

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 7/17/17

Location Address: 1955 Tyler Street & 209 N. 20th Avenue

Lot(s): 1, 2, 3 Block(s): 23 Subdivision: Hollywood

Folio Number(s): 514215014040 & 514215014041

Zoning Classification: ND-3 Land Use Classification: RAC

Existing Property Use: Commercial Sq Ft/Number of Units: 15938

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): P.A.C.O.

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Technical Advisory Review of a three story office & retail building

Number of units/rooms: N/A Sq Ft: N/A

Value of Improvement: 2 million Estimated Date of Completion: July 2018

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Ezekiel Development, LLC

Address of Property Owner: 1235 Seagull Terrace Hollywood, FL

Telephone: 954-364-7437 Fax: 954-456-6582 Email Address: mezekiel@bfi-products.com

Name of Consultant/Representative/Tenant (circle one): Joseph B. Kaller

Address: 2417 Hollywood Blvd Hollywood Telephone: 954-920-5746

Fax: 954-926-2841 Email Address: Joseph@kallerarchitects.com

Date of Purchase: 7/24/13 Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 7/12/17

PRINT NAME: _____

MICHAEL EZEKIEL

Date: _____

7/12/17

Signature of Consultant/Representative: _____

Joseph B. Kaller

Date: _____

7-12-17

PRINT NAME: _____

JOSEPH B. KALLER

Date: _____

7-12-17

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Technical Advisory Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 12 day of July, 2017



Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

Signature of Current Owner

Michael Ezekiel

Print Name

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name EZEKIEL DEVELOPMENT LLC				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1955 TYLER STREET				Company NAIC Number:	
City HOLLYWOOD		State Florida		ZIP Code 33020	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 1-3 , BLOCK 23, OF "HOLLYWOOD", P.B. 1, PG. 21, B.C.R.					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>26°00'45.21"N</u> Long. <u>80°08'48.63"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF HOLLYWOOD 125113			B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C 0569	B5. Suffix H	B6. FIRM Index Date 08/18/2014	B7. FIRM Panel Effective/ Revised Date 08/18/2014	B8. Flood Zone(s) 0.2PCT	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) N/A
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: <u>N/A</u>					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: <u>N/A</u>					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1955 TYLER STREET			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: CITY BM - SEE BELOW ELE- 4.19' Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: N/A

Datum used for building elevations must be the same as that used for the BFE.


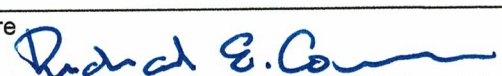
Check the measurement used.

- | | | |
|---|------|--|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 8. 2 | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| b) Top of the next higher floor | N/A | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | N/A | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | 8. 2 | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 8. 0 | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 8. 2 | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | N/A | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name RICHARD E. COUSINS	License Number 4188	 Place 7/13/17 Seal Here PSM 4188	
Title LAND SURVEYOR & MAPPER			
Company Name COUSINS SURVEYORS & ASSOCIATES, INC.			
Address 3921 SW 47TH AVENUE, SUITE 1011			
City DAVIE	State Florida	ZIP Code 33314	
Signature 	Date 07/13/2017	Telephone (954) 689-7766	

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
Latitude and Longitude was obtained by the GPS Street Finder installed in our trucks and verified by the Google Earth program.
Field survey datum is same as datum used for BFE in item B9. No conversion needed.
C2e - All equipment servicing the building are at/above finished floor elevation.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1955 TYLER STREET			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1955 TYLER STREET			Policy Number:	
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number	
SECTION G – COMMUNITY INFORMATION (OPTIONAL)				
<p>The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.</p> <p>G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)</p> <p>G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.</p> <p>G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.</p>				
G4. Permit Number		G5. Date Permit Issued		G6. Date Certificate of Compliance/Occupancy Issued
<p>G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement</p> <p>G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p>				
Local Official's Name			Title	
Community Name			Telephone	
Signature			Date	
Comments (including type of equipment and location, per C2(e), if applicable)				
<input type="checkbox"/> Check here if attachments.				

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1955 TYLER STREET			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption Date: PIC TAKEN: 07/13/17



Photo Two

Photo Two Caption Date: PIC TAKEN: 07/13/17

TYLER STREET MIXED USE

1955 TYLER STREET AND 209 N. 20TH AVE.

HOLLYWOOD FLORIDA



P.A.C.O. - JULY 10, 2016
PRELIMINARY T.A.C. MEETING - JULY 31, 2017

PROJECT DATA

CODES:
FLORIDA BUILDING CODE, 5TH EDITION 2014
5TH EDITION FLORIDA FIRE PREVENTION CODE, 2016 BROWARD FIRE AMENDMENTS
FLORIDA ADMINISTRATIVE CODE 63A-40

JURISDICTION:
CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

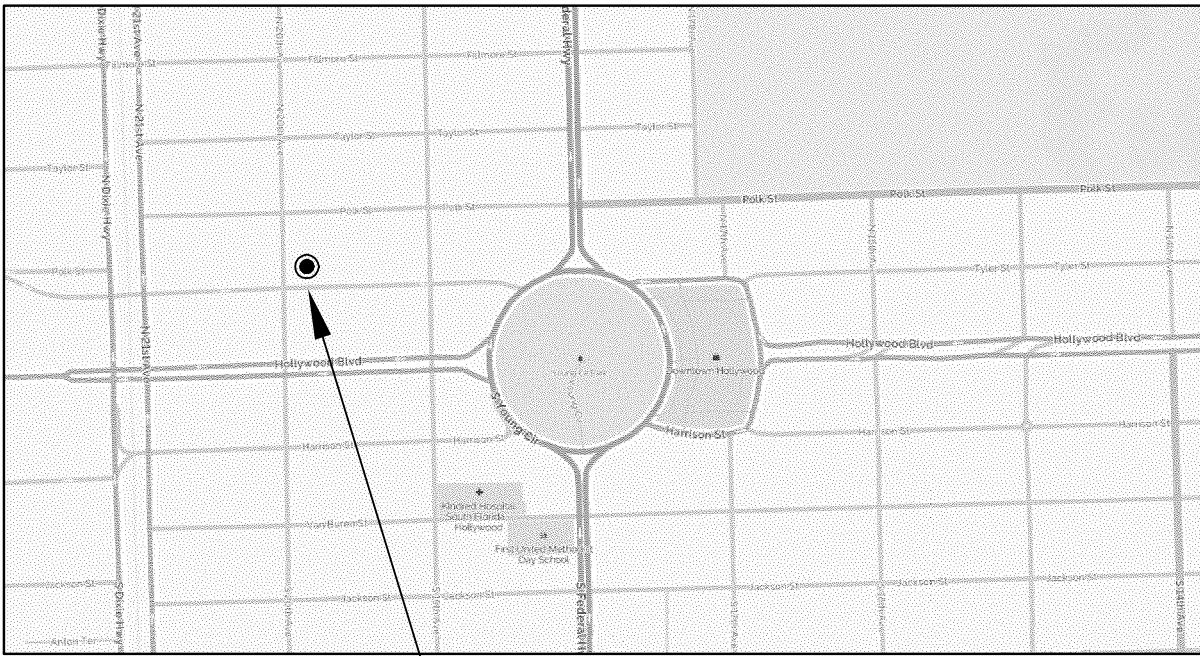
PROJECT TEAM

ARCHITECT JOSEPH B. KALLER AND ASSOCIATES, P.A. CONTACT: MR. JOSEPH B. KALLER ADDRESS: 2417 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020 PHONE: (954) 920-5146 FAX: (954) 926-2841 EMAIL: joseph@kallerarchitects.com	OWNER EZEKIEL DEVELOPMENT LLC CONTACT: MICHAEL, EZEKIEL ADDRESS: 1235 SEAGULL TERRACE HOLLYWOOD, FL 33019 TEL: (954) 364-1431 EMAIL: mezekiel@efiproductions.com
SURVEYOR COUSINS SURVEYORS AND ASSOCIATES, INC. CONTACT: RICHARD COUSINS ADDRESS: 3521 SW 47TH AVENUE, SUITE 1011 DAVIE, FL 33314 PHONE: (954) 680-9885 EMAIL: RECSurvey@aol.com	

DRAWING INDEX

- | | |
|------|---|
| T-1 | COVER SHEET |
| | SURVEY |
| SP-1 | SITE PLAN AND SITE DATA |
| SP-2 | SITE DETAILS |
| SP-3 | SIGN DETAILS AND CONTEXTUAL STREET ELEVATIONS |
| A-1 | FIRST FLOOR PLAN |
| A-2 | SECOND FLOOR PLAN |
| A-3 | THIRD FLOOR PLAN |
| A-4 | ROOF PLAN |
| A-5 | BUILDING ELEVATIONS |
| A-6 | BUILDING ELEVATIONS |

LOCATION MAP



SITE

AERIAL



SITE



JOSEPH B. KALLER
+
ASSOCIATES PA
A/E 36001312
2417 Hollywood Blvd. Hollywood, Florida 33020
(954) 920 5746 phone - (954) 926 2841 fax
kaller@bellsouth.net

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

TYLER STREET MIXED USE
1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

SHEET TITLE

TITLE PAGE
PRELIM. TAC

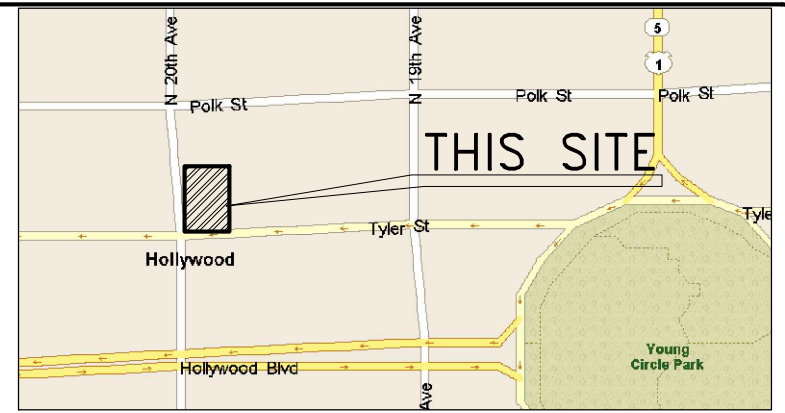
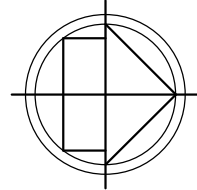
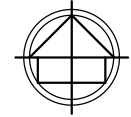
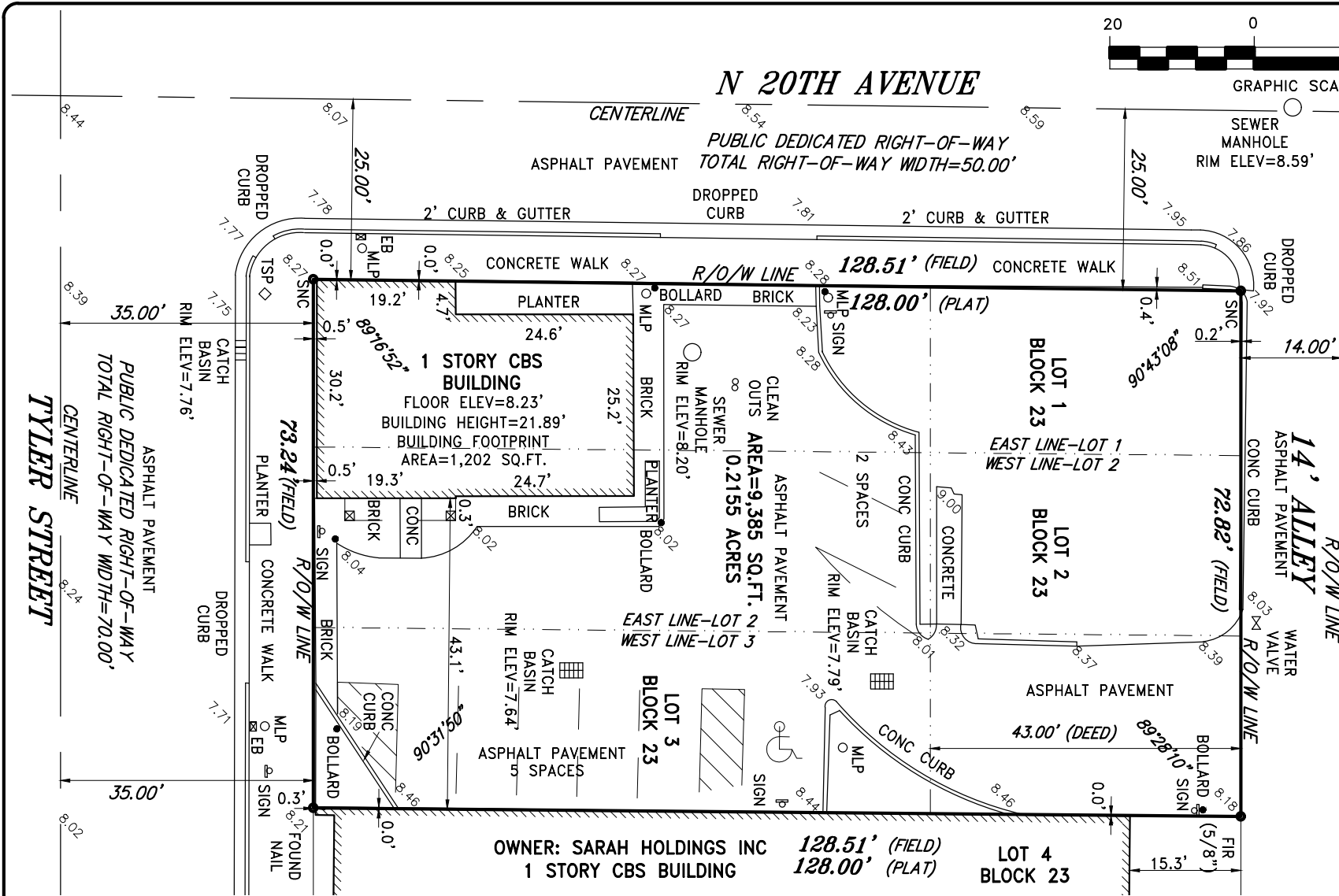
REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 17093
DATE: 7-11-17
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

T-1



LOCATION MAP (NTS)

ZONING: CCC-1
MAXIMUM BUILDING HEIGHT 5 STORIES OR 55 FEET
BUILDING SETBACK REQUIREMENTS
MINIMUM FRONT YARD: 0 FEET
MINIMUM SIDE YARD: 0 FEET
MINIMUM REAR YARD: 0 FEET
PARKING COUNT: 7 SPACES
1 HANDICAP SPACE

LAND DESCRIPTION:

ALL OF LOTS 1, 2 AND 3, ALL IN BLOCK 23, LESS THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

TOGETHER WITH THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

ALSO KNOWN AS ALL OF LOTS 1, 2, AND 3, BLOCK 23 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 7(A), 7(B), 7(C), 8, 9, 11, 13, 14, 16, 17, 18, 19 (NONE DISCLOSED) AND 20 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
THE FIELD WORK WAS COMPLETED ON JULY 13, 2017.

FOR THE FIRM BY:
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.

- NOTES :
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR TITLE INSURANCE ISSUED BY COMPANY. EFFECTIVE DATE: . FILE NO. :
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 - BENCHMARK REFERENCE: CITY OF HOLLYWOOD BENCHMARK @ JEFFERSON STREET & 16TH AVENUE, ELEV=4.19' (NAVD88)

- LEGEND:
- CBS CONCRETE BLOCK STRUCTURE
 - CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - X- CHAIN LINK FENCE/ WOOD FENCE
 - SIR SET 5/8" IRON ROD AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - A/C AIR CONDITIONER SLAB
 - P.B. PLAT BOOK
 - E- OVERHEAD WIRES
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
 - ORB OFFICIAL RECORDS BOOK
 - BCR BROWARD COUNTY RECORDS
 - R/O/W RIGHT OF WAY
 - MLP METAL LIGHT POLE
 - EB ELECTRIC BOX
 - TSP TRAFFIC SIGNAL POLE

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47th AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954)689-7766 FAX (954)689-7799

PROJECT NUMBER : 8420-17
CLIENT :
EZEKIEL DEVELOPMENT LLC

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	07/13/17	SKETCH	AM	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	0.2 PCT
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

PROPERTY ADDRESS :
209 N 20TH AVENUE
1955 TYLER STREET
SCALE: 1"= 20'
SHEET 1 OF 1

GREEN BUILDING PRACTICES
FROM CITY OF HOLLYWOOD ORDINANCE 10-2011 - 026

(1) CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER

(2) RADIANT BARRIER - ENERGY STAR QUALIFIED

(4) ENERGY EFFICIENT LOW E WINDOWS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA

(5) ENERGY EFFICIENT DOORS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA

(8) PROGRAMMABLE THERMOSTATS

(9) OCCUPANCY/ VACANCY SENSORS

(14) DUAL FLUSH TOILETS

(16) 80% OF PLANTS AND TREES PER SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS

(17) ALL ENERGY EFFICIENT OUTDOOR LIGHTING (SHIELDED)

(18) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THAN STANDARD ESTABLISHED BY ASHRAE

(20) ALL HOT WATER PIPES INSULATED

(21) MEV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT.

ADDITIONAL PRACTICES

1. ICYNENE SOY BASED CLOSED CELL SPRAY INSULATION

2. ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE RM-18 ZONING DISTRICT.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

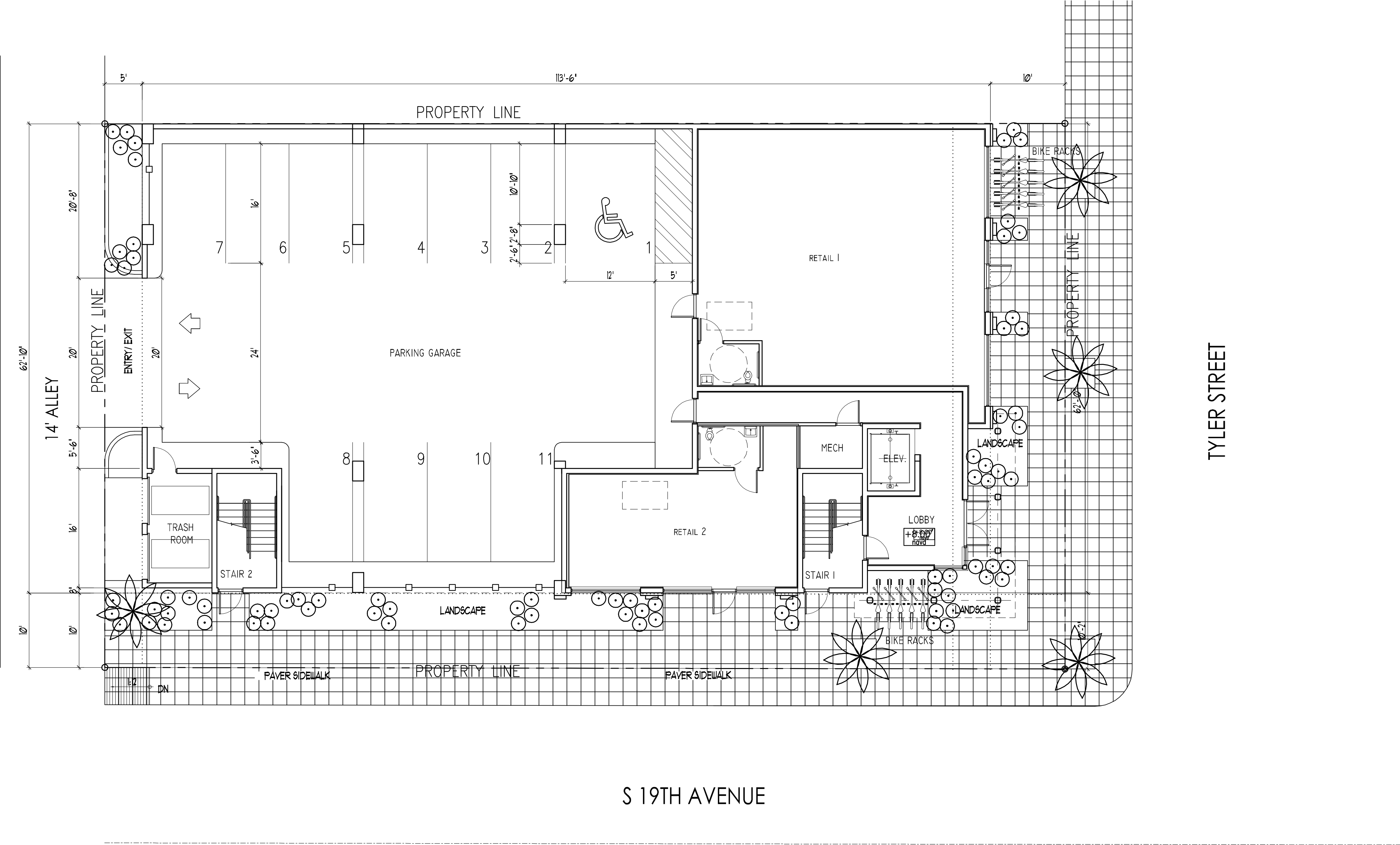
FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.
EXTERNAL LIGHTS TO BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FFP.C. 2016 BROWARD AMENDMENTS, NFPA 101 SECTION 38.3.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

UNITY OF TITLE:
A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



1 SITE PLAN

SCALE: 1/8"= 1'-0"



SITE DATA

LEGAL DESCRIPTION

LOTS 1, 2 AND 3, ALL IN BLOCK 23, LESS THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
TOGETHER WITH THE NORTH 43 FEET OF LOTS 1, 2 AND 3, BLOCK 23 OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; ALSO KNOW AS ALL OF LOTS 1, 2 AND 3, BLOCK 23 OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESSES

1955 TYLER STREET AND 209 N 20TH AVE
HOLLYWOOD, FL 33020

SITE INFORMATION

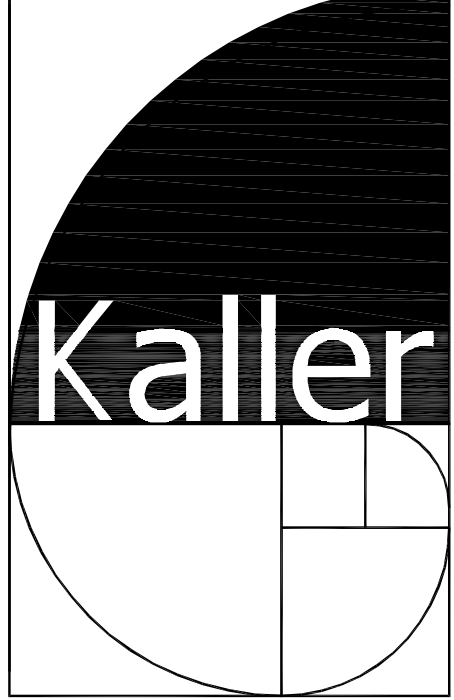
EXISTING ZONING:	NORTH DOWNTOWN HIGH INTENSITY MIXED USE DISTRICT (ND-3)	
LAND USE DESIGNATION:	REGIONAL ACTIVITY CENTER	
NET LOT AREA:	9,378.0 SQUARE FEET	
FAR:	3.00	
	ALLOWED	PROVIDED
BUILDABLE AREA:	28,134.0 SF	14,378.0 SF
COMMERCIAL USE:	RETAIL OFFICES	2591 SF 10,030 SF
PARKING:	REQUIRED	PROVIDED
COMMERCIAL 1ST AND 2ND FLOORS ND-3 DISTRICT 3RD FLOOR	0 SPACES 11 SPACES	0 SPACES 11 SPACES
TOTAL	= 11 SPACES	11 SPACES
LOADING:	REQUIRED	PROVIDED
COMMERCIAL	NOT REQUIRED	0 SPACE 0 SPACES
SETBACKS:	REQUIRED	PROVIDED
	BASE (<55')	BASE (<55')
(a) FRONTAGE (TYLER ST)	10'-0" C	10'-0" C
(b) FRONTAGE (20TH AVE)	10'-0" C	10'-0" C
(c) SIDE INTERIOR (EAST)	0'-0"	0'-0"
(d) ALLEY	5'-0"	5'-0"

BUILDING SUMMARY

	ALLOWED	PROVIDED	
BUILDING HEIGHT:	10 STORIES/ 140'-0"	3 STORIES/ 39'-0"	
BUILDING AREA:	INTERIOR	TERRACES	TOTAL
FIRST FLOOR	2903		
SECOND FLOOR	6726	143	
THIRD FLOOR	4207	1959	
TOTAL	13836	2102	15938

AREAS

	SPACE	AREA		GROSS AREA		AREA NOT INCL.
		AC	NON AC	AC	NON AC	
1ST FL	COMMERCIAL -RETAIL	2049		2521	382	3576
	RESIDENTIAL LOBBY	288				
	TRASH ROOM	149				
	MECH ROOM	35				
	STAIRWELLS		308			
	ELEVATOR		74			
2ND FL	GARAGE		3576	6344	525	
	COMMERCIAL -OFFICE	6344				
	STAIRWELLS		308			
	ELEVATOR		74			
3RD FL	TERRACE		143	3825	2341	
	OFFICE SUITES	3686				
	STAIRWELLS		308			
	ELEVATOR		74			
	RESTROOMS	139				
TOTAL GROSS AREA				12690	3248	
TOTAL GROSS AREA				15938 SF		



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JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
TYLER STREET MIXED USE
1955 TYLER STREET AND
209 N. 20TH AVE.
HOLLYWOOD FL 33020

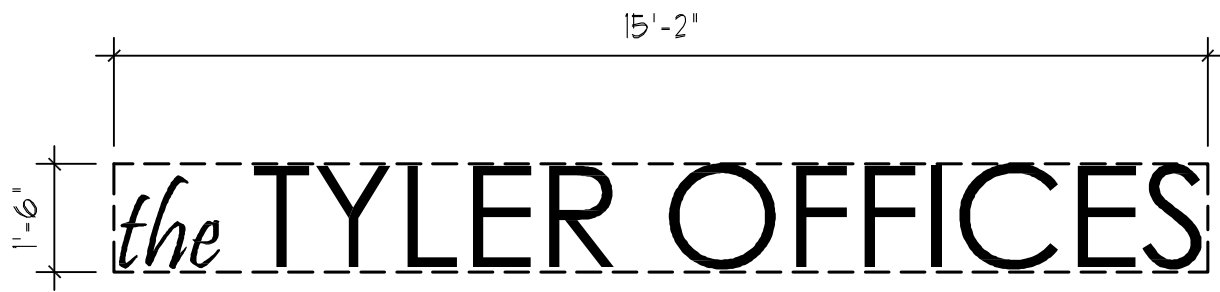
SHEET TITLE
SITE PLAN AND DATA
PRELIM. TAC

No.	DATE	REVISIONS DESCRIPTION
1		
2		

PROJECT No.: 17093
DATE: 7-11-17
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

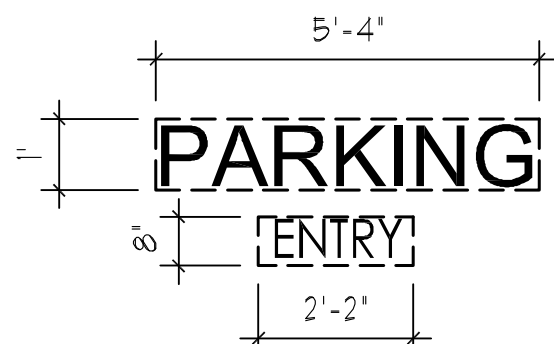
SP-1



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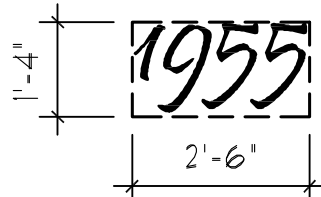


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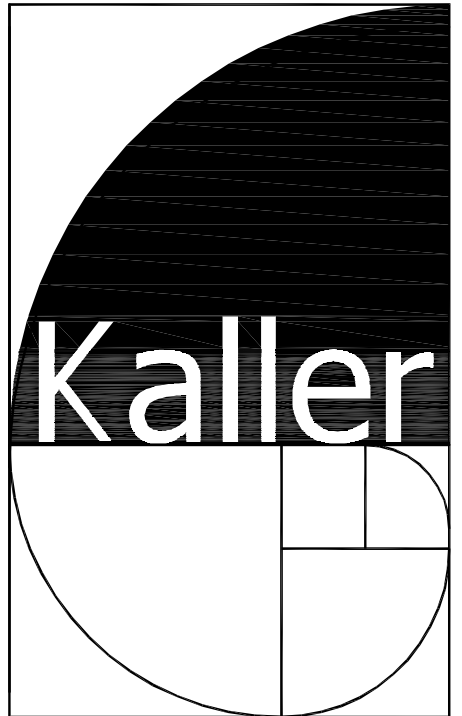
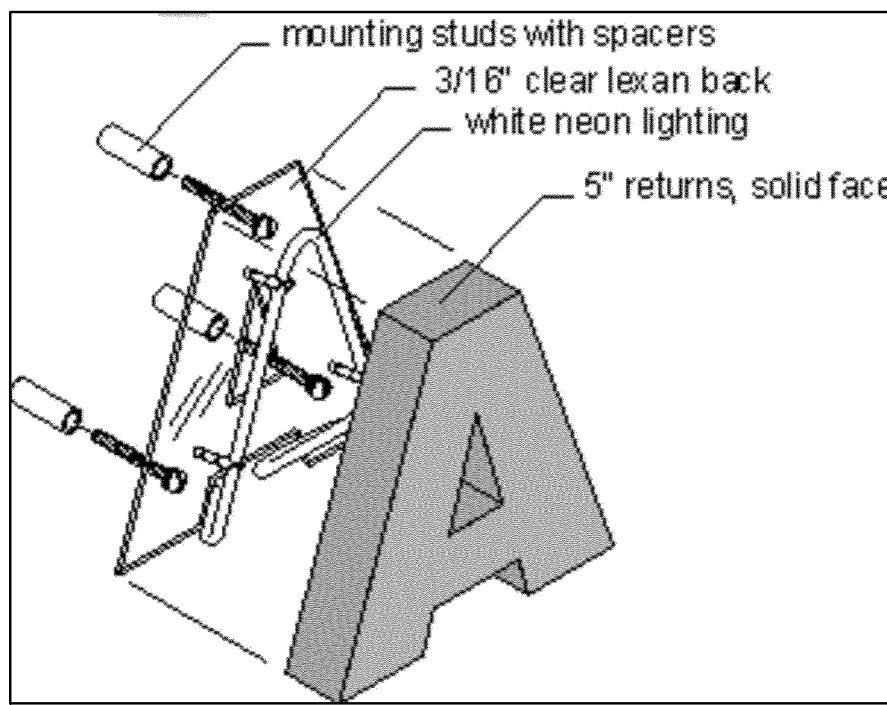


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NAME SIZE = 15 SF.
FONT STYLE - CENTURY GOTHIC



NUMBER SIZE = 32 SF.
FONT STYLE - CENTURY GOTHIC



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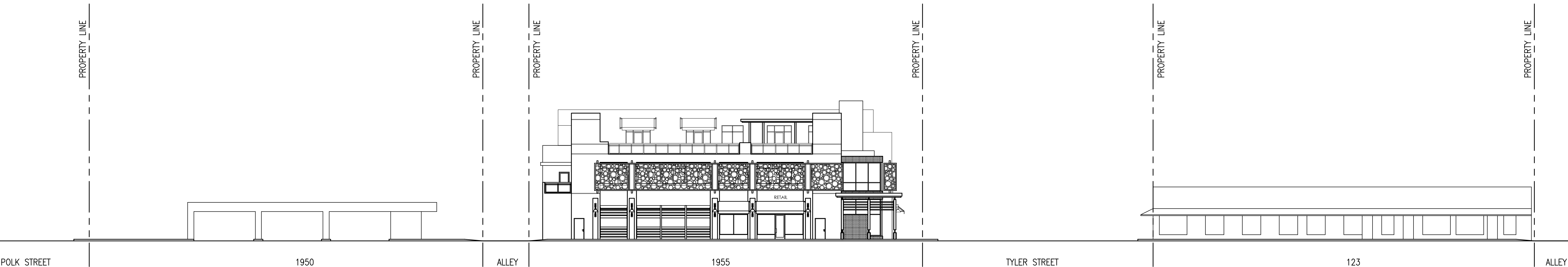
2 SIGN DETAILS

SCALE: 3/8"= 1'-0"

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED
CHANNEL LETTERS

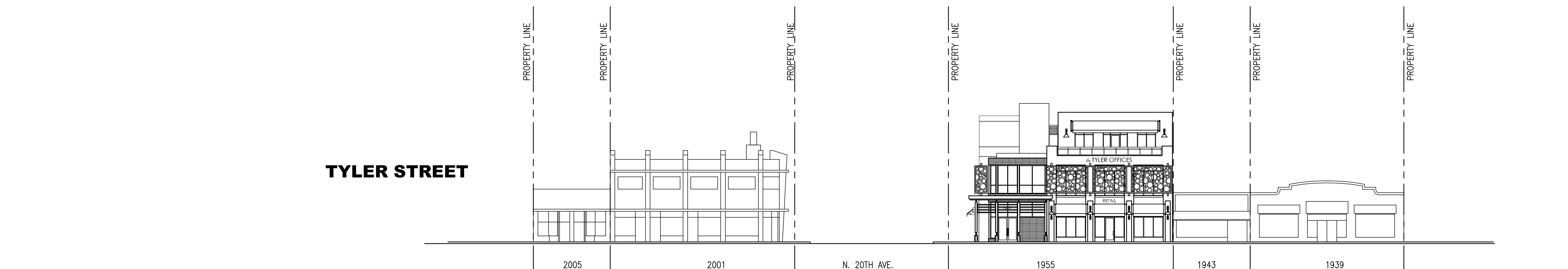
ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF
THE CITY OF HOLLYWOOD ZONING AND LAND
DEVELOPMENT CODE BASED ON THE ND-2 ZONING
DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH
SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR
SIGNS REQUIRING ILLUMINATION.



VIEW EAST FROM NORTH 20TH AVE.

N. 20TH AVE.



VIEW NORTH FROM TYLER STREET

2 CONTEXTUAL STREET ELEVATIONS

SCALE: 1/16"= 1'-0"

PROJECT TITLE

TYLER STREET MIXED USE
1955 TYLER STREET AND
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HOLLYWOOD FL 33020

SHEET TITLE

SIGN DETAILS
STREET ELEVATIONS

REVISIONS

No.	DATE	DESCRIPTION
1		
2		

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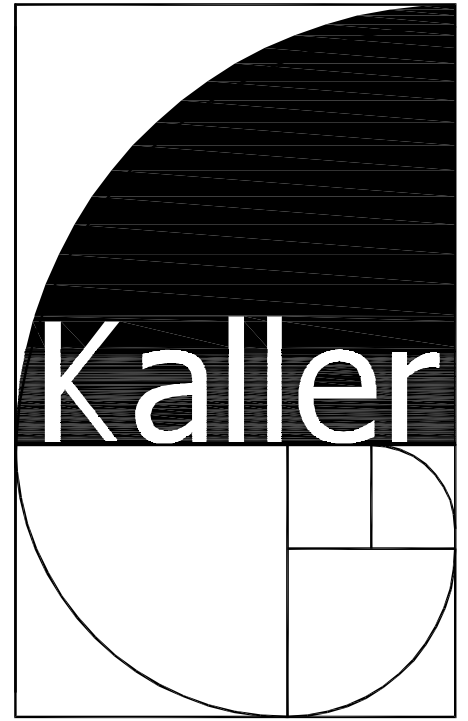
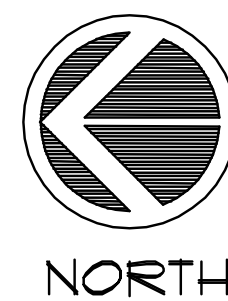
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SHEET

SP-3

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

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SHEET TITLE

SECOND FLOOR PLAN
PRELIM, TAC

REVISIONS

No.	DATE	DESCRIPTION
1		
2		

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DATE: 7-11-17
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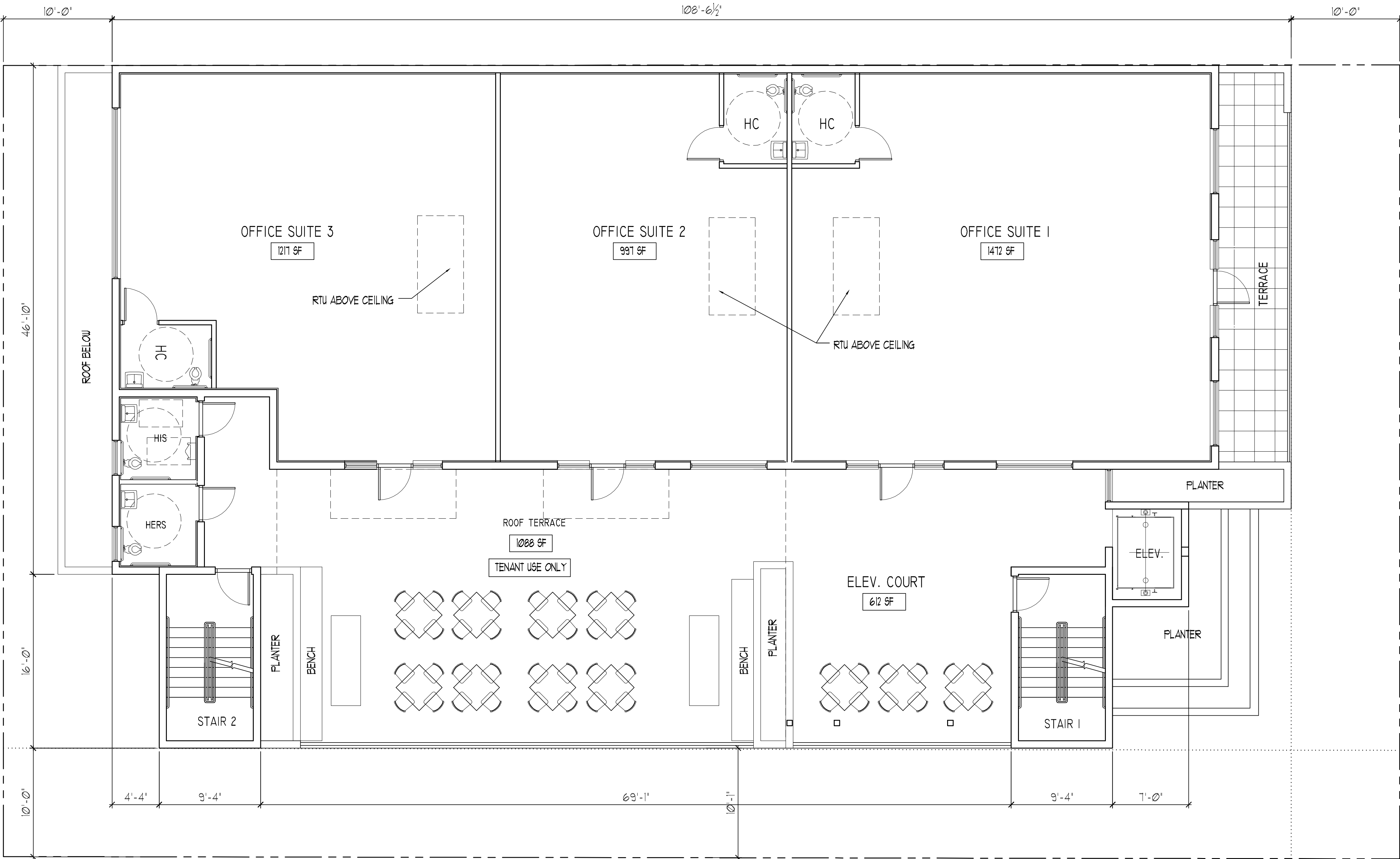
SHEET

A-2

2 OF 6

1 THIRD FLOOR PLAN

SCALE: 3/16"= 1'-0"



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SHEET TITLE
THIRD FLOOR PLAN
PRELIM. TAC

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

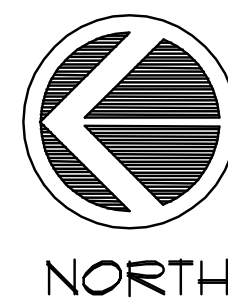
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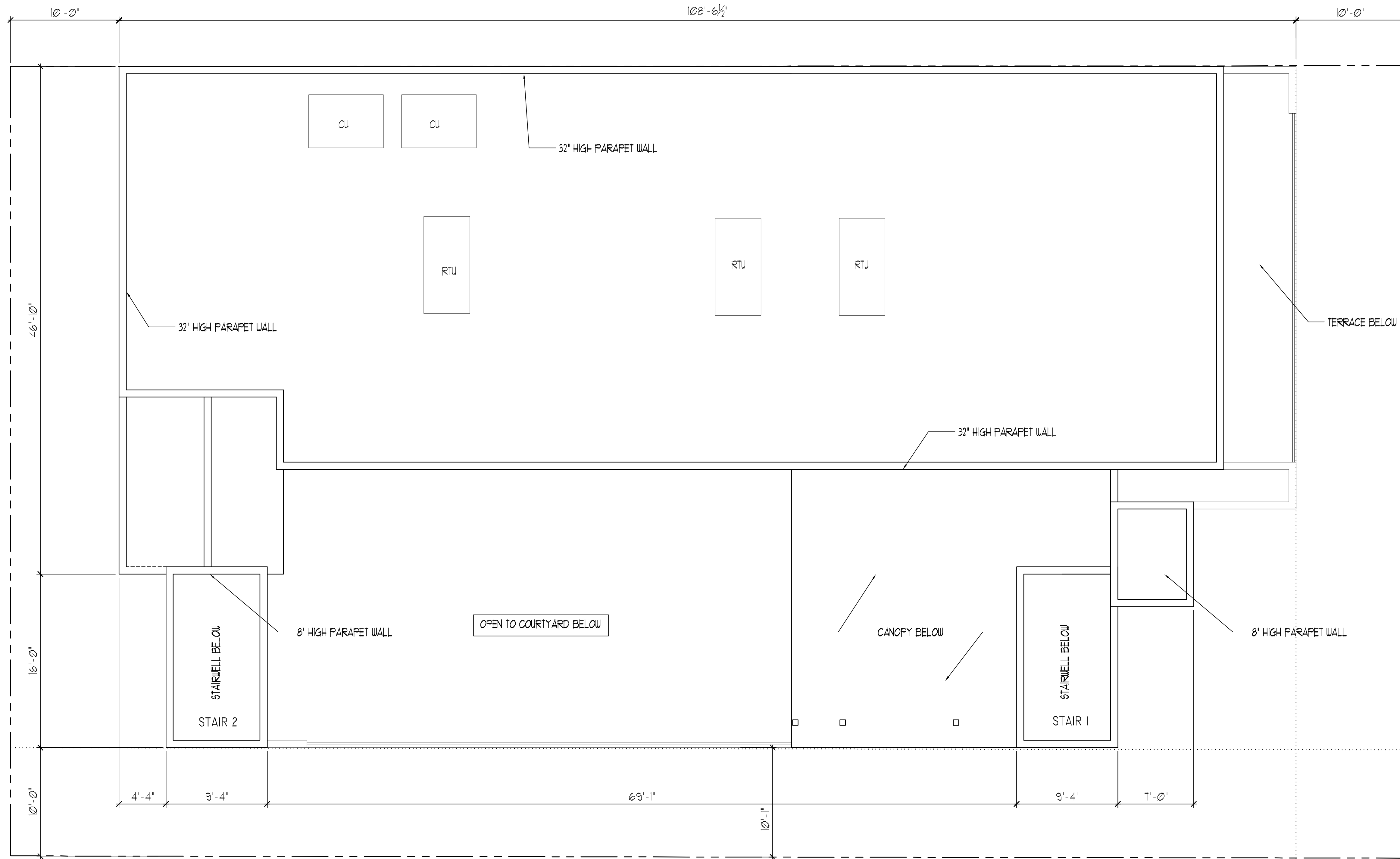
A-3

3 OF 6



1 ROOF PLAN

SCALE: 3/16" = 1'-0"

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SHEET TITLE

ROOF PLAN
PRELIM. TAC

REVISIONS

No.	DATE	DESCRIPTION
1		
2		

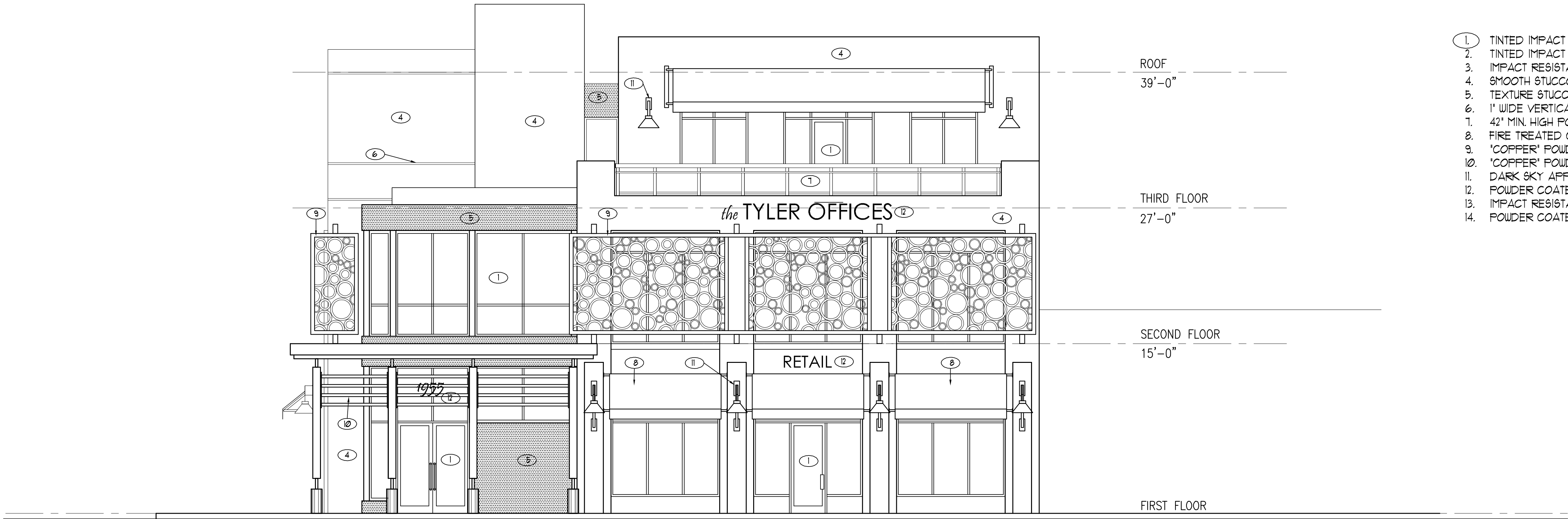
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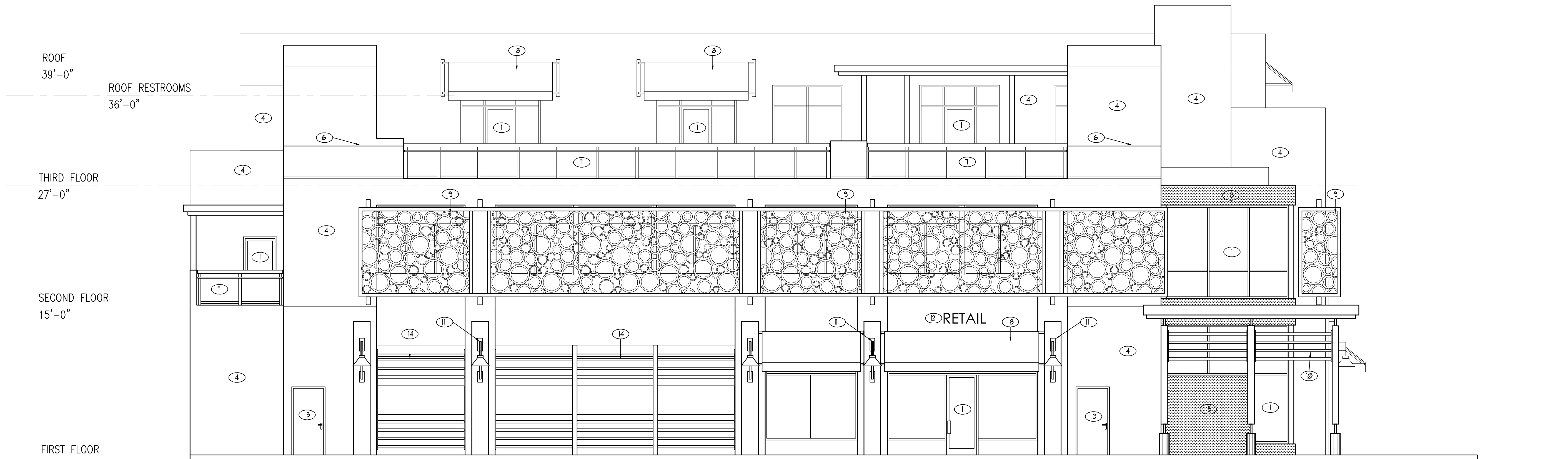
A-4

4 OF 6



SOUTH ELEVATION

- 1. TINTED IMPACT RESISTANT STOREFRONT
- 2. TINTED IMPACT RESISTANT WINDOWS
- 3. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 4. SMOOTH STUCCO WALL FINISH
- 5. TEXTURE STUCCO WALL FINISH
- 6. 1" WIDE VERTICAL / HORIZONTAL STUCCO SCORING
- 7. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
- 8. FIRE TREATED CANVAS AWNING
- 9. 'COPPER' POWDER COATED ALUMINUM LAZER CUT METAL SCREEN
- 10. 'COPPER' POWDER COATED DECORATIVE HORIZONTAL ALUMINUM TUBE
- 11. DARK SKY APPROVED EXTERIOR WALL SCONCE
- 12. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
- 13. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
- 14. POWDER COATED ALUMINUM HORIZONTAL PICKET SCREEN



WEST ELEVATION

1 ELEVATIONS

SCALE: 3/16" = 1'-0"



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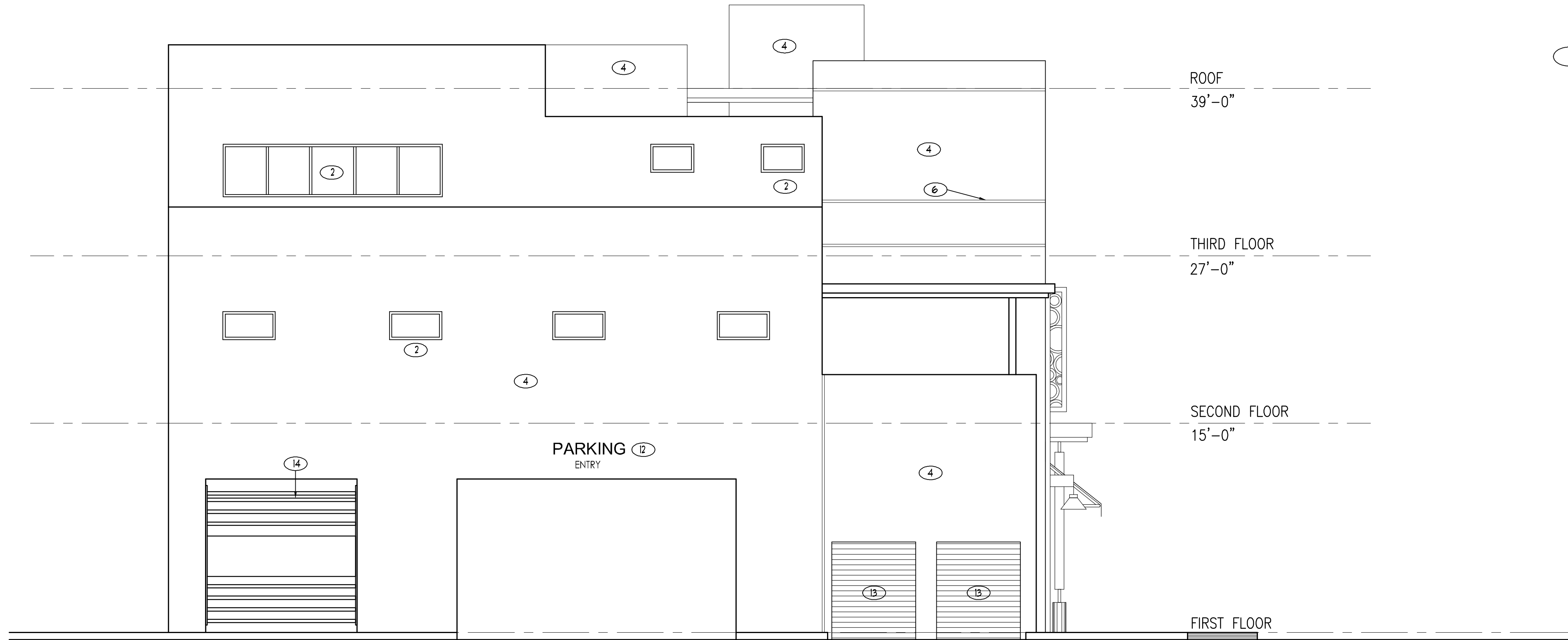
SHEET TITLE
ELEVATIONS
PRELIM. TAC

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

PROJECT No.: 17093
DATE: 7-11-17
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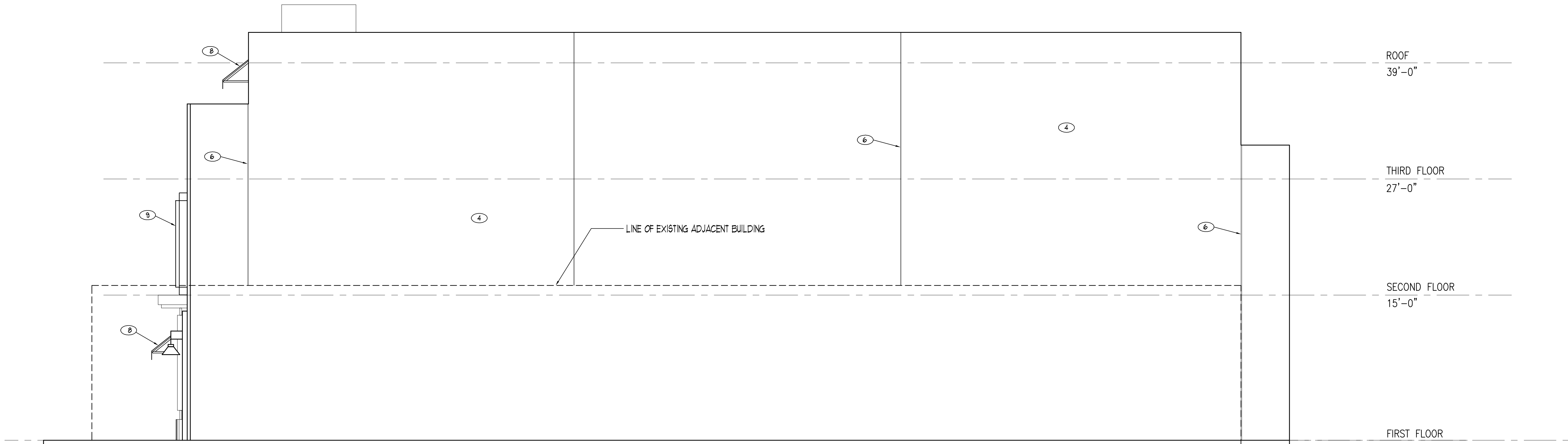
SHEET
A-5
5 OF 6

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1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT WINDOWS
3. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
4. SMOOTH STUCCO WALL FINISH
5. TEXTURE STUCCO WALL FINISH
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13. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
14. POWDER COATED ALUMINUM HORIZONTAL PICKET SCREEN

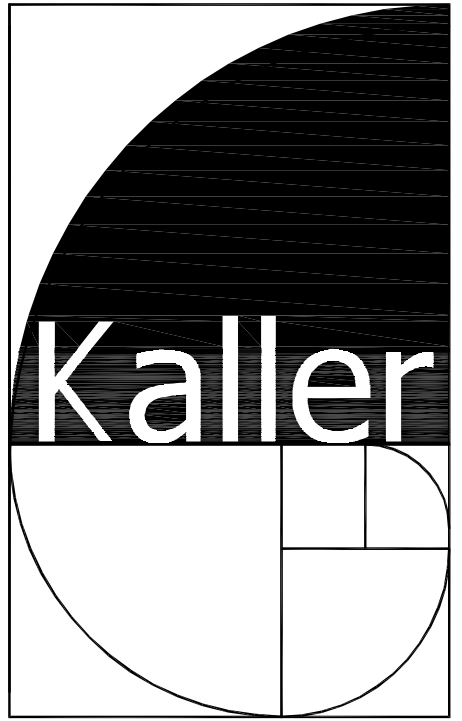
NORTH ELEVATION



EAST ELEVATION

1 ELEVATIONS

SCALE: 3/16"= 1'-0"



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SHEET TITLE

ELEVATIONS
PRELIM. TAC

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET

A-6

