


**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
PLANNING DIVISION**

DATE: July 13, 2017

FILE: 15-DPV-22

TO: Planning and Development Board

VIA: Alexandra Carcamo, Principal Planner 

FROM: Deandrea Moise, Associate Planner

SUBJECT: Bostonian Inc. and Orion Venture XII LLC requests Variances, Design, and Site Plan for an approximate 2,600 sq. ft. restaurant space; and site improvements to an existing commercial plaza (West Hollywood Plaza – Wendy's) located at 192-460 S State Road 7.

REQUEST:

Variances, Design, and Site Plan for an approximate 2,600 sq. ft. restaurant space; and site improvements to an existing commercial plaza (West Hollywood Plaza – Wendy's)

Variance 1: To increase the number of permitted monument signs from one to three.

Variance 2: To increase the number of permitted wall signs from one to two (north and east façade); and to increase the allowable area (25 sq. ft.) to allow for total of 60 sq. ft. feet for both signs.

Variance 3: To waive the requirement for a perimeter wall between 3 - 6 feet in height for any use that sells food or gasoline.

Variance 4: To reduce the minimum length of a parking space from 19 feet to 18 feet.

RECOMMENDATION:

Variance 1-4: Approval.

Design: Approval.

Site Plan: Approval, if Variances 3 - 4 and Design are granted, and with the condition the Applicant submit the appropriate perpetual cross-access agreements, in a form acceptable to the City Attorney, prior to the issuance of any Building Permits and recorded by the City of Hollywood in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

BACKGROUND

The Transit Oriented Corridor (TOC) Land Use designation encourages redevelopment or development of significant areas. The major purposes of this designation are to facilitate multi-use and mixed-use development, encourage mass transit, reduce the need for automobile travel, provide incentive for quality development, and give definition to the urban form.

State Road 7 is a major transportation corridor and one of regional significance. It has long been the City's intent to shape this area into one which supports multiple modes of transportation while also

creating a hub for redevelopment and economic vitality for the western portion of Hollywood. This can be seen in numerous measures taken over the years, beginning with the rezoning of the Corridor in 2004 to the land use designation of TOC in 2010. In addition to everything which has taken place intermittent of the latter, these two actions create a framework for the future of State Road 7. Specifically, they work together to provide a list of permitted uses and design principles that will attract redevelopment more conducive to an urban environment where people can work, live and partake in recreational activities, e.g., less industrial and automotive uses, more offices, residential, and personal services. Additionally, a rezoning of State Road 7 is anticipated in the near future to strengthen the vision of this corridor.

REQUEST

The Applicant is requesting Variances, Design, and Site Plan approval to construct an approximate 2,600 sq. ft. restaurant (Wendy's) located at 192-460 S State Road 7. Additionally, the Applicant is proposing site improvements to reconfigure the existing parking lot, for better circulation and to eliminate or decrease existing non-conformities.

The proposed Wendy's design is consistent in massing, scale, and architectural elements with adjacent commercial corridors. What was once a sea of parking has been reconfigured to allow the construction of a restaurant, while maintaining required parking. The addition of an active use fronting State Road 7 promotes the vision for State Road 7 and enhances the existing site. Exterior materials, such as glass, stucco, faux wood elements, and an aluminum store front design come together to introduce a modern design along State Road 7 and to the existing commercial plaza. The proposed landscape helps articulate the property and enhance the design of the proposed building. The landscape was designed with both beautification and function in mind. Furthermore, the proposed restaurant seeks to enhance pedestrian connectivity by providing pedestrian paths with painted designated crossings and ramps for easy access to public sidewalks to and from the site.

The following variances are in relation to the proposed Wendy's site:

- Variance 1: To increase the number of permitted monument signs from one to three.
- Variance 2: To increase the number of permitted wall signs from one to two (north and east façade); and to increase the allowable area (25 sq. ft.) to allow for total of 60 sq. ft. feet for both signs.
- Variance 3: To waive the requirement for a perimeter wall between 3 - 6 feet in height for any use that sells food or gasoline.

The Applicant is requesting a variance for the Wendy's site to increase the allowable size for a wall sign and increase the number of allowed wall signs. Due to the orientation of the building the front facade is limited to approximately 25 sq. ft. of sign space. With this requirement, the Applicant cannot fit both the logo and name of business on the front (east) facade of the building, which fronts State Road 7. To increase visibility along State Road 7, the Applicant requests an increase in size for a wall sign. Furthermore, per Zoning and Development Regulations you are only permitted one wall sign per street frontage. On the north façade of the building the Applicant is proposing an additional sign which faces internal roads, but is still considered visible from public right of way, thus triggering the need for a Variance. The sign located on the north façade is simply the logo at a size that is substantially smaller than what would have been permitted. The overall square footage between both signs is approximately 60 sq. ft. The Applicant is also requesting an additional monument sign for Wendy's. Currently the subject property has two monument signs that are to be removed and replaced. With the addition of the new Wendy's the Applicant would like to provide a monument sign located at the proposed entrance.

Additionally, the Applicant requests to waive the requirement for a perimeter wall between 3 – 6 feet in height for any use that sells food or gasoline. The purpose of this requirement is to limit adverse effects of noise, light, trash/debris, and other potential nuisances on adjacent properties. In lieu of the wall, ample

landscape buffers are proposed, meeting the intent of the regulation in a more aesthetically pleasing manner.

As mentioned previously, the project also proposes site improvements to the existing layout of the parking lot. This commercial plaza was originally constructed in 1951, with some renovations in 1970. Currently the parking lacks consistency in location of terminal islands, has irregular traffic circulation patterns, and is overall outdated. The Applicant is proposing site improvements specifically to the parking lot to enhance the functionally and decrease or eliminate non-conformities. Along with these improvements a Variance is required to reduce the length of the parking stall; due to existing site constraints, this Variance is necessary. This Variance request is consistent with the proposed regulations for the Rezoning of State Road 7, had this project gone through the process post adoption of the regulations, this Variance would not be necessary. The Applicant seeks to create a better experience for those utilizing the various commercial businesses while providing an improved traffic pattern throughout the plaza. As there are existing cross-access points to adjacent parcels, Staff recommends the Applicant submit the appropriate perpetual cross-access agreements, in a form acceptable to the City Attorney, prior to the issuance of any Building Permits and recorded by the City of Hollywood in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

SITE INFORMATION

Owner/Applicant:	Bostonian Inc. and Orion Venture XII LLC
Address/Location:	192-460 S State Road 7
Net Size of Property:	487,644 sq. ft. (11.19 acres)
Land Use:	Transit Oriented Corridor (TOC)
Zoning:	State Road 7 Commercial Corridor District – Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
Existing Use of Land:	Commercial Plaza

ADJACENT LAND USE

North:	Transit Oriented Corridor (TOC)
South:	Transit Oriented Corridor (TOC)
East:	Transit Oriented Corridor (TOC)
West:	Transit Oriented Corridor (TOC), General Business (GBUS), and Low Residential (LRES)

ADJACENT ZONING

North:	State Road 7 Commercial Corridor District – Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
South:	State Road 7 Commercial Corridor District – Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
East:	State Road 7 Commercial Corridor District – Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4)
West:	State Road 7 Commercial Corridor District – Commercial Core Sub-Area (SR7-CCD-CC)/ Medium-High Intensity Commercial District (C-4), Low-Medium Intensity Commercial District (C-2), Single Family District (RS-6), and Medium-High Intensity Commercial District (C-4)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Located within the Transit Oriented Corridor, the project is near commercial, and residential uses. The goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property*. Redevelopment of this site will increase the availability of commercial uses, and will expand the mixture of uses in the area; serving the adjacent community as well as the region.

Policy 2.2.11: *Promote the development of US 441/SR 7 as a major transit corridor.*

Policy 3.1.1: *Continue to prioritize US 441/SR 7 Corridor for redevelopment opportunities and work with the Florida Department of Transportation and other applicable agencies on design of the highway, and create innovative zoning to implement future plans.*

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan is a compilation of policy priorities and recommendations designed to improve the appearance, appeal, and economic tax base of the City. It establishes a format for future direction and vision for the City.

The City-Wide Master Plan recognizes the need for a mix of uses along the corridors and identifies the US 441/SR 7 Corridor as a Special Emphasis Area of high importance for the development of the City and its improved image. The proposed project is consistent with the City-Wide Master Plan based upon the following:

Guiding Principles and Policies:

Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.

Policy CW.21: *Create and expand where appropriate commercial and industrial zones to increase tax dollars.*

Policy CW.44: *Foster economic development through creative land use, zoning and development regulations, City services and City policies.*

Policy CW.46: *Place emphasis on redevelopment along the major highway corridors; SR 7, US 1, Dixie Highway, Hollywood Boulevard and A-1-A by limiting expansion of residential areas, and deepening industrial and commercial zones to increase tax revenues.*

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Variance and Sign Variance as stated in the City of Hollywood's Zoning and Land Development Regulations Article 5.

Variance 1: **To increase the number of permitted monument signs from one to three**

CRITERIA 1: The variance is not contrary to the public interest.

ANALYSIS: The City's Zoning and Land Development Regulations state *[t]he purpose of this section is to permit signs that: (A) Will not by their size, location, construction or manner of display, endanger the health, safety and general welfare of the public...*Currently the subject property has two monument signs that are to be removed and replaced. With the addition of the new Wendy's, the Applicant proposes to provide a monument sign located at the new entrance for Wendy's. Had Wendy's been a separate parcel rather than a lease line, this variance would not be necessary. Therefore, granting the Variance request should not affect the public interest in any way.

FINDING: Consistent.

CRITERIA 2:	The variance is required due to special conditions.
ANALYSIS:	Due to the size, and configuration, of the proposed site, signage in excess of what is permitted by right is necessary. However, this sign is for the proposed for the new Wendy's and not a request for the existing commercial plaza.
FINDING:	Consistent.
CRITERIA 3:	A literal enforcement of the provisions of Article 8 may result in unnecessary hardship.
ANALYSIS:	The Zoning and Land Development Regulations limits the number of monument signs to one per frontage. However, given the extensive length of the frontage (427 feet) the additional monument sign is necessary. If the Wendy's was located on an individual parcel, this variance would not be necessary.
FINDING:	Consistent.
VARIANCE 2:	To increase the number of permitted wall signs from one to two (north and east façade); and to increase the allowable area (25 sq. ft.) to allow for total of 60 sq. ft. feet for both signs.
CRITERIA 1:	The variance is not contrary to the public interest.
ANALYSIS:	The City's Zoning and Land Development Regulations state <i>[t]he purpose of this section is to permit signs that: (A) Will not by their size, location, construction or manner of display, endanger the health, safety and general welfare of the public...</i> The Applicant's request to increase the size and number of permitted wall signs is not contrary to public interest as it increases visibility for those navigating the roadways and pedestrian paths.
FINDING:	Consistent.
CRITERIA 2:	The variance is required due to special conditions.
ANALYSIS:	<p>Due to the size, and configuration, of the proposed project, the building the front facade is limited to a smaller sign area, despite its location on the façade front State Road 7</p> <p>Furthermore, per Zoning and Development Regulations you are only permitted one wall sign per street frontage. On the north façade of the building the Applicant is proposing an additional sign which faces internal roads, but still considered visible from public right of way, thus triggering the need for a Variance. The sign located on the north façade is simply the logo at a size that is substantially smaller than what would have been permitted. The overall square footage between both signs is approximately 60 sq. ft.</p>
FINDING:	Consistent.
CRITERIA 3:	A literal enforcement of the provisions of Article 8 may result in unnecessary hardship.
ANALYSIS:	The Zoning and Land Development regulations allow for one wall sign per street frontage; and the area of such sign is limited to one square foot per linear foot of

building face where the sign is to be located, with a minimum of 25 square feet permitted and a maximum of 150 square feet. Had the site configuration been different, and the longer façade been able to face the street, this variance would not be necessary. The additional sign is proposed on the north (longer) façade, facing internal roads; however, the additional sign is considered visible from the right-of-way, triggering the need for a variance.

VARIANCE 3: **To waive the requirement for a perimeter wall between 3 - 6 feet in height for any use that sells food or gasoline.**

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: The basic intent of the required perimeter wall is to limit adverse effects of noise, light, trash/debris, and other potential nuisances on adjacent properties. In lieu of the wall, the applicant is providing an ample setback and landscape buffer which serves the purpose of the wall in a more aesthetically pleasing manner, which will enhance the appearance along State Road 7. Furthermore, the restaurant use is directly adjacent to commercial uses.

FINDING: Consistent.

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: Since the request to waive the requirement for the perimeter wall is for State Road 7 frontage, the Variance request does not create any incompatibilities with the surrounding communities.

FINDING: Consistent.

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

ANALYSIS: The requested variance will not diminish the intent of the Comprehensive Plan as it is accommodating improvements to an existing commercial plaza. In lieu of the wall, the applicant is providing an ample setback and landscape buffer which serves the purpose of the wall in a more aesthetically pleasing manner, enhancing the State Road 7 Corridor appearance. The perimeter wall would deter the pedestrian connectivity along State Road 7.

FINDING: Consistent.

CRITERIA 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: The need for the Variance is not economically based or self-imposed. It serves intent of the regulation in a more aesthetically pleasing manner.

FINDING: Consistent.

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING:	Not applicable.
VARIANCE 4:	To reduce the minimum length of a parking space from 19 feet to 18 feet.
CRITERIA 1:	That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.
ANALYSIS:	It is the intent of the Applicant to enhance the existing conditions of the parking lot as a part of the proposed Wendy's. The Applicant has worked with staff reduce the need for variances, but due to existing site constraints the Applicant is not able to fully bring the site into compliance while enhancing the site. Despite the request to reduce the size of the parking stall the proposed site improvements enhance the appearance of the property along the State road 7 Corridor and are consistent with the proposed regulations for the Rezoning.
FINDING:	Consistent.
CRITERIA 2:	That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
ANALYSIS:	The requested variance would not be detrimental to the surrounding communities and land use as they are related to enhancing the existing parking and does not call for an expansion of conditions. This Variance request is consistent with the proposed regulations for the Rezoning of State Road 7, had this project gone through the process post adoption of the regulations, this Variance would not be necessary.
FINDING:	Consistent.
CRITERIA 3:	That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.
ANALYSIS:	The requested variance will not diminish the intent of the Comprehensive Plan as it is accommodating improvements to an existing commercial plaza parking lot. As stated previously, the requested Variance is for the existing parking lot, and the proposed restaurant will meet the required size for a parking space. The Applicant is proposing site improvements to reconfigure the existing parking lot, for better circulation and to eliminate or decrease existing non-conformities.
FINDING:	Consistent.
CRITERIA 4:	That the need for requested Variance is not economically based or self-imposed.
ANALYSIS:	The need for the Variance is not economically based or self-imposed. Due to the existing site constraints the Applicant is not able to meet the code requirement.
FINDING:	Consistent.
CRITERIA 5:	That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.
FINDING:	Not applicable.

Analysis of Criteria and Findings for Design Review as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERIA 1: *Architectural and Design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: The proposed Wendy's design is consistent in massing, scale, and architectural elements with adjacent commercial corridors. Exterior materials, such as glass, stucco, faux wood elements, and an aluminum store front design come together to introduce a modern design along State Road 7 and to the existing commercial plaza. The proposed landscape helps articulate the property and enhance the design of the proposed building. Furthermore, the Applicant is proposing pedestrian paths with painted designated crossings and ramps for easy access to public sidewalks to and from the site to enhance pedestrian connectivity.

FINDING: Consistent.

CRITERIA 2: *Compatibility.* The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS: Since Hollywood Boulevard and State Road 7 are commercial corridors, the proposed development is consistent with the surrounding buildings in scale, massing, and placement. Architectural detailing is provided in harmony with the surrounding built environment using an array of materials to provide an identity for the buildings while creating a cohesive fabric. Architectural features proposed such as the glass, stucco, faux wood elements, and an aluminum store front design come together to introduce a modern design along State Road 7. This design is not incompatible with existing development and provides an example for future development along State Road 7.

FINDING: Consistent.

CRITERIA 3: *Scale/Massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

ANALYSIS: The building mass reflects simple composition of basic architectural details. The geometric language is further emphasized by the use of materials and textures. The building height proposed is approximately 26 feet. Exterior materials include glass, stucco and an aluminum design on the front façade.

CRITERIA 4: *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The Applicant has worked with the City Landscape Architect to incorporate a variety of compatible plant types and forms into the design. The proposed landscape helps articulate the property and enhance the design of the proposed building. The landscaping was designed with both beautification and function in mind.

FINDING: Consistent.

SITE PLAN

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 5 of the Hollywood Zoning and Land Development Regulations on May 25, 2017. Therefore, staff recommends approval, if the Variance and Design are granted, and with the condition the Applicant submit the appropriate perpetual cross-access agreements, in a form acceptable to the City Attorney, prior to the issuance of any Building Permits and recorded by the City of Hollywood in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

ATTACHMENTS

ATTACHMENT A: Application Package

ATTACHMENT B: Land Use and Zoning Map

ATTACHMENT A

Application Package

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 05/22/17

Location Address: 192-460 South S.R. 7

Lot(s): 181 Block(s): 12 B Subdivision: Parcel D

Folio Number(s): 5141 13 26 0020

Zoning Classification: SR7 CCD-CC & C-4 Land Use Classification: 71 Transit Oriented Corridor

Existing Property Use: Commercial Sq Ft/Number of Units: 123,360 SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: Improvements to the parking lot, water, sewer and infilstructures.

Number of units/rooms: N/A Sq Ft: 123,360 SF

Value of Improvement: \$3,050,000 Estimated Date of Completion: Spring 2018

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Bostonian Inc

Address of Property Owner: 336 E Dania Beach Blvd, Dania, FL 33004

Telephone: 954-927-4885 Fax: _____ Email Address: amicha@dacarmanagement.net

Name of Consultant/Representative/Tenant (circle one): Kimley-Horn and Associates, Inc.

Address: 445 24th Street, Suite 200, Vero Beach, FL 32960 Telephone: 772-794-4100

Fax: _____ Email Address: greg.wilfong@kimley-horn.com

Date of Purchase: 5/6/1987 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 5/25/17

PRINT NAME: Greg Wilfong (Agent to Owner)

Date: _____

Signature of Consultant/Representative: _____

Date: 5/22/17

PRINT NAME: Greg Wilfong, P.E.

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) _____ to my property, which is hereby made by me or I am hereby authorizing (name of the representative) _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

SIGNATURE OF CURRENT OWNER

Notary Public State of Florida

PRINT NAME

My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____

AGENT AUTHORIZATION FORM

DATE: November 19, 2015

RE: Applications for Permits and Approvals
Project Name: "Bostonian"

TO: City of Hollywood, South Florida Water Management District,
Florida Department of Transportation, Broward County and
other required agencies.

BOSTONIAN, INC. ("the Companies") are in the process of re-developing that particular parcel of land and the improvements thereon (the "Site") located in the state of Florida, Broward County, City of Hollywood, Florida. On behalf of the Companies, I hereby authorize Kimley-Horn and Associates, Inc. (the "Engineer"), to act as the Companies' agent for the express purpose of obtaining permits and approvals related to the re-development of the Site.

In such capacity, the Engineer's authority is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Site, advancing nominal funds as may be required to file such applications and to represent the interests of the Companies at meetings and hearings for the applications. The Engineer is not authorized to negotiate on the Companies' behalf or to bind or obligate the Companies in any manner whatsoever, including without limitation accruing any obligations on the Companies' behalf to pay for or construct improvements without additional authorization in writing from the Companies.

Sincerely,

BOSTONIAN, INC.

By:  _____ 11-19-15

Name: Alberto Micha Buzali

Title: Vice President of Bostonian, Inc.

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 04/24/17

Location Address: 404 S 60 Avenue, Hollywood, FL 33024

Lot(s): 181 Block(s): 12 B Subdivision: Parcel D

Folio Number(s): 5141 13 26 0020

Zoning Classification: SR7 CCD-CC & C-4 Land Use Classification: 71 Transit Oriented Corridor

Existing Property Use: Commercial Sq Ft/Number of Units: 5,220 SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Improvements to the parking lot, water, sewer and infilstructures.

Number of units/rooms: N/A Sq Ft: 5,220 SF

Value of Improvement: Unknown Estimated Date of Completion: Fall 2018

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Orion Venture XII Florida, LLC

Address of Property Owner: 404 S 60 Avenue, Hollywood, FL 33024

Telephone: N/A Fax: _____ Email Address: N/A

Name of Consultant/Representative/Tenant (circle one): Kimley-Horn and Associates, Inc.

Address: 445 24th Street, Suite 200, Vero Beach, FL 32960 Telephone: 772-794-4100

Fax: _____ Email Address: greg.wilfong@kimley-horn.com

Date of Purchase: 02/01/93 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 6/26/17

PRINT NAME: Greg Wilfong (Agent to Owner)

Date: _____

Signature of Consultant/Representative: _____

Date: 6/26/17

PRINT NAME: Greg Wilfong, P.E.

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) _____ to my property, which is hereby made by me or I am hereby authorizing (name of the representative) _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

SIGNATURE OF CURRENT OWNER

Notary Public State of Florida

PRINT NAME

My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____

AGENT AUTHORIZATION FORM

DATE: March 22, 2017

RE: Applications for Permits and Approvals

TO: City of Hollywood, South Florida Water Management District,
Florida Department of Transportation, Broward County and
other required agencies.

Orion Venture XII Florida, LLC ("the Company") is in the process of re-developing that particular parcel of land and the improvements thereon (the "Site") located in the state of Florida, Broward County, at "The Place at Hollywood" at the SEC of Hollywood Boulevard and S. State Road 7, Hollywood, Florida. On behalf of the Company, I hereby authorize Kimley-Horn and Associates, Inc. (the "Engineer"), to act as the Company's agent for the express purpose of obtaining permits and approvals related to the re-development of the Site.

In such capacity, the Engineer's authority is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Site, advancing nominal funds as may be required to file such applications and to represent the interests of the Companies at meetings and hearings for the applications. The Engineer is not authorized to negotiate on the Company's behalf or to bind or obligate the Company in any manner whatsoever, including without limitation accruing any obligations on the Company's behalf to pay for or construct improvements without additional authorization in writing from the Company.

Sincerely,

Orion Venture XII Florida, LLC, a Florida limited liability company

By: Orion Venture XII MM, LLC, a Florida limited liability company, its Manager

By: _____

Joseph A. Sanz, Manager



West Hollywood Plaza

Legal Description

LEGAL DESCRIPTION:

- (a) PARCEL "D", OF "HOLLYWOOD PLAZA", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

- (b) THAT PORTION OF BLOCK "A", "DU PARK ESTATES AMENDED, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 23, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID BLOCK "A"; THENCE SOUTH 02°10'43" EAST ALONG THE EAST LINE OF BLOCK "A", A DISTANCE OF 34.54 FEET TO THE POINT OF BEGINNING; THENCE, CONTINUE SOUTH 02°10'43" EAST ALONG SAID EAST LINE 195 FEET; THENCE SOUTH 89°12'37" WEST 195 FEET; THENCE NORTH 02°10'43" WEST 195 FEET; THENCE NORTH 89°12'37" EAST 195 FEET TO THE POINT OF BEGINNING.

Project Information

Project Description

The West Hollywood Shopping Plaza is within an existing 11.19 acre shopping center consisting of 120,755 square feet of existing retail. The project proposes one fast food restaurant building totaling 2,205 square feet, located within The West Hollywood Shopping Plaza development. Improvements include parking lots, landscaping, storm water system and utilities. The entitlements, permitting and construction are estimated to take approximately 8-12 months.

Location

- Section 13, Township 51 S, Range 41 E

Address

Existing Retail:

- 440/450 SOUTH 60 AVENUE (S.R. 7)
- 420/430 SOUTH 60 AVENUE (S.R. 7)
- 380-410 SOUTH 60 AVENUE (S.R. 7)
- 370A SOUTH 60 AVENUE (S.R. 7)
- 370B SOUTH 60 AVENUE (S.R. 7)
- 350 SOUTH 60 AVENUE (S.R. 7)
- 340 SOUTH 60 AVENUE (S.R. 7)

- 330 SOUTH 60 AVENUE (S.R. 7)
- 320 SOUTH 60 AVENUE (S.R. 7)
- 310 SOUTH 60 AVENUE (S.R. 7)
- 300 SOUTH 60 AVENUE (S.R. 7)
- 290 SOUTH 60 AVENUE (S.R. 7)
- 280 SOUTH 60 AVENUE (S.R. 7)
- 270 SOUTH 60 AVENUE (S.R. 7)
- 260 SOUTH 60 AVENUE (S.R. 7)
- 250 SOUTH 60 AVENUE (S.R. 7)
- 224/240 SOUTH 60 AVENUE (S.R. 7)
- 220 SOUTH 60 AVENUE (S.R. 7)
- 210 SOUTH 60 AVENUE (S.R. 7)
- 200B SOUTH 60 AVENUE (S.R. 7)
- 200A SOUTH 60 AVENUE (S.R. 7)
- 192 SOUTH 60 AVENUE (S.R. 7)

Wendy's:

- 460 SOUTH ROAD 7

Zoning

- SR7 CCD-CC: Commercial Corridor District- Commercial Core Sub-area
- C-4: Medium/High Intensity Commercial District

Land Use

- 71: Transit Oriented Corridor



June 26, 2017

City of Hollywood
Planning and Development Board
2600 Hollywood Blvd, Room 315
Hollywood, FL 33022

Re: Criteria Statement
West Hollywood Shopping Center
192-460 South S.R.7
Hollywood, FL 33024

Dear Planning & Development Board Member:

Please consider the following items while reviewing our request for variances related to the monument sign, building signage, end planters, parking stall dimension, perimeter wall, drive aisle dimensions and concrete wheel stops.

Monument Sign

We are requesting an additional monument sign for the Wendy's project. There are currently two existing monument signs along the frontage which are being removed and reconstructed to meet current code. The frontage is approximately 427'.

A. The Variance is not contrary to the public interest:

- **Our proposed monument sign would provide better identification for traffic goers and be consistent with new Wendy's prototypes being built. The additional monument sign will assist the public in identifying the restaurant. The scale/size of the proposed signs provide a consistent and pleasing appearance and meets current size requirements. The additional monument sign would be allowed if a separate parcel was existing at this shopping center. Therefore, granting this variance request should not affect the public interest in any way.**

B. The variance is required due to special conditions:

- **Due to the current parcel configuration and frontage length the site constraints don't allow an additional sign unless a separate parcel was created, therefore this site has special conditions that warrant this variance.**

C. A literal enforcement of the provisions of Article 8, may result in an unnecessary hardship:

- **The Zoning and Land Development regulations limits the number of monument signs to one per frontage per parcel. However, given the extensive amount of frontage this additional monument sign is necessary**

for the new Wendy's facility. If this proposed Wendy's was located on its own parcel this variance would not be required.

Wendy's Building Signage

We are requesting additional signage for the Wendy's building signage due to a very small amount of frontage for our building. The current frontage is only 25.5' due to the rotation of the building and the signage proposed is 56.5 square feet.

A. The Variance is not contrary to the public interest:

- The variance to increase the number of allowable signs is required in order to provide signs on each façade (facing east and facing north), is not contrary to the public interest. As the area of the signage is significantly reduced by the small amount of frontage along SR 7.**

B. The variance is required due to special conditions:

- We are proposing to increase the number of allowable signs, in order to provide signs on each façade (facing east and facing north). The size of the signs has been reduced to be compatible with other variances that have been approved as part of the Place at Hollywood having signs on multiple facades. The special condition that exists is that there is limited frontage due to the drive thru configuration which results in reduced allowed signage being allowed.**

C. A literal enforcement of the provisions of Article 8, may result in an unnecessary hardship:

- The Zoning and Land Development regulations allow for one wall sign per street frontage, and the area of such sign is limited to one square foot per linear foot of building face where the sign is located, with a minimum of 25 square feet permitted and a maximum of 150 square feet. Had the Wendy's building been configured perpendicular this variance would not have been necessary as we would have additional frontage. Since the north facing sign is visible from the right of way the variance is required.**

Parking Stalls Dimensions

Currently the proposed site plan does not meet the current zoning regulations for the parking stall dimensions. There is currently a new zoning district that is being developed which would allow for reduced parking stall dimensions and other items which should be approved in the near future. The proposed parking stall size is 8.5' wide by 18' deep and 17' deep with 1' overhang at a minimum.

A. The requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

- **The variance to allow for reduce the parking stall dimensions requirement meets the basic intent and purpose. The City is currently in the process of amending the code to allow for reduced parking stall size which will likely be approved shortly. The appearance of the shopping center is being greatly improved as a new parking lot is being constructed. The reduced parking stall size are required in order to meet the current parking requirements.**
- B. The requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
- **The proposed variance for the reduced parking stall size would allow the parking lot to meet the intent of the code. This is not detrimental to the community and is compatible with other redevelopment projects in the surrounding area.**
- C. The requested variance is consistent with and in furtherance of the goals, objectives and policies of the adopted comprehensive plan, as amended from time to time, the applicable neighborhood plan and all other similar plans adopted by the city.
- **The approval of the variance will allow for better parking lot configuration and amount of parking within the shopping center. This will promote the overall goals of growth and citizen happiness.**
- D. That the need for the requested variance is not economically based or self-imposed.
- **The need for the variance is a result of better configuring the parking lot to be able to meet the required parking code with a few reduced planters and more larger planters to offset.**
- E. That the variance is necessary to comply with State or Federal law and is the minimum variance necessary to comply with the applicable law.
- **The requested variance is necessary to allow for reduced parking stall dimensions to meet the minimum parking requirements. The reduced parking stall size is in the process of being changed in the zoning regulations by the City.**

Perimeter Wall

We are requesting relief for the required 3'-6" perimeter wall requirement for the Wendy's drive thru which we understand needs to be modified as part of a future code change. This has been approved at many other fast food users recently.

- A. The requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.
 - **The basic intent of the required perimeter wall is to limit adverse effects of noise, light, trash/debris, and other potential nuisances on adjacent properties. Since this request to waive the required perimeter wall is for SR 7 frontage we don't believe this would be required. There is landscaping along the perimeter that will help alleviate possible adverse effects.**
- B. The requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
 - **Since the requested to waive the requirement for the perimeter wall is for State Road 7 frontage and this waiver has been granted across the street in the Hollywood Shopping Center project we believe that this is not detrimental to the community**
- C. The requested variance is consistent with and in furtherance of the goals, objectives and policies of the adopted comprehensive plan, as amended from time to time, the applicable neighborhood plan and all other similar plans adopted by the city.
 - **The requested variance meets the goals and objectives of the comprehensive plan of screening the drive thru as we have landscaping material along the property edges that will alleviate possible adverse effects. In addition, this type of variance has been approved in the Hollywood Shopping Center across the street that has similar site constraints as this project.**
- D. That the need for the requested variance is not economically based or self-imposed.
 - **The need for the variance is not economically based or self-imposed. It serves intent of the regulation in a more aesthetically pleasing manner and allows for improved functionality and vehicular and pedestrian circulation throughout the site.**
- E. That the variance is necessary to comply with State or Federal law and is the minimum variance necessary to comply with the applicable law.
 - **The requested variance is necessary to meet other drive thru requirements by the City of Hollywood and to have safer vehicular and pedestrian circulation within the project.**

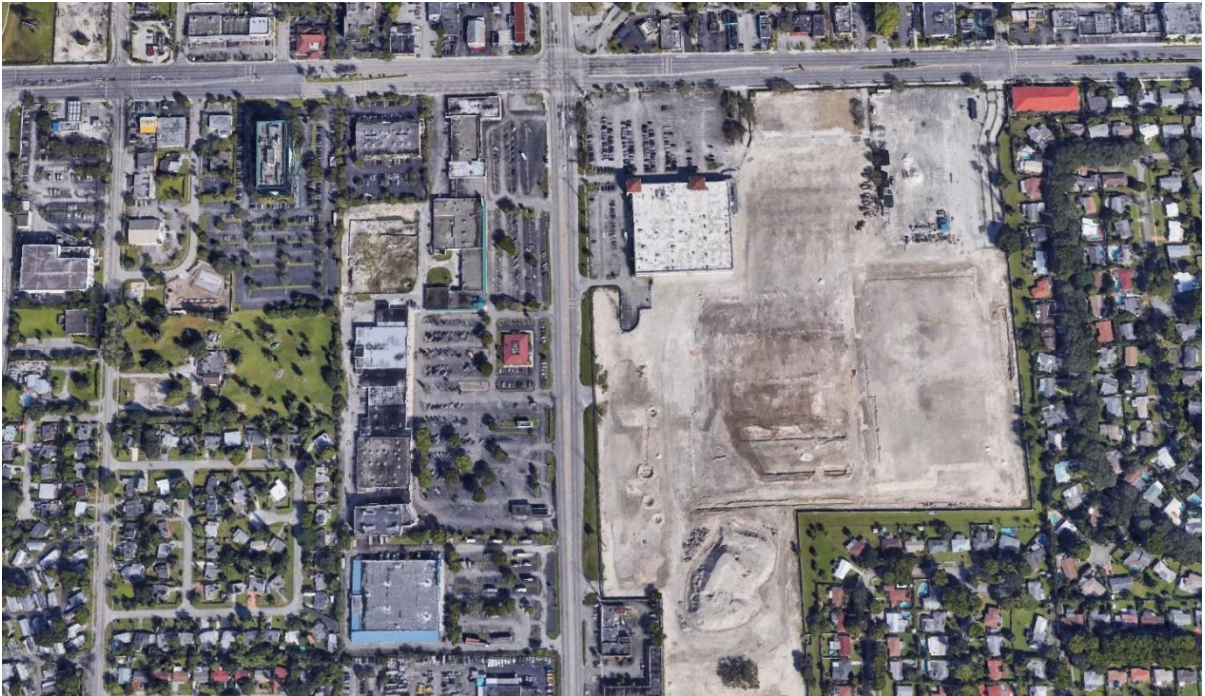
Sincerely,

KIMLEY-HORN and Associates, Inc.


Greg Wilfong, P.E.

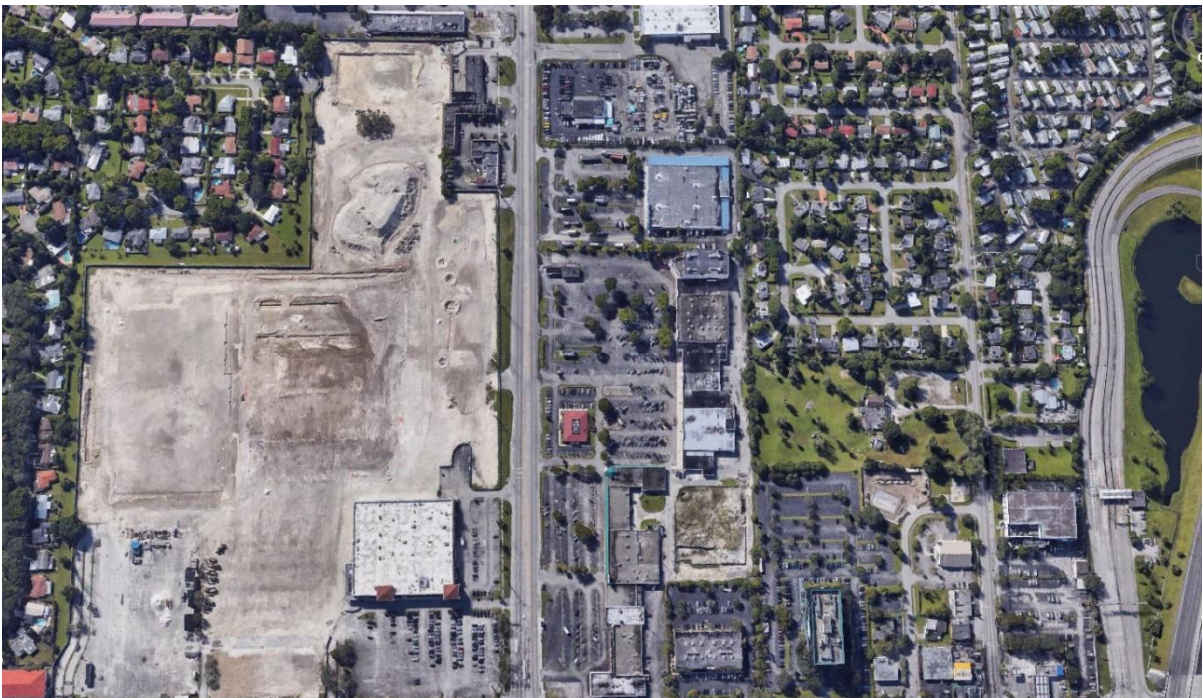
West Hollywood Plaza

Existing Conditions Photo #1 (Looking North)

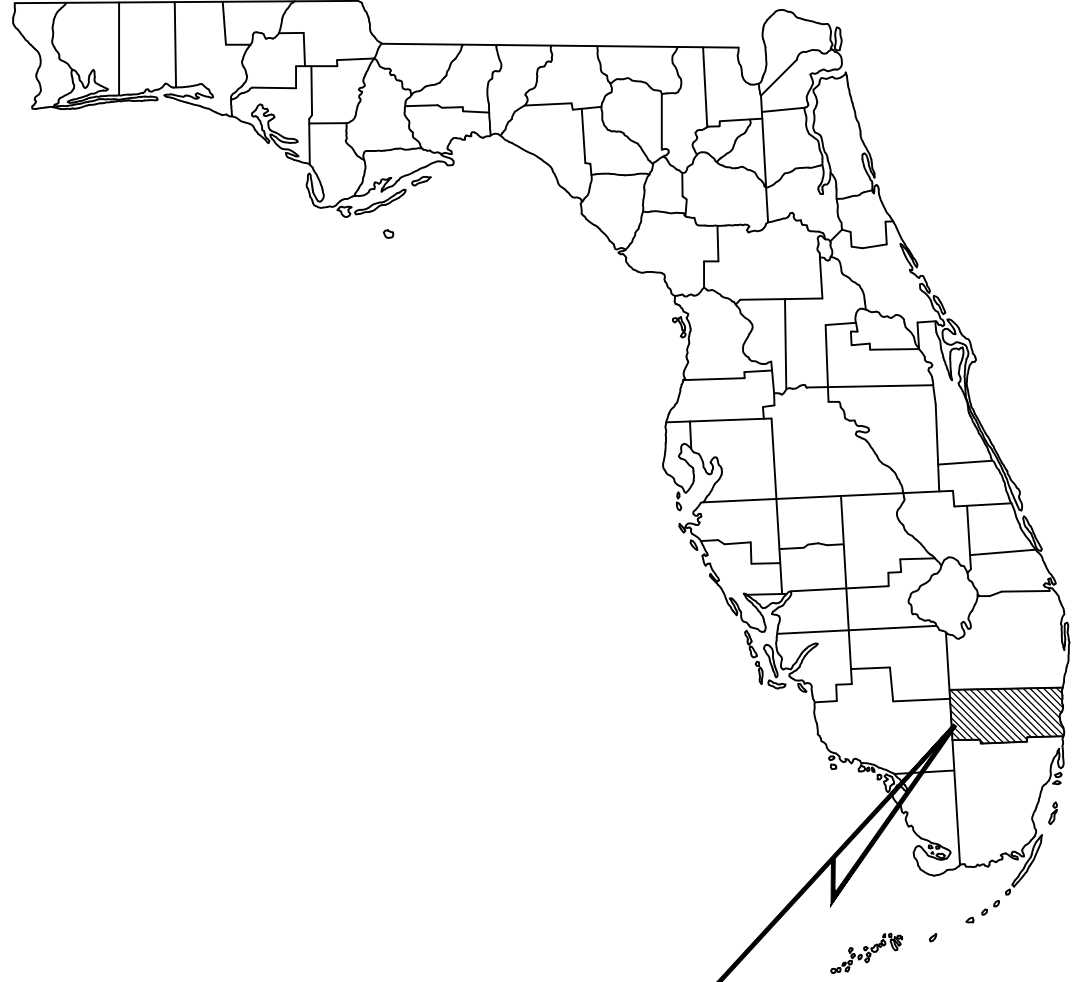


West Hollywood Plaza

Existing Conditions Photo #2 (Looking South)



Plotted By:Schulz, Ryan Sheet Set:WEST HOLLYWOOD PLAZA Layout:C-000 COVER SHEET June 22, 2017 08:39:01pm K:\VRB_LDEV\147452000 West Hollywood Plaza\CAD\PlanSheets\Archive\2017-06-15 Permitting set\C-000 - COVER SHEET.dwg
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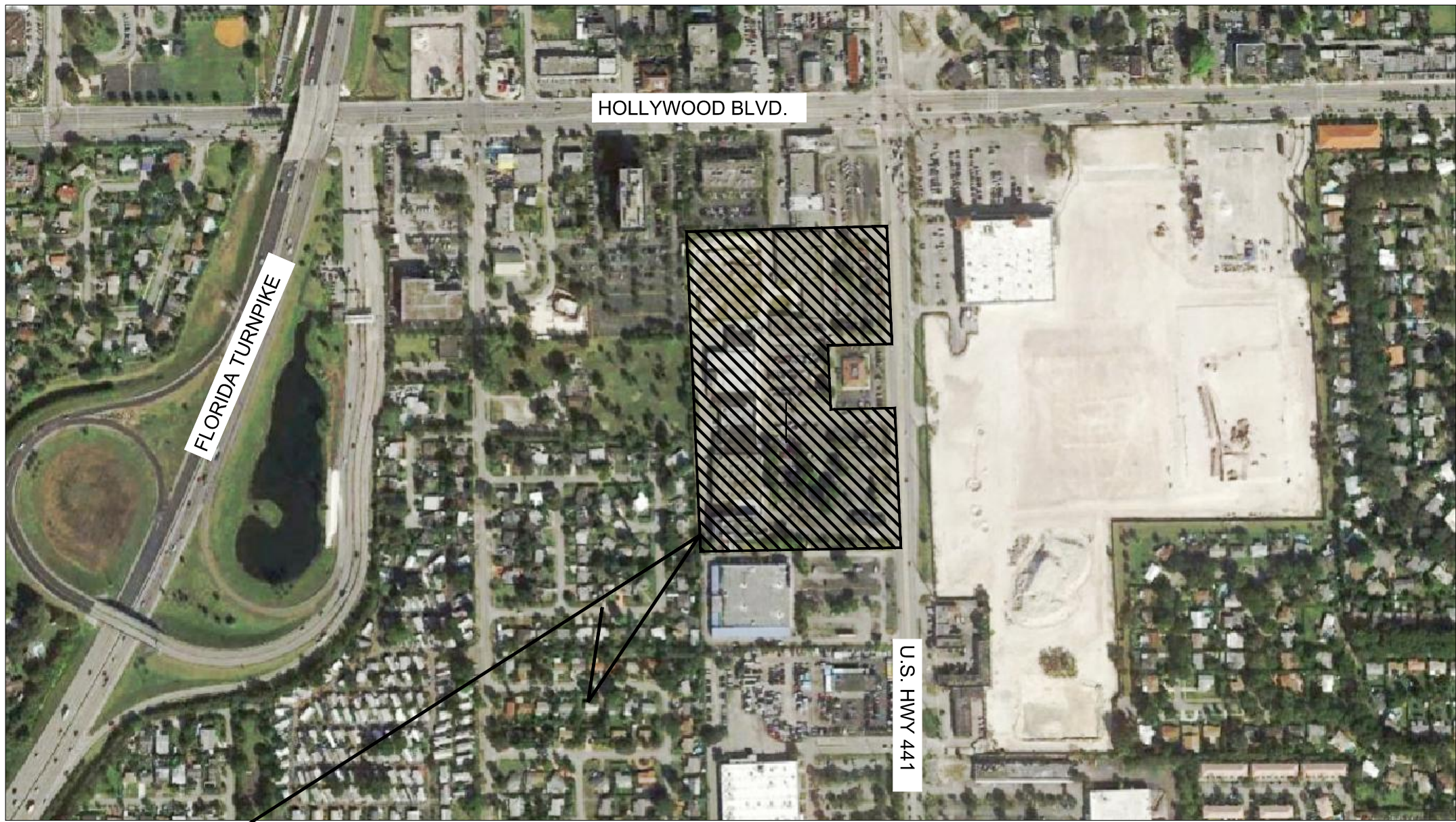
PROJECT LOCATION
BROWARD COUNTY

SITE APPLICATION FOR WEST HOLLYWOOD PLAZA LOCATED AT

440/450 SOUTH 60 AVENUE (S.R. 7)
420/430 SOUTH 60 AVENUE (S.R. 7)
380-410 SOUTH 60 AVENUE (S.R. 7)
370A SOUTH 60 AVENUE (S.R. 7)
370B SOUTH 60 AVENUE (S.R. 7)
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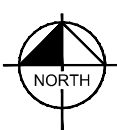
290 SOUTH 60 AVENUE (S.R. 7)
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200A SOUTH 60 AVENUE (S.R. 7)
192 SOUTH 60 AVENUE (S.R. 7)
460 SOUTH ROAD 7

HOLLYWOOD, FL 33024
SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST



PROJECT LOCATION

VICINITY
N.T.S.



ENGINEER:

GREG D. WILFONG, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200
VERO BEACH, FLORIDA 32960
PHONE: (772) 794-4100

DEVELOPER :

BOSTONIAN, INC.
336 E. DANIA BEACH BLVD.
DANIA, FL 33004
PHONE: (954) 927-4885

LIST OF CONTACTS

CITY ENGINEERING

CITY OF HOLLYWOOD
LUIS A. LOPEZ, P.E.
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33022
PHONE: (954) 921-3900

BUILDING OFFICIAL

CITY OF HOLLYWOOD
PHIL SAUER
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33022
PHONE: (954) 921-3335

CITY PLANNING/ZONING

CITY OF HOLLYWOOD
LESLIE A. DEL MONTE
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33022
PHONE: (954) 921-3471

WATER

CITY OF HOLLYWOOD
JAMES RUSNAK
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33022
PHONE: (954) 921-3302

FIRE

CITY OF HOLLYWOOD
JANET WASHBURN
2741 STIRLING ROAD
HOLLYWOOD, FL 33012
PHONE: (954) 967-4248

STORMWATER

BROWARD COUNTY EPD
CARLOS ADORISIO, P.E.
1 N. UNIVERSITY DRIVE
PLANTATION, FL 33301
PHONE: (954) 519-0318

CABLE

COMCAST CABLE
LEONARD MAXWELL-NEUBOLD
2601 S.W. 145TH AVE.
MIRAMAR, FL 33027
PHONE: (954) 447-8405

TELEPHONE

AT&T
BOB KRAUSS
8601 W. SUNRISE BLVD.
PLANTATION, FL 33322
PHONE: (954) 476-6406

SANITARY SEWER

CITY OF HOLLYWOOD
JAMES RUSNAK
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33022
PHONE: (954) 921-3302

NATURAL GAS

TECO PEOPLES GAS
YVONNE GOLDMAN
5101 N.W. 21ST AVE., STE. 460
FT. LAUDERDALE, FL, 33309
YVONNE GOLDMAN
PHONE: (954) 453-0824

TRANSPORTATION

FLORIDA DEPT. OF TRANSPORTATION
JAMES FORD
3400 WEST COMMERCIAL BLVD.
FT. LAUDERDALE, FL 33309
PHONE: (954) 777-4383

ELECTRIC

FLORIDA POWER & LIGHT
JAMES TALLEY
4000 DAVIE ROAD EXTENSION
HOLLYWOOD, FL 33024
PHONE: (954) 442-6347

PUBLIC WORKS

CITY OF HOLLYWOOD
JAMES RUSNAK
2600 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33022
PHONE: (954) 921-3302

Sheet Number

C-000

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1 of 1

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PH1.0

Sheet Title

COVER SHEET

GENERAL NOTES

BOUNDARY & TOPOGRAPHIC SURVEY

OVERALL SITE PLAN

SITE PLAN

SITE PLAN

SITE PLAN

SITE DETAILS

OVERALL DEMOLITION AND EROSION CONTROL PLAN

DEMOLITION AND EROSION CONTROL PLAN

DEMOLITION AND EROSION CONTROL PLAN

DEMOLITION AND EROSION CONTROL PLAN

OVERALL PAVING GRADING AND DRAINAGE PLAN

PAVING GRADING AND DRAINAGE PLAN

PAVING GRADING AND DRAINAGE PLAN

PAVING GRADING AND DRAINAGE PLAN

PAVING GRADING AND DRAINAGE DETAILS

OVERALL UTILITY PLAN

UTILITY PLAN

UTILITY PLAN

UTILITY PLAN

CITY OF HOLLYWOOD STANDARD POTABLE WATER DETAILS

CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS

CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS

CITY OF HOLLYWOOD STANDARD POTABLE WATER DETAILS

TREE INVENTORY PLAN

LANDSCAPE PLAN

LANDSCAPE DETAILS

LANDSCAPE SPECIFICATIONS

PHOTOMETRIC PLAN

ARCH. DESIGN PLAN INDEX

SHEET NUMBER

WENDY'S (PREPARED BY CKE GROUP INCORPORATED)

COVER SHEET

ENLARGED SITE PLAN

PAVING & DRAINAGE PLAN

SITE UTILITY PLAN

SITE DETAILS

DETAILS & CROSS SECTIONS

POLLUTION PREVENTION DETAILS

PAVEMENT MARKING & SIGNAGE PLAN

TRASH ENCLOSURE PLAN & DETAILS

SITE LIGHTING PLAN

LANDSCAPE PLAN

IRRIGATION PLAN

SPECIFICATIONS SHEET

FLOOR PLAN

ROOF PLAN

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

Kimley»Horn

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100 FAX: 772-794-4130
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL

GREG D. WILFONG, P.E.

FL LICENSE NUMBER
63166

KHA PROJECT
147452000

DATE
04/24/17

SCALE AS SHOWN

DESIGNED BY JGV

DRAWN BY RS

CHECKED BY JGV

DATE: _____

COVER SHEET

WEST HOLLYWOOD
PLAZA

FL

HOLLYWOOD

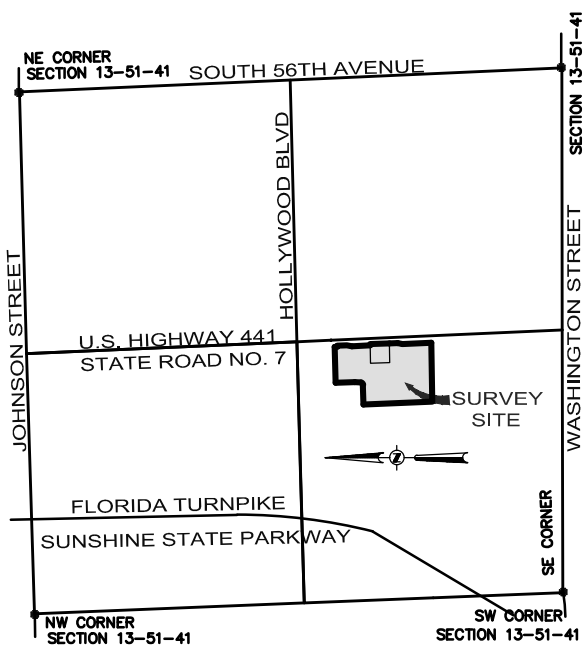
SHEET NUMBER
C-000

BY

REVISIONS

No.

DATE



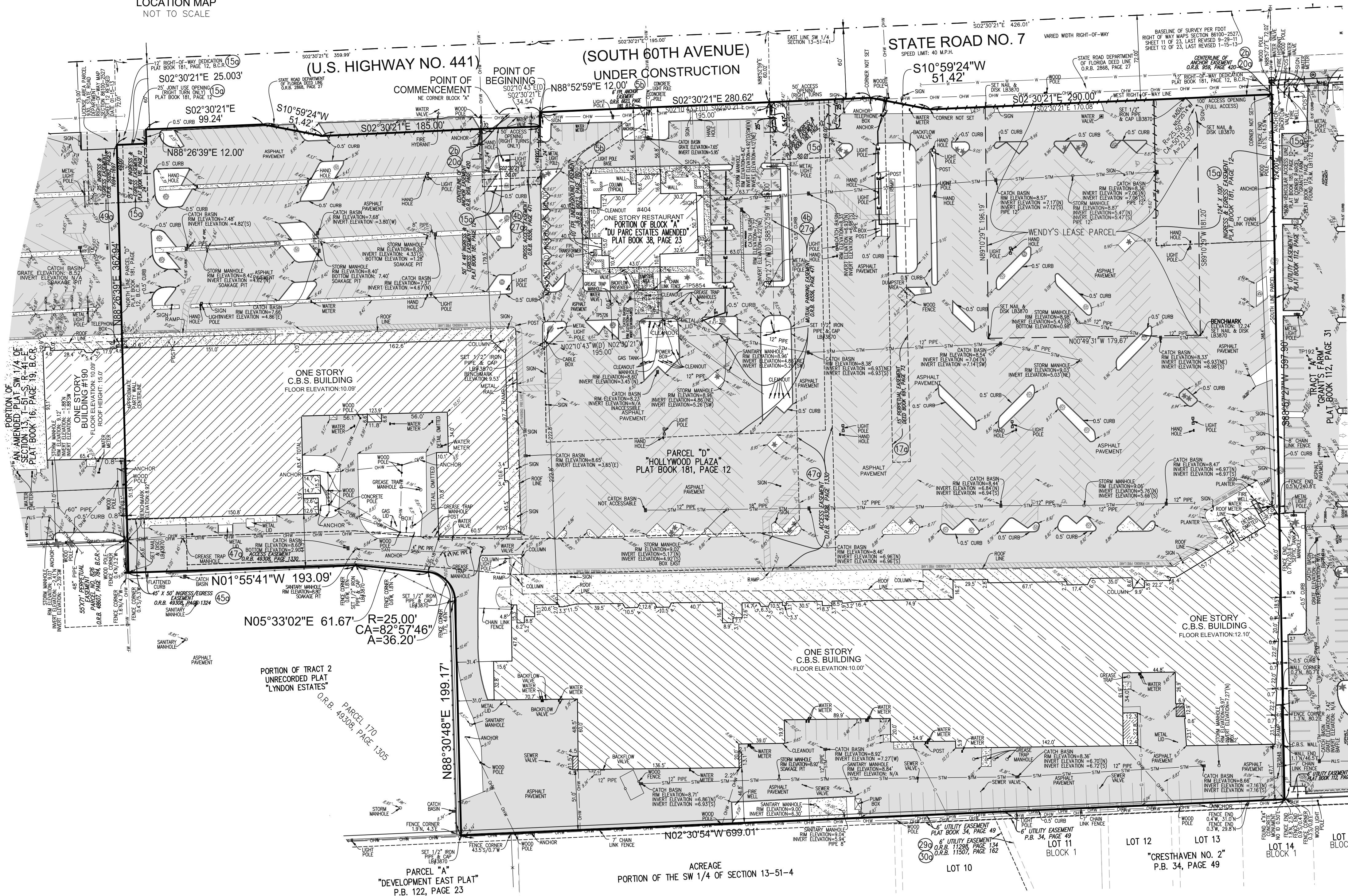
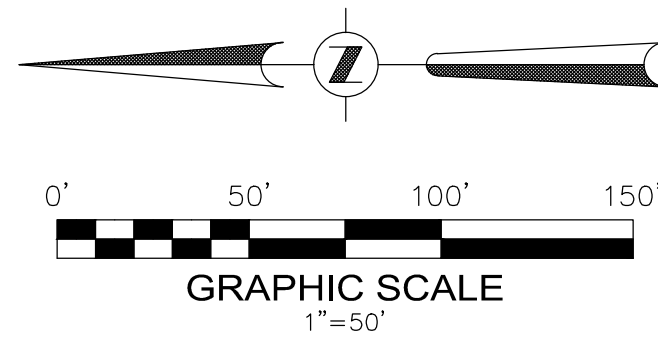
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NOTES:

- 1) THIS SITE 487,644 SQUARE FEET (11.1948 ACRES) (GROSS AND NET), MORE OR LESS.
- 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK NO. S312 1970; ELEVATION: 8.59'
- 3) FLOOD ZONE: X AND AH; BASE FLOOD ELEVATION: NONE AND 10' (NAVD); PANEL IN INSTRUMENT #125113-0564H; MAP DATE: 8-18-14
- 4) BEARINGS ARE BASED ON EAST LINE OF PARCEL "D" BEING S02°30'21"E
- 5) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 6) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS 0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- 7) (a) THIS SURVEY WAS PREPARED WITH BENEFIT OF OWNERSHIP & ENCUMBRANCE CERTIFICATE OF SEARCH, FILE NO. 526354 3rd UPDATE, PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED THROUGH MAY 14, 2017 AT 6:00 A.M.
- THE FOLLOWING ITEMS ARE INSTRUMENTS LISTED IN SAID REPORT AS TO PARCEL (a):
 - ITEM 1-NOTICE OF COMMENCEMENT IN INSTRUMENT #113008544 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 2-NOTICE OF COMMENCEMENT IN INSTRUMENT #113718868 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 3-NOTICE OF COMMENCEMENT IN INSTRUMENT #113768351 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 4-NOTICE OF COMMENCEMENT IN INSTRUMENT #113768352 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 5-PLAT IN PLAT BOOK 16, PAGE 19 APPLIED TO THIS SITE BUT HAS BEEN SUPERCEDED BY REPLAT.
 - ITEM 6-PLAT IN PLAT BOOK 26, PAGE 17 APPLIED TO THIS SITE BUT HAS BEEN SUPERCEDED BY REPLAT.
 - ITEM 7-PLAT IN PLAT BOOK 38, PAGE 23 APPLIES TO THIS SITE AS DEPICTED HEREON. PORTIONS OF THIS PLAT HAVE BEEN SUPERCEDED BY REPLAT.
 - ITEM 8-PLAT IN PLAT BOOK 181, PAGE 12 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 9-DEED IN DEED BOOK 463, PAGE 505 DOES NOT APPLY TO THIS SITE.
 - ITEM 10-WARRANTY DEED IN DEED BOOK 691, PAGE 73 APPLIES TO THIS SITE. PERPETUAL EASEMENT DEPICTED HEREON.
 - ITEM 11-RELEASE IN O.R.B. 245, PAGE 176 DOES NOT APPLY TO THIS SITE.
 - ITEM 12-QUIT CLAIM DEED IN O.R.B. 245, PAGE 174 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 13-EASEMENT IN O.R.B. 959, PAGE 420 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 14-WARRANTY DEED IN O.R.B. 1041, PAGE 142 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 15-EASEMENT IN O.R.B. 1228, PAGE 517 DOES NOT APPLY TO THIS SITE.
 - ITEM 16-RESOLUTION IN O.R.B. 1333, PAGE 288 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 17-RESOLUTION IN O.R.B. 1333, PAGE 293 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 18-COUNTY DEED IN O.R.B. 2868, PAGE 27 DOES NOT APPLY TO THIS SITE.
 - ITEM 19-RESOLUTION IN O.R.B. 3843, PAGE 466 DOES NOT APPLY TO THIS SITE.
 - ITEM 20-MUTUAL PARKING AND CROSS EASEMENT AGREEMENT IN O.R.B. 6556, PAGE 471 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 21-SPECIAL WARRANTY DEED IN O.R.B. 8990, PAGE 32 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 22-GRANT OF EASEMENT IN O.R.B. 11298, PAGE 134 DOES NOT APPLY TO THIS SITE BUT IS DEPICTED HEREON.
 - ITEM 23-DUPLICATE OF ITEM 22.
 - ITEM 24-AGREEMENT IN O.R.B. 12028, PAGE 454 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 25-SHORT TERM BUSINESS LEASE IN O.R.B. 15532, PAGE 832 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 26-ORDINANCE NO. 84-85 IN O.R.B. 12152, PAGE 51 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 27-AGREEMENT OF LEASE IN O.R.B. 18471, PAGE 1 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 28-ORDINANCE NO. 2002-61 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 29-ORDINANCE NO. 2009-13 IN O.R.B. 46117, PAGE 1638 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 30-SHORT FORM LEASE IN O.R.B. 48034, PAGE 422 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 31-RESOLUTION NO. 11-V-59 IN O.R.B. 48209, PAGE 1729 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 32-WARRANTY DEED IN O.R.B. 49308, PAGE 1305 DOES NOT APPLY TO THIS SITE.
 - ITEM 33-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1308 DOES NOT APPLY TO THIS SITE.
 - ITEM 34-QUITCLAIM DEED IN O.R.B. 49308, PAGE 1311 DOES NOT AFFECT THIS SITE.
 - ITEM 35-TEMPORARY EASEMENT IN O.R.B. 49308, PAGE 1315 HAS EXPIRED.
 - ITEM 36-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1318 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 37-SUBORDINATION AGREEMENT FOR TEMPORARY EASEMENT IN O.R.B. 49308, PAGE 1321 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 38-PERPETUAL EASEMENT IN O.R.B. 49308, PAGE 1324 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 39-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1327 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 40-PERPETUAL EASEMENT IN O.R.B. 49308, PAGE 1330 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 41-OWNER'S AFFIDAVIT IN O.R.B. 49308, PAGE 1333 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 42-EASEMENT IN O.R.B. 50262, PAGE 1694 DOES NOT LIE WITHIN THIS SITE BUT BENEFITS THE SITE BY GIVING SHARED INGRESS FROM SOUTH 60TH AVENUE, AS DEPICTED HEREON.
 - ITEM 43-SECURITY/LEASING AGREEMENT INSTALLATION OF REQUIRED IMPROVEMENTS IN O.R.B. 50295, PAGE 1021 AS DEPICTED HEREON THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 44-AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT IN INSTRUMENT #113456377 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 45-AMENDED AND RESTATED RECIPROCAL EASEMENT AGREEMENT WITH COVENANTS, CONDITIONS AND RESTRICTION IN INSTRUMENT #114247810 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.

CERTIFICATION

TO, DACAR MANAGEMENT, LLC.; COMMONWEALTH LAND TITLE INSURANCE COMPANY; BOSTONIAN, INC., A FLORIDA CORPORATION; ORION VENTURE XII FLORIDA, LLC, A FLORIDA LIMITED LIABILITY COMPANY; DUNAY MISKE & BACKMAN;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 7(a), 8, 10, 11(a) & 14 OF TABLE A THEREOF.

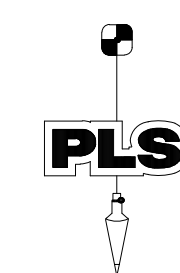
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

- ☐ JOHN F. POLICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 - ☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
 - ☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- STATE OF FLORIDA

12	#63214 - REVIEW OWNERSHIP & ENCUMBRANCE REPORT	B.E.
11	#62965 - UPDATE SURVEY - 4/18/17	L.S.
10	#60930 - UPDATE SURVEY - 5/6/16	B.S.
9	#60125 - UPDATE SURVEY - 11/11/15	R.F.
8	#59743-ADD INVERT INFORMATION	B.S.
7	#56210-UPDATE SURVEY-5/9/13	AC
6	#55687-LIFT STATION AS-BUILT-01/24/13	B.S.
5	#5559-REVIEW OWNERSHIP & ENCUMBRANCE REPORT-12/10/12	B.S.
4	#55374-REVIEW TITLE COMMITMENT-11/08/12	B.S.
3	#55374-REVIEW TITLE COMMITMENT-8/7/12	B.S.
2	#53767 CROSS SECTIONS OF RIGHT-OF-WAY-6/16/11	B.S.
NO.	REVISIONS	BY

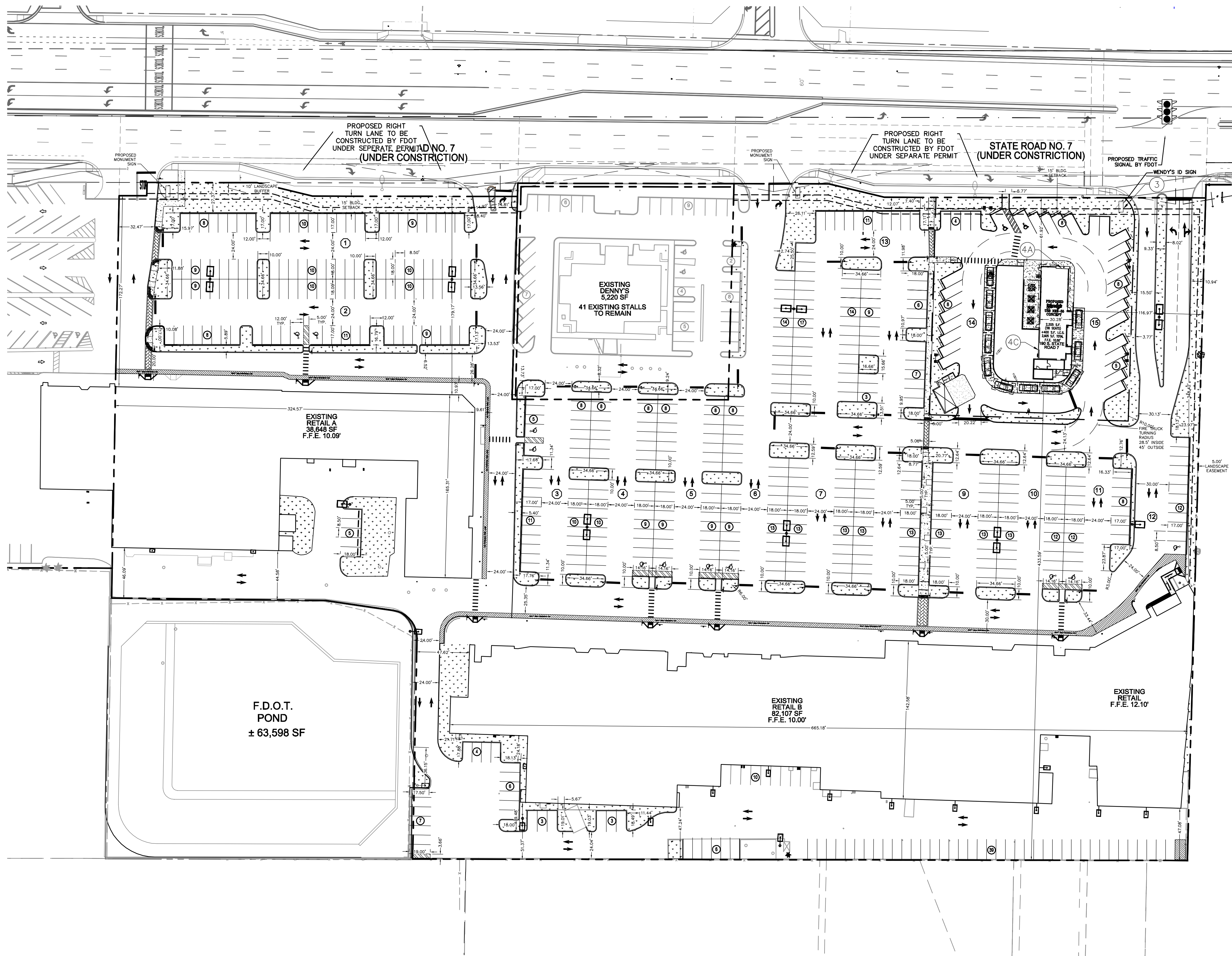
BOSTONIAN & DENNY'S SITE
SOUTH STATE ROAD 7 & HOLLYWOOD BOULEVARD
192 & 404 S 60 AVENUE, HOLLYWOOD, BROWARD COUNTY, FLORIDA 33023

BOUNDARY, TOPOGRAPHIC AND ALTA/ACSM LAND TITLE SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: survey@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E. SCALE: 1" = 50' FILE: DACAR MANAGEMENT, LLC
CHECKED BY: J.F.P. SURVEY DATE: 5/16/17 ORDER NO.: 63214



LEGEND

- ①
- PROPOSED PARKING SPACES
- PROPOSED GREEN SPACE
- PROPOSED STAMPED COLOR ASPHALT
- PROPOSED CONCRETE
- PROPOSED LIGHTPOLE
- MONUMENT SIGN (3 TOTAL)
- SIGN (TYP)
- VISIBILITY TRIANGLE

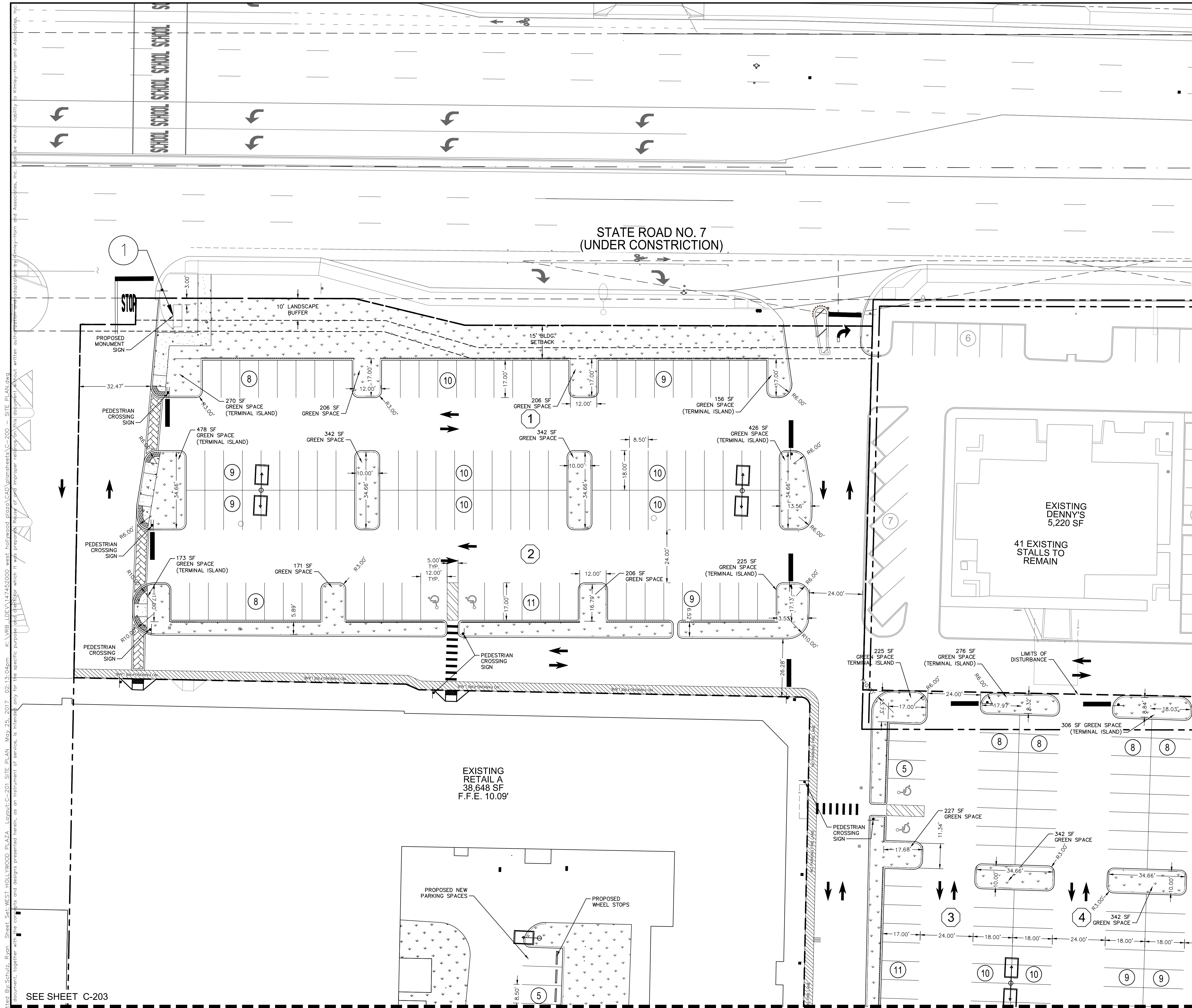
DEVELOPMENT SUMMARY

LOCATION:	SECTION 13, TOWNSHIP 51 S, RANGE 41 E
ADDRESS:	300-460 SOUTH 60TH AVENUE (S.R. 7), HOLLYWOOD, FL 33024
ZONING:	SR7 CCD-CC: COMMERCIAL CORRIDOR DISTRICT - COMMERCIAL CORE SUB-AREA C-4: MEDIUM/HIGH INTENSITY COMMERCIAL DISTRICT
LEGAL DESCRIPTION:	PARCEL 'D' OF HOLLYWOOD PLAZA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 181, PAGE 12 PF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LAND USE:	71: TRANSIT ORIENTED CORRIDOR
SITE AREA:	SHOPPING CENTER ± 487,644 SF ± 11.19 AC

VARIANCE BOX				
<u>SIGNAGE</u>	<u>ALLOWED</u>	<u>PROPOSED</u>	<u>SIGN LOCATION</u>	<u>SUMMARY</u>
1. PARCEL "D"	1 MONUMENT SIGN 24 SF MAX	1 WENDY'S MONUMENT SIGN (24 SF) FRONTAGE IS 427'	③	VARIANCE FOR ADDITIONAL MONUMENT SIGN
2. PARCEL "D"	25.5 SF PER SIDE AND 1 SIGN PER FRONTAGE	2 SIGNS 56.5 SF (WENDY'S) 25.5 FRONTAGE	④A ④C	VARIANCE FOR NUMBER AND SIZE OF SIGNS
<u>SITE ITEMS</u>				
3. PARKING STALL DIMENSION (18' X 8.5' AND 17' WITH 1' OVERHANG)				
4. PERIMETER WALL. 3 FT - 6FT SHALL BE PLACED ON ANY USE THAT SELLS FOOD.				NOT PROVIDED

NOTE: SEE SIGNAGE MASTER SIGNAGE PLAN EXHIBIT AND SIGNAGE PACKAGE FOR EXACT SIGNAGE LOCATIONS AND SIGN DETAILS.

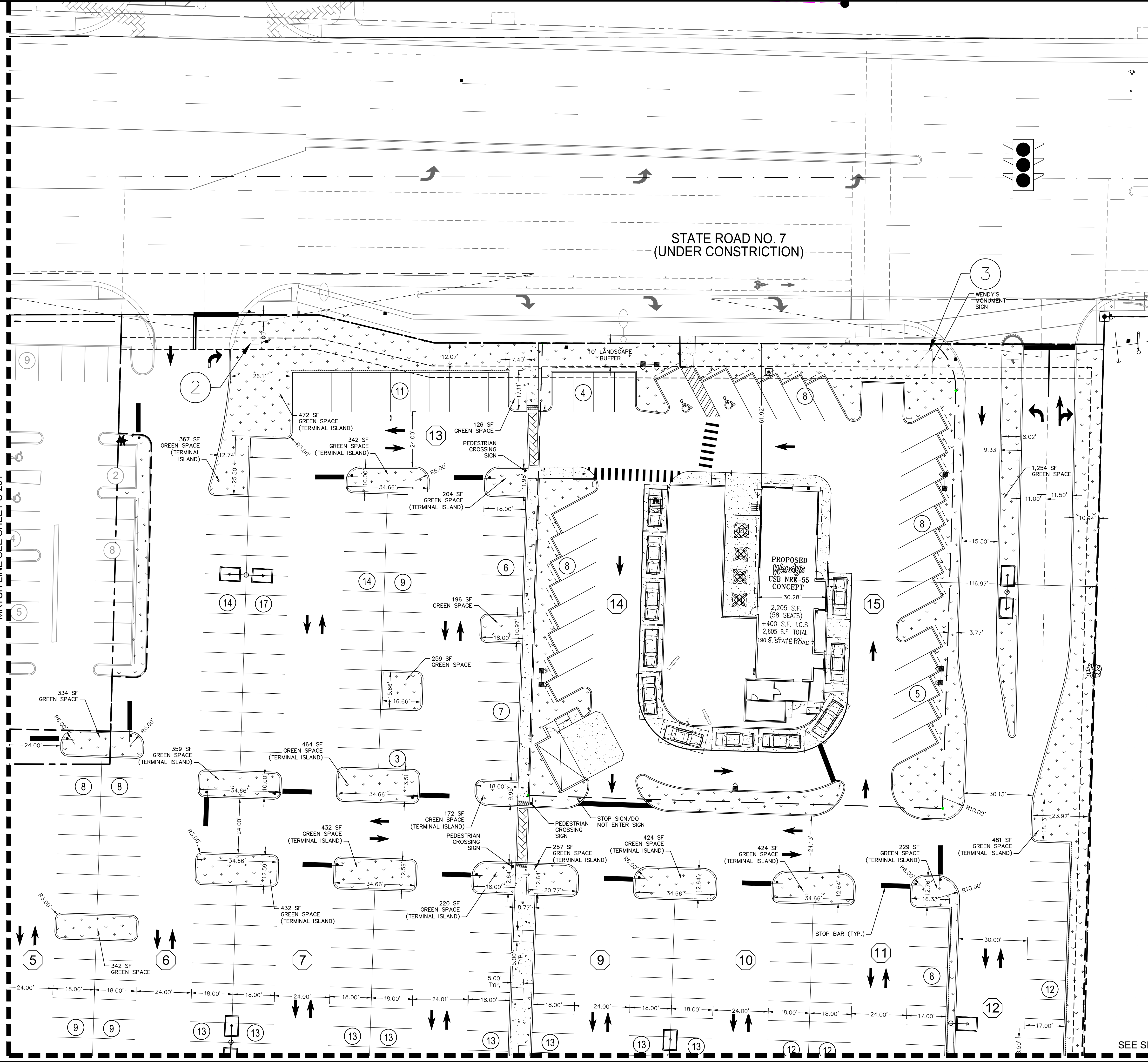
SHEET NUMBER		C-200	
WEST HOLLYWOOD PLAZA		HOLLYWOOD FL	
OVERALL SITE PLAN		KHA PROJECT 147452000 DATE 04/24/17 SCALE AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV DATE:	
OVERALL SITE PLAN SCALE AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV DATE:		LICENSED PROFESSIONAL GREG D. WILFONG, P.E. FL LICENSE NUMBER 63166	
WEST HOLLYWOOD PLAZA HOLLYWOOD FL		Kimley»»Horn © 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 00000696	
		No. _____ DATE _____ REVISIONS _____ BY _____	



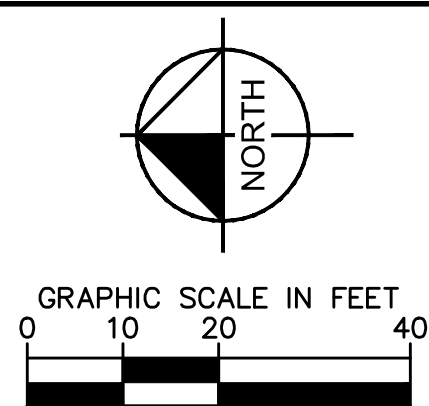
SHEET NUMBER
C-201

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MATCH LINE SEE SHEET C-201



SEE SHEET C-203

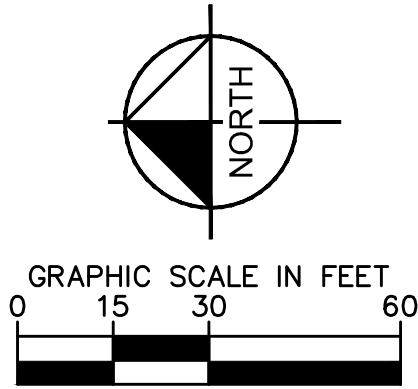
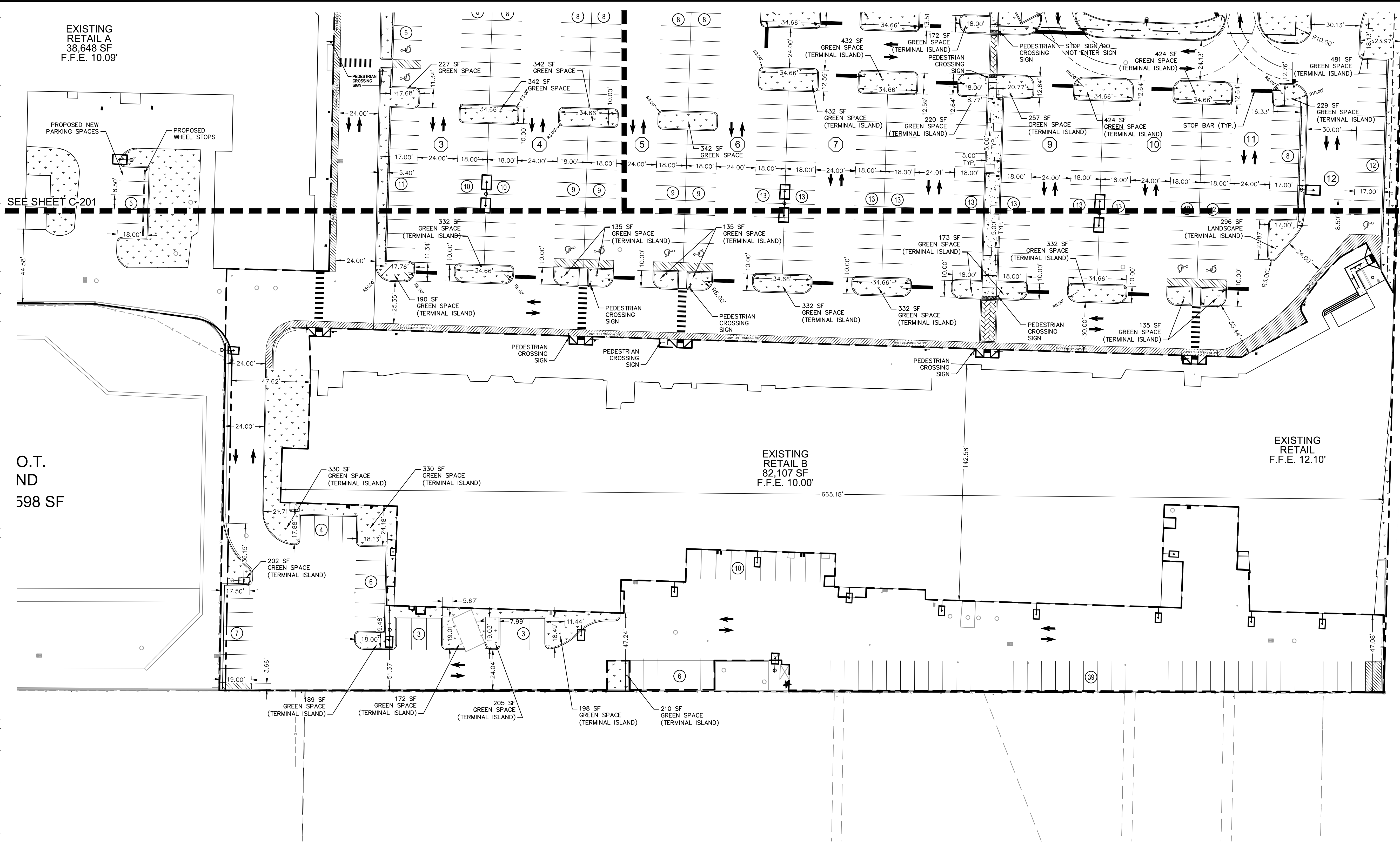


LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- PARKING ROW
- PROPOSED PARKING SPACES
- PROPOSED GREEN SPACE
- PROPOSED STAMPED COLOR ASPHALT
- PROPOSED CONCRETE
- PROPOSED LIGHTPOLE
- SIGN (TYP)

KHA PROJECT 147452000		LISCENSED PROFESSIONAL		Kimley»Horn		No.		REVSIONS		DATE		BY	
DATE 04/24/17		GREG D. WILFONG, P.E.		© 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 00000696									
SCALE AS SHOWN		JGV		FL LICENSE NUMBER 63166									
DESIGNED BY		JGV		RS									
DRAWN BY		JGV		RS									
CHECKED BY		JGV		DATE									
WEST HOLLYWOOD PLAZA				HOLLYWOOD FL									
SHEET NUMBER C-202													

Plotted By: Schulz, Ryan Sheet Set: WEST HOLLYWOOD PLAZA Layout: C-203 SITE PLAN 3 May 25, 2017 02:13:08pm K:\VRB_LDEV\147452000_west_hollywood_plaza\CAD\plan\sheet\C-200 - SITE PLAN.dwg
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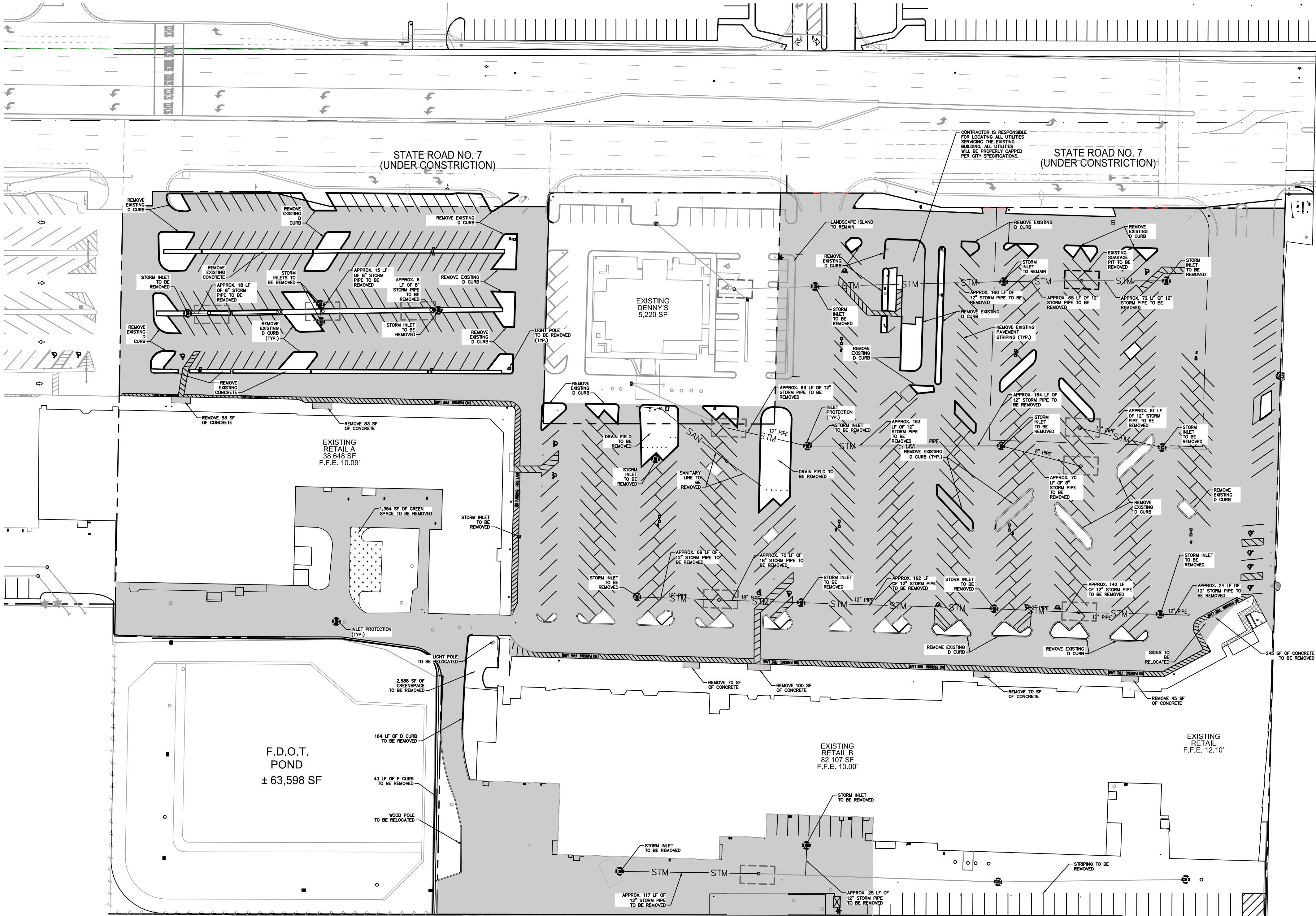


- LEGEND**
- PROPERTY LINE
 - - - LIMITS OF DISTURBANCE
 - ⑧ PARKING ROW
 - PROPOSED PARKING SPACES
 - [Pattern] PROPOSED GREEN SPACE
 - [Pattern] PROPOSED STAMPED COLOR ASPHALT
 - [Pattern] PROPOSED CONCRETE
 - [Symbol] PROPOSED LIGHTPOLE
 - [Symbol] SIGN (TYP)

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LISCENSED PROFESSIONAL GREG D. WILFONG, P.E. FL LICENSE NUMBER 63166	
KHA PROJECT 147452000 DATE 04/24/17 SCALE AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV	DATE: _____ BY: _____ REVISIONS No. _____
SITE PLAN	
WEST HOLLYWOOD PLAZA	
SHEET NUMBER C-203	
HOLLYWOOD FL	

Plotted By:Schulz, Ryan Sheet Set:WEST HOLLYWOOD PLAZA Layout:OVERALL DEMOLITION AND EROSION CONTROL PLAN May 25, 2017 02:13:26pm K:\VRB\DEV\147452000\west hollywood plaza\CAD\plan\sheet\A-C-300 - DEMO SHEET.dwg

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NOTES:

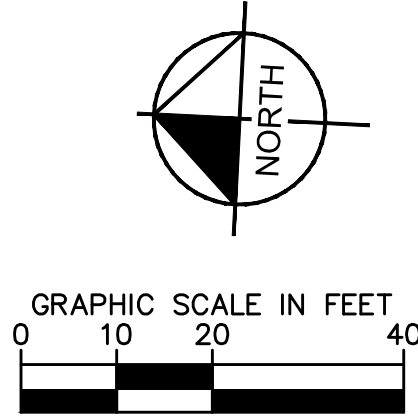
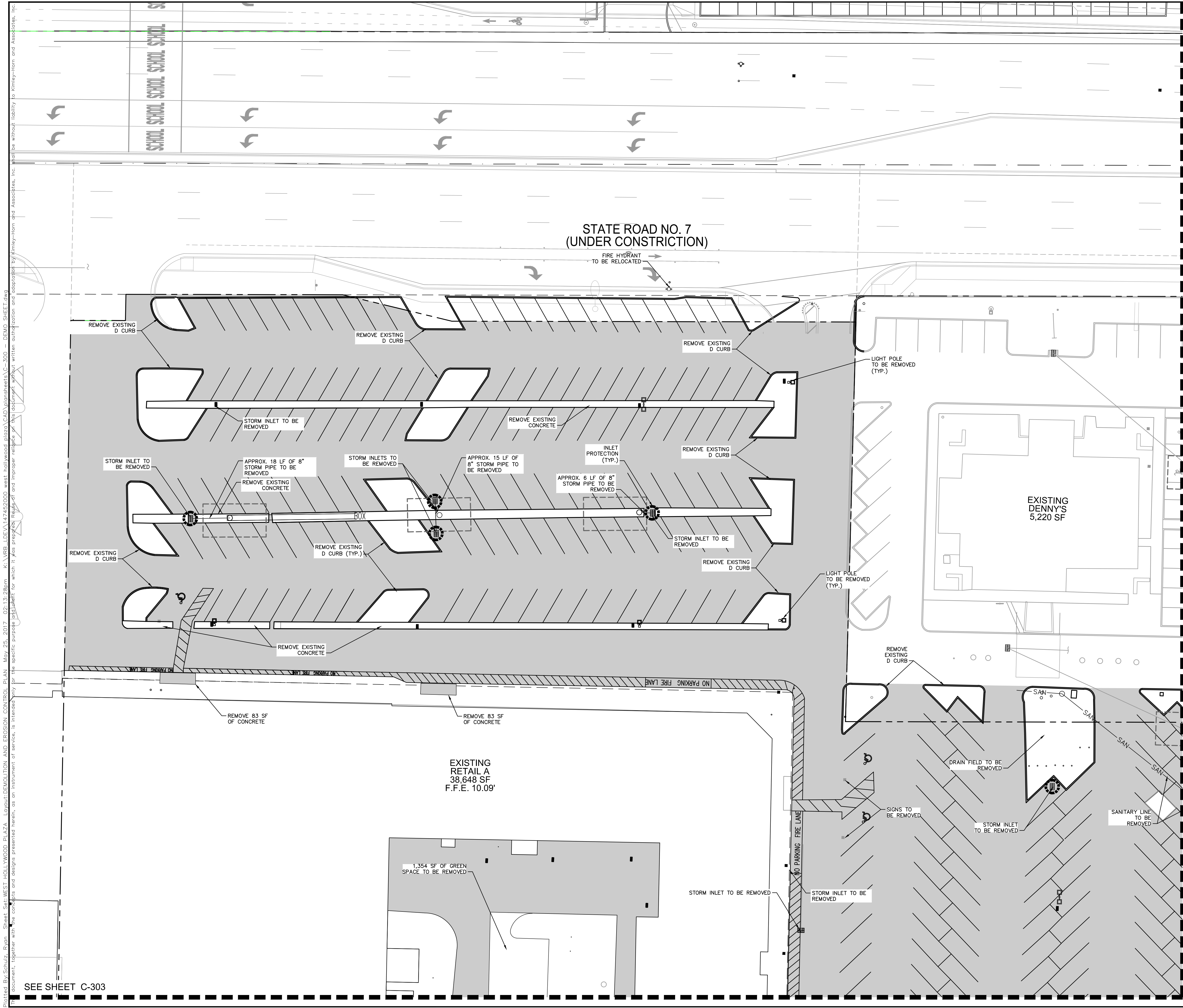
1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
7. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
8. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
10. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
11. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT AND LANDSCAPE REMOVAL AREAS.
12. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN.
13. SEE LIGHTING PLANS FOR PROPOSED LIGHTING LOCATIONS.
14. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO DEMOLITION TO ENSURE SERVICES HAVE BEEN DISCONNECTED.
15. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING TO REMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING OF THE REMAINDER OF THE DEVELOPMENT.
16. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DEMOLISHING ALL EXISTING IRRIGATION. THE CONTRACTOR SHALL ASSURE THAT THE INTEGRITY OF THE IRRIGATION SYSTEM FOR THE REMAINING DEVELOPMENT IS MAINTAINED.
17. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
18. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
19. SR7 DESIGN PLANS SHOWN FOR REFERENCE.

LEGEND:

- ASPHALT TO BE REMOVED
- LIMITS OF DISTURBANCE
- PARCEL LINE
- INLET PROTECTION

PARKING LOT WILL BE REMOVED IN PHASES TO KEEP EXISTING TENANTS OPEN DURING CONSTRUCTION.

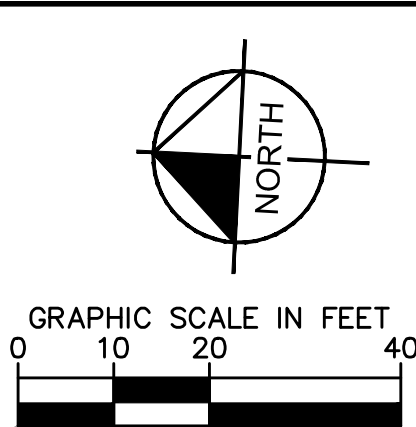
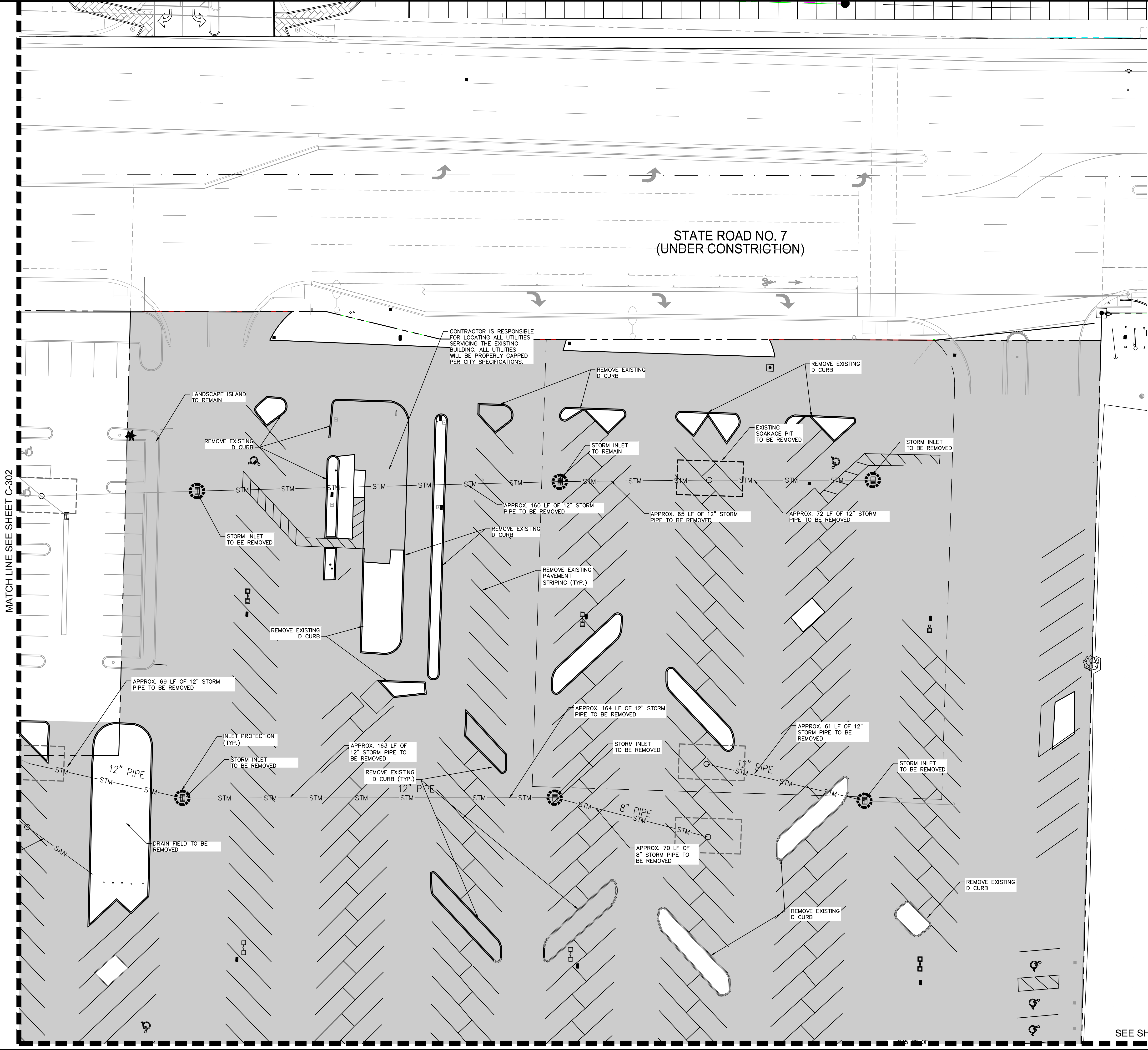
WEST HOLLYWOOD PLAZA	OVERALL DEMOLITION AND EROSION CONTROL PLAN	KHA PROJECT 147452000	DATE 04/24/17	SCALE AS SHOWN	DESIGNED BY JGV	DRAWN BY RS	CHECKED BY JGV	DATE: _____	FL	HOLLYWOOD	REVISIONS			No.	DATE	BY	
SHEET NUMBER C-300		Kimley»Horn														© 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 0000696	
		LICENCED PROFESSIONAL		GREG D. WILFONG, P.E.		FL LICENSE NUMBER 63166											



WEST HOLLYWOOD PLAZA		DEMOLITION AND EROSION CONTROL PLAN		Kimley»Horn	
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DATE 04/24/17		SCALE AS SHOWN		No.	
DESIGNED BY JGV		FL LICENSE NUMBER 63166		DATE	
DRAWN BY RS		CHECKED BY JGV		BY	

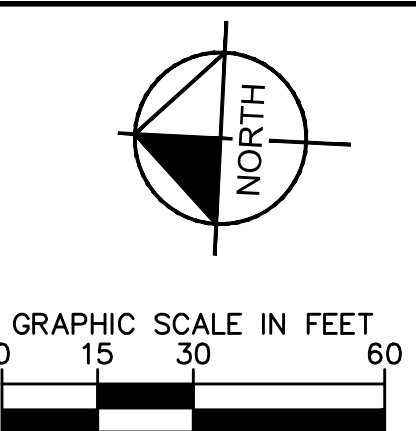
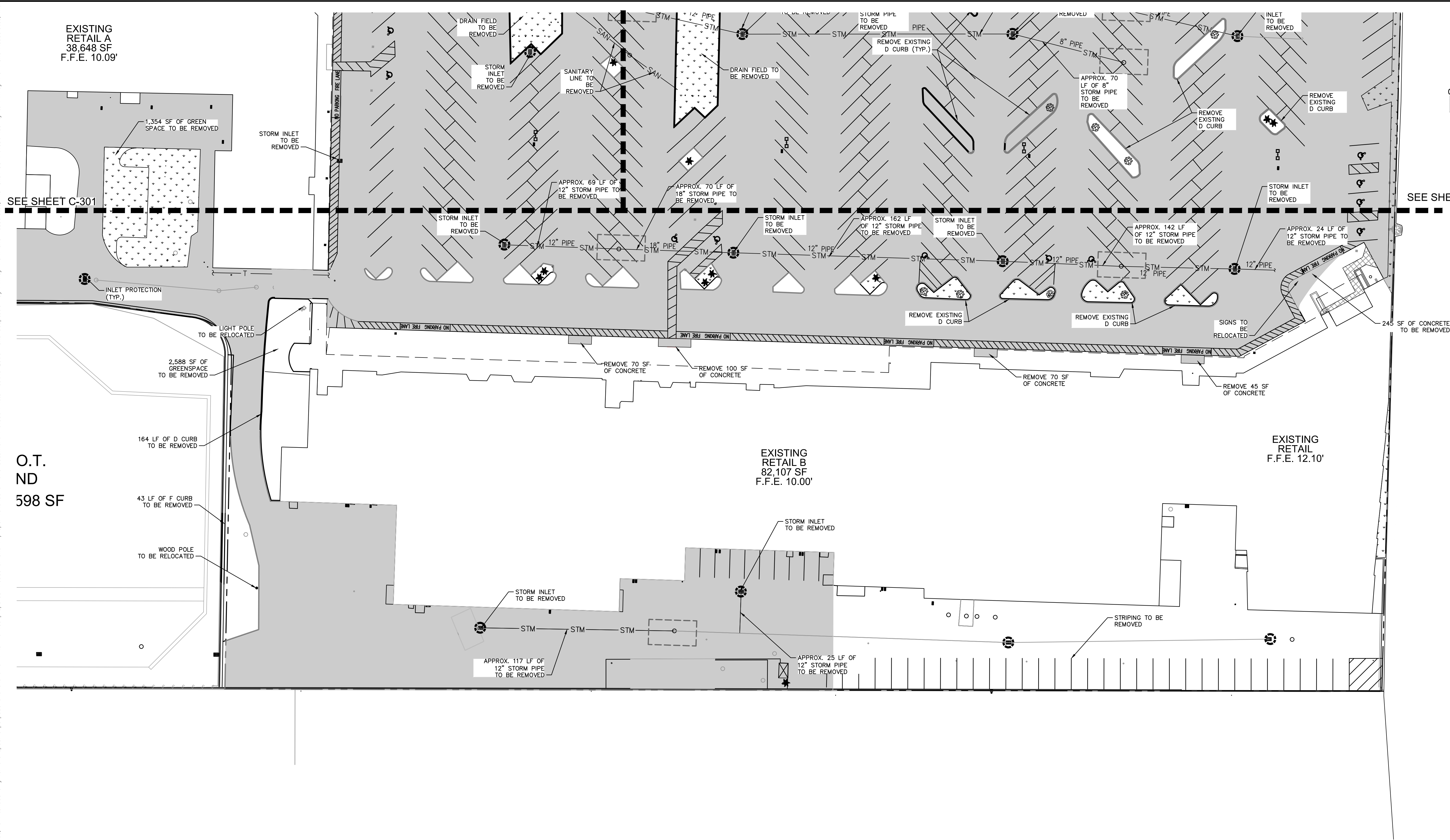
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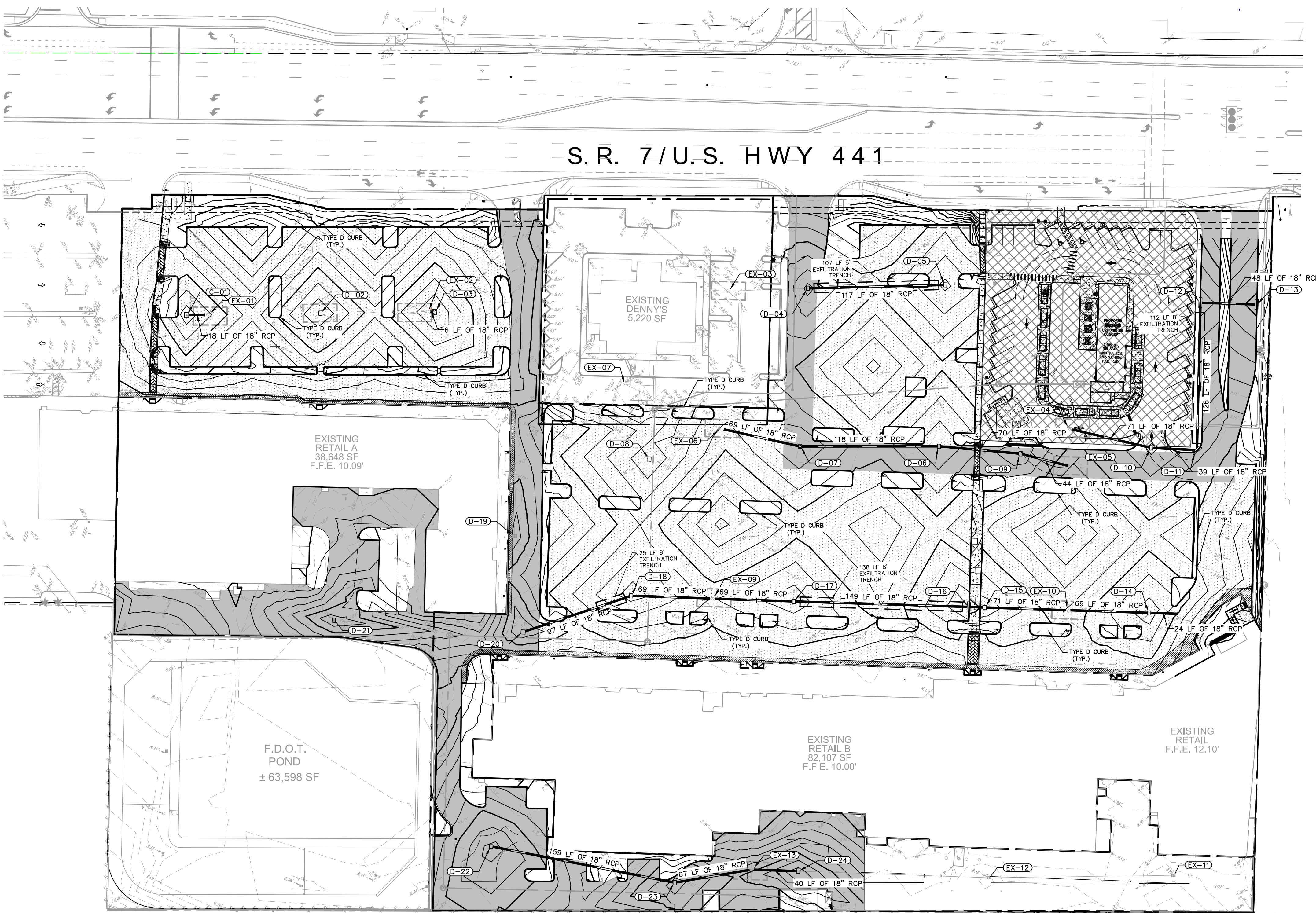


WEST HOLLYWOOD PLAZA		DEMOLITION AND EROSION CONTROL PLAN		KIMLEY»HORN	
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KHA PROJECT 147452000		LISCENSED PROFESSIONAL GREG D. WILFONG, P.E.		No.	
DATE 04/24/17		GREG D. WILFONG, P.E.		DATE	
SCALE AS SHOWN		FL LICENSE NUMBER 63166		REVISIONS	
DESIGNED BY JGV		DRAWN BY RS		BY	
CHECKED BY JGV		DATE			






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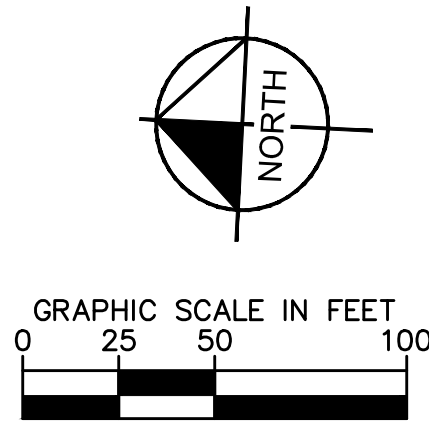


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- | | |
|---|---|
| <p>1. CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUIVALENT. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.</p> <p>2. CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEXES 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.</p> <p>3. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.</p> <p>4. CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.</p> <p>5. ALL CLEANOUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.</p> <p>6. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.</p> <p>7. SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6% IN LENGTH, 6% RISE, AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.</p> <p>8. SPOT ELEVATIONS ARE AT FACE OF CURB UNLESS OTHERWISE NOTED.</p> <p>9. EXISTING GRADES AND DRAINAGE HAVE BEEN TAKEN FROM A SURVEY PREPARED BY POLICE LAND SURVEYORS INC., DATED JUNE 23RD, 2014. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1983. BROWARD COUNTY BENCHMARK NO. S312 1970. ELEV. = 8.59. SITE BENCHMARKS ARE AS SHOWN.</p> | <p>10. HDPE STORM PIPE-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE STORM DRAINAGE PIPE INSTALLATION MANUAL AND SPECIFICATIONS AND COMPLYING WITH ALL MANUFACTURER'S INSTALLATION PROCEDURES AND REQUIREMENTS. TESTING OF BACKFILL MATERIAL AND COMPACTION OF BACKFILL MATERIAL IS THE CONTRACTOR'S RESPONSIBILITY.</p> <p>11. ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
 A. FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-24" DIAMETER.
 B. FOR RCP DRAINAGE PIPE MAKE CONNECTION PER FDOT INDEX 280, CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND SUB PIPE DETAIL.
 C. NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.</p> <p>12. ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT INDEX #280. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.</p> <p>13. EXISTING STORM INLETS AND PIPES ON PROPERTY TO BE JETTED AND CLEANED PRIOR TO ENGINEER'S ACCEPTANCE OF SYSTEM.</p> <p>14. CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIE MARKS, ETC. CAUSED DURING CONSTRUCTION ACTIVITY.</p> <p>15. CONTRACTOR TO ENSURE POSITIVE RUNOFF FROM THE BUILDING. PAVING SHALL BE FREE OF PONDING AND MAINTAIN POSITIVE OUTFALL TO THE DRAINAGE SYSTEM. CONTRACTOR SHALL FIELD VERIFY EXISTING DRAINAGE PATTERNS AND TIE-IN GRADES AND ALERT OWNER AND ENGINEER SHOULD ANY CONFLICTS ARISE.</p> <p>16. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.</p> <p>17. ALL SLOPES STEEPER THAN 6:1 SHALL BE SODDED.</p> |
|---|---|

LEGEND	
	PROPOSED STAMPED COLOR ASPHALT
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED CONCRETE
	DESIGNED BY CKE



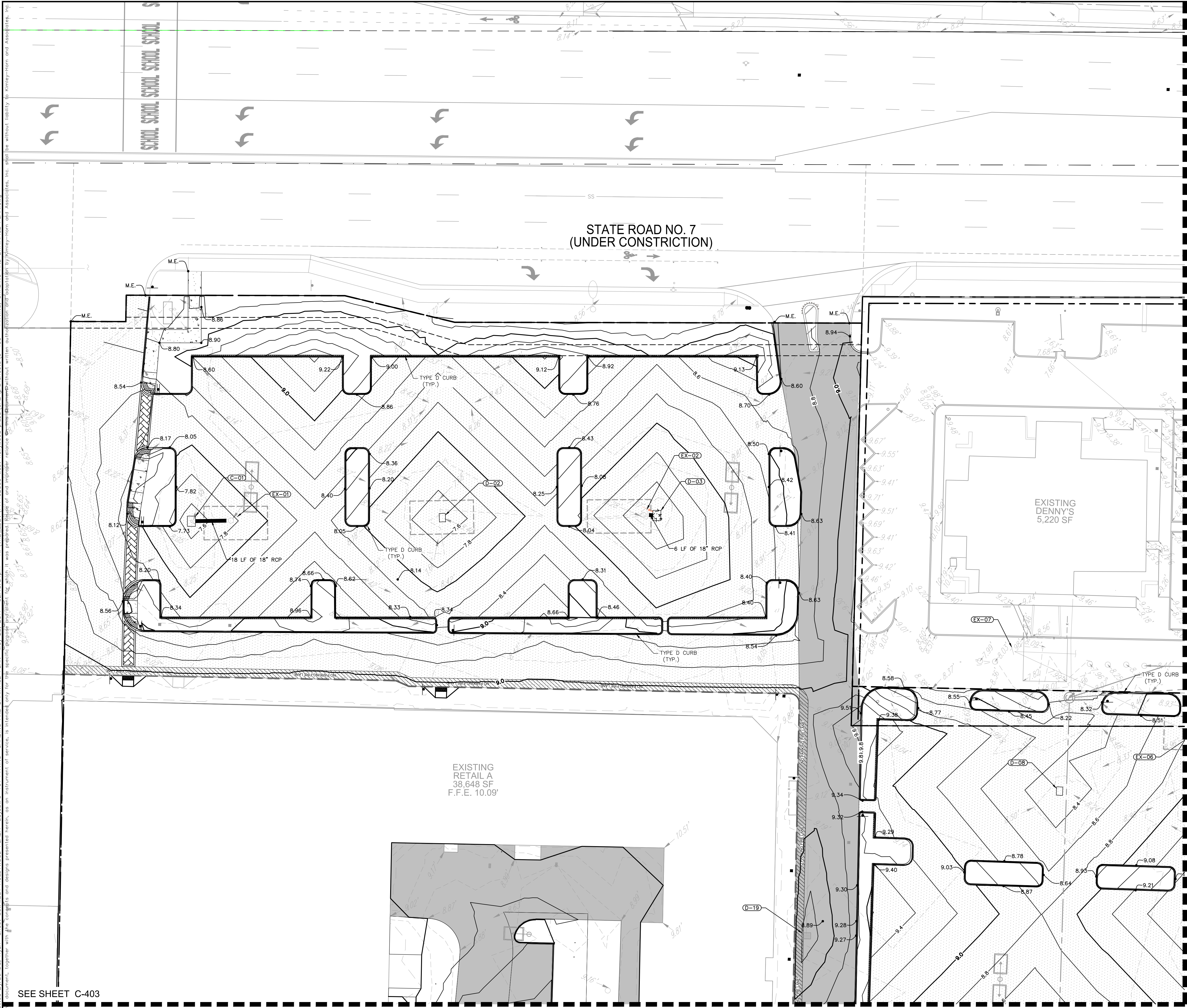
STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
C-01	CB RIM: 7.48 INV: 3.98 (S)
D-02	CB RIM: 7.44
D-03	CB RIM: 7.37 INV: 3.93 (N)
D-04	CB RIM: 8.33 INV: 5.04 (S) INV: 6.93 (N)
D-05	CI RIM: 8.35 INV: 5.35 (S) INV: 4.85 (N)
D-06	CI RIM: 8.40 INV: 4.85 (N) INV: 4.85 (S)
D-07	CI RIM: 8.39 INV: 4.79 (N) INV: 4.79 (S)
D-08	CB RIM: 8.24
D-09	CB RIM: 8.40 INV: 4.80 (S) INV: 4.80 (N)
D-10	CB RIM: 8.34 INV: 4.15 (S) INV: 4.15 (N)
D-11	CI RIM: 9.34 INV: 4.25 (E) INV: 4.25 (N)
D-12	CI RIM: 7.48 INV: 4.35 (S) INV: 4.35 (W)
D-13	CI RIM: 7.90 INV: 4.45 (N)
D-14	CI RIM: 8.47 INV: 4.97 (N) INV: 4.97 (S)
D-15	CB RIM: 8.45 INV: 4.95 (N) INV: 4.95 (S)

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D-16	CI RIM: 8.40 INV: 4.90 (N) INV: 4.90 (S)
D-17	CB RIM: 8.46 INV: 4.80 (N) INV: 4.80 (S)
D-18	CB RIM: 8.30 INV: 4.80 (S) INV: 4.80 (N)
D-19	CB RIM: 8.66 INV: 3.65 (E)
D-20	CB RIM: 8.65 INV: 4.97 (S)
D-21	CB RIM: 8.60
D-22	CB RIM: 8.50 INV: 3.93 (S)
D-23	CB RIM: 8.50 INV: 2.90 (N) INV: 2.90 (S)
D-24	CB RIM: 8.50 INV: 4.74 (S) INV: 4.24 (N)
EX-01	MH RIM: 7.76 INV: 3.88 (N)
EX-02	MH RIM: 7.46 INV: 3.83 (S)
EX-03	MH RIM: 6.48 INV: 4.92 (S)
EX-04	MH RIM: 6.26 INV: 4.05 (S)
EX-05	MH RIM: 9.20 INV: 4.70 (N)
EX-06	MH RIM: 8.81 INV: 4.86 (N) INV: 4.76 (S)

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
EX-07	CB RIM: 7.63 INV: 5.88 (S)
EX-09	MH RIM: 8.82 INV: 4.67 (N) INV: 4.42 (S)
EX-10	MH RIM: 9.17 INV: 4.50 (N) INV: 4.50 (S)
EX-11	CB RIM: 8.66 INV: 7.16 (N)
EX-12	CB RIM: 7.77 INV: 6.72 (S) INV: 6.70 (N)
EX-13	MH RIM: 9.05 INV: 4.14 (S) INV: 2.70 (N)

Plotted By: SCHUIZ, Ryan Sheet Set: WEST HOLLYWOOD PLAZA Layout: C-401 PAVING, GRADING AND DRAINAGE PLAN May 25, 2017 02:13:54pm K:\VRB\LD\X\147452000 west hollywood plaza CAD\plansheets\C-401 - PAVING, GRADING AND DRAINAGE PLAN.dwg
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SEE SHEET C-403



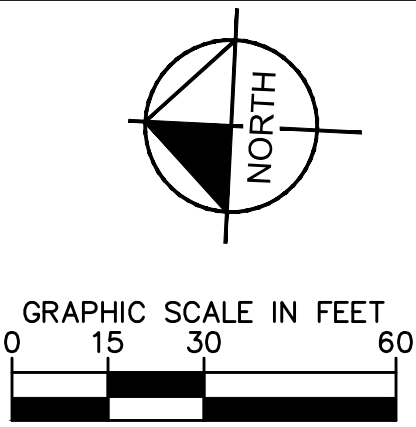
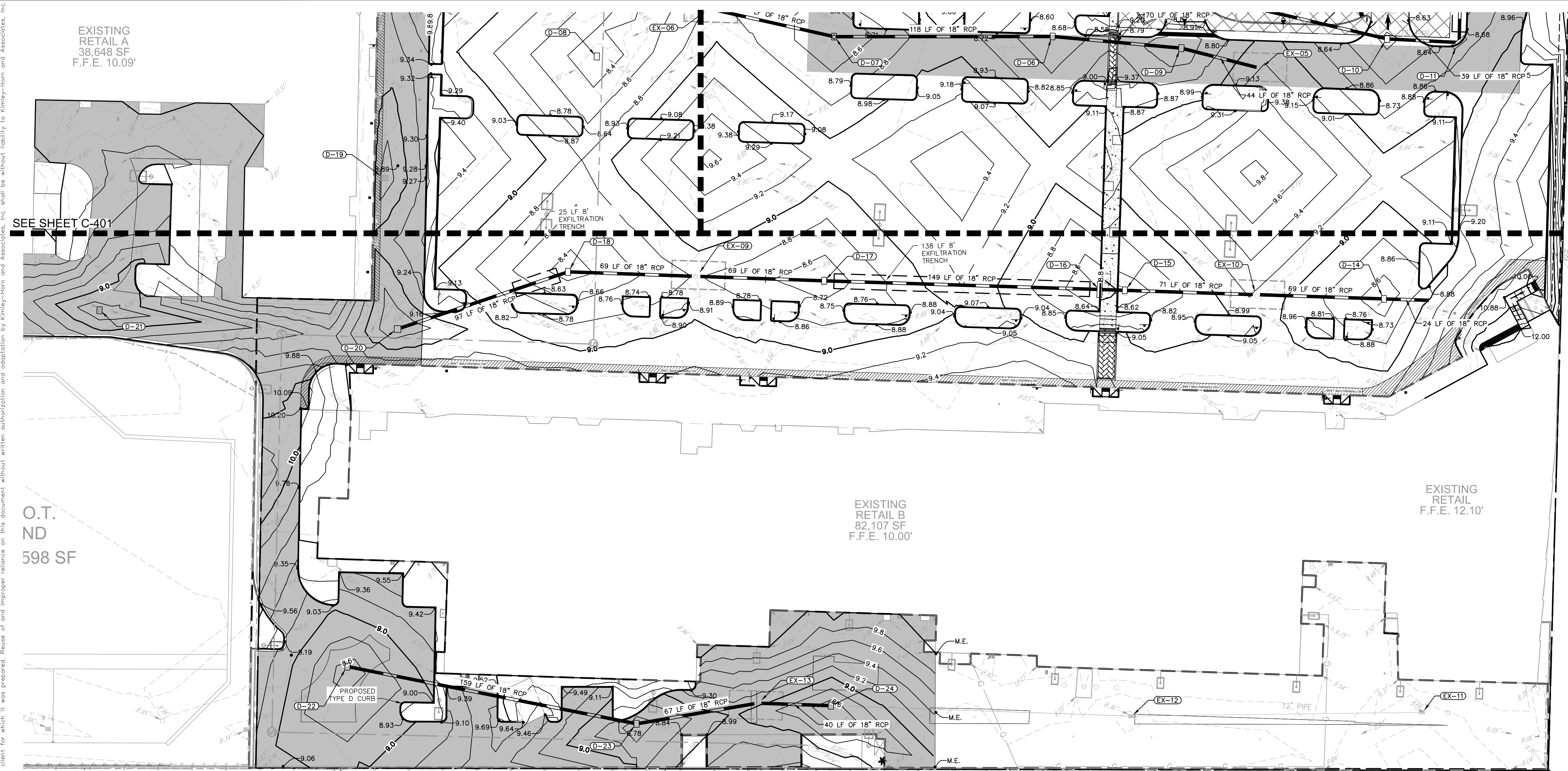
LEGEND

- PROPOSED STAMPED COLOR ASPHALT
- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED CONCRETE
- DESIGNED BY CKE
- APPROXIMATE LOCATION AND SIZE OF SOAKAGE PIT (TO REMAIN)
- PROPERTY LINE
- PROPOSED STORM PIPE
- STORMWATER INLET
- STORMWATER MANHOLE
- EXFILTRATION TRENCH
- EXISTING GRADE
- PROPOSED GRADE
- MATCH EXISTING SIDEWALK
- TOP OF CURB
- EDGE OF PAVEMENT

MATCH LINE SEE SHEET C-402

WEST HOLLYWOOD PLAZA	PAVING GRADING AND DRAINAGE PLAN	KHA PROJECT 147452000 DATE 04/24/17 SCALE AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV	LICENCED PROFESSIONAL GREG D. WILFONG, P.E. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 0000696	Kimley»Horn	No.	REVISIONS	BY
							DATE

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LEGEND

- PROPOSED STAMPED COLOR ASPHALT
- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED CONCRETE
- DESIGNED BY CKE
- APPROXIMATE LOCATION AND SIZE OF SOAKAGE PIT (TO REMAIN)
- PROPERTY LINE
- PROPOSED STORM PIPE
- STORMWATER INLET
- STORMWATER MANHOLE
- EXFILTRATION TRENCH
- EXISTING GRADE
- PROPOSED GRADE
- M/E = MATCH EXISTING
- SW = SIDEWALK
- TO = TOP OF CURB
- EOP = EDGE OF PAVEMENT

WEST HOLLYWOOD PLAZA	PAVING GRADING AND DRAINAGE PLAN	KHA PROJECT 147452000 DATE 04/24/17 SCALE AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV	LICENCED PROFESSIONAL GREG D. WILFONG, P.E. FL LICENSE NUMBER 63166	Kimley»Horn © 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 00000696	No.	REVISIONS	DATE	BY
SHEET NUMBER C-403		HOLLYWOOD FL						

Plotted By:Schulz, Ryan Sheet Set:WEST HOLLYWOOD PLAZA Layout:PAVING GRADING AND DRAINAGE DETAILS May 25, 2017 02:14:08pm K:\VRB_LDEV\147452000 west hollywood plaza\CAD\plansheets\C-404 - PAVING, GRADING AND DRAINAGE DETAILS.dwg

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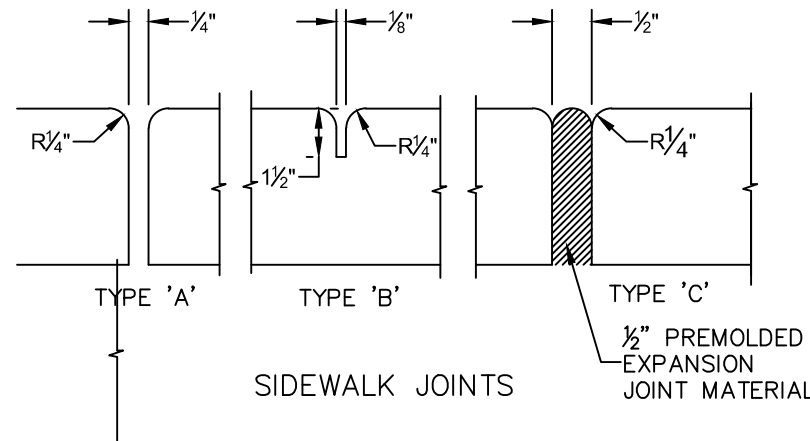
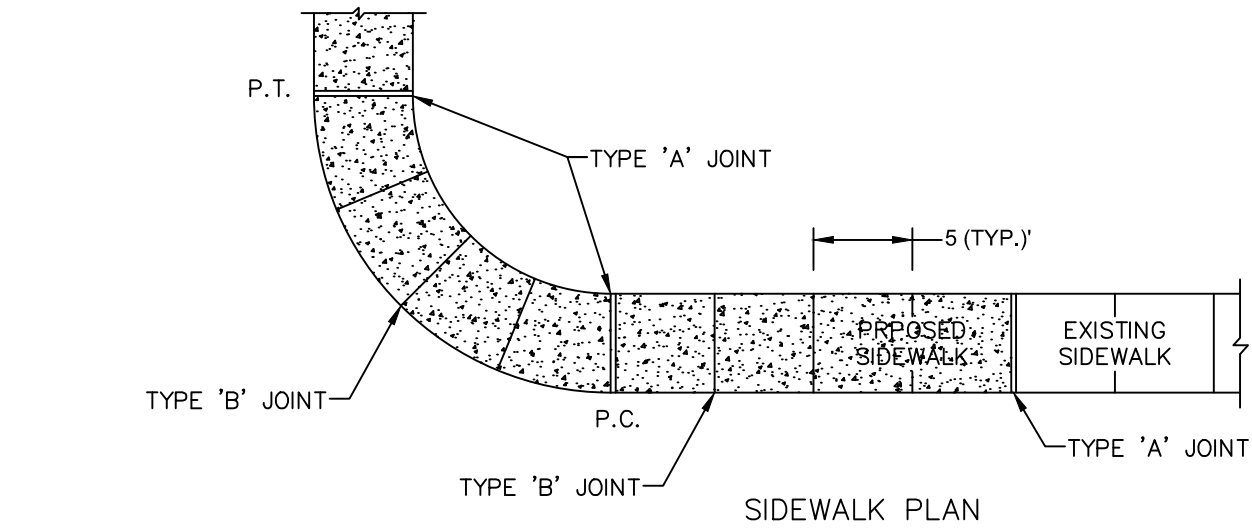


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	100' MAX. SPACING, P.C./P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
'B'	5'-0" CENTER TO CENTER
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.

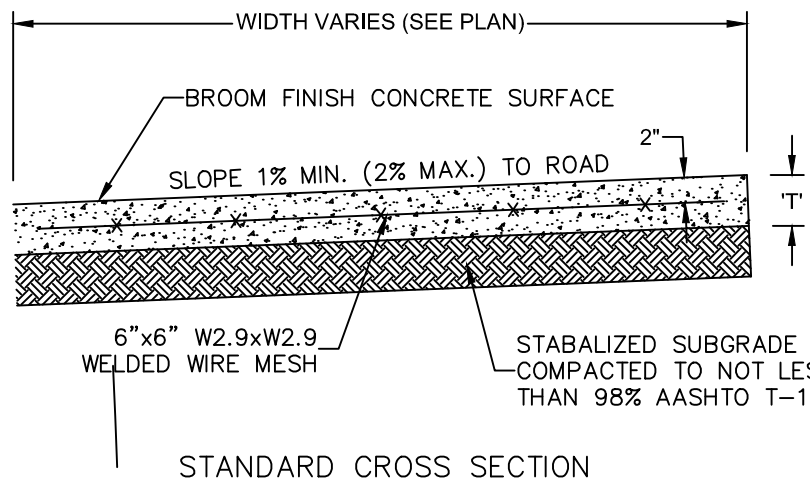
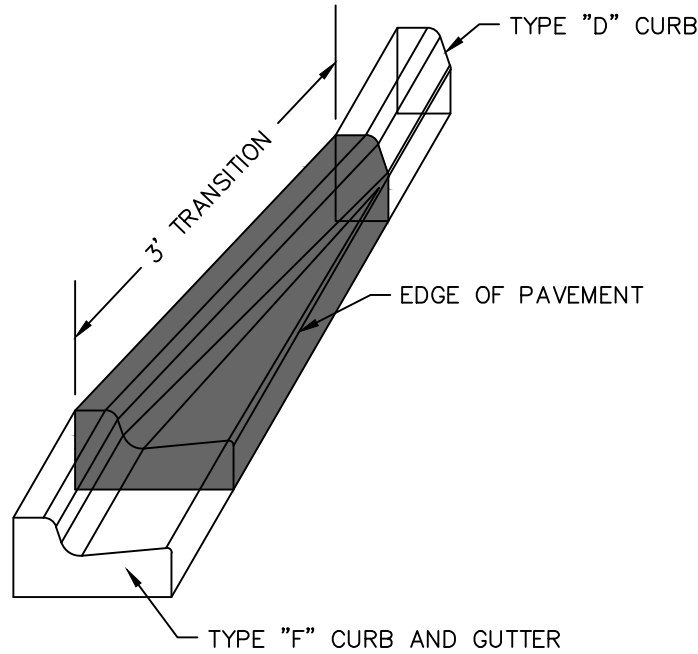
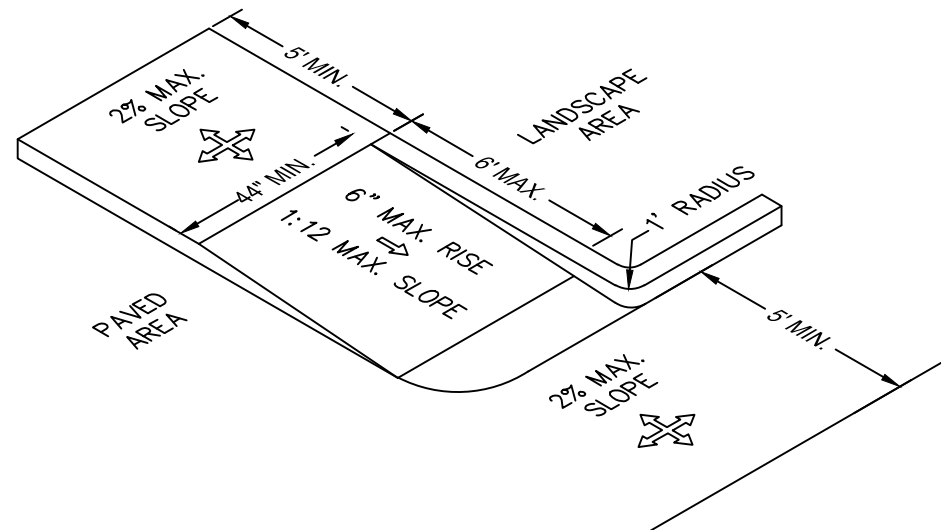
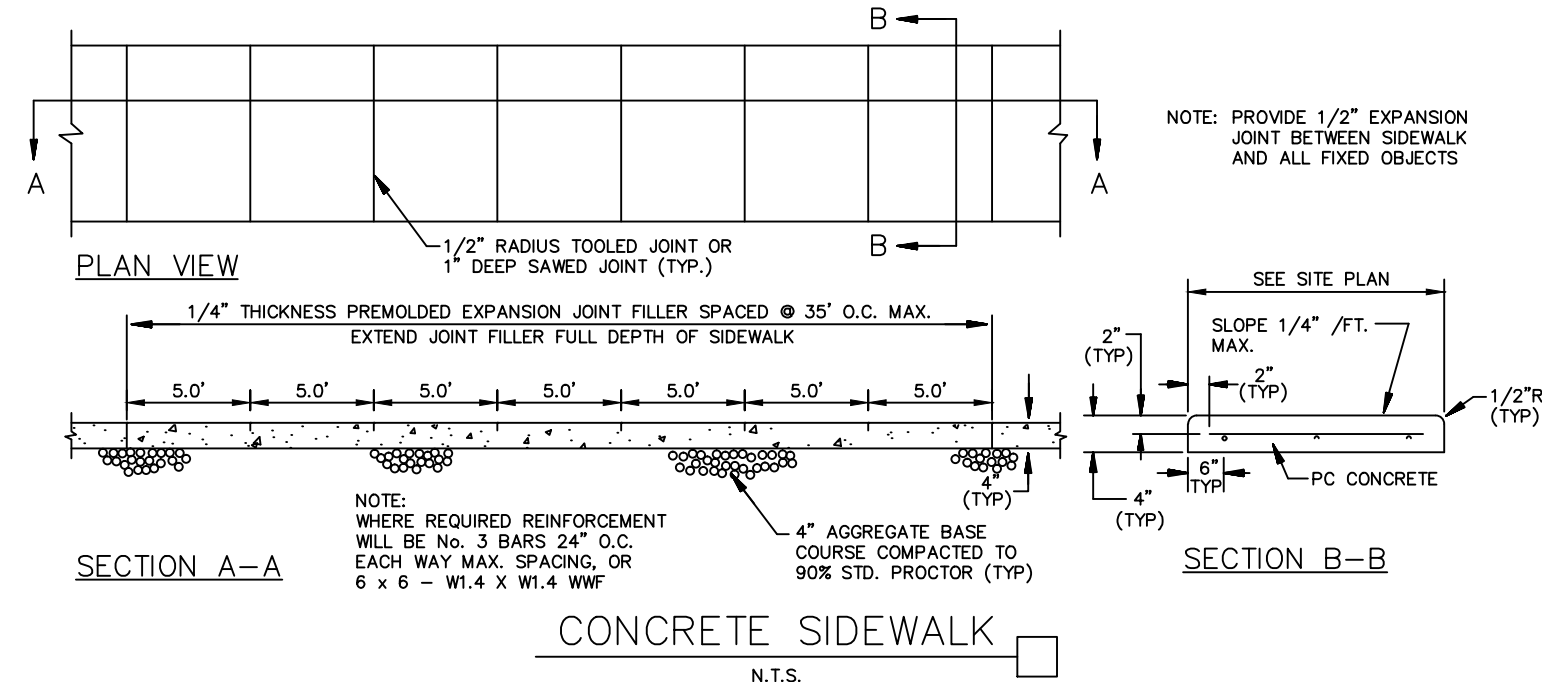


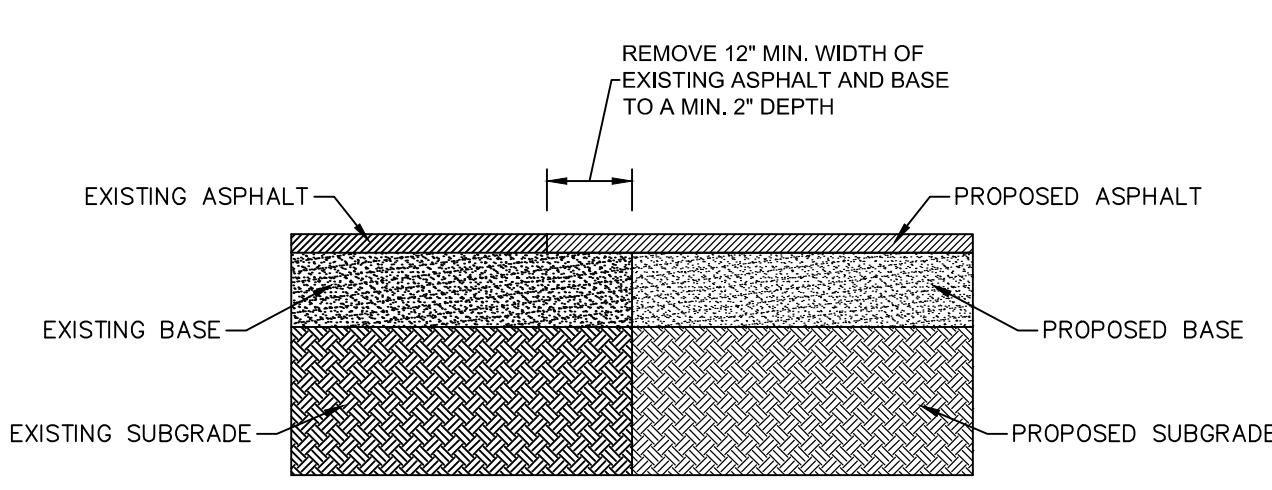
TABLE OF SIDEWALK THICKNESS	
LOCATION	"T"
PEDESTRIAN ONLY AREAS	4"
DRIVEWAYS AND OTHER TRAFFIC AREAS	6"

NOTE:
ALL SIDEWALK STREET CROSSINGS MUST MEET THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) COMPLIANCE GUIDE. TRANSITIONS FROM RAMP TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.

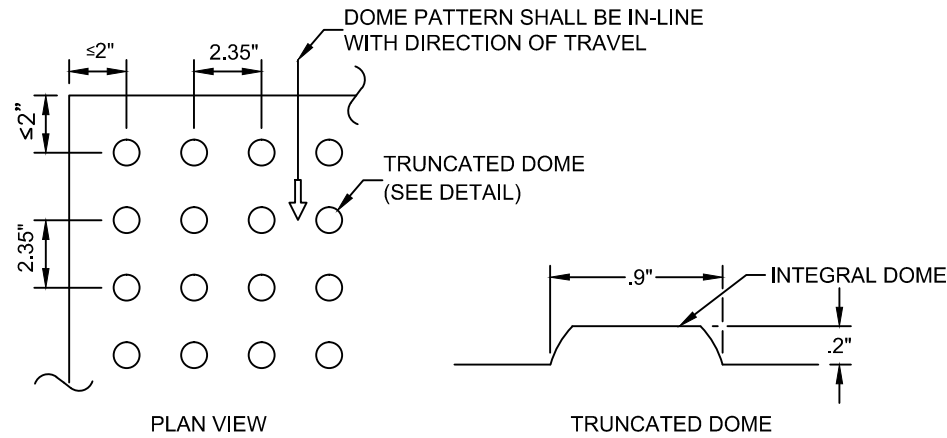
CONCRETE SIDEWALK



3' CURB TRANSITION

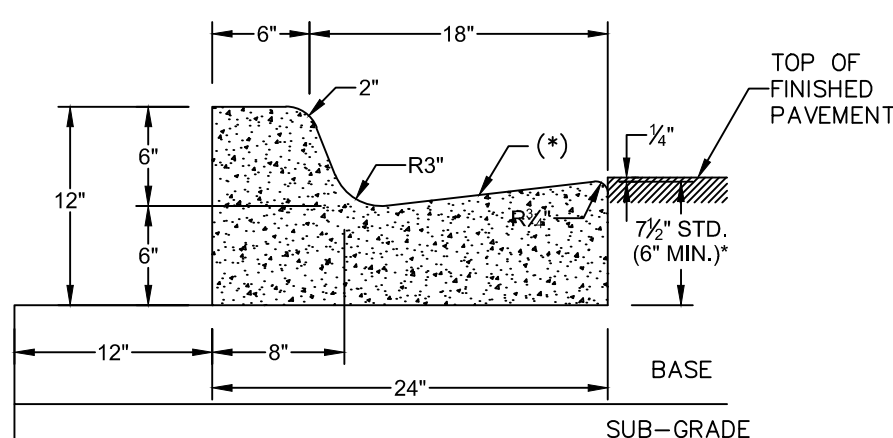


SAW-CUT



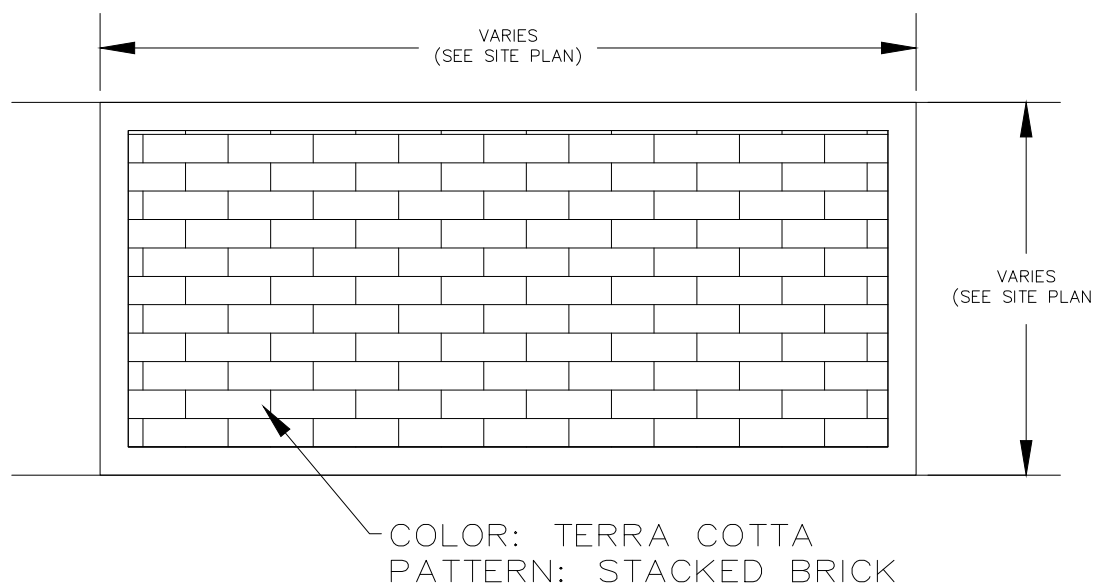
- NOTES
1. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN. (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN. (60 MM)
 2. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP (EXCLUSIVE OF FLARED SIDES) AND SHALL EXTEND EITHER THE FULL DEPTH OF THE CURB RAMP OR 24" DEEP MINIMUM MEASURED FROM THE BACK OF THE CURB ON THE RAMP SURFACE.
 3. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.
 4. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.

DETECTABLE WARNING



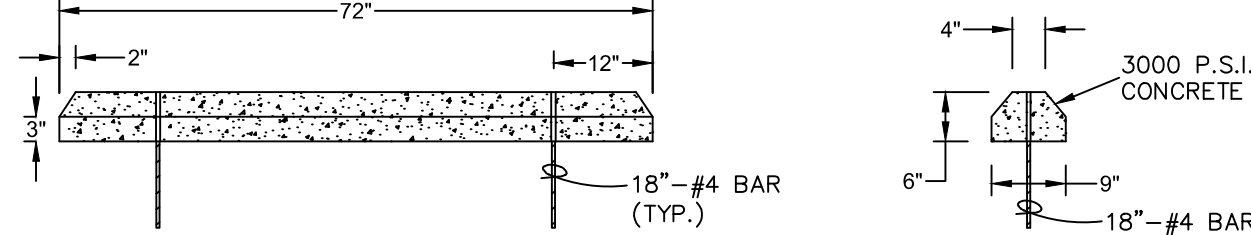
- * WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" UNLESS OTHERWISE SHOWN ON THE PLANS. ASPHALT SURFACE ON HIGH SIDE TO BE FLUSH WITH LIP OF CURB OR CURB & GUTTER.

TYPE "F" CURB AND GUTTER



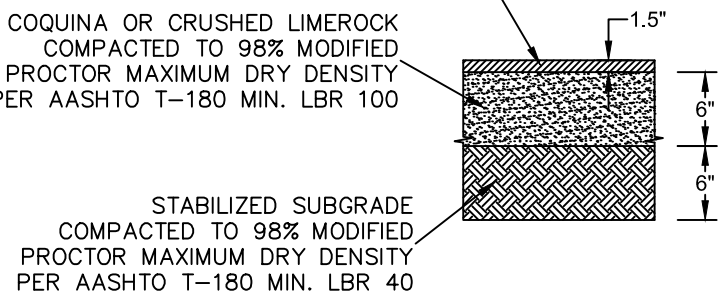
STAMPED COLORED ASPHALT DETAIL

PROVIDED BY KIMLEY-HORN AND ASSOC.



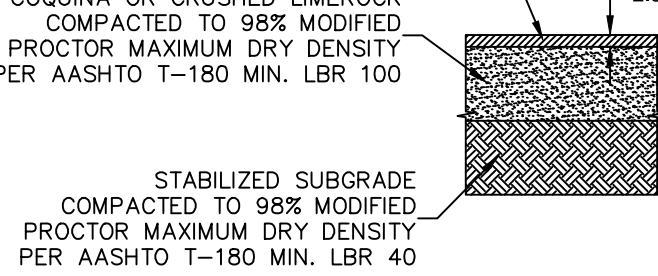
CONCRETE WHEEL STOP

F.D.O.T. TYPE SP-9.5 OR SP-12.5 ACSC
COMPACTED TO 98% MODIFIED PROCTOR
MAXIMUM DENSITY PER AASHTO IN TWO LIFTS



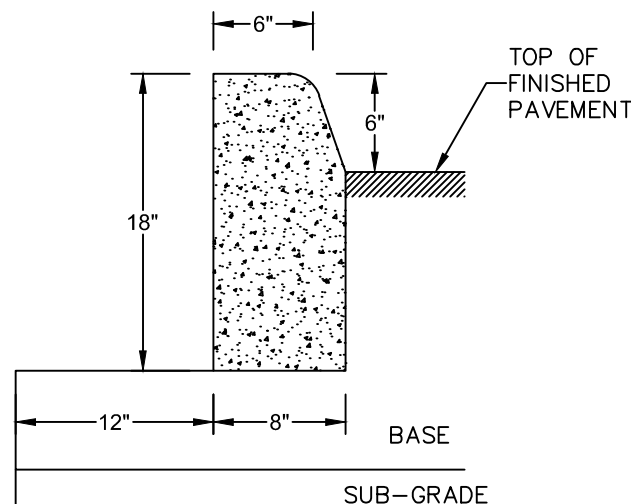
STANDARD DUTY ASPHALT

F.D.O.T. TYPE SP-9.5 OR SP-12.5 ACSC
COMPACTED TO 95% MODIFIED PROCTOR
MAXIMUM DENSITY PER AASHTO IN TWO LIFTS

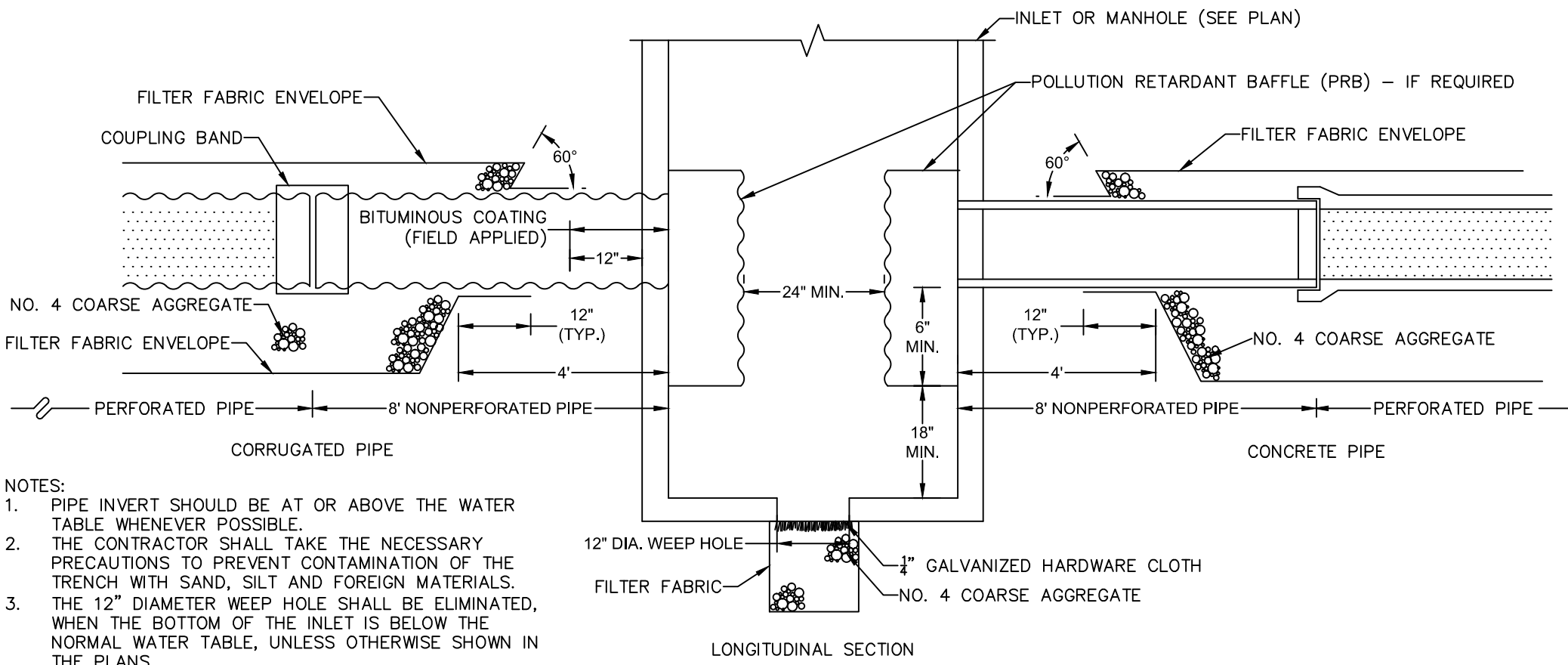


HEAVY DUTY ASPHALT

NOTE:
CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT FOR SITE WORK SPECIFICATIONS.



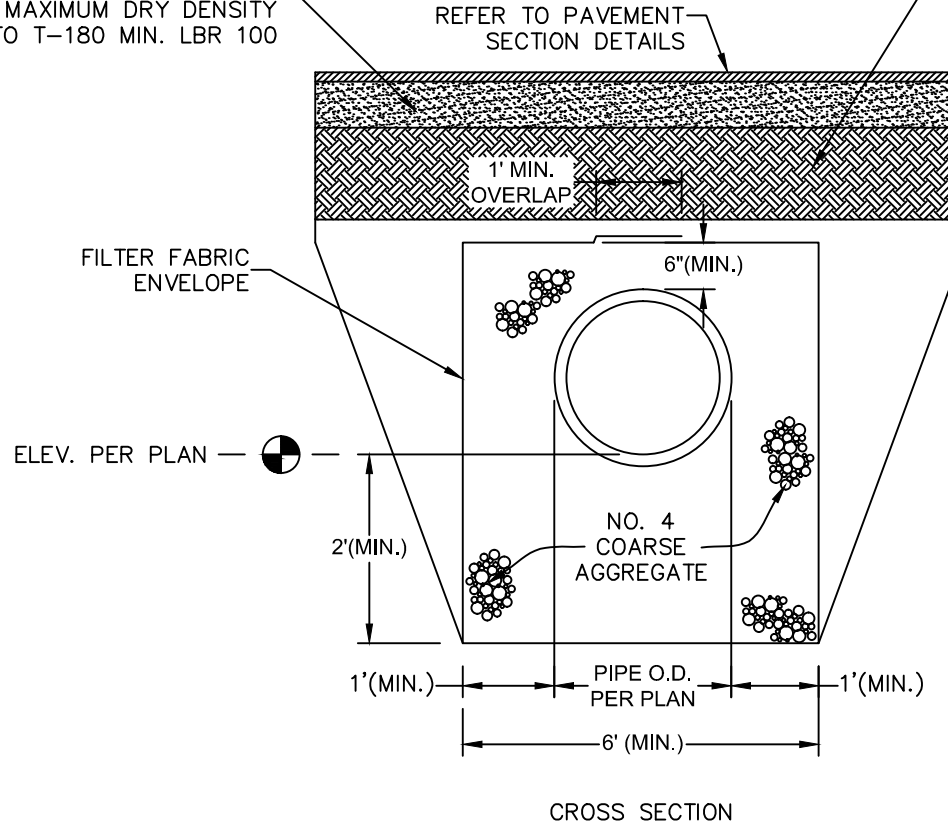
TYPE "D" CURB



- NOTES:
1. PIPE INVERT SHOULD BE AT OR ABOVE THE WATER TABLE WHENEVER POSSIBLE.
 2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS. THE 12" DIAMETER WEEP HOLE SHALL BE ELIMINATED, WHEN THE BOTTOM OF THE INLET IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN IN THE PLANS.

6" COQUINA OR CRUSHED LIMESTONE
COMPACTED TO 98% MODIFIED
PROCTOR MAXIMUM DRY DENSITY
PER AASHTO T-180 MIN. LBR 100

12" STABILIZED SUBGRADE
COMPACTED TO 98% MODIFIED
PROCTOR MAXIMUM DRY DENSITY
PER AASHTO T-180 MIN. LBR 40



EXFILTRATION TRENCH

Kimley»Horn

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LICENCED PROFESSIONAL

GREG D. WILFONG, P.E.

KHA PROJECT 147452000

DATE 04/24/17

SCALE AS SHOWN

DESIGNED BY JGV

DRAWN BY RS

CHECKED BY JGV

PAVING GRADING AND DRAINAGE DETAILS

WEST HOLLYWOOD PLAZA

SHEET NUMBER
C-404

HOLLYWOOD

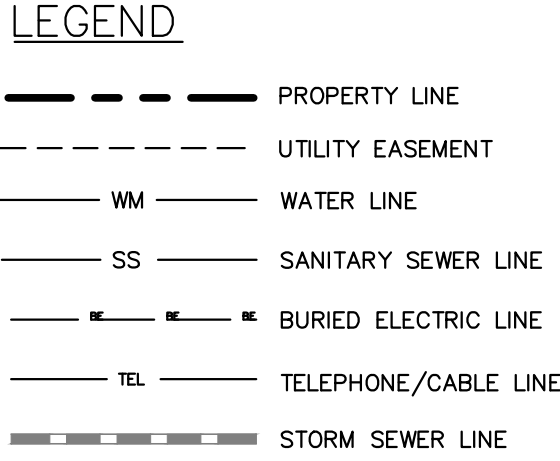
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REVISIONS

No.

DATE

BY

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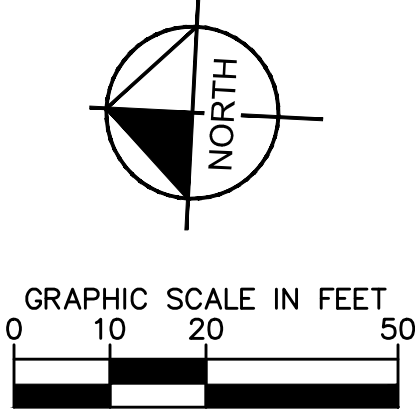
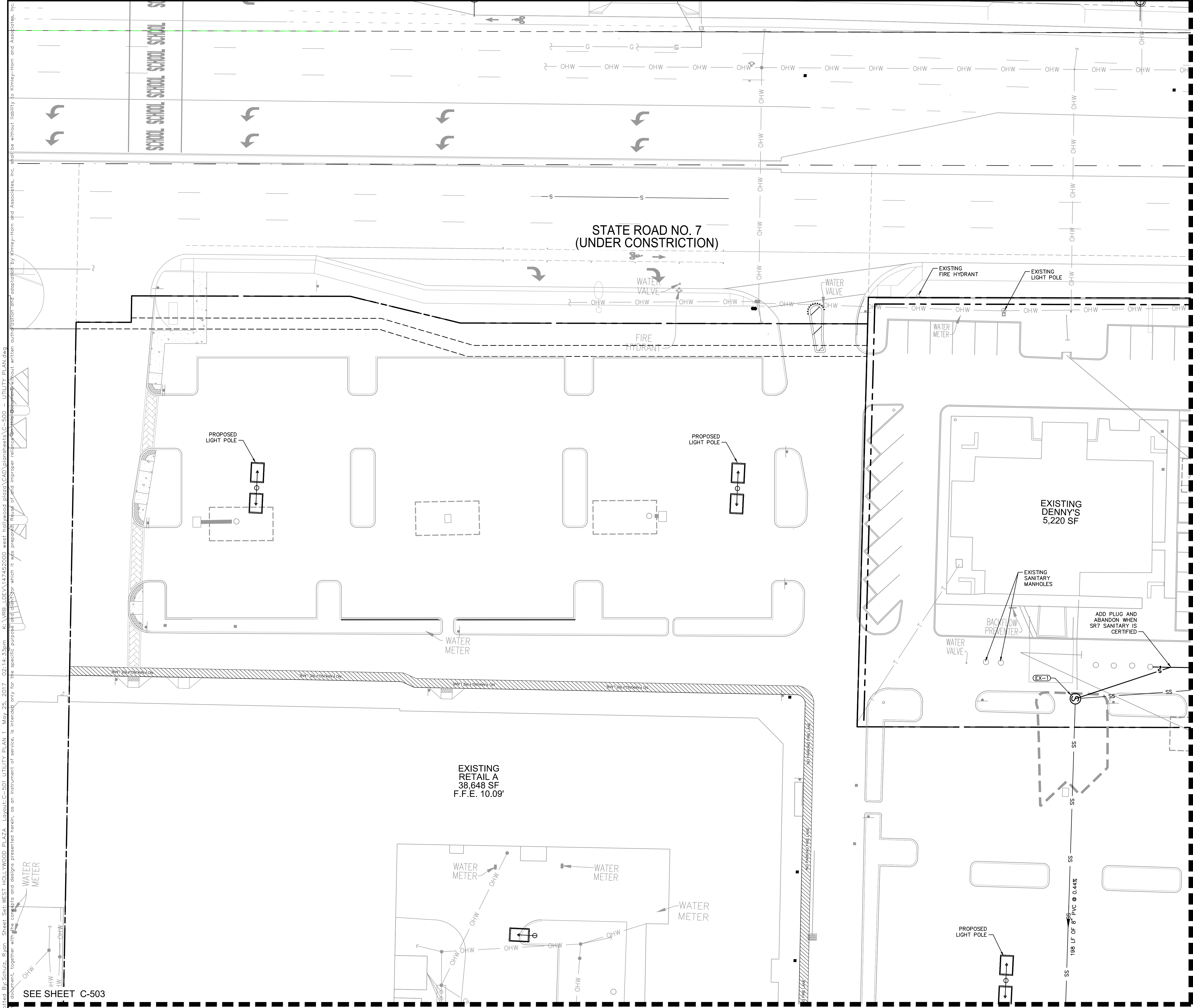
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04/24/17	GREG D. WILFONG, P.E.
----------	-----------------------

73

HOLLYWOOD

100



LEGEND

- PROPERTY LINE
- - - UTILITY EASEMENT
- WM WATER LINE
- SS SANITARY SEWER LINE
- BURIED ELECTRIC LINE
- TEL TELEPHONE/CABLE LINE
- STORM SEWER LINE
- DESIGNED BY CKE

Plotted By: Schulz, Ryan Sheet Set: WEST HOLLYWOOD PLAZA Layout: C-501 UTILITY PLAN 1 May 25, 2017 02:14:33pm K:\VRB\IDEA\147452000 West Hollywood Plaza CAD\plansheets\C-500 - UTILITY PLAN.dwg
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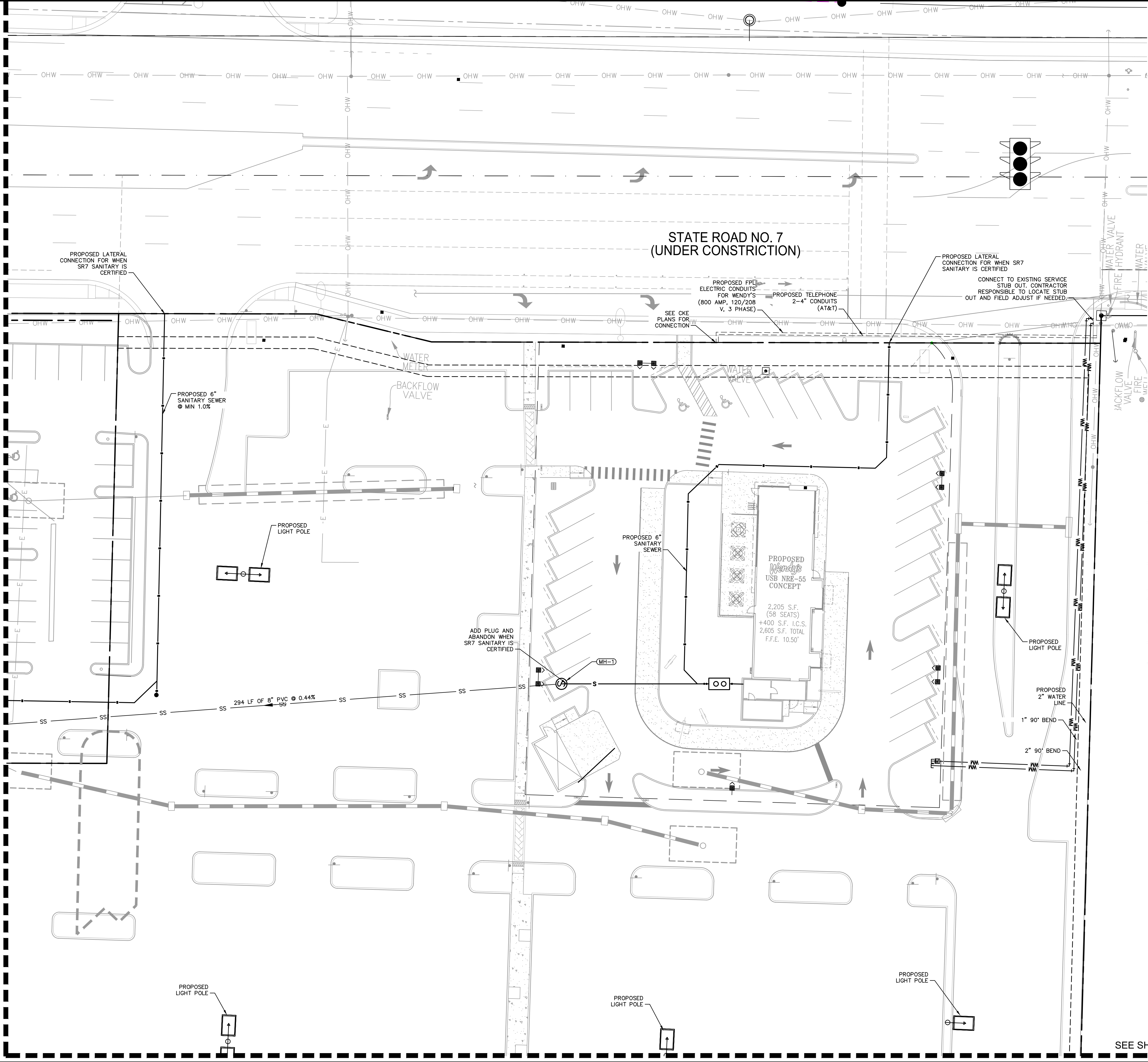
MATCH LINE SEE SHEET C-502

WEST HOLLYWOOD PLAZA	UTILITY PLAN	KHA PROJECT 147452000 DATE 04/24/17 SCALE AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV	LICENCED PROFESSIONAL GREG D. WILFONG, P.E. FL LICENSE NUMBER 63166	Kimley»Horn © 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 00000696	REVISIONS	BY
					No.	DATE

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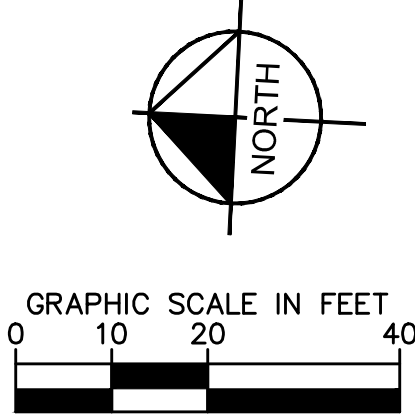
MATCH LINE SEE SHEET C-502



SEE SHEET C-503

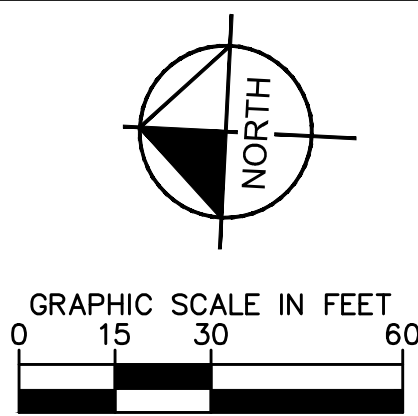
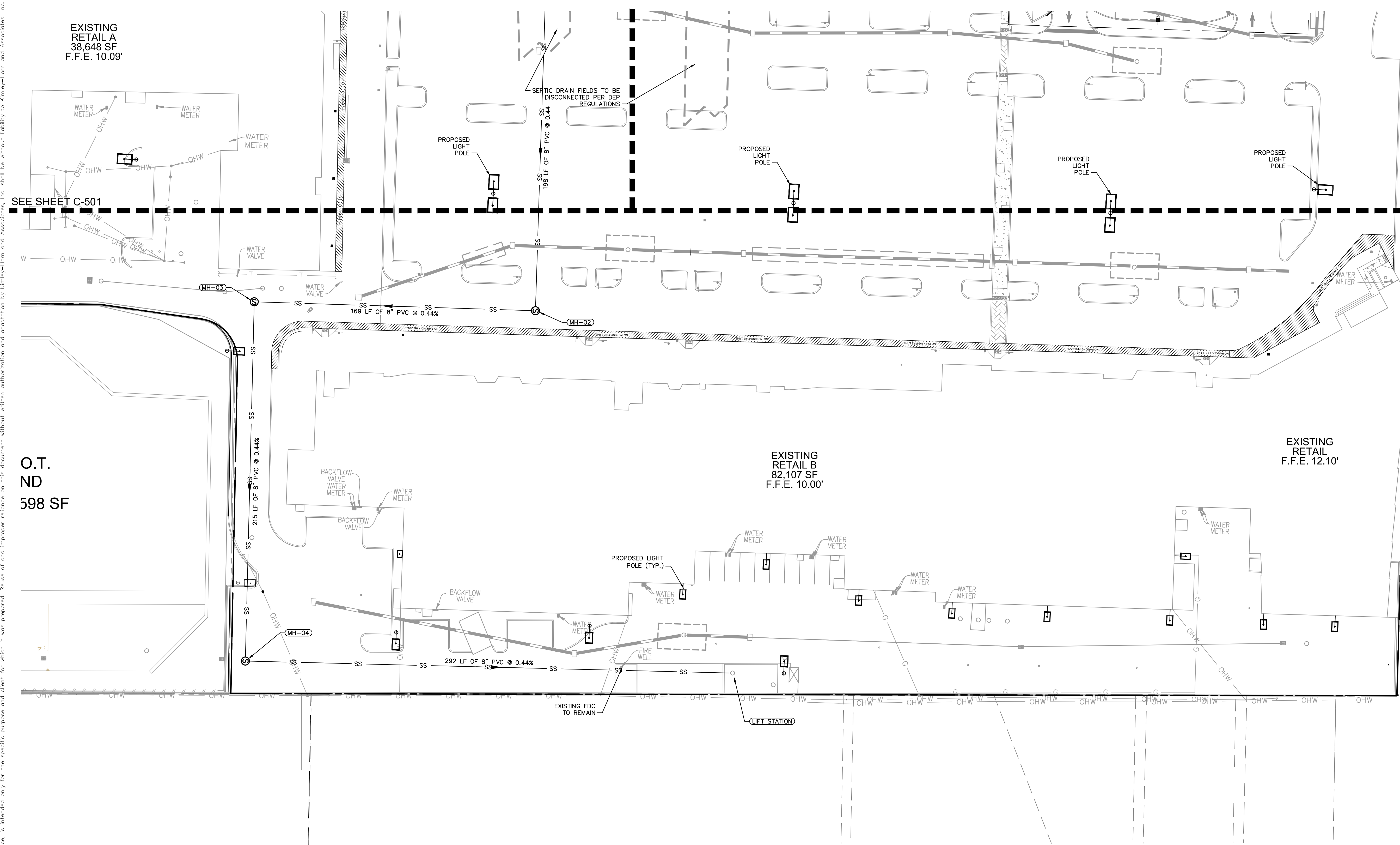
LEGEND

- PROPERTY LINE
- UTILITY EASEMENT
- WM WATER LINE
- SS SANITARY SEWER LINE
- BURIED ELECTRIC LINE
- TEL TELEPHONE/CABLE LINE
- STORM SEWER LINE
- DESIGNED BY CKE



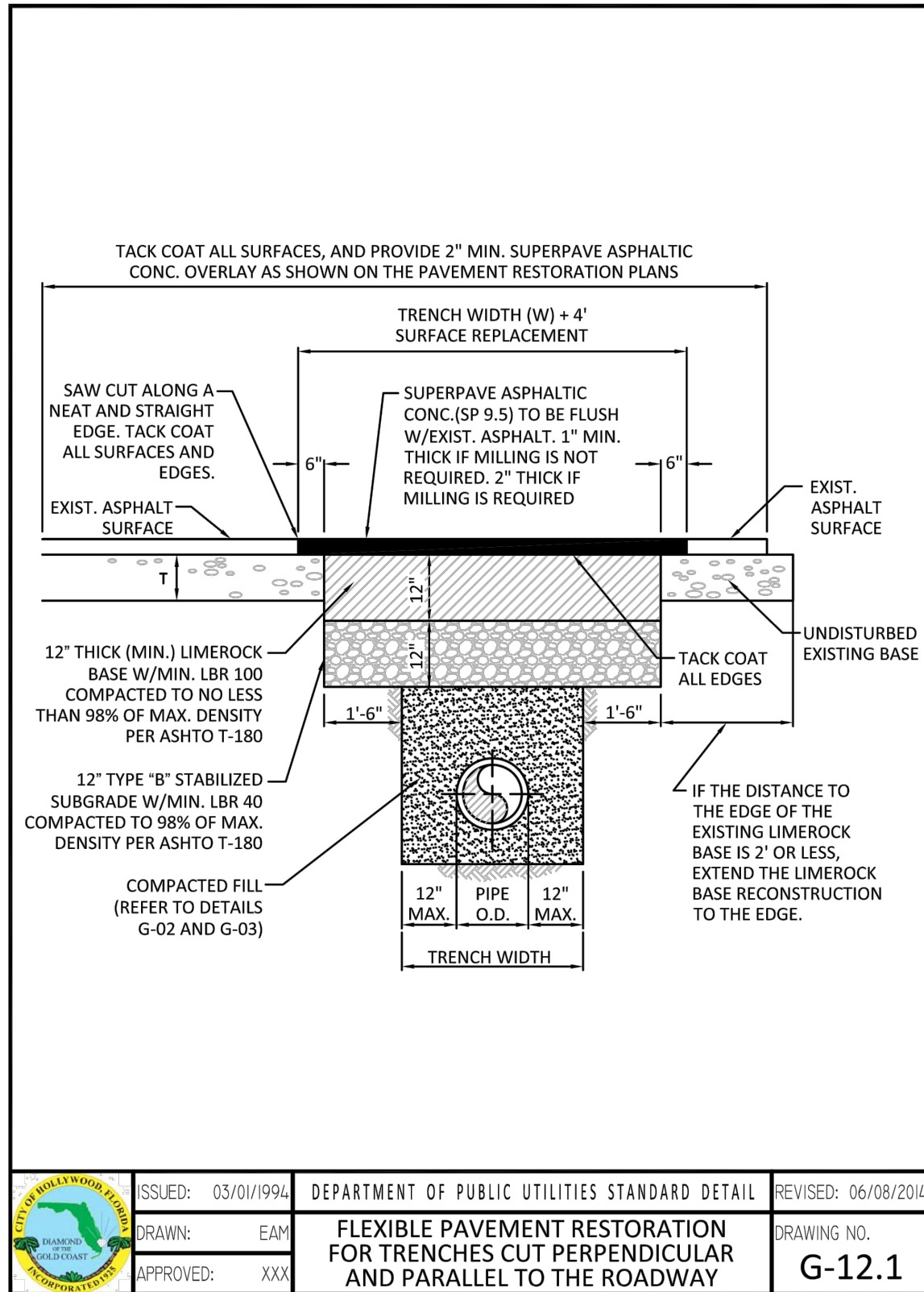
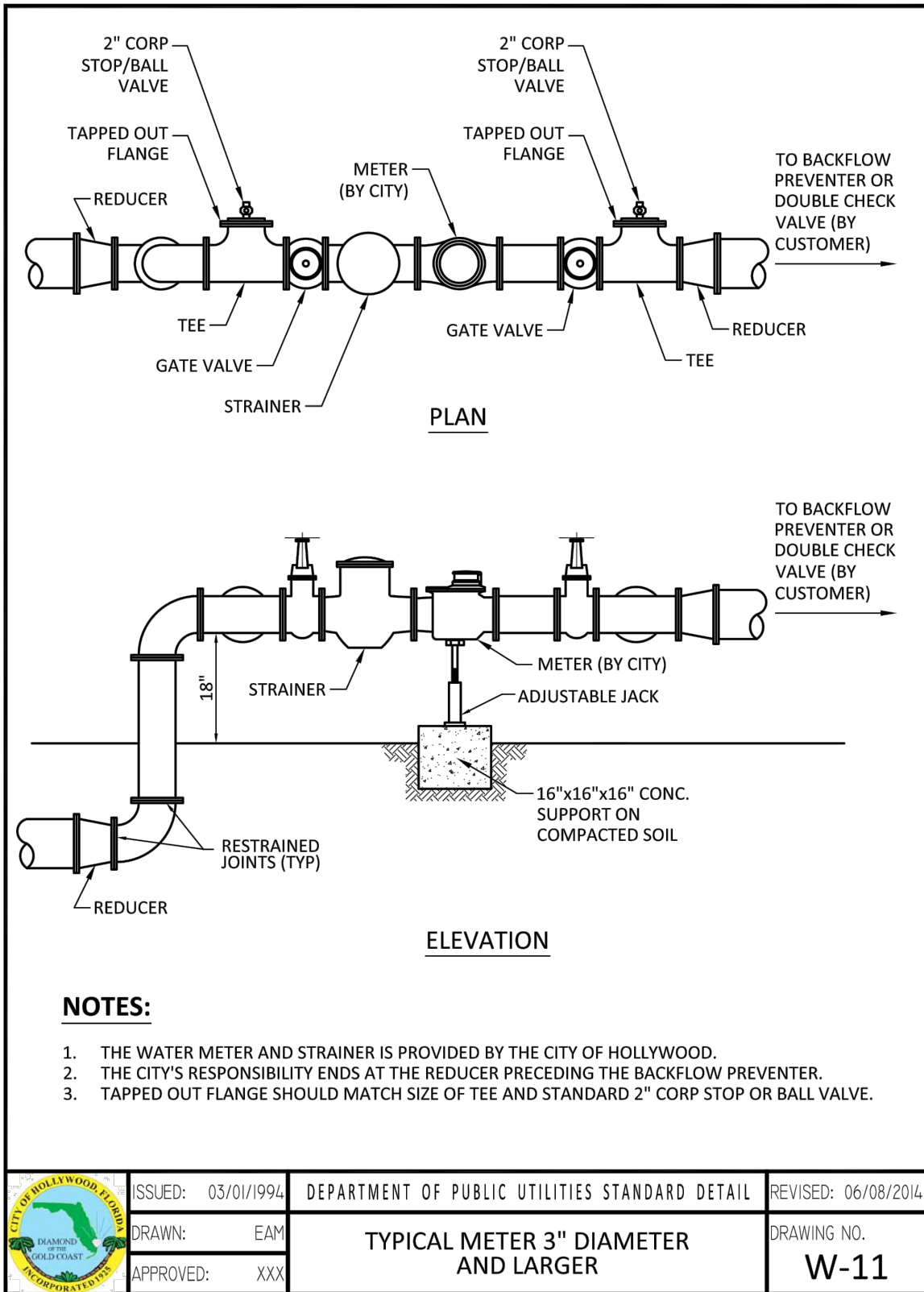
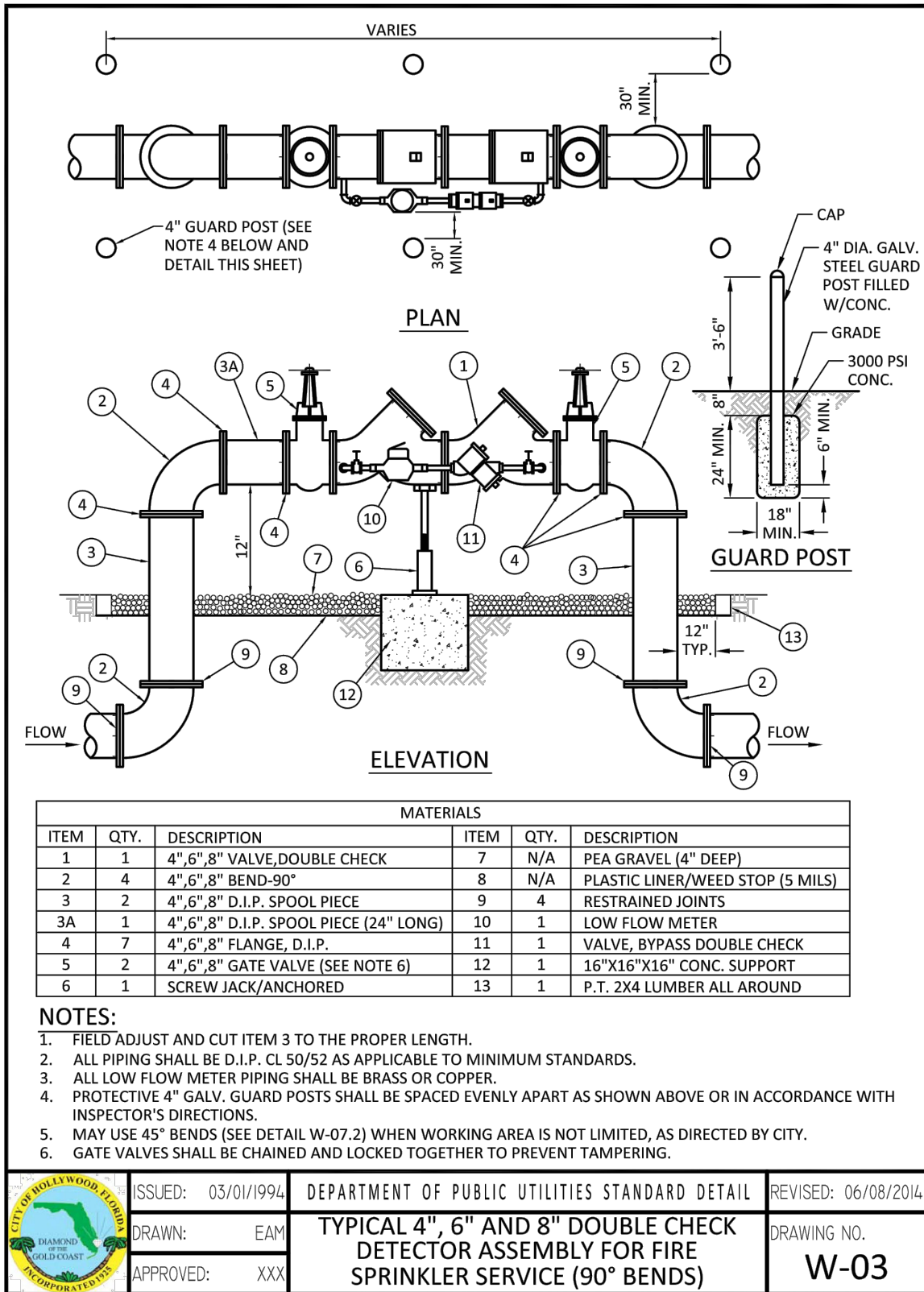
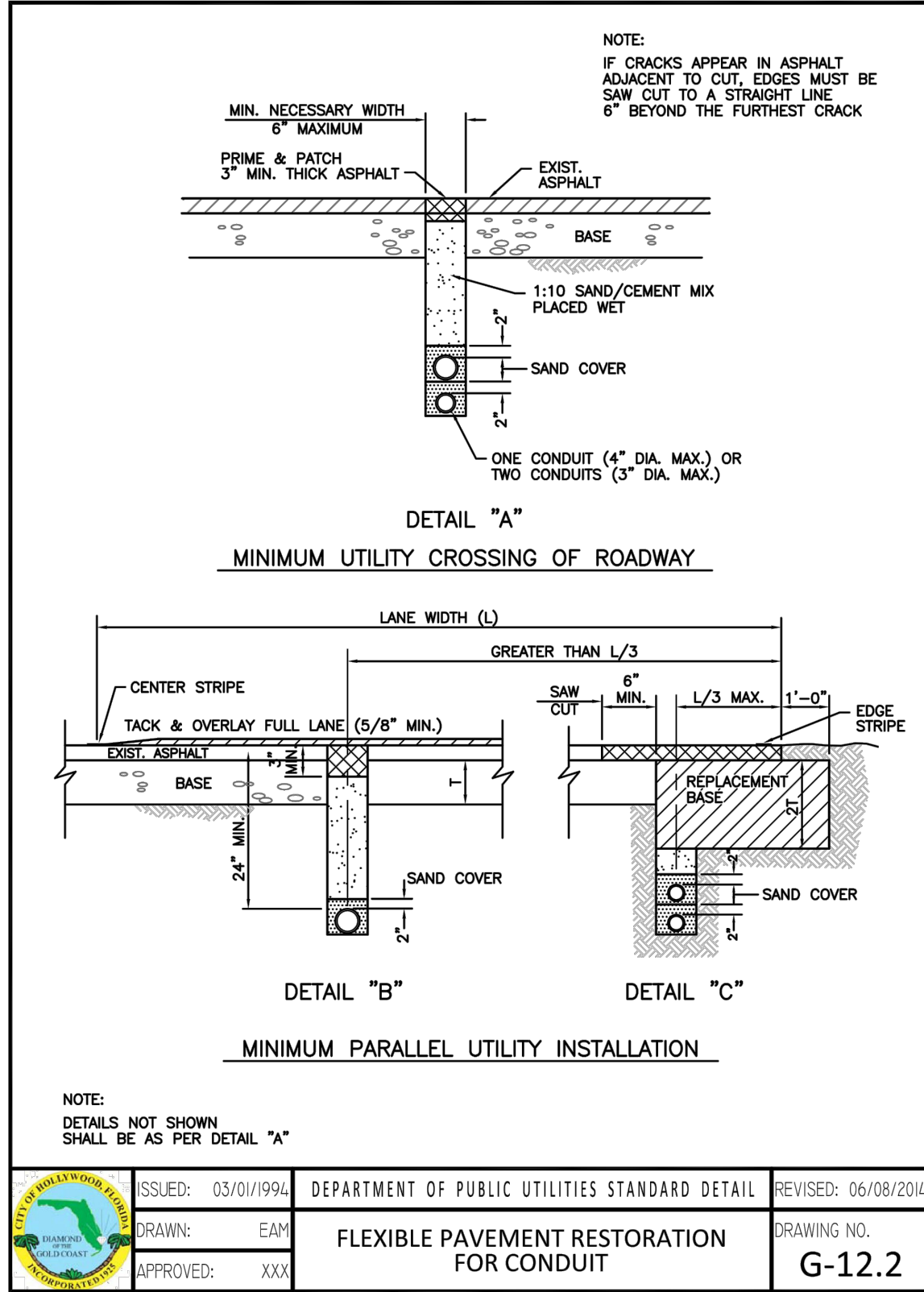
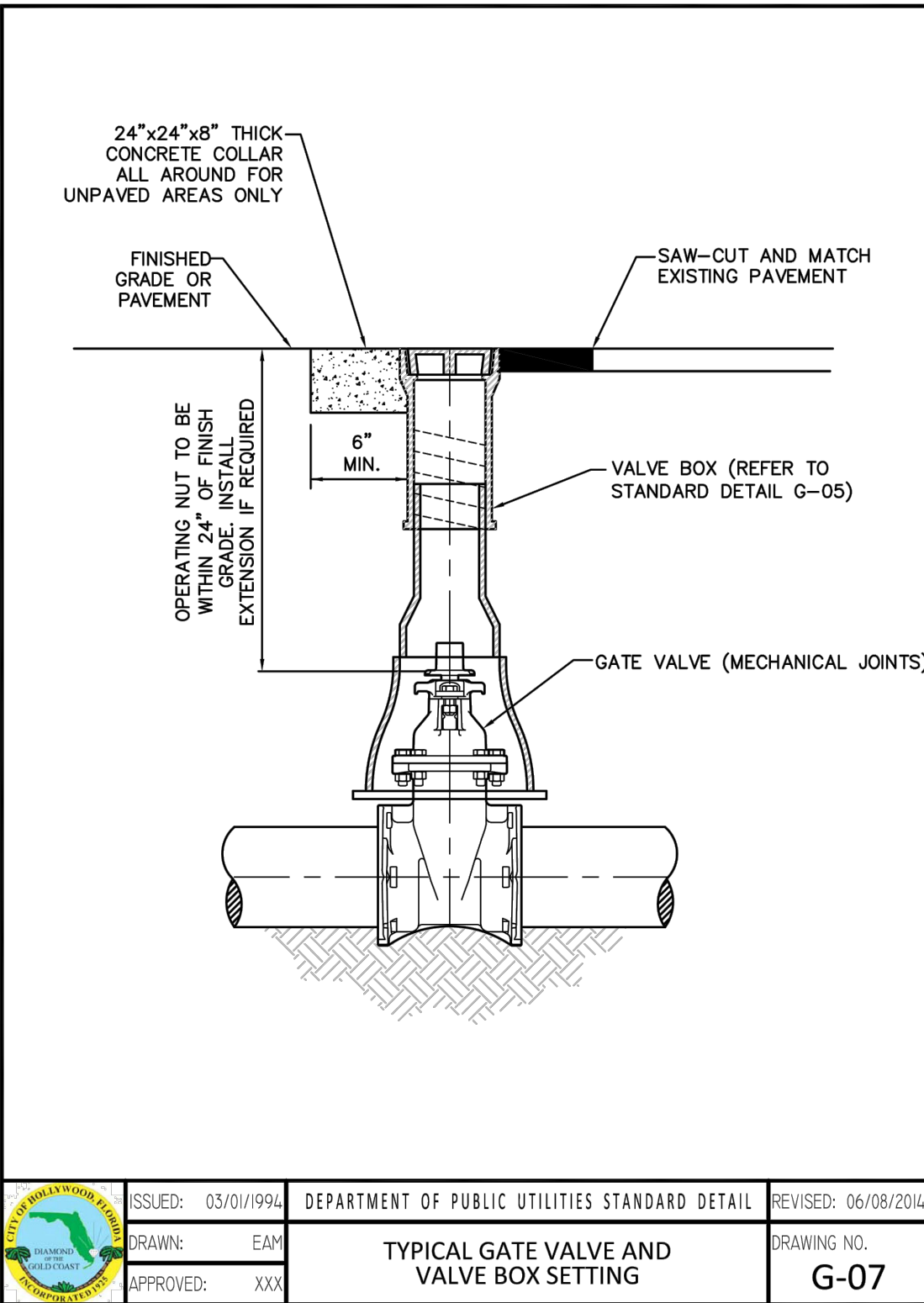
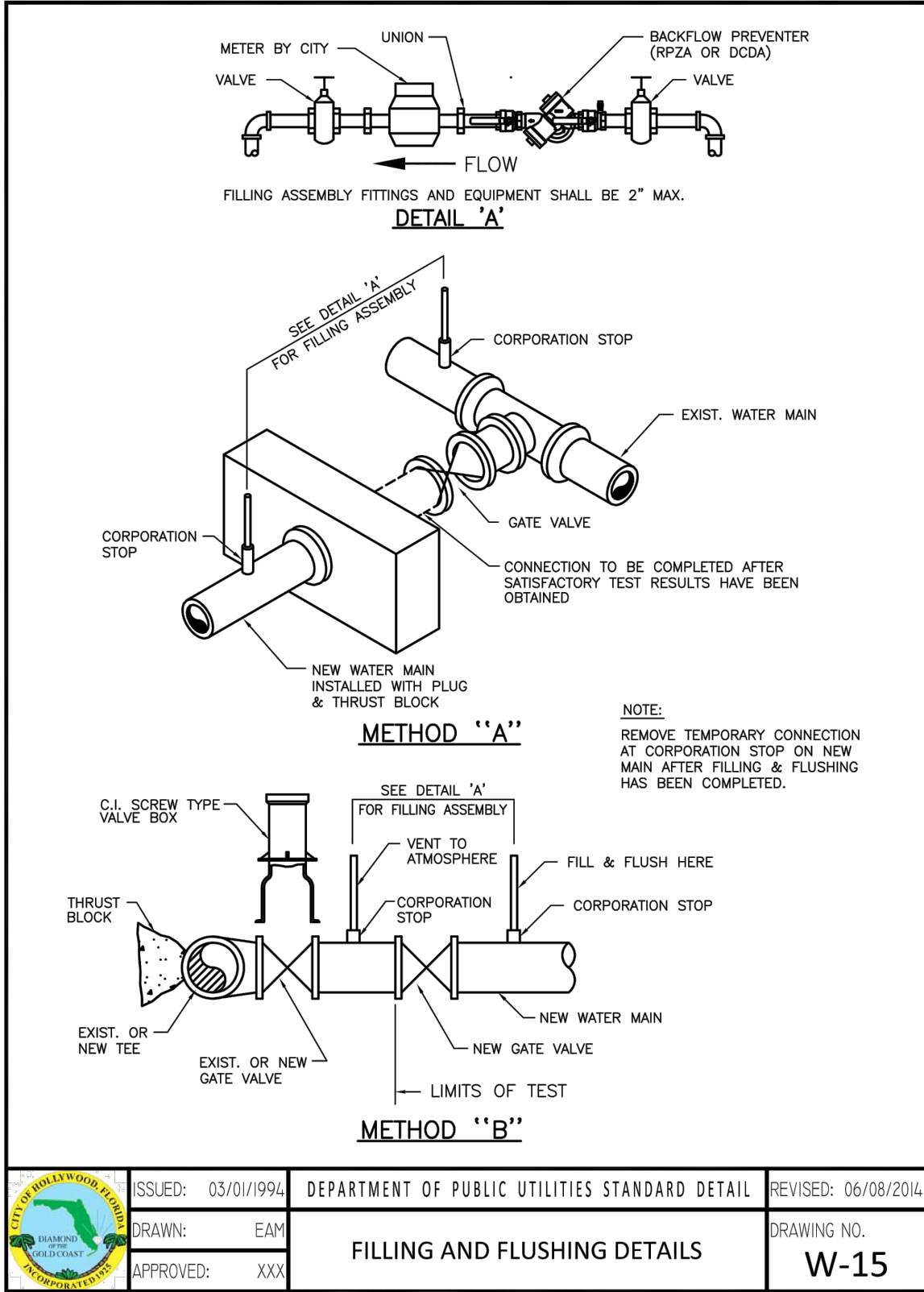
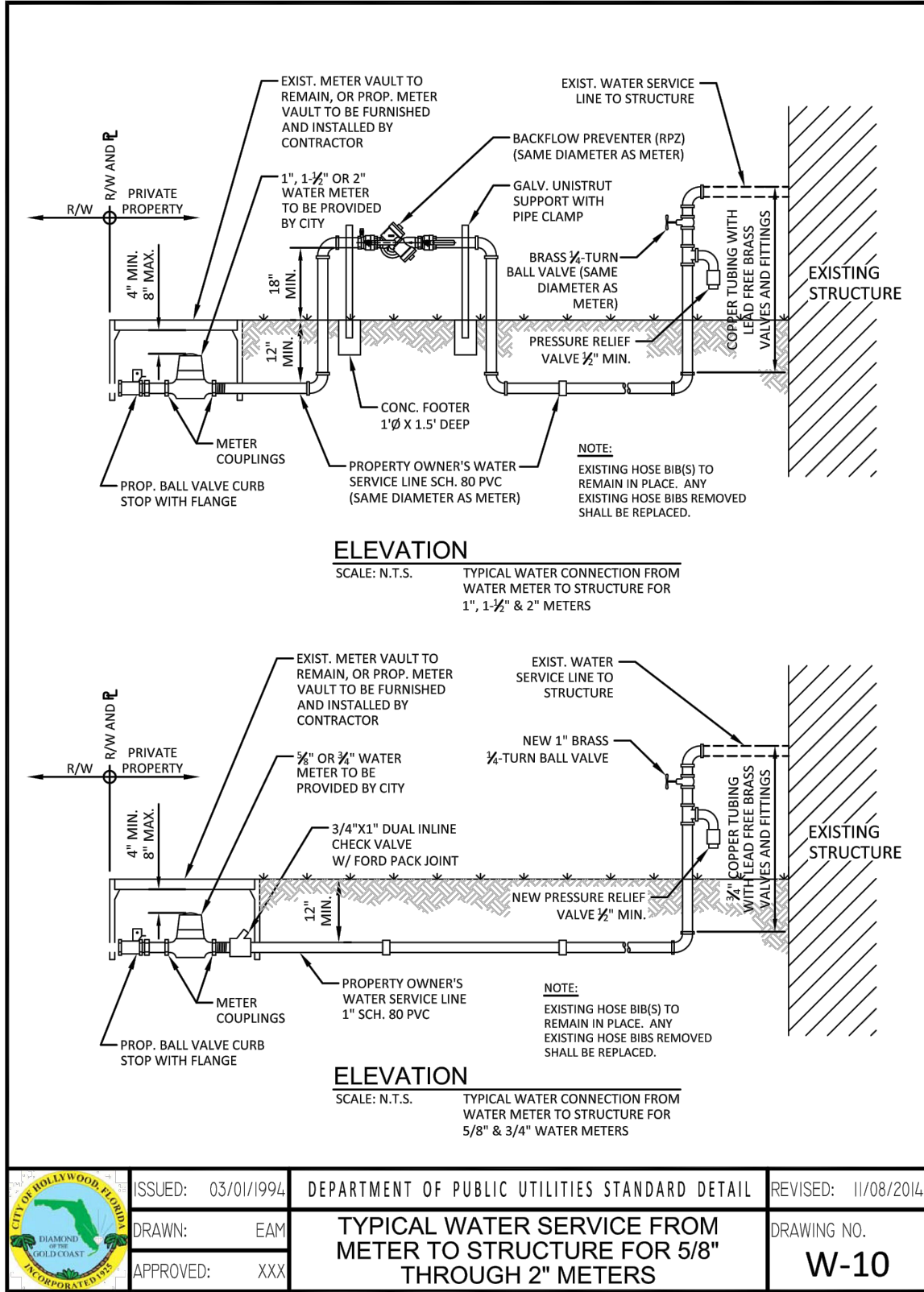
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SHEET NUMBER C-502		DATE 04/24/17		SCALE AS SHOWN		GREG D. WILFONG, P.E.		© 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 00000696		DATE	
HOLLYWOOD FL		DESIGNED BY JGV		DRAWN BY RS		FL LICENSE NUMBER 63166		REVISIONS		No.	
		CHECKED BY JGV		DATE							

Plotted By: Schulz, Ryan - Sheet Set: WEST HOLLYWOOD PLAZA - Layout: UTILITY PLAN 3 - May 25, 2017 - 02:14:37pm - K:\VRB-LDEV\147452000 west hollywood plaza\CAD\plansheets\C-503 - UTILITY PLAN.dwg
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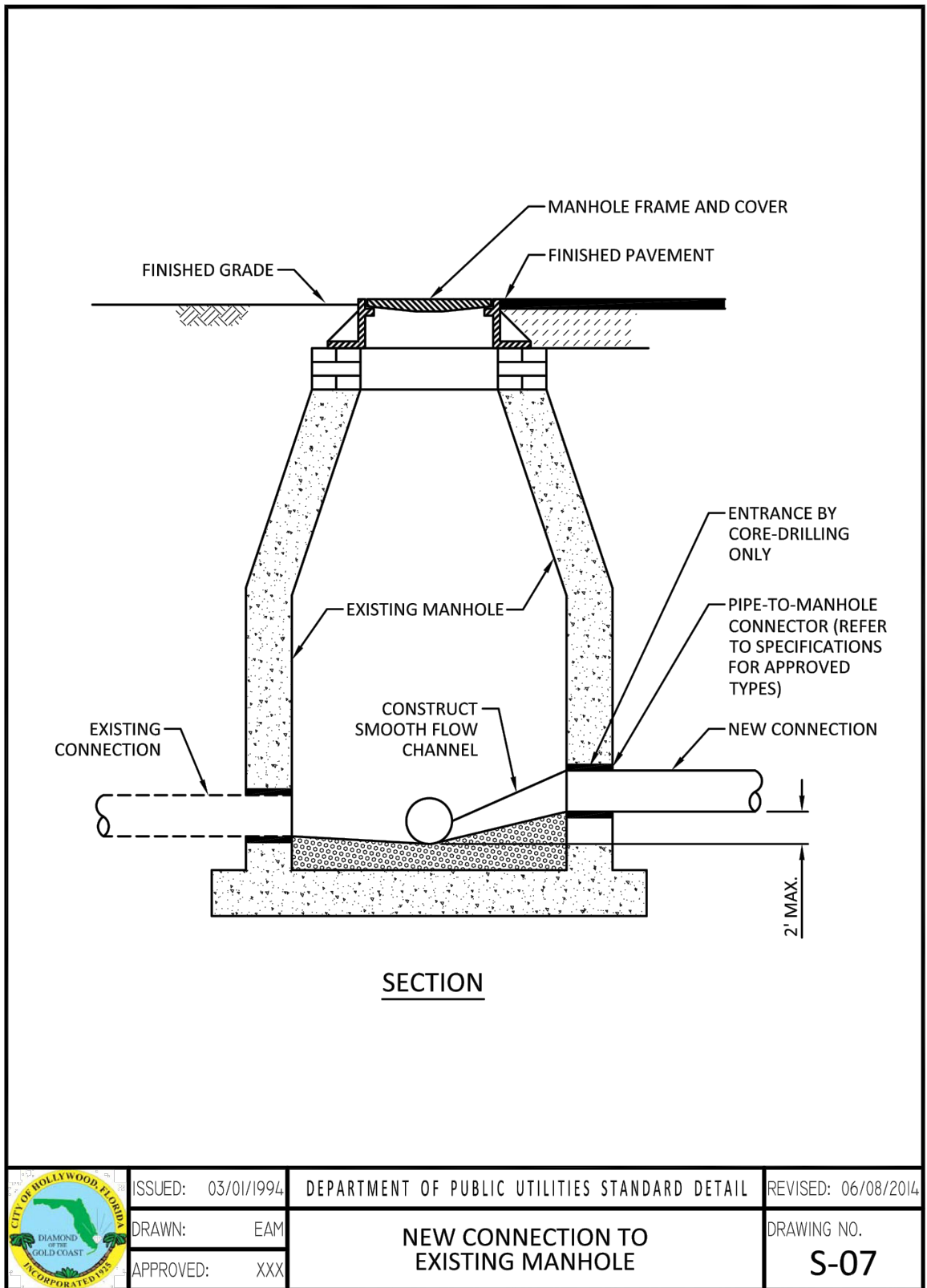
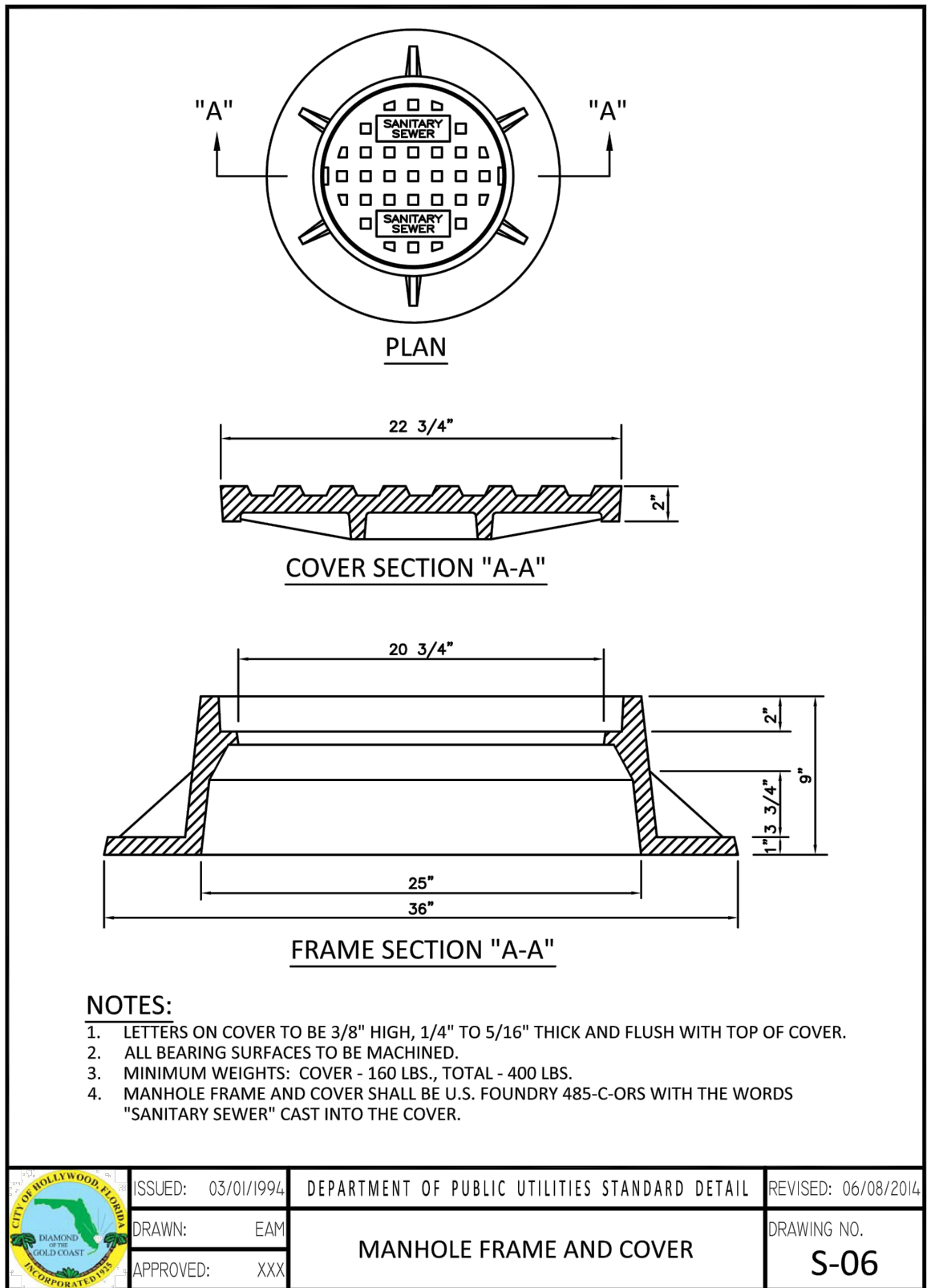
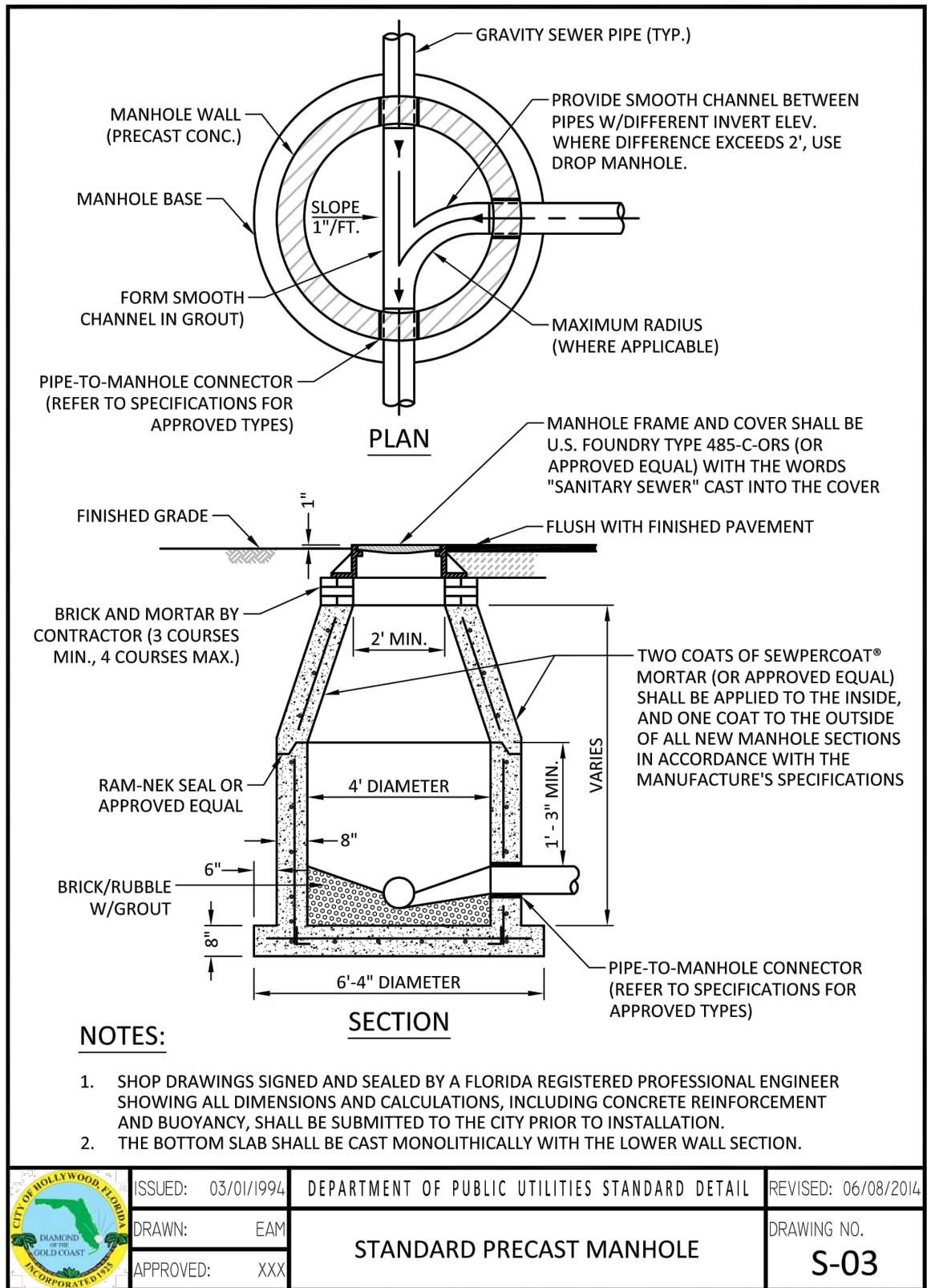
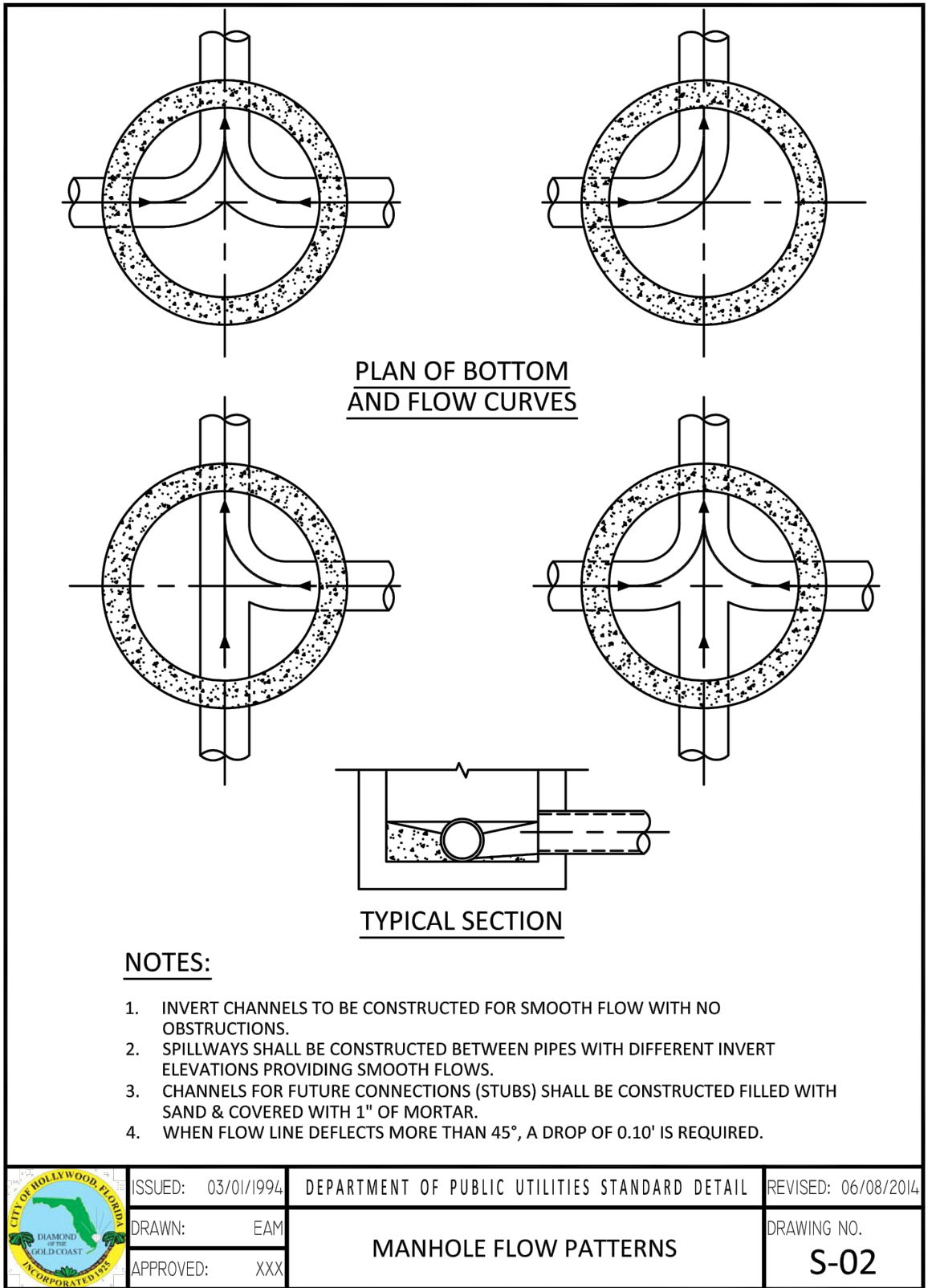
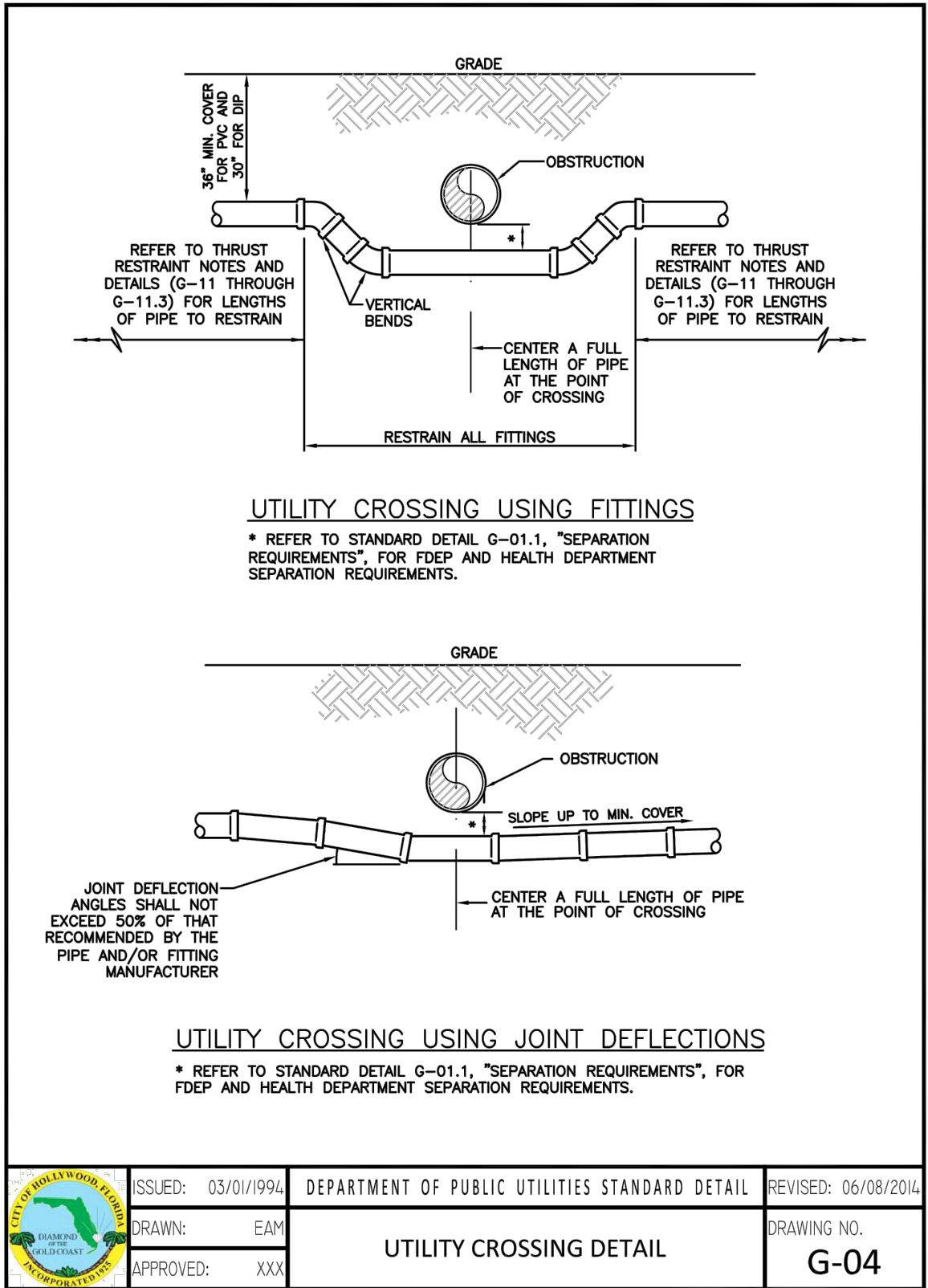
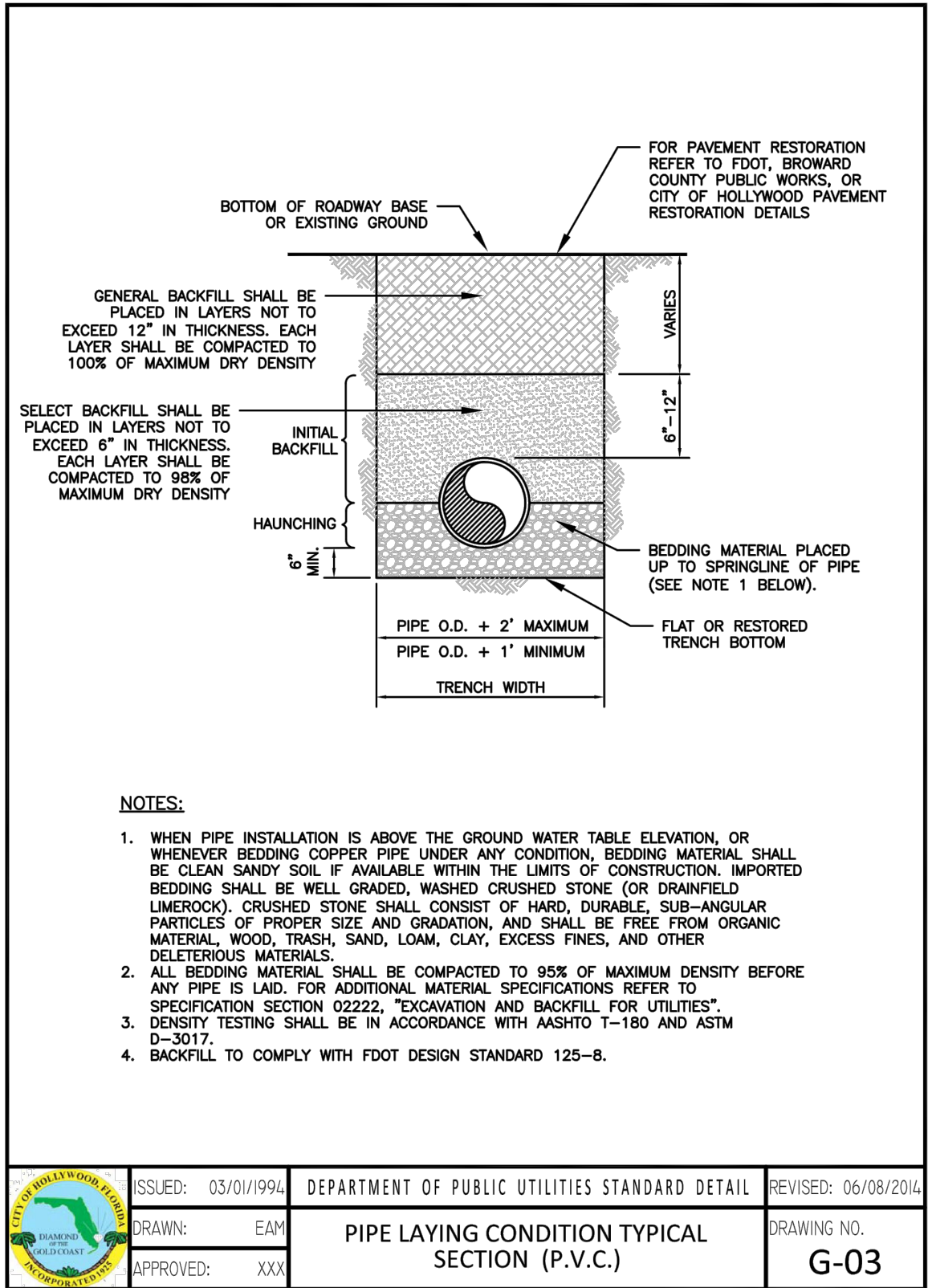
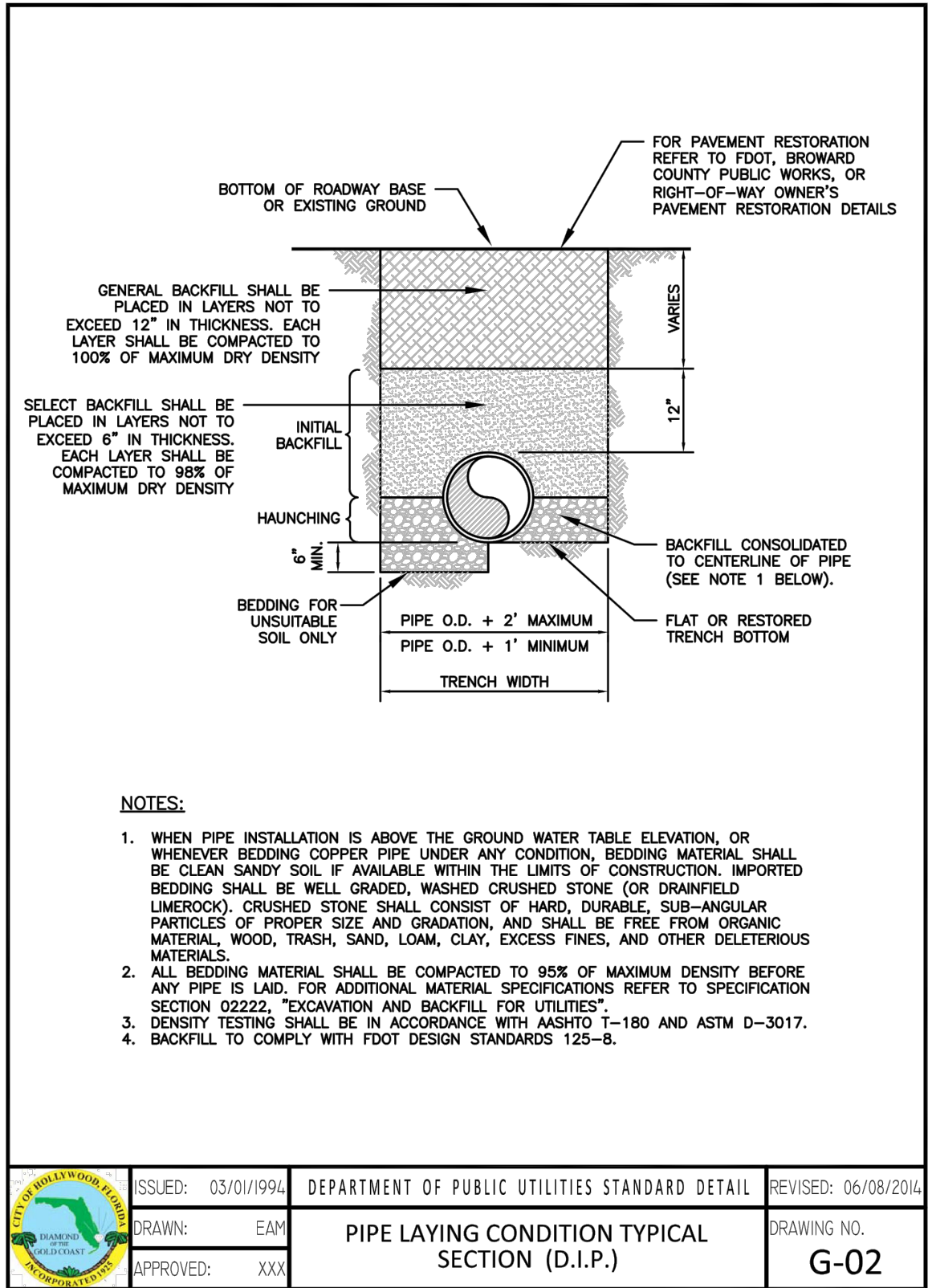
LEGEND	
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	UTILITY EASEMENT
	WATER LINE
	SANITARY SEWER LINE
	BURIED ELECTRIC LINE
	TELEPHONE/CABLE LINE
	STORM SEWER LINE
	DESIGNED BY CKE

WEST HOLLYWOOD PLAZA	FL	SHEET NUMBER C-503	REVISIONS		BY		
			No.		DATE		
UTILITY PLAN			KHA PROJECT 147452000				
			DATE 04/24/17				
			SCALE AS SHOWN				
			DESIGNED BY JGV				
			DRAWN BY RS				
			CHECKED BY JGV				
			DATE: ---				
			LISCENSED PROFESSIONAL				
			GREG D. WILFONG, P.E.				
			FL LICENSE NUMBER 63166				
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			Kimley»Horn				



Plotted By:Schulz, Ryan Sheet Set:WEST HOLLYWOOD STANDARD WASTEWATER DETAILS May 25, 2017 02:15:00pm K:\VRB_LDEVX\147452000 west hollywood pl229\CAD\plan\sheet\c-501 UTILITY DETAILS.dwg

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CITY OF HOLLYWOOD WEST HOLLYWOOD PLAZA	KHA PROJECT 147452000 DATE 04/24/17 SCALE AS SHOWN DESIGNED BY JGV DRAWN BY RS CHECKED BY JGV	LISCENSED PROFESSIONAL GREG D. WILFONG, P.E. FL LICENSE NUMBER 63166	Kimley»Horn © 2017 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 FAX: 772-794-4130 WWW.KIMLEY-HORN.COM CA 00000696	REVISIONS		DATE	BY
SHEET NUMBER C-505		HOLLYWOOD					