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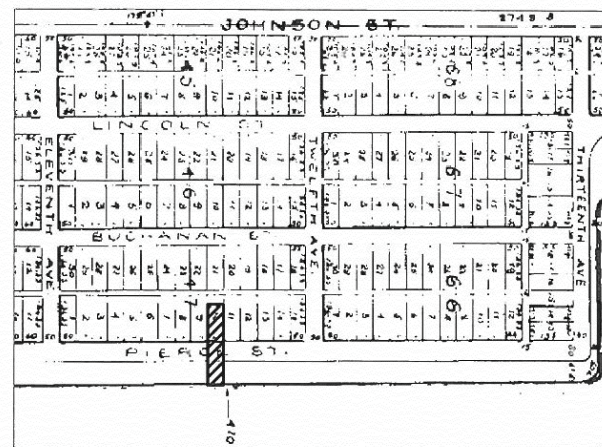
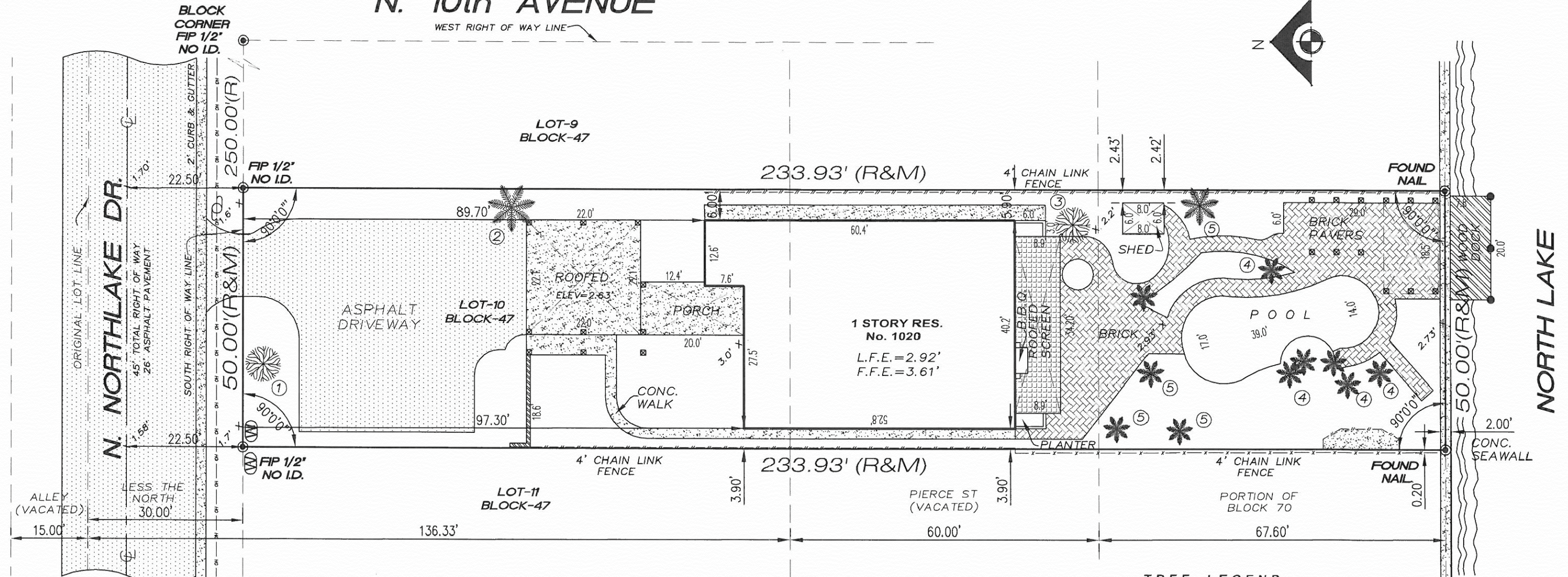
SURVEY

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# MAP OF BOUNDARY SURVEY

## N. 10th AVENUE



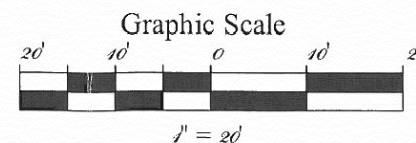
### LEGAL DESCRIPTION:

Lot 10 less the North 30 feet thereof in Block 47 of HOLLYWOOD LAKES SECTION, according to the Plat thereof, as recorded in Plat Book 1, at Page 32, of the Public Records of Broward County, Florida; also all that parcel of land described and bounded as follows: Being a part of Pierce Street and a part of Block 70, of HOLLYWOOD LAKES SECTION, bounded on the North by the South line of Lot 10, Block 47 of said subdivision, on the South by Block 71, otherwise described as North Lake said subdivision, on the East by the East line of Lot 10, Block 47, extended in a Southerly direction, and on the West by the West line of Lot 10, Block 47, extended in a Southerly direction, as shown on the Plat of HOLLYWOOD LAKES SECTION, recorded in Plat Book 1, at Page 32, of the Public Records of Broward County, Florida, being all that parcel of land lying South of Lot 10, Block 47, HOLLYWOOD LAKES SECTION, extending to the North lake in said subdivision; said lands situate, lying and being in Broward County, Florida.

### LOCATION MAP (NOT TO SCALE)



LEGEND OF SURVEY ABBREVIATIONS			
A/C = AIR CONDITIONING	F.N. = FOUND NAIL	B.C. = BLOCK CORNER	RAD. = RADIAL
A = ARC DISTANCE	F.I.P. = FOUND IRON PIPE	O/L = ON LINE	RES. = RESIDENTIAL
BLDG = BUILDING	F.N.D. = FOUND NAIL DISC	P.C. = POINT OF CURVATURE	R&M = RECORD & MEASURE
C.B. = CATCH BASIN	F.R. = FOUND REBAR	P.T. = POINT OF TANGENCY	R/W = RIGHT OF WAY
C.B.S. = CONCRETE BLOCK STRUCTURE	M.H. = MANN HOLE	P.B. = PLAT BOOK	SEC. = SECTION
CH. = CHOKED DISTANCE	L.P. = LIGHT POLE	P.C.P. = PERMANENT CONTROL POINT	S.I.P. = SET IRON PIPE NO. 5034
CL. = CLEAR	(M) = MEASURED	P.G. = PAGE	STY. = STORY
C.L.F. = CHAIN LINK FENCE	(R) = RECORD	B/C = BLOCK CORNER	SVK. = SIDEWALK
CONC. = CONCRETE	F.D.H. = FOUND DRILL HOLE	P/L = PROPERTY LINE	U.E. = UTILITY EASEMENT
D = CENTRAL ANGLE	M.L. = MONUMENT LINE	N.T.S. = NOT TO SCALE	W.F. = WOOD FENCE
F.H. = FIRE HYDRANT	NGVD = NATIONAL GEODETIC VERTICAL DATUM	R = RADIUS	



### TREE LEGEND

NAME	SCIENTIFIC	DIAMETER	HEIGHT	CANOPY
1 LIVE OAK	QUERCUS VIRGINIANA	20"	30'	30'
2 ROYAL PALM	ROYSTONEA REGIA	20"	20'	15'
3 BOTTLEBRUSH	CALLISTEMON SPP.	14"	8'	10'
4 PYGMY PALM	PHONIX ROEBELENI	6"	8'	6'
5 ROYAL PALM	ROYSTONEA REGIA	18"	60'	20'
6 COCONUT PALM	COCOS NUCIFERA	10"	40'	8'

FLOOD ZONE: WITHIN ZONE: AE  
ELEVATION: 5'  
COMMUNITY: 125113  
PANEL No.: 0569  
SUFFIX: H  
DATE: 08/18/2014

ORDER NO.: M-10862  
FIELD BOOK: "FILE"  
DATE: 03-10-2017  
UPDATE:  
UPDATE:

PROPERTY ADDRESS:  
1020 N. NORTH LAKE DR.  
HOLLYWOOD, FL. 33019

FOR: YAROSLAV FARBER SR.

I HEREBY CERTIFY: THAT THIS DRAWING REPRESENTS THE RESULT OF A SURVEY OF THE WITHIN DESCRIBED PROPERTY AND THIS DRAWING AND SAID SURVEY WERE PREPARED BY ME OR UNDER MY DIRECTION.  
THERE ARE NO ENCROACHMENTS UNLESS SHOWN THEREON.

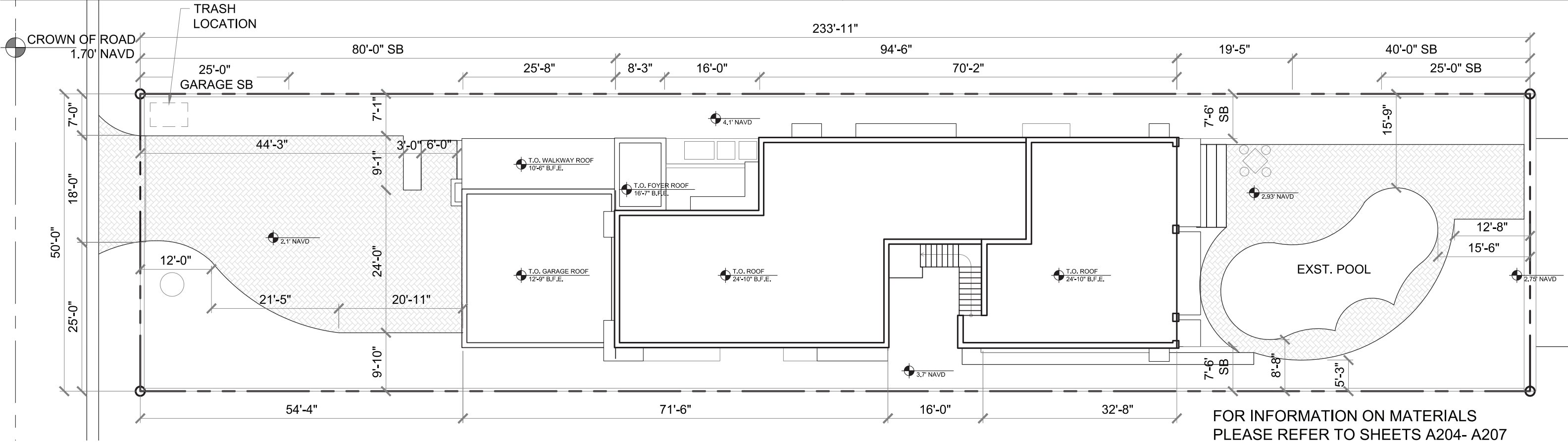
THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

NOTES:  
\* THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.  
\* EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS.  
\* LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.  
\* UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT AN ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS.  
\* NOT VISIBLE ENCROACHMENTS WERE FOUND ON THE PROPERTY, UNLESS SHOWN.  
\* IF SHOWN ELEVATIONS ARE REFERRED TO N.A.V.D. 1988  
\* BENCH MARK USED No. 1915, LOCATOR 14-51-42, WITH ELEVATION: 3.268'

NARCISO J. RAMIREZ  
PROFESSIONAL LAND SURVEYOR & MAPPER  
No. 2779  
STATE OF FLORIDA  
8341 SUNSET DRIVE  
MIAMI, FL. 33143  
TEL: (305) 596-0888 & (305) 596-0990  
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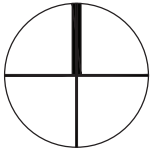
MUNICIPALITY: CITY OF HOLLYWOOD, FL	EXISTING	REQUIRED/ ALLOWED	PROPOSED		EXISTING	REQUIRED/ ALLOWED	PROPOSED
1. ZONING:	RS-9 HISTORIC	RS-9 HISTORIC	RS-9 HISTORIC	5. BUILDING HEIGHT:	1 STORY N/A	30' NOT TO EXCEED 2 STORIES	2 STORY 26'-10"
2. SITE AREA: 11,696.5 SF 0.27 ACRE	11,696.5 SF	ALLOWED 11,696.5 SF* REQUIRED 15,000 SF	11,696.5 SF	6. BUILDING AREA:	2,216.1 GSF	N/A	6,091.5 GSF (INCLUDING GARAGE) 4,899.8 NSF (EXCLUDES GARAGE)
3. SETBACKS: FRONT: REAR: SIDE STREET: N/A INTERIOR SIDE: EAST: WEST:	89.70' 83.92' N/A 5.90' 3.90'	80' (FOR NEW CONST.) 25' N/A 7.5' (AT ADDITION) 7.5' (AT ADDITION)	80' 59.45' N/A 7.5' 7.5'	GENERAL NOTES:  1. * EXISTING PLATTED LOT 2. IN ORDER TO COLLECT AND RETAIN ROOF DRAINAGE AND RUNOFF FROM PAVED SURFACES, THE PROPOSED DESIGN WILL INCORPORATE A SITE GRADING AND DRAINAGE PLAN THAT WILL WORK WITH THE MINIMUM 7.5' SETBACK AND WILL NOT BE HIGHER THAN THE ADJACENT PROPERTY GRADE.			
4. GREEN SPACE (TOTAL):  20% FRONT YARD REQUIREMENT: GROSS: 4,000 SF X 0.2 = 800 SF		40% MIN = 4,678.6 SF 800 SF	4,819 SF 1,640.3 SF				



PROPOSED SITE/ROOF PLAN

0 16' 32' 48' 64' SCALE: 1/16" = 1'-0"

**FARBER RESIDENCE**  
1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA



NOTE: ALL WATER SHALL BE RETAINED ON-SITE

NOTE: F.F.E. 1'-0" = 6'.0" NAVD  
B.F.E. 0'-0" = 5'.0" NAVD

HISTORIC PRESERVATION BOARD SUBMISSION

AS100

CHISHOLM

06.01.17

- LOT COVERAGE INFORMATION:
1.

SQUARE FEET OF YOUR LOT (LENGTH X WIDTH):

50' X 233.93'= 11,696.5
2.

SQUARE FEET OF YOUR HOUSE

3,361 SF
3.

SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES  
(E.G. DRIVEWAYS, WALKWAYS, DECKS, POOLS, STORAGE SHEDS, ETC.)

3,516.5 SF
4.

SQUARE FEET OF ADDITION, AND OR....

N/A
5.

SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT,  
DECKS, ETC.

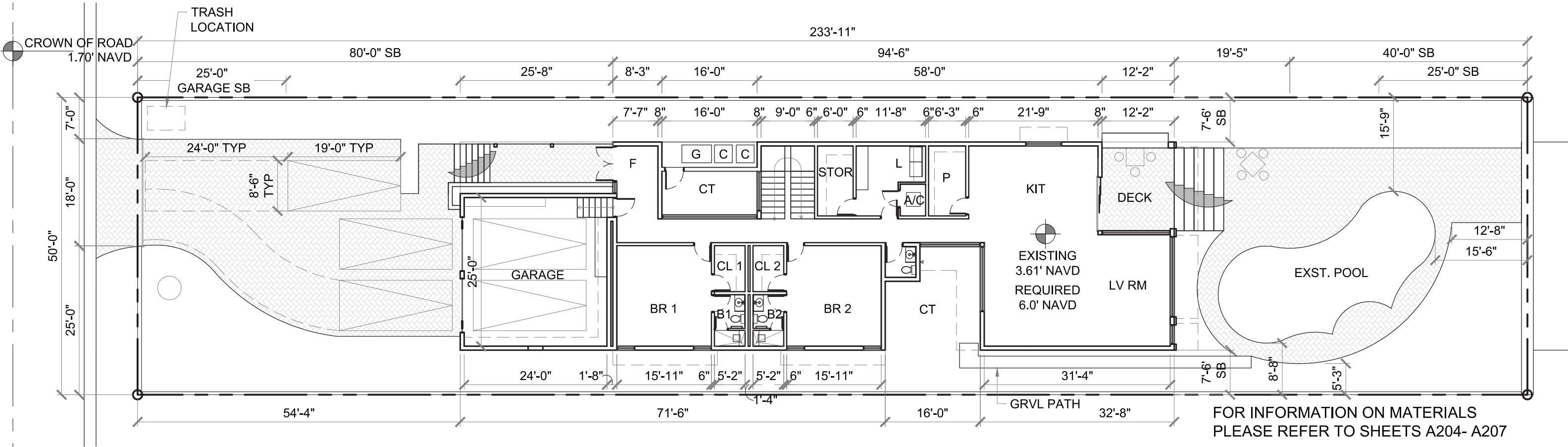
N/A
6.

TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT  
(ADD NOs. 2+3+4+5)....:

6,877.5 SF
7.

PERCENTAGE OF IMPERVIOUS LOT COVERAGE  
(DIVIDE NO. 6 BY NO. 1)....:

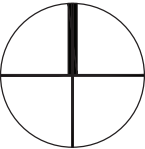
58.8%



PROPOSED SITE/GROUND FLOOR PLAN

0 16' 32' 48' 64' SCALE: 1/16" = 1'-0"

**FARBER RESIDENCE**  
1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA



HISTORIC PRESERVATION BOARD SUBMISSION

AS101 CHISHOLM







LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:

The scope of work for the Landscape Contractor Includes furnishing all plants, materials and equipment and labor needed for installation of plant materials as indicated on plans and/or in these specifications.

2. PLANT MATERIALS:

1. All plant materials shall be nursery grown unless otherwise noted. Abbreviations on plant list:
- C.T. (Indicates clear trunk)  
Spr. (Indicates spread)  
CL (Indicates clear trunk measurement from top of ball, to first branching)  
O.A. (Indicates overall height from top of ball to mid point of current season's growth)

2. **Quality and Size:** Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting. Requirements for measurements, branching, grading, quality, baling and burlapping of plants in the plant list generally follow the code of standards currently recommended by the American Association of Nurserymen, Inc., in the American Standard of Nursery Stock. Plant materials shall be graded Florida No. 1 or better as outlined under Grades & Standards for nursery plants, State Plant Board of Florida, latest edition. Plants that meet the requirements specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted. All plants shall be free of weeds or any other objectionable vegetation.

3. **Quantities:** All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of his responsibility to do a comprehensive plant take off. Should a discrepancy occur between the bidder's take off and the plant list quantity, the Landscape Architect is to be notified for the clarification prior to the submission of bids.

4. **Substitution:** Plant substitution requests by the Contractor will be considered by the Landscape Architect only upon submission of proof that any plant is not obtainable in the type and size specified. The Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of a substitute item shall not exceed the bid item replacement, without approval of the owner.

3. COMMERCIAL FERTILIZERS:

1. Commercial fertilizer shall conform to ANSI A300 Part 2 fertilizer specifications.

4. PLANTING SOIL:

Planting soil shall be sandy loam and shall contain a minimum amount of decomposed organic matter. Planting soil shall be free of clay, stones, plants, roots and other foreign materials which may hinder or impede planting operations or be detrimental to good plant growth. Soil shall be delivered in a loose friable condition and be applied in accordance with the Planting Specifications.

5. MULCH:

Mulches shall not contain sticks larger than 1/4 inch in diameter, stones, or other foreign material that will prevent the eventual decay of the mulch necessary for its complete effectiveness. Mulch shall be applied evenly in a 3" mat.

6. WATER:

Water for planting will be available at the site and will be provided by the Owner. All conditions regarding site water shall be verified by Contractor prior to submission of bids.

7. PROTECTION OF PLANTS:

A. Root Protection:

1. **Balled and Burlapped Plants:** Plants designated "B & B" (balled and burlapped) shall be dug with firm natural balls of earth of sufficient diameter and depth to enclose the fibrous and feeding root system necessary for full recovery of plant. Balls shall be firmly wrapped with burlap. All collected plants shall be B&B.

2. **Container Grown Plants:** Plants grown in containers will be accepted as "B & B" providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the Drawings, and shall not be governed by container sizes.

3. **Protection During Transportation:** All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage.

4. **Protection After Delivery:** Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until planted. Storage period shall not exceed seventy-two (72) hours.

5. **Protection of Palms (if Applicable):** Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. With the exception of Cabbage Palms, which shall be "hurricane cut".

6. **Protection During Planting:** Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens, or other approved methods.

8. IMPLEMENTATION

1. **LAYOUT:** Locations of plants and outlines of shrub beds are indicated on the PLAN. All tree, palm, and accent locations shall be staked in the field by the Contractor, so as to satisfactorily match the locations indicated on the plan. Any unforeseen underground utilities shall be verified by General Contractor and communicated to the L.A. ASAP so that necessary adjustments can be made.

2. **Soil Preparation:** Soil shall be prepared in accordance with specifications outlined in statement 4.

3. **Excavation for Planting:** Excavation of plant pits shall be circular in outline and shall extend to the required subgrades as specified hereunder. The minimum depth of plant pits specified below shall be measured from the finish grade. Mass planting beds shall be stripped of all vegetation prior to planting.

4. **Balled and Burlapped Plants:** After final setting, loosen burlap wrappings exposing the top of the root ball, leaving the ball unbroken. Remove excessive amounts of burlap to eliminate voids which may be caused upon decomposition.

5. **Container Grown Plants:** Container grown plants shall, when delivered, have sufficient growth to hold earth intact when removed from container and shall not be root bound. Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of the root balls and containers shall be removed carefully to prevent damage to plant or root system.

6. **Pit Sizes:** Minimum diameter (width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:

1. Diameter – Trees: 18" greater than diameter of ball or spread of roots.
2. Diameter – Shrubs: 6" greater than diameter of ball or spread of roots.
3. Depth – Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill faced to rootball. (Large, heavy trees and shrubs may sit directly on unexcavated pit bottom if it is determined that undue settlement may occur.)
4. Depth – Vine Groundcovers: Pits shall conform to accepted nursery practice for the particular species and equal the plant pot depth plus one (1) inch.

7. **Setting Trees and Shrubs:** Unless otherwise specified, all trees and shrubs shall be planted in pits, centered, and set on four inches (4") of compacted planting soil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. No burlap shall be pulled out from under the balls. Platforms, wire, and surplus binding from top and sides of the balls, shall be removed. All broken or frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly, avoiding injury and shall be settled by watering. No filling around trunks will be permitted. After the ground settles, additional soil shall be filled in to the level of the finished grade allowing for three inches (3") of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit.

8. **Setting Palms:** All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top dressed two inches (2") deep with topsoil raked and left in a neat, clean manner.

9. **Fertilization:** All fertilization shall conform to ANSI A300 Part 2 specifications.

10. **Correct Placement of Granules:** Refer to ANSI A300 Part 2 specifications on fertilization.

11. **Pruning:** Remove dead and broken branches from all plant materials. Prune to retain typical growth habit of individual species with as much height and spread as is practicable. Make all pruning cuts with sharp instrument flush with trunk or adjacent branch, in such a manner as to ensure elimination of stubs. "Headback" cuts, right angle to line of growth, will not be permitted and trees will not be poled or topped. Paint all cuts 1/2" in diameter and larger with approved waterproof antiseptic tree paint and remove trimmings from site.

12. **Guying and Staking:** Guy all trees 1 – 1 1/2" in caliper and greater in three (3) directions with double strands of no. 12 galvanized wire attached to approved anchors driven below grade. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place guys not less than 1/3 of the height of tree above finished grade or more, if possible. All hoses shall be interlocked around tree trunk. Place anchors so that guys are equally spaced and at 45 degree angles to horizontal. Keep guys tight until project completion. In staking palms and broadleaf trees no nails or other fasteners will directly penetrate the trunks. Wood 2 x 4 battens 12 inches long, separated by a minimum of four (4) layers of burlap can be attached to the trunk of the trees with metal banding. Stakes can only be nailed to the wooden battens.

13. **Excess Excavated Soil:** Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner.

9. SOD (When Applicable):

1. **Soil:** The contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1") to all areas receiving sod.

2. **Grades:** Finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Landscape Architect prior to the application of sod. If supplemental topsoil is to be spread, no sod shall be laid until the depth of this soil has been approved.

3. The sod shall be as called for on the Landscape Drawings. Sod shall be of firm tough texture, having a compact growth of grass with good root development, and shall contain no Bermuda Grass, weeds, or any other objectionable vegetation. The soil embedded in the sod shall be good earth, free from stones and debris and all sod shall be free from fungus, vermin and other diseases.

4. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven (7) days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

5. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas.

10. CLEAN UP:

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly, keeping these areas clean as the work progresses. Upon completion of the planting, all excess soil, stones and debris which has not been previously cleaned up shall be removed from the site.

11. MAINTENANCE:

1. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance. Maintenance shall include watering, weeding, cultivating, removal of dead materials, resetting plants to proper grades or upright positions and restoration of the planting saucer and any other necessary operations. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

2. planting.

3. In the event of the threat of serious damage resulting from insects of disease prior to final acceptance, the plants shall be treated by preventative or remedial measures approved for good horticultural practice at no additional cost to the Owner.

12. INSPECTION AND ACCEPTANCE:

1. **Inspection:** Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and /or Landscape Architect, at the Contractor.

2. **Acceptance:** After inspection, the contractor will be notified by the Owner and/or Landscape Architect of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

13. GUARANTEE AND REPLACEMENT:

1. **Guarantee:** The Contractor, as part of his Contract, shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of six (6) months from the time of completion and acceptance. All plant materials shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. Where vandalism is agreed by the Landscape Architect as the cause for replacement, the Contractor shall not be responsible for replacement during the six month guarantee after final acceptance.

2. **Trees and Palms** shall be guaranteed for twelve (12) months.

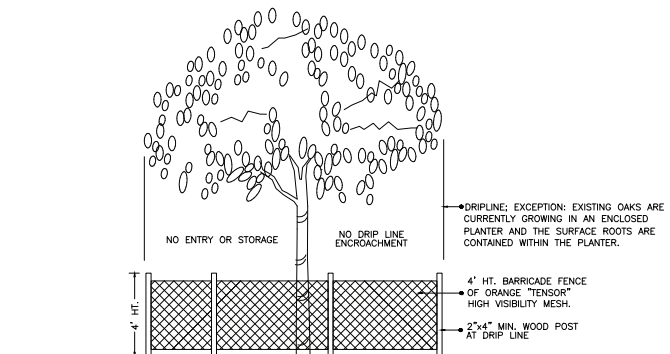
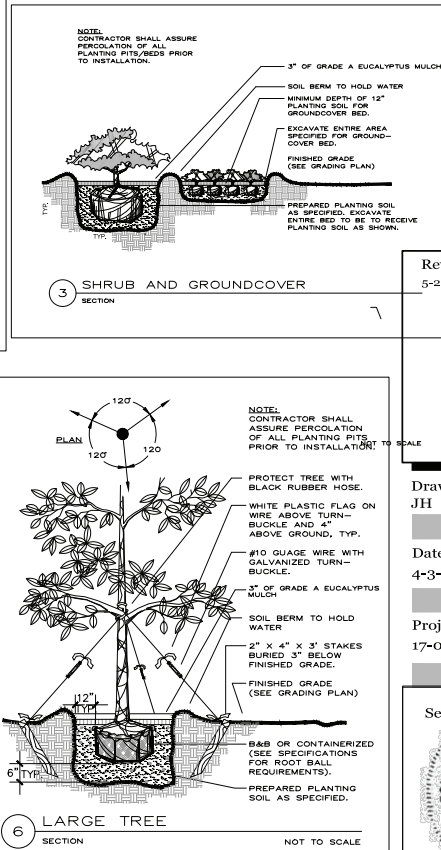
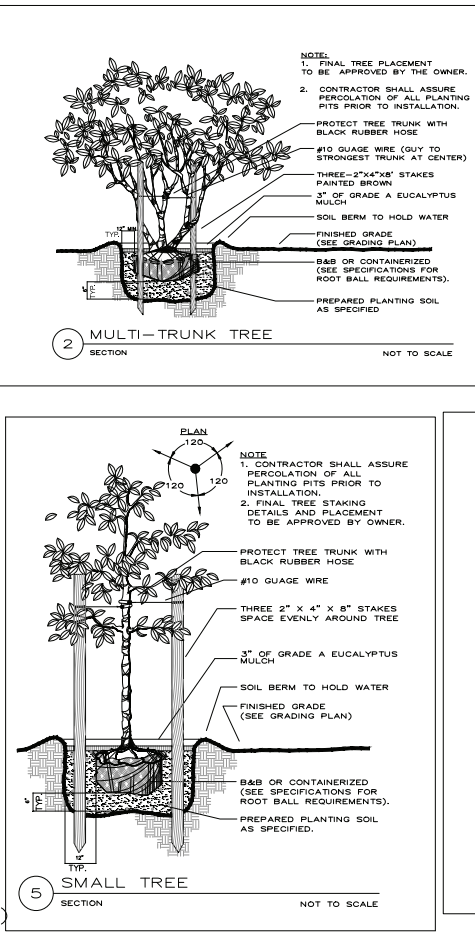
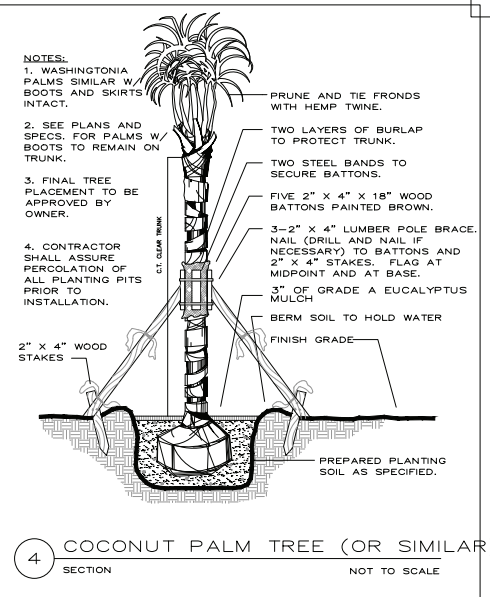
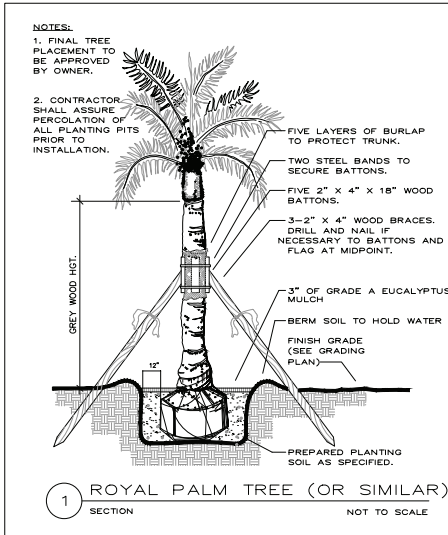
3. Sod shall be guaranteed for a two (2) month period, dating from final acceptance and any lawn care which becomes necessary during the completion period will be the responsibility of the Contractor to ensure a vigorous stand of grass.

GENERAL NOTES

1. Contractor shall field verify all site conditions prior to initiating planting installation. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
2. Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
3. Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage unless otherwise noted.
4. Report any discrepancies between the construction drawings and field conditions to JBD Design, Inc. immediately.
5. Landscape contractor shall coordinate all work with related contractor and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work.
6. The location of the landscape holding area will be identified by the owner's representative. The contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others.
7. All plant material shall be in full and strict accordance to Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants" (latest edition) published by the Florida Department of Agriculture and Consumer Services, the project manual and/or specifications. Plant materials shall exceed in some instances some specifications if necessary to meet the minimum requirements of others.
8. All container and caliper sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
9. Any tree with a trunk formed "V" shape crotch and co-dominant leaders will be rejected.
10. Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Comments" on the plant list.
11. Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner's Representative and/or Landscape Architect.
12. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner's Representative and/or the Landscape Architect.
13. Contractor shall match all new plant material throughout and completely to depth specified.
14. Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
15. Contractor shall refer to the landscape planting details, plant list, general notes and the specifications for further and complete landscape planting instructions.
16. Landscape Contractor shall coordinate all planting work with irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
17. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
18. Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant materials disturbed or damaged by plant removal, relocation, and/or installation work.
19. Landscaping shall be permitted in easements only with the written permission of the easement holder. The written permission shall specify those responsible for replacing disturbed planting areas and shall be submitted to the County. Written permission to plant in easements shall be filed with the land records applicable to the site.

PLANT LIST AND SPECIFICATIONS

KEY	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS
AM3	5	Adonia merrillii	Christmas Palm	12' overall height/ minimum head height 10'/ triple stem
BAN	1	Musa spp	Dwarf Cavendish Banana	5'-6' height/ single stem/ full
BD1	23	Aechmea "Little Harv"	Little Harv Bromeliad	3 gallon full,dense/ 18"x18'/ 30" on center spacing
BD2	20	Neoregelia carolinæ	Tricolor Bromeliad	1 gallon, full,dense/ 24" on center spacing
CG	135	Clusia guttifera	Small Leaf Clusia	3 gallon, full,dense/ 24"x24'/ 24" on center spacing
GIF	52	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gallon/ 12"x12'/ 14" o.c.
GS	1	Garcinia spicata	Garcinia	8' overall height x 3' spread/ full,dense tree/ 3' c.t.
JM	75	Jasminæ asiaticum	Dwarf Trailing Jasmine	1 gallon, full,dense / 12" on center spacing
ML	1	Meyer Lemon	Meyer Lemon	5'-6' height x 3' spread/ full,dense standard
SL	23	Sansevieria laurentii	Snake Plant	3 gallon, full,dense/ 24" height/ 18" on center spacing
SOD	2,600	Stenotaphrum secundatum	St. Augustine Sod	set in staggered rows with tight joints/ units in approximate square feet
SP	6	Sabal palmetto	Cabbage Palm	10'-12' clear trunk/ booted



Landscape Architecture

JBD Design Inc.

Jeff A. Houghtaling  
Registered Landscape Architect  
LA6666783  
129 Dayton Road  
Lake Worth, FL 33467  
ph:(561) 434-1343  
e:jeff@jbdesigninc.com  
www.jbdesigninc.com  
www.Houzz.com

FARBER RESIDENCE  
1020 N. NORTHLAKE DRIVE  
HOLLYWOOD, FLORIDA

Revisions By  
5-26-17 per city comments JH

Drawn Reviewed  
JH

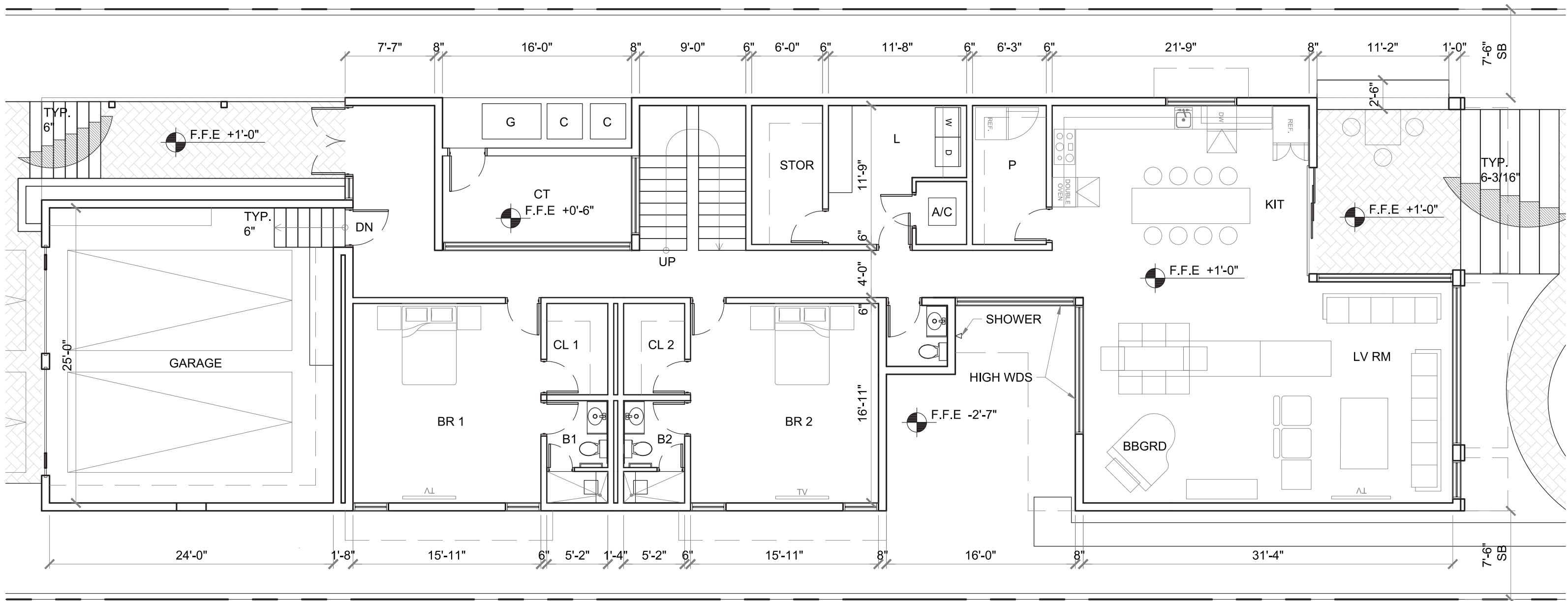
Date Scale  
4-3-17

Project No.  
17-016

Seal  
REGISTERED LANDSCAPE ARCHITECT  
JEFF A. HOUGHTALING  
LA6666783  
STATE OF FLORIDA

Sheet No.  
LP-2





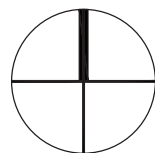
NOTE: F.F.E. 1'-0" = 6'.0" NAVD  
B.F.E. 0'-0" = 5'.0" NAVD

# PROPOSED GROUND FLOOR PLAN

0 8' 16' 24' 32' SCALE: 1/8" = 1'-0"

## FARBER RESIDENCE

1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA



# HISTORIC PRESERVATION BOARD SUBMISSION

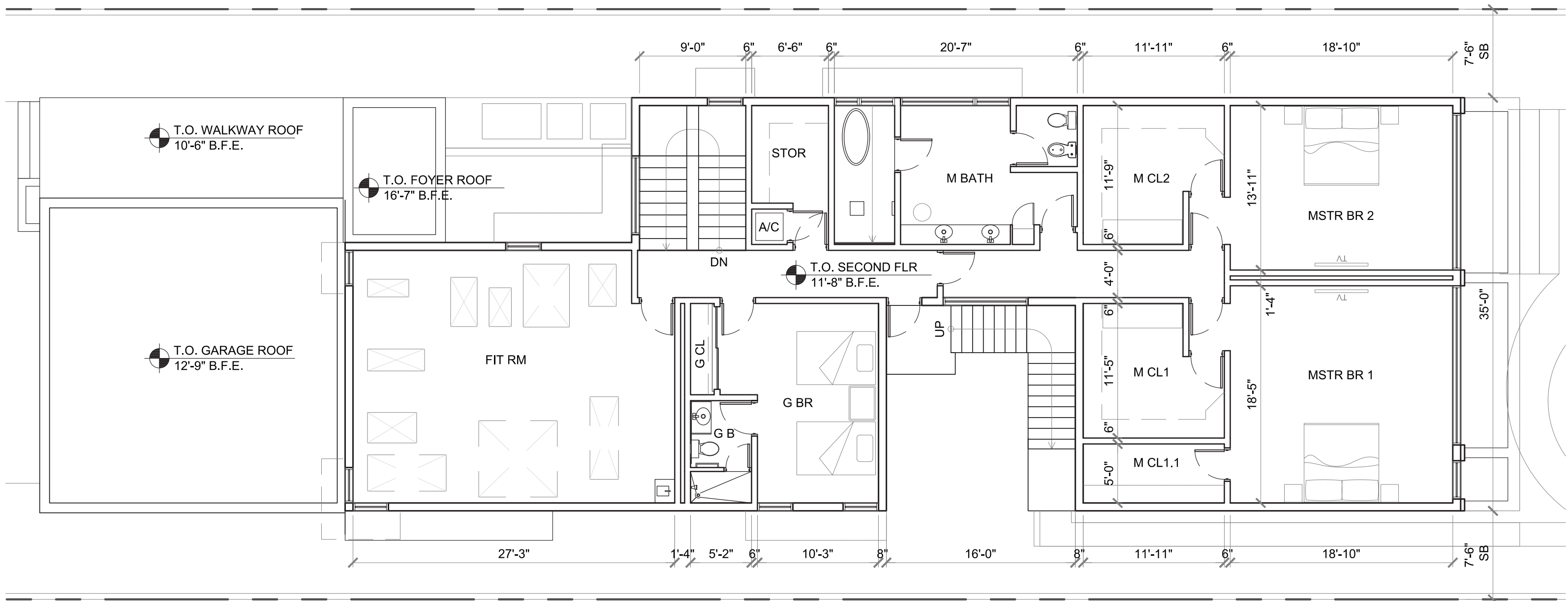
A100

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06.01.17





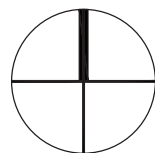
NOTE: F.F.E. 1'-0" = 6'.0" NAVD  
B.F.E. 0'-0" = 5'.0" NAVD

# PROPOSED SECOND FLOOR PLAN

0 8' 16' 24' 32' SCALE: 1/8" = 1'-0"

## FARBER RESIDENCE

1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA



## HISTORIC PRESERVATION BOARD SUBMISSION

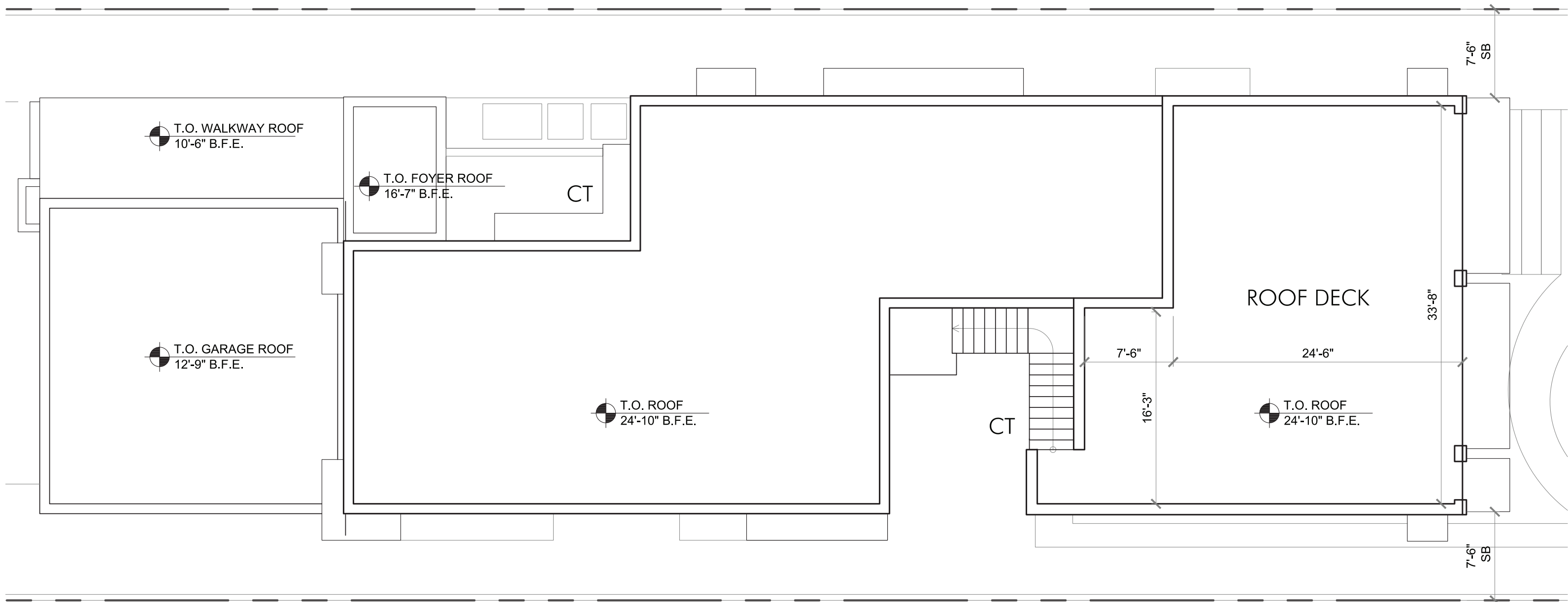
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04.06.17





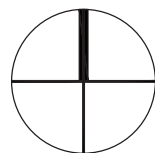
NOTE: F.F.E. 1'-0" = 6'.0" NAVD  
B.F.E. 0'-0" = 5'.0" NAVD

## PROPOSED ROOF PLAN

0 8' 16' 24' 32' SCALE: 1/8" = 1'-0"

### FARBER RESIDENCE

1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA



## HISTORIC PRESERVATION BOARD SUBMISSION

A102

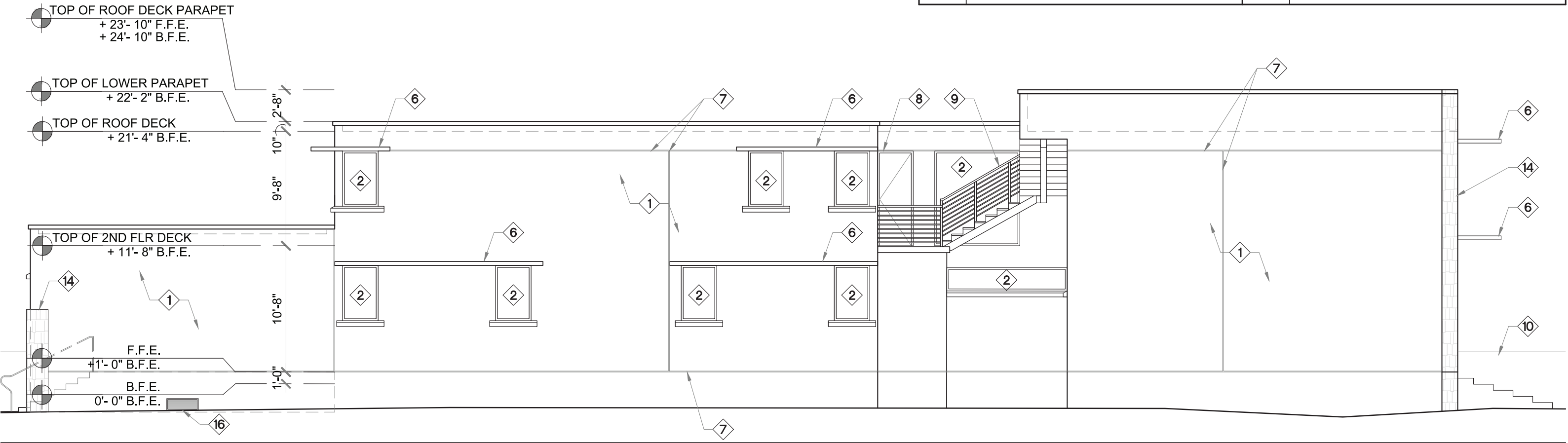
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04.06.17



KEY NOTES			
NO.	DESCRIPTION	NO.	DESCRIPTION
1	STUCCO	11	COURTYARD MASONRY WALL WITH RED BRICK
2	IMPACT RESISTANT WINDOWS	12	CONDENSING UNITS
3	IMPACT RESISTANT SLIDING DOORS	13	GENERATOR
4	STEEL COLUMN	14	KEYSTONE ACCENT PATTERN TBD
5	STEEL BEAM	15	CONCRETE BENCH
6	CONCRETE OVERHANG	16	FLOOD VENT
7	1" WIDE SCORE LINE		
8	STEEL EXTERIOR DOOR		
9	METAL RAILING		
10	RETAINING WALL		



NOTE: 1'-0" = 6'-0" NAVD 88 (F.F.E.)  
0'-0" = 5'-0" NAVD 88 BASE FLOOD ELEVATION (B.F.E.)

PROPOSED WEST ELEVATION

0 8' 16' 24' 32' SCALE: 1/8" = 1'-0"

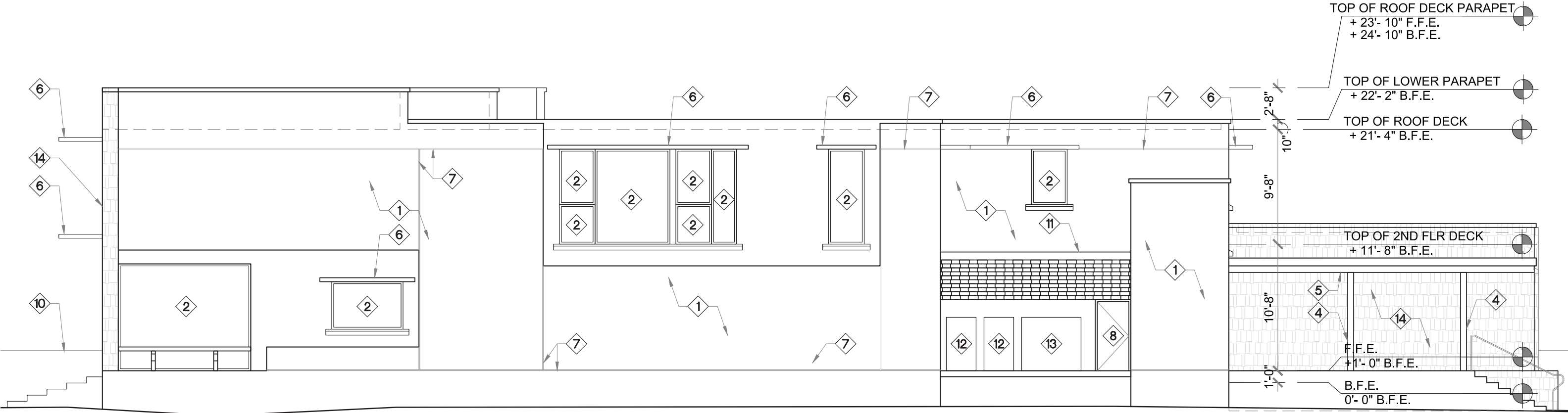
**FARBER RESIDENCE**  
1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA

HISTORIC PRESERVATION BOARD SUBMISSION

A200

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KEY NOTES			
NO.	DESCRIPTION	NO.	DESCRIPTION
1	STUCCO	11	COURTYARD MASONRY WALL WITH RED BRICK
2	IMPACT RESISTANT WINDOWS	12	CONDENSING UNITS
3	IMPACT RESISTANT SLIDING DOORS	13	GENERATOR
4	STEEL COLUMN	14	KEYSTONE ACCENT PATTERN TBD
5	STEEL BEAM	15	CONCRETE BENCH
6	CONCRETE OVERHANG	16	FLOOD VENT
7	1" WIDE SCORE LINE		
8	STEEL EXTERIOR DOOR		
9	METAL RAILING		
10	RETAINING WALL		



NOTE: 1'-0" = 6'-0" NAVD 88 (F.F.E.)  
0'-0" = 5'-0" NAVD 88 BASE FLOOD ELEVATION (B.F.E.)

PROPOSED EAST ELEVATION



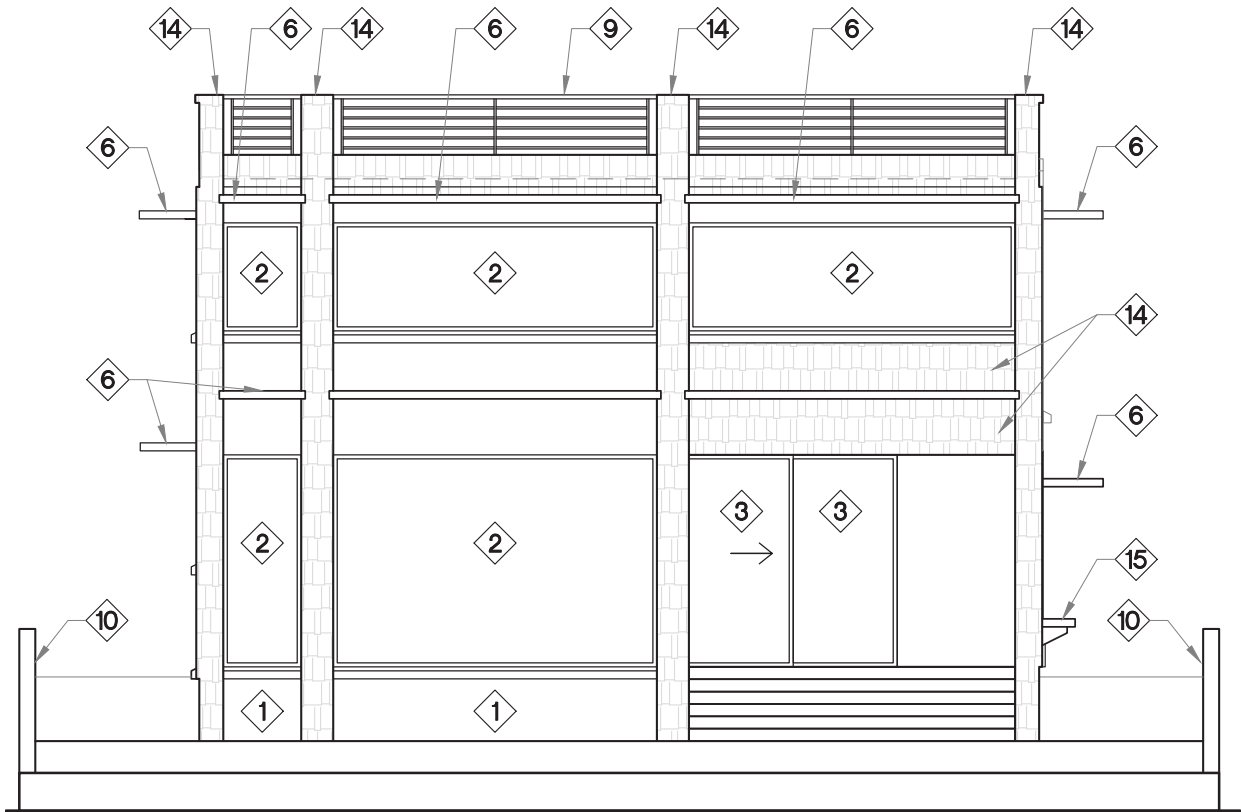
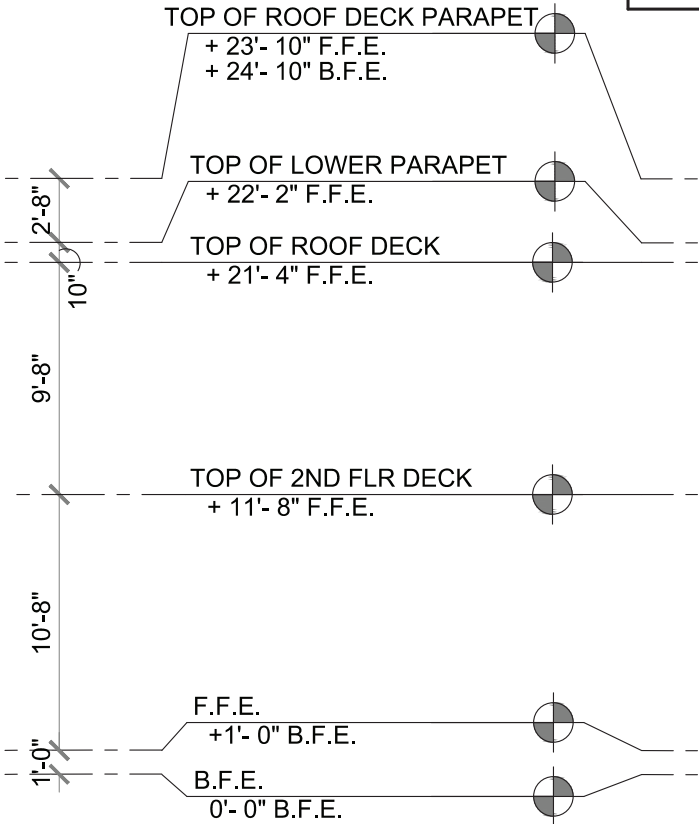
**FARBER RESIDENCE**  
1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA





## PROPOSED NORTH ELEVATION

0 8' 16' 24' 32' SCALE: 1/8" = 1'-0"



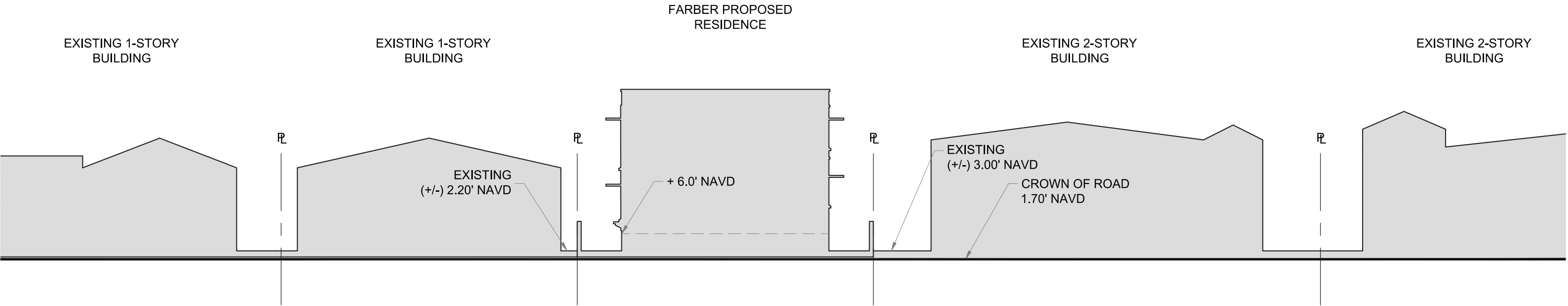
## PROPOSED SOUTH ELEVATION

0 8' 16' 24' 32' SCALE: 1/8" = 1'-0"

NOTE: 1'-0" = 6'-0" NAVD 88 (F.F.E.)  
0'-0" = 5'-0" NAVD 88 BASE FLOOD ELEVATION (B.F.E.)

KEY NOTES			
NO.	DESCRIPTION	NO.	DESCRIPTION
1	STUCCO	11	COURTYARD MASONRY WALL WITH RED BRICK
2	IMPACT RESISTANT WINDOWS	12	CONDENSING UNITS
3	IMPACT RESISTANT SLIDING DOORS	13	GENERATOR
4	STEEL COLUMN	14	KEYSTONE ACCENT PATTERN TBD
5	STEEL BEAM	15	CONCRETE BENCH
6	CONCRETE OVERHANG	16	FLOOD VENT
7	1" WIDE SCORE LINE		
8	STEEL EXTERIOR DOOR		
9	METAL RAILING		
10	RETAINING WALL		

**FARBER RESIDENCE**  
1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA



STREET PROFILE

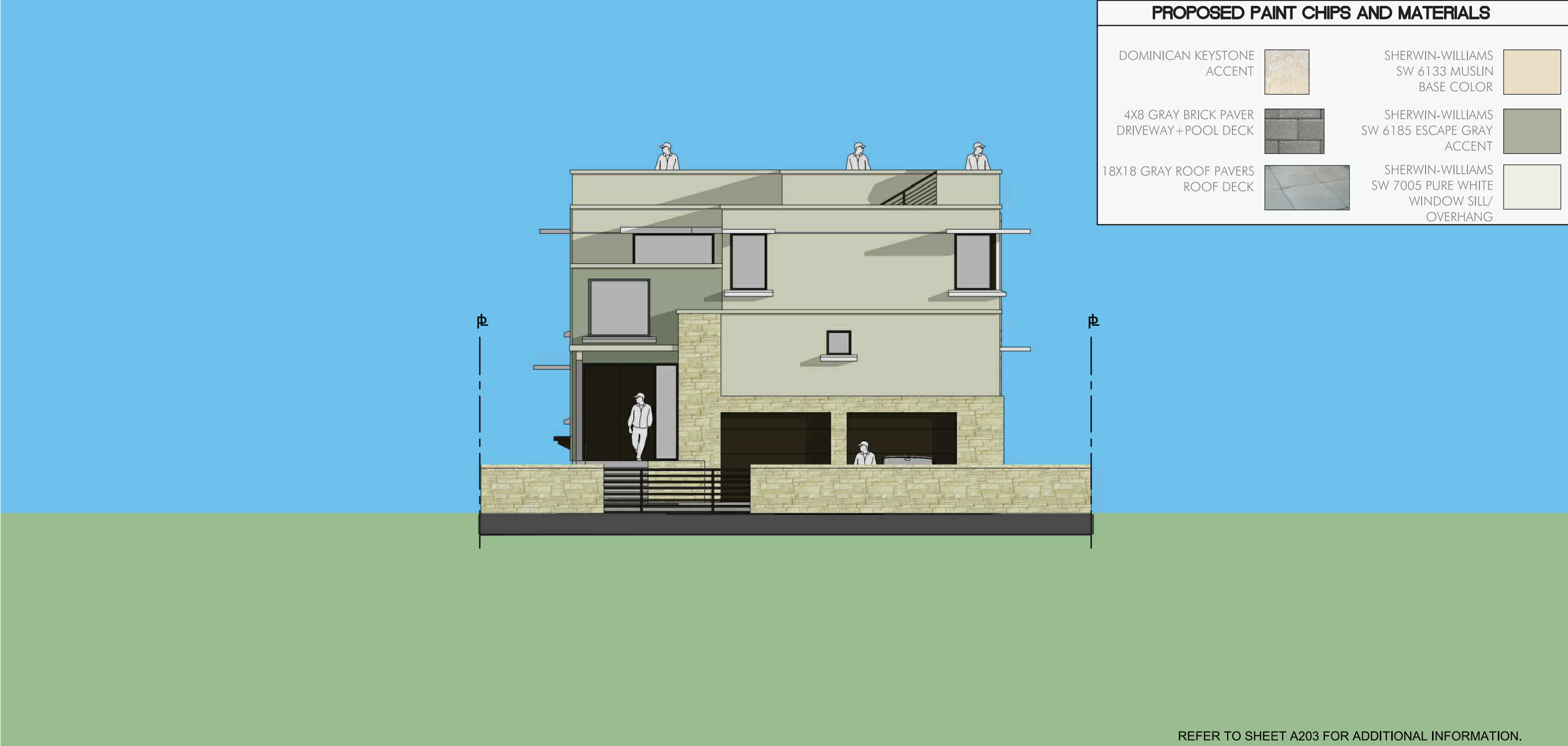


**FARBER RESIDENCE**  
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HISTORIC PRESERVATION BOARD SUBMISSION  
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PROPOSED NORTH ELEVATION

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HISTORIC PRESERVATION BOARD SUBMISSION

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PROPOSED WEST ELEVATION

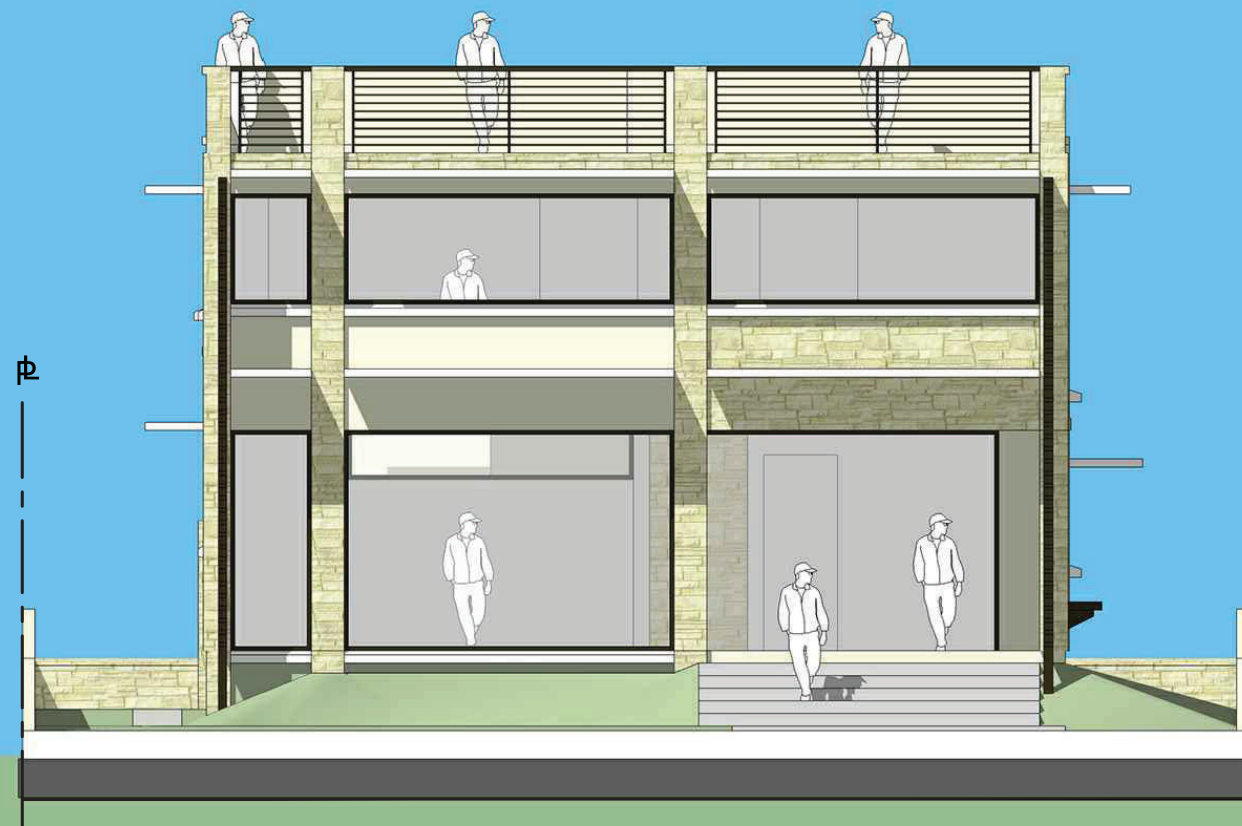
**FARBER RESIDENCE**  
1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA

HISTORIC PRESERVATION BOARD SUBMISSION  
A205

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## PROPOSED PAINT CHIPS AND MATERIALS

DOMINICAN KEYSTONE  
ACCENT



4X8 GRAY BRICK PAVER  
DRIVEWAY+POOL DECK



18X18 GRAY ROOF PAVERS  
ROOF DECK



SHERWIN-WILLIAMS  
SW 6133 MUSLIN  
BASE COLOR



SHERWIN-WILLIAMS  
SW 6185 ESCAPE GRAY  
ACCENT



SHERWIN-WILLIAMS  
SW 7005 PURE WHITE  
WINDOW SILL/  
OVERHANG



REFER TO SHEET A203 FOR ADDITIONAL INFORMATION.

## PROPOSED SOUTH ELEVATION

### FARBER RESIDENCE

1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA

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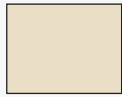


PROPOSED PAINT CHIPS AND MATERIALS

DOMINICAN KEYSTONE  
ACCENT



SHERWIN-WILLIAMS  
SW 6133 MUSLIN  
BASE COLOR



4X8 GRAY BRICK PAVER  
DRIVEWAY+POOL DECK



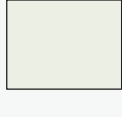
SHERWIN-WILLIAMS  
SW 6185 ESCAPE GRAY  
ACCENT



18X18 GRAY ROOF PAVERS  
ROOF DECK



SHERWIN-WILLIAMS  
SW 7005 PURE WHITE  
WINDOW SILL/  
OVERHANG



NOTE: FOREGROUND RETAINING WALL SHOWN TRANSLUCENT ON THIS ELEVATION FOR GRAPHIC PURPOSES

REFER TO SHEET A201 FOR ADDITIONAL INFORMATION.

PROPOSED EAST ELEVATION

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1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA

HISTORIC PRESERVATION BOARD SUBMISSION

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1 VIEW LOOKING SOUTH



2 VIEW LOOKING SOUTHWEST

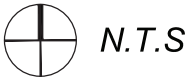


3 VIEW LOOKING WEST

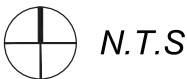
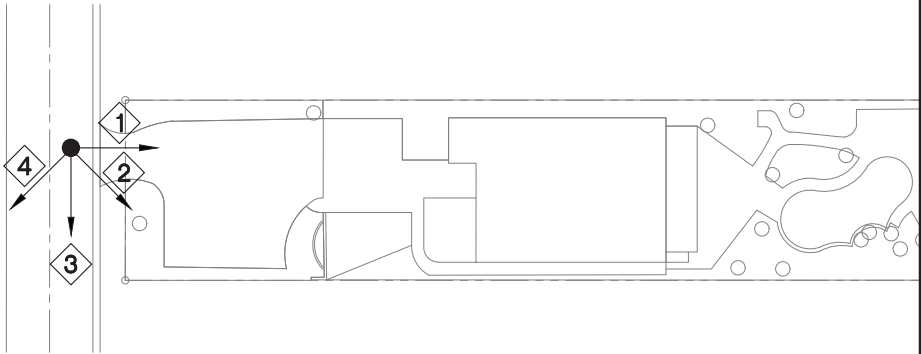


4 VIEW LOOKING NORTHWEST

AERIAL PLAN



KEY PLAN



NEIGHBORHOOD CONTEXT PHOTOGRAPHS

**FARBER RESIDENCE**  
1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA

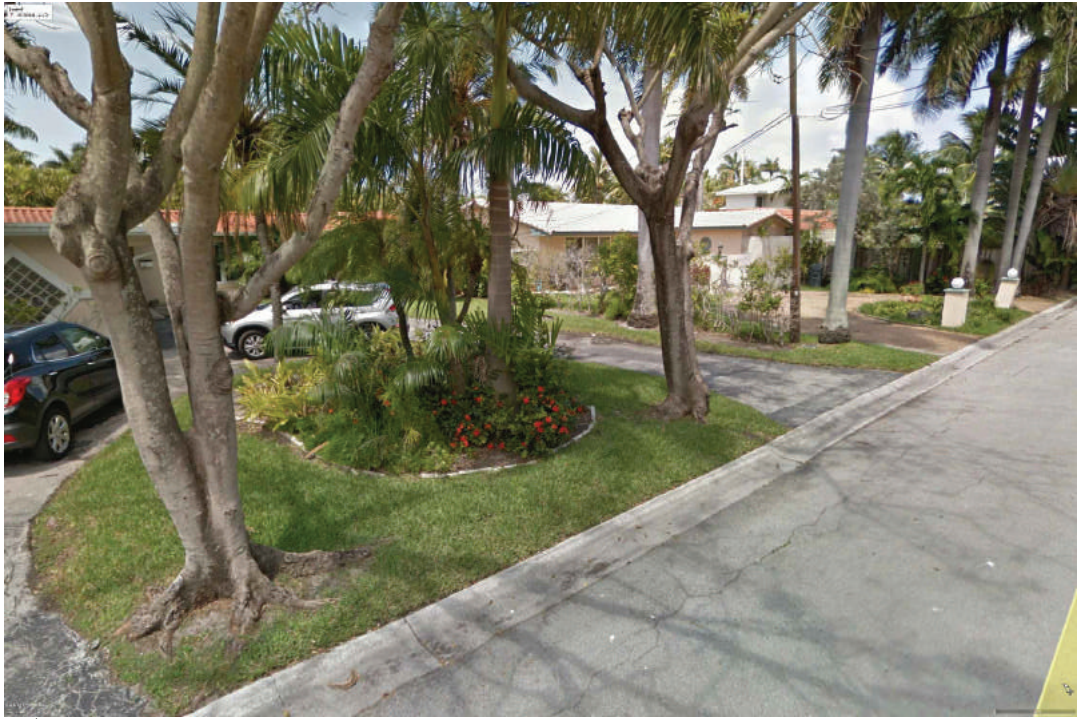
HISTORIC PRESERVATION BOARD SUBMISSION

A904 **CHISHOLM**





5 VIEW LOOKING NORTH



6 VIEW LOOKING NORTHEAST





7 VIEW LOOKING EAST



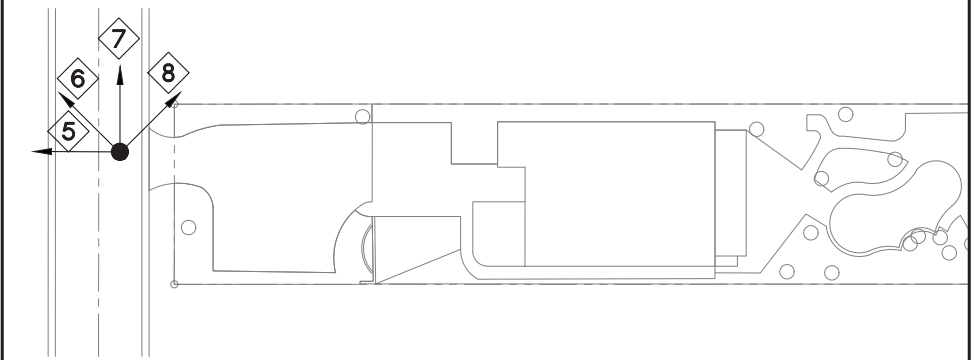
8 VIEW LOOKING SOUTHEAST


AERIAL PLAN



 N.T.S

KEY PLAN



 N.T.S

# NEIGHBORHOOD CONTEXT PHOTOGRAPHS

**FARBER RESIDENCE**  
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1 VIEW FROM NORTHWEST



2 VIEW FROM NORTH



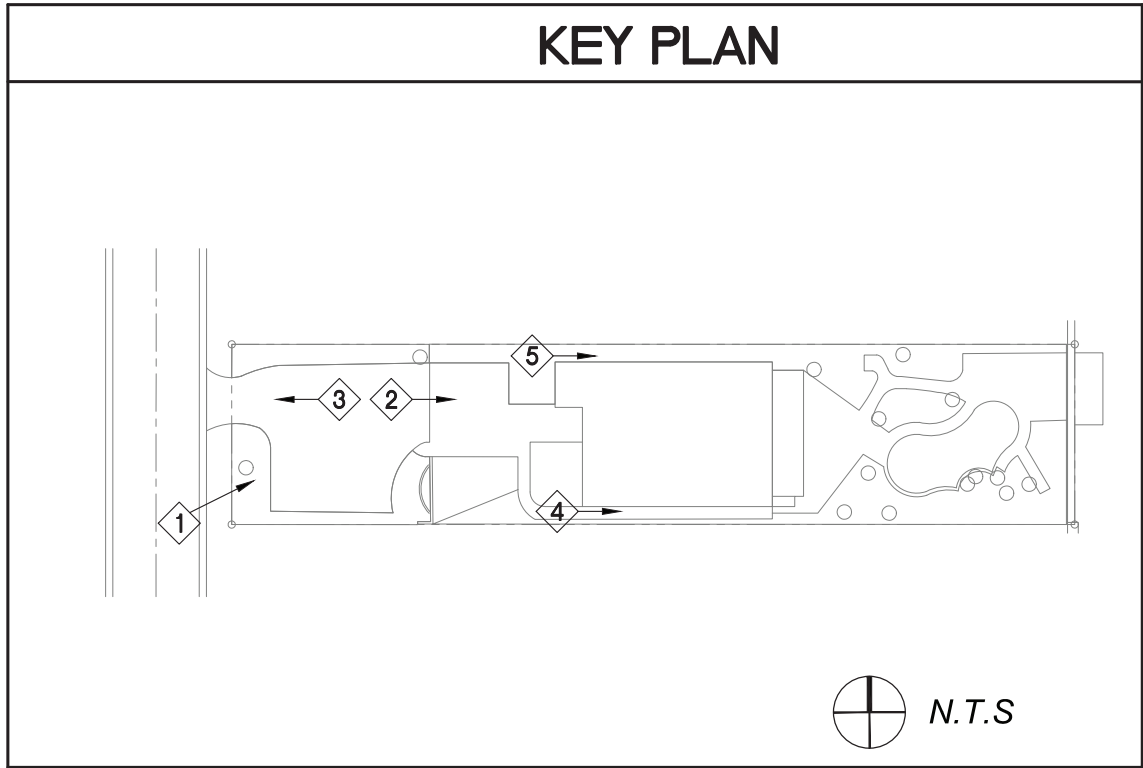
3 VIEW FROM SOUTH



4 VIEW FROM NORTH



5 VIEW FROM NORTH



# EXISTING BUILDING PHOTOGRAPHS

**FARBER RESIDENCE**  
 1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA

HISTORIC PRESERVATION BOARD SUBMISSION  
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6 VIEW FROM NORTHWEST



7 VIEW FROM SOUTH



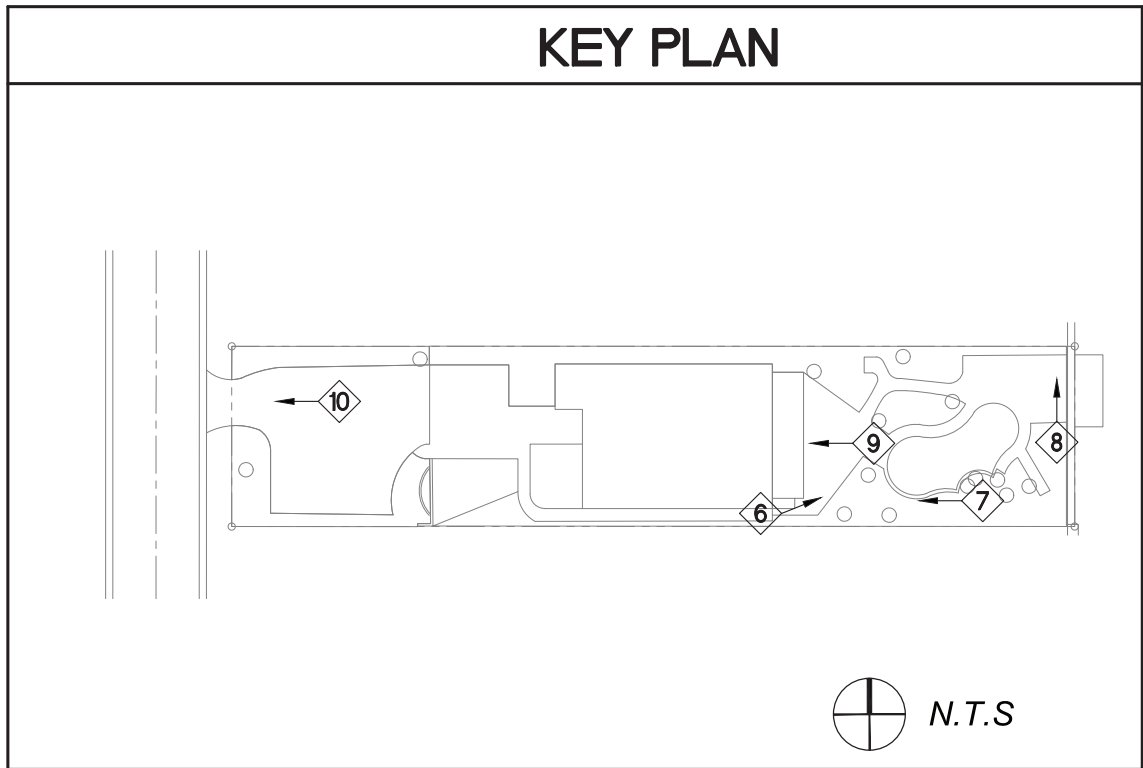
8 VIEW FROM WEST



9 VIEW FROM SOUTH



10 VIEW FROM SOUTH



# EXISTING BUILDING PHOTOGRAPHS

**FARBER RESIDENCE**  
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## PROPOSED DESIGN LOOKING SOUTHWEST

NOTE: RETAINING WALL NOT SHOWN FOR GRAPHIC CLARITY

### **FARBER RESIDENCE**

**1020 NORTH NORTHLAKE DRIVE HOLLYWOOD, FLORIDA**

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04.06.17



**ATTACHMENT B**  
Aerial Photograph



**Aerial – Historic Preservation Board**

**1020 North Northlake Drive**

**17-CM-22**

