

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee      ☐ Historic Preservation Board  
☐ City Commission      ☐ Planning and Development Board

Date of Application: 6/19/2017 for 7/17/17 TAC Mtg

Location Address: 2505 N University Drive

Lot(s): 43 & 44 Block(s): Tracts D & H Subdivision: Prima Corner / AJ Bendle

Folio Number(s): 514103010482 / 514103590020 / 514103590010

Zoning Classification: C-4 Land Use Classification: GBUS

Existing Property Use: Restaurant/Retail Sq Ft/Number of Units: 5,887 sf

Is the request the result of a violation notice? ( ) Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- ☐ Economic Roundtable      ☐ Technical Advisory Committee      ☐ Historic Preservation Board  
☐ City Commission      ☐ Planning and Development

Explanation of Request: Expansion of existing restaurant to 7,780 sf and relocation / expansion of retail to standalone 3,020 sf building with associated parking/site improvements.

Number of units/rooms: N/A Sq Ft: 3,020 retail + 7,780 sf restaurant

Value of Improvement: \$3 million Estimated Date of Completion: 08/2018

Will Project be Phased? ( ) Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Flanigan's Enterprises Inc.

Address of Property Owner: 5059 NE 18 Ave Ft Lauderdale FL 33334

Telephone: 954-377-1961 Fax: N/A Email Address: N/A

Name of Consultant/Representative/Tenant (circle one): Paradelo Burgess Design Studio

Address: 313 Datura Street, Suite 100, WPB FL 33401 Telephone: 786-671-8250

Fax: N/A Email Address: jonathan@paradeloburgess.com

Date of Purchase: 10/19/2009 Is there an option to purchase the Property? Yes ( ) No (x)

If Yes, Attach Copy of the Contract.

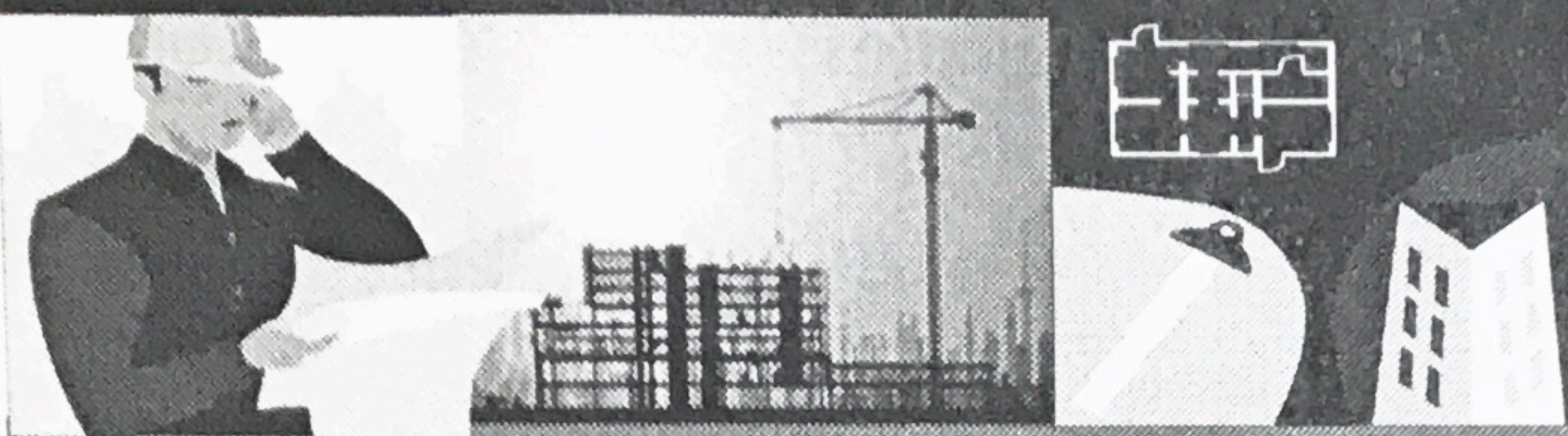
List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_



## PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 6-15-17

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: 06-15-2017

PRINT NAME: \_\_\_\_\_

JONATHAN B URGESS for PARADELO BURGESS DESIGN STUDIO LLC

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_

Signature of Current Owner

Print Name

Notary Public

State of Florida

My Commission Expires: \_\_\_\_\_ (Check One) \_\_\_\_\_ Personally known to me; OR \_\_\_\_\_ Produced Identification \_\_\_\_\_



INDEX:

SURVEY:

- BOUNDARY & TOPOGRAPHY SURVEY
- LIQUOR PROXIMITY SURVEY

CIVIL ENGINEERING:

- 17051C01 / CONCEPTUAL ENGINEERING PLAN

LANDSCAPE:

- EX-1 / EXISTING CONDITIONS
- MSP-1 / PROPOSED SITE PLAN
- LP-1 / PROPOSED LANDSCAPE PLAN
- LP-2 / LANDSCAPE PLAN DETAILS & SPECS

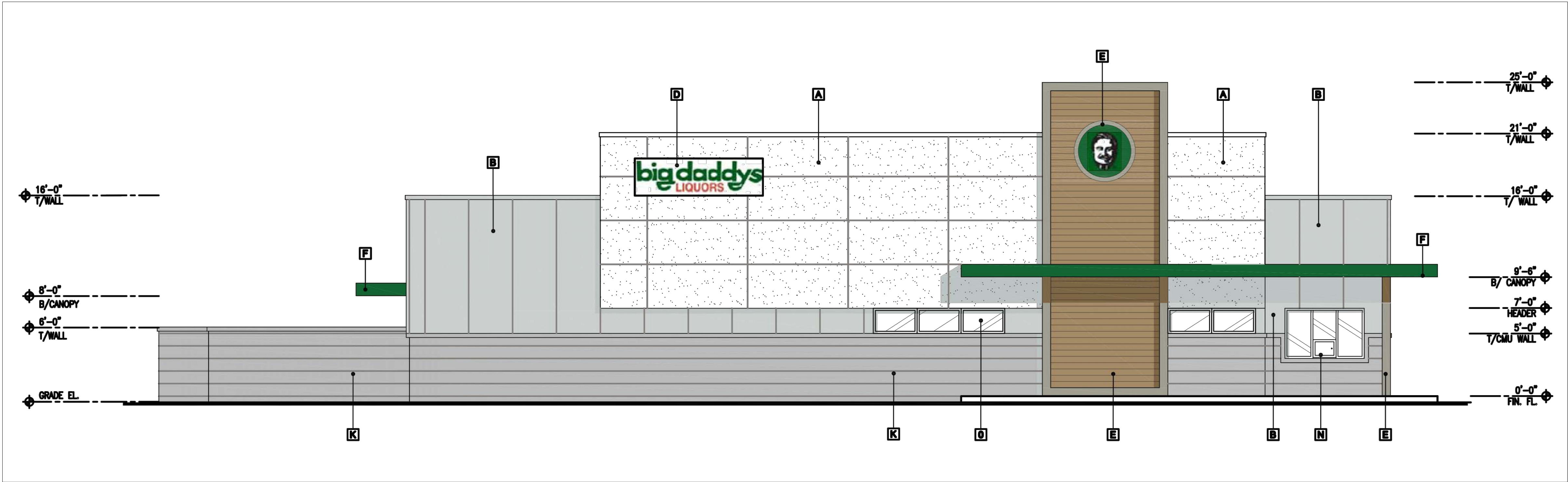
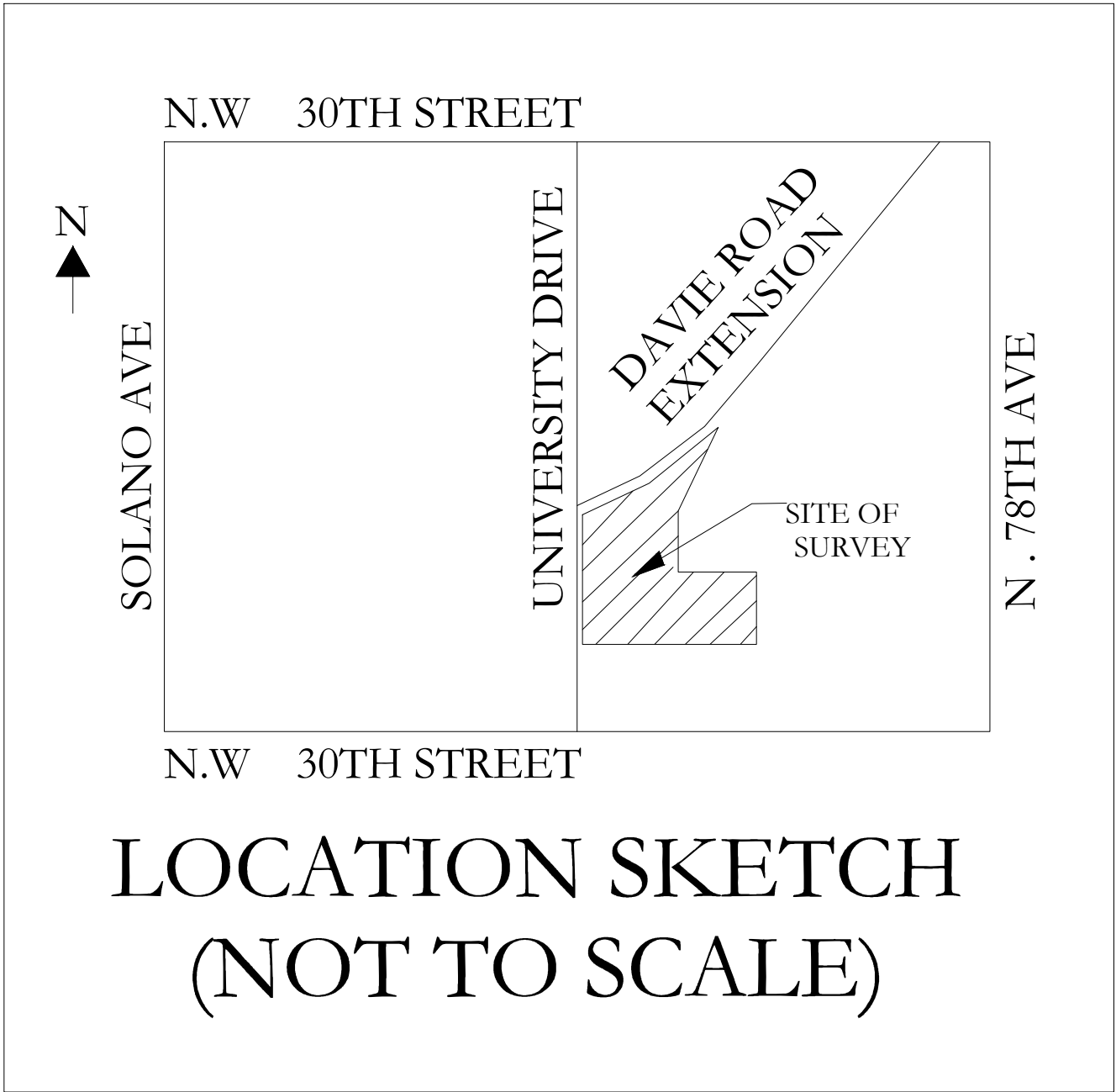
ARCHITECTURE:

- S-MSP / STREET PROFILE
- AB-1/RETAIL BLDG FLOOR PLAN
- AB-2 / RETAIL BLDG ELEVATIONS (W/S)
- AB-3 / RETAIL BLDG ELEVATIONS (N/E)
- AB-2C+3C / COLORED ELEVATIONS
- AF-1 / RESTAURANT BLDG FLOOR PLAN
- AF-2 / RESTAURANT BLDG ELEVATIONS (W/N)
- AF-3 / RESTAURANT BLDG ELEVATIONS (E/S)
- AF-2C+3C / COLORED ELEVATIONS

FLANIGAN'S / BIG DADDY'S # 19

2505 N. UNIVERSITY DRIVE  
HOLLYWOOD,FL 33024

PRELIMINARY TAC SUBMITTAL:  
JULY 17, 2017



PROJECT TEAM:

OWNER  
FLANIGAN'S ENTERPRISES INC.

5059 NE 18 AVE  
FORT LAUDERDALE, FL 33334  
(954) 377-1961

SURVEYOR  
KEITH & SCHNARS P.A  
ENGINEERING/  
PLANNING/SURVEYORS

6500 N ANDREWS AVE,  
FORT LAUDERDALE, FL  
33309 (954) 776-1616

CIVIL ENGINEER  
SIMMONS & WHITE

2581 METROCENTRE BLVD  
SUITE 3 , WEST PALM BEACH ,  
FL 33407  
(561) 478-7848

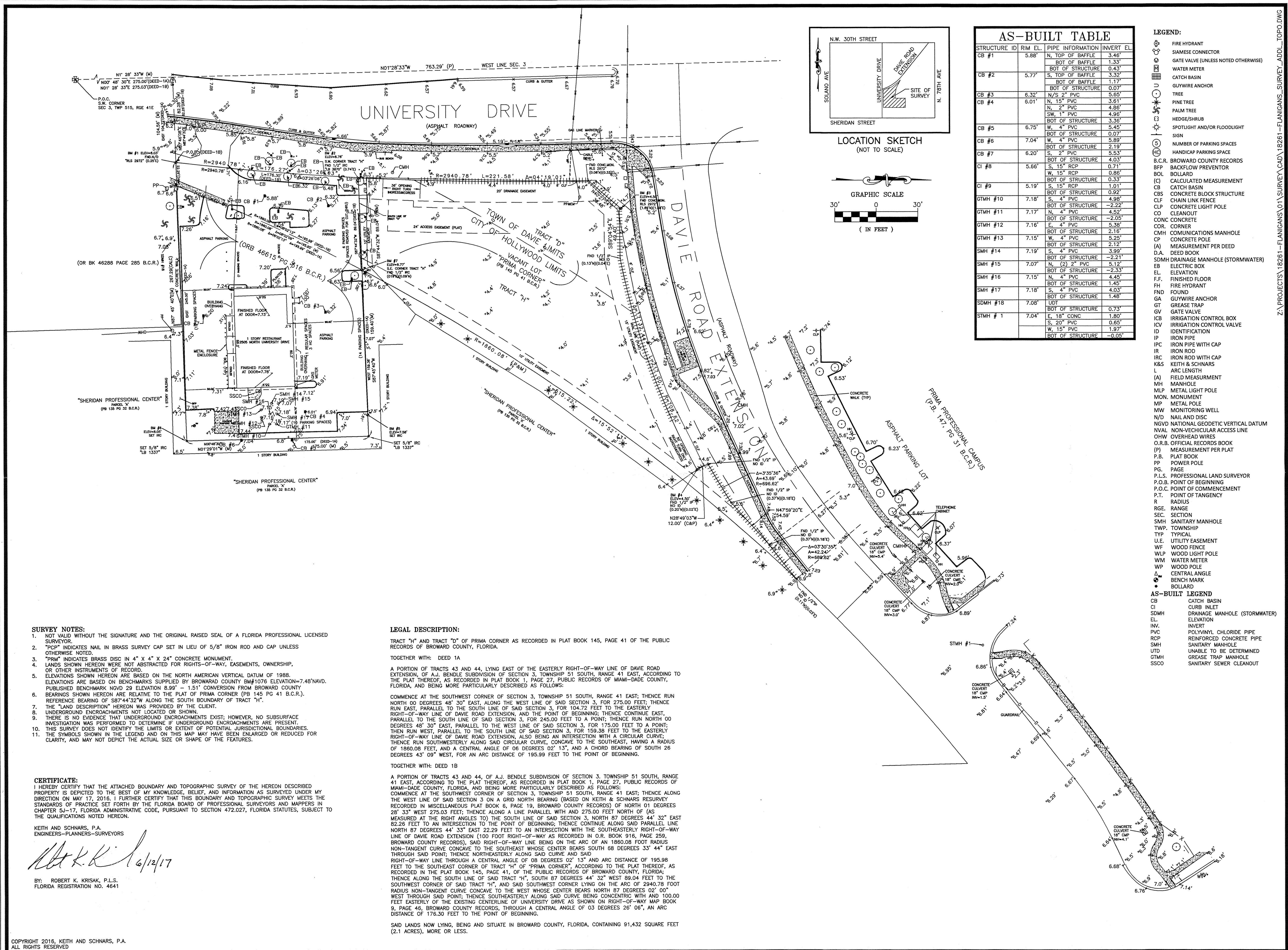
PLANNERS / LANDSCAPE ARCHITECTS  
PARADELO BURGESS DESIGN STUDIO

313 DATURA STREET, SUITE #100,  
WEST PALM BEACH, FL 33401  
(786) 671-8250

ARCHITECT/CONTRACTOR  
AHRENS COMPANIES

1461 KINETIC RD,  
WEST PALM BEACH , FL 33403  
(561) 863-9004





**KEITH and SCHNARS, P.A.**  
ENGINEERS, PLANNERS, SURVEYORS

LB 1337

6500 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FL. 33309-2132 (954)776-1616

BOUNDARY AND TOPOGRAPHIC SURVEY  
FLANIGANS HOLLYWOOD

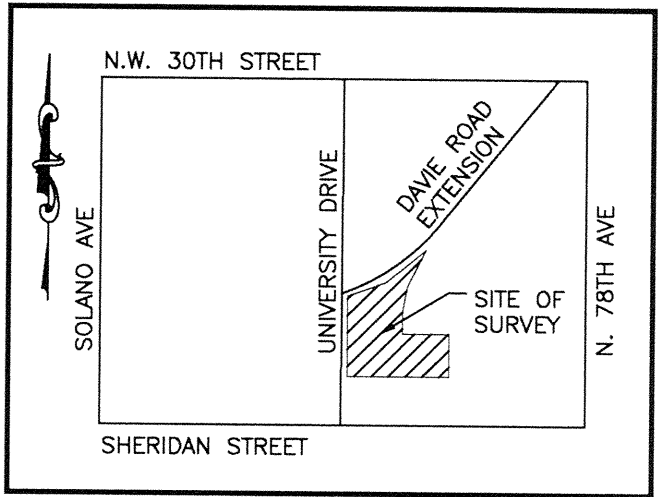
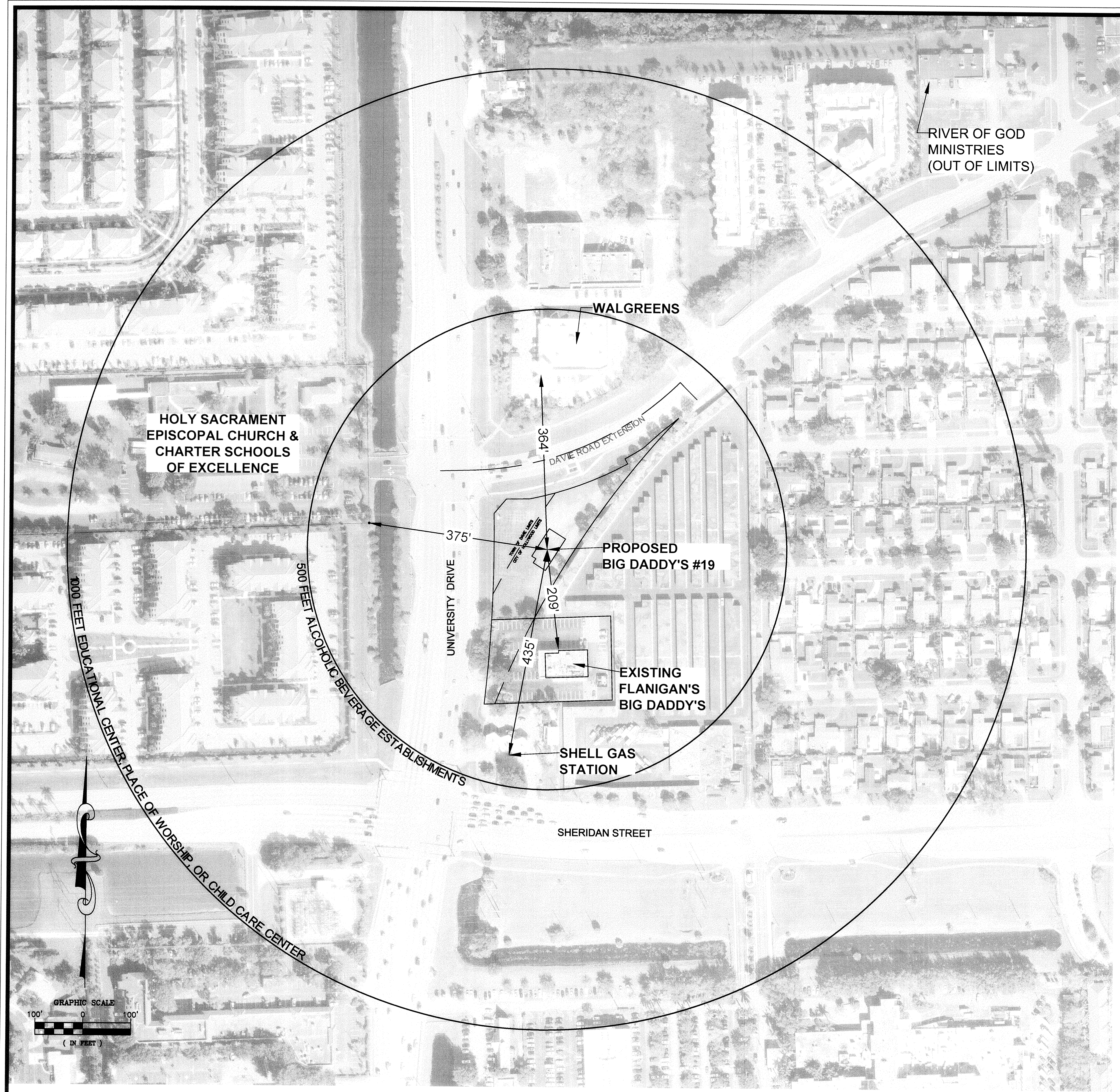
A PORTION OF THE SW 1/4 OF SECTION 3,  
TOWNSHIP 51 SOUTH, RANGE 41 EAST AND  
TRACTS D & H OF "PRIMA CORNER" P.B. 145 PG 41 B.C.R.  
BROWARD COUNTY, FLORIDA

DATE	REVISIONS
5/31/17	ADDED TOPO NORTH OF DAVE ROAD
6/12/17	ADDED ACREAGE TO DESCRIPTION

DATE	05/17/2016
SCALE	AS SHOWN
FIELD BOOK	1455
DRAWN BY	ARC
CHECKED BY	DPP

SHEET NO.	1
OF	1 SHEETS
PROJECT NO.	18261





LOCATION SKETCH  
(NOT TO SCALE)

ADDRESS LIST

DISTANCE

1)	<b>FLANIGANS RESTAURANT</b> 2505 N. UNIVERSITY DRIVE HOLLYWOOD, FL 33024	209'
2)	<b>SHELL GAS STATION</b> 2501 N. UNIVERSITY DRIVE HOLLYWOOD, FL	435'
3)	<b>WALGREENS STORE</b> 2701 N. UNIVERSITY DRIVE HOLLYWOOD, FL 33024	364'
4)	<b>HOLY SACRAMENT EPISCOPAL CHURCH AND CHARTER SCHOOL OF EXCELLENCE</b> 2801 N. UNIVERSITY DRIVE PEMBROKE PINES, FL 33024	375'

LEGEND:  
B.C.R. BROWARD COUNTY RECORDS  
LB LICENSED BUSINESS  
P.B. PLAT BOOK  
PG. PAGE  
P.L.S. PROFESSIONAL LAND SURVEYOR

SURVEY NOTES:  
1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL LICENSED SURVEYOR.  
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.  
3. UNDERGROUND ENCROACHMENTS NOT LOCATED OR SHOWN.  
4. THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST; HOWEVER, NO SUBSURFACE INVESTIGATION WAS PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS ARE PRESENT.  
5. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL BOUNDARIES.  
6. THE SYMBOLS SHOWN IN THE LEGEND AND ON THIS MAP MAY HAVE BEEN ENLARGED OR REDUCED FOR CLARITY, AND MAY NOT DEPICT THE ACTUAL SIZE OR SHAPE OF THE FEATURES.  
7. THIS IS NOT A BOUNDARY SURVEY  
8. PURPOSE OF THIS SURVEY IS TO DOCUMENT THE MEASUREMENTS FROM THE SUBJECT PARCEL, CENTER OF PROPOSED BUILDING, TO OTHER ALCOHOLIC BEVERAGE ESTABLISHMENTS WITHIN 500 FEET AND TO ANY EDUCATIONAL CENTER, PLACE OF WORSHIP, OR CHILD CARE CENTER WITHIN 1000 FEET

CERTIFICATE:  
I HEREBY CERTIFY THAT THE ATTACHED SPECIFIC PURPOSE SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION AS SURVEYED UNDER MY DIRECTION ON JUNE 06, 2017. I FURTHER CERTIFY THAT THIS SPECIFIC PURPOSE SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KEITH AND SCHNARS, P.A.  
ENGINEERS-PLANNERS-SURVEYORS

BY: ROBERT K. KRISAK, P.L.S.  
FLORIDA REGISTRATION NO. 4641

Z:\PROJECTS\18261-FLANIGANS\01\SURVEY\CAD\18261-LIQUOR\_SURVEY.DWG

**KEITH and SCHNARS, P.A.**  
**ENGINEERS, PLANNERS, SURVEYORS**



LB 1337

6500 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FL 33309-2132 (954)776-1616

DATE REVISIONS

DATE 06/06/2017  
SCALE AS SHOWN  
FIELD BOOK 1455  
DRAWN BY JEW  
CHECKED BY RKK

SPECIFIC PURPOSE SURVEY (LIQUOR SURVEY)

FLANIGAN'S BIG DADDY'S #19  
HOLLYWOOD, FL

A PORTION OF THE SW 1/4 OF SECTION 3,  
TOWNSHIP 51 SOUTH, RANGE 41 EAST AND  
TRACTS D & H OF "PRIMA CORNER" P.B. 145 PG 41 B.C.R.  
BROWARD COUNTY, FLORIDA

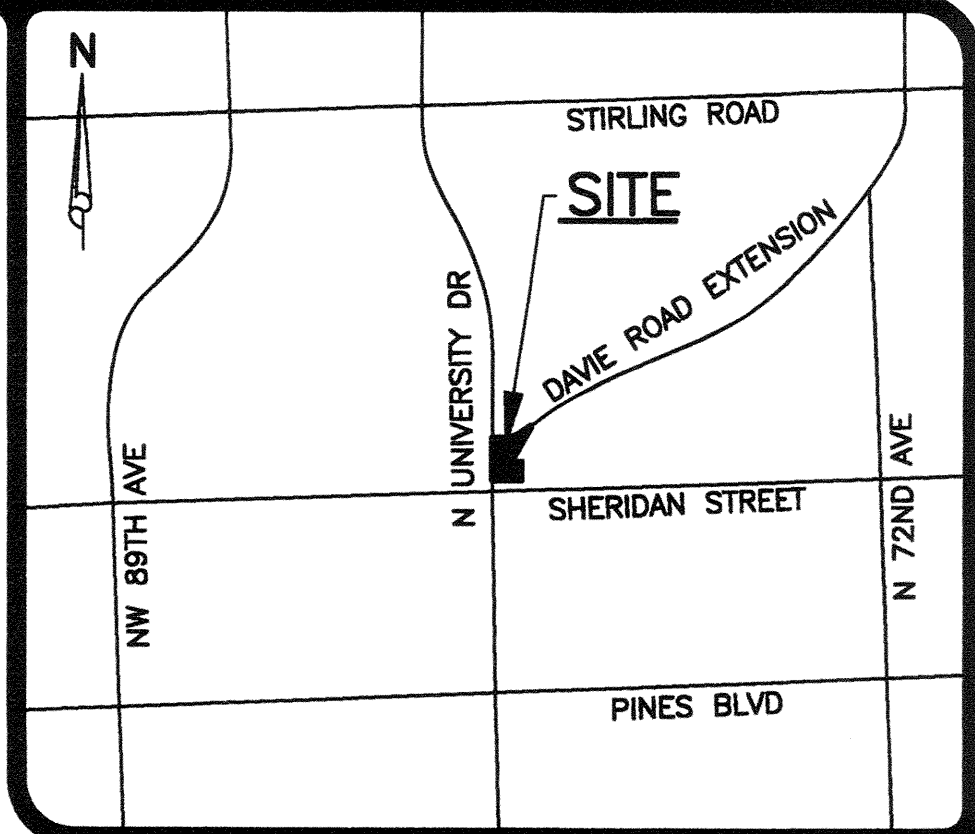
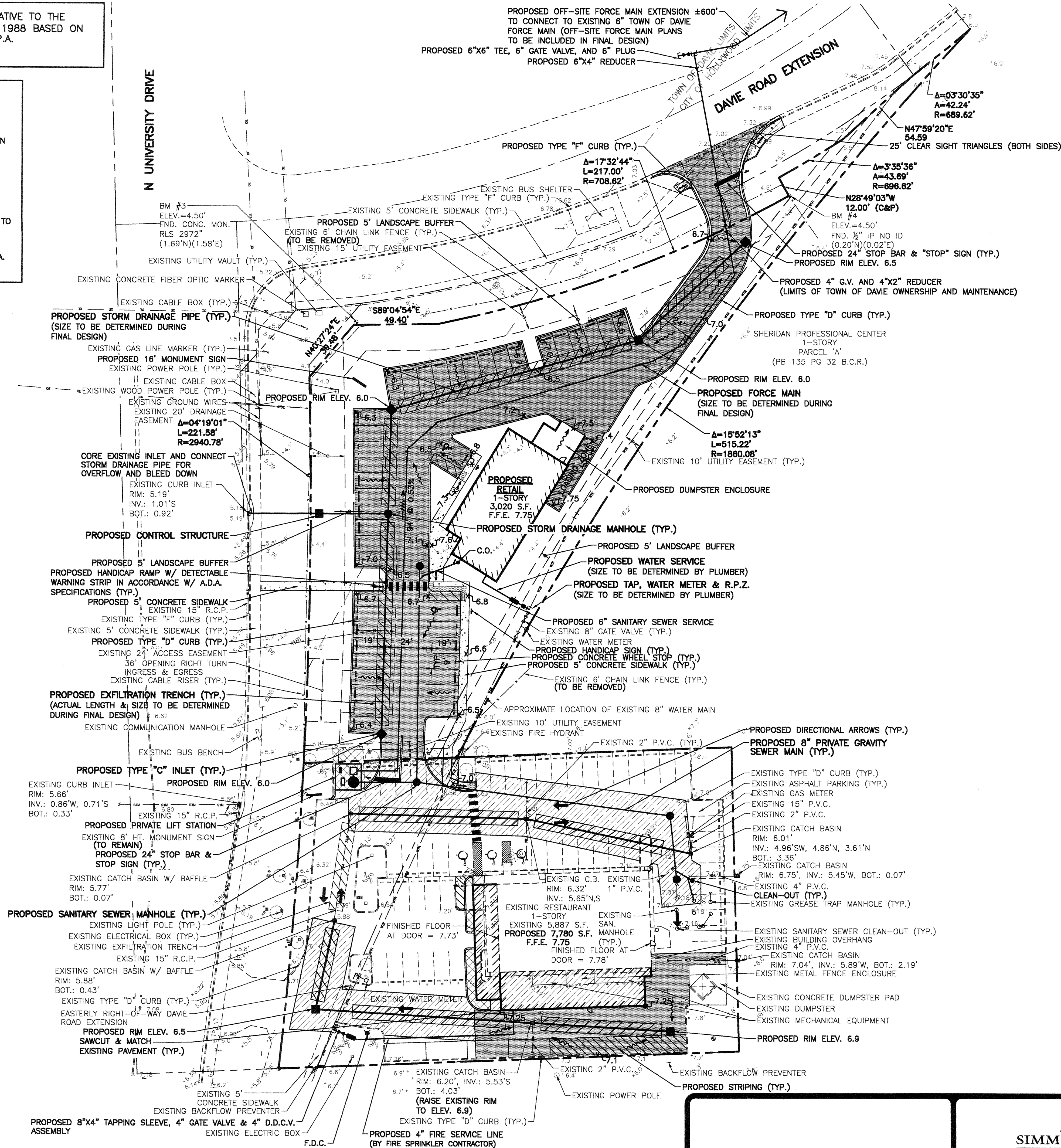
SHEET NO. 1  
OF 1 SHEETS  
PROJECT NO.  
18261



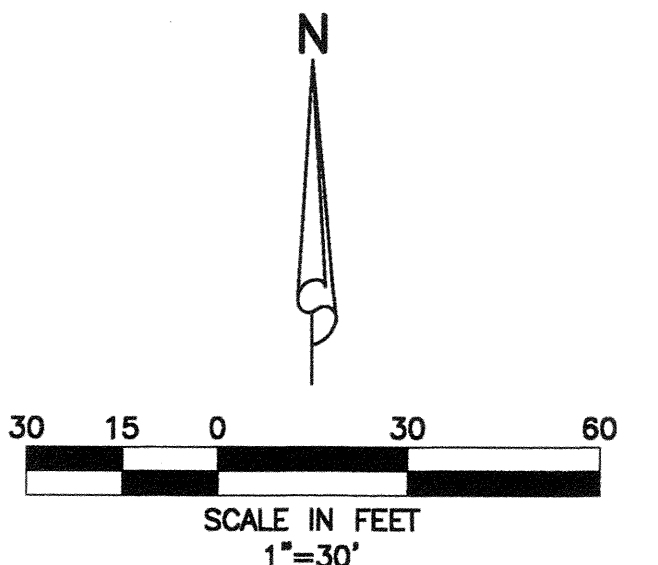
**NOTE:** ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY KEITH AND SCHNARS, P.A. (954) 776-1616

**NOTES:**

- 1.) THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 2.) ALL WATER AND WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOLLYWOOD AND TOWN OF DAVIE.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY STANDARDS.
- 4.) LOCATIONS OF WATER AND SANITARY SEWER SERVICES, DRAINAGE STRUCTURES AND PIPES AND OTHER STRUCTURES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- 5.) CONSTRUCTION AND DEMOLITION TO COMPLY WITH N.F.P.A. 241.

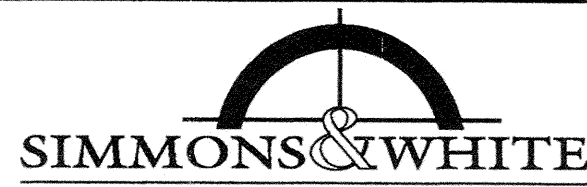
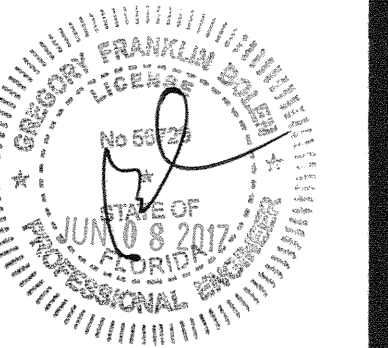


**LOCATION MAP**  
NOT TO SCALE



**LEGEND**

- PROPOSED STORM SEWER AND CATCH BASIN
- DIRECTION OF FLOW
- DIRECTION OF SWALE
- PROPOSED GRADE ELEVATION
- EXISTING GRADE ELEVATION
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED DETECTABLE WARNING SURFACE
- SAWCUT, REMOVE, & REPLACE EXISTING PAVEMENT, CONCRETE, CURB, ETC.
- SAWCUT & REMOVE EXISTING IMPROVEMENT & REPLACE W/ CLEAN FILL & SOD
- PROPOSED EXFILTRATION TRENCH (ACTUAL LENGTH & SIZE TO BE DETERMINED DURING FINAL DESIGN)
- SEWER SERVICE W/ CLEAN-OUT
- FIRE HYDRANT W/ GATE VALVE
- PROPOSED SANITARY SEWER LINE, MANHOLE & FLOW DIRECTION
- WATER SERVICE & R.P.Z. (REFER TO POTABLE WATER SERVICE SINGLE METER INSTALLATION DETAIL)
- PROPOSED LIGHT POLE (BY OTHERS)
- PROPOSED DIRECTIONAL ARROW
- PROPOSED 24" STOP BAR & "STOP" SIGN
- EXISTING OVERHEAD POWER LINE & POWER POLE
- EXISTING STORM DRAINAGE PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING FORCE MAIN



**FLANIGAN'S AND BIG DADDY'S #19**  
SECTION 03, TOWNSHIP 51S., RANGE 41E.  
CITY OF HOLLYWOOD, FLORIDA  
**CONCEPTUAL ENGINEERING PLAN**

REVISIONS

DESIGN	DRAWN	CHECKED	APPROVED	DATE
G.B.	C.O.			

JOB NO.	DRAWING NO.	SHEET	OF
17-051	17051C01	1	1





EXISTING CONDITIONS

FLANIGAN'S BIGDADDY'S #19  
2505 N. UNIVERSITY DRIVE  
HOLLYWOOD, FL 33024

SEAL:

JONATHAN BURGESS  
LICENSE # LA6667220

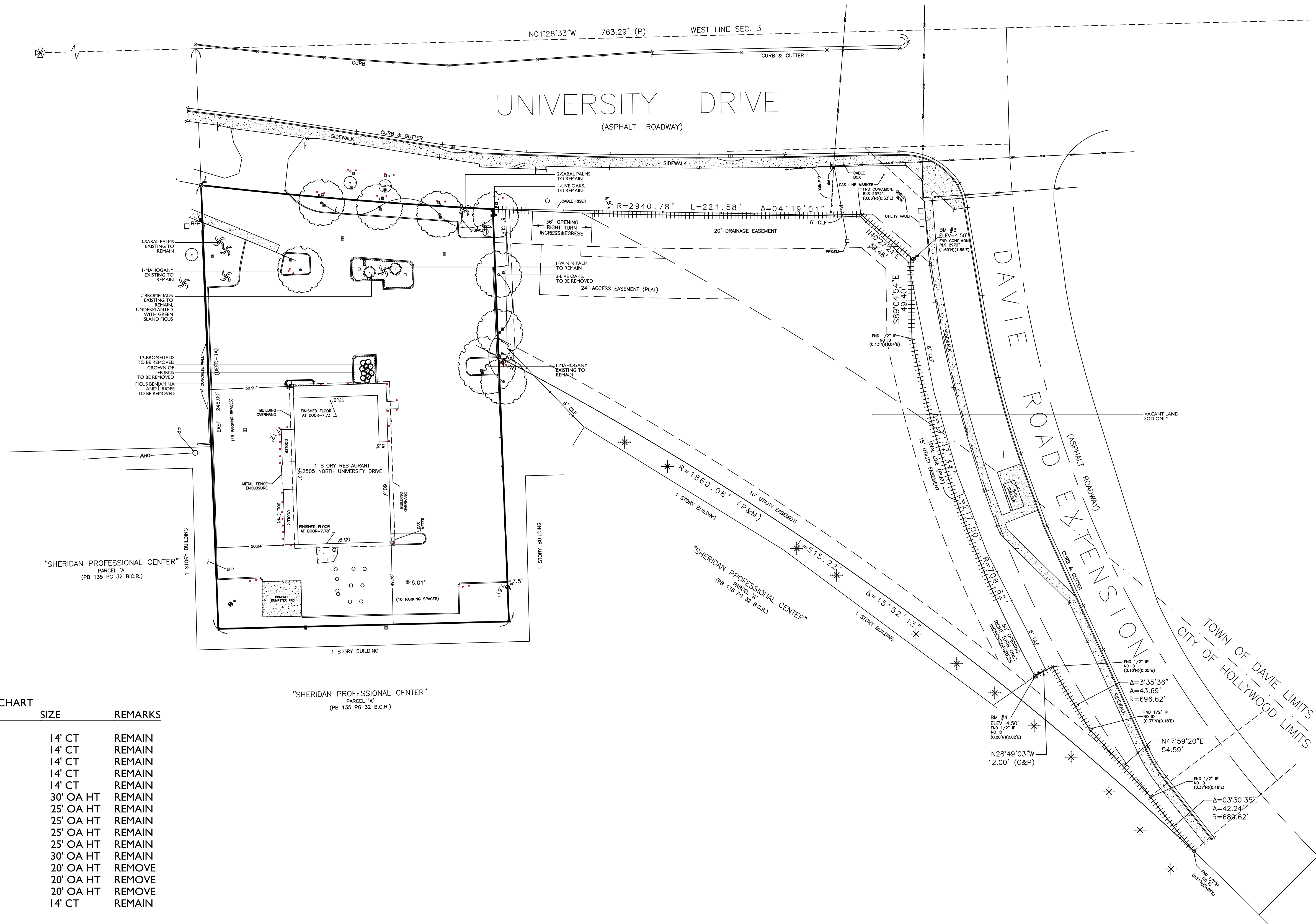
"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE LANDSCAPE ARCHITECTS WRITTEN PERMISSION."

DRAWN BY: MJ / JB

EX-1

DATE:  
24 APRIL 2017

TREE DISPOSITION CHART		
SPECIES	SIZE	REMARKS
SABAL PALM	14' CT	REMAIN
SABAL PALM	14' CT	REMAIN
SABAL PALM	14' CT	REMAIN
SABAL PALM	14' CT	REMAIN
SABAL PALM	14' CT	REMAIN
MAHOGANY	30' OA HT	REMAIN
LIVE OAK	25' OA HT	REMAIN
LIVE OAK	25' OA HT	REMAIN
LIVE OAK	25' OA HT	REMAIN
LIVE OAK	25' OA HT	REMAIN
MAHOGANY	30' OA HT	REMAIN
LIVE OAK	20' OA HT	REMOVE
LIVE OAK	20' OA HT	REMOVE
LIVE OAK	20' OA HT	REMOVE
WININ PALM	14' CT	REMAIN





TABULAR DATA:  
CURRENT LAND USE: GENERAL BUSINESS (GBUS)  
CURRENT ZONING DESIGNATION: C-4  
MINIMUM REQUIRED BUILDING SETBACKS:  
0 FEET ADJACENT TO COMMERCIAL PROPERTY  
PROPOSED BUILDING SETBACKS:  
EXISTING RESTAURANT: 120' FRONT 42' SIDE 50' REAR  
PROPOSED RETAIL: 79' FRONT 64' SIDE 29' REAR

EX RESTAURANT SITE  
44,966 SF (1.03 AC)  
5,772 SF (0.13 AC)= 12.8% OF SITE

PROPOSED RETAIL SITE  
46,466 SF (1.07 AC)  
21,827 SF (0.50 AC) = 47.0% OF SITE

IMPERVIOUS AREAS:  
BLDG FOOTPRINT: 7,780 SF  
VEHIC. USE AREAS: 31,163 SF  
WALKWAYS: 251 SF  
TOTAL: 39,194 SF (0.90 AC)= 87.2% OF SITE

3,020 SF  
20,451 SF  
1,168 SF  
24,639 SF (0.57 AC) = 53.0% OF SITE

GROSS FLOOR AREA: 7,780 SF  
MAX BLDG HEIGHT: 175 FT.  
EXISTING BUILDING HEIGHT: 24 FT  
PROPOSED BUILDING HEIGHT: 24 FT  
T.A.C. REQUIRED VARIANCES: N/A

3,020 SF

PARKING CALCULATIONS - PER ARTICLE 7.2  
(BASED ON CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS)

- MINIMUM SPACES REQUIRED:
- 1) RETAIL PARKING: 1/250 S.F.
  - 2) RESTAURANT PARKING: 60% TIMES THE GROSS FLOOR AREA OF BLDG., THEN 1 PER 60 SQ. FT. OF THE RESULTING FLOOR AREA
  - 3) 78-142<5.b FRACTIONAL REQUIREMENTS: (X) REPRESENTS FRACTION  
X < 0.5 = (1) SPACE IF X ≥ 0.5 = (2) SPACES

PROPOSED RETAIL AREA: 3,020 S.F. = 12 REQUIRED  
EXISTING RESTAURANT AREA: 7,780 S.F. = 78 REQUIRED  
(WITH PROPOSED IMPROVEMENTS)

TOTAL REQUIRED = (90) SPACES

SPACES PROVIDED:  
EXISTING RESTAURANT = 75 SPACES, LESS 22 (AFTER IMPROVEMENTS) = 53 SPACES  
RETAIL = 42 SPACES

TOTAL SPACES PROVIDED:  
REGULAR SPACES = 90  
H/C SPACE = 5  
TOTAL 95

LEGAL DESCRIPTION:

TRACT "H" AND TRACT "D" OF PRIMA CORNER AS RECORDED IN PLAT BOOK 145, PAGE 41 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH: DEED 1A

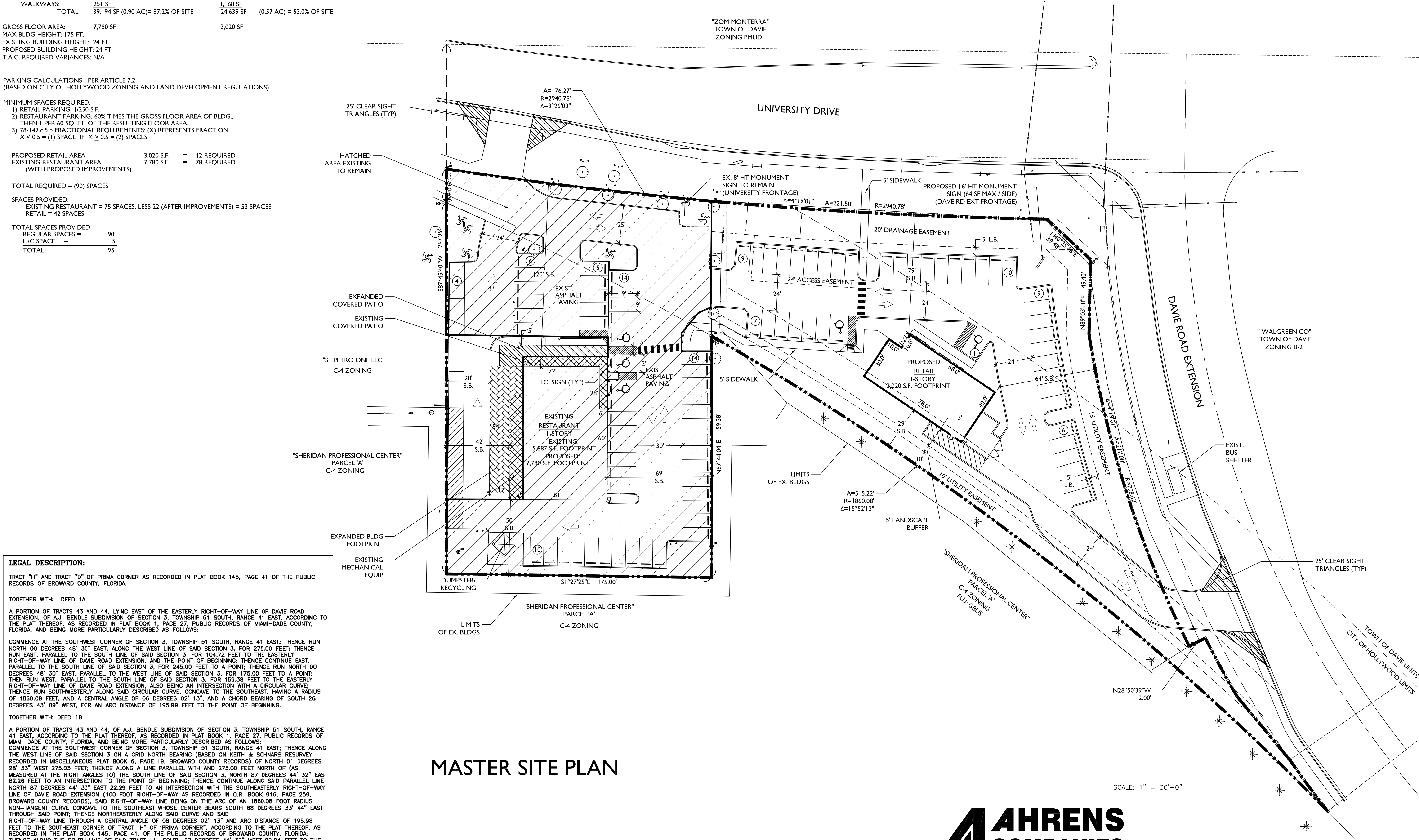
A PORTION OF TRACTS 43 AND 44, LYING EAST OF THE EASTERLY RIGHT-OF-WAY LINE OF DAVIE ROAD EXTENSION, OF A.J. BENDLE SUBDIVISION OF SECTION 3, TOWNSHIP 51 SOUTH, RANGE 41 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 3, TOWNSHIP 51 SOUTH, RANGE 41 EAST; THENCE RUN NORTH 00 DEGREES 48' 30" EAST, ALONG THE WEST LINE OF SAID SECTION 3, FOR 275.00 FEET; THENCE RUN EAST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 3, FOR 104.72 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF DAVIE ROAD EXTENSION; AND THE POINT OF BEGINNING; THENCE CONTINUE EAST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 3, FOR 245.00 FEET TO A POINT; THENCE RUN NORTH 00 DEGREES 48' 30" EAST, PARALLEL TO THE WEST LINE OF SAID SECTION 3, FOR 175.00 FEET TO A POINT; THEN RUN WEST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 3, FOR 159.38 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF DAVIE ROAD EXTENSION, ALSO BEING AN INTERSECTION WITH A CIRCULAR CURVE; THENCE RUN SOUTHWESTERLY ALONG SAID CIRCULAR CURVE, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 1860.08 FEET, AND A CENTRAL ANGLE OF 06 DEGREES 02' 13", AND A CHORD BEARING OF SOUTH 26 DEGREES 43' 09" WEST, FOR AN ARC DISTANCE OF 195.99 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH: DEED 1B

A PORTION OF TRACTS 43 AND 44, OF A.J. BENDLE SUBDIVISION OF SECTION 3, TOWNSHIP 51 SOUTH, RANGE 41 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE SOUTHWEST CORNER OF SECTION 3, TOWNSHIP 51 SOUTH, RANGE 41 EAST; THENCE ALONG THE WEST LINE OF SAID SECTION 3 ON A GRID NORTH BEARING (BASED ON KEITH & SCHWARTZ RESURVEY RECORDED IN MISCELLANEOUS PLAT BOOK 6, PAGE 19, BROWARD COUNTY RECORDS) OF NORTH 01 DEGREES 28' 33" WEST 275.03 FEET; THENCE ALONG A LINE PARALLEL WITH AND 275.00 FEET NORTH OF (AS MEASURED AT THE RIGHT ANGLES TO) THE SOUTH LINE OF SAID SECTION 3, NORTH 87 DEGREES 44' 32" EAST 82.28 FEET TO AN INTERSECTION TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID PARALLEL LINE NORTH 87 DEGREES 44' 33" EAST 22.29 FEET TO AN INTERSECTION WITH THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF DAVIE ROAD EXTENSION (100 FOOT RIGHT-OF-WAY AS RECORDED IN O.R. BOOK 916, PAGE 259, BROWARD COUNTY RECORDS), SAID RIGHT-OF-WAY LINE BEING ON THE ARC OF AN 1860.08 FOOT RADIUS NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST WHOSE CENTER BEARS SOUTH 68 DEGREES 33' 44" EAST THROUGH SAID POINT; THENCE NORTHEASTERLY ALONG SAID CURVE AND SAID RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 08 DEGREES 02' 13" AND ARC DISTANCE OF 195.99 FEET TO THE SOUTHEAST CORNER OF TRACT "H" OF PRIMA CORNER, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN THE PLAT BOOK 145, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE ALONG THE SOUTH LINE OF SAID TRACT "H", SOUTH 87 DEGREES 44' 32" WEST 89.04 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "H", AND SAID SOUTHWEST CORNER LYING ON THE ARC OF 2940.78 FOOT RADIUS NON-TANGENT CURVE CONCAVE TO THE WEST WHOSE CENTER BEARS NORTH 87 DEGREES 02' 00" WEST THROUGH SAID POINT; THENCE SOUTHEASTERLY ALONG SAID CURVE BEING CONCENTRIC WITH AND 100.00 FEET EASTERLY OF THE EXISTING CENTERLINE OF UNIVERSITY DRIVE AS SHOWN ON RIGHT-OF-WAY MAP BOOK 9, PAGE 46, BROWARD COUNTY RECORDS, THROUGH A CENTRAL ANGLE OF 03 DEGREES 26' 06", AN ARC DISTANCE OF 176.30 FEET TO THE POINT OF BEGINNING.

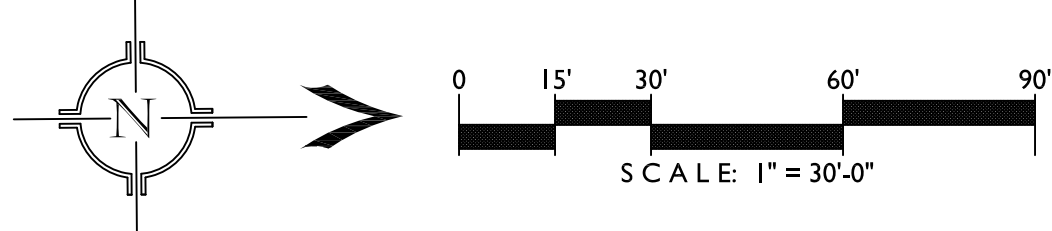
SAID LANDS NOW LYING, BEING AND SITUATE IN BROWARD COUNTY, FLORIDA.



MASTER SITE PLAN

**AHRENS**  
**COMPANIES**  
DESIGN/BUILD • GENERAL CONSTRUCTION

OFFICE: (561) 863-9004 LICENSE: #CBC006515 #AA26000694  
1461 KINETIC ROAD, LAKE PARK, FL 33403-1911



MASTER SITE PLAN

NOTES:  
INITIAL PLAN SUBMITTAL

PARADELO | BURGESS  
design studio

PALM BEACH | MIAMI | ORLANDO  
786.671.8250 | INFO@PARADELOBURGESS.COM

PROPOSED SITE PLAN

FLANIGAN'S BIGDADDY'S #19  
2505 N. UNIVERSITY DRIVE  
HOLLYWOOD, FL 33024

SEAL:

JONATHAN BURGESS  
LICENSE # LA6667220

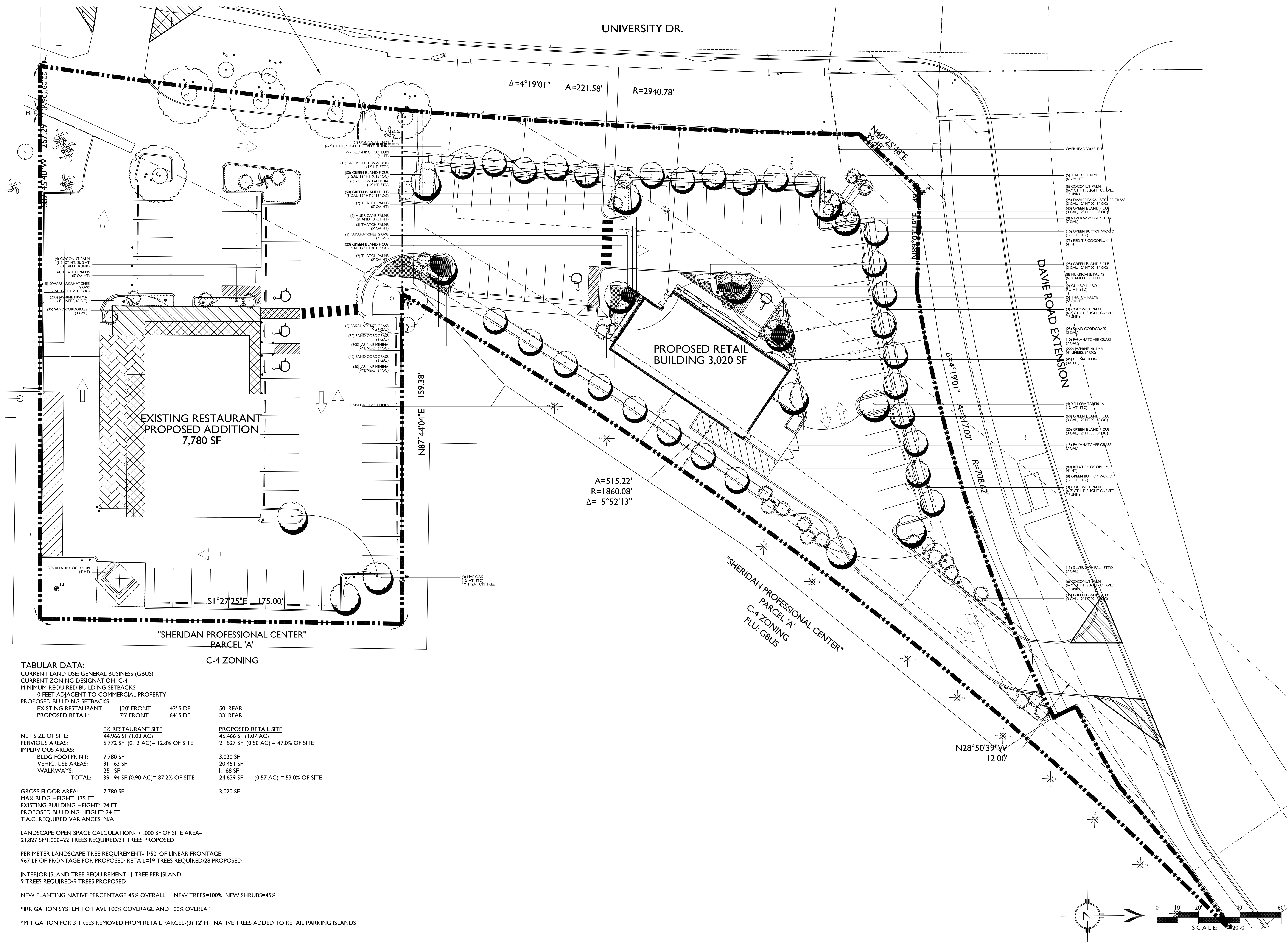
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DRAWN BY: MX / JB

MSP-1

DATE:  
05 APRIL 2017





**TABULAR DATA:**

CURRENT LAND USE: GENERAL BUSINESS (GBUS)  
CURRENT ZONING DESIGNATION: C-4  
MINIMUM REQUIRED BUILDING SETBACKS:  
0 FEET ADJACENT TO COMMERCIAL PROPERTY

**PROPOSED BUILDING SETBACKS:**

EXISTING RESTAURANT:	120' FRONT	42' SIDE	50' REAR
PROPOSED RETAIL:	75' FRONT	64' SIDE	33' REAR

NET SIZE OF SITE:	EX RESTAURANT SITE	PROPOSED RETAIL SITE
PERVIOUS AREAS:	44,966 SF (1.03 AC)	46,466 SF (1.07 AC)
IMPERVIOUS AREAS:	5,772 SF (0.13 AC)= 12.8% OF SITE	21,827 SF (0.50 AC) = 47.0% OF SITE
BLDG FOOTPRINT:	7,780 SF	3,020 SF
VEHIC. USE AREAS:	31,163 SF	20,451 SF
WALKWAYS:	251 SF	1,168 SF
TOTAL:	39,194 SF (0.90 AC)= 87.2% OF SITE	24,639 SF (0.57 AC) = 53.0% OF SITE

GROSS FLOOR AREA:	7,780 SF	3,020 SF
MAX. BLDG HEIGHT: 175 FT.		
EXISTING BUILDING HEIGHT: 24 FT		
PROPOSED BUILDING HEIGHT: 24 FT		
T.A.C. REQUIRED VARIANCES: N/A		

LANDSCAPE OPEN SPACE CALCULATION-1/1,000 SF OF SITE AREA=  
21,827 SF/1,000=22 TREES REQUIRED/31 TREES PROPOSED

PERIMETER LANDSCAPE TREE REQUIREMENT- 1/50' OF LINEAR FRONTAGE=  
967 LF OF FRONTAGE FOR PROPOSED RETAIL=19 TREES REQUIRED/28 PROPOSED

INTERIOR ISLAND TREE REQUIREMENT- 1 TREE PER ISLAND  
9 TREES REQUIRED/9 TREES PROPOSED

NEW PLANTING NATIVE PERCENTAGE=45% OVERALL NEW TREES=100% NEW SHRUBS=45%

\*IRRIGATION SYSTEM TO HAVE 100% COVERAGE AND 100% OVERLAP

\*MITIGATION FOR 3 TREES REMOVED FROM RETAIL PARCEL-(3) 12' HT NATIVE TREES ADDED TO RETAIL PARKING ISLANDS

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PROPOSED LANDSCAPE PLAN

FLANIGAN'S BIGDADDY'S #19  
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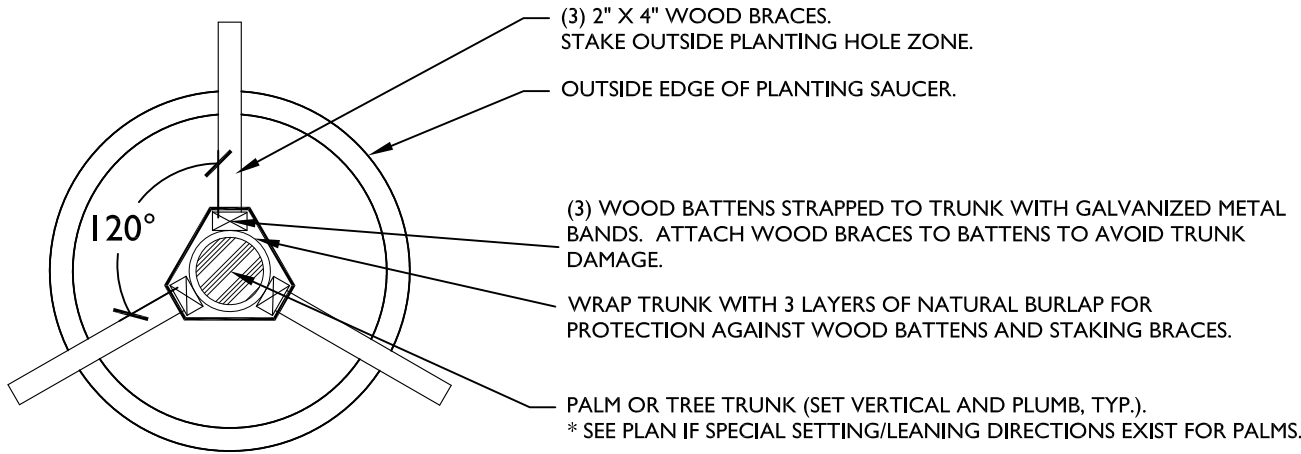
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DATE:  
24 APRIL 2017



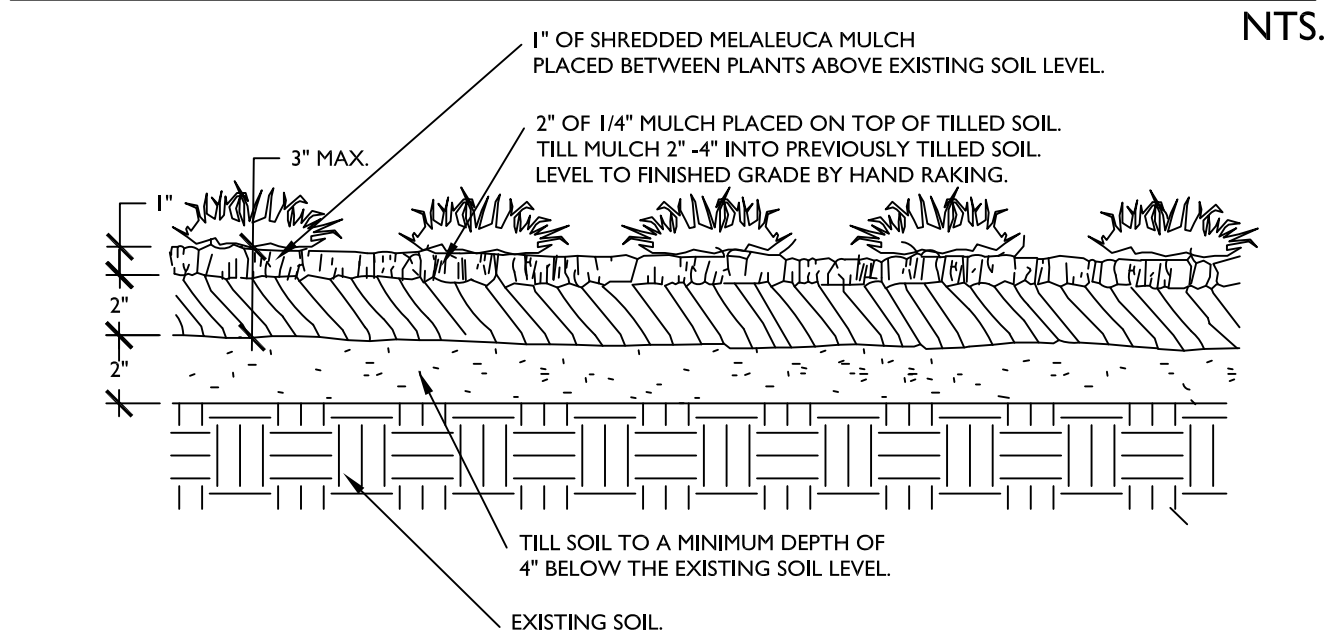
SMALL PALM STAKING PLAN

NOTE:  
1. APPLICABLE TO ALL PALMS WITH CALIPER SIZE OF LESS THAN SIX (6) INCHES.  
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.



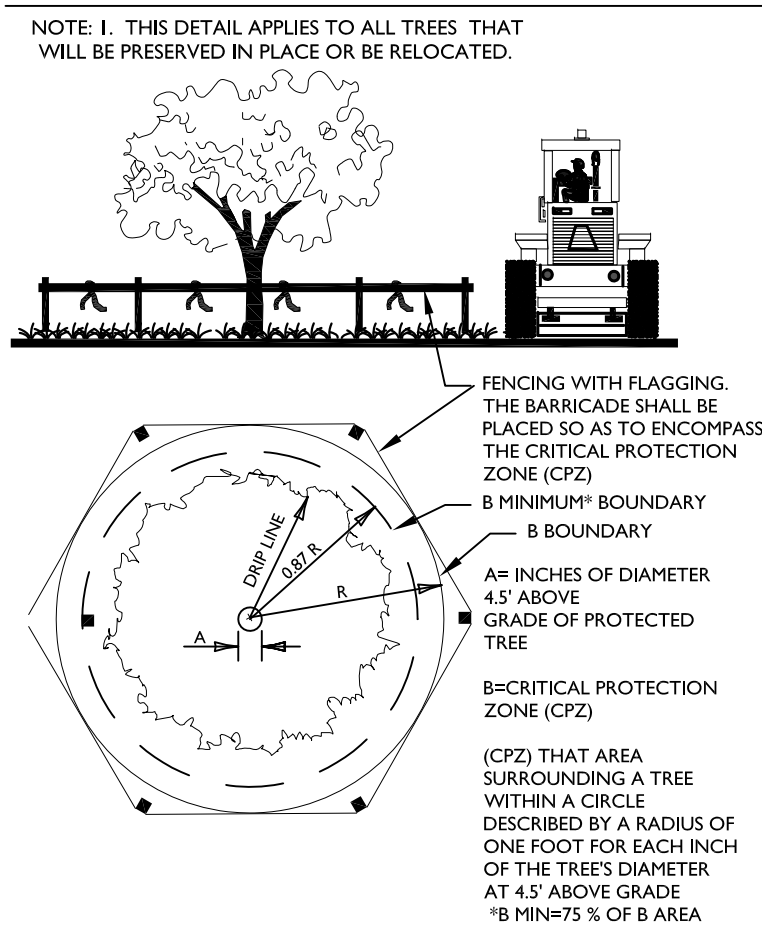
NTS.

GROUNDCOVER DETAIL



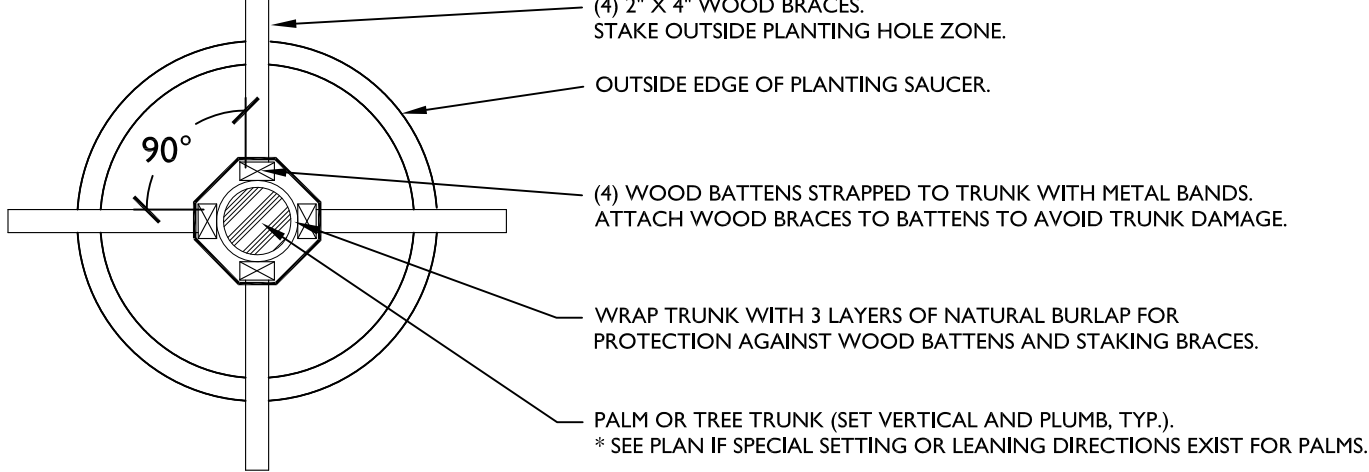
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TREE PROTECTION DETAIL



LARGE PALM OR TREE STAKING PLAN

NOTE:  
1. APPLICABLE TO ALL MULTI-TRUNK PALMS AND PALMS WITH CALIPER SIZE OF SIX (6) INCHES OR GREATER  
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.



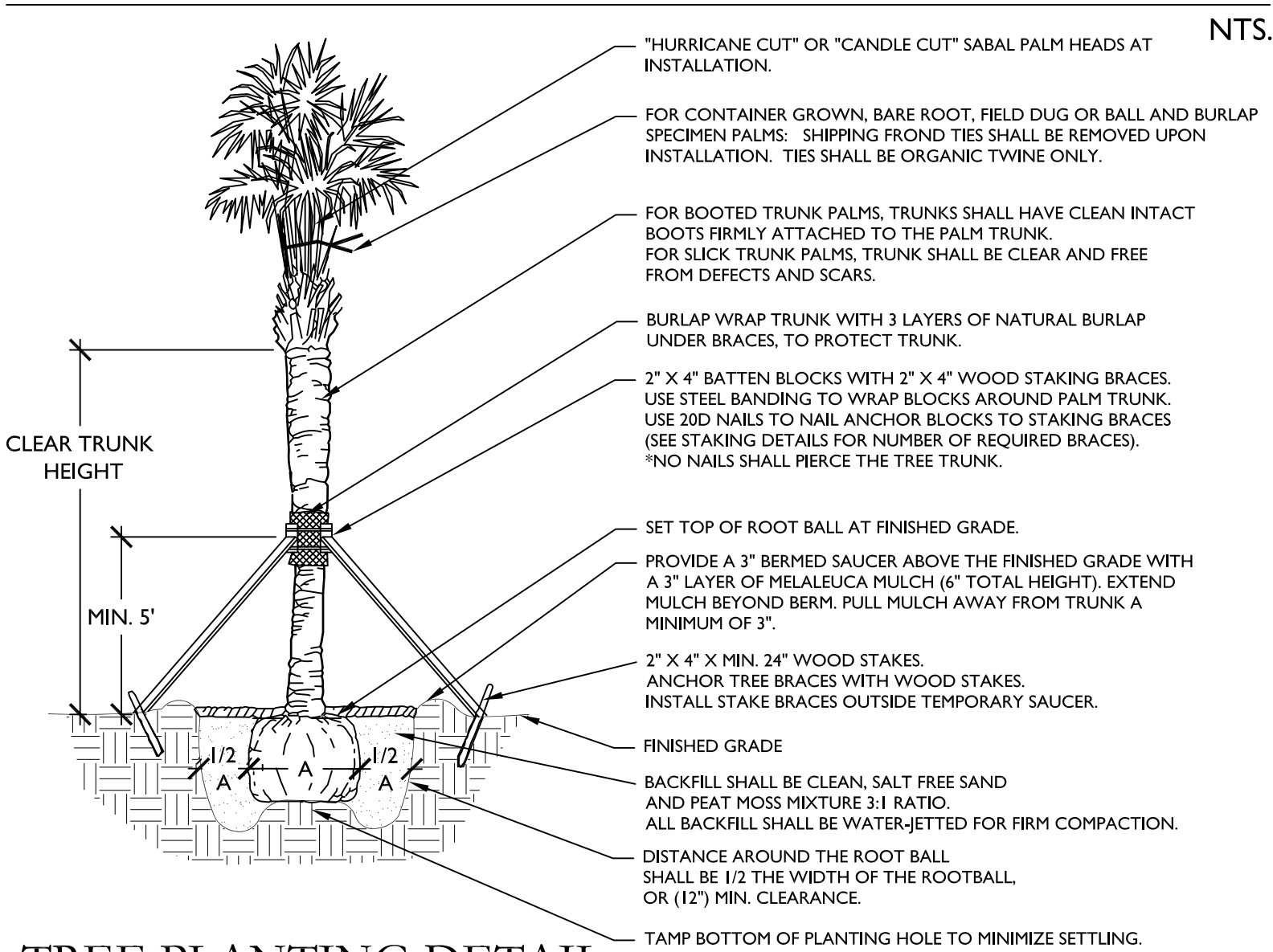
NTS.

PLANT SPACING DETAIL

SPACING "D"	ROW "A"	PLANT SPACING CHART
6" O.C.	5.2"	
8" O.C.	6.93"	
10" O.C.	8.66"	
12" O.C.	10.4"	
18" O.C.	15.6"	
24" O.C.	20.8"	
30" O.C.	26.0"	
36" O.C.	31.2"	
48" O.C.	41.6"	

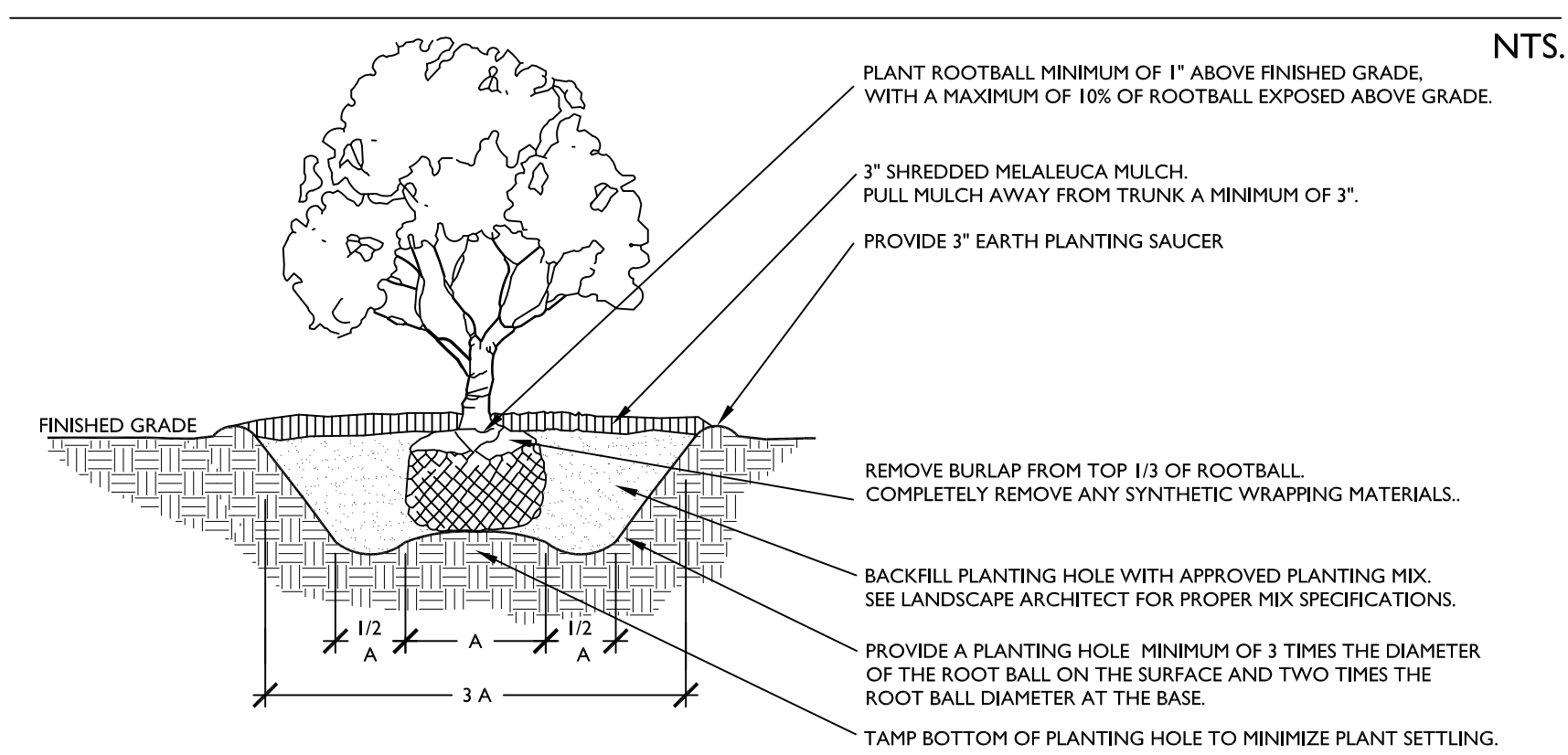
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PALM PLANTING DETAIL



NTS.

SHRUB PLANTING DETAIL

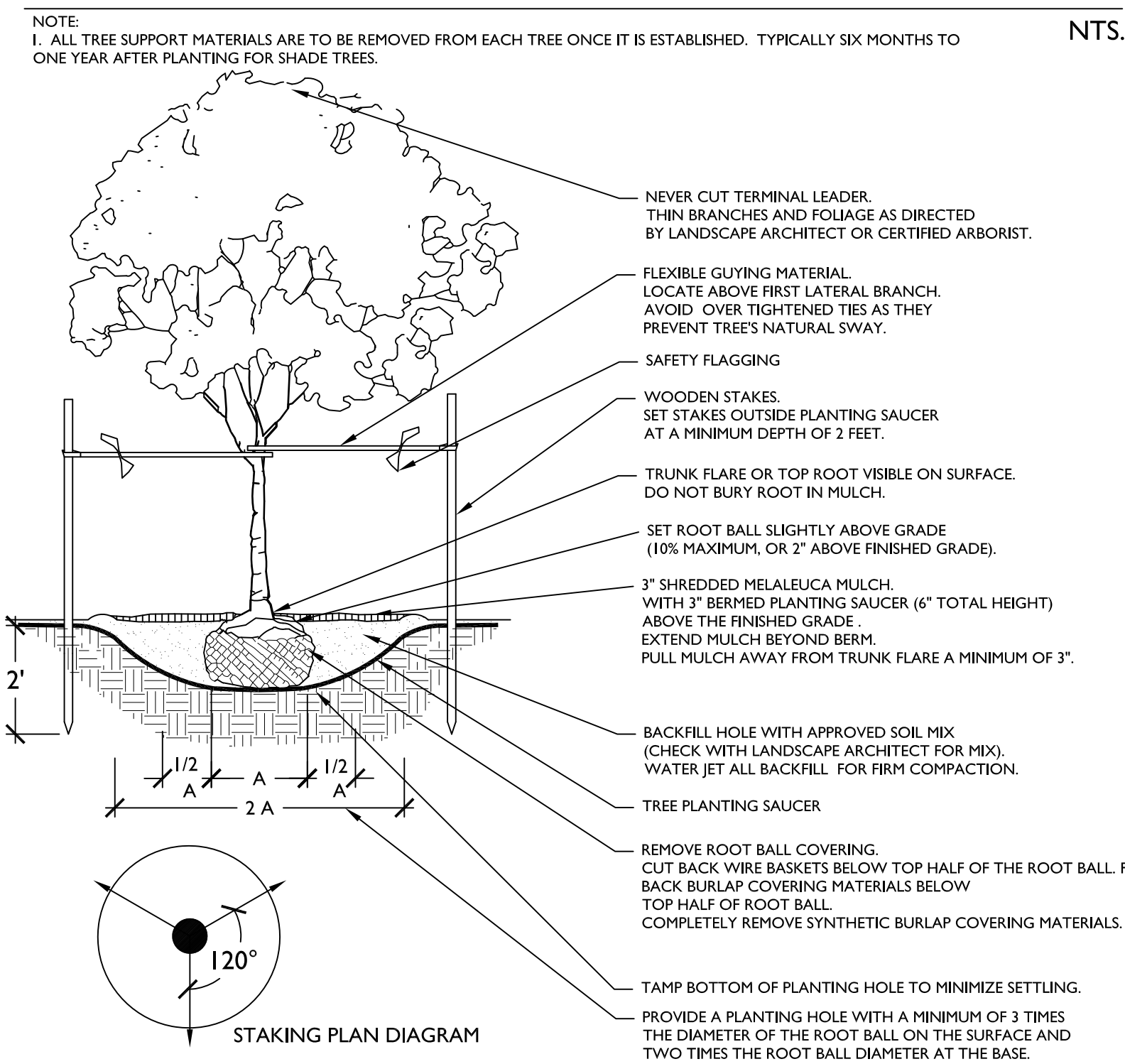


NTS.

LANDSCAPE SCHEDULE

QTY	COMMON NAME	BOTANICAL NAME	SIZE	NATIVE Y/N
2	GUMBO LIMBO	BURSERA SIMARUBA	12' HT, STD	Y
10	YELLOW TABEUBIA	TABEUBIA SERRATIFOLIA	12' HT, STD	Y
29	GREEN BUTTONWOOD	CONCOCARPUS ERECTUS	12' HT, STD	Y
3	LIVE OAK	QUERCUS VIRGINIANA	12' HT, STD	Y
PALMS:				
28	COCONUT PALM	COCOS NUCIFERA	6-7' CT HT	N
10	HURRICANE PALM	DICTOSPERMA ALBUM	8' CT HT	N
SHRUBS:				
23	SILVER SAW PALMETTO	SERONA REPENS	7 GAL, 48" HT	Y
45	SMALL-LEAF CLUSIA	CLUSIA GUTTIFERA	30" HT	Y
270	RED TIP COCOPLUM	CHRYSOBALANUS ICACO 'RED TIP'	48" HT	Y
36	FAKAHATCHEE GRASS	TRIPSACUM DACTYLOIDES	7 GAL, 36" HT	Y
130	SAND CORDGRASS	SPARTINA BAKERI	3 GAL, 24" HT	Y
ACCENT:				
21	FLORIDA THATCH PALM	THRINAX RADIATA	5' OA HT	Y
GROUNDCOVERS				
25	DWARF FAKAHATCHEE GRASS	TRIPSACUM FLORIDANA	3 GAL, 12" HT, 18" O.C.	Y
255	GREEN ISLAND FICUS	FICUS MICROCARPA 'GREEN ISLAND'	3 GAL, 12 HT, 18" O.C.	Y
650	JASMINE MINIMA	TRACHELOSPERMUM ASIATICUM 'MINIMA'	4" LINERS, 6" OC	N

TREE PLANTING DETAIL



NTS.

LANDSCAPE NOTES:

1. STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
2. CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
3. TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
4. ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
5. ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
6. ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHTS (FPLS) RIGHT TREE RIGHT PLACE GUIDELINES.
7. IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
8. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
9. REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
10. RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.
11. LOCATION OF PROPOSED ROYAL PALMS BASED ON PROPERTY OWNER'S PREFERENCE. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE INCURRED TO AUTOMOBILES OR OTHER PERSONAL PROPERTY DUE TO FALLING FRONDS.
12. NO PETROCHEMICAL FERTILIZERS OR PESTICIDES SHALL BE USED FOR THE OPERATION AND MAINTENANCE OF ANY LANDSCAPE



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LANDSCAPE PLAN DETAILS & SPECIFICATIONS

FLANIGAN'S BIGDADDY'S #19

2505 N. UNIVERSITY DRIVE

HOLLYWOOD, FL 33024

SEAL:

JONATHAN BURGESS  
LICENSE # LA6667220

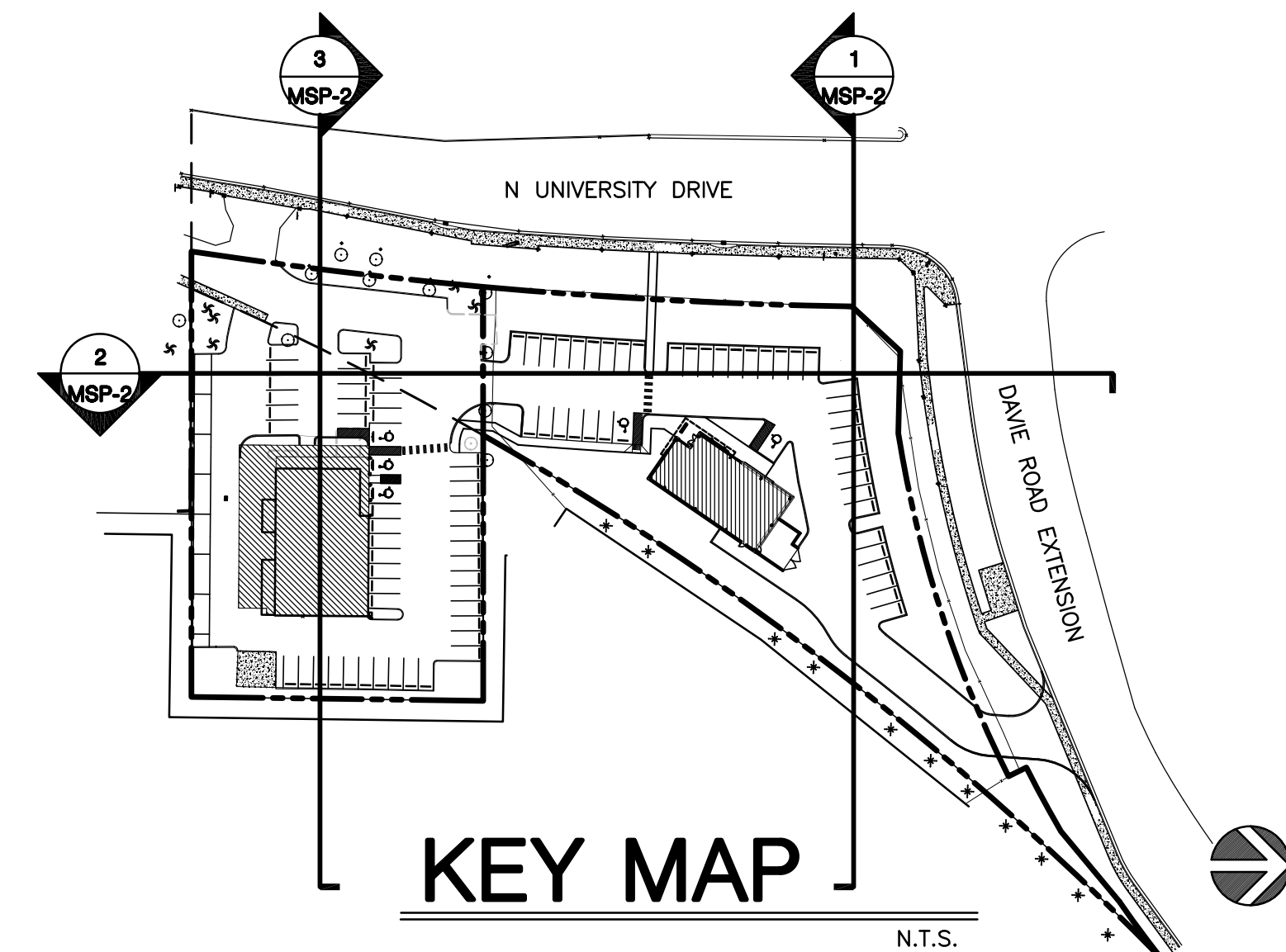
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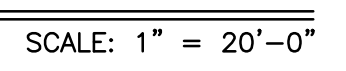

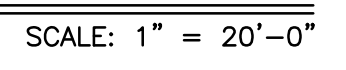
LP-2

DATE:  
24 APRIL 2017





SCALE: 1" = 20'-0"

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[illegible]

PROPOSED SITE DEVELOPMENT FOR  
**FLANIGAN'S BIGDADDY'S #19**  
2505 N UNIVERSITY DRIVE  
HOLLYWOOD, FLORIDA 33024

ANDREW MORGAN SERVICES, P.E.  
513 US HIGHWAY 1, SUITE 109,  
NORTH PALM BEACH FL 33408  
TELEPHONE: 561-881-8999  
COA# 26093  
FLORIDA REGISTRATION #57171  
DATE:

DATE 06-08-17
SCALE 1/4" = 1'-0"
DRAWN JAO
JOB 16-000051
SHEET

AB-1

OF 2 SHEETS





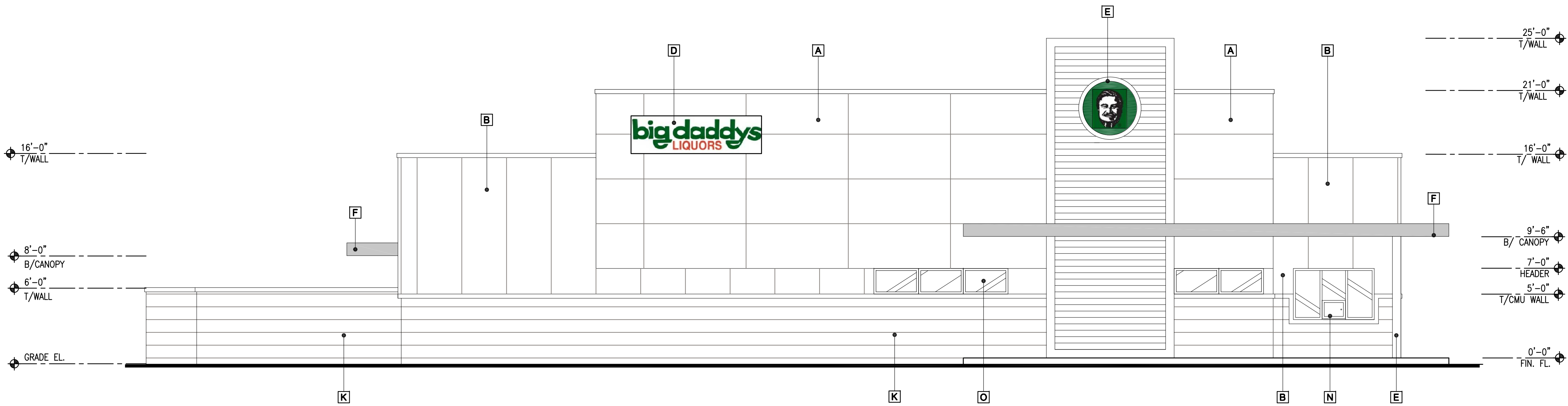


MATERIALS & COLOR SCHEDULE			
MARK	DESCRIPTION	MATERIAL	COLOR
A	PRE-ENGINEERED WALL PANEL W/ STUCCO FINISH	PRE-ENGINEERED METAL PANEL SYSTEM	SOLAR WHITE
B	PRE-ENGINEERED INSULATED METAL WALL PANEL	INSULATED PANEL SYSTEM	ASH GRAY
C	PRE-ENGINEERED ROOF SYSTEM	METAL	GALVALUME
D	STORE SIGN	METAL FRAME W/ PLEXI - FRONT	DARK GRAY FRAME W/ DARK GREEN LETTERS ON WHITE BACKGROUND
E	SIGN ON VERTICAL PANEL	STEEL FRAME/ WOOD INFILL	DARK GRAY STEEL FRAME W/ RECLAIMED NATURAL WOOD INFILL PANELS
F	METAL ENTRANCE CANOPY	METAL	MESCO CLASSIC DARK GREEN
G	GUTTER	METAL	MESCO ASH GRAY
H	DOWNSPOUTS	METAL	MESCO ASH GRAY
J	METAL WALK DOOR (OUTSWING)	INSULATED METAL DOOR	MESCO ASH GRAY
K	CMU W/ TEXTURED STUCCO FINISH	CMU W/STUCCO	CHARCOAL GRAY
M	IMPACT RATED STOREFRONT DOOR	ALUMINUM W/ GLASS	MFR. STD. CLEAR ANODIZED FRAMES MFR. STD. GRAY TINT GLASS
N	BULLET GUARD, BULLET PROOF GLASS & PACKAGE EXCHANGE	ALUMINUM W/ GLASS / PLEXI	MFR. STD. CLEAR ANODIZED FRAMES MFR. STD. GRAY TINT GLASS
O	IMPACT RATED WINDOW	ALUMINUM W/ GLASS	MFR. STD. CLEAR ANODIZED FRAMES MFR. STD. GRAY TINT GLASS
P			



PRELIMINARY SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



PRELIMINARY WEST ELEVATION

SCALE: 3/16" = 1'-0"

REVISIONS

BY

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PROPOSED SITE PLAN

FLANIGAN'S BIGDADDY'S #19

2505 N UNIVERSITY DRIVE  
HOLLYWOOD, FLORIDA 33024

ANDREW MORAN, SERVICES, P.E.  
CIVIL ENGINEER  
NORTH PALM BEACH, FL 33408  
TELEPHONE: 561-881-8999  
FLORIDA REGISTRATION #57171

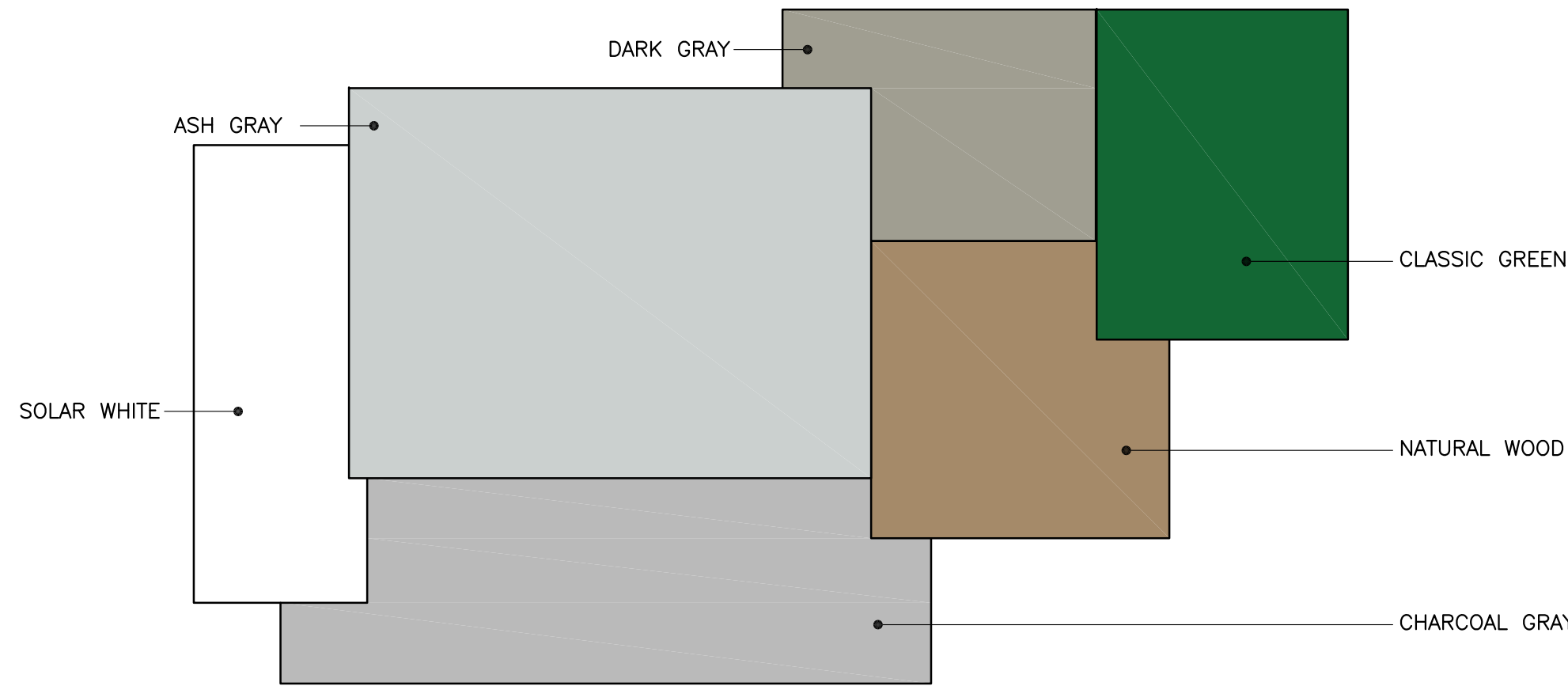
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DRAWN: JAO  
JOB: 16-000051  
SHEET: AB-2

OF 2 SHEETS



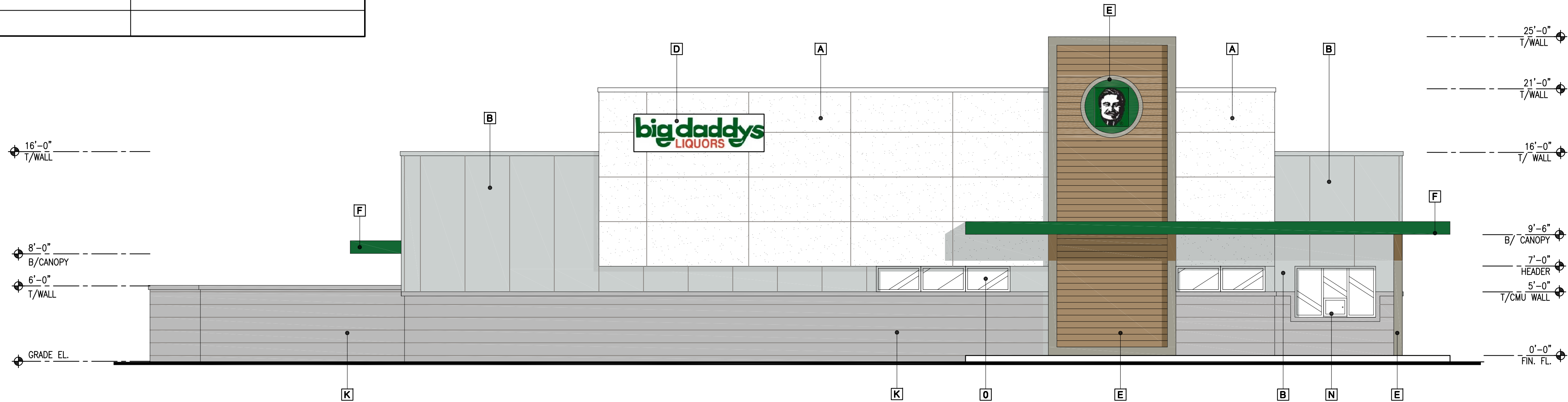






COLOR SHIPS

MATERIALS & COLOR SCHEDULE			
MARK	DESCRIPTION	MATERIAL	COLOR
A	PRE-ENGINEERED WALL PANEL W/ STUCCO FINISH	PRE-ENGINEERED METAL PANEL SYSTEM	SOLAR WHITE
B	PRE-ENGINEERED INSULATED METAL WALL PANEL	INSULATED PANEL SYSTEM	ASH GRAY
C	PRE-ENGINEERED ROOF SYSTEM	METAL	GALVALUME
D	STORE SIGN	METAL FRAME W/ PLEXI - FRONT	DARK GRAY FRAME W/ DARK GREEN LETTERS ON WHITE BACKGROUND
E	SIGN ON VERTICAL PANEL	STEEL FRAME/ WOOD INFILL	DARK GRAY STEEL FRAME W/ RECLAIMED NATURAL WOOD INFILL PANELS
F	METAL ENTRANCE CANOPY	METAL	MESCO CLASSIC DARK GREEN
G	GUTTER	METAL	MESCO ASH GRAY
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O	IMPACT RATED WINDOW	ALUMINUM W/ GLASS	MFR. STD. CLEAR ANODIZED FRAMES MFR. STD. GRAY TINT GLASS
P			



PRELIMINARY WEST ELEVATION



PRELIMINARY SOUTH ELEVATION

REVISIONS

BY

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PROPOSED SITE PLAN

FLANIGAN'S BIGDADDY'S #19

2505 N UNIVERSITY DRIVE

HOLLYWOOD, FLORIDA 33024

DATE  
06-08-17

SCALE  
3/16" = 1'-0"

DRAWN  
JAO

JOB  
16-000051

SHEET  
AB-2C

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Architectural elevation drawing of the rear of a building. The drawing shows a long, low structure with a flat roof and a series of vertical panels. A small, dark, rectangular feature is visible on the roof. The drawing includes vertical dimension lines on the left and right sides, indicating heights from the finished floor (FIN. FLR.) to various levels: 0'-0" (FIN. FLR.), 9'-6" (B/CANOPY), 13'-0" (L/EAVE), 16'-0" (T/PARAPET), 21'-0" (T/WALL), and 25'-0" (T/WALL). Callout letters A through K are placed throughout the drawing to identify specific features. A legend on the right side of the drawing defines the symbols for the canopy, header, and wall.

Vertical Dimensions (Left Side):

- 25'-0" T/WALL
- 21'-0" T/WALL
- 16'-0" T/PARAPET
- 13'-0" L/EAVE
- 9'-6" B/CANOPY
- 0'-0" FIN. FLR.

Vertical Dimensions (Right Side):

- 8'-0" B/CANOPY
- 7'-0" HEADER
- 6'-0" T/WALL
- 0'-0" FIN. FLR.

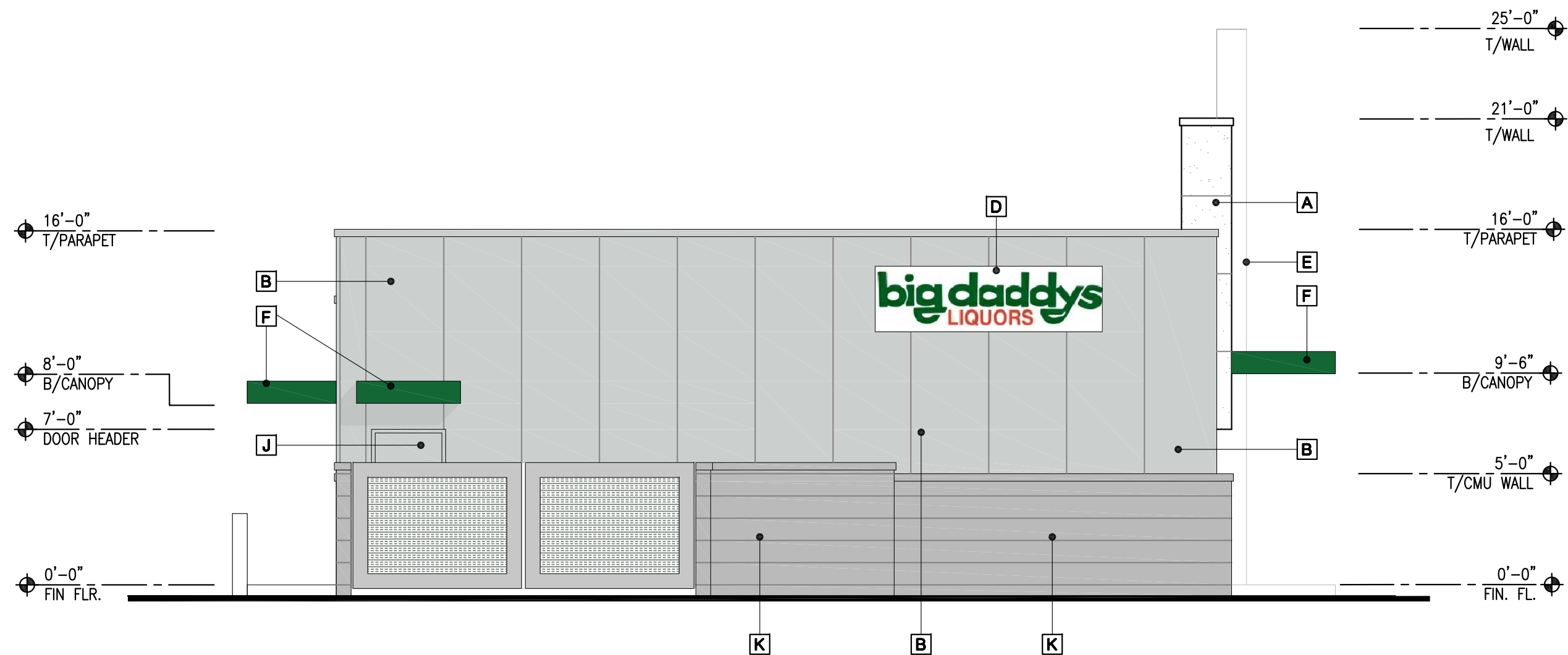
Callout Letters:

- A: Small dark rectangular feature on the roof.
- B: Vertical panel.
- C: Small dark rectangular feature on the roof.
- D: Small dark rectangular feature on the roof.
- E: Small dark rectangular feature on the roof.
- F: Small dark rectangular feature on the roof.
- G: Small dark rectangular feature on the roof.
- H: Small dark rectangular feature on the roof.
- I: Small dark rectangular feature on the roof.
- J: Small dark rectangular feature on the roof.
- K: Small dark rectangular feature on the roof.

Legend:

- B/CANOPY: 8'-0"
- HEADER: 7'-0"
- T/WALL: 6'-0"

# PRELIMINARY EAST ELEVATION



## PRELIMINARY NORTH ELEVATION







MATERIALS & COLOR SCHEDULE			
MARK	DESCRIPTION	MATERIAL	COLOR
A	PRE-ENGINEERED WALL PANEL W/ STUCCO FINISH	PRE-ENGINEERED METAL PANEL SYSTEM	SOLAR WHITE
B	PRE-ENGINEERED INSULATED METAL WALL PANEL	INSULATED PANEL SYSTEM	ASH GRAY
C	PRE-ENGINEERED ROOF SYSTEM	METAL	GALVALUME
D	STORE SIGN	METAL FRAME W/ PLEXI - FRONT	DARK GRAY FRAME W/ DARK GREEN LETTERS ON WHITE BACKGROUND
E	SIGN ON VERTICAL PANEL	STEEL FRAME/ WOOD INFILL	DARK GRAY STEEL FRAME W/ RECLAIMED NATURAL WOOD INFILL PANELS
F	METAL CANOPY	METAL STANDING SEAM	MESCO CLASSIC DARK GREEN
G	NOT USED		
H	NOT USED		
J	METAL WALK DOOR (OUTSWING)	INSULATED METAL DOOR	MESCO SOLAR WHITE
K	CMU W/ TEXTURED STUCCO FINISH	CMU W/STUCCO	SOLAR WHITE
M	NOT USED		
N	NOT USED		
O	NANA WALL GLASS DOOR SYSTEM	ALUMINUM W/ GLASS	BRUSHED ALUMINUM FRAME W/ GRAY GLASS
P	VERTICAL WOOD PANEL SCREEN	RECLAIMED WOOD	NATURAL WOOD
Q	STEEL STRUCTURAL FRAME	STRUCTURAL STEEL	DARK GRAY
R	ALUMINUM RAILING	ALUMINUM	DARK GREEN
S	STRUCTURAL WOOD COLUMN	P.T. WOOD	NATURAL WOOD
T	WOOD FRAME RAILING	P.T. WOOD	NATURAL WOOD
U	4"x4" ROPE NET RAILING W/ WOOD FRAME	WHITE ROPE & WOOD	WHITE & NATURAL WOOD
V	PIPE BOLLARDS	STEEL	PAINT SAFETY YELLOW
X	CANVAS AWNING W/ ALUMINUM FRAME	CANVAS & ALUMINUM	DARK GREEN & WHITE
Y	PAINTED TEXTURE COMPOSITE BAND		DARK GREEN



## PRELIMINARY NORTH ELEVATION

[illegible]

**AHRENS  
COMPANIES**  
DESIGN/BUILD • GENERAL CONSTRUCTION

E: (561) 863-9004 LICENSE: #CB0006515 #AZ600000  
1461 KINETIC ROAD, LAKE PARK, FL 33433-1911

PROPOSED SITE PLAN  
**FLANIGAN'S BIGDADDY'S #19**  
2505 N UNIVERSITY DRIVE  
HOLLYWOOD, FLORIDA 33024

ANDREW MORGAN SERVICES, P.E.  
513 US HIGHWAY 1, SUITE 109,  
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COA# 26093  
FLORIDA REGISTRATION #57171  
DATE:

DATE 06-08-17
SCALE AS SHOWN
DRAWN JAO
JOB 16-000051
SHEET

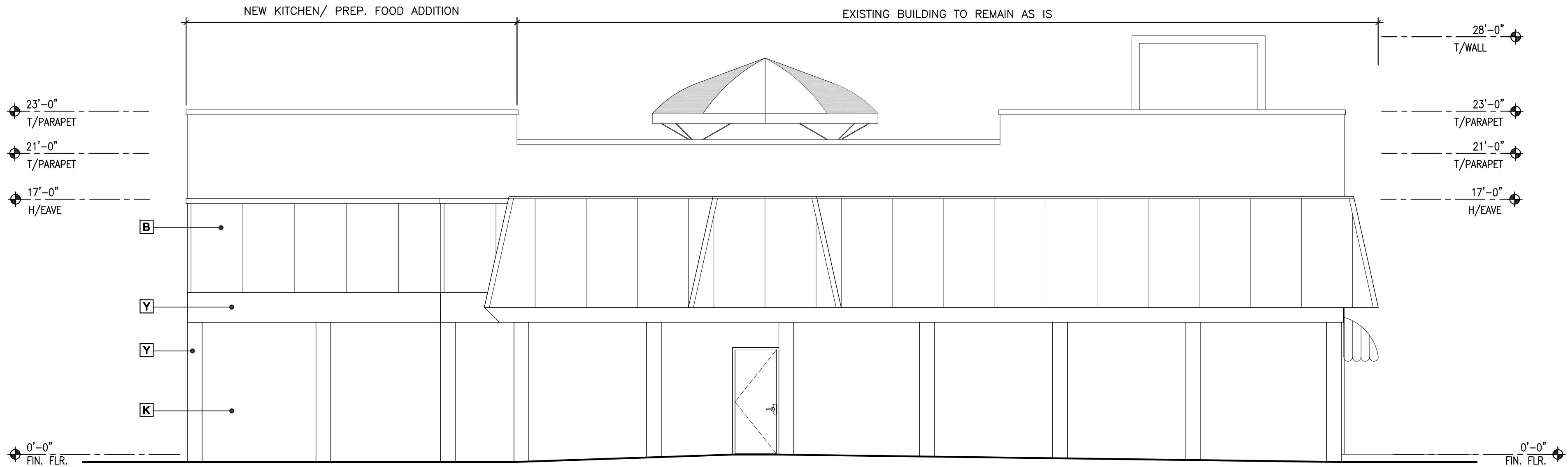
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OF TOTAL-SHEETS SHEETS

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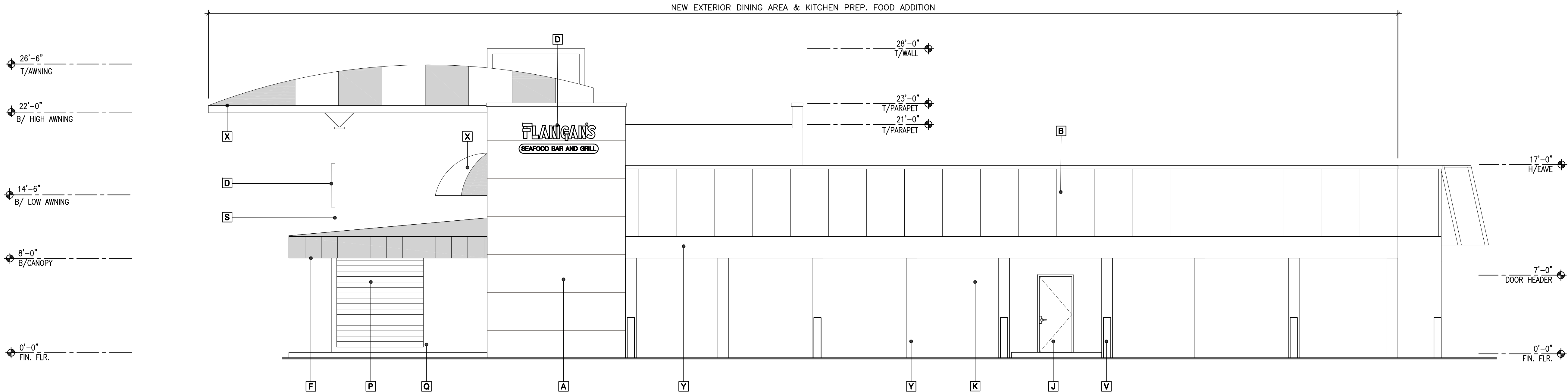


MATERIALS & COLOR SCHEDULE			
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D	STORE SIGN	METAL FRAME W/ PLEXI - FRONT	DARK GRAY FRAME W/ DARK GREEN LETTERS ON WHITE BACKGROUND
E	SIGN ON VERTICAL PANEL	STEEL FRAME/ WOOD INFILL	DARK GRAY STEEL FRAME W/ RECLAIMED NATURAL WOOD INFILL PANELS
F	METAL CANOPY	METAL STANDING SEAM	MESCO CLASSIC DARK GREEN
G	NOT USED		
H	NOT USED		
J	METAL WALK DOOR (OUTSWING)	INSULATED METAL DOOR	MESCO SOLAR WHITE
K	CMU W/ TEXTURED STUCCO FINISH	CMU W/STUCCO	SOLAR WHITE
M	NOT USED		
N	NOT USED		
O	NANA WALL GLASS DOOR SYSTEM	ALUMINUM W/ GLASS	BRUSHED ALUMINUM FRAME W/ GRAY GLASS
P	VERTICAL WOOD PANEL SCREEN	RECLAIMED WOOD	NATURAL WOOD
Q	STEEL STRUCTURAL FRAME	STRUCTURAL STEEL	DARK GRAY
R	ALUMINUM RAILING	ALUMINUM	DARK GREEN
S	STRUCTURAL WOOD COLUMN	P.T. WOOD	NATURAL WOOD
T	WOOD FRAME RAILING	P.T. WOOD	NATURAL WOOD
U	4"x4" ROPE NET RAILING W/ WOOD FRAME	WHITE ROPE & WOOD	WHITE & NATURAL WOOD
V	PIPE BOLLARDS	STEEL	PAINT SAFETY YELLOW
X	CANVAS AWNING W/ ALUMINUM FRAME	CANVAS & ALUMINUM	DARK GREEN & WHITE
Y	PAINTED TEXTURE COMPOSITE BAND		DARK GREEN



PRELIMINARY EAST ELEVATION

SCALE: 3/16" = 1'-0"



PRELIMINARY SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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BY

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1461 KINETIC ROAD, LAKE PARK, FL 33403-1911

PROPOSED SITE PLAN

FLANIGAN'S BIGDADDY'S #19

2505 N UNIVERSITY DRIVE

HOLLYWOOD, FLORIDA 33024

ANDREW MORGAN SERVICES, P.C.  
513 US HIGHWAY SUITE 109  
NORTH PALM BEACH, FL 33408  
TELEPHONE: 561-881-8999  
FLORIDA REGISTRATION #57171  
DATE:

DATE  
06-08-17

SCALE  
AS SHOWN

DRAWN  
JAO

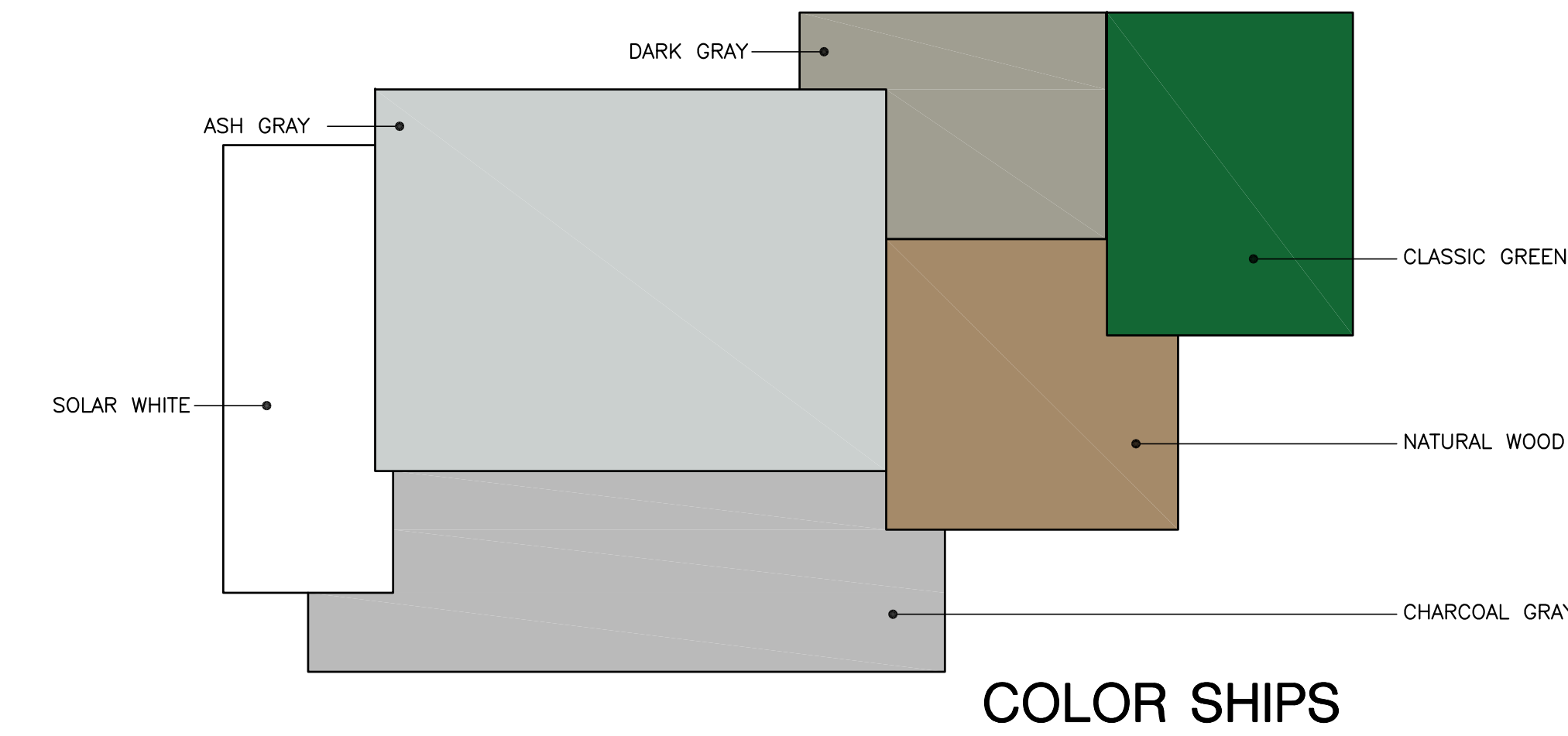
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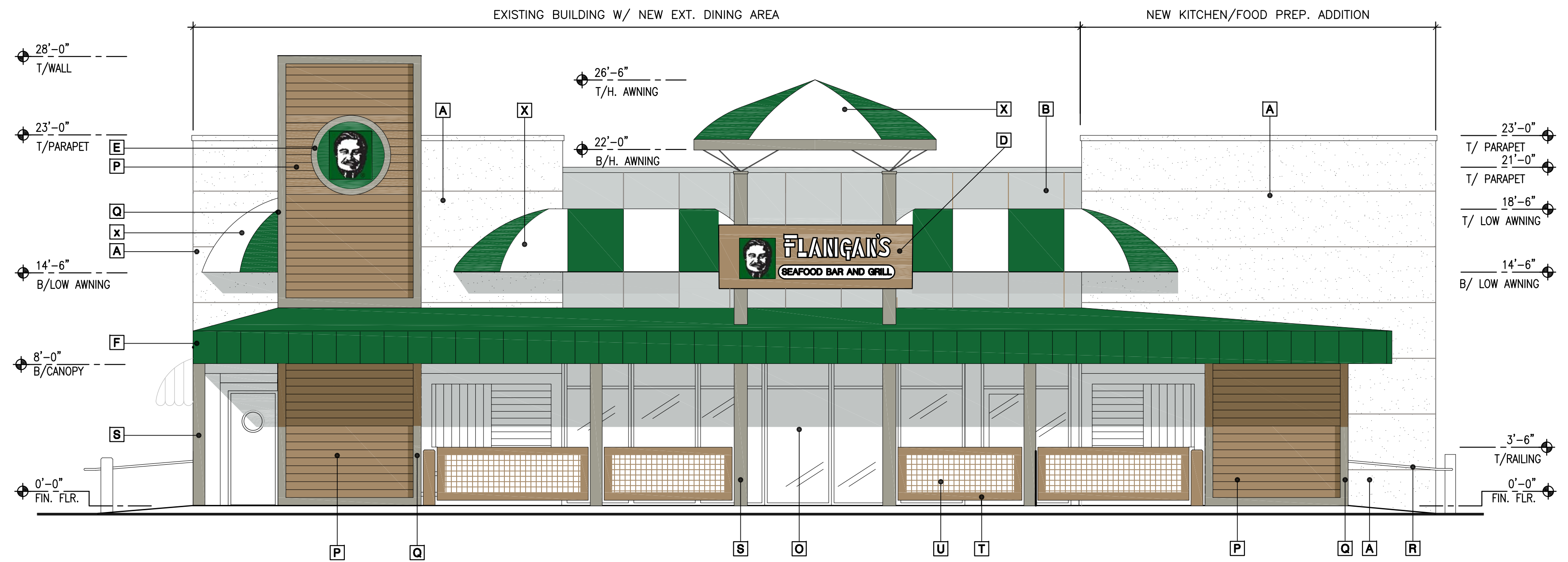
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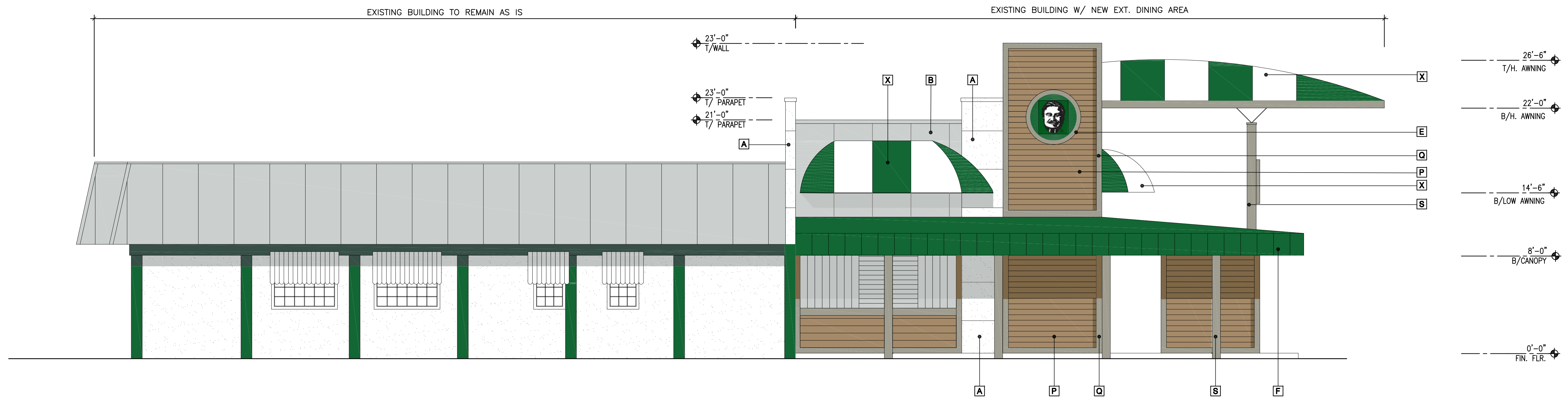




MATERIALS & COLOR SCHEDULE			
MARK	DESCRIPTION	MATERIAL	COLOR
A	PRE-ENGINEERED WALL PANEL W/ STUCCO FINISH	PRE-ENGINEERED METAL PANEL SYSTEM	SOLAR WHITE
B	PRE-ENGINEERED INSULATED METAL WALL PANEL	INSULATED PANEL SYSTEM	ASH GRAY
C	PRE-ENGINEERED ROOF SYSTEM	METAL	GALVALUME
D	STORE SIGN	METAL FRAME W/ PLEXI -- FRONT	DARK GRAY FRAME W/ DARK GREEN LETTERS ON WHITE BACKGROUND
E	SIGN ON VERTICAL PANEL	STEEL FRAME/ WOOD INFILL	DARK GRAY STEEL FRAME W/ RECLAIMED NATURAL WOOD INFILL PANELS
F	METAL CANOPY	METAL STANDING SEAM	MESCO CLASSIC DARK GREEN
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H	NOT USED		
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M	NOT USED		
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O	NANA WALL GLASS DOOR SYSTEM	ALUMINUM W/ GLASS	BRUSHED ALUMINUM FRAME W/ GRAY GLASS
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X	CANVAS AWNING W/ ALUMINUM FRAME	CANVAS & ALUMINUM	DARK GREEN & WHITE
Y	PAINTED TEXTURE COMPOSITE BAND		DARK GREEN

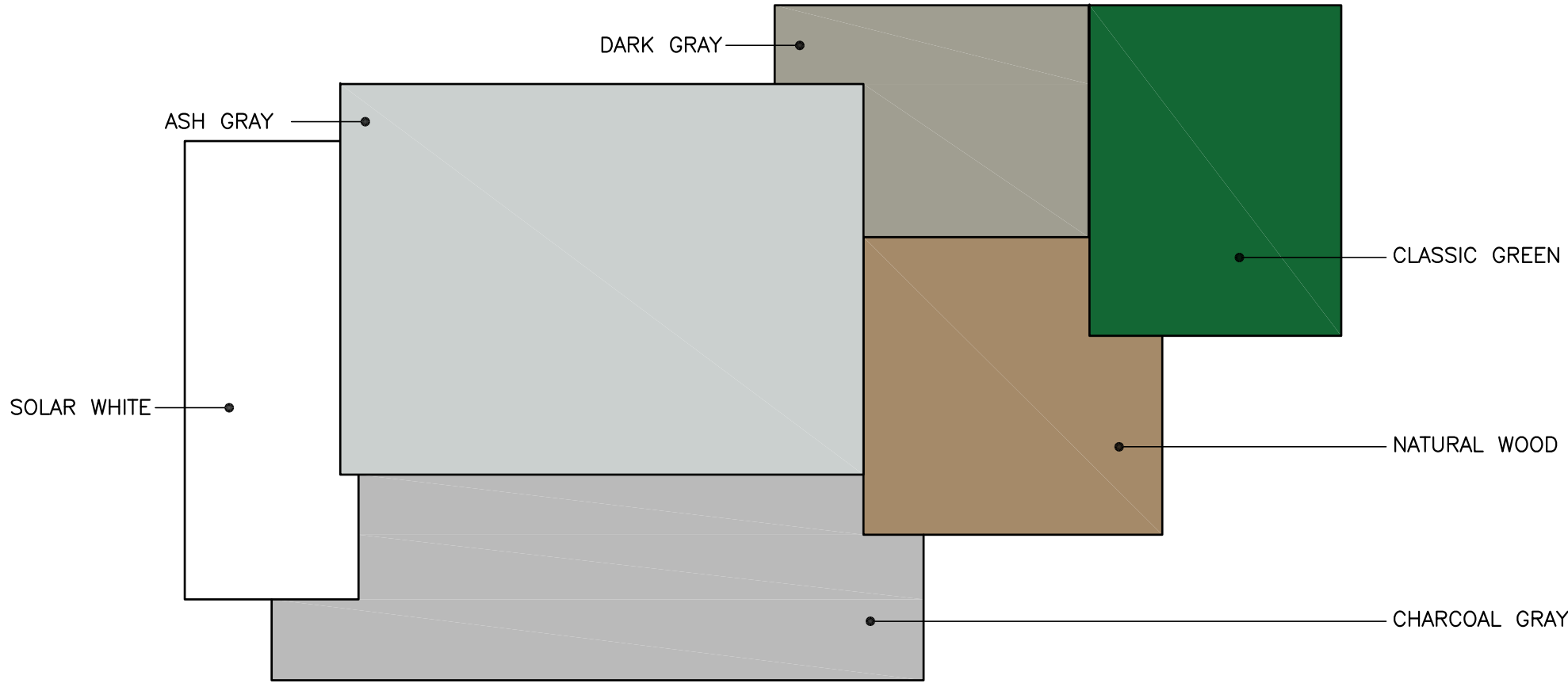


## PRELIMINARY WEST ELEVATION



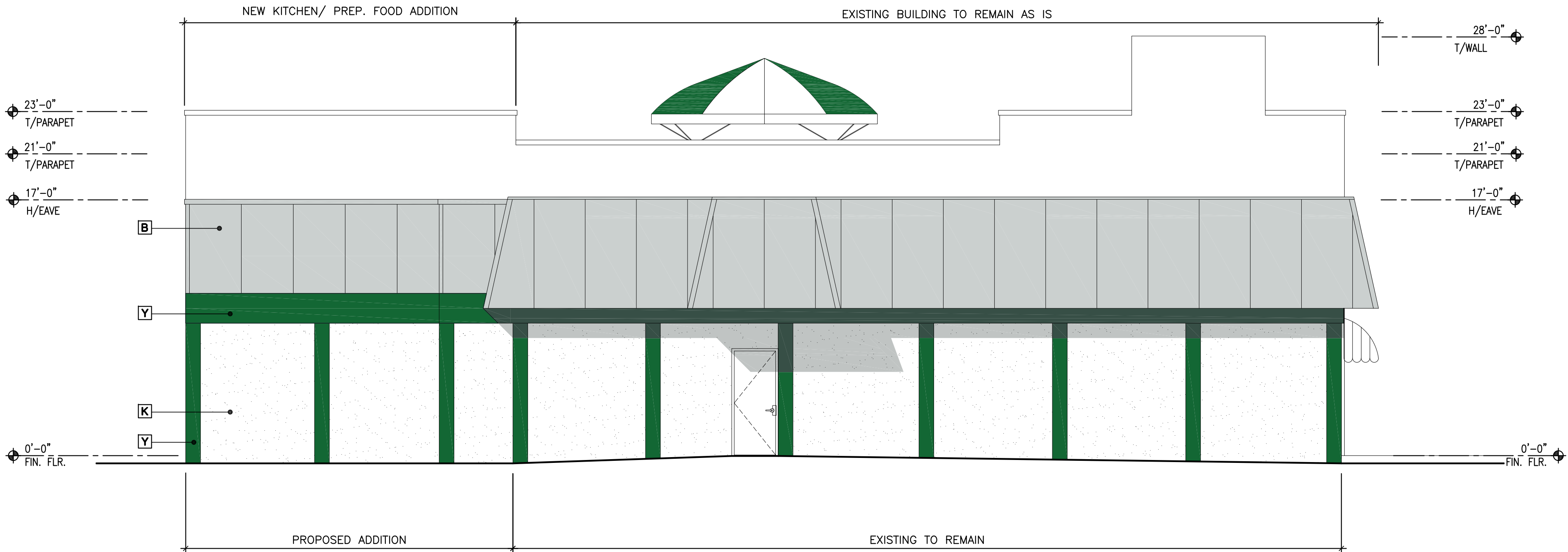
## PRELIMINARY NORTH ELEVATION





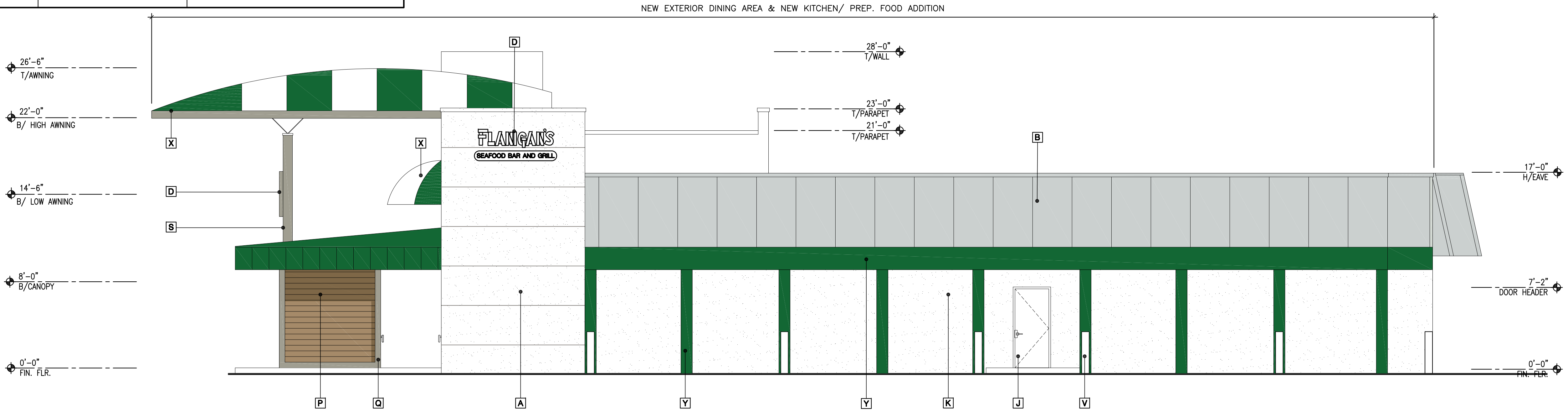
COLOR SHIPS

MATERIALS & COLOR SCHEDULE			
MARK	DESCRIPTION	MATERIAL	COLOR
A	PRE-ENGINEERED WALL PANEL W/ STUCCO FINISH	PRE-ENGINEERED METAL PANEL SYSTEM	SOLAR WHITE
B	PRE-ENGINEERED INSULATED METAL WALL PANEL	INSULATED PANEL SYSTEM	ASH GRAY
C	PRE-ENGINEERED ROOF SYSTEM	METAL	GALVALUME
D	STORE SIGN	METAL FRAME W/ PLEXI - FRONT	DARK GRAY FRAME W/ DARK GREEN LETTERS ON WHITE BACKGROUND
E	SIGN ON VERTICAL PANEL	STEEL FRAME/ WOOD INFILL	DARK GRAY STEEL FRAME W/ RECLAIMED NATURAL WOOD INFILL PANELS
F	METAL CANOPY	METAL STANDING SEAM	MESCO CLASSIC DARK GREEN
G	NOT USED		
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J	METAL WALK DOOR (OUTSWING)	INSULATED METAL DOOR	MESCO SOLAR WHITE
K	CMU W/ TEXTURED STUCCO FINISH	CMU W/STUCCO	SOLAR WHITE
M	NOT USED		
N	NOT USED		
O	NANA WALL GLASS DOOR SYSTEM	ALUMINUM W/ GLASS	BRUSHED ALUMINUM FRAME W/ GRAY GLASS
P	VERTICAL WOOD PANEL SCREEN	RECLAIMED WOOD	NATURAL WOOD
Q	STEEL STRUCTURAL FRAME	STRUCTURAL STEEL	DARK GRAY
R	ALUMINUM RAILING	ALUMINUM	DARK GREEN
S	STRUCTURAL WOOD COLUMN	P.T. WOOD	NATURAL WOOD
T	WOOD FRAME RAILING	P.T. WOOD	NATURAL WOOD
U	4"x4" ROPE NET RAILING W/ WOOD FRAME	WHITE ROPE & WOOD	WHITE & NATURAL WOOD
V	PIPE BOLLARDS	STEEL	PAINT SAFETY YELLOW
X	CANVAS AWNING W/ ALUMINUM FRAME	CANVAS & ALUMINUM	DARK GREEN & WHITE
Y	PAINTED TEXTURE COMPOSITE BAND		DARK GREEN



PRELIMINARY EAST ELEVATION

SCALE: 3/16" = 1'-0"



PRELIMINARY SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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OF TOTAL-SHEETS SHEETS