by 1-inch aluminum, adhered to 2-inch by 2-inch kraft paper.
 - e. Anchor Pins: Capable of supporting 20 pounds each. Provide anchor pins and speed washers of sizes and diameters as recommended by the manufacturer for insulation type and thickness.
- 5. Vapor Barrier Compound: Water-based, fire-resistive composition.
 - a. Water Vapor Permeance: 0.08 perm maximum.
 - b. Temperature Range: Minus 20 to 180 deg F.
- 6. Weatherproof Sealant: Flexible-elastomer-based, vapor-barrier sealant designed to seal metal joints.
 - a. Water Vapor Permeance: 0.02 perm maximum.
 - b. Temperature Range: Minus 50 to 250 deg F.
 - c. Color: Aluminum.

PART 3 - EXECUTION

3.1 INSTALLATION STANDARDS

A. Workmanship: Insulation shall be installed in first-class, neat, workmanlike fashion. Stapling of vapor-barrier jackets will not be allowed. Vapor-barrier and canvas shall run continuously through hangers

220700-2 03/07/2017

SECTION 220700 - PLUMBING INSULATION

and vapor-barrier shall not be pierced for any reason. ASME stamps, UL labels and similar stamps and labels shall not be covered. Unsatisfactory installations will be rejected and shall be removed and replaced.

- B. Pipe covering: Insulate piping as specified below. At hanger points of piping insulation with glass fiber, provide wood blocks as specified.
- C. Installation, General: Refer to schedules at the end of this Section for materials, forms, jackets, and thicknesses required for each mechanical system.
 - 1. Select accessories compatible with materials suitable for the service. Select accessories that do not corrode, soften, or otherwise attack the insulation or jacket in either the wet or dry state.
 - 2. Install vapor barriers on insulated pipes, ducts, and equipment having surface operating temperatures below 60 deg F.
 - 3. Apply insulation material, accessories, and finishes according to the manufacturer's printed instructions.
 - 4. Install insulation with smooth, straight, and even surfaces.
 - 5. Seal joints and seams to maintain vapor barrier on insulation requiring a vapor barrier.
 - Seal penetrations for hangers, supports, anchors, and other projections in insulation requiring a vapor barrier.
 - 7. Seal Ends: Except for flexible elastomeric insulation, taper ends at 45 degree angle and seal with lagging adhesive. Cut ends of flexible elastomeric cellular insulation square and seal with adhesive
 - 8. Apply adhesives and coatings at manufacturer's recommended coverage-per-gallon rate.
 - 9. Keep insulation materials dry during application and finishing.
 - 10. Items Not Insulated: Unless otherwise indicated do not apply insulation to the following systems, materials, and equipment:
 - a. Nameplates and data plates.
 - b. Access panels and doors in air distribution systems.
 - c. Fire protection piping systems.
 - d. Sanitary drainage and vent piping.
 - e. Drainage piping located in crawl spaces, unless indicated otherwise.
 - f. Below grade piping.
 - g. Chrome-plated pipes and fittings, except for plumbing fixtures for the disabled.
 - h. Piping specialties including air chambers, unions, strainers, check valves, plug valves, and flow regulators.
- D. Pipe Insulation Installation, General: Unless otherwise indicated, install pipe insulation as follows:
 - 1. Tightly butt longitudinal seams and end joints. Bond with adhesive.
 - 2. Stagger joints on double layers of insulation.
 - 3. Apply insulation continuously over fittings, valves, and specialties, except as otherwise indicated.
 - 4. Apply insulation with a minimum number of joints.
 - 5. Apply insulation with integral jackets as follows:
 - a. Pull jacket tight and smooth.
 - b. Cover circumferential joints with butt strips, at least 3-inches wide, and of same material as insulation jacket. Secure with adhesive and outward clinching staples along both edges of butt strip and space 4 inches on center.
 - c. Longitudinal Seams: Overlap seams at least 1-1/2 inches. Apply insulation with longitudinal seams at bottom of pipe. Clean and dry surface to receive self-sealing lap. Staple laps with outward clinching staples along edge at 4 inches on center.
 - 1) Exception: Do not staple longitudinal laps on insulation applied to piping systems with surface temperatures at or below 35 deg F.
 - Vapor Barrier Coatings: Where vapor barriers are indicated, apply on seams and joints, over staples, and at ends butt to flanges, unions, valves, and fittings.
 - e. At penetrations in jackets for thermometers and pressure gages, fill and seal voids with vapor barrier coating.
 - f. Repair damaged insulation jackets, except metal jackets, by applying jacket material around damaged jacket. Adhere, staple, and seal. Extend patch at least 2 inches in both directions beyond damaged insulation jacket and around the entire circumference of the pipe.
 - 6. Roof Penetrations: Apply insulation for interior applications to a point even with the top of the roof flashing. Seal with vapor barrier coating. Apply insulation for exterior applications butted tightly to

SECTION 220700 - PLUMBING INSULATION

- interior insulation ends. Extend metal jacket for exterior insulation outside roof flashing at least 2 inches below top of roof flashing. Seal metal jacket to roof flashing with vapor barrier coating.
- 7. Exterior Wall Penetrations: For penetrations of below grade exterior walls, terminate insulation flush with mechanical sleeve seal. Seal terminations with vapor barrier coating.
- 8. Exterior Wall Penetrations: For penetrations of below grade exterior walls, extend metal jacket for exterior insulation through penetration to a point 2 inches from interior surface of wall inside the building. Seal ends of metal jacket with vapor barrier coating. Secure metal jacket ends with metal band. At point where insulation metal jacket contacts mechanical sleeve seal, insert cellular glass preformed pipe insulation to allow sleeve seal tightening against metal jacket. Tighten and seal sleeve to jacket to form a watertight seal.
- 9. Interior Walls and Partitions Penetrations: Apply insulation continuously through walls and partitions, except fire-rated walls and partitions. Apply an aluminum jacket with factory-applied moisture barrier over insulation. Extend 2 inches from both surfaces of wall or partition. Secure aluminum jacket with metal bands at both ends. Seal ends of jacket with vapor barrier coating. Seal around penetration with joint sealer. Refer to Division 7 Section "Joint Sealants."
- 10. Fire-Rated Walls and Partitions Penetrations: Terminate insulation at penetrations through fire-rated walls and partitions. Seal insulation ends with vapor barrier coating. Seal around penetration with firestopping or fire-resistant joint sealer. Refer to Division 7 for firestopping and fire-resistant joint sealers.
- 11. Floor Penetrations: Terminate insulation underside of floor assembly and at floor support at top of floor.
- 12. Flanges, Fittings, and Valves Interior Exposed and Concealed: Coat pipe insulation ends with vapor barrier coating. Apply premolded, precut, or field-fabricated segments of insulation around flanges, unions, valves, and fittings. Make joints tight. Bond with adhesive.
 - a. Use same material and thickness as adjacent pipe insulation.
 - b. Overlap nesting insulation by 2 inches or 1-pipe diameter, which ever is greater.
 - c. Apply materials with adhesive, fill voids with mineral fiber insulating cement. Secure with wire or tape.
 - d. Insulate elbows and tees smaller than 3-inches pipe size with premolded insulation.
 - Insulate elbows and tees 3 inches and larger with premolded insulation or insulation material segments. Use at least 3 segments for each elbow.
 - f. Cover insulation, except for metal jacketed insulation, with PVC fitting covers and seal circumferential joints with butt strips.
 - g. Cover insulation, except for metal jacketed insulation, with 2 layers of lagging adhesive to a minimum thickness of 1/16 inch. Install glass cloth between layers. Overlap adjacent insulation by 2 inches in both directions from joint with glass cloth and lagging adhesive.
- 13. Hangers and Anchors: Apply insulation continuously through hangers and around anchor attachments. Install saddles, shields, and inserts as specified in Division 15 Section "Supports and Anchors." For cold surface piping, extend insulation on anchor legs a minimum of 12 inches and taper and seal insulation ends.
 - a. Inserts and Shields: Cover hanger inserts and shields with jacket material matching adjacent pipe insulation.
- E. Glass Fiber Pipe Insulation Installation: Bond insulation to pipe with lagging adhesive. Seal exposed ends with lagging adhesive. Seal seams and joints with vapor barrier compound.
- F. Flexible Elastomeric Cellular Pipe Insulation Installation: Slip insulation on the pipe before making connections wherever possible. Seal joints with adhesive. Where the slip-on technique is not possible, cut one side longitudinally and apply to the pipe. Seal seams and joints with adhesive.
 - 1. Valves, Fittings, and Flanges: Cut insulation segments from pipe or sheet insulation. Bond to valve, fitting, and flange and seal joints with adhesive.
 - a. Miter cut materials to cover soldered elbows and tees.
 - b. Fabricate sleeve-fitting covers from flexible elastomeric cellular insulation for screwed valves, fittings, and specialties. Miter cut materials. Overlap adjoining pipe insulation.
- G. Equipment Insulation Installation, General: Unless otherwise indicated install equipment insulation as follows:
 - Install board and block materials with a minimum dimension of 12 inches and a maximum dimension of 48 inches.

SECTION 220700 - PLUMBING INSULATION

- 2. Groove and score insulation materials as required to fit as closely as possible to the equipment and to fit contours of equipment. Stagger end joints.
- 3. Insulation Thicknesses Greater than 2 Inches: Install insulation in multiple layers with staggered joints.
- 4. Bevel insulation edges for cylindrical surfaces for tight joint.
- 5. Secure sections of insulation in place with wire or bands spaced at 9-inch centers, except for flexible elastomeric cellular insulation.
- 6. Protect exposed corners with corner angles under wires and bands.
- 7. Manholes, Handholes, and Information Plates: Bevel and seal insulation ends around manholes, handholes, ASME stamps, and nameplates.
- 8. Removable Insulation: Install insulation on components that require periodic inspecting, cleaning, and repairing for easy removal and replacement without damage to adjacent insulation.
- 9. Pumps: Where insulation is indicated, fabricate galvanized steel boxes lined with insulation. Fit boxes around pumps and coincide joints in box with the splits in the pump casings. Fabricate joints with outward bolted flanges.
- 10. Finishing: Except for flexible elastomeric cellular insulation, apply 2 coats of vapor barrier compound to a minimum thickness of 1/16 inch. Install a layer of glass cloth embedded between layers.
- H. Glass Fiber Equipment Insulation Installation: Secure insulation with anchor pins and speed washers. Space anchors at maximum intervals of 18 inches in both directions and not more than 3 inches from edges and joints. Apply a smoothing coat of insulating and finishing cement to finished insulation.
- I. Flexible Elastomeric Cellular Equipment Insulation Installation: Install sheets of the largest manageable size. Apply full coverage of adhesive to the surfaces of the equipment and to the insulation. Butt insulation joints firmly together and apply adhesive to insulation edges at joints.
- J. Jackets: Unless otherwise indicated, install jackets as follows:
 - 1. Foil and Paper Jackets (FP): Install jackets drawn tight. Install lap or butt strips at joints with material same as jacket. Secure with adhesive. Install jackets with 1-1/2-inch laps at longitudinal joints and 3-inch-wide butt strips at end joints.
 - Seal openings, punctures, and breaks in vapor barrier jackets and exposed insulation with vapor barrier compound.
 - 2. Interior Exposed Insulation: Install continuous PVC jackets.
 - 3. Interior Exposed Insulation: Install continuous glass cloth jackets.
 - 4. Exterior Exposed Insulation: Install continuous PVC jackets and seal all joints and seams with waterproof sealant.
 - 5. Install the PVC jacket with 1-inch overlap at longitudinal and butt joints and seal with adhesive.
 - 6. Install glass cloth jacket directly over insulation. On insulation with a factory applied jacket, install the glass cloth jacket over the factory applied jacket. Install jacket drawn smooth and tight with a 2-inch overlap at joints. Embed glass cloth between (2) 1/16-inch-thick coats of lagging adhesive. Completely encapsulate the insulation with the jacket, leaving no exposed raw insulation.
- K. Finishes: Paint finished insulation as specified in Division 9 Section "Painting."
- L. Flexible Elastomeric Cellular Insulation: After adhesive has fully cured, apply 2 coats of protective coating to exposed insulation.
- M. Applications: Materials and thicknesses are specified in schedules at the end of this Section.
 - 1. Interior, Exposed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.
 - Storm water. Insulate only roof drain bodies and horizontal rainwater leaders of storm water piping.
 - c. Domestic hot water.
 - d. Sanitary drains for fixtures accessible to the disabled.
 - e. Refrigerant suction.
 - Interior, Concealed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.

SECTION 220700 - PLUMBING INSULATION

- Storm water. Insulate only roof drain bodies and horizontal rainwater leaders of storm water piping.
- c. Domestic hot water.
- d. Refrigerant suction.
- e. Chilled water (35 to 55 deg F).
- Exterior, Exposed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.
 - b. Storm water.
 - c. Refrigerant suction.
- 4. Exterior, Concealed Piping Systems: Unless otherwise indicated, insulate the following piping systems:
 - a. Domestic cold water.
 - b. Storm water.
 - c. Refrigerant suction.
- 5. Equipment: Unless otherwise indicated, insulate the following indoor equipment:
 - a. Domestic cold water equipment, tanks, and pumps.
 - b. Domestic hot water equipment, tanks, and water heaters.
 - c. Refrigerated drinking water equipment, tanks, pumps, and heat exchangers.
- 6. Duct Systems: Unless otherwise indicated, insulate the following duct systems:
 - a. Interior concealed supply, return and outside air ductwork.
 - b. Interior exposed supply, return and outside air ductwork.
 - c. Exterior exposed supply and return ductwork.
 - d. Interior exposed and concealed supply fans, air handling unit casings and outside air plenums.
- N. Pipe Insulation Schedules: Abbreviations used in the following schedules include:
 - 1. Field-Applied Jackets: P PVC, K Foil and Paper.
 - 2. Pipe Sizes: NPS Nominal Pipe Size.
- O. Domestic Cold Water and Storm Water All Sizes (Interior): 1/2-inch-thick glass fiber, cellular glass, or flexible elastomeric insulation. Field-applied jacket is not required.

INTERIOR DOMESTIC HOT WATER

PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1/2 TO 1-1/4	GLASS FIBER	1/2	NO	NONE
	FLEXIBLE ELASTOMERIC	1/2	NO	NONE
1-1/2 TO 4	GLASS FIBER	1/2	NO	NONE
	FLEXIBLE ELASTOMERIC	3/4	NO	NONE

SANITARY DRAINS AND TRAPS EXPOSED AT FIXTURES FOR DISABLED

PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1 TO 1-1/2	GLASS FIBER	1	NO	NONE
	FLEXIBLE ELASTOMERIC	1/2	NO	NONE

220700-6 03/07/2017

SECTION 220700 - PLUMBING INSULATION

PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1/2 TO 1-1/4	GLASS FIBER FLEXIBLE ELASTOMERIC	1 3/4	YES YES	NONE NONE
EXTERIOR REFRIGERANT SUCTION - EXPOSED AND CONCEALED				
PIPE SIZES (NPS)	MATERIALS	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
1/2 TO 1-1/4	GLASS FIBER FLEXIBLE ELASTOMERIC	2 3/4	YES YES	(P) NONE

P. Equipment Insulation Schedules:

INTERIOR EXPOSED DOMESTIC COLD WATER EQUIPMENT, TANKS, AND PUMPS

MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK OR BOARD	1	YES	(P)(K)
FLEXIBLE ELASTOMERIC	SHEET	3/4	YES	NONE

INTERIOR EXPOSED DOMESTIC HOT WATER EQUIPMENT, TANKS, AND PUMPS

MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK	2	NO	(K)
MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK	2	YES	(P)

INTERIOR EXPOSED HEATING WATER EQUIP, TANKS, PUMPS, AND HEAT EXCHANGERS (100 TO 250 DEG F)

MATERIAL	FORM	THICKNESS IN INCHES	VAPOR BARRIER REQ'D	FIELD- APPLIED JACKET
GLASS FIBER	BLOCK OR BOARD	2	NO	(K)

END OF SECTION

220700-7 03/07/2017

EverGuard® TPO 60 mil Membrane

Applicable Standards

UL Listed, FM Approved, Miami-Dade County Approved, Florida Building Code Approved, CRRC Listed, Title 24 Compliant*, ENERGY STAR $^{\circ}$ Qualified**, ASTM D6878.

Physical Properties	ASTM Test Method	ASTM D6878 Minimum	EverGuard [®] Typical Test Data
1. Certain data is provided in M 2. Data is based upon typical pro	D (machine direction) x CMD (cross machine direction) to contract the contract of the contract	on) format acturing tolerance and variance	
Nominal Thickness	ASTM D751	0 039" (min.) (0 99 mm)	0.060" (1.52 mm)
Breaking Strength	ASTM D751 Grab Method	220 lbf/in_(38.5 kn/m)	305 lbf x 290 lbf (454 x 432 kg/m)
Factory Seam Strength	ASTM D751	66 lbf (98,34 kg/m)	135 lbf (membrane failure) (201,1 kg/m
Elongation at Break	ASTM D751	15%	30%
Heat Aging	ASTM D573	90% Retention of Breaking Strength and Elongation at Break	100%
Tear Strength	ASTM D751 8" x 8" (203 x 203 mm) Sample	55 lbf (81.95 kg/m)	75 lbf x 130 lbf (111.8 x 193.7 kg/m)
Puncture Resistance	FTM 101C Method 2031	Not Established	380 lbs. (172 kg)
Cold Brittleness	ASTM D2137	-40°C	-40°C
Permeance	ASTM E96	Not Established	O_O8 Perms
Dimensional Change	ASTM D1204 @158°F (70°C), 6 hrs.	+/-1%	0.4%
Water Absorption	ASTM D471 @158°F (70°C), 1 week	+/-3_0% (top coating only)	0.7%
Hydrostatic Resistance	ASTM D751 Method D	Not Established	430 psi
Ozone Resistance	ASTM D1149	No visible deterioration @ 7 x magnification	No visible deterioration @ 7 x magnification
Reflectivity (white) Initial/Aged	ASTM C1549	N/A	0.76/0.68
Emissivity (white) Initial/Aged	ASTM C1371	N/A	0.90/0.83
Weather Resistance	ASTM G155/D6878	10,080 KJ/(m² = nm) at 340 nm	>25,000 KJ/(m² nm) at 340 nm
Heat Aging	ASTM D573	240°F (115°C) for 32 weeks	60 weeks
Thickness Above Scrim	ASTM D7635	Min 30% of Total Thickness	22.1 mil (Nominal)
Guarantee			
Up to 25 years			

^{*}White, Energy Gray, and Energy Tan Membranes Only

Product Data

Roll Size	Note: Product sizes, dimensions, and widths are nominal values and are subject to normal manufacturing/packaging tolerance and variation.					
	Colors	Full Size Roll	Full Roll Weight	Half Roll Size	Half Roll Weight	
	White, Tan, Gray, Energy Tan, Energy Gray	10' x 100' (3.05 x 30.5 m) (1,000 sq. ft. [92.9 sq.m]]	322 lbs. (146 kg)	5' x 100' (1.52 x 30,5 m) (500 sq. ft. [46,5 sq.m])	162 lbs. (73.5 kg)	
		8' x 100' (2.44 x 30.5 m) (800 sq. ft. [74.3 sq.m])	257 lbs. (117 kg)	4' x 100' {1.21 x 30.5 m} {400 sq. ft. [37.1 sq.m]}	128.8 lbs. (58.4 kg)	
	Note: Membrane rolls shipped horizontally on pallets, stacked pyramid-style and banded.					
Storage	Store rolls on their sides on pallets or shelving in a dry area.					
Safety Warning	Membrane rolls are heavy. Position and install by at least two people.					



^{**}ENERGY STAR*only valid in the USA

SECTION 088000 - GLAZING

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Work included: The Contractor shall furnish and install all glass and glazing work shown, noted or indicated on the drawings and/or specified herein and not specified as a part of other Sections, including all materials, labor, equipment and services necessary for the provision and proper installation of the work required. The work of this section includes, but is not limited to:
 - Glass.
 - a. Building fenestration
 - b. Interior partitions
 - 2. Specialty glass products.
 - a. Glass partition systems, including rails, channels, clips and miscellaneous mounting and finish hardware.
 - b. Decorative applique films.
 - 3. Glass door hardware.
 - 4. Glazing sealants.
 - 5. Glazing gaskets and tapes.
 - Miscellaneous glazing materials.
- B. Work excluded: The contractor shall refer to the specifications and other resources for information relative to conditions, which may affect his work.

1.2 RELATED SECTIONS

- A. 013564 Green Requirement Summary
- B. 017800 Closeout Submittals
- C. 062000 Finish Carpentry
- D. 079200 Joint Sealants
- E. 087100 Door Hardware
- F. 084113 Aluminum-Framed Entrances and Storefronts
- G. 088700 Window Film

1.3 REFERENCES

- A. American National Standards Institute (ANSI); latest edition unless otherwise noted
 - 1. ANSI Z97.1: American National Standard for Safety Glazing Materials Used in Buildings, Safety Performance Specifications and Methods of Test.
- B. American Architectural Manufacturers Association, latest edition unless otherwise noted
 - 1. AAMA CW-10: Care and Handling of Architectural Aluminum From Shop to Site; American Architectural Manufacturers Association.
- C. American Society for Testing and Materials International (ASTM); latest edition unless otherwise noted
 - 1. ASTM C 1036: Standard Specification for Flat Glass.
 - 2. ASTM C1048: Standard Specification for Heat-Treated Flat Glass--Kind HS, Kind FT Coated and Uncoated Glass.
 - 3. ASTM E773: Standard Test Method for Accelerated Weathering of Sealed Insulating Glass Units.
 - 4. ASTM E774: Standard Specification for the Classification of the Durability of Sealed Insulating Glass Units.
 - 5. ASTM E1300: Standard Practice for Determining Load Resistance of Glass in Buildings.
- D. U.S. Consumer Product Safety Commission (CPSC)
 - 1. 16CFR 1201: Safety Standard for Architectural Glazing Materials.
- E. Glass Association of North America (GANA); latest edition unless otherwise noted
 - 1. GANA GM: Glazing Manual; Glass Association of North America.

088000-1 07/13/2017

SECTION 088000 - GLAZING

- GANA SM: FGMA Sealant Manual.
- 3. GANA #89-1-6, Section 4.1: Specification for Environmental Durability of Fully Tempered or Heat-Strengthened Spandrel Glass with Applied Opacifiers.

1.4 SUBMITTALS

- A. See Section 013000 for submittal procedures.
- B. Submit the following to Architect of Record for review and approval
 - 1. Manufacturer's product data sheets including construction details, material descriptions, dimensions of individual components and profiles, hardware, finishes, and installation instructions for each type of glass and glazing system indicated.
 - 2. Shop drawings of interior glass partitions including plans, elevations, sections, details, hardware, and attachments to other work, operational clearances and installation details.
 - 3. Shop drawings of custom-fabricated and finished metal glazing clips, including dimensions, base and finish materials, and standard finish designations.
 - 4. Material samples, two of each type
 - a. Glass, 12"x12" including sealed insulating units.
 - b. Glazing rail, channel and similar material, 6" length each, including one end cap with each sample, with finish as indicated in the construction drawings.
 - c. Glazing gaskets, spacers and similar accessories, 6" length.
 - 5. Manufacturer's certificates for each material indicating that the products supplied meet or exceed the specified requirements.
 - 6. Jurisdictional approvals as applicable

C. Closeout submittals

- 1. Report of field testing for water leakage.
- 2. Manufacturer's warranty with forms completed in Owner's name and registered with manufacturer.

1.5 SYSTEM PERFORMANCE REQUIREMENTS

- A. Installed glazing systems shall withstand normal thermal movement and wind and impact loads (where applicable) without failure, including loss or glass breakage attributable to the following: defective manufacture, fabrication, or installation; failure of sealants or gaskets to remain watertight and airtight; deterioration of glazing materials; or other defects in construction.
- B. Glass units and freestanding glass support systems, including comprehensive engineering analysis according to ASTM E 1300, shall be designed by a qualified professional engineer, using the following design loading criteria
 - 1. Design wind pressures and seismic loading as determined by authorities having jurisdiction.
 - 2. Maximum center-of-glass lateral deflection units supported on all four edges shall be limited to 1/200 times the short-side length or the flexure limit of the glass, whichever is less.
 - 3. Design glass to resist thermal stresses induced by differential shading within individual glass lites.
 - 4. Allow for thermal movements from ambient and surface temperature changes acting on glass framing members and glazing components.

1.6 QUALITY ASSURANCE

- A. Installer Qualifications: Company specializing in performing the work of this section at other projects of similar size and scope with minimum 5 years documented experience.
- B. Installer shall have has had successful experience with installation of the same or similar units required for the project.
- C. Manufacturer shall be capable of fabricating glazing units that meet or exceed performance requirements indicated and of documenting this performance by inclusion of test reports and calculations.
- D. Obtain glazing units through one source from a single manufacturer for each type.
- E. Drawings indicate specific size, profiles, and dimensional requirements of aluminum framed storefront system and flush doors. Refer to Division 01 Section Product Requirements. Do not modify dimensional requirements.

088000-2 07/13/2017

SECTION 088000 - GLAZING

F. Do not modify intended aesthetic effects, as judged solely by Architect of Record, except with Architect's approval. If modifications are proposed, submit comprehensive explanatory data to Architect for review.

1.7 PRE-INSTALLATION MEETING

A. Convene pre-installation meeting with Architect of Record, General Contractor and fenestration installer before starting work of this section, with adequate time to allow remaining preparation work at the site to complete.

1.8 DELIVERY, STORAGE, AND HANDLING

- A. Handle products of this section in accordance with AAMA CW-10.
- B. Upon receipt of materials, installer shall examine the shipment for damage and completeness, including failure of insulated unit seals. Return damaged units for re-fabrication.
- C. Store materials in a clean, covered, dry location, out of direct sunlight.
- D. Stack all materials to prevent damage and to allow for adequate ventilation.

1.9 PROJECT CONDITIONS

- A. Verify actual dimensions of Aluminum framed storefront openings by field measurements before fabrication and indicate field measurements on shop drawings.
- B. Coordinate the work with installation of firestopping components or materials.
- C. Install sealants within sealant manufacturer's required temperature and humidity conditions range, and never less than 50 deg. F. Maintain this minimum temperature during and 48 hours after installation.

1.10 WARRANTY

- A. Refer to Section 017800 Closeout Submittals, for additional warranty requirements.
- B. Provide installer warranty covering correction of defective work within a five year period after Date of Substantial Completion. Warranty shall include seal failure, inter-pane dusting or misting, and replacement of same.

PART 2 - PRODUCTS

2.1 INSULATING EXTERIOR GLASS UNITS

- A. Physical and performance characteristics:
 - 1" total thickness 2-pane assemblies, with glass pane thicknesses as determined by the manufacturer for the indicated span and loading.
 - All units shall be Energy Star compliant, meeting the minimum thermal transmittance (U-Factor) and solar heat gain (SHGC) requirements for the project's climate zone indicated by the National Fenestration Rating Council (NFRC).
 - Solar Heat Gain Coefficient (SHGC) shall be selected by the Architect or Engineer of Record as appropriate for the building's climate and exposure so as to allow the highest Visual Transmittance (VT) possible while minimizing negative effects on the building's environmental control equipment.
 - 4. All units shall include Low-E coating(s) at the interior surface(s).
 - 5. Spacer bars shall be mill-finish or clear anodized Aluminum.
 - 6. Unit cavity shall be filled with Argon or Krypton gas.
 - 7. Units shall comply with ASTM E773 and E774.
- B. Where required by building code or authorities having jurisdiction, provide 'safety glass' complying with ASTM C1048, Kind FT and ANSI 97.1.
- C. Units designated as 'spandrel' shall be insulated units with spray-applied water-based silicone opaque coating applied to surface #3 (outward-facing surface of interior pane).
 - 1. ICD High-Performance Coatings Opaci-Coat 300 #3-0770 'Warm Gray'. For substitutions, refer to Section 016000.
 - 2. Units shall comply with GANA #89-1-6, Section 4.1.

088000-3 07/13/2017

SECTION 088000 - GLAZING

D. Manufacturers

- 1. AGC Glass Company North America, Inc.; www.us.agc.com.
- 2. PPG Industries, Inc.; www.ppg.com.
- 3. Pilkington (Nippon Sheet Glass Co., Ltd.); www.pilkington.com/en/us
- 4. Oldcastle; www.oldcastlebe.com/products/architectural-glass
- 5. Substitutions: refer to Section 016000.

2.2 INTERIOR CLEAR FLAT GLASS UNITS

- A. 1/2" thick clear annealed transparent flat float glass complying with ASTM C1036, Type I, Class 1, Quality Q3; used where not otherwise required by code to be 'safety' glass.
- B. Where required by building code or authorities having jurisdiction, provide 'safety glass' complying with ASTM C1048, Kind FT and ANSI 97.1.
- C. Manufacturers: as indicated for Insulating Exterior Glass Units.

2.3 INTERIOR DECORATIVE GLASS UNITS

- A. Obscured glass partition panels
 - a. 3/8" total thickness 2-lite low-iron transparent flat float glass complying with ASTM C1036, Type I, Class 1, Quality Q3; laminated with patterned adhesive sheet between the glass, pattern and color as indicated in the Interior Finish Materials Schedule in the Drawings. Assembly shall comply with CPSC 16CFR 1201 Category II and ANSI 97.1.
 - Where required by authorities having jurisdiction, provide tempered glass compliant with ASTM C1048.
 - c. Alternate: surface-applied glazing film over clear glass.
 - 1) Glazing film as indicated in the Interior Finish Materials Schedule in the Drawings.
 - 2) Clear glass panels as indicated in Section 2.2 Interior Clear Flat Glass Units above.

B. Manufacturer

- 1. As indicated in the Interior Finish Materials Schedule in the Drawings.
- 2. Substitutions not permitted.

2.4 GLAZING MATERIALS

- A. Exterior glass units and interior glass units set in storefront framing.
 - 1. Gaskets, spacers, sealants and other glazing materials and accessories shall be as specified in 084113 Aluminum-Framed Entrances and Storefronts.
- B. Interior glass units.
 - 1. Joint sealant shall be Type D interior partition glazing adhesive (clear structural silicone adhesive) as specified in Section 079200 Joint Sealants.
 - Gaskets, spacers, and other glazing materials and accessories shall be as specified in the Interior Finish Materials Schedule in the Drawings.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that openings for glazing are correctly sized and within tolerance.
- **B.** Verify that surfaces of glazing channels or recesses are clean, free of obstructions that may impede moisture movement, weeps are clear, and ready to receive glazing.

3.2 PREPARATION

- A. Clean contact surfaces with solvent and wipe dry.
- B. Install sealant in accordance with manufacturer's instructions.

3.3 INSTALLATION - EXTERIOR/INTERIOR DRY METHOD (GASKET GLAZING)

A. Perform Work in accordance with GANA Glazing Manual and FGMA Sealant Manual for glazing installation methods.

088000-4 07/13/2017

SECTION 088000 - GLAZING

- B. Place setting blocks at 1/4 points with edge block no more than 6 inches from corners.
- C. Rest glazing on setting blocks and push against fixed stop with sufficient pressure on gasket to attain full contact.
- D. Install removable stops without displacing glazing gasket; exert pressure for full continuous contact.

3.4 INSTALLATION - INTERIOR DRY METHOD (TAPE AND TAPE)

- A. Cut glazing tape to length and set against permanent stops, projecting 1/16 inch (1.6 mm) above sight line.
- B. Place setting blocks at 1/4 points with edge block no more than 6 inches from corners.
- C. Rest glazing on setting blocks and push against tape for full contact at perimeter of pane or unit.
- D. Place glazing tape on free perimeter of glazing in same manner described above.
- E. Install removable stop without displacement of tape. Exert pressure on tape for full continuous contact.
- F. Knife trim protruding tape.

3.5 CLEANING

- A. Remove glazing materials from finish surfaces.
- B. Remove labels after Work is complete.
- C. Clean glass and adjacent surfaces.

3.6 PROTECTION

A. After installation, mark pane with an 'X' by using removable plastic tape or paste; do not mark heat absorbing or reflective glass units.

END OF SECTION

088000-5 07/13/2017



NEW BUILD PROGRAM

May 12, 2017

Sheridan st & Federal Hwy Dania, FL 33020

PID

SITE NAME: Young Circle

Revision Notes

1. chng to custom Monument 2. add new site plan and floor plan. Trans sign and add'l awning

4/10/17 mlh 5/15/17 mlh

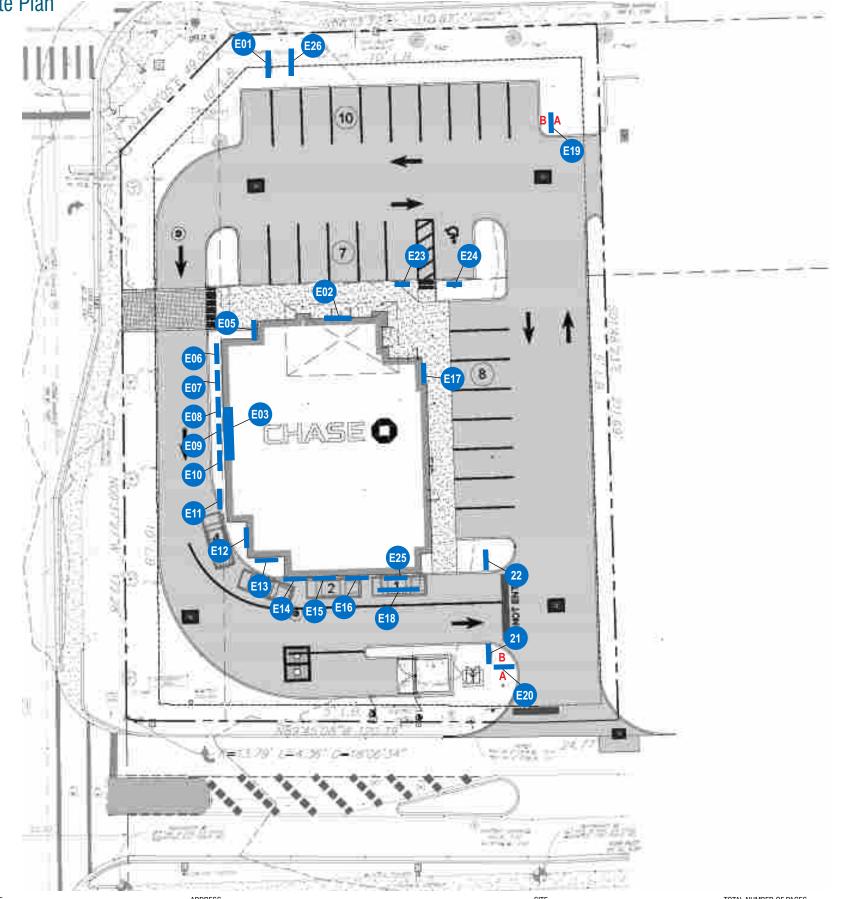








SIGN SCHEDULE				
No.	Qty.	Item Code	Item Description	
E01	1	M-10-CUST	Monument - SqFt 10.41	
E02	1	LIF-WBO-24	Channel Letters - SqFt 36.87	
E03	1	LIF-WBO-30	Channel Letters - SqFt 57.61	
E04	1	TS-21	Transom Sign	
E05	1	AWN-WU-M-NI	Awning	
E06	1	AWN-WU-M-NI	Awning	
E07	1	AWN-WU-M-NI	Awning	
E08	1	AWN-WU-M-NI	Awning	
E09	1	AWN-WU-M-NI	Awning	
E10	1	AWN-WU-M-NI	Awning	
E11	1	AWN-WU-M-NI	Awning	
E12	1	AWN-WU-M-NI	Awning	
E13	1	AWN-WU-M-NI	Awning	
E14	1	AWN-WU-M-NI	Awning	
E15	1	AWN-WU-M-NI	Awning	
E16	1	AWN-WU-M-NI	Awning	
E17	1	AWN-WU-M-NI	Awning	
E18	1	CAN-ATM-DU-BLDG-CUST	Drive Up Canopy	
E19	1	D-2-RE	Directional	
E20	1	D-2-RE	Directional	
E21	1	DOT-DNE-P	Do Not Enter Sign	
E22	1	DOT-DNE-P	Do Not Enter Sign	
E23	1	TC-P-ADA-FL-RE	Handicap Parking Sign	
E24	1	TC-P-ADA-V-FL-RE	Handicap Parking (Van)	
E25	1	SUR-TTW-U-4-TP	ATM Surround	
E26	1	PPTEMP-F-DB	Temp Sign	





TOTAL NUMBER OF PAGES PAGE NUMBER 3/14/17 CHASE Sheridan st & Federal Hwy Dania, FL 33020 CW **Young Circle** 24 mlh



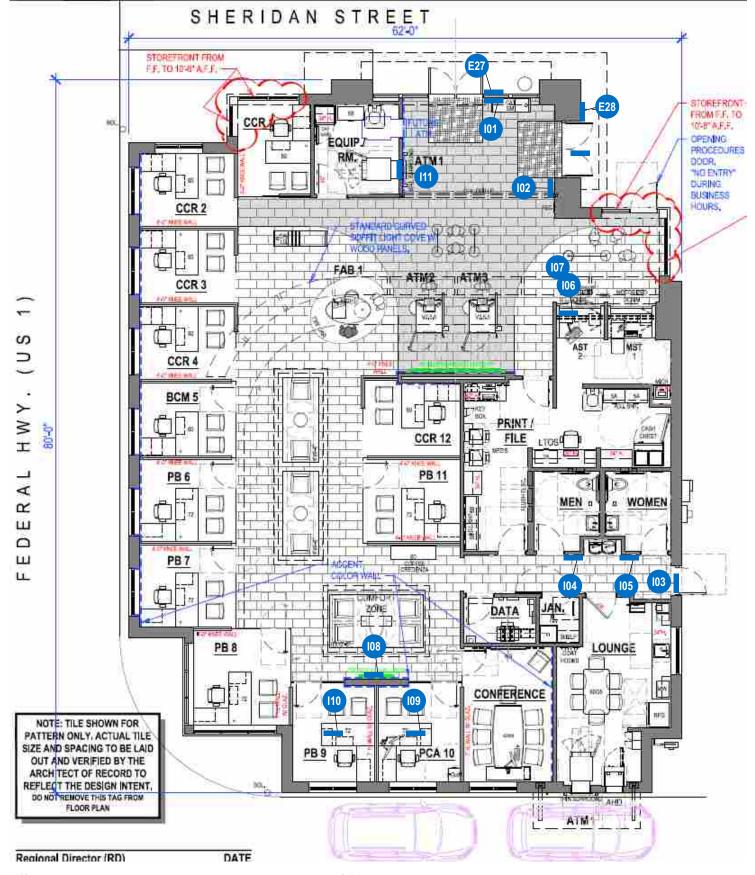


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CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

3 17-61718-02





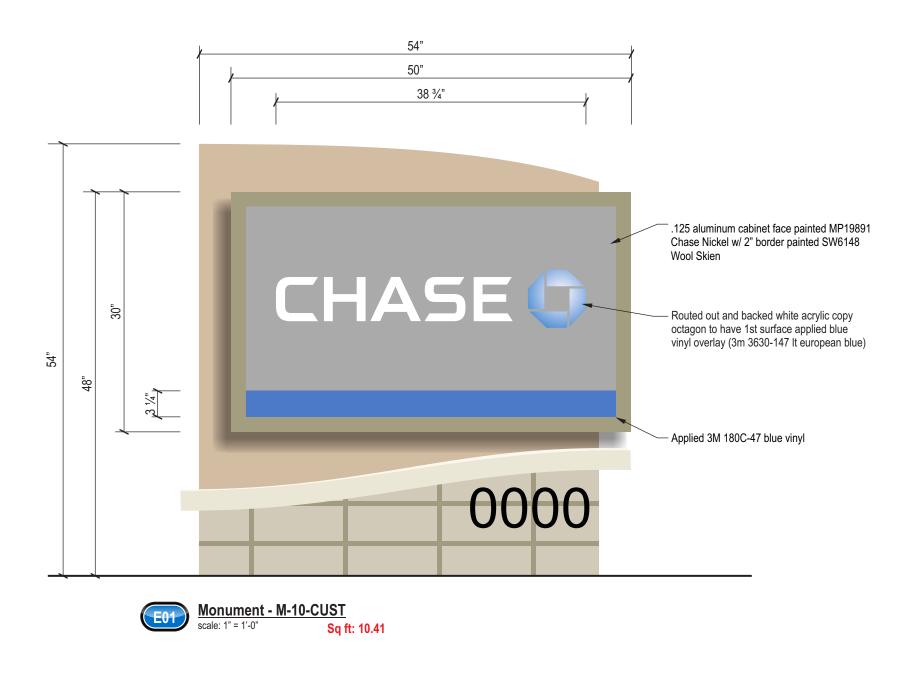
SIGN SCHEDULE				
No.	Qty.	Item Code	Item Description	
E27	1	ADA-EP	ADA Entrance Panel	
E28	1	ADA-EP	ADA Entrance Panel	
101	1	ADA-EX	ADA Exit Panel	
102	1	ADA-EX	ADA Exit Panel	
103	1	ADA-EEX	Emergency Exit Sign	
104	1	ADA-RRM-A-G	Men's Room Sign	
105	1	ADA-RRW-A-G	Women's Room Sign	
106	1	ADA-TW	ADA Teller Window	
107	1	ADA-TW-ALS	ADA Listening System	
108	1	CPC-BFW-48-RE-NI	Brand Focal Wall-Cherry	
109	1	CPC-TTS-10-RE	CPC Table Top Sign	
110	1	CPC-TTS-10-RE	CPC Table Top Sign	
111	1	SUR-TTW-U-4-TP	ATM Surround	

CHASE ADDRESS SITE PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

4 17-61718-02





CHASE ADDRESS SITE DRAWING NUMBER DR

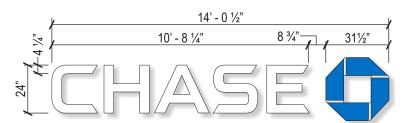




North Elevation
Scale: 1/16" = 1'-0"



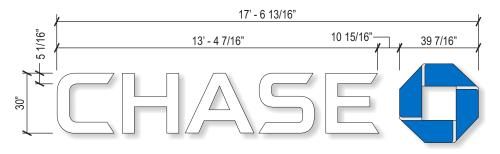
Scale: 1/16" = 1'-0"





Channel Letters - LIF-WBO-30

Octagon bridge to be painted SW6108



Sq ft: 57.61

Octagon Bridge to be painted SW6108



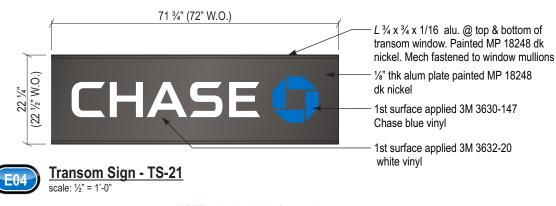


Berridge Mullions Anodized Aluminum Savanna Stone Limestone #3

West Elevation
Scale: 1/16" = 1'-0"



East Elevation
Scale: 1/16" = 1'-0"



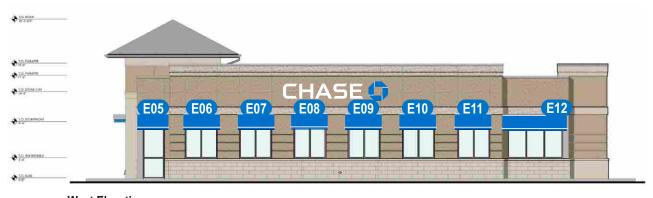
NOTE: to be installed after permits are closed out & branch opens.

Black vinyl to be provided to cover back of transom window, to conceal VHB/silicon connection to glass.

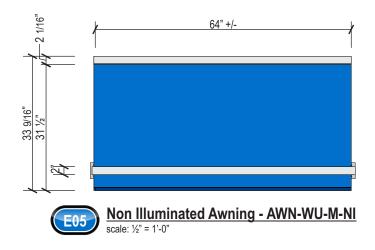
Side View scale: ½" = 1'-0"

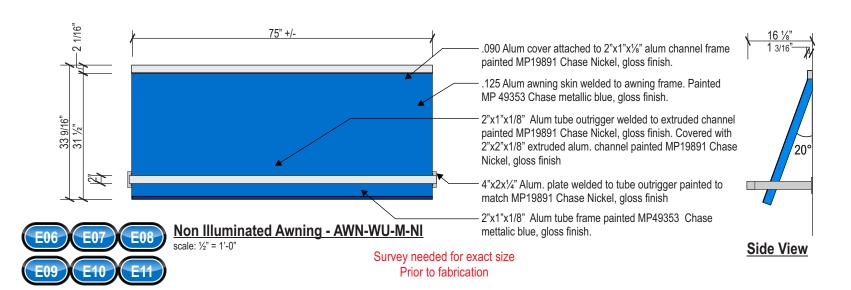
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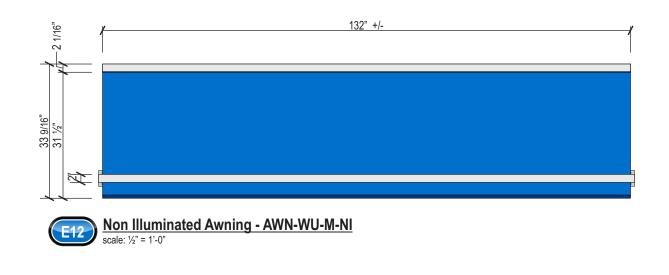




West Elevation Scale: 1/16" = 1'-0"







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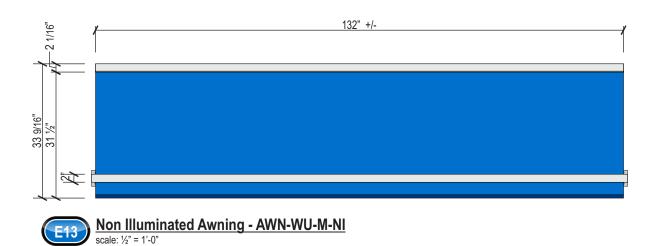
7 17-61718-02

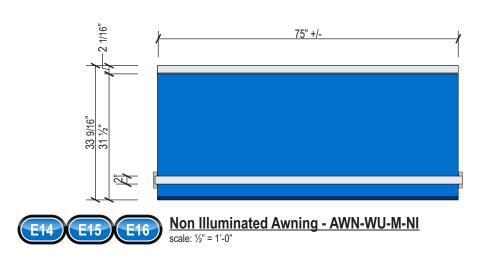


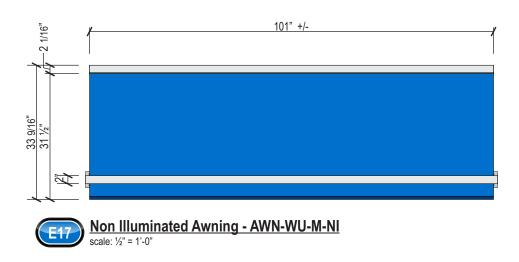




East Elevation
Scale: 1/16" = 1'-0"







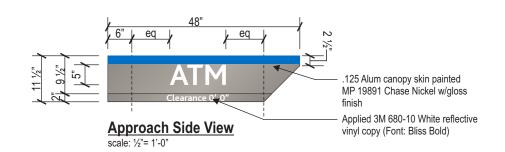
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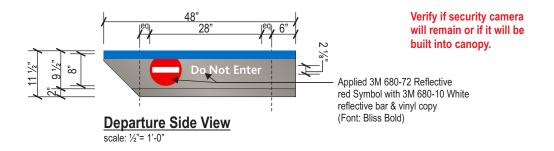
CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle 8 17-61718-02

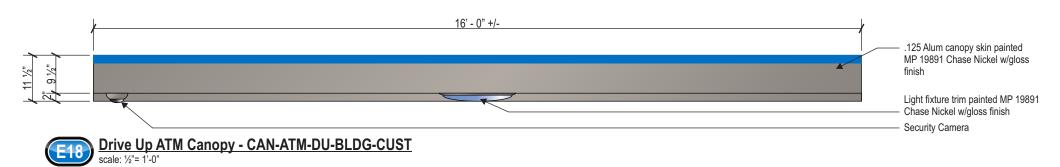




Scale: 1/16" = 1'-0"







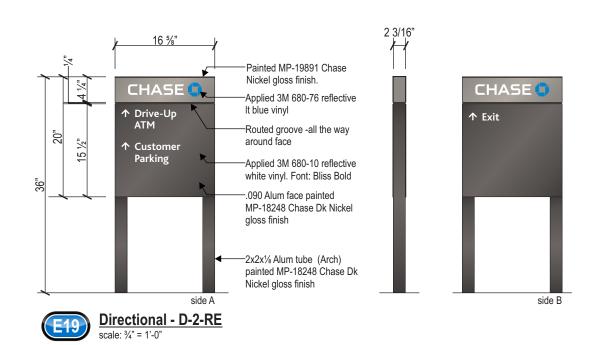
Custom Blue stripe on top of awning *VERIFY HEIGHT* prior to fabrication

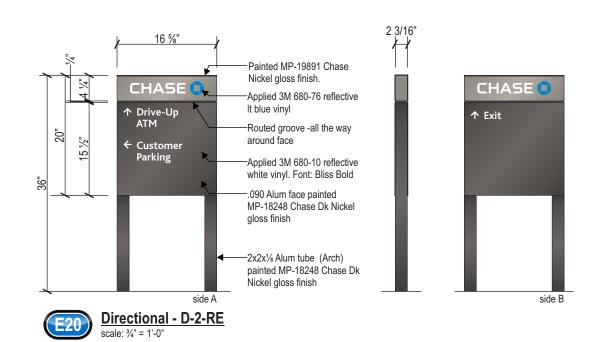
CLIENT NAME ADDRESS PAGE NUMBER DRAWING NUMBER

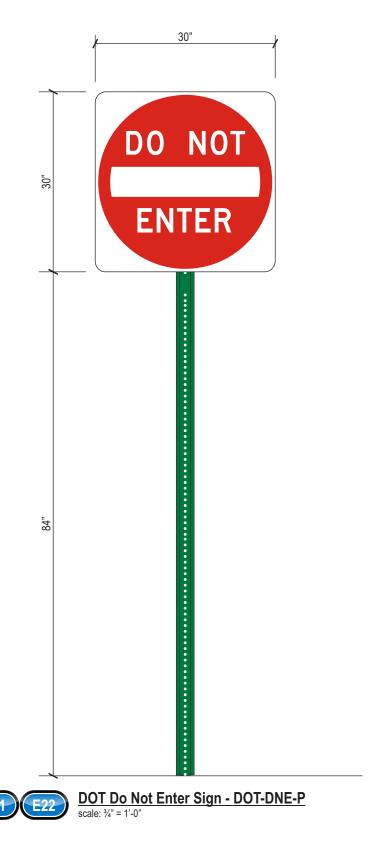
CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

9 17-61718-02



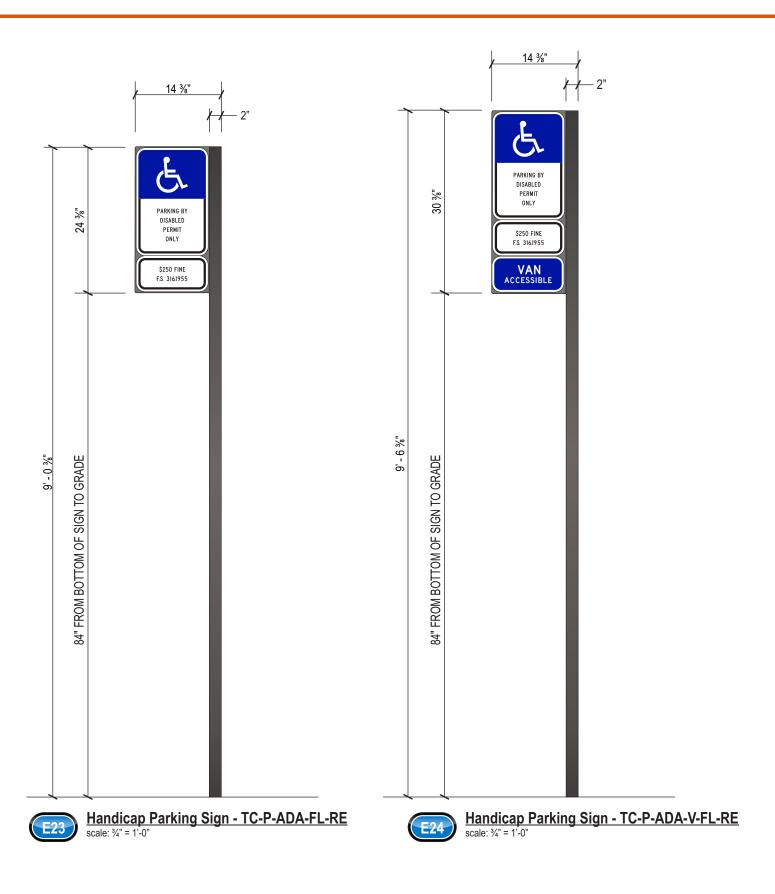






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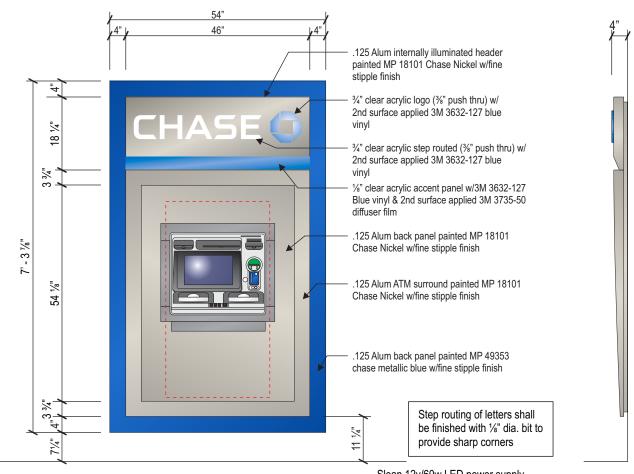






South Elevation

Scale: 1/16" = 1'-0"



Thin Profile ATM Surround - SUR-TTW-U-4-TP scale: ½" = 1'-0"

Sloan 12v/60w LED power supply #701507-60C1 @ 0.7A (2 req'd - 1 for Colorline, 1 for Chase & 1 for octagon LEDs)

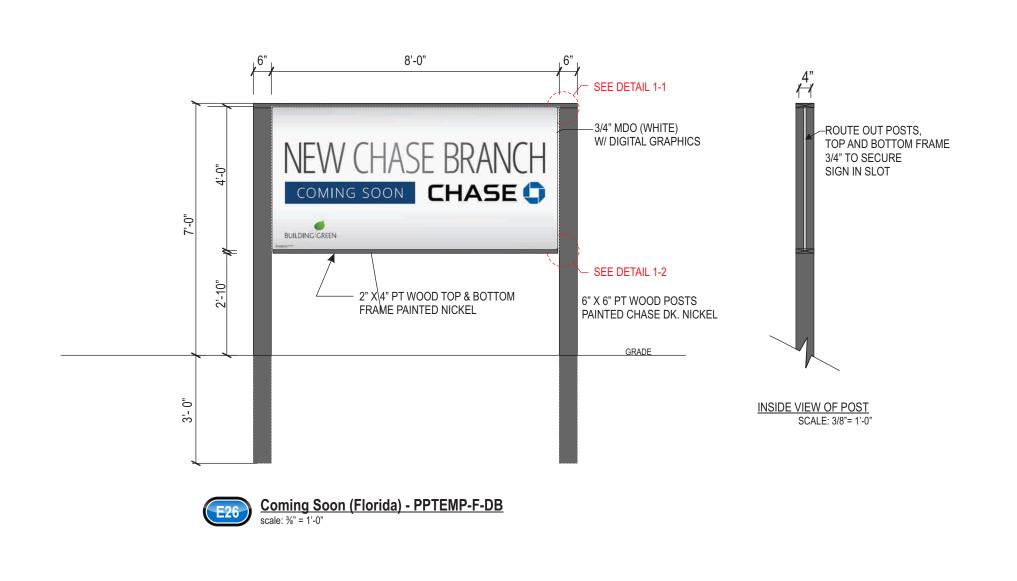
Side View

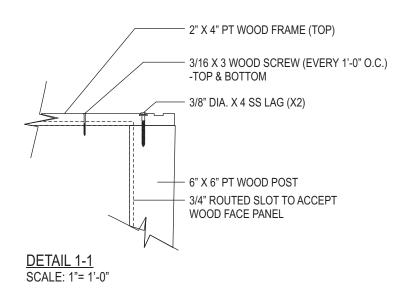
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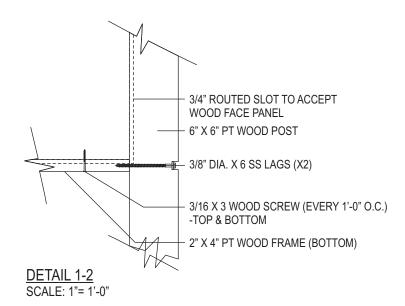
CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

11 17-61718-02









CHASE ADDRESS PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

12 17-61718-02



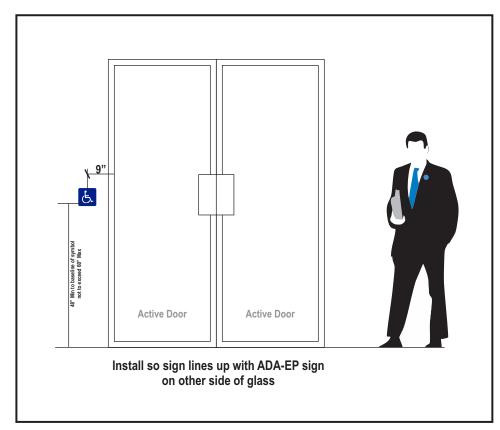




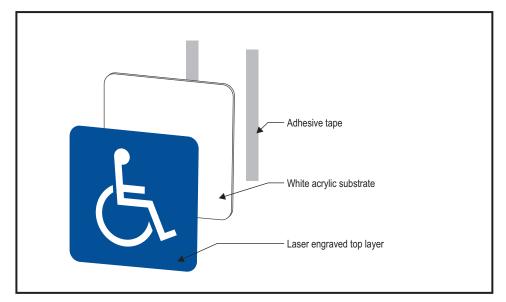


Accessible Building Entrance - ADA-EP

Size: 6"x6"
Color: White on blue
SKU: NHE-1_WHITE_ON_BLUE
Order From: Compliance Signs



Installation Detail - NTS



Construction Detail - NTS

CHASE ADDRESS PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

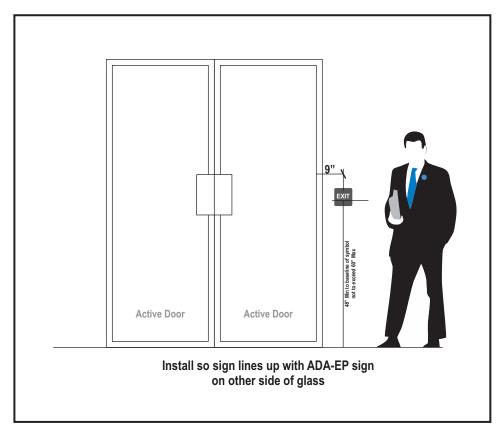
13 17-61718-02



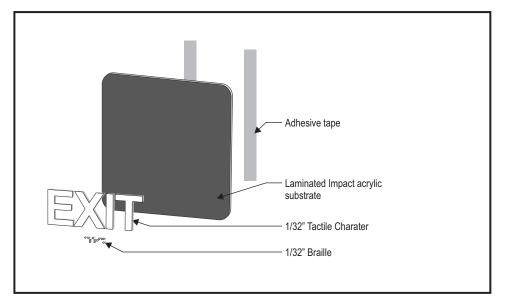




Size: 6"x6"
Color: White on charcoal gray
SKU: RRE-655-66_WHITE_ON_CHARCOALGRAY
Order From: Compliance Signs



Installation Detail - NTS



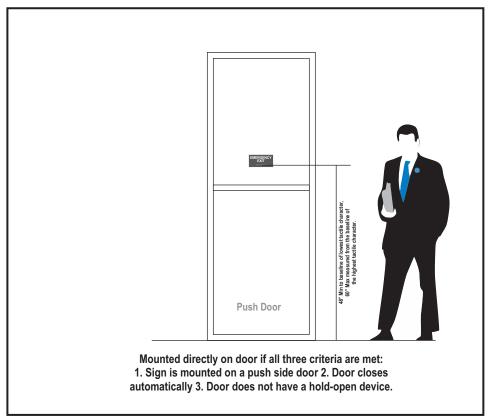
Construction Detail - NTS



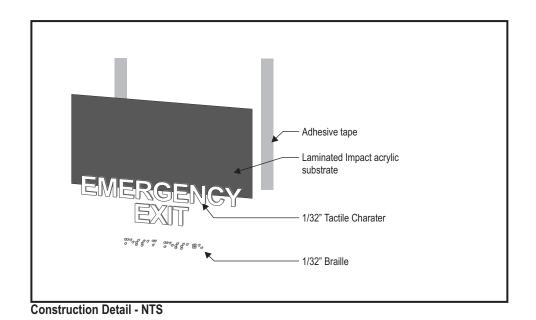




Size: 8"x4" Color: White on charcoal gray SKU: Varies depending on message Order From: Compliance Signs



Installation Detail - NTS



CHASE ADDRESS SITE PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle 15 17-61718-02



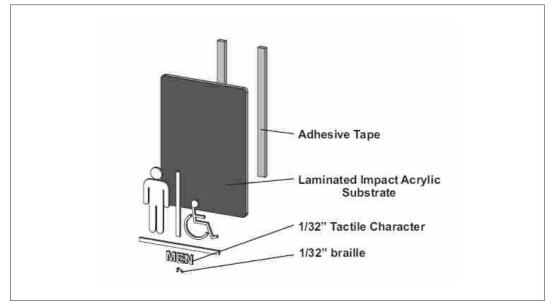




Size: 6"x9"
Color: White on charcoal gray
SKU: RRE-150_WHITE_ON_CHARCOALGRAY
Order From: Compliance Signs



INSTALLATION DETAIL SCALE: NTS



CONSTRUCTION DETAIL SCALE: NTS

CHASE ADDRESS SITE PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

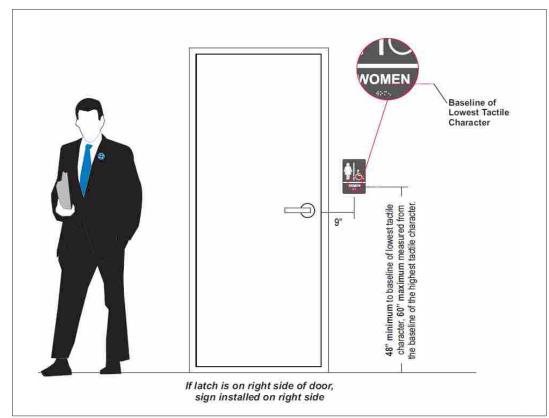
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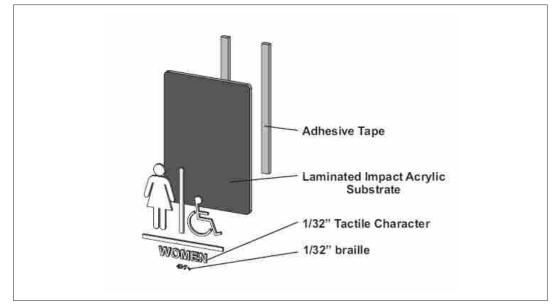




Size: 6"x9"
Color: White on charcoal gray
SKU: RRE-130_WHITE_ON_CHARCOALGRAY
Order From: Compliance Signs



INSTALLATION DETAIL SCALE: NTS



CONSTRUCTION DETAIL SCALE: NTS

CHASE ADDRESS PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

17 17-61718-02

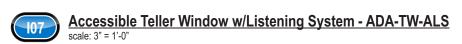






Size: 4"x4"
Color: White on blue
SKU: NHE-1-44_Custom_WHITE_ON_BLUE
Order From: Compliance Signs

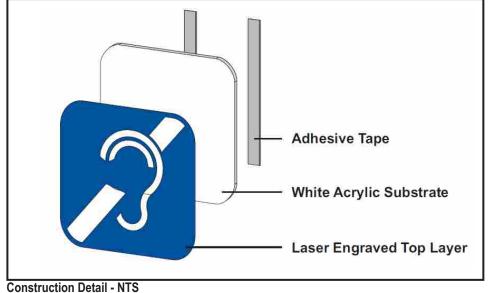




Size: 4"x4"
Color: White on blue
SKU: NHE-28042-44-Custom_White_on_Blue
Order From: Compliance Signs



Installation Detail - NTS



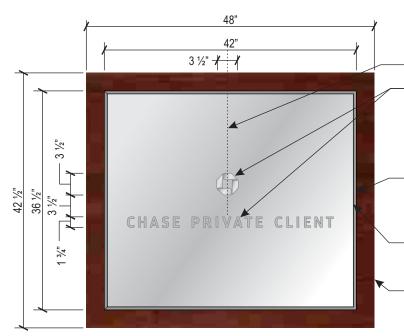
CHASE ADDRESS SITE PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

18 17-61718-02







Centerline of octagon

1/4" thick #4 brushed alum. Plate octagon and letters with horizontal grain & sandblasted matte finish edges. Attach to acrylic panel with 3M #RP25 VHB tape (provide full coverage of segment with tape) typ. (inside point of "v" to be centered under octagon)

#4 brush finished alum. Tube j-channel to support acrylic panel, brush direction to be longitudinal, miter at corners (note: use of custom extruded J-channel instead of tube shall be shop preference.

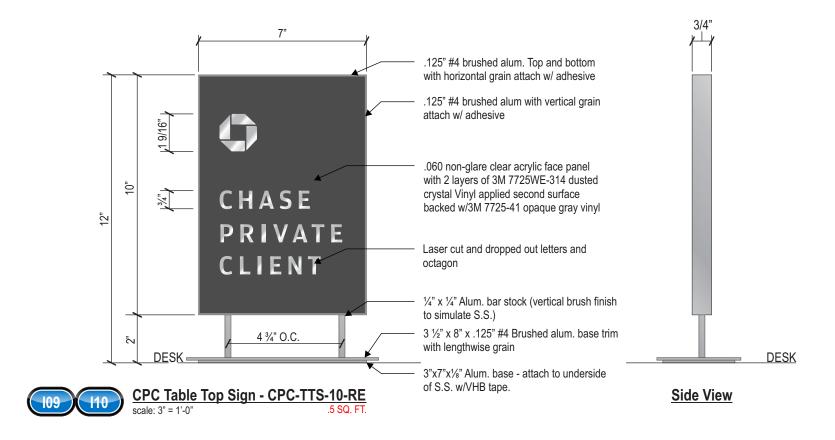
1/4" clear P95 acrylic panel with (2) layers 2nd surface applied 3M #7725SE-314 dusted crystal vinyl

Fabricated ½" select grade plywood "frame" panel with laminate skin, grain direction of laminate to be horizontal. Laminate to have no seams & to be wrapped around sides.

CPC Brand Focal Wall - Shaker Cherry - CPC-BFW-48-RE-NI scale: ¾" = 1'-0" 14.16 SQ. FT.

SEE LINK DWG: B244627 FOR EXACT FABRICATION SPECIFICATIONS

SEE CPC SIGNAGE GUIDELINES PAGES 18 AND 20 FOR SPECIFIC MTG. INSTRUCTIONS



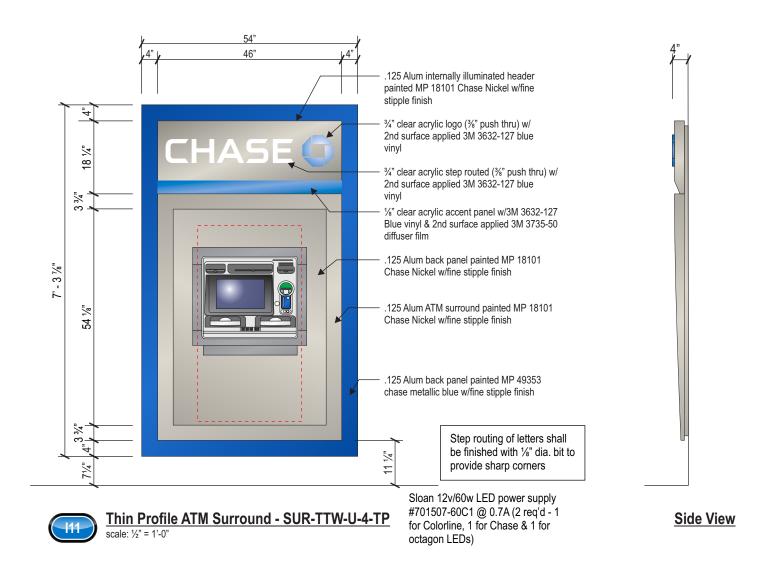
SCALE: 3"= 1'-0"

SEE LINK DWG: B244332 - CPC-TTS-10-RE FOR EXACT FABRICATION METHOD

CHASE ADDRESS SITE PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle 19 17-61718-02





CHASE ADDRESS SITE PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

20 17-61718-02





CHASE ADDRESS PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

21 17-61718-02





FRONT ELEVATION



REAR ELEVATION

CHASE ADDRESS SITE PAGE NUMBER DRAWING NUMBER

CHASE Sheridan st & Federal Hwy Dania, FL 33020 Young Circle

22 17-61718-02



























CHASE

Sheridan st & Federal Hwy Dania, FL 33020

Young Circle

23



Signage Due Diligence Worksheet

Project Name:	Young Circle		
Project Site Number:	55203	Chase MDRE:	Gregg Garden
Address / Legal Description / Intersection:		Chase RE PM:	Rodrigo Silva - JLL
City / State / Zip:	Dania FL 33020-6824	Sign Vendor:	NW Sign Industries Inc
Turn Over to Retail:	09/18/2017	Signage DD Created:	09/05/2016 by Tom McKenna
Opening Date:	09/23/2017	Signage DD Revised:	09/05/2016 by Tom McKenna

Opening Date. 09/23/2017	Signage DD Revised. U9/03/2016 by Tom McKenna
Developer / Landlord Restrict	tions - completed by MDRE / PM
General Info	
Developer / Landlord Name	İ
Temporary Signs	
Is the 8' x 4' Coming Soon Ground Sign Allowed? If so, how many?	
Are temporary banners allowed? If so, for how long?	
Are fly guys allowed? If so, for how long?	
Primary Ground Sign	1
Will Developer/ LL allow our standard pylon or monument? If yes, which one (ex: P-100, P-75, M-50, M-25, refer to reference guide for all standard options). Is more than 1 primary ground sign allowed?	
If not, what are the pylon / monument restrictions? (include illumination restrictions/overall allowable sf / custom design requirements.	
Is there a Multi-tenant ground sign (pylon or monument) available to us?	
Are there any Off Premise Pylon / Monument / Directory signs that we have the opportunity to brand?	
Building Sign	
Prototypical FS branch - Will Developer/ LL allow our standard illuminated bldg. sign package (30" letterset on front and sides, 24" letterset on rear)?	
If not, what are the variables/restrictions (include illumination and sf restrictions, as well as custom sign requirements).	
In-line / Urban branch - what are the exterior wall sign restrictions (sign type, including max. sf and illumination)	
Interior Window Signs- List all interior window signs restrictions, including storefront set back requirements.	
ATM Topper- does this count against our overall allowable sf.? Is illumination allowed?	
Are decorative logos allowed (EFIS octagon)? Does it count against overall SF?	
Directional / Regulatory Signs	
Is our standard directional and regulatory sign package allowed?	
If not, what are the variables/restrictions?	
Awnings / ATM Sunscreens	
Will Developer / LL allow our branded awnings?	
What if any restrictions are there (Illumination, color/materials, min & max projection)?	
Are ATM sunscreens allowed? Do they count against overall SF?	
Other Restricting Factors:	
Is there a MSP that will effect the outcome of us being granted our standard package once we apply for permitting?	
List MSP restrictions:	
Is there a condo board or any other assoc. related to the Landlord's property that would prohibit us from receiving our standard package?	
List any other variable / restrictions that may apply.	
Architectural Lighting	
Is Architectural lighting allowed? Does it count against overall SF? List provisions.	
Additional Comments	
Please list any additional comments	

Code Allowances - co	mpleted by Sign Vendor
General Info	
Zoning Designation	NSH-C-2 City of Hollywood
Temporary Signs	
Is the 8' x 4' Coming Soon Ground Sign Allowed? If so, how many?	yes - 1 32 square feet; 8' max height and must be permitted
Are temporary banners allowed? If so, for how long?	Yes - 10 days max
Are fly guys allowed? If so, for how long?	no
Primary Ground Sign	
Will code allow our standard pylon or monument? If yes, which one (ex: P-100, P-75, M-50, M-25, refer to reference guide for all standard options). Is more than 1 primary ground sign allowed?	yes - if corner will consider 2
If not, what are the pylon / monument restrictions? (include illumination restrictions/overall allowable sf / custom design requirements)	it must have visual interest and compatable with the architecture of the development - must have address numbers and landscaping where the length in area is x 2' in ground cover or shrubs that are florida tolerant - 100' of frontage 24 square feet; 200' of frontage 36 square feet 1' set back for every 2' of sign height with a minimum of 3' with a visibility triangle
List the set back requirements.	
Building Sign	
Prototypical FS branch - Will code allow our standard illuminated bldg. sign package (30" letterset on front & sides, 24" letterset on the rear)? Please list size and locations of signs allowed.	1 wall or awning per street frontage - 1 square foot for every linear foot of frontage max 150 square feet.
If not, what are the variables/restrictions (include illumination and sf restrictions, as well as custom sign requirements)?	
In-line / Urban branch - what are the exterior wall sign restrictions (sign type, including max. sf and illumination).	
Interior Window Signs- List all interior window signs restrictions, including storefront set back requirements.	does not need to be permitted
ATM Topper- does this count against our overall allowable sf.? Is illumination allowed?	does not count against square footage - illuminated is allowed
Are decorative logos allowed (EFIS octagon)? Does it count against overall SF?	Yes and Yes
Directional / Regulatory Signs	
Is our standard directional and regulatory sign package allowed?	D-2s recommended. 2 square feet and 4' in height - 2 per driveway
If not, what are the variables/restrictions?	
Awnings / ATM Sunscreens	
Are branded awnings allowed?	Yes
What if any restrictions are there (Illumination, color/materials, min & max projection)?	12" letters and 75% of length
Are ATM sunscreens allowed? Do they count against overall SF?	can't get an answer on this - as they believe they would consider this an awning
Other Governing Agencies	
Identify other governing agencies that could override code (ARB, HRB, PUD, etc) and list the known restrictions.	
Permitting / Variance Process	
What is the application process and timing for variance approval ? What are the variance application fees?	
What is the likelihood of being granted a variance with this municipality?	Variance is possible. if a good enough hardship case should win
Architectural Lighting	
Is Architectural lighting allowed? Does it count against overall SF? List provisions.	must be reviewed before the board -
Additional Comments	
Please list any additional comments	
Section to the section of the sectio	



July 14, 2017

Alexandra Carcamo
Principal Planner
City of Hollywood
Department of Development Services
2600 Hollywood Blvd.
Hollywood, FL 33022

Re: Proposed Chase Bank Store No. 55203 – Young's Circle

Preliminary Technical Advisory Committee (TAC) Submission

1700 Sheridan Street, Hollywood, FL

Dear Ms. Carcamo:

On behalf of JPMorgan Chase, N.A., Core States Group ("CSG") is requesting that the proposed 4,453 sf Chase Bank be considered for Preliminary Technical Advisory Committee approval. The subject property is an outparcel within the West Lakes Commons Shopping Center located at the southeast corner of Sheridan Street and US1 (Federal Highway), more specifically at 1700 Sheridan Street, Hollywood, FL 33020.

The proposed parcel encompasses 0.696 acres and is currently zoned Sheridan Street Mixed Use District (SS) located within the Regional Activity Center Overlay District per Ordinance O-2016-22. Per the PACO meeting held on March 13, 2017, the site was requested to conform to the Federal Highway Medium-High Intensity, Mixed Use District (FH-2) regulations as well as the SS regulations. Therefore, the site layout was revised and the building was relocated to the maximum building setback of thirty (30) feet from Federal Highway.

Based on an additional meeting held with City staff on April 27, 2017, the site was revised to provide a fifteen (15) feet wide drive aisle on the west side of the building, adjacent to Federal Highway, and a landscape strip along the west side of the building which would visually enhance the building elevation facing Federal highway. The site design includes an enhanced pedestrian entrance of concrete pavers from the existing sidewalk along Federal Highway to the front entrance and will also incorporate other elements to make the building more interactive with the pedestrian traffic on Federal Highway, such as bicycle parking and possible future benches.



The project proposes two (2) variances. One for excess parking in which the project proposes one (1) additional space over the maximum allowed. The project proposes 24 parking spaces while code restricts the site to 23. Based on the preliminary TAC hearing, the project lies within an overall development which was permitted for excessive parking and therefore, the additional space may be granted by the TAC. The second variance is for the reduction of the Land Development Regulations required stacking from six (6) spaces to four (4) spaces. The City Land Development Regulations does not make a distinction between a banking facility drive thru with teller line and a drive-up ATM. Please note other municipalities have eliminated stacking requirements for Chase banks based on the self-service, automated system not being a typical teller service. Also, please note that per Chase Operational standards, the typical self-service ATM queue does not exceed four (4) stacking positions. In fact, Chase does not offer check cashing or deposits at their ATMs which reduces the transaction time for stopped vehicles. Please refer to the previously provided Chase Bank Queuing Analysis prepared by a licensed professional engineer in the State of Florida.

Please accept this letter as a request for review and approval of the project documents and variances. The granting of the requested variances will not cause conflicts with other sections of the County Land Regulations and will not adversely affect public safety. No feasible engineering or construction solutions can be applied to satisfy the regulations at this time. In addition, it is Core States belief that the proposed development will greatly improve the appearance, functionality, and value of the subject parcel and the surrounding parcels. The proposed project within West Lake Commons will bring both revenue and jobs to this area and the City. The proposed development will create a site that is both aesthetically pleasing and function.

If you should have any questions, please do not hesitate to contact me directly at (813)319-8753.

Sincerely,

Zach H. Thornton, P.E. Civil Engineer

Core States Group

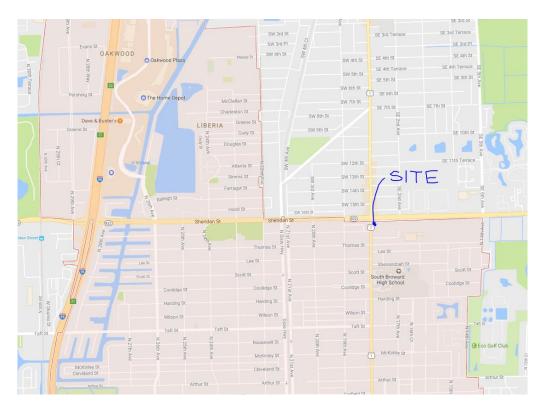
Attachments:

1) Location and Aerial Maps



Attachment 1

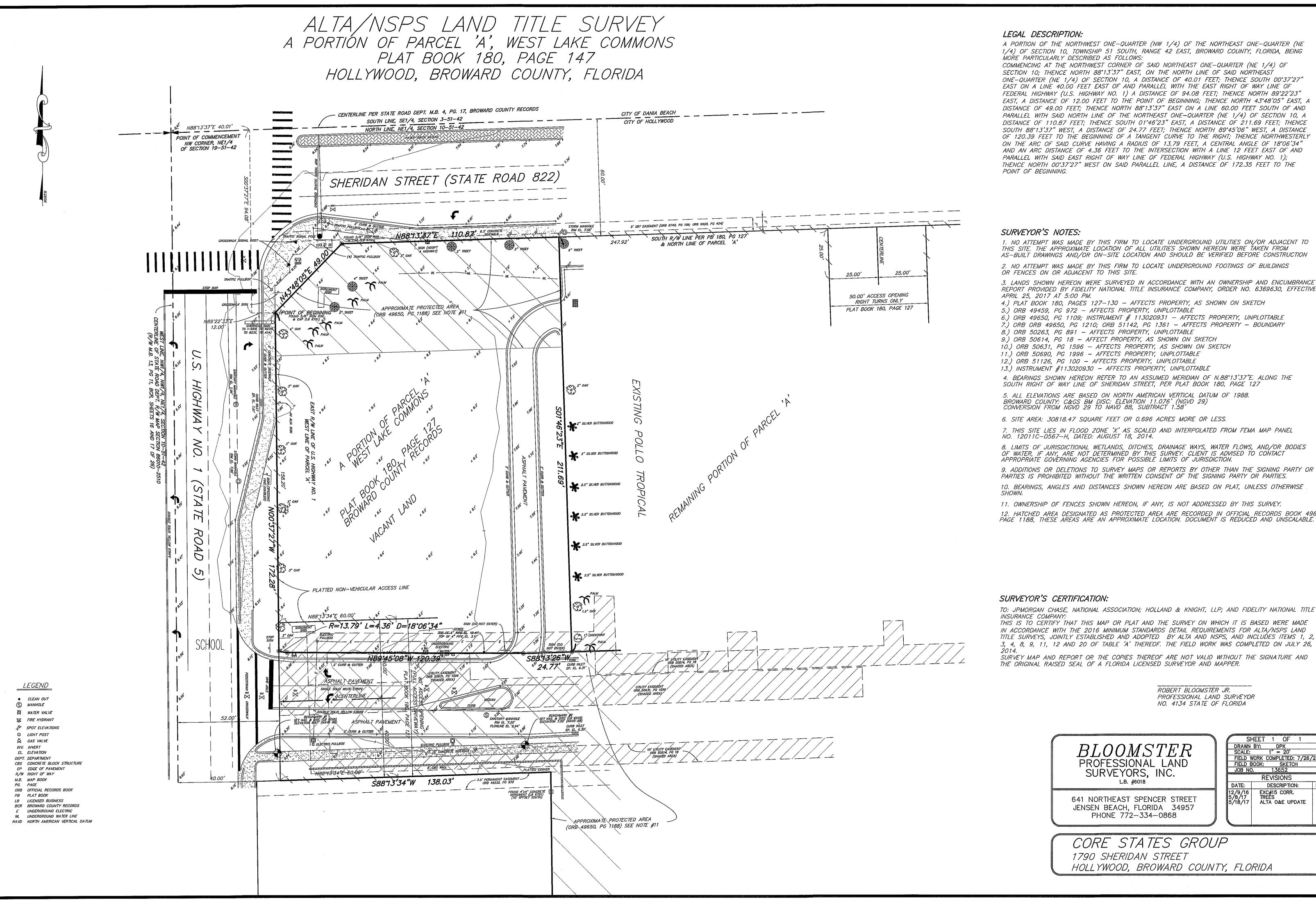
LOCATION MAP:





AERIAL MAP:





LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10: THENCE NORTH 88"13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET; THENCE SOUTH 00'37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 94.08 FEET; THENCE NORTH 89'22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET; THENCE NORTH 88'13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET: THENCE SOUTH 01'46'23" EAST. A DISTANCE OF 211.69 FEET: THENCE SOUTH 88'13'37" WEST. A DISTANCE OF 24.77 FEET: THENCE NORTH 89'45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18'06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION

2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.

3. LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25. 2017 AT 5:00 PM.

- 4.) PLAT BOOK 180, PAGES 127-130 AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 5.) ORB 49459, PG 972 AFFECTS PROPERTY, UNPLOTTABLE
- 6.) ORB 49650, PG 1109; INSTRUMENT # 113020931 AFFECTS PROPERTY, UNPLOTTABLE
- 7.) ORB ORB 49650, PG 1210; ORB 51142, PG 1361 AFFECTS PROPERTY BOUNDARY
- 8.) ORB 50263, PG 891 AFFECTS PROPERTY, UNPLOTTABLE 9.) ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
- 10.) ORB 50631, PG 1596 AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 11.) ORB 50690, PG 1996 AFFECTS PROPERTY, UNPLOTTABLE 12.) ORB 51126, PG 100 - AFFECTS PROPERTY, UNPLOTTABLE
- 13.) INSTRUMENT #113020930 AFFECTS PROPERTY, UNPLOTTABLE
- 4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37"E. ALONG THE

SOUTH RIGHT OF WAY LINE OF SHERIDAN STREET, PER PLAT BOOK 180, PAGE 127

5. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29) CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'

6. SITE AREA: 30818.47 SQUARE FEET OR 0.696 ACRES MORE OR LESS.

7. THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.

8. LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.

PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

10. BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE

11. OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.

12. HATCHED AREA DESIGNATED AS PROTECTED AREA ARE RECORDED IN OFFICIAL RECORDS BOOK 49650, PAGE 1188, THESE AREAS ARE AN APPROXIMATE LOCATION. DOCUMENT IS REDUCED AND UNSCALABLE.

SURVEYOR'S CERTIFICATION:

TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26,

SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

> ROBERT BLOOMSTER JR. PROFESSIONAL LAND SURVEYOR NO. 4134 STATE OF FLORIDA

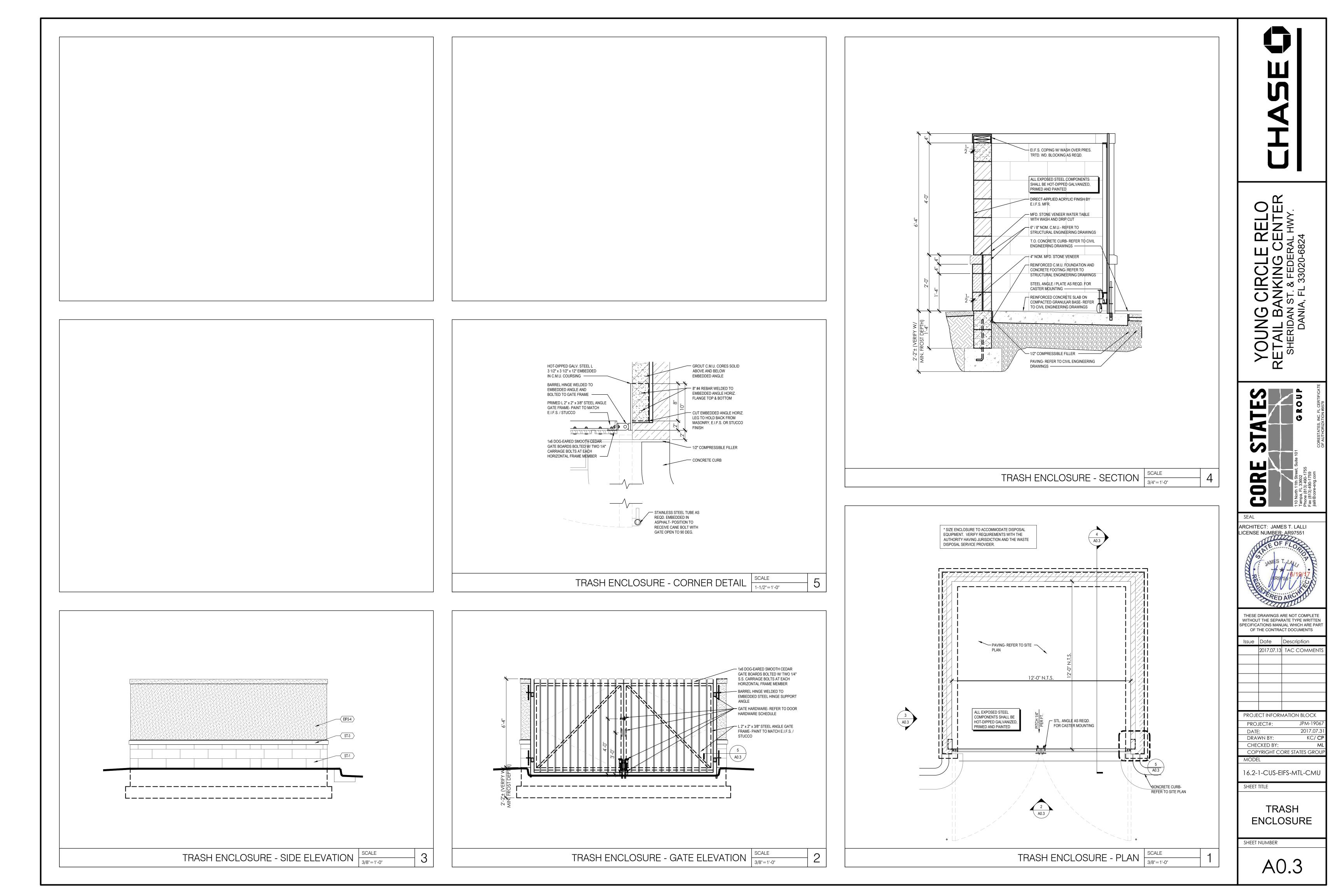
BLOOMSTERPROFESSIONAL LAND SURVEYORS, INC. L.B. #6018

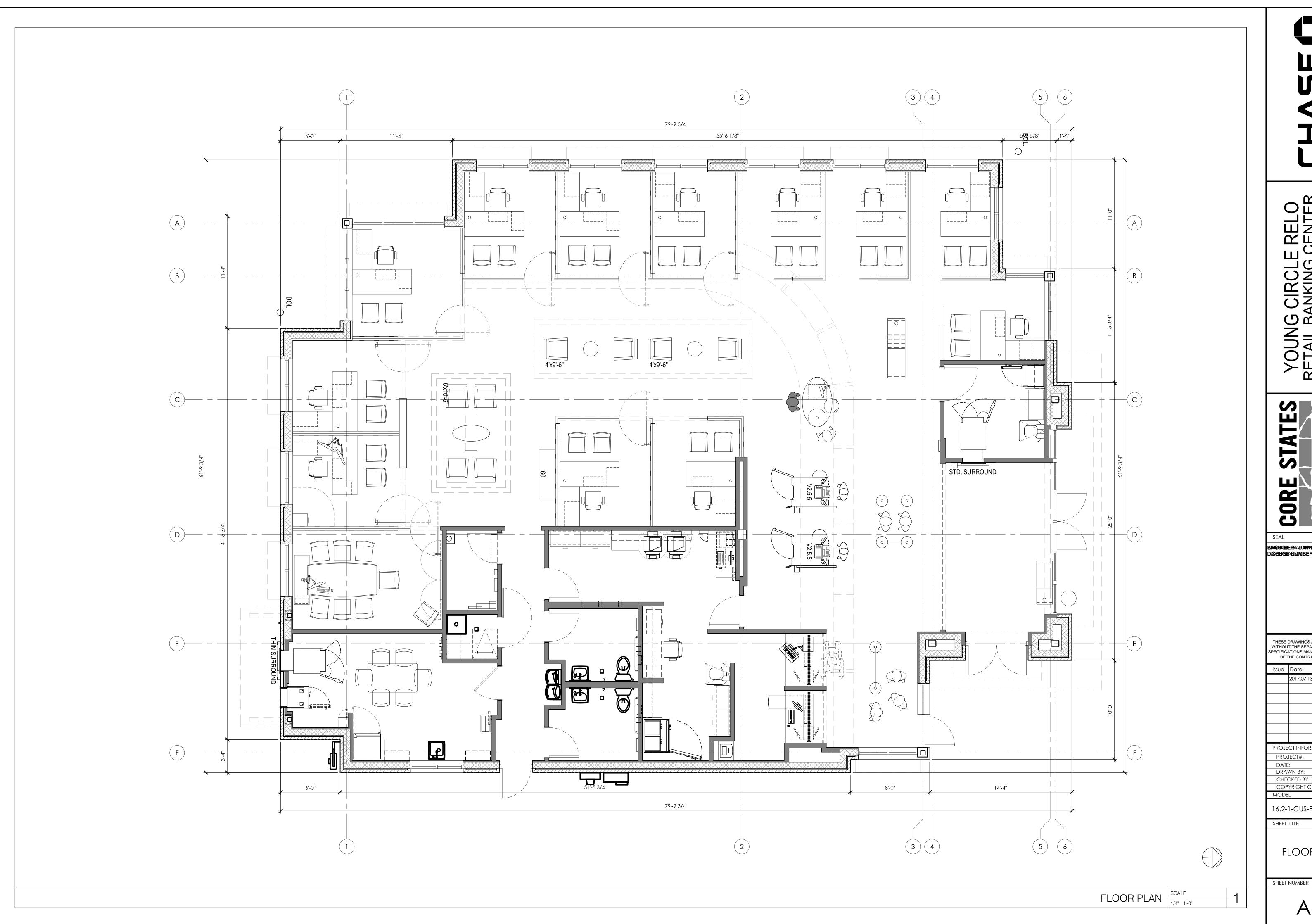
641 NORTHEAST SPENCER STREET JENSEN BEACH, FLORIDA 34957 PHONE 772-334-0868

DRAWN BY: DPK SCALE: 1" = 20' FIELD WORK COMPLETED: 7/26/2016 FIELD BOOK: SKETCH JOB NO. 13652 REVISIONS DATE: DESCRIPTION: BY: 12/9/16 EXC#15 CORR. DPK 5/8/17 TREES DPK 5/18/17 ALTA O&E UPDATE DPK	Si	HEEI	1 01	1	
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	12/9/16 5/8/17 5/18/17	TREE	S		DPK

CORE STATES GROUP

1790 SHERIDAN STREET HOLLYWOOD, BROWARD COUNTY, FLORIDA







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THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS Issue Date Description

2017.07.13 TAC COMMENT

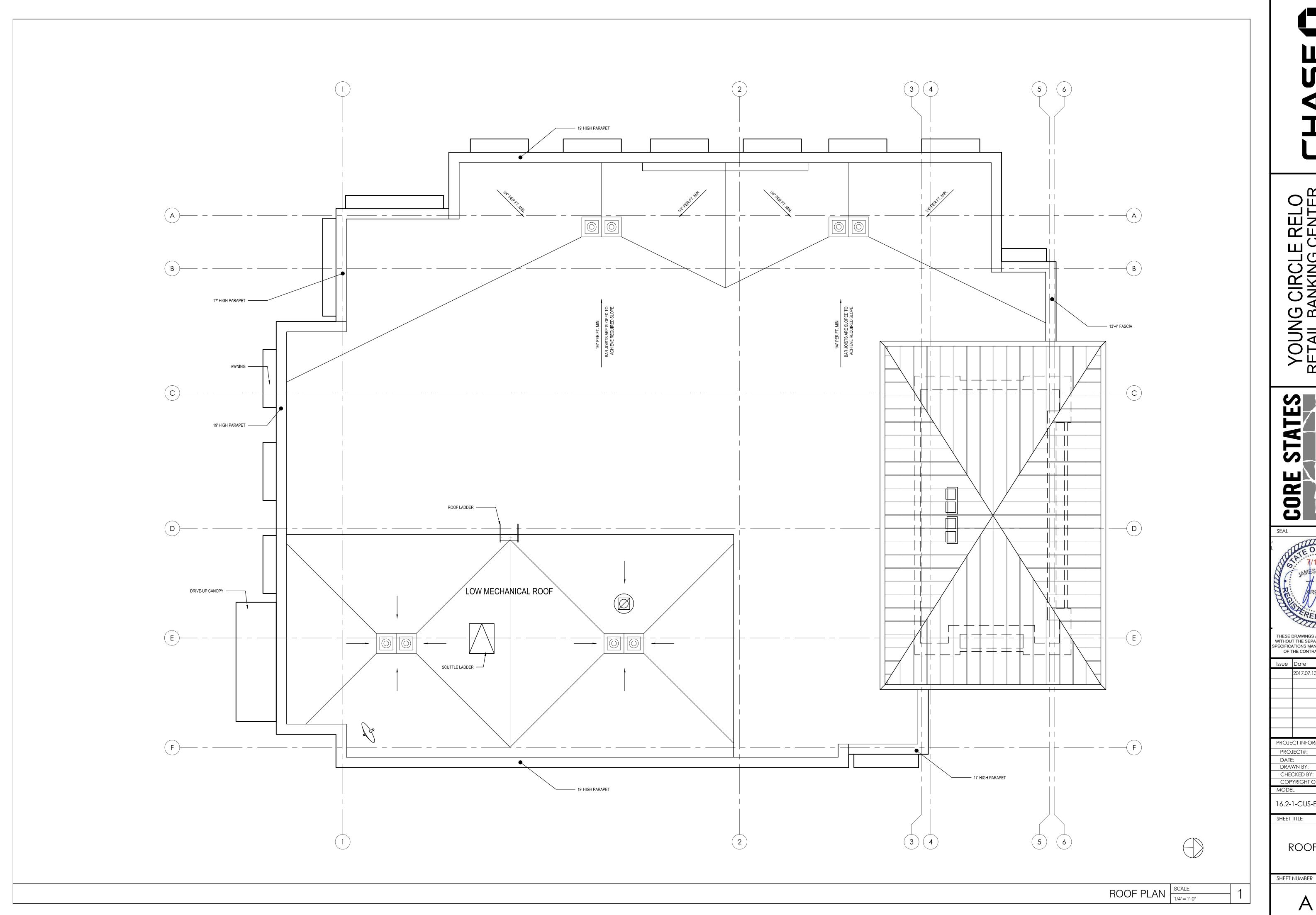
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PROJECT#: KC/ CP DRAWN BY: CHECKED BY: COPYRIGHT CORE STATES GROU

16.2-1-CUS-EIFS-MTL-CMU SHEET TITLE

FLOOR PLAN

A1.1





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Issue Date Description 2017.07.13 TAC COMMENT

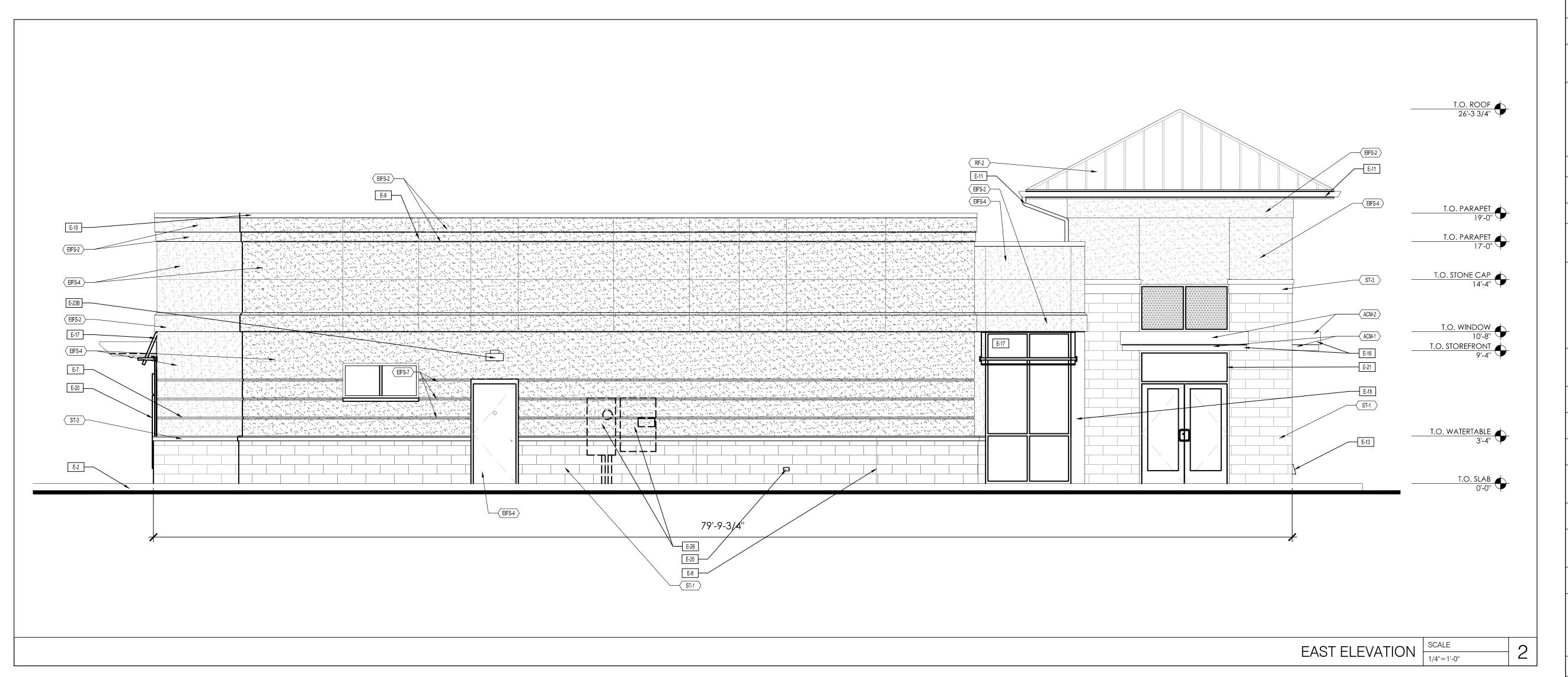
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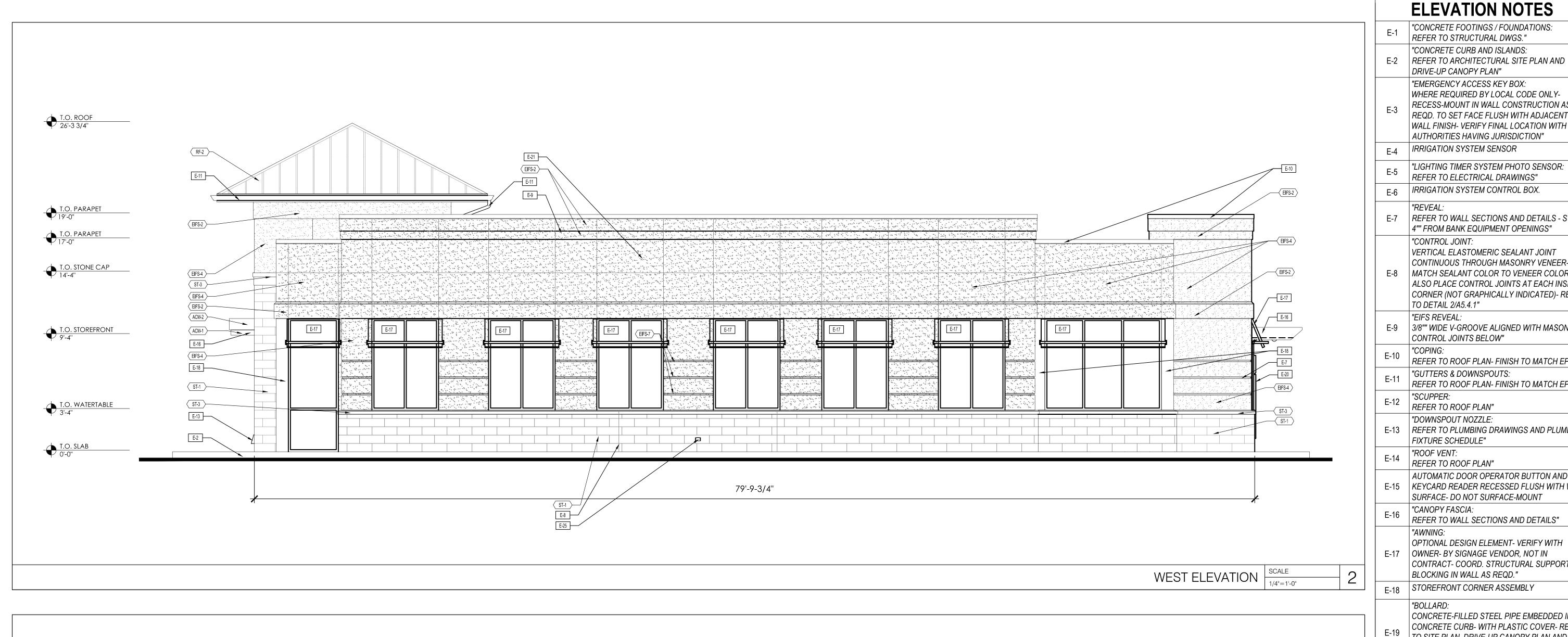
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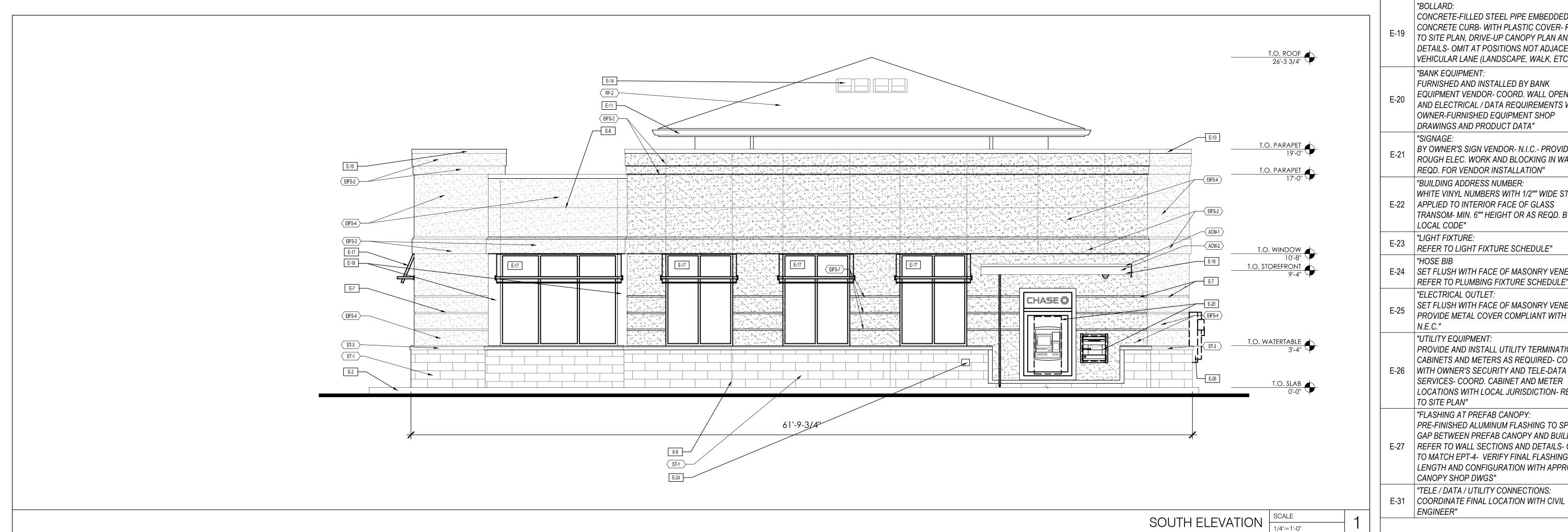
ROOF PLAN





ELEVATION NOTES "CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS." "CONCRETE CURB AND ISLANDS: E-2 REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN" "EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY-RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH- VERIFY FINAL LOCATION WITH **AUTHORITIES HAVING JURISDICTION"** IRRIGATION SYSTEM SENSOR "LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS" IRRIGATION SYSTEM CONTROL BOX. REFER TO WALL SECTIONS AND DETAILS - STOP 4"" FROM BANK EQUIPMENT OPENINGS" "CONTROL JOINT: RELO ENTEF AL HWY. VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH MASONRY VENEER MATCH SEALANT COLOR TO VENEER COLOR-ALSO PLACE CONTROL JOINTS AT EACH INSIDE CORNER (NOT GRAPHICALLY INDICATED)- REFER TO DETAIL 2/A5.4.1" "EIFS REVEAL: E-9 3/8"" WIDE V-GROOVE ALIGNED WITH MASONRY CONTROL JOINTS BELOW" REFER TO ROOF PLAN- FINISH TO MATCH EPT-1" "GUTTERS & DOWNSPOUTS: REFER TO ROOF PLAN- FINISH TO MATCH EPT-1 "SCUPPER: E-12 REFER TO ROOF PLAN" "DOWNSPOUT NOZZLE: E-13 REFER TO PLUMBING DRAWINGS AND PLUMBING FIXTURE SCHEDULE" "ROOF VENT: REFER TO ROOF PLAN" AUTOMATIC DOOR OPERATOR BUTTON AND E-15 KEYCARD READER RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT "CANOPY FASCIA: REFER TO WALL SECTIONS AND DETAILS" OPTIONAL DESIGN ELEMENT- VERIFY WITH E-17 OWNER- BY SIGNAGE VENDOR, NOT IN ST CONTRACT- COORD. STRUCTURAL SUPPORT / BLOCKING IN WALL AS REQD." STOREFRONT CORNER ASSEMBLY CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER- REFER TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE (LANDSCAPE, WALK, ETC.)" "BANK EQUIPMENT: ARCHITECT: JAMES T. LALLI FURNISHED AND INSTALLED BY BANK LICENSE NUMBER: AR97551 EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA" BY OWNER'S SIGN VENDOR- N.I.C.- PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION" "BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2"" WIDE STROKE THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART E-22 APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6"" HEIGHT OR AS REQD. BY OF THE CONTRACT DOCUMENTS LOCAL CODE" Issue Date Description "LIGHT FIXTURE: 2017.07.13 TAC COMMENT REFER TO LIGHT FIXTURE SCHEDULE" "HOSE BIB E-24 SET FLUSH WITH FACE OF MASONRY VENEER-REFER TO PLUMBING FIXTURE SCHEDULE" "ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER-PROVIDE METAL COVER COMPLIANT WITH PROJECT INFORMATION BLOCK "UTILITY EQUIPMENT: PROJECT#: PROVIDE AND INSTALL UTILITY TERMINATION 2017.07.3 CABINETS AND METERS AS REQUIRED- COORD. DRAWN BY: KC/ CP E-26 WITH OWNER'S SECURITY AND TELE-DATA CHECKED BY: SERVICES- COORD. CABINET AND METER COPYRIGHT CORE STATES GROUP LOCATIONS WITH LOCAL JURISDICTION- REFER MODEL TO SITE PLAN" 16.2-1-CUS-EIFS-MTL-CMU "FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN SHEET TITLE GAP BETWEEN PREFAB CANOPY AND BUILDING-E-27 REFER TO WALL SECTIONS AND DETAILS- COLOR **EXTERIOR** TO MATCH EPT-4- VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED **ELEVATIONS** CANOPY SHOP DWGS" "TELE / DATA / UTILITY CONNECTIONS: E-31 COORDINATE FINAL LOCATION WITH CIVIL SHEET NUMBER ENGINEER" A3.1





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"TELE / DATA / UTILITY CONNECTIONS:

ENGINEER"

SHEET NUMBER

A3.2

ELEVATION NOTES

"CONCRETE FOOTINGS / FOUNDATIONS:

WHERE REQUIRED BY LOCAL CODE ONLY-

REFER TO STRUCTURAL DWGS." "CONCRETE CURB AND ISLANDS:

"EMERGENCY ACCESS KEY BOX:

DRIVE-UP CANOPY PLAN"

DESIGN AND DEVELOPMENT CONTACTS:

TEL: 786.473.1769

PUBLIX SUPERMARKETS, INC. 3300 PUBLIX CORPORATE PARKWAY LAKELAND FL 33811

DEVELOPER: JPMORGAN CHASE, N.A. 1450 BRICKELL AVENUE, 3RD FLOOR MIAMI. FL 33131 CONTACT: MAURICIO DELGADO

CIVIL ENGINEER: CORE STATES GROUP 101 NORTH 11TH STREET, SUITE 10 TAMPA, FL 33602

ARCHITECT:

CONTACT: ZACH THORNTON, P.E. TEL: 813.490.1755

CORF STATES GROUP 101 NORTH 11TH STREET, SUITE 101 TAMPA, FL 33602 CONTACT: JAMES LALLII, AIA TEL: 813.490.1755

LANDSCAPE ARCHITECT: SIMPLYVERDE 829 38TH AVENUE NORTH

CONTACT: PATRICIA CASTELLANO, RLA, ASLA

SURVEYOR: BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC.

791 NORTHEAST DIXIE HIGHWAY JENSEN BEACH, FL 34957 CONTACT: ROBERT BLOOMSTER, JR, PSM

GOVERNING AGENCIES CONTACTS:

CITY OF HOLLYWOOD COMMUNITY DEVELOPMENT DEPARTMENT

2600 HOLLYWOOD BOULEVARD, ROOM 315 HOLLYWOOD, FL 33021 TEL: 954.921.3471

FIRE DEPARTMENT 2741 STIRLING ROAD

HOLLYWOOD, FL 33312

CITY OF HOLLYWOOD PUBLIC UTILITIES WATER/WASTEWATER:

> 1621 N. 14TH AVENUE HOLLYWOOD, FL 33020

STORMWATER: BROWARD COUNTY ENVIRONMENTAL PROTECTION

AND GROWTH MANAGEMENT DEPARTMENT

PLANTATION, FL 33324 TEL: 954.519.1483

UTILITY CONTACTS:

ELECTRIC COMPANY:

4000 DAVIE ROAD EXTENSION CONTACT: ERIC DOAN

TELEPHONE / INTERNET: COMCAST

4571 SHERIDAN STREET HOLLYWOOD, FL 33021 TEL: 800.266.2278

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE RATE MAP FOR CITY OF HOLLYWOOD, FLORIDA, COMMUNITY NUMBER 125113 0567H EFFECTIVE DATE 8/18/2014.

ALERT TO CONTRACTOR:

- 1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PREFORMED PRIOR TO PROJECT COMPLETION.

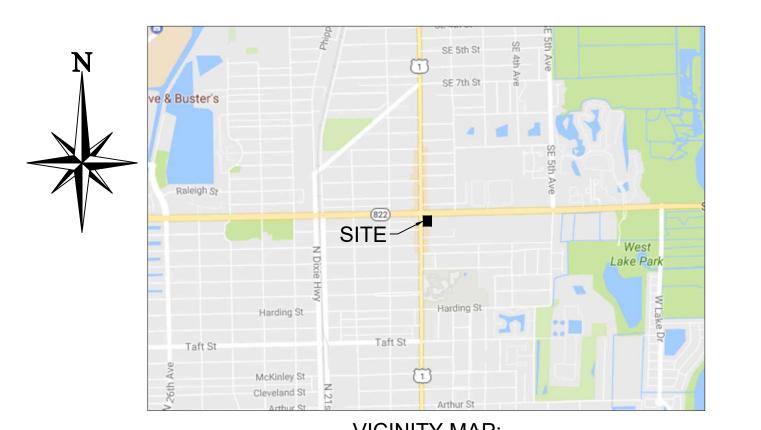
User: CDUNBAR Plot Date/Time: Jul. 13, 17 - 14:47:18 Drawing: P:\J.P. Morgan Chase\Hollywood, FL Young Circle #38100P019578 - JPM.19067\FLDATA\02 Drawings\20 Civil\10 Const Plans\JPM-19067\-P-DETL.dwg; C1 COVER SHEE

CIVIL CONSTRUCTION PLANS

FOR CHASE (1)

CHASE BANK - STORE NO. 55203

1700 SHERIDAN STREET HOLLYWOOD, FL 33020 SECTION 10, TOWNSHIP 51 S., RANGE 42 E. BROWARD COUNTY, FLORIDA



:	SHEET INDEX			
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
C1	COVER SHEET	Х		
C2	GENERAL NOTES	Х		
C3	PHASE 1 EROSION AND SEDIMENTATION CONTROL PLAN	х		
C4	PHASE 2 EROSION AND SEDIMENTATION CONTROL PLAN	Х		
C5	EROSION CONTROL DETAILS	Х		
C6	DEMOLITION PLAN	Х		
C7	SITE PLAN	Х		
C8	GRADING AND DRAINAGE PLAN	Х		
C9	UTILTY PLAN	Х		
C10-C12	CONSTRUCTION DETAILS	Х		
C13	PHOTOMETRIC PLAN	Х		
REF	ERENCE SHEETS			
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
SHEET 1 OF 1	ALTA/ACSM LAND TITLE SURVEY BY BLOOMSTER	Х		
L-01	EXISTING LANDSCAPE PLAN	Х		
L-02	LANDSCAPE PLAN	Х		
L-03	LANDSCAPE DETAILS	Х		
L-04	LANDSCAPE NOTES	Х		

LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10;

THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET;

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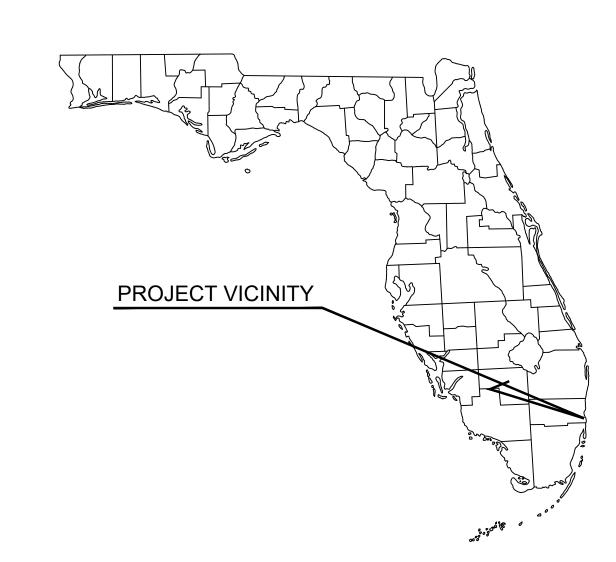
DISTANCE OF 110 87 FEFT THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET;

THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT;

THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1);

THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.

CITY MEETING RECORD						
TITLE	DATE					
PRE-APPLICATION CONCEPTUAL OVERVIEW (PACO)	MARCH 13, 2017					
PRELIMINARY TECHNICAL ADVISORY COMMITTEE (TAC)	JUNE 19, 2017					
FINAL TECHNICAL ADVISORY COMMITTEE (TAC)	JULY 31, 2017					
PLANNING AND DEVELOPMENT BOARD						



NLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHO OTHER THAN THAT SPECIFICALLY INTENDED ISER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.



07/14/17 TAC COMMENTS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

STORE NO. 55203 1700 SHERIDAN HOLLYWOOD, FL

COVER SHEET

SCALE: DRAWN BY:

CHECKED BY:

GENERAL DEMOLITION NOTES: THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT-OF-WAY DURING CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES. ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.

CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS

THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE

THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR

OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED

FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND

ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING

DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT

ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS

WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF

ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL

THE SITE GEOTECHNICAL REPORT. ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT

CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND

DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE

CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF

THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT

RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL

THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS. FACILITY

THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY

OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND

ENTIRE CONSTRUCTION AREA PRIOR TO TURNOVER TO THE OWNER.

COORDINATE WITH THE OWNER AND THE ARCHITECT/ENGINEER.

EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.

EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD.

COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE

NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON

POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.

THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH THE

EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE.

AREAS OF EXISTING PAVING THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE SAWCUT, THEN

THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY

DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL

SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES

OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH

IF REQUESTED BY THE OWNER, PROVIDE TEMPORARY CONSTRUCTION FENCING, MINIMUM 6'-0" HIGH,

AROUND ENTIRE AREA OF CONSTRUCTION OR PER THE CLIENTS STANDARDS. FIELD VERIFY EXACT

LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION.

REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT FENCE POST

CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING

CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN

DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING,

RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS

ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER

PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL

Iser: CDUNBAR Plot Date/Time: Jul. 13, 17 - 14:40:39 Drawing: P:\J.P. Morgan Chase\Hollywood, FL Young Circle #38100P019578 - JPM.19067\FLDATA\02 Drawings\20 Civil\10 Const Plans\JPM-19067-P-DETL.dwg; C2 GENERAL NOTES

OF BUILDING APPURTENANCES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING

23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED. REMOVED OR

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON

CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS

ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC

CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.

CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.

DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED

COST SHALL BE INCLUDED IN BASE BID.

THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE

OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.

CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES

VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES

INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY

ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE

GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.

SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL

ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT

AND REPAIR

CONTRACTOR'S EXPENSE

GENERAL SITE NOTES:

AND O.S.H.A. STANDARDS.

CONSTRUCTION OF THIS PROJECT

OF CONSTRUCTION ACTIVITIES

REMOVED AND REPLACED.

EXISTING FLUSH AND SMOOTH.

UNLESS NOTED OTHERWISE).

IN GRADE AND ALIGNMENT.

REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF

CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE

CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY

THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL

- 25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
- OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL

11. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.

13. REFER TO ARCHITECTURAL PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.

16. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.

THE MOST STRINGENT SHALL GOVERN.

EXPENSE OF THE CONTRACTOR

SPECIFICATIONS

OF THE LOWER PIPE

PLUMB AND LOCATED ACCORDING TO THE PLANS.

AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

REVIEWED, APPROVED AND RETURNED TO THE CONTRACTOR.

12. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 4000

14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES

CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS

18. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES

CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, FOLIPMENT, MACHINERY, TOOLS, MEANS

OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE IN

ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE

CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT

CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE

19. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.

DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S

WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH, VALVES SHALL BE

COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT

SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED

APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN

CITY/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS

THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS

DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONAL. ANY WORK

24. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS

AND SUBMITTED TO THE CITY/COUNTY FOR APPROVAL. THE SCHEDULING, COORDINATION AND

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS,

SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER

SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A

27. A MINIMUM HORIZONTAL DISTANCE OF TEN FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND

LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING

THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS

OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT

MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.

AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.

TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.

SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION.

36. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.

AND SPECIFICATIONS.

SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE

JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO

THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER

LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED. THE WATER LINE OR

EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE

IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF

CARRYING WATER OR SEWER UNDER PRESSURE WHERE A WATER LINE MUST UNAVOIDABLY PASS

EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.

BENEATH THE SEWER LINE. AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE

A MINIMUM HORIZONTAL DISTANCE OF THREE FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND

OTHER UNDERGROUND OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS

29. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER

30. ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE

ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE

35. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS

33. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY/COUNTY AND/OR FIRE

APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.

CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED

BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE

WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS,

MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP

AND A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE

NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

REQUIRED. THE CITY/COUNTY ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED FIVE

PREFORMED PRIOR TO NOTIFYING THE CITY/COUNTY ENGINEERING INSPECTION OFFICE OR WITHOUT A

CITY/COUNTY UTILITY REGULATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD

SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS

AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND

DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE

23. AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE

BY THE GOVERNING UTILITY DEPARTMENT. CONTRACTOR TO COPY THE ENGINEER OF RECORD WITH

THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN

21. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE

SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG

WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES

AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE

WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.

17. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.

- CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE AND THE SITE SHALL BE STABILIZED PER THE PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
- 28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
- ALL VEGETATION FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE.
- CONTRACTOR IS RESPONSIBLE FOR PERMITTING. INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION, MAINTENANCE OF TRAFFIC SHALL CONFORM TO GOVERNING AGENCY STANDARDS
- ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY/COUNTY DEVELOPMENT CODE. ZONING. AND/OR RELATED ORDINANCES. AND MINIMUM TESTING FREQUENCY REQUIREMENTS

GENERAL PAVING AND GRADING NOTES:

- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

FIT AND CONTINUOUS GRADE.

- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH
- CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO
- ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST
- EDITION) RESPECTIVELY. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE
- STRINGENT ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI IN 28 DAYS, ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5-FOOT CENTERS AND EXPANSION JOINTS PLACED ON 60-FOOT CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS CONTRACTION JOINT SPACING MATCHES WIDTH OF SIDEWALK AND EXPANSION JOINTS ARE REQUIRED AT A MAXIMUM OF 25 FEFT. THIS WOULD MEAN 24 FEFT FOR A 6 INCH CURB. PAVEMENT

JOINTS SHALL BE SPACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR DETAILS.

- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL
- PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND GEOTECHNICAL REPORT. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL (CLAY SUBGRADE MATERIAL MARI. FTC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.
- CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DEWATERING MAY BY REQUIRED.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT/ENGINEER PRIOR TO
- 20. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND
- 21. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
- 22. CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES. THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING. EXISTING CONCRETE PAVING. WATER LINES. IRRIGATION LINES. GRASS AREAS. LANDSCAPING. AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- 7 IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT. AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED
- 10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

₩ WATER VALVE

 □ LIGHT POST GAS VALVE

CBS CONCRETE BLOCK STRUCTURE EP EDGE OF PAVEMENT R/W RIGHT OF WAY

M.B. MAP BOOK PG. PAGE

BCR BROWARD COUNTY RECORDS E UNDERGROUND ELECTRIC

WL UNDERGROUND WATER LINE NAVD NORTH AMERICAN VERTICAL DATUM

EXISTING LEGEND:

(S) MANHOLE

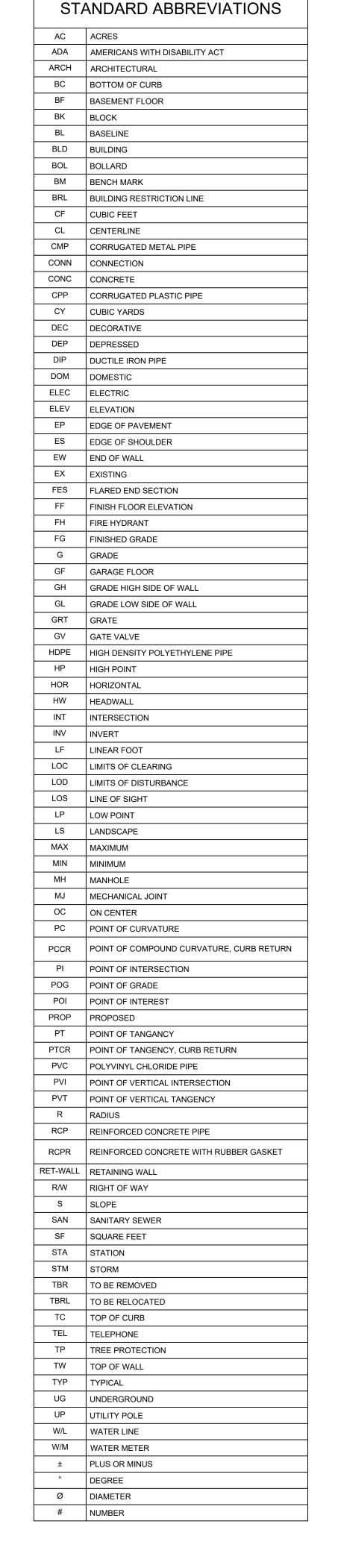
C FIRE HYDRANT + SPOT ELEVATIONS

INV. INVERT EL. ELEVATION DEPT. DEPARTMENT

ORR OFFICIAL RECORDS BOOK

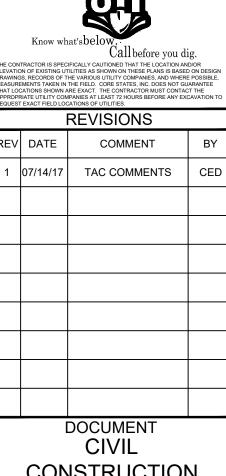
PB PLAT BOOK

LB LICENSED BUSINESS



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CONSTRUCTION PLANS FOR **CHASE BANK STORE NO. 55203** SITE LOCATION 1700 SHERIDAN

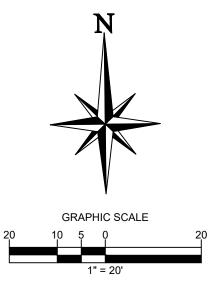
ENGINEER SEAL

HOLLYWOOD, FL

SHEET TITLE

GENERAL NOTES

05.12.201 SCALE: DRAWN BY: CHECKED BY:



SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

1. INSTALL STABILIZED CONSTRUCTION EXIT(S).

3. PREPARE TEMPORARY PARKING AND STORAGE AREA.

2. INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE, AND INLET PROTECTION(S) (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).

4. HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION OF BMP'S.

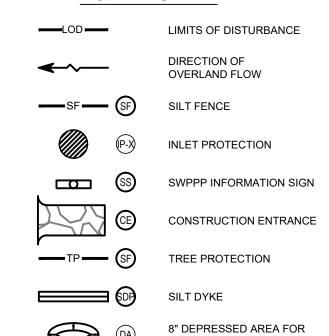
- 5. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
- 6. BEGIN GRADING THE SITE. 7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

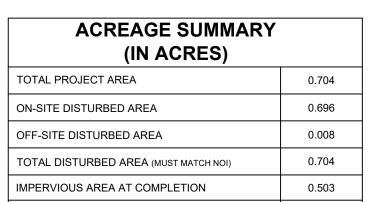
- 1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS. 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS
- INSTALLED. 4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET
- STRUCTURE IS INSTALLED.
- 5. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- 8. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
- 9. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.
- 10. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION
- 11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
- 12. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE
- 13. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE FDEP AND SHAL

PROVIDE A COPY OF FDEP APPROVAL TO THE OWNER AND ENGINEER OF RECORD. NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES

CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

E&S LEGEND



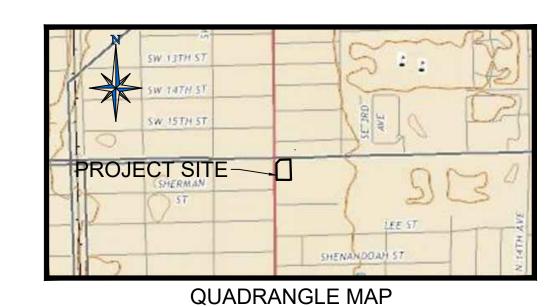


PERVIOUS/ SEEDED AREA AT COMPLETION

8" DEPRESSED AREA FOR

0.193

CONCRETE WASHOUT



BEST MANAGEMENT PRACTICES:

3. CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE

- 1. STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
- 2. DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY. LOT DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS,
- VEHICLE ENTRANCES AND EXITS: ACTIONS TAKEN AND INSPECTORS NAME.
- 4. COPY OF SWPPP SHALL BE KEPT ON SITE
- 5. PERIMETER MUST RETAIN THE SWPPP, NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF PROJECT

ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURED LIDDED METAL DUMPSTER. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT AND THE TRASH BE HAULED TO A LICENSED

II. HAZARDOUS WASTE

AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS. ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING, COMPOUNDS AND ADDITIVES. IN EVENT OF SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPARTMENT AND NMED.

ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER

V. GOOD HOUSEKEEPING

ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.

A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB

- B. NEATLY STORE MATERIALS ON-SITE IN A SECURE MANNER
- C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER D. DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE
- E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING F THE CONTAINER F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROP USE AND DISPOSAL

VI. HAZARDOUS CONDITIONS PRACTICES TO REDUCE RISKS:

A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE

B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS C. DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS

VII. PETROLEUM PRODUCTS

PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED, ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER RECOMMENDATION.

VIII. SPILL CONTROL PRACTICES:

A. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE WARE OF THE PROCEDURE B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE

C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN

E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING

IX. MAINTENANCE AND INSPECTION PROCEDURES

All POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD

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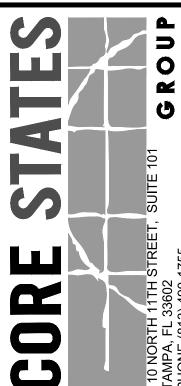
X. REMARKS

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MAINTENANCE

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- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
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- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY.



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CLIENT



REVISIONS 07/14/17 TAC COMMENTS

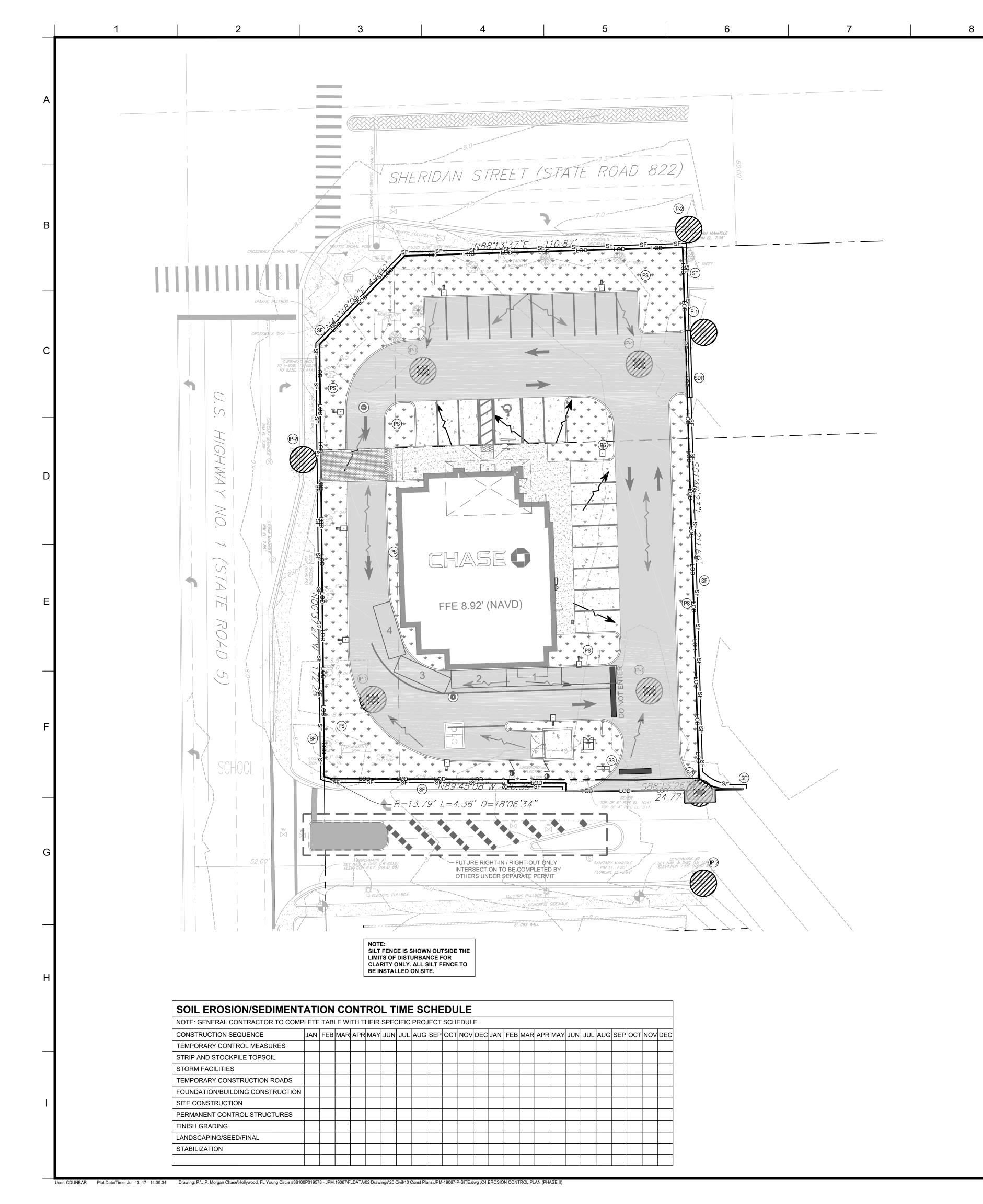
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

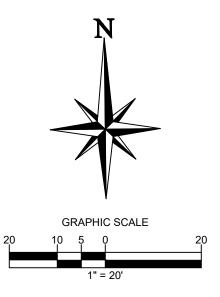
STORE NO. 55203 SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL 33020

ENGINEER SEAL

EROSION AND SEDIMENTATION CONTROL PLAN

PHASE I 05.12.201 SCALE: DRAWN BY: CHECKED BY:





SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

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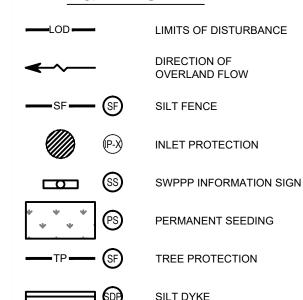
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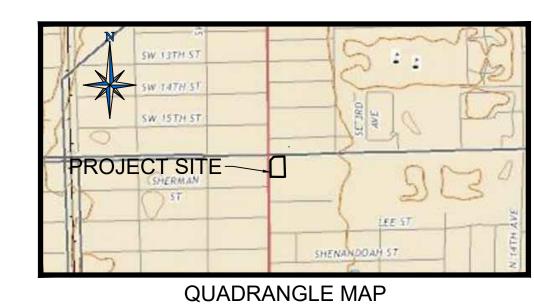
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NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

E&S LEGEND



ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	0.704
ON-SITE DISTURBED AREA	0.696
OFF-SITE DISTURBED AREA	0.008
TOTAL DISTURBED AREA (MUST MATCH NOI)	0.704
IMPERVIOUS AREA AT COMPLETION	0.503
PERVIOUS/ SEEDED AREA AT COMPLETION	0.193



1"=1000'

BEST MANAGEMENT PRACTICES:

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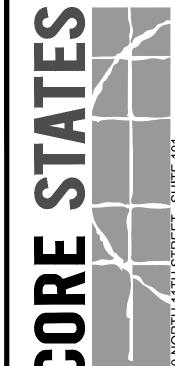
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CLIENT



REVISIONS 07/14/17 TAC COMMENTS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

STORE NO. 55203 SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL

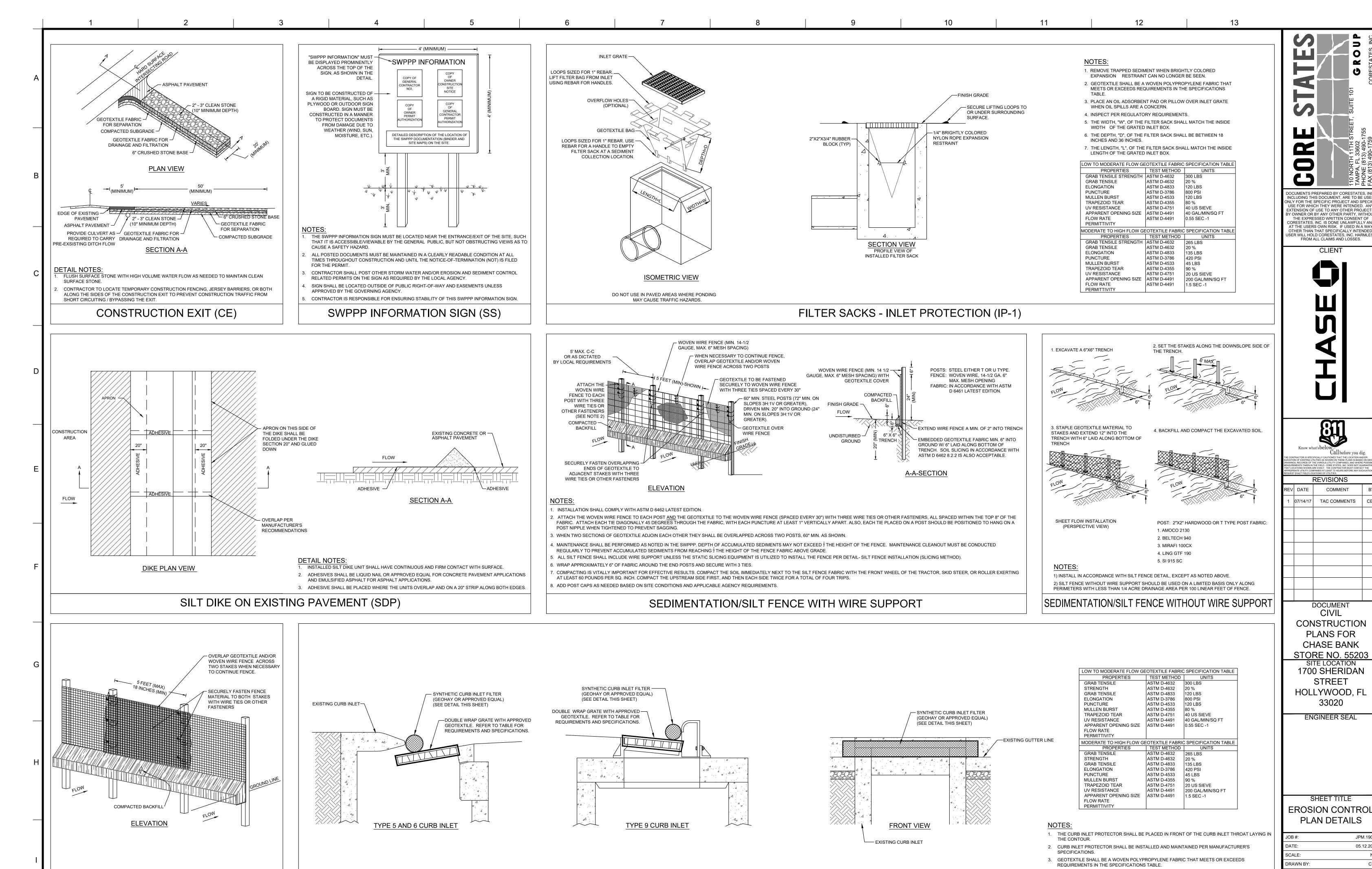
ENGINEER SEAL

33020

EROSION AND SEDIMENTATION CONTROL PLAN

PHASE II

05.12.201 SCALE: DRAWN BY: CHECKED BY:



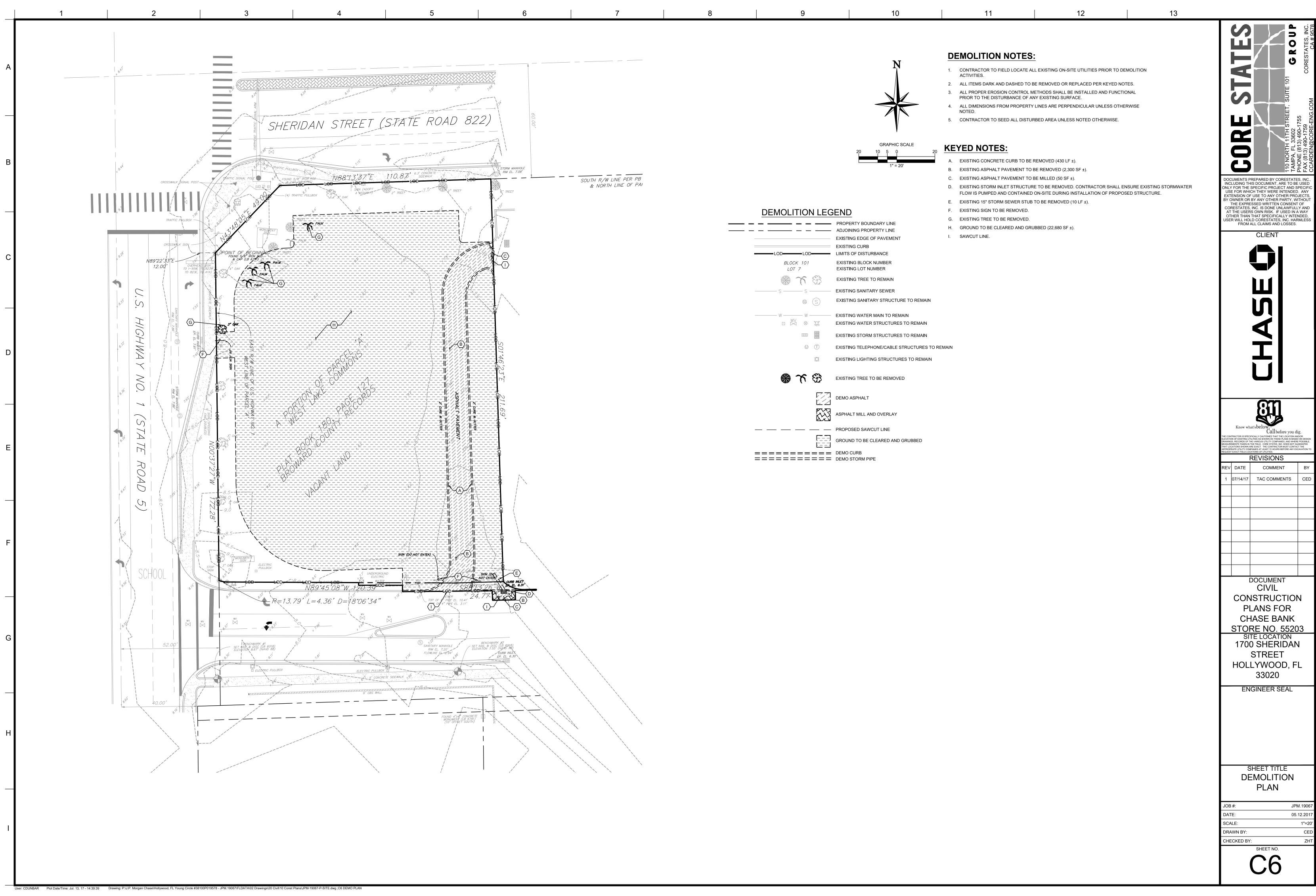
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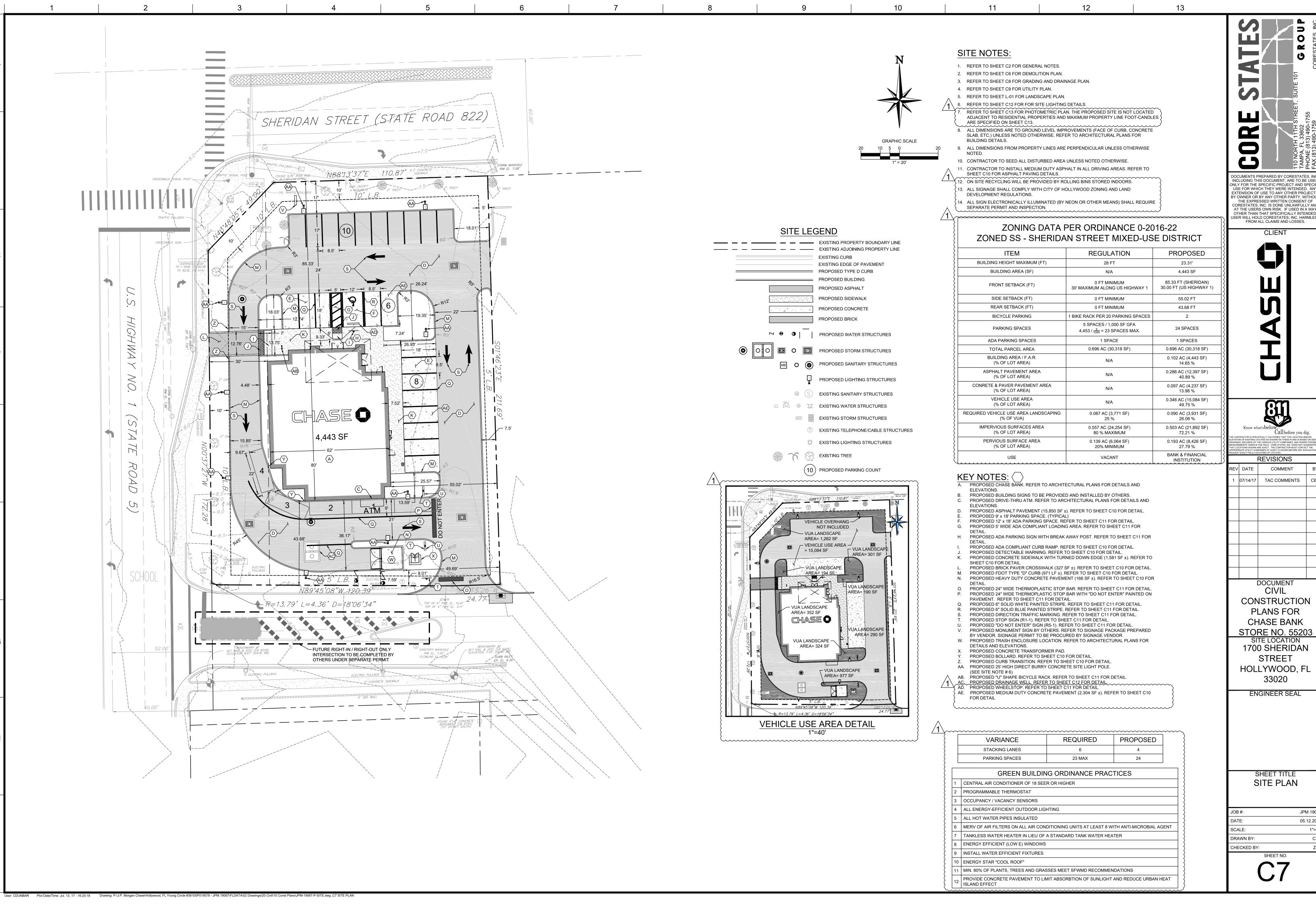
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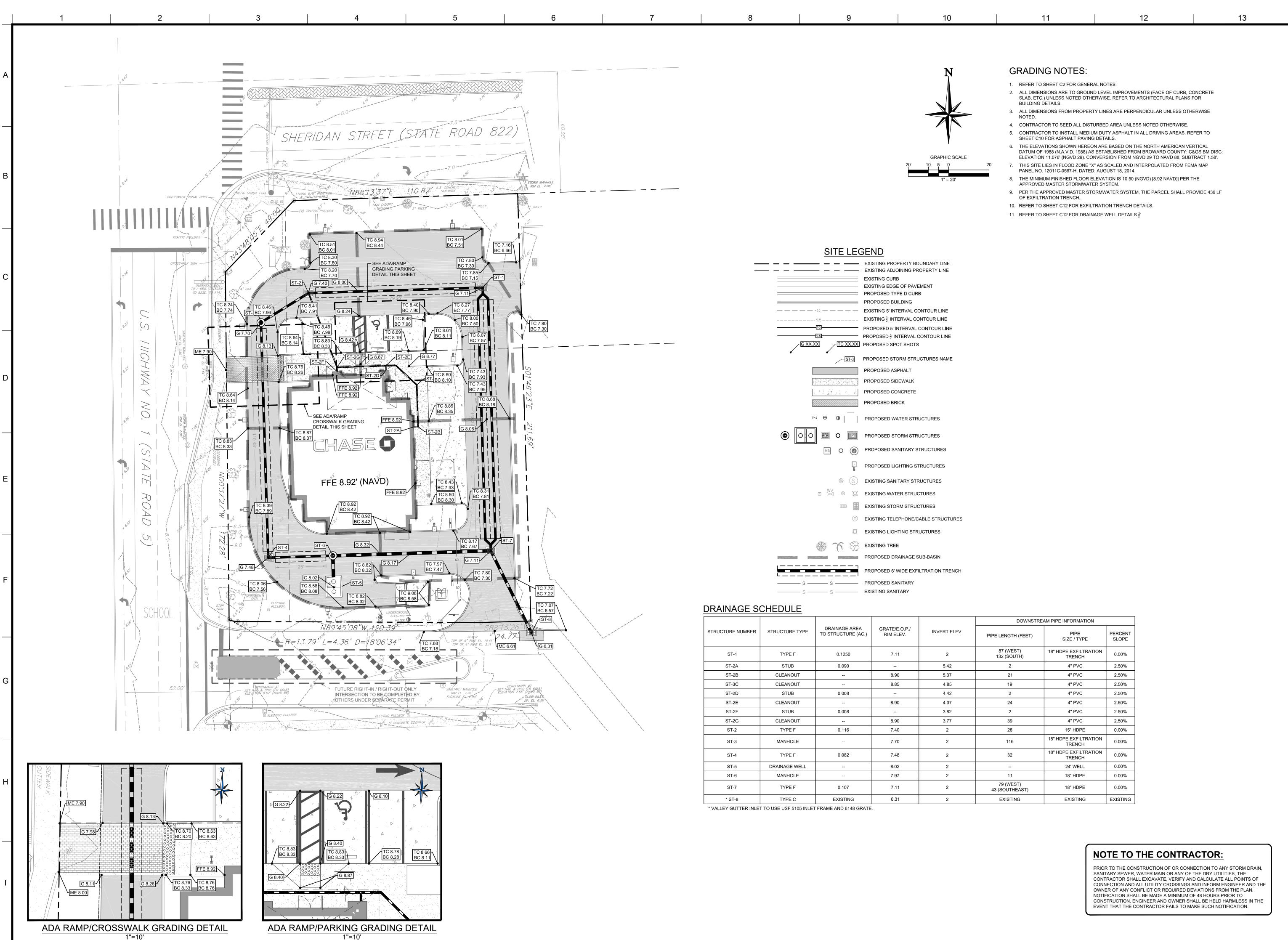
4. INSPECT PER REGULATORY REQUIREMENTS.

OVERLAP OF SEDIMENTATION/SILT FENCE





JPM.1906 05.12.201



User: CDUNBAR Plot Date/Time: Jul. 13, 17 - 14:39:51 Drawing: P:\J.P. Morgan Chase\Hollywood, FL Young Circle #38100P019578 - JPM.19067\FLDATA\02 Drawings\20 Civil\10 Const Plans\JPM-19067-P-SITE.dwg; C8 GRADING AND DRAINAGE PLAN

RESTATES

DOCUMENTS PREPARED BY CORESTATES, INC INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIF USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

CLIENT

SEC

Know what's below.

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THE CONTRACTOR IS SPECIFICALLY CAUTIONS THAT THE LOCATION ANDIOR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSIGN MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION REDUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV DATE COMMENT BY

1 07/14/17 TAC COMMENTS CE

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK

STORE NO. 55203
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

SHEET TITLE
GRADING AND
DRAINAGE PLAN

 JOB #:
 JPM.19067

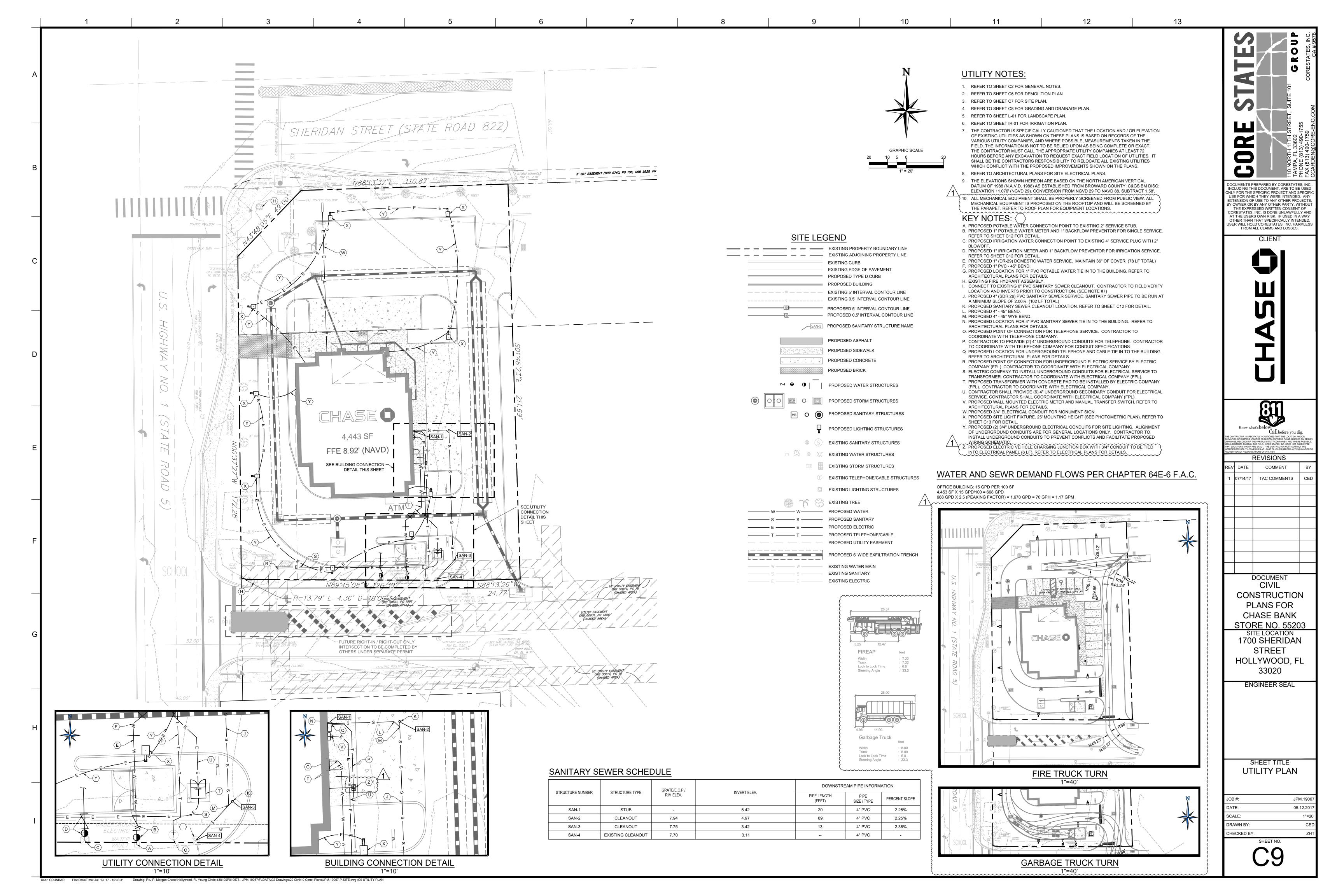
 DATE:
 05.12.2017

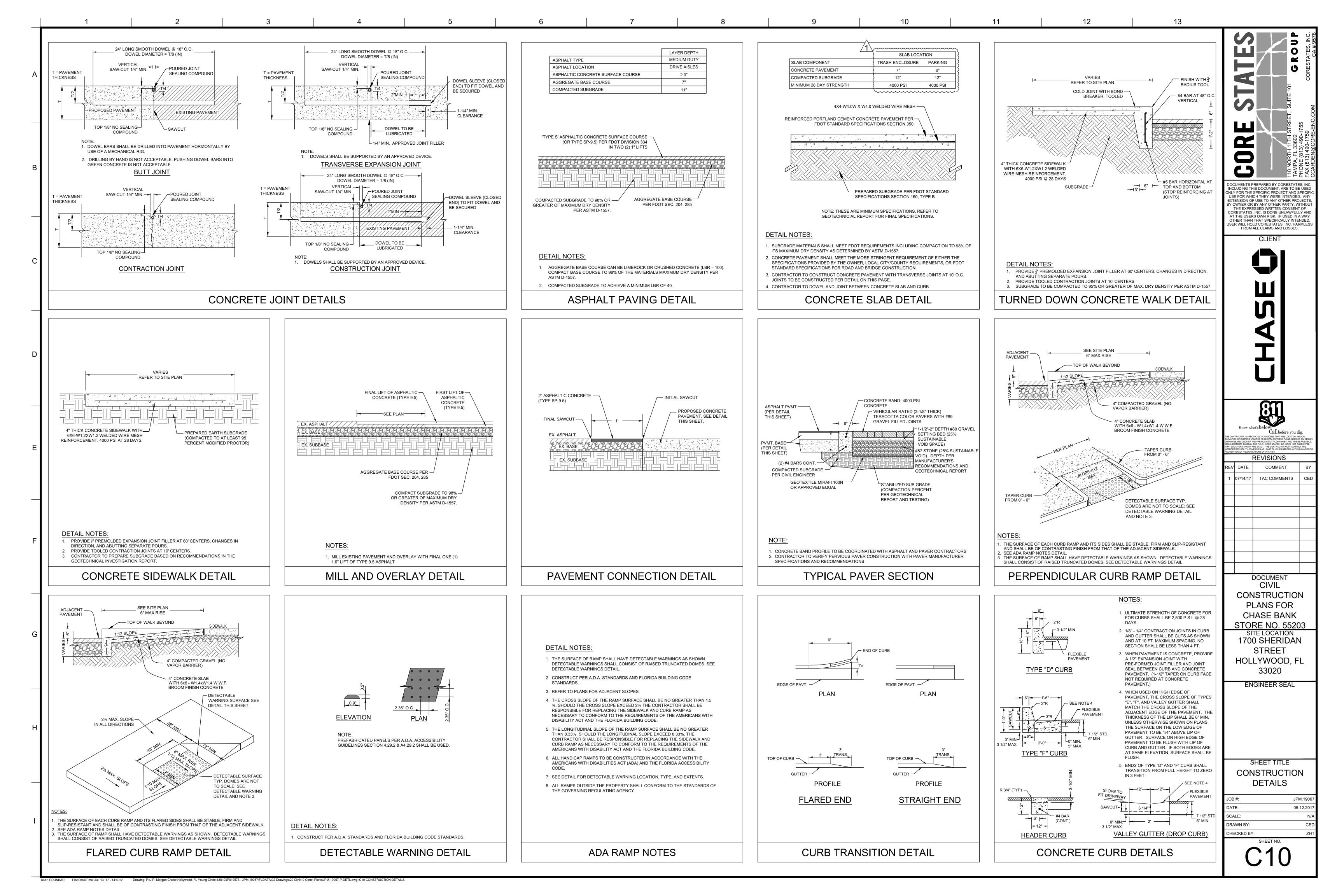
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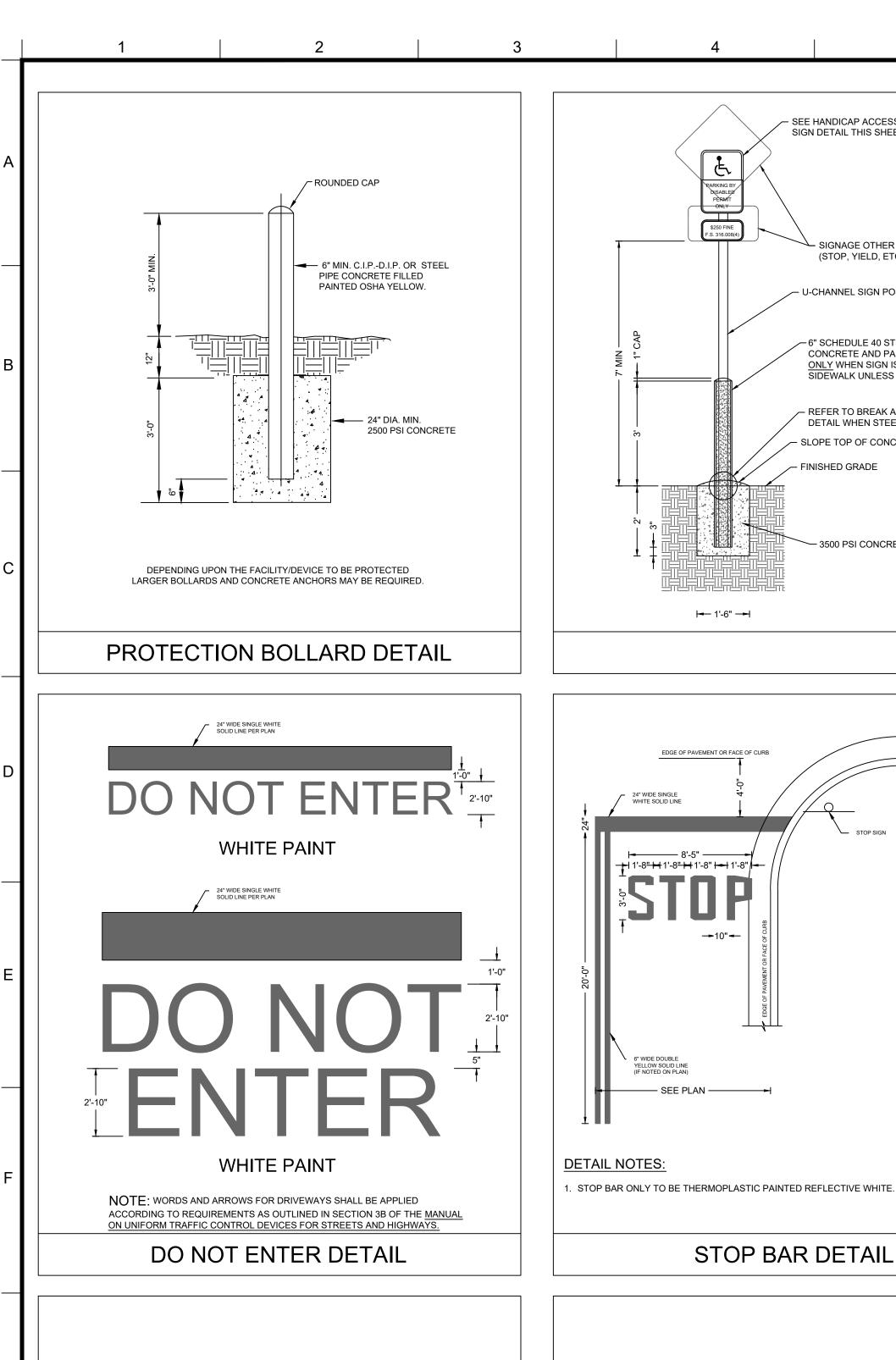
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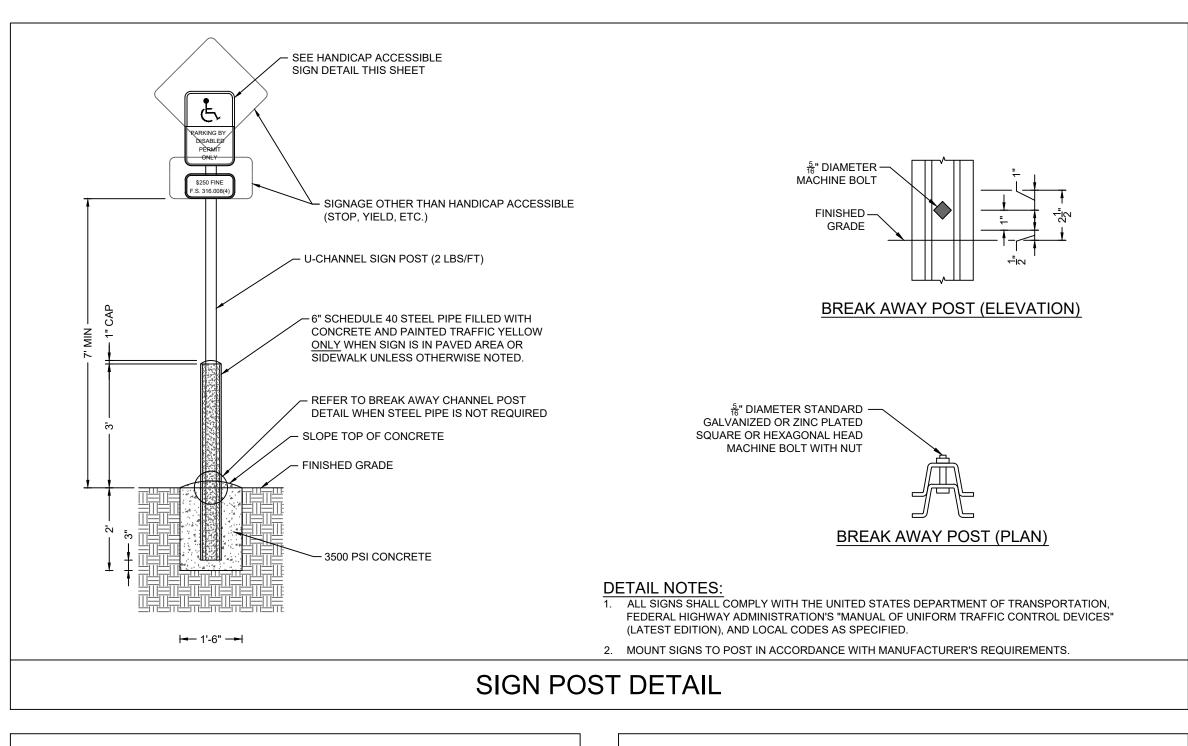
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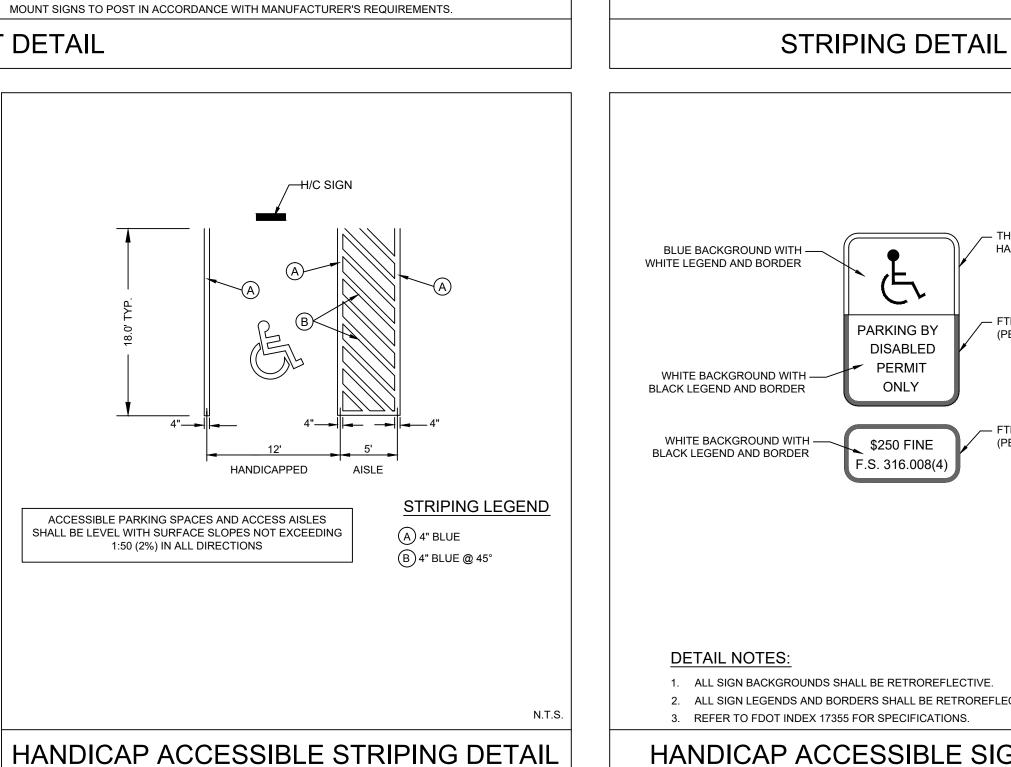
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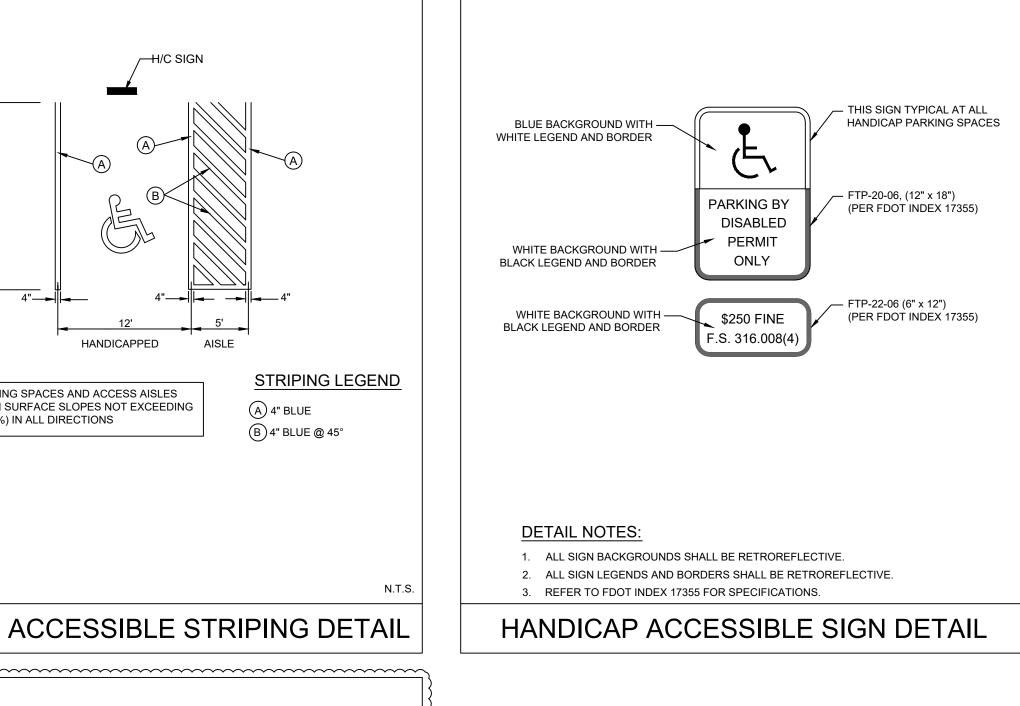












SOLID PARKING SPACE LINE (4" WIDE WHITE)

SOLID PARKING LINE (4" WIDE BLUE)

SOLID LANE LINE (6" WIDE WHITE)

SOLID DOUBLE CENTER LINE (6" WIDE YELLOW)

SOLID CROSSWALK TRANSVERSE LINE (12" WIDE WHITE)

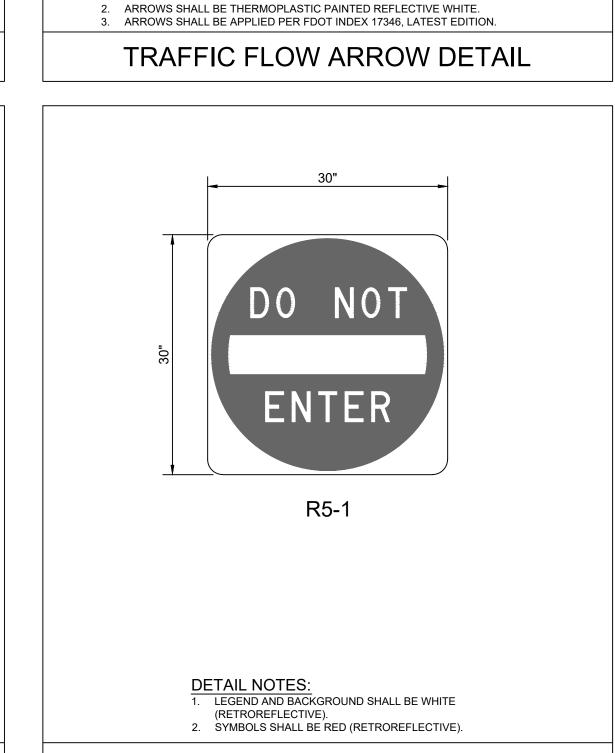
SOLID STOP BAR LINE (24" WIDE WHITE)

NOTE: ALL STRIPING SHALL BE THERMOPLASTIC

OR NOTED ON THE SITE PLAN AND SHALL MEET

HAVING JURISDICTION.

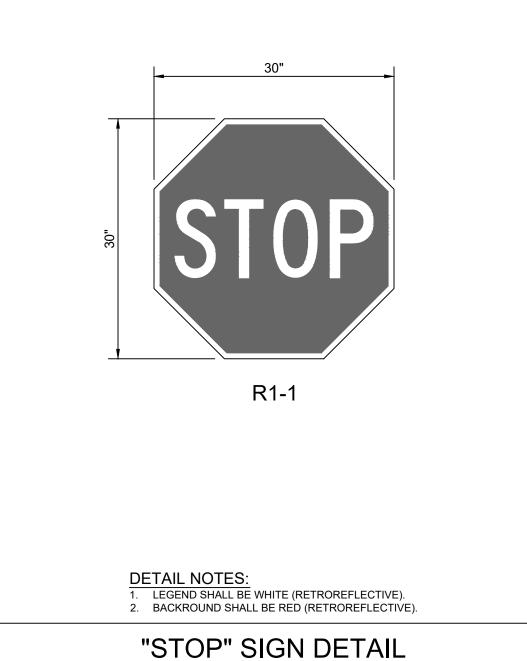
THE CRITERIA OF STATE AND LOCAL AUTHORITIES

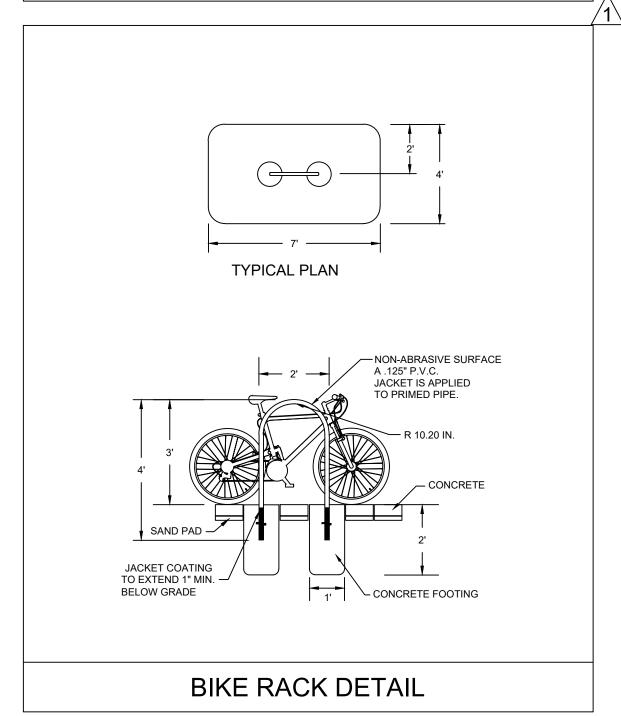




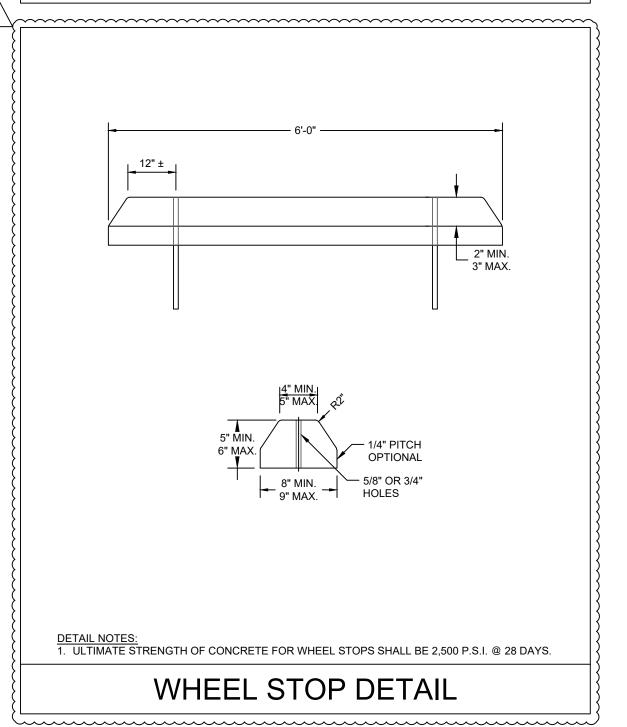
05.12.2017

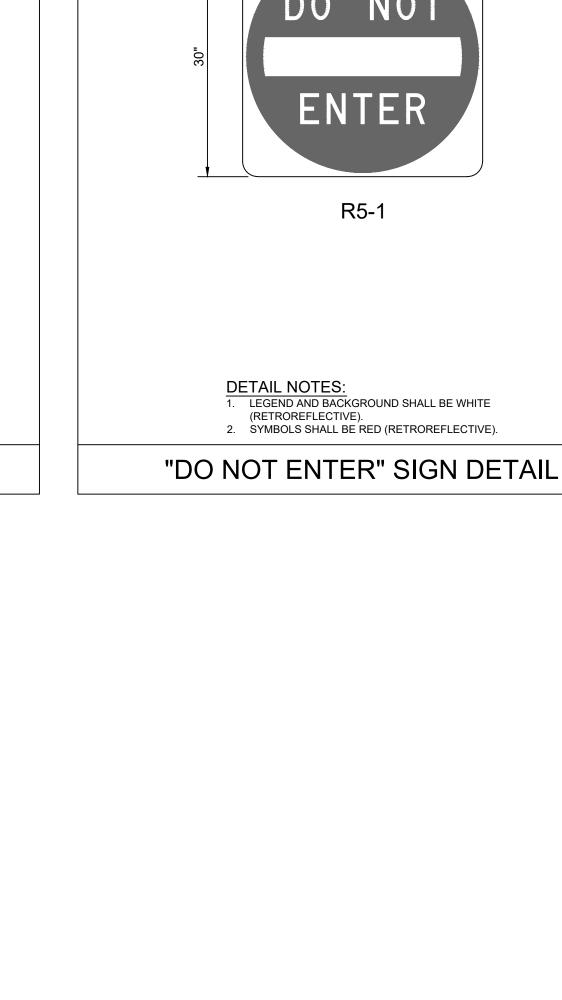
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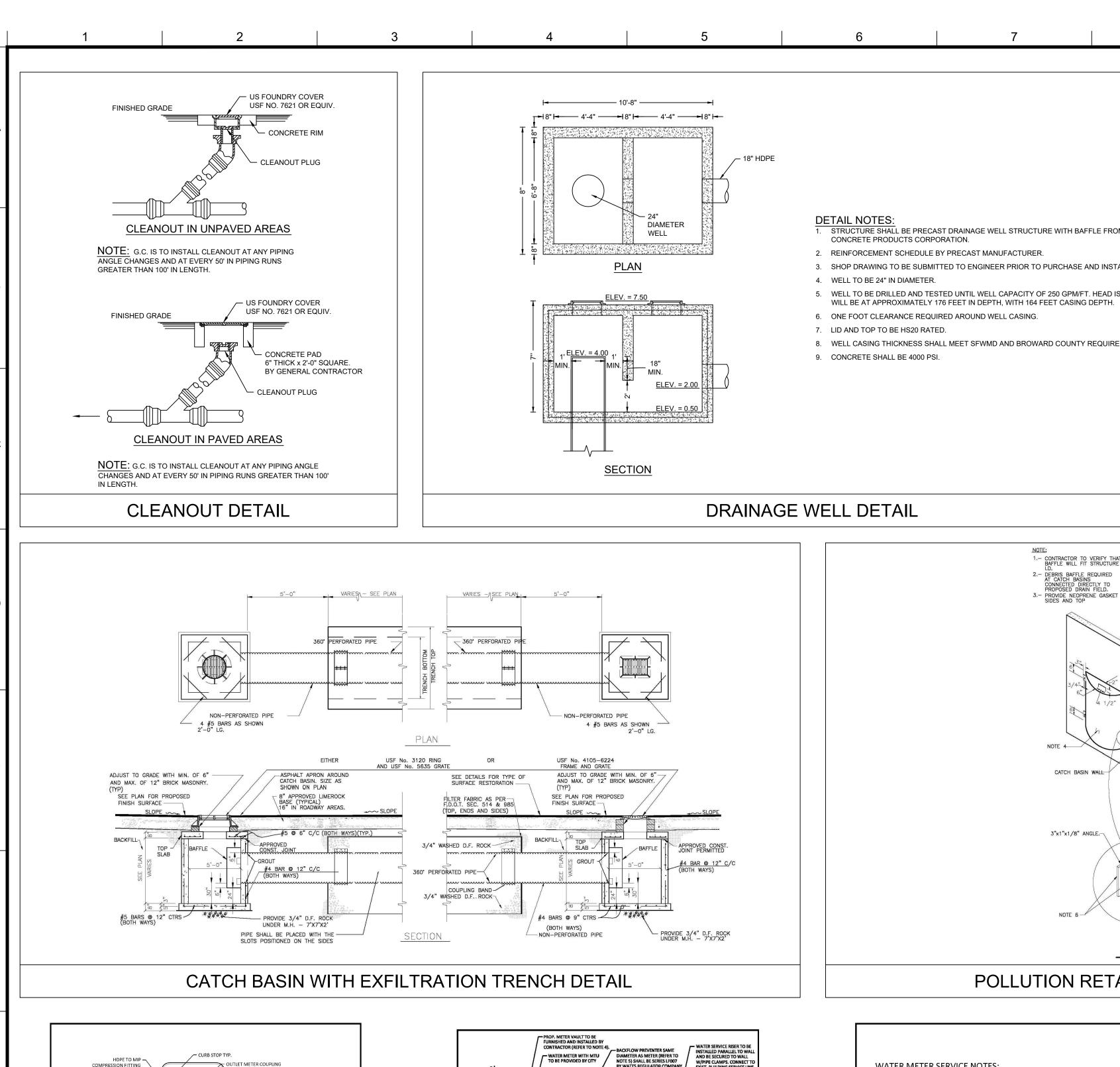
STOP BAR DETAIL

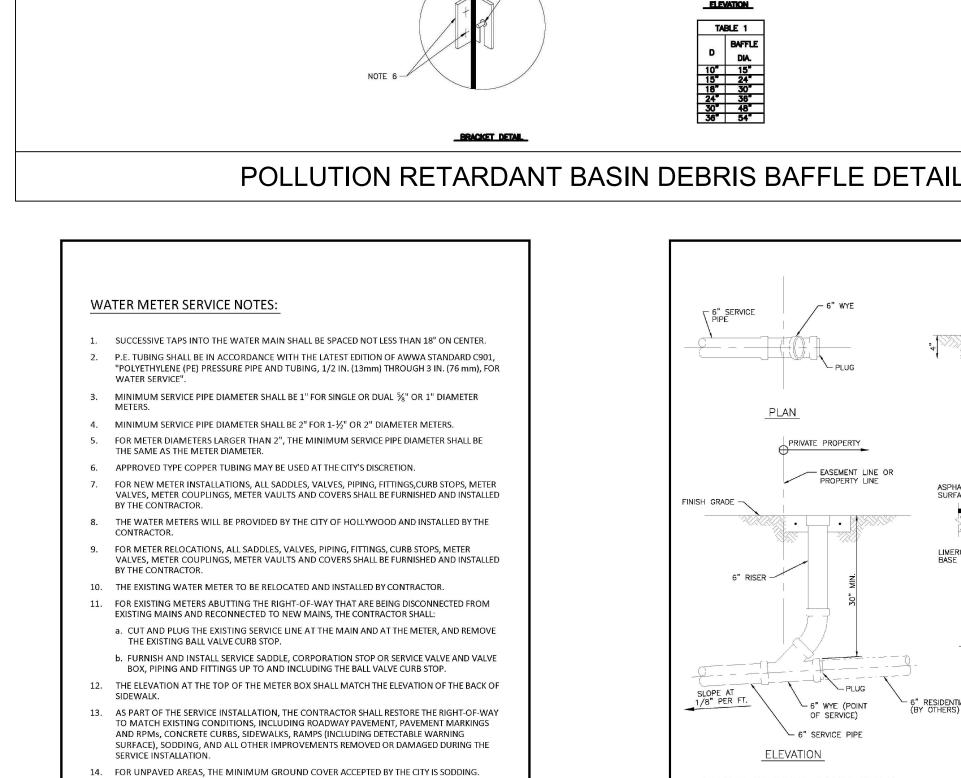




THROUGH LANE ARROW

DETAIL NOTES:

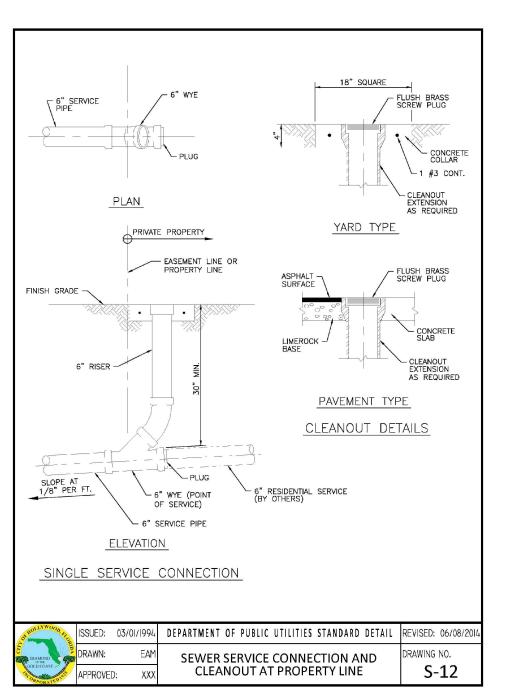


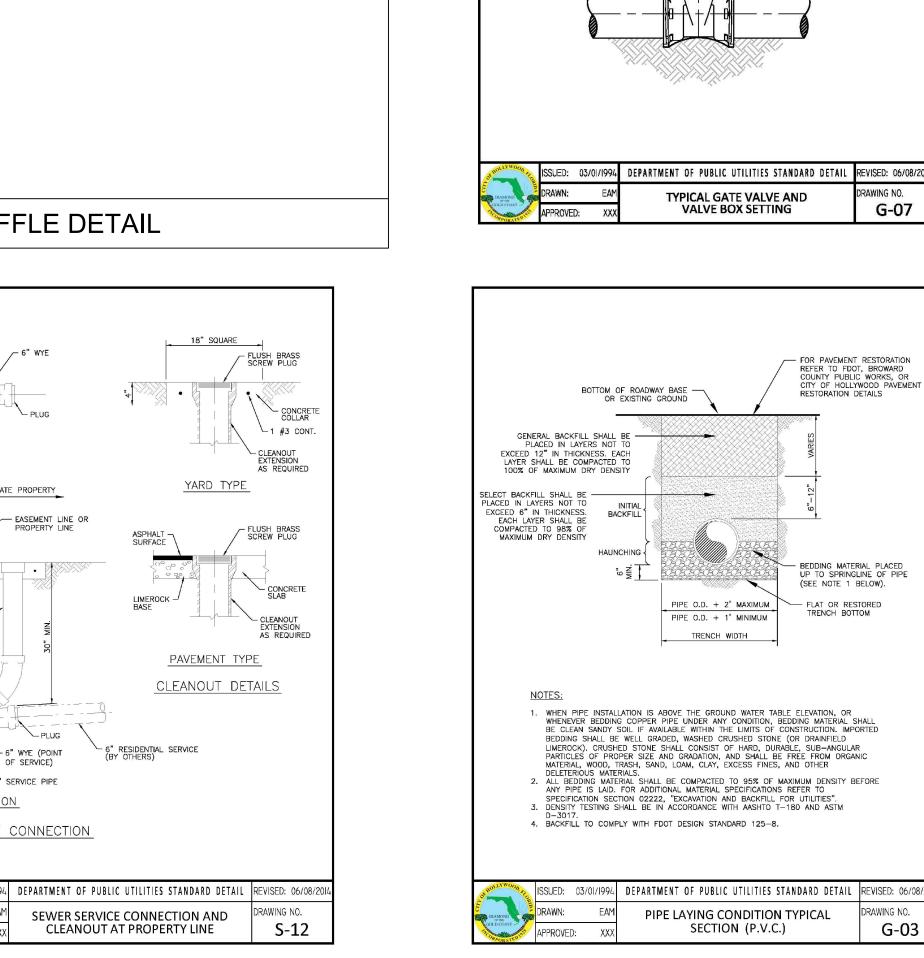


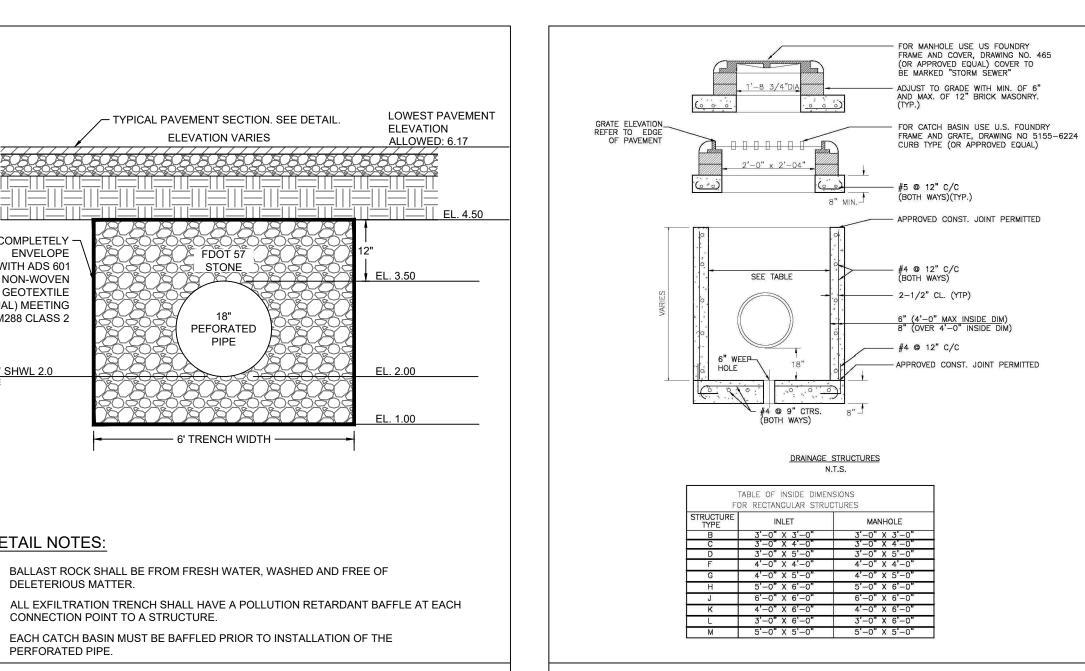
| ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 06/08/201

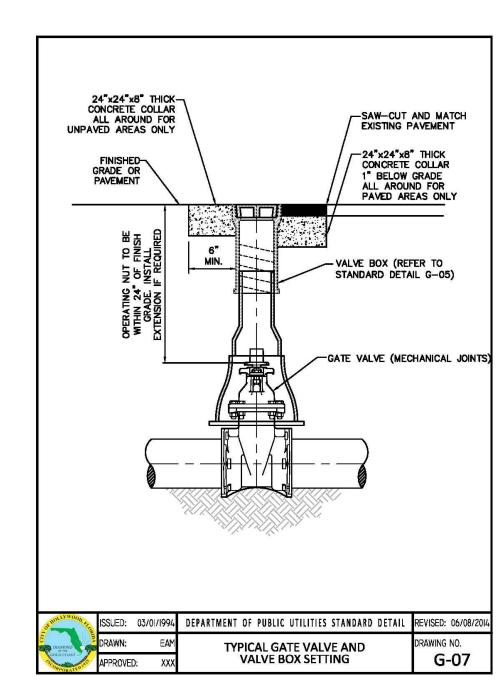
5/8" THROUGH 2" METERS

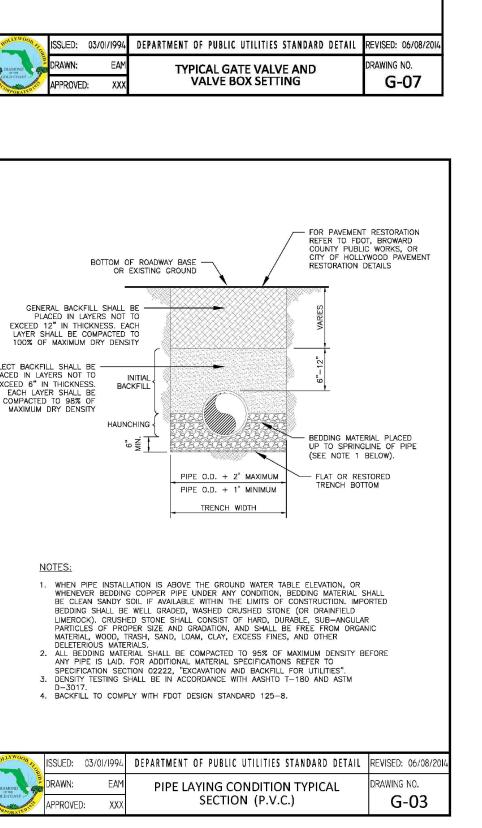
EAM WATER METER SERVICE NOTES FOR

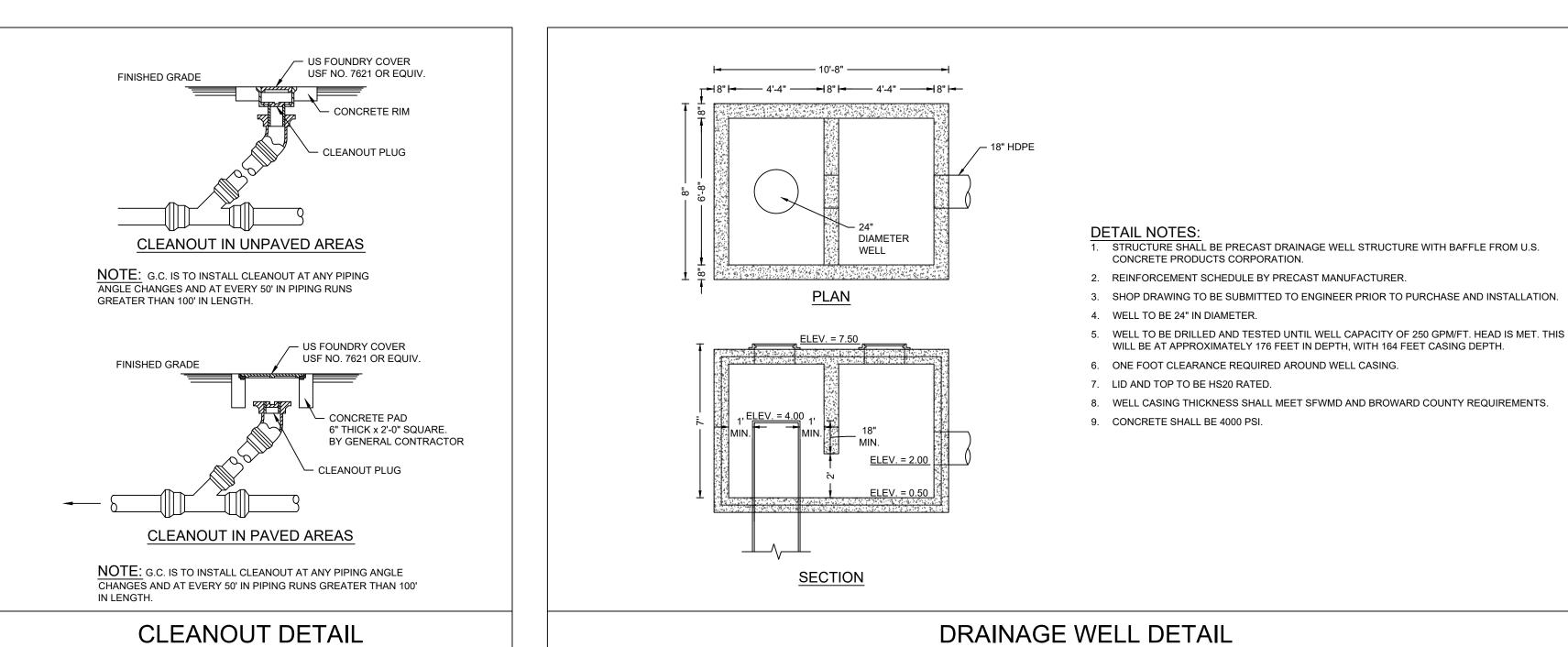


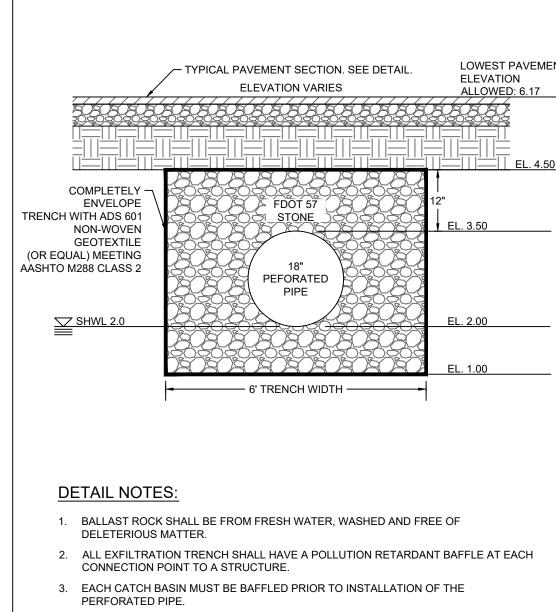












D = PIPE DIAMETER-

TABLE 1

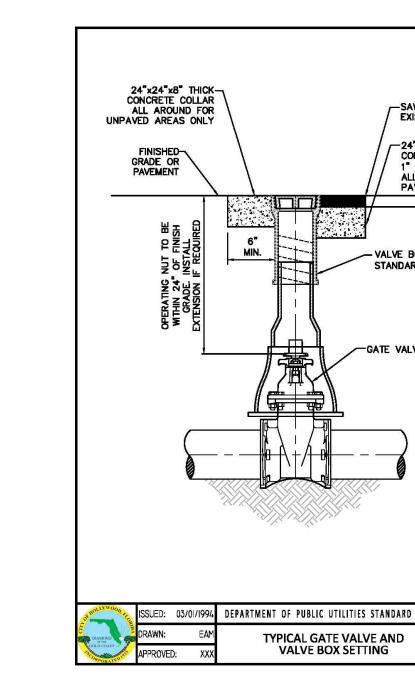
SECTION OF A.C.M.P. <u>CUT IN HALF</u> OR EQUIVALENT PREFABRICATED FIBERGLASS, BAFFLE DIAMETER TO BE AS PER TABLE 1

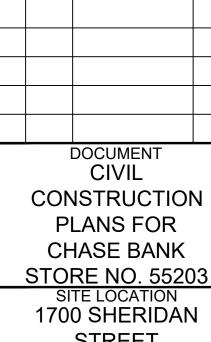
5.- 1/2" GALVANIZED LAG BOLT IN LEAD SHIELD

6.- WELD OR 2-1/4" THRU BOLTS.

-3"x1"x1/8" ANGLE







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REVISIONS

07/14/17 TAC COMMENTS

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OCUMENTS PREPARED BY CORESTATES INC

INCLUDING THIS DOCUMENT, ARE TO BE USE NLY FOR THE SPECIFIC PROJECT AND SPECI

USE FOR WHICH THEY WERE INTENDED. AN' EXTENSION OF USE TO ANY OTHER PROJECTS
BY OWNER OR BY ANY OTHER PARTY, WITHOU

THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND

OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

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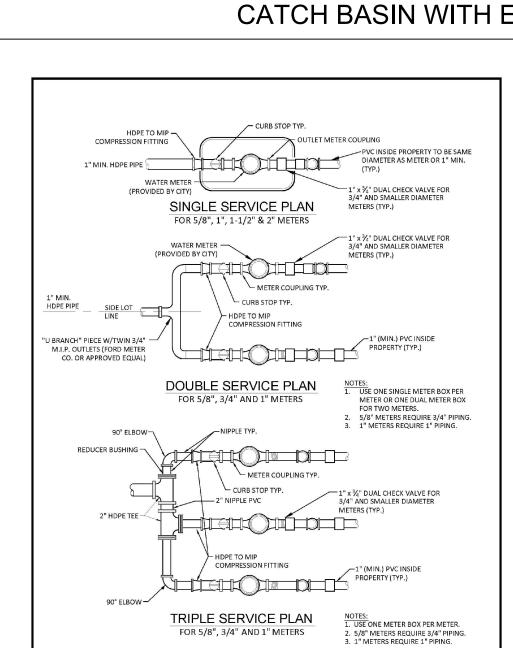
STREET HOLLYWOOD, FL 33020

ENGINEER SEAL

SHEET TITLE CONSTRUCTION

JPM.1906 05.12.201 SCALE: DRAWN BY: CHECKED BY:

DETAILS



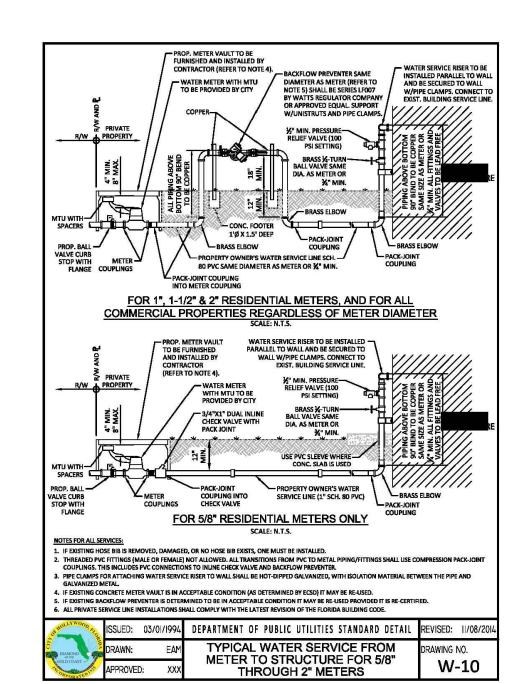
FOR 5/8", 3/4" AND 1" METERS

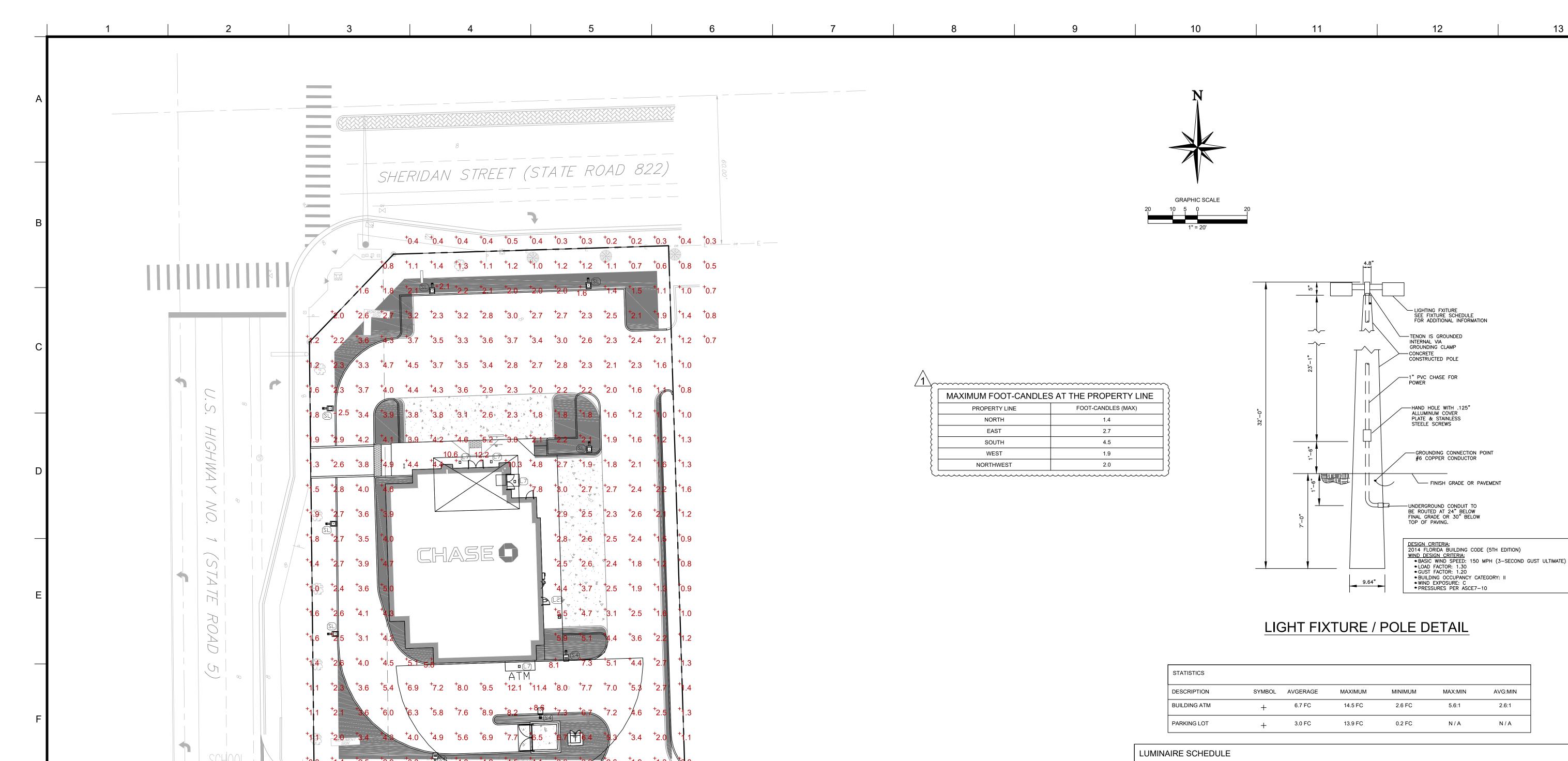
SSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/20

2" METER INSTALLATION

W-06

User: CDUNBAR Plot Date/Time: Jul. 13, 17 - 14:41:01 Drawing: P:\J.P. Morgan Chase\Hollywood, FL Young Circle #38100P019578 - JPM.19067\FLDATA\02 Drawings\20 Civil\10 Const Plans\JPM-19067-P-DETL.dwg; C12 CONSTRUCTION DETAILS





STATISTICS						
DESCRIPTION	SYMBOL	AVGERAGE	MAXIMUM	MINIMUM	MAX:MIN	AVG:MIN
BUILDING ATM	+	6.7 FC	14.5 FC	2.6 FC	5.6:1	2.6:1
PARKING LOT	+	3.0 FC	13.9 FC	0.2 FC	N/A	N/A

LUMIN	AIRE S	CHE	DULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	SL	6	EANB_E4740_0_E4 4000K	EVOLVE LED AREA EANB, TYPE IV COORDINATE MOUNTING BRACKET WITH POLE	LED	EANB_E4740	ABSOLUTE	1.00	98
III	S4	3	EANB_E3740_0_E4 4000K	EVOLVE LED AREA EANB, TYPE III COORDINATE MOUNTING BRACKET WITH POLE	LED	EANB_E3740	ABSOLUTE	1.00	98
	L7	4	CAN-227-PS-**-03- C-UL-43K (350mA) SCALED FROM CAN-227-PS-RM- 03-C-UL-525 BXCR0A03C-U (525mA)	SCALED FROM 30 LED EDGE PETROLEUM SYMMETRIC RECESSED CANOPY 525mA	SCALED FROM THIRTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP	CAN-227-PS- 03-C-UL- 43K- SCALED.IES	ABSOLUTE	0.75	38
Î	L21	1	WD14D4/LED- 3500K	WALL DIRECTOR LED DIE-CAST ALUMINUM HOUSING AND LENS FRAME. FLAT GLASS LENS. LED EMITTER DECK INCLUDES CONSTANT CURRENT LEDS, HEATSINKS, AND REFLECTORS. ONE 75 WATT TRP DRIVER.	20 THREE LED MODULES. CONSTANT CURRENT 3500K	WD14D4-I3K.IES	B ABSOLUTE	0.75	71

PHOTOMETRIC SITE PLAN

User: CDUNBAR Plot Date/Time: Jul. 13, 17 - 14:40:24 Drawing: P:\J.P. Morgan Chase\Hollywood, FL Young Circle #38100P019578 - JPM.19067\FLDATA\02 Drawings\20 Civil\10 Const Plans\JPM-19067-P-FOTO.dwg; C13 PHOTOMETRIC PLAN

5' CONCRETE SIDEWALK

NOTE TO THE CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

0 O

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REVISIONS 07/14/17 TAC COMMENTS

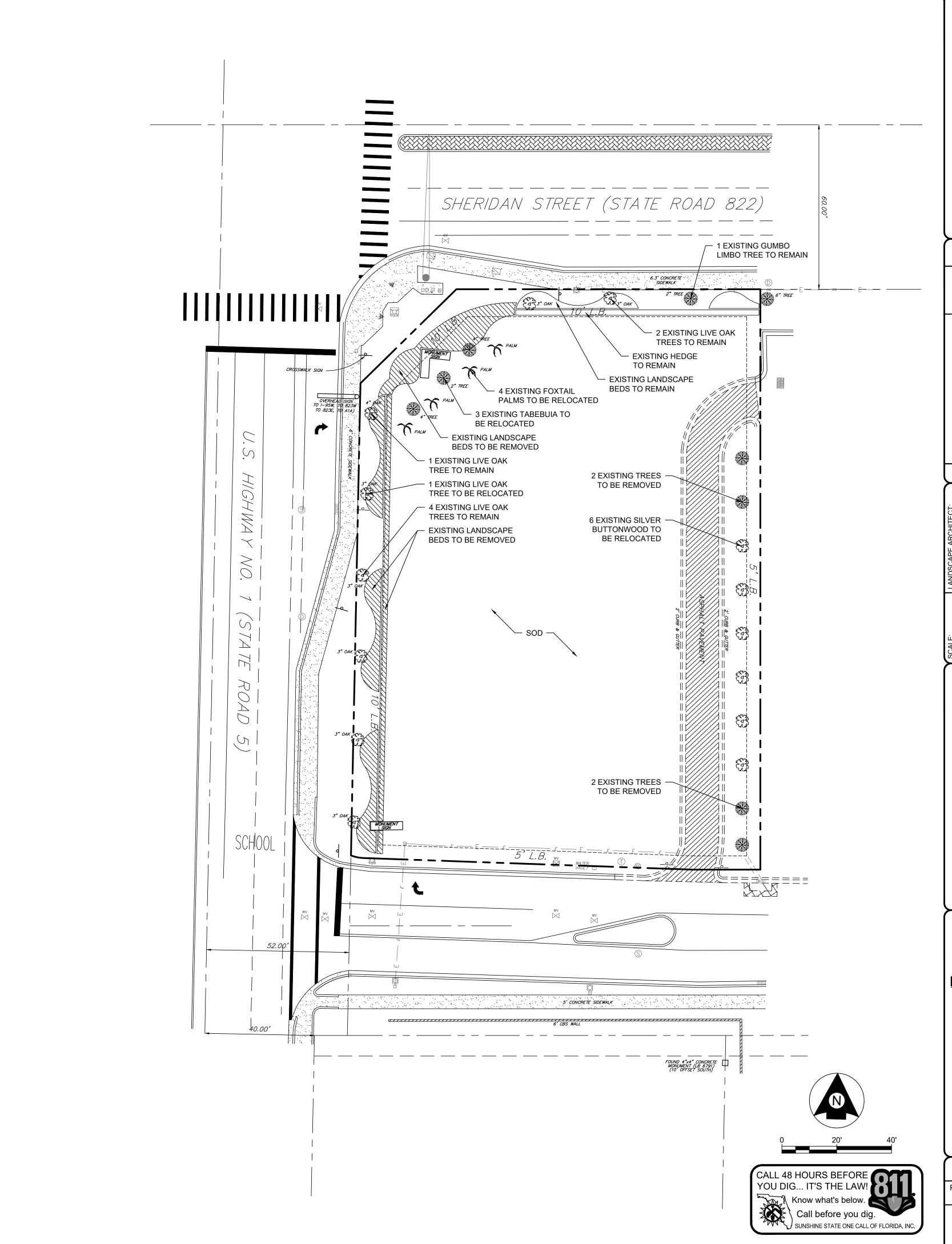
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK STORE NO. 55203

SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL 33020

ENGINEER SEAL

SHEET TITLE PHOTOMETRIC PLAN

JPM.19067 05.12.2017 SCALE: DRAWN BY: CHECKED BY:

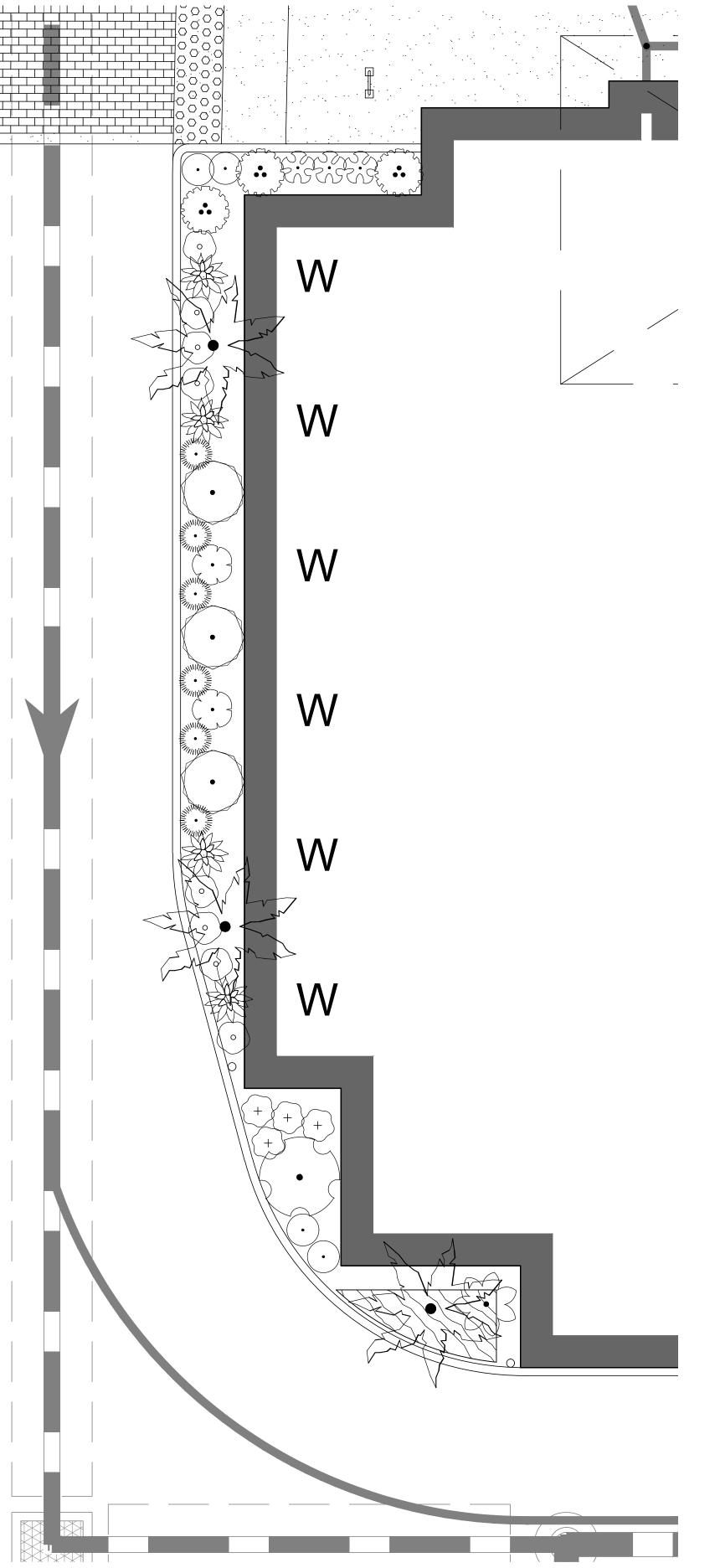


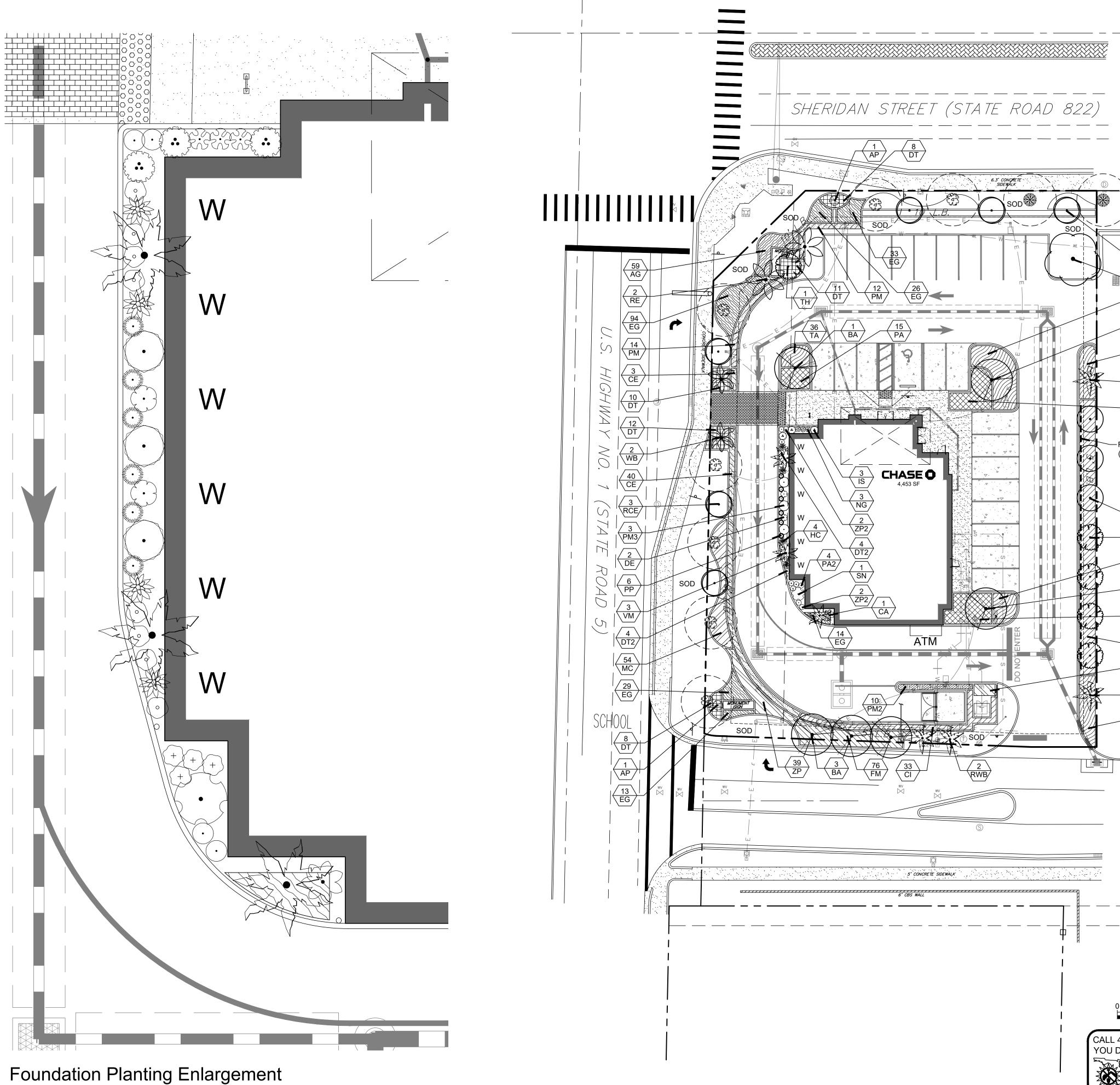
Verde Simply

EXISTING LANDSCAPE PLAN

DATE 05/10/2017 PROJECT NUMBER CSG17-05CBH SHEET NUMBER

L-01





SCALE: 1" = 5'

SimplyVerde

ANDSCAPE.

05/10/2017 PROJECT NUMBER CSG17-05CBH SHEET NUMBER

L-02

Landscape Code Requirements

1 Tree / 50 LF

1 Tree / 20 LF

1 Tree / 20 LF

1 Tree per Island 4 Islands

1 Tree / 1,000 SF 7,664 / 1,000

1). The equivalent value of trees being removed shall be paid to the City of Hollywood's tree trust fund for purchase of replacement trees. For the purposes of calculating replacement value, the City shall utilize the same standards as Broward County, as provided by the Broward County Department of Natural Resource Protection.

3). A tree removal / relocation permit will be required prior to board consideration. A bound and tree mitigation agreement will be required for trees proposed to be

561 x 50%

Sheridan Street Trees

Perimeter Trees

Parking Lot

Open Space

Tree Mitigation Remain Relocated Removed

Native Plant Material

2). 3 sabal palms are equal 1 tree.

relocated prior to issuance of building permits.

Eastern Perimeter

Parking Islands

Pervious Area

Paved Vehicular Use Area VUA Calculation

Southern Perimeter

Federal Highway Trees

3 Existing

4 Existing

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - 146/50 = 3 TREES

PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - 209/50 = 4 TREES

PROVIDED: 5 EXISTING TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE.

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,084 SF X .25 = 3,771 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF

PROVIDED: 1 TREE PER ISLAND AND 3,931 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PERVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY. MINIMUM OF ONE TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS.

REQUIRED: 7,664 SF/1000SF = 7 TREES AND 7,664 SF X .25 = 1,916 SF

PROVIDED: 7 TREES AND 66% OF PERVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD).

SPECIFICATIONS AND MINIMUM REQUIREMENTS

- 1. ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
- 2. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL
- 3. THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:

REQUIRED: 11-20 TREES = 3 REQUIRED

PROVIDED: 6 SPECIES OF TREES AND PALMS

- 4. PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
- 5. ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12' IN HEIGHT.
- 6. A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.

REQUIRED: 19 X .60 = 11 TREES AND 561 X .50 = 281 SHRUBS

PROVIDED: 14 TREES AND 288 SHRUBS

- 7. A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES. REQUIRED: 19 X .50 = 10 OR 20% = 4
 - PROVIDED: 4 RELOCATED FOXTAIL PALMS
- 8. THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR
- 9. SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO
- 10. GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
- 11. PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
- 12. AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCCA OR EUCALYPTUS MULCH IS RECOMMENDED.
- 13. CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

- 1. LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- 2. WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
- 3. PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
- 4. TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/3 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
- 5. ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
- 6. TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE
- 7. IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
- 8. APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PLANT SCHEDULE

PLANT SC	HED	UL	E				
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT	
	ВА	6	BULNESIA ARBOREA / VERAWOOD	FG., MIN. 16` - 18` HT., 4" CAL.	NO	HIGH	
	RCE	6	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	RELOCATED	YES	HIGH	
$\overline{(\cdot)}$	RQV	1	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	RELOCATED	YES	HIGH	
(\cdot)	RTH	3	TABEBUIA HETEROPHYLLA / PINK TRUMPET TREE	RELOCATED	NO	HIGH	
$\mathcal{E}_{\mathcal{E}}$	TH	5	TABEBUIA HETEROPHYLLA / PINK TRUMPET TREE	FG., MIN. 14`-16` X 6`-8`, 4" CAL.	NO	HIGH	
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	<u>NATIVE</u>	DROUGHT TOLERANT	
	RE	2	ROYSTONEA ELATA / FLORIDA ROYAL PALM	FG., MIN. 10` GW, MATCHED	YES	HIGH	
	RWB	4	WODYETIA BIFURCATA / FOXTAIL PALM	RELOCATED	NO	MEDIUM	
	VM	3	VEITCHIA MONTGOMERYANA / MONTGOMERY PALM	FG., MIN. 16` - 18` HT., MATCHED, STRAIGHT	NO	HIGH	
	WB	2	WODYETIA BIFURCATA / FOXTAIL PALM	FG., MIN. 10` GW, MATCHED	NO	MEDIUM	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	<u>NATIVE</u>	DROUGHT TOLERANT
\odot	DE	2	DURANTA ERECTA `GOLD MOUND` / GOLD MOUND DURANTA	3 GAL MIN, 18" X 18", FULL	AS SHOWN	NO	MEDIUM
•	DT2	8	DIANELLA TASMANICA `VARIEGATA` / VARIEGATED FLAX LILY	3 GAL., MIN. 16" X 16", FULL	AS SHOWN	NO	HIGH
	NG	3	NEOMARICA GRACILIS `REGINA` / GIANT APOSTLE IRIS	3 GAL., MIN. 2` - 3` HT., FULL	AS SHOWN	NO	MEDIUM
+	PA2	4	PLUMBAGO AURICULATA `IMPERIAL BLUE` / IMPERIAL BLUE PLUMBAGO	3 GAL., MIN. 14" X 14", FULL	AS SHOWN	NO	HIGH
	PP	6	PENNISETUM PURPUREUM 'VERTIGO' / BLACKLEAF MILLET	3 GAL., FULL	AS SHOWN	NO	MEDIUM
\odot	ZP2	4	ZAMIA PUMILA / COONTIE	3 GAL., MIN. 14"-16" X 14"-16", FULL	AS SHOWN	YES	HIGH
ACCENT SHRUBS	CODE AP	QTY 2	BOTANICAL NAME / COMMON NAME ALOCASIA 'PORTORA' / PORTORA ELEPHANT EAR	SPECIFICATIONS 15 GAL., MIN. 5`-6` HT., FULL	SPACING AS SHOWN	NO	DROUGHT TOLERANT MEDIUM
£:3	CA	1	CRINUM AUGUSTUM `QUEEN EMMA` / `QUEEN EMMA` CRINUM	7 GAL., MIN. 36" X 24", UPRGHT	AS SHOWN	NO	MEDIUM
	НС	4	HELICONIA PSITTACORUM `CHOCONIANA` / PARROT BEAK HELICONIA	7 GAL., MIN. 4` HT., FULL	AS SHOWN	NO	MEDIUM
&	IS	3	ILEX CRENATA `SKY PENCIL` / SKY PENCIL HOLLY	30 GAL., MIN. 6` - 7` HT., FULL	AS SHOWN	NO	HIGH
\odot	PM3	3	PODOCARPUS MACROPHYLLUS / PODOCARPUS	FG., MIN. 8` - 9` HT., FULL	AS SHOWN	NO	HIGH
\odot	SN	1	STRELITZIA NICOLAI / WHITE BIRD OF PARADISE	10 GAL., MIN. 7` - 8` HT., 4 PPP, FULL	AS SHOWN	NO	MEDIUM
SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	<u>NATIVE</u>	DROUGHT TOLERANT
	CE	43	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	10 GAL., MIN. 42" HT., FULL	30" O.C.	YES	HIGH
	CI	138	CHRYSOBALANUS ICACO / COCO PLUM	7 GAL., MIN. 24" HT., FULL	30" O.C.	YES	HIGH
	DT	49	DIANELLA TASMANICA `VARIEGATA` / VARIEGATED FLAX LILY	3 GAL., MIN. 16" X 16", FULL	30" O.C.	NO	HIGH
	FM	76	FICUS MICROCARPA `GREEN ISLAND` / GREEN ISLAND FICUS	3 GAL., MIN. 12" X 12", FULL	24" O.C.	NO	HIGH
	MC	54	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	3 GAL., MIN. 18" X 18", FULL	24" O.C.	YES	HIGH
	PA	75	PLUMBAGO AURICULATA `IMPERIAL BLUE` / IMPERIAL BLUE PLUMBAGO	3 GAL., MIN. 14" X 14", FULL	30" O.C.	NO	HIGH
	PM	26	PODOCARPUS MACROPHYLLUS / PODOCARPUS	7 GAL., MIN. 42" HT., FULL	30" O.C.	NO	HIGH
	PM2	10	PODOCARPUS MACROPHYLLUS / PODOCARPUS	15 GAL., MIN. 6`-7` HT., FULL	30" O.C.	NO	HIGH
	ZP	49	ZAMIA PUMILA / COONTIE	3 GAL., MIN. 14"-16" X 14"-16", FULL	24" O.C.	YES	HIGH
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	<u>NATIVE</u>	DROUGHT TOLERANT
	AG	59	ARACHIS GLABRATA `ECOTURF` / ECOTURF PERENNIAL PEANUT	1 GAL., FULL	18" O.C.	NO	MEDIUM
	EG	209	EVOLVULUS GLOMERATUS `BLUE MY MIND` / BLUE MY MIND BLUE DAZE	1 GAL., FULL	18" O.C.	NO	MEDIUM
	TA	323	TRACHELOSPERMUM ASIATICUM 'MINIMA VARIEGATA' / VARIEGATED MINIMA ASIATIC JASMINE	1 GAL., FULL	18" O.C.	NO	YES

LANDSCAPE SPECIFICATION REQUIREMENTS:

- 1. ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
- 2. ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL 3. ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM.
- 4. ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES. 5. ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM 'FLORATAM').
- 6. PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.

7

LANDSCAPE ARCHITECT:					
PATRICIA M. CASTELLANO, RLA					
LICENSE NOMBER: 1867	$\overline{\mathbb{Q}}$	REVISED PER CITY COMMENTS	07/13/2017 PMC	PMC	
DATE:	NO.	REVISIONS	DATE	ВУ	

CHEDI

05/10/2017 PROJECT NUMBER CSG17-05CBH SHEET NUMBER

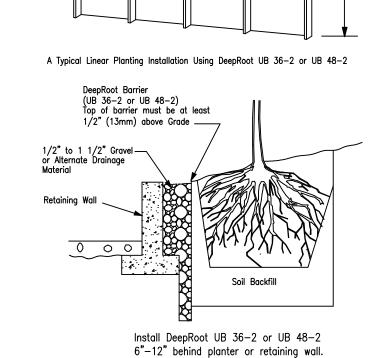
Material and Thickne	ess H	omopolymer Polyethylene 0.080 inch Extruded		
Properties	ASTM Test Method	Typical Value		
Tensile stress @ yield	D638	3800 PSI		
Elongation @ break %	D638	10%		
Tensile Modulus	D638	155,000 PSI		
Notched Izod Impact	D256A	0.4 - 4.0		
Flexual Modulus 73 ‡ P	SI D790	145,000		
Hardness Shore	D2240	Dee		

B. Construction and Installation 1. The contractor shall install the tree root barriers with the number of panels and in the manner shown on the drawings. The vertical root directing ribd shall be facing inwards to the root ball and the top edge shall be 1/2" (12.7 mm) above grade. Each of the required number of panels shall be joined in a linear fashion and placed along the adjacent

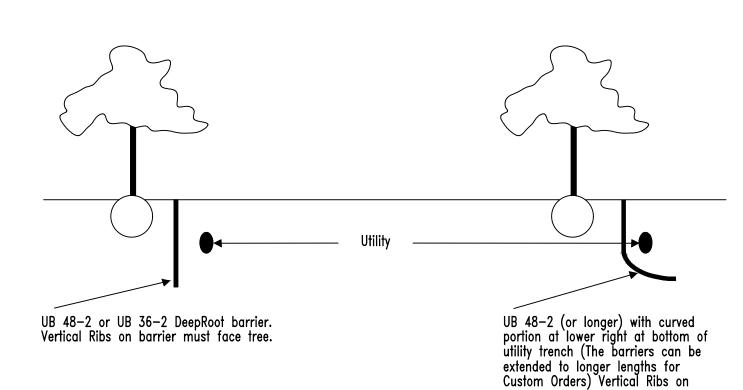
2. Excavation and preparation shall conform to the drawings.

hardscape or where specified connected to form a

circle around the root ball.

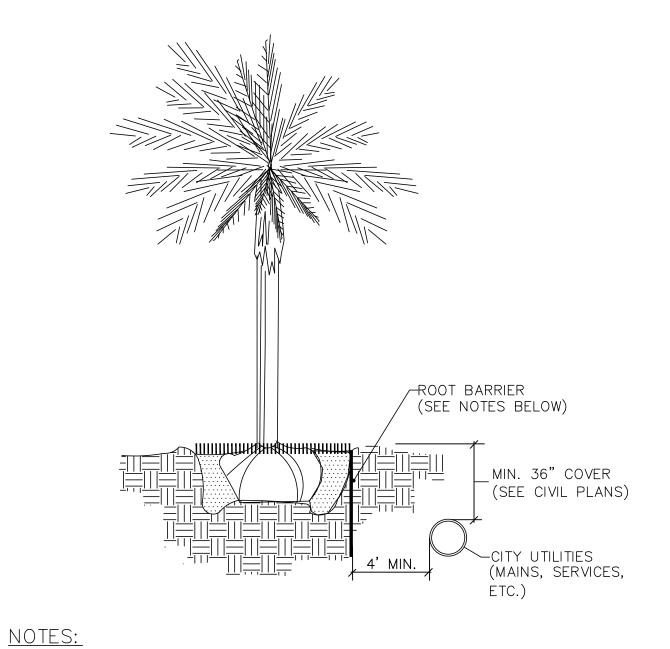


barrier must face tree.



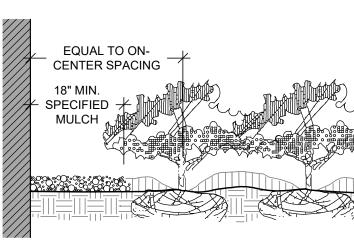
Planting Trees Adjacent to a Utility

DeepRoot Tree Root Barrier Detail



- 1. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL CITY UTILITIES.
- 2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
- 3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
- 4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Tree With Root Barrier Detail

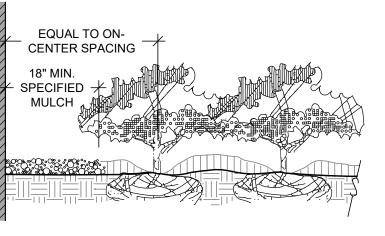


INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF

A PARKING SPACE ON ANY SIDE. 2. CURB OR PARKING LOT EDGE, BY OTHERS.

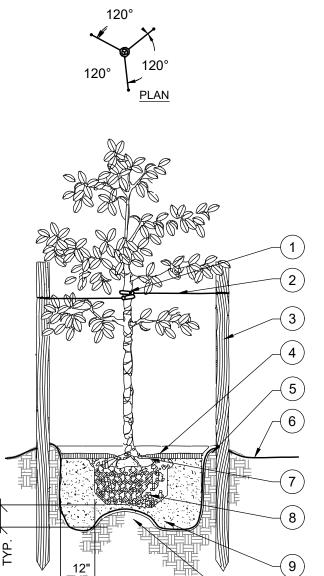
Parking Space/Curb Planting

SECTION



SHRUBS - EQUAL TO ON-CENTER SPACING OF ADJACENT SHRUBS. PALMATE PALMS - AT LEAST 8 FEET FROM THE BUILDING. PINNATE PALMS - AT LEAST 18 FEET FROM THE BUILDING. TREES - AT LEAST THE DIAMETER OF THE CANOPY (AS SHOWN GRAPHICALLY ON THE PLANS) FROM THE BUILDING. INSTALL SPECIFIED MULCH: 18" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

Plantings Adjacent to Buildings



1. PROTECT TREE TRUNK WITH BLACK RUBBER HOSE. 2. #10 GAUGE WIRE (NOTE FOR MULTI-TRUNK TREES, USE

- SEPARATE GUYS TO STRONGEST TRUNKS AT CENTER OF EACH). THREE 2" X 8' LODGE POLES SPACE EVENLY AROUND TREE. 4. 3" MINIMUM OF MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR
- TREES SHALL BE 8' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE. 5. SOIL BERM TO HOLD WATER.
- FINISHED GRADE (SEE GRADING 7. TOP OF ROOTBALL MIN. 2" ABOVE
- FINISHED GRADE 8. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL
- REQUIREMENTS). PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES)
- 10. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. IF THE CONTRACTOR ENCOUNTERS "POOR DRAINAGE CONDITIONS" THEN THE SURFACE OF THE TREE ROOTBALL SHALL BE 4"-6" ABOVE SURROUNDING GRADE WITH A TOPSOIL MIX GRADUALLY MOUNTED TO MEET THE TOP OF THE
- ROOTBALL. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY

1. TOP OF SHRUB ROOTBALLS TO

A UNIFORM MASS/HEIGHT.

3" MINIMUM MULCH AS

EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER

6. PREPARED PLANTING SOIL AS

OF ROOTBALL.

SPECIFIED.

BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP

PRUNE ALL SHRUBS TO ACHIEVE

FINISHED GRADE (SEE GRADING

SPECIFIED. (SEE LANDSCAPE

NOTES) NOTE: WHEN GROUND-

COVERS AND SHRUBS USED IN

AMENDED WITH PLANTING SOIL

MASSES, ENTIRE BED TO BE

7. SCARIFY ROOTBALL SIDES AND

MIX AS SPECIFIED.

. "TREE SAVER" ANCHORING SYSTEM MAY BE SUBSTITUTED FOR WOOD STAKING SYSTEM UPON APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.

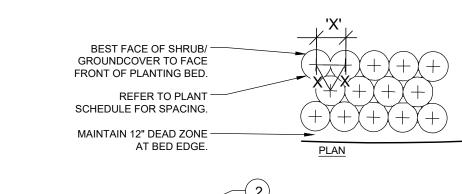
Small Tree Planting

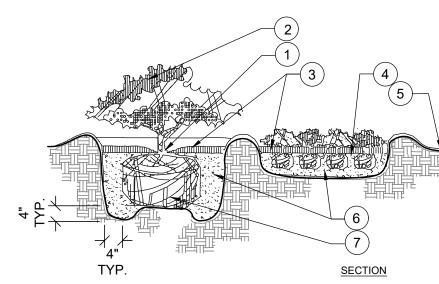
ALL TREES SHALL BE PLUMB VERTICALLY

WITHIN A TOLERANCE OF THREE DEGREES,

UNLESS OTHERWISE DIRECTED BY OWNER'S

(Less Than 14') NTS



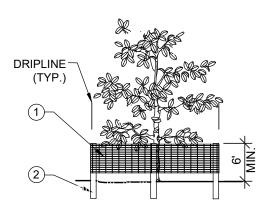


ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS

OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

Shrub/Groundcover Planting

PLAN/SECTION



ELEVATION

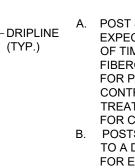
PLAN VIEW

CONNECTION

INSTALLATION NOTES:

BURIAL BELOW GRADE.

TO INSTALLATION.



A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS

1. 6'H "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S

8' TALL METAL "T" POSTS OR 2" x 2" X 8' PRESSURE TREATED WOOD POSTS WITH 24"

REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR

B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND. C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).

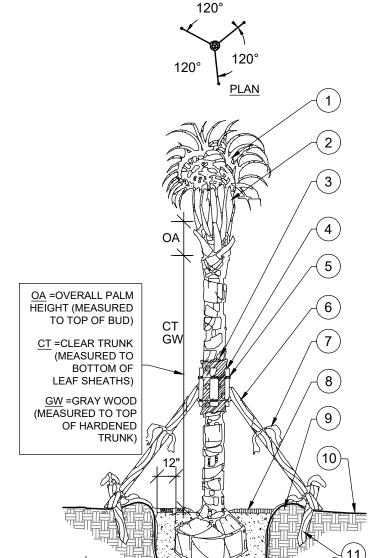
D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS



CORNER

CONNECTION

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.



1. MINIMUM OF NINE (9) GOOD PALM

2. PRUNE AND TIE FRONDS WITH HEMP TWINE. CABBAGE PALMS TO BE SELECTIVELY "HURRICANE CUT", LEAVING 3-4 SMALLER, TRIMMED FRONDS.

- 3. 5 LAYERS OF BURLAP TO PROTECT 4. FIVE 2" X 4" X 18" WOOD BATTENS. 5. SECURE BATTENS WITH 2- 3/4" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
- AND NAIL IF NECESSARY) TO BATTENS AND 2" X 4" STAKES. FLAG AT MIDPOINT AND AT BASE. . PROVIDE FLAGGING AT MIDPOINT AND

6. (3) 2"X4"X8' SUPPORTS. NAIL (DRILL

- 8. 3" SPECIFIED MULCH. 9. BERM SOIL TO HOLD WATER. 10. FINISH GRADE
- 11. 2X4X24" (MIN) P.T. WOOD STAKES (TYP) NAIL TO SUPPORT POLES 12. PREPARED PLANTING SOIL AS

SPECIFIED. (SEE LANDSCAPE NOTES).

- A. WASHINGTONIA PALMS SIMILAR W/ BOOTS INTACT. B. SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK. C. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. IF THE CONTRACTOR ENCOUNTERS "POOR DRAINAGE CONDITIONS" THEN THE SURFACE OF THE TREE ROOTBALL SHALL BE 4"-6" ABOVE SURROUNDING GRADE WITH A TOPSOIL MIX GRADUALLY MOUNTED TO MEET THE TOP OF THE ROOTBALL.

ALL PALMS SHALL BE PLUMB VERTICALLY WITHIN A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

Palm Planting

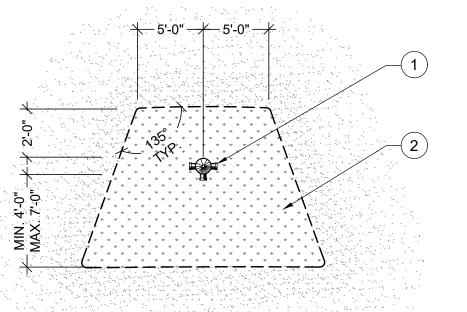
SECTION

PLANTER ISLAND NOTES

- 1. CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE
- 2. <u>CLEAR ZONE:</u> 24" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS.
- 3. 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL ISLANDS/MEDIANS PRIOR TO ANY PLANTING. CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATIONS PRIOR TO PLANTING.

Planted Parking Lot Islands/Medians



'FRONT' OF HYDRANT (TOWARD CURB)

FIRE HYDRANT.

- NO PLANT SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
- 3. NO TREES OR SHRUBS SHALL BE PLANTED IN FRONT OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.

Fire Hydrant Area

PLAN NTS

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05/10/2017 PROJECT NUMBER CSG17-05CBH

SHEET NUMBER L-04

GENERAL LANDSCAPE NOTES

1. SCOPE OF WORK

- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.

2. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

3. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES (OR PER PROJECT JURISDICTIONAL CODE, WHICHEVER IS MORE STRINGENT). CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER

4. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

6. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

7. LAWN MAINTENANCE

- A. WITHIN THE CONTRACT LIMITS. THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

B. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

<u>9. FINAL INSPECTION AND AC</u>CEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

- A. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR
- B. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
- C. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
- D. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

PLANT SPECIFICATION NOTES

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE. UPON SAMPLES' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL ONE (1) CUBIC FOOT MULCH PLANTING / TOPSOIL MIX ONE (1) CUBIC FOOT (INCLUDING EXISTING SOILS REPORT) ONE (1) PHOTO OF EACH VARIETY (OR TAGGED IN NURSERY) PLANTS

2. PLANT MATERIALS

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER OR OWNER'S REPRESENTATIVE
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- D. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE. ALL TREE ROOTBALLS SHALL BE SHAVED 1" - 1 1/2" OFF ON ALL SIDES WITH EITHER A SHARP SPADE OR BLADE BEFORE PLANTING OR FROM TOP TO BOTTOM WITH A BALLING SPADE AFTER THE TREE HAS BEEN PLANTED TO ELIMINATE CIRCLING ROOTS.

SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

RPG = "ROOTS PLUS GROWER" CONTAINER WHERE SPECIFIED.

- E. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.
- F. PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE

3. DIGGING AND HANDLING

NURSERY ROW.

- A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS
- B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
- C. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- D. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- E. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

4. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.
- B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE.
- D. WHEN UNSUITABLE SOILS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR THE OWNER OR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

PLANT SPECIFICATION NOTES CONTINUED

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO CHECK TO SEE IF WATERING/IRRIGATION RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER OR OWNER'S REPRESENTATIVE, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. CONTRACTOR TO CHECK TO SEE IF FERTILIZER RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

7. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). SEE PLANT LIST FOR TYPE OF MATERIAL ("FLORIMULCH," EUCALYPTUS MULCH, OR PINE STRAW/BARK/NUGGET) AND GRADE.

8. SOD

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

PLANTING PROCEDURE NOTES

- CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS. CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES OR REFER TO THE CIVIL PLANS IF APPLICABLE.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE , PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR TO REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- 8. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 9. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- 10. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN THE PLANT SPECIFICATIONS NOTES. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, INSTALL AS NOTED IN THE TREE AND/OR PALM PLANTING DETAILS. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 11. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 12. SOIL MIXTURE SHALL BE AS SPECIFIED UNDER PLANT SPECIFICATION NOTES.
- 13. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 14. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. SUBMIT PRODUCT INFORMATION PRIOR TO INOCULATION FOR APPROVAL.
- 15. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. ALL NON-BIODEGRADEABLE MATERIAL SHALL BE COMPLETELY REMOVED FROM THE PLANTING PIT PRIOR TO BACKFILLING AND DISPOSED OF PROPERLY.
- 16. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 17. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" WITH THE PLANTING SOIL MIXTURE AND THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

PLANTING PROCEDURE NOTES CONTINUED

- 18. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 19.PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.
- 20.ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- 21.ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 22. CONTRACTOR TO PROVIDE A CLEAN, SHARP EDGE ON ALL LANDSCAPE BEDS AND TREE PITS. A SHARP, SPADE CUT EDGE (MINIMUM 3" DEEP) SHALL BE PROVIDED UNLESS OTHER BED EDGING METHODS ARE SPECIFICALLY IDENTIFIED ON THE PLANS.
- 23.THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 24.SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 25.DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT

SCHEMATIC IRRIGATION NOTES

TO COMMENCING WORK.

- A. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW AND EXISTING TREES, LARGE SHRUBS AND UTILITIES.
- B. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIED CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAIN BIRD SNAP-TITE CONNECTORS AND SEALANT. A SEPARATE NEUTRAL WIRE (MIN. NO.14) SHALL BE RUN WITH ALL OTHER WIRING.
- C. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE
- PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT. D. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES AND REGULATIONS E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE ROTORS/SPRAYS ARC
- IN ALL BEDS AND BUBBLERS ON ALL TREES. F. NO LINES ARE TO BE LOCATED WITHIN THE PROTECTIVE RADIUS OF TREES.
- G. CONTRACTOR IS TO MATCH PRECIPITATION RATES FOR ALL HEADS. H. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT A COPY OF THE IRRIGATION PLAN PRIOR

AND RADIUS TO ASSURE 100 PERCENT COVERAGE AND TO MINIMIZE OVERSPRAY. DRIP SHALL BE UTILIZED

I. THE CONTRACTOR SHALL PROVIDE A RAIN SENSOR DEVICE OR SWITCH TO PREVENT IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL

<u> 2. PIPE</u>

- A. ALL IRRIGATION PIPE INCLUDING MAINLINE AND CONDUITS IS TO BE SCHEDULE 40 PVC. ALL WIRING TO BE IN CONDUIT IF NOT WITHIN THE MAINLINE TRENCH.
- B. ALL PIPING SHALL BE ROUTED TO AVOID ABOVE AND BELOW GROUND FEATURES. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT. C. DUCT TAPE AND OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION DURING
- INSTALLATION.

2. CONTROLLER

- A. CONTRACTOR TO RUN ONE STATION AT A TIME UNLESS TWO IS ALLOWED. CONTRACTOR SHALL PROVIDE
- A CONTROLLER SCHEDULE TO MINIMIZE PRESSURE LOSSES THROUGHOUT THE SITE B. THE CONTROLLER LOCATION TO BE COORDINATED WITH THE OWNER. CONTROLLER TO BE HUNTER OR RAINBIRD. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S RECOMMENDATION.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF THE POWER FOR THE CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT THE CONTROLLER IS WIRED IN ACCORDANCE WITH ALL ELECTRICAL CODES. ALL MATERIALS NECESSARY TO WIRE THE CONTROLLER SHALL BE FURNISHED BY THE CONTRACTOR. GENERAL CONTRACTOR IS TO PROVIDE THE POWER TO THE CONTROLLER.

4. BACKFILL

- A. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 24". ALL LATERAL PIPING DOWNSTREAM OF THE MAINLINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
- B. BACKFILL TRENCHES WITH FINE GRANULAR MATERIAL WITH NO FOREIGN MATERIAL LARGER THAN 2 1/2".

5. TESTING

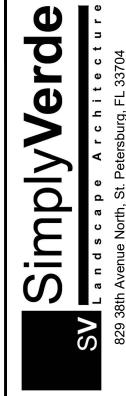
- A. PRIOR TO BACKFILLING, OPEN THE VALVE AND OPERATE EACH CIRCUIT TO CHECK FOR LEAKAGE AROUND PVC FITTINGS. MAKE NECESSARY CORRECTIONS TO STOP LEAKS.
- B. RETEST THOSE SYSTEMS WHERE LEAKS WERE CORRECTED BEFORE COMMENCING BACK FILLING OPERATIONS.
- C. UPON COMPLETION, TEST THE ENTIRE SYSTEM FOR OPERATION INCLUDING ELECTRICALLY ACTUATING THE VALVE. RUN THE SYSTEM UNTIL WATER BEGINS TO PUDDLE AND/OR RUN OFF TO DETERMINE THE INITIAL CONTROLLER RUN TIME TO DETERMINE THE NUMBER OF IRRIGATION CYCLES NECESSARY TO MEET WEEKLY EVAPOTRANSPIRATION RATES FOR THE PLANT MATERIAL INSTALLED.

6. ASBUILTS

UPON COMPLETION OF "AS-BUILT" DRAWINGS, PREPARE CONTROLLER CHARTS - ONE PER CONTROLLER. INDICATE IN THE CHART EACH AREA CONTROLLED BY A VALVE. THIS CHART SHALL BE REDUCED TO A SIZE THAT WILL FIT WITHIN THE CONTROLLER DOOR OR A UTILITY BASKET WITHIN THE ENCLOSURE. THE REDUCTION SHALL BE A BLACK AND WHITE COPY THAT IS HERMETICALLY SEALED BETWEEN TWO 20.MIL PIECES OF CLEAR PLASTIC.

7. INSPECTION

- A. BEFORE ACCEPTANCE OF THE IRRIGATION SYSTEM. THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL: FINAL WALK-THROUGH AND CORRECTION OF ANY PUNCH-LIST ITEMS COMPLETION AND ACCEPTANCE OF ACCURATELY DRAFTED "AS-BUILT" DRAWINGS ACCEPTANCE OF CONTROLLER CHARTS AND PLACEMENT IN THE CONTROLLER
- B. MANUAL FLUSH VALVES OR FLUSH-OUT'S SHOULD BE FLUSHED THREE (3) TIMES EACH IRRIGATION SEASON FOR A PERIOD OF 30 TO 60 SECONDS OR UNTIL THE WATER IS VISIBLY CLEAN, WHILE THE VALVE IS ACTIVATED. THE SYSTEM SHOULD BE FLUSHED MONTHLY OR MORE FREQUENTLY, FLUSHING IS ALSO RECOMMENDED ANY TIME THE SYSTEM IS REPAIRED.



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05/10/2017 PROJECT NUMBER CSG17-05CBH

SHEET NUMBER











JULY 7, 2017 SCALE: $\frac{3}{16}$ " = 1'-0"

