

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 7/3/2017

Location Address: NE corner of SW 25th Avenue and SW 39th Avenue
Lot(s): N/A Block(s): N/A Subdivision: Port 95 Commerce Park
Folio Number(s): 5042 29 40 0045

Zoning Classification: IM-3 Land Use Classification: Industrial

Existing Property Use: Vacant Sq Ft/Number of Units: 102,635 sf

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Construction of a new manufacturing facility for Sintavia.

Number of units/rooms: N/A Sq Ft: 46,327 sf

Value of Improvement: 8,500,000. Estimated Date of Completion: 12/2018

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Brian Neff c/o Apogee Investment Partners, LLC

Address of Property Owner: 3060 SW 2nd Avenue, Fort Lauderdale, FL 33316

Telephone: 954 889-0601 Fax: _____ Email Address: bneff@sintavia.com

Name of Consultant/Representative/Tenant (circle one): Doug Snyder c/o FSMY Architects/Planners

Address: 888 S Andrews Ave., Ft. Lauderdale, FL 33316 Telephone: 954 764-6575

Fax: 954 764-8622 Email Address: dsnyder@fsmyarch.com

Date of Purchase: 12/2016 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: None

Address: _____

Email Address: _____

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CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Brian Neff Date: 6/29/2017

PRINT NAME: Brian Neff Date: 6/29/2017

Signature of Consultant/Representative: Doug Snyder Date: 6/29/2017

PRINT NAME: Doug Snyder Date: 6/29/2017

Signature of Tenant: N/A Date: _____

PRINT NAME: N/A Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval _____ to my property, which is hereby made by me or I am hereby authorizing _____ Doug Snyder to be my legal representative before the TAC & Planning / Development Board and/or Committee) relative to all matters concerning this application.

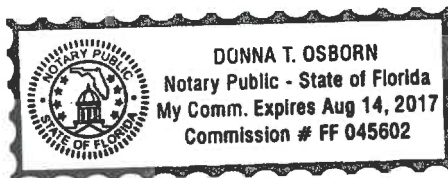
Sworn to and subscribed before me
this 29th day of June

Donna T. Osborn

Notary Public

State of Florida

My Commission Expires: 8/14/17 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Brian Neff
Signature of Current Owner

Brian Neff

Print Name



June 30, 2017

Department of Development Services
City of Hollywood
2600 Hollywood Boulevard
Room 315
P.O. Box 229045
Hollywood, Florida 33022-9045

**RE: SITE PLAN REVIEW – N.E. Corner of SW 25th Avenue & North of SW 39th Street
FILE NUMBER 17-DPV-33**

To Whom it May Concern:

Please find below the Site Plan Review case review comments and our written responses for the referenced project.

A. APPLICATION SUBMITTAL

Alexandra Carcamo - Principal Planner (954) 921-3471

1. The cover sheet shall include the current meeting date. Leave space for future meeting dates (i.e. Preliminary TAC, Final TAC, Board meeting).

Response: *Understood, please see revised Cover Sheet*

2. Obtain a Transportation Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division to determine whether the project is subject to the Transportation Concurrency Fees. Contact Evangeline Kalus at (954) 357-6632.

Response: *An actual Transportation Satisfaction Certificate is not issued until permit plans have been routed to the County prior to Building Permit. We have had several meetings with Evy in regards to this project. Please see attached email response from her.*

3. The site is located within 20,000 feet of Fort Lauderdale-Hollywood International Airport (FLL) it may be subject to Federal Aviation Regulation. Contact William Castillo at the Broward County Aviation Department - (954) 359-2291

Response: *We have submitted plans to William Castillo and have had several*



phone conversations as well. We are currently waiting for his response.

4. Survey shall:

- a. Shall be based on O&E with a note indicating as such and vice versa.
- b. Shall include net lot area in square footage and acreage.
- c. Shall list and illustrate all encumbrances as indicated on the O&E Report.
- d. Work with the Engineering Division to ensure the Survey is accurate and all easements and dedications are indicated.

Response: See revised Survey.

5. Ownership & Encumbrance Report (O&E):

- a. Shall indicate it was searched from the time of platting or 1953 (earliest of the two).
- b. Shall be dated within 30 days of submittal package.
- c. Shall include site data and legal description.
- d. Shall state all encumbrances were found. If none, state so.
- e. Shall reflect the net & gross property size in square feet and acreage.
- f. Hard copies provided shall be numbered as listed on O & E Report and corresponding with the Alta Survey.

Response: See revised O & E Report.

- 6. Indicate the location of mechanical equipment. Include a Roof Plan if located on the roof. If not, include note stating that all mechanical equipment shall be properly screened from public view.

Response: See new Roof Plan (Sheet A-105) showing location of all rooftop equipment. All rooftop mechanical equipment will be independently screened on all 4 sides (refer to revised Exterior Elevation Sheets (A-201 & A-202).

- 7. Fully dimension Site Plan to ensure all requirements are met.

Response: Site Plan has been revised to include all dimensions.

- 8. Provide details and height of all existing and proposed fences, gates, walls, etc. Maximum height of proposed screening wall at the loading area is eight feet. Note on plans.

Response: Heights of equipment enclosures have been indicated on the Site Plan



(Sheet A-101), Site Detail sheet (Sheet A-101.2) and Exterior Elevations (Sheets, A-201 & A-202).

9. Provide details of all regulatory signage and pavement markings. Work with the Engineering Division to ensure signage provided will adequately serve proposed circulation.

Response: See Civil Engineering drawings, Sheet C2.

10. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

Response: Understood.

11. Staff encourages Applicant to meet with applicable homeowner's associations prior to submitting for any Board. Provide update with next submittal.

Response: There are no Homeowner Associations located within the required 500 foot radius.

12. Provide written responses to all comments with next submittal.

Response: Understood.

Additional comments may be forthcoming.

B. ZONING

Alexandra Carcamo - Principal Planner (954) 921-3471

1. Dimension all terminal islands and provide square footage. Each island shall contain a minimum of 190 sq. ft. of pervious area and shall measure (back of curb to back of curb) the same length as the adjacent parking stall.

Response: All landscape islands have been revised to comply with this requirement (see Sheet A-101).



2. Parking stalls shall be 8.5 x 19 feet long or 17 feet with a two foot grass overhang. Dimension stalls and revise as necessary. Two foot overhang does not count towards landscape calculations; depict two foot overhang with dashed line.

Response: *Parking stalls have been revised to comply with this dimensional requirement. In addition, all parking spaces abutting landscape areas will be expanded to include the 2 foot overhang, along with an extruded concrete curb. (see Sheet A-101).*

3. Provide wheel stops where a curb does not exist.

Response: *Wheel stops have been provided at all stalls that do not have concrete curbs (see Sheet A-101).*

4. Site Data reflects the Vehicular Use Area is calculated at 20%; it should be calculated at 25% per article 9, section 9.5.C.1.

Response: *This was a scribe's error and is actually 25%. See corrected Site Data Calculations (see Sheet A-101).*

5. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016-02.

Response: *Electrical rough will be provided for a future Vehicle Charging Station, see location at parking on west side (see Sheet A-101 for note on plans).*

6. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

Response: *Location of garbage and recycling waste enclosure has direct head-on access. (see Sheet A-101)*

C. DESIGN

Alexandra Carcamo, Principal Planner (954) 921-3471
Terrence Comiskey, Architect - (954) 921-3930

1. Provide material samples and paint chips with next submittal.

Response: *Material and Color Board (11" x 17") is included as part of this resubmittal.*

2. For the parking lot, consider using material with high albedo to limit absorption of sunlight and



reduce urban heat island effect or consider using permeable paving material which reduces runoff and increases water penetration.

Response: *Pavement is scheduled to be concrete.*

3. No dumpster enclosure details were included for review, including opaque gates.

Response: *Dumpster enclosure details have been included, see Site Details, Sheet A-101.1.*

4. How are you meeting the requirements of the City's Green Building Ordinance?

Response: *Project will comply with the Florida Green Commercial Building Certification.*

D. LANDSCAPING

Dale Bryant - Landscape Architect (954) 921-3997

Please note that due to the lateness in receiving these comments we will not be able to fully respond and / or correct the plans.

1. Some terminal parking landscape islands do not appear to have sufficient width as required.

Response: *Terminal islands have been revised to comply with the City's requirements.*

2. Shift underground piping and drainage structure to edges of large pervious planting space at NE corner of building. Drainage structure would best be located within 25' clear site triangle area.

Response: *No response.*

3. Along SW 39th St., either provide more space between water lines for domestic/fire/hydrant so small statured trees can be planted between them (recommend 15' spacing of lines) or less space between them to avoid losing tree planting area and creating an unnecessarily large void where no trees can be responsibly specified without future root/utility conflicts.

Response: *No response.*

4. Do not place light poles in landscape VUA islands unless they are pedestrian scale in height to avoid conflict with future tree canopy growth. Lighting plan or pole heights will need to be adjusted to accommodate required or available open landscape spaces.

Response: No response.

5. For non-exempt, non-nuisance trees to be removed, provide mitigation requirements on the Tree Disposition Plan and Landscape Plan and how they are being met on the Landscape Plan in accordance with Article 9 of the Land Development Regulations. Trees used for mitigation are in addition to other site landscape requirements.

Response: No response.

6. A City of Hollywood Tree Removal/Relocation Permit will be required for any existing tree removal or relocation.

Response: Understood.

7. Signed and sealed irrigation plans will be required at time of Building Permit.

Response: Understood.

8. Provide more inside curb-to-curb width for median buffer island at west perimeter buffer to allow for larger species of spreading habit trees.

Response: No response.

9. Additional comments may be forthcoming.

Response: Understood.

Landscape Planting Plan

1. Landscape Plans should responsibly maximize shade on the site. Several proposed species have more of an upright habit than a spreading habit. Replace with spreading habit species. Some examples of spreading habit species are: Mahogany, Floss Silk Tree, Royal Poinciana, Calophyllum, , Bulnesia, Paradise Tree, Lysiloma

Response: No response.

2. Select appropriate species to take advantage of site opportunities and constraints such as existing overhead or underground utilities. Crape Myrtle would be better suited as accent street trees along the south perimeter where there are existing overhead power distribution line



constraints than on the east perimeter where there is opportunity and space for larger, spreading habit tree species. Heat island effect of building and paved impervious areas: Aim to negate it as much as the site will allow.

Response: No response.

3. Along SW 39th St., decrease spacing of small, FPL-approved species to 12' on center and diagonally staggered along entire length to fill the mass of exposed open space. Along this perimeter, substitute Ironwood with another FPL-approved species such as Bottlebrush, Queen Crapemyrtle (*speciosa* not *indica*) Silver Buttonwood, Simpson's Stopper or other.

Response: No response.

4. Create tree clusters with a minimum of 4 trees (same species or mixed) at the SE and SW corners of the site as accents, outside of clear sight triangles.

Response: No response.

5. Thrinax palms in narrow planter at west elevation: Provide wider planting room between curb and concrete walk to accommodate larger statured palm species that are more in scale with the building height and as depicted on the color rendering sketches.

Response: No response.

6. Unrestricted by overhead lines, specify large, spreading habit tree species along west perimeter parking lot buffer median island. If no additional width is provided between curbs, specify use of 24" depth physical root barrier continuous along insides of curbs and the use of a suspended pavement product such as stratacell or CU Structural Soil 5' from outside of curb face in all directions.

Response: No response.

7. When underground drainage structure location is refined by Civil Engineer to be located at edge of NE building planting island, specify two iconic, large spreading habit trees such as Royal Poinciana, Yellow Poinciana, or Floss Silk Tree.

Response: No response.



8. Tighten spacing of relocated Sabal Palms at east (rear) perimeter buffer and densify with large, spreading habit shade trees.

Response: No response.

9. Additional comments may be forthcoming.

Response: Understood.

E. SIGNAGE

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevations, dimensions on Site Plan, etc.

Response: Refer to Sheet A-101.2 for building signage.

2. Include a note on plans that all signage will comply with Zoning and Land Development Regulations.

Response: Refer to Sheet A-101.2 for note on plan.

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Response: Understood.

F. LIGHTING

Alexandra Carcamo - Principal Planner (954) 921-3471

1. Application is substantially compliant.

G. GREEN BUILDING

Alexandra Carcamo - Principal Planner (954) 921-3471

1. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. For next submittal, note certification to be achieved.

Response: Understood, building will comply with Florida Green Commercial Building Certification.



H. ENVIRONMENTAL SUSTAINABILITY

Lindsey Nieratka - Environmental Sustainability Coordinator (954) 921-3201

1. No comments received.

I. UTILITIES

James Rusnak - Engineer (954) 921-3302

Wilford Zephyr - Engineer (954) 924-2985

Water & Sewer Comments:

1. The project site is located within City of Hollywood water and wastewater service area. Proposed plans show project connecting to Broward County Water & Wastewater Services (BCWWS) water and sewer mains. The City has an existing 12" capped water main at the SE corner of the adjacent property to the west of the proposed project site. There is also an existing sanitary sewer manhole within the property to the west that appears to be deep enough for gravity main connection to the proposed project site. Both, the water and sewer connections, would require an agreement and easement from the property to the west allowing this project to connect to the City's utilities on their property. Please contact the property owner of the property west of the project site to seek an agreement to allow connection to the City's system on the private property.

Response: The plans currently show connection to Broward County's water and sewer service on the south side of 39th Street. Per your request we have contacted Port 95's Management Company and their consultant to inquire regarding the availability of connecting to the sewer manhole located at the west end of the existing FedEx property.

2. Provide water and sewer demand calculations on the water and sewer plans.

Response: See revised plan, Sheet C1.

Drainage Review Comments:

3. Highest adjacent crown of road elevation adjacent to the proposed project site is 9.39' NAVD88 and the proposed finished floor elevation is set at 9.07' NAVD88. Per section 154.50 of the City's Code of Ordinances, the proposed finished floor elevation for nonresidential buildings have to be set at a minimum 6-inches above the highest adjacent crown of road elevation.

Response: We are resolving this item.

4. Provide two sets of drainage calculations.



Response: *Two copies of the Drainage Calculations are included as part of this resubmittal.*

5. Broward County Surface Water Management License and Port 95 approval will be required for proposed drainage system during permitting phase.

Response: *Understood.*

The following comment is provided as a courtesy:

1. NPDES – Over 1 acre
2. The construction activity on this site is regulated and required to obtain the NPDES Construction Generic Permit (CGP) from DEP. Failure to obtain permit coverage and/or maintain job site erosion and sedimentation control in accordance with permit conditions and applicable regulations may result in fines up to \$27,500.00 per day.
3. Prior to issuance of building permit a Stormwater Pollution Prevention Plan (SWPPP) shall be required and CGP Notice of Intent (NOI) must be submitted to DEP. SWPPP must be maintained at the job site at all times until the project is terminated and Notice of Termination (NOT) filed with DEP. The SWPPP shall contain detailed descriptions of structures, procedures, contact names and/or control measures designed to reduce sediment and stormwater runoff.
4. Construction sites and operations shall be required to maintain during and after all construction, development, excavation, dewatering, and/or alteration operations, structural and non-structural Best Management Practices (BMP's) with the intent to reduce pollutants and sediment in stormwater runoff.
5. For additional information regarding NPDES regulations please contact:

Florida Department of Environmental Protection
2600 Blair Stone Road, MS #2500
Tallahassee, FL 32399-2400
(850) 245-7522

Visit DEP's Web site at: www.dep.state.fl.us/water/stormwater/npdes

J. BUILDING

Philip Sauer - Chief Building Official (954) 921-3025



1. The east side handicap parking spots need be on an accessible route.

Response: *The east handicap spaces have been revised to show an accessible route to the proposed sidewalk access to the Main Entrance.*

2. Exiting from the building needs an accessible route to the public way.

Response: *All building exits provide an accessible route to a vehicular way, see Site Plan, Sheet A-101.*

3. Will the building have a sprinkler system?

Response: *Yes, the building will have a fire sprinkler system. (See Building Data Note on Site Plan, Sheet A-101.*

4. Provide the construction type and occupancy.

Response: *The Occupancy Classifications consists of two Occupancies: B (Business Occupancy) & F-2 (Low-hazard Factory – metal products – fabrication & assembly). Based on Area Increases, the Construction Type is Type II B (non-separated occupancy).*

K. ENGINEERING

Luis Lopez -City Engineer (954) 921-3251

Clarissa Ip - Engineering Support Services Manager (954) 921-3915

Please note that due to the lateness in receiving these comments we will not be able to fully respond and / or correct the plans.

1. Indicate depth of parking stalls on plans.

Response: *Parking stall depth has been corrected, see Sheet A-101.*

2. Provide pavement markings for the accessibility route from the ADA compliant parking stalls on the east side of the building to building's access.

Response: *Pavement markings have been provided connecting the two handicap spaces on the east side of the building to sidewalk, see Site Plan, Sheet A-101.*

3. On civil plans, indicate area of pavement restoration for utility work within rights-of-way. Full road width pavement restoration required, provide pavement restoration detail.

Response: *See revised Civil Plans*



4. Provide typical detail for parking stalls with dimensions.

Response: *See revised Civil Plans*

5. Clarify on plans if wheel stops will be used, civil plans indicate wheel stops, but not Site Plan.

Response: *Both plans now show extruded concrete curb with 2 foot overhang where abutting landscape areas. Wheel stops will only be used at east side parking where parking stalls abut one another.*

6. SW 25th Avenue-Cross Access Agreement recorded in Broward County Plat Book 28853, Page 1576:

- a. Sketch the location of the referenced Tract A and Tract B on the survey.
- b. The Agreement is between the Owners of Tract A and Tract B, not for use by the general public.
- c. Plans show area as "Access Easement", please revise accordingly.

Response: *Due to the lateness in the receipt of these comments, we will not be able to respond fully to the above comments. In reference to Tracts A & B, these are large portions of the underlying property prior to the plat of Port 95 Commerce Park. We will continue to explore this and provide a document that will show these Tracts.*

6. Provide right-of-way dedication along SW 25th Avenue.

Response: *Since the easement is shared by two properties, we will explore the potential of a mutual agreement that will allow the access easement to become a dedicated ROW.*

8. Label Section D-D on Sheet C2.

Response: *Section has been labeled accordingly.*

9. Indicate driveway setbacks from property lines.

Response: *Setbacks are identified.*

10. Provide pavement marking and signage plans.

Response: *Pavement marking plan has been added, see Sheet C2.*

11. Provide corner setback and sight triangle as per Code of Ordinances Chapter 155.12.

Response: *See revised plan.*

12. Proposed fire hydrant at the southwest corner of the site on Sheet A-101 is not shown on civil plans as noted, please clarify.

Response: *Site plan has been revised to show the fire hydrant location per the Civil Engineering plans.*

13. All outside agency permits must be obtained prior to issuance of Building Permit.

Response: *Understood.*

L. FIRE

Janet A. Washburn - Fire Prevention Officer III (954) 921-3263

1. This review is limited to water supply and fire department access. At time of formal submittal to the building department a complete review will be done using the 5th edition Florida Fire Prevention code, NFPA 13, 2010 edition, NFPA 72, 2010 edition, and 2016 Broward Fire Amendments. At time of building permit (not now) be sure to include a business plan for all floors of the building including description of special industrial, manufacturing areas, and warehouse areas, etc.

Response: *Understood.*

2. Some of the processes shown on the floor plan pg. A-101.1 may require special fire protection systems. It would behoove you to work with a design consultant experienced in these types of system to identify now any special hazard requirements or special requirements for the fire sprinkler system.

Response: *Understood, we are in the process of working with our Fire Protection Engineer to develop a fire protection system that will satisfy the needs of the Owner.*

3. The new building must meet the fire flow requirements found in the 5th edition of the Florida Fire Prevention code, chapter 18 of NFPA 1. A reduction may be taken for the fire sprinkler system. You may schedule a hydrant flow test through underground utilities at 954-921-3046 to determine



location of hydrants. Once test is complete, have civil engineer calculate the required fire flow requirements, and show them on the plan and include all new and existing fire hydrants on civil drawings.

Response: *Upon the determination as to who's water supply system that we will be connecting to, we will secure a fire flow test.*

4. Show the location of the fire department connection on the plan in an accessible location for responding fire apparatus.

Response: *Currently shown on the Site Engineering plan.*

5. Fire department access must be maintained around the parking lot. Our turning radius is as follows: 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior. 32'.2". Please show turning radius on pg A-101. Width of the access road is OK.

Response: *Turning radius are identified on the Site Plan, Sheet A-101 and are as follows: Interior-41'- 6"; Centerline - 45'-9" & Outside – 50'-0".*

6. Show on the plan the building will be in compliance with NFPA 1, 11.10* Two-Way Radio Communication Systems. (there is also a Broward Building code amendment 118.2 on requirements).

Response: *Note has been added on the Site Plan (see Sheet A-xxx).*

M. PARKS, RECREATION AND CULTURAL ARTS

Eric Brown - Recreation Supervisor (954) 921-3404

David Vazquez - Assistant Director (954) 921-3404

1. Application is substantially compliant.

N. POLICE DEPARTMENT

Tracey Thomas - Police (954) 967-4549

Doreen Avitabile - Police (954) 967-4371

1. No comments received.

O. PUBLIC WORKS

Karen Arndt - Assistant Director (954) 967-4264

Charles Lassiter - Environmental Services Supervisor (954) 967-4207



1. No comments received.

P. COMMUNITY DEVELOPMENT

Clay Milan - Community Development Manager (954) 921-3271

1. Show dumpster enclosure details

Response: *See Sheet A-101.2 for dumpster plans and details.*

2. Clarify what's happening at "powder" storage and mixing areas

Response: *The manufacturing process utilizes 'applied manufacturing' which entails 3D printing of various parts. The powder refers to the metal powders that are used as part of this process. They are received and held until such time that they are needed. Mixing areas are those areas where small amounts of metals may be mixed together for processing.*

3. Add bike rack for employees

Response: *See note on south side at Building Entrance for location of Bike Rack (see Sheet A-101) and Bike Rack detail on Sheet A-101.2.*

4. Exterior design and color scheme is pleasing to the eye

Response: *Thank you.*

5. There are no civic associations in the area

Response: *Understood.*

Q. ECONOMIC DEVELOPMENT

Brian Rademacher - Corridor Redevelopment Manager (954) 924-2922

1. Application is substantially complaint.

R. DOWNTOWN AND BEACH CRA

Jorge Camejo - Executive Director
(954) 924 – 2980
Susan Goldberg - Deputy Director
(954) 924-2980



1. Not applicable.

S. PARKING AND INTERGOVERNMENTAL AFFAIRS

Harold King - Parking Administrator (954) 921-3549

Tamikia Bacon - Parking Operations Manager 954-921-3548

1. Application is substantially complaint.

T. ADDITIONAL COMMENTS

Alexandra Carcamo - Principal Planner (954) 921-3471

1. Additional comments may be forthcoming.

Should you require any further information or clarification, please do not hesitate to contact our office.



W. Douglas Snyder CSI, CDT, NCARB, LEED BD+C
AR 9127
President

From: Kalus, Evy
To: [Jeff Falkanger](#)
Cc: [Doug Snyder](#)
Subject: RE: SINTAVIA PROJECT - HOLLYWOOD
Date: Friday, June 30, 2017 11:50:18 AM
Attachments: [image001.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Good Afternoon.

The project you reference above lies within the Port 95 Commerce Park plat. As you are aware, this plat used to be in an Development of Regional Impact (DRI) has expired. Therefore, the applicant has 2 options: pay transit concurrency fees for any proposed development within the plat or petition the County Commission to honor the credit against road improvements that were original required by the DRI. You have choose to pay transit concurrency fees. In addition, you have agreed to submit documentation verifying what has been constructed within the boundaries of the plat. Based on preliminary review of the documentation, it appears that there is adequate square footage for the proposed industrial building. Upon satisfaction of the Broward County impact/concurrency fees for the project; the project will receive a "Transportation Concurrency Satisfaction Certificate."

Evy



EVANGELINE G. KALUS, SENIOR PLANNER

Environmental Protection and Growth Management Department

PLANNING AND DEVELOPMENT MANAGEMENT DIVISION

1 N. University Dr. | Plantation, Florida 33324

954.357.6637

Broward.org/Planning | [ePermits](#)



From: Jeff Falkanger [mailto:JFalkanger@fsmysarch.com]

Sent: Friday, June 30, 2017 11:37 AM

To: Kalus, Evy <EKALUS@broward.org>

Cc: Doug Snyder <DSnyder@fsmysarch.com>

Subject: SINTAVIA PROJECT - HOLLYWOOD

Importance: High

Evvy, as you requested, please the attachments for the data about our Sintavia project.

Thanks again for doing this today ! Jeff

Jeff Falkanger

Chairman



Falkanger Snyder Martineau & Yates

888 South Andrews Avenue, Suite 300

Fort Lauderdale, Florida 33316

954.764.6575 x225 Fax 954.764.8622



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PORT 95 FACILITY- SINTAVIA

BARRANCO-RLA
Landscape Architect
888 South Andrews Ave. Suite 300
Fort Lauderdale, 33316
954.224.0432

MUE ENGINEERS, INC.
Structural Engineers
3440 NE 12th Avenue
Oakland Park, FL 33334
954.324.4730

KAMM CONSULTING
Mechanical Engineers
1407 W. Newport Center Dr.
Deerfield Beach, Florida 33442
954.949.2200

FLYNN ENGINEERING SERVICES, P.A.
Civil Engineers
241 Commercial Blvd.
Lauderdale ByThe Sea, Florida 33308
954.522.1004

FSMY ARCHITECTS
888 South Andrews Avenue
Suite 300
Fort Lauderdale, FL 33316
954.764.6575

INDEX	
SHEET NUMBER	SHEET NAME
G-001	COVER SHEET
S	SURVEY
CIVIL	
C-1	CONCEPTUAL CIVIL ENGINEERING PLAN
C-2	SITE DETAILS
ARCHITECTURAL	
A-101	SITE PLAN
A-101.1	PARKING CALCULATIONS
A-101.2	SITE DETAILS
A-102	LEVEL- 01
A-103	LEVEL-02 OFFICES
A-104	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
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A-401	PHOTOMETRIC SITE PLAN
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SHEET NUMBER	SHEET NAME
LANDSCAPING	
L-100	TREE DISPOSITION
L-200	LANDSCAPE PLAN
L-300	DETAILS



DESIGNED	DRAWN	CHECKED
NC	NC	DS

P & D BOARD MEETING:	TBD
FINAL TAC:	07.31.2017
PRELIMINARY TAC:	06.19.2017

REVISIONS

DATE:	COMM:
07-03-2017	16066

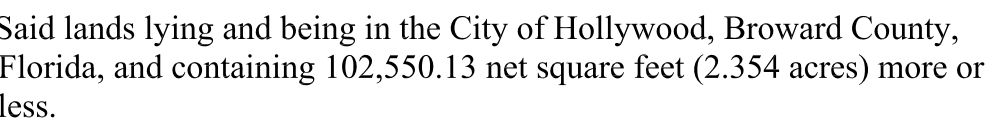
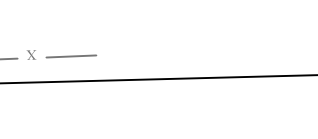
SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

COVER SHEET

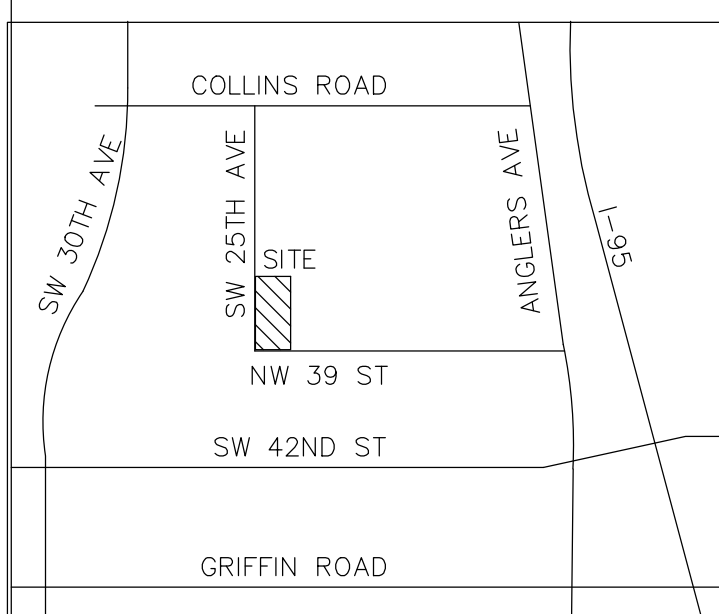
TAC Submittal

G-001



JOB NO.:	14-0214
DRAWN BY:	MRK
CHECKED BY:	DJG
SCALE:	1" = 20'
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER	
	
06/27/2017	
DENNIS J. GABRIELLE	
Professional Surveyor and Mapper	
NO. LS 5709	
State of Florida	
SHEET NO.:	
1 of 1	

Drawing name: F:\2017 Jobs\17-1365.00 Sintavia - Port 95\17-1365.00 SILE 6-30-17.dwg
 Jun 30, 2017 - 3:36pm



GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
3. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
5. ALL SIDEWALKS SHALL BE LOCATED AWAY FROM BUILDINGS.
6. MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4:1.
7. CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
8. SEE ARCHITECTURAL SITE PLAN FOR SITE DATA BREAKDOWN.
9. ALL UTILITIES INCLUDING TELEPHONE, ELECTRICAL, CABLE, ETC. MUST BE INSTALLED UNDERGROUND.
10. SURVEY INFORMATION BASED ON SURVEY PROVIDED BY D/G SURVEYING & MAPPING, INC., DATED DECEMBER 2016.
11. ELEVATIONS SHOWN ARE NAVD88

	PROPOSED ELEVATION (NGVD)
	EXISTING ELEVATION (NGVD)
	PROPOSED CATCH BASIN
	PROPOSED PLUG
	TEE
	WATER METER
	DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
	REDUCE PRESSURE BACKFLOW PREVENTOR
	DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
	PROPOSED MANHOLE
	WATER MAIN
	SANITARY FORCE MAIN VALVE
	FIRE HYDRANT
	SIAMESE CONNECTION
	CLEANOUT
	EDGE OF PROPOSED PAVEMENT (ASPHALT)
	DIRECTION OF SURFACE DRAINAGE
	SAMPLE POINT
	EXIST. WATER MAIN
	EXIST. UTILITY LINE TO BE REMOVED



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www.flynnengineering.com
EB# 6578

title

CONCEPTUAL CIVIL
ENGINEERING PLAN

SINTAVIA

HOLL YWOOD EL ORIDA



Revisions

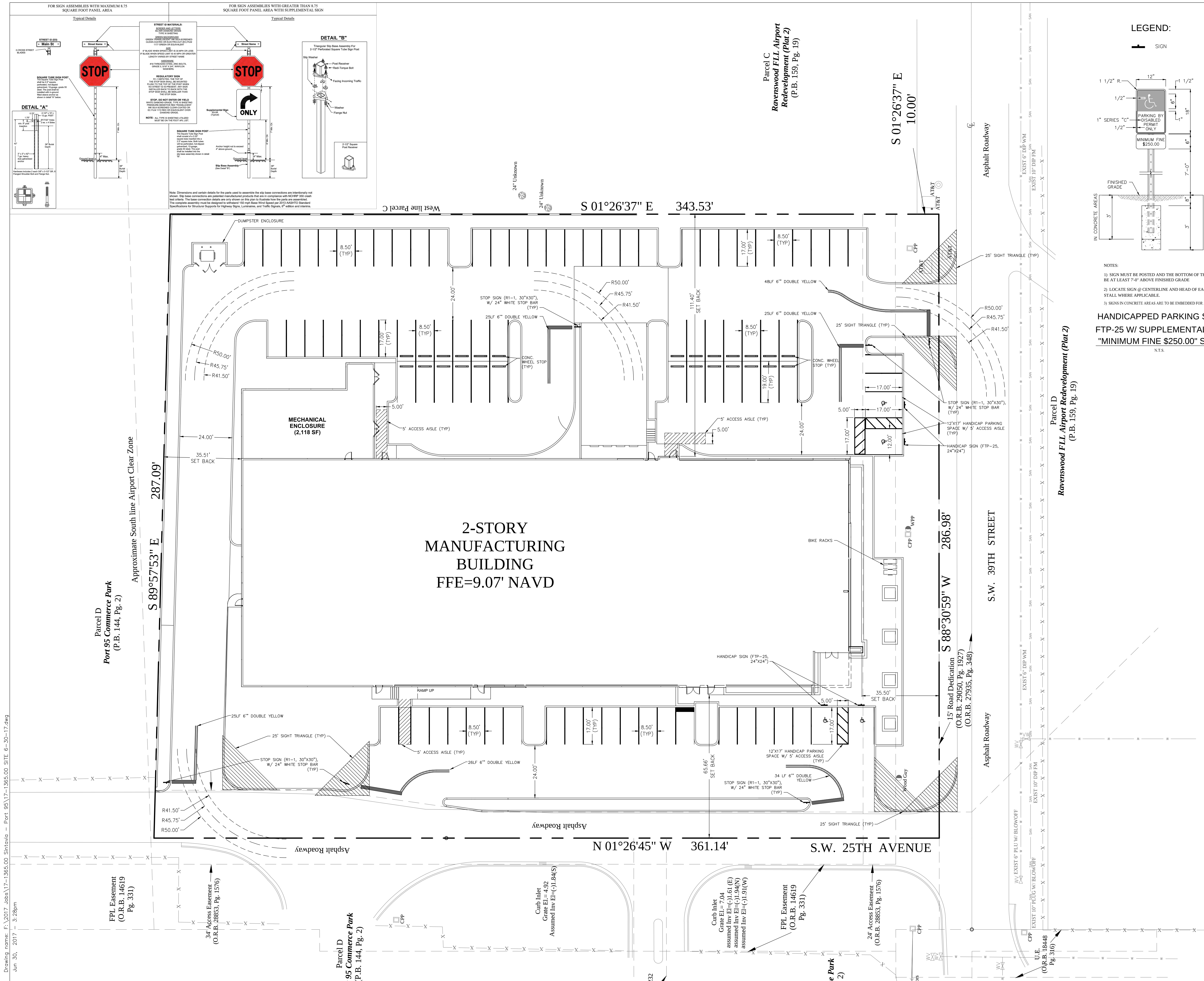
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SEAL

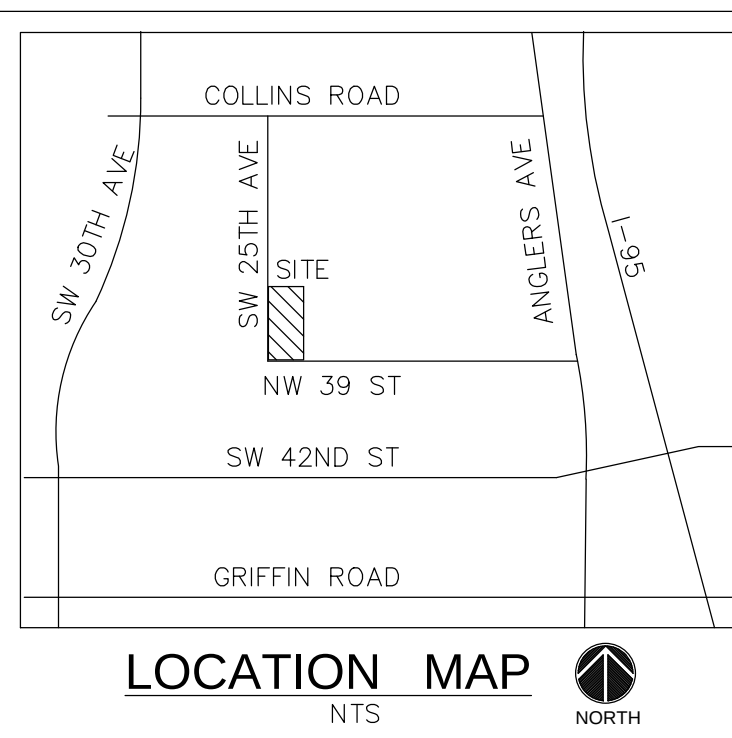
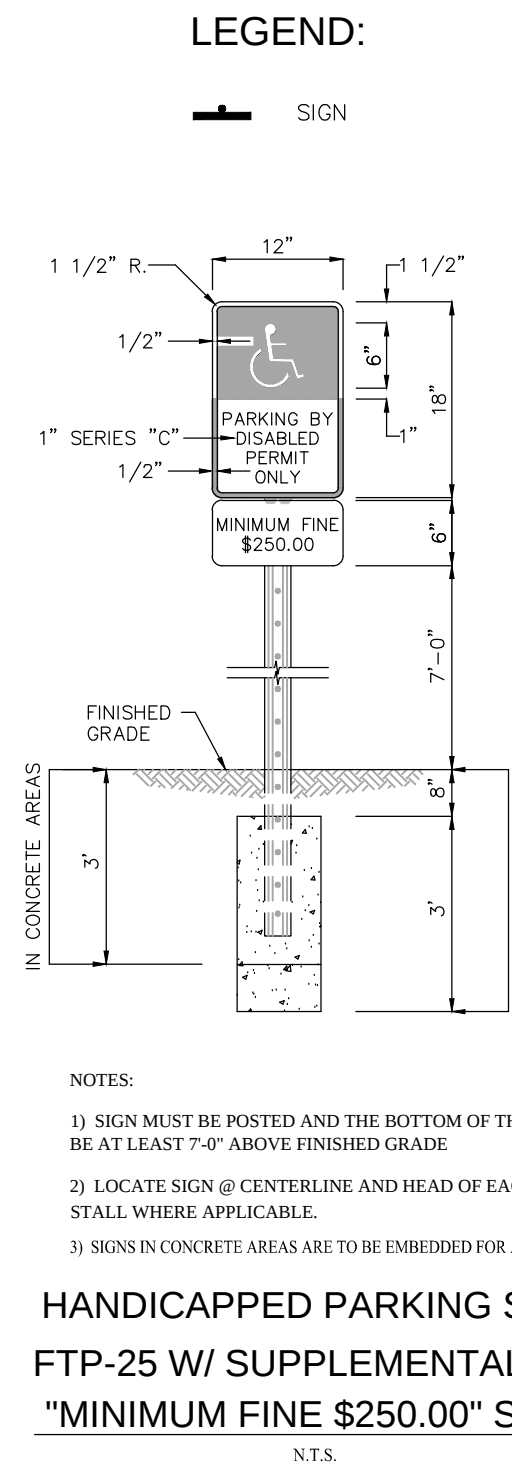
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Appr. by JMF	
1 of 4	

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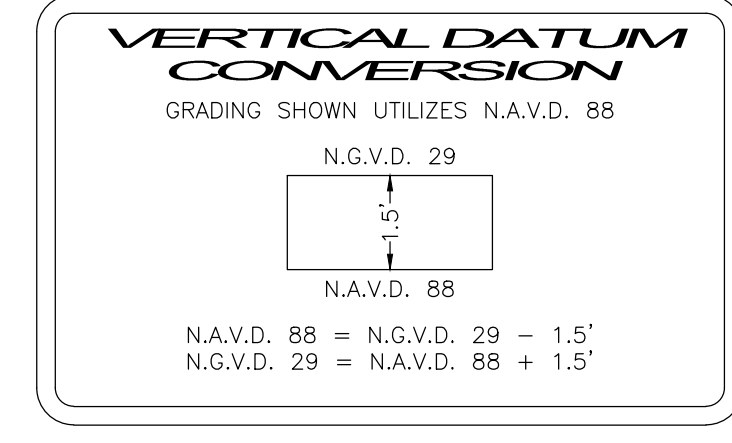
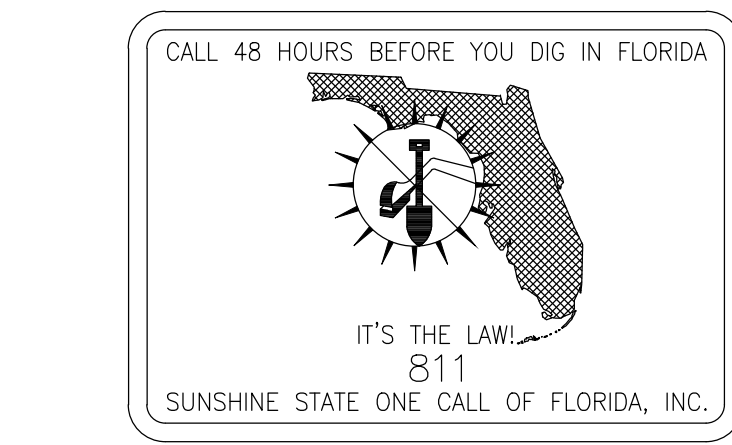
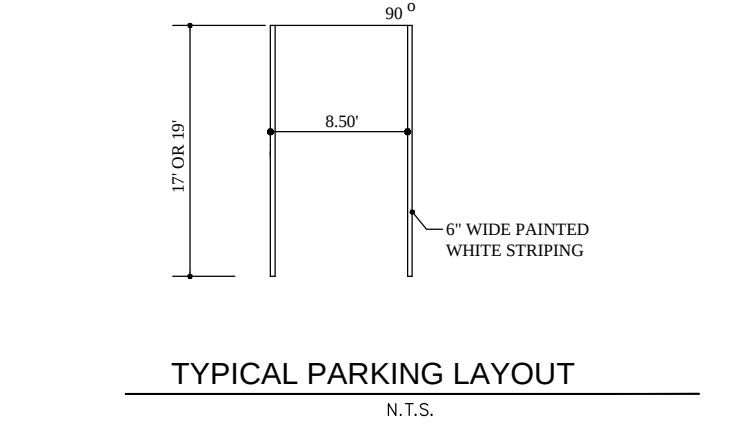
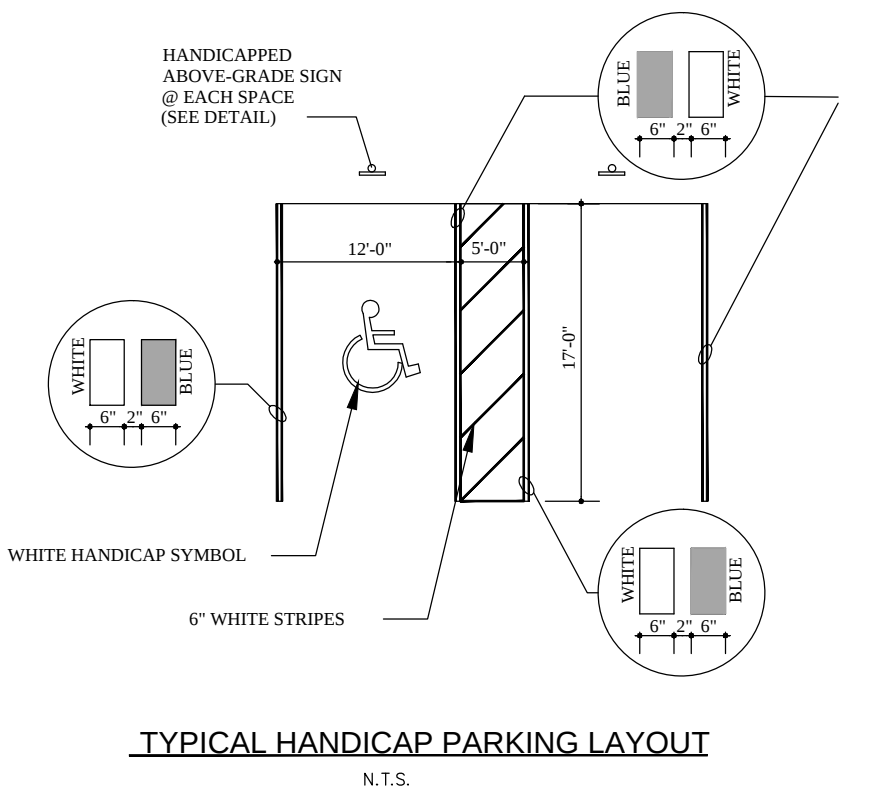


Parcel C
Ravenswood FLL Airport
Redevelopment (Plat 2)
(P.B. 159, Pg. 19)

Parcel D
Ravenswood FLL Airport Redevelopment (Plat 2)
(P.B. 159, Pg. 19)



- SIGNAGE AND MARKING NOTES:**
1. ALL PAVEMENT MARKINGS ON ASPHALT SHALL BE THERMOPLASTIC. ALL PAVEMENT MARKINGS LOCATED WITHIN PAVED AREAS MAY BE CUT IN WITH PAVERS INCLUDING PARKING STALL STRIPING AND HANDICAP ACCESS AISLE.
 2. R1-1 AND R5-1 SIGNS SHALL BE DIAMOND GRADE SHEETING.
 3. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) AND BCTED STANDARDS (CURRENT EDITION).
 4. ALL STRIPING IS TO CONFORM TO THE REQUIRED RETRO-REFLECTIVITY STANDARDS AS PER B.C.T.E.D.
 5. REMOVAL OF PAVEMENT MARKINGS SHALL BE BY SAND OR HYDROBLASTING AS REQUIRED BY B.C.T.E.D.
 6. ALL PAVEMENT MARKING AND SIGNAGE DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARD (CURRENT EDITION)



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EB# 6578

Sheet Title

PAVEMENT, MARKING,
AND SIGNAGE PLAN

Job Title

SINTAVIA

HOLLYWOOD, FLORIDA

NORTH

Revisions

Rev	Description	Date
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Phase:

DRG

DOCUMENTS

SEAL

Scale:

1"=20'

Date

05/18/17

Job No.

17-1365.00

Plot Date

06/30/17

Drawn by

FES

Sheet No.

C2

Proj. Mgr.

FES

Appr. by

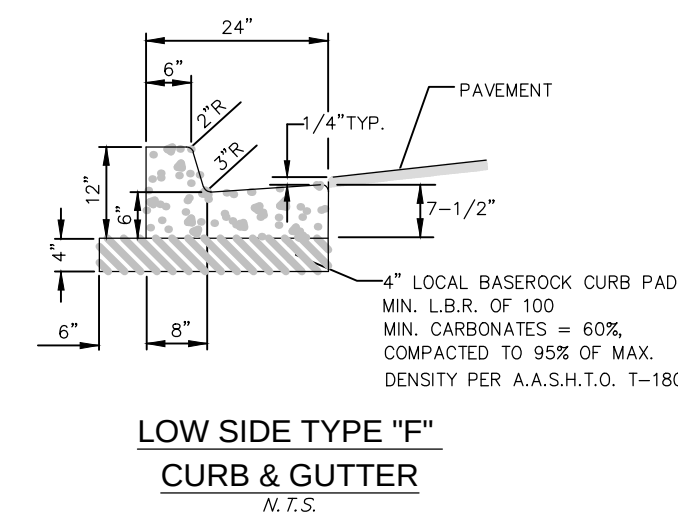
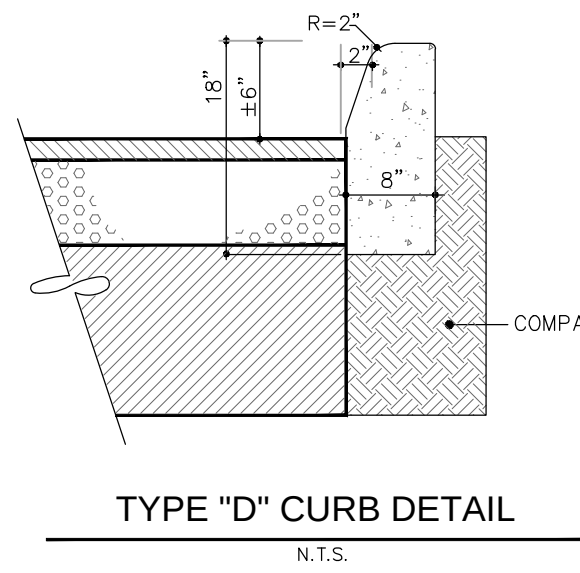
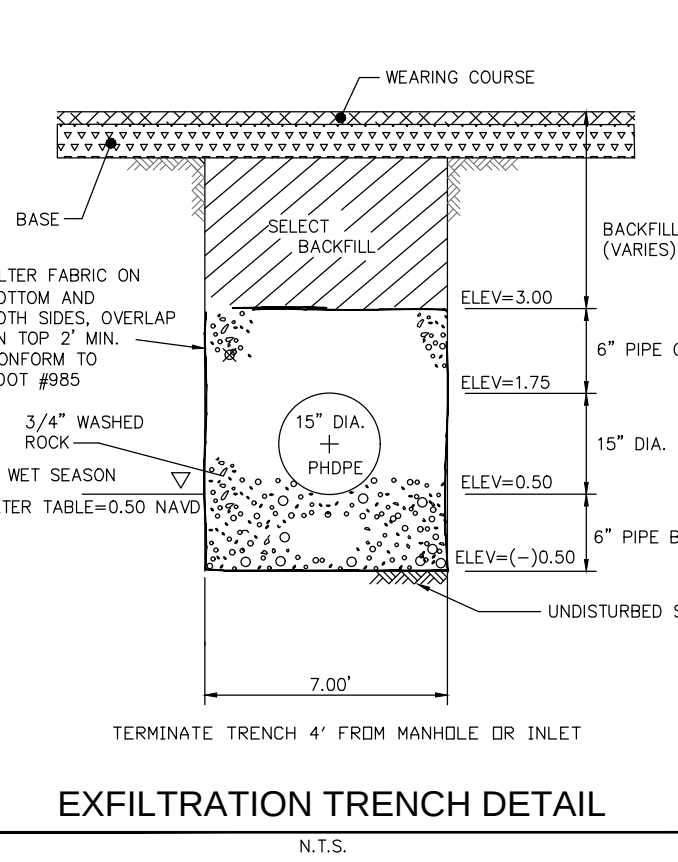
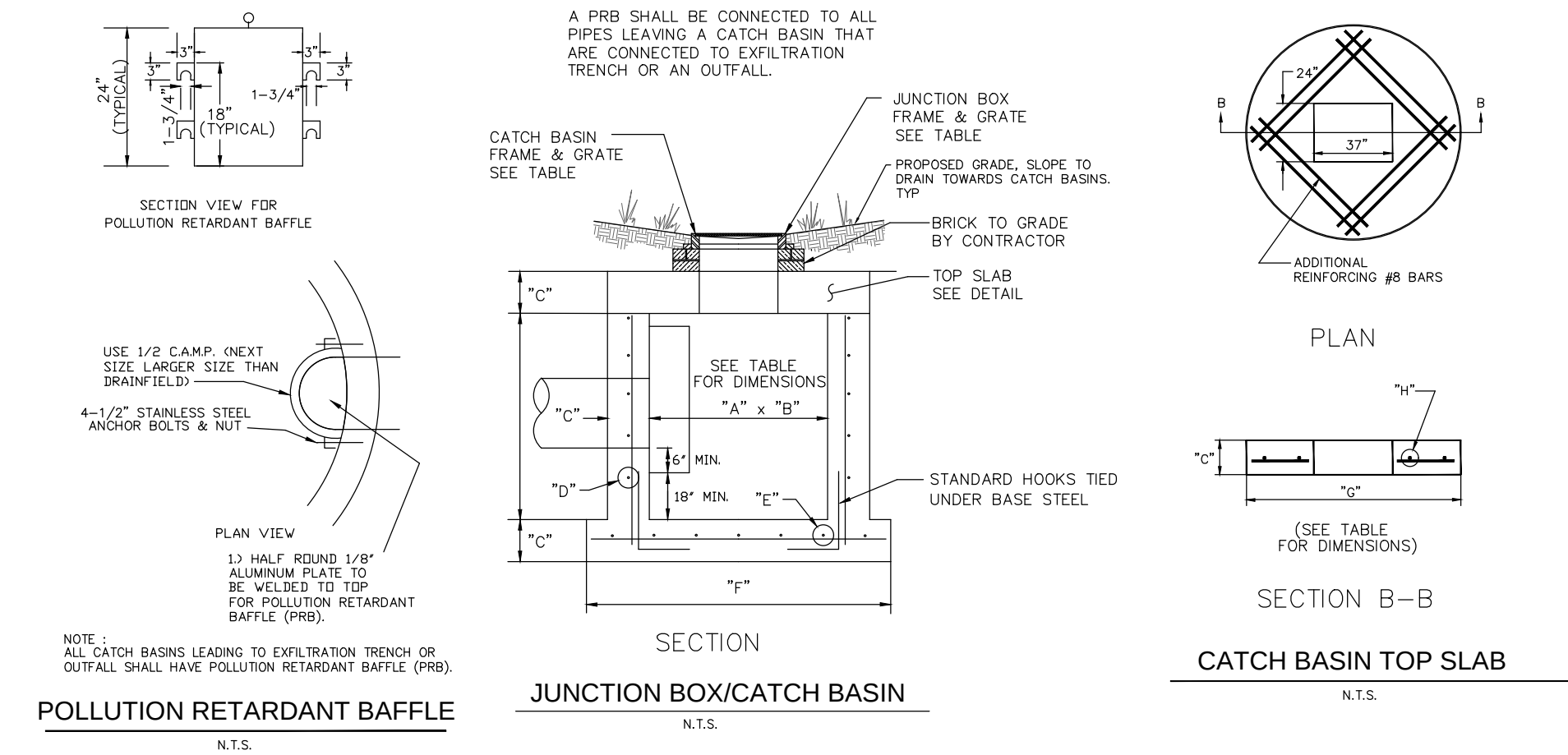
JMF

2 of 4

SUMMARY OF DRAINAGE STRUCTURES

STRUCTURE #	TYPE	"A"	"B"	"C"	"D"	"E"	"F"	"G"	"H"	U.S.F. # OR EQUAL FRAME	U.S.F. # OR EQUAL GRATE
CB#	"J"	4'-0" Ø		8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" Ø	5'-4" Ø	#4 @ 6" CCEW	4155	6209 CAST IRON
CB# 2,4,5	"C"	24"	37"	B"	#4 @ 12" CCEW	#4 @ 12" CCEW	46"	59"	#4 @ 6" CCEW		6210 STEEL
JB# 1,6,8	"J"	4'-0" Ø		8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" Ø	5'-4" Ø	#4 @ 8" CCEW	420	TYPE "C"
CB# 3	"J"	36"	54"	8"	#4 @ 12" CCEW	#4 @ 12" CCEW	52"	70"			6290 CAST IRON
CB#	"J"	6'-0" Ø		8"	#5 @ 6" CCEW	#5 @ 6" CCEW	8'-4" Ø	7'-4" Ø	#5 @ 6" CCEW	4155	6209 CAST IRON
JB#	"C"	42"	72"	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	66"X96"	58"X88"	#6 @ 6" CCEW	440	TYPE "C"
MH#	"J"	5'-0" Ø		8"	#5 @ 12" CCEW	#5 @ 12" CCEW	7'-4" Ø	6'-4" Ø	#5 @ 8" CCEW	420	TYPE "C"
MH#	"J"	6'-0" Ø		8"	#5 @ 6" CCEW	#5 @ 6" CCEW	8'-4" Ø	7'-4" Ø	#5 @ 6" CCEW	420	TYPE "C"
MH#	"J"	7'-0" Ø		8"	#5 @ 6" CCEW	#5 @ 6" CCEW	9'-4" Ø	8'-4" Ø	#5 @ 6" CCEW	420	TYPE "C"
CB# 0,7,9	"C"	24"	37"	B"	#4 @ 12" CCEW	#4 @ 12" CCEW	46"	59"	#4 @ 6" CCEW	5115	6220 CAST IRON
YD#											

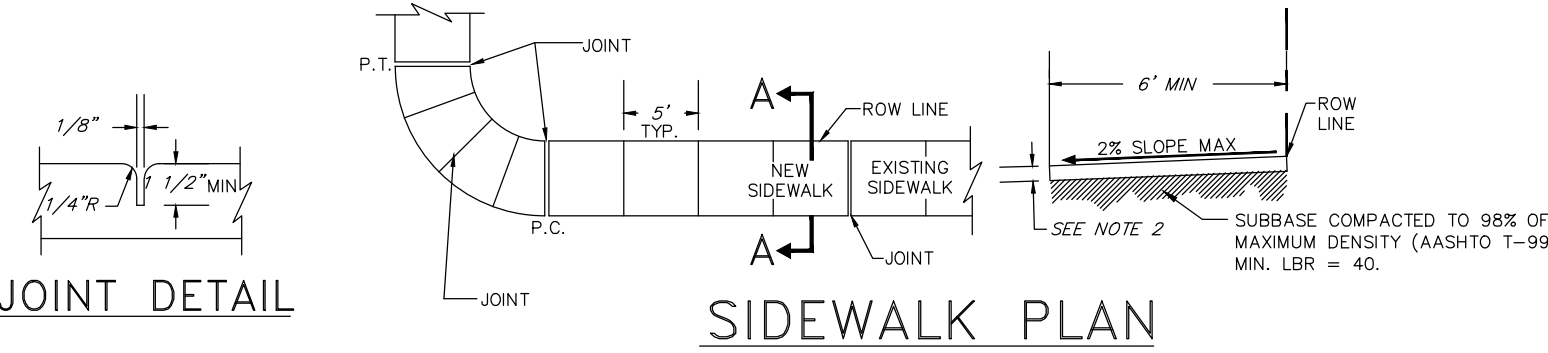
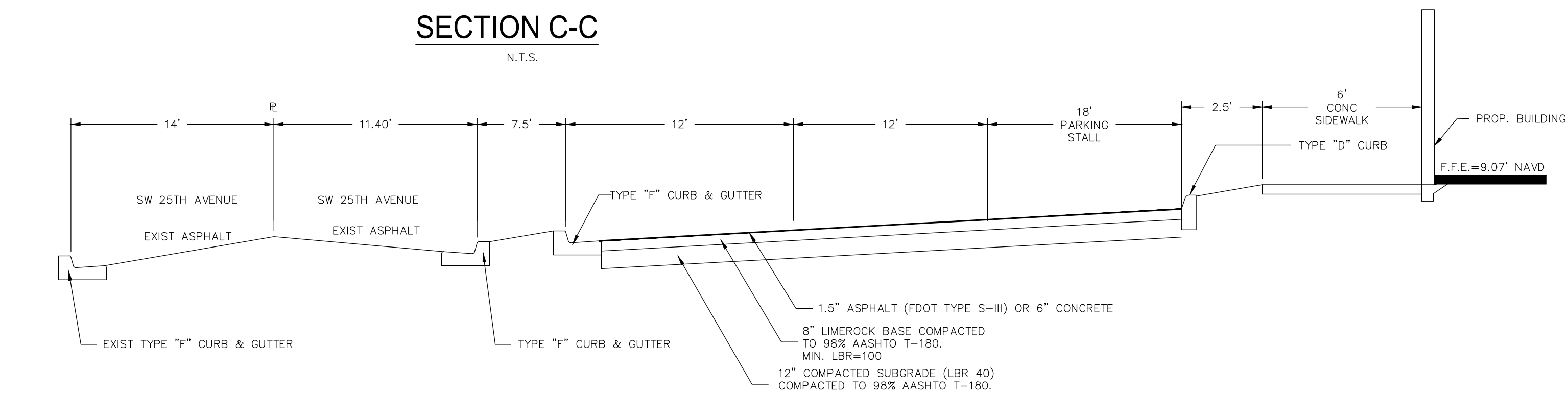
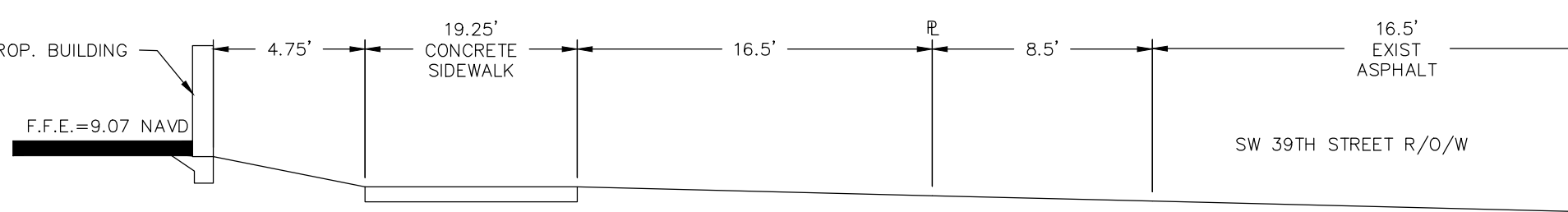
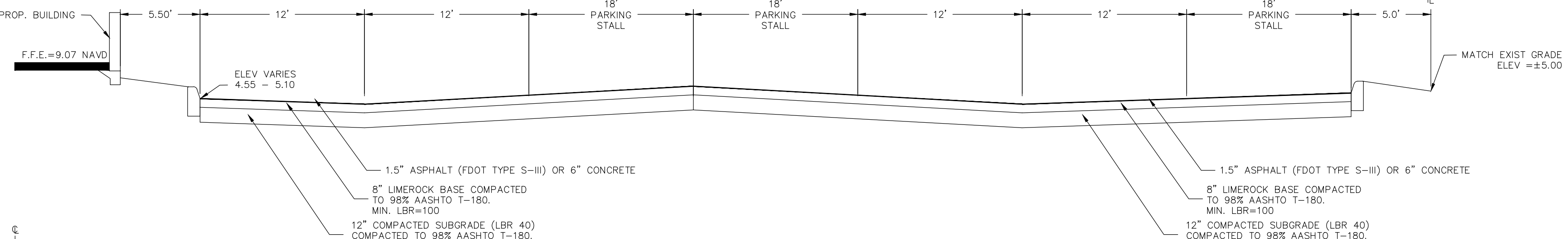
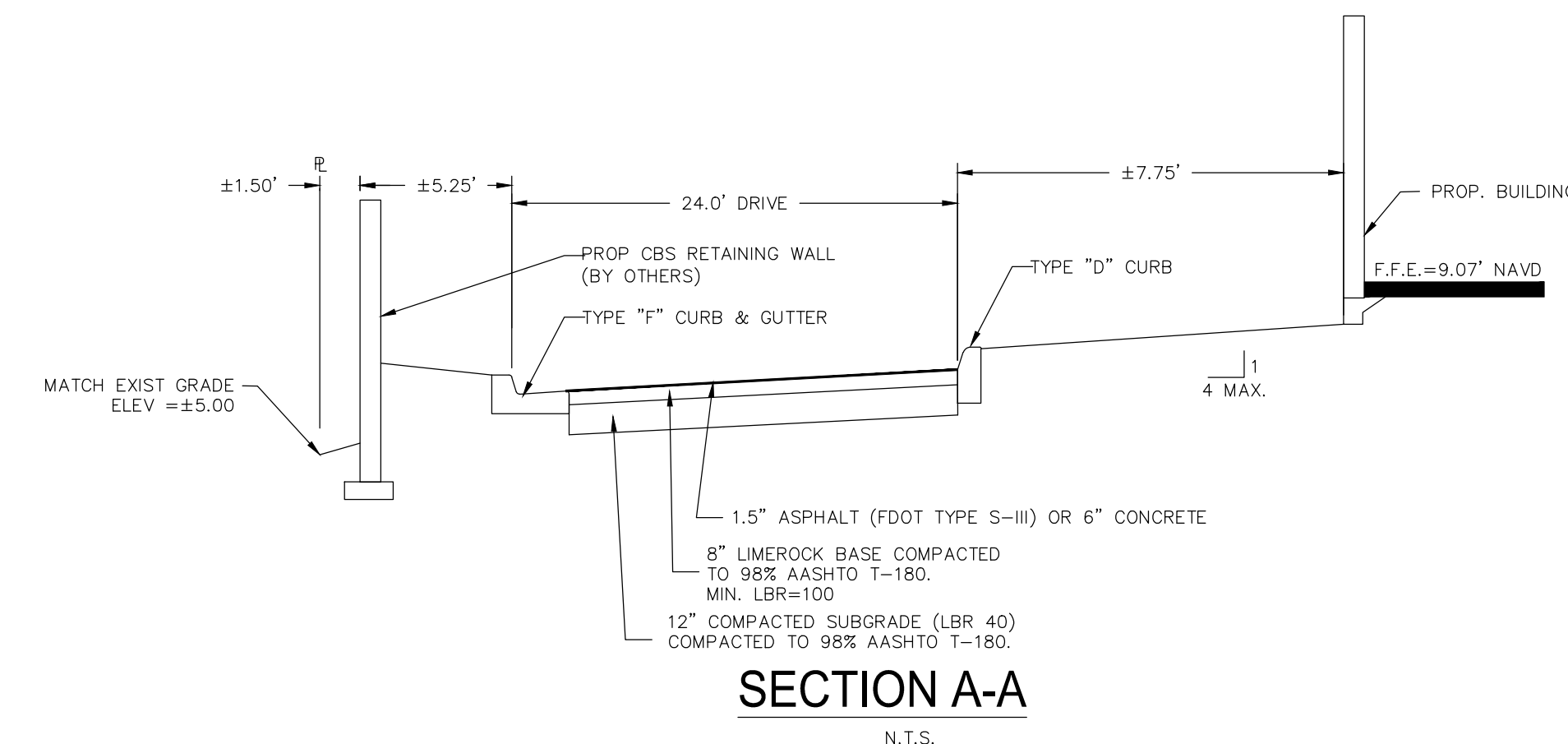
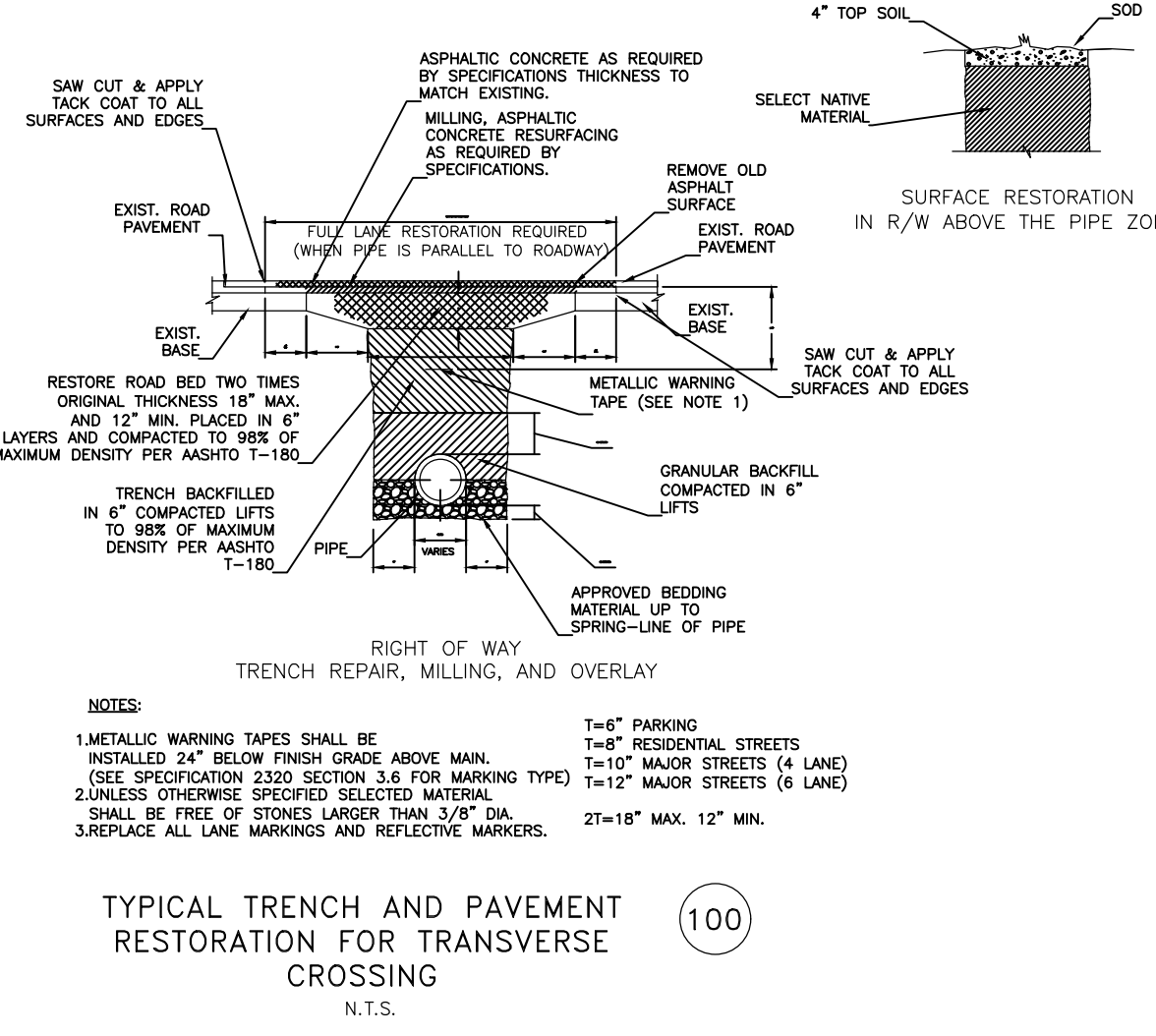
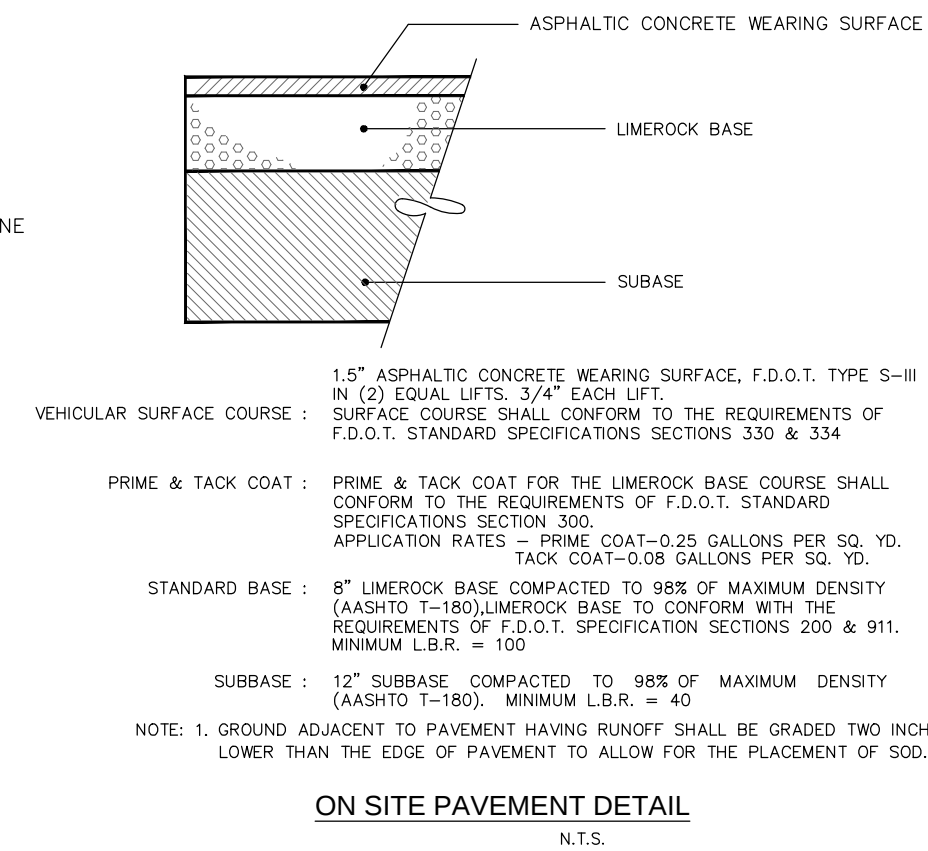
NOTE: ALL DRAINAGE STRUCTURES SHALL HAVE A 2" SUMP



SPACING OF REQUIRED ROADWAY, PARKING AREA AND UTILITY TRENCH TESTS							
F.B.V.		DENSITY		L.B.R.		THICKNESS	
MAX. SPACING	MAX. SPACING	MAX. SPACING	MAX. SPACING	MAX. SPACING	MAX. SPACING		
LN. FEET	50 FEET	LN. FEET	50 FEET	LN. FEET	50 FEET	LN. FEET	50 FEET
COMPACTED OR STABILIZED SUBGRADE	200	10,000	200	10,000	200	10,000	300
LIMEROCK BASE	---	---	300	10,000	---	---	---
ASPHALT	---	---	---	---	---	PER INSP.	PER INSP.
UTILITY TRENCH	---	---	200	---	---	---	---

ALL TESTING SHALL BE TAKEN IN A STRATIFIED SAMPLING PATTERN FROM A POINT
12" ABOVE THE LEFT EDGE OF THE ITEM TESTED TO THE CENTER, TO A POINT 12"
ABOVE THE RIGHT EDGE.

COMPACTION TEST SCHEDULE



CONCRETE PAVEMENT & SIDEWALK JOINTS

TABLE OF SIDEWALK JOINTS	LOCATION
	P.C. AND P.T. CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS, 5'-0" CENTER TO CENTER ON SIDEWALKS, 15' CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED.

NOTE: CONCRETE TO BE CLASS-1 3000 P.S.I.

- PROVIDE 1/8" CONTRACTION JOINTS AT 5' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH A 1/4" RADIUS DEEP WITHIN THE FOLLOWING TIME PERIODS: JOINTS AT NOT MORE THAN 30' INTERVALS - WITHIN 12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING.
- PROVIDE 6" THICK CONCRETE FOR ALL SIDEWALKS LOCATED IN RIGHT OF WAY AND 4" THICK CONCRETE FOR ALL SIDEWALKS LOCATED ON-SITE.
- NO REINFORCEMENTS SHALL BE USED IN THE SIDEWALKS.
- CONCRETE TO BE 3,000 PSI IN 28 DAYS.
- CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE OR OTHER APPROVED METHOD.
- CONCRETE PAVEMENT FOUNDATION SHALL BE COMPACTED TO A FIRM, EVEN SURFACE, TRUE TO GRADE AND CROSS SECTION, AND SHALL BE MOIST AT THE TIME CONCRETE IS PLACED
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS

CONCRETE PAVEMENT & SIDEWALK DETAIL

NOTE: ELEVATIONS SHOWN ON THIS PLAN ARE IN NAVD 88.

FES
FLYNN ENGINEERING SERVICES, P.A.
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SITE DETAILS

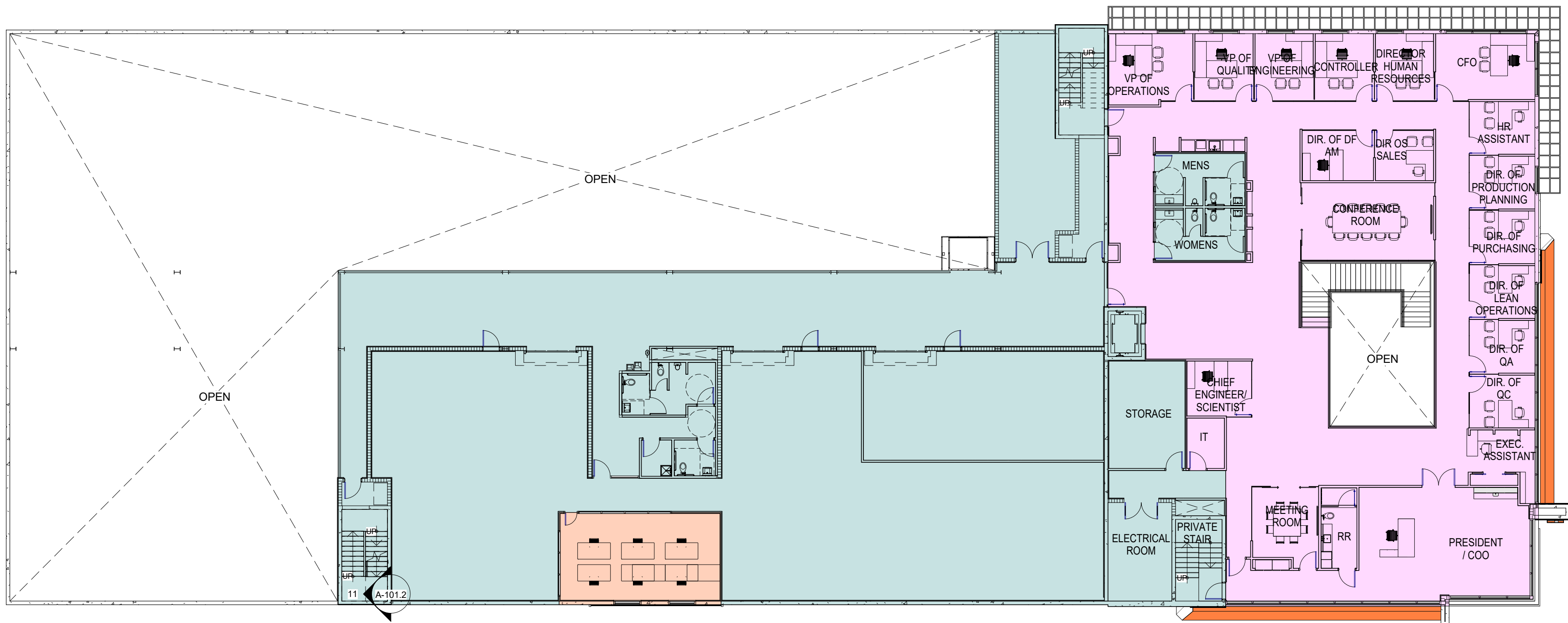
SINTAVIA
HOLLYWOOD, FLORIDA

Phase:
DRC
DOCUMENTS

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Scale:	Date
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Job No.	Plot Date
17-1365.00	6/30/17
Drawn by	Sheet No.
FES	
Proj. Mgr.	C3
FES	
Appr. by	3 of 4
JMF	



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Designer	Author	Checker



LEVEL 02- OFFICE/ MANUFACTURING AREA CALCULATIONS

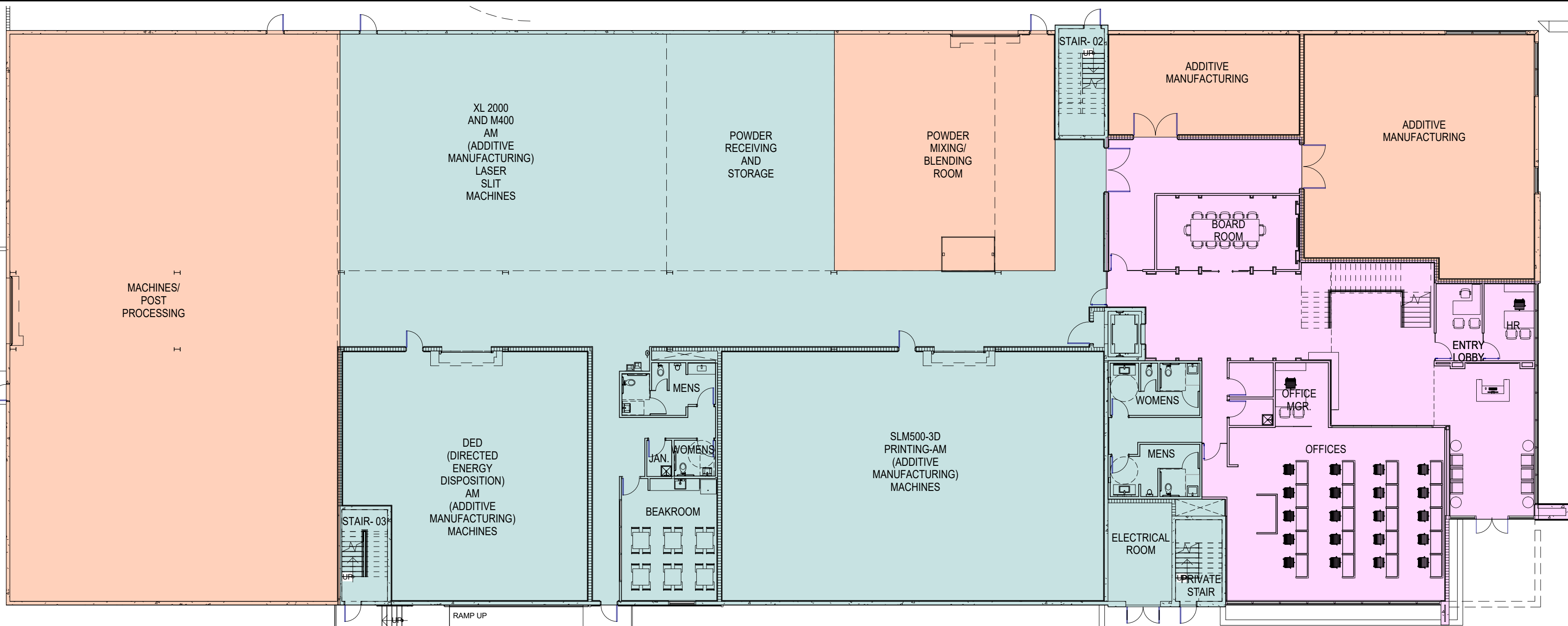
LEVEL 02- OFFICES /
MANUFACTURING

OFFICE AREA:	6,401 SF
MANUFACTURING:	498 SF
WAREHOUSE AREA:	10,231 SF
TOTAL GROSS SF=	17,130 SF

PARKING CALCULATIONS

OFFICE AREA:	
LEVEL 01:	4,540 SF
LEVEL 02:	6,401 SF
TOTAL =	10,941 SF
PARKING REQUIRED:	
10,941 SF / 400= 27.35	28 SPACES
WAREHOUSE AREA:	
LEVEL 01:	13,897 SF
LEVEL 02- MANUFACTURING:	10,231 SF
TOTAL =	24,128 SF
PARKING REQUIRED:	
24,128 SF / 1,000= 24.128	24 SPACES
MANUFACTURING AREA:	
LEVEL 01:	10,760 SF
LEVEL 02:	498 SF
TOTAL=	11,258 SF
PARKING REQUIRED:	
11,258 SF / 400= 28.14	28 SPACES
TOTAL PARKING REQUIRED:	80 SPACES
TOTAL PARKING PROVIDED:	90 SPACES (4 HC INCLUDED)
LOADING REQUIREMENTS:	
Area of Building (SF)	REQUIRED PROVIDED
25,000 - 59,999	2 2
* SEE SHEET A-101.1 FOR GRAPHIC REPRESENTATION	
FIRE:	
BUILDING WILL BE IN COMPLIANCE WITH NFPA 1, 11, 10" TWO-WAY RADIO COMMUNICATION SYSTEM AND WITH BROWARD BUILDING CODE AMENDMENT 118.2	

R E V I S I O N S



LEVEL- 01 AREA CALCULATIONS

LEVEL- 01

OFFICE AREA:	4,540 SF
MANUFACTURING AREA:	10,760 SF
WAREHOUSE AREA:	13,897 SF
TOTAL GROSS SF=	29,197 SF

AREAS CALCULATION

OFFICE AREA:	
LEVEL 01:	4,540 SF
LEVEL 02:	6,401 SF
TOTAL =	10,941 SF
WAREHOUSE AREA:	
LEVEL 01:	13,897 SF
LEVEL 02- MANUFACTURING:	10,231 SF
TOTAL =	24,128 SF
MANUFACTURING AREA:	
LEVEL 01:	10,760 SF
LEVEL 02:	498 SF
TOTAL=	11,258 SF
GROSS SQUARE FOOTAGE:	
LEVEL 01:	29,197 SF
LEVEL 02:	17,130 SF
TOTAL=	46,327 SF

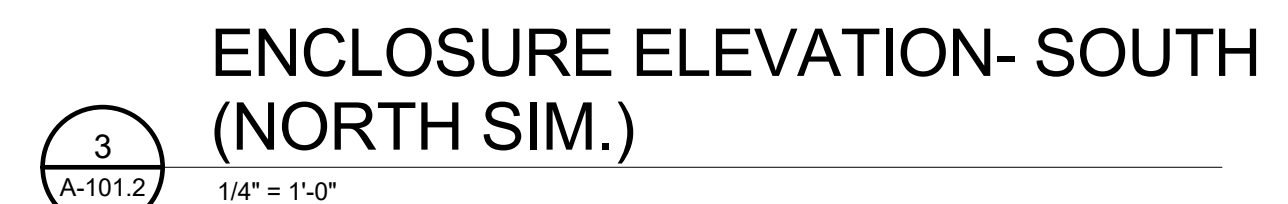
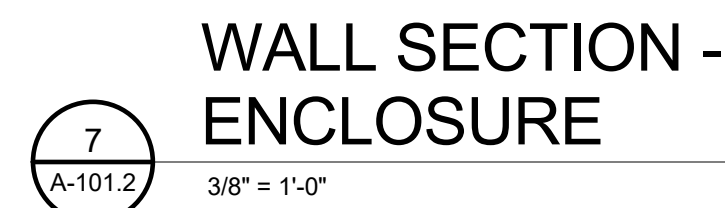
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SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

PARKING CALCULATIONS
TAC Submittal

A-101.1





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07-03-2017	16066

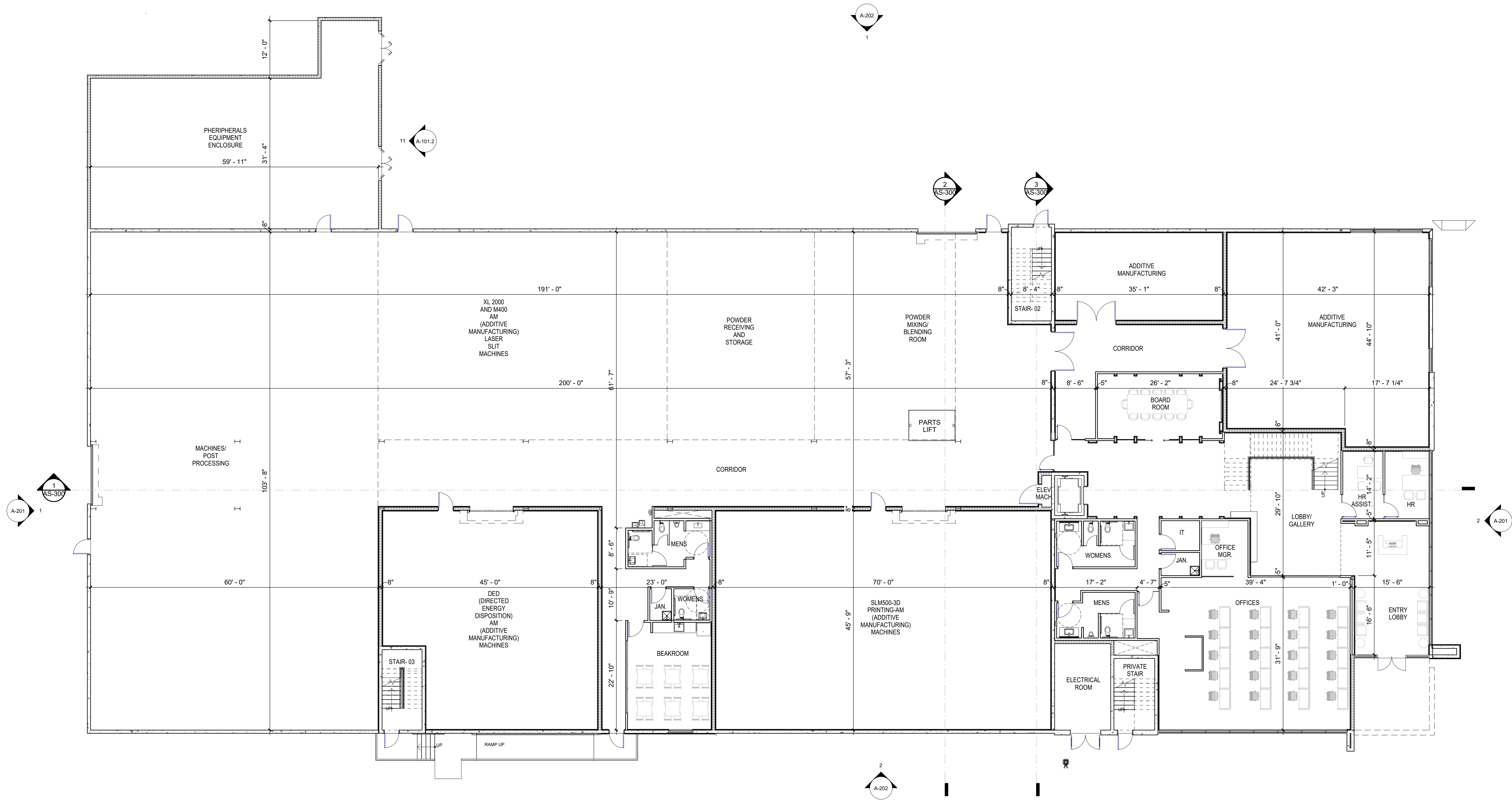
SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

LEVEL- 01

TAC Submittal

A-102



LEVEL- 01
3/32" = 1'-0"



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N.C.	N.C.	D.S.

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SINTAVIA

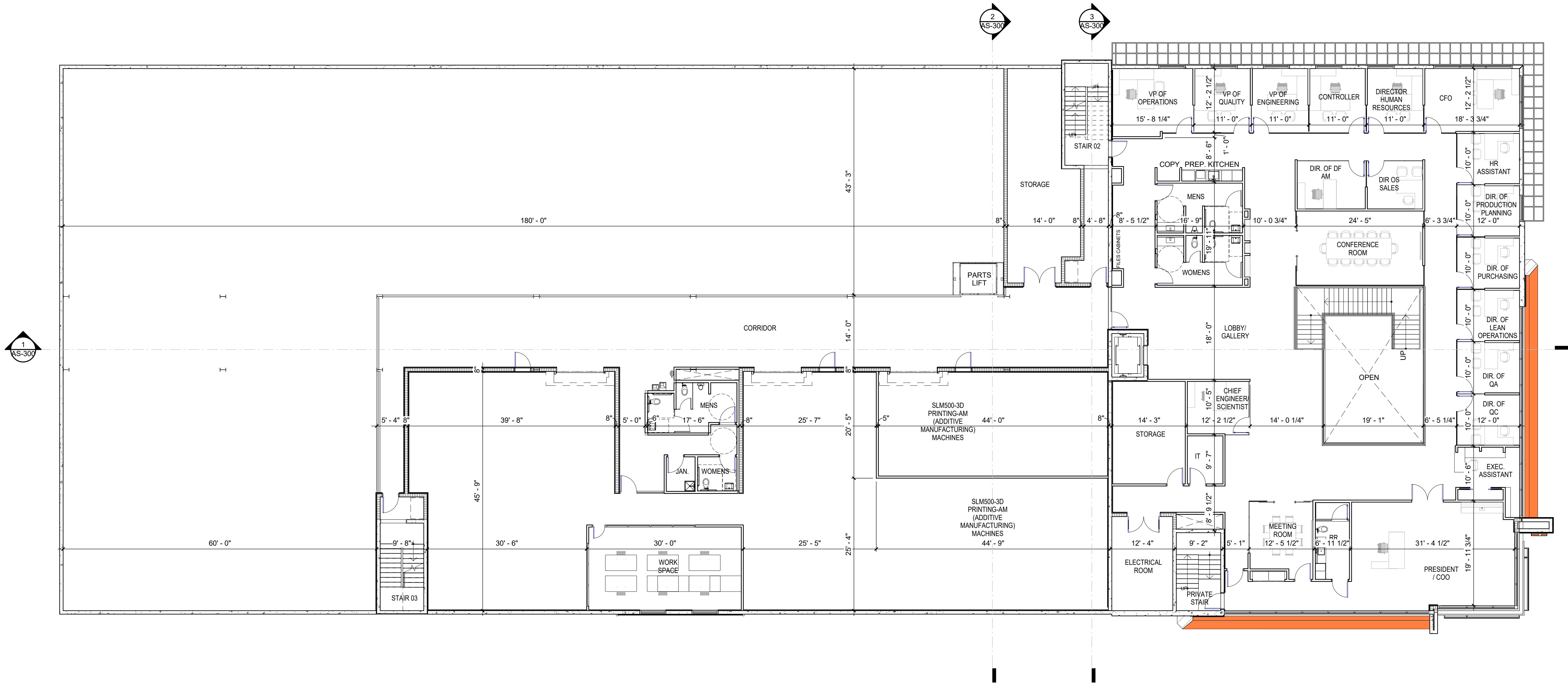
SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

LEVEL-02 OFFICES

TAC Submittal

A-103

6/29/2017 4:38:11 PM



1 LEVEL- 02
A-103 3/32" = 1'-0"



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Designer	Author	Checker

REVISIONS

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07-03-2017	16066

SINTAVIA

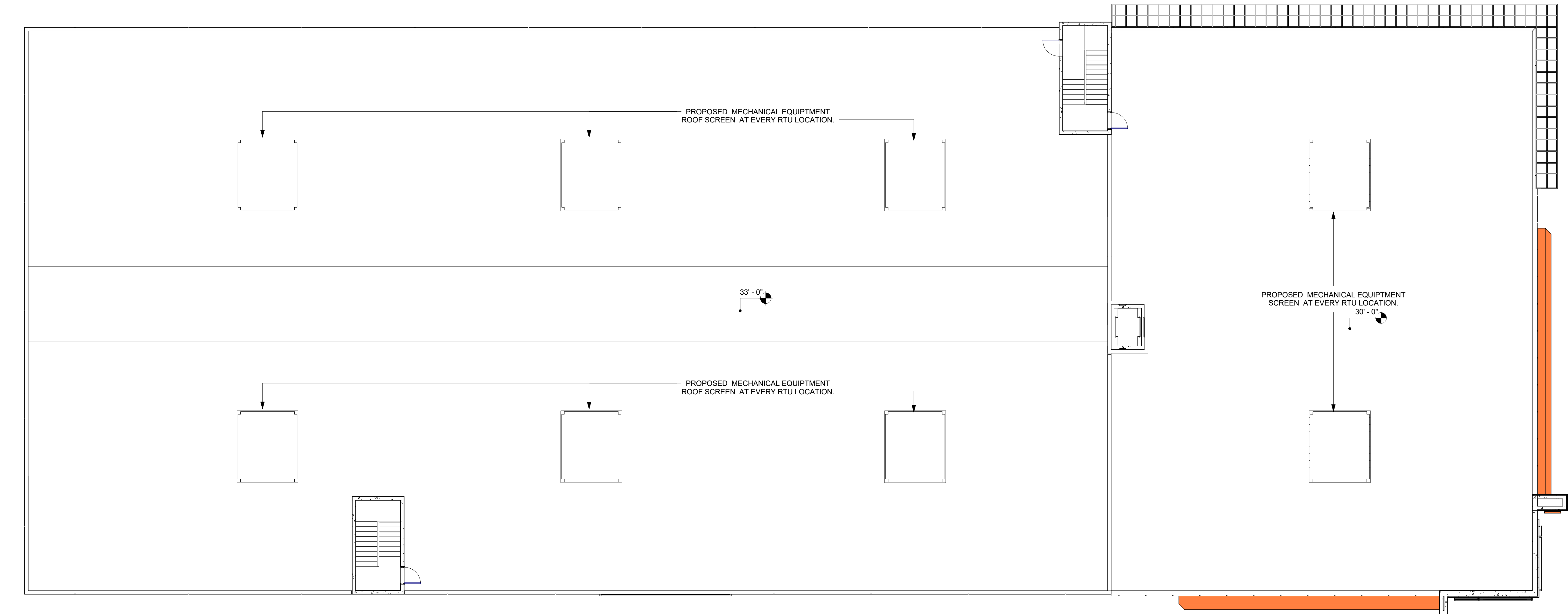
SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

ROOF PLAN

TAC Submittal

A-104

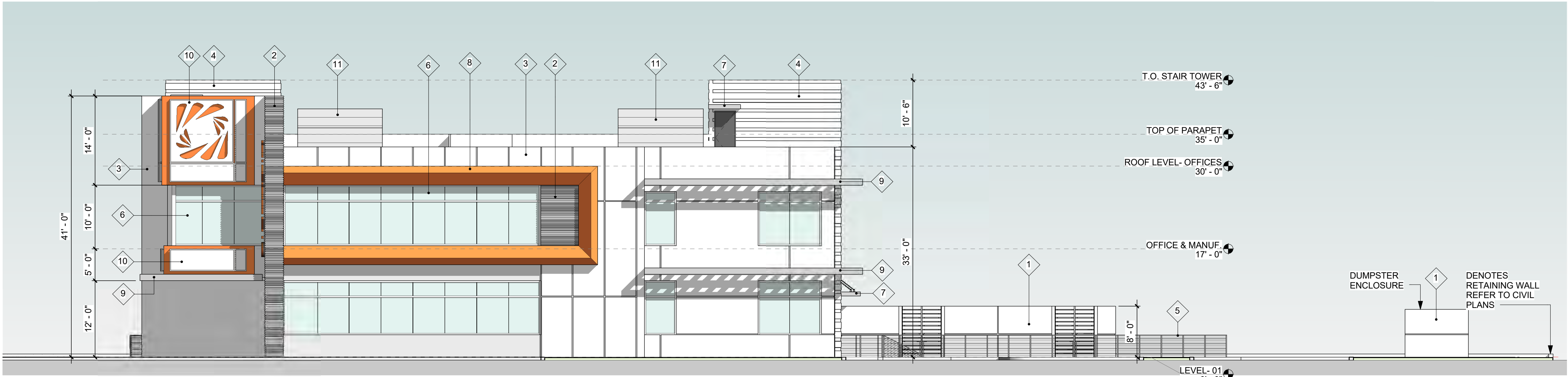
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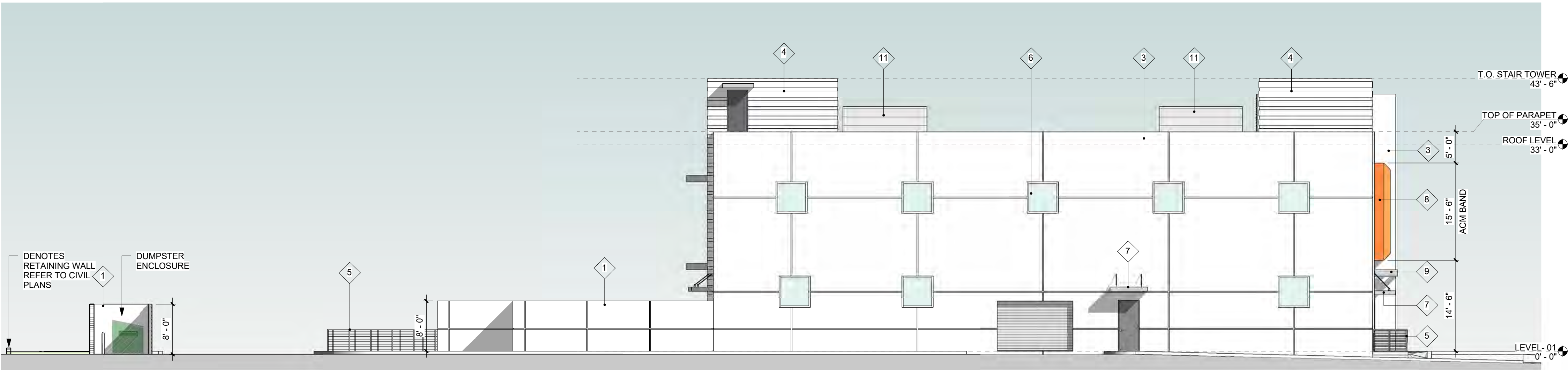
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A-104
ROOF PLAN
3/32" = 1'-0"



DESIGNED	DRAWN	CHECKED
Designer	Author	Checker



2 SOUTH ELEVATION
3/32" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"

REVISIONS

DATE:	COMM:
07-03-2017	16066

SINTAVIA

ALUMINUM METAL CLADDING



ARCH. LOUVERED SUNSHADES



ALUCOBOND ALUM. PANEL



SOUTH- WEST CORNER



BUILDING ELEVATION MATERIAL

- 1 GEOMETRIC SHAPE BAND- ALUCPBOND ALUM. PANELS (ORANGE)
- 2 CORRUGATED ALUMINUM METAL CLADDING
- 3 PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE)
- 4 REVEALS PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE)
- 5 ALUMINUM GUARDRAIL
- 6 LARGE MISSILE IMPACT CLEAR OPTIWHITE STOREFRONT GLAZING SYSTEM WITH GREY ANODIZED ALUMINUM FRAME
- 7 ABOVE DOOR ALUMINUM CANOPY
- 8 ILLUMINATED SIGN
- 9 ARCHITECTURAL LOUVERED SUNSHADES
- 10 LASER CUT ALUMINUM PANEL (BACK LID)
- 11 MECHANICAL EQUIPMENT ROOF SCREEN SYSTEM

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

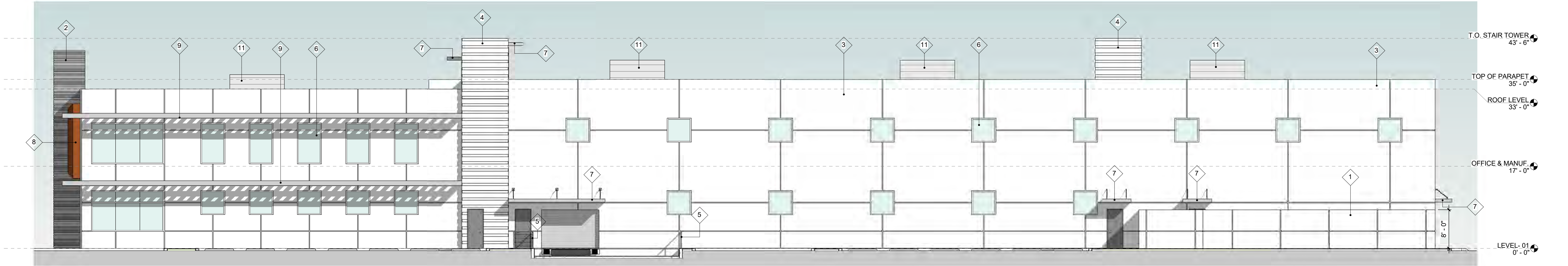
EXTERIOR ELEVATIONS

TAC Submittal

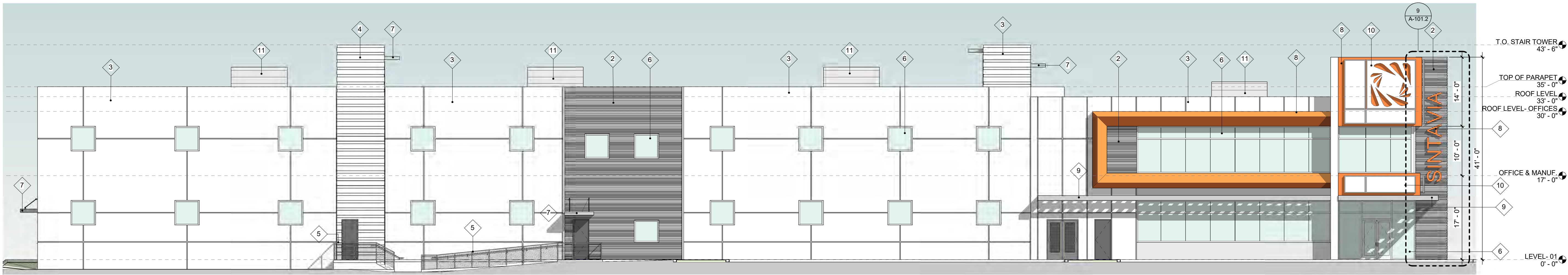
A-201



DESIGNED	DRAWN	CHECKED
NC	NC	Checker



1
A-202
EAST ELEVATION
3/32" = 1'-0"



2
A-202
WEST ELEVATION
3/32" = 1'-0"

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SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

EXTERIOR ELEVATIONS

TAC Submittal

A-202

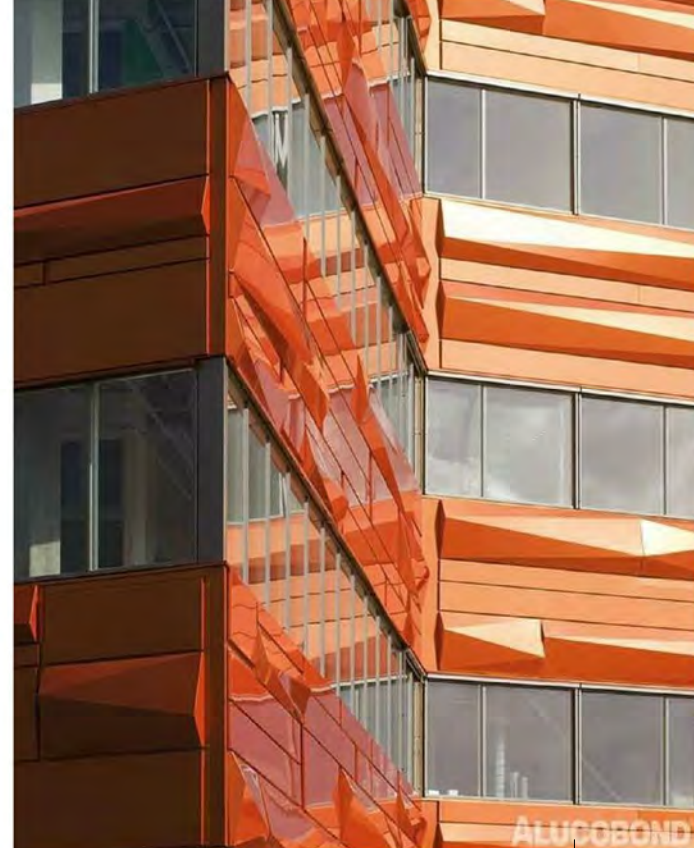
ALUMINUM METAL CLADDING



ARCH. LOUVERED SUNSHADES



ALUCOBOND ALUM. PANEL



SOUTH - EAST CORNER



BUILDING ELEVATION MATERIAL

- 1 GEOMETRIC SHAPE BAND- ALUCOBOND ALUM. PANELS (ORANGE)
- 2 CORRUGATED ALUMINUM METAL CLADDING
- 3 PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE)
- 4 REVEALS PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE)
- 5 ALUMINUM GUARDRAIL
- 6 LARGE MISSILE IMPACT CLEAR OPTIWHITE STOREFRONT GLAZING SYSTEM WITH GREY ANODIZED ALUMINUM FRAME
- 7 ABOVE DOOR ALUMINUM CANOPY
- 8 ILLUMINATED SIGN
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- 10 LASER CUT ALUMINUM PANEL (BACK LID)
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Designer	Author	Checker

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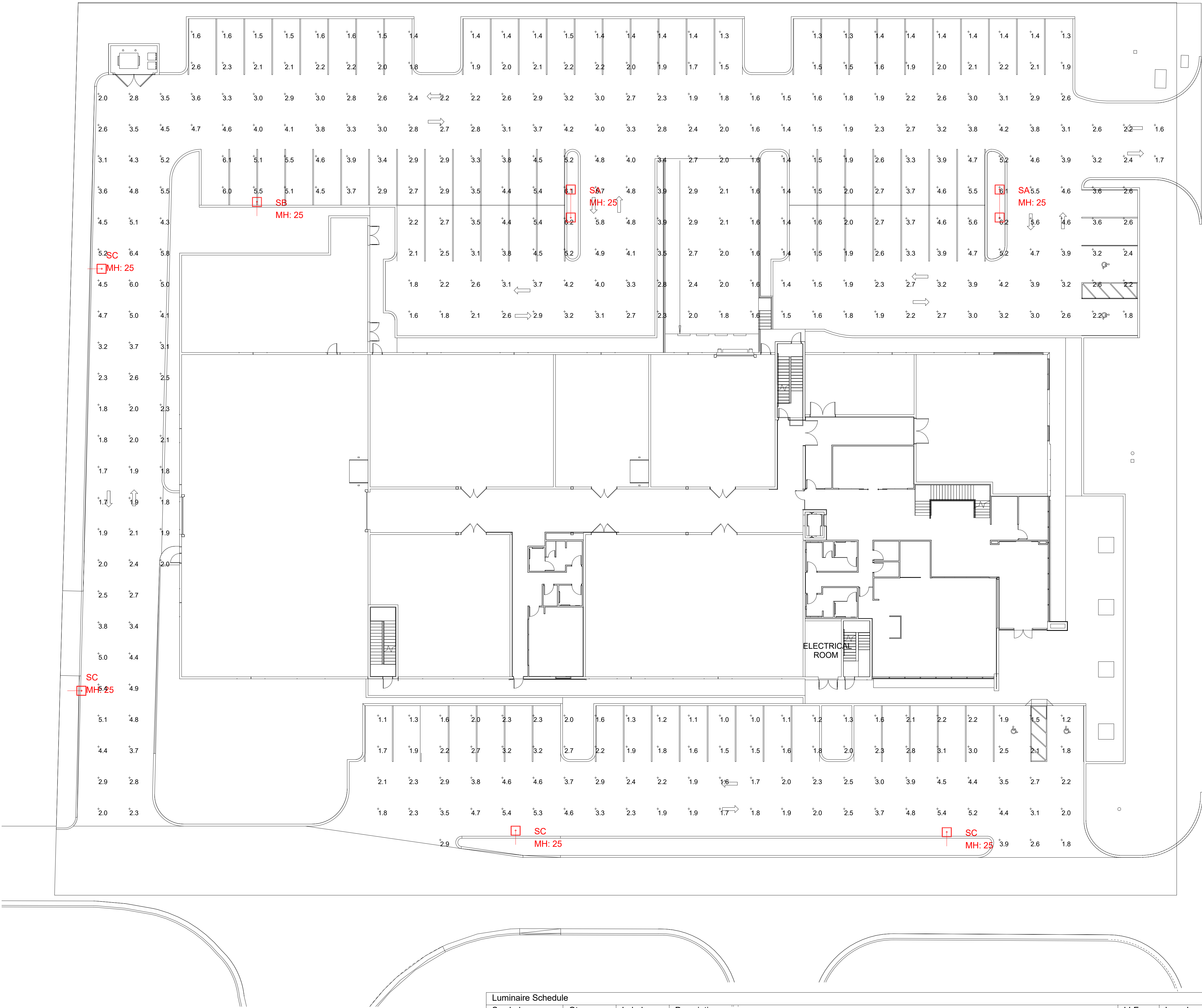
SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

PHOTOMETRIC SITE PLAN

TAC Submittal

A-401

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Luminaire Schedule					
Symbol	Qty	Label	Description	LLF	Lum. Lumens
	2	SA	(2) VNTLEDL032315MNUIN510XXBZHO MTD AT 25' AFG	0.900	27356
	1	SB	VNTLEDL032314SNUIN510XXBZHO / MTD AT 25' AFG	0.900	25822
	4	SC	VNTLEDL032313MNUIN510XXBZHO / MTD AT 25' AFG	0.900	25843

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREAS	Illuminance	Fc	2.88	6.4	1.0	2.88	6.40

PHOTOMETRIC SITE PLAN



**RENDERINGS ARE INTENDED TO BE A 3 DIMENSIONAL VISUAL AID ONLY. REFER TO DRAWINGS FOR ALL SPECIFIC LAYOUTS AND DETAILS. THE 3 DIMENSIONAL REPRESENTATION OF THE PROPOSED DEVELOPMENT ON THIS SHEET ARE TRUE AND ACCURATE RELATIVE TO THE HEIGHT, WIDTH AND LENGTH AS REPRESENTED IN THE SITE AND FLOOR PLANS.



DESIGNED	DRAWN	CHECKED
NC	NC	DS

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DATE:	COMM:
07-03-2017	16066

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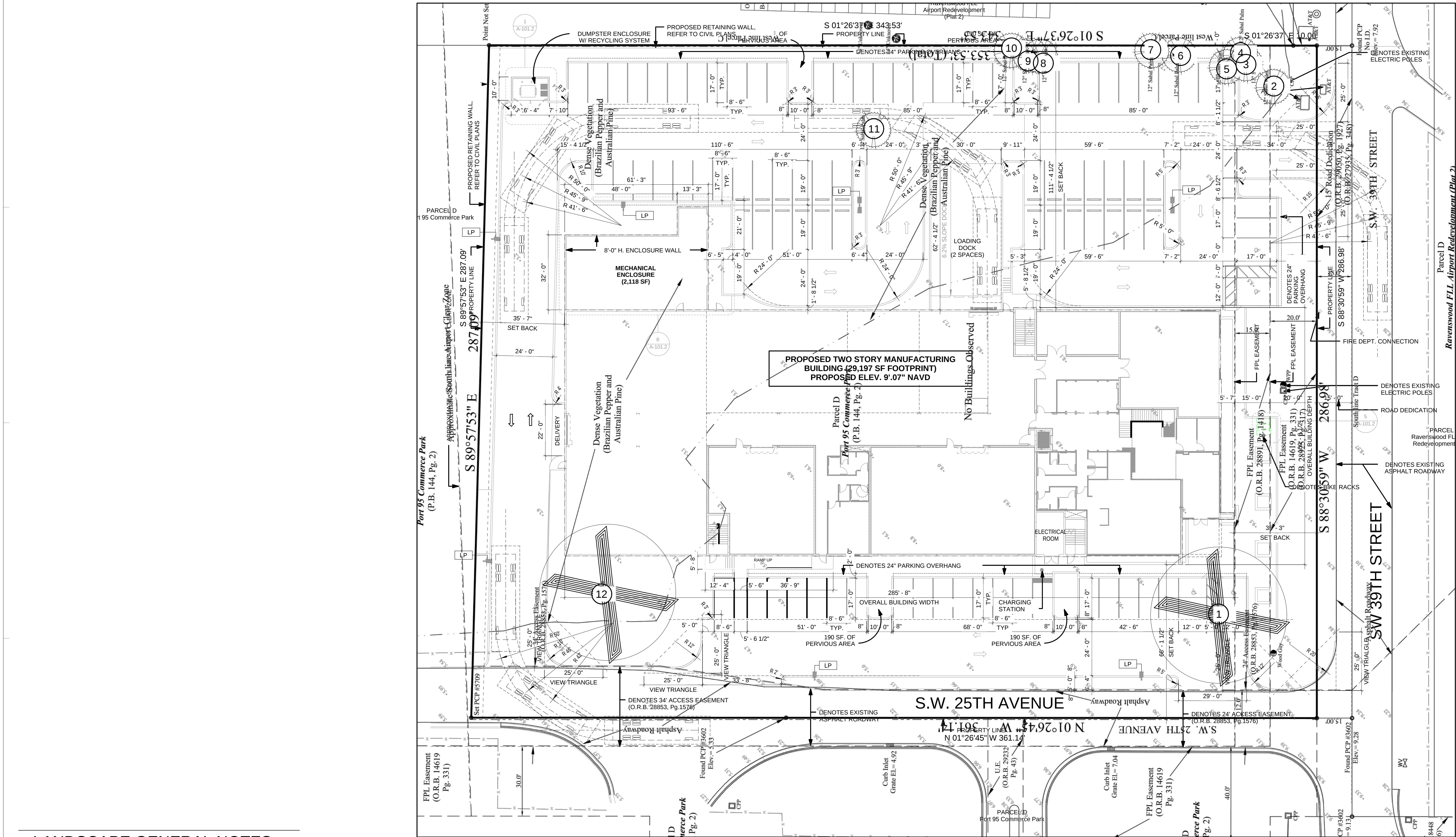
SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

EXTERIOR RENDERINGS

TAC Submittal

A-900

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LANDSCAPE GENERAL NOTES

CODE	Botanical Name	Common Name	DBH	Size	Condition	STATUS	Comments
1	Ficus aurea	Strangler Fig	40	60' x 50'	40%	Remove	Hatrack adjacent powerlines
2	Sabal palmetto	Sabal Palm	12	10 ct	85%	Transplant	
3	Sabal palmetto	Sabal Palm	12	10 ct	85%	Transplant	
4	Sabal palmetto	Sabal Palm	12	12 ct	85%	Transplant	
5	Sabal palmetto	Sabal Palm	12	8 ct	85%	Transplant	
6	Sabal palmetto	Sabal Palm	12	12 ct	85%	Transplant	
7	Sabal palmetto	Sabal Palm	12	15 ct	85%	Transplant	
8	Sabal palmetto	Sabal Palm	12	10 ct	85%	Transplant	
9	Sabal palmetto	Sabal Palm	12	8 ct	85%	Transplant	
10	Sabal palmetto	Sabal Palm	12	6 ct	85%	Transplant	
11	Sabal palmetto	Sabal Palm	12	12 ct	85%	Transplant	
12	Ficus aurea	Strangler Fig	40	60' x 50'	40%	Remove	

Sabal Palms to be transplanted in buffer area.
See Sheet L-200 for proposed location.



DESIGNED DRAWN CHECKED
Designer Author Checker



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SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

TREE DISPOSITION PLAN

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LANDSCAPE PLAN DATA TABLE

District	IM-3		
SITE AREA	102,635 sqft	2.35 acres	
Building	31,329 sqft		
Permeable	15,752 sqft		
Permitter/buffer	Requirements	Required	Proposed
Street tree	1 tree per 50'		
SW 39 Street	287' / 1 tree per 50'	6	6
SW 25th Ave	361' / 1 tree per 50'	7.2	8
BUFFER	5% of lot depth	15' max	16'-0"
	1 tree per 50'	13	14
VUA	Requirements	Required	Proposed
	25% of VUA shall be landscaped	9,989 sqft	12,418 sqft
Open Space	Requirements	Required	Proposed
	1 tree per 1000 sqft	16	19
	TOTAL TREES REQ	46	55
Native Plant	Requirements	Required	Proposed
Trees	60%	28	50 (89%)
Shrubs	50%	4904 sqft	7431 sqft
Palms	Palms on site not included in tree qty. if more than 20% or required trees than all other tress must be native.	N/a	
Species	41-60 trees	5 species	7 species

LANDSCAPE GENERAL NOTES

Plant material shall not be planted in the root balls of any tree.

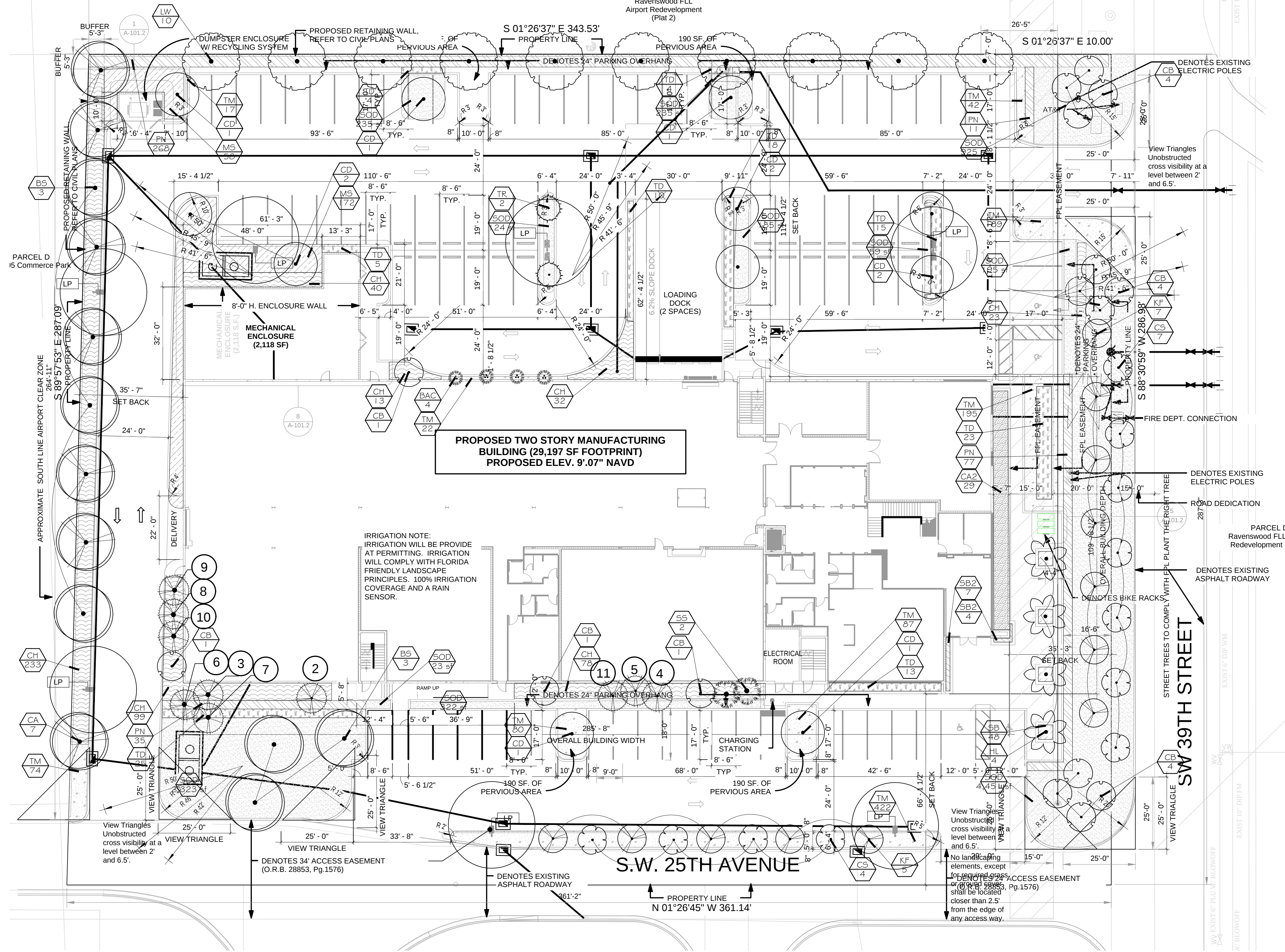
Sod shall be planted with individual pieces touching at time of planting. Rows of sod must be staggered to offset the adjacent row. Prior to installation of sod, all rocks and foreign matter shall be removed from the soil surface, and raked to provide a flat, smooth surface on which to lay the sod.

Each tree must have a circle of organic mulch no less than 12 inches beyond its trunk. The use of Cypress mulch is prohibited by the City of Hollywood. The use of shredded Melaleuca or Eucalyptus mulch is recommended.

Root barrier to be utilized around sewer and water utilities within 10' of proposed trees.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CALIPER	PLANTED SIZE	MATURE SIZE	DROUGHT	NATIVE	
BS	6	Bursera simaruba / Gumbo Limbo	F6	4" Cal	15' STD	60' X 40'	HIGH	NATIVE	
CA	7	Clusia rosea / Autograph Tree	F6	2.5" Cal	14' STD	30' X 30'	HIGH	NATIVE	
CD	11	Coccoloba diversifolia / Pigeon Plum	F6	3" Cal	15' STD	40' X 20'	HIGH	NATIVE	
CB	16	Conocarpus erectus 'Sericeus' / Silver Buttonwood	F6	3" Cal	10' STD	25' X 25'	HIGH	NATIVE	
CS	11	Cordia sebestena / Orange Gelger Tree	F6	3" Cal	12' OA	20' X 15'	HIGH	NATIVE	
KF	12	Krugiodendron ferreum / Black Ironwood	F6	2.5" Cal	14' STD	25' X 15'	HIGH	NATIVE	
LW	10	Lysiloma latissilium / False Tamarind	F6	3" Cal	12' STD	60' X 40'	NATIVE	HIGH	
SS	2	Sabal palmetto / Cabbage Palmetto	I5 gal		12' CT	40' X 15'	HIGH	NATIVE	
TR	2	Tracholochia sp. / Dwarf Fakahatchee	F6		6' CT	20' X 15'	HIGH	NATIVE	
TRANSPLANTED 3" CAL. 15' STD. 150-100									
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTE	MATURE	DROUGHT	NATIVE	
BAC	4	Bambusa chungii / Tropical Blue Bamboo	I5 gal	MPP	15' OA	MPP	NO	MED	
HL	4	Hyophorba lagenicaulis / Bottle Palm	25 gal	8' OA		15' x 15'	HIGH	FL FRIENDLY	
SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	CONT	CONT. HGT X W	NOTE	MATURE HGT X W	DROUGHT	NATIVE	SPACING
CH	910 sf	Chrysobalanus icaco 'Horizontalis' / Cocoplum	3 gal	24"x24"	FULL	20' x 20'	MED	NATIVE	30' o.c.
CA2	1,308 sf	Clusia rosea / Clusia Hedge	15 gal	5' x 4'	BUSH	Maintained hedge 6'-8'	HIGH	NATIVE	48" o.c.
MS	2,320 sf	Microsorium scolopendrum / Wart Fern	3gal	18" x 18"	FULL	3' x 3'	MED	FL-FRIENDLY	30' o.c.
PN	100 sf	Psychotria nervosa / Wild Coffee	3 gal	24"x24"	FULL	Maintained @ 5'	HIGH	NATIVE	30' o.c.
SB2	1,001 sf	Sansevieria trifasciata / Sansevieria	3 gal	16"x16"	FULL	3' x 3'	HIGH	NATIVE	24" o.c.
SB	48	Spartina bakeri / Sand Cord Grass	1 gal	12" x 12"	FULL	24 x 24"	HIGH	NATIVE	18" o.c.
TD	117	Tripsacum dactyloides nana / Dwarf Fakahatchee	3 gal	24"x24"	FULL	3' x 3'	HIGH	NATIVE	36" o.c.
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HGT X W	NOTE	MATURE	DROUGHT	NATIVE	SPACING
SOD	9,078 sf	Stenotaphrum secundatum / St. Augustine Grass	Flat						
TM	1,128	Trachelospermum asiaticum 'Minima' / Minima Jasmine	1 gal	8" x 4"	Maintained as Ground Cover 6"	Maintained on trellis	HIGH	FL-FRIENDLY	18" o.c.



PROPOSED LANDSCAPE PLAN
1" = 20'-0"



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Designer	Author	Checker



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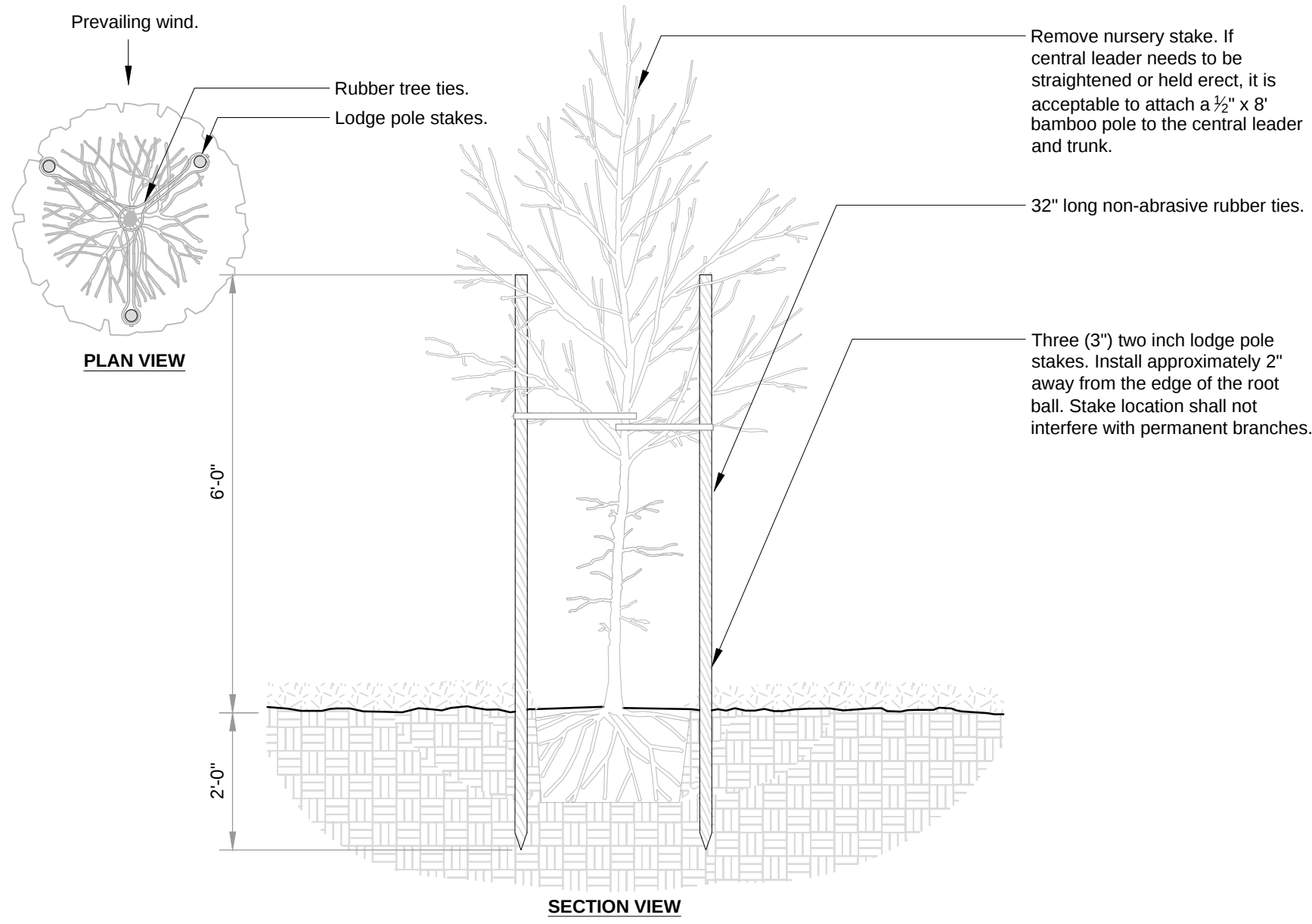
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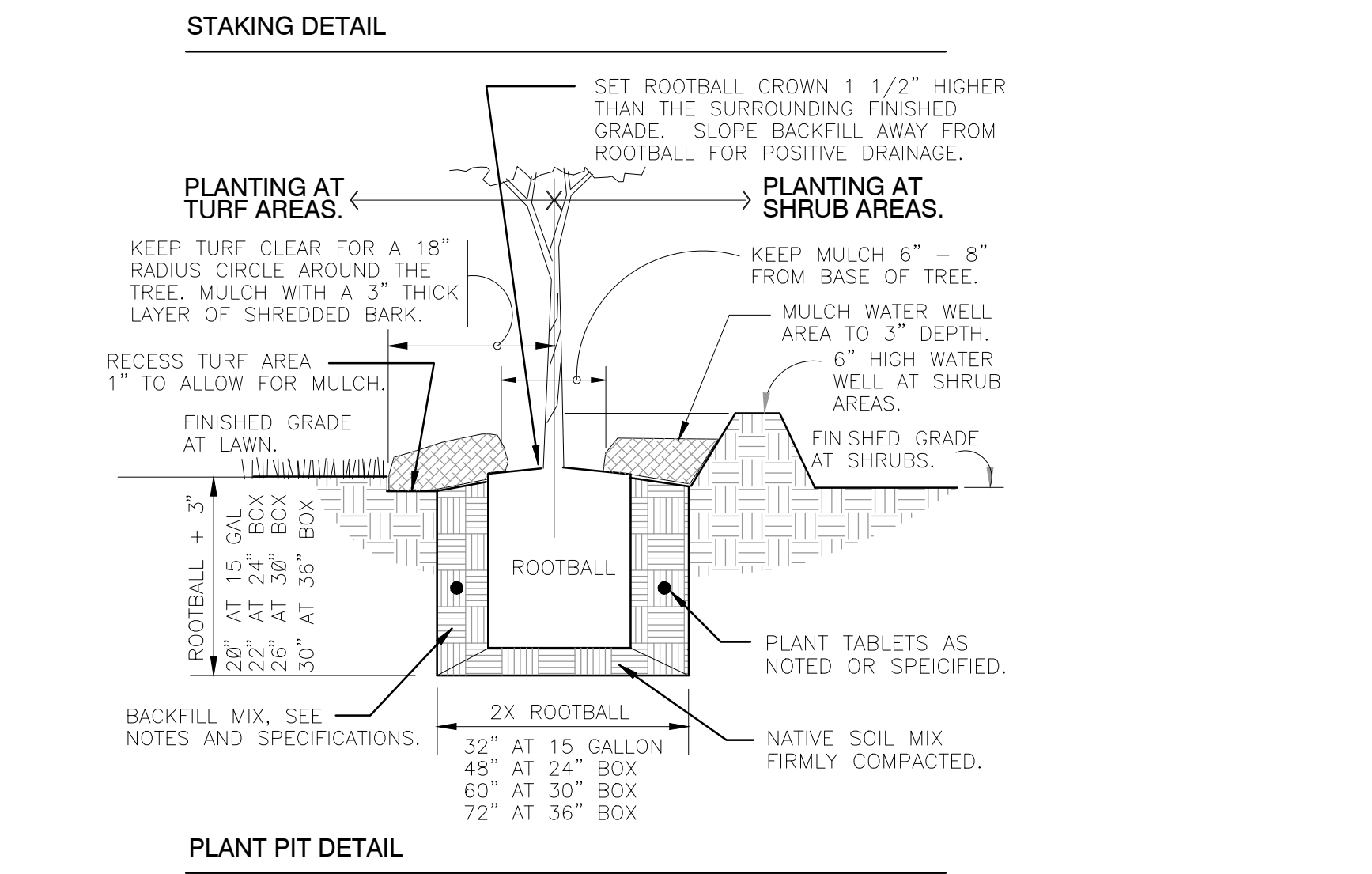
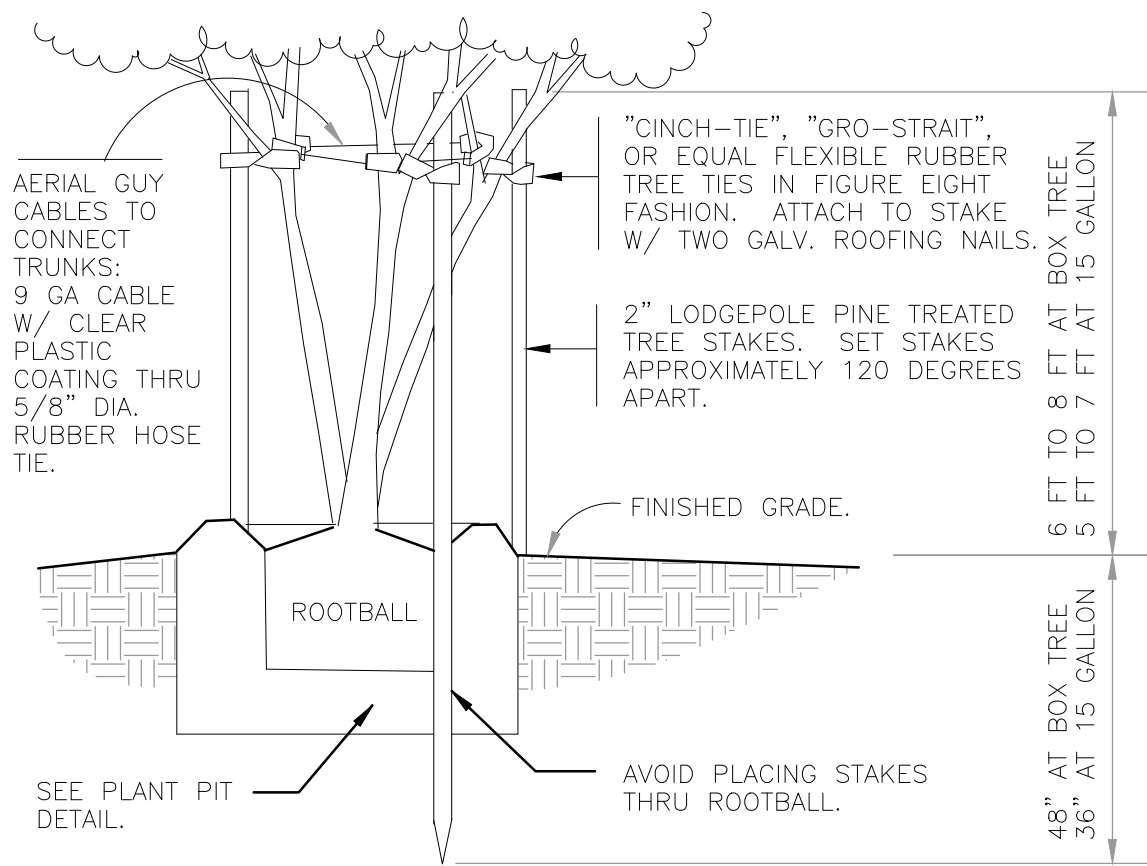
SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

PROPOSED LANDSCAPE PLAN

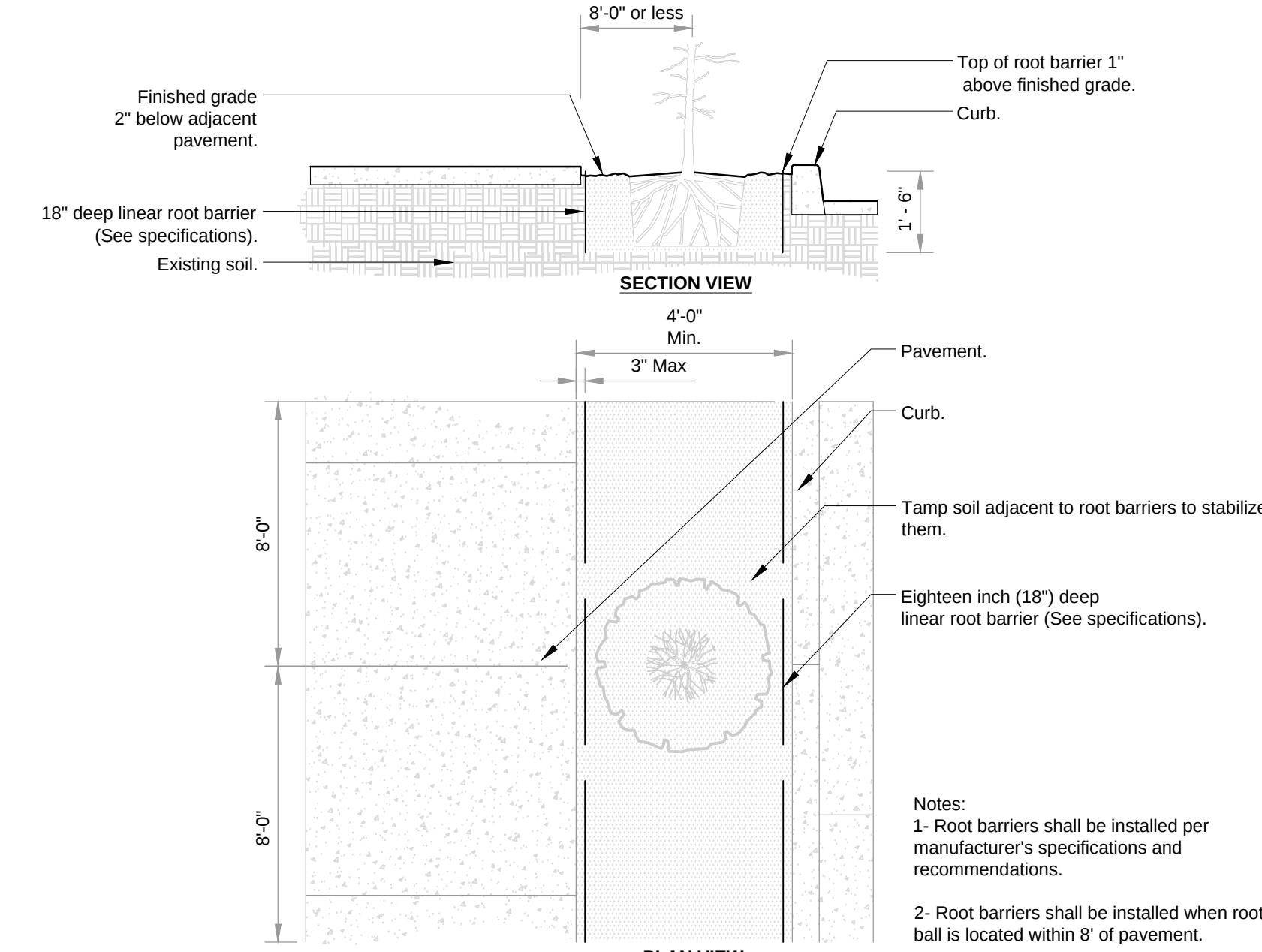
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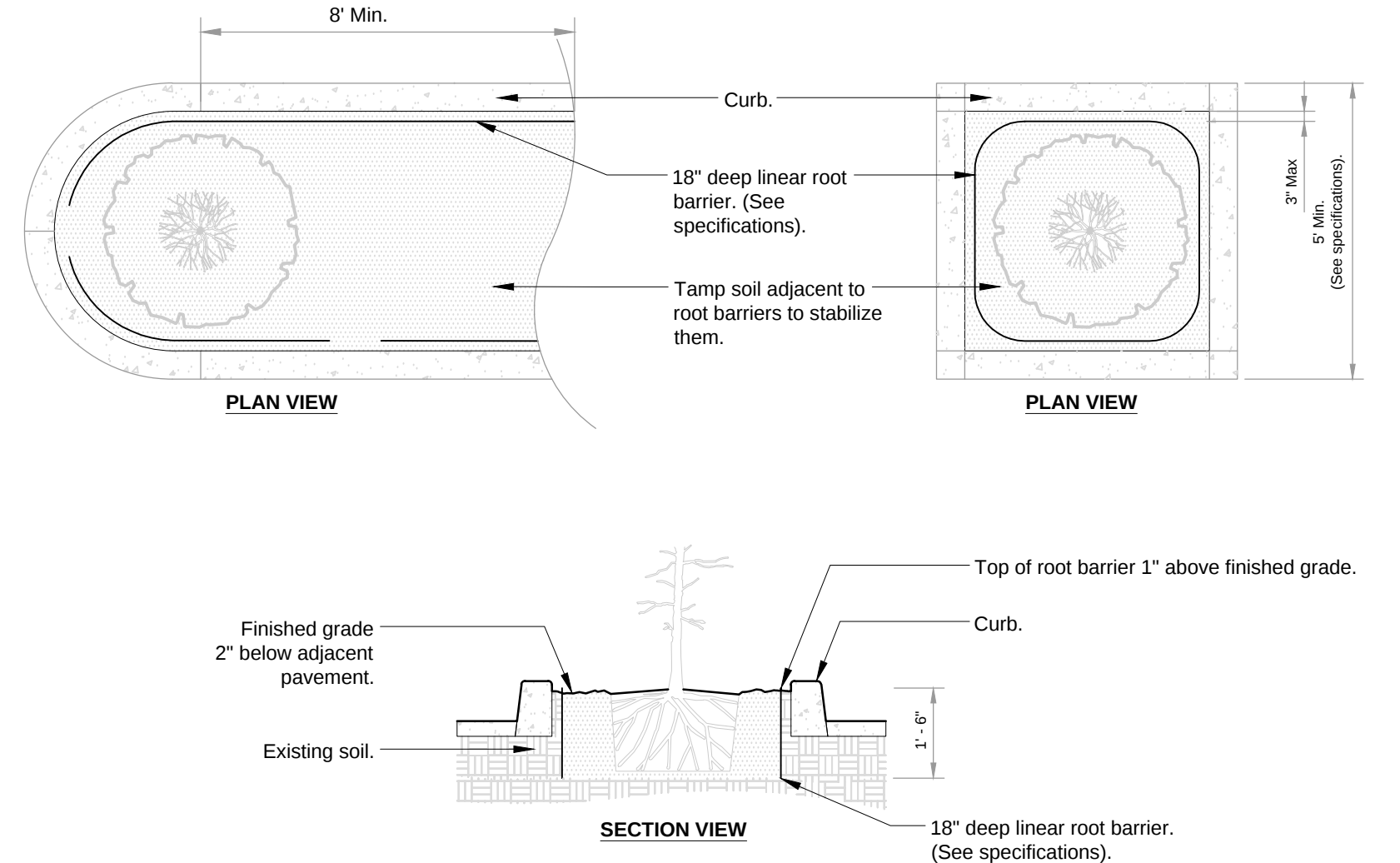
1 TREE STAKING - LODGE POLES (3)
1/2" = 1'-0"
URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-TREE-26



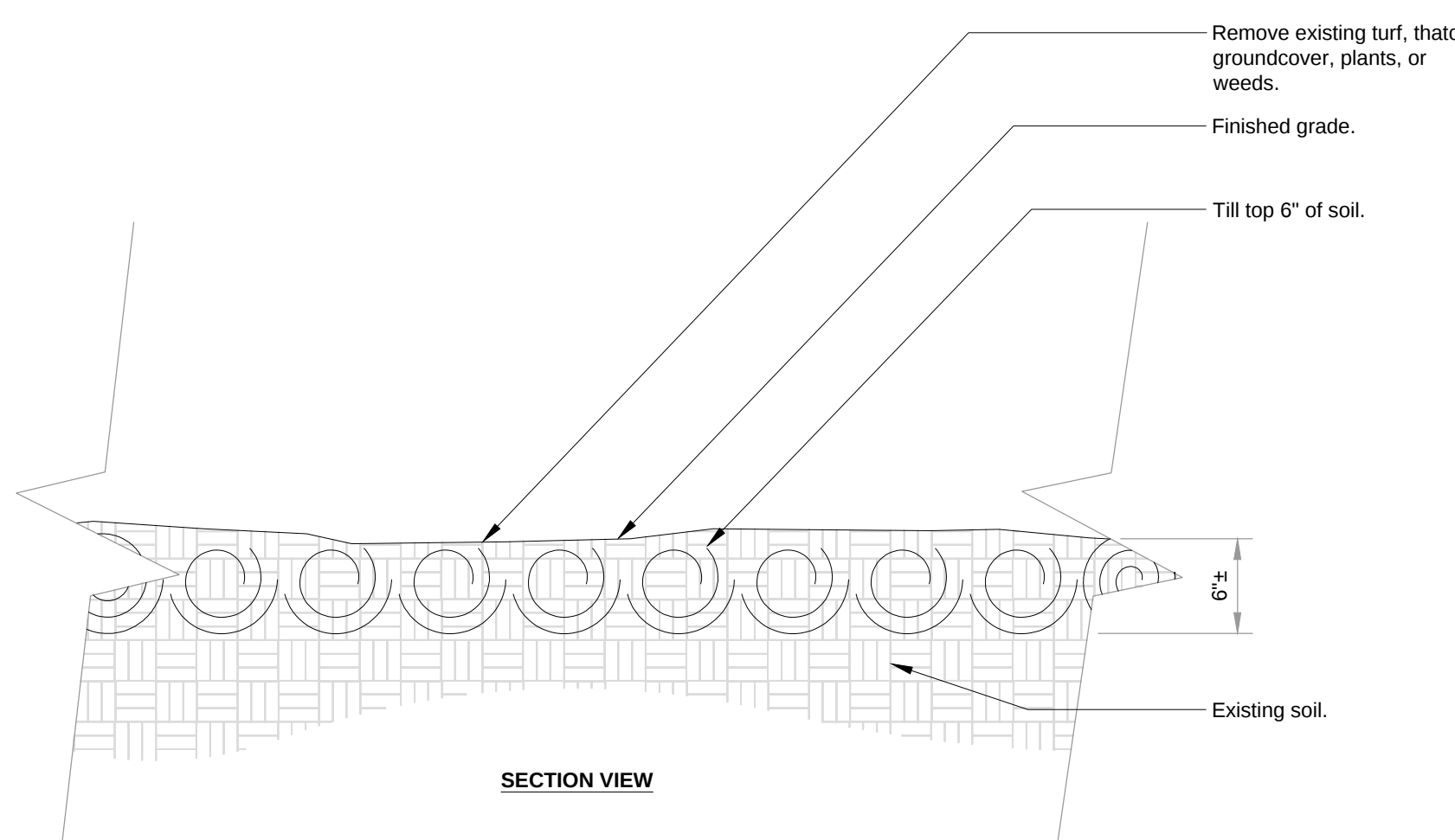
2 TREE PLANTING MULTI-STAKE
1" = 1'-0"
URBAN TREE FOUNDATION © 2014
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FX-PL-FX-TREE-15



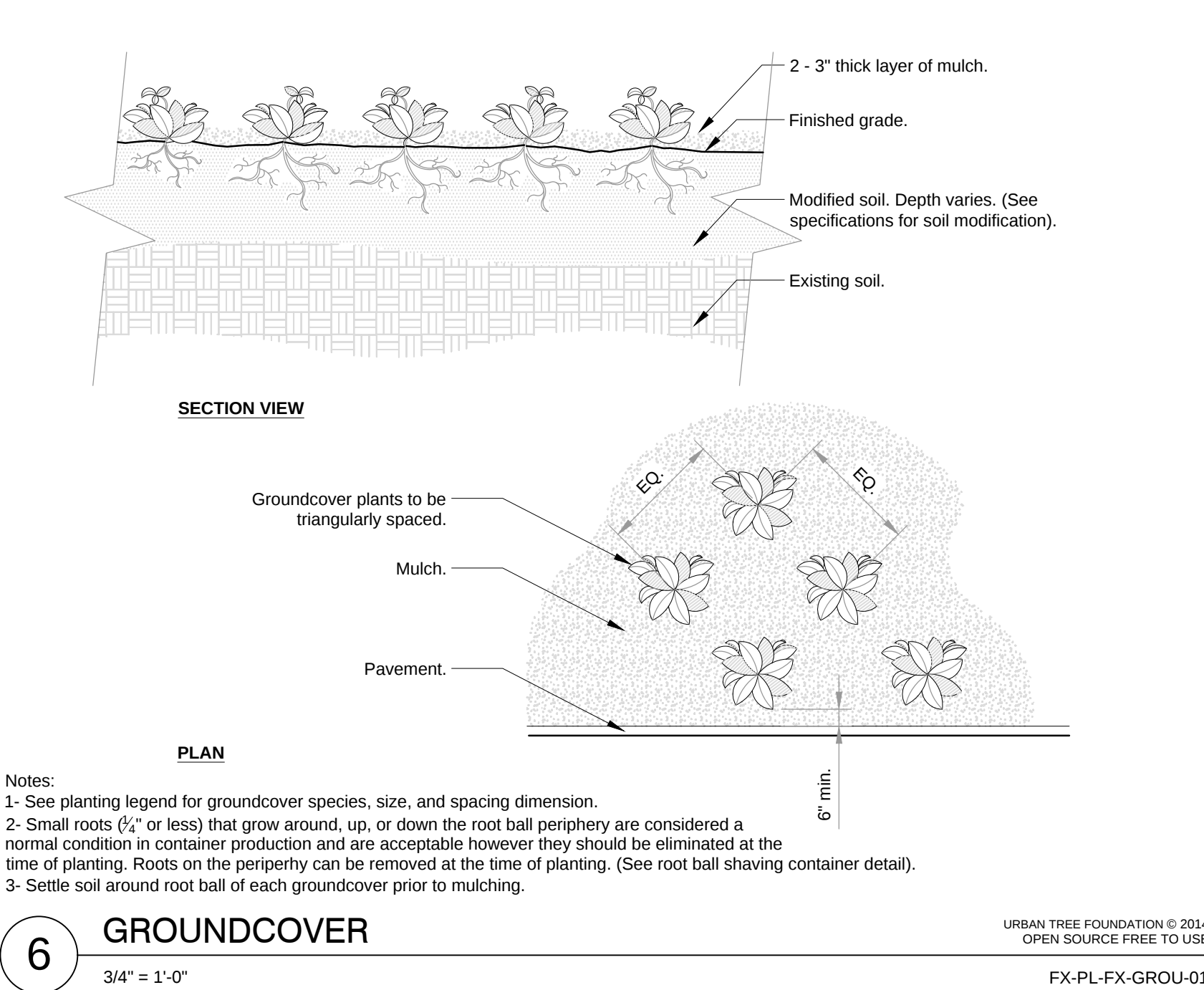
3 ROOT BARRIERS
3/8" = 1'-0"
URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-SOIL-05



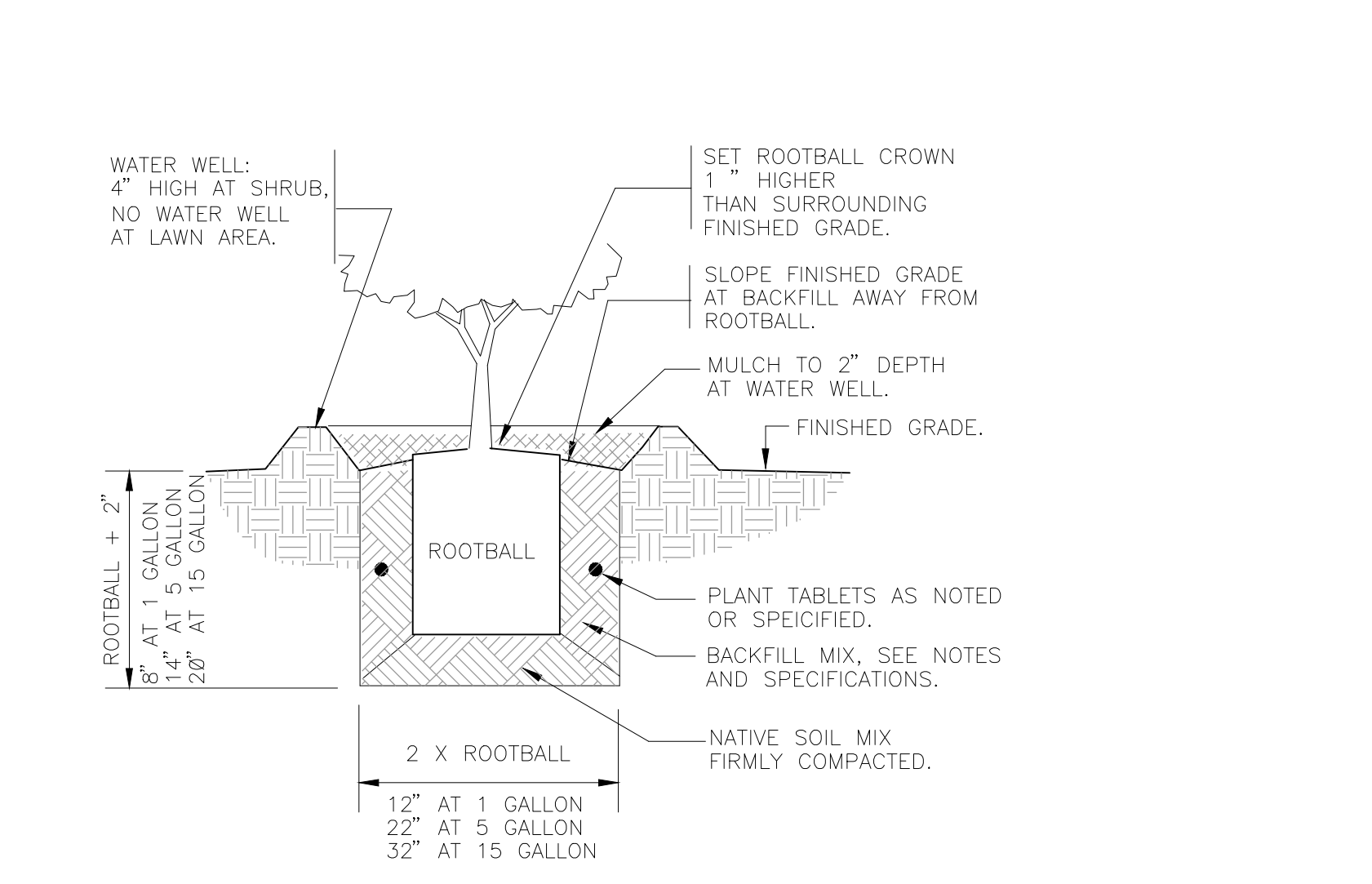
4 ROOT BARRIERS - PARKING LOT ISLANDS
3/8" = 1'-0"
URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-SOIL-07



5 EXISTING SOIL - MINOR MODIFICATION
3/4" = 1'-0"
URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-SOIL-13



6 GROUNDCOVER
3/4" = 1'-0"
URBAN TREE FOUNDATION © 2014
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FX-PL-FX-GROU-01



7 SHRUB PLANTING
1" = 1'-0"
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FX-PL-FX-SHRB-07

SILVER PERFORATED PANEL

ORANGE ACM

TREMRON PLANK PAVERS

VIRACON OPTIWHITE
REFLECTIVE LAMINATED INSULATED IMPACT GLASS

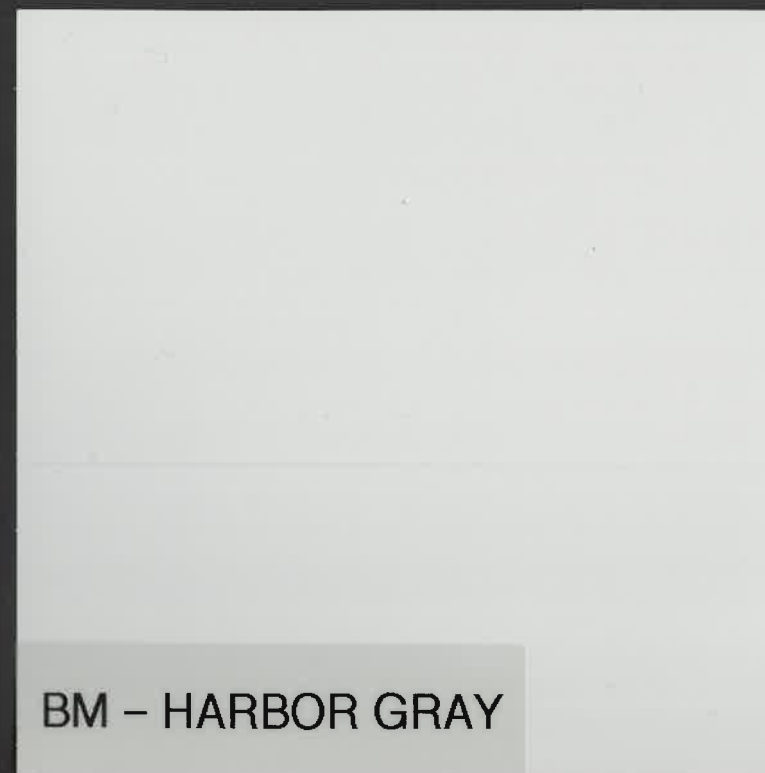




ALUMINUM SUNSHADE



CORRUGATED PANEL



BM – HARBOR GRAY



BM – PURE WHITE



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