CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF DEVELOPMENT SERVICES PLANNING DIVISION

DATE: July 13, 2017

FILE: 15-DPV-22

TO: Planning and Development Board

VIA: Alexandra Carcamo, Principal Planner de

FROM: Deandrea Moise, Associate Planner

SUBJECT: Bostonian Inc. and Orion Venture XII LLC requests Variances, Design, and Site Plan for an approximate 2,600 sq. ft. restaurant space; and site improvements to an existing commercial plaza (West Hollywood Plaza – Wendy's) located at 192-460 S State Road 7.

REQUEST: Variances, Design, and Site Plan for an approximate 2,600 sq. ft. restaurant space; and site improvements to an existing commercial plaza (West Hollywood Plaza - Wendy's) Variance 1: To increase the number of permitted monument signs from one to three. Variance 2: To increase the number of permitted wall signs from one to two (north and east facade); and to increase the allowable area (25 sq. ft.) to allow for total of 60 sg. ft. feet for both signs. To waive the requirement for a perimeter wall between 3 - 6 feet in height for any use Variance 3: that sells food or gasoline. To reduce the minimum length of a parking space from 19 feet to 18 feet. Variance 4: **RECOMMENDATION:** Variance 1-4: Approval. Design: Approval. Site Plan: Approval, if Variances 3 - 4 and Design are granted, and with the condition the Applicant submit the appropriate perpetual cross-access agreements, in a form acceptable to the City Attorney, prior to the issuance of any Building Permits and recorded by the City of Hollywood in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

BACKGROUND

The Transit Oriented Corridor (TOC) Land Use designation encourages redevelopment or development of significant areas. The major purposes of this designation are to facilitate multi-use and mixed-use development, encourage mass transit, reduce the need for automobile travel, provide incentive for quality development, and give definition to the urban form.

State Road 7 is a major transportation corridor and one of regional significance. It has long been the City's intent to shape this area into one which supports multiple modes of transportation while also

creating a hub for redevelopment and economic vitality for the western portion of Hollywood. This can be seen in numerous measures taken over the years, beginning with the rezoning of the Corridor in 2004 to the land use designation of TOC in 2010. In addition to everything which has taken place intermittent of the latter, these two actions create a framework for the future of State Road 7. Specifically, they work together to provide a list of permitted uses and design principles that will attract redevelopment more conducive to an urban environment where people can work, live and partake in recreational activities, e.g., less industrial and automotive uses, more offices, residential, and personal services. Additionally, a rezoning of State Road 7 is anticipated in the near future to strengthen the vision of this corridor.

REQUEST

The Applicant is requesting Variances, Design, and Site Plan approval to construct an approximate 2,600 sq. ft. restaurant (Wendy's) located at 192-460 S State Road 7. Additionally, the Applicant is proposing site improvements to reconfigure the existing parking lot, for better circulation and to eliminate or decrease existing non-conformities.

The proposed Wendy's design is consistent in massing, scale, and architectural elements with adjacent commercial corridors. What was once a sea of parking has been reconfigured to allow the construction of a restaurant, while maintaining required parking. The addition of an active use fronting State Road 7 promotes the vision for State Road 7 and enhances the existing site. Exterior materials, such as glass, stucco, faux wood elements, and an aluminum store front design come together to introduce a modern design along State Road 7 and to the existing commercial plaza. The proposed landscape helps articulate the property and enhance the design of the proposed building. The landscape was designed with both beautification and function in mind. Furthermore, the proposed restaurant seeks to enhance pedestrian connectivity by providing pedestrian paths with painted designated crossings and ramps for easy access to public sidewalks to and from the site.

The following variances are in relation to the proposed Wendy's site:

- Variance 1: To increase the number of permitted monument signs from one to three.
- Variance 2: To increase the number of permitted wall signs from one to two (north and east façade); and to increase the allowable area (25 sq. ft.) to allow for total of 60 sq. ft. feet for both signs.
- Variance 3: To waive the requirement for a perimeter wall between 3 6 feet in height for any use that sells food or gasoline.

The Applicant is requesting a variance for the Wendy's site to increase the allowable size for a wall sign and increase the number of allowed wall signs. Due to the orientation of the building the front facade is limited to approximately 25 sq. ft. of sign space. With this requirement, the Applicant cannot fit both the logo and name of business on the front (east) facade of the building, which fronts State Road 7. To increase visibility along State Road 7, the Applicant requests an increase in size for a wall sign. Furthermore, per Zoning and Development Regulations you are only permitted one wall sign per street frontage. On the north façade of the building the Applicant is proposing an additional sign which faces internal roads, but is still considered visible from public right of way, thus triggering the need for a Variance. The sign located on the north façade is simply the logo at a size that is substantially smaller than what would have been permitted. The overall square footage between both signs is approximately 60 sq. ft. The Applicant is also requesting an additional monument sign for Wendy's. Currently the subject property has two monument signs that are to be removed and replaced. With the addition of the new Wendy's the Applicant would like to provide a monument sign located at the proposed entrance.

Additionally, the Applicant requests to waive the requirement for a perimeter wall between 3 - 6 feet in height for any use that sells food or gasoline. The purpose of this requirement is to limit adverse effects of noise, light, trash/debris, and other potential nuisances on adjacent properties. In lieu of the wall, ample

landscape buffers are proposed, meeting the intent of the regulation in a more aesthetically pleasing manner.

As mentioned previously, the project also proposes site improvements to the existing layout of the parking lot. This commercial plaza was originally constructed in 1951, with some renovations in 1970. Currently the parking lacks consistency in location of terminal islands, has irregular traffic circulation patterns, and is overall outdated. The Applicant is proposing site improvements specifically to the parking lot to enhance the functionally and decrease or eliminate non-conformities. Along with these improvements a Variance is required to reduce the length of the parking stall; due to existing site constraints, this Variance is necessary. This Variance request is consistent with the proposed regulations for the Rezoning of State Road 7, had this project gone through the process post adoption of the regulations, this Variance would not be necessary. The Applicant seeks to create a better experience for those utilizing the various commercial businesses while providing an improved traffic pattern throughout the plaza. As there are existing cross-access points to adjacent parcels, Staff recommends the Applicant submit the appropriate perpetual cross-access agreements, in a form acceptable to the City Attorney, prior to the issuance of any Building Permits and recorded by the City of Hollywood in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

SITE INFORMATION

Owner/Applicant: Address/Location:	Bostonian Inc. and Orion Venture XII LLC 192-460 S State Road 7
Net Size of Property:	487,644 sq. ft. (11.19 acres)
Land Use:	Transit Oriented Corridor (TOC)
Zoning:	State Road 7 Commercial Corridor District – Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
Existing Use of Land:	Commercial Plaza

ADJACENT LAND USE

North:	Transit Oriented Corridor (TOC)
South:	Transit Oriented Corridor (TOC)
East:	Transit Oriented Corridor (TOC)
West:	Transit Oriented Corridor (TOC), General Business (GBUS), and Low Residential (LRES)

ADJACENT ZONING

- North: State Road 7 Commercial Corridor District Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
- South: State Road 7 Commercial Corridor District Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
- East: State Road 7 Commercial Corridor District Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
- West: State Road 7 Commercial Corridor District Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4), Low-Medium Intensity Commercial District (C-2), Single Family District (RS-6), and Medium-High Intensity Commercial District (C-4)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Located within the Transit Oriented Corridor, the project is near commercial, and residential uses. The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property. Redevelopment of this site will increase the availability of commercial uses, and will expand the mixture of uses in the area; serving the adjacent community as well as the region.

Policy 2.2.11: Promote the development of US 441/SR 7 as a major transit corridor.

Policy 3.1.1: Continue to prioritize US 441/SR 7 Corridor for redevelopment opportunities and work with the Florida Department of Transportation and other applicable agencies on design of the highway, and create innovative zoning to implement future plans.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan is a compilation of policy priorities and recommendations designed to improve the appearance, appeal, and economic tax base of the City. It establishes a format for future direction and vision for the City.

The City-Wide Master Plan recognizes the need for a mix of uses along the corridors and identifies the US 441/SR 7 Corridor as a Special Emphasis Area of high importance for the development of the City and its improved image. The proposed project is consistent with the City-Wide Master Plan based upon the following:

Guiding Principles and Policies:

Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.

Policy CW.21: Create and expand where appropriate commercial and industrial zones to increase tax dollars.

Policy CW.44: Foster economic development through creative land use, zoning and development regulations, City services and City policies.

Policy CW.46: Place emphasis on redevelopment along the major highway corridors; SR 7, US 1, Dixie Highway, Hollywood Boulevard and A-1-A by limiting expansion of residential areas, and deepening industrial and commercial zones to increase tax revenues.

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Variance and Sign Variance as stated in the City of Hollywood's Zoning and Land Development Regulations Article 5.

Variance 1: To increase the number of permitted monument signs from one to three

- **CRITERIA 1:** The variance is not contrary to the public interest.
- ANALYSIS: The City's Zoning and Land Development Regulations state [t]he purpose of this section is to permit signs that: (A) Will not by their size, location, construction or manner of display, endanger the health, safety and general welfare of the public...Currently the subject property has two monument signs that are to be removed and replaced. With the addition of the new Wendy's, the Applicant proposes to provide a monument sign located at the new entrance for Wendy's. Had Wendy's been a separate parcel rather than a lease line, this variance would not be necessary. Therefore, granting the Variance request should not affect the public interest in any way.

FINDING: Consistent.

- **CRITERIA 2:** The variance is required due to special conditions.
- ANALYSIS: Due to the size, and configuration, of the proposed site, signage in excess of what is permitted by right is necessary. However, this sign is for the proposed for the new Wendy's and not a request for the existing commercial plaza.
- FINDING: Consistent.
- **CRITERIA 3:** A literal enforcement of the provisions of Article 8 may result in unnecessary hardship.
- ANALYSIS: The Zoning and Land Development Regulations limits the number of monument signs to one per frontage. However, given the extensive length of the frontage (427 feet) the additional monument sign is necessary. If the Wendy's was located on an individual parcel, this variance would not be necessary.
- FINDING: Consistent.
- VARIANCE 2: To increase the number of permitted wall signs from one to two (north and east façade); and to increase the allowable area (25 sq. ft.) to allow for total of 60 sq. ft. feet for both signs.
- **CRITERIA 1:** The variance is not contrary to the public interest.
- ANALYSIS: The City's Zoning and Land Development Regulations state [t]he purpose of this section is to permit signs that: (A) Will not by their size, location, construction or manner of display, endanger the health, safety and general welfare of the public... The Applicant's request to increase the size and number of permitted wall signs is not contrary to public interest as it increases visibility for those navigating the roadways and pedestrian paths.
- FINDING: Consistent.
- **CRITERIA 2:** The variance is required due to special conditions.
- ANALYSIS: Due to the size, and configuration, of the proposed project, the building the front facade is limited to a smaller sign area, despite its location on the façade front State Road 7

Furthermore, per Zoning and Development Regulations you are only permitted one wall sign per street frontage. On the north façade of the building the Applicant is proposing an additional sign which faces internal roads, but still considered visible from public right of way, thus triggering the need for a Variance. The sign located on the north façade is simply the logo at a size that is substantially smaller than what would have been permitted. The overall square footage between both signs is approximately 60 sq. ft.

- FINDING: Consistent.
- **CRITERIA 3:** A literal enforcement of the provisions of Article 8 may result in unnecessary hardship.
- ANALYSIS: The Zoning and Land Development regulations allow for one wall sign per street frontage; and the area of such sign is limited to one square foot per linear foot of

building face where the sign is to be located, with a minimum of 25 square feet permitted and a maximum of 150 square feet. Had the site configuration been different, and the longer façade been able to face the street, this variance would not be necessary. The additional sign is proposed on the north (longer) façade, facing internal roads; however, the additional sign is considered visible from the right-of-way, triggering the need for a variance.

VARIANCE 3: To waive the requirement for a perimeter wall between 3 - 6 feet in height for any use that sells food or gasoline.

- **CRITERIA 1:** That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.
- ANALYSIS: The basic intent of the required perimeter wall is to limit adverse effects of noise, light, trash/debris, and other potential nuisances on adjacent properties. In lieu of the wall, the applicant is providing an ample setback and landscape buffer which serves the purpose of the wall in a more aesthetically pleasing manner, which will enhance the appearance along State Road 7. Furthermore, the restaurant use is directly adjacent to commercial uses.
- FINDING: Consistent.
- **CRITERIA 2:** That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
- ANALYSIS: Since the request to waive the requirement for the perimeter wall is for State Road 7 frontage, the Variance request does not create any incompatibilities with the surrounding communities.
- FINDING: Consistent.
- **CRITERIA 3:** That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.
- ANALYSIS: The requested variance will not diminish the intent of the Comprehensive Plan as it is accommodating improvements to an existing commercial plaza. In lieu of the wall, the applicant is providing an ample setback and landscape buffer which serves the purpose of the wall in a more aesthetically pleasing manner, enhancing the State Road 7 Corridor appearance. The perimeter wall would deter the pedestrian connectivity along State Road 7.
- FINDING: Consistent.
- **CRITERIA 4:** That the need for requested Variance is not economically based or self-imposed.
- ANALYSIS: The need for the Variance is not economically based or self-imposed. It serves intent of the regulation in a more aesthetically pleasing manner.
- FINDING: Consistent.
- **CRITERIA 5:** That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

VARIANCE 4: To reduce the minimum length of a parking space from 19 feet to 18 feet.

- **CRITERIA 1:** That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.
- ANALYSIS: It is the intent of the Applicant to enhance the existing conditions of the parking lot as a part of the proposed Wendy's. The Applicant has worked with staff reduce the need for variances, but due to existing site constraints the Applicant is not able to fully bring the site into compliance while enhancing the site. Despite the request to reduce the size of the parking stall the proposed site improvements enhance the appearance of the property along the State road 7 Corridor and are consistent with the proposed regulations for the Rezoning.
- FINDING: Consistent.
- **CRITERIA 2:** That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
- ANALYSIS: The requested variance would not be detrimental to the surrounding communities and land use as they are related to enhancing the existing parking and does not call for an expansion of conditions. This Variance request is consistent with the proposed regulations for the Rezoning of State Road 7, had this project gone through the process post adoption of the regulations, this Variance would not be necessary.
- FINDING: Consistent.
- **CRITERIA 3:** That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.
- ANALYSIS: The requested variance will not diminish the intent of the Comprehensive Plan as it is accommodating improvements to an existing commercial plaza parking lot. As stated previously, the requested Variance is for the existing parking lot, and the proposed restaurant will meet the required size for a parking space. The Applicant is proposing site improvements to reconfigure the existing parking lot, for better circulation and to eliminate or decrease existing non-conformities.

FINDING: Consistent.

- **CRITERIA 4:** That the need for requested Variance is not economically based or self-imposed.
- **ANALYSIS:** The need for the Variance is not economically based or self-imposed. Due to the existing site constraints the Applicant is not able to meet the code requirement.

FINDING: Consistent.

- **CRITERIA 5:** That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.
- FINDING: Not applicable.

Analysis of Criteria and Findings for Design Review as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

- **CRITERIA 1:** Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.
- ANALYSIS: The proposed Wendy's design is consistent in massing, scale, and architectural elements with adjacent commercial corridors. Exterior materials, such as glass, stucco, faux wood elements, and an aluminum store front design come together to introduce a modern design along State Road 7 and to the existing commercial plaza. The proposed landscape helps articulate the property and enhance the design of the proposed building. Furthermore, the Applicant is proposing pedestrian paths with painted designated crossings and ramps for easy access to public sidewalks to and from the site to enhance pedestrian connectivity.
- FINDING: Consistent.
- **CRITERIA 2:** Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.
- ANALYSIS: Since Hollywood Boulevard and State Road 7 are commercial corridors, the proposed development is consistent with the surrounding buildings in scale, massing, and placement. Architectural detailing is provided in harmony with the surrounding built environment using an array of materials to provide an identity for the buildings while creating a cohesive fabric. Architectural features proposed such as the glass, stucco, faux wood elements, and an aluminum store front design come together to introduce a modern design along State Road 7. This design is not incompatible with existing development and provides an example for future development along State Road 7.
- FINDING: Consistent.
- **CRITERIA 3:** Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.
- ANALYSIS: The building mass reflects simple composition of basic architectural details. The geometric language is further emphasized by the use of materials and textures. The building height proposed is approximately 26 feet. Exterior materials include glass, stucco and an aluminum design on the front façade.
- **CRITERIA 4:** Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

- ANALYSIS: The Applicant has worked with the City Landscape Architect to incorporate a variety of compatible plant types and forms into the design. The proposed landscape helps articulate the property and enhance the design of the proposed building. The landscaping was designed with both beautification and function in mind.
- FINDING: Consistent.

SITE PLAN

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 5 of the Hollywood Zoning and Land Development Regulations on May 25, 2017. Therefore, staff recommends approval, if the Variance and Design are granted, and with the condition the Applicant submit the appropriate perpetual cross-access agreements, in a form acceptable to the City Attorney, prior to the issuance of any Building Permits and recorded by the City of Hollywood in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

ATTACHMENTS

ATTACHMENT A: Application Package ATTACHMENT B: Land Use and Zoning Map

ATTACHMENT A Application Package

DEPARTMENT OF PLANNING



File No. (internal use only):_

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

OLLYWOOD	APPLICATION TYPE (CHECK ONE)	:				
LOT HE PROPERTY OF THE PROPERT	Technical Advisory Committee	Historic Preservation Board				
	City Commission	I Planning and Development Board				
GOLD COAST	Date of Application: 05/22/17					
ORPORATED	Location Address: 192-460 South S.R. 7					
Tel: (954) 921-3471	Lot(s):_181Block(s):_12	P B Subdivision: Parcel D				
Fax: (954) 921-3347	Folio Number(s): 5141 13 26 0020					
This application must be		Land Use Classification: _71 Transit Oriented Corridor				
completed <u>in full</u> and	Existing Property Use: Commercial					
submitted with all documents to be placed on a Board or		? () Yes (X) No If yes, attach a copy of violation.				
Committee's agenda.	Has this property been presented to the City Number(s) and Resolution(s):_No	before? If yes, check al that apply and provide File				
The employed is recommoble		visory Committee I Historic Preservation Board				
The applicant is responsible for obtaining the appropriate	City Commission	-				
checklist for each type of		ne parking lot, water, sewer and infilstructures.				
application.	Explanation of Request. Improvements to u	re parking lot, water, sewer and ministructures.				
Applicant(s) or their	Number of unite/reamer. N/A	Sa Et. 122 260 SE				
authorized legal agent must be present at all Board or	Number of units/rooms: <u>N/A</u> Sq Ft: <u>123,360 SF</u>					
Committee meetings.	Value of Improvement: <u>\$3,050,000</u> Estimated Date of Completion: <u>Spring 2018</u>					
	Will Project be Phased? () Yes (X)No If Phased, Estimated Completion of Each Phase					
At least one set of the						
submitted plans for each	Name of Current Property Owner: Bostonian Inc					
application must be signed and sealed (i.e. Architect or	Address of Property Owner: 336 E Dania Beach Blvd, Dania, FL 33004					
Engineer).	Telephone: 954-927-4885 Fax: Email Address: Email Address:					
Decuments and forms can be		(circle one): Kimley-Horn and Associates, Inc.				
Documents and forms can be accessed on the City's website	Address. 443 24th Street, Suite 200, Vero Beach, PE 32900 Telephone. 172-794-4100					
at		greg.wilfong@kimley-horn.com				
http://www.hollywoodfl.org/ DocumentCenter/Home/	Date of Purchase: $5/6/1987$ Is there an option to purchase the Property? Yes () No (X)					
View/21	in res, Allach Copy of the Contract.					
	-	e of the Hearing:				
A CON	A	ddress: Email Address:				
ME						





2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <u>www.hollywoodfl.org</u>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: 5/25/17
PRINT NAME: Greg Wilfong Agent to Owner	Date:
Signature of Consultant/Representative:	Date: 5/22/17
PRINT NAME: Greg Wilfong, P.E.	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described re	eal property	and that I am aware of the nature and effect the request for
(project description)		to my property, which is hereby made by me or I
am hereby authorizing (name of the repr	esentative)_	to be my legal
representative before the		_(Board and/or Committee) relative to all matters concerning
this application.		
Sworn to and subscribed before me this day of		SIGNATURE OF CURRENT OWNER
Notary Public State of Florida		PRINT NAME
My Commission Expires:(Cl	neck One)	Personally known to me; OR

AGENT AUTHORIZATION FORM

DATE: November 19, 2015

- RE: Applications for Permits and Approvals Project Name: "Bostonian"
- TO: City of Hollywood, South Florida Water Management District, Florida Department of Transportation, Broward County and other required agencies.

BOSTONIAN, INC. ("the Companies") are in the process of re-developing that particular parcel of land and the improvements thereon (the "Site") located in the state of Florida, Broward County, City of Hollywood, Florida. On behalf of the Companies, I hereby authorize Kimley-Horn and Associates, Inc. (the "Engineer"), to act as the Companies' agent for the express purpose of obtaining permits and approvals related to the re-development of the Site.

In such capacity, the Engineer's authority is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Site, advancing nominal funds as may be required to file such applications and to represent the interests of the Companies at meetings and hearings for the applications. The Engineer is not authorized to negotiate on the Companies' behalf or to bind or obligate the Companies in any manner whatsoever, including without limitation accruing any obligations on the Companies' behalf to pay for or construct improvements without additional authorization in writing from the Companies.

Sincerely,

BOSTONIAN, INC By: 11.19.15

Name: <u>Alberto Micha Buzali</u> Title: Vice President of Bostonian, Inc.

DEPARTMENT OF PLANNING



File No. (internal use only):

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

OLLYWOOD	APPLICATION TYPE (CHECK ONE):					
20 The second second	Technical Advisory Committee Historic Preservation Board					
	□ City Commission					
DIAMOND of The GOLD COAST	Date of Application: 04/24/17					
ORPORATED	Location Address: 404 S 60 Avenue, Hollywood, FL 33024					
Tel: (954) 921-3471	Lot(s): 181 Block(s): 12 B Subdivision: Parcel D					
Fax: (954) 921-3347	Folio Number(s): 5141 13 26 0020					
This application must be	Zoning Classification: <u>SR7 CCD-CC & C-4</u> Land Use Classification: <u>71 Transit Oriented Corridor</u>					
completed <u>in full</u> and submitted with all documents	Existing Property Use: <u>Commercial</u> Sq Ft/Number of Units: <u>5,220 SF</u>					
to be placed on a Board or	Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.					
Committee's agenda.	Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): <u>No</u>					
The applicant is responsible	Economic Roundtable X Technical Advisory Committee Historic Preservation Board					
for obtaining the appropriate	City Commission					
checklist for each type of application.	Explanation of Request: Improvements to the parking lot, water, sewer and infilstructures.					
Applicant(s) or their						
authorized legal agent must be	Number of units/rooms: N/A Sq Ft: 5,220 SF					
present at all Board or Committee meetings.	Value of Improvement: Unknown Estimated Date of Completion: Fall 2018					
	Will Project be Phased? () Yes (X)No If Phased, Estimated Completion of Each Phase					
At least one set of the						
submitted plans for each	Name of Current Property Owner: _ Orion Venture XII Florida, LLC					
application must be signed and sealed (i.e. Architect or	Address of Property Owner: 404 S 60 Avenue, Hollywood, FL 33024					
Engineer).	Telephone: <u>N/A</u> Fax: Email Address: <u>N/A</u>					
Documents and forms can be	Name of Consultant/Representative/Tenant (circle one): Kimley-Horn and Associates, Inc.					
accessed on the City's website	Address: <u>445 24th Street, Suite 200, Vero Beach, FL 32960</u> Telephone: <u>772-794-4100</u>					
at	Fax: Email Address: greg.wilfong@kimley-horn.com					
http://www.hollywoodfl.org/ DocumentCenter/Home/	Date of Purchase: $02/01/93$ Is there an option to purchase the Property? Yes () No (X) If Yes, Attach Copy of the Contract.					
View/21	List Anyone Else Who Should Receive Notice of the Hearing:					
	Address:					
a suga	Email Address:					

DEPARTMENT OF PLANNING



GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <u>www.hollywoodfl.org</u>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: <u>6/26/17</u>
PRINT NAME: Greg Wilfong (Agent to Owner)	Date:
Signature of Consultant/Representative:	Date: <u>4/36/17</u>
PRINT NAME: Greg Wilfong, P.E.	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described	real property and that l	am aware of the nature and effect the request for
(project description)		to my property, which is hereby made by me or I
am hereby authorizing (name of the rep	presentative)	to be my legal
representative before the	(Board a	nd/or Committee) relative to all matters concerning
this application.		
Sworn to and subscribed before me this day of		SIGNATURE OF CURRENT OWNER
<u>.</u>	-	
Notary Public State of Florida		PRINT NAME
My Commission Expires:(0	Check One)	Personally known to me; OR

AGENT AUTHORIZATION FORM

DATE: March 22, 2017

RE: Applications for Permits and Approvals

TO: City of Hollywood, South Florida Water Management District, Florida Department of Transportation, Broward County and other required agencies.

Orion Venture XII Florida, LLC ("the Company") is in the process of re-developing that particular parcel of land and the improvements thereon (the "Site") located in the state of Florida, Broward County, at "The Place at Hollywood" at the SEC of Hollywood Boulevard and S. State Road 7, Hollywood, Florida. On behalf of the Company, I hereby authorize Kimley-Horn and Associates, Inc. (the "Engineer"), to act as the Company's agent for the express purpose of obtaining permits and approvals related to the re-development of the Site.

In such capacity, the Engineer's authority is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Site, advancing nominal funds as may be required to file such applications and to represent the interests of the Companies at meetings and hearings for the applications. The Engineer is not authorized to negotiate on the Company's behalf or to bind or obligate the Company in any manner whatsoever, including without limitation accruing any obligations on the Company's behalf to pay for or construct improvements without additional authorization in writing from the Company.

Sincerely,

Orion Venture XII Florida, LLC, a Florida limited liability company

By: Orion Venture XII MM, LLC, a Florida limited liability company, its Manager

Manager Joseph₄ A. Sanz, 🌶

West Hollywood Plaza

Legal Description

LEGAL DESCRIPTION:

(a) PARCEL "D", OF "HOLLYWOOD PLAZA", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

(b) THAT PORTION OF BLOCK "A", "DU PARK ESTATES AMENDED, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 23, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID BLOCK "A"; THENCE SOUTH 02°10'43" EAST ALONG THE EAST LINE OF BLOCK "A", A DISTANCE OF 34.54 FEET TO THE POINT OF BEGINNING; THENCE, CONTINUE SOUTH 02°10'43" EAST ALONG SAID EAST LINE 195 FEET; THENCE SOUTH 89°12'37" WEST 195 FEET; THENCE NORTH 02°10'43" WEST 195 FEET; THENCE NORTH 89°12'37" EAST 195 FEET TO THE POINT OF BEGINNING.

Project Information

Project Description

The West Hollywood Shopping Plaza is within an existing 11.19 acre shopping center consisting of 120,755 square feet of existing retail. The project proposes one fast food restaurant building totaling 2,205 square feet, located within The West Hollywood Shopping Plaza development. Improvements include parking lots, landscaping, storm water system and utilities. The entitlements, permitting and construction are estimated to take approximately 8-12 months.

Location

• Section 13, Township 51 S, Range 41 E

Address

Existing Retail:

- 440/450 SOUTH 60 AVENUE (S.R. 7)
- 420/430 SOUTH 60 AVENUE (S.R. 7)
- 380-410 SOUTH 60 AVENUE (S.R. 7)
- 370A SOUTH 60 AVENUE (S.R. 7)
- 370B SOUTH 60 AVENUE (S.R. 7)
- 350 SOUTH 60 AVENUE (S.R. 7)
- 340 SOUTH 60 AVENUE (S.R. 7)

- 330 SOUTH 60 AVENUE (S.R. 7)
- 320 SOUTH 60 AVENUE (S.R. 7)
- 310 SOUTH 60 AVENUE (S.R. 7)
- 300 SOUTH 60 AVENUE (S.R. 7)
- 290 SOUTH 60 AVENUE (S.R. 7)
- 280 SOUTH 60 AVENUE (S.R. 7)
- 270 SOUTH 60 AVENUE (S.R. 7)
- 260 SOUTH 60 AVENUE (S.R. 7)
- 250 SOUTH 60 AVENUE (S.R. 7)
- 224/240 SOUTH 60 AVENUE (S.R. 7)
- 220 SOUTH 60 AVENUE (S.R. 7)
- 210 SOUTH 60 AVENUE (S.R. 7)
- 200B SOUTH 60 AVENUE (S.R. 7)
- 200A SOUTH 60 AVENUE (S.R. 7)
- 192 SOUTH 60 AVENUE (S.R. 7)

Wendy's:

• 460 SOUTH ROAD 7

Zoning

- SR7 CCD-CC: Commercial Corridor District- Commercial Core Sub-area
- C-4: Medium/High Intensity Commercial District

Land Use

• 71: Transit Oriented Corridor

June 26, 2017

City of Hollywood Planning and Development Board 2600 Hollywood Blvd, Room 315 Hollywood, FL 33022

Re: Criteria Statement West Hollywood Shopping Center 192-460 South S.R.7 Hollywood, FL 33024

Dear Planning & Development Board Member:

Please consider the following items while reviewing our request for variances related to the monument sign, building signage, end planters, parking stall dimension, perimeter wall, drive aisle dimensions and concrete wheel stops.

Monument Sign

We are requesting an additional monument sign for the Wendy's project. There are currently two existing monument signs along the frontage which are being removed and reconstructed to meet current code. The frontage is approximately 427'.

- A. The Variance is not contrary to the public interest:
 - Our proposed monument sign would provide better identification for traffic goers and be consistent with new Wendy's prototypes being built. The additional monument sign will assist the public in identifying the restaurant. The scale/size of the proposed signs provide a consistent and pleasing appearance and meets current size requirements. The additional monument sign would be allowed if a separate parcel was existing at this shopping center. Therefore, granting this variance request should not affect the public interest in any way.
- B. The variance is required due to special conditions:
 - Due to the current parcel configuration and frontage length the site constraints don't allow an additional sign unless a separate parcel was created, therefore this site has special conditions that warrant this variance.
- C. A literal enforcement of the provisions of Article 8, may result in an unnecessary hardship:
 - The Zoning and Land Development regulations limits the number of monument signs to one per frontage per parcel. However, given the extensive amount of frontage this additional monument sign is necessary

772 794 4100

for the new Wendy's facility. If this proposed Wendy's was located on its own parcel this variance would not be required.

Wendy's Building Signage

We are requesting additional signage for the Wendy's building signage due to a very small amount of frontage for our building. The current frontage is only 25.5'due to the rotation of the building and the signage proposed is 56.5 square feet.

- A. The Variance is not contrary to the public interest:
 - The variance to increase the number of allowable signs is required in order to provide signs on each façade (facing east and facing north), is not contrary to the public interest. As the area of the signage is significantly reduced by the small amount of frontage along SR 7.
- **B.** The variance is required due to special conditions:
 - We are proposing to increase the number of allowable signs, in order to provide signs on each façade (facing east and facing north). The size of the signs has been reduced to be compatible with other variances that have been approved as part of the Place at Hollywood having signs on multiple facades. The special condition that exists is that there is limited frontage due to the drive thru configuration which results in reduced allowed signage being allowed.
- **C.** A literal enforcement of the provisions of Article 8, may result in an unnecessary hardship:
 - The Zoning and Land Development regulations allow for one wall sign per street frontage, and the area of such sign is limited to one square foot per linear foot of building face where the sign is located, with a minimum of 25 square feet permitted and a maximum of 150 square feet. Had the Wendy's building been configured perpendicular this variance would not have been necessary as we would have additional frontage. Since the north facing sign is visible from the right of way the variance is required.

Parking Stalls Dimensions

Currently the proposed site plan does not meet the current zoning regulations for the parking stall dimensions. There is currently a new zoning district that is being developed which would allow for reduced parking stall dimensions and other items which should be approved in the near future. The proposed parking stall size is 8.5' wide by 18' deep and 17' deep with 1' overhang at a minimum.

A. The requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

- The variance to allow for reduce the parking stall dimensions requirement meets the basic intent and purpose. The City is currently in the process of amending the code to allow for reduced parking stall size which will likely be approved shortly. The appearance of the shopping center is being greatly improved as a new parking lot is being constructed. The reduced parking stall size are required in order to meet the current parking requirements.
- B. The requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
 - The proposed variance for the reduced parking stall size would allow the parking lot to meet the intent of the code. This is not detrimental to the community and is compatible with other redevelopment projects in the surrounding area.
- C. The requested variance is consistent with and in furtherance of the goals, objectives and policies of the adopted comprehensive plan, as amended from time to time, the applicable neighborhood plan and all other similar plans adopted by the city.
 - The approval of the variance will allow for better parking lot configuration and amount of parking within the shopping center. This will promote the overall goals of growth and citizen happiness.
- D. That the need for the requested variance is not economically based or self-imposed.
 - The need for the variance is a result of better configuring the parking lot to be able to meet the required parking code with a few reduced planters and more larger planters to offset.
- E. That the variance is necessary to comply with State or Federal law and is the minimum variance necessary to comply with the applicable law.
 - The requested variance is necessary to allow for reduced parking stall dimensions to meet the minimum parking requirements. The reduced parking stall size is in the process of being changed in the zoning regulations by the City.

Perimeter Wall

We are requesting relief for the required 3'-6' perimeter wall requirement for the Wendy's drive thru which we understand needs to be modified as part of a future code change. This has been approved at many other fast food users recently.

- **A.** The requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.
 - The basic intent of the required perimeter wall is to limit adverse effects of noise, light, trash/debris, and other potential nuisances on adjacent properties. Since this request to waive the required perimeter wall is for SR 7 frontage we don't believe this would be required. There is landscaping along the perimeter that will help alleviate possible adverse effects.
- B. The requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
 - Since the requested to waive the requirement for the perimeter wall is for State Road 7 frontage and this waiver has been granted across the street in the Hollywood Shopping Center project we believe that this is not detrimental to the community
- C. The requested variance is consistent with and in furtherance of the goals, objectives and policies of the adopted comprehensive plan, as amended from time to time, the applicable neighborhood plan and all other similar plans adopted by the city.
 - The requested variance meets the goals and objectives of the comprehensive plan of screening the drive thru as we have landscaping material along the property edges that will alleviate possible adverse effects. In addition, this type of variance has been approved in the Hollywood Shopping Center across the street that has similar site constraints as this project.
- D. That the need for the requested variance is not economically based or self-imposed.
 - The need for the variance is not economically based or self-imposed. It serves intent of the regulation in a more aesthetically pleasing manner and allows for improved functionality and vehicular and pedestrian circulation throughout the site.
- E. That the variance is necessary to comply with State or Federal law and is the minimum variance necessary to comply with the applicable law.
 - The requested variance is necessary to meet other drive thru requirements by the City of Hollywood and to have safer vehicular and pedestrian circulation within the project.

Sincerely,

KIMLEY-HORN and Associates, Inc.

Greg Wilfong, P.E.

Page 5

West Hollywood Plaza

Existing Conditions Photo #1 (Looking North)



772 794 4100

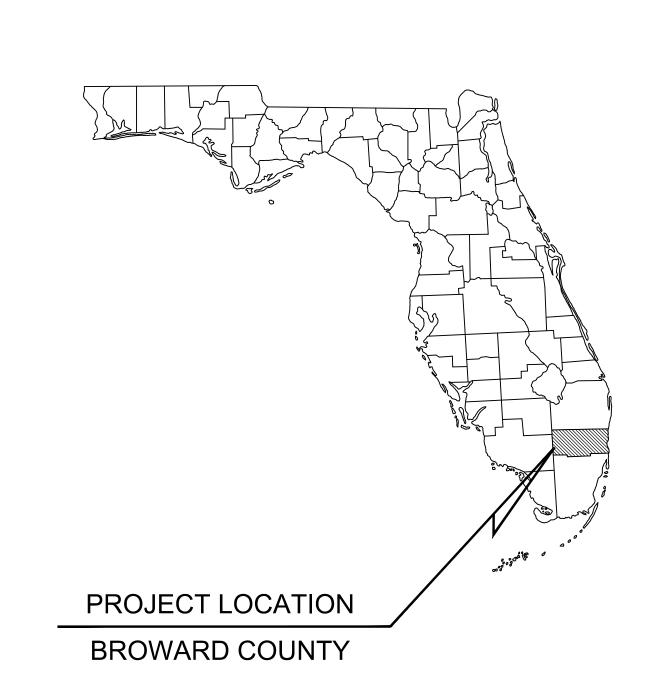
West Hollywood Plaza

Existing Conditions Photo #2 (Looking South)



772 794 4100

Page 2



PROJECT LOCATION

ENGINEER:

GREG D. WILFONG, P.E. KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200 VERO BEACH, FLORIDA 32960 PHONE: (772) 794-4100 LIST OF CONTACTS

CITY ENGINEERING CITY OF HOLLYWOOD

LUIS A. LOPEZ, P.E. 2600 HOLLYWOOD BLVD HOLLYWOOD, FL 33022 PHONE: (954) 921-3900

STORMWATER BROWARD COUNTY EPD CARLOS ADORISIO, P.E. **1 N. UNIVERSITY DRIVE** PLANTATION, FL 33301 PHONE: (954) 519-0318

TRANSPORTATION FLORIDA DEPT. OF TRANSPORTATION JAMES FORD 3400 WEST COMMERCIAL BLVD. FT. LAUDERDALE, FL 33309 PHONE: (954) 777-4383

BUILDING OFFICIAL CITY OF HOLLYWOOD PHIL SAUER 2600 HOLLYWOOD BLVD. HOLLYWOOD, FL 33022 PHONE: (954) 921-3335

CABLE COMCAST CABLE LEONARD MAXWELL-NEWBOLD 2601 S.W. 145TH AVE. MIRAMAR, FL 33027 PHONE: (954) 447-8405

ELECTRIC FLORIDA POWER & LIGHT JAMES TALLEY 4000 DAVIE ROAD EXTENSION HOLLYWOOD, FL 33024 PHONE: (954) 442-6347

CITY PLANNING/ZONING CITY OF HOLLYWOOD LESLIE A. DEL MONTE 2600 HOLLYWOOD BLVD. HOLLYWOOD, FL 33022 PHONE: (954) 921-3471

336 E. DANIA BEACH BLVD.

PHONE: (954) 927-4885

TELEPHONE AT&T BOB KRAUSS 8601 W. SUNRISE BLVD. PLANTATION, FL 33322 PHONE: (954) 476-6406

DEVELOPER:

BOSTONIAN, INC.

DANIA, FL 33004

PUBLIC WORKS CITY OF HOLLYWOOD JAMES RUSNAK 2600 HOLLYWOOD BLVD. HOLLYWOOD, FL 33022 PHONE: (954) 921-3302

WATER CITY OF HOLLYWOOD JAMES RUSNAK 2600 HOLLYWOOD BLVD. HOLLYWOOD, FL 33022 PHONE: (954) 921-3302

CITY OF HOLLYWOOD JAMES RUSNAK 2600 HOLLYWOOD BLVD. HOLLYWOOD, FL 33022

TECO PEOPLES GAS YVONNE GOLDMAN FT. LAUDERDALE, FL, 33309 YVONNE GOLDMAN

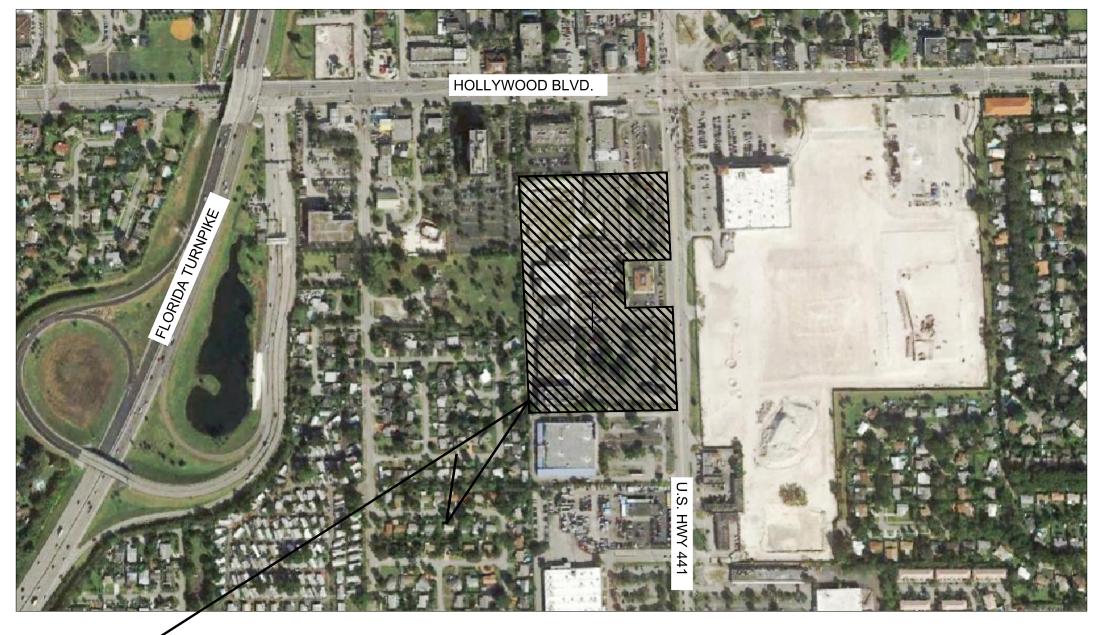
SITE APPLICATION FOR WEST HOLLYWOOD PLAZA

LOCATED AT

440/450 SOUTH 60 AVENUE (S.R. 7) 420/430 SOUTH 60 AVENUE (S.R. 7) 380-410 SOUTH 60 AVENUE (S.R. 7) 370A SOUTH 60 AVENUE (S.R. 7) 370B SOUTH 60 AVENUE (S.R. 7) 350 SOUTH 60 AVENUE (S.R. 7) 340 SOUTH 60 AVENUE (S.R. 7) 330 SOUTH 60 AVENUE (S.R. 7) 320 SOUTH 60 AVENUE (S.R. 7 310 SOUTH 60 AVENUE (S.R. 7) 300 SOUTH 60 AVENUE (S.R. 7)

290 SOUTH 60 AVENUE (S.R. 7) 280 SOUTH 60 AVENUE (S.R. 7) 270 SOUTH 60 AVENUE (S.R. 7) 200A SOUTH 60 AVENUE (S.R. 7 192 SOUTH 60 AVENUE (S.R. 7) 460 SOUTH ROAD 7

HOLLYWOOD, FL 33024 SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST







FIRE

SANITARY SEWER

PHONE: (954) 921-3302

NATURAL GAS 5101 N.W. 21ST AVE., STE. 460 PHONE: (954) 453-0824

CITY OF HOLLYWOOD JANET WASHBURN 2741 STIRLING ROAD HOLLYWOOD, FL 33312 PHONE: (954) 967-4248



MEETINGS

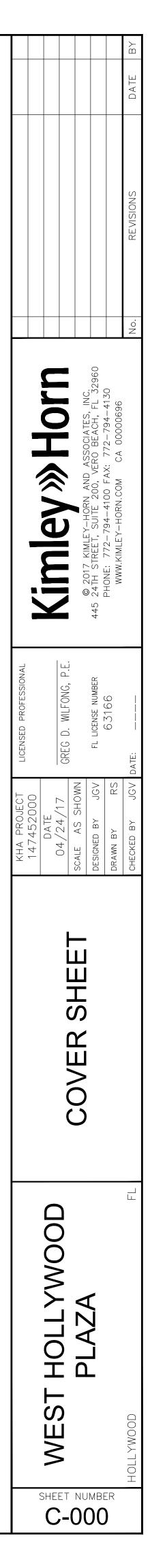
PRELIMINARY TAC 1ST FINAL TAC 2ND FINAL TAC PLANNING DEV. BOARD <u>DATE</u>

05-04-15 11-02-15 05-15-17 07-13-17

Sheet Number	Sheet Title
C-000	COVER SHEET
C-100	GENERAL NOTES
1 of 1	BOUNDARY & TOPOGRAPHIC SURVEY
C-200	OVERALL SITE PLAN
C-201	SITE PLAN
C-202	SITE PLAN
C-203	SITE PLAN
C-204	SITE DETAILS
C-300	OVERALL DEMOLITION AND EROSION CONTROL PLAN
C-301	DEMOLITION AND EROSION CONTROL PLAN
C-302	DEMOLITION AND EROSION CONTROL PLAN
C-303	DEMOLITION AND EROSION CONTROL PLAN
C-400	OVERALL PAVING GRADING AND DRAINAGE PLAN
C-401	PAVING GRADING AND DRAINAGE PLAN
C-402	PAVING GRADING AND DRAINAGE PLAN
C-403	PAVING GRADING AND DRAINAGE PLAN
C-404	PAVING GRADING AND DRAINAGE DETAILS
C-500	OVERALL UTILITY PLAN
C-501	UTILITY PLAN
C-502	UTILITY PLAN
C-503	UTILITY PLAN
C-504	CITY OF HOLLYWOOD STANDARD POTABLE WATER DETAILS
C-505	CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS
C-506	CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS
C-507	CITY OF HOLLYWOOD STANDARD POTABLE WATER DETAILS
L-100	TREE INVENTORY PLAN
L-101	LANDSCAPE PLAN
L-102	LANDSCAPE DETAILS
L-103	LANDSCAPE SPECIFICATIONS
PH1.0	PHOTOMETRIC PLAN

ARCH. DESIGN PLAN INDEX SHEET TITLE SHEET NUMBER

WENDY'S (PREPARED BY CKE GROUP INCORPORATED)			
	COVER SHEET		
C-1	ENLARGED SITE PLAN		
C-2	PAVING & DRAINAGE PLAN		
C-3	SITE UTILITY PLAN		
C-4	SITE DETAILS		
C-5	DETAILS & CROSS SECTIONS		
C-6	POLLUTION PREVENTION DETAILS		
PM-1	PAVEMENT MARKING & SIGNAGE PLAN		
TE-1	TRASH ENCLOSURE PLAN & DETAILS		
CE-1	SITE LIGHTING PLAN		
L-1	LANDSCAPE PLAN		
L-2	IRRIGATION PLAN		
L-3	SPECIFICATIONS SHEET		
A1.1	FLOOR PLAN		
A.1.3	ROOF PLAN		
A2.1	EXTERIOR ELEVATIONS		
A2.2	EXTERIOR ELEVATIONS		



GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- 11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

DEMOLITION NOTES

- 1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- 2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE, UNLESS OTHERWISE NOTED. ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
- 4. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN.

PAVING, GRADING AND DRAINAGE NOTES

- SHALL BE REGRADED AND SODDED.
- STRINGENT SHALL GOVERN.

- EXISTING OR AS INDICATED.
- PAVEMENT UNLESS OTHERWISE INDICATED.

- OTHERWISE SHOWN.
- PROTECTION.
- STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.

- MANNER.
- MANUFACTURER'S RECOMMENDATIONS.

RECORD DRAWINGS

NAME

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.

2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION

3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST

4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.

5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.

6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.

7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS

8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED

9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.

11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.

12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.

14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL

16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY

17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.

18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.

19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL

20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER

1. CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 10 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, AS WELL AS BOTH IN AUTOCAD 2012 OR LATER, BOTH PREPARED BY A FLORIDA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME

WATER AND SEWER UTILITY NOTES

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- 3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- 4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- 5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER, ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- 7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- 9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- 3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- 5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA. EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. 16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. 19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFE VELOCITIES AND EROSION

20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION. 21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS. 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.

5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

BY 55 CUBIC YARDS / ACRE. 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

ACTIVITIES:

- DENSITY TEST REPORTS - BACTERIOLOGICAL TESTS OF WATER SYSTEM - PRESSURE TEST OF WATER/SEWER - LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS - ANY OTHER TESTING REQUIRED BY THE AGENCY

EROSION CONTROL NOTES (CONT.)

13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.

14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE FDOT STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.

INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE

SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED

TYPICAL ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING

- PRE-CONSTRUCTION MEETING

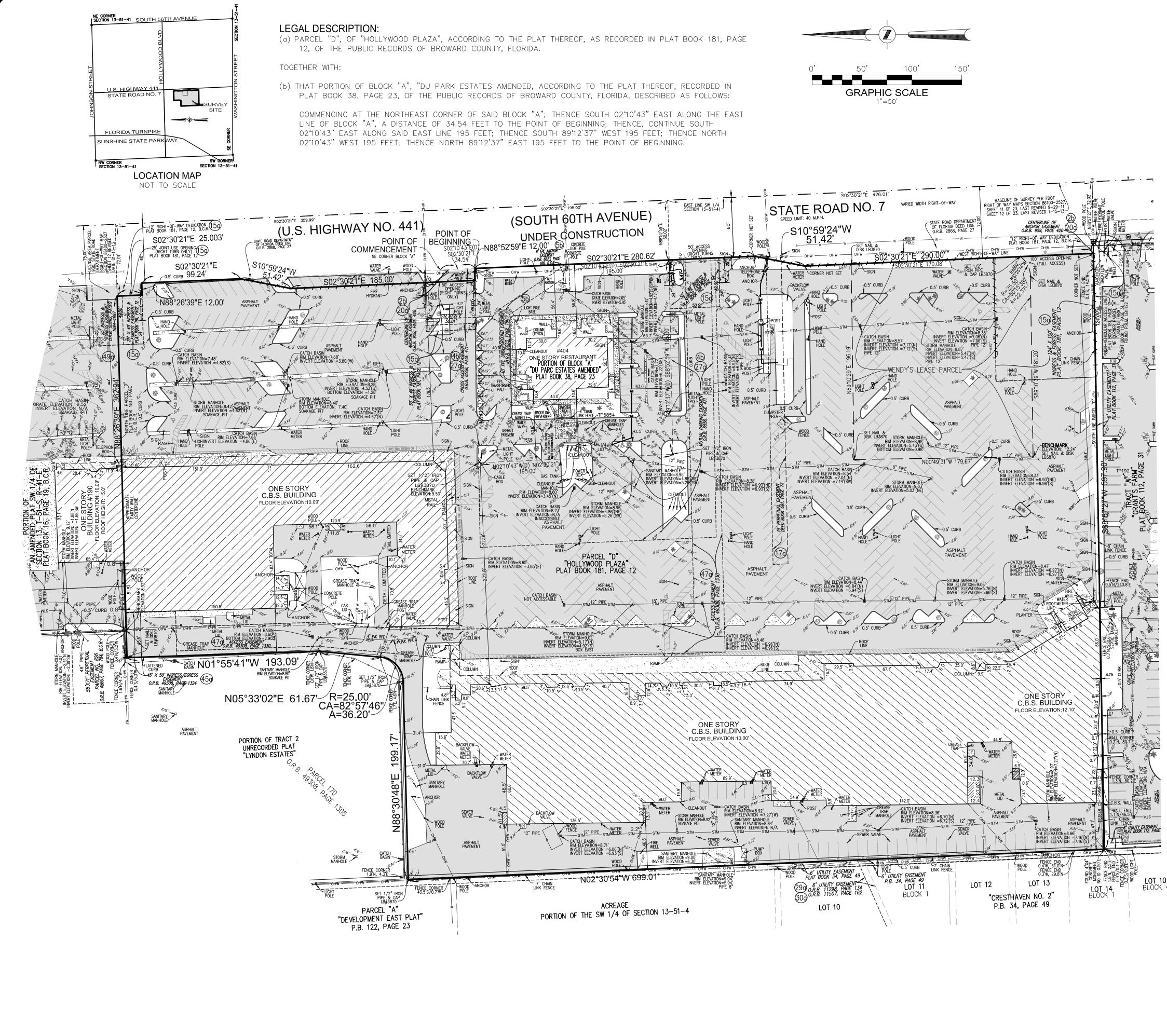
- TESTS OF UTILITIES

- SUBGRADE PREPARATION - BASE INSTALLATION - ASPHALT INSTALLATION - UNDERGROUND PIPING AND UTILTIES INSTALLATION - INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC. - SIDEWALK INSTALLATION - CONNECTIONS TO WATER AND SEWER MAINS

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

				REVISIONS DATE BY
	lley »> Horn	© 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960	PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 00000696	No.
KHA PROJECT LICENSED PROFESSIONAL 147452000	GREG D. WILFONG, P.E.	Scale AS SHOWN Designed BY JGV FL LICENSE NUMBER 445 24TH STREET,	DRAWN BY RS 63166 PHONE: 772–7 WWW.KIMLEY-	CHECKED BY JGV DATE:
	MEST HOLLYWOOD	PLAZA	ER	HOLLYWOOD



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NOTES:

- 1) THIS SITE 487,644 SQUARE FEET (11.1948 ACRES)(GROSS AND NET), MORE OR LESS.
- 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK NO. S312 1970; ELEVATION: 8.59'
- 3) FLOOD ZONE: X AND AH; BASE FLOOD ELEVATION: NONE AND 10' (NAVD); PANEL IN INSTRUMENT #125113-0564H; MAP DATE: 8-18-14 4) BEARINGS ARE BASED ON EAST LINE OF PARCEL "D" BEING S02°30'21"E
- 5) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 6) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS 0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07' 7) (a)THIS SURVEY WAS PREPARED WITH BENEFIT OF OWNERSHIP & ENCUMBRANCE CERTIFICATE OF SEARCH, FILE NO.
- 5263554 3nd UPDATE, PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED THROUGH MAY 14, 2017 AT 6:00 A.M. THE FOLLOWING ITEMS ARE INSTRUMENTS LISTED IN SAID REPORT AS TO PARCEL (a):
- ITEM 1-NOTICE OF COMMENCEMENT IN INSTRUMENT #113008544 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 2-NOTICE OF COMMENCEMENT IN INSTRUMENT #113718868 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 3-NOTICE OF COMMENCEMENT IN INSTRUMENT #113768351 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 4-NOTICE OF COMMENCEMENT IN INSTRUMENT #113768352 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 5-PLAT IN PLAT BOOK 16, PAGE 19 APPLIED TO THIS SITE BUT HAS BEEN SUPERCEDED BY REPLAT. ITEM 6-PLAT IN PLAT BOOK 26, PAGE 17 APPLIED TO THIS SITE BUT HAS BEEN SUPERCEDED BY REPLAT. ITEM 7-PLAT IN PLAT BOOK 38, PAGE 23 APPLIES THIS SITE AS DEPICTED HEREON. PORTIONS OF THIS PLAT
- HAVE BEEN SUPERCEDED BY REPLAT. ITEM 8-PLAT IN PLAT BOOK 181, PAGE 12 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 9-DEED IN DEED BOOK 463, PAGE 505 DOES NOT APPLY TO THIS SITE. ITEM 10-WARRANTY DEED IN DEED BOOK 691, PAGE 73 APPLIES TO THIS SITE. PERPETUAL EASEMENT DEPICTED HEREON.
- ITEM 11-RELEASE IN O.R.B. 245, PAGE 176 DOES NOT APPLIES TO THIS SITE
- ITEM 12-QUIT CLAIM DEED IN O.R.B. 245, PAGE 174 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 13-EASEMENT IN O.R.B. 959, PAGE 420 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 14-WARRANTY DEED IN O.R.B. 1041, PAGE 142 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 15-EASEMENT IN O.R.B. 1228, PAGE 517 DOES NOT APPLY TO THIS SITE.
- ITEM 16-RESOLUTION IN O.R.B. 1333, PAGE 288 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 17-RESOLUTION IN O.R.B. 1333, PAGE 293 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 18-COUNTY DEED IN O.R.B. 2868, PAGE 27 DOES NOT APPLY TO THIS SITE.
- ITEM 19-RESOLUTION IN O.R.B. 3843, PAGE 466 DOES NOT APPLY TO THIS SITE.
- ITEM 20-MUTUAL PARKING AND CROSS EASEMENT AGREEMENT IN O.R.B. 6556, PAGE 471 APPLIES TO THIS SITE AS DEPICTED HEREON. ITEM 21-SPECIAL WARRANTY DEED IN O.R.B. 8990, PAGE 32 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 22-GRANT OF EASEMENT IN O.R.B. 11298, PAGE 134 DOES NOT APPLY TO THIS SITE BUT IS DEPICTED HERON. ITEM 23-DUPLICATE OF ITEM 22.
- ITEM 24-AGREEMENT IN O.R.B. 12028, PAGE 454 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 25-SHORT FORM BUSINESS LEASE IN O.R.B. 15532, PAGE 832 APPLIES TO THIS SITE BUT IS NOT
- PLOTTABLE. ITEM 26-ORDINANCE NO. 84-85 IN O.R.B. 12152, PAGE 51 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 27-AGREEMENT OF LEASE IN O.R.B. 16471, PAGE 1 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 28-ORDINANCE NO. 2002-61 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 29-ORDINANCE NO. 2009-13 IN O.R.B. 46117, PAGE 1638 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 30-SHORT FORM LEASE IN O.R.B. 48034, PAGE 422 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 31-RESOLUTION NO. 11-V-59 IN O.R.B. 48209, PAGE 1729 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 32-WARRANTY DEED IN O.R.B. 49308, PAGE 1305 DOES NOT APPLY TO THIS SITE.
- ITEM 33-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1308 DOES NOT APPLY TO THIS SITE.
- ITEM 34-QUITCLAIM DEED IN O.R.B. 49308, PAGE 1311 DOES NOT AFFECT THIS SITE. ITEM 35-TEMPORARY EASEMENT IN O.R.B. 49308, PAGE 1315 HAS EXPIRED.
- ITEM 36-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1318 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 37-SUBORDINATION AGREEMENT FOR TEMPORARY EASEMENT IN O.R.B. 49308, PAGE 1321 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 38-PERPETUAL EASEMENT IN O.R.B. 49308, PAGE 1324 APPLIES TO THIS SITE AS DEPICTED HEREON. ITEM 39-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1327 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 40-PERPETUAL EASEMENT IN O.R.B. 49308, PAGE 1330 APPLIES TO THIS SITE AS DEPICTED HEREON. ITEM 41-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1333 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 42-EASEMENT IN O.R.B. 50262, PAGE 1694 DOES NOT LIE WITHIN THIS SITE BUT BENEFITS THE SITE BY
- GIVING SHARED INGRESS FROM SOUTH 60TH AVENUE, AS DEPICTED HEREON. ITEM 43-SECURITY/LIEN AGREEMENT INSTALLATION OF REQUIRED IMPROVEMENTS IN O.R.B. 50295, PAGE 1021 AS DEPICTED HEREON THIS SITE BUT IS NOT PLOTTABLE.
- ITEM 44-AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT IN INSTRUMENT #113456377 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE. ITEM 45-AMENDED AND RESTATED RECIPROCAL EASEMENT AGREEMENT WITH COVENANTS. CONDITIONS AND
- RESTRICTION IN INSTRUMENT #114247810 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.

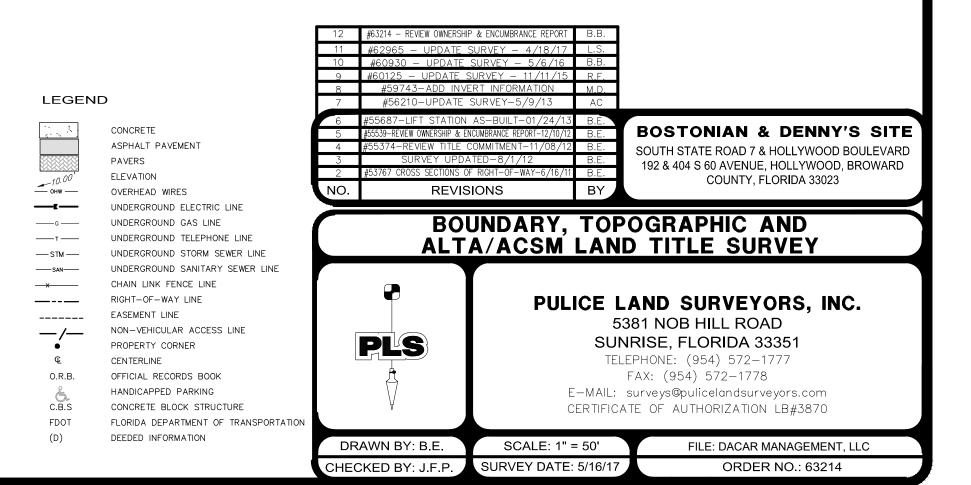
CERTIFICATION:

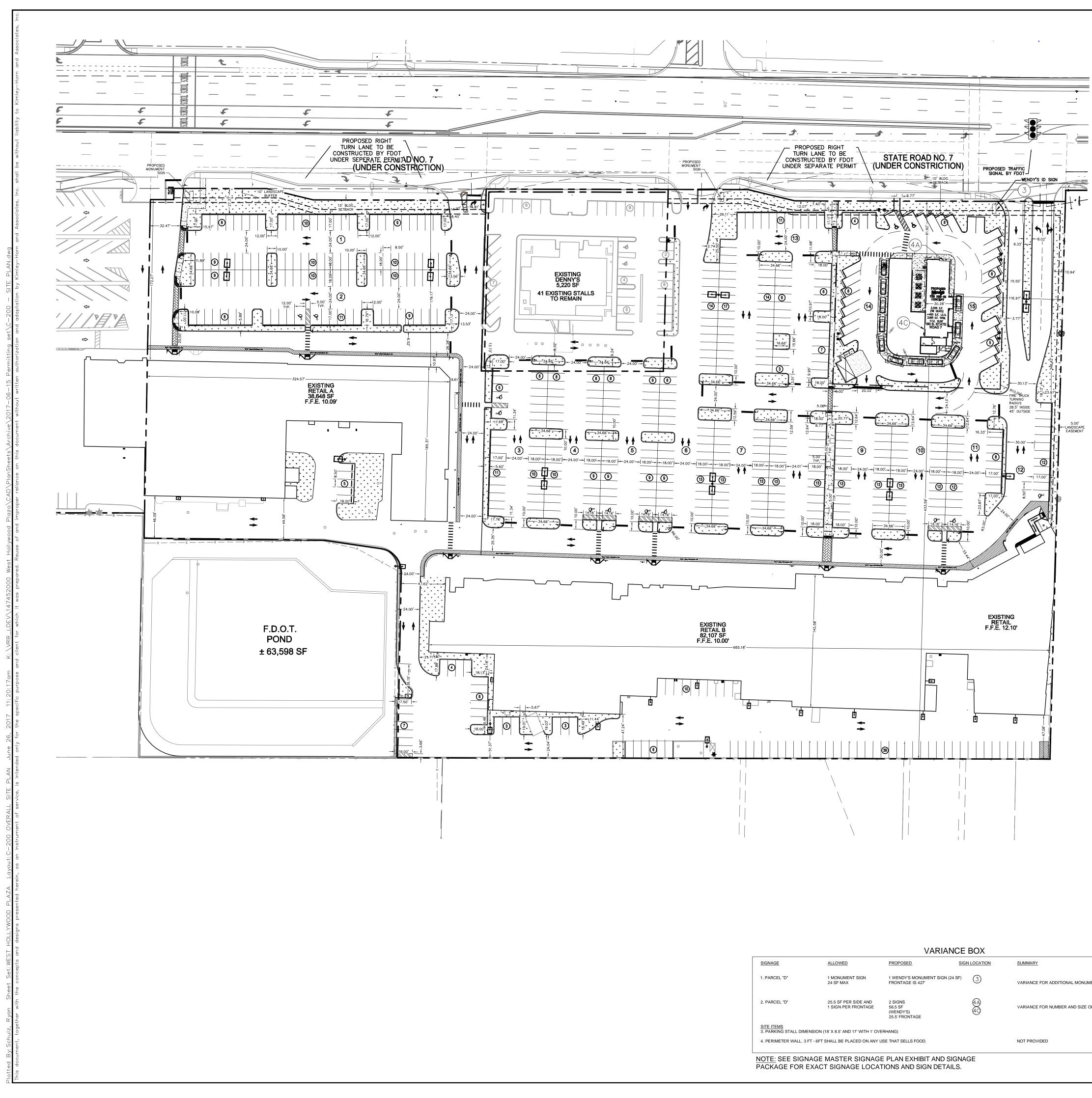
TO, DACAR MANAGEMENT, LLC.; COMMONWEALTH LAND TITLE INSURANCE COMPANY; BOSTONIAN, INC., A FLORIDA CORPORATION; ORION VENTURE XII FLORIDA, LLC, A FLORIDA LIMITED LIABILITY COMPANY; DUNAY MISKEL & BACKMAN:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 7(a), 8, 10, 11(a) & 14 OF TABLE A THEREOF.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

> □ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691 □ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136 □ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274 STATE OF FLORIDA





VARIANCE BOX					
SIGNAGE	ALLOWED	PROPOSED	SIGN	LOCATION	SUMMARY
1. PARCEL "D"	1 MONUMENT SIGN 24 SF MAX	1 WENDY'S MONUMENT SIGN (24 FRONTAGE IS 427'	SF)	3	VARIANCE FOR ADDITIONAL MONUMENT SIGN
2. PARCEL "D"	25.5 SF PER SIDE AND 1 SIGN PER FRONTAGE	2 SIGNS 56.5 SF (WENDY'S) 25.5' FRONTAGE		(4A) (4O)	VARIANCE FOR NUMBER AND SIZE OF SIGNS
<u>SITE ITEMS</u> 3. PARKING STALL DIMENSION	(18' X 8.5' AND 17' WITH 1' OVE	RHANG)			
4. PERIMETER WALL, 3 FT - 6FT SHALL BE PLACED ON ANY USE THAT SELLS FOOD.				NOT PROVIDED	

LEGEND PROPERTY LINE PROPOSED PARKING SPACES GRAPHIC SCALE IN FEET 0 25 50 10 100 PROPOSED GREEN SPACE PROPOSED STAMPED COLOR ASPHALT PROPOSED CONCRETE $\bullet \bullet \bullet \bullet$ PROPOSED LIGHTPOLE (X)MONUMENT SIGN (3 TOTAL) SIGN (TYP) 0 VISIBILITY TRIANGLE

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DEVELOPMENT SUMMARY

LOCATION:	SECTION 13, TOWNSHIP 51 S, RANG	E 41 E
ADDRESS:	300-460 SOUTH 60TH AVENUE (S.R. 7	7), HOLLYWOOD, FL 33024
ZONING:	SR7 CCD-CC: COMMERCIAL CORRIE COMMERCIAL CORE SUB-AREA C-4: MEDIUM/HIGH INTENSITY COMM	
LEGAL DESCRIPTION:	PARCEL 'D', OF HOLLYWOOD PLAZA THEREOF, AS RECORDED IN PLATE PUBLIC RECORDS OF BROWARD CO	BOOK 181, PAGE 12 PF THE
LAND USE:	71: TRANSIT ORIENTED CORRIDOR	
SITE AREA:	SHOPPING CENTER ± 487,644 SF	±11.19 AC
BULDING:	AREA:	
EXISTING BUILDING SF	± 120,755 SF (2.76 AC)	
PROPOSED FAST FOOD EXISTING RETAIL BUILDING "A" EXISTING RETAIL BUILDING "B" TOTAL BUILDING SF	± 2,605 SF (0.06 AC) ± 38,648 SF (0.89 AC) ± 82,107 SF (1.88 AC) ± 123,360 SF (2.83 AC)	
LOT COVERAGE:		
BUILDING AREA:	<u>EXISTING</u> 120,755 SF (2.77 AC) 24.76%	<u>PROPOSED</u> 123,360 SF (2.83 AC) 25.30%
TOTAL PERVIOUS AREA : BUFFERS: VEHICULAR USE LANDSCAPE	20,827 SF (0.48 AC) 4.27% 0.00 SF (0.00 AC) 0.00% 20,827 SF (0.48 AC) 4.27%	49,049 SF (1.13 AC) 10.06% 4,702 SF (0.10 AC) 0.96% 44,347 SF (1.02 AC) 9.09%
TOTAL IMPERVIOUS AREA: WALKWAY/IMPERVIOUS ARE <u>VEHICULAR USE AREA:</u> TOTAL SITE AREA	346,062 SF (7.94 AC) 70.97% A: 26,101 SF (0.60 AC) 5.35% 319,961 SF (7.39 AC) 65.62% 487,644 SF (11.19 AC) 100.00%	315,235 SF (7.23 AC) 64.64% 25,008 SF (0.57 AC) 5.13% 290,227 SF (6.66 AC) 59.52% 487,644 (11.19 AC) 100.00%

VEHICULAR USE LANDSCAPE IS A PERCENTAGE OF VEHICULAR USE AREA: <u>44,347 SF</u> X 100 = 15.26% 290,627 SF

BUILDING HEIGHT:			
RETAIL BUILDING "A" RETAIL BUILDING "B" PROPOSED FAST FOOD	<u>MAXIMUM</u> 175' 175' 175'	PROVIDED N/A N/A 26'-9"	
BUILDING SETBACKS:			
FRONT SIDE REAR	<u>REQUIRED</u> 15' 0' 15'	PROVIDED 179' 0' 47'	<u>WENDY'S</u> 61'± 117'± 433'±
PARKING SUMMARY	REQUIRED	PROVIDE	ED
FAST FOOD 1 SP/100SF	35	33*	
STANDARD ACCESSIBLE PER ADA	33 2	31 2	
SHOPPING CENTER 1 SP/220 SF	543	545	
STANDARD ACCESSIBLE PER ADA	532 11	534 11	
LOADING	0	0	
TOTAL SITE PARKING	578 SPACES	578 SPA0 4.43 SP/	

NOTE: DENNY'S EXISTING 41 PARKING STALLS TO REMAIN. ACCESS PARKING AGREEMENT HAS BEEN RECORDED BY DENNY'S AND THE OWNER.

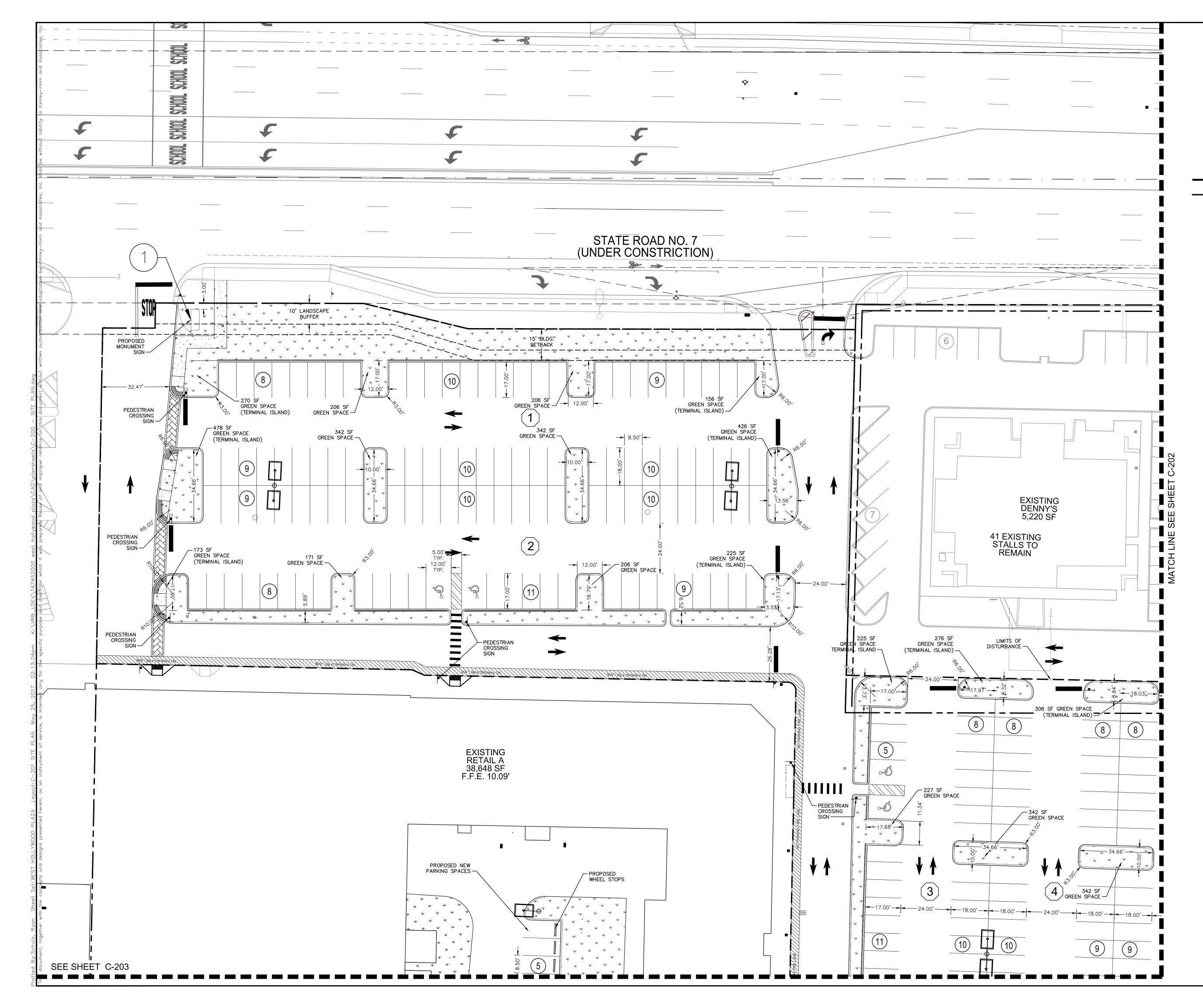
*PARKING SHORTFALL OF 2 STALLS BEING INCORPORATED IN SHOPPING CENTER PARKING

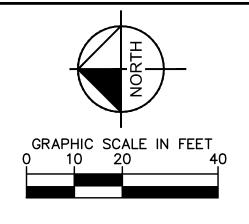
NOTES:

1. A MAXIMUM OF 0.5 FOOT CANDLE AT PROPERTY LINES ADJACENT TO RESIDENTIAL.

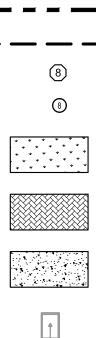
2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.

3. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.





LEGEND



LIMITS OF DISTURBANCE PARKING ROW

PROPERTY LINE

PROPOSED GREEN SPACE

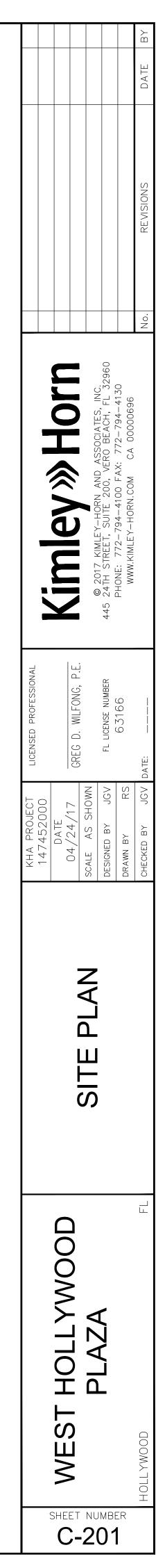
PROPOSED PARKING SPACES

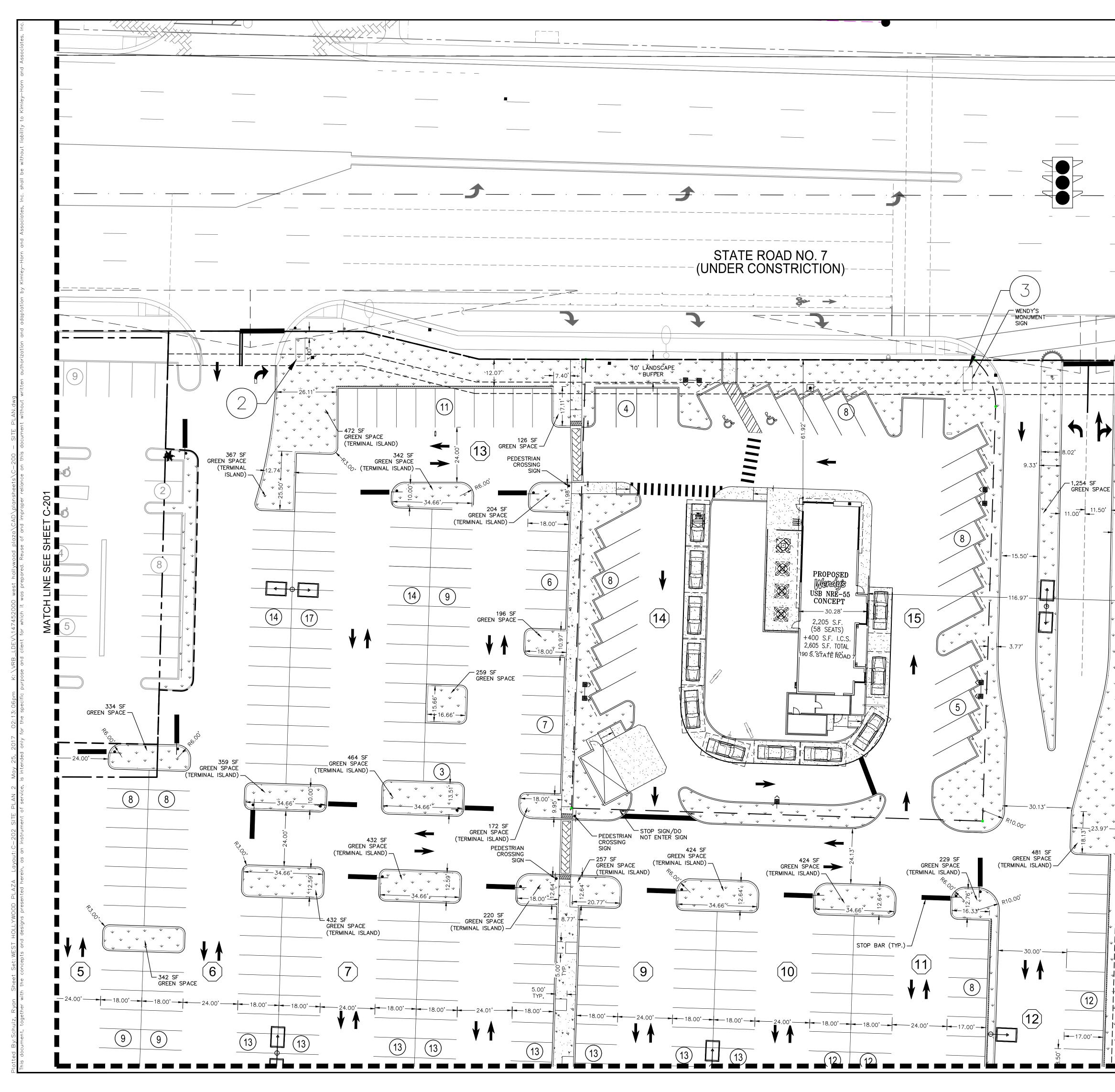
PROPOSED STAMPED COLOR ASPHALT

PROPOSED CONCRETE

PROPOSED LIGHTPOLE

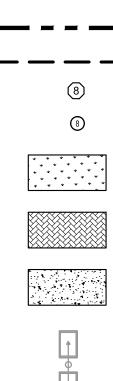
SIGN (TYP)





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GRAPHIC SCALE IN FEET 0 10 20 40

LEGEND



LIMITS OF DISTURBANCE PARKING ROW

PROPERTY LINE

PROPOSED GREEN SPACE

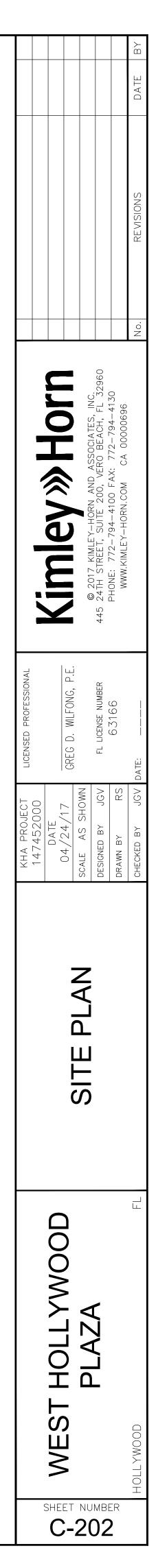
PROPOSED PARKING SPACES

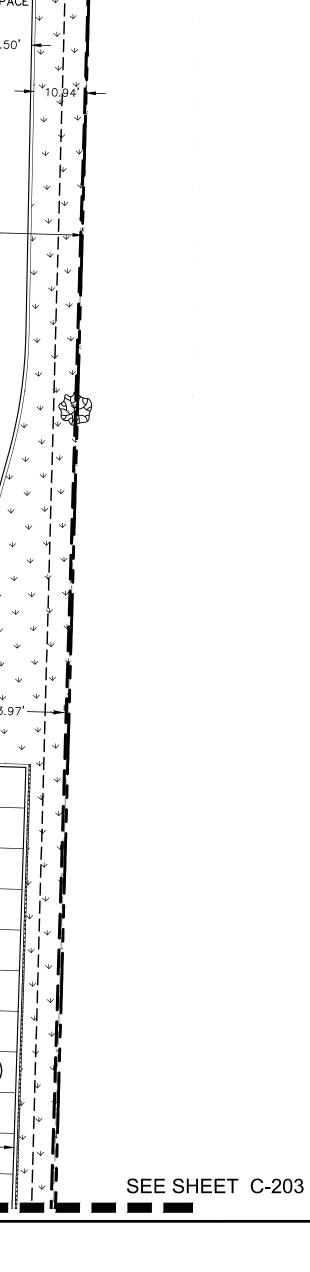
PROPOSED STAMPED COLOR ASPHALT

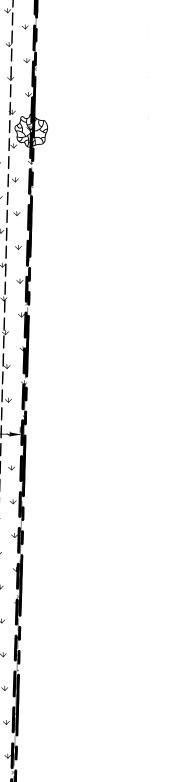
PROPOSED CONCRETE

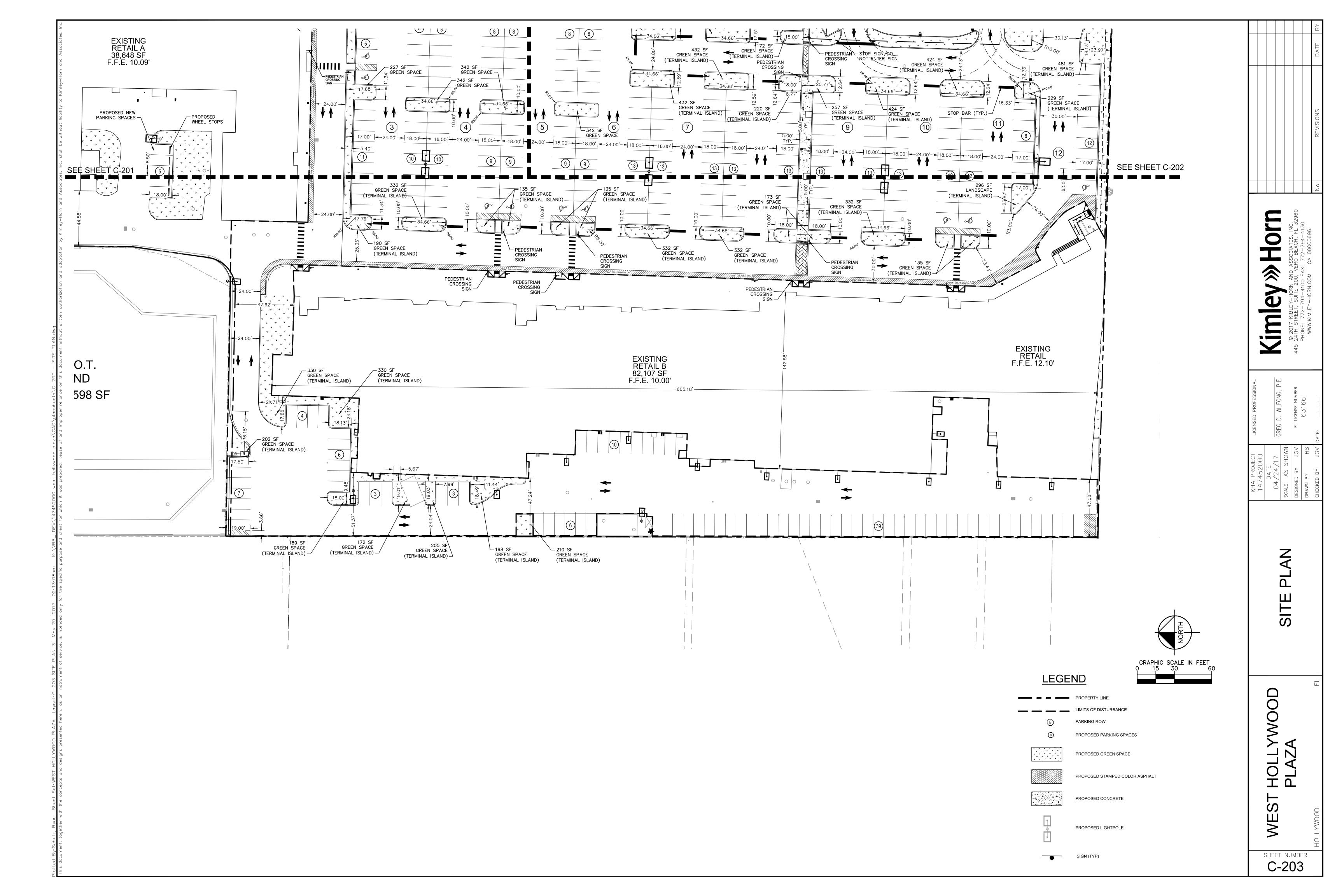
PROPOSED LIGHTPOLE

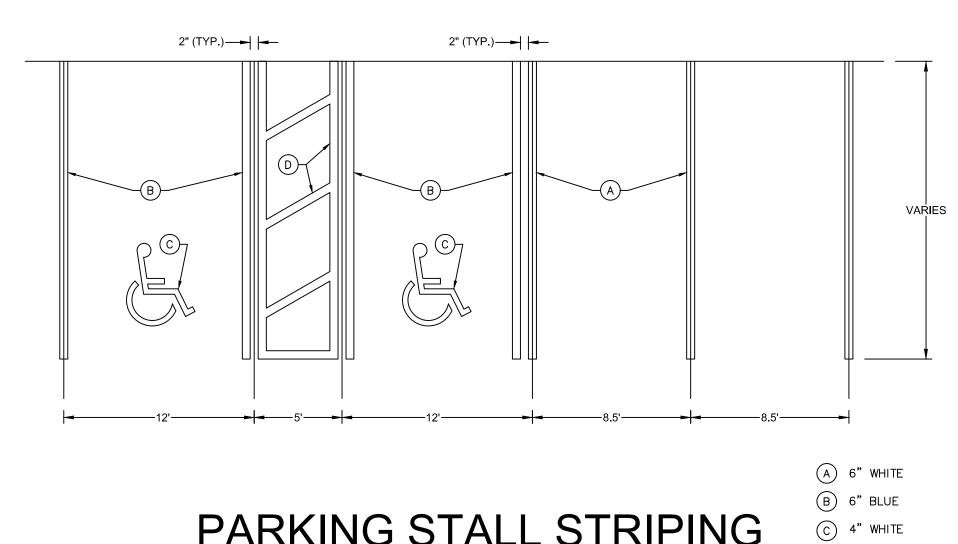
SIGN (TYP)







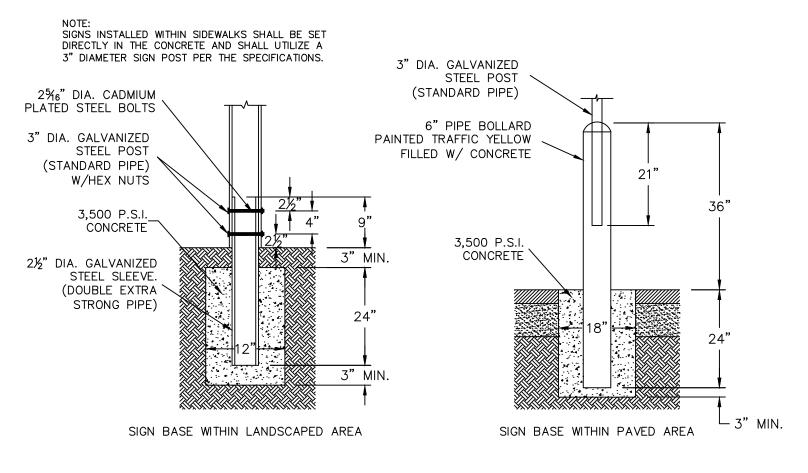




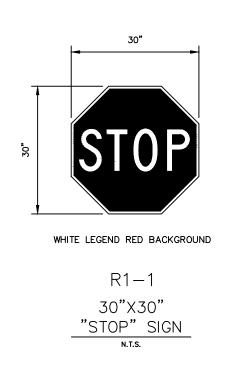
PARKING STALL STRIPING

(D) 6" WHITE @ 60' (EQUALLY SPACED)



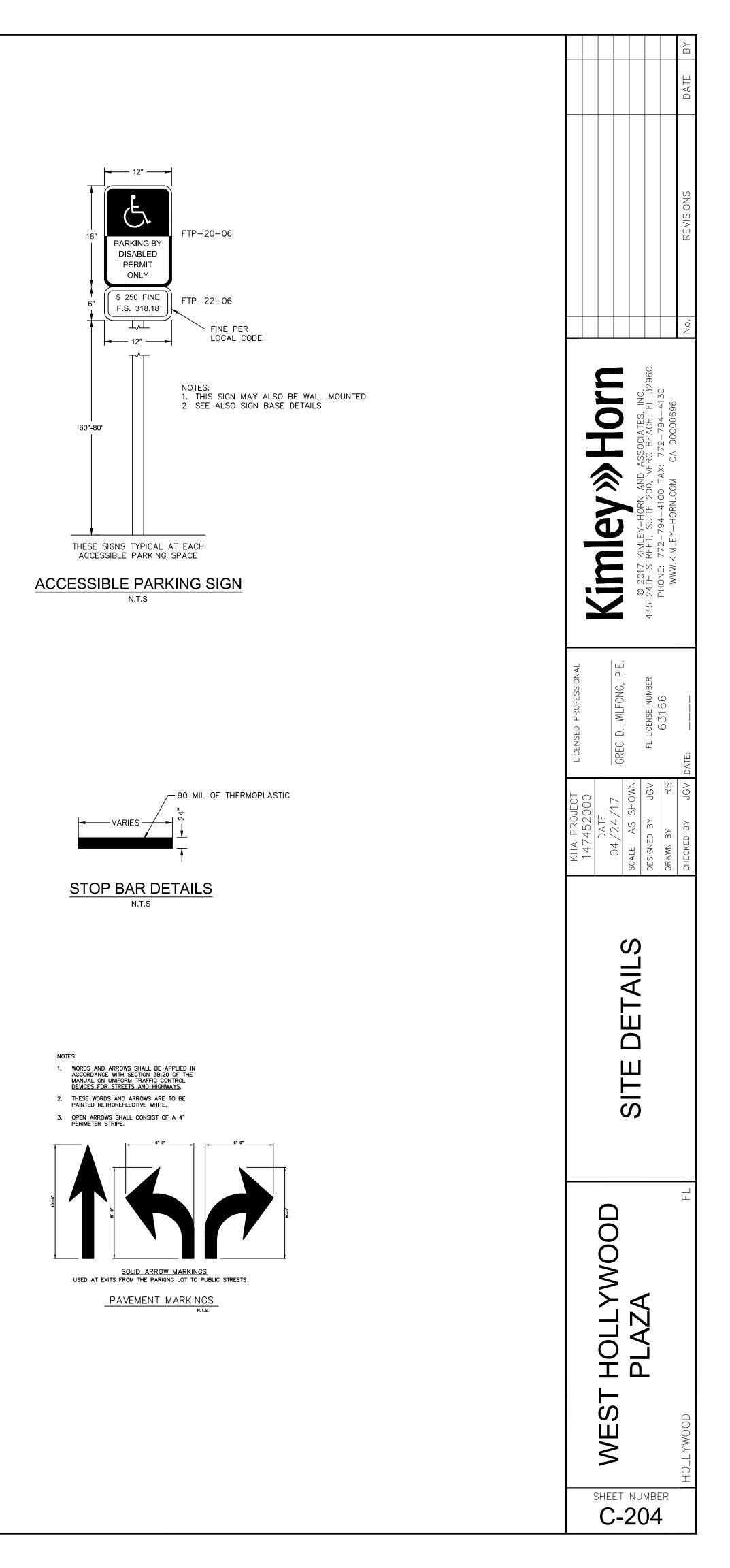


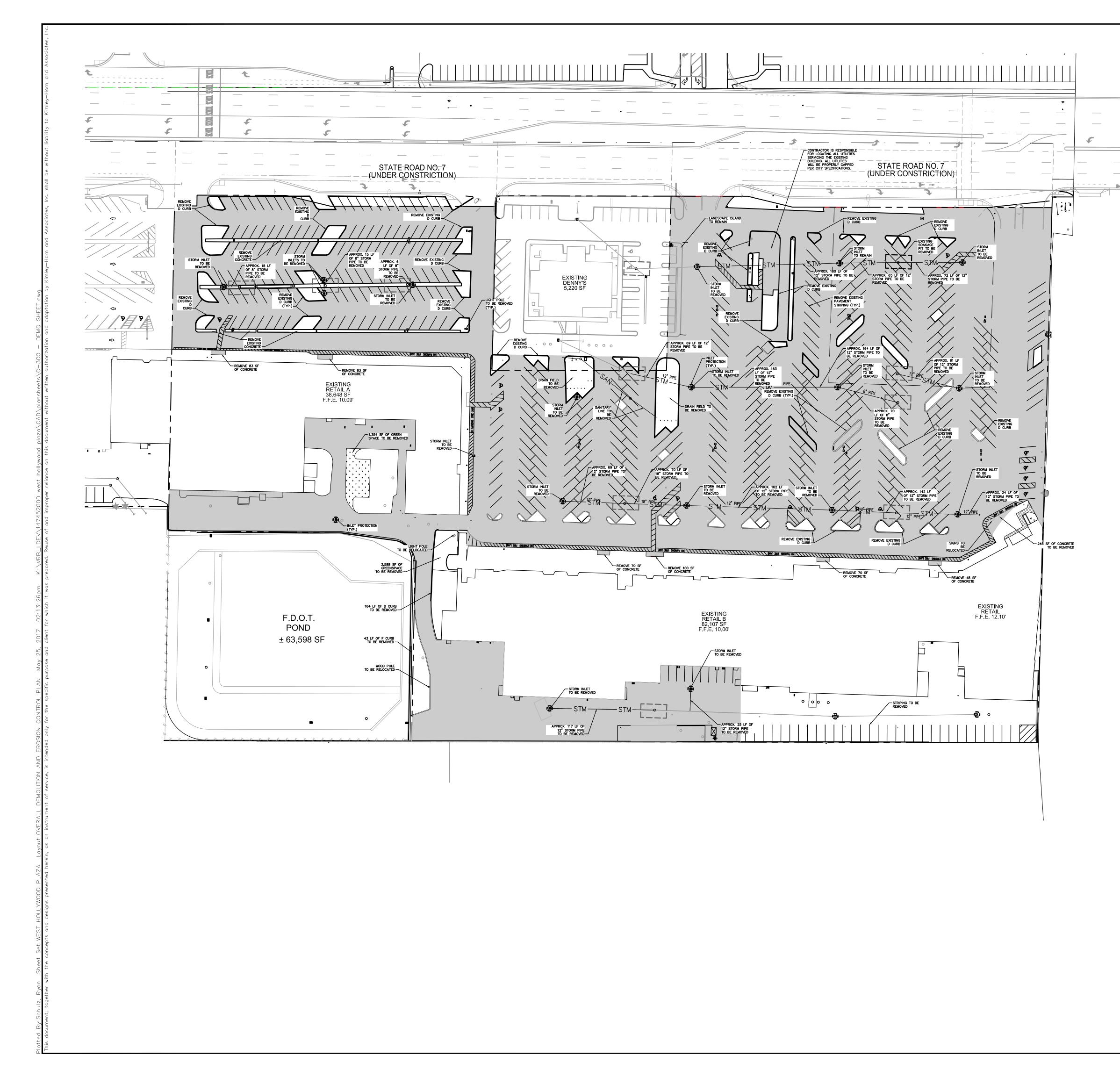






NOT TO SCALE

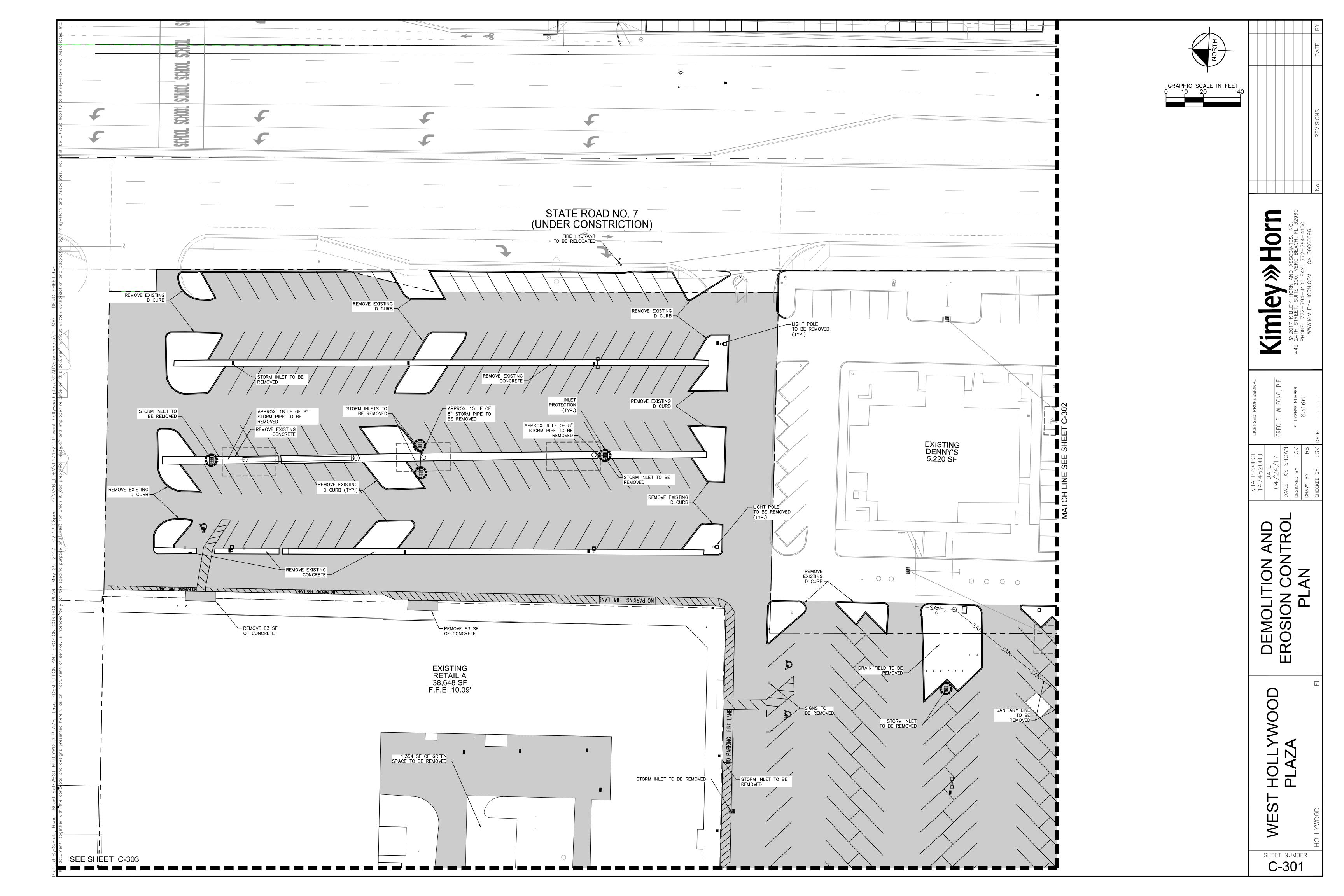


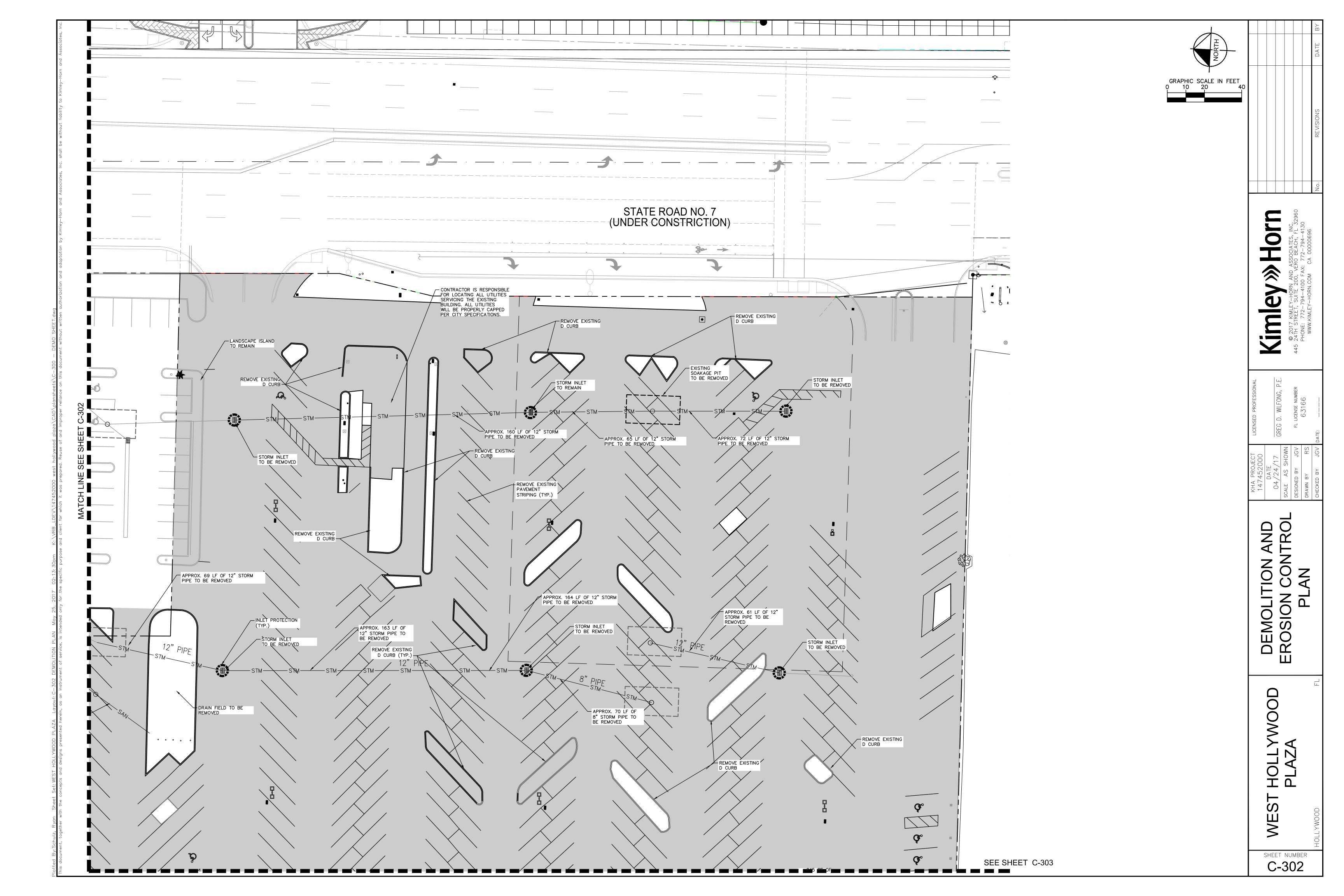


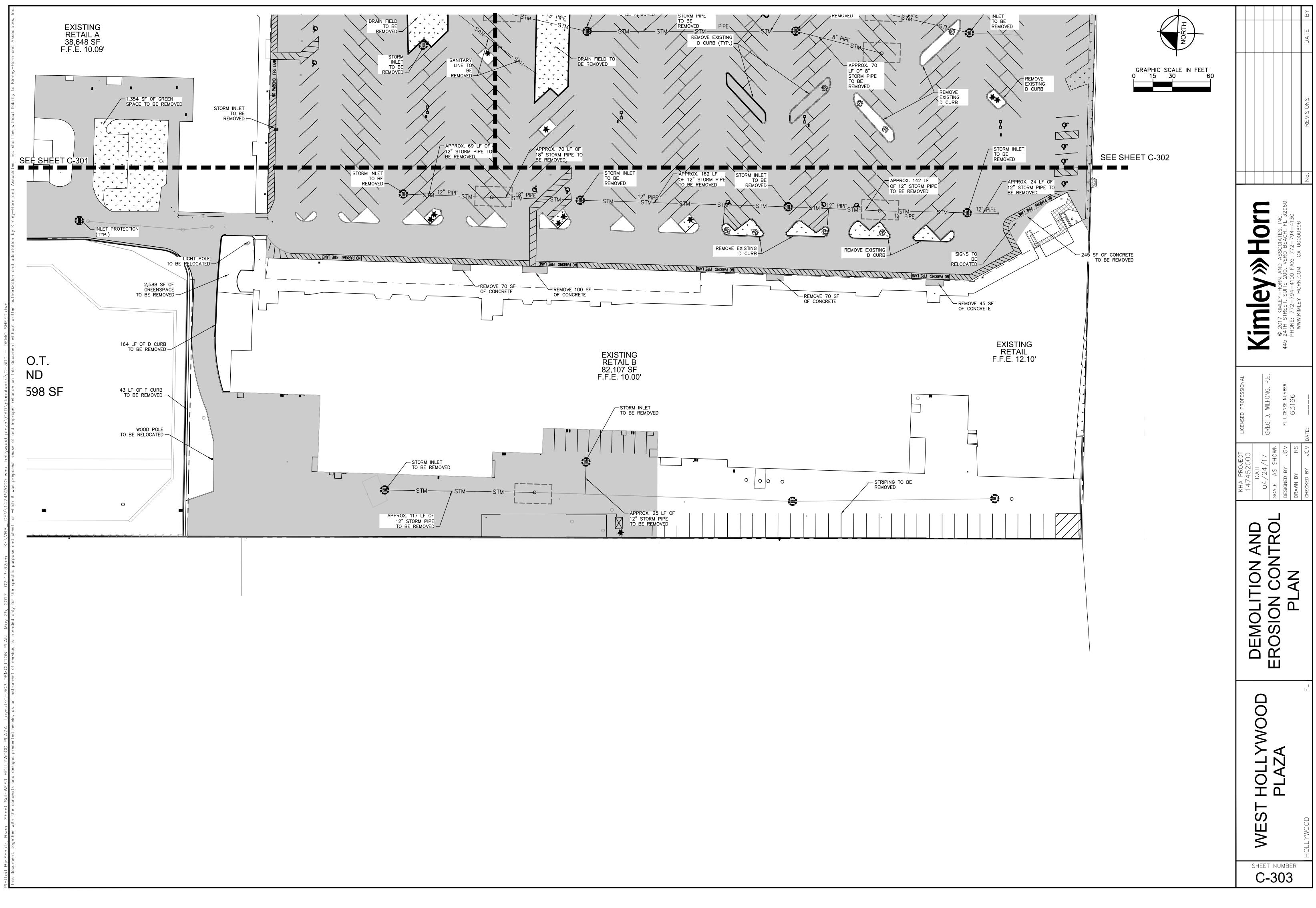
HINON	DATE BY
GRAPHIC SCALE IN FEET 0 25 50 100	REVISIONS
 NOTES: THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS. 	Jorn CIATES, INC. BEACH, FL 32960 2-794-4130 00000696 No.
 CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT AND LANDSCAPE REMOVAL AREAS. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN. SEE LIGHTING PLANS FOR PROPOSED LIGHTING LOCATIONS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING TO REMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING OR FEMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING OR FEMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING ALL EXISTING IRRIGATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DEMOLISHING ALL EXISTING IRRIGATION. THE CONTRACTOR SHALL ASSURE THAT THE INTEGRITY OF THE REMAINDER OF THE DEVELOPMENT. 	Contraction of the contract on the contract o
 CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE. SR7 DESIGN PLANS SHOWN FOR REFERENCE. 	LICENSED PROFESSIONAL GREG D. WILFONG, P.E. FL LICENSE NUMBER 63166 DATE:
LEGEND: ASPHALT TO BE REMOVED	KHA PROJECT 147452000 DATE 04/24/17 Scale AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV
PARCEL LINE INLET PROTECTION	N AND N AND N AND

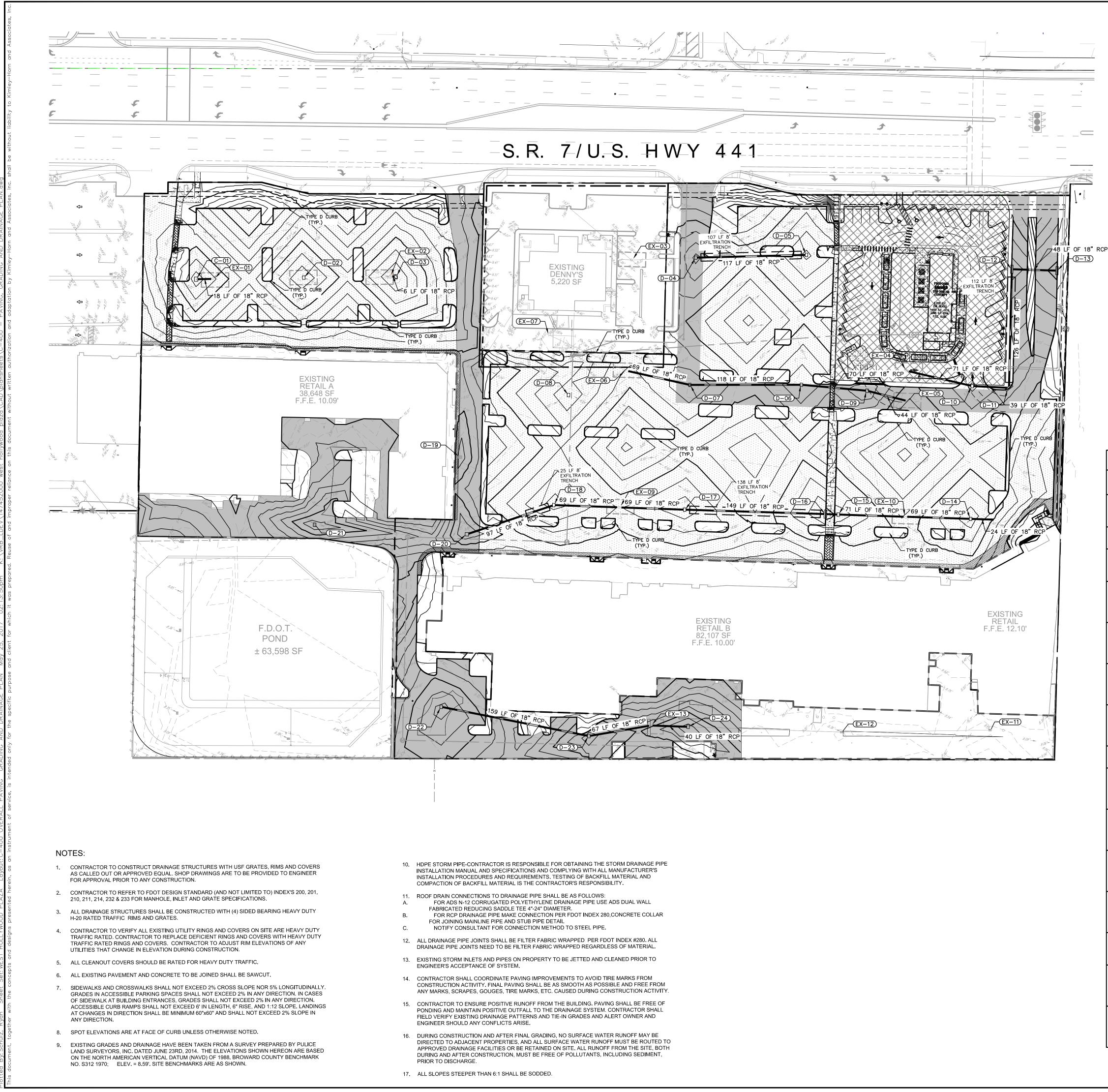
PARKING LOT WILL BE REMOVED IN PHASES TO KEEP EXISTING TENANTS OPEN DURING CONSTRUCTION.

		OVERALL	KHA PROJEC 147452000
SHEET	WEST HOLLYWOOD	DEMOLITION AND	DATE 04/24/17
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			DRAWN BY
	HOLLYWOOD	PLAN	СНЕСКЕД ВҮ









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	PROPOSED STAMPED COLOR ASPHALT	L L L L L L L L L L L L L L L L L L L					DA
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	PROPOSED STANDARD DUTY ASPHALT	GRAPHIC SCALE IN FEET 0 25 50 100					
	PROPOSED HEAVY DUTY ASPHALT						SNC
	PROPOSED CONCRETE						REVISIONS
	DESIGNED BY CKE						
	APPROXIMATE LOCATION AND SIZE OF SOAKAGE PIT (TO REMAIN)						No.
	- PROPERTY LINE					0	
	PROPOSED STORM PIPE			U LU		3296(30	
	STORMWATER INLET				ATES, INC.	ACH, FL 3. 794-4130 000696	
			1	Ť		BEAC 2-79 0000	
\bigcirc	STORMWATER MANHOLE		1		ASSC	/ERO BE/ X: 772- CA 00	
					AND	00, / 0 FA	
	EXFILTRATION TRENCH				HORN	SUITE 200, VERO BEA 34-4100 FAX: 772-7 HORN.COM CA OOC	
×. XX'	EXISTING GRADE			٥			
X.XX	PROPOSED GRADE			C		24TH STREET, PHONE: 772-7 WWW.KIMLFY	
M/E =	MATCH EXISTING				2017	IONE:	
M/E = SW = TC =	SIDEWALK TOP OF CURB				0	0 24 PH	
EOP =	EDGE OF PAVEMENT		1	Y		445	

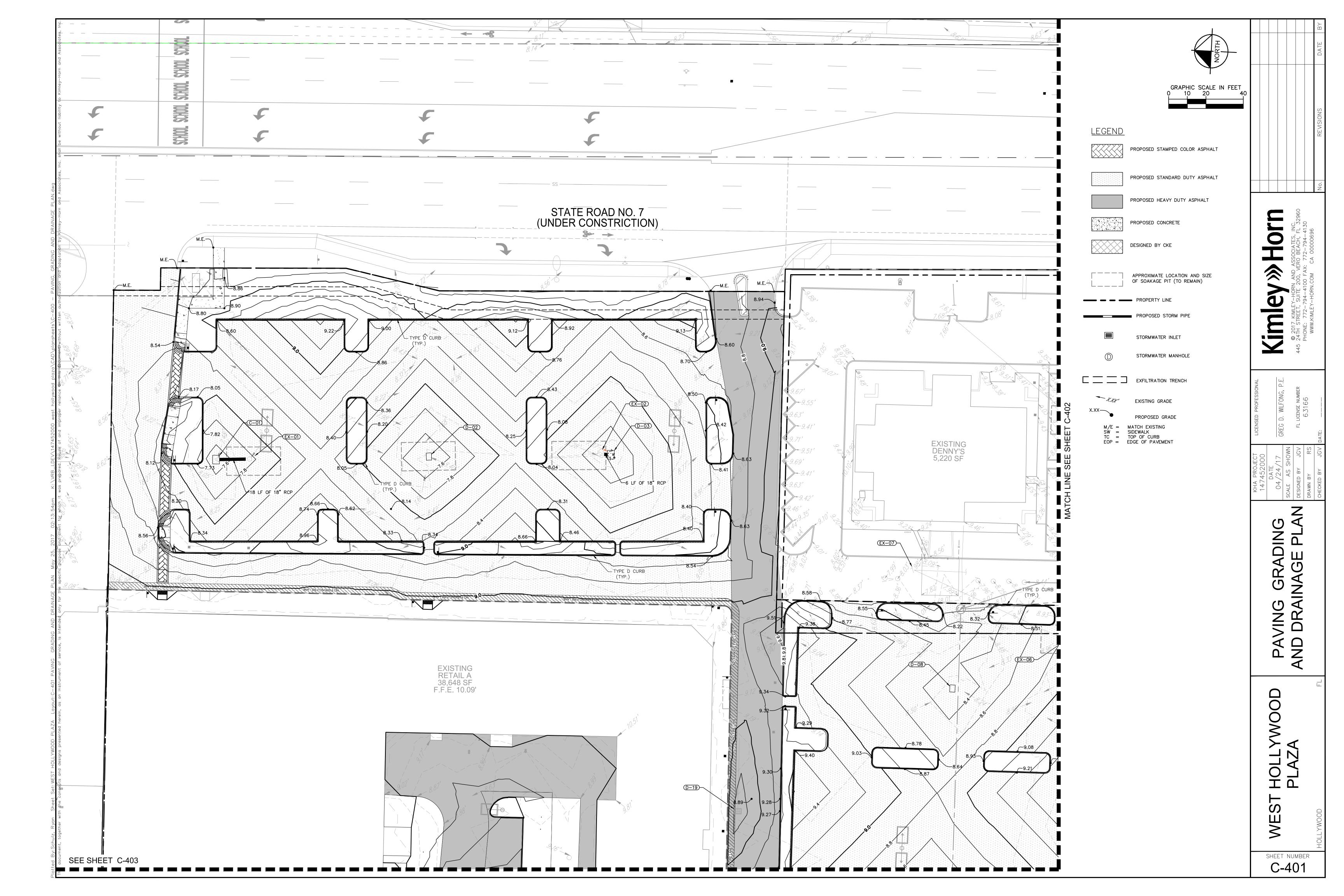
STRUCTU	RE TABLE
STRUCTURE NAME:	DETAILS:
C-01	CB RIM: 7.48 INV: 3.98 (S)
D-02	CB RIM: 7.44
D-03	CB RIM: 7.37 INV: 3.93 (N)
D-04	CB RIM: 8.33 INV: 5.04 (S) INV: 6.93 (N)
D-05	CI RIM: 8.35 INV: 5.35 (S) INV: 4.85 (N)
D-06	CI RIM: 8.40 INV: 4.85 (N) INV: 4.85 (S)
D-07	CI RIM: 8.39 INV: 4.79 (N) INV: 4.79 (S)
D-08	CB RIM: 8.24
D-09	CB RIM: 8.40 INV: 4.80 (S) INV: 4.80 (N)
D-10	CB RIM: 8.34 INV: 4.15 (S) INV: 4.15 (N)
D—11	CI RIM: 9.34 INV: 4.25 (E) INV: 4.25 (N)
D-12	CI RIM: 7.48 INV: 4.35 (S) INV: 4.35 (W)
D-13	CI RIM: 7.90 INV: 4.45 (N)
D-14	CI RIM: 8.47 INV: 4.97 (N) INV: 4.97 (S)
D-15	CB RIM: 8.45 INV: 4.95 (N) INV: 4.95 (S)

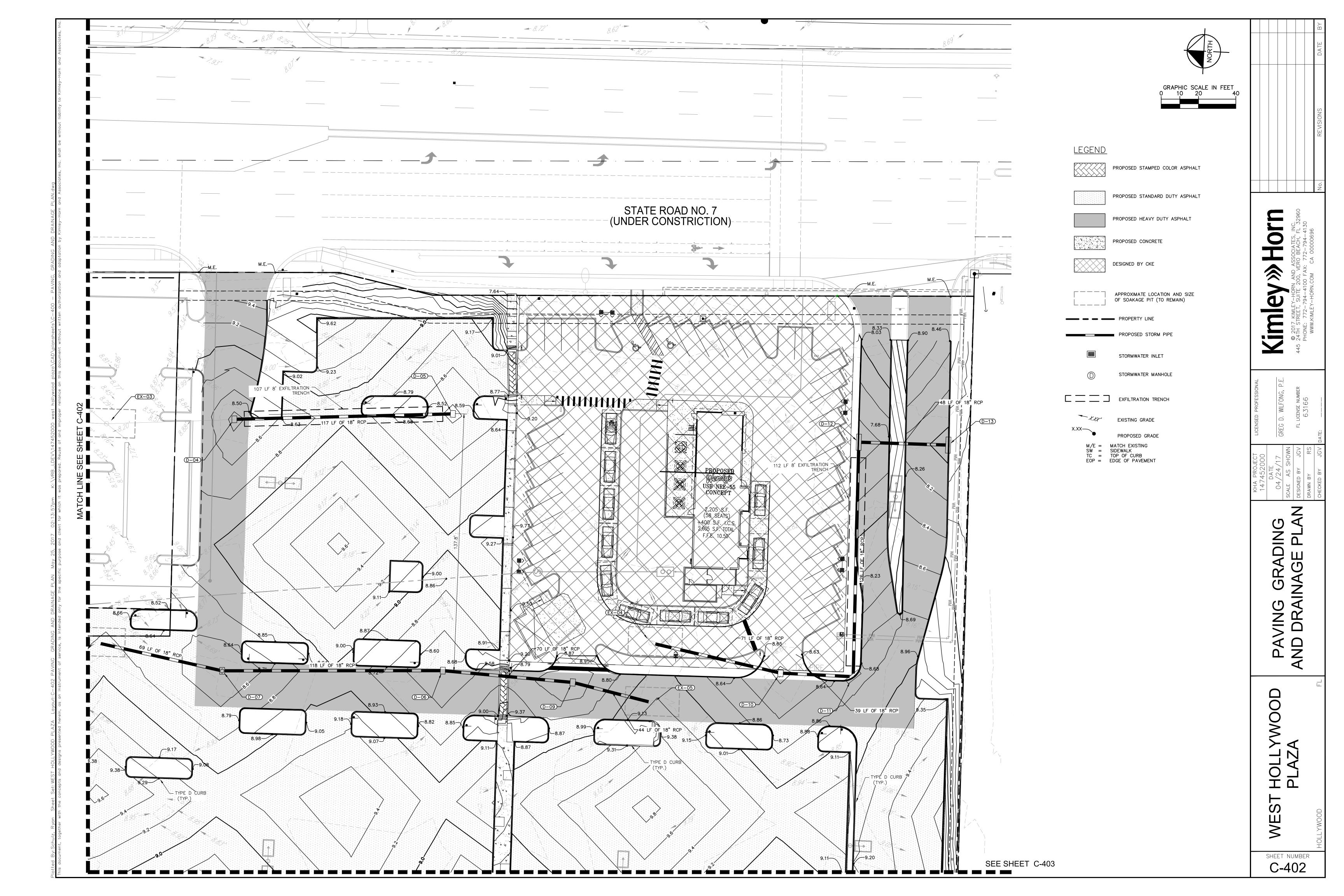
STRUCTU	RE TABLE
STRUCTURE NAME:	DETAILS:
D-16	CI RIM: 8.40 INV: 4.90 (N) INV: 4.90 (S)
D—17	CB RIM: 8.46 INV: 4.80 (N) INV: 4.80 (S)
D—18	CB RIM: 8.30 INV: 4.80 (S) INV: 4.80 (N)
D—19	CB RIM: 8.66 INV: 3.65 (E)
D-20	CB RIM: 8.65 INV: 4.97 (S)
D-21	CB RIM: 8.60
D-22	CB RIM: 8.50 INV: 3.93 (S)
D-23	CB RIM: 8.50 INV: 2.90 (N) INV: 2.90 (S)
D-24	CB RIM: 8.50 INV: 4.74 (S) INV: 4.24 (N)
EX-01	MH RIM: 7.76 INV: 3.88 (N)
EX-02	MH RIM: 7.46 INV: 3.83 (S)
EX-03	MH RIM: 6.48 INV: 4.92 (S)
EX-04	MH RIM: 6.26 INV: 4.05 (S)
EX-05	MH RIM: 9.20 INV: 4.70 (N)
EX-06	MH RIM: 8.81 INV: 4.86 (N) INV: 4.76 (S)

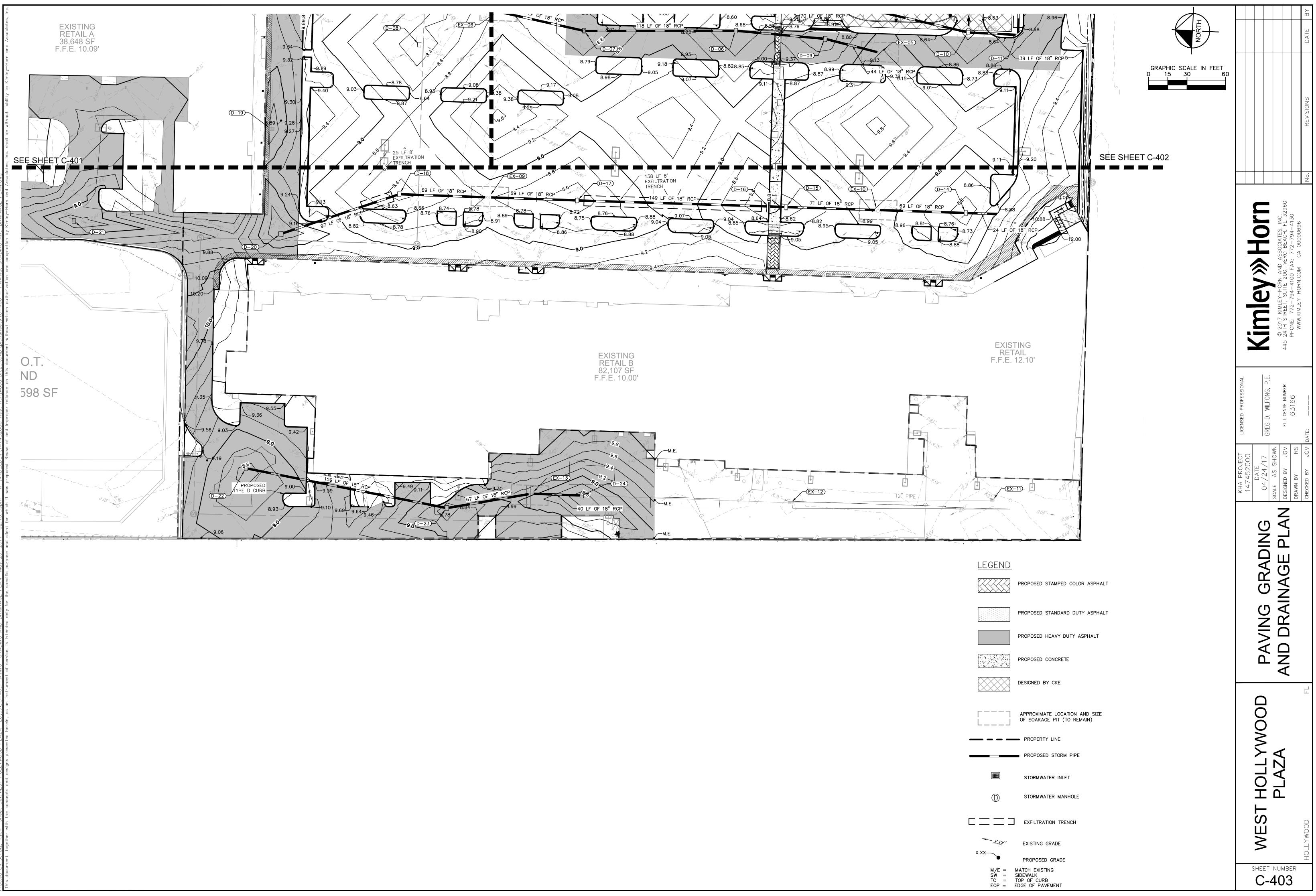
STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:		
EX-07	CB RIM: 7.63 INV: 5.88 (S)		
EX-09	MH RIM: 8.82 INV: 4.67 (N) INV: 4.42 (S)		
EX-10	MH RIM: 9.17 INV: 4.50 (N) INV: 4.50 (S)		
EX-11	CB RIM: 8.66 INV: 7.16 (N)		
EX-12	CB RIM: 7.77 INV: 6.72 (S) INV: 6.70 (N)		
EX-13	MH RIM: 9.05 INV: 4.14 (S) INV: 2.70 (N)		

Kimley >> Horn Horn 445 2017 kimley-Horn and Associates, INC. 445 241H STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4100 FAX: 772-794-4130	WWW.KIMLEY-HORN.COM CA UUUU0596 No. REVISIONS DATE BY
A PROJECT 7452000 DATE 1/24/17 AS SHOWN IED BY JGV IBY RS 63166 63166	۲ ۲
OVERALL PAVING OVERALL PAVING 14745 04/2 04/2 04/2 Scale A DRAINAGE PLAN DRAINAGE PLAN	
WEST HOLLYWOOD PLAZA	HOLLYWOOD

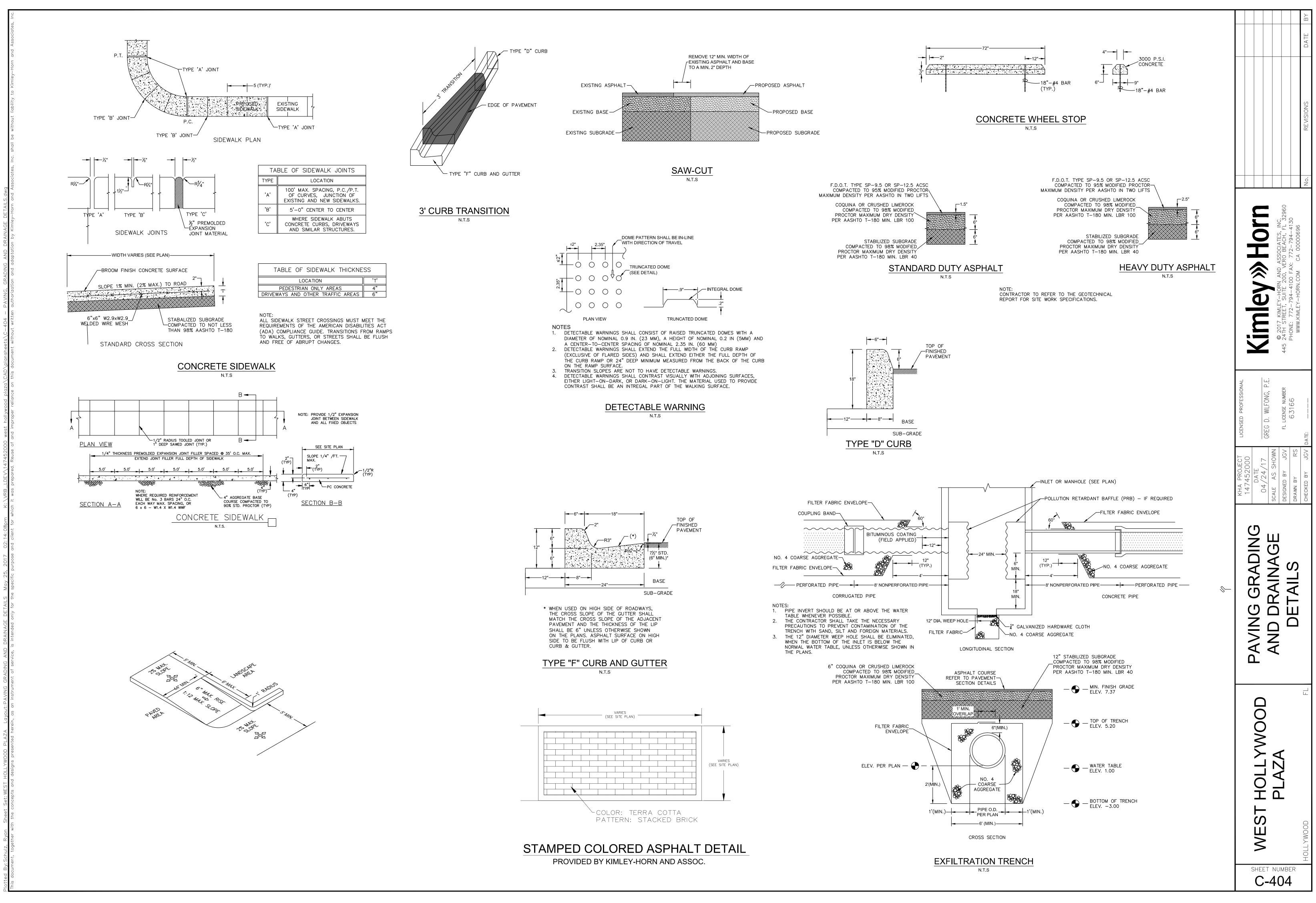
SHEET NUMBER C-400

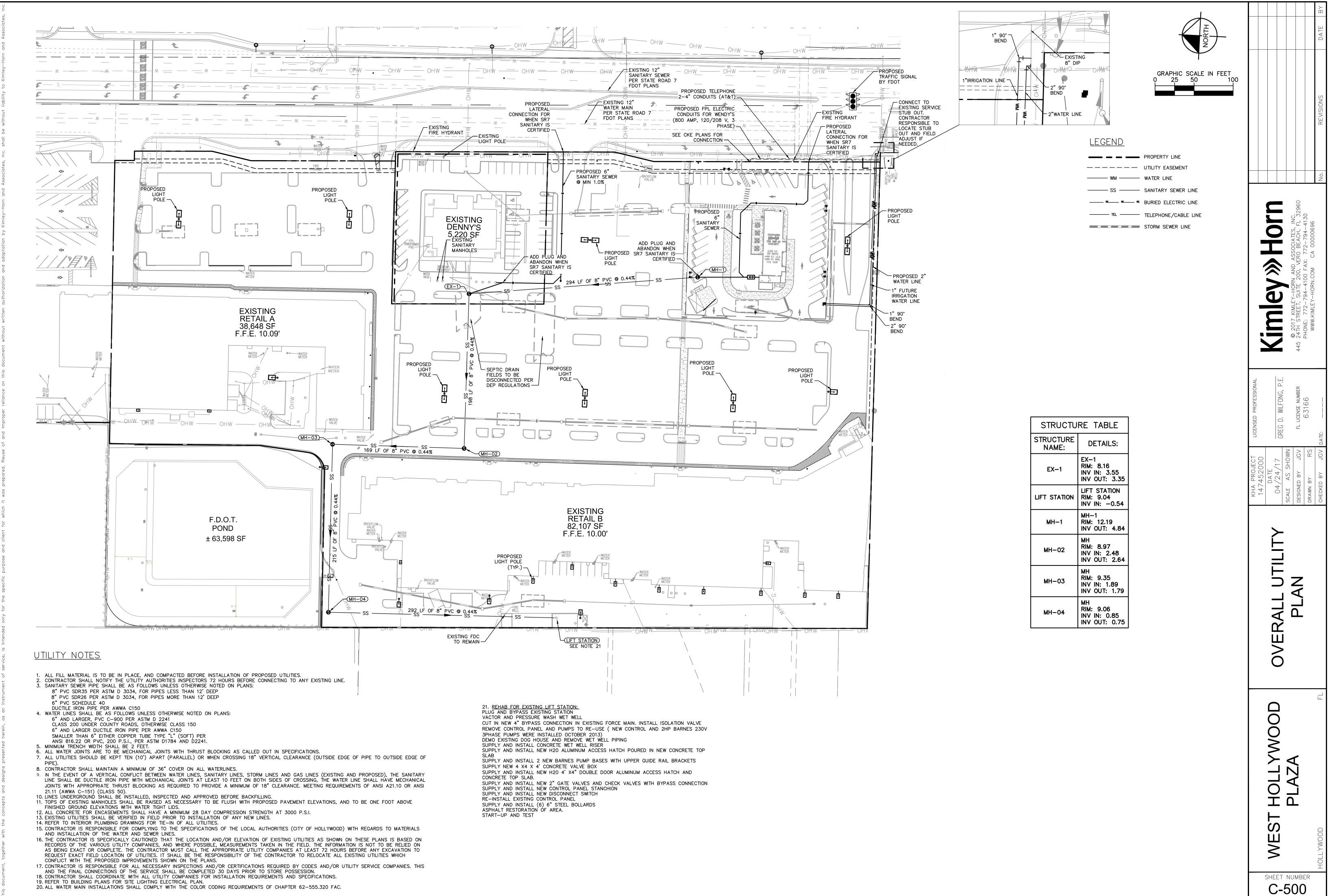




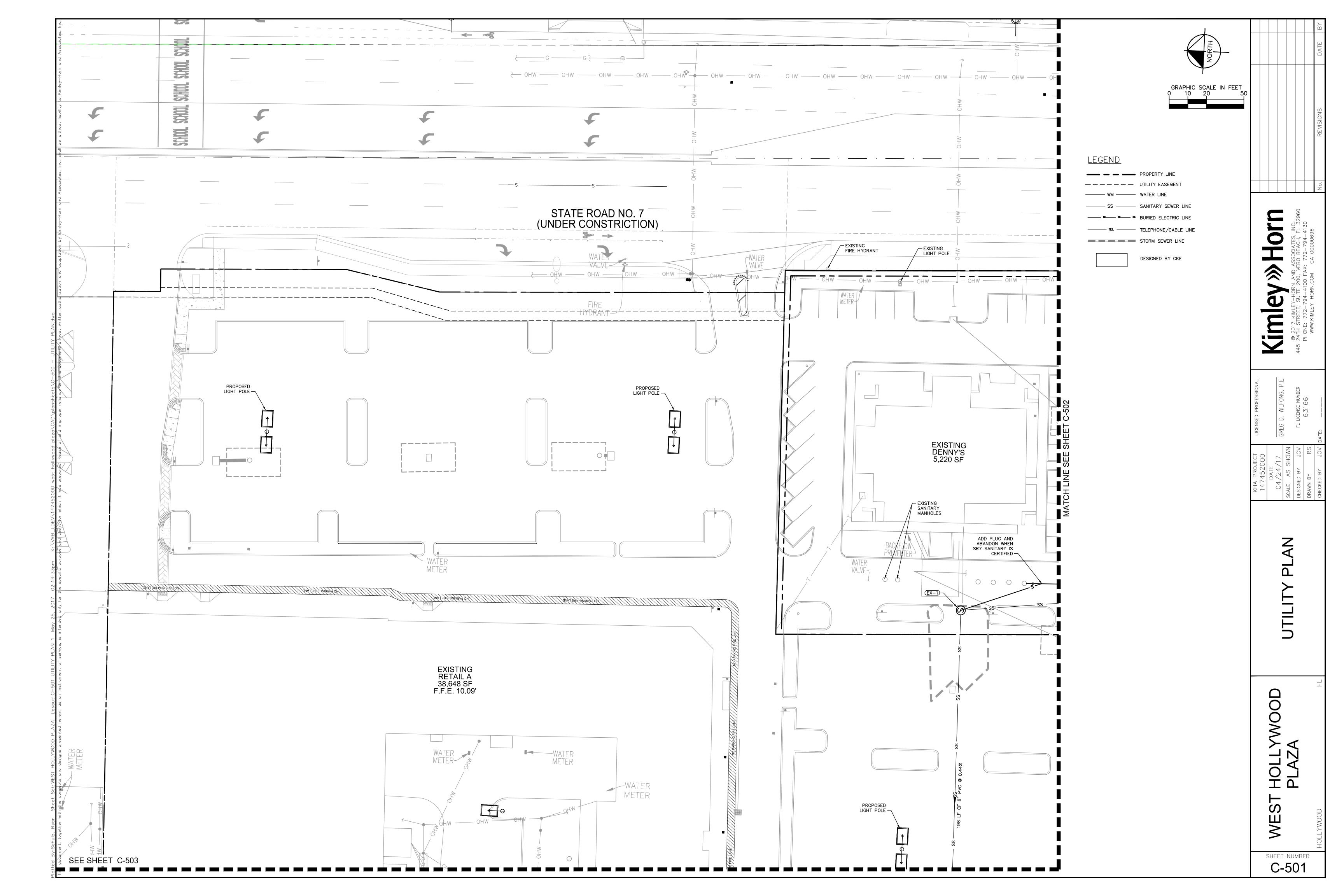


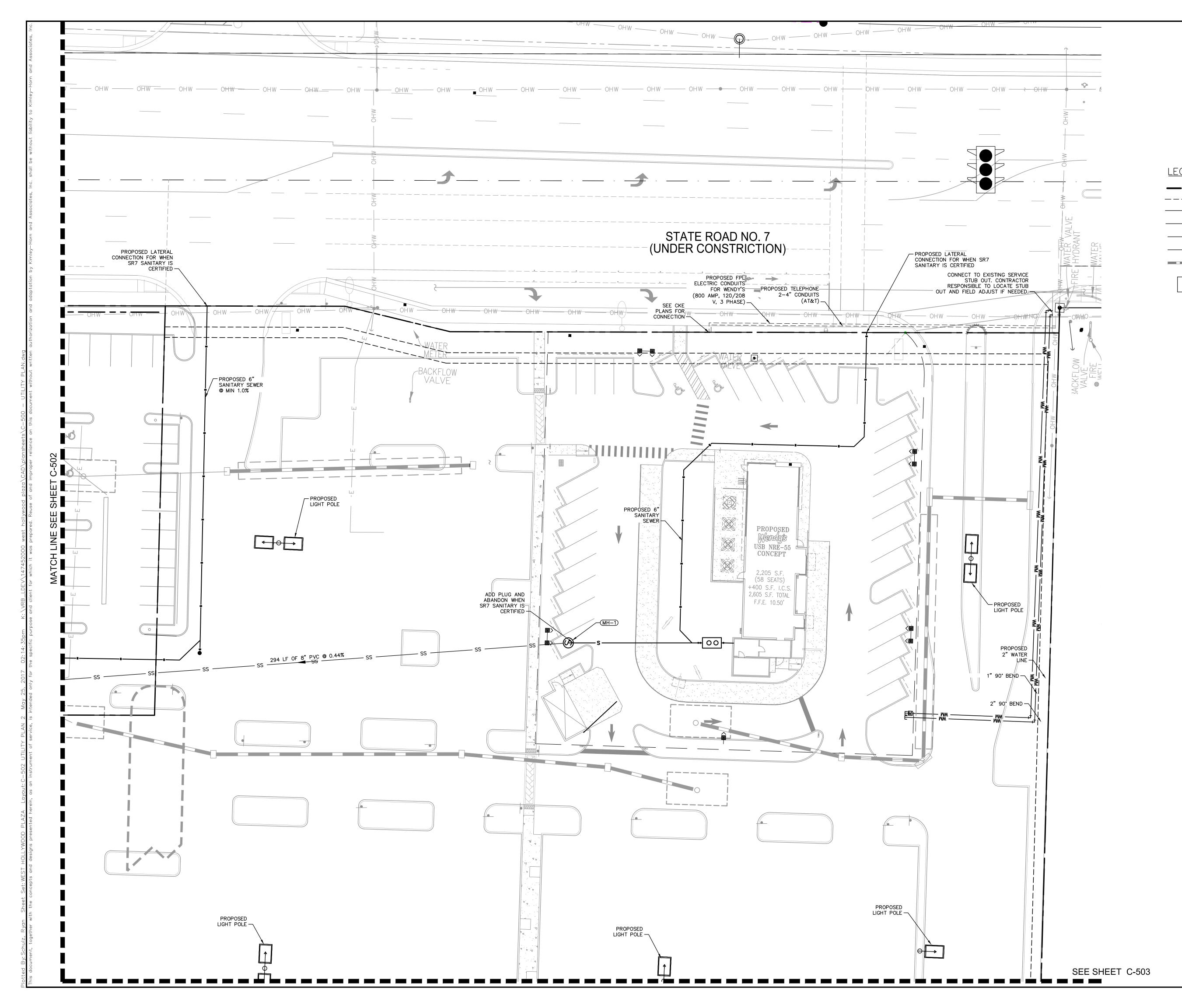


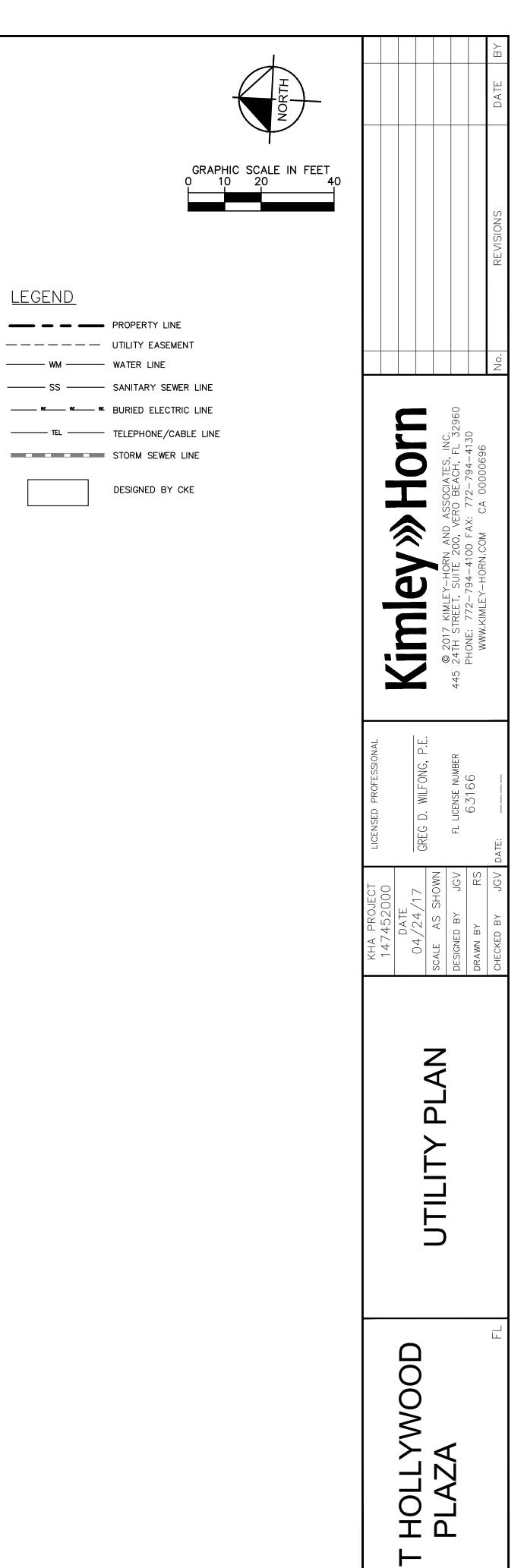




EX-1	RIM: 8.16 INV IN: 3.55 INV OUT: 3.35
LIFT STATION	LIFT STATION RIM: 9.04 INV IN: -0.54
MH-1	MH—1 RIM: 12.19 INV OUT: 4.84
MH-02	MH RIM: 8.97 INV IN: 2.48 INV OUT: 2.64
MH-03	MH RIM: 9.35 INV IN: 1.89 INV OUT: 1.79
MH-04	MH RIM: 9.06 INV IN: 0.85 INV OUT: 0.75





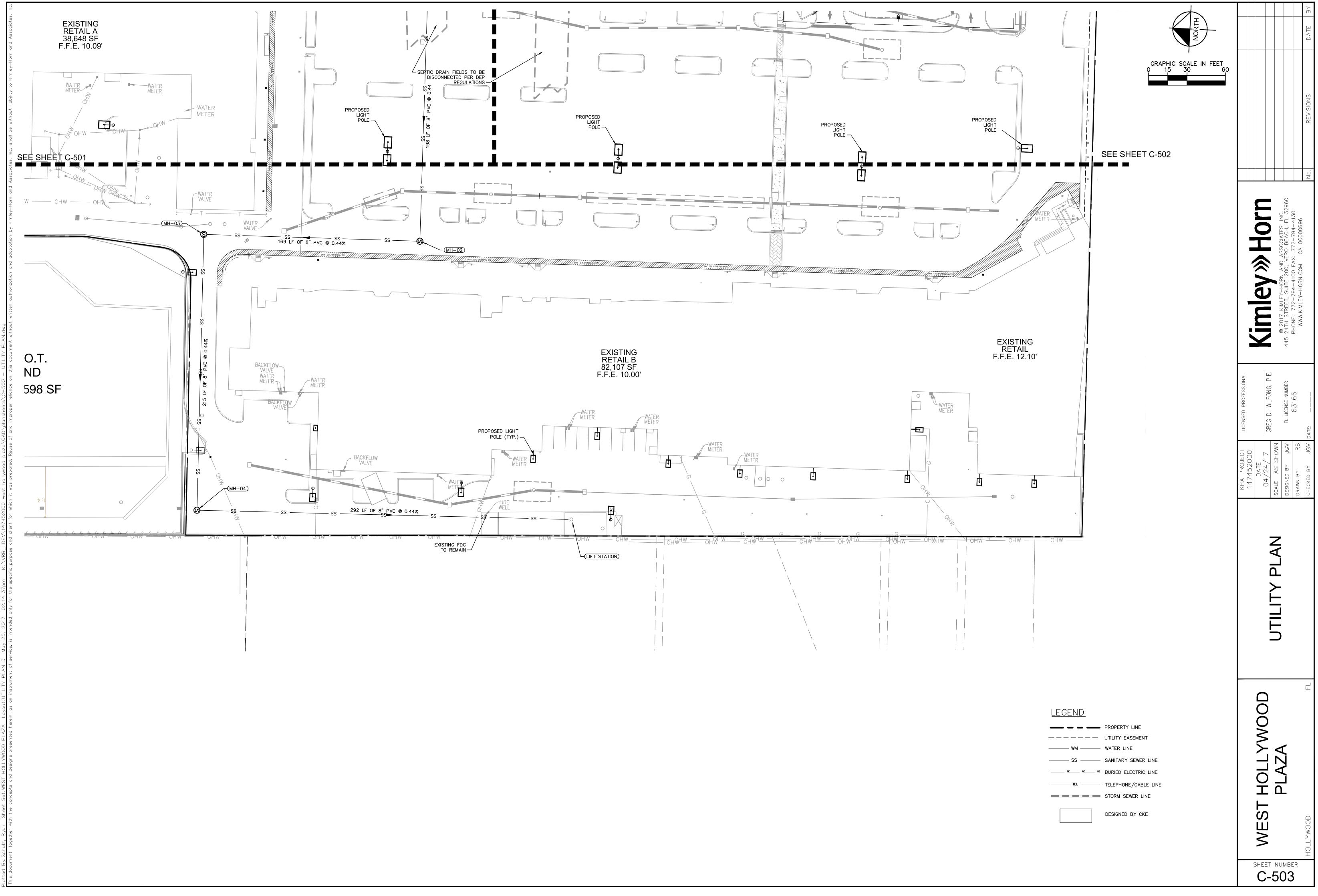


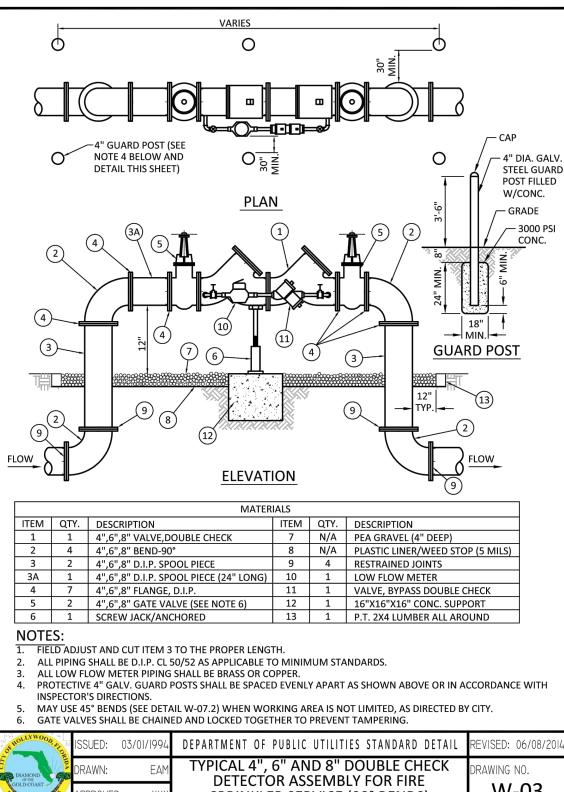
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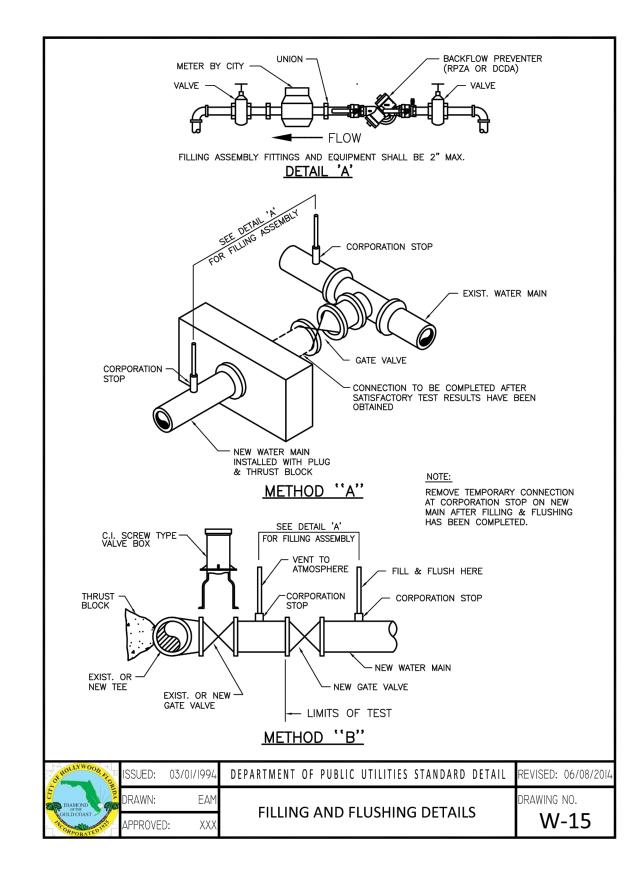
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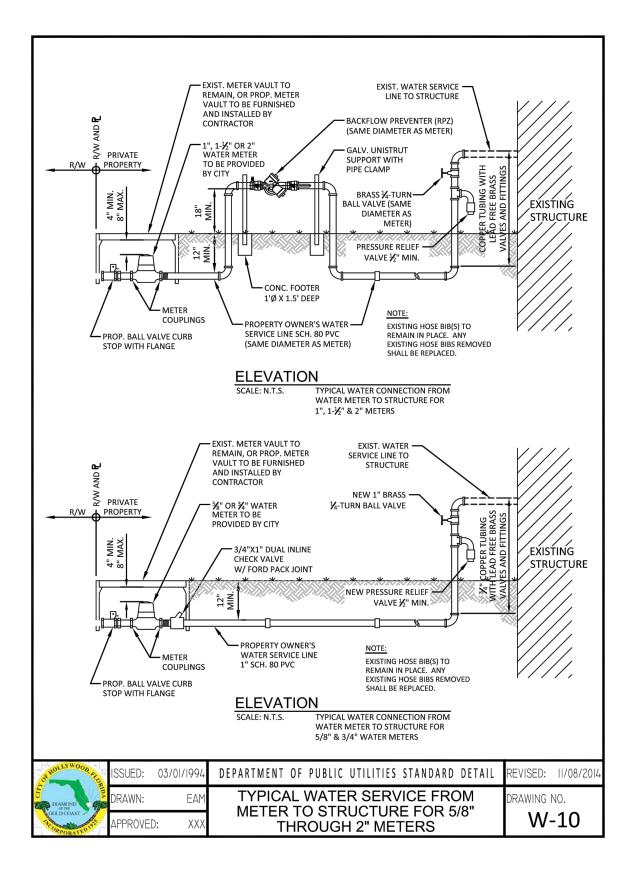
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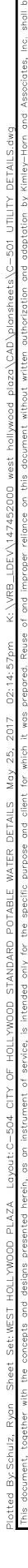
C-502



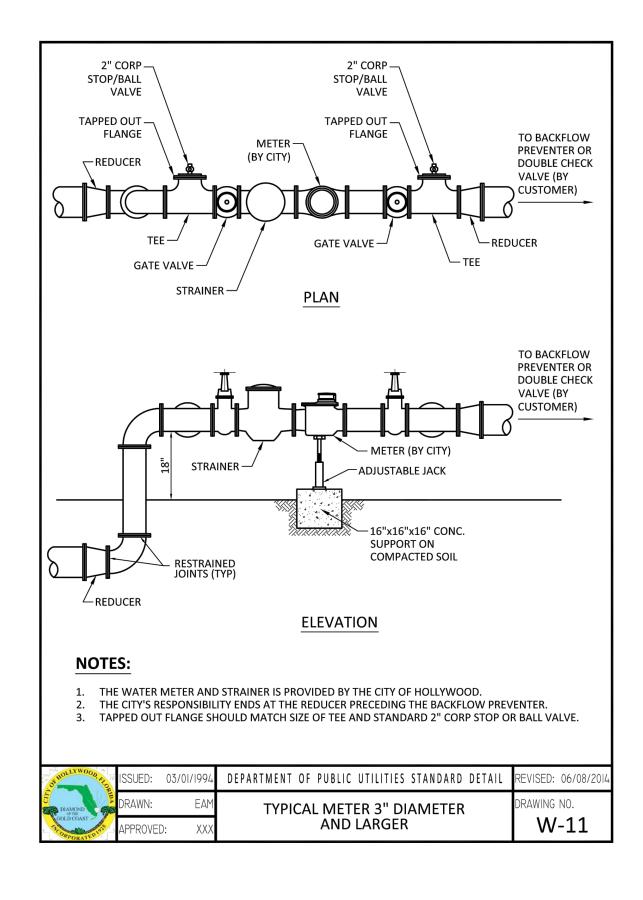


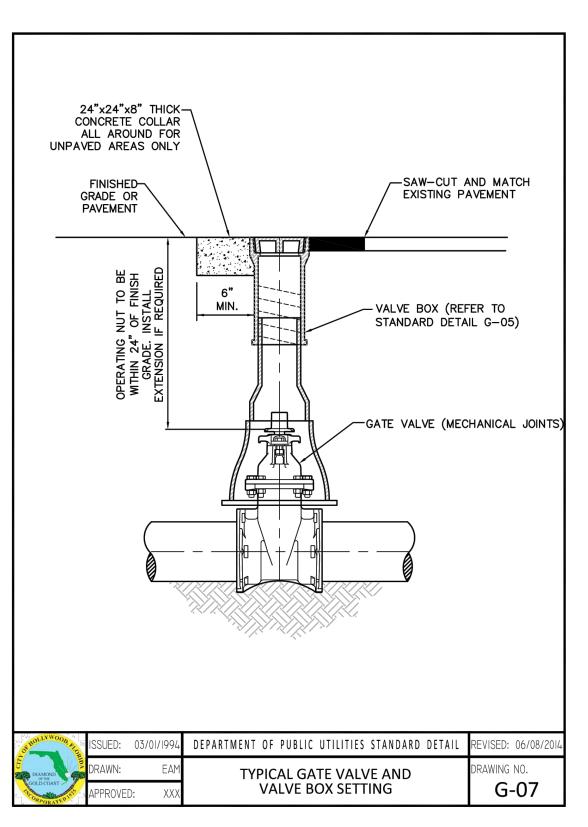


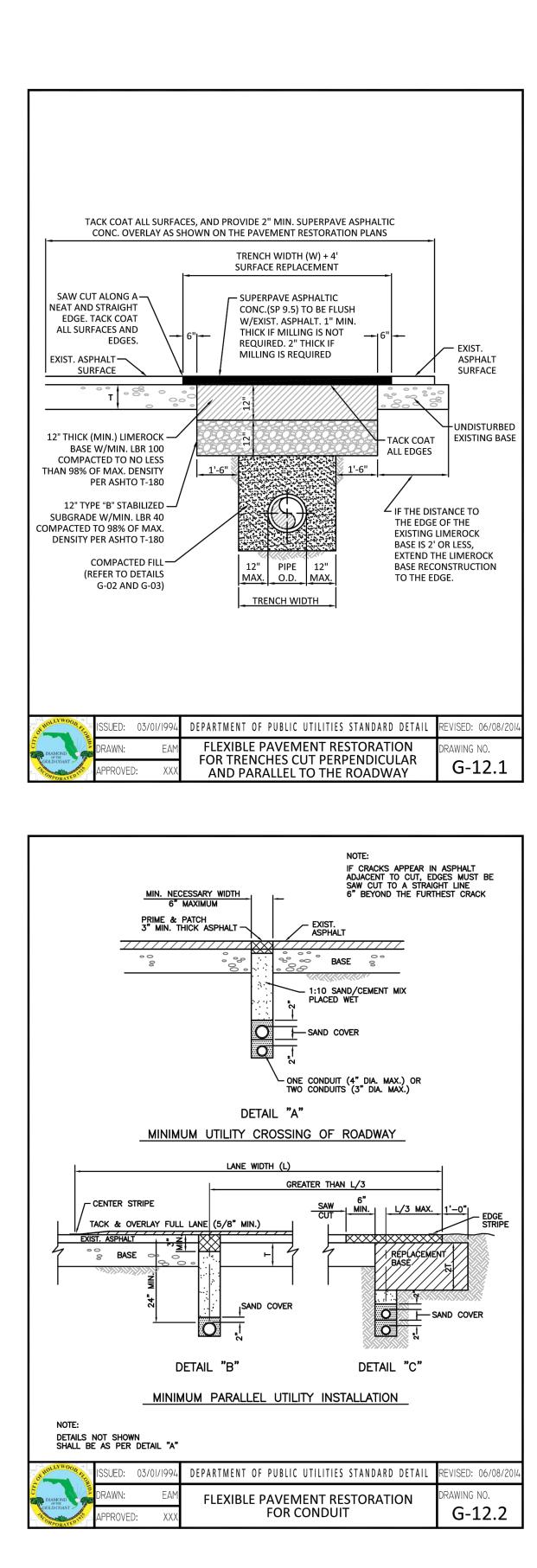


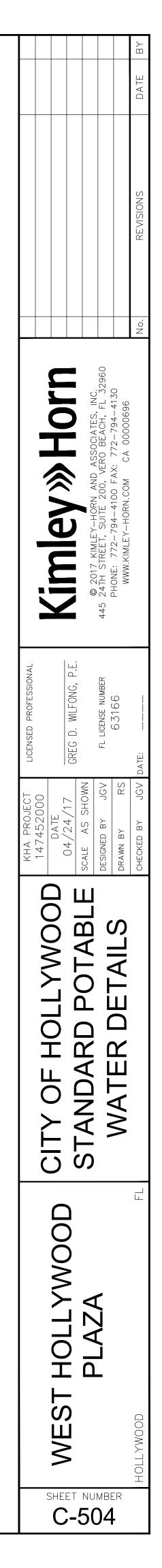


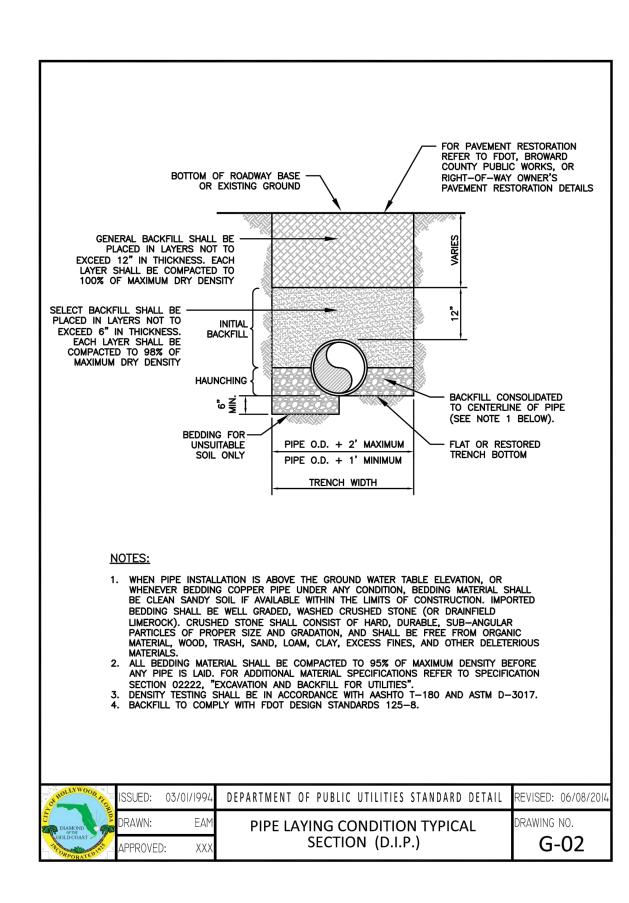
03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/201
EAM	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE	DRAWING NO.
XXX	SPRINKLER SERVICE (90° BENDS)	W-03

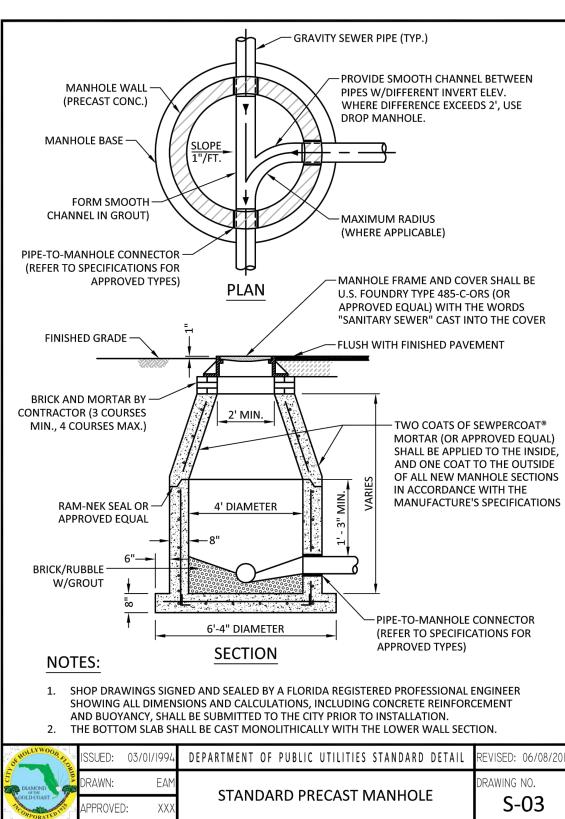


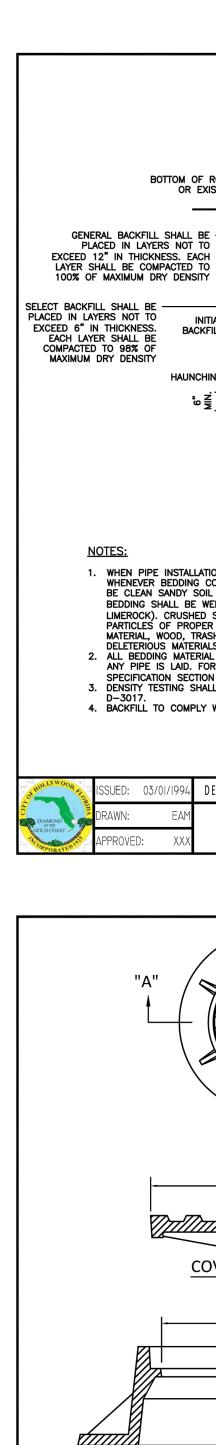


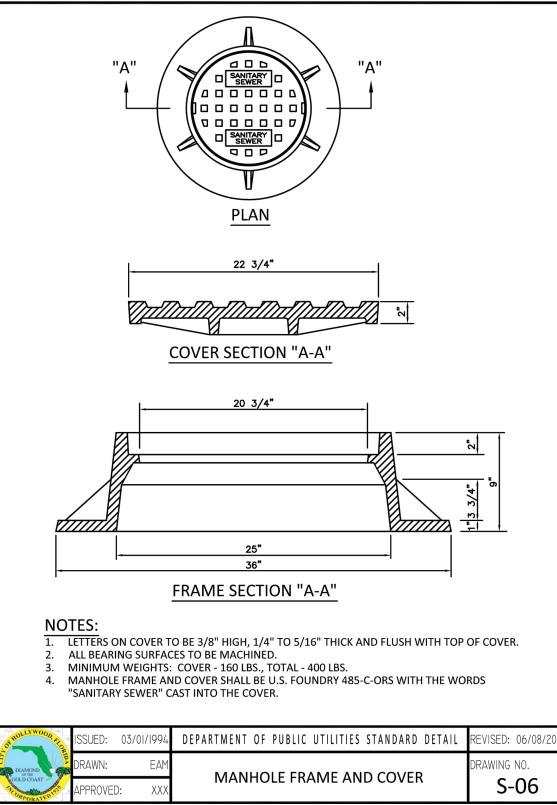


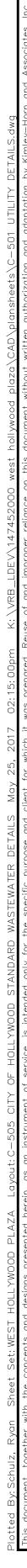


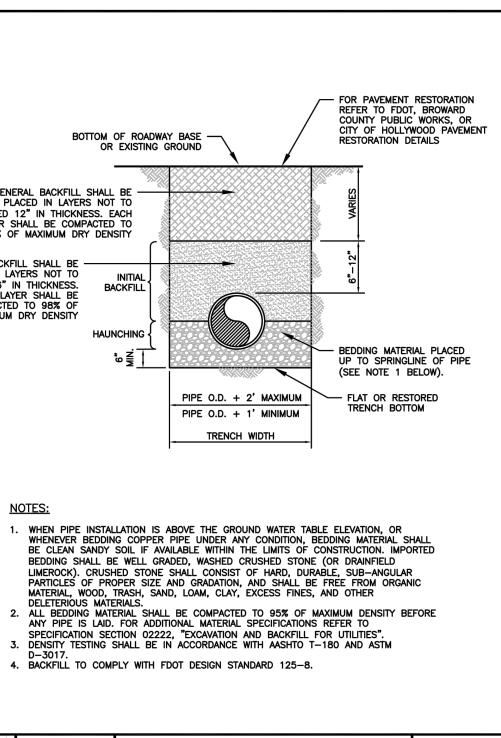






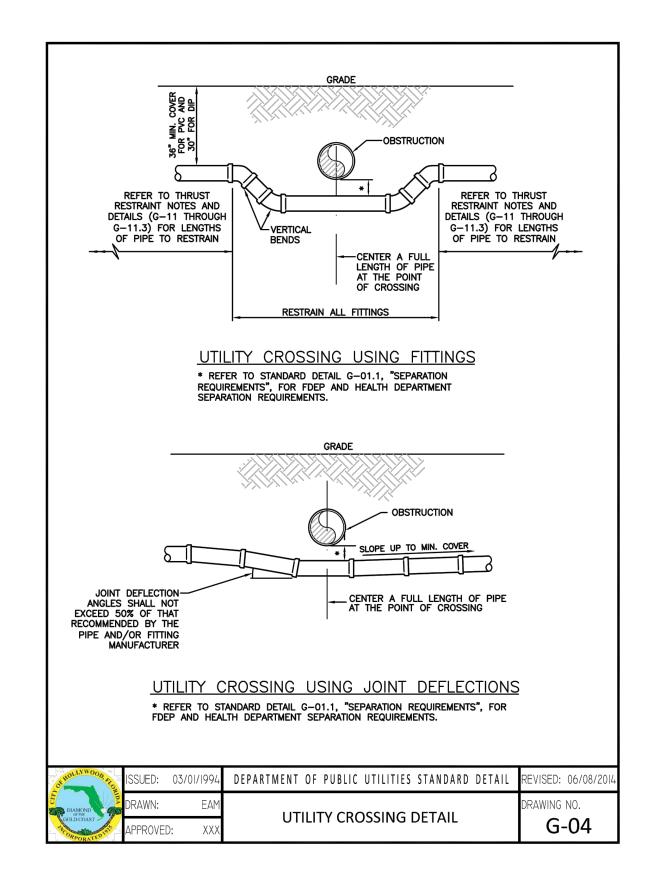


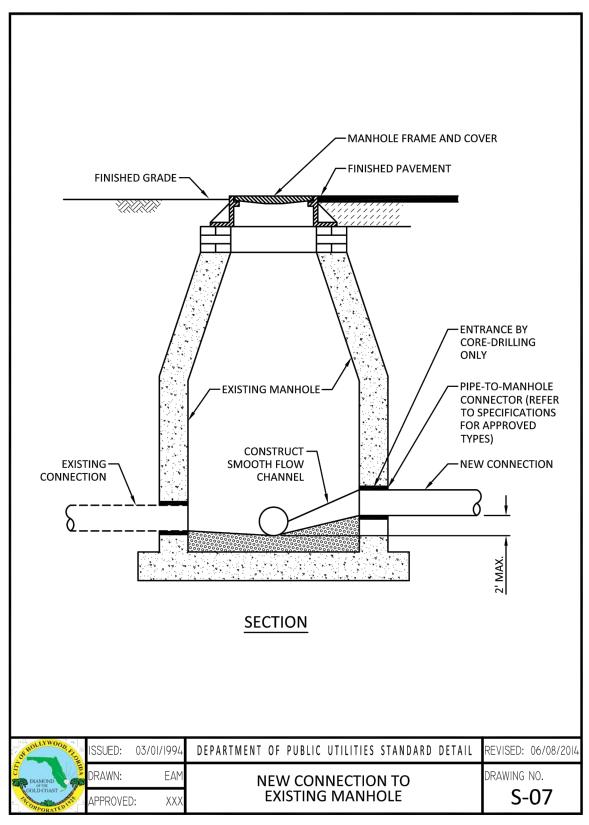


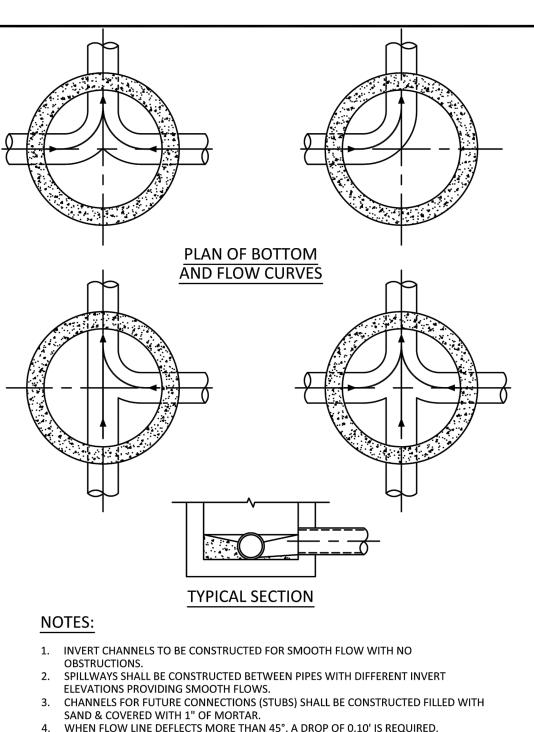


4 4	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
X	PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)	G-03

Х	MANHOLE FRAME AND COVER	S-06
٩		DRAWING NO.
4	DEPARIMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2







4. WHEN FLOW LINE DEFELCTS MORE THAN 45 , A DROP OF 0.10 IS REQUIRED.							
WOOD, FLOR	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014			
IOND THE	DRAWN:	EAM	MANHOLE FLOW PATTERNS	DRAWING NO.			
COAST - COAST	APPROVED	D: XXX	MANHOLE FLOW PATTERINS	S-02			

OFHOL

GOLD C

