

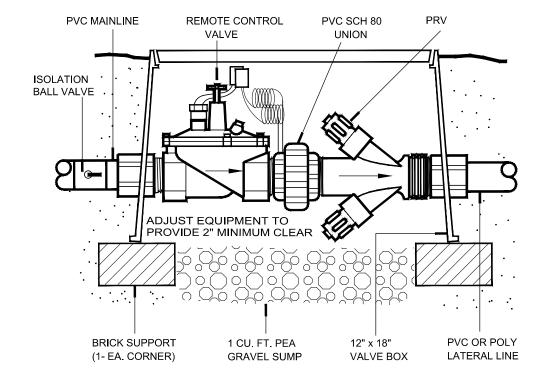
SHEET NUMBER L-203

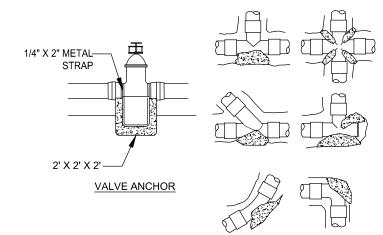
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

MP ROTATOR SPRINKLER

DETAIL - N.T.S.

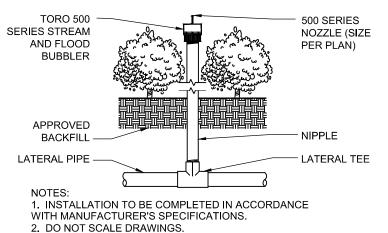
N.T.S.





1. 4" MINIMUM PIPE SIZE FOR THRUST BLOCKS 2. MIN. THRUST BLOCK SIZE SHALL BE 2 CU. FT.

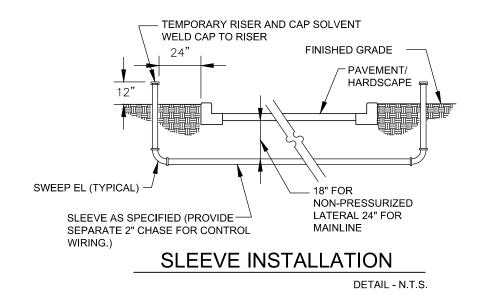
THRUST BLOCK DETAIL - N.T.S.

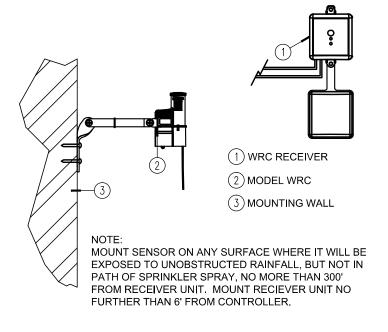


3. INSTALL SPRINKLER ABOVE FINISHED GRADE. TORO BUBBLER

PIPE SIZE	SLEEVE SIZE
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3 //"	6"

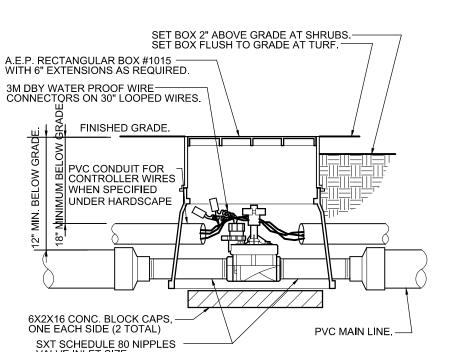
## SLEEVE SIZE SCHEDULE





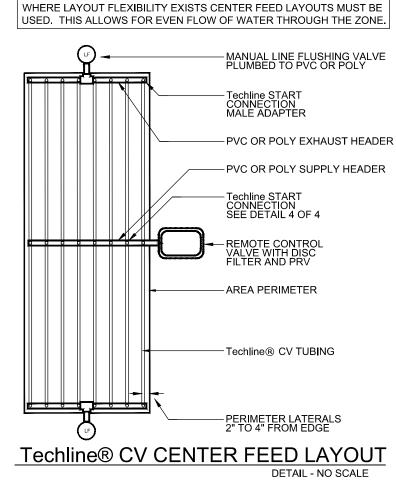
WIRELESS **RAIN SENSOR** 

DETAIL - N.T.S.



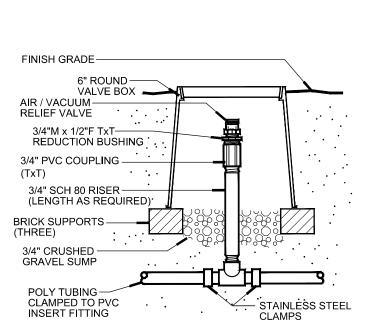
REMOTE CONTROL VALVE

## MASTER CONTROL VALVE



ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL

HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.



AIR/VACUUM RELIEF (PLUMBED TO POLY)

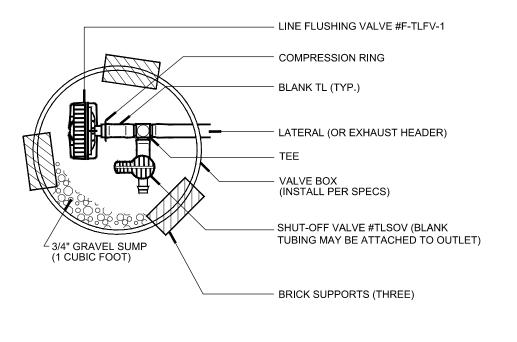
#### EXTERIOR WALL MINIMUM CLEARANCE FOR DOOR OPENING -MODEL PC-XX00 CONTROL WIRE IN ELECTRICAL -CONDUIT. SIZE AND TYPE PER LOCAL CODE ELECTRICAL SUPPLY CONDUIT —CONNECT TO POWER SOURCE J BOX INSIDE CONTROLLER. 12 STATION MODEL CONTROLLER. MOUNT CONTROLLER

PRO-C CONTROLLER

WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE

HARD-WIRED TO GROUNDED 110 VAC SOURCE.

# DETAIL - N.T.S.



LINE FLUSHING VALVE W/ SHUT-OFF VALVE DETAIL - N.T.S.

TECHLINE CV-MAXIMUM LE	TECHLINE CV-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)							
TECHLINE DRIPPER SPACING		12"			18"		2	4"
DRIPPER FLOW RATE (GPH)	0.4	0.6	0.9	0.4	0.6	0.9	0.6	0.9
INLET PRESSURE (PSI)								
15	109	86	65	151	120	91	152	116
25	325	256	194	459	361	274	458	348
35	409	322	244	579	456	346	580	440
45	469	369	280	664	523	397	666	506

## GENERAL IRRIGATION SPECIFICATIONS AND NOTES

#### A. EXTENT:

INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT FOR THE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: (1) TRENCHING AND BACKFILL, (2) AUTOMATICALLY CONTROLLED LOW VOLUME IRRIGATION SYSTEM, (3) TEST ALL SYSTEMS AND MAKE OPERATIVE,

#### B. GENERAL:

1. PERMITS AND FEES: OBTAIN ALL PERMITS AND PAY REQUIRED FEES TO ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. INSPECTIONS REQUIRED BY LOCAL ORDINANCES DURING THE COURSE OF CONSTRUCTION SHALL BE ARRANGED AS REQUIRED. ON COMPLETION OF THE WORK, SATISFACTORY EVIDENCE SHALL BE FURNISHED TO THE OWNER'S CONSTRUCTION REPRESENTATIVE TO SHOW THAT ALL WORK HAS BEEN INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - PLUMBING / APPENDIX 'F' AND CODE REQUIREMENTS

2. APPROVAL: WHEREVER THE TERMS "APPROVE" OR "APPROVED" ARE USED IN THE SPECIFICATIONS, THEY SHALL MEAN THE APPROVAL OF THE OWNER'S CONSTRUCTION REPRESENTATIVE IN WRITING.

3. BEFORE ANY WORK IS STARTED, A CONFERENCE SHALL BE HELD BETWEEN THE CONTRACTOR AND THE OWNER'S CONSTRUCTION REPRESENTATIVE CONCERNING THE WORK UNDER THIS CONTRACT.

4. COORDINATION: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE

5. INSPECTION OF SITE: A. CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL SITE CONDITIONS. SUBMISSION OF HIS PROPOSAL SHALL BE

CONSIDERED EVIDENCE THAT THE EXAMINATION HAS BEEN CONDUCTED. SHOULD UTILITIES NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE FOR INSTRUCTIONS AS TO FURTHER ACTION, FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE THERETO ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN IN PLANS.

B. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS IN THE LAYOUT AS MAY BE REQUIRED TO CONNECT TO EXISTING STUBOUTS, SHOULD SUCH STUBS NOT BE LOCATED EXACTLY AS SHOWN, AND AS MAY BE REQUIRED TO WORK AROUND EXISTING WORK AT NO INCREASE IN COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.

6. PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS: THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS TO REMAIN. SHOULD DAMAGE BE INCURRED, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

7. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE, ADD, OR DELETE ANY MATERIAL OR WORK AS THE WORK PROGRESSES. ADJUSTMENTS TO THE CONTRACT PRICE SHALL BE NEGOTIATED IF DEEMED NECESSARY BY THE OWNER ON A PER DIEM BASIS

8. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT THE EARLIEST TIME POSSIBLE.

9. WORK SCHEDULE: WITHIN 10 DAYS AFTER AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A WORK SCHEDULE.

10. "AS-BUILT" IRRIGATION DRAWINGS: PREPARE AN "AS-BUILT" DRAWING ON A BLUEPRINT WHICH SHALL SHOW DEVIATIONS FROM THE BID DOCUMENTS MADE DURING CONSTRUCTION AFFECTING THE MAIN LINE PIPE. CONTROLLER LOCATIONS, REMOTE CONTROL VALVES AND QUICK COUPLING VALVES. THE DRAWINGS SHALL ALSO INDICATE AND SHOW APPROVED SUBSTITUTIONS OF SIZE, MATERIAL AND MANUFACTURERS NAME AND CATALOG NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE DELIVERED TO THE TENANT'S CONSTRUCTION REPRESENTATIVE BEFORE FINAL ACCEPTANCE OF WORK

11. FINAL ACCEPTANCE: FINAL ACCEPTANCE OF THE WORK MAY BE OBTAINED FROM THE OWNER'S CONSTRUCTION REPRESENTATIVE UPON THE SATISFACTORY COMPLETION OF ALL WORK.

12. GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP TO THE SATISFACTION OF THE TENANT'S CONSTRUCTION REPRESENTATIVE. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AT NO COST TO THE OWNER.

13. A LAMINATED PLAN (8 1/2 X 11) SHOWING THE DIFFERENT IRRIGATION ZONES IN COLOR, PREPARED BY THE IRRIGATION CONTRACTOR, SHALL BE POSTED IN THE MECHANICAL ROOM.

#### C. MATERIALS:

1. GENERAL: ALL MATERIALS THROUGHOUT THE SYSTEM SHALL BE NEW AND IN PERFECT CONDITION. 2. PLASTIC PIPING: ALL MAIN LINES AND LATERAL LINES SHALL BE CLASS 200 POLYVINYL CHLORIDE (PVC) PIPE AND SHALL COMPLY WITH ONE OF THE FOLLOWING STANDARDS: ASTM D 1785, ASTM D-2241, AWWA C-900, OR AWWA C-905. SDR-PR PIPE SHALL HAVE A MINIMUM WALL THICKNESS AS REQUIRED BY SDR-26. PVC GASKETS FITTINGS SHALL CONFORMING TO ASTMID 3139. GASKETS SHALL CONFORM TO ASTMIF 477. SOLVENT-WELD PVC FITTINGS. SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. THREADED PVC PIPE FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2464. CONFORMING TO ASTM D-1784

3. PLASTIC FITTINGS: ALL SOLVENT-WELD PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. SCHEDULE 40 SOLVENT-WELD, POLYVINYL CHLORIDE (PVC) STANDARD WEIGHT AS MANUFACTURED BY SLOANE, LASCO, OR APPROVED EQUAL.

4. SOLVENT CEMENT: PVC CEMENT SHALL MEET ASTM D 2564 AND PVC CLEANER-TYPE SHALL MEET ASTM F 656.

5. SPRINKLER HEAD RISERS: SCHEDULE 40 PVC FOR RISERS. PIPE SHALL BE CUT WITH A STANDARD PIPE CUTTING TOOL WITH SHARP CUTTERS. REAM ONLY TO FULL DIAMETER OF PIPE AND CLEAN ALL ROUGH EDGES OR BURRS. CUT ALL THREADS ACCURATELY WITH SHARP DIES. NOT MORE THAN THREE(3) FULL THREADS SHALL SHOW BEYOND FITTINGS WHEN PIPE IS MADE UP. ASSEMBLIES SHALL BE AS DETAILED.

### 6. AUTOMATIC CONTROLLER: SEE LEGEND

7. REMOTE CONTROL VALVES: SEE LEGEND

8. CONTROL WIRING: 24 VOLT SOLID UL APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM WIRE SIZE: 14 GAUGE. ALL SPLICES SHALL BE MADE WITHIN VALVE BOX.

9. SLEEVES FOR CONTROL WIRING: UNDER ALL WALKS AND PAVED AREAS AND WHERE INDICATED ON DRAWINGS. MINIMUM PVC 1220-200 PSI PLASTIC PIPE.

10. SPRINKLER HEADS/ DRIP LINE: SEE LEGEND

11. QUICK COUPLING VALVES: SHALL BE NOTED ON DRAWINGS.

### D. WORKMANSHIP:

1. LAY OUT WORK AS ACCURATELY AS POSSIBLE TO THE DRAWINGS. THE DRAWINGS, THOUGH CAREFULLY DRAWN, ARE GENERALLY DIAGRAMMATIC TO THE EXTENT THAT SWING JOINTS, OFFSETS, AND ALL FITTINGS ARE NOT

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND COMPLETE COVERAGE OF ALL IRRIGATED AREAS AND SHALL MAKE ANY NECESSARY MINOR ADJUSTMENTS AT NO ADDITIONAL COST TO THE OWNER'S CONSTRUCTION

3. ANY MAJOR REVISIONS TO THE IRRIGATION SYSTEM MUST BE SUBMITTED AND ANSWERED IN WRITTEN FORM, ALONG WITH ANY CHANGE IN CONTRACT PRICE.

#### E. INSTALLATION:

#### 1. EXCAVATION AND TRENCHING:

A. PERFORM ALL EXCAVATIONS AS REQUIRED FOR THE INSTALLATION OF THE WORK INCLUDING UNDER THIS SECTION, INCLUDING SHORING OF EARTH BANKS TO PREVENT CAVE-INS. RESTORE ALL SURFACES, EXISTING UNDERGROUND INSTALLATIONS, ETC., DAMAGED OR CUT AS A RESULT OF THE EXCAVATIONS TO AND IN A MANNER APPROVED BY THE OWNER.

B. TRENCHES SHALL BE MADE WIDE ENOUGH TO ALLOW A MINIMUM OF 6 INCHES BETWEEN PARALLEL PIPE LINES. TRENCHES FOR PIPE LINES SHALL BE MADE OF SUFFICIENT DEPTHS TO PROVIDE THE MINIMUM COVER FROM FINISH

**GRADE AS FOLLOWS:** 1) 18" MINIMUM COVER OVER IRRIGATION LINES FOR VEHICLE TRAFFIC AREAS.

2) MINIMUM COVER OVER IRRIGATION LINES TO HEADS/ DRIPLINE EXCEPT VEHICLE TRAFFIC

AREAS ARE AS FOLLOWS: 3/4" -  $1\frac{1}{2}$ " = 6" COVER 2" - 3" = 12" COVER

GREATER THAN 6" = 24" COVER

CLOSER THAN 12 INCHES TO WALK EDGES, BUILDINGS AND WALLS.

4" - 6" = 18" COVER

C. MAINTAIN ALL WARNING SIGNS, SHORING, BARRICADES, FLARES AND RED LANTERNS AS REQUIRED BY THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY AND LOCAL ORDINANCES.

2. PIPE LINE ASSEMBLY A. INSTALL REMOTE CONTROL VALVES WHERE SHOWN AND GROUP TOGETHER WHERE PRACTICAL, PLACE NO

B. PLASTIC PIPE AND FITTINGS SHALL BE SOLVENT WELDED USING SOLVENTS AND METHODS RECOMMENDED BY MANUFACTURER OF THE PIPE. EXCEPT WHERE SCREWED CONNECTIONS ARE REQUIRED. PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE APPLYING SOLVENT WITH A NON-SYNTHETIC

C. PIPE MAY BE ASSEMBLED AND WELDED ON THE SURFACE. SNAKE PIPE FROM SIDE TO SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.

D. MAKE ALL CONNECTIONS BETWEEN PLASTIC PIPE AND METAL VALVES OR STEEL PIPE WITH THREADED FITTINGS USING PLASTIC MALE ADAPTERS.

#### 3. SPRINKLER HEADS/ DRIPLINE:

A. INSTALL ALL SPRINKLERS/ DRIPLINE AS DETAILED ON DRAWINGS.

B. DO NOT SCALE PLANS FOR EXACT HEAD LOCATION. C. PROVIDE A MINIMUM OF 4" BETWEEN SPRINKLERS/ DRIPLINE AND PAVEMENT AND 12 INCHES BETWEEN

### 4. CLOSING OF PIPE AND FLUSHING LINES:

SPRINKLERS/ DRIPLINE AND BUILDINGS.

A. CAP OR PLUG ALL OPENINGS AS SOON AS LINES HAVE BEEN INSTALLED TO PREVENT THE ENTRANCE OF MATERIALS THAT WOULD OBSTRUCT THE PIPE. LEAVE IN PLACE UNTIL REMOVAL IS NECESSARY FOR COMPLETION OF INSTALLATION.

B. THOROUGHLY FLUSH OUT ALL WATER LINES BEFORE INSTALLING HEADS, DRIPLINE, VALVES AND OTHER HYDRANTS.

C. TEST IN ACCORDANCE WITH PARAGRAPH ON HYDROSTATIC TESTS.

D. UPON COMPLETION OF THE TESTING, THE CONTRACTOR SHALL COMPLETE ASSEMBLY AND ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION.

#### 5. INSPECTIONS:

A. SPRINKLER/ DRIPLINE LAYOUT AND SPACING INSPECTION: VERIFICATION THAT THE IRRIGATION DESIGN IS ACCURATELY INSTALLED IN THE FIELD. IT WILL ALSO PROVIDE FOR ALTERATION OR MODIFICATION OF THE SYSTEM TO MEET FIELD CONDITIONS. SPACING SHOULD BE WITHIN 5% OF THE DESIGN SPACING. B. PIPE INSTALLATION DEPTH INSPECTION: ALL PIPES IN THE SYSTEM SHALL BE INSTALLED TO DEPTHS AS

PREVIOUSLY DESCRIBED IN SECTION 'E' OF THESE SPECIFICATIONS. C. OPEN TRENCH INSPECTION: THE TRENCH AND ALL JOINTS AND EVERY TRANSITION IN PIPE SIZE, WILL BE OPEN

WHERE OPEN TRENCH INSPECTION IS REQUIRED.

D. INSPECTIONS WILL BE PERFORMED THROUGHOUT THE DURATION OF THE INSTALLATION. INSPECTION MAY BE MADE BY THE GOVERNING AGENCY/ OWNER TO ENSURE COMPLIANCE WITH DESIGN INTENT, SPECIFICATIONS, AND THE IRRIGATION CODES.

#### 6. HYDROSTATIC TESTS:

A. REQUEST THE PRESENCE OF THE OWNER IN WRITING AT LEAST 48 HOURS IN ADVANCE OF TESTING.

B. TESTING TO BE ACCOMPLISHED AT THE EXPENSE OF THE CONTRACTOR AND IN THE PRESENCE OF THE OWNER.

C. CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE.

D. APPLYING A CONTINUOUS AND STATIC WATER PRESSURE OF 125 PSI WHEN WELDED PLASTIC JOINTS HAVE CURED AT LEAST 3 HOURS AND WITH THE RISERS CAPPED AS FOLLOWS

1) MAIN LINES AND SUBMAINS TO BE TESTED FOR 2 HOURS. 2) NO PRESSURE LOSS IS ALLOWED FOR SOLVENT WELD MAINLINE/ PIPE.

E. FOR PVC AND O-RING GASKET PIPE THE ALLOWABLE LEAKAGE SHALL NOT EXCEED THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA:

L=NPD<sup>''2</sup>/ 1,850 IN WHICH: L=ALLOWABLE LEAKAGE, IN GALLONS PER HOUR N=NUMBER OF JOINTS

**D=PIPE DIAMETER IN INCHES** P=AVERAGE TEST PRESSURE IN PSI GAUGE

### F. REPAIR LEAKS RESULTING FROM TESTS.

### 7. AUTOMATIC CONTROLLERS:

A. CONNECT REMOTE CONTROL VALVES TO CONTROLLER IN A CLOCKWISE SEQUENCE TO CORRESPOND WITH STATION SETTING BEGINNING WITH STATIONS 1, 2, 3, ETC.

### 8. AUTOMATIC CONTROL WIRING:

A. INSTALL CONTROL WIRING, SPRINKLER MAINS AND LATERALS IN COMMON TRENCHES WHEREVER POSSIBLE.

B. INSTALL CONTROL WIRES AT LEAST 18" BELOW FINISH GRADE AND LAY TO THE SIDE AND BELOW THE MAIN LINE. PROVIDE LOOPED SLACK AT VALVES AND SNAKE WIRES IN TRENCH TO ALLOW FOR CONTRACTION OF WIRES. TIE WIRES IN BUNDLES AT INTERVALS.

C. CONTROL WIRE SPLICES WILL BE ALLOWED ONLY RUNS OVER 1000 FT. CONNECTIONS SHALL BE IN VALVE BOX & SHOWN ON AS-BUILT PLAN FOR LOCATION.

D. ALL WIRING PASSING UNDER EXISTING OR FUTURE PAVING, CONSTRUCTION, ETC., SHALL BE ENCASED IN PLASTIC OR GALVANIZED STEEL CONDUIT EXTENDING AT LEAST 24" BEYOND EDGES OF PAVING OR CONSTRUCTION.

#### 9. BACKFILL AND COMPACTING: A. AFTER SYSTEM IS OPERATING AND REQUIRED TESTS AND INSPECTIONS HAVE BEEN MADE, BACKFILL

EXCAVATIONS AND TRENCHES WITH CLEAN SOIL, FREE OF RUBBISH. INITIAL BACKFILL MATERIAL TO 6 INCHES ABOVE THE TOP OF PIPE SHALL BE FREE OF ROCKS OR STONES LARGER THAN ONE INCH IN DIAMETER FINAL BACKFILL MATERIAL SHALL BE FREE OF ROCKS OR STONES LARGER THAN 3 INCHES IN DIAMETER.

B. BACKFILL FOR ALL TRENCHES, REGARDLESS OF THE TYPE OF PIPE COVERED, SHALL BE COMPACTED TO MINIMUM 90% DENSITY.

C. COMPACT TRENCHES IN AREAS TO BE PLANTED BY THOROUGHLY FLOODING THE BACKFILL. JETTING PROCESS MAY BE USED IN THOSE AREAS. D. DRESS OFF ALL AREAS TO FINISH GRADES.

#### A. AN AUGER IS TO BE USED TO TUNNEL UNDER EXISTING TREES IF IRRIGATION IS INSTALLED WITHIN THE PROTECTIVE RADIUS OF EXISTING TREES AND ONLY IF THERE IS NO OTHER OPTION OR TO DO SO CREATES AN UNREASONABLE HARDSHIP.

10. PROTECTIVE RADIUS OF EXISTING TREES:

F. CLEAN-UP: 1. REMOVE FROM THE SITE ALL DEBRIS RESULTING FROM WORK OF THIS SECTION.

> THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE

CALL 48 HOURS **BEFORE YOU DIG** 

IT'S THE LAW! **DIAL 811** 

Know what's **below.** Call before you dig SUNSHINE STATE ONE CALL OF FLORIDA, INC.

|4|

© 4

(

 $\mathbf{m}$ 

SHEET NUMBER

TREE PLANTING

SECTION / PLAN

( ) TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT. (2) 6" DIA. CLEAR OF MULCH AT TRUNK FLARE.

3) 3" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE. (4) 4" HIGH BERM, FIRMLY COMPACTED.

5) TREE FROG ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

(6) FINISHED GRADE. (SEE GRADING PLAN) 7) TOP OF ROOTBALL MIN. I" ABOVE FINISHED GRADE.

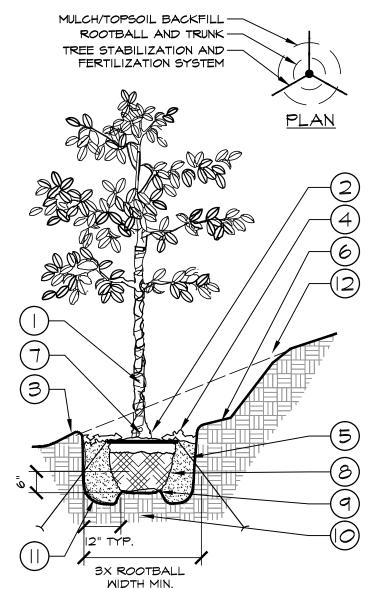
(8) PREPARED PLANTING SOIL AS SPECIFIED. (9) TOP OF ROOTBALL SHALL BE I" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH. (10) UNDISTURBED NATIVE SOIL.

(I) SCARIFY BOTTOM AND SIDES OF PLANTING

FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

C. PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.



TREE PLANTING ON A SLOPE

( | ) TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT. (2) 6" DIA. CLEAR OF MULCH AT TRUNK FLARE. (3) 3. 4" HIGH BERM, FIRMLY COMPACTED.

4) 3" MINIMUM OF HARDWOOD BARK MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.

5) TREE FROG ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

(6) 4" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE. (SEE GRADING PLAN) (7) TOP OF ROOTBALL MIN. I" ABOVE FINISHED

(8) PREPARED PLANTING SOIL AS SPECIFIED. (9) ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.

(O) UNDISTURBED NATIVE SOIL. (II) SCARIFY BOTTOM AND SIDES OF PLANTING

2 CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

C. PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.

BEST FACE OF SHRUB/-GROUNDCOVER TO FACE FRONT OF PLANTING BED. REFER TO PLANT SCHEDULE FOR SPACING. MAINTAIN 12" DEAD ZONE-

AT BED EDGE.

3X ROOT BALL WIDTH

TOP OF SHRUB ROOTBALLS TO

OF ROOTBALL.

MASS/HEIGHT.

SPECIFIED.

3 3" MULCH LAYER AS

4 EXCAVATE ENTIRE BED

(5) FINISHED GRADE (SEE

MIX AS SPECIFIED.

SIDES AND BOTTOM.

(8) 4" HIGH BERM FIRMLY

COMPACTED.

7) SCARIFY OF PLANTING PIT

(9) UNDISTURBED NATIVE SOIL.

(O) FERTILIZER TABLETS (MAX 3"

GRADING PLAN).

) PRUNE ALL SHRUBS TO

ACHIEVE A UNIFORM

BE PLANTED I" - 2" HIGH WITH

SOIL MOUNDING UP TO THE TOP

SPECIFIED FOR GROUNDCOVER

(6) PREPARED PLANTING SOIL AS

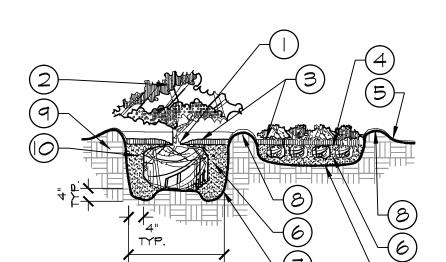
SPECIFIED. (SEE LANDSCAPE

NOTES) NOTE: WHEN GROUND-

COVERS AND SHRUBS USED IN

AMENDED WITH PLANTING SOIL

MASSES, ENTIRE BED TO BE

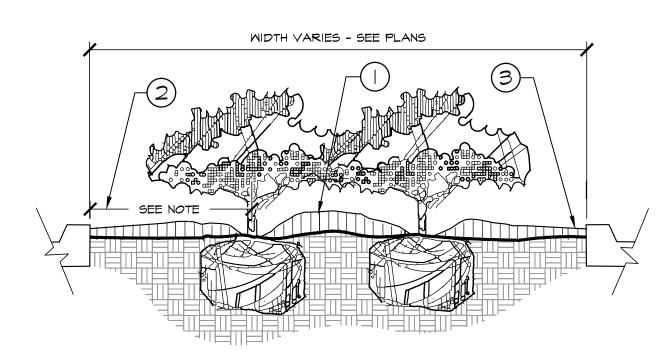


SECTION

A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT. C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

SHRUB/GROUNDCOVER PLANTING



 $ig( \ | \ ig)$  crown islands @ 5:1 slopes (or as specified on the Landscape Plans). 2) CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR

ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS.

(3) 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

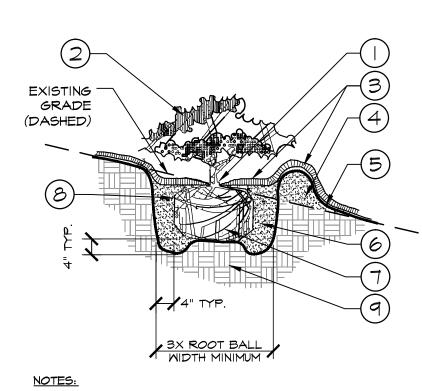
A. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.

B. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).

C. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.

MIN. 15' CLEAR

PLANTED PARKING LOT ISLANDS/MEDIANS



- A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
- C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

) TOP OF SHRUB ROOTBALLS TO BE PLANTED I" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF 2) PRUNE SHRUBS AS DIRECTED BY

OWNER'S REPRESENTATIVE. 3) 3" MINIMUM OF MULCH AS SPECIFIED. WHERE SHRUBS ARE PLACED IN MASSES, MULCH SHALL BE SPREAD IN A CONTINUOUS BED.

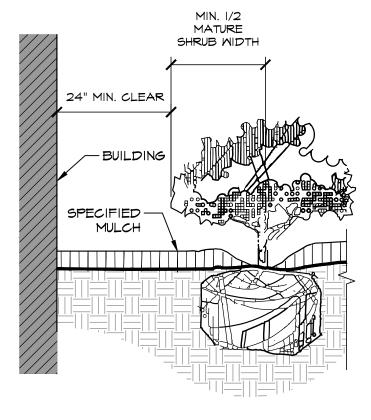
4) SOIL BERM TO HOLD WATER, TOP OF PLANTING PIT 'BERM' TO BE LEVEL ACROSS PIT. SLOPE DOWNHILL PORTION OF BERM AS REQUIRED TO MEET EXISTING GRADE. MULCH OVER EXPOSED

(5) FINISHED GRADE (SEE GRADING

(6) PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE

SCARIFY SIDES AND BOTTOM OF PLANTING PIT. 8) FERTILIZER TABLETS (MAX 3"

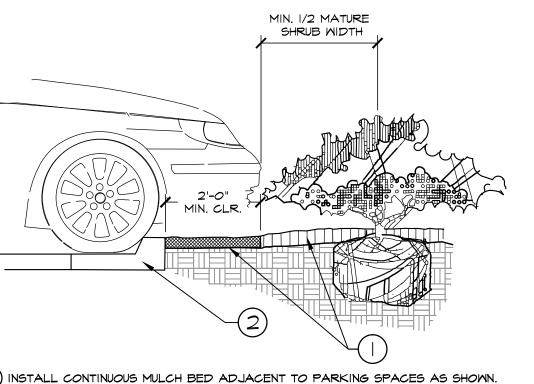
(9) UNDISTURBED NATIVE SOIL



I. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.

PLANTINGS ADJACENT TO BUILDINGS

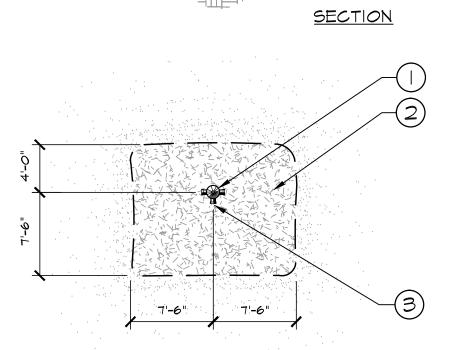
2. INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)



INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN.
MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.

(2) curb / parking lot edge.

PARKING SPACE/CURB PLANTING



SHRÚB MIDTH

NO PLANT EXCEEDING 12" MATURE HEIGHT MATERIAL SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON 3 FRONT OF HYDRANT (TOWARD CURB)

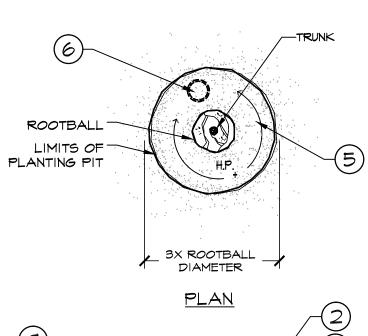
) FIRE HYDRANT.

HYDRANT

SHRŪB WIDTH

PLANTING AT FIRE HYDRANT

SHRUB/GROUNDCOVER PLANTING ON A SLOPE



SECTION

9 \ POOR DRAINAGE CONDITION

) FINISH GRADE (SEE GRADING PLANS). 2) BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.

(4) SLOPE BOTTOM TO DRAIN. 5) AUGURED HOLE % %18" PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION.

(3) FILTER CLOTH, MIRAFI 500X OR BETTER.

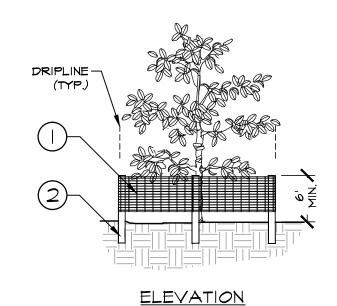
(6) BACKFILL WITH 1/2" - 3/4" GRAVEL TO REQUIRED DEPTH THROUGH OCCLUDING LAYER TO ASSURE PROPER PERCOLATION. (7) MATER TABLE. (DEPTH VARIES)

8) UNDISTURBED NATIVE SOIL 9) SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS I" ABOVE FINISHED GRADE.

A. THIS DETAIL SHALL BE IMPLEMENTED WHERE PERCOLATION RATES ARE 2" PER HOUR OR LESS.

B. CONTRACTOR TO PERFORM PERCOLATION TEST AS REQUIRED. AND NOTIFY OWNER/LANDSCAPE ARCHITECT.

C. SEE TYPICAL TREE PLANTING DETAIL THIS SHEET FOR PLANT STAKING.



( | ) 6'H "PERIMETER PLUS" CONSTRUCTION FENCE BY CONMED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

2) 8' TALL METAL "T" POSTS OR 2" × 2" × 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

### INSTALLATION NOTES:

A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.

POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.

C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.). D. SECURE FENCING TO POST WITH NYLON CABLE

TIES (AVAILABLE FROM CONMED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

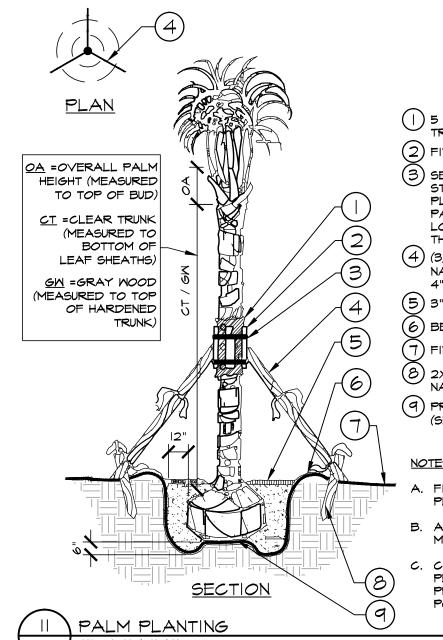
10 TREE PROTECTION FENCING

CORNER

CONNECTION

6'-8''cc

CONNECTION



5 LAYERS OF BURLAP TO PROTECT

(2) FIVE 2" X 4" X 18" WOOD BATTENS. (3) SECURE BATTENS WITH 2- 3/4" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING. (4) (3) 2"X4"X8' SUPPORTS. NAIL (DRILL AN

NAIL IF NECESSARY) TO BATTENS AND 2" 4" STAKES. STAIN DARK BROWN. (5) 3" SPECIFIED MULCH (6) BERM SOIL TO HOLD WATER.

) FINISH GRADE (8) 2X4X24" (MIN) P.T. MOOD STAKES (TYP.) NAIL TO SUPPORT POLES. (9) PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES).

FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. ALL TREE STAKING IS TO BE WITHIN MULCH BED AREA OUTSIDE TREE PIT.

C. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION - REFER TO POOR DRAINAGE CONDITION DETAIL.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

BEFORE YOU DIG

**DIAL 811** 

IT'S THE LAW!

SHEET NUMBER

SED SED

|4|

© 5

#### A. SCOPE OF WORK

- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

#### PROTECTION OF EXISTING STRUCTURES

- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- 3. THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FDOT DESIGN STANDARDS, INDEX 600. IF A DIRECT APPLICATION OF INDEX 600 IS PROPOSED, THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STANDARD INDEX AND PAGE NUMBER NO LESS THAN IO BUSINESS DAYS PRIOR TO START OF CONSTRUCTION. WHEN A DIRECT APPLICATION OF FDOT STANDARD INDEX 600 IS NOT ACCEPTABLE A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A FLORIDA PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY FDOT FOR APPROVAL BY THE COUNTY ENGINEER'S
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

#### PROTECTION OF EXISTING PLANT MATERIALS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

#### D. MATERIALS

#### I. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

ONE (I) CUBIC FOOT TOPSOIL MIX ONE (1) CUBIC FOOT

ONE (I) OF EACH VARIETY (OR TAGGED IN NURSERY)

PLANTS

- a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS, ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. I OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS, TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

### E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- I. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
- 2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- a. <u>TOPSOIL</u> FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN

### b. <u>SAND</u> SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

2. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE

\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). MULCH SHALL BE "FLORIMULCH," EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS SPECIFIED OTHERWISE.
- 2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (6' MINIMUM) PLANTED UNDER THIS CONTRACT.

#### I. DIGGING AND HANDLING

PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (IO) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL

- 2. BALLED AND BURLAPPED (B&B), AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- 4. PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- 5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

#### CONTAINER GROWN STOCK

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- 4. RPG= "ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

#### K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

#### M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.

- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM O BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

### O. PLANTING PROCEDURES

CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY MATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND
- 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING

### 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

- IO. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (I) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- II. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
- 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.,, SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM
- 13. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE

- 14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE SUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO NDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK, IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

#### P. LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE
- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE
- b. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY MATERED IN. FERTILIZE INSTALLED SOD AS ALLOMED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SMEATING OR EXCESSIVE HEAT AND MOISTURE.

#### 6. LAWN MAINTENANCE

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

### CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALI MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

### R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

### FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (I) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (I) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (I) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Know what's **below** 

Call before you dig

BEFORE YOU DIG

IT'S THE LAW! DIAL 811

TYPICAL LANDSCAPE SPECIFICATIONS (FLORIDA)

0 2

|4|

Ш

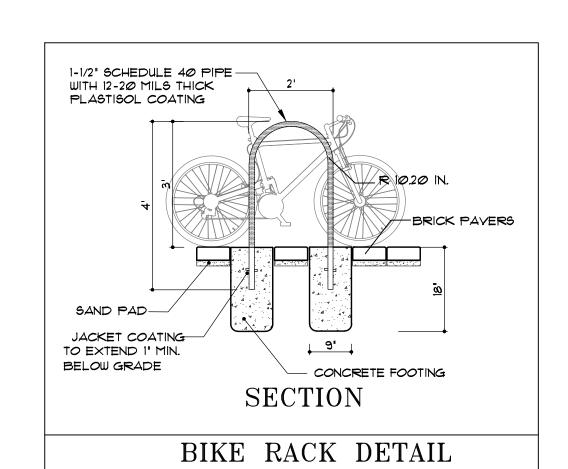
SHEET NUMBER



PROJECT\_

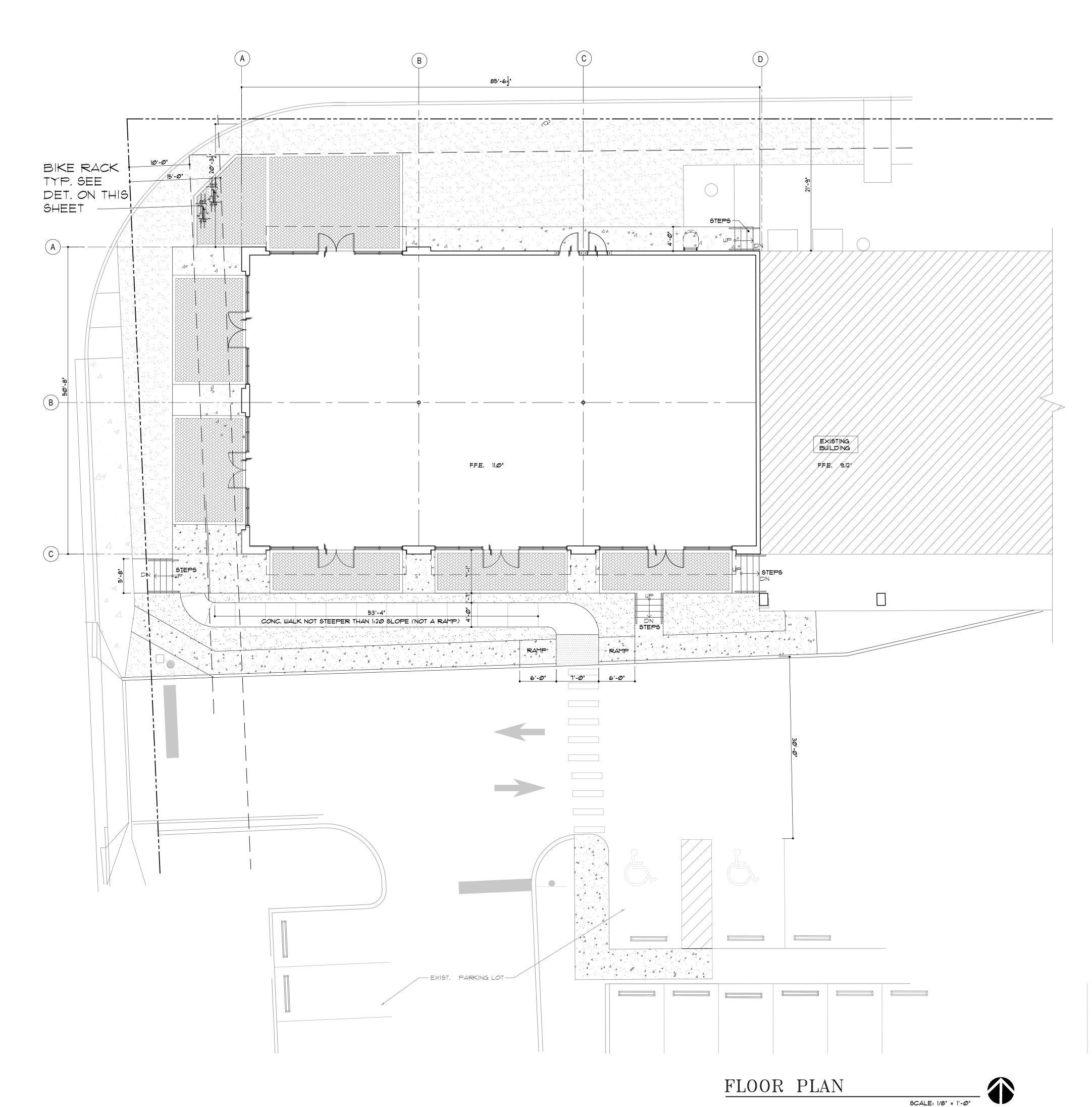
LOCATION

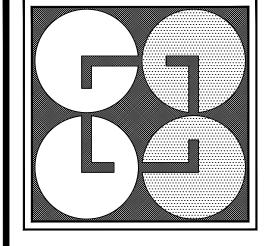




SITE VICINITY MAP

SCALE = NTS





& LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117 FT. LAUDERDALE, FL. 33312 PHONE: (954) 321-3442 FAX: (954) 321-3864 WWW.GUTIERREZLOZANO.COM

REVISIONS

REVISION 12/1/16

DUMPSTER 4/3/17

SEAL

MANUEL GUTIERREZ 
STATE OF FLA. REG. No. 8253

CARLOS LOZANO

STATE OF FLA. REG. No. 0014722

FLORIDA

ACAR MANAGEMENT
T:
URLINGTON PLAZA
OUTH STATE ROAD 7

SHEET TITLE :

FLOOR PLAN

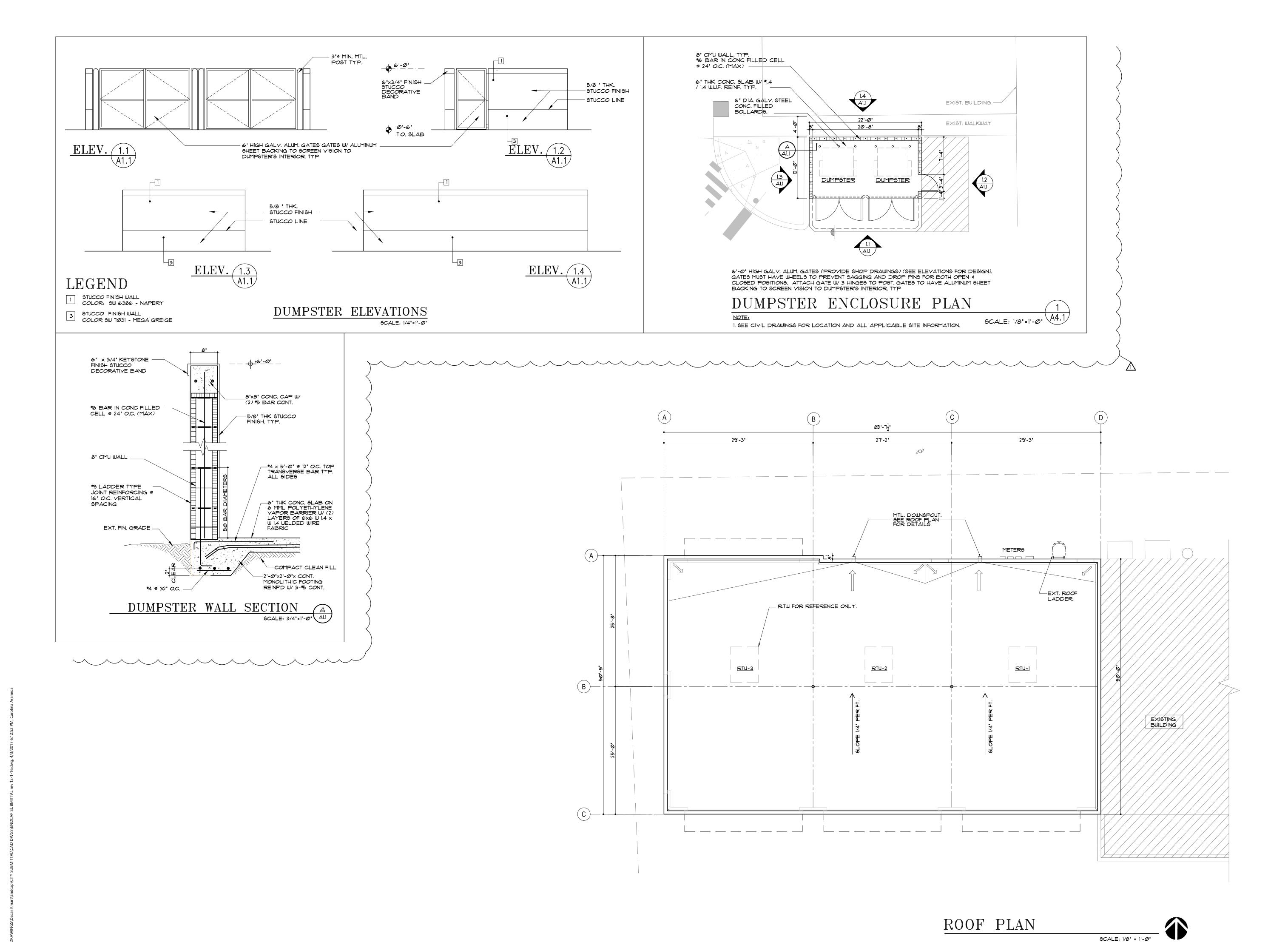
SCALE: 1'=1/8'

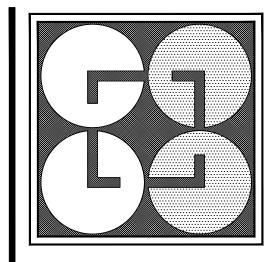
JOB No.:

DATE: 08/05/2016

SHEET

DACAR KMART/ ENDCAP





GUTIERREZ & LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117 FT. LAUDERDALE, FL. 33312 PHONE: (954) 321-3442 FAX: (954) 321-3864 WWW.GUTIERREZLOZANO.COM

REVISIONS

DUMPSTER 4/3/IT

SEAL

MANUEL GUTIERREZ ☐ STATE OF FLA. REG. No. 8253

CARLOS LOZANO 
STATE OF FLA. REG. No. 0014722

W SHOPS FOR:

CAR MANAGEMENT

:

TRLINGTON PLAZA

UTH STATE ROAD 7

SHEET TITLE :

ROOF PLAN

SCALE: 1'=1/8'

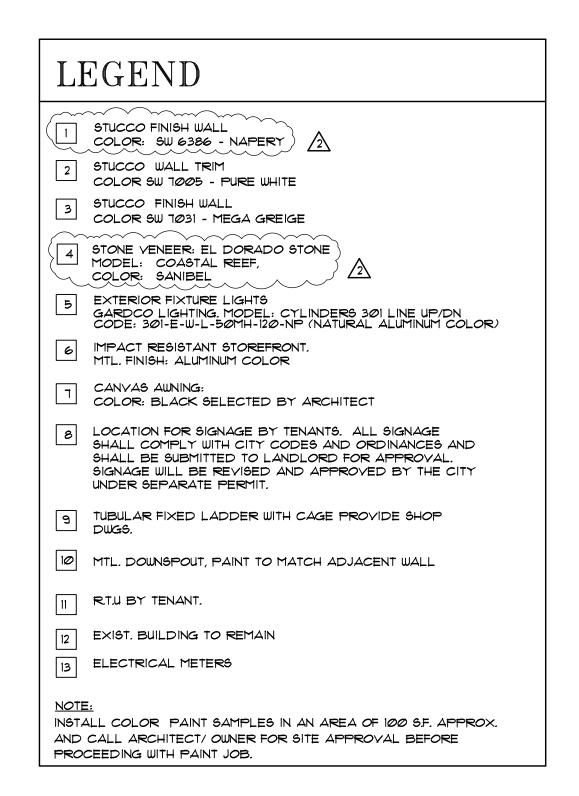
JOB No.:

DATE: 08/05/2016

SHEET

A 1.1

DACAR KMART/ ENDCAP

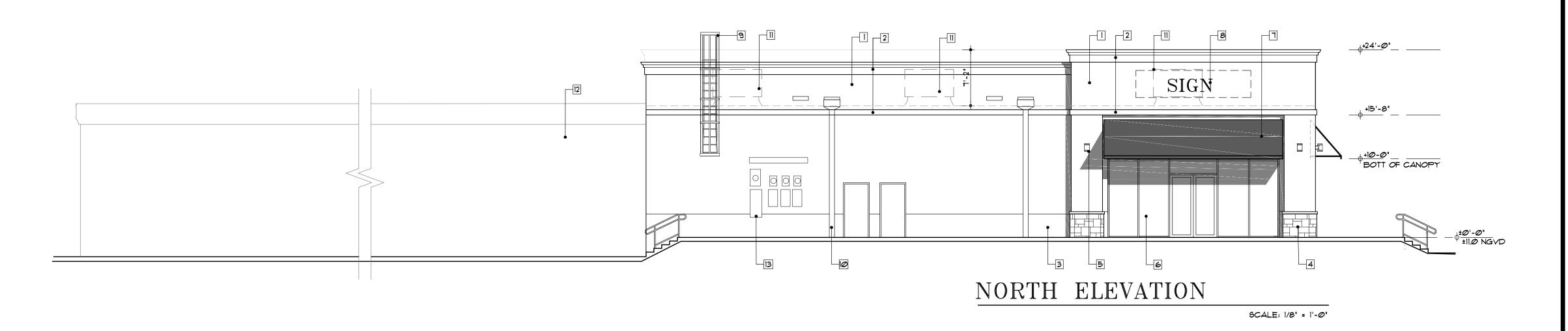


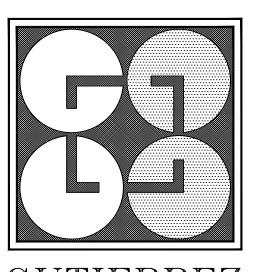


WEST ELEVATION

SCALE: 1/8" = 1'-0"







## GUTTERREZ & LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117
FT. LAUDERDALE, FL. 33312
PHONE: (954) 321-3442
FAX: (954) 321-3864
WWW.GUTIERREZLOZANO.COM

F	REVISIONS
$\triangle$	REVISION 5/14/16
<u>^</u> 2	REVISION 10/21/16

MANUEL GUTIERREZ STATE OF FLA. REG. No. 8253

SEAL

CARLOS LOZANO STATE OF FLA. REG. No. 0014722

DACAR MANAGEMENT
AT:
BURLINGTON PLAZA
SOUTH STATE ROAD 7

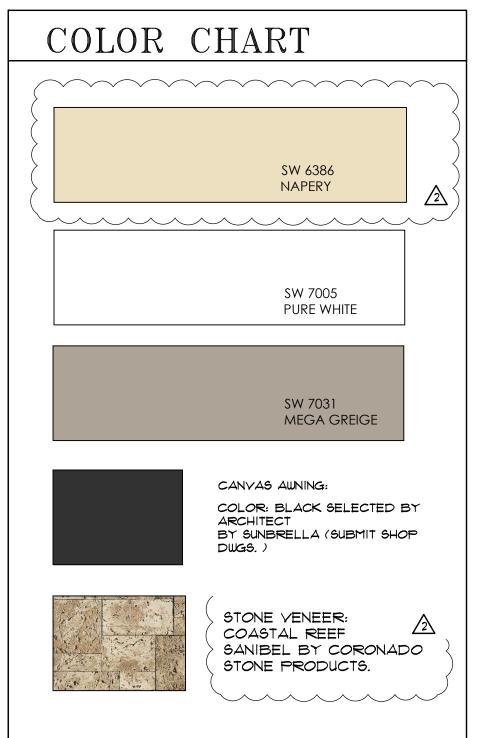
FOR:

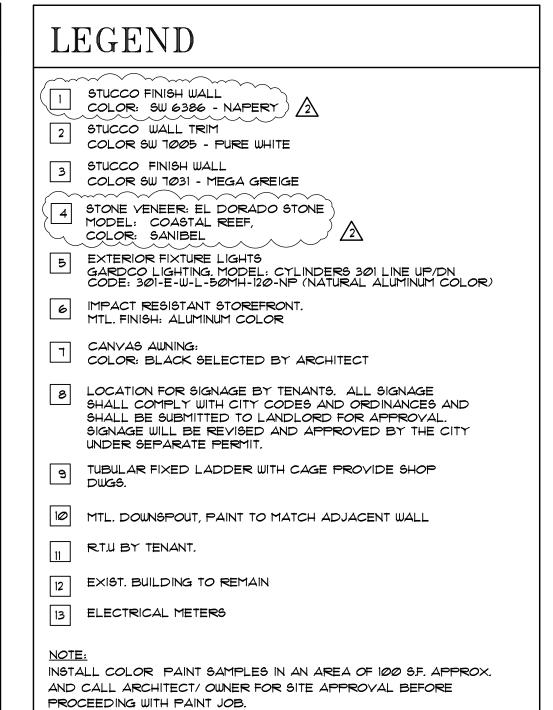
SHOPS

SHEET TITLE :
BUILDING ELEVATIONS
SCALE: 1"=1/8"

_	
JOB No.:	
DATE:	08/05/2016
SI	HEET
A	2.0
	OF

DACAR KMART/ENDCAP







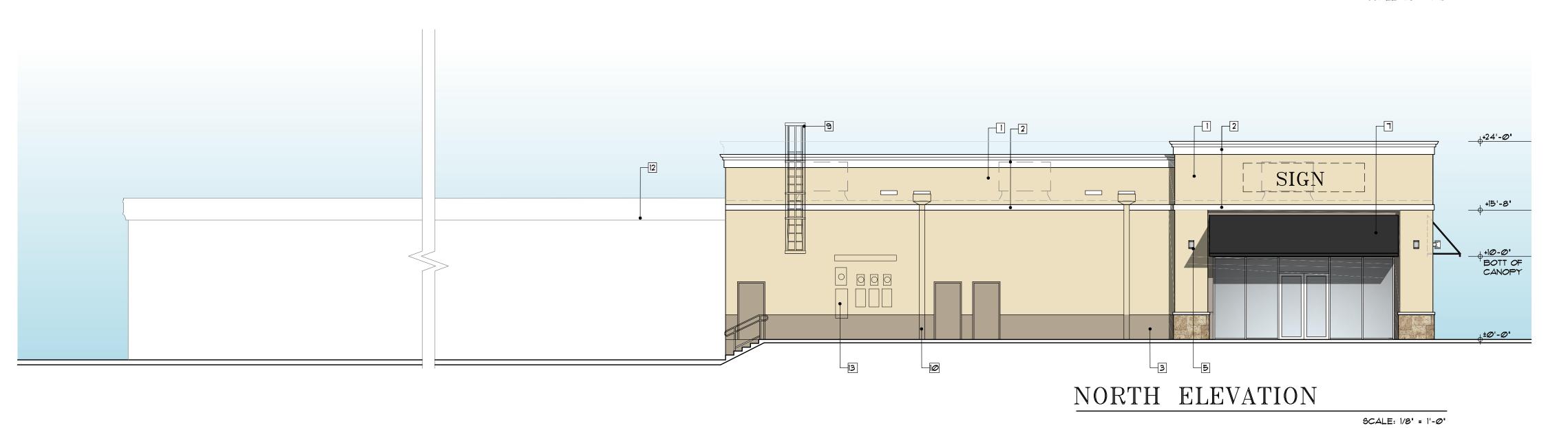
# WEST ELEVATION

SCALE: 1/8" = 1'-0"



# SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



FT. LAUDERDALE, FL. 33312 PHONE: (954) 321-3442 FAX: (954) 321-3864 WWW.GUTIERREZLOZANO.COM

	REVISIONS
$\triangle$	REVISION 5/14/16
<u>^</u> 2	REVISION 10/21/16
I	

MANUEL GUTIERREZ
STATE OF FLA. REG. No. 8253 SEAL

CARLOS LOZANO STATE OF FLA. REG. No. 0014722

MANAGEMENT PLAZA ROAD

FOR:

SHOPS

SHEET TITLE : BUILDING COLOR ELEVATIONS SCALE: 1"=1/8"

JOB No.: DATE: 08/05/2016 SHEET

DACAR KMART/ENDCAP



# BAC/GU WASHINGTON PARK

GENSLER PROJECT NUMBER: 69.6191.100

BAC SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE

# REVISED PER TAC COMMENTS

10.31.2016

851 S STATE RD 7 HOLLYWOOD, FL 33023

# Jones Lang LaSalle

Project Manager 1000 S Federal Hwy, Ste 200 Deerfield Beach, FL 33441 (954) 425-8707 Attn: Andrew De Los Santos

M. Arthur Gensler Jr. & Associates, Inc.

Gensler
Architect
LIC. NO. AA0002837

Main Office
2 Harrison Street, Ste 400

San Francisco, CA 94105

Satellite Office

T: 415.433.3700

100 North Tampa St, Ste. 2300 *Tampa*, FL 33602 T: 813.204.9000 Attn: Alyx Mays

# **Infinity Engineering Group, LLC.**

Engineer of Record 1208 E. Kennedy Blvd., Suite 230 Tampa, FL 33602 T: 813.434.4770 Attn: Brett Nevaril

## EXTERIOR FINISH SCHEDULE

STUCCO/ PLASTER (BASED ON PAREX STUCCO) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

10409 "TUNDRA," SAND FINE FIN. ST-2 10432 "WARM SAND," SAND FINE FIN. ST-3 10447 "MOSS," SMOOTH FIN.

(BASED ON ALPOLIC) **ALUMINUM COMPOSITE METAL PANEL** [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ACM-1 "BRITE RED" #4MMBTR REFER TO SECTION 07 42 43 ACM-2 "RVW WHITE" #3MM4RVW REFER TO SECTION 07 42 43 ACM-3 "MATCH STOREFRONT" REFER TO SECTION 08 41 13

**ALUMINUM GLAZING FRAMES** [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

**CURTAINWALL SYSTEM AS SPECIFIED** AF-2 STOREFRONT SYSTEM AS SPECIFIED

STUCCO ACCESSORIES (ALL PAINTED EXPT-3) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

SA-1 WIDE CHANNEL SCREED AS SPECIFIED SA-2 NARROW CHANNEL SCREED AS SPECIFIED SA-3 MODIFIED CHANNEL SCREED AS SPECIFIED

**METAL COPING** (BAC PERFORMANCE) PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3

(BASED ON BENJAMIN MOORE) **EXTERIOR PAINT** [BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

EXPT-1 [N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS EXPT-2 [N185] COLOR: HC-80 "BLEEKER BEIGE," MATCHES ST-2: WARM SAND EXPT-3 [N185] COLOR: CLASSIC #1039 "STONE HOUSE," MATCHES ST-1: TUNDRA

#### [BAC PERFORMANCE] **EXTERIOR SEALANT COLOR**

GLAZING AT EXTERIOR STOREFRONT (ACM, RED AND WHITE) METAL PANEL TO METAL PANEL WINDOW FRAME/ STOREFRONT TO STUCCO (ACM, RED AND WHITE) METAL PANEL TO STUCCO (ACM, RED AND WHITE) METAL PANEL TO STOREFRONT

MATCH METAL CLIP COLOR MATCH METAL FRAME MATCH ADJACENT STUCCO FINISH MATCH STOREFRONT FRAME

# **GLAZING SCHEDULE**

(BAC PERFORMANCE) **GLAZING** 1 5/16" INSULATED LAMINATED GLAZING AS SPECIFIED 1" O.A. INSULATED LAMINATED GLASS AS SPECIFIED GL-2

# **ABBREVIATIONS**

A		J		Sheet	
ACCES	ACCESSORY	JAN	JANITOR	Number	
ACOUS	ACOUSTIC(AL)	K		A00.00.	COVER
AFF	ABOVE FINISHED FLOOR	KIT	KITCHEN	A001	DRAWING I
AL	ALUMINUM	L			
ALT	ALTERNATE	LAV	LAVATORY		
ANNUNC	ANNUNCIATOR	LB	POUND	<b>A</b> IV //II	
ANOD	ANODIZED	LOUVER	LOUVER	CIVII	
APPL	APPLIANCE	LT	LIGHT	<b>U</b> 1111	
AUTO	AUTOMATIC	LVLG	LEVELING		
AVG	AVERAGE	M		Sheet	
В		M.E.	MATCH EXISTING	Number	
BD	BOARD	MAX	MAXIMUM		CIVIL SPECIFI
BLDG	BUILDING	MECH	MECHANICAL		SWPPP & ERG
BLKG	BLOCKING	MEMB	MEMBRANE		EROSION & S
BOLLD	BOLLARD	MET	METAL		SWPPP GENE
BRDLM	BROADLOOM	MEZZ	MEZZANINE		SITE PLAN
BU	BUILT UP	MFD	MANUFACTURED		GRADING ANI
С		MFR	MANUFACTURER		UTILITY PLAN
CAB	CABINET	MIN	MINIMUM		SITE DETAILS
CEM	CEMENT(ITIOUS)	MISC	MISCELLANEOUS		SITE DETAILS
CER	CERAMIC	MLWK	MILLWORK		CITY OF HOLL
CLG	CEILING	MOIST	MOISTURE		LANDSCAPE I
CMU	CONCRETE MASONRY UNIT	MOT	MOTOR(IZED)		LANDSCAPE I
COATG	COATING	MTD	MOUNTED		ALTA/NSPS LA
COILG	COILING	N		_	
CONC	CONCRETE	NIC	NOT IN CONTRACT		
CONSTR	CONSTRUCTION	NO	NUMBER		
CONT	CONTINUOUS(ATION)	NTS	NOT TO SCALE	ARC	HITEC <sup>-</sup>
CONTR	CONTRACT(OR)	0		<i>,</i>	
COV	COVER	OH	OPPOSITE HAND		
CPT	CARPET	OPNG	OPENING(S)	Ob a at	
D		OPP	OPPOSITE	Sheet Numbe	
DBL	DOUBLE	OPR	OPERABLE	A101	CONSTRU
DEPT	DEPARTMENT	ORNA	ORNAMENTAL	A102	ELEVATIO
DES	DESIGN(ED)	OS	OCCUPANCY SENSOR	A103	ELEVATIO
DET	DETAIL	OVFL	OVERFLOW	A104	DUMPSTE
DF	DRINKING FOUNTAIN	OVHD	OVERHEAD	A105	COLOR EL
DIA	DIAMETER	Р		A106	COLOR EL
DIFF	DIFFUSER	PBD	PARTICLE BOARD		COLORCE
DIM	DIMENSION	PEDTR	PEDESTRIAN		
DISP	DISPENSER	PLAM	PLASTIC LAMINATE		

#### DIVISION PLAS PLASTER DOWN PLSTC PLASTIC DOOR PLYWD PLYWOOD DISCONNECT DSCON PANEL POLYSTYRENE POLYST PORTABLE

PREFABRICATED ELASTOMERIC PREFAB ELECTRICAL PREFINISHED EMBEDD(ED)(ING) PRTECN PROTECTION PARTITION **ENGR** ENGINEER(ED) PTN **ENTR ENTRANCE** EQ READER EQUAL **EQUIP EQUIPMENT** RECESS(ED) EX **EXISTING** RECEPTACLE EXP JT **EXPANSION JOINT** REF REFER(ENCE) EXPOSE(D) REFL REFLECTED REFRIGERATOR EXT **EXTERIOR** REQUIRED REQD RESIST(ANT)(IVE)

SIM

SST

STD

STL

SURF

SUSP

SYS

T&G

THK

TLT

**TRANS** 

TRTD

TYP

UON

UTIL

VEH

VERT

W/O

WD

WDW

WT

TG

STRFR

SIMILAR

STANDARD

STOREFRONT

SUSPENDED

TONGUE AND GROOVE

TEMPERED GLASS

SYSTEM(S)

THICK

TOILET

TRAFFIC

TREATED

TYPICAL

UNDRLAY UNDERLAYMENT

UTILITY

VEHICLE

VERTICLE

WITH

WITHOUT

WOOD

WINDOW

WEIGHT

WTRPRF WATERPROOFING

VERIFY IN FIELD

WATER CLOSET

TRANSPARENT

SURFACE

STEEL

STRUCT STRUCTURAL

STAINLESS STEEL

**FABRICATION** RESIS FLOOR DRAIN RFG FD ROOFING FIRE EXTINGUISHER ROOM FIRE EXTINGUISHER AND CABINET FHC FIRE HOSE CABINET FINISH SCR SCRIBE SECURITY FOLDING FLDG FLR FLOOR(ING) SQUARE FEET FPLC FIREPLACE SGL SINGLE FIRE RAT(ING)(ED) SHORG SHORING

FURN FURNITURE FABRIC WALL COVERING FXD FIXED FIXTURE GAUGE GROUND FAULT CIRCUIT GFCI INTERRUPTER GLASS FIBER REINFORCED

FRAMING

CONCRETE GLASS FIBER REINFORCED GYPSUM GLASS FIBER REINFORCED PLASTER GLASS GRAD(E)(ING)

GYP GYPSUM HEAD HD HARDWOOD HDWE HARDWARE **HOLLOW METAL** HORIZONTAL HEATING, VENTILATING, AND AIR

INTLK INTERLOCK(ING)

FRMG

CONDITIONING INFILTR INFILTRATION INFORMATION INSTRUM INSTRUMENT(ATION) INSUL INSULATION INT INTERIOR

# **DRAWING INDEX**

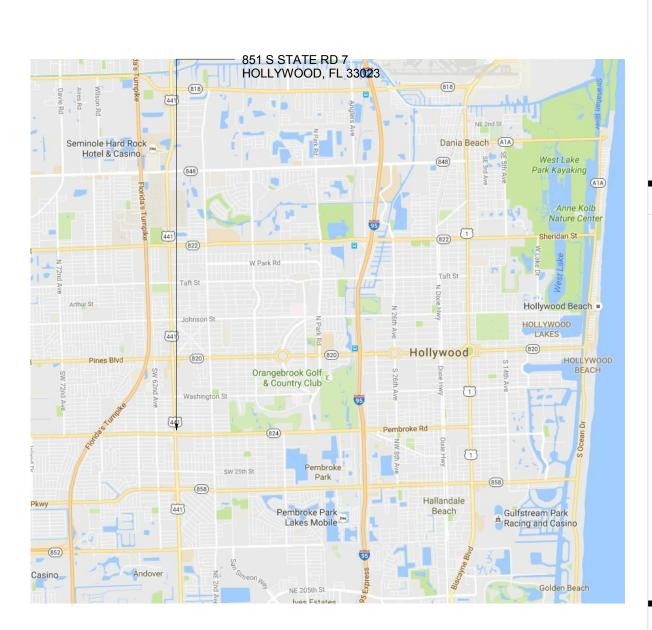
Sheet		Re	visions	
Number	Sheet Name	Latest	Date	Current Revision Description
A00.00.	COVER	3	10.31.2016	REVISED PER TAC COMMENT
A001	DRAWING INDEX	3	10.31.2016	REVISED PER TAC COMMENT

Sheet		R	evisions	
Number	Sheet Name	Latest	Date	Current Revision Description
C00.01	CIVIL SPECIFICATIONS	3	10.31.2016	REVISED PER TAC COMMENT
C01.01	SWPPP & EROSION CONTROL PLAN	3	10.31.2016	REVISED PER TAC COMMENT
C01.02	EROSION & SEDIMENT CONTROL PLAN	3	10.31.2016	REVISED PER TAC COMMENT
C01.03	SWPPP GENERAL REQUIREMENTS	3	10.31.2016	REVISED PER TAC COMMENT
C02.01	SITE PLAN	3	10.31.2016	REVISED PER TAC COMMENT
C03.01	GRADING AND DRAINAGE PLAN	3	10.31.2016	REVISED PER TAC COMMENT
C04.01	UTILITY PLAN	3	10.31.2016	REVISED PER TAC COMMENT
C12.01	SITE DETAILS	3	10.31.2016	REVISED PER TAC COMMENT
C12.02	SITE DETAILS	3	10.31.2016	REVISED PER TAC COMMENT
C12.03	CITY OF HOLLYWOOD DETAILS	3	10.31.2016	REVISED PER TAC COMMENT
L01.01	LANDSCAPE PLAN	3	10.31.2016	REVISED PER TAC COMMENT
L02.01	LANDSCAPE PLANTING DETAILS	3	10.31.2016	REVISED PER TAC COMMENT
1 OF 1	ALTA/NSPS LAND TITLE SURVEY	3	10.31.2016	REVISED PER TAC COMMENT

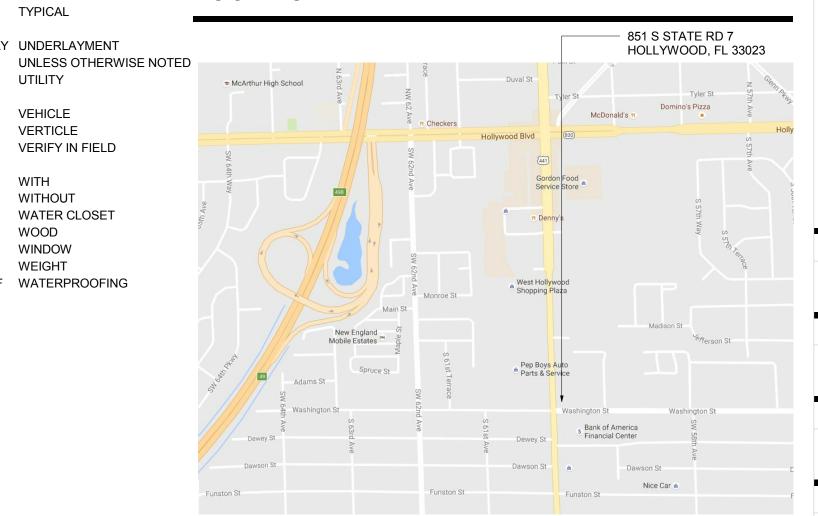
# TURAL

Sheet		Re	visions	
Number	Sheet Name	Latest	Date	Current Revision Description
A101	CONSTRUCTION PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
A102	ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS
A103	ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS
A104	DUMPSTER ENCLOSURE	3	10.31.2016	REVISED PER TAC COMMENTS
A105	COLOR ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS
A106	COLOR ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS

# **VICINITY MAP**



# **LOCATION MAP**



# Bank of America 🧼

851 S STATE RD 7 HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66 DESIGNATION: SIGNATURE NRSP VERSION: 2.0 2-2016 BULLETIN:

M. Arthur Gensler Jr. & Associates Inc.

# LIC. NO. AA0002837

Main Office

2 Harrison Street Suite 400 San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

## 

1 08.15.16 ISSUE FOR TAC SUBMISSION

3 10.31.16 REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

Project Name BAC/GU WASHINGTON PARK

**Project Number** 69.6191.100

Scale 12" = 1'-0"

Description DRAWING INDEX

© 2016 Gensler

#### GENERAL CONSTRUCTION NOTES

- 1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES. STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION
- 2 THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- 3. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES. ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY
- 5. ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO SHALL BE OF LATEST REVISIONS AND/OR LATEST
- 6. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
- CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR'S AND UTILITY COMPANIES.
- 9. BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AND COMPACTED TO A FIRMNESS EQUAL TO THAT OF THE SOIL ADJACENT TO THE TRENCH AROUND PIPES IN 6" LAYERS UP TO AN UNDISTURBED LEVEL OF AT LEAST 1' ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99
- 10. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED, SPECIFIED OR REQUIRED.
- 11. REINFORCING SHALL BE BILLET STEEL BARS CONFORMING TO ASTM A615 GRADE 40 OR BETTER.
- 12. THE CONTRACTOR/SUBCONTRACTOR SHALL PLACE A 1" DEEP CONTRACTION JOINT EVERY 4' IN THE SIDEWALK.
- 13. SIDEWALK CONSTRUCTION SHALL BE FLUSH WITH PAVEMENT WHERE THEY ARE ADJACENT OR MEET, UNLESS OTHERWISE SHOWN.
- 14. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1994, OR LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO.
- 15. ALL PIPE NOTED ON THE PLANS AS RCP SHALL BE REINFORCED CONCRETE PIPE, CLASS III, WITH RUBBER GASKET JOINTS.
- 16. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 17. RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON A SET OF THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS. WITHIN TWO WEEKS FOLLOWING FINAL INSPECTION THE CONTRACTOR SHALL SUBMIT ONE SET OF RECORD DRAWINGS TO THE ENGINEER OF RECORD. THE FINAL RECORD DRAWINGS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
- DRAWINGS TO BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
- DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UTILITIES, AND RELATED APPURTENANCES, BOTH ABOVE AND BELOW GROUND. ALL CHANGES TO PIPING LOCATION INCLUDING HORIZONTAL & VERTICAL LOCATIONS OF UTILITIES & APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE MPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, ETC.
- DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIFLD ORDER OR BY CHANGE ORDER
- DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN
- e. LOCATIONS OF ALL MANHOLES, HYDRANTS, VALVES, & VALVE BOXES SHALL BE SHOWN.
- f. THE CONTRACTOR SHALL PROVIDE CERTIFIED RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL UTILITIES INCLUDING THE SANITARY SEWER, WATER, PRODUCT PIPING, AND STORM WATER COLLECTION SYSTEM (I.E. PIPES, INLETS, AND PONDS). THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.
- 18. CLASS "B" TYPE I BEDDING SHALL BE USED UNLESS INDICATED OTHERWISE ON THE DRAWINGS, OR BY THE
- 19 SOILS ENGINEER TO SUPPLY THE DESIGN ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS ASPHALT RESULTS. AND CONCRETE RESULT.S THE SOILS ENGINEER IS TO CERTIFY TO THE DESIGN ENGINEER IN WRITING THAT ALL TESTING REQUIREMENTS REQUIRED BY THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE IMPROVEMENTS AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS FOR THE ON-SITE HAVE BEEN SATISFIED.
- 20. CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
- 21. IRRIGATION SYSTEM SHALL HAVE COLOR CODED PIPING AND LABELING ON THE PIPE TO ENSURE DIFFERENTIATION FROM POTABLE WATER PIPING.
- 22. AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS. THE CONTRACTOR'S NAME STARTING DATE. PROJECTED SCHEDULE. AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 23. OWNER SPECIFIC SPECIFICATIONS TO BE PROVIDED TO CONTRACTOR DURING BIDDING.

### DRAINAGE SYSTEM NOTES

- 1. STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- 2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
- 3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS WHICH ARE INCLUDED IN LENGTHS.
- 4. ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20
- 5. CONTRACTOR TO SOD THE DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING
- 6. THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR SHALL COORDINATE A FINAL INSPECTION OF THE COMPLETED STORMWATER MANAGEMENT SYSTEM PRIOR TO FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION

## STANDARD UTILITY NOTES

- 1. CHAPTER 77-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. MAPS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS AND DO NOT SHOW SERVICE LINES. THE ONLY SAFE AND PROPER WAY TO LOCATE EITHER MAINS OR SERVICE LINES IS BY AN ON-SITE INSPECTION BY THE RESPECTIVE GAS PERSONNEL.THEREFORE, EXCAVATORS ARE INSTRUCTED TO TELEPHONE THE RESPECTIVE GAS COMPANY TWO WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.
- 2. ALL UNDERGROUND UTILITIES MUST BE IN PLACE, TESTED AND INSPECTED AS REQUIRED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- 3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, BY CALLING FLORIDA SUNSHINE STATE ONE CALL CENTER OF FLORIDA, INC. AT 1-800-432-4770. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY SUNSHINE" FORTY-EIGHT (48) HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY"
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
- ALL UTILITIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, THE FOLLOWING SHOULD BE CONTACTED BY THE
- TELEPHONE CABLE
- POWER CITY/COUNTY WATER AND SEWER
- CITY/COUNTY/STATE TRAFFIC SIGNAL UTILITY (FIBER, HARDWIRE TRAFFIC SIGNAL INTERCONNECT)
- 5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS ACCURACY UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE OF THESE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFACE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 6. COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES
  - WHITE PROPOSED EXCAVACTION.
  - PINK TEMPORARY SURVEY MARKINGS. RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES.
  - YELLOW GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS. ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT.
  - BLUE POTABLE WATER. PURPLE - RECLAIMED WATER, IRRIGATION AND SLURRY LINES.

#### GREEN - SEWERS AND DRAIN LINES.

#### PAVING AND GRADING NOTES . ALL DELETERIOUS MATERIAL (I.E., MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESES PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY.

- DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING. SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS.
- 3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- 4. REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURBING AND GUTTERS CALLED FOR ON THESE PLANS.
- 5. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY FLEVATION CHANGES
- 6. PRIOR TO CONSTRUCTION OF CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR REVIEW.
- 7. CONTRACTOR TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
- 8. ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO FDOT STANDARD INDEX NO. 17346. SHEETS 1-7. PARKING STALL STRIPING TO BE 4" WIDE PAINTED STRIPES. ON-SITE STRIPE COLOR SHALL BE WHITE EXCEPT AS SHOWN ON THE ENGINEERING PLANS. PARKING STALL STRIPING SHALL BE COMPATIBLE WITH THE PAVEMENT TYPE (IE CONCRETE, ASPHALT) AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- 9. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- 10. CONTRACTOR SHALL INSTALL STORM PIPING AND CULVERTS IN ACCORDANCE WITH FDOT INDEX 205 AND PLACE EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO THE TESTING SCHEDULE REQUIRED BY APPLICABLE REGULATORY AGENCIES AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

### WATER SYSTEM NOTES

LINES AS NECESSARY

- 1. A VERTICAL CLEARANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN SANITARY SEWERS AND WATER MAINS. IF CLEARANCE CANNOT BE ACHIEVED BY ADJUSTING WATER MAINS THE SANITARY SEWER SHALL BE CONSTRUCTED PER SANITARY NOTE No. 1 BELOW.
- 2. A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER.
- 3. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- 4. ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND "SPECIFICATIONS OF
- OCTOBER 2011 COLLIER COUNTY WATER AND SEWER STANDARDS" 5. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER
- 6. ALL BURIED DUCTILE IRON PIPE SHALL BE CLASS 53 IN ACCORDANCE WITH ANSI A 21.50 (AWWA C150) AND ANSI A 21.51 (AWWA C151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8 OR A 21.51 AND SHALL BE MORTAR LINED, STANDARD THICKNESS, AND BITUMINOUS SEALED IN
- ACCORDANCE WITH ANSI A (AWWA C 104-71). 7. ALL BURIED FITTINGS LARGER THAN 2" SHALL BE DUCTILE IRON CLASS 53 IN ACCORDANCE WITH AWWA C-110 WITH A PRESSURE RATING OF 350 PSI. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH AWWA
- C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH AWWA C-104. 8. CONTRACTOR TO INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.
- 9. THRUST BLOCKING AND/OR RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS
- 10. ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C-900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241, AND COLOR CODED BLUE.
- 11. ALL FITTINGS 3" AND SMALLER SHALL BE CLASS 160 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS.
- 12. ALL WATER MAINS AND WATER SERVICES TO BE INSTALLED UNDER ROAD UNDERDRAIN SHALL MAINTAIN 18"
- 13. MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE LOCAL REGULATORY AGENCY DEPARTMENT OF PUBLIC UTILITIES.
- 14. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT AND AWWA SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE
- 15. CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING REQUIRED TO OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM THROUGH LOCAL REGULATORY AGENCIES. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.

#### SANITARY SEWER NOTES

- 1. PER FAC 62-604.400 (2)(G) "SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE LIPPER PIPE & THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS & WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS. ALTERNATIVELY, THE SEWER MAIN MAY BE ENCASED IN A SLEEVE OR ENCASED IN CONCRETE TO OBTAIN THE EQUIVALENT OF THE REQUIRED 10 FEET SEPARATION.
- 2. A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER.
- 3. ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE. SDR 26 AND COLOR CODED GREEN
- 4. ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND "SPECIFICATIONS OF OCTOBER 2011 - COLLIER COUNTY WATER AND SEWER STANDARDS".
- 5. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- 6 PVC PIPE AND FITTINGS SHALL CONFORM WITH A S.T.M. SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 26 INSTALLATION OF SDR PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF A.S.T.M. SPECIFICATION DESIGNATION D2321. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.
- 7. ALL PVC FORCE MAINS WITHIN PUBLIC R/W SHALL BE CLASS 200, SDR 18, WITH MECHANICAL JOINTS, AND HAVE A GREEN MAGNETIC TAPE A MINIMUM OF 3" WIDE. PLACED 24" BELOW THE PROPOSED GRADE.THE PRINT ON THE MAGNETIC TAPE SHOULD READ "FORCE MAIN".
- 8. ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE D.I.P. ARE TO BE POLYLINED OR EPOXY LINED.
- 9. ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

- 10. SANITARY SEWERS SHALL HAVE A MINIMUM COVER OF THREE (3) FEET AND SHALL BE INSTALLED. ACCOMPANIED BY A METAL TAPE SIMILAR TO "TERRATAPE" COLORED GREEN AND LAID ONE FOOT ABOVE THE
- 11. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION
- 12. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND
- 13. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL COORDINATION AND NOTIFICATION OF ALL PARTIES IS CONTRACTOR'S RESPONSIBILITY.

### GEOTECHNICAL NOTE

CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES OUTLINED IN THE SITE GEOTECHNICAL

#### CLEARING AND EROSION CONTROL NOTES

THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.

- 1. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO
- 2. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN
- 3. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- 4. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. HAY BALES SHALL BE PLACED ALONG THE STOCKPILE PERIMETER FOR EROSION CONTROL.
- 5. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- 6. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
- 7. CONTRACTOR TO OBTAIN SITE CLEARING & TREE REMOVAL PERMIT PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITIES AND CLEARING THE SITE.
- 8. PROTECTION OF EXISTING STORM SEWER SYSTEMS: DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES. SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- 9. ALL DISTURBED AREAS WHICH ARE NOT TO BE SODDED ARE TO BE SEEDED AND MULCHED TO FDOT STANDARDS AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND ENGINEER.
- 10. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (STRAW BALE OR STAKED SILT FENCE) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES. EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO RECOVER SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- 11. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.
- 12. THERE SHALL BE NO DISCHARGE (I.E. PUMPING. SHEET FLOW, SWALE, DITCH, ETC.) INTO EXISTING LAKE SYSTEM, WETLAND, OR RIVER, WITHOUT THE USE OF SETTLING PONDS. IF THE CONTRACTOR DESIRES TO DISCHARGE INTO THE EXISTING LAKE SYSTEM OR RIVER. A SETTLING POND PLAN MUST BE SUBMITTED AND

APPROVED BY THE ENGINEER AND LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.

# SAFETY NOTES

- 1. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, THE CONTRACTOR SHALL COMPLY WITH REGULATIONS. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF ITS PERSONNEL. LABOR SAFETY REGULATIONS SHALL BE AS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF LABOR.
- 2. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION. MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKERS FROM HAZARDS WITHIN THE PROJECT LIMITS.
- 3. ALL TRAFFIC CONTROL MARKINGS, FLAGGERS, AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- 4. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

# Bank of America 🤎

851 S STATE RD 7 HOLLYWOOD, FL 33023

**SERIAL NUM.:** FLW-C66 DESIGNATION: SIGNATURE NRSP VERSION: 2-2016

M. Arthur Gensler Jr. & Associates Inc.

Main Office

2 Harrison Street Tel 415.433.3700 Fax 415.836.4599 Suite 400 San Francisco CA 94105



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

#### Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

2 09.15.16 ISSUE FOR LL REVIEW 3 11.02.16 ISSUE FOR PERMIT

4 12.13.16 ADD FIRE HYDRANT PER TAC 5 01.06.17 REVISED PER COUNTY

Seal / Signature	
	NISIT SAPPARKHAO, P.E. FL REG. NO. 64085

# Project Name

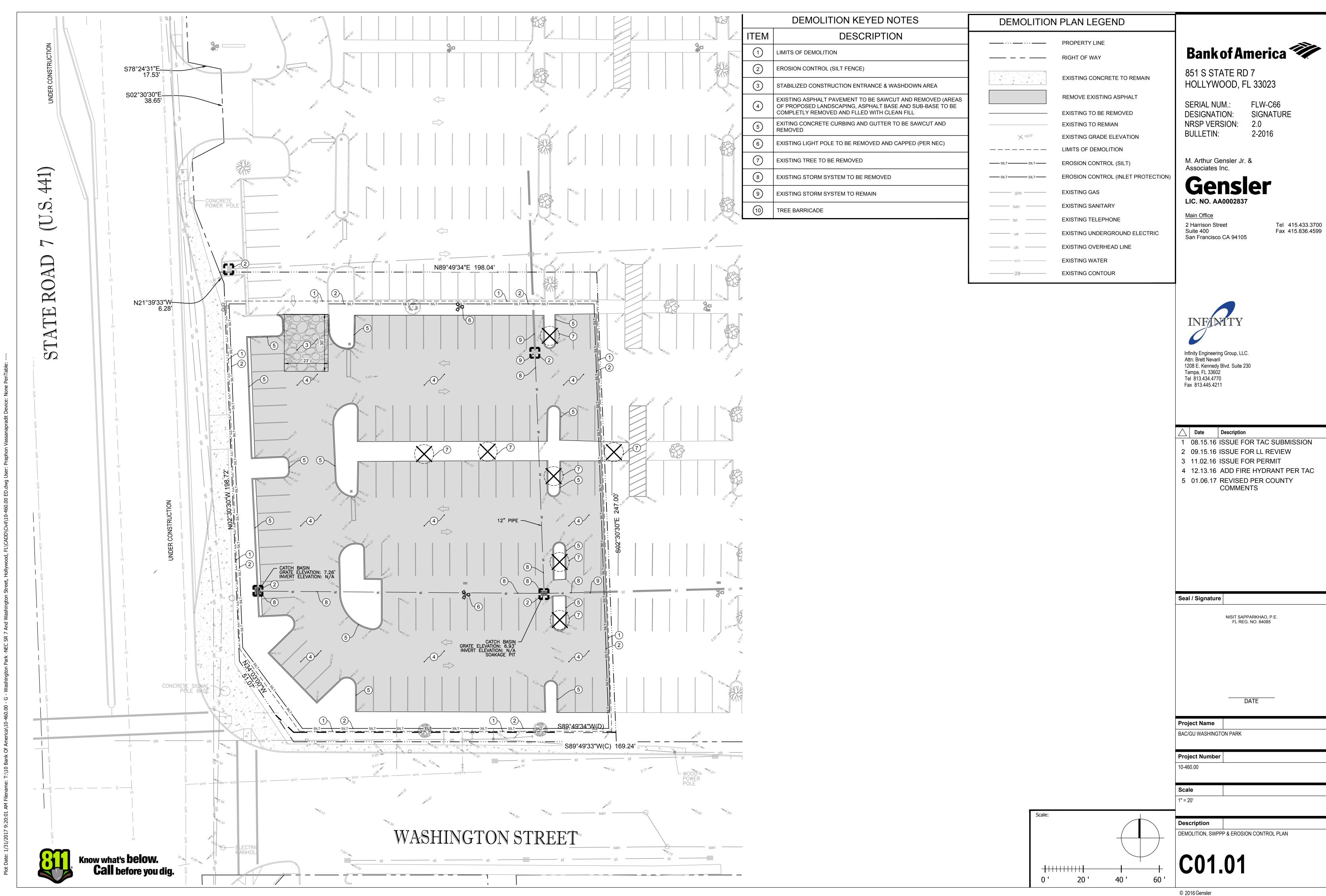
**BAC/GU WASHINGTON PARK** 

**Project Number** 

10-460.00

Description

**CIVIL SPECIFICATIONS** 

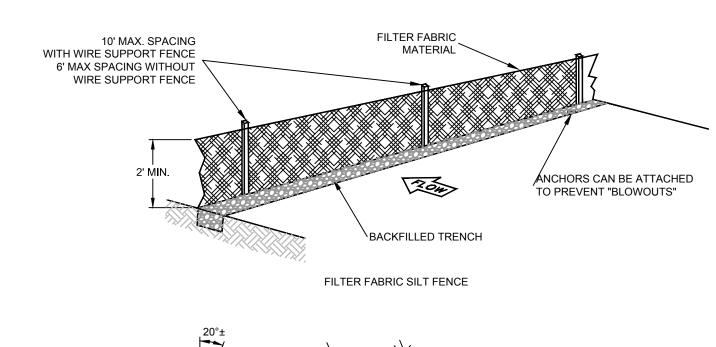


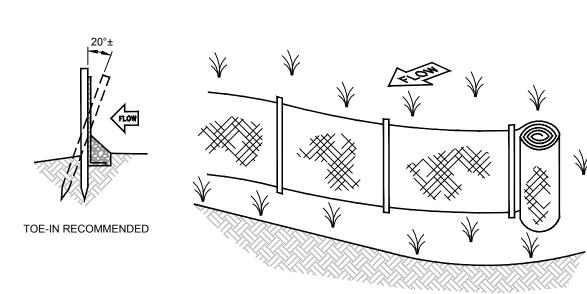
# STORMWATER POLLUTION PREVENTION PLAN

SYNTHETIC BALES MUST

BE TIGHTLY ABUTTING

WITH NO GAPS





ATTACHING TWO SILT FENCES PLACE THE END POST OF THE SECOND

DIRECTION OF **RUNOFF WATER** 

TO CREATE A TIGHT SEAL WITH THE

3. DRIVE BOTH POSTS ABOUT 10 INCHES INTO THE GROUND AND BURY FLAP

FENCE INSIDE THE END POST OF THE

ROTATE BOTH POSTS AT LEAST 180

**DEGREES IN A CLOCKWISE DIRECTION** 



1. 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.

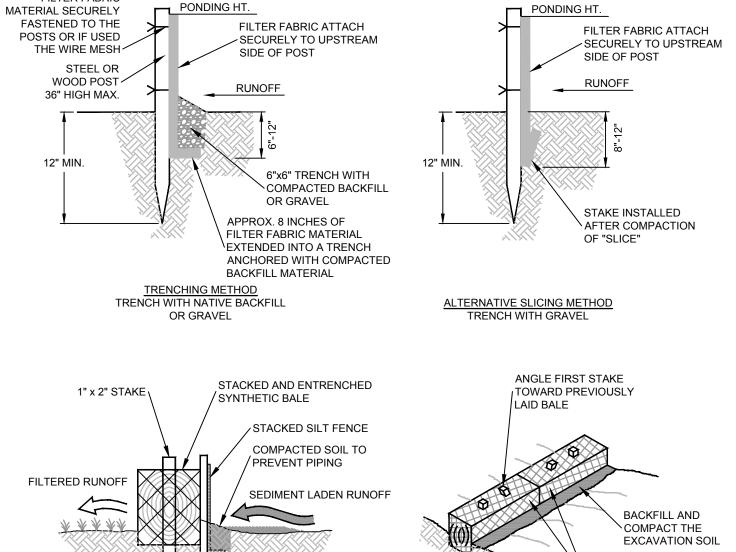
2. 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN

AREA THAT WILL NOT CONTRIBUTE SEDIMENT

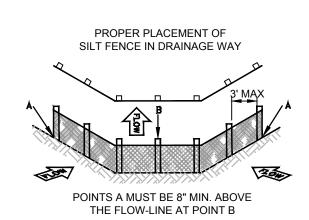
OFF-SITE AND CAN BE PERMANENTLY STABILIZED

PREASSEMBLED SILT FENCE

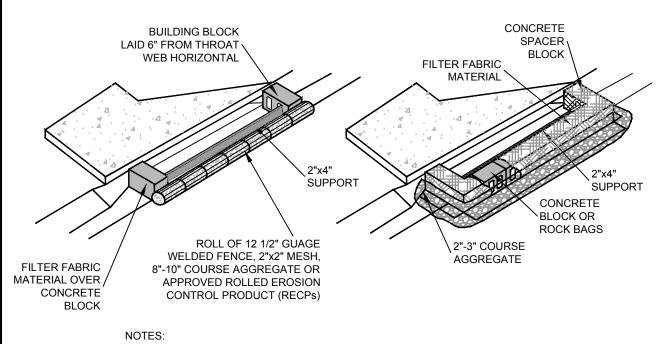
3. 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY



PROPER PLACEMENT OF SYNTHETIC BALE BARRIER IN DRAINAGE WAY



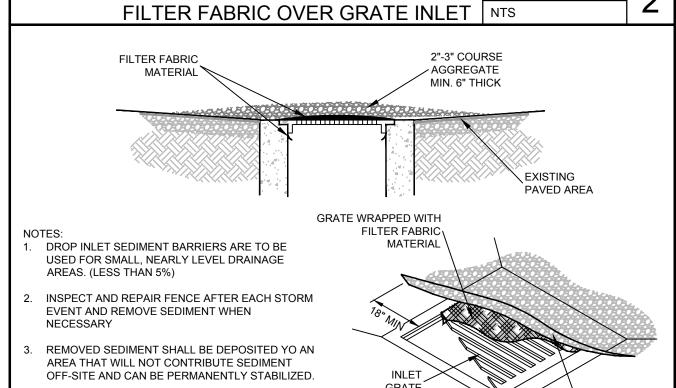
TEMPORARY EROSION AND SEDIMENT CONTROL BARRIERS SILT FENCE & SYNTHETIC BALES STATE NAME OF THE PROPERTY OF THE



1. FIBROUS FILTER MATERIAL IN FRONT OF BLOCK PREVENTS GRAVEL FROM WASHING INTO STRUCTURE. 2. 2"x4" BEHIND BLOCK AND ACROSS THROAT HELPS KEEP BLOCK IN PLACE

PLACE IN OUTER HOLE OF SPACER BLOCK. 3. FILTER FABRIC AND AGGREGATE, SIMILARLY PLACED, MAY ALSO BE USED.

TEMPORARY EROSION CONTROL | SCALE



SILT FENCE SHALL BE PLACED ON SLOPE

CONTOURS TO MAXIMIZE PONDING EFFICENCY

# POST PAVEMENT EROSION CONTROL | SCALE FILTER FABRIC OVER GRATE INLET | NTS

#### WHERE GRADE EXCEEDS 2% POST (OPTIONS: 2"x4" OR 2 ½ MIN DIA. WOOD **EROSION CONTROL** DIVERSION BERM 18 OZ. NYLON REINFORCED PVC FABRIC (300 PSI TEST) ROADWAY STAKED TURBIDITY BARRIERS SEDIMENT BARRIER 5/16" VINYL SHEATHED EAW STEEL FOAM FLOTATION (6" DIA. EQUIV.) CABLE (9800 LBS. BREAKING STRENGTH) (12 LBS. PER FT. BUOYANCY) WITH GALVANIZED CONNECTORS (TOOL REINFORCED) CLOSED CELL SOLID PLASTIC FOAM FLOTATION (6" DIA. EQUIV.) SLOTTED PVC CONNECTOR PIPE (METAL COLLAR REINFORCED) SUPPLY WATER TO WASH WHEELS IF NECESSARY ROPE 600 LB REINFORCED PVC FABRIC BREAKING STRENGT (300 PSI TEST) WITH LACING PVC FABRIC PLATE

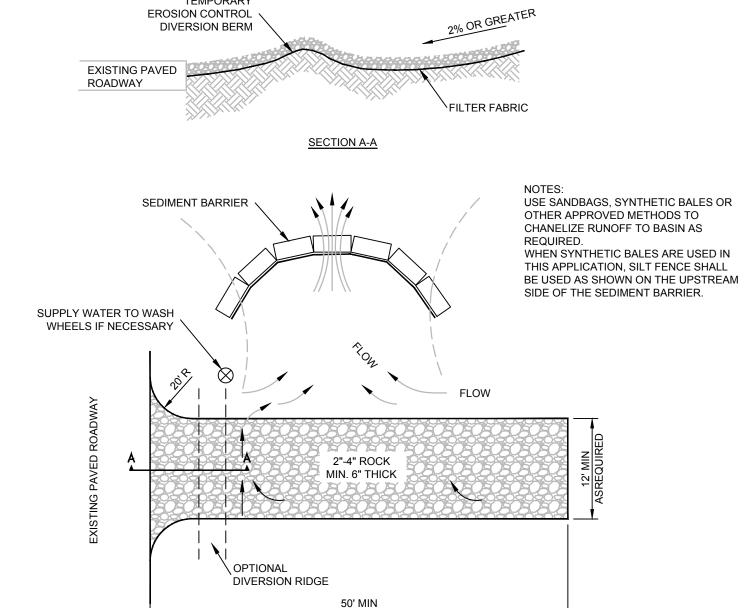
TYPE I

FLOATING TURBIDITY BARRIERS

## 1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.

- 2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
- 3. DEPLOYMENT OF BARRIER AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
- 4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS

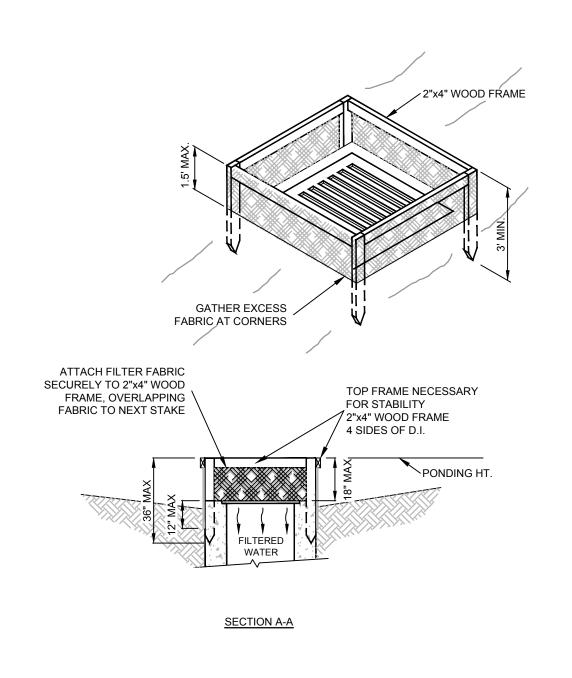
TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING. OR STAKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPE(S) WILL BE AT THE CONTRACTORS OPTION UNLESS OTHERWISE SPECIFIED IN THE PLANS. HOWEVER, PAYMENT WILL BE UNDER THE CONTRACT LUMP SUM PRICE ESTABLISHED IN THE BID PROPOSAL FOR EROSION AND SEDIMENT CONTROL POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.



DIVERSION RIDGE REQUIRED

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

- 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY.
- 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED



1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS.

- 2. USE 2"X4" WOOD OR EQUIVALENT METAL STAKES. (3 FT. MIN. LENGTH)
- 3. INSTALL 2"x 4" WOOD TOP FRAME TO INSURE STABILITY.
- 4. THE TOP DF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

## **EROSION AND SEDIMENT CONTROL NOTES**

. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.

2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.

3. ADDTIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.

4. CONTACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES. ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.

5. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULAIIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

#### PRE-CONSTRUCIION SITE PROTECTION

8. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADAIION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.

9. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL

0. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER OR INLET, REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

12. ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION. SILT SCREENS, SYNTHETIC BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.

#### SITE PROTECTION:

2"-3" COURSE

<sup>\</sup> AGGREGATE

13. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIER IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. USING WIRE BACKING FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.

14. WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE

15. SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.

16. SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES. AROUND INLETS OR ABOVE/ BELOW WHERE CULVERTS DISCHARGE.

7. SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.

18. ALL DEVICES INCLUDING SILT FENCE. FILTER BARRIERS. SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS. END RUNS AND UNDERCUTTING BENEATH BARRIERS.

19. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY

20. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY

## STORM DRAIN INLET PROTECTION:

22. 2 INCH - 3 INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18

23. IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE PULLED AWAY FROM

POST-CONSTRUCTION SITE PROTECTION:

AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.

24. ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER

COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED. 25. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE. NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE

26. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.

27. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

# Bank of America 🧼

851 S STATE RD 7 HOLLYWOOD, FL 33023

**SERIAL NUM.:** FLW-C66 DESIGNATION: SIGNATURE NRSP VERSION: 2-2016

M. Arthur Gensler Jr. & Associates Inc.

Main Office 2 Harrison Street Suite 400 San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

### Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

2 09.15.16 ISSUE FOR LL REVIEW 3 11.02.16 ISSUE FOR PERMIT

4 12.13.16 ADD FIRE HYDRANT PER TAC

5 01.06.17 REVISED PER COUNTY

Seal / Signature

NISIT SAPPARKHAO, P.E. FL REG. NO. 64085

BAC/GU WASHINGTON PARK

Project Number

**EROSION & SEDIMENT CONTROL DETAILS** 

WHEN CONSTRUCTION IS COMPLETE. THE SITE DISCHARGES TO AN UNDERGROUND DETENTION SYSTEM. WHERE PRACTICAL, TEMPORARY SEDIMEN' BASINS WILL BE USED TO INTERCEPT SEDIMENT BEFORE ENTERING THE PERMANENT DETENTION BASIN. THE DRY DETENTION SYSTEM IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THIS TYPE OF DEVELOPMENT AT THE TIME IT WAS CONSTRUCTED.

### TIMING OF CONTROLS/MEASURES

REFER TO "CONTRACTORS RESPONSIBILITY" FOR THE TIMING OF CONTROL/MEASURES.

#### CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING

PERMITS HAVE BEEN OBTAINED.

DEP STANDARD GENERAL STORMWATER PERMIT NO.

DEP NPDES PERMIT NO.:

## OWNER'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS

DININIEINT FOR	KNOWING VIOLATIONS.
SIGNED:	
	OWNER / OPERATOR
DATED:_	

PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSON AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

### SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

\* AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

\* ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS

AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

\* PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.

\* SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

\* WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

\* MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

\* THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT PECIFICATIONS.

 TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.

INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION

BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLO CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS.

DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY

OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE **EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY** SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, THE PROPOSED STORMWATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR US AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET ( STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT AR EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY. REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL

### MAINTENANCE/INSPECTION PROCEDURES

STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER

**EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE** 

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS. AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN

\* DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

RESPONSIBLE FOR/DUTIE	GENERAL CONTRACTO	SUB-CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR
BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS					
SIGNATURE					

NOTE: SITE CONTRACTOR SHALL APPLY FOR AND OBTAIN A GENERIC PERMIT FROM THE FDEP AND PERFORM ALL REQUIREMENTS AND TASKS THEREOF

Tel 415.433.3700 Fax 415.836.4599

1 08.15.16 ISSUE FOR TAC SUBMISSION

NISIT SAPPARKHAO, P.E.

FL REG. NO. 64085

DATE

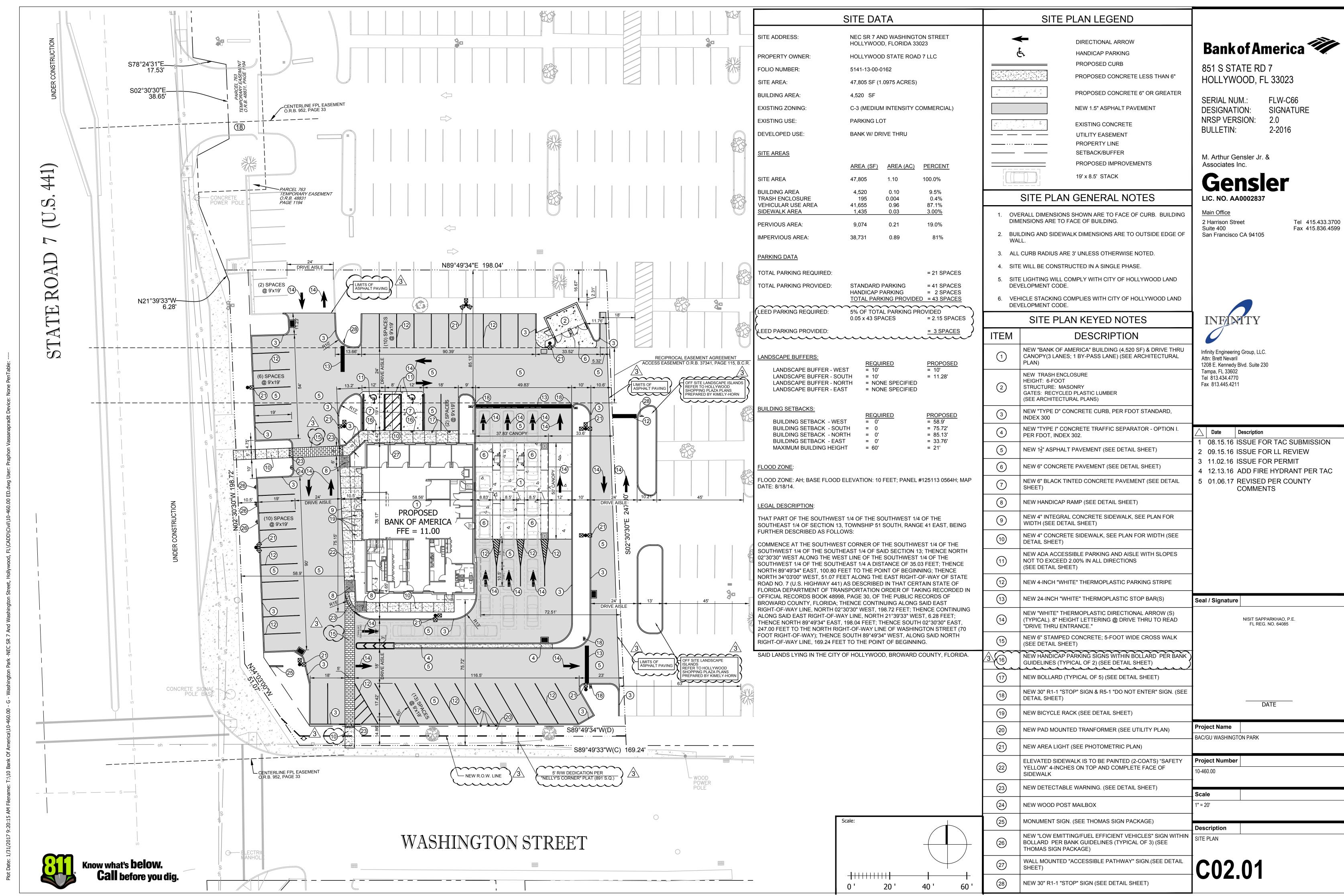
Project Name BAC/GU WASHINGTON PARK

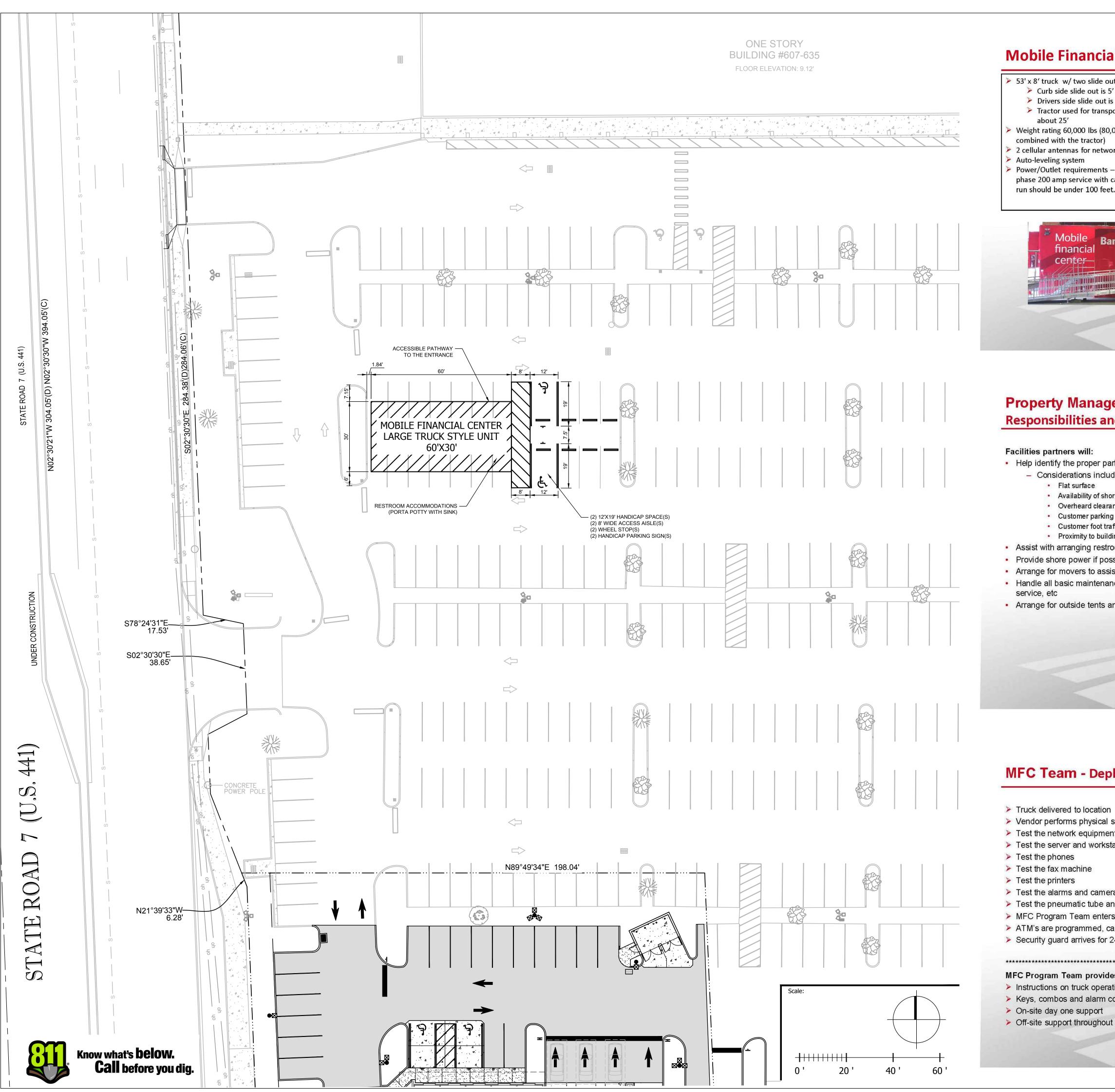
Project Number

Seal / Signature

Description

SWPPP GENERAL REQUIREMENTS





# **Mobile Financial Center - Large Truck Style Unit**

- > 53' x 8' truck w/ two slide outs
- Curb side slide out is 5' x 29'
- Drivers side slide out is 7' x 31'
- Tractor used for transportation only adds

#### Weight rating 60,000 lbs (80,000 when combined with the tractor)

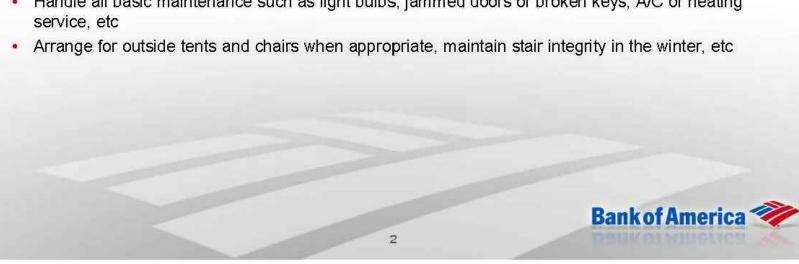
- 2 cellular antennas for network connectivity
- Auto-leveling system Power/Outlet requirements – 120/208 volt 3 phase 200 amp service with cam locks. Cable
- Requirements
  - Optimal space needed is a flat 60' long x 30' wide space (accommodates slide outs
  - and ramp) with clear path to the ramp Overhead clearance of 18'
  - > Restroom accommodations
    - Associates Inc.



# **Property Manager Team Members - Deployment Responsibilities and Expectations**

#### Facilities partners will:

- Help identify the proper parking location
  - Considerations include:
    - Flat surface
    - · Availability of shore power
    - Overheard clearance for truck and satellite dish along with slide out space
    - Customer parking
  - Customer foot traffic
  - · Proximity to building or drive up ATM's
- Assist with arranging restroom accommodations
- Provide shore power if possible or refueling arrangements for generators when needed
- Arrange for movers to assist with boxes or supplies if requested
- Handle all basic maintenance such as light bulbs, jammed doors or broken keys, A/C or heating



# MFC Team - Deployment Responsibilities and Expectations

- Truck delivered to location
- Vendor performs physical set up
- > Test the network equipment and connectivity
- > Test the server and workstations
- Test the phones
- Test the fax machine
- Test the printers
- Test the alarms and cameras
- > Test the pneumatic tube and speaker system
- > MFC Program Team enters associate information into MerlinTeller
- > ATM's are programmed, cashed and vendor serviced throughout deployment period
- Security guard arrives for 24 x 7 coverage

### MFC Program Team provides:

- Instructions on truck operations along with a contact list
- Keys, combos and alarm codes
- On-site day one support
- > Off-site support throughout the duration of the deployment





851 S STATE RD 7 HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66 **DESIGNATION:** SIGNATURE NRSP VERSION: 2.0 **BULLETIN**: 2-2016

M. Arthur Gensler Jr. &

LIC. NO. AA0002837

Main Office

2 Harrison Street Tel 415.433.3700 Suite 400 Fax 415.836.4599 San Francisco CA 94105



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

2 09.15.16 ISSUE FOR LL REVIEW

3 11.02.16 ISSUE FOR PERMIT

4 12.13.16 ADD FIRE HYDRANT PER TAC 5 01.06.17 REVISED PER COUNTY COMMENTS

Seal / Signature

NISIT SAPPARKHAO, P.E. FL REG. NO. 64085

DATE

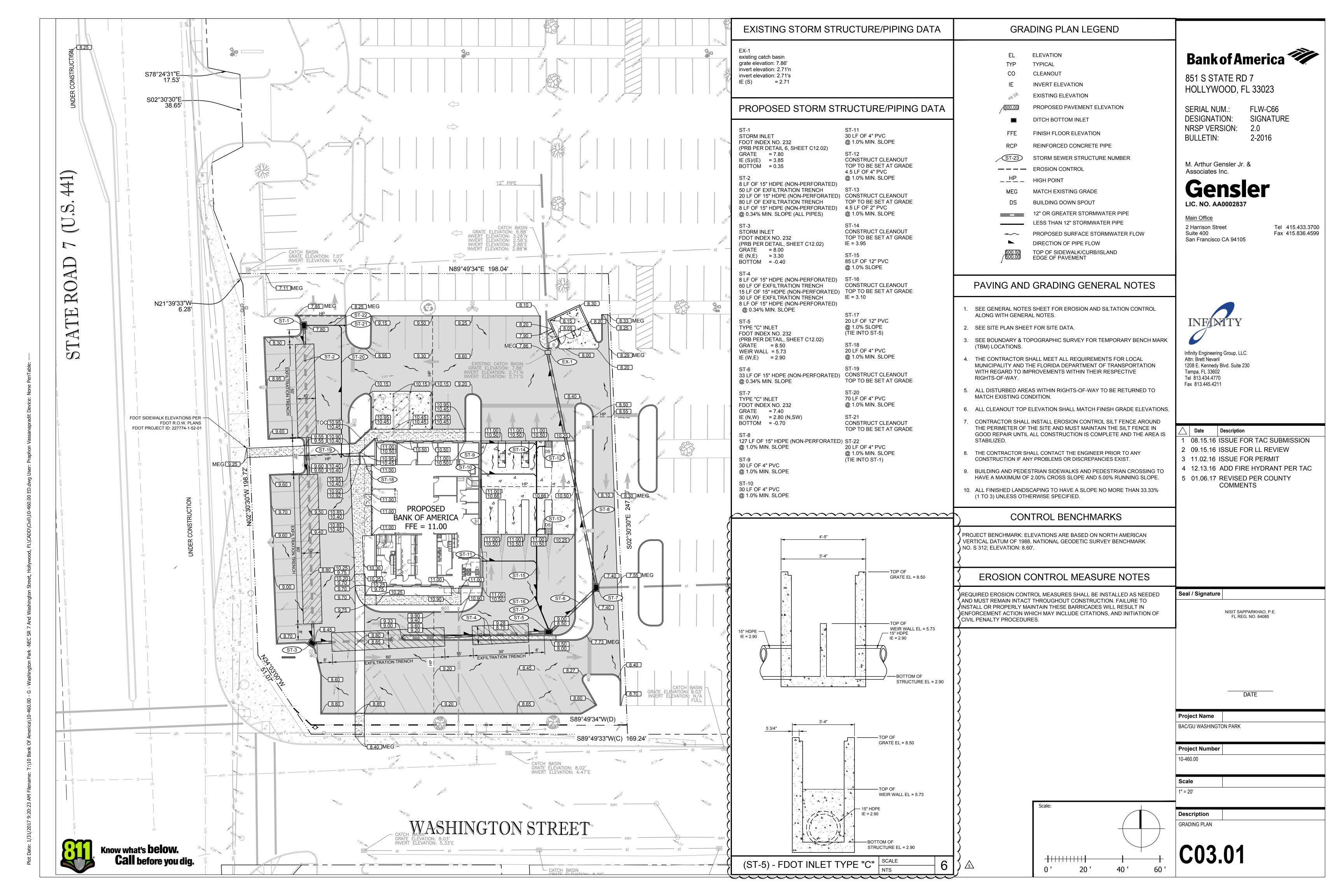
Project Name **BAC/GU WASHINGTON PARK** 

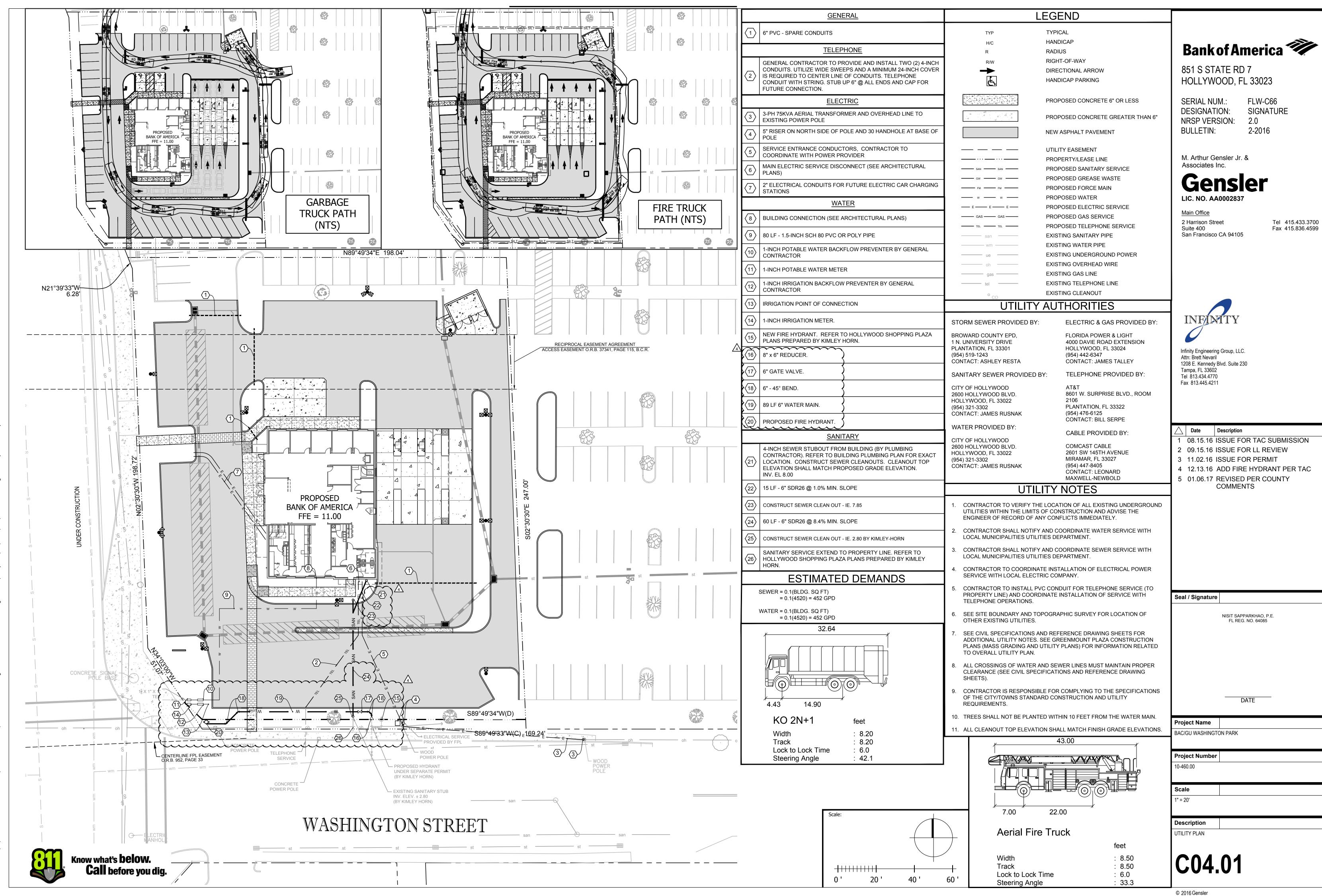
Project Number

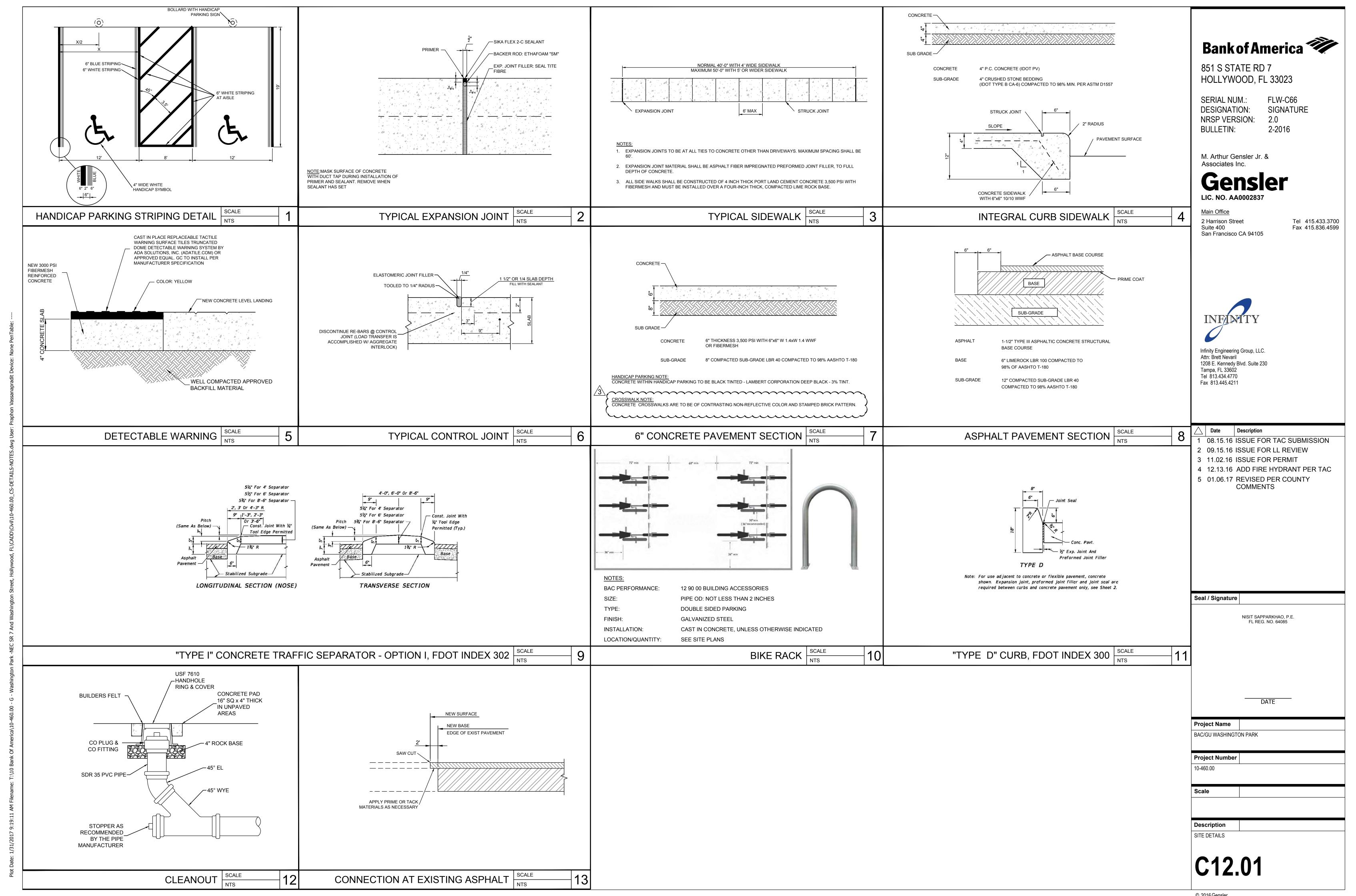
Scale

Mobile Banking Center Site Plan

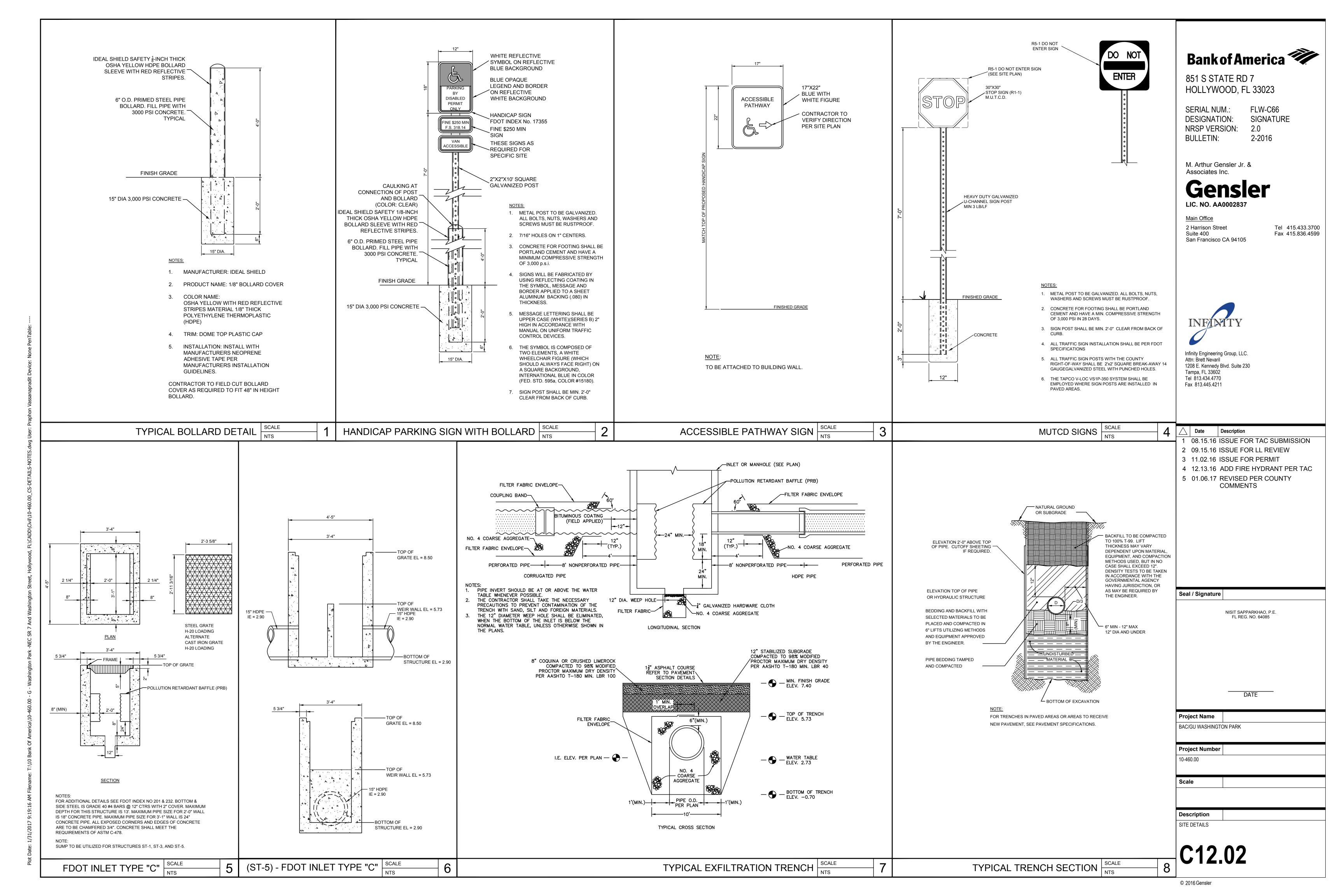
C02.02

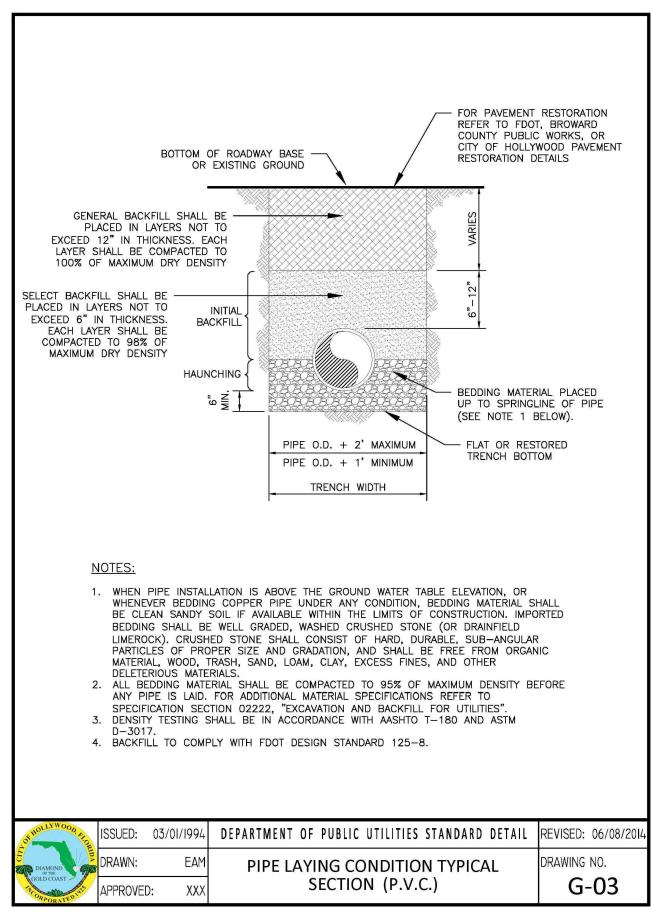


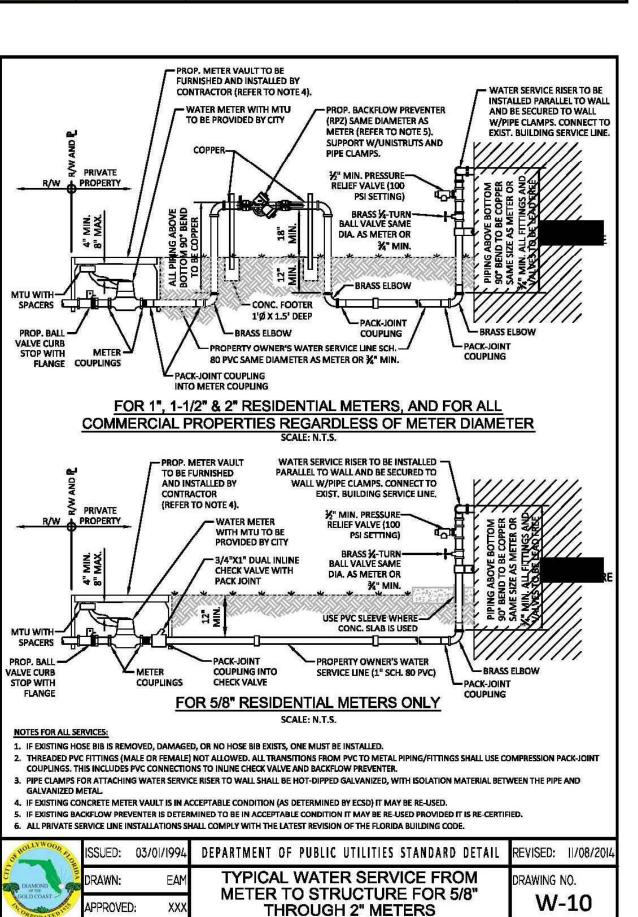


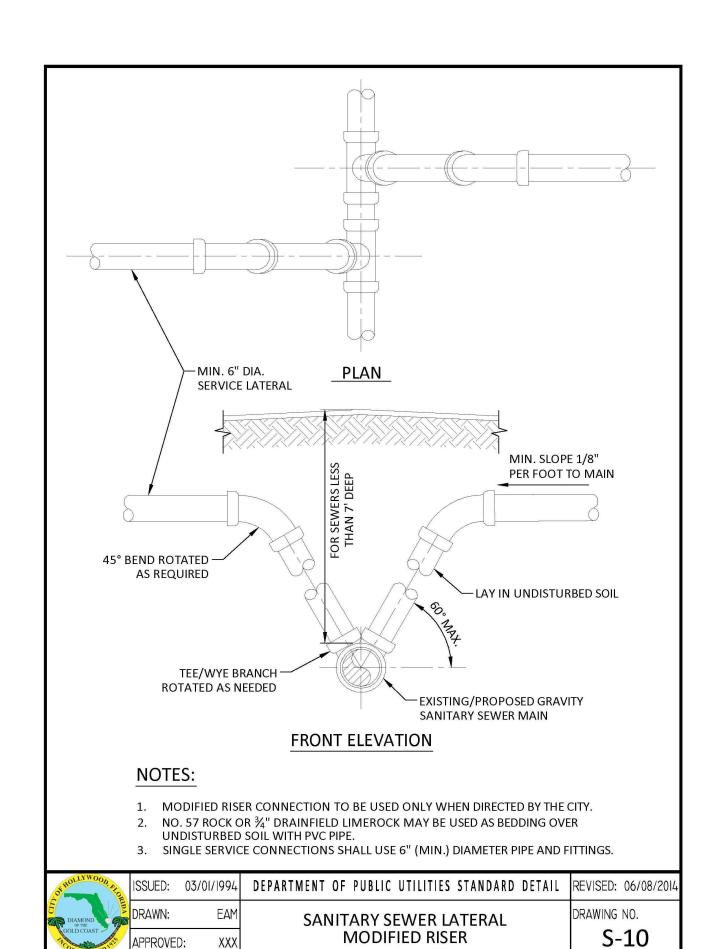


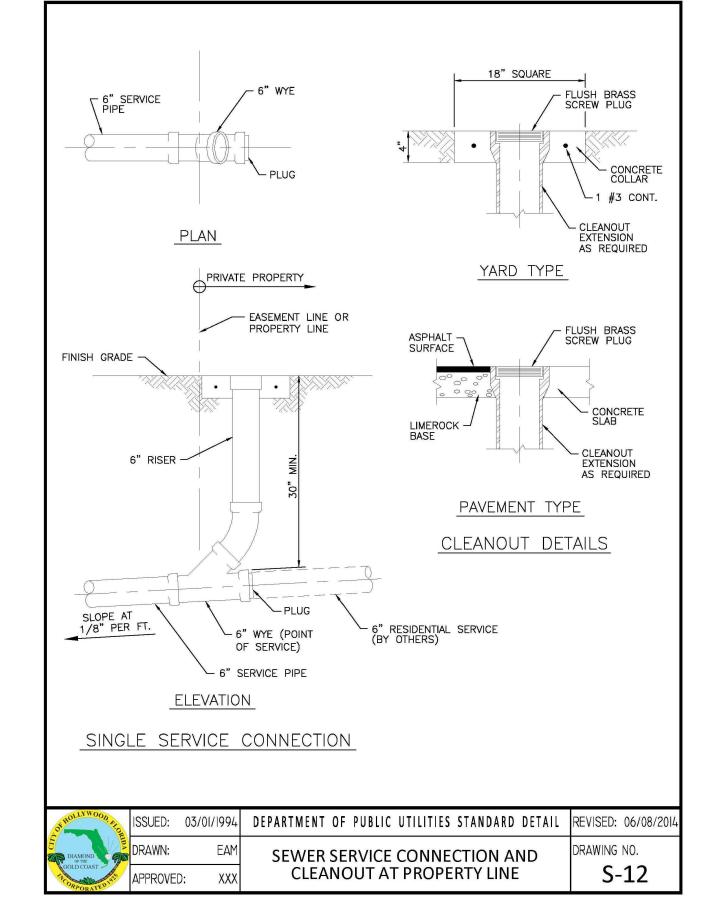
© 2016 Gensler

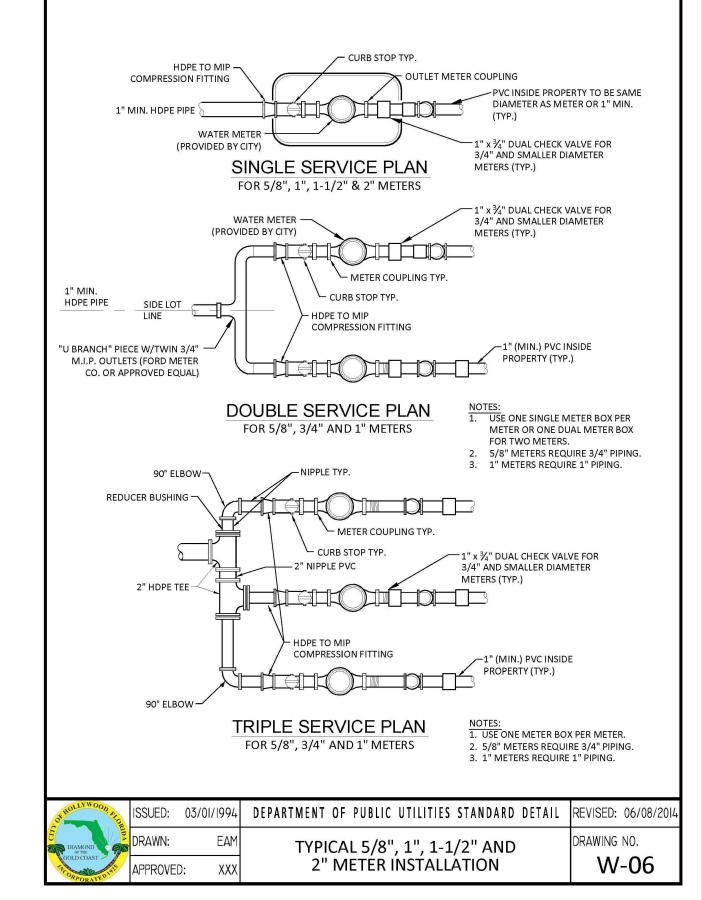














SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
NRSP VERSION: 2.0
BULLETIN: 2-2016

M. Arthur Gensler Jr. & Associates Inc.

# Gensler

LIC. NO. AA0002837

Main Office

2 Harrison Street
Suite 400
San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

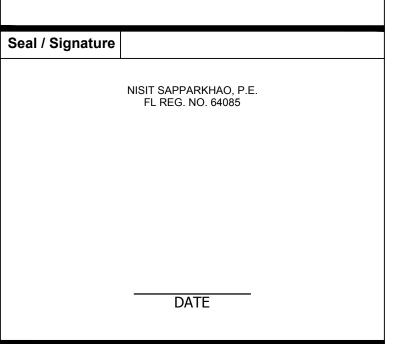
# Date Description 1 08.15.16 ISSUE FOR TAC SUBMISSION 2 09.15.16 ISSUE FOR LL REVIEW

3 11.02.16 ISSUE FOR PERMIT

4 12.13.16 ADD FIRE HYDRANT PER TAC

4 12.13.16 ADD FIRE HYDRANT PER

5 01.06.17 REVISED PER COUNTY COMMENTS



Project Name

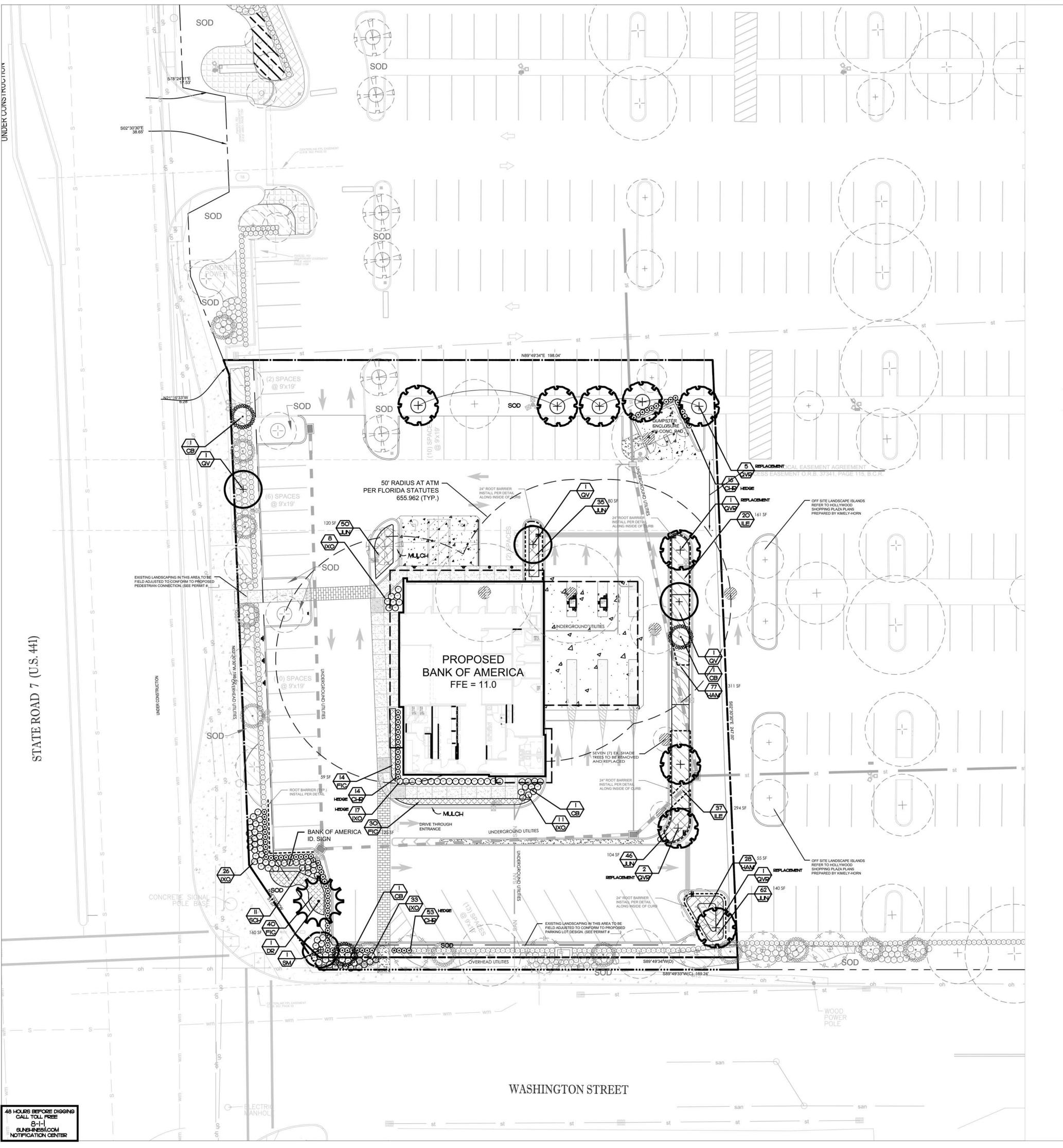
BAC/GU WASHINGTON PARK

Project Number 10-460.00

Scale

**Description**CITY OF HOLLYWOOD DETAILS

C12.03



## Landscape Requirements (OUTPARCEL ONLY)

TOTAL PARCEL AREA VEHICLE USE AREA (VUA)	47,805 SF 21,025 SF		
		REQUIRED	PROVIDED
LANDSCAPE BUFFERS (5' W			
SOUTH PROPERTY LINE		· Parameter	
TREES • I TREE P	ER 50 LF	4 TREES N/A	6 TREES 27 SHRUBS
24" TALL SHRUBS WEST PROPERTY LINE	- 246 LE	IVA	2/I SHRUBS
TREES • I TREE PE		5 TREES	6 TREES
24" TALL SHRUBS	LK 30 L	NA	394 SHRUBS
NORTH BUFFER		N/A	N/A
EAST BUFFER		NA	NA
INTERIOR PARKING			
INTERIOR ISLANDS		90 SF/ISLAND	90 SF/ ISLAND MIN.
TREE / ISLAND		I O TREES	I O TREES
VUA = 21,025 SF X 0.25		5,256 SF	6,300 SF
TREE / 1000 SF PER	VIOUS	6 TREES	O TREES
TOTAL ON-SITE TREES		25 TREES	32 TREES
NATIVE SPECIES REQUIREM	ENT		
60% NATIVE TREES			Visition of a restrict of the content of
PROPOSED X 0,60		20 TREES	32 TREES (IOO%)
32 TREES X O.60	<ul> <li>20 TREES RE</li> </ul>		
40% NATIVE SHRUBS PROPOSED X 0,40 I, 157 SHRUBS X 0,		474 SHRUBS BS REQ.	574 SHRUBS (50%)
SPECIES MIX			
25 TREES REQUIRED -	MINIMUM 4 SPE	CIES 4 SPECIES	4 SPECIES

\*\*\* PLEASE NOTE: THE REQUIRED TREES CALCULATIONS ABOVE DO NOT INCLUDE PROPOSED UNDERSTORY

THE LANDSCAPE CALCULATIONS INCLUDE EXISTING PLANT MATERIAL INSTALLED UNDER A SEPARATE PERMIT,

## **Plant List**

_	6YM,	BOTANICAL NAME/ COMMON NAME	HEIGHT/ SPREAD	SPECIFICATION	NATIVE	SITE CLASS	TOTAL	
	СВ	CALOPHYLLUM BRASILIENSE BRAZILIAN BEAUTYLEAF	8' - 10' HT/ 6' 6PR/	IS GAL, MIN, IJST CALL SINGLE TRUNK, TREE FORM	N	Y	3	
REES	DR	DELONIX REGIA ROYAL POINCIANA	12' - 14' HT. 6' SPRI	STRAIGHT TRUNK, FG, B&B, 2' CAL, 5' CT, MIN,	Y	Y	t	
CANOPY AND UNDERSTORY TREES	QV	QUERCUS VIRGINIANA "HIGH-RISE" HIGH-RISE LIVE OAK	12' - 14' HT. 6' SPR.	FIELD GROWN, B&B, 2' CAL, 5' CT, MIN,	Υ	Y	3	
CANC	QVR	QUERCUS VIRGINIANA "HIGH-RISE" LIVE OAK	18" - 8" HT, 6" SPR,	FIELD GROWN, B&B, 5" CAL., 8" CT, MIN,	Υ	Y	9 RE	PLACEME
_	SM	SWIETENIA MAHAGONI MAHOGANY	12' - 14' HT, 6' SPR,	2" CAL, STRAIGHT SINGLE TRUNK, FULL	Y	Y	1	
	CHR	CHRYGOBALANUS ICACO COCOPLUM	24" X 201	3 GAL, 24" O.C. FULL TO BASE	Υ	Υ	82	
SAND	FIC	FICUS MICROCARPA 'GREEN ISLAND' GREEN ISLAND FICUS	141 × 141	3 GAL, 24" O.C. FULL TO BASE	N	N	84	
SHRUBS AND GROUNDCOVERS	HAM	HAMELIA PATENS 'COMPACTA' DWARF FIREBUSH	le. × 1e.	3 GAL, 24" O.C. FULL TO BASE	Υ	Y	92	
U	ILE	ILEX YOMITORIA 'SHILLINGS' YAUPON HOLLY	301 X 30"	7 GALL, 36" OIC, FULL TO BASE	Y	Y	57	
	IXO	IXORA NORA GRANT NORA GRANT IXORA	20" X 20"	3 GAL, 301 O.C. FULL TO BASE	N	Y	94	
	w	JUNIPERUS HORIZONTALIS "PARSONII" PARSON'S JUNIPER	lot x lot	I GAL, İBT O.C. FULL TO BASE	N	Y	I 93	
	6CH	SCHEFFLERA ABORICOLA TRINETTE VARIEGATED ARBICOLA	201 X 20"	3 GAL, 24" O(C) FULL TO BASE	N	Υ	11	
	600	STENOTAPHRUM SECUNDATUM ST, AUGUSTINE FLORITAM GRASS	BAG = 2 CU FT.	DISEASE FREE, LAID TIGHTLY EVEN UNIFORM	N	М	TO BE E	ST,

## **General Notes**

- I, PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO, I, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II AS PREPARED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES,
- 2. ALL UTILITIES THAT ARE KNOWN TO THE LANDSCAPE ARCHITECT ARE LOCATED ON THE PLAN, FOR EXISTING OR PROPOSED UTILITIES!
  A, NO TREE SHALL BE PLANTED WHERE IT COULD CONFLICT WITH OVERHEAD POWER LINES AT MATURE HEIGHT,
  B, NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR-PAD MOUNTED TRANSFORMER.
  C, LARGE TREES (HEIGHT AT MATURITY OF MORE THAN 30 FEET SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF 30 FEET FROM THE NEAREST OVERHEAD POWERLING.
  D, MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN 20 AND 30 FEET) SHALL BE OFFSET AT LEAST TWENTY 20 FEET,
  E, SMALL TREES (HEIGHT AT MATURITY OF LESS THAN 20 FEET) REQUIRE NO OFFSET,
  F, PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FROND LENGTH PLUS 2 FEET FROM POWER LINES;
- THE CONTRACTOR SHALL BISURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24 INCHES PRIOR TO LANDSCAPE INSTALLATION.
- 4, IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS, EXISTING DRAINAGE PATTERN SHALL NOT BE ALTERNED OR EFFECTED BY NEW LANDSCAPING.
- 5, PLANT ALL TREES AND PALMS (2 INCH 4 INCH) ABOVE FINISHED GRADE, TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD, REMOVE THE TOP ONE-THIRD (1/3) OF THE WIRE BASKETS ON ALL B & B MATERIAL,
- 6, ALL HEDGES AND GROUNDCOVERS TO BE PLANTED LEAVING SPACE BETWEEN PLANTS AND BUILDINGS, WALLS AND FENCES, 7. ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED. WITH A 3 INCH DEEP LAYER OF COMMERCIAL GRADE NON-CYPRESS MULCH, CONTRACTOR SHALL INSTALL A WOVEN WEED BARRIER FABRIC IN ALL SHRUB AND CROUNT BEDS.
- 8, HAND DIGGING HOLES FOR INSTALLING PROPOSED TREES IN CLOSE PROXIMITY TO UTILITIES IS REQUIRED TO AVOID CONFLICTS.
- 9. NEW SOD SHALL BE ARGENTINE BAHIA, THE QUANTITY SHOWN ON THE PLANT LIST IS AN ESTIMATE AND CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD, SOD AREAS TO BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- O, ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY,
- II, EXISTING AND PROPOSED LANDSCAPING IS TO BE MAINTAINED PER JURISDICTION'S CLEAR SIGHT TRIANGLE REGULATIONS, 12. THE LANDSCAPE ARCHITECT MAY INSPECT TREES AND SHRUBS WHETHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING, FOR COMPLIANCE WITH THE REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY, LANDSCAPE ARCHITECT RETAINS RIGHT TO FURTHER INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK, REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE,
- 13. NO SUBSTITUTIONS WILL BE ACCEPTABLE, IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT AND JURISDICTION TOGETHER WITH THE PROPOSAL FOR USE OF EQUIVALENT MATERIAL,
- 14, IN THE EVENT OF DISCREPANCY, THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
- 15, TREES TO BE STAKED ONLY IF REQUIRED AS DEEMED NECESSARY BY OWNER AND LANDSCAPE ARCHITECT TO ASSURE HEALTH, SAFETY AND WELFARE (INCLUDES BUT NOT LIMITED TO ALL CURVED CABBAGE, TALL ROYALS, CURVED AND LEANING SPECIMEN), ALL WOOD STAKES TO BE PAINTED FOREST GREEN, STAKING PROCEDURES SHALL BE STANDARD CONTRACTOR PRACTICE CREATING NO TRUNK DAMAGE OR FUTURE STRANGULATION OF TREE.
- 6, ALL PLANT MATERIAL SHALL BE PLANTED WITH TERRA-SORB AG" OR AN APPROVED EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE RATE OF APPLICATION.
- 17. AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED WHICH MEETS OR EXCEEDS THE FULL REQUIREMENTS OF THE LAND DEVELOPMENT REGULATIONS, THE OWNER WILL SUPPLY ALL PROPOSED PLANT MATERIAL WITH 100% IRRIGATION (AUTOMATIC) COVERAGE (WITH 50% OVERLAP MINIMUM) WITHIN TEN DAYS OF INITIAL INSTALLATION.
- 18, CONTRACTOR TO VERIFY, REPAIR, UPDATE AND INSTALL THE EXISTING IRRIGATION SYSTEM PER JURISDICTION'S REGULATIONS TO CONFORM TO THE NEW LANDSCAPE DESIGN.

.\x-ref\69-6191-100BAC\_GUWashingtonPark\_23471-bac\_lo1\_rgb\_blk\_h-2941530.tif

851 S STATE RD 7 HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66 **DESIGNATION:** SIGNATURE NRSP VERSION: 2.0 **BULLETIN:** 2-2016

M. Arthur Gensler Jr. & Associates Inc.

# Gensler LIC. NO. AA0002837

Main Office

2 Harrison Street Suite 400 San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

PATRICK D. CUNNINGHAM, LL 444 Poinciana Drive Sarasota, FL 34243 O: 941.351.8915 W: www.pdc-llc.biz

Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

2 10.28.16 ISSUE FOR BID PERMIT

## Seal / Signature

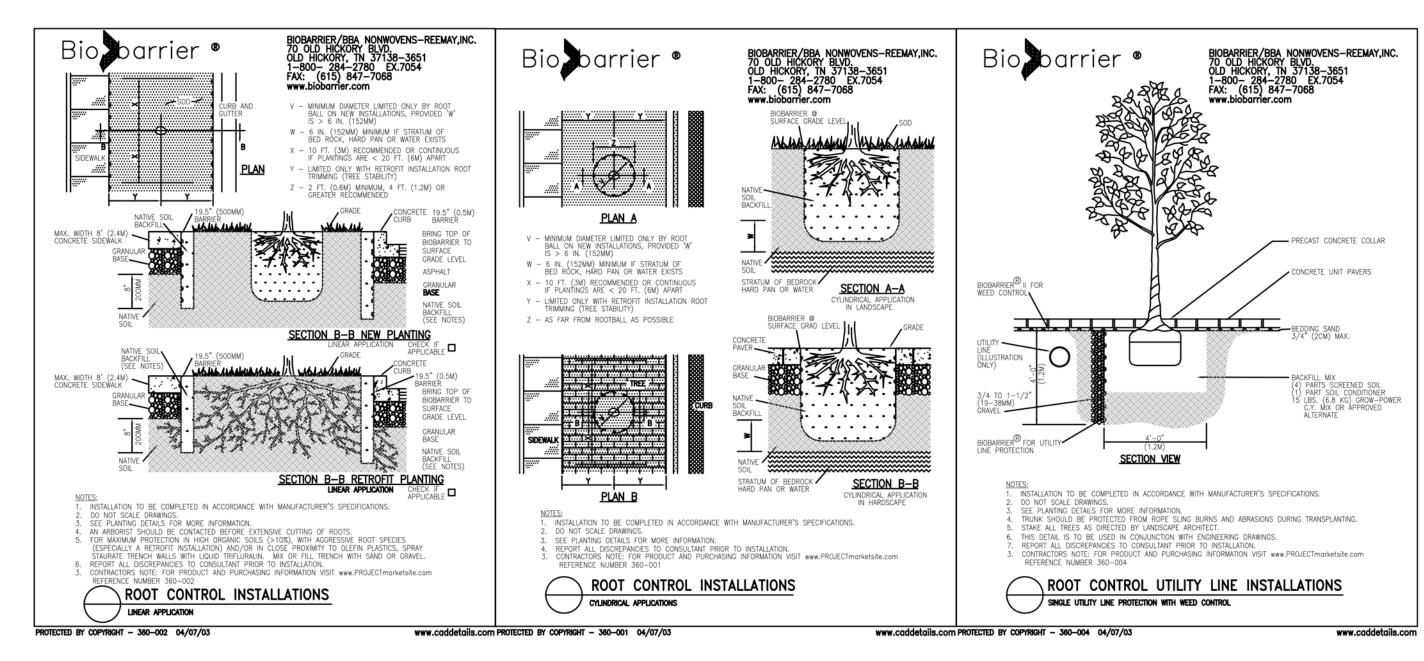
PATRICK D. CUNNINGHAM. FL REG. NO. LA0001669

Project Name	
BAC/GU WASHINGTO	N PARK
Project Number	

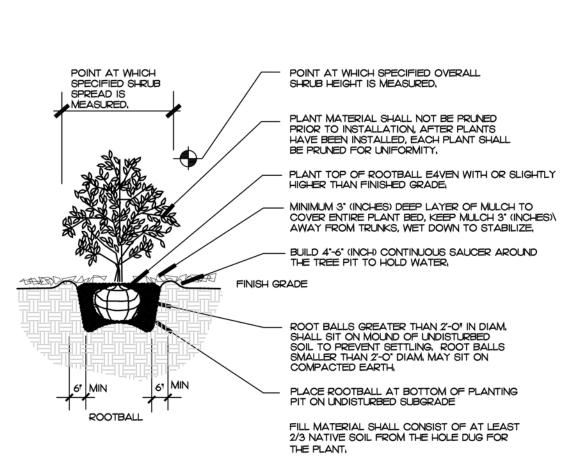
1" = 20'

Description LANDSCAPE PLAN

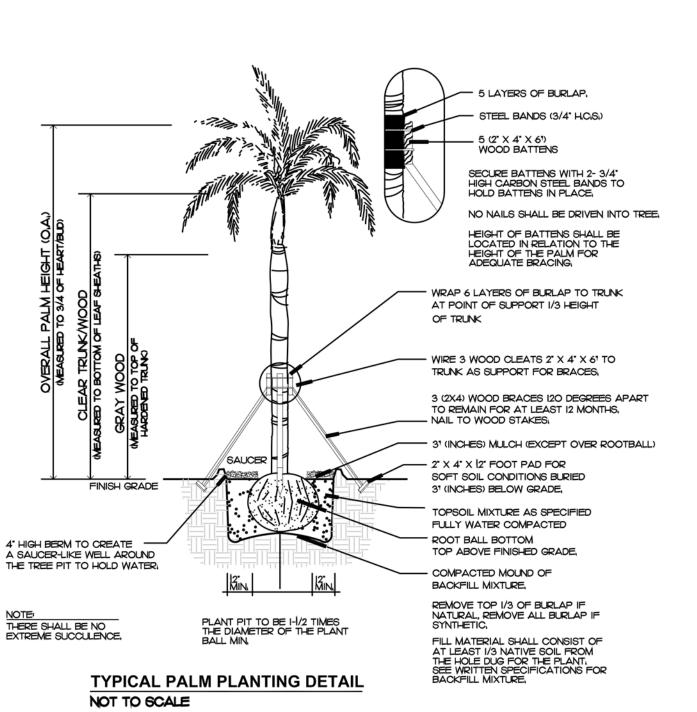
© 2016 Gensler

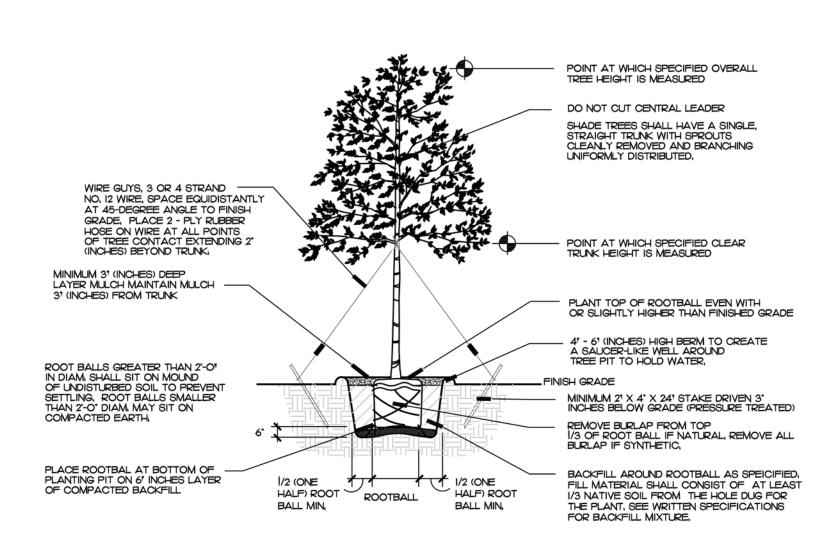


TYPICAL ROOT BARRIER INSTALLATION NOT TO SCALE

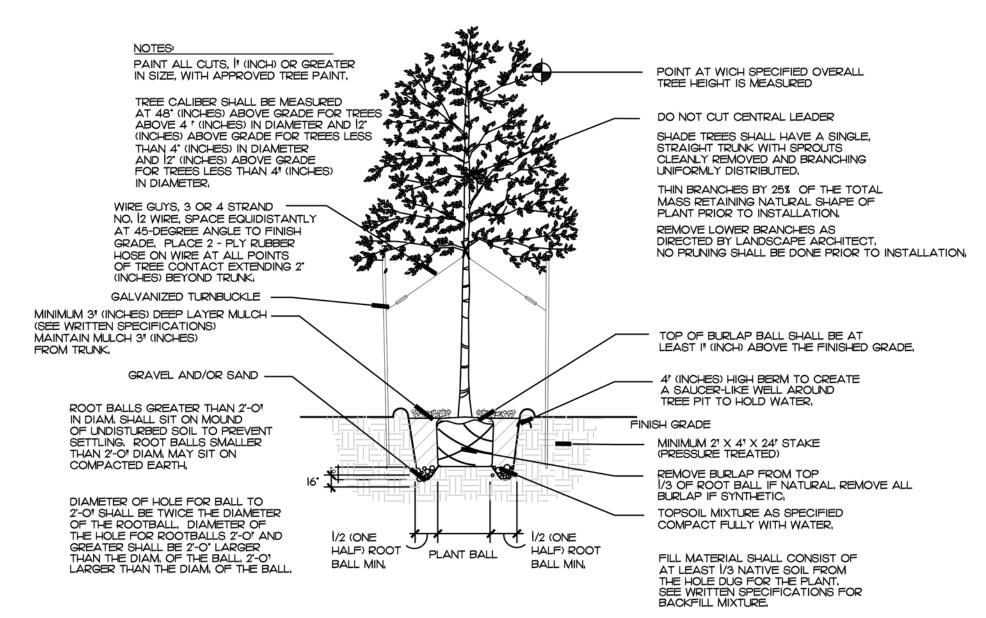


TYPICAL SHRUB/ GROUNDCOVER PLANTING DETAIL NOT TO SCALE



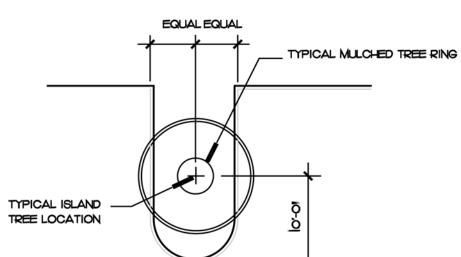


TYPICAL TREE PLANTING DETAIL NOT TO SCALE

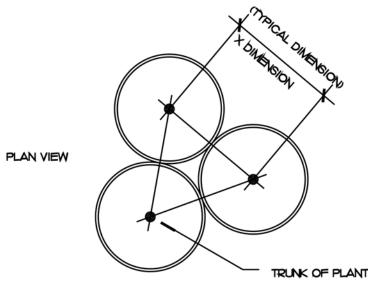


ALTERNATE LARGE TREE PLANTING DETAIL

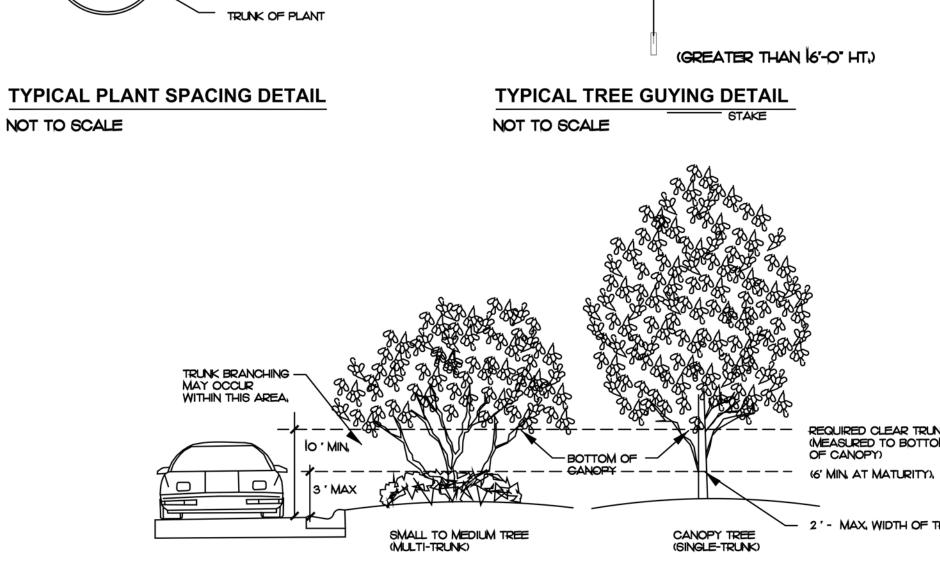
NOT TO SCALE



TYPICAL ISLAND TREE LOCATION DETAIL NOT TO SCALE



TYPICAL PLANT SPACING DETAIL

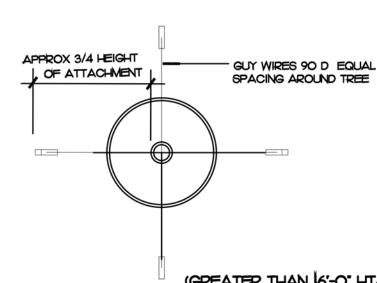


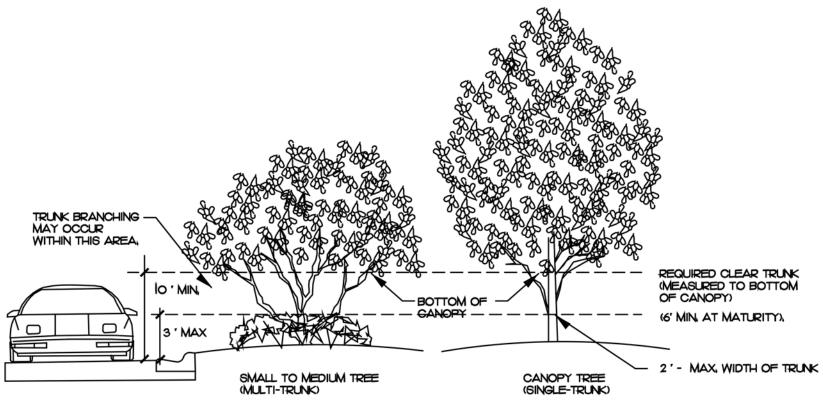
SITE CLEARANCE AT ATM NOT TO SCALE

PLAN VIEW - GUY WIRES 120 D EQUAL SPACING AROUND TREE

(UNDER 16'-0" HT.)

TYPICAL TREE GUYING DETAIL NOT TO SCALE





851 S STATE RD 7 HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66 **DESIGNATION:** SIGNATURE NRSP VERSION: 2.0

.\x-ref\69-6191-100BAC\_GUWashingtonPark\_23471-bac\_lo1\_rgb\_blk\_h-2941530.tif

2-2016

M. Arthur Gensler Jr. & Associates Inc.

**BULLETIN**:

LIC. NO. AA0002837 Main Office

2 Harrison Street Suite 400 San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

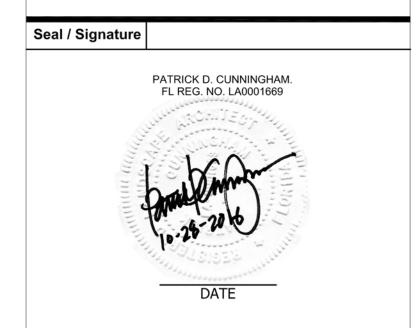
PATRICK D. **CUNNINGHAM, LL** land planning landscape architectur ■ research 444 Poinciana Drive Sarasota, FL 34243

O: 941.351.8915 F: 941.351.6333

W: www.pdc-llc.biz

Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

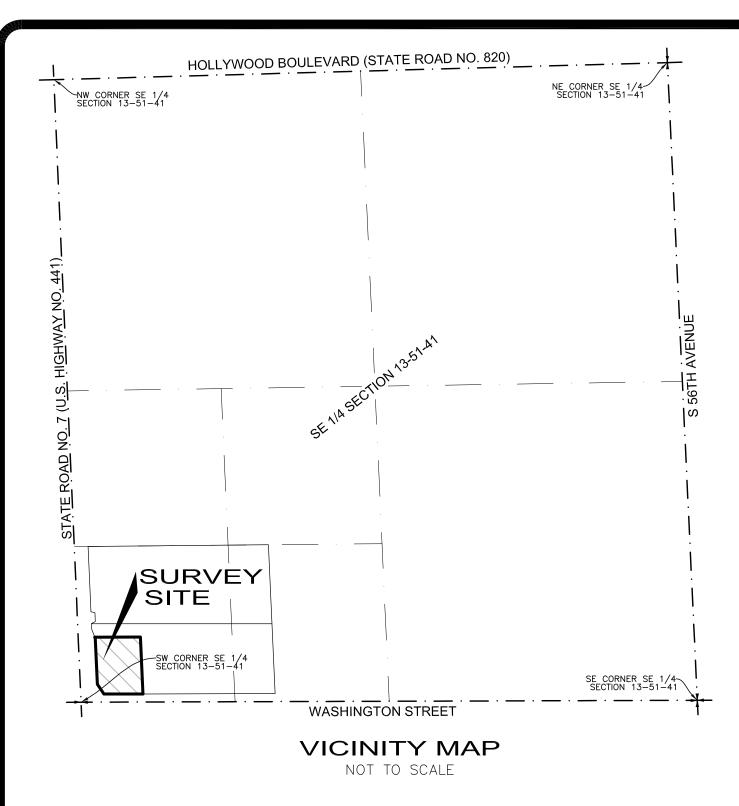


Project Name	
BAC/GU WASHINGTO	ON PARK
Project Number	
10-460.00	
Scale	
NOT TO SCALE	

LANDSCAPE PLAN DETAILS

Description

48 HOURS BEFORE DIGGIN CALL TOLL FREE 8-1-1 eunshinesli,com NOTIFICATION CENTER



#### LEGEND

CONCRETE

ASPHALT PAVEMENT

ELEVATION

онw — OVERHEAD WIRES

SAN— UNDERGROUND STORM SEWER LINE
SAN— UNDERGROUND SANITARY SEWER LINE

- UNDERGROUND ELECTRIC LINE

-/-/- NON-VEHICULAR ACCESS LINE

**Q** CENTERLINE

O.R.B. OFFICIAL RECORDS BOOK

C.R. BROWARD COUNTY RECORDS

TRAVERSE POINT (FOR FIELD

INFORMATION ONLY)

L FLORIDA POWER & LIGHT COMPANY

PALM TREE

OAK TREE

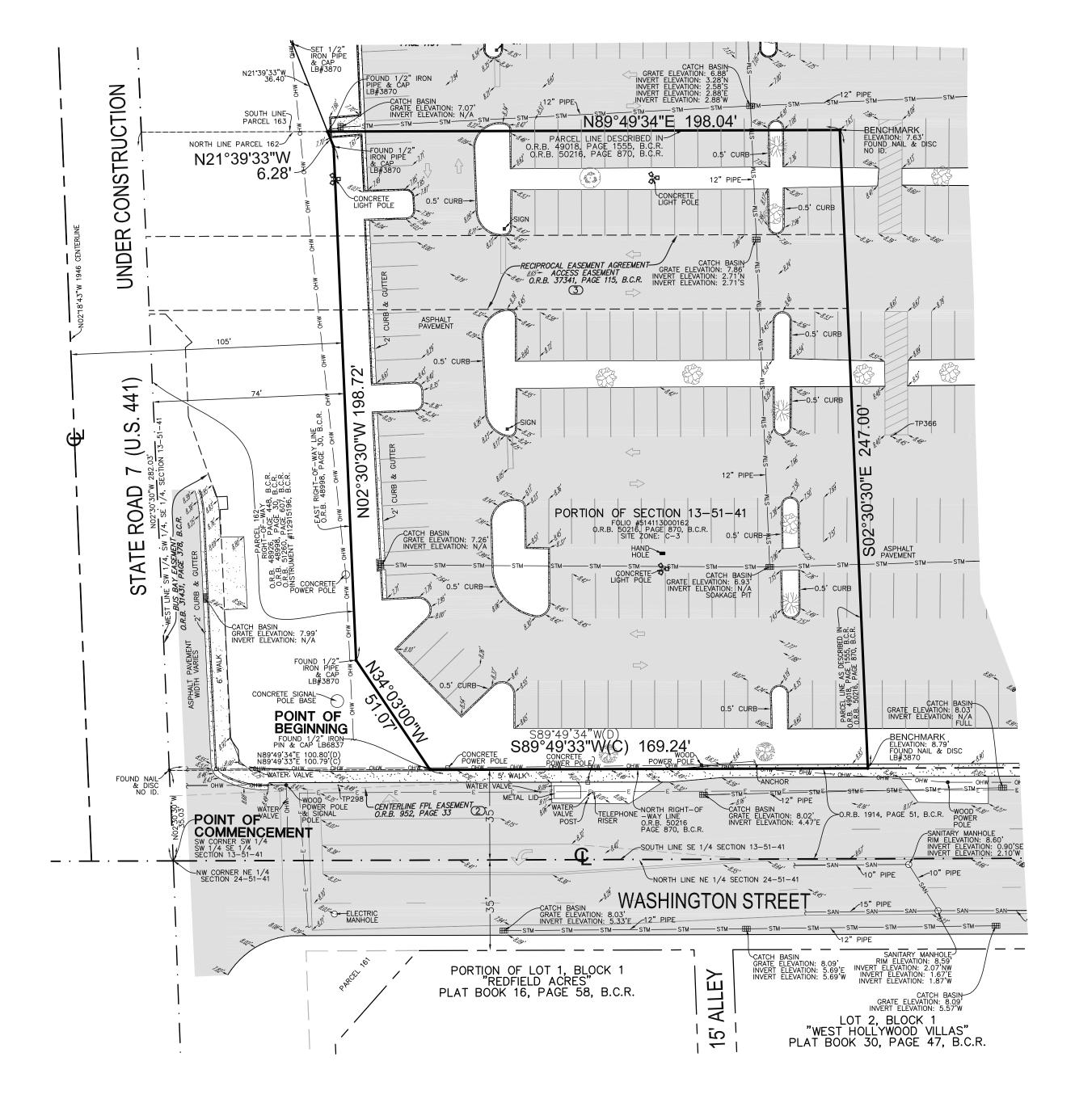
MAHOGANY TREE

BLACK OLIVE TREE

GUMBO LIMBO TREE

UNIDENTIFIED TREE

TITLE EXCEPTION



COPYRIGHT 2016 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.

#### LEGAL DESCRIPTION:

THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 13; THENCE NORTH 02°30'30" WEST ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 A DISTANCE OF 35.03 FEET; THENCE NORTH 89°49'34" EAST, 100.80 FEET TO THE POINT OF BEGINNING; THENCE NORTH 34°03'00" WEST, 51.07 FEET ALONG THE EAST RIGHT—OF—WAY OF STATE ROAD NO. 7 (U.S. HIGHWAY 441) AS DESCRIBED IN THAT CERTAIN STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 48998, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE CONTINUING ALONG SAID EAST RIGHT—OF—WAY LINE, NORTH 02°30'30" WEST, 198.72 FEET; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 21°39'33" WEST, 6.28 FEET; THENCE NORTH 89°49'34" EAST, 198.04 FEET; THENCE SOUTH 02°30'30" EAST, 247.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET (70 FOOT RIGHT-OF-WAY); THENCE SOUTH 89°49'34" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, 169.24 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

FOLIO NO. 5141-13-00-0162

#### NOTES:

- 1) THIS SITE CONTAINS 47,805 SQUARE FEET (1.0975 ACRES) MORE OR LESS.
  2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. NATIONAL
- GEODETIC SURVEY BENCHMARK NO. S 312; ELEVATION: 8.60'.

  3) FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #125113 0564H;
- MAP DATE: 8/18/14.
  4) THIS SITE LIES IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY,
- FLORIDA.
  5) BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET BEING
- S89°49'33"W.
  6) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR
- THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.

  7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS
- SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.

  8) THIS SITE CONTAINS 99 FULL PARKING SPACES AND 21 PARTIAL PARKING SPACES (120)
- REGULAR AND O DISABLED).

  9) THIS SURVEY WAS PREPARED WITH BENEFIT OF CERTIFICATE OF SEARCH OWNERSHIP & ENCUMBRANCE REPORT FILE NUMBER: 5932811, PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED THROUGH JULY 25, 2016 AT 6:00 A.M. THE FOLLOWING ITEMS ARE EASEMENTS, RIGHTS OF WAY AND OTHER MATTERS LISTED IN SAID REPORT: ITEM 1-NOTICE OF COMMENCEMENT IN INSTRUMENT NO. 113401650, DOES NOT AFFECT THIS
- ITEM 2—EASEMENT IN O.R.B. 952, PAGE 33, DOES NOT AFFECT THIS SITE AS DEPICTED HEREON.
- ITEM 3-RECIPROCAL EASEMENT AGREEMENT IN O.R.B. 37341, PAGE 115 AFFECTS THIS SITE BY PROVIDING ACCESS TO STATE ROAD 7, AS DEPICTED HEREON.

  ITEM 4-ASSIGNMENT OF EASEMENT AGREEMENT RIGHTS IN INSTRUMENT NO. 112752723

  AFFECTS THIS SITE BUT CAN NOT BE PLOTTED.
- ITEM 5-MEMORANDUM OF LEASE IN INSTRUMENT NO. 112975159, AFFECTS THIS SITE BUT CANNOT BE PLOTTED.
- 10) THE LEGAL DESCRIPTION SHOWN HEREON HAS BEEN REVISED TO CORRECT AN ERROR IN THE ABOVE MENTIONED SEARCH OWNERSHIP & ENCUMBRANCE REPORT.

### CERTIFICATION

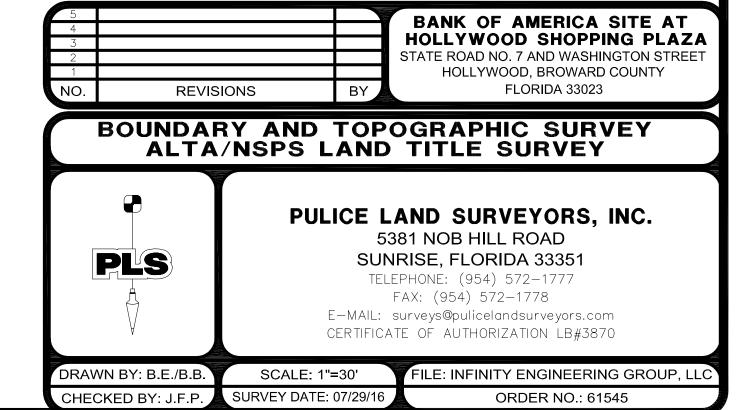
TO INFINITY ENGINEERING GROUP, LLC; COMMONWEALTH LAND TITLE INSURANCE COMPANY; DUNAY, MISKEL AND BACKMAN, LLP; BANK OF AMERICA, N.A.:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 8, 9, & 11 OF TABLE A THEREOF.

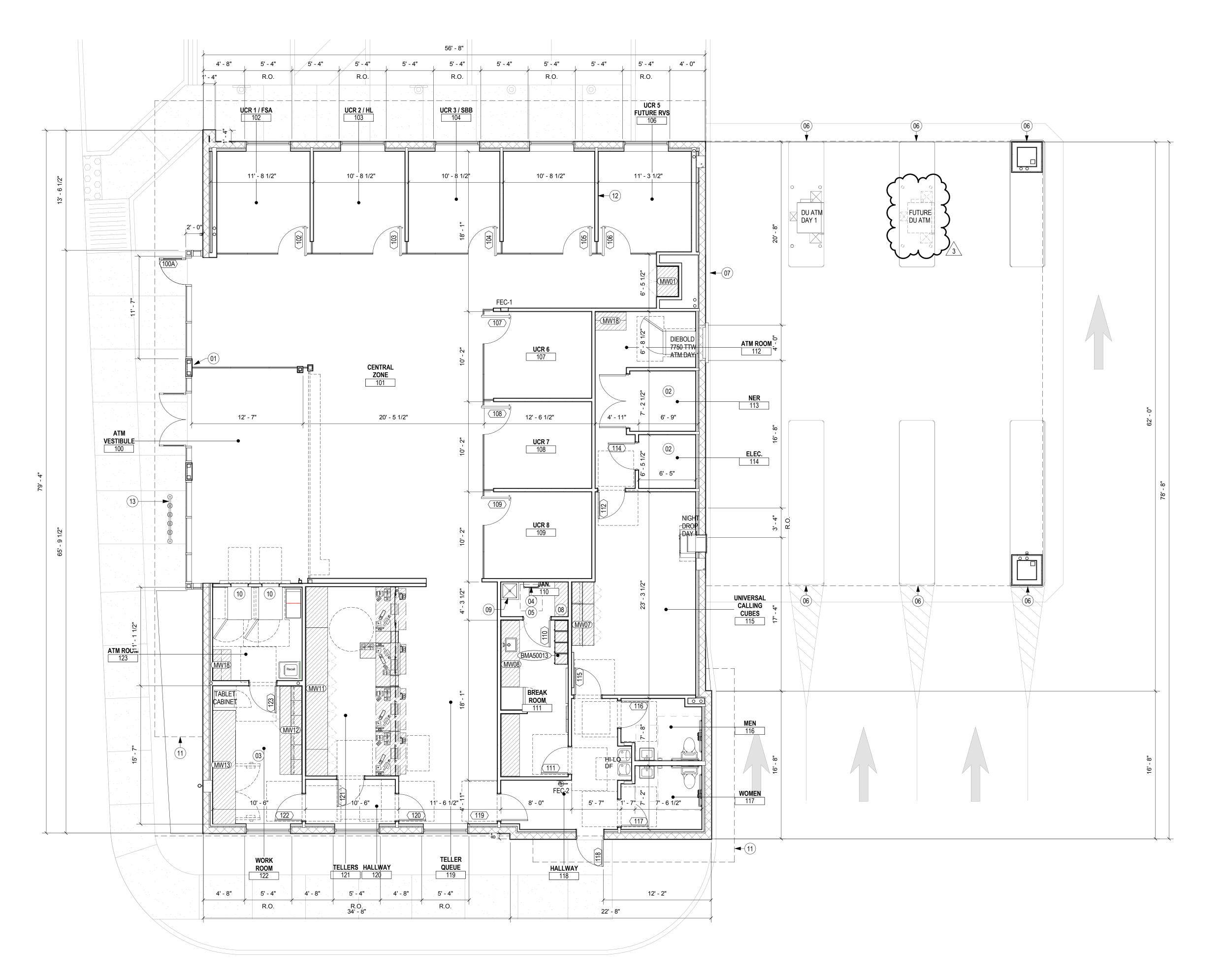
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

JOHN F PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691

BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136

□ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS2691
□ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
□ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
STATE OF FLORIDA





SHEET NOTES

- 01 FIRE PROTECTION EQUIPMENT. REFER TO
- ELECTRICAL DRAWINGS 02 PROVIDE FIRE RATED 3/4" PLYWOOD BACKBOARD
- ON ALL WALLS, H=8'-0"
- 03 PROVIDE HEAVY DUTY FLOOR PER SPEC -COORDINATE LOCATION WITH CASH VAULT DOOR 04 LADDER TO ROOF HATCH - SEE DETAIL 12/A09.32
- 05 ROOF HATCH ABOVE SEE DETAIL 8/A09.32 06 ALIGN EDGE OF D.T. ISLAND WITH LINE OF DRIVE
- THRU SOFFIT ABOVE 07 HEADER CURB
- 08 LOCATION OF TRASH CONTAINER 09 LOCATION OF MOP SINK
- 10 ACCESSIBLE ATM SHALL COMPLY WITH AMERICAN
- DISABILITY ACT 2010 11 CANOPY ABOVE
- 12 3/4" PLYWOOD BLOCKING AT THE FULL WIDTH OF THE PARTITION WALL FOR FUTURE RVS.
- 13 BIKE RACK
- 14 PRIMARY RAINWATER LEADER TO BELOW GRADE. REFER TO PLUMBING DRAWINGS. 15 SECONDARY RAINWATER LEADER TO DISCHARGE
- AT GRADE. 18 FLOOR DRAIN. REFER TO PLUMBING DRAWINGS. CENTER IN ROOM.
- 19 KEVLAR PANELS (UL LEVEL 2 RATED). GC TO COORDINATE EXTENT W/ SECURITY VENDOR.



Tel 415.433.3700

Fax 415.836.4599

HOLLYWOOD, FL 33023 SERIAL NUM.: FLW-C66

851 S STATE RD 7

SIGNATURE DESIGNATION: NRSP VERSION: 2.0 BULLETIN: 2-2016

M. Arthur Gensler Jr. & Associates Inc.

LIC. NO. AA0002837

Main Office 2 Harrison Street Suite 400

San Francisco CA 94105



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

# **GENERAL NOTES**

- A. ALL PARTITIONS TO BE TYPE "A," UNLESS
- NOTED OTHERWISE. REFER TO WALL PARTITION TYPES. B. FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFER TO SHEETS A00.00
- AND A00.10.
- C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 4" FROM ADJACENT PERPENDICULAR PARTITION.
- D. VERIFY ALL EQUIPMENT WITH VENDOR. E. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT AND ACCESSORIES.

**○** Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

3 10.31.16 REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

Project Name

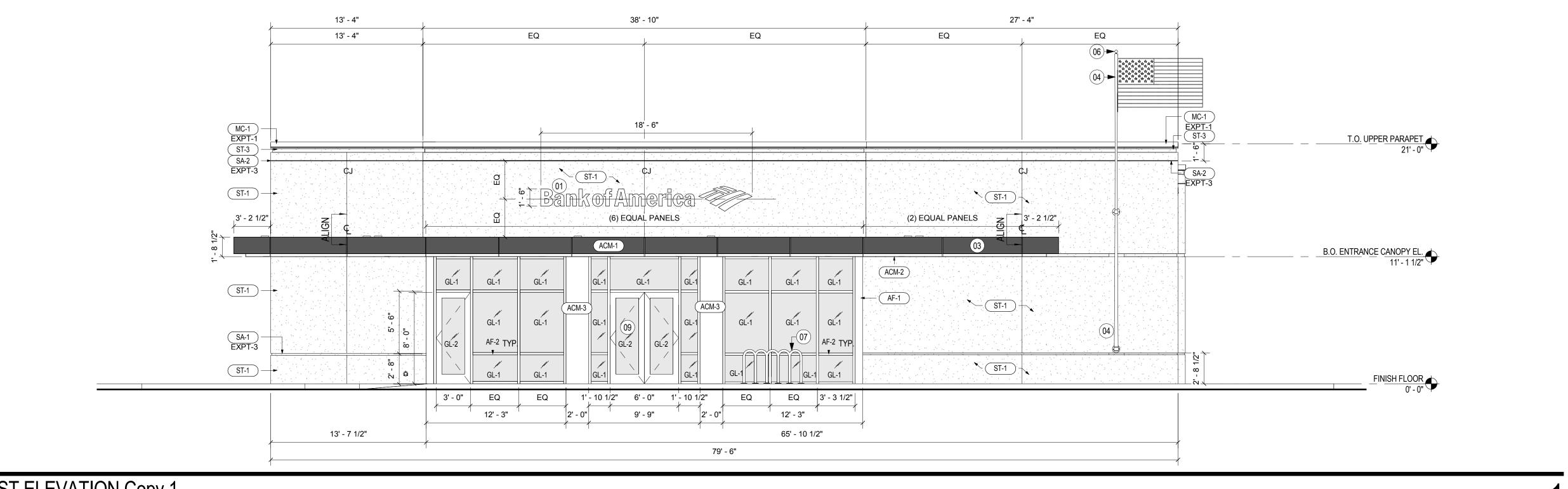
BAC/GU WASHINGTON PARK

**Project Number** 69.6191.100

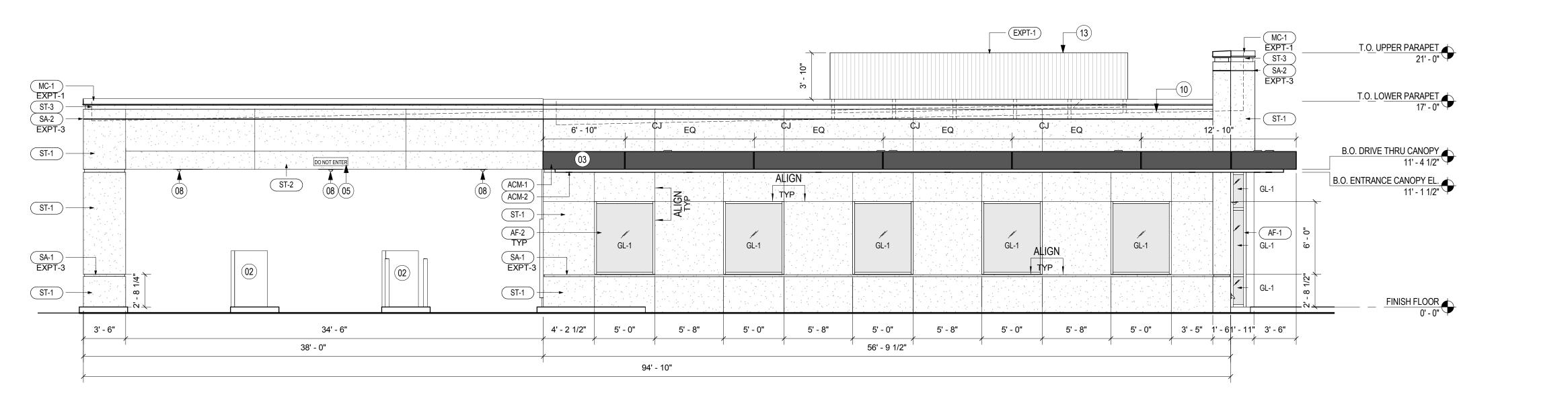
Scale 3/16" = 1'-0"

Description

CONSTRUCTION PLAN



WEST ELEVATION Copy 1 SCALE: 3/16" = 1'-0"



NORTH ELEVATION Copy 1

(BASED ON PAREX STUCCO) STUCCO/ PLASTER [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

10409 "TUNDRA," SAND FINE FIN. ST-2 10432 "WARM SAND," SAND FINE FIN. ST-3 10447 "MOSS," SMOOTH FIN.

(BASED ON ALPOLIC) STUCCO ACCESSORIES ALUMINUM COMPOSITE METAL PANEL [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ACM-1 "BRITE RED" #4MMBTR REFER TO SECTION 07 42 43 ACM-2 "RVW WHITE" #3MM4RVW REFER TO SECTION 07 42 43 ACM-3 "MATCH STOREFRONT" REFER TO SECTION 08 41 13

**ALUMINUM GLAZING FRAMES** [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

CURTAINWALL SYSTEM AS SPECIFIED AF-2 STOREFRONT SYSTEM AS SPECIFIED

(ALL PAINTED EXPT-3) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET) WIDE CHANNEL SCREED AS SPECIFIED

SA-2 NARROW CHANNEL SCREED AS SPECIFIED SA-3 MODIFIED CHANNEL SCREED AS SPECIFIED

(BAC PERFORMANCE) **METAL COPING** MC-1 PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3

**EXTERIOR PAINT** 

(BASED ON BENJAMIN MOORE) (BASED ON FRY REGLET)

[BAC PRESCRIPTIVE] / "BASIS OF DESIGN" EXPT-1 [N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS EXPT-2 [N185] COLOR: HC-80 "BLEEKER BEIGE," MATCHES ST-2: WARM SAND EXPT-3 [N185] COLOR: CLASSIC #1039 "STONE HOUSE," MATCHES ST-1: TUNDRA

[BAC PERFORMANCE] **EXTERIOR SEALANT COLOR** 

BLACK GLAZING AT EXTERIOR STOREFRONT MATCH METAL CLIP COLOR (ACM, RED AND WHITE) METAL PANEL TO METAL PANEL WINDOW FRAME/ STOREFRONT TO STUCCO MATCH METAL FRAME (ACM, RED AND WHITE) METAL PANEL TO STUCCO MATCH ADJACENT STUCCO FINISH (ACM, RED AND WHITE) METAL PANEL TO STOREFRONT MATCH STOREFRONT FRAME

**SHEET NOTES** 

01 BANK OF AMERICA SIGN BY OWNER

02 DRIVE THRU ATM BY OWNER

03 METAL PANEL SYSTEM

04 31 - FT FLAG POLE AND MOUNTING BRACKETS -PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)

05 S - TYPE REGULATORY DIRECTIONAL/ INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTER OF SIGN = CENTER OF LANE

06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE

07 BIKE RACK 08 EXTERIOR SECURITY CAMERA

09 SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER

10 LINE OF ROOF BEYOND 13 MECHANICAL EQUIPMENT SCREENING. REFER TO STRUCTURAL DRAWINGS.

14 ALIGN CENTER OF METAL PANEL REVEAL W/

CENTERLINE OF WINDOW, TYP

M. Arthur Gensler Jr. & Associates Inc.

851 S STATE RD 7

SERIAL NUM.:

BULLETIN:

DESIGNATION:

NRSP VERSION:

HOLLYWOOD, FL 33023

Bank of America 🧼

FLW-C66

2.0

2-2016

SIGNATURE

Gensler LIC. NO. AA0002837

Main Office

2 Harrison Street Suite 400 San Francisco CA 94105 Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

\_\_\_\_\_ Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

3 10.31.16 REVISED PER TAC COMMENTS

Seal	/ Sig	natur

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

**Project Name** 

BAC/GU WASHINGTON PARK

**Project Number** 

69.6191.100

Scale As indicated

Description **ELEVATIONS** 

A102

**EXTERIOR FINISH SCHEDULE** 

© 2016 Gensler

EAST ELEVATION Copy 1 SCALE: 3/16" = 1'-0"

> <u>06</u> <u>04</u> MC-1 EXPT-1 ST-3 SA-2 EXPT-3 EXPT-1) -T.O. UPPER PARAPET MC-1 EXPT-1 18' - 6" 12 T.O. PARAPET ST-3 T.O. LOWER PARAPET 17' - 0" ST-1 SA-2 -EXPT-3 SA-1 -EXPT-3 08 Drive Up ATM ST-1 Drive Up AŢM Night Drop Lane Drive Up ATM B.O. DRIVE THRU CANOPY 11' - 4 1/2" ST-2 ALIGN SA-1 EXPT-3
>
> B.O. ENTRANCE CANOPY EL.
> 11' - 1 1/2" ACM-1 ACM-2 . 8' - 0" .. 7' - 11 1/2" ACM-1 ST-1 AF-1 ACM-2 ST-1 GL-1 GL-1 GL-1 - SA-1 EXPT-3 SA-1 02 02 EXPT-3 EXPT-3 ST-1 FINISH FLOOR
> 0' - 0" 3' - 0" 5' - 0" 5' - 0" 33' - 10" 3' - 6" 5' - 5" 37' - 4"

SOUTH ELEVATION Copy 1

(BASED ON PAREX STUCCO) STUCCO/ PLASTER [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ST-1 10409 "TUNDRA," SAND FINE FIN ST-2 10432 "WARM SAND," SAND FINE FIN. ST-3 10447 "MOSS," SMOOTH FIN.

**ALUMINUM COMPOSITE METAL PANEL** (BASED ON ALPOLIC) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ACM-1 "BRITE RED" #4MMBTR REFER TO SECTION 07 42 43 ACM-2 "RVW WHITE" #3MM4RVW REFER TO SECTION 07 42 43 ACM-3 "MATCH STOREFRONT" REFER TO SECTION 08 41 13

**ALUMINUM GLAZING FRAMES** [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

CURTAINWALL SYSTEM AS SPECIFIED

AF-2 STOREFRONT SYSTEM AS SPECIFIED

(ALL PAINTED EXPT-3) STUCCO ACCESSORIES (BASED ON FRY REGLET) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

SA-1 WIDE CHANNEL SCREED AS SPECIFIED SA-2 NARROW CHANNEL SCREED AS SPECIFIED SA-3 MODIFIED CHANNEL SCREED AS SPECIFIED

(BAC PERFORMANCE) **METAL COPING** PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3

**EXTERIOR PAINT** 

(BASED ON BENJAMIN MOORE) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

[N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS EXPT-2 [N185] COLOR: HC-80 "BLEEKER BEIGE," MATCHES ST-2: WARM SAND EXPT-3 [N185] COLOR: CLASSIC #1039 "STONE HOUSE," MATCHES ST-1: TUNDRA

[BAC PERFORMANCE] **EXTERIOR SEALANT COLOR** 

GLAZING AT EXTERIOR STOREFRONT BLACK MATCH METAL CLIP COLOR (ACM, RED AND WHITE) METAL PANEL TO METAL PANEL WINDOW FRAME/ STOREFRONT TO STUCCO MATCH METAL FRAME

(ACM, RED AND WHITE) METAL PANEL TO STUCCO MATCH ADJACENT STUCCO FINISH (ACM, RED AND WHITE) METAL PANEL TO STOREFRONT MATCH STOREFRONT FRAME

**SHEET NOTES** 

01 BANK OF AMERICA SIGN BY OWNER

02 DRIVE THRU ATM BY OWNER

03 METAL PANEL SYSTEM 04 31 - FT FLAG POLE AND MOUNTING BRACKETS -PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)

05 NIGHT DEPOSITORY 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE

07 NOT USED

08 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN= CENTERLINE OF LANE.

09 EXTERIOR SECURITY CAMERA

10 DRIVE UP TTW ATM BY OWNER 11 LINE OF ROOF BEYOND

12 MECHANICAL EQUIPMENT SCREENING. REFER TO STRUCTURAL DRAWINGS.

Bank of America 🧼

851 S STATE RD 7

SERIAL NUM.: FLW-C66 SIGNATURE DESIGNATION: NRSP VERSION: 2.0 2-2016 BULLETIN:

HOLLYWOOD, FL 33023

M. Arthur Gensler Jr. & Associates Inc.

LIC. NO. AA0002837

Main Office 2 Harrison Street Suite 400 San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION 3 10.31.16 REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

**Project Name** BAC/GU WASHINGTON PARK

**Project Number** 

69.6191.100

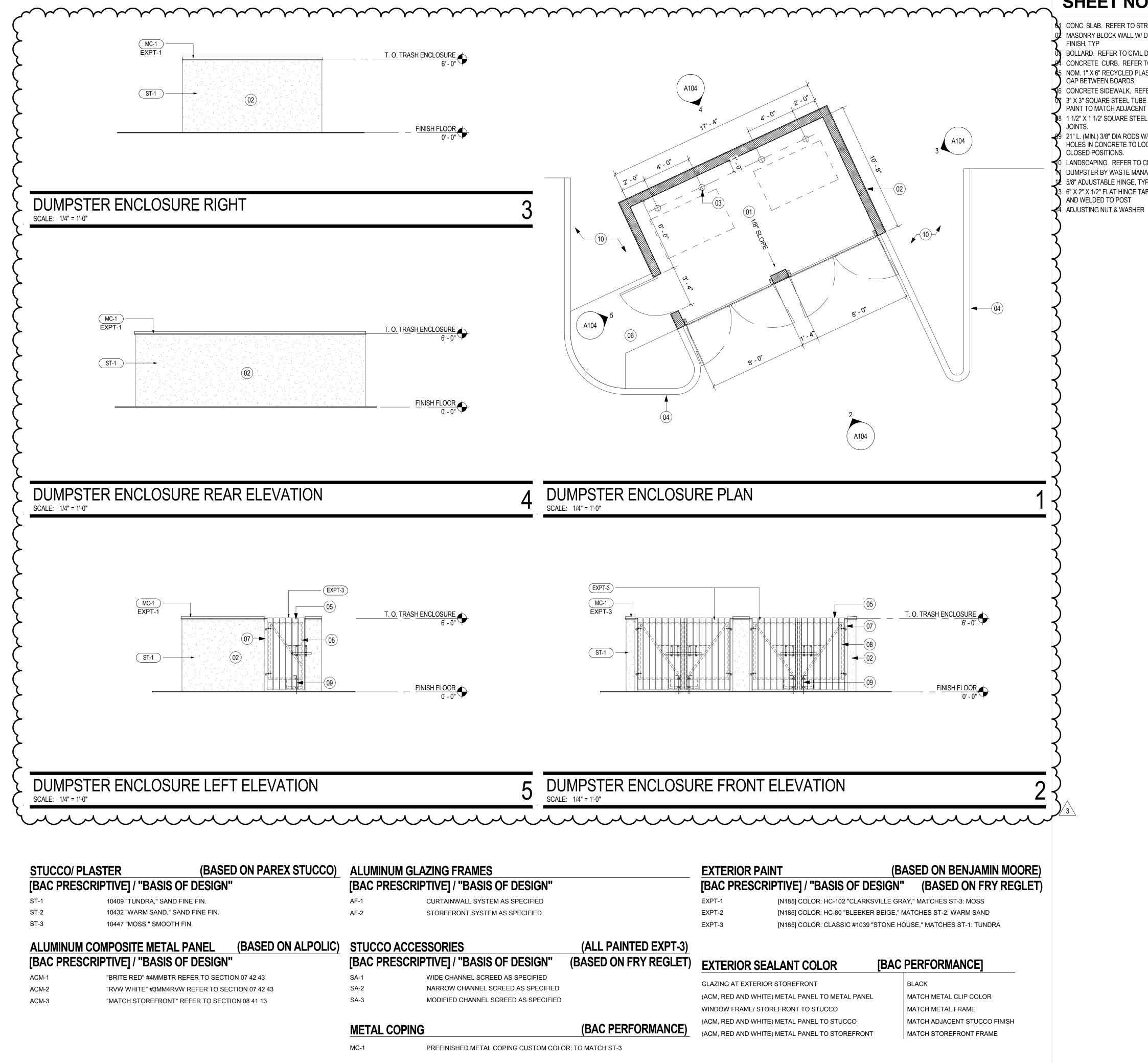
Scale As indicated

Description

**ELEVATIONS** 

A103

**EXTERIOR FINISH SCHEDULE** 



**SHEET NOTES** 

CONC. SLAB. REFER TO STRUCTURAL DRAWINGS MASONRY BLOCK WALL W/ DIRECT BOND STUCCO

BOLLARD. REFER TO CIVIL DRAWINGS. CONCRETE CURB. REFER TO CIVIL DRAWINGS NOM. 1" X 6" RECYCLED PLASTIC 'LUMBER', WITH 5/8"

GAP BETWEEN BOARDS. CONCRETE SIDEWALK. REFER TO CIVIL DRAWINGS 3" X 3" SQUARE STEEL TUBE W/ DRIVE ON CAPS. PAINT TO MATCH ADJACENT WALL.

1 1/2" X 1 1/2' SQUARE STEEL TUBE. SHOP WELD AL 21" L. (MIN.) 3/8" DIA RODS W/ MIN 3" HOOK. DRILL

HOLES IN CONCRETE TO LOCK GATES OPEN AND LANDSCAPING. REFER TO CIVIL DRAWINGS

DUMPSTER BY WASTE MANAGEMENT PROVIDER 5/8" ADJUSTABLE HINGE, TYP 6" X 2" X 1/2" FLAT HINGE TAB EXTENDED THROUGH AND WELDED TO POST

M. Arthur Gensler Jr. & Associates Inc.

851 S STATE RD 7

SERIAL NUM.:

BULLETIN:

DESIGNATION:

NRSP VERSION:

HOLLYWOOD, FL 33023

Bank of America 🧼

FLW-C66

2.0

2-2016

SIGNATURE

LIC. NO. AA0002837

Main Office

2 Harrison Street Suite 400 San Francisco CA 94105 Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

3 10.31.16 REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

Project Name

BAC/GU WASHINGTON PARK

Project Number

69.6191.100

Scale As indicated

Description DUMPSTER ENCLOSURE



WEST ELEVATION - COLOR SCALE: 3/16" = 1'-0"



NORTH ELEVATION - COLOR



**EXTERIOR FINISH LEGEND** 

# SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
- 02 DRIVE THRU ATM BY OWNER
- 03 METAL PANEL SYSTEM
- 04 31 FT FLAG POLE AND MOUNTING BRACKETS -PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 S TYPE REGULATORY DIRECTIONAL/ INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTER OF SIGN = CENTER OF LANE
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE
- 07 BIKE RACK
- 08 EXTERIOR SECURITY CAMERA 09 SIGNAGE ON DOOR THAT READS "NO SMOKING
- WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER
- 10 LINE OF ROOF BEYOND 13 MECHANICAL EQUIPMENT SCREENING. REFER TO
- 14 ALIGN CENTER OF METAL PANEL REVEAL W/ CENTERLINE OF WINDOW, TYP
- STRUCTURAL DRAWINGS.

#### M. Arthur Gensler Jr. & Associates Inc.

851 S STATE RD 7

SERIAL NUM.:

BULLETIN:

**DESIGNATION:** 

NRSP VERSION:

HOLLYWOOD, FL 33023

Bank of America 🧼

FLW-C66

2-2016

2.0

SIGNATURE

# LIC. NO. AA0002837

Main Office

2 Harrison Street Suite 400 San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

#### Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION

3 10.31.16 REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

BAC/GU WASHINGTON PARK

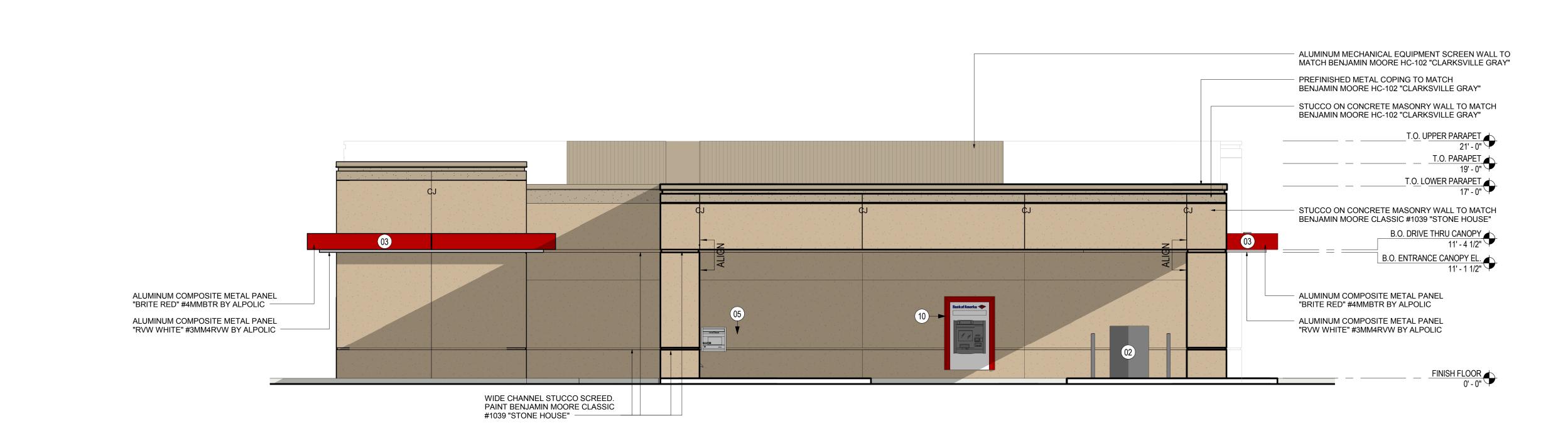
**Project Number** 

Project Name

69.6191.100

Scale As indicated

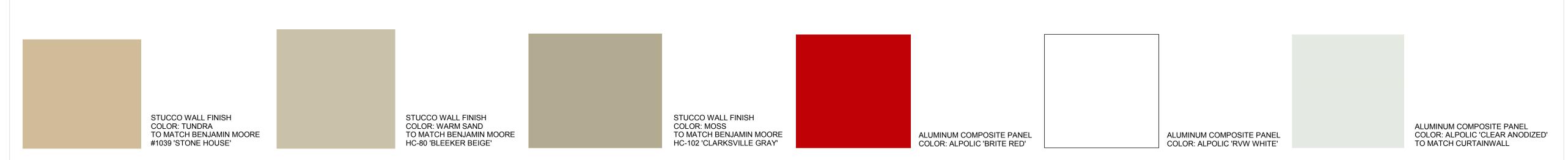
Description **COLOR ELEVATIONS** 



## EAST ELEVATION - COLOR SCALE: 3/16" = 1'-0"



SOUTH ELEVATION - COLOR SCALE: 3/16" = 1'-0"



EXTERIOR FINISH SCHEDULE

# SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
- 02 DRIVE THRU ATM BY OWNER
- 03 METAL PANEL SYSTEM
- 04 31 FT FLAG POLE AND MOUNTING BRACKETS -PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 NIGHT DEPOSITORY
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE
- 07 NOT USED 08 S-TYPE REGULATORY
- DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN=
- CENTERLINE OF LANE. 09 EXTERIOR SECURITY CAMERA
- 10 DRIVE UP TTW ATM BY OWNER
- 11 LINE OF ROOF BEYOND 12 MECHANICAL EQUIPMENT SCREENING. REFER TO STRUCTURAL DRAWINGS.
- M. Arthur Gensler Jr. &

SERIAL NUM.:

BULLETIN:

DESIGNATION:

851 S STATE RD 7

HOLLYWOOD, FL 33023

# Associates Inc.

NRSP VERSION: 2.0

Bank of America 🧼

FLW-C66

2-2016

SIGNATURE

LIC. NO. AA0002837

Main Office

2 Harrison Street Suite 400 San Francisco CA 94105

Tel 415.433.3700 Fax 415.836.4599



Infinity Engineering Group, LLC. Attn: Brett Nevaril 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211

## Date Description

1 08.15.16 ISSUE FOR TAC SUBMISSION 3 10.31.16 REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016 Project Name

BAC/GU WASHINGTON PARK

Project Number

69.6191.100

Scale As indicated

Description **COLOR ELEVATIONS** 

© 2016 Gensler

# HOLLYWOOD PLAZA

## SR7 STREET VIEW RENDERING

# **Kimley** »Horn

5200 NW 33rd AVENUE, SUITE 109, FT. LAUDERDALE, FL 3330
PHONE: 954-535-5100 FAX: 954-739-2247



