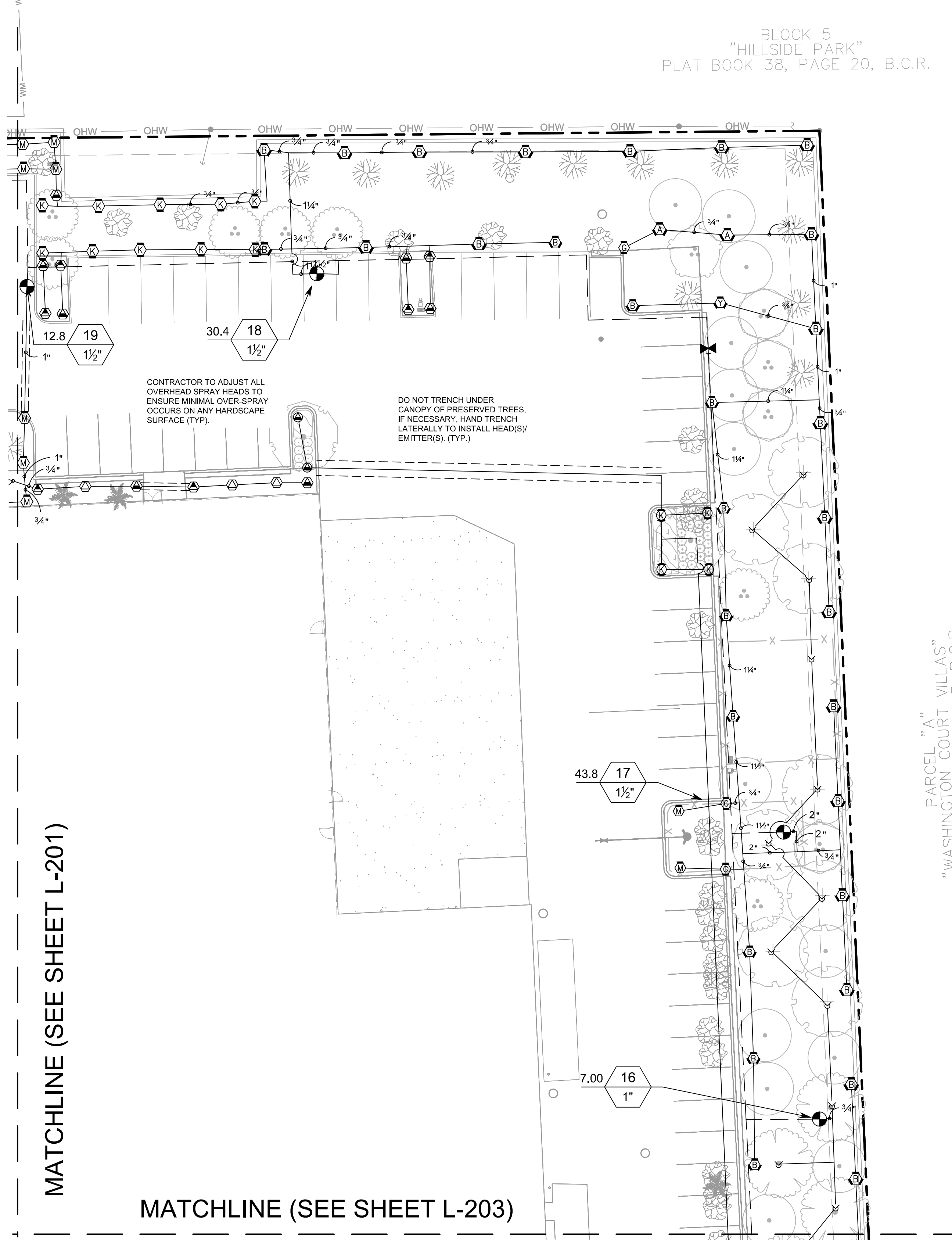
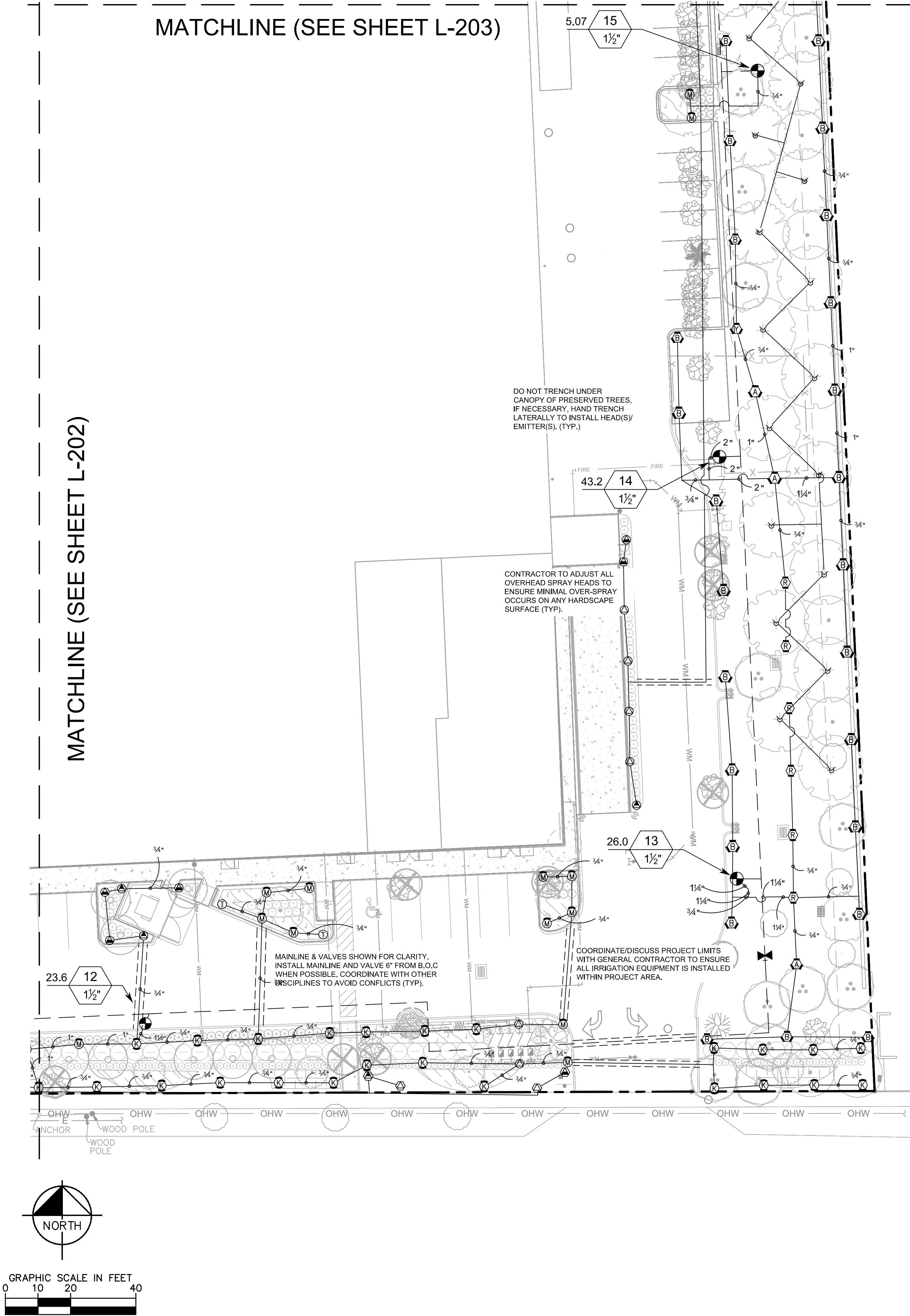


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IRRIGATION PLAN

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PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696

LICENSE: 00000696
REGISTERED PROFESSIONAL ARCHITECT
STATE OF FLORIDA
LASE657392
DATE: 5/19/2017

KHA PROJECT 147522001
DATE 07/15/16
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY KHA
CHECKED BY MSM
DATE: 5/19/2017

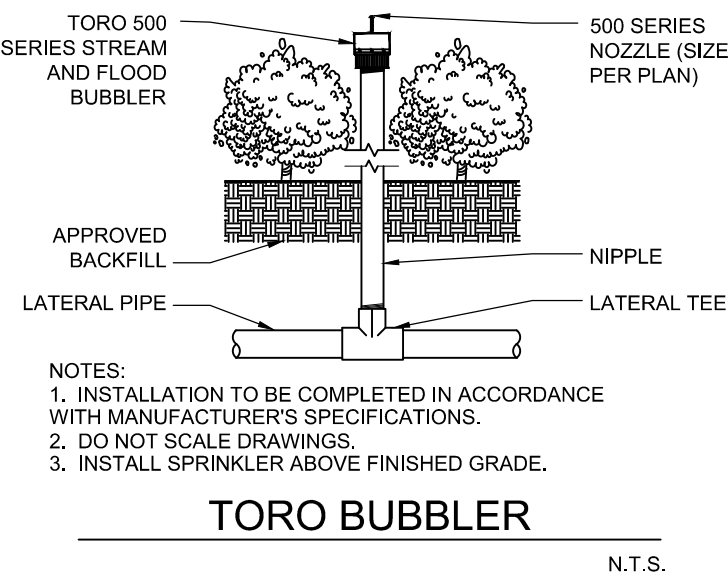
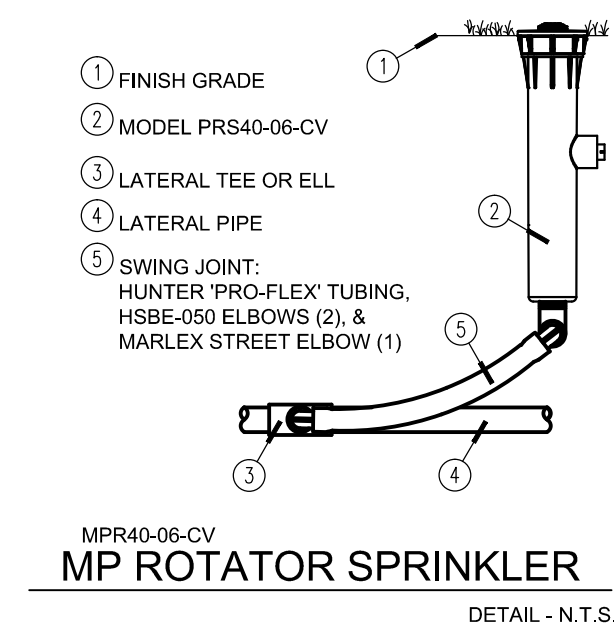
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CITY OF HOLLYWOOD

SHEET NUMBER
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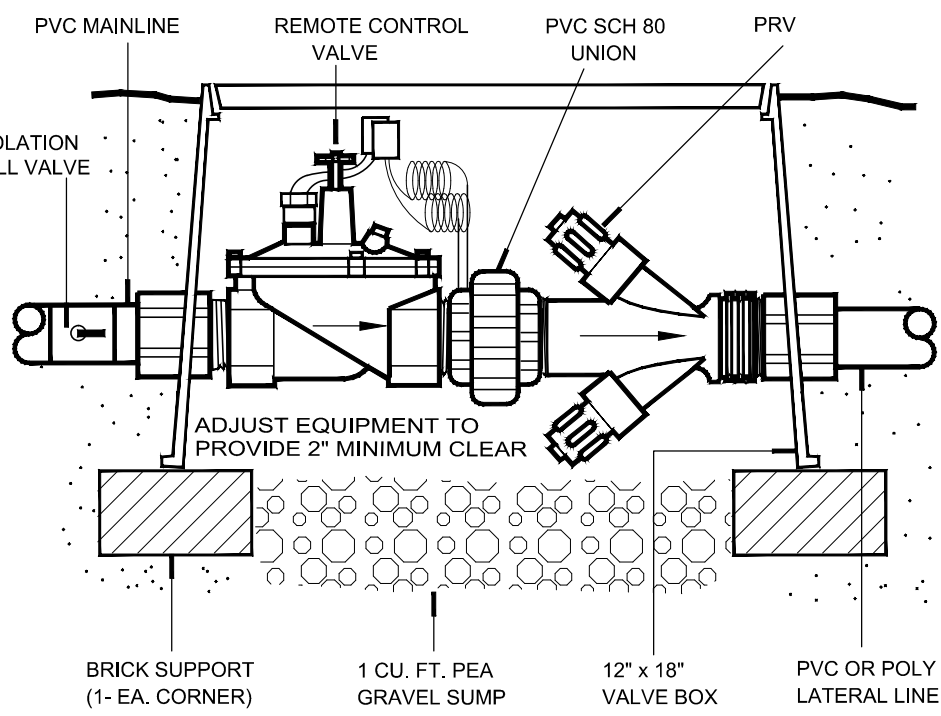
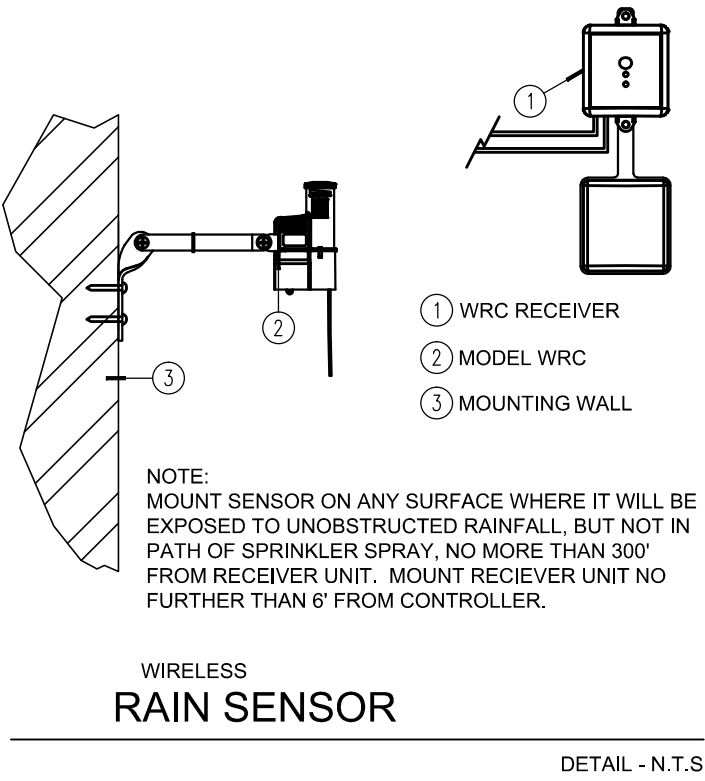
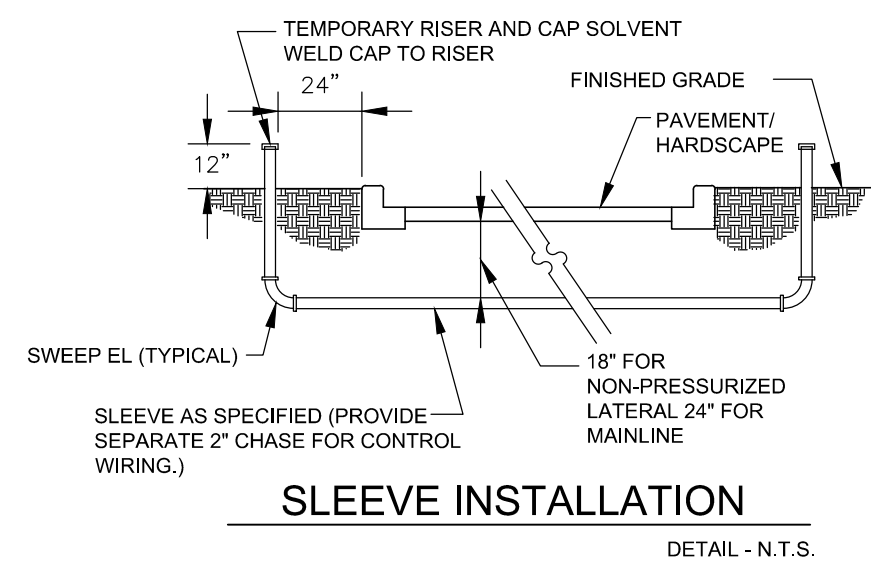
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1	CITY REQUESTED ADDITIONS	03/09/17	

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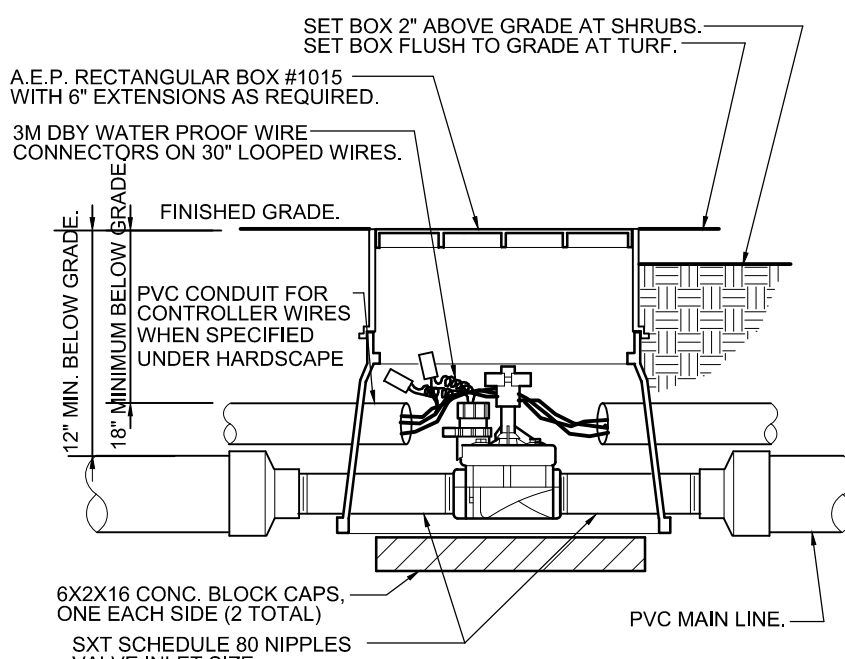


PIPE SIZE	SLEEVE SIZE
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3, 4"	6"

SLEEVE SIZE SCHEDULE

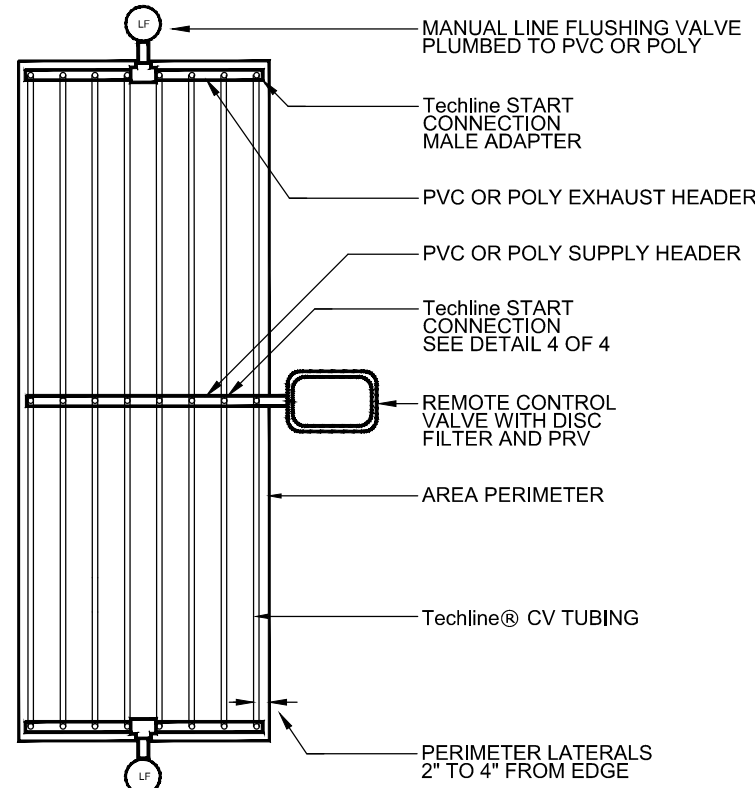


REMOTE CONTROL VALVE

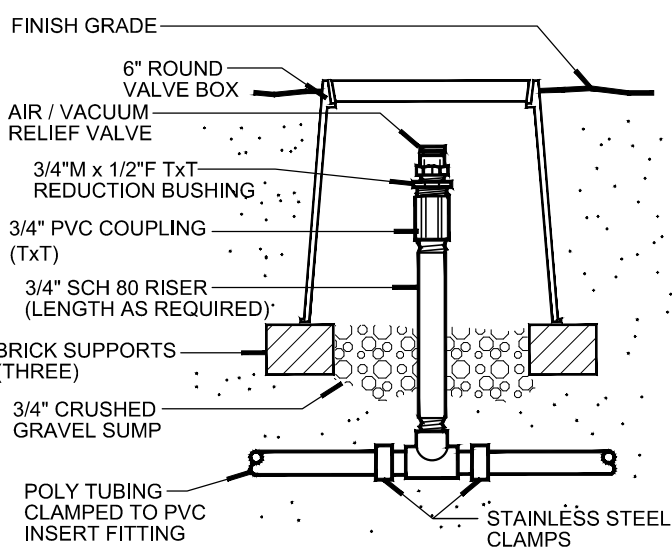


MASTER CONTROL VALVE

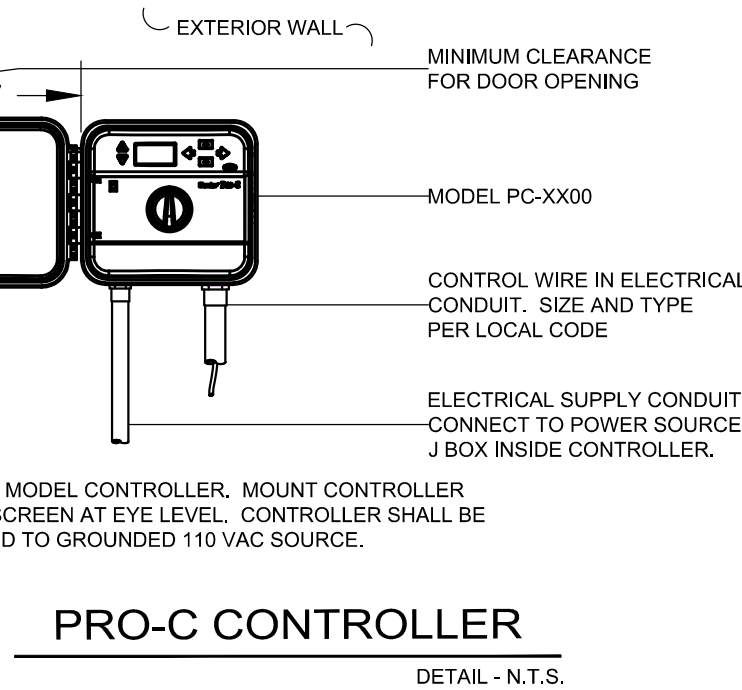
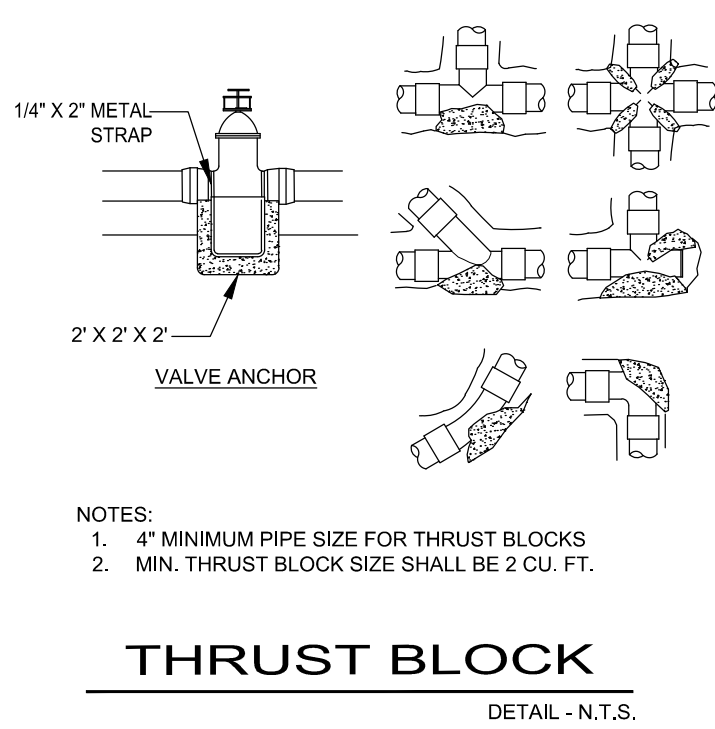
WHERE LAYOUT FLEXIBILITY EXISTS CENTER FEED LAYOUTS MUST BE USED. THIS ALLOWS FOR EVEN FLOW OF WATER THROUGH THE ZONE.



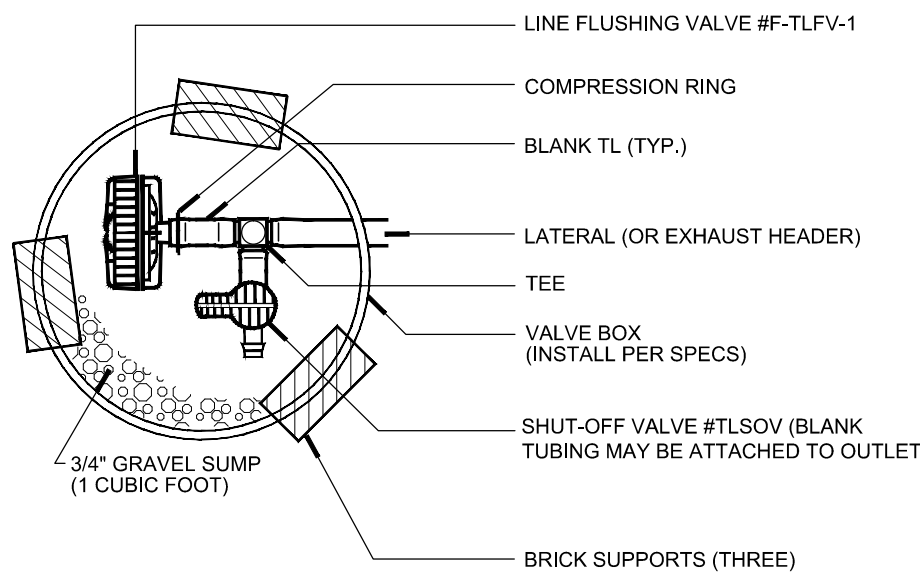
ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.



AIR/VACUUM RELIEF



PRO-C CONTROLLER



LINE FLUSHING VALVE

TECHLINE CV-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)				
TECHLINE DRIPPER SPACING DRIPPER FLOW RATE (GPH)	12"	18"	24"	
INLET PRESSURE (PSI)	0.4	0.6	0.9	0.6 0.9
15	109	86	65	151 120 91
25	325	256	194	459 361 274
35	409	322	244	579 456 346
45	469	369	280	664 523 397

GENERAL IRRIGATION SPECIFICATIONS AND NOTES

A. EXTENT:

INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT FOR THE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: (1) TRENCHING AND BACKFILL, (2) AUTOMATICALLY CONTROLLED LOW VOLUME IRRIGATION SYSTEM, (3) TEST ALL SYSTEMS AND MAKE OPERATIVE, (4) "AS-BUILT" DRAWINGS.

B. GENERAL:

1. PERMITS AND FEES: OBTAIN ALL PERMITS AND PAY REQUIRED FEES TO ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. INSPECTIONS REQUIRED BY LOCAL ORDINANCES DURING THE COURSE OF CONSTRUCTION SHALL BE ARRANGED AS REQUIRED. ON COMPLETION OF THE WORK, SATISFACTORY EVIDENCE SHALL BE FURNISHED TO THE OWNER'S CONSTRUCTION REPRESENTATIVE TO SHOW THAT ALL WORK HAS BEEN INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - PLUMBING / APPENDIX F' AND CODE REQUIREMENTS.

2. APPROVAL: WHEREVER THE TERMS "APPROVE" OR "APPROVED" ARE USED IN THE SPECIFICATIONS, THEY SHALL MEAN THE APPROVAL OF THE OWNER'S CONSTRUCTION REPRESENTATIVE IN WRITING.

3. BEFORE ANY WORK IS STARTED, A CONFERENCE SHALL BE HELD BETWEEN THE CONTRACTOR AND THE OWNER'S CONSTRUCTION REPRESENTATIVE CONCERNING THE WORK UNDER THIS CONTRACT.

4. COORDINATION: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE

5. INSPECTION OF SITE:

A. CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL SITE CONDITIONS. SUBMISSION OF HIS PROPOSAL SHALL BE CONSIDERED EVIDENCE THAT THE EXAMINATION HAS BEEN CONDUCTED. SHOULD UTILITIES NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE FOR INSTRUCTIONS AS TO FURTHER ACTION. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE THERETO ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN IN PLANS.

B. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS IN THE LAYOUT AS MAY BE REQUIRED TO CONNECT TO EXISTING STUBOUTS. SHOULD SUCH STUBS NOT BE LOCATED EXACTLY AS SHOWN, AND AS MAY BE REQUIRED TO WORK AROUND EXISTING WORK AT NO INCREASE IN COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.

6. PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS: THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS TO REMAIN. SHOULD DAMAGE BE INCURRED, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

7. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE, ADD, OR DELETE ANY MATERIAL, OR WORK AS THE WORK PROGRESSES. ADJUSTMENTS TO THE CONTRACT PRICE SHALL BE NEGOTIATED IF DEEMED NECESSARY BY THE OWNER ON A PER DIEM BASIS.

8. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT THE EARLIEST TIME POSSIBLE.

9. WORK SCHEDULE: WITHIN 10 DAYS AFTER AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A WORK SCHEDULE.

10. "AS-BUILT" IRRIGATION DRAWINGS: PREPARE AN "AS-BUILT" DRAWING ON A BLUEPRINT WHICH SHALL SHOW DEVIATIONS FROM THE BID DOCUMENTS MADE DURING CONSTRUCTION AFFECTING THE MAIN LINE PIPE. CONTROLLER LOCATIONS, REMOTE CONTROL VALVES AND QUICK COUPLING VALVES, THE DRAWINGS SHALL ALSO INDICATE AND SHOW APPROVED SUBSTITUTIONS OF SIZE, MATERIAL, AND MANUFACTURER'S NAME AND CATALOG NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE DELIVERED TO THE TENANT'S CONSTRUCTION REPRESENTATIVE BEFORE FINAL ACCEPTANCE OF WORK

11. FINAL ACCEPTANCE: FINAL ACCEPTANCE OF THE WORK MAY BE OBTAINED FROM THE OWNER'S CONSTRUCTION REPRESENTATIVE UPON THE SATISFACTORY COMPLETION OF ALL WORK.

12. GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP TO THE SATISFACTION OF THE TENANT'S CONSTRUCTION REPRESENTATIVE. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AT NO COST TO THE OWNER.

13. A LAMINATED PLAN (8 1/2 X 11) SHOWING THE DIFFERENT IRRIGATION ZONES IN COLOR, PREPARED BY THE IRRIGATION CONTRACTOR, SHALL BE POSTED IN THE MECHANICAL ROOM.

C. MATERIALS:

1. GENERAL: ALL MATERIALS THROUGHOUT THE SYSTEM SHALL BE NEW AND IN PERFECT CONDITION.

2. PLASTIC PIPING: ALL MAIN LINES AND LATERAL LINES SHALL BE CLASS 200 POLYVINYL CHLORIDE (PVC) PIPE AND SHALL COMPLY WITH ONE OF THE FOLLOWING STANDARDS: ASTM D 1785, ASTM D-2241, AWWA C-900, OR AWWA C-905. SDR-PR PIPE SHALL HAVE A MINIMUM WALL THICKNESS AS REQUIRED BY SDR-26. PVC GASKETS FITTINGS SHALL CONFORM TO ASTM D 3139. GASKETS SHALL CONFORM TO ASTM F 477. SOLVENT-WELD PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. THREADED PVC PIPE FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2464, CONFORMING TO ASTM D-1784 AND D-2241

3. PLASTIC FITTINGS: ALL SOLVENT-WELD PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. SCHEDULE 40 SOLVENT-WELD, POLYVINYL CHLORIDE (PVC) STANDARD WEIGHT AS MANUFACTURED BY SLOAN, LASCOR, OR APPROVED EQUAL.

4. SOLVENT CEMENT: PVC CEMENT SHALL MEET ASTM D 2564 AND PVC CLEANER-TYPE SHALL MEET ASTM F 656.

6. AUTOMATIC CONTROLLER: SEE LEGEND

7. REMOTE CONTROL VALVES: SEE LEGEND

8. CONTROL WIRING: 24 VOLT SOLID UL APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM WIRE SIZE: 14 GAUGE. ALL SPLICES SHALL BE MADE WITHIN VALVE BOX.

9. SLEEVES FOR CONTROL WIRING: UNDER ALL WALKS AND PAVED AREAS AND WHERE INDICATED ON DRAWINGS. MINIMUM PVC 1220-200 PSI PLASTIC PIPE.

10. SPRINKLER HEADS/ DRIP LINE: SEE LEGEND

11. QUICK COUPLING VALVES: SHALL BE NOTED ON DRAWINGS.

D. WORKMANSHIP:

1. LAY OUT WORK AS ACCURATELY AS POSSIBLE TO THE DRAWINGS. THE DRAWINGS, THOUGH CAREFULLY DRAWN, ARE GENERALLY DIAGRAMMATIC TO THE EXTENT THAT SWING JOINTS, OFFSETS, AND ALL FITTINGS ARE NOT SHOWN.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND COMPLETE COVERAGE OF ALL IRRIGATED AREAS AND SHALL MAKE ANY NECESSARY MINOR ADJUSTMENTS AT NO ADDITIONAL COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.

3. ANY MAJOR REVISIONS TO THE IRRIGATION SYSTEM MUST BE SUBMITTED AND ANSWERED IN WRITTEN FORM, ALONG WITH ANY CHANGE IN CONTRACT PRICE.

E. INSTALLATION:

1. EXCAVATION AND TRENCHING:

A. PERFORM ALL EXCAVATIONS AS REQUIRED FOR THE INSTALLATION OF THE WORK INCLUDING UNDER THIS SECTION, INCLUDING SHORING OF EARTH BANKS TO PREVENT CAVE-INS, RESTORE ALL SURFACES, EXISTING UNDERGROUND INSTALLATIONS, ETC., DAMAGED OR CUT AS A RESULT OF THE EXCAVATIONS TO AND IN A MANNER APPROVED BY THE OWNER.

B. TRENCHES SHALL BE MADE WIDE ENOUGH TO ALLOW A MINIMUM OF 6 INCHES BETWEEN PARALLEL PIPE LINES. TRENCHES FOR PIPE LINES SHALL BE MADE OF SUFFICIENT DEPTHS TO PROVIDE THE MINIMUM COVER FROM FINISH GRADE AS FOLLOWS:

- 1) 18" MINIMUM COVER OVER IRRIGATION LINES FOR VEHICLE TRAFFIC AREAS.
- 2) MINIMUM COVER OVER IRRIGATION LINES TO HEADS/ DRIPLINE EXCEPT VEHICLE TRAFFIC AREAS ARE AS FOLLOWS:

3/4" - 1 1/2"	=	6" COVER
2" - 3"	=	12" COVER
4" - 6" +	=	18" COVER
GREATER THAN 6"	=	24" COVER

C. MAINTAIN ALL WARNING SIGNS, SHORING, BARRICADES, FLARES AND RED LANTERNS AS REQUIRED BY THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY AND LOCAL ORDINANCES.

2. PIPE LINE ASSEMBLY:

A. INSTALL REMOTE CONTROL VALVES WHERE SHOWN AND GROUP TOGETHER WHERE PRACTICAL. PLACE NO CLOSER THAN 12 INCHES TO WALK EDGES, BUILDINGS AND WALLS.

B. PLASTIC PIPE AND FITTINGS SHALL BE SOLVENT WELDED USING SOLVENTS AND METHODS RECOMMENDED BY MANUFACTURER OF THE PIPE. EXCEPT WHERE SCREWED CONNECTIONS ARE REQUIRED, PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE APPLYING SOLVENT WITH A NON-SYNTHETIC BRISTLE BRUSH.

C. PIPE MAY BE ASSEMBLED AND WELDED ON THE SURFACE. SNAKE PIPE FROM SIDE TO SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.

D. MAKE ALL CONNECTIONS BETWEEN PLASTIC PIPE AND METAL VALVES OR STEEL PIPE WITH THREADED FITTINGS USING PLASTIC MALE ADAPTERS.

3. SPRINKLER HEADS/ DRIPLINE:

A. INSTALL ALL SPRINKLERS/ DRIPLINE AS DETAILED ON DRAWINGS.

B. DO NOT SCALE PLANS FOR EXACT HEAD LOCATION.

C. PROVIDE A MINIMUM OF 4" BETWEEN SPRINKLERS/ DRIPLINE AND PAVEMENT AND 12 INCHES BETWEEN SPRINKLERS/ DRIPLINE AND BUILDINGS.

4. CLOSING OF PIPE AND FLUSHING LINES:

A. CAP OR PLUG ALL OPENINGS AS SOON AS LINES HAVE BEEN INSTALLED TO PREVENT THE ENTRANCE OF MATERIALS THAT WOULD OBSTRUCT THE PIPE. LEAVE IN PLACE UNTIL REMOVAL IS NECESSARY FOR COMPLETION OF INSTALLATION.

B. THOROUGHLY FLUSH OUT ALL WATER LINES BEFORE INSTALLING HEADS, DRIPLINE, VALVES AND OTHER HYDRANTS.

C. TEST IN ACCORDANCE WITH PARAGRAPH ON HYDROSTATIC TESTS.

D. UPON COMPLETION OF THE TESTING, THE CONTRACTOR SHALL COMPLETE ASSEMBLY AND ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION.

5. INSPECTIONS:

A. SPRINKLER/ DRIPLINE LAYOUT AND SPACING INSPECTION: VERIFICATION THAT THE IRRIGATION DESIGN IS ACCURATELY INSTALLED IN THE FIELD. IT WILL ALSO PROVIDE FOR ALTERATION OR MODIFICATION OF THE SYSTEM TO MEET FIELD CONDITIONS. SPACING SHOULD BE WITHIN 5% OF THE DESIGN SPACING.

B. PIPE INSTALLATION DEPTH INSPECTION: ALL PIPES IN THE SYSTEM SHALL BE INSTALLED TO DEPTHS AS PREVIOUSLY DESCRIBED IN SECTION 'E' OF THESE SPECIFICATIONS.

C. OPEN TRENCH INSPECTION: THE TRENCH AND ALL JOINTS AND EVERY TRANSITION IN PIPE SIZE, WILL BE OPEN WHERE OPEN TRENCH INSPECTION IS REQUIRED.

D. INSPECTIONS WILL BE PERFORMED THROUGHOUT THE DURATION OF THE INSTALLATION. INSPECTION MAY BE MADE BY THE GOVERNING AGENCY/ OWNER TO ENSURE COMPLIANCE WITH DESIGN INTENT, SPECIFICATIONS, AND THE IRRIGATION CODES.

6. HYDROSTATIC TESTS:

A. REQUEST THE PRESENCE OF THE OWNER IN WRITING AT LEAST 48 HOURS IN ADVANCE OF TESTING.

B. TESTING TO BE ACCOMPLISHED AT THE EXPENSE OF THE CONTRACTOR AND IN THE PRESENCE OF THE OWNER.

C. CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE.

D. APPLYING A CONTINUOUS AND STATIC WATER PRESSURE OF 125 PSI WHEN WELDED PLASTIC JOINTS HAVE CURED AT LEAST 3 HOURS AND WITH THE RISERS CAPPED AS FOLLOWS:

- 1) MAIN LINES AND SUBMAINS TO BE TESTED FOR 2 HOURS.
- 2) NO PRESSURE LOSS IS ALLOWED FOR SOLVENT WELD MAINLINE/ PIPE.

E. FOR PVC AND O-RING GASKET PIPE THE ALLOWABLE LEAKAGE SHALL NOT EXCEED THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA:

$$L = NP D^{2.5} \times 1.850$$

IN WHICH: L=ALLOWABLE LEAKAGE, IN GALLONS PER HOUR

N=NUMBER OF JOINTS

D=PIPE DIAMETER IN INCHES

P=AVERAGE TEST PRESSURE IN PSI GAUGE

F. REPAIR LEAKS RESULTING FROM TESTS.

7. AUTOMATIC CONTROLLERS:

A. CONNECT REMOTE CONTROL VALVES TO CONTROLLER IN A CLOCKWISE SEQUENCE TO CORRESPOND WITH STATION SETTING BEGINNING WITH STATIONS 1, 2, 3, ETC.

8. AUTOMATIC CONTROL WIRING:

A. INSTALL CONTROL WIRING, SPRINKLER MAINS AND LATERALS IN COMMON TRENCHES WHEREVER POSSIBLE.

B. INSTALL CONTROL WIRES AT LEAST 18" BELOW FINISH GRADE AND LAY TO THE SIDE AND BELOW THE MAIN LINE. PROVIDE LOOPED SLACK AT VALVES AND SNAKE WIRES IN TRENCH TO ALLOW FOR CONTRACTION OF WIRES. TIE WIRES IN BUNDLES AT INTERVALS.

C. CONTROL WIRE SPLICES WILL BE ALLOWED ONLY RUNS OVER 1000 FT. CONNECTIONS SHALL BE IN VALVE BOX & SHOWN ON AS-BUILT PLAN FOR LOCATION.

D. ALL WIRING PASSING UNDER EXISTING OR FUTURE PAVING, CONSTRUCTION, ETC., SHALL BE ENCASED IN PLASTIC OR GALVANIZED STEEL CONDUIT EXTENDING AT LEAST 24" BEYOND EDGES OF PAVING OR CONSTRUCTION.

9. BACKFILL AND COMPACTING:

A. AFTER SYSTEM IS OPERATING AND REQUIRED TESTS AND INSPECTIONS HAVE BEEN MADE, BACKFILL EXCAVATIONS AND TRENCHES WITH CLEAN SOIL, FREE OF RUBBISH. INITIAL BACKFILL MATERIAL TO 6 INCHES ABOVE THE TOP OF PIPE SHALL BE FREE OF ROCKS OR STONES LARGER THAN ONE INCH IN DIAMETER FINAL BACKFILL MATERIAL SHALL BE FREE OF ROCKS OR STONES LARGER THAN 3 INCHES IN DIAMETER.

B. BACKFILL FOR ALL TRENCHES, REGARDLESS OF THE TYPE OF PIPE COVERED, SHALL BE COMPACTED TO MINIMUM 90% DENSITY.

C. COMPACT TRENCHES IN AREAS TO BE PLANTED BY THOROUGHLY FLOODING THE BACKFILL. JETTING PROCESS MAY BE USED IN THOSE AREAS.

D. DRESS OFF ALL AREAS TO FINISH GRADES.

10. PROTECTIVE RADIUS OF EXISTING TREES:

A. AN AUGER IS TO BE USED TO TUNNEL UNDER EXISTING TREES IF IRRIGATION IS INSTALLED WITHIN THE PROTECTIVE RADIUS OF EXISTING TREES AND ONLY IF THERE IS NO OTHER OPTION OR TO DO SO CREATES AN UNREASONABLE HARDSHIP.

F. CLEAN-UP:

1. REMOVE FROM THE SITE ALL DEBRIS RESULTING FROM WORK OF THIS SECTION.

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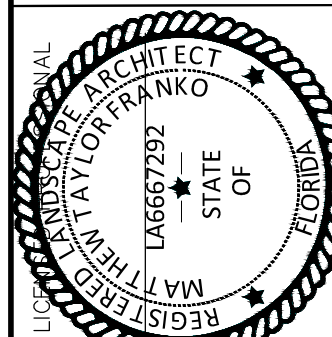
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KHA PROJECT 147522001	DATE 07/15/16	SCALE AS SHOWN	DESIGNED BY KHA	DRAWN BY KHA	CHECKED BY MSM	DATE 5/19/2017
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IRRIGATION DETAILS

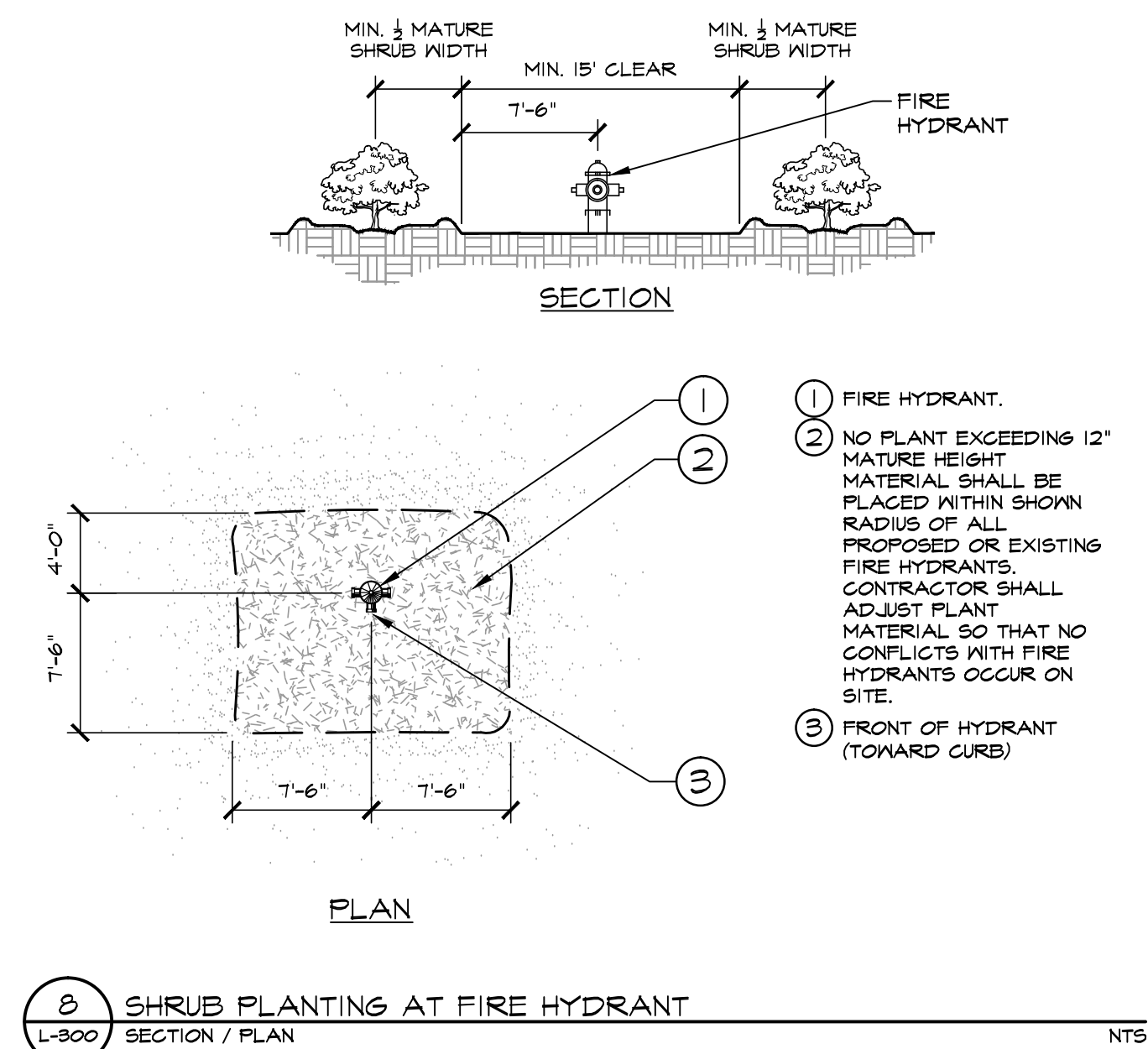
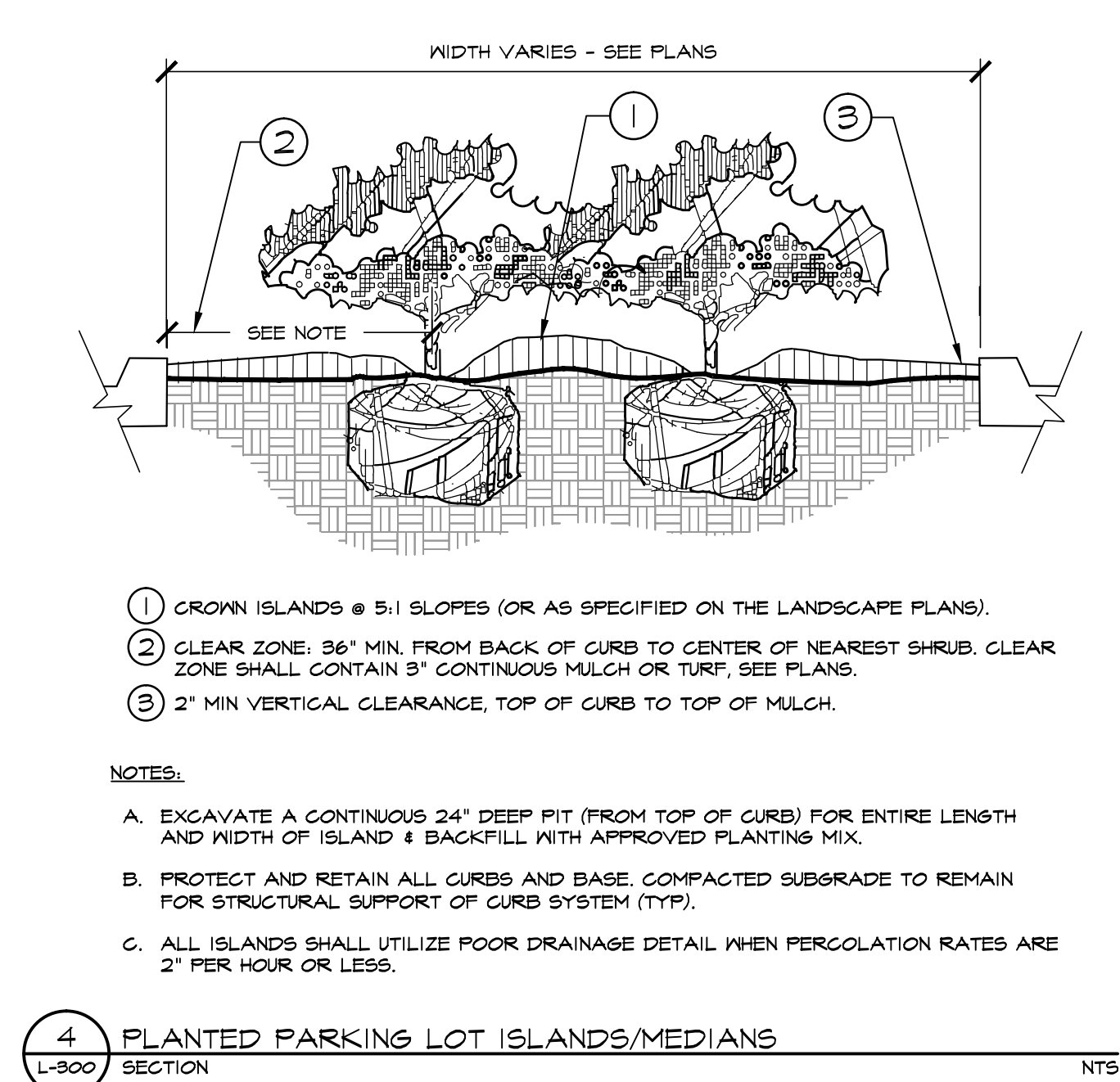
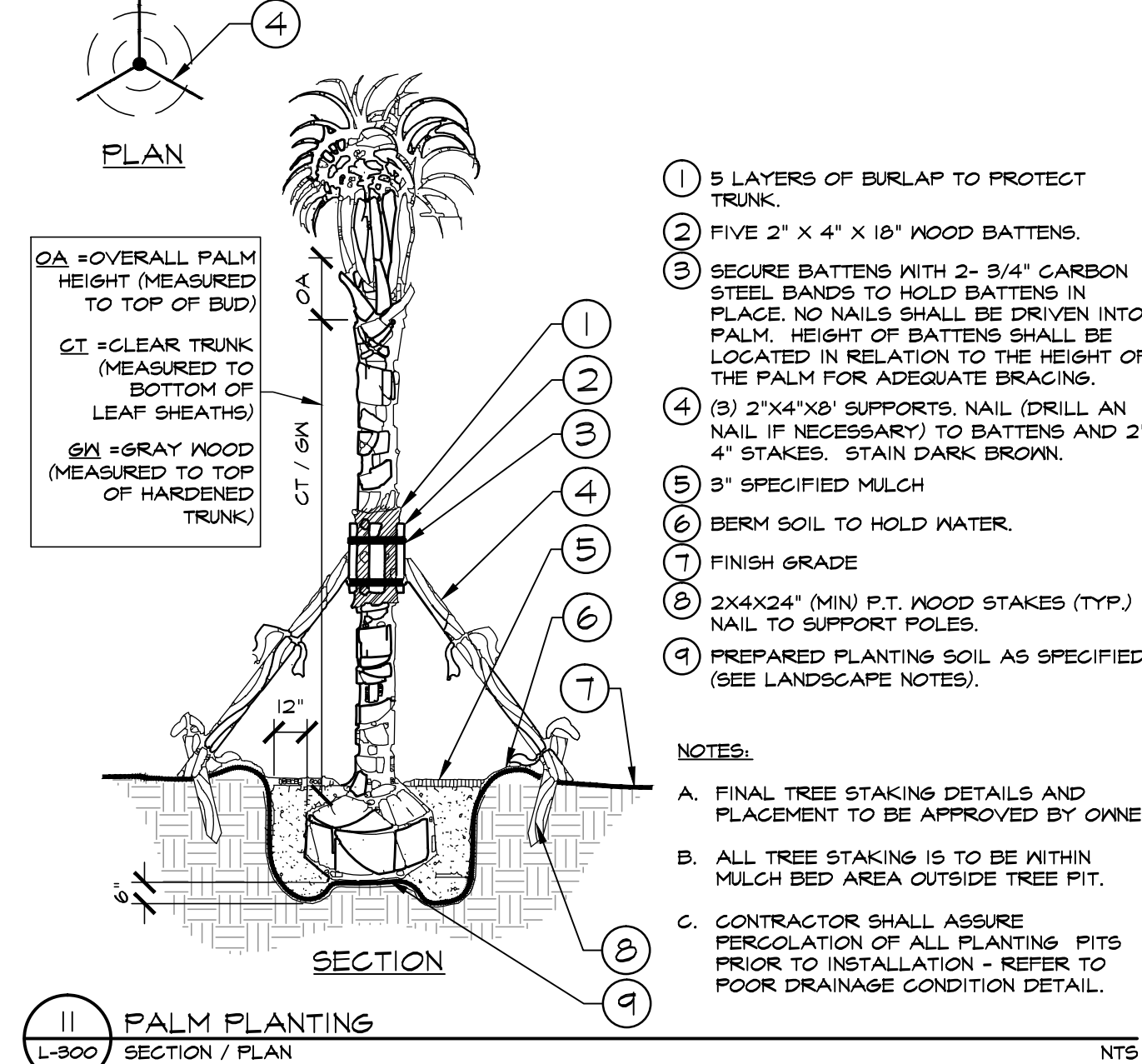
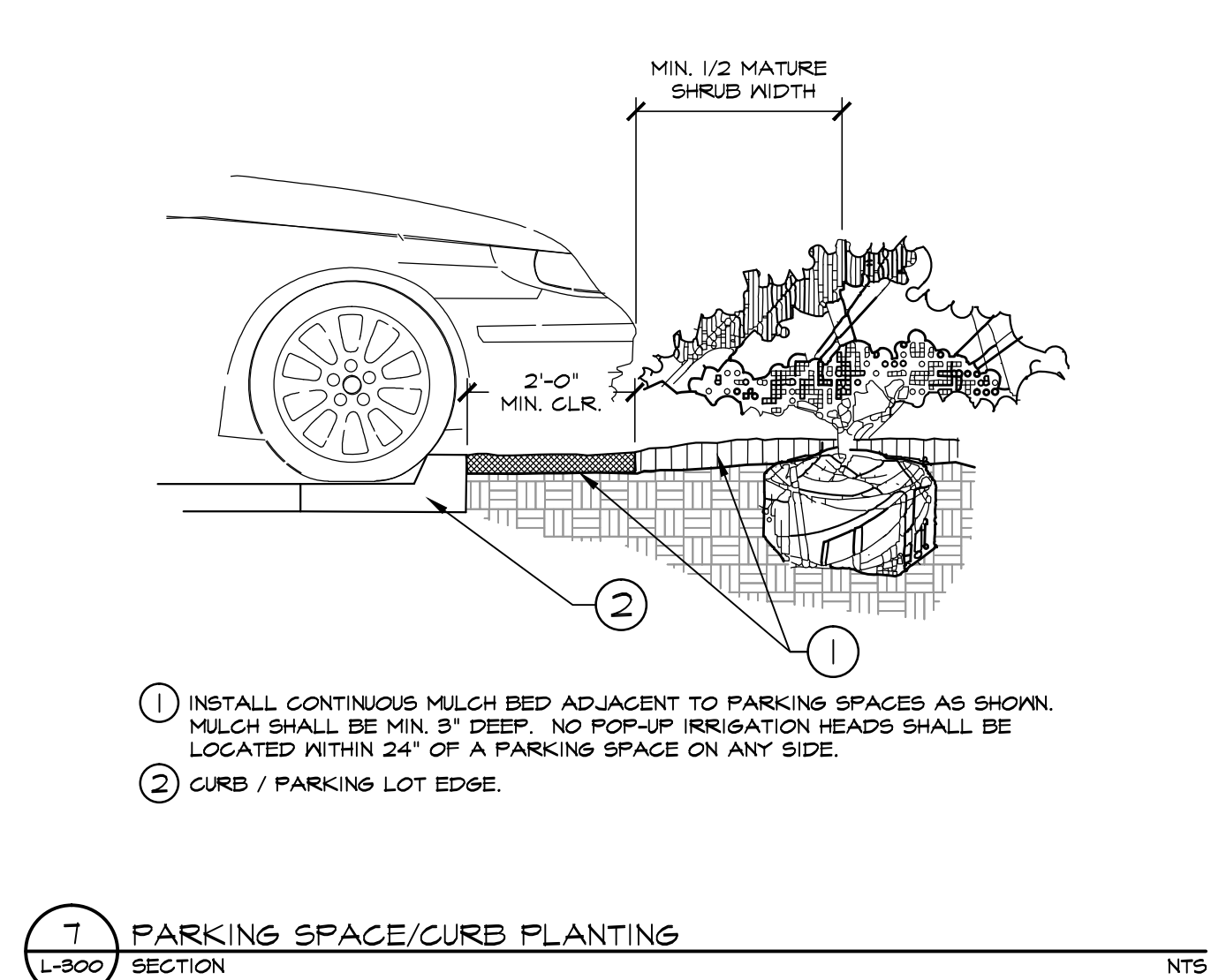
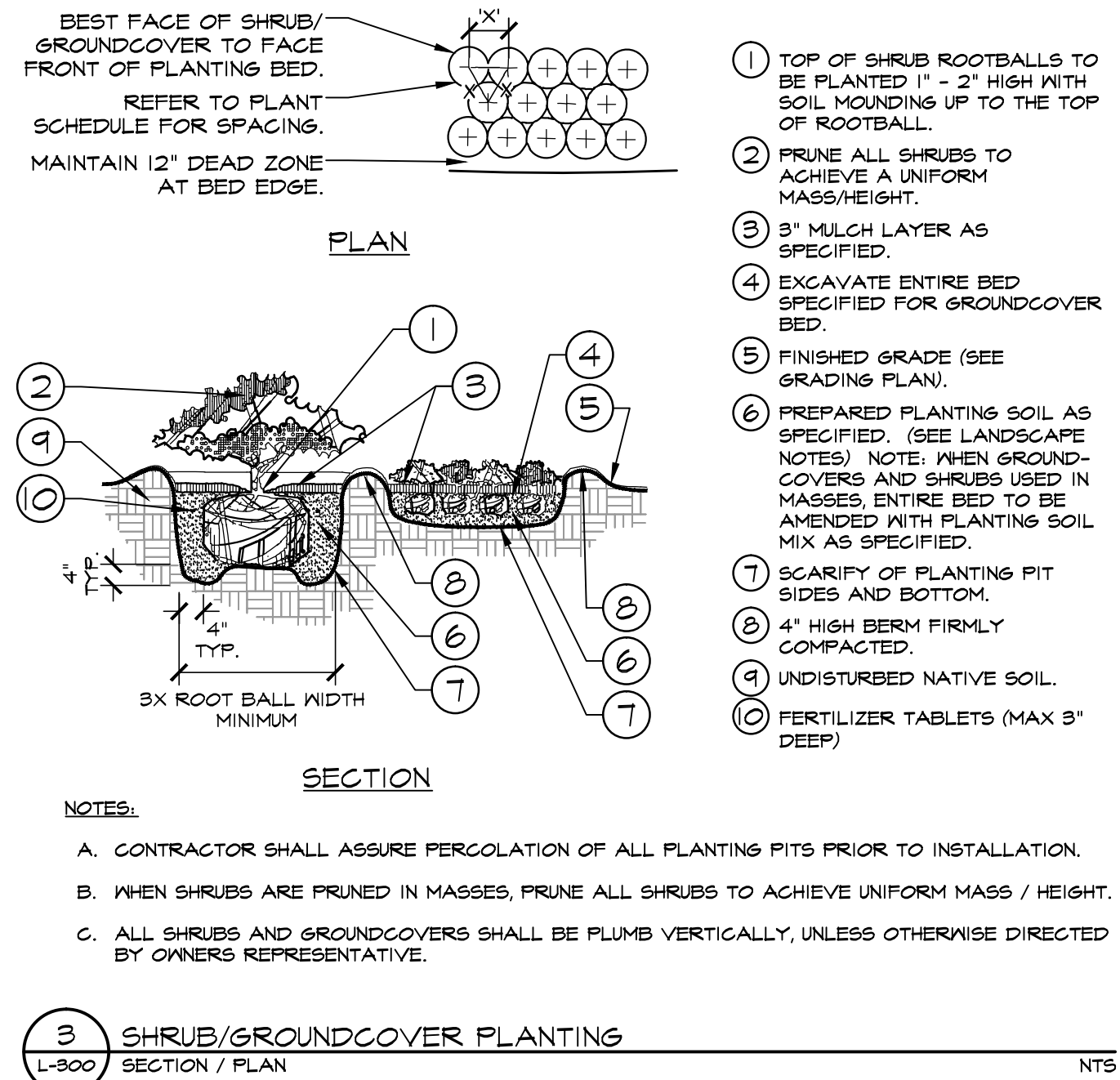
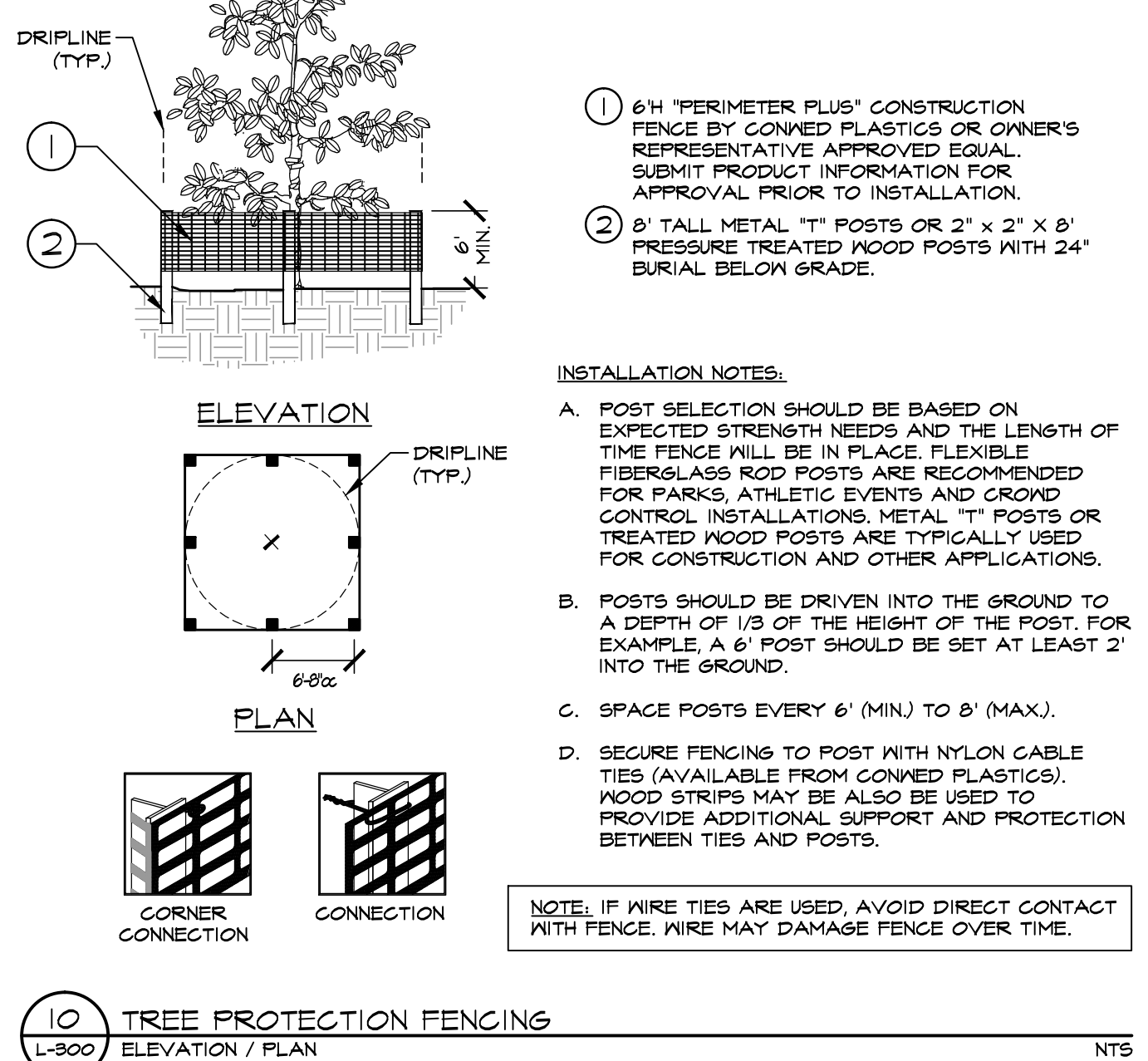
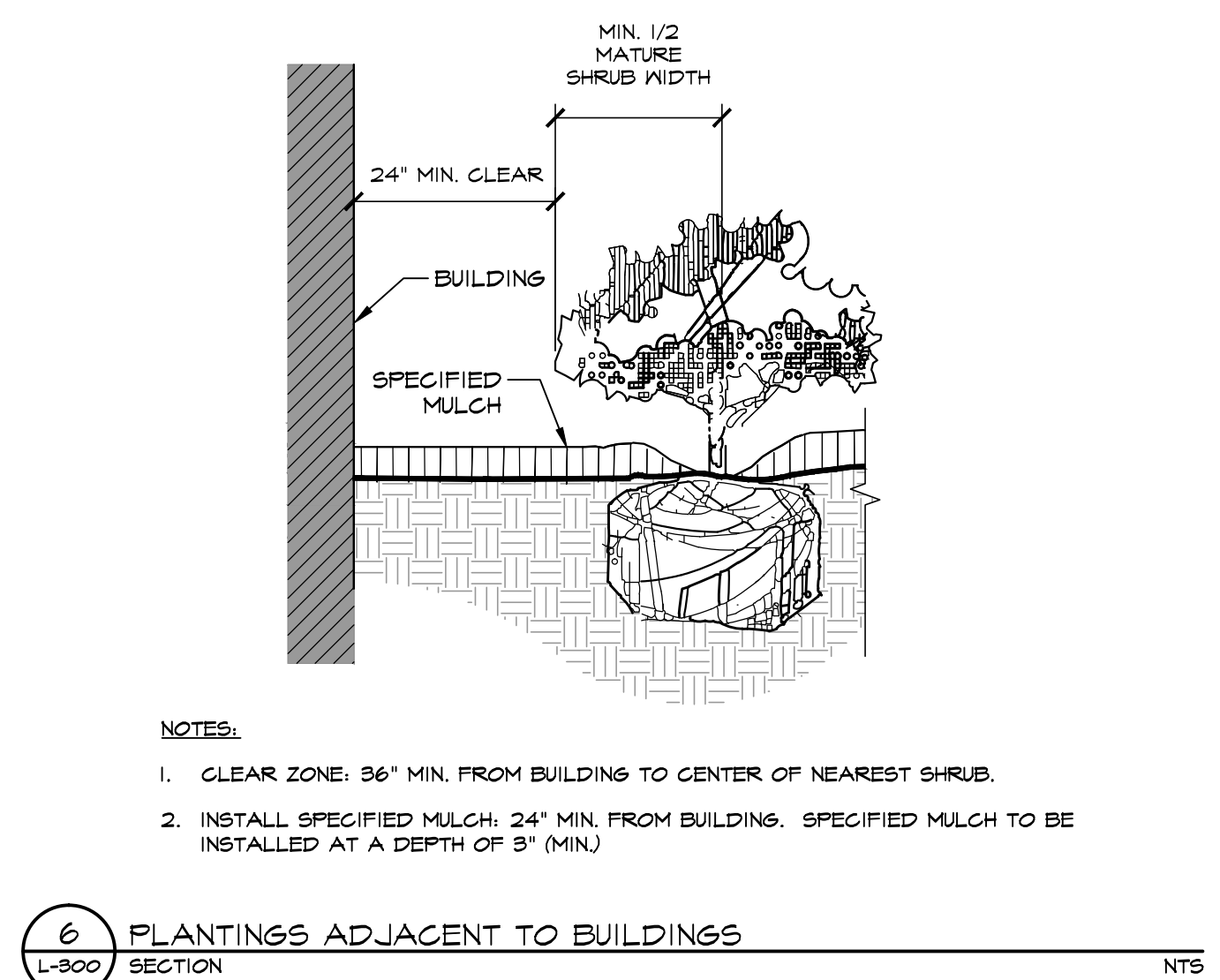
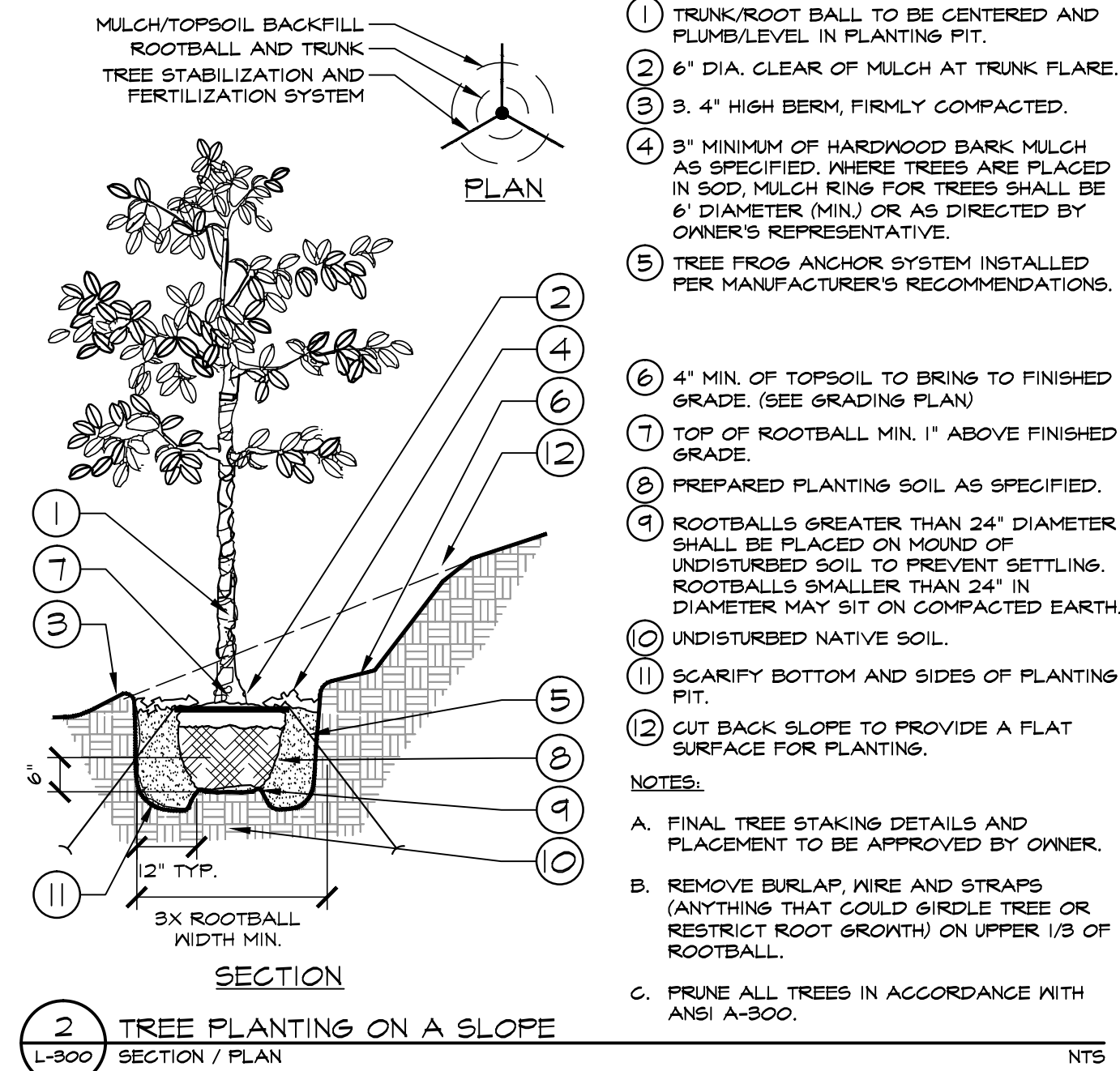
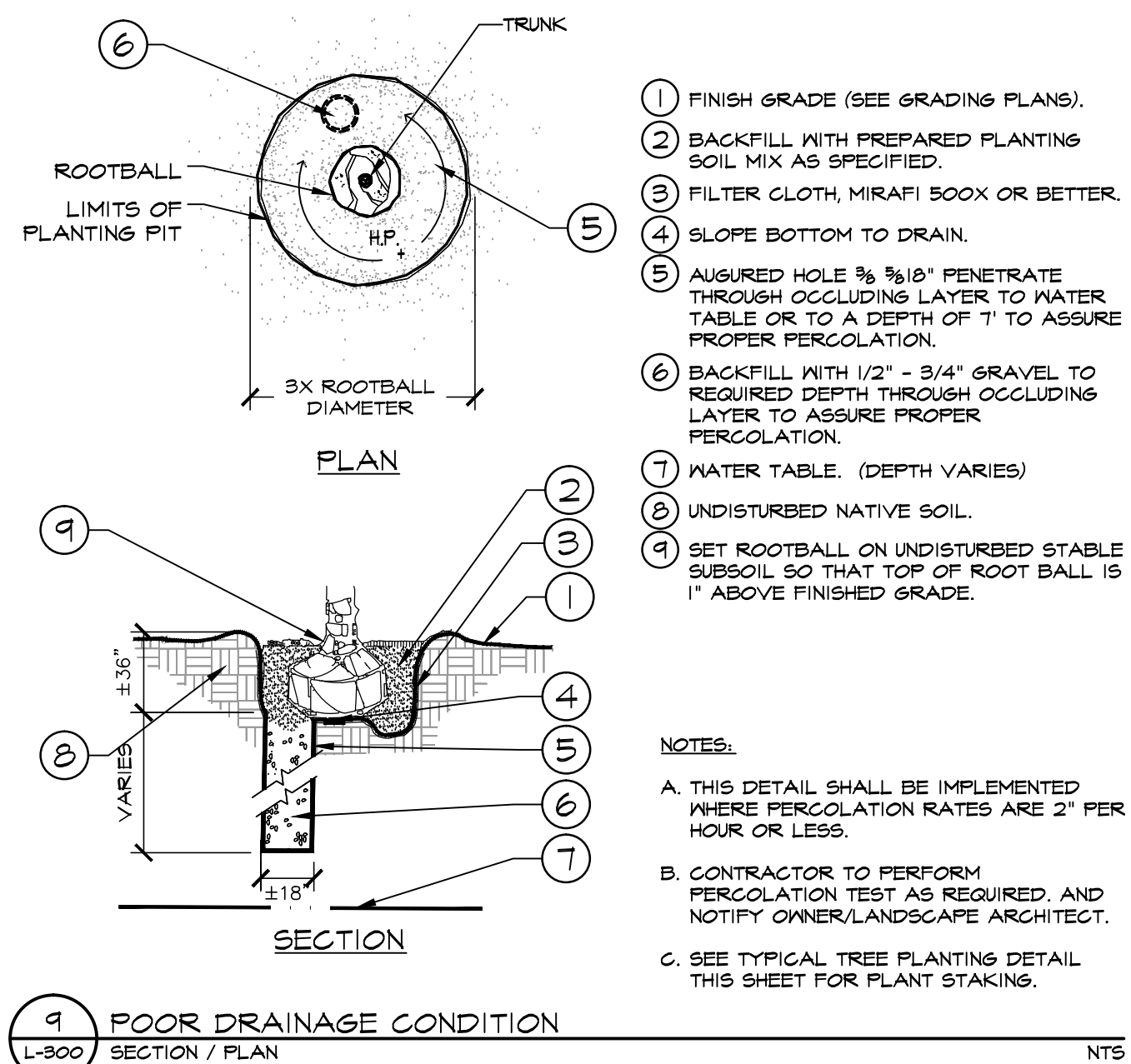
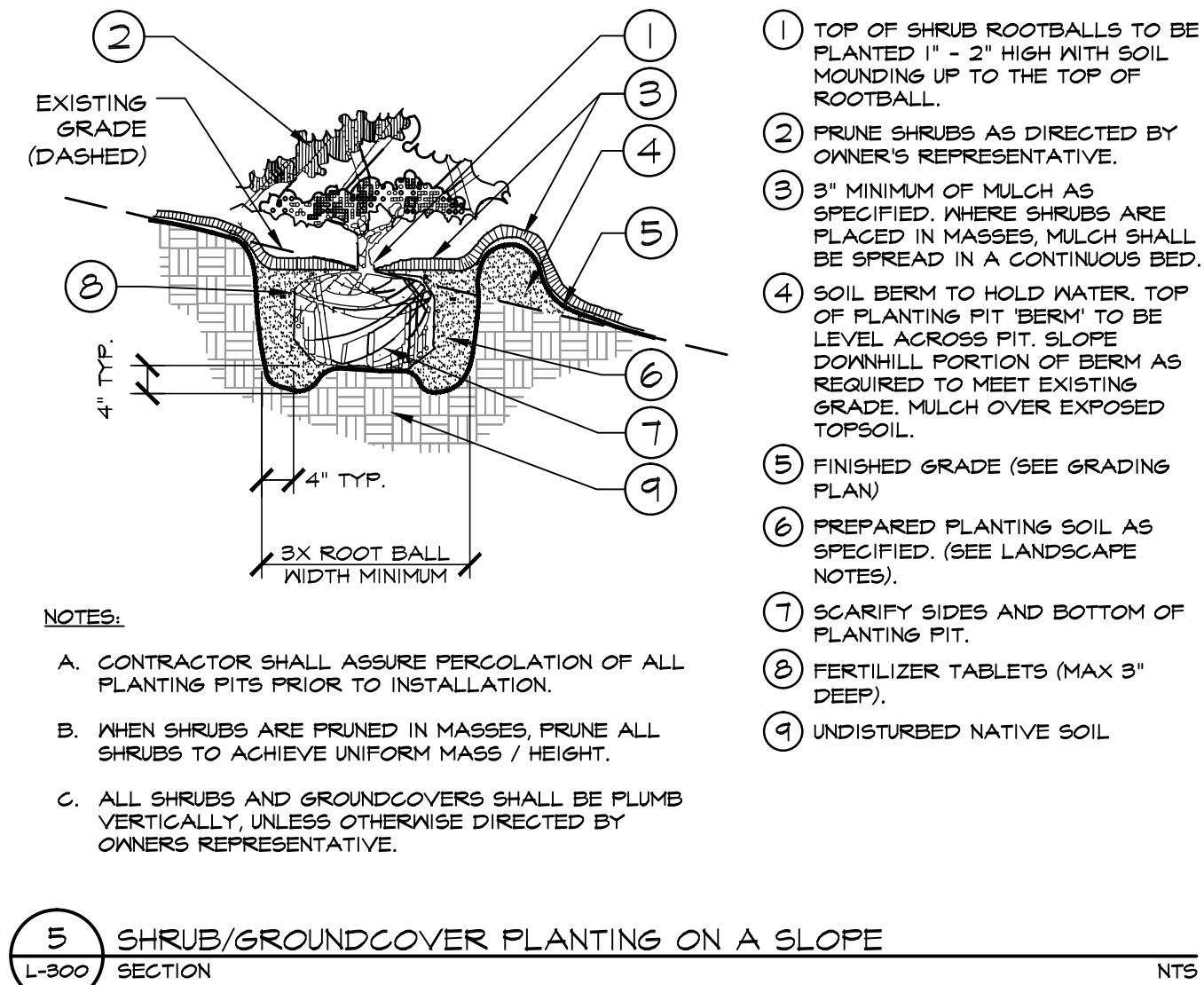
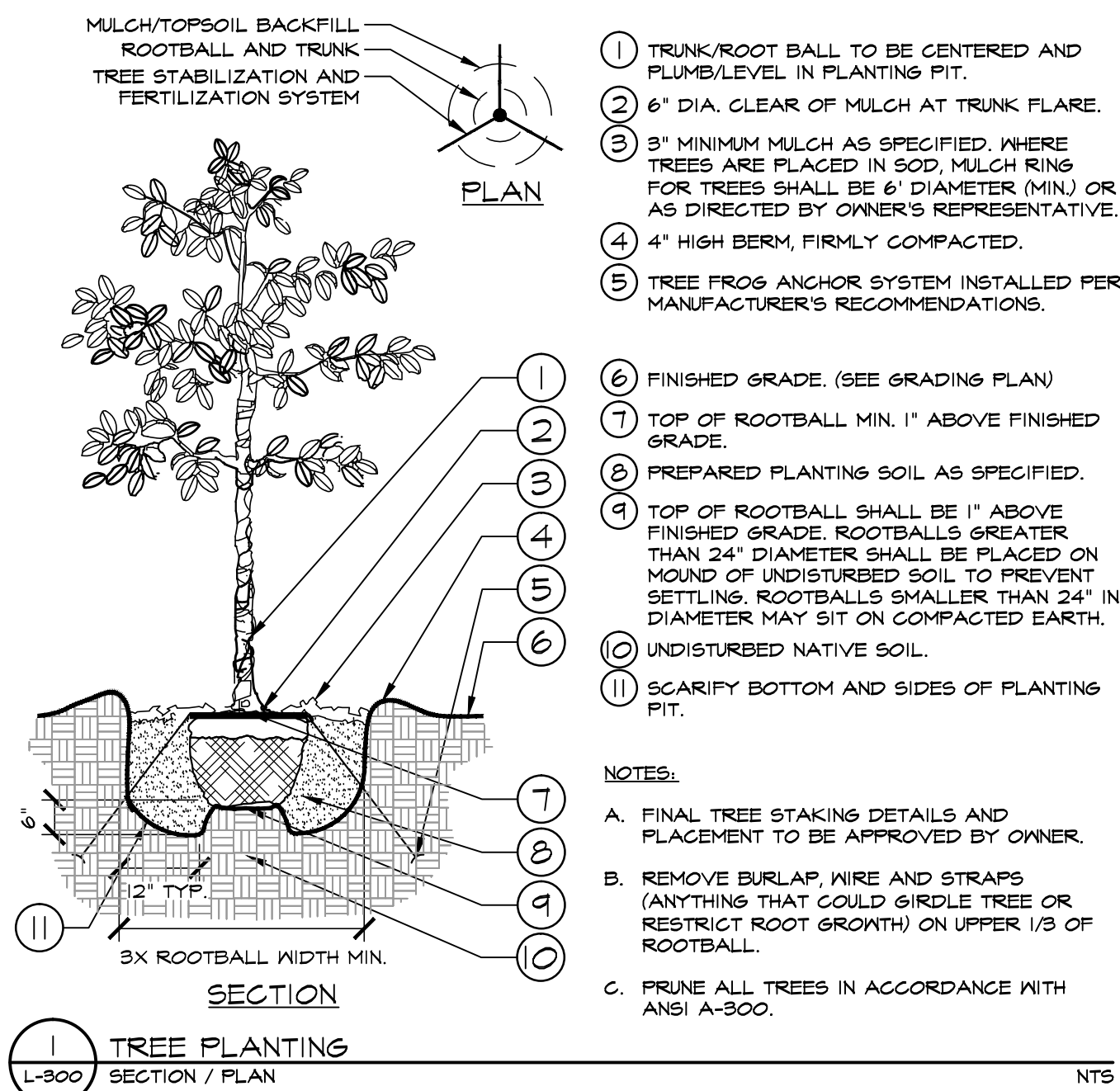
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SHEET NUMBER
L-204

CITY OF HOLLYWOOD

FL

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WWW.KIMLEY-HORN.COM CA 00000696

LANDSCAPE DETAILS

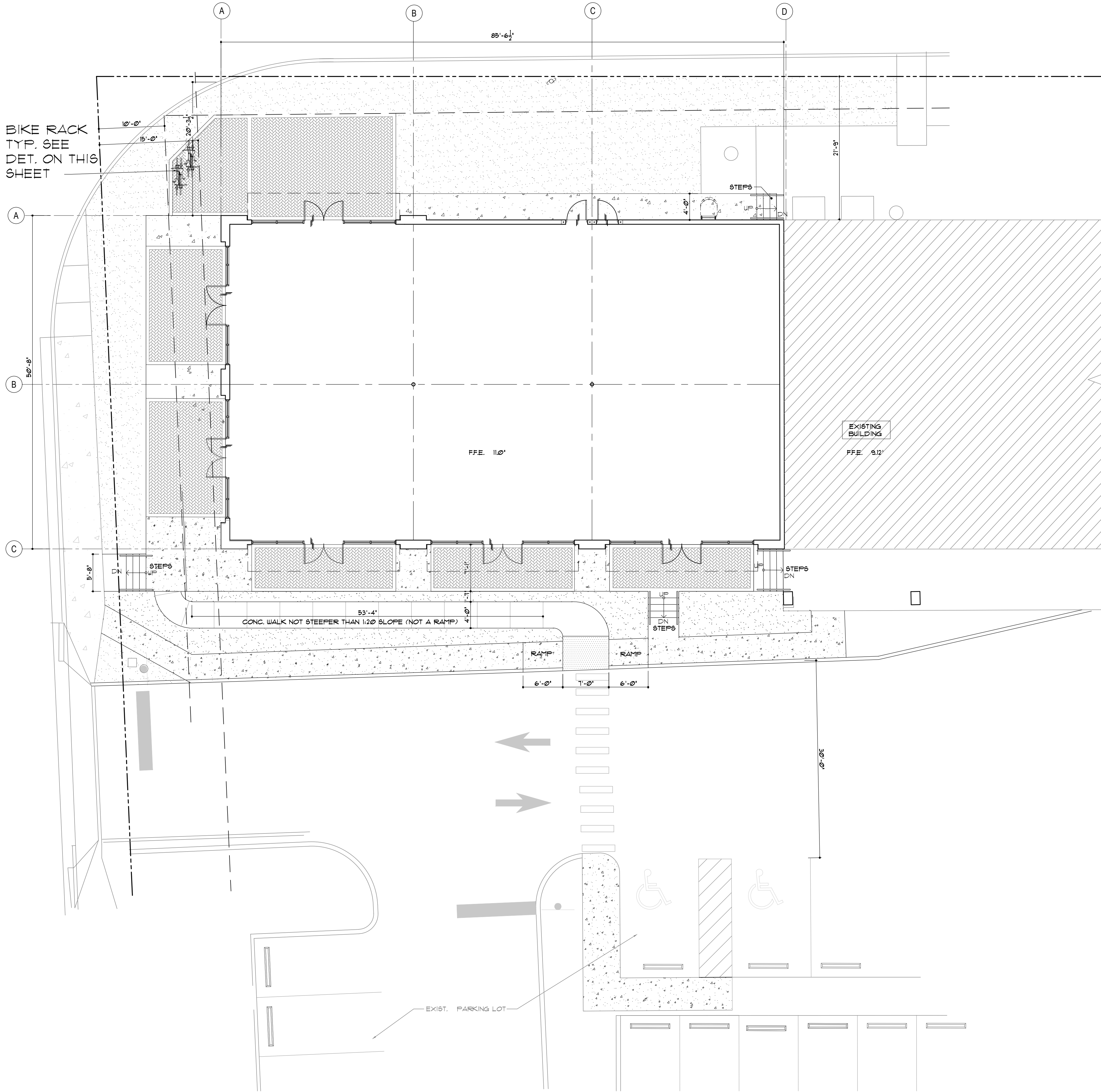
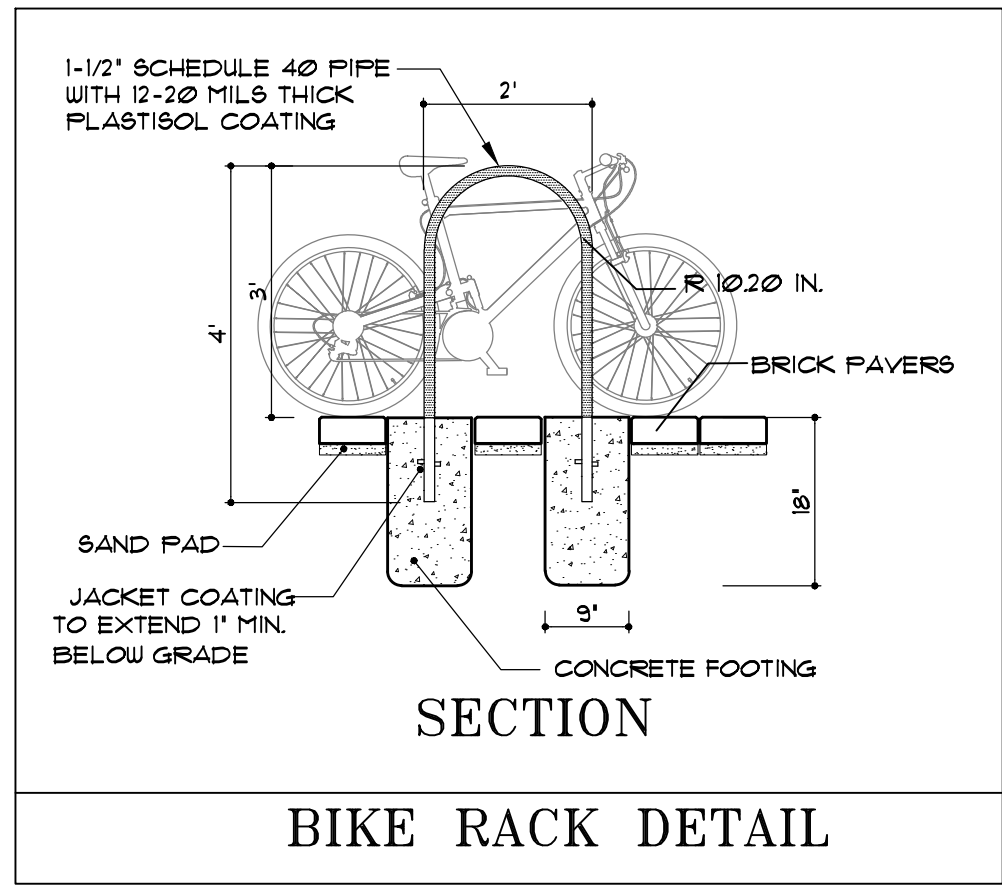
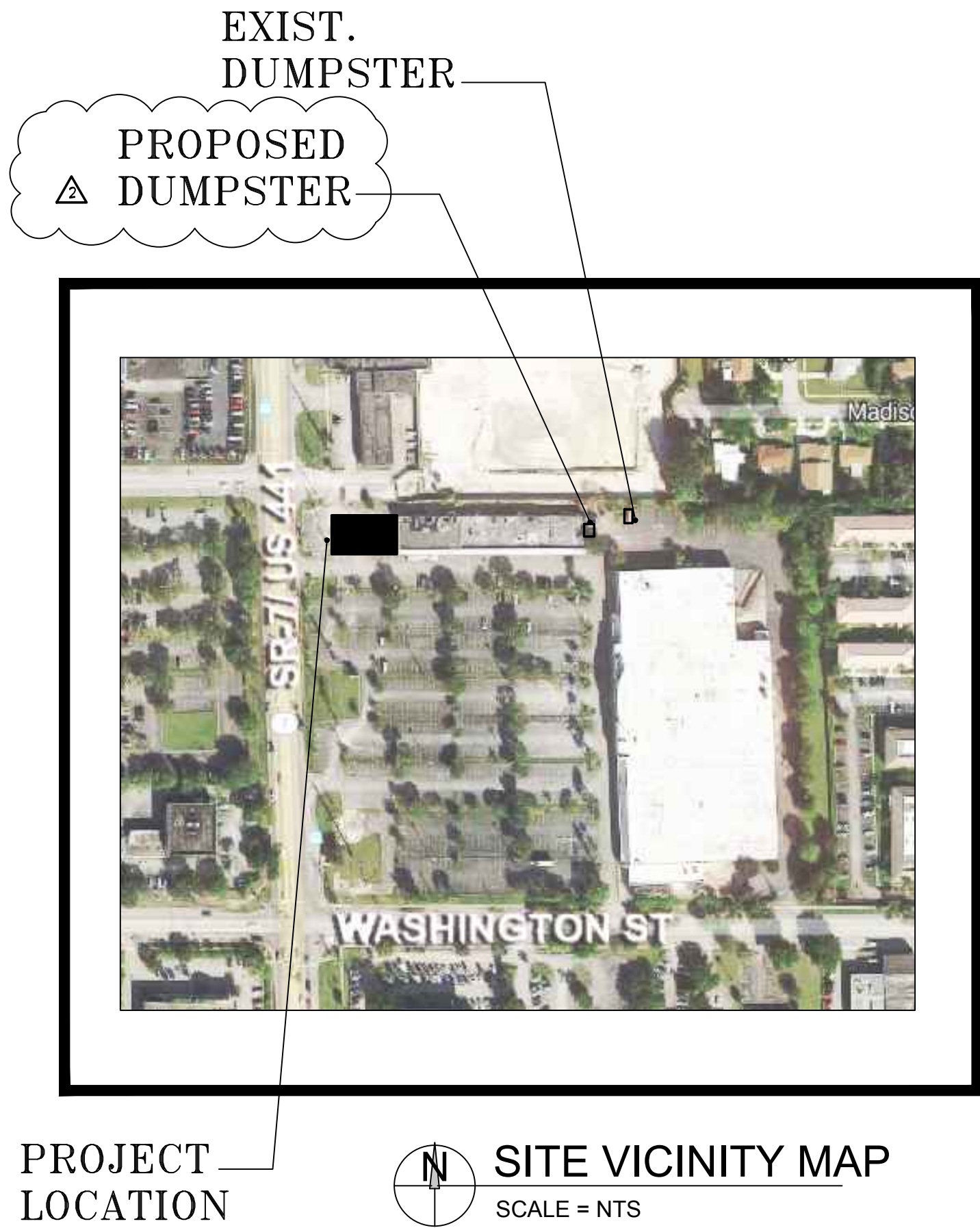
BANK OF AMERICA

CITY OF HOLLYWOOD

FL

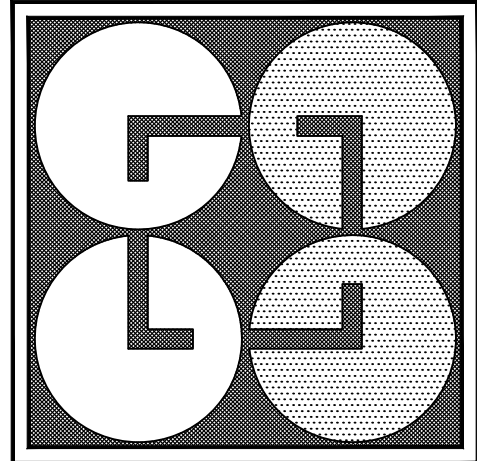
SHEET NUMBER L-300

NO.	REVISIONS	DATE
4	REVISED PER CITY OF HOLLYWOOD COMMENTS	05/11/16
3	REVISED PER BROWARD COUNTY COMMENTS	05/06/16
2	REVISED PER HEALTH DEPT COMMENTS	04/25/16
1	REVISED PER RFI COMMENTS	04/13/16



FLOOR PLAN

SCALE: 1/8" = 1'-0"



GUTIERREZ & LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117
FT. LAUDERDALE, FL. 33312
PHONE: (954) 321-3442
FAX: (954) 321-3864
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REVISIONS	
△	REVISION 12/1/16
△	DUMPSTER 4/3/17

MANUEL GUTIERREZ STATE OF FLA. REG. No. 8253	□
SEAL	
CARLOS LOZANO STATE OF FLA. REG. No. 0014722	□

NEW SHOPS FOR:
DACAR MANAGEMENT
AT:
BURLINGTON PLAZA
SOUTH STATE ROAD 7
HOLLYWOOD,
FLORIDA

SHEET TITLE :
FLOOR PLAN
SCALE: 1"=1/8"

JOB No.:
DATE: 08/05/2016
SHEET A1.0 OF

DACAR KHART/ ENDCAP

[illegible]

SEAL

NEW SHOPS FOR:
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SOUTH STATE ROAD 7
HOLLYWOOD,
FLORIDA

SHEET TITLE :

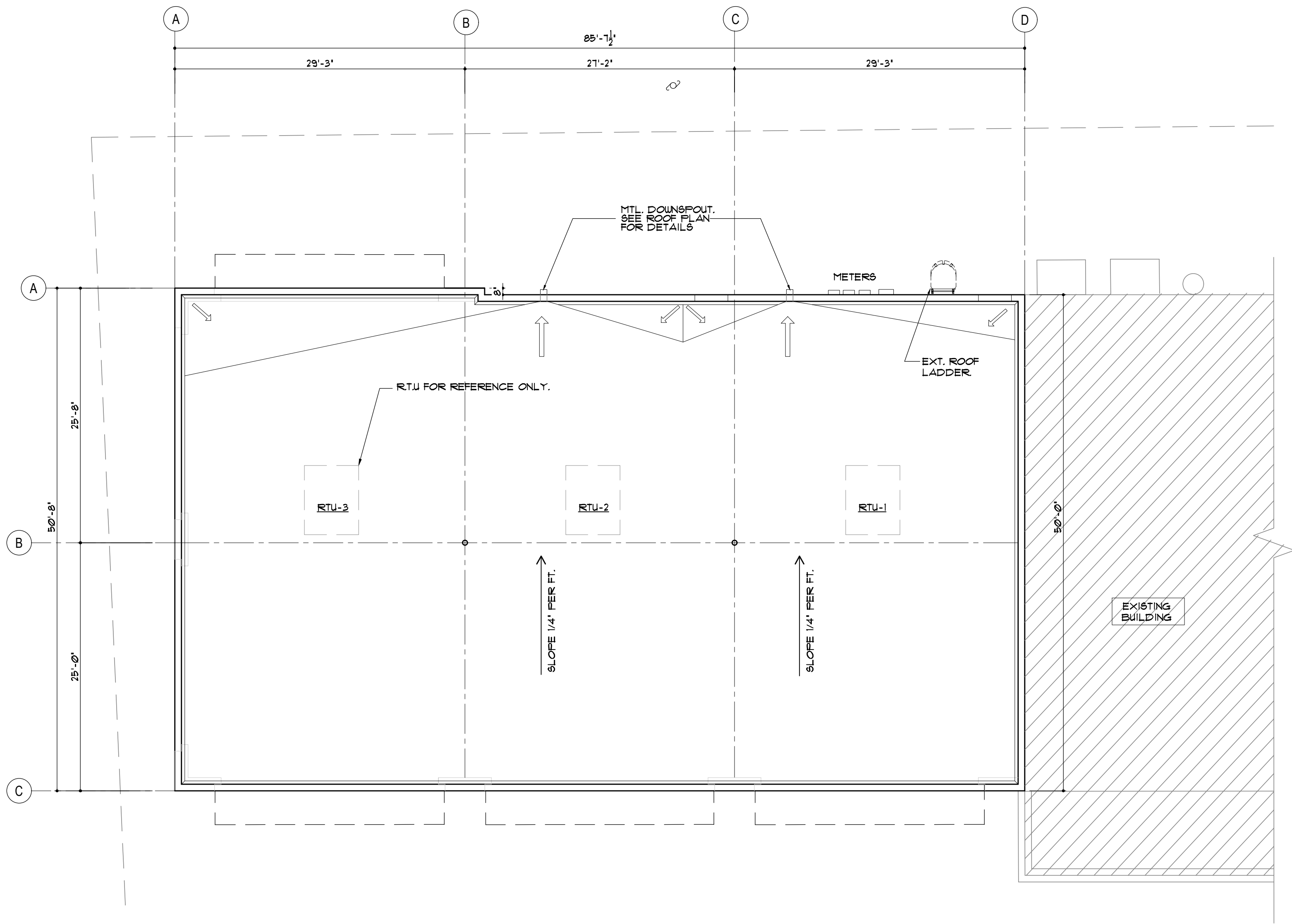
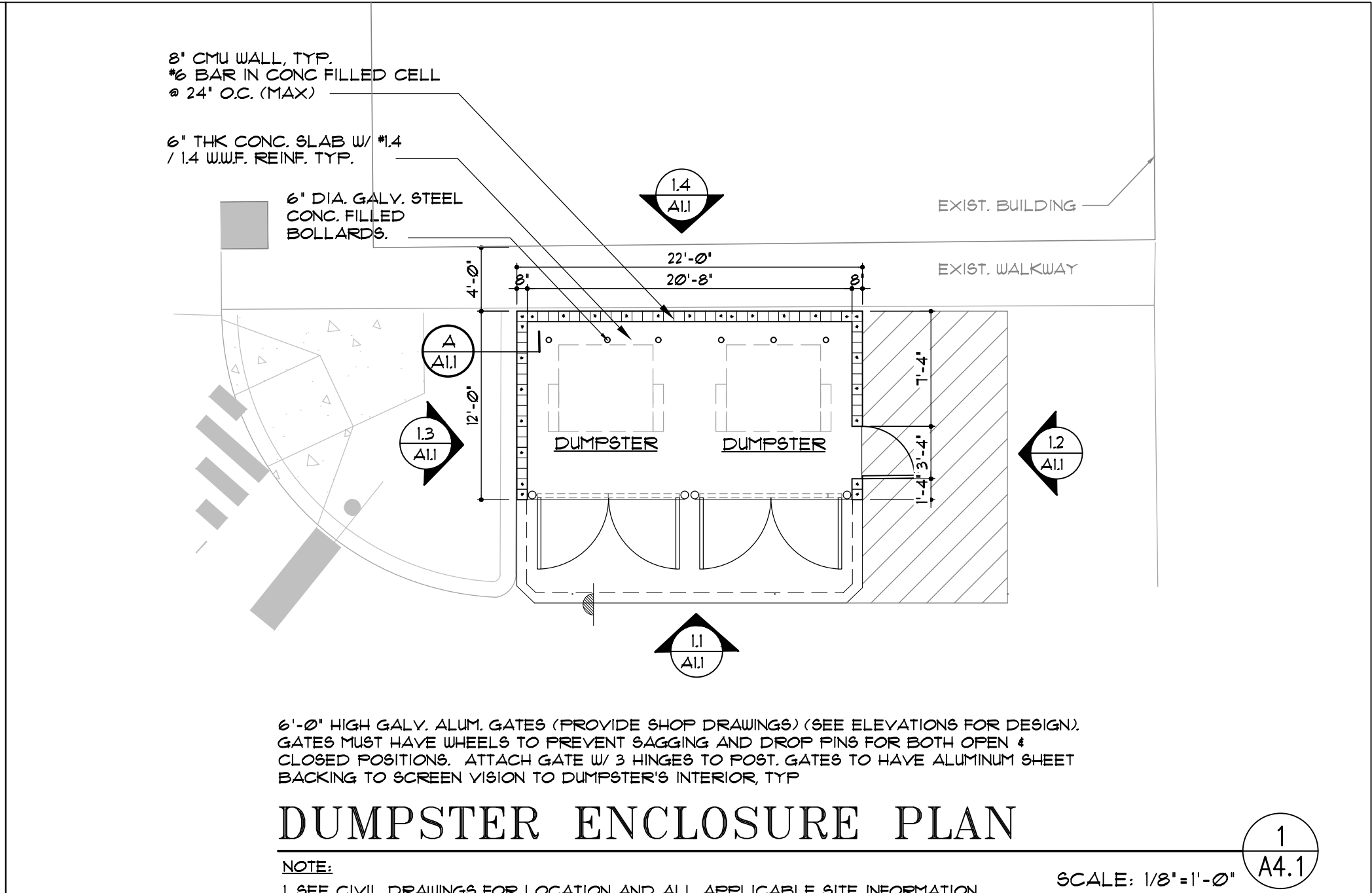
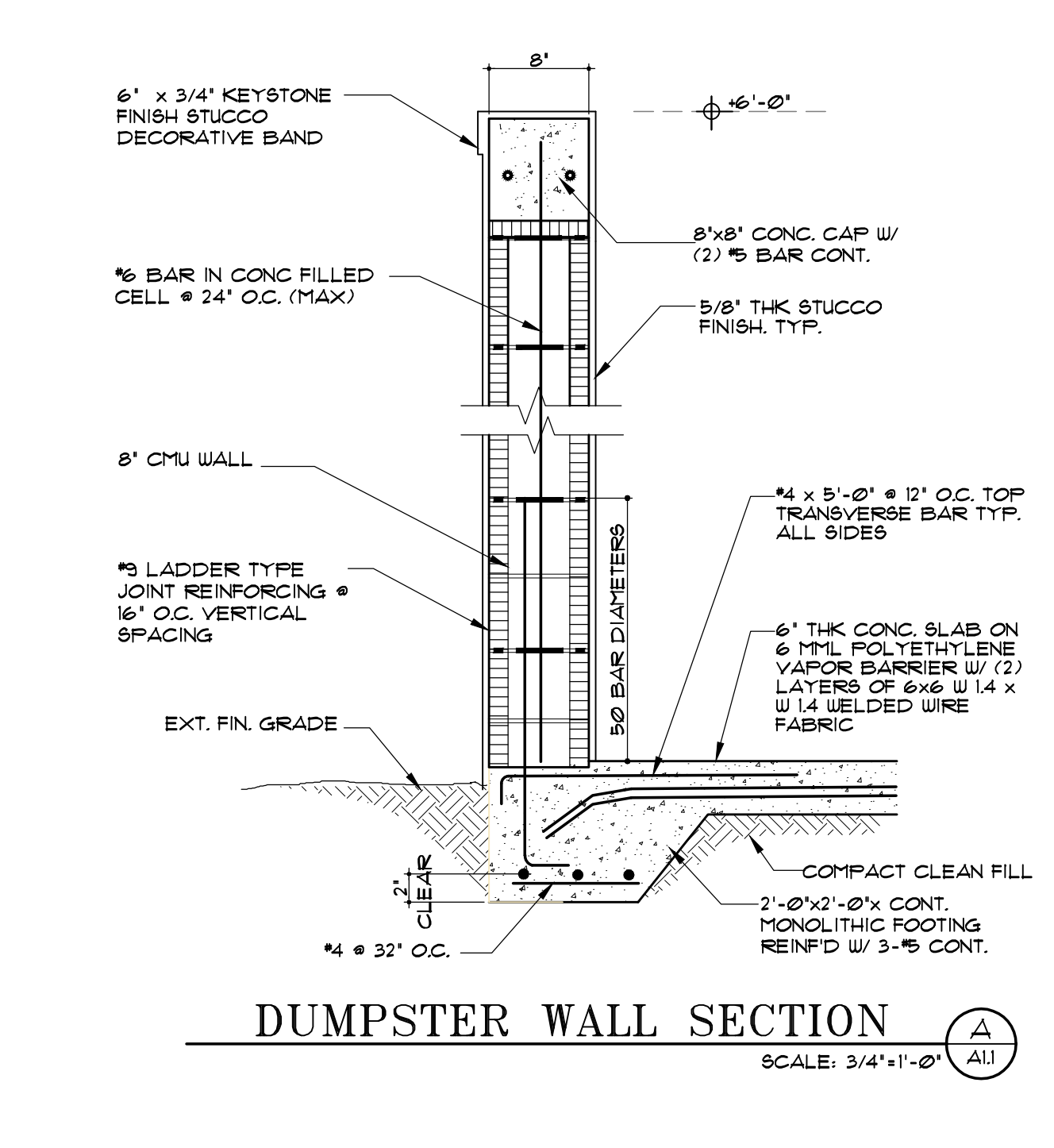
ROOF PLAN

SCALE: 1"=1/8'

JOB No.:	
DATE:	08/05/2016

SHEET
A1.1
OF

DACAR KMART/ ENDCAP



ROOF PLAN

SCALE: 1/8" = 1'-0"



LEGEND

- 1

STUCCO FINISH WALL
COLOR: SW 6386 - NAPERY

▲
- 2

STUCCO WALL TRIM
COLOR SW 1005 - PURE WHITE
- 3

STUCCO FINISH WALL
COLOR SW 1031 - MEGA GREIGE
- 4

STONE VENEER, EL DORADO STONE
MODEL: COASTAL REEF,
COLOR: SANIBEL

▲
- 5

EXTERIOR FIXTURE LIGHTS
GARCO LIGHTING, MODEL: CYLINDERS 301 LINE UP/DN,
CODE: 301-E-U-L-50114-120-NP (NATURAL ALUMINUM COLOR)
- 6

IMPACT RESISTANT STOREFRONT.
MTL. FINISH: ALUMINUM COLOR
- 7

CANVAS AWNING:
COLOR: BLACK SELECTED BY ARCHITECT
- 8

LOCATION FOR SIGNAGE BY TENANTS. ALL SIGNAGE
SHALL COMPLY WITH CITY CODES AND ORDINANCES AND
SHALL BE SUBMITTED TO LANDLORD FOR APPROVAL.
SIGNAGE WILL BE REVISED AND APPROVED BY THE CITY
UNDER SEPARATE PERMIT.
- 9

TUBULAR FIXED LADDER WITH CAGE PROVIDE SHOP
DUGS.
- 10

MTL. DOWNSPOUT, PAINT TO MATCH ADJACENT WALL
- 11

RTU BY TENANT.
- 12

EXIST. BUILDING TO REMAIN
- 13

ELECTRICAL METERS

NOTE:
INSTALL COLOR PAINT SAMPLES IN AN AREA OF 100 SF. APPROX.
AND CALL ARCHITECT/ OWNER FOR SITE APPROVAL BEFORE
PROCEEDING WITH PAINT JOB.



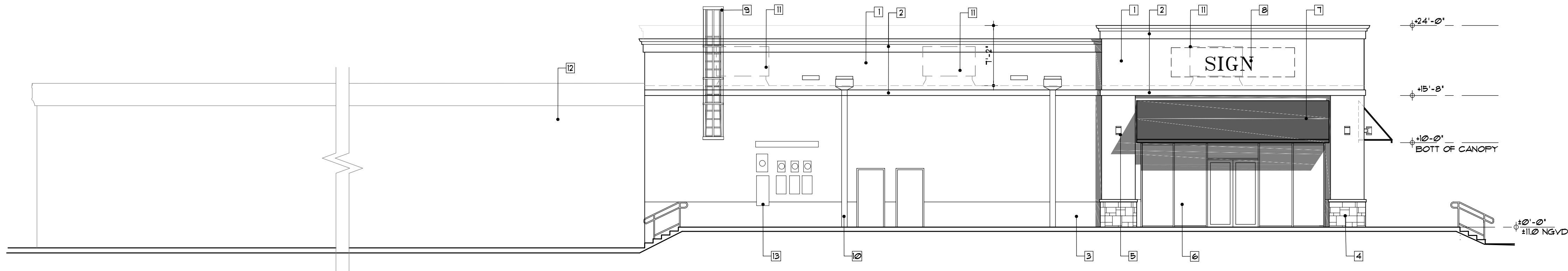
WEST ELEVATION

SCALE: 1/8" = 1'-0"



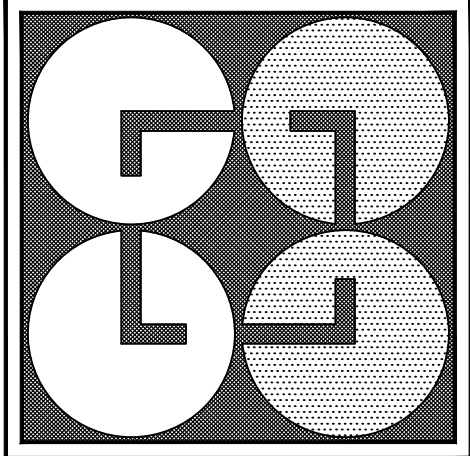
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



GUTIERREZ
& LOZANO
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REVISIONS	
▲	REVISION 5/14/16
▲	REVISION 10/21/16

MANUEL GUTIERREZ	□
STATE OF FLA. REG. No. 8253	
SEAL	
CARLOS LOZANO	□
STATE OF FLA. REG. No. 0014722	

NEW SHOPS FOR:
DACAR MANAGEMENT
AT:
BURLINGTON PLAZA
SOUTH STATE ROAD 7
HOLLYWOOD, FLORIDA

SHEET TITLE :
BUILDING ELEVATIONS
SCALE: 1"=1/8"

JOB No.:
DATE: 08/05/2016
SHEET A2.0 OF

DACAR KMART/ENDCAP

COLOR CHART

SW 6386
NAPERY

SW 7005
PURE WHITE

SW 7031
MEGA GREIGE

CANVAS AWNING:
COLOR: BLACK SELECTED BY ARCHITECT
BY SUNBRELLA (SUBMIT SHOP
DUGS.)

STONE VENEER:
COASTAL REEF
SANIBEL BY CORONADO
STONE PRODUCTS.

LEGEND

1 STUCCO FINISH WALL
COLOR: SW 6386 - NAPERY

2 STUCCO WALL TRIM
COLOR SW 7005 - PURE WHITE

3 STUCCO FINISH WALL
COLOR SW 7031 - MEGA GREIGE

4 STONE VENEER: EL DORADO STONE
MODEL: COASTAL REEF,
COLOR: SANIBEL

5 EXTERIOR FIXTURE LIGHTS
GARDOLO LIGHTING MODEL: CYLINDERS 301 LINE UP/ON
CODE: 301-E-U-L-50MH-120-NP (NATURAL ALUMINUM COLOR)

6 IMPACT RESISTANT STOREFRONT.
MTL FINISH: ALUMINUM COLOR

7 CANVAS AWNING:
COLOR: BLACK SELECTED BY ARCHITECT

8 LOCATION FOR SIGNAGE BY TENANTS. ALL SIGNAGE
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10 MTL. DOWNSPOUT, PAINT TO MATCH ADJACENT WALL

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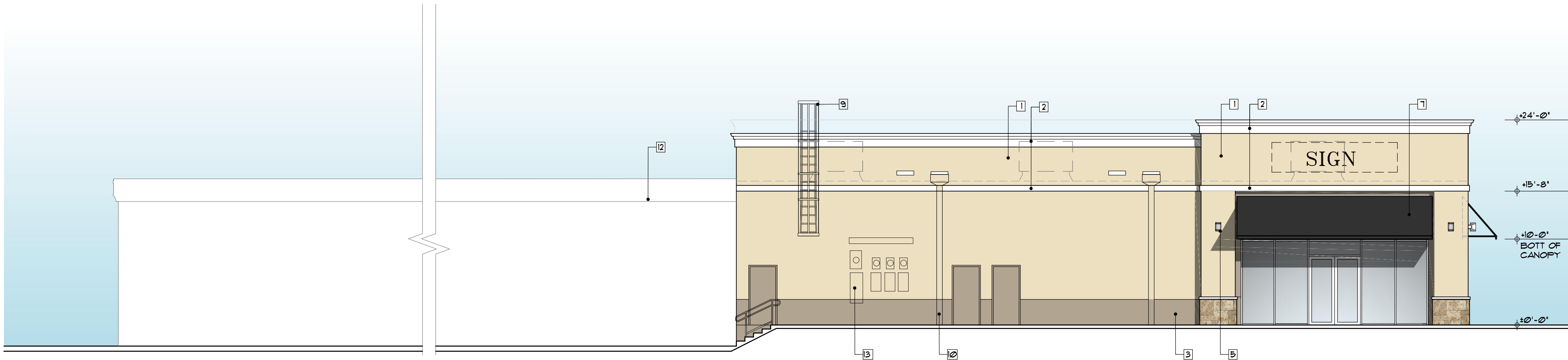
WEST ELEVATION

SCALE: 1/8" = 1'-0"



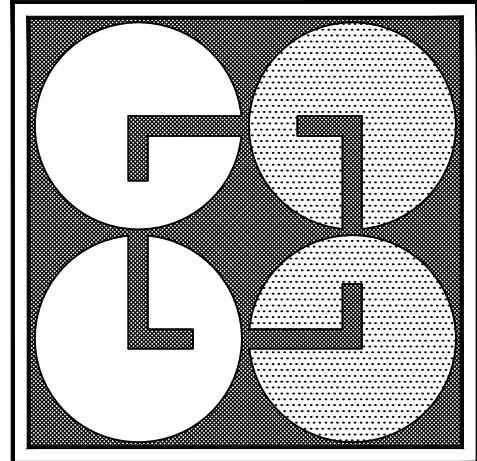
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NORTH ELEVATION

SCALE: 1/8" = 1'-0"



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SEAL

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NEW SHOPS FOR:

DACAR MANAGEMENT

AT:

BURLINGTON PLAZA

SOUTH STATE ROAD 7

HOLLYWOOD, FLORIDA

SHEET TITLE :

BUILDING
COLOR ELEVATIONS

SCALE: 1"=1/8"

JOB No.:

DATE: 08/05/2016

SHEET
A2.1
OF

DACAR KMART/ENDCAP

Bank of America



BAC/GU WASHINGTON PARK

GENSLER PROJECT NUMBER: 69.6191.100

BAC SERIAL NUM.: FLW-C66

DESIGNATION: SIGNATURE

REVISED PER TAC COMMENTS

10.31.2016

851 S STATE RD 7
HOLLYWOOD, FL 33023

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Attn: Brett Nevaril

\\gensler.at\projects\Revit\user\mde12347169.6191.100 BAC_GU Washington Park_2347.rvt

EXTERIOR FINISH SCHEDULE

STUCCO/ PLASTER (BASED ON PAREX STUCCO) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ST-1	10409 "TUNDRA," SAND FINE FIN.
ST-2	10432 "WARM SAND," SAND FINE FIN.
ST-3	10447 "MOSS," SMOOTH FIN.

ALUMINUM COMPOSITE METAL PANEL (BASED ON ALPOLIC) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ACM-1	"BRITE RED" #4MMBTR REFER TO SECTION 07 42 43
ACM-2	"RVW WHITE" #3MM4R4W REFER TO SECTION 07 42 43
ACM-3	"MATCH STOREFRONT" REFER TO SECTION 08 41 13

ALUMINUM GLAZING FRAMES [BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED

STUCCO ACCESSORIES (ALL PAINTED EXPT-3) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

SA-1	WIDE CHANNEL SCREED AS SPECIFIED
SA-2	NARROW CHANNEL SCREED AS SPECIFIED
SA-3	MODIFIED CHANNEL SCREED AS SPECIFIED

METAL COPING (BAC PERFORMANCE)

MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3
------	--

EXTERIOR PAINT (BASED ON BENJAMIN MOORE) [BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

EXPT-1	[N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS
EXPT-2	[N185] COLOR: HC-80 "BLEEKER BEIGE," MATCHES ST-2: WARM SAND
EXPT-3	[N185] COLOR: CLASSIC #1039 "STONE HOUSE," MATCHES ST-1: TUNDRA

EXTERIOR SEALANT COLOR [BAC PERFORMANCE]

GLAZING AT EXTERIOR STOREFRONT	BLACK
(ACM, RED AND WHITE) METAL PANEL TO METAL PANEL	MATCH METAL CLIP COLOR
WINDOW FRAME/ STOREFRONT TO STUCCO	MATCH METAL FRAME
(ACM, RED AND WHITE) METAL PANEL TO STUCCO	MATCH ADJACENT STUCCO FINISH
(ACM, RED AND WHITE) METAL PANEL TO STOREFRONT	MATCH STOREFRONT FRAME

GLAZING SCHEDULE

GLAZING (BAC PERFORMANCE)

GL-1	1 5/16" INSULATED LAMINATED GLAZING AS SPECIFIED
GL-2	1" O.A. INSULATED LAMINATED GLASS AS SPECIFIED
GL-3	1/2" TEMPERED MONOLITHIC GLASS

ABBREVIATIONS

A	ACCESSORY	J	JANITOR
ACCES	ACOUSTIC(AL)	K	KITCHEN
ACOUS	ABOVE FINISHED FLOOR	L	LAVATORY
AFF	ALUMINUM	LB	POUND
AL	ALTERNATE	LLOUVER	LOUVER
ANNUNC	ANNUNCIATOR	LT	LIGHT
ANOD	ANODIZED	LVLG	LEVELING
APPL	APPLIANCE	M	
AUTO	AUTOMATIC	M.E.	MATCH EXISTING
AVG	AVERAGE	MAX	MAXIMUM
B		MECH	MECHANICAL
BD	BOARD	MEMB	MEMBRANE
BLDG	BUILDING	MET	METAL
BLKG	BLOCKING	MEZZ	MEZZANINE
BOLL	BOLLARD	MFD	MANUFACTURED
BRDLM	BROADLOOM	MFR	MANUFACTURER
BU	BUILT UP	MIN	MINIMUM
C		MISC	MISCELLANEOUS
CAB	CABINET	MLWK	MILLWORK
CEM	CEMENT(ITIOUS)	MOIST	MOISTURE
CER	CERAMIC	MOT	MOTOR(IZED)
CLG	CEILING	MTD	MOUNTED
CMU	CONCRETE MASONRY UNIT	N	
COATG	COATING	NIC	NOT IN CONTRACT
COILG	COILING	NO	NUMBER
CONC	CONCRETE	NTS	NOT TO SCALE
CONSTR	CONSTRUCTION	O	
CONT	CONTINUOUS(ATION)	OH	OPPOSITE HAND
CONTR	CONTRACT(OR)	OPNG	OPENING(S)
COV	COVER	OPP	OPPOSITE
CPT	CARPET	OPR	OPERABLE
D		ORNA	ORNAMENTAL
DBL	DOUBLE	OS	OCCUPANCY SENSOR
DEPT	DEPARTMENT	OVFL	OVERFLOW
DES	DESIGN(ED)	OVHD	OVERHEAD
DET	DETAIL	P	
DF	DRINKING FOUNTAIN	PBD	PARTICLE BOARD
DIA	DIAMETER	PEDTR	PEDESTRIAN
DIFF	DIFFUSER	PLAM	PLASTIC LAMINATE
DIM	DIMENSION	PLAS	PLASTER
DISP	DISPENSER	PLSTC	PLASTIC
DIV	DIVISION	PLYWD	PLYWOOD
DN	DOWN	PNL	PANEL
DR	DOOR	POLYST	POLYSTYRENE
DSCON	DISCONNECT	PORT	PORTABLE
DWR	DRAWER	PREFAB	PREFABRICATED
E		PREFIN	PREFINISHED
ELAST	ELASTOMERIC	PRTECN	PROTECTION
ELEC	ELECTRICAL	PTN	PARTITION
EMBED	EMBED(ED)(ING)	R	
ENGR	ENGINEER(ED)	RDR	READER
ENTR	ENTRANCE	RECES	RECESS(ED)
EQ	EQUAL	RECP	RECEPTACLE
EQUIP	EQUIPMENT	REF	REFERENCE
EX	EXISTING	REFL	REFLECTED
EXP JT	EXPANSION JOINT	REFR	REFRIGERATOR
EXPS	EXPOSE(D)	REQD	REQUIRED
EXT	EXTERIOR	RESIS	RESIST(ANT)(IVE)
F		RFG	ROOFING
FAB	FABRICATION	RM	ROOM
FD	FLOOR DRAIN	RO	ROUGH OPENING
FE	FIRE EXTINGUISHER	S	
FE&C	FIRE EXTINGUISHER AND CABINET	SCR	SCRIBE
FHC	FIRE HOSE CABINET	SECU	SECURITY
FIN	FINISH	SF	SQUARE FEET
FLDG	FOLDING	SGL	SINGLE
FLR	FLOOR(ING)	SHORG	SHORING
FPLC	FIREPLACE	SIM	SIMILAR
FR	FIRE RAT(ING)(ED)	SST	STAINLESS STEEL
FRMG	FRAMING	STD	STANDARD
FURN	FURNITURE	STL	STEEL
FWC	FABRIC WALL COVERING	STRFR	STOREFRONT
FXD	FIXED	STRUC	STRUCTURAL
FXTR	FIXTURE	SURF	SURFACE
G		SUSP	SUSPENDED
GA	GAUGE	SYS	SYSTEM(S)
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	T	
GFRG	GLASS FIBER REINFORCED CONCRETE	T&G	TONGUE AND GROOVE
GFRG	GLASS FIBER REINFORCED GYPSUM	TG	TEMPERED GLASS
GFRP	GLASS FIBER REINFORCED PLASTER	THK	THICK
GL	GLASS	TLT	TOILET
GR	GRADE(E)(ING)	TRAF	TRAFFIC
GYP	GYPSUM	TRANS	TRANSPARENT
H		TRTD	TREATED
HD	HEAD	TYP	TYPICAL
HDWD	HARDWOOD	U	
HDWE	HARDWARE	UNDRLAY	UNDERLAYMENT
HM	HOLLOW METAL	UON	UNLESS OTHERWISE NOTED
HORIZ	HORIZONTAL	UTIL	UTILITY
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	V	
I		VEH	VEHICLE
INFILTR	INFILTRATION	VERT	VERTICLE
INFO	INFORMATION	VIF	VERIFY IN FIELD
INSTRUM	INSTRUMENT(ATION)	W	
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INTLK	INTERLOCK(ING)	WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		WT	WEIGHT
		WTRPRF	WATERPROOFING

DRAWING INDEX

Sheet Number	Sheet Name	Revisions		Current Revision Description
		Latest	Date	
A00.00.	COVER	3	10.31.2016	REVISED PER TAC COMMENTS
A001	DRAWING INDEX	3	10.31.2016	REVISED PER TAC COMMENTS

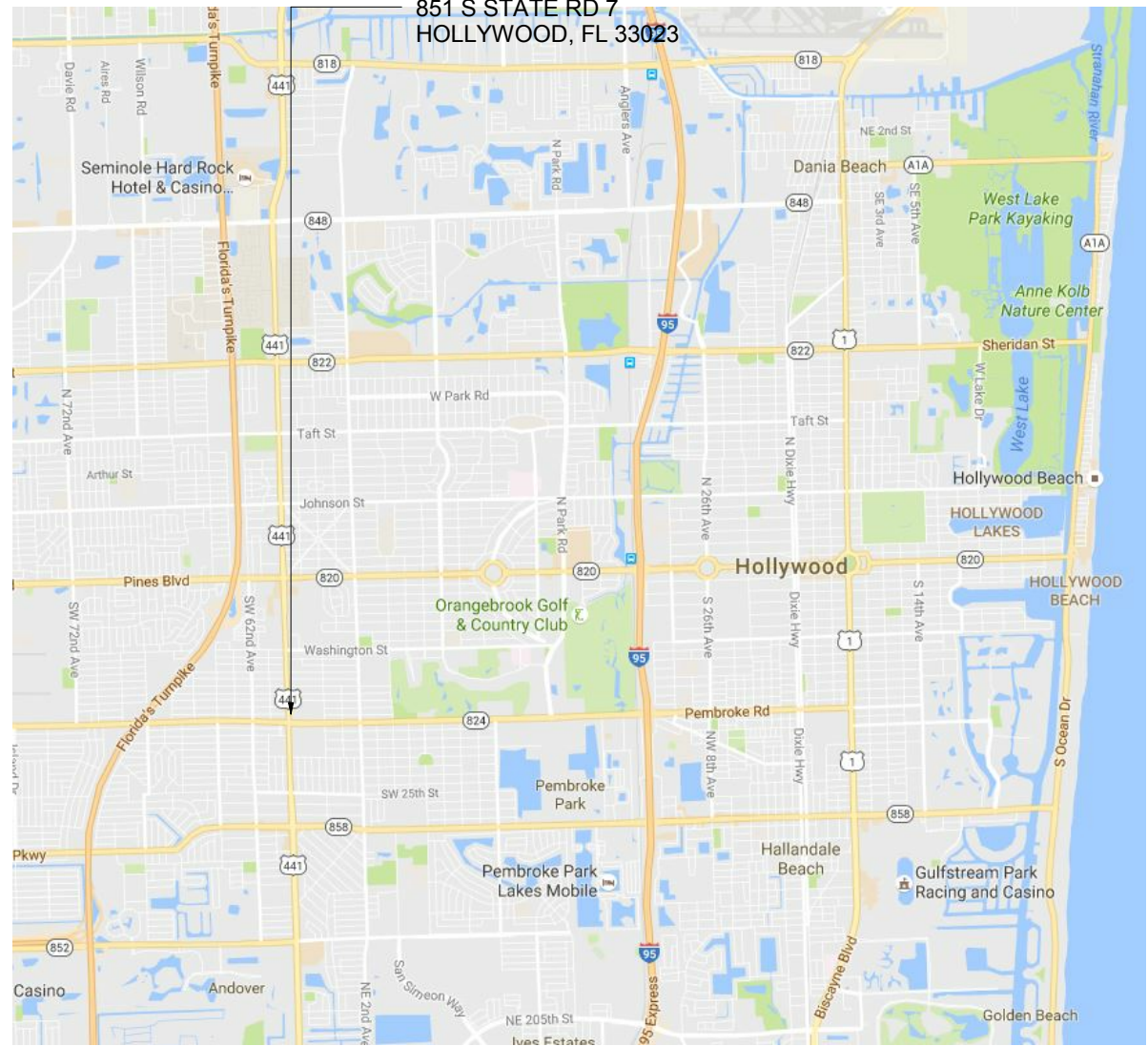
CIVIL

Sheet Number	Sheet Name	Revisions		Current Revision Description
		Latest	Date	
C00.01	CIVIL SPECIFICATIONS	3	10.31.2016	REVISED PER TAC COMMENTS
C01.01	SWPPP & EROSION CONTROL PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
C01.02	EROSION & SEDIMENT CONTROL PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
C01.03	SWPPP GENERAL REQUIREMENTS	3	10.31.2016	REVISED PER TAC COMMENTS
C02.01	SITE PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
C03.01	GRADING AND DRAINAGE PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
C04.01	UTILITY PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
C12.01	SITE DETAILS	3	10.31.2016	REVISED PER TAC COMMENTS
C12.02	SITE DETAILS	3	10.31.2016	REVISED PER TAC COMMENTS
C12.03	CITY OF HOLLYWOOD DETAILS	3	10.31.2016	REVISED PER TAC COMMENTS
L01.01	LANDSCAPE PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
L02.01	LANDSCAPE PLANTING DETAILS	3	10.31.2016	REVISED PER TAC COMMENTS
1 OF 1	ALT&NPS LAND TITLE SURVEY	3	10.31.2016	REVISED PER TAC COMMENTS

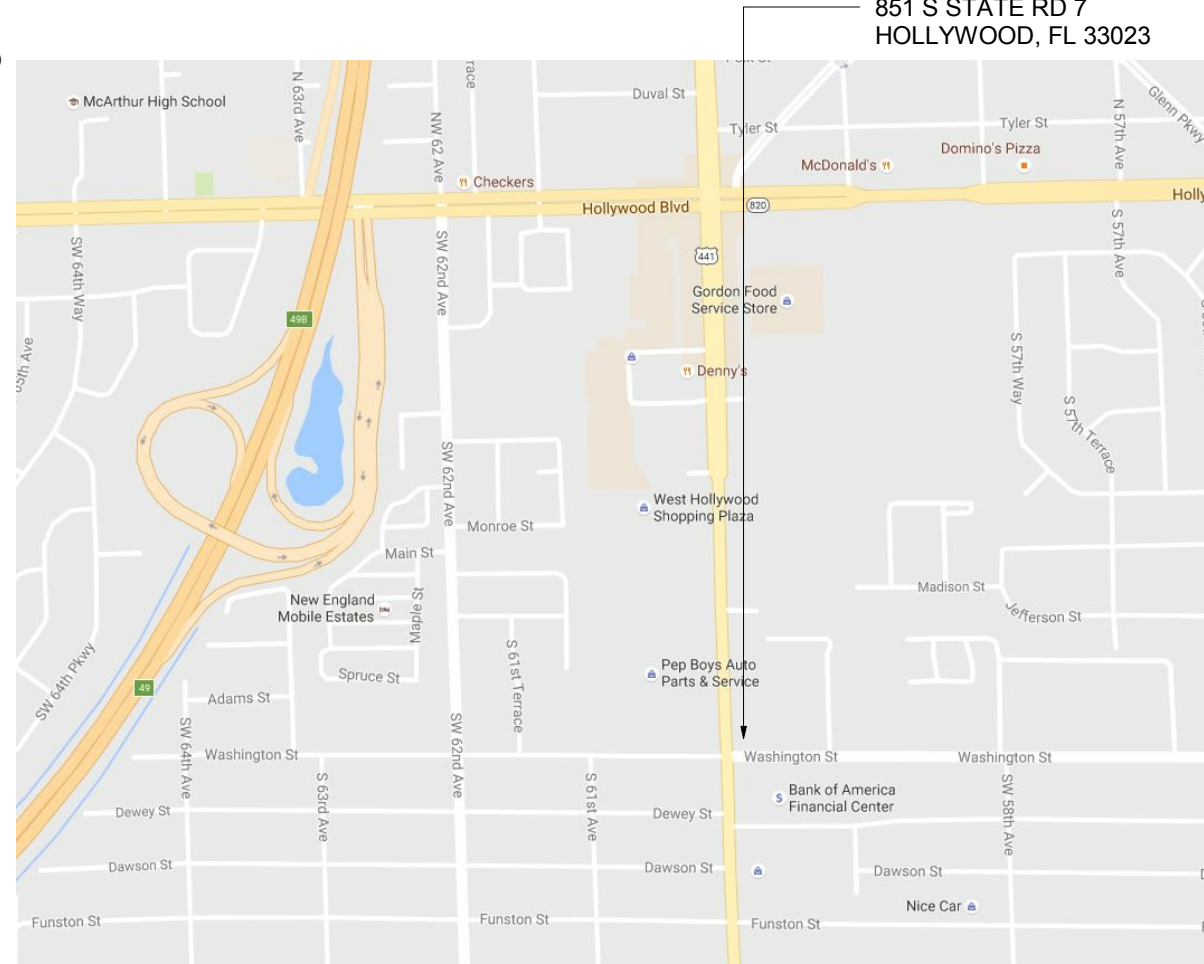
ARCHITECTURAL

Sheet Number	Sheet Name	Revisions		Current Revision Description
		Latest	Date	
A101	CONSTRUCTION PLAN	3	10.31.2016	REVISED PER TAC COMMENTS
A102	ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS
A103	ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS
A104	DUMPSTER ENCLOSURE	3	10.31.2016	REVISED PER TAC COMMENTS
A105	COLOR ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS
A106	COLOR ELEVATIONS	3	10.31.2016	REVISED PER TAC COMMENTS

VICINITY MAP



LOCATION MAP



Bank of America

851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
NRSP VERSION: 2.0
BULLETIN: 2-2016

M. Arthur Gensler Jr. &
Associates Inc.

Gensler
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Infinity Engineering Group, LLC.
Attn: Brett Nevanil
1208 E. Kennedy Blvd. Suite 230
Tampa, FL 33602
Tel 813.434.4770
Fax 813.445.4211

△	Date	Description
1	08.15.16	ISSUE FOR TAC SUBMISSION
3	10.31.16	REVISED PER TAC COMMENTS

Seal / Signature
DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

Project Name
BAC/GU WASHINGTON PARK

Project Number
69.6191.100

Scale
1/2" = 1'-0"

Description
DRAWING INDEX

A001

GENERAL CONSTRUCTION NOTES

1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.

3. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.

5. ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO SHALL BE OF LATEST REVISIONS AND/OR LATEST EDITION.

6. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.

7. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.

8. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTORS AND UTILITY COMPANIES.

9. BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AND COMPACTED TO A FIRMNESS EQUAL TO THAT OF THE SOIL ADJACENT TO THE TRENCH AROUND PIPES IN 8" LAYERS UP TO AN UNDISTURBED LEVEL OF AT LEAST 1' ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.

10. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED, SPECIFIED OR REQUIRED.

11. REINFORCING SHALL BE BILLET STEEL BARS CONFORMING TO ASTM A615 GRADE 40 OR BETTER.

12. THE CONTRACTOR/SUBCONTRACTOR SHALL PLACE A 1" DEEP CONSTRUCTION JOINT EVERY 4' IN THE SIDEWALK.

13. SIDEWALK CONSTRUCTION SHALL BE FLUSH WITH PAVEMENT WHERE THEY ARE ADJACENT OR MEET, UNLESS OTHERWISE SHOWN.

14. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1994, OR LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO.

15. ALL PIPE NOTED ON THE PLANS AS RCP SHALL BE REINFORCED CONCRETE PIPE, CLASS III, WITH RUBBER GASKET JOINTS.

16. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.

17. RECORD DRAWINGS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON A SET OF THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS. WITHIN TWO WEEKS FOLLOWING FINAL INSPECTION THE CONTRACTOR SHALL SUBMIT ONE SET OF RECORD DRAWINGS TO THE ENGINEER OF RECORD. THE FINAL RECORD DRAWINGS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

a. DRAWINGS TO BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.

b. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UTILITIES, AND RELATED APPURTENANCES, BOTH ABOVE AND BELOW GROUND. ALL CHANGES TO PIPING LOCATION INCLUDING HORIZONTAL & VERTICAL LOCATIONS OF UTILITIES & APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, ETC.

c. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.

d. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.

e. LOCATIONS OF ALL MANHOLES, HYDRANTS, VALVES, & VALVE BOXES SHALL BE SHOWN.

f. THE CONTRACTOR SHALL PROVIDE CERTIFIED RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL UTILITIES INCLUDING THE SANITARY SEWER, WATER, PRODUCT PIPING, AND STORM WATER COLLECTION SYSTEM (I.E. PIPES, INLETS, AND PONDS). THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

18. CLASS "B" TYPE I BEDDING SHALL BE USED UNLESS INDICATED OTHERWISE ON THE DRAWINGS. OR BY THE ENGINEER.

19. SOILS ENGINEER TO SUPPLY THE DESIGN ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS, ASPHALT RESULTS, AND CONCRETE RESULTS. THE SOILS ENGINEER IS TO CERTIFY TO THE DESIGN ENGINEER IN WRITING THAT ALL TESTING REQUIREMENTS REQUIRED BY THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE IMPROVEMENTS AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS FOR THE ON-SITE HAVE BEEN SATISFIED.

20. CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.

21. IRRIGATION SYSTEM SHALL HAVE COLOR CODED PIPING AND LABELING ON THE PIPE TO ENSURE DIFFERENTIATION FROM POTABLE WATER PIPING.

22. AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

23. OWNER SPECIFIC SPECIFICATIONS TO BE PROVIDED TO CONTRACTOR DURING BIDDING.
- DRAINAGE SYSTEM NOTES
1. STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".

2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.

3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS WHICH ARE INCLUDED IN LENGTHS.

4. ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.

5. CONTRACTOR TO SOD THE DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE POND.

6. THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR SHALL COORDINATE A FINAL INSPECTION OF THE COMPLETED STORMWATER MANAGEMENT SYSTEM PRIOR TO FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- STANDARD UTILITY NOTES
1. CHAPTER 77-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. MAPS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS AND DO NOT SHOW SERVICE LINES. THE ONLY SAFE AND PROPER WAY TO LOCATE EITHER MAINS OR SERVICE LINES IS BY AN ON-SITE INSPECTION BY THE RESPECTIVE GAS PERSONNEL. THEREFORE, EXCAVATORS ARE INSTRUCTED TO TELEPHONE THE RESPECTIVE GAS COMPANY TWO WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.

2. ALL UNDERGROUND UTILITIES MUST BE IN PLACE, TESTED AND INSPECTED AS REQUIRED PRIOR TO BASE AND SURFACE CONSTRUCTION.

3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, BY CALLING FLORIDA SUNSHINE STATE ONE CALL CENTER OF FLORIDA, INC. AT 1-800-432-4770. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" FORTY-EIGHT (48) HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.

ALL UTILITIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, THE FOLLOWING SHOULD BE CONTACTED BY THE CONTRACTOR:

a. GAS

b. TELEPHONE

c. CABLE

d. POWER

e. CITY/COUNTY WATER AND SEWER

f. CITY/COUNTY/STATE TRAFFIC SIGNAL UTILITY (FIBER, HARDWIRE TRAFFIC SIGNAL INTERCONNECT)

5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS ACCURACY UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE OF THESE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFACE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

6. COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

WHITE - PROPOSED EXCAVATION.

PINK - TEMPORARY SURVEY MARKINGS.

RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES.

YELLOW - GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS.

ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT.

BLUE - POTABLE WATER.

PURPLE - RECLAIMED WATER, IRRIGATION AND SLURRY LINES.

GREEN - SEWERS AND DRAIN LINES.

PAVING AND GRADING NOTES

1. ALL DELETERIOUS MATERIAL (I.E., MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS.

3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.

4. REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURBING AND GUTTERS CALLED FOR ON THESE PLANS.

5. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.

6. PRIOR TO CONSTRUCTION OF CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR REVIEW.

7. CONTRACTOR TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.

8. ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO FDOT STANDARD INDEX NO. 17346. SHEETS 1-7. PARKING STALL STRIPING TO BE 4" WIDE PAINTED STRIPES. ON-SITE STRIPE COLOR SHALL BE WHITE EXCEPT AS SHOWN ON THE ENGINEERING PLANS. PARKING STALL STRIPING SHALL BE COMPATIBLE WITH THE PAVEMENT TYPE (IE CONCRETE, ASPHALT) AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.

9. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.

10. CONTRACTOR SHALL INSTALL STORM PIPING AND CULVERTS IN ACCORDANCE WITH FDOT INDEX 205 AND PLACE EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES.

11. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO THE TESTING SCHEDULE REQUIRED BY APPLICABLE REGULATORY AGENCIES AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

WATER SYSTEM NOTES

1. A VERTICAL CLEARANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN SANITARY SEWERS AND WATER MAINS. IF CLEARANCE CANNOT BE ACHIEVED BY ADJUSTING WATER MAINS THE SANITARY SEWER SHALL BE CONSTRUCTED PER SANITARY NOTE No. 1 BELOW.

2. A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER.

3. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.

4. ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND "SPECIFICATIONS OF OCTOBER 2011 - COLLIER COUNTY WATER AND SEWER STANDARDS".

5. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.

6. ALL BURIED DUCTILE IRON PIPE SHALL BE CLASS 53 IN ACCORDANCE WITH ANSI A 21.50 (AWWA C150) AND ANSI A 21.51 (AWWA C151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8 OR A 21.51 AND SHALL BE MORTAR LINED, STANDARD THICKNESS, AND BITUMINOUS SEALED IN ACCORDANCE WITH ANSI A (AWWA C 104-71).

7. ALL BURIED FITTINGS LARGER THAN 2" SHALL BE DUCTILE IRON CLASS 53 IN ACCORDANCE WITH AWWA C-110 WITH A PRESSURE RATING OF 350 PSI. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH AWWA C-104.

8. CONTRACTOR TO INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.

9. THRUST BLOCKING AND/OR RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS.

10. ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C-900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241, AND COLOR CODED BLUE.

11. ALL FITTINGS 3" AND SMALLER SHALL BE CLASS 160 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS.

12. ALL WATER MAINS AND WATER SERVICES TO BE INSTALLED UNDER ROAD UNDERDRAIN SHALL MAINTAIN 18" SEPARATION.

13. MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE LOCAL REGULATORY AGENCY DEPARTMENT OF PUBLIC UTILITIES.

14. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT AND AWWA SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.

15. CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING REQUIRED TO OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM THROUGH LOCAL REGULATORY AGENCIES. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.

SANITARY SEWER NOTES

1. PER FAC 62-604.400 (2)(G) "SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE & THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER MAIN JOINTS & WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS. ALTERNATIVELY, THE SEWER MAIN MAY BE ENCASED IN SLEEVE OR ENCASED IN CONCRETE TO OBTAIN THE EQUIVALENT OF THE REQUIRED 10 FEET SEPARATION."

2. A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER.

3. ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE, SDR 26 AND COLOR CODED GREEN.

4. ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND "SPECIFICATIONS OF OCTOBER 2011 - COLLIER COUNTY WATER AND SEWER STANDARDS".

5. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.

6. PVC PIPE AND FITTINGS SHALL CONFORM WITH A S.T.M. SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 26. INSTALLATION OF SDR PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF A S.T.M. SPECIFICATION DESIGNATION D2321. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.

7. ALL PVC FORCE MAINS WITHIN PUBLIC R/W SHALL BE CLASS 200, SDR 18, WITH MECHANICAL JOINTS, AND HAVE A GREEN MAGNETIC TAPE A MINIMUM OF 3" WIDE, PLACED 24" BELOW THE PROPOSED GRADE. THE PRINT ON THE MAGNETIC TAPE SHOULD READ "FORCE MAIN".

8. ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE D.I.P. ARE TO BE POLYLINED OR EPOXY LINED.

9. ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

10. SANITARY SEWERS SHALL HAVE A MINIMUM COVER OF THREE (3) FEET AND SHALL BE INSTALLED ACCOMPANIED BY A METAL TAPE SIMILAR TO "TERRATAPE" COLORED GREEN AND LAID ONE FOOT ABOVE THE PIPE.

11. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.

12. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

13. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS CONTRACTOR'S RESPONSIBILITY.

GEOTECHNICAL NOTE

CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES OUTLINED IN THE SITE GEOTECHNICAL REPORT.

CLEARING AND EROSION CONTROL NOTES

1. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.

2. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.

3. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.

4. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. HAY BALES SHALL BE PLACED ALONG THE STOCKPILE PERIMETER FOR EROSION CONTROL.

5. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.

6. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.

7. CONTRACTOR TO OBTAIN SITE CLEARING & TREE REMOVAL PERMIT PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITIES AND CLEARING THE SITE.

8. PROTECTION OF EXISTING STORM SEWER SYSTEMS: DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.

9. ALL DISTURBED AREAS WHICH ARE NOT TO BE SODDED ARE TO BE SEEDED AND MULCHED TO FDOT STANDARDS AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND ENGINEER.

10. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (STRAW BALE OR STAKED SILT FENCE) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO RECOVER SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.

11. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.

12. THERE SHALL BE NO DISCHARGE (I.E. PUMPING, SHEET FLOW, SWALE, DITCH, ETC.) INTO EXISTING LAKE SYSTEM, WETLAND, OR RIVER, WITHOUT THE USE OF SETTLING PONDS. IF THE CONTRACTOR DESIRES TO DISCHARGE INTO THE EXISTING LAKE SYSTEM OR RIVER, A SETTLING POND PLAN MUST BE SUBMITTED AND APPROVED BY THE ENGINEER AND LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.

SAFETY NOTES

1. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, THE CONTRACTOR SHALL COMPLY WITH REGULATIONS. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF ITS PERSONNEL. LABOR SAFETY REGULATIONS SHALL BE AS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF LABOR.

2. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKERS FROM HAZARDS WITHIN THE PROJECT LIMITS.

3. ALL TRAFFIC CONTROL MARKINGS, FLAGGERS, AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.

4. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

Bank of America

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BULLETIN: 2-2016

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△	Date	Description
1	08.15.16	ISSUE FOR TAC SUBMISSION
2	09.15.16	ISSUE FOR LL REVIEW
3	11.02.16	ISSUE FOR PERMIT
4	12.13.16	ADD FIRE HYDRANT PER TAC
5	01.06.17	REVISED PER COUNTY COMMENTS
Seal / Signature		
NISIT SAPPAKHAO, P.E. FL REG. NO. 64085		
DATE		
Project Name		
BAC/IGU WASHINGTON PARK		
Project Number		
10-460.00		
Scale		
Description		
CIVIL SPECIFICATIONS		

C00.01

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Plot Date: 1/31/2017 9:20:01 AM Filename: T:\10 Bank Of America\10-460.00 - G - Washington Park - NEC SR 7 And Washington Street, Hollywood, FL\CADD\Civil\10-460.00 ED.dwg User: Praphon Vassanapradit Device: None PenTable: ----



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STATE ROAD 7 (U.S. 441)

WASHINGTON STREET

DEMOLITION KEYED NOTES

ITEM	DESCRIPTION
①	LIMITS OF DEMOLITION
②	EROSION CONTROL (SILT FENCE)
③	STABILIZED CONSTRUCTION ENTRANCE & WASHDOWN AREA
④	EXISTING ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED (AREAS OF PROPOSED LANDSCAPING, ASPHALT BASE AND SUB-BASE TO BE COMPLETELY REMOVED AND FILLED WITH CLEAN FILL)
⑤	EXITING CONCRETE CURBING AND GUTTER TO BE SAWCUT AND REMOVED
⑥	EXISTING LIGHT POLE TO BE REMOVED AND CAPPED (PER NEC)
⑦	EXISTING TREE TO BE REMOVED
⑧	EXISTING STORM SYSTEM TO BE REMOVED
⑨	EXISTING STORM SYSTEM TO REMAIN
⑩	TREE BARRICADE

DEMOLITION PLAN LEGEND

---	PROPERTY LINE
- - -	RIGHT OF WAY
[Pattern]	EXISTING CONCRETE TO REMAIN
[Pattern]	REMOVE EXISTING ASPHALT
---	EXISTING TO BE REMOVED
---	EXISTING TO REMIAN
X 108.00'	EXISTING GRADE ELEVATION
- - - - -	LIMITS OF DEMOLITION
SILT	EROSION CONTROL (SILT)
SILT	EROSION CONTROL (INLET PROTECTION)
gas	EXISTING GAS
san	EXISTING SANITARY
tel	EXISTING TELEPHONE
ue	EXISTING UNDERGROUND ELECTRIC
ch	EXISTING OVERHEAD LINE
wm	EXISTING WATER
29	EXISTING CONTOUR



851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
NRSP VERSION: 2.0
BULLETIN: 2-2016

M. Arthur Gensler Jr. &
Associates Inc.

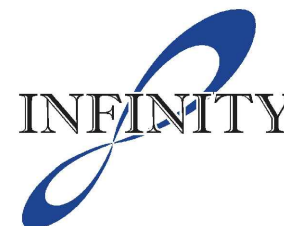
Gensler

LIC. NO. AA0002837

Main Office

2 Harrison Street
Suite 400
San Francisco CA 94105

Tel 415.433.3700
Fax 415.836.4599



Infinity Engineering Group, LLC.
Attn: Brett Nevaril
1208 E. Kennedy Blvd. Suite 230
Tampa, FL 33602
Tel: 813.434.4770
Fax: 813.445.4211

△	Date	Description
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- 1 08.15.16 ISSUE FOR TAC SUBMISSION
- 2 09.15.16 ISSUE FOR LL REVIEW
- 3 11.02.16 ISSUE FOR PERMIT
- 4 12.13.16 ADD FIRE HYDRANT PER TAC
- 5 01.06.17 REVISED PER COUNTY COMMENTS

Seal / Signature

NISIT SAPPAKHAO, P.E.
FL REG. NO. 64085

DATE

Project Name

BACIGU WASHINGTON PARK

Project Number

10-460.00

Scale

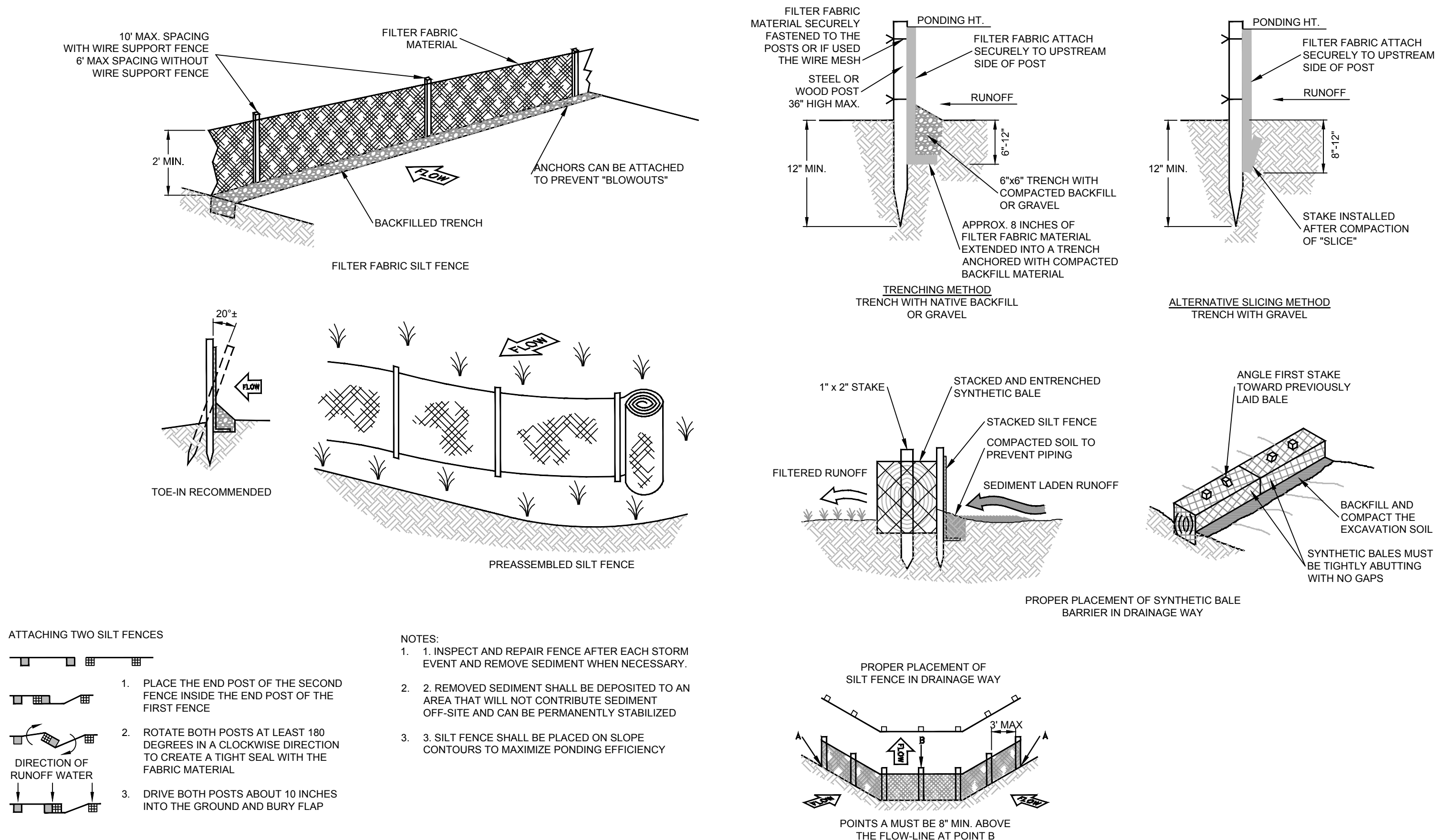
1" = 20'

Description

DEMOLITION, SWPPP & EROSION CONTROL PLAN

C01.01

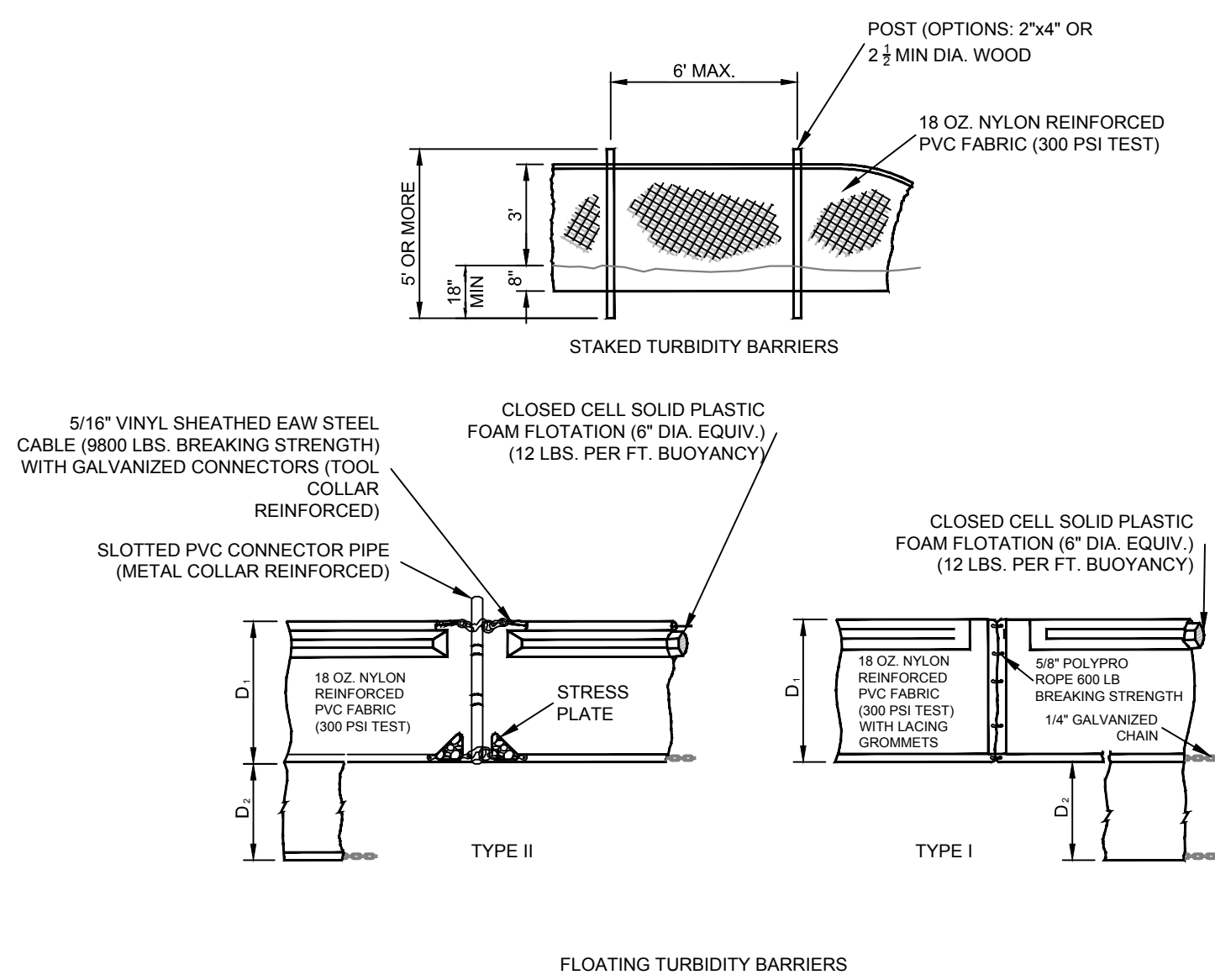
STORMWATER POLLUTION PREVENTION PLAN



TEMPORARY EROSION AND SEDIMENT CONTROL BARRIERS SILT FENCE & SYNTHETIC BALES

SCALE
NTS

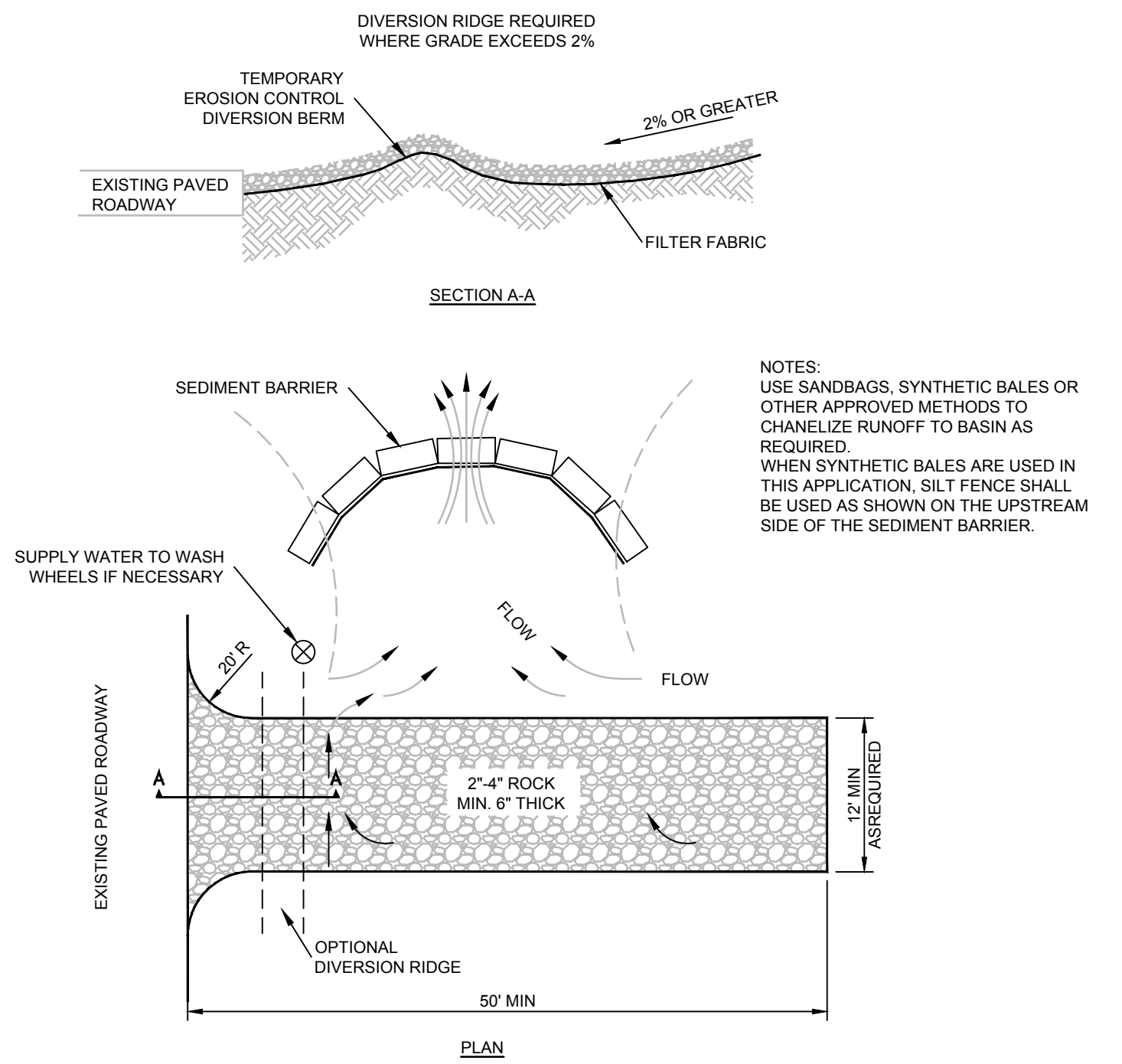
1



TEMPORARY TURBIDITY BARRIERS

SCALE
NTS

4



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE (SOIL TRACKING PREVENTION DEVICE)

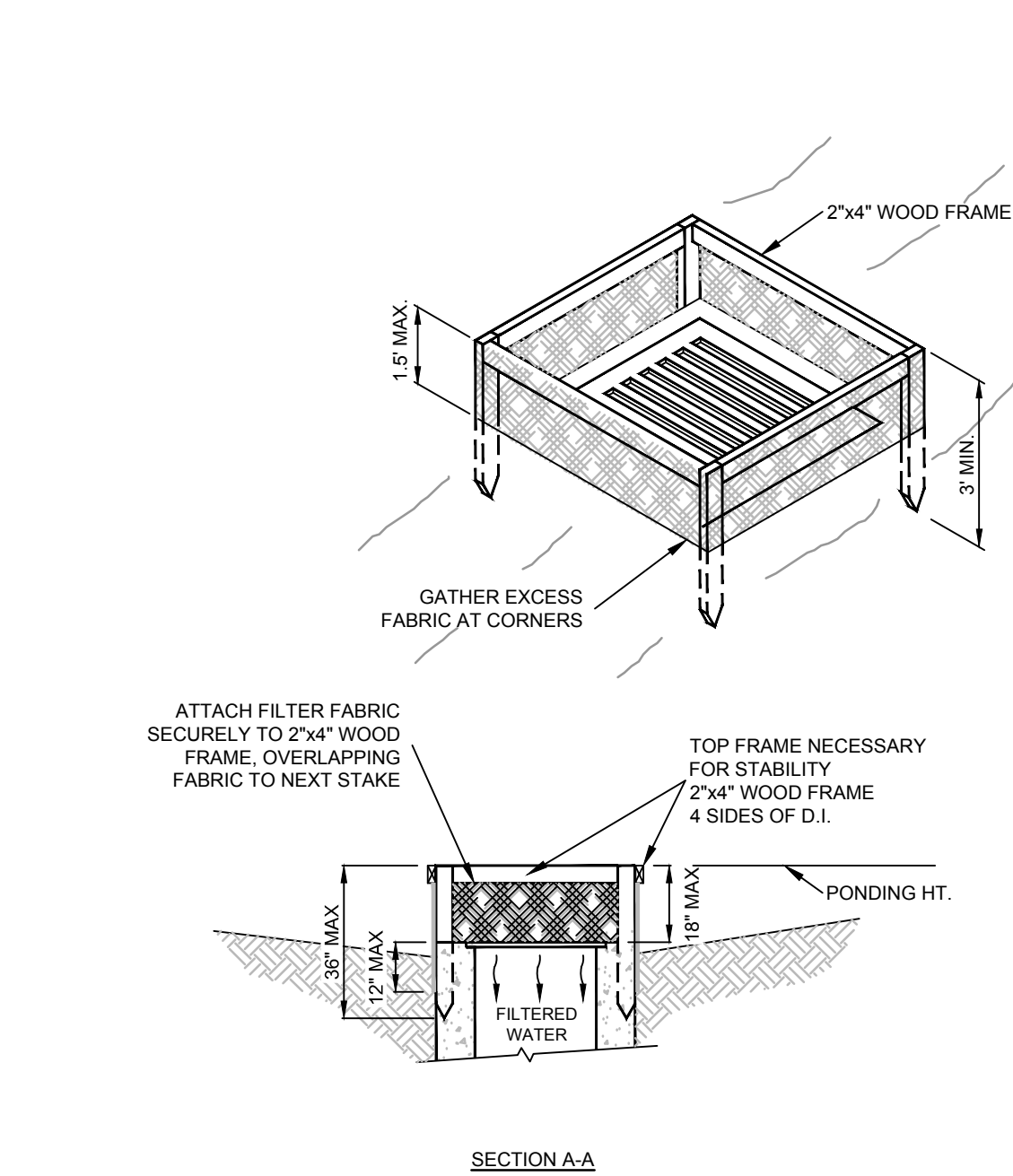
SCALE
NTS

5

POST PAVEMENT EROSION CONTROL FILTER FABRIC OVER GRATE INLET

SCALE
NTS

3



PRE-PAVEMENT SEDIMENT BARRIER AT GRATE INLET

SCALE
NTS

6

EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
4. CONTACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
5. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

PRE-CONSTRUCTION SITE PROTECTION:

6. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
9. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
10. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
11. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER OR INLET. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
12. ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, SYNTHETIC BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.

SITE PROTECTION:

13. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIER IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. USING WIRE BACKING FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.
14. WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
15. SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
16. SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES, AROUND INLETS OR ABOVE/BELOW WHERE CULVERTS DISCHARGE.
17. SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.
18. ALL DEVICES INCLUDING SILT FENCE, FILTER BARRIERS, SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS. END RUNS AND UNDERCUTTING BENEATH BARRIERS.
19. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
20. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

STORM DRAIN INLET PROTECTION:

22. 2 INCH - 3 INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
23. IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
24. ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
25. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE. PREPARED AND SEEDED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
26. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
27. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

POST-CONSTRUCTION SITE PROTECTION:

24. ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
25. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE. PREPARED AND SEEDED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
26. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
27. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

Bank of America

851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
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INFINITY

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Seal / Signature

NISIT SAPPAKHAO, P.E.
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DATE

Project Name
BACIGU WASHINGTON PARK

Project Number
10-460.00



Scale

Description
EROSION & SEDIMENT CONTROL DETAILS

C01.02

STORMWATER POLLUTION PREVENTION PLAN

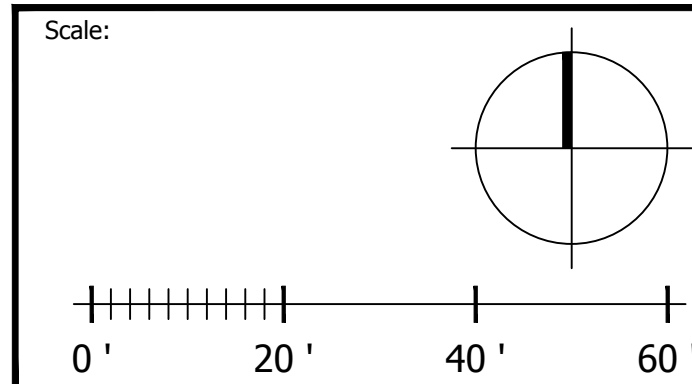
OWNER'S REQUIREMENTS		CONTRACTOR'S REQUIREMENTS																		
SITE DESCRIPTION	GENERAL	STABILIZATION PRACTICES EROSION AND SEDIMENT CONTROLS	OTHER CONTROLS	HAZARDOUS PRODUCTS	MAINTENANCE/INSPECTION PROCEDURES															
PROJECT NAME AND LOCATION: BAC/GU WASHINGTON PARK	THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS, DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.	1. HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.	WASTE DISPOSAL WASTE MATERIALS ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED. SANITARY WASTE ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS. OFFSITE VEHICLE TRACKING A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.	THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. * PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. * ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. * IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED. PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE: PETROLEUM PRODUCTS ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FERTILIZERS FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS. PAINTS CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. SPILL CONTROL PRACTICES IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE. SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL. IF THERE IS ANOTHER ONE, A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.	* THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST. * TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. * A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORMWATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE. * THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT. * PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER. NON-STORMWATER DISCHARGES IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD: * WATER FROM WATER LINE FLUSHING * PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED). * UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION). ALL NON-STORMWATER DISCHARGE WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.															
SITE ADDRESS: 851 SOUTH STATE ROAD 7 HOLLYWOOD, FL 33023	SEQUENCE OF MAJOR ACTIVITIES	2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. 3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE. 4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA UP TO THE SPREADER IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE. 5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY. 6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS. 7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.	INVENTORY FOR POLLUTION PREVENTION PLAN THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION: <table><tr><td><input type="checkbox"/> Concrete</td><td><input type="checkbox"/> Fertilizers</td><td><input type="checkbox"/> Wood</td></tr><tr><td><input type="checkbox"/> Asphalt</td><td><input type="checkbox"/> Petroleum Based Products</td><td><input type="checkbox"/> Masonry Blocks</td></tr><tr><td><input type="checkbox"/> Tar</td><td><input type="checkbox"/> Cleaning Solvents</td><td><input type="checkbox"/> Roofing Materials</td></tr><tr><td><input type="checkbox"/> Detergents</td><td><input type="checkbox"/> Paints</td><td><input type="checkbox"/> Metal Studs</td></tr><tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td></tr></table>	<input type="checkbox"/> Concrete	<input type="checkbox"/> Fertilizers	<input type="checkbox"/> Wood	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Petroleum Based Products	<input type="checkbox"/> Masonry Blocks	<input type="checkbox"/> Tar	<input type="checkbox"/> Cleaning Solvents	<input type="checkbox"/> Roofing Materials	<input type="checkbox"/> Detergents	<input type="checkbox"/> Paints	<input type="checkbox"/> Metal Studs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	CONCRETE TRUCKS CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. 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<input type="checkbox"/> Asphalt	<input type="checkbox"/> Petroleum Based Products	<input type="checkbox"/> Masonry Blocks																		
<input type="checkbox"/> Tar	<input type="checkbox"/> Cleaning Solvents	<input type="checkbox"/> Roofing Materials																		
<input type="checkbox"/> Detergents	<input type="checkbox"/> Paints	<input type="checkbox"/> Metal Studs																		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
DESCRIPTION: CONSTRUCT NEW BUILDING AND PARKING LOT. TIE INTO EXISTING STORM SYSTEM EXISTING SMS AS REQUIRED TO ACCOMMODATE IMPROVEMENTS PER AUTHORITIES WITH JURISDICTION. SOIL DISTURBING ACTIVITIES WILL INCLUDE: RE-GRADING, CONSTRUCTION OF FACILITY SOILS: SEE SOIL REPORT SITE MAPS: * SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES, AREAS OF SO																				



 Bank of America		
851 S STATE RD 7 HOLLYWOOD, FL 33023		
SERIAL NUM.:	FLW-C66	
DESIGNATION:	SIGNATURE	
NRSP VERSION:	2.0	
BULLETIN:	2-2016	
M. Arthur Gensler Jr. & Associates Inc.		
Gensler		
LIC. NO. AA0002837		
Main Office		
2 Harrison Street Suite 400 San Francisco CA 94105	Tel 415.433.3700 Fax 415.836.4599	
 INFINITY		
Infinity Engineering Group, LLC. Attn: Brett Nevarni 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211		
△	Date	Description
1	08.15.16	ISSUE FOR TAC SUBMISSION
2	09.15.16	ISSUE FOR LL REVIEW
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4	12.13.16	ADD FIRE HYDRANT PER TAC
5	01.06.17	REVISED PER COUNTY COMMENTS
Seal / Signature		
NISI7 SAPPARKHAO, P.E. FL REG. NO. 64085		
_____ DATE		
Project Name		
BAC/GU WASHINGTON PARK		
Project Number		
10-460.00		
Scale		
Description		
SWPPP GENERAL REQUIREMENTS		
C01.03		



WASHINGTON STREET

SAID LANDS LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.



 	NEW HANDICAP PARKING SIGNS WITHIN BOLLARD PER BANK GUIDELINES (TYPICAL OF 2) (SEE DETAIL SHEET)
---	---

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Plot Date: 1/31/2017 9:20:07 AM Filename: T:\10 Bank Of America\10-460.00 - G - Washington Park - NEC SR 7 And Washington Street, Hollywood, FL\CADD\Civil\10-460.00 ED.dwg User: Praphon Vasanapradit Device: None PenTable: ----

STATE ROAD 7 (U.S. 441)

STATE ROAD 7 (U.S. 441)

N02°30'21"W 304.05'(D) N02°30'30"W 394.05'(C)

UNDER CONSTRUCTION

S78°24'31"E
17.53'

S02°30'30"E
38.65'

N21°39'33"W
6.28'

CONCRETE POWER POLE

ONE STORY
BUILDING #607-635
FLOOR ELEVATION: 9.12'

ACCESSIBLE PATHWAY
TO THE ENTRANCE

MOBILE FINANCIAL CENTER
LARGE TRUCK STYLE UNIT
60'X30'

RESTROOM ACCOMMODATIONS
(PORTA POTTY WITH SINK)

(2) 12'X19' HANDICAP SPACE(S)
(2) 8' WIDE ACCESS AISLE(S)
(2) WHEEL STOP(S)
(2) HANDICAP PARKING SIGN(S)

N89°49'34"E 198.04'

Scale:

0' 20' 40' 60'

Mobile Financial Center - Large Truck Style Unit

- 53' x 8' truck w/ two slide outs
 - Curb side slide out is 5' x 29'
 - Drivers side slide out is 7' x 31'
 - Tractor used for transportation only adds about 25'
- Weight rating 60,000 lbs (80,000 when combined with the tractor)
- 2 cellular antennas for network connectivity
- Auto-leveling system
- Power/Outlet requirements – 120/208 volt 3 phase 200 amp service with cam locks. Cable run should be under 100 feet.

Requirements

- Optimal space needed is a flat 60' long x 30' wide space (accommodates slide outs and ramp) with clear path to the ramp
- Overhead clearance of 18'
- Restroom accommodations



Property Manager Team Members - Deployment Responsibilities and Expectations

Facilities partners will:

- Help identify the proper parking location
 - Considerations include:
 - Flat surface
 - Availability of shore power
 - Overhead clearance for truck and satellite dish along with slide out space
 - Customer parking
 - Customer foot traffic
 - Proximity to building or drive up ATM's
- Assist with arranging restroom accommodations
- Provide shore power if possible or refueling arrangements for generators when needed
- Arrange for movers to assist with boxes or supplies if requested
- Handle all basic maintenance such as light bulbs, jammed doors or broken keys, A/C or heating service, etc
- Arrange for outside tents and chairs when appropriate, maintain stair integrity in the winter, etc

MFC Team - Deployment Responsibilities and Expectations

- Truck delivered to location
- Vendor performs physical set up
- Test the network equipment and connectivity
- Test the server and workstations
- Test the phones
- Test the fax machine
- Test the printers
- Test the alarms and cameras
- Test the pneumatic tube and speaker system
- MFC Program Team enters associate information into MerlinTeller
- ATM's are programmed, cashed and vendor serviced throughout deployment period
- Security guard arrives for 24 x 7 coverage

MFC Program Team provides:

- Instructions on truck operations along with a contact list
- Keys, combos and alarm codes
- On-site day one support
- Off-site support throughout the duration of the deployment

Bank of America
COMMERCIAL SERVICES

Bank of America

851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
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Seal / Signature

NISIT SAPPAKHAO, P.E.
FL REG. NO. 64085

DATE

Project Name
BACIGU WASHINGTON PARK

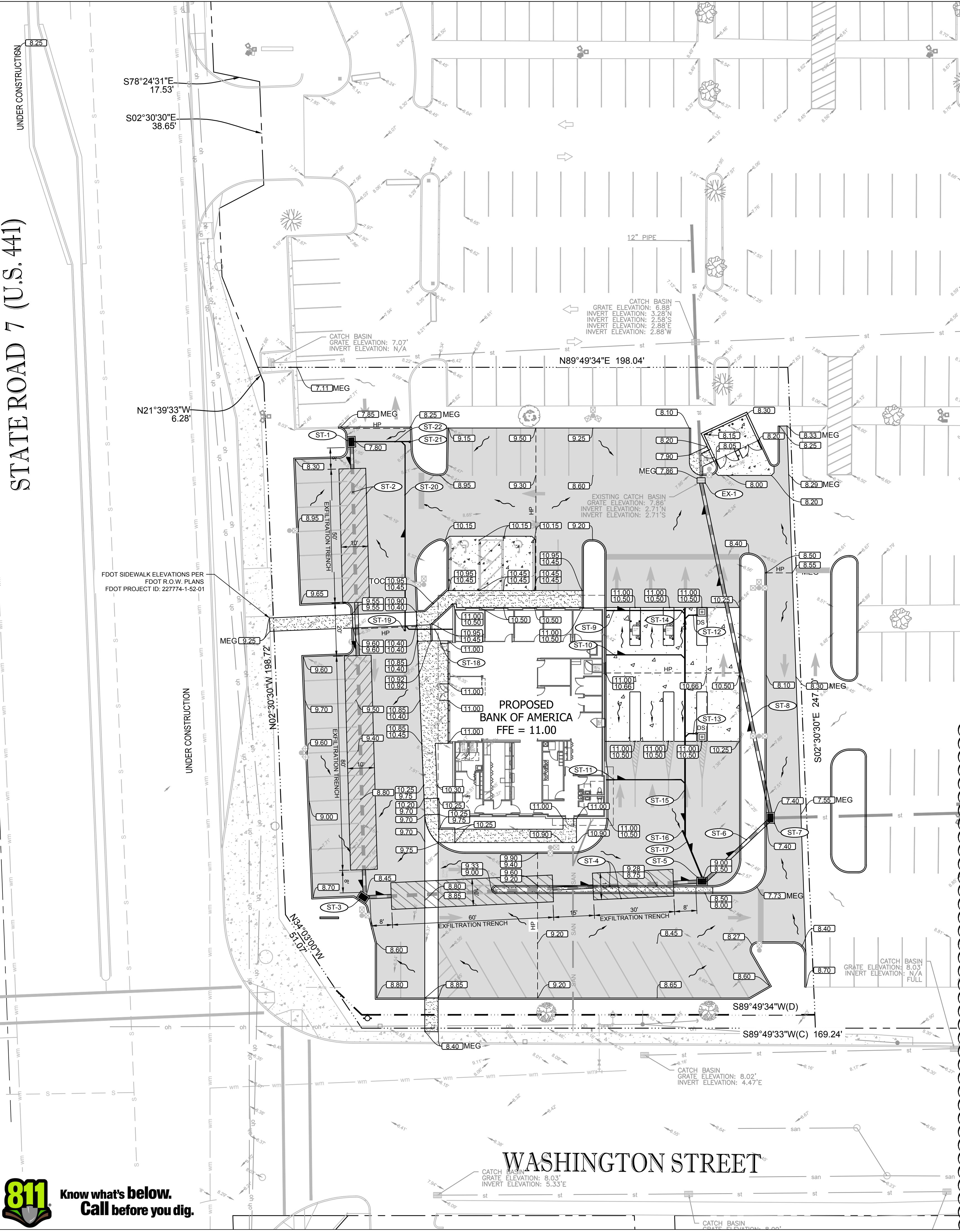
Project Number
10-460.00

Scale

Description
Mobile Banking Center Site Plan

C02.02

STATE ROAD 7 (U.S. 441)



EXISTING STORM STRUCTURE/PIPING DATA

EX-1
existing catch basin
grate elevation: 7.86'
invert elevation: 2.71'
IE (S) = 2.71

PROPOSED STORM STRUCTURE/PIPING DATA

ST-1
STORM INLET
FOOT INDEX NO. 232
(PRB PER DETAIL 6, SHEET C12.02)
GRATE = 7.80
IE (S)(E) = 3.85
BOTTOM = 0.35

ST-2
8 LF OF 15" HDPE (NON-PERFORATED)
50 LF OF EXFILTRATION TRENCH
20 LF OF 15" HDPE (NON-PERFORATED)
80 LF OF EXFILTRATION TRENCH
8 LF OF 15" HDPE (NON-PERFORATED)
@ 0.34% MIN. SLOPE (ALL PIPES)

ST-3
STORM INLET
FOOT INDEX NO. 232
(PRB PER DETAIL, SHEET C12.02)
GRATE = 8.00
IE (N,E) = 3.30
BOTTOM = -0.40

ST-4
8 LF OF 15" HDPE (NON-PERFORATED)
60 LF OF EXFILTRATION TRENCH
15 LF OF 15" HDPE (NON-PERFORATED)
30 LF OF EXFILTRATION TRENCH
8 LF OF 15" HDPE (NON-PERFORATED)
@ 0.34% MIN. SLOPE

ST-5
TYPE "C" INLET
FOOT INDEX NO. 232
(PRB PER DETAIL, SHEET C12.02)
GRATE = 8.50
WEIR WALL = 5.73
IE (W,E) = 2.90

ST-6
33 LF OF 15" HDPE (NON-PERFORATED)
@ 0.34% MIN. SLOPE

ST-7
TYPE "C" INLET
FOOT INDEX NO. 232
GRATE = 7.40
IE (N,W) = 2.80 (N,S,W)
BOTTOM = -0.70

ST-8
127 LF OF 15" HDPE (NON-PERFORATED)
@ 1.0% MIN. SLOPE

ST-9
30 LF OF 4" PVC
@ 1.0% MIN. SLOPE

ST-10
30 LF OF 4" PVC
@ 1.0% MIN. SLOPE

ST-11
30 LF OF 4" PVC
@ 1.0% MIN. SLOPE

ST-12
CONSTRUCT CLEANOUT
TOP TO BE SET AT GRADE
4.5 LF OF 4" PVC
@ 1.0% MIN. SLOPE

ST-13
CONSTRUCT CLEANOUT
TOP TO BE SET AT GRADE
4.5 LF OF 2" PVC
@ 1.0% MIN. SLOPE

ST-14
CONSTRUCT CLEANOUT
TOP TO BE SET AT GRADE
IE = 3.95

ST-15
85 LF OF 12" PVC
@ 1.0% SLOPE

ST-16
CONSTRUCT CLEANOUT
TOP TO BE SET AT GRADE
IE = 3.10

ST-17
20 LF OF 12" PVC
@ 1.0% SLOPE
(TIE INTO ST-5)

ST-18
20 LF OF 4" PVC
@ 1.0% MIN. SLOPE

ST-19
CONSTRUCT CLEANOUT
TOP TO BE SET AT GRADE

ST-20
70 LF OF 4" PVC
@ 1.0% MIN. SLOPE

ST-21
CONSTRUCT CLEANOUT
TOP TO BE SET AT GRADE
(TIE INTO ST-1)

GRADING PLAN LEGEND

EL ELEVATION
TYP TYPICAL
CO CLEANOUT
IE INVERT ELEVATION
EXISTING ELEVATION
PROPOSED PAVEMENT ELEVATION
DITCH BOTTOM INLET
FFE FINISH FLOOR ELEVATION
RCP REINFORCED CONCRETE PIPE
ST-23 STORM SEWER STRUCTURE NUMBER
EROSION CONTROL
HP HIGH POINT
MEG MATCH EXISTING GRADE
DS BUILDING DOWN SPOUT
12" OR GREATER STORMWATER PIPE
LESS THAN 12" STORMWATER PIPE
PROPOSED SURFACE STORMWATER FLOW
DIRECTION OF PIPE FLOW
TOP OF SIDEWALK/CURB/ISLAND
EDGE OF PAVEMENT

PAVING AND GRADING GENERAL NOTES

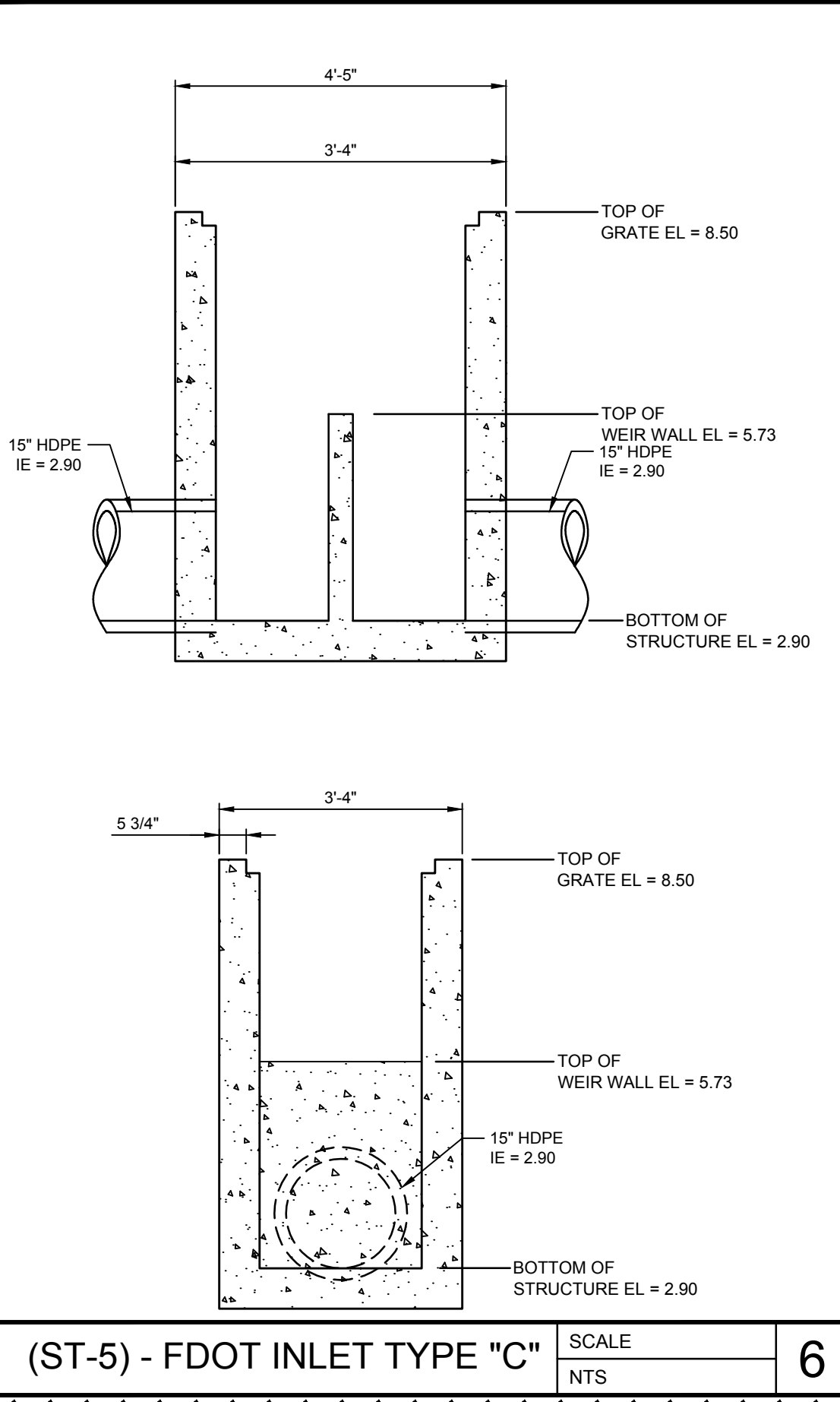
- SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
- SEE SITE PLAN SHEET FOR SITE DATA.
- SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
- THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
- ALL DISTURBED AREAS WITHIN RIGHTS-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
- ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
- CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.
- BUILDING AND PEDESTRIAN SIDEWALKS AND PEDESTRIAN CROSSING TO HAVE A MAXIMUM OF 2.00% CROSS SLOPE AND 5.00% RUNNING SLOPE.
- ALL FINISHED LANDSCAPING TO HAVE A SLOPE NO MORE THAN 33.33% (1 TO 3) UNLESS OTHERWISE SPECIFIED.

CONTROL BENCHMARKS

PROJECT BENCHMARK: ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. NATIONAL GEODETIC SURVEY BENCHMARK NO. S 312; ELEVATION: 8.60'.

EROSION CONTROL MEASURE NOTES

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.



851 S STATE RD 7
HOLLYWOOD, FL 33023

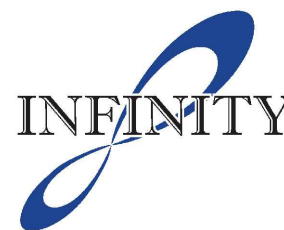
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BULLETIN: 2-2016

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Seal / Signature

NISIT SAPPAKHAO, P.E.
FL REG. NO. 64085

DATE

Project Name
BAC/GU WASHINGTON PARK

Project Number
10-460.00

Scale
1" = 20'


Description
GRADING PLAN

C03.01





Scale:



0' 20' 40' 60'

Technical drawing of an Aerial Fire Truck showing dimensions and specifications.

Dimensions:

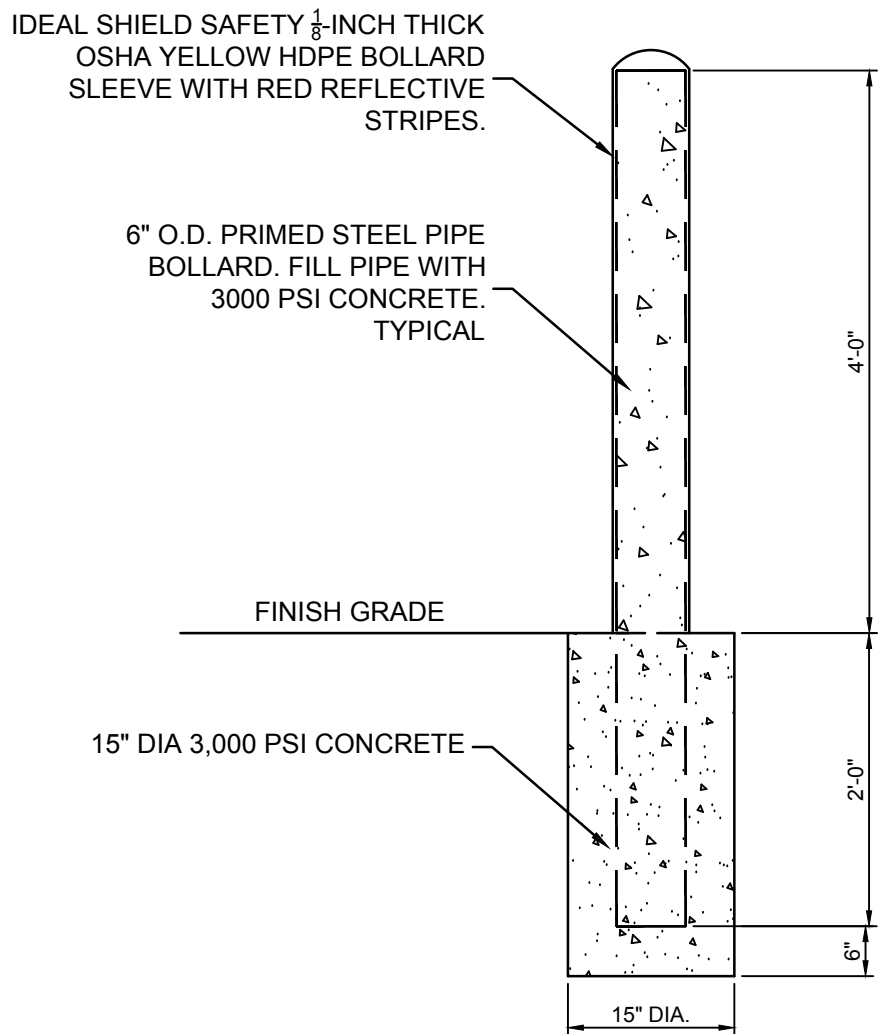
- Overall Length: 43.00
- Wheelbase: 22.00
- Front Overlap: 7.00

Specifications:

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

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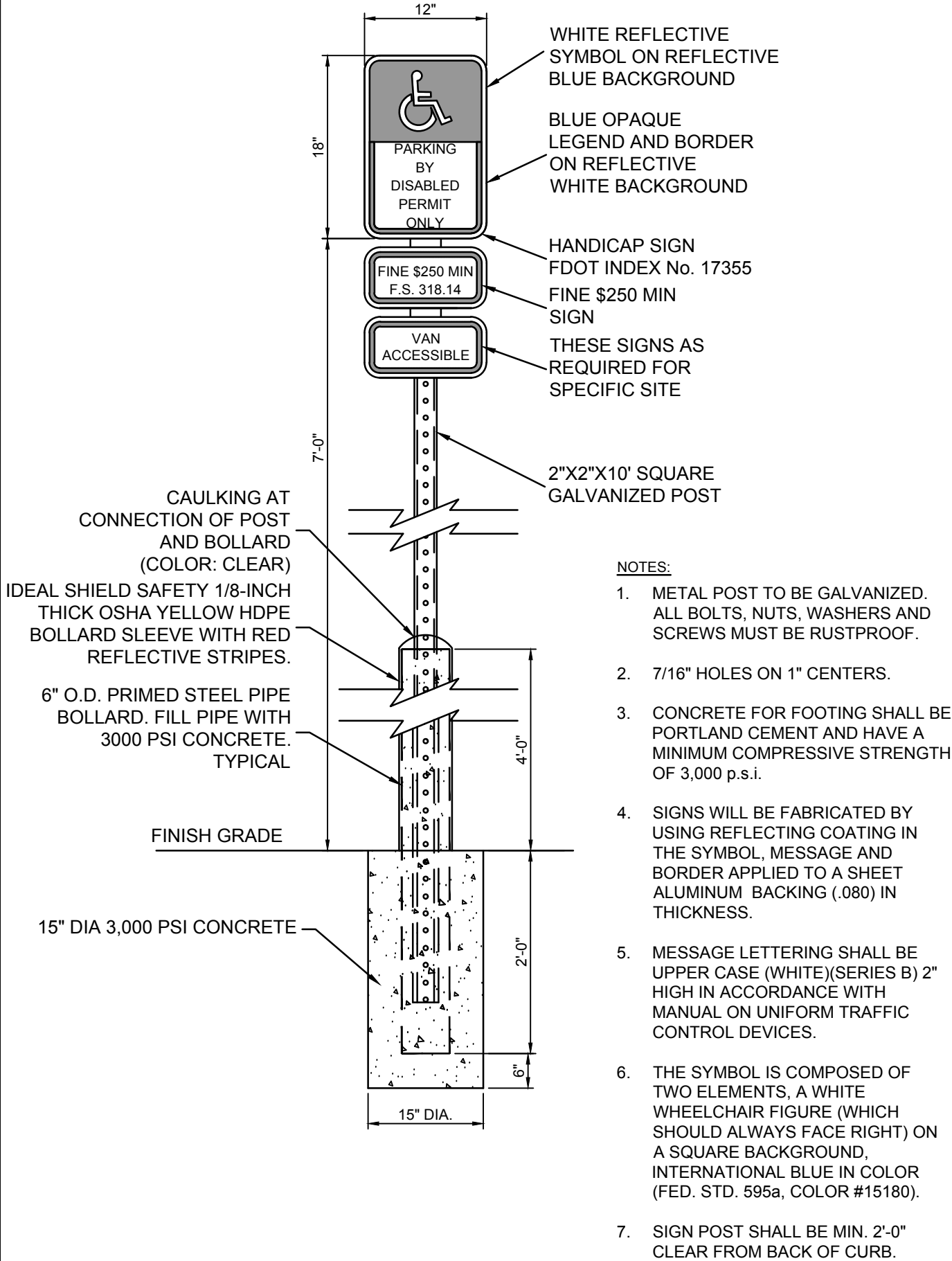
Plot Date: 1/31/2017 9:19:16 AM Filename: T:\10 Bank Of America\10-460.00 - G - Washington Park - NEC SR 7 And Washington Street, Hollywood, FL\CADD\Civil\10-460.00_CS-DETAILS-NOTES.dwg User: Prapton Vasanapadi Device: None Pen Table: ----



NOTES:

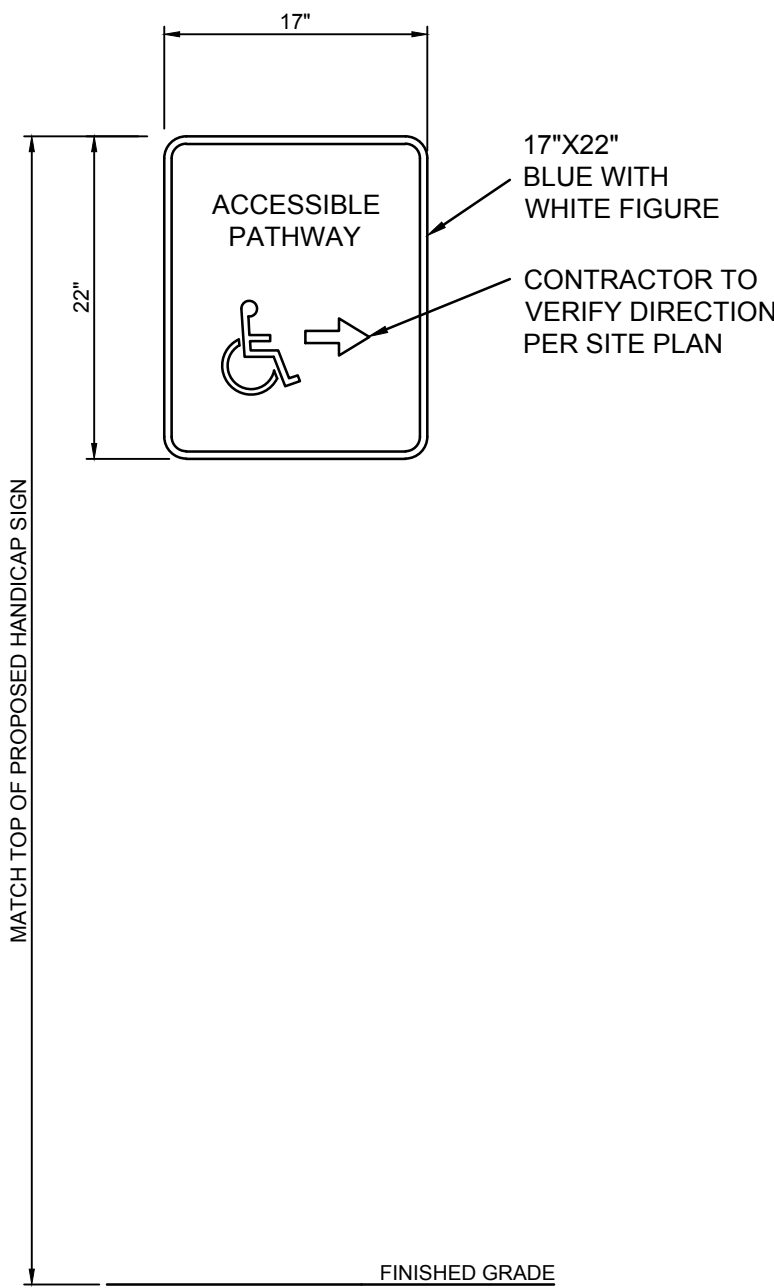
1. MANUFACTURER: IDEAL SHIELD
2. PRODUCT NAME: 1/8" BOLLARD COVER
3. COLOR NAME: OSHA YELLOW WITH RED REFLECTIVE STRIPES MATERIAL 1/8" THICK POLYETHYLENE THERMOPLASTIC (HDPE)
4. TRIM: DOME TOP PLASTIC CAP
5. INSTALLATION: INSTALL WITH MANUFACTURERS NEOPRENE ADHESIVE TAPE PER MANUFACTURERS INSTALLATION GUIDELINES.

CONTRACTOR TO FIELD CUT BOLLARD COVER AS REQUIRED TO FIT 48" IN HEIGHT BOLLARD.



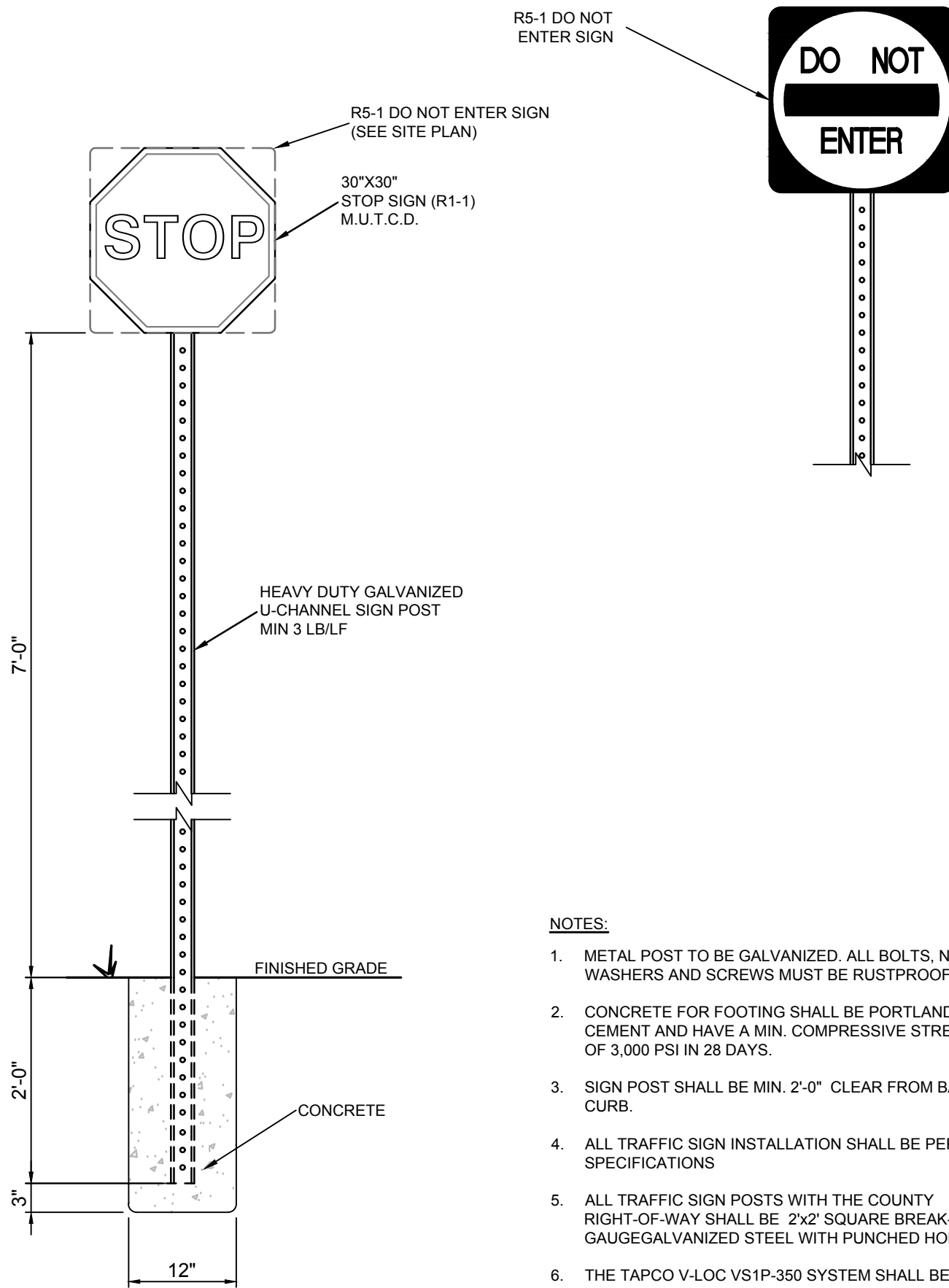
NOTES:

1. METAL POST TO BE GALVANIZED. ALL BOLTS, NUTS, WASHERS AND SCREWS MUST BE RUSTPROOF.
2. 7/16" HOLES ON 1" CENTERS.
3. CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 p.s.i.
4. SIGNS WILL BE FABRICATED BY USING REFLECTING COATING IN THE SYMBOL, MESSAGE AND BORDER APPLIED TO A SHEET ALUMINUM BACKING (.080) IN THICKNESS.
5. MESSAGE LETTERING SHALL BE UPPER CASE (WHITE)(SERIES B) 2" HIGH IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. THE SYMBOL IS COMPOSED OF TWO ELEMENTS, A WHITE WHEELCHAIR FIGURE (WHICH SHOULD ALWAYS FACE RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (FED. STD. 595a, COLOR #15180).
7. SIGN POST SHALL BE MIN. 2'-0" CLEAR FROM BACK OF CURB.



NOTE:

TO BE ATTACHED TO BUILDING WALL.



NOTES:

1. METAL POST TO BE GALVANIZED. ALL BOLTS, NUTS, WASHERS AND SCREWS MUST BE RUSTPROOF.
2. CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
3. SIGN POST SHALL BE MIN. 2'-0" CLEAR FROM BACK OF CURB.
4. ALL TRAFFIC SIGN INSTALLATION SHALL BE PER FDOT SPECIFICATIONS
5. ALL TRAFFIC SIGN POSTS WITH THE COUNTY RIGHT-OF-WAY SHALL BE 2'x2' SQUARE BREAK-AWAY 14 GAUGE GALVANIZED STEEL WITH PUNCHED HOLES.
6. THE TAPCO V-LOC VS1P-360 SYSTEM SHALL BE EMPLOYED WHERE SIGN POSTS ARE INSTALLED IN PAVED AREAS.

TYPICAL BOLLARD DETAIL

SCALE
NTS

1

HANDICAP PARKING SIGN WITH BOLLARD

SCALE
NTS

2

ACCESSIBLE PATHWAY SIGN

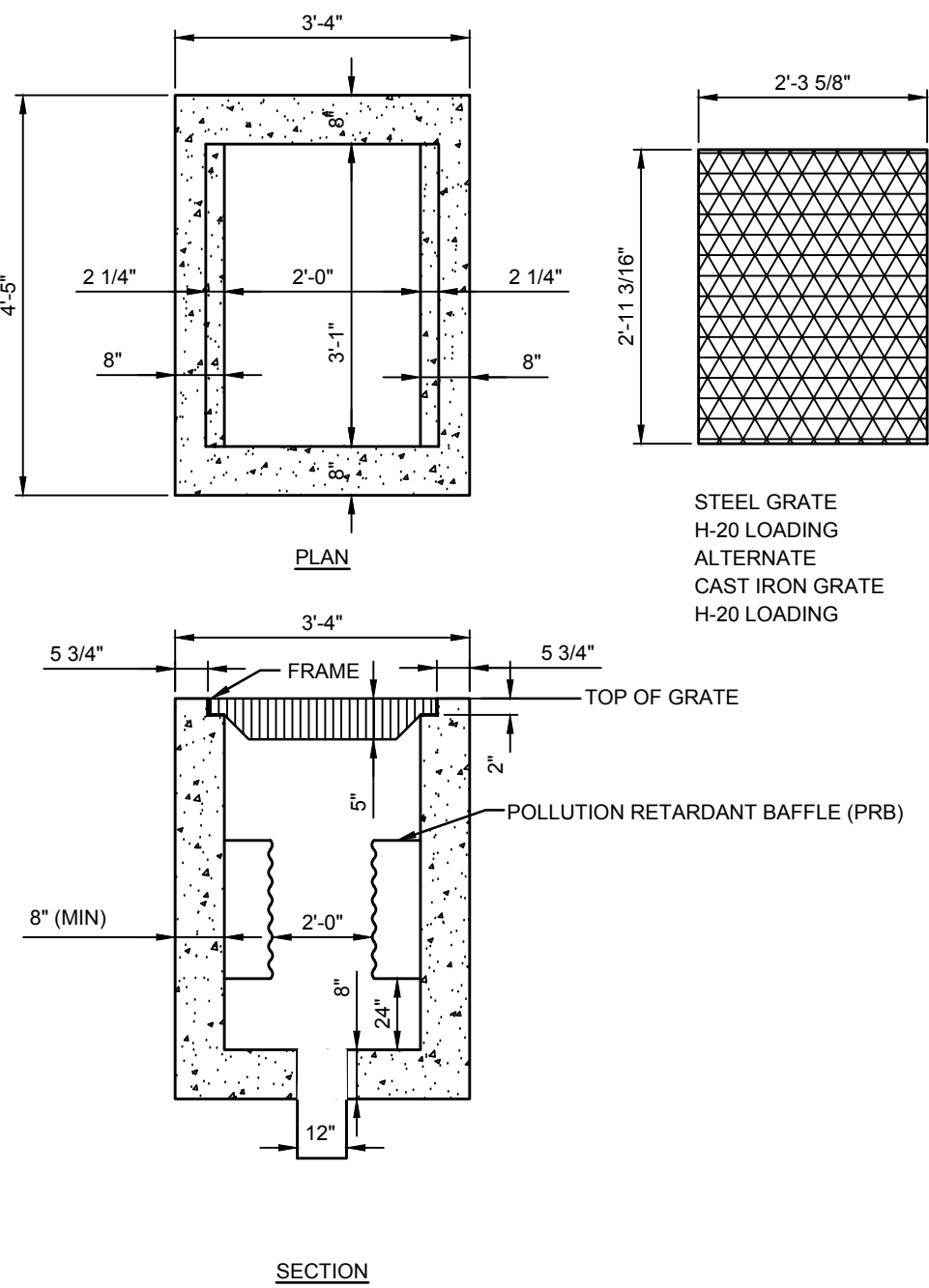
SCALE
NTS

3

MUTCD SIGNS

SCALE
NTS

4



NOTES:
FOR ADDITIONAL DETAILS SEE FDOT INDEX NO 201 & 232. BOTTOM & SIDE STEEL IS GRADE 40 #4 BARS @ 12" CTRS WITH 2" COVER. MAXIMUM DEPTH FOR THIS STRUCTURE IS 15'. MAXIMUM PIPE SIZE FOR 2'-0" WALL IS 18" CONCRETE PIPE. MAXIMUM PIPE SIZE FOR 3'-1" WALL IS 24" CONCRETE PIPE. ALL EXPOSED CORNERS AND EDGES OF CONCRETE ARE TO BE CHAMFERED 3/4". CONCRETE SHALL MEET THE REQUIREMENTS OF ASTM C-478.

NOTE:
SUMP TO BE UTILIZED FOR STRUCTURES ST-1, ST-3, AND ST-5.

FDOT INLET TYPE "C"

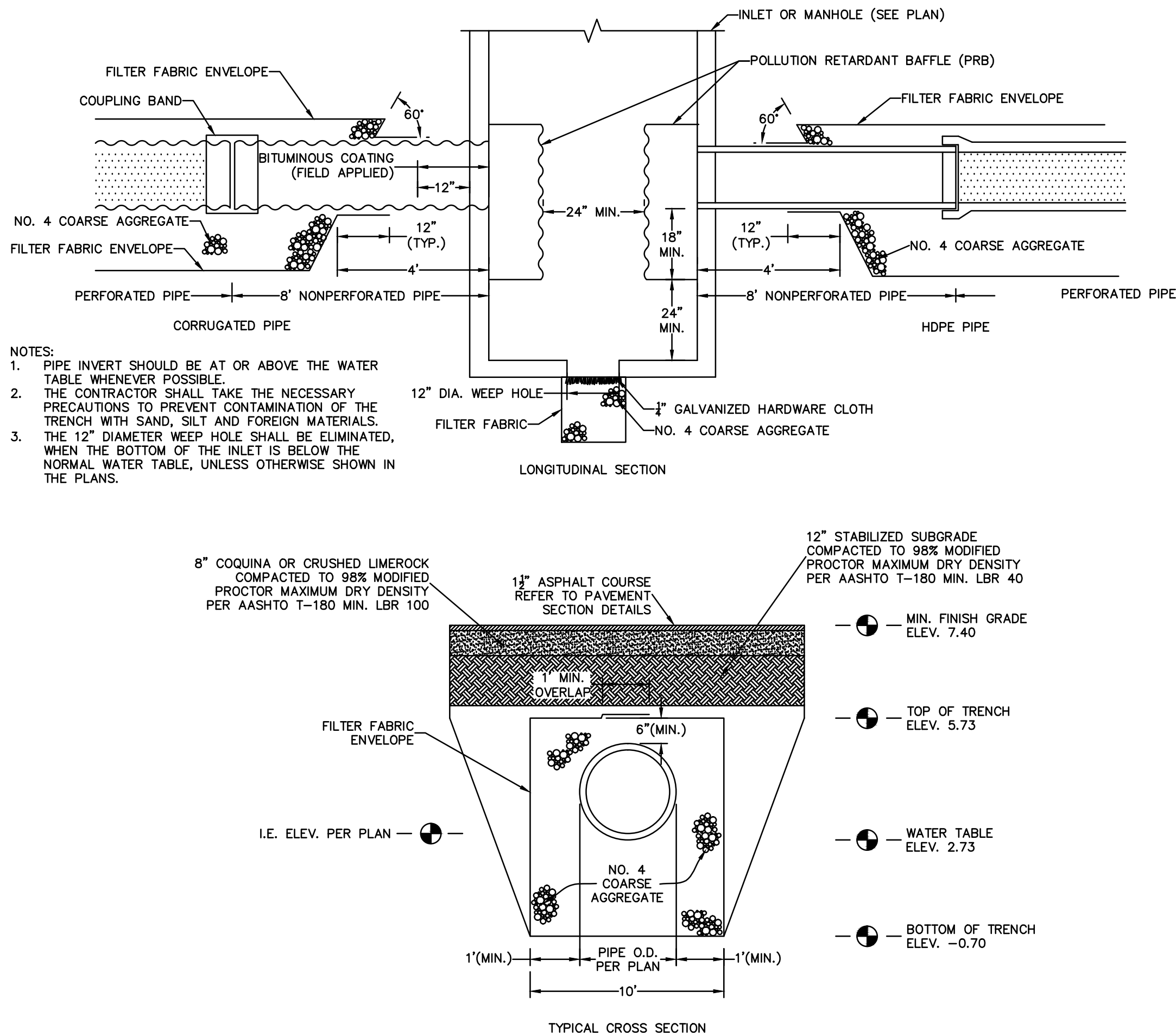
SCALE
NTS

5

(ST-5) - FDOT INLET TYPE "C"

SCALE
NTS

6



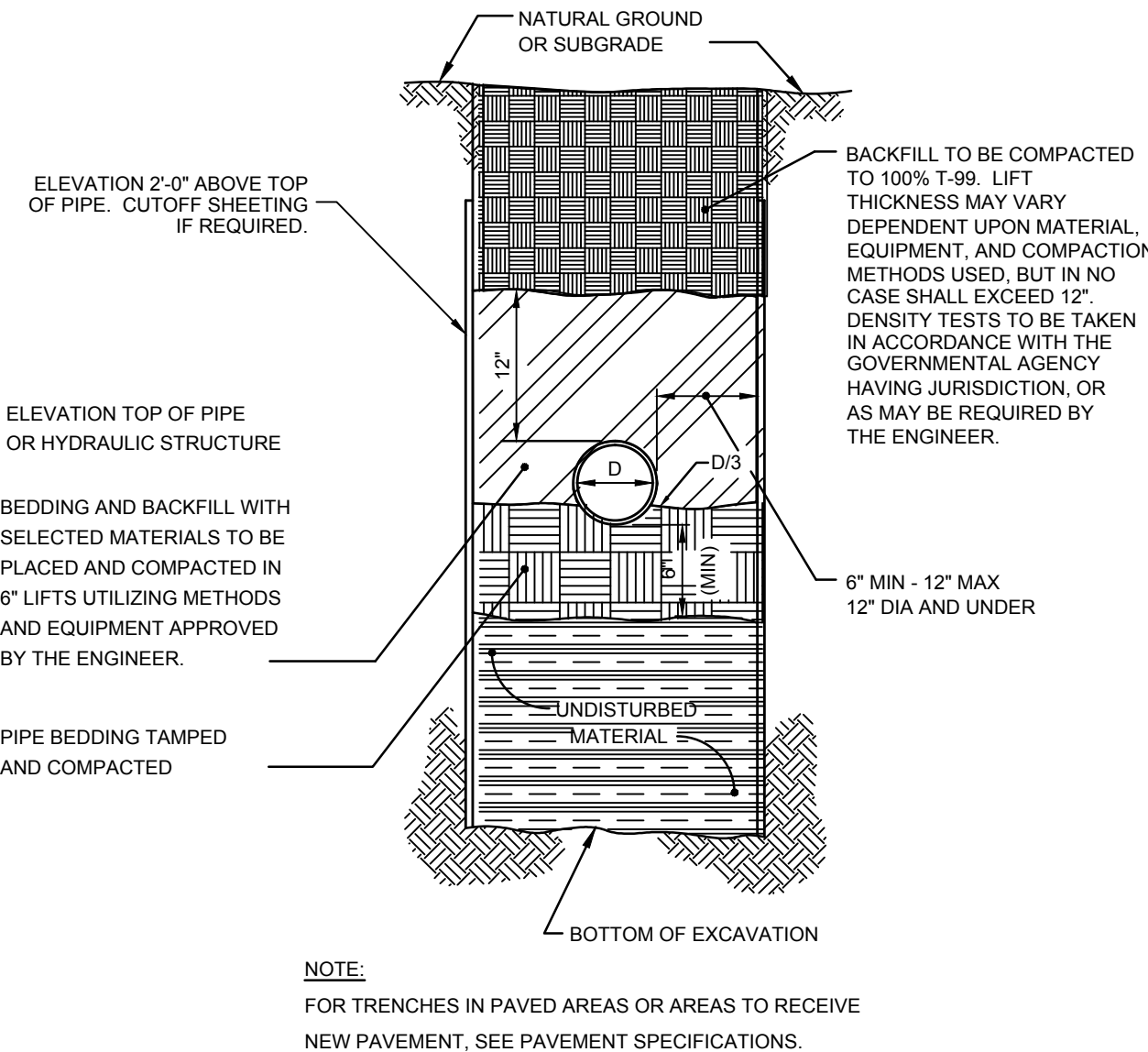
NOTES:

1. PIPE INVERT SHOULD BE AT OR ABOVE THE WATER TABLE WHENEVER POSSIBLE.
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS. THE 12" DIAMETER WEEP HOLE SHALL BE ELIMINATED, WHEN THE BOTTOM OF THE INLET IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN IN THE PLANS.
- 3.

TYPICAL EXFILTRATION TRENCH

SCALE
NTS

7



NOTE:
FOR TRENCHES IN PAVED AREAS OR AREAS TO RECEIVE NEW PAVEMENT, SEE PAVEMENT SPECIFICATIONS.

TYPICAL TRENCH SECTION

SCALE
NTS

8

Bank of America

851 S STATE RD 7
HOLLYWOOD, FL 33023

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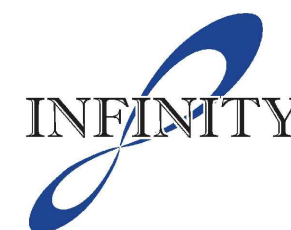
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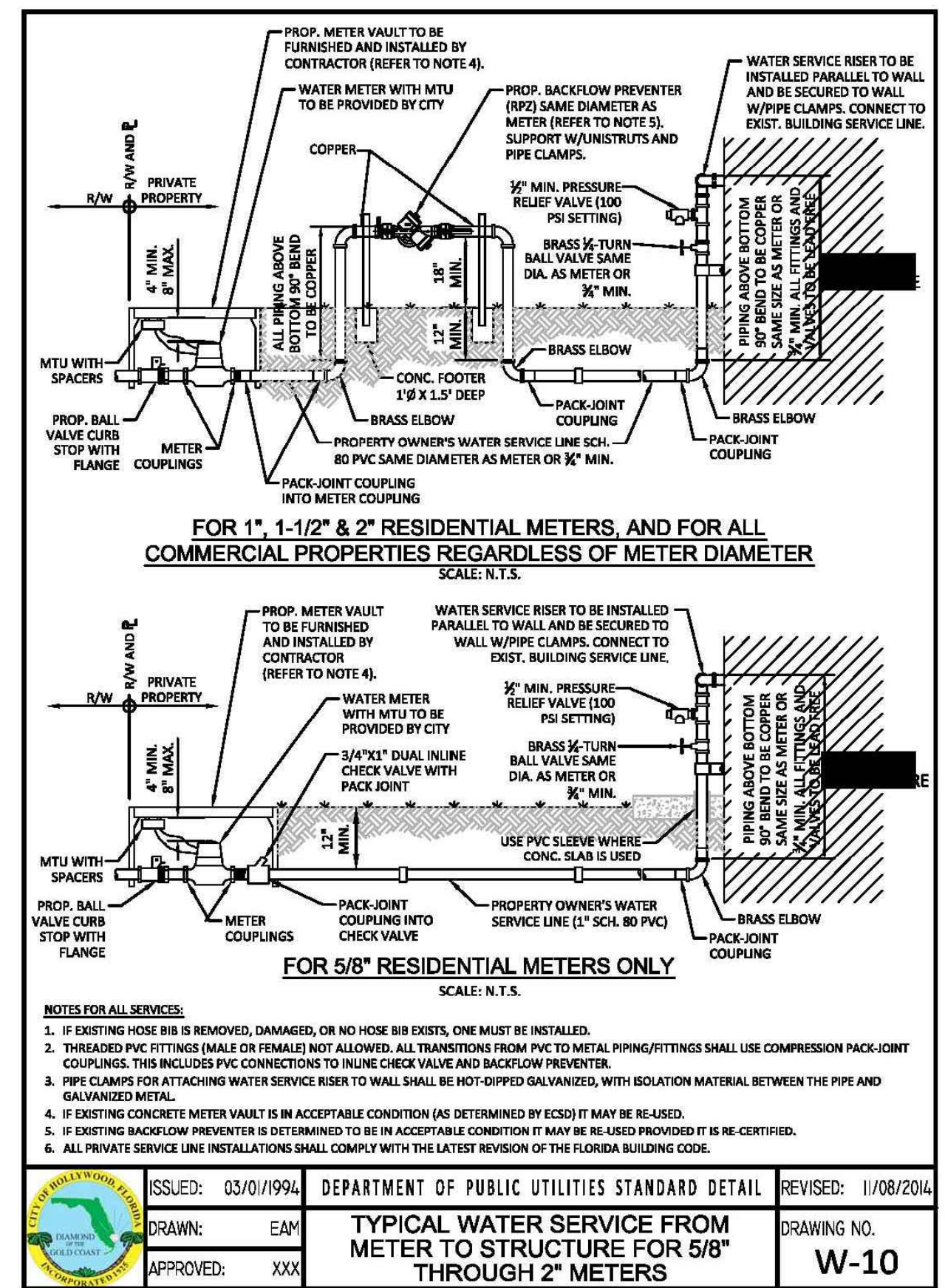
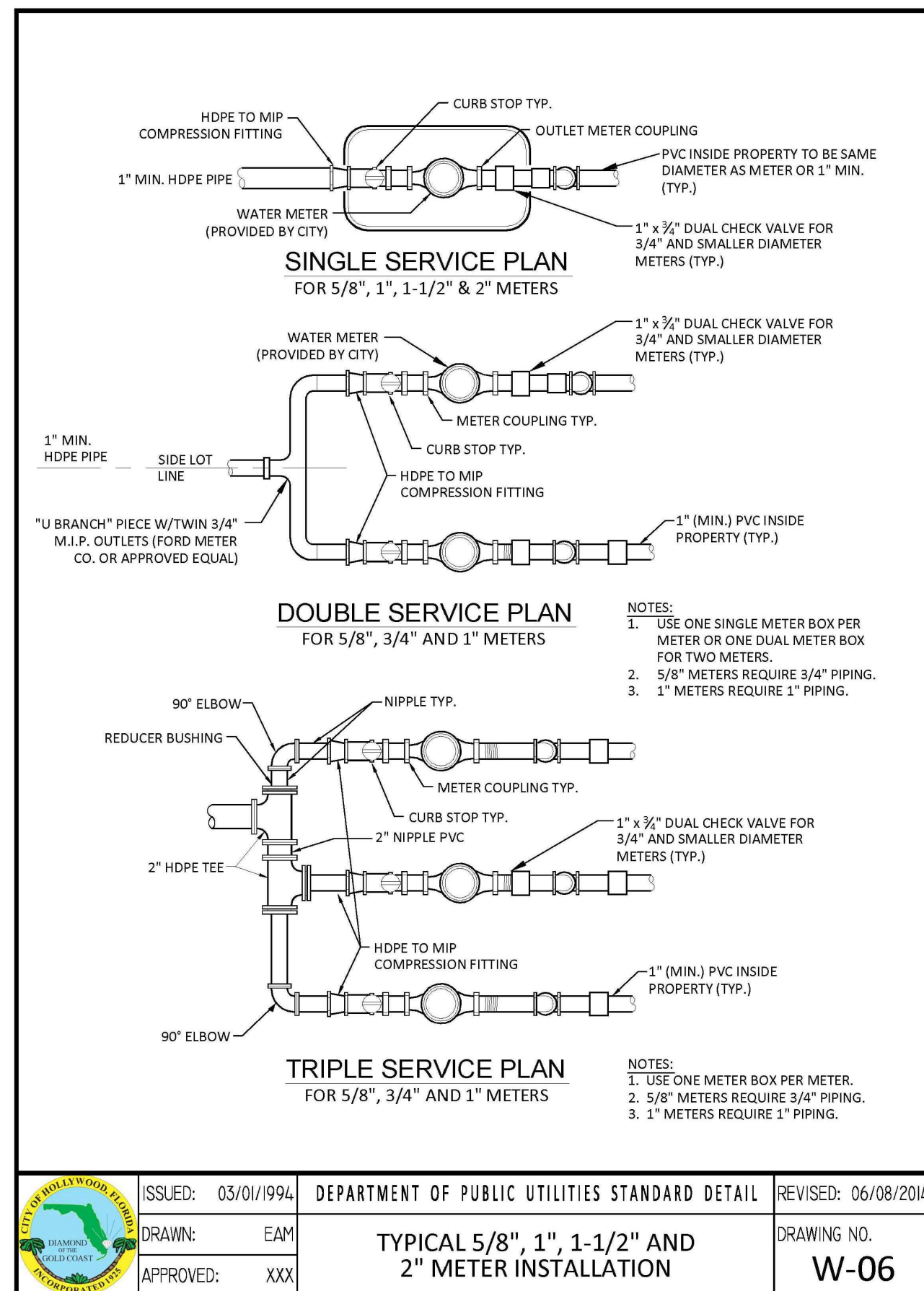
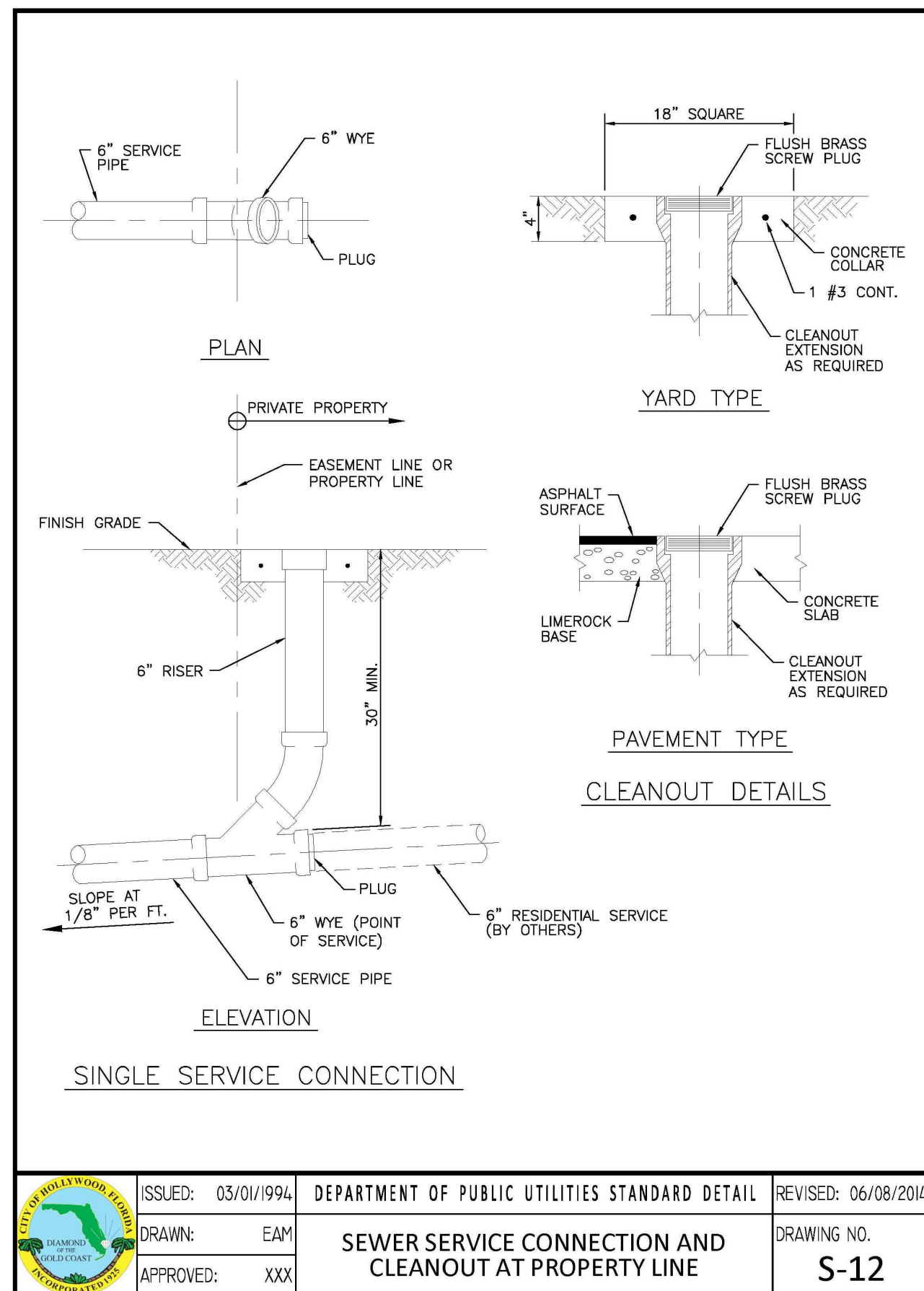
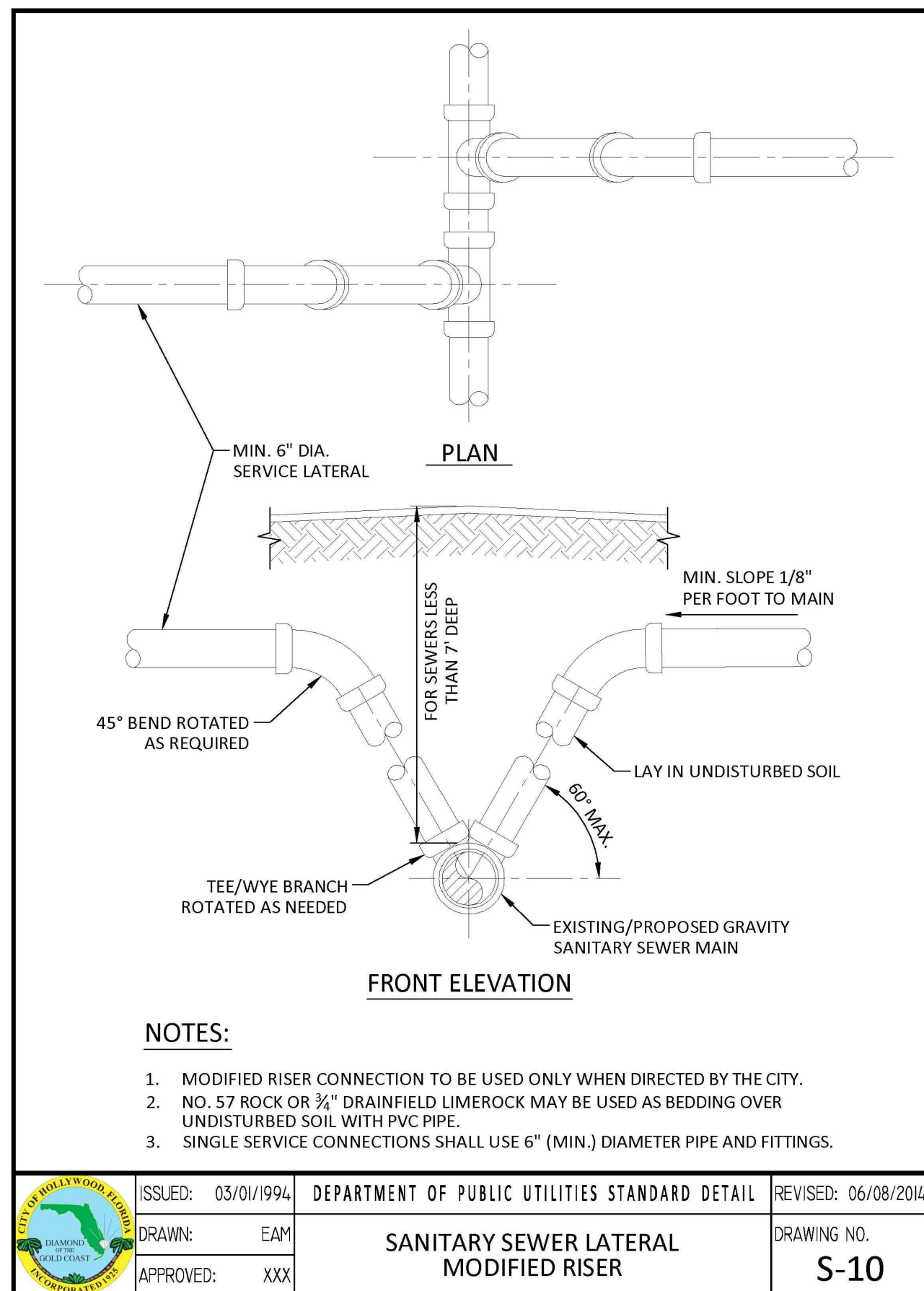
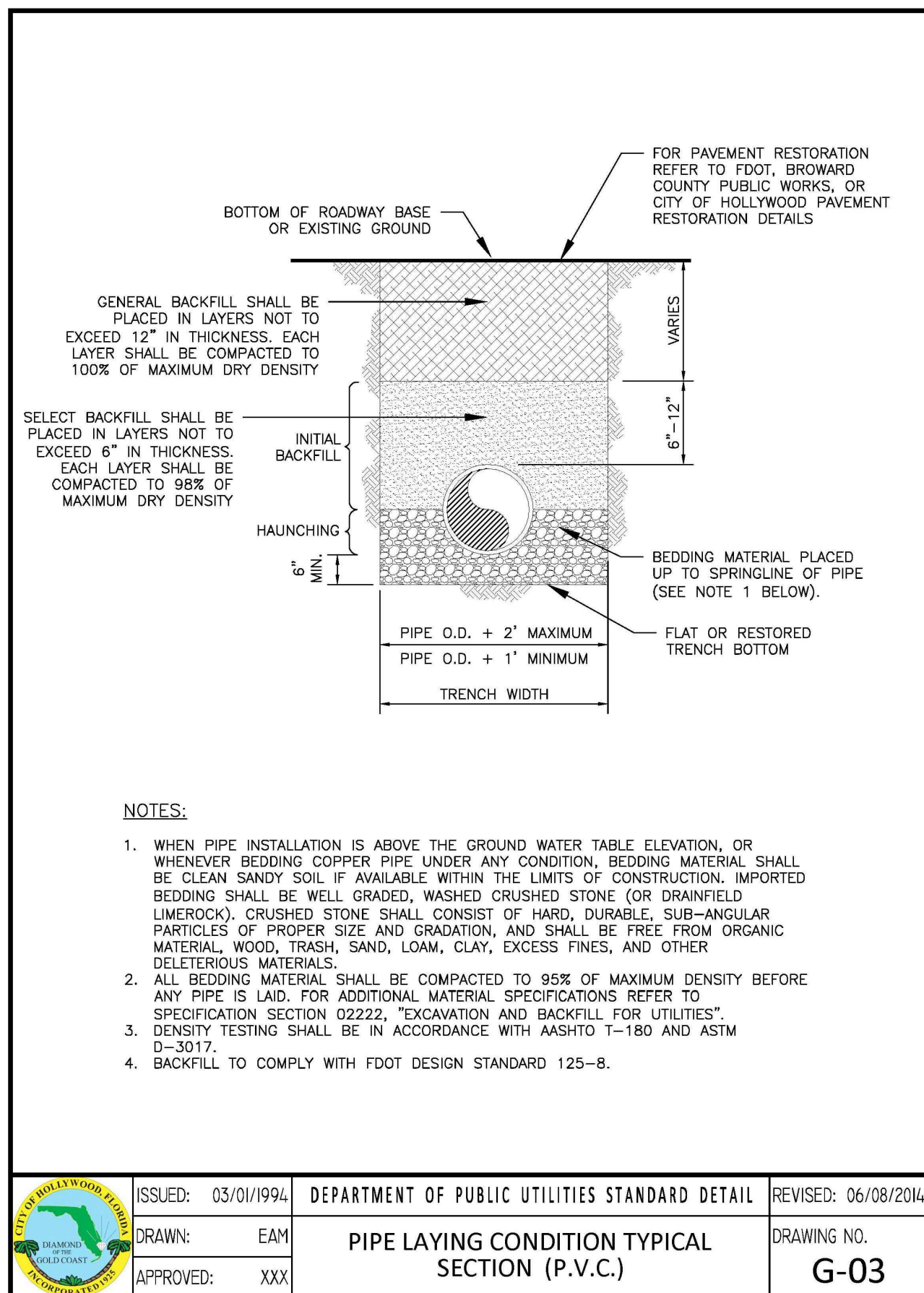
Project Name
BACIGU WASHINGTON PARK


Project Number
10-460.00

Scale

Description
SITE DETAILS

C12.02



Bank of America 

851 S STATE RD 7
HOLLYWOOD, FL 33023


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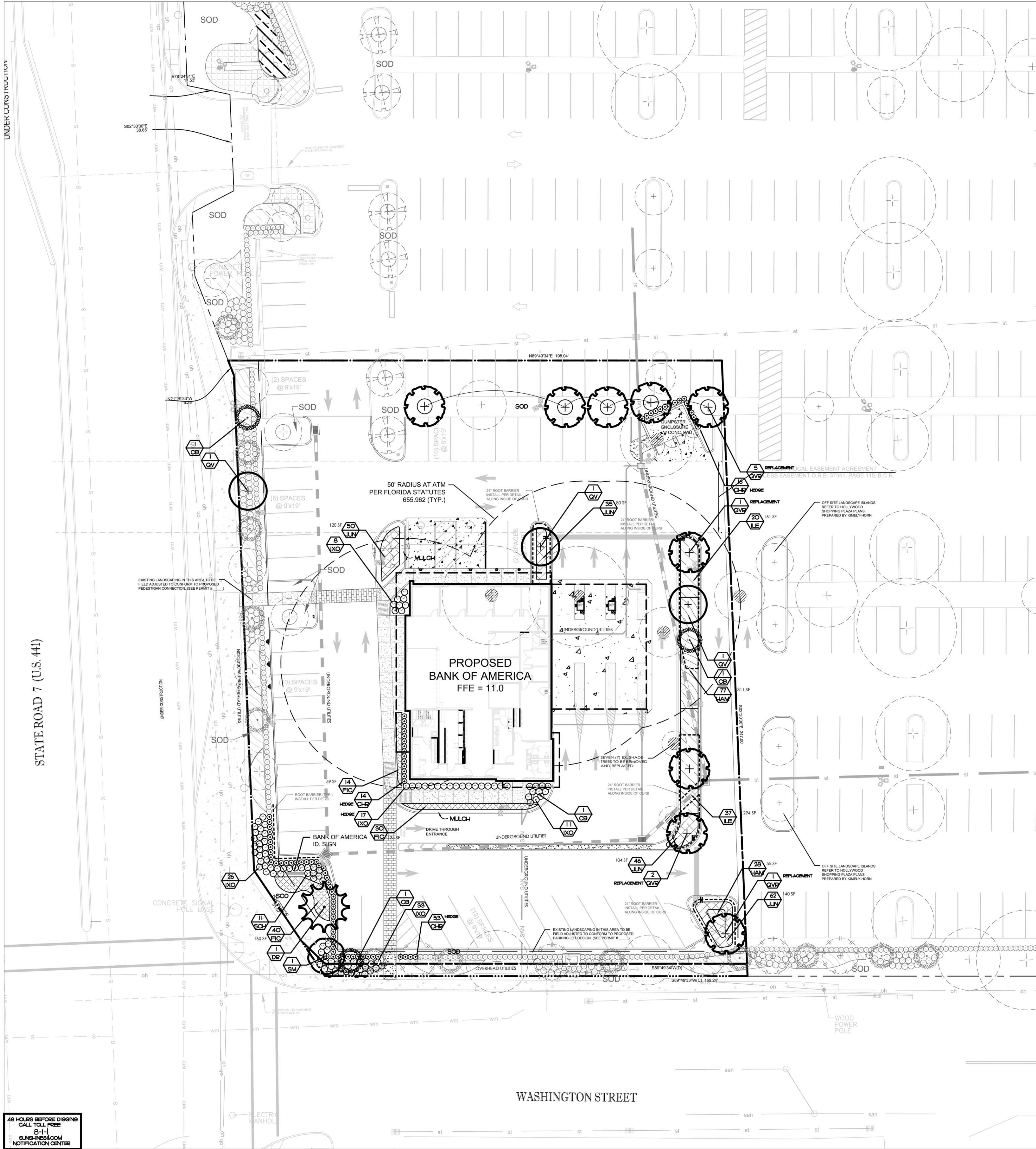
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INFINITY

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Project Name		BAC/GU WASHINGTON PARK
Project Number		10-460.00
Scale		
Description		CITY OF HOLLYWOOD DETAILS



Landscape Requirements (OUTPARCEL ONLY)

TOTAL PARCEL AREA VEHICLE USE AREA (VUA)	47,805 SF 2,025 SF	1.10 ACRES 0.48 ACRES
REQUIRED	PROVIDED	
LANDSCAPE BUFFERS (5' WIDTH) SOUTH PROPERTY LINE - 1,988 LF TREES + 1 TREE PER 50 LF 24" TALL SHAUBS WEST PROPERTY LINE - 246 LF TREES + 1 TREE PER 50 LF 24" TALL SHAUBS	4 TREES N/A 5 TREES N/A	6 TREES 27 SHAUBS 6 TREES 394 SHAUBS
NORTH BUFFER EAST BUFFER	N/A N/A	N/A N/A
INTERIOR PARKING INTERIOR ISLANDS 1 TREE / ISLAND VUA = 2,025 SF X 0.25 = 506 SF 1 TREE / 1,000 SF PAVEMENT	1 90 SF/ISLAND 1 0 TREES 5256 SF 6 TREES	1 90 SF/ ISLAND MIN 1 0 TREES 5300 SF 1 0 TREES
TOTAL ON-SITE TREES	25 TREES	32 TREES
NATIVE SPECIES REQUIREMENT 60% NATIVE TREES PROPOSED X 0.40 = REQUIRED 32 TREES X 0.40 = 20 TREES REQUIRED 40% NATIVE SHAUBS PROPOSED X 0.40 = REQUIRED 1,571 SHAUBS X 0.40 = 474 SHAUBS REQ.	20 TREES 474 SHAUBS	32 TREES (100%) 574 SHAUBS (50%)
SPECIES MIN 25 TREES REQUIRED - MINIMUM 4 SPECIES	4 SPECIES	4 SPECIES

*** PLEASE NOTE THE REQUIRED TREES CALCULATIONS ABOVE DO NOT INCLUDE PROPOSED UNDERSTORY TREES.

THE LANDSCAPE CALCULATIONS INCLUDE EXISTING PLANT MATERIAL INSTALLED UNDER A SEPARATE PERMIT.

Plant List

SYM	BOTANICAL NAME/ COMMON NAME	HEIGHT/ SPREAD	SPECIFICATION	NATIVE	SITE CLASS	TOTAL
CB	CALOPHYLLUM BRASILIENSE BRAZILIAN REAULTY LEAF	8' - 10' HT. 6' SP.	15 GAL. MIN, 1/2" CAL. SINGLE TRUNK, TREE FORM	N	Y	3
DR	DELONIX REGIA ROYAL POINCIANA	12' - 14' HT. 6' SP.	STRAIGHT TRUNK, FG, BRB. 2" CAL., 5' CT. MIN.	Y	Y	1
QV	QUERCUS VIRGINIANA HIGH-RISE	12' - 14' HT. 6' SP.	FIELD GROWN, BRB. 2" CAL., 5' CT. MIN.	Y	Y	3
QVR	QUERCUS VIRGINIANA HIGH-RISE LIVE OAK	16' - 8' HT. 6' SP.	FIELD GROWN, BRB. 5" CAL., 8' CT. MIN.	Y	Y	9
SM	SWIETENIA MAHOGONI MAHOGANY	12' - 14' HT. 6' SP.	2" CAL., STRAIGHT SINGLE TRUNK, FULL	Y	Y	1
CHR	CHRYSOBALANUS ICAGO COCOPLUM	24' X 20'	3 GAL., 24" O.C. FULL TO BASE	Y	Y	82
FIC	FICUS MICROCARPA 'GREEN ISLAND' GREEN ISLAND FICUS	14' X 14'	3 GAL., 24" O.C. FULL TO BASE	N	N	84
HAM	HAMELIA PATENS 'COMPACTA' DIWAK FIREBUSH	16' X 16'	3 GAL., 24" O.C. FULL TO BASE	Y	Y	92
ILE	ILEX VOMITORIA 'SHILLINGS' YALPON HOLLY	30' X 30'	7 GAL., 36" O.C. FULL TO BASE	Y	Y	57
IXO	IXORA NORA GRANT NORA GRANT IXORA	20' X 20'	3 GAL., 30" O.C. FULL TO BASE	N	Y	94
JUN	JUNIPERUS HORIZONTALIS 'PARSONS' PARSONS JUNIPER	10' X 10'	1 GAL., 18" O.C. FULL TO BASE	N	Y	193
SCH	SCHIFFERIA ABORICOLA 'TRINETTE' VARIEGATED ARBICOLA	30' X 20'	3 GAL., 24" O.C. FULL TO BASE	N	Y	11
SOD	STENOPOPHYLLUM SECUNDATUM ST. AUGUSTINE FLORITAM GRASS	BAG - 2 QLT. FT.	DISEASE FREE, LAID TIGHTLY EVEN UNIFORM	N	M	TO BE EST.

General Notes

- PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II AS PREPARED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL UTILITIES THAT ARE KNOWN TO THE LANDSCAPE ARCHITECT ARE LOCATED ON THE PLAN FOR EXISTING OR PROPOSED UTILITIES.
A. NO TREE SHALL BE PLANTED WHERE IT COULD CONFLICT WITH OVERHEAD POWER LINES AT MATURE HEIGHT.
B. NO TREE SHALL BE PLANTED WHERE IT COULD CONFLICT WITH EXISTING OR PROPOSED UTILITY POLE, GUY WIRE, OR PAD MOUNTED TRANSFORMER.
C. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN 30 FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF 30 FEET FROM THE NEAREST OVERHEAD POWERLINE.
D. MEDIUM HEIGHT TREES (HEIGHT AT MATURITY BETWEEN 30 AND 30 FEET) SHALL BE OFFSET AT LEAST TWENTY 30 FEET.
E. SMALL TREES (HEIGHT AT MATURITY OF LESS THAN 30 FEET) REQUIRE NO OFFSET.
F. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FROND LENGTH PLUS 2 FEET FROM POWER LINES.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24 INCHES PRIOR TO LANDSCAPE INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS. EXISTING DRAINAGE PATTERN SHALL NOT BE ALTERED OR EFFECTED BY NEW LANDSCAPING.
- PLANT ALL TREES AND PALMS 2 INCH - 4 INCH ABOVE FINISHED GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP ONE-THIRD (1/3) OF THE WIRE BASKETS ON ALL B & B MATERIAL.
- ALL HEDGES AND GROUNDCOVERS TO BE PLANTED LEAVING SPACE BETWEEN PLANTS AND BUILDINGS, WALLS AND FENCES.
- ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH A 3 INCH DEEP LAYER OF COMMERCIAL GRADE NON-CYRESS MULCH. CONTRACTOR SHALL INSTALL A WOVEN WEED BARRIER FABRIC IN ALL SHAUBS AND GROUNDCOVER BEDS.
- HAND DIGGING HOLES FOR INSTALLING PROPOSED TREES IN CLOSE PROXIMITY TO UTILITIES IS REQUIRED TO AVOID CONFLICTS.
- NEW SOD SHALL BE ARGENTINE BAHIA. THE QUANTITY SHOWN ON THE PLAN IS AN ESTIMATE AND CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS TO BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- EXISTING AND PROPOSED LANDSCAPING IS TO BE MAINTAINED PER JURISDICTIONS CLEAR SIGN TRIANGLE REGULATIONS.
- THE LANDSCAPE ARCHITECT MAY INSPECT TREES AND SHAUBS WHETHER AT PLACES OF GROWTH OR AT SITE BEFORE PLANTING. FOR COMPLIANCE WITH THE REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY, LANDSCAPE ARCHITECT RETAINS RIGHT TO ORDER INSPECT FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM. INSPECTOR SHALL REMOVE DEFECTIVE TREES OR SHAUBS IMMEDIATELY FROM PROJECT SITE.
- NO SUBSTITUTIONS WILL BE ACCEPTABLE, IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT AND JURISDICTION TOGETHER WITH THE PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- IN THE EVENT OF DISCREPANCY, THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
- TREES TO BE STAKED ONLY IF REQUIRED AS DEEMED NECESSARY BY OWNER AND LANDSCAPE ARCHITECT TO ASSURE HEALTH, SAFETY AND WELFARE (INCLUDES BUT NOT LIMITED TO ALL CURVED CABBAGE, TALL ROYALS, CURVED AND LEANING SPECIMENS). ALL WOOD STAKES TO BE PLANTED FOR OWNERS STAKING PROCEDURES SHALL BE STANDARD CONTRACTOR PRACTICE CREATING NO TRUNK DAMAGE OR FUTURE STRANGULATION OF TREE.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH "TERRA-GOOS AG" OR AN APPROVED EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE RATE OF APPLICATION.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED WHICH MEETS OR EXCEEDS THE FULL REQUIREMENTS OF THE LAND DEVELOPMENT REGULATIONS. THE OWNER WILL SUPPLY ALL PROPOSED PLANT MATERIAL WITH 100% IRRIGATION AUTOMATIC COVERAGE WITH 50% OVERLAP MINIMUM WITHIN TEN DAYS OF INITIAL INSTALLATION.
- CONTRACTOR TO VERIFY, REPAIR, UPDATE AND INSTALL THE EXISTING IRRIGATION SYSTEM PER JURISDICTIONS REGULATIONS TO CONFORM TO THE NEW LANDSCAPE DESIGN.

851 S STATE RD 7
HOLLYWOOD, FL 33023

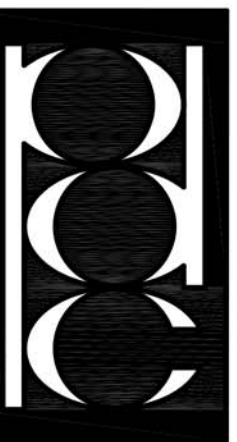
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BULLETIN: 2-2016

M. Arthur Gensler Jr. &
Associates Inc.

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1208 E. Kennedy Blvd. Suite 230
Tampa, FL 33602
Tel 813.434.4770
Fax 813.445.4211

Date	Description
08.15.16	ISSUE FOR TAC SUBMISSION
10.28.16	ISSUE FOR BID PERMIT

Seal / Signature

PATRICK D. CUNNINGHAM,
FL REG. NO. LA0001669

Patrick D. Cunningham
10-28-2016

DATE

Project Name

BAC/GU WASHINGTON PARK

Project Number

10-460.00

Scale

1" = 20'

Description

LANDSCAPE PLAN

L01.01

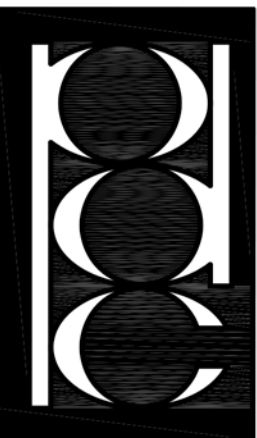
851 S STATE RD 7
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SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
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Seal / Signature

PATRICK D. CUNNINGHAM,
FL REG. NO. LA0001669



DATE

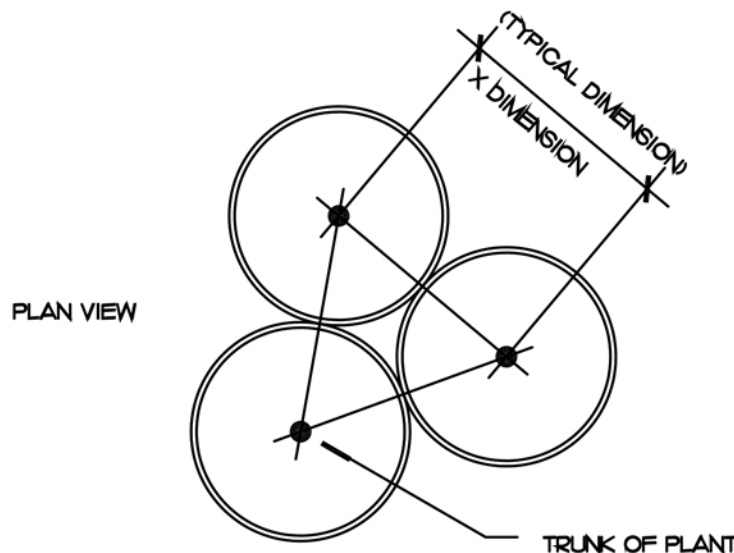
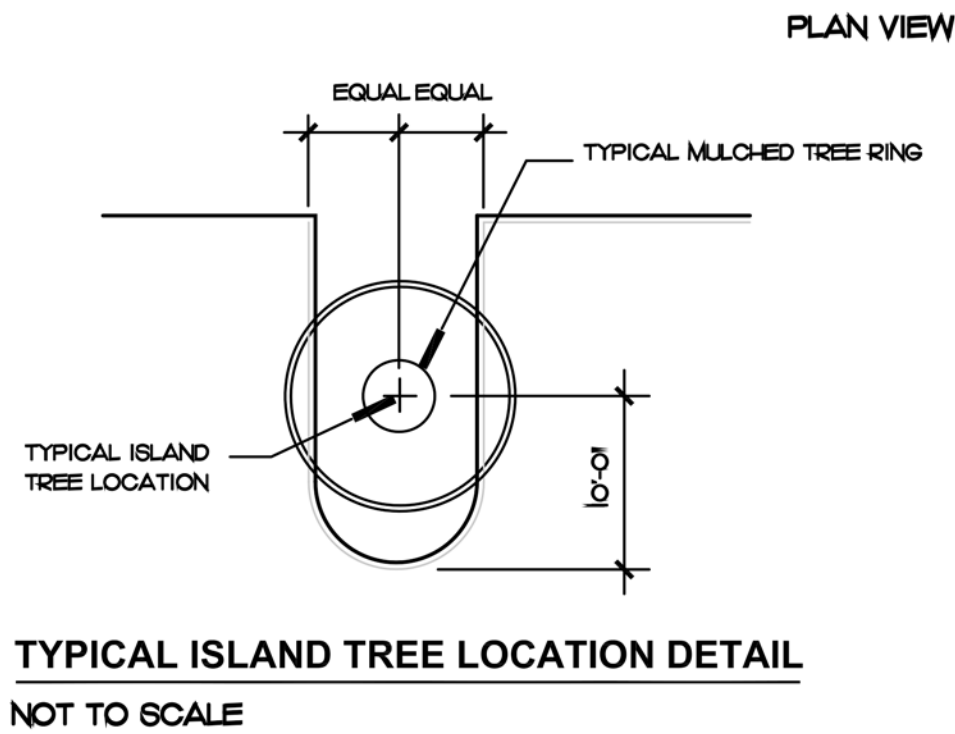
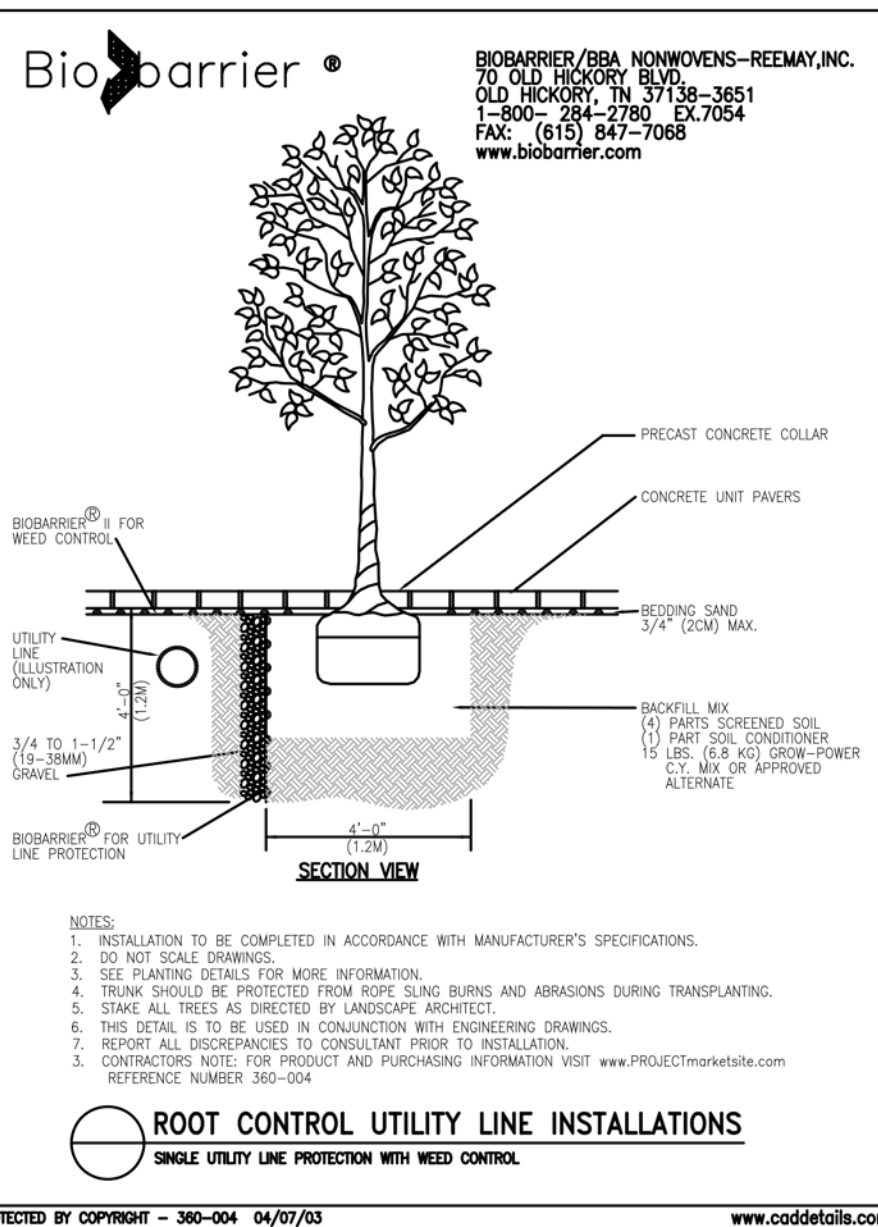
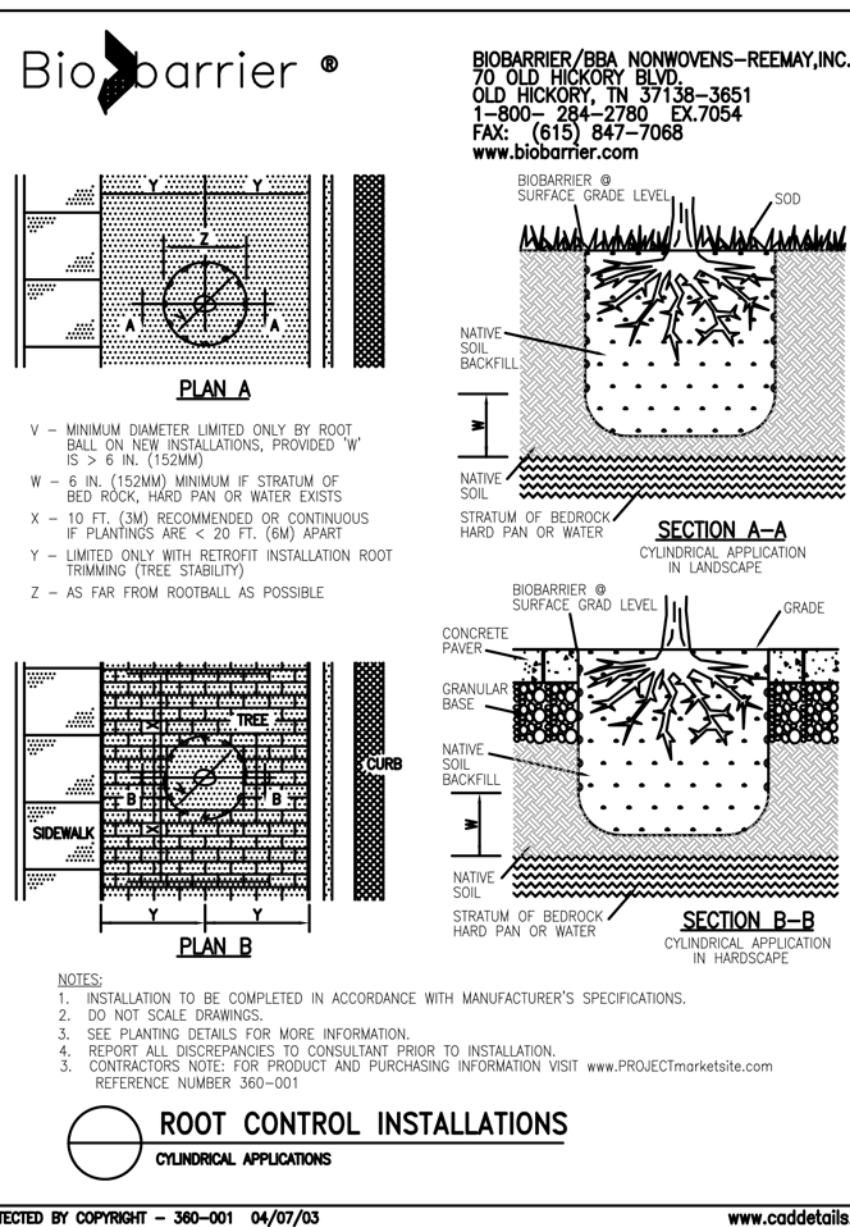
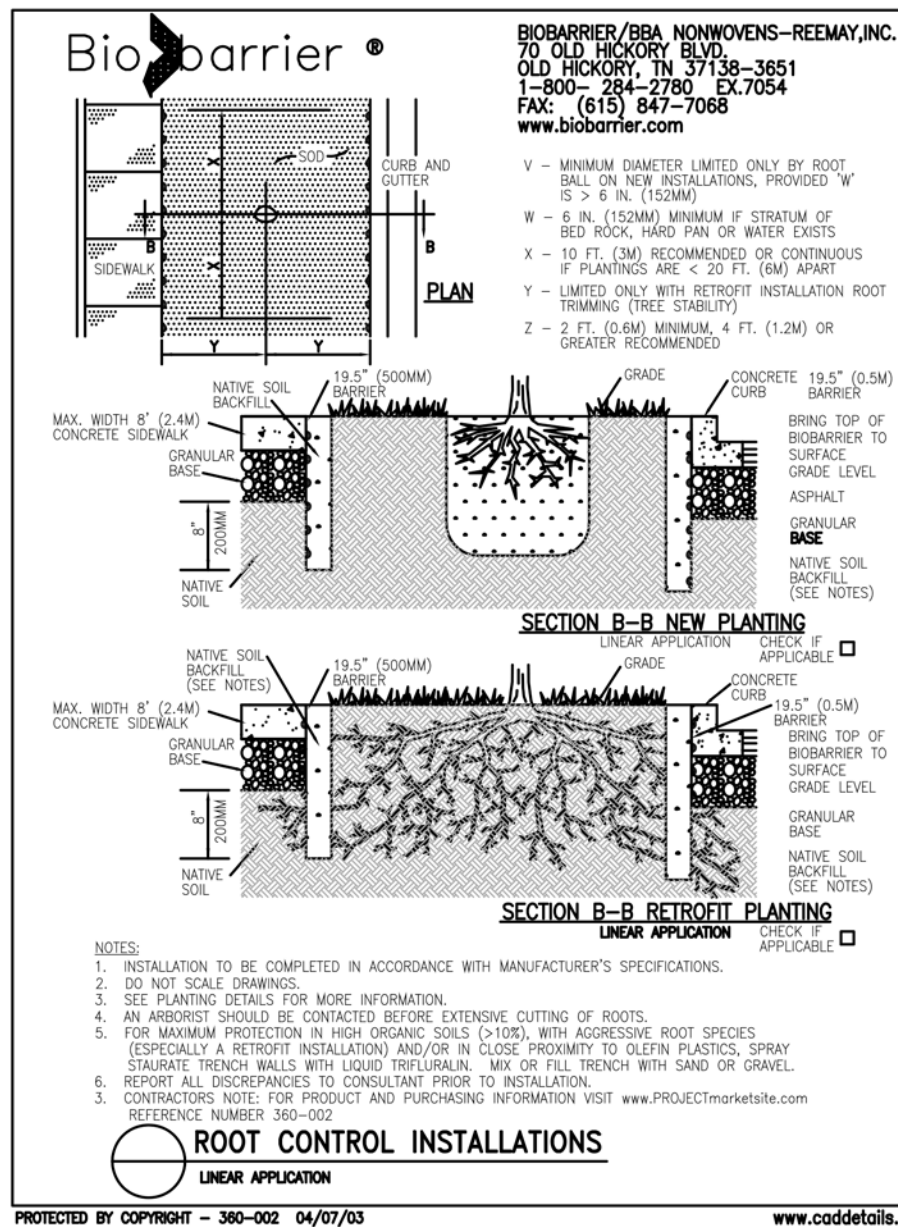
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10-460.00

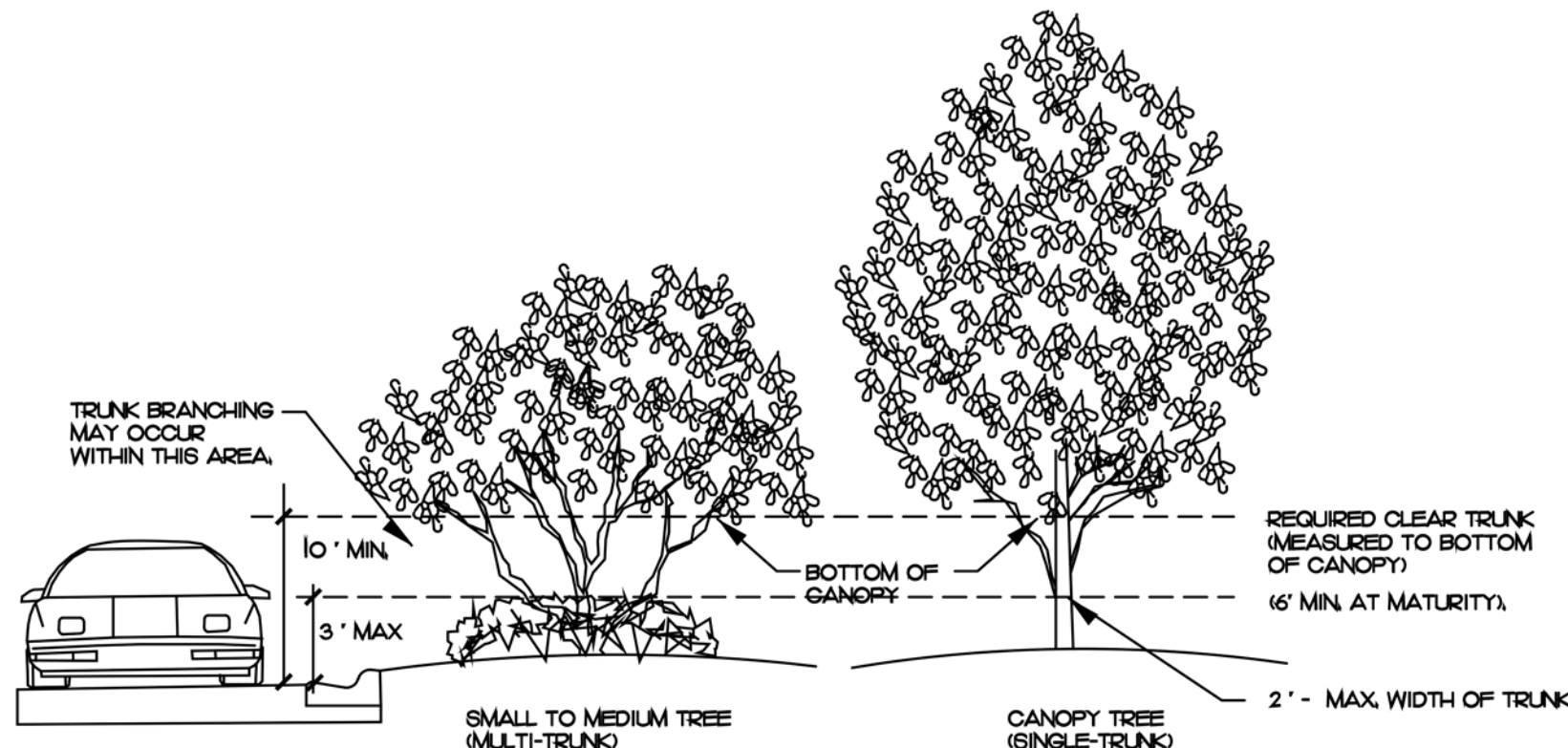
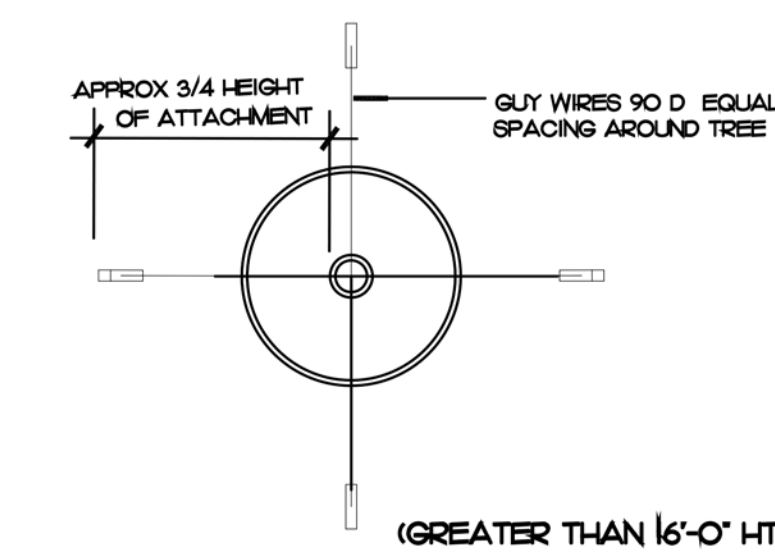
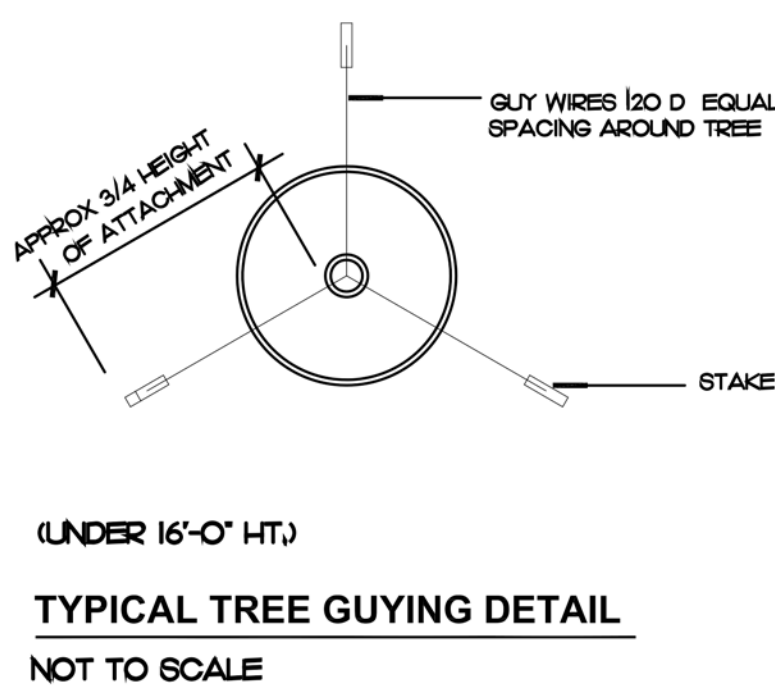
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Description
LANDSCAPE PLAN DETAILS

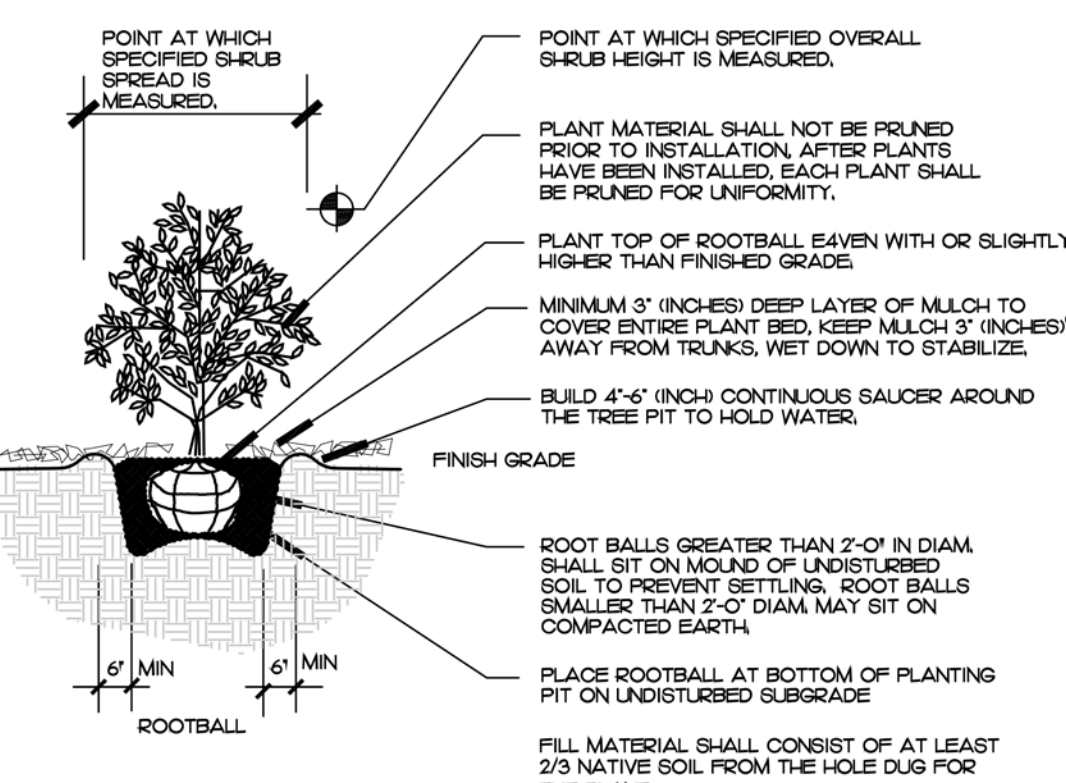
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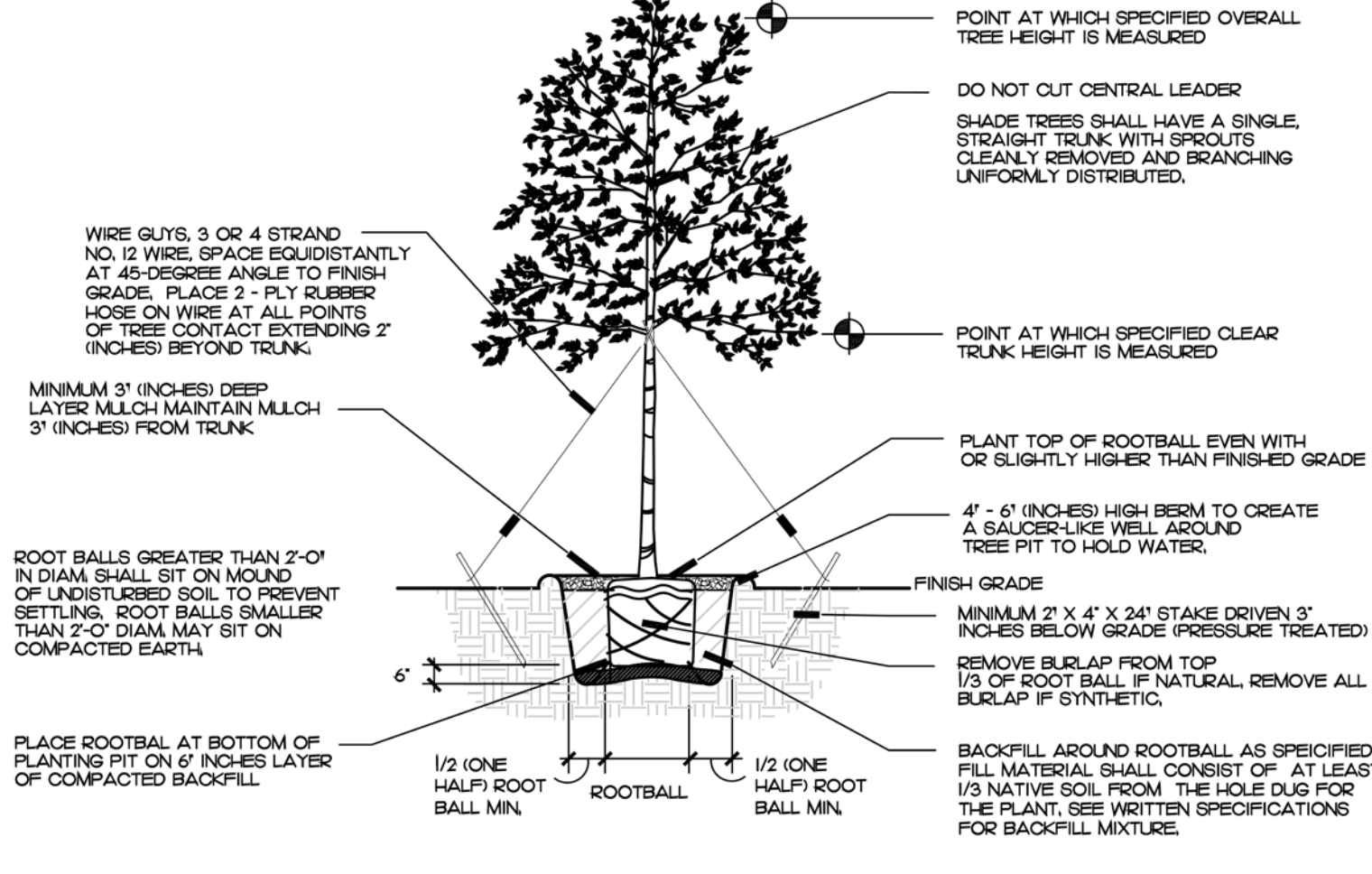
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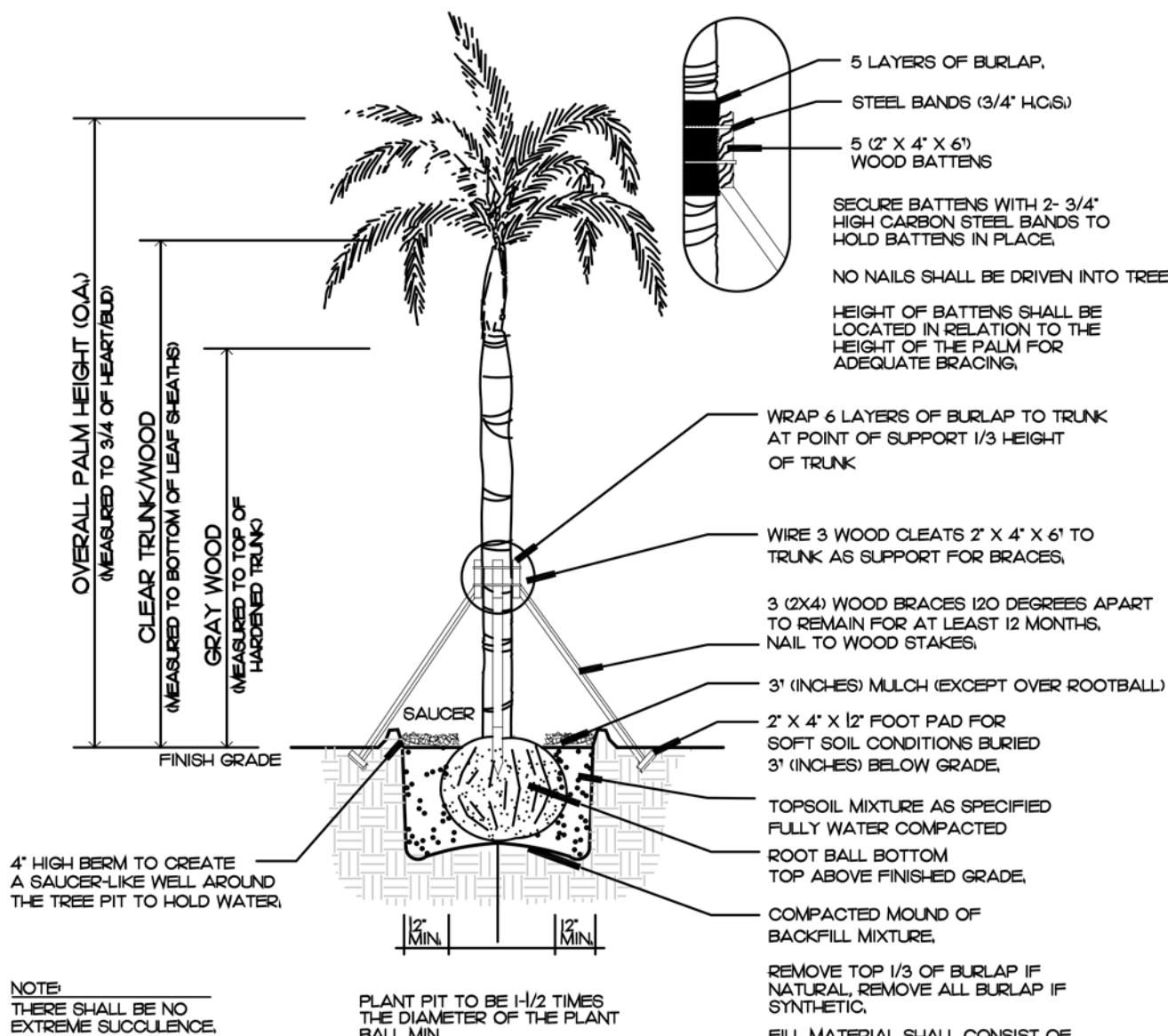
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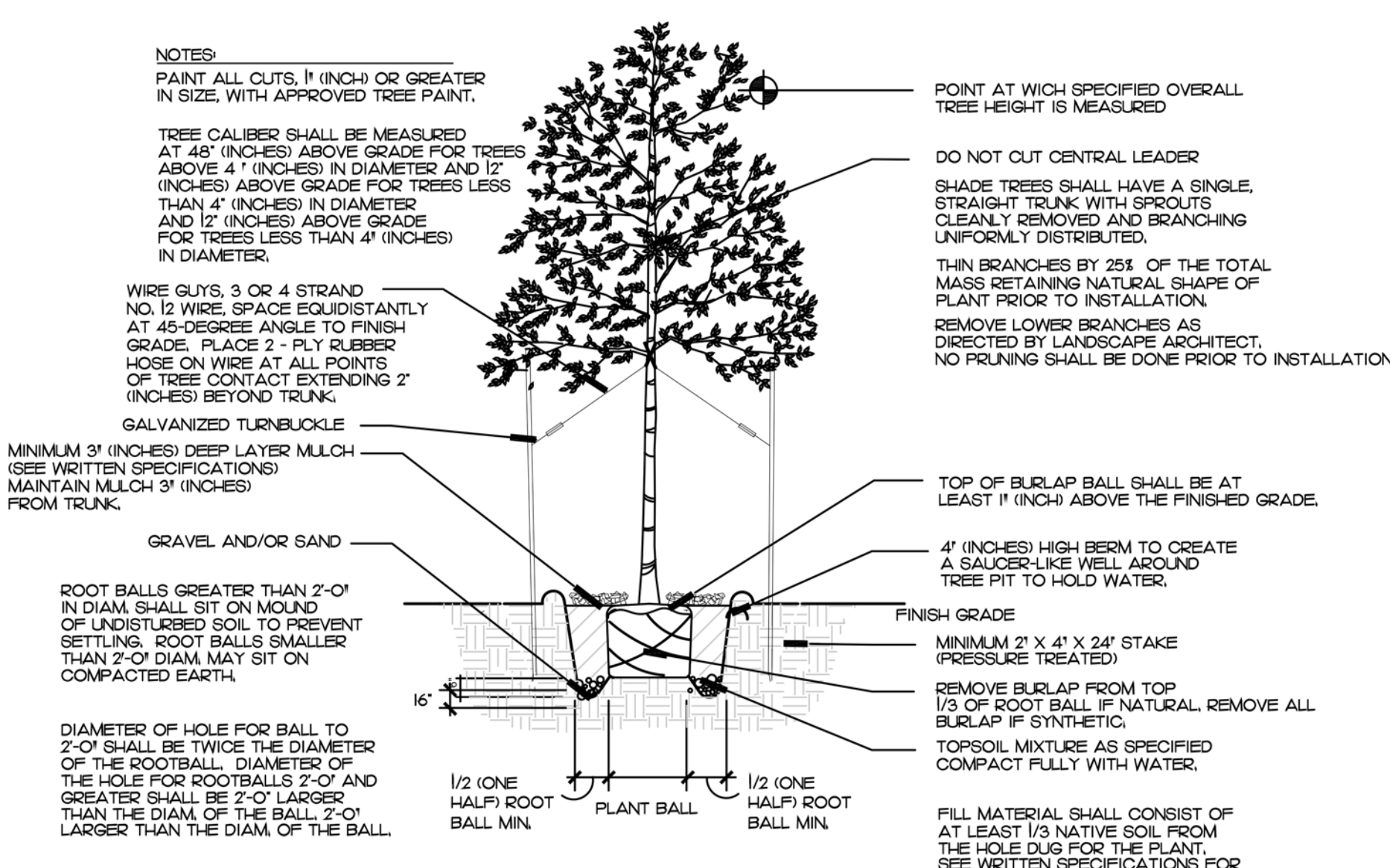
TYPICAL SHRUB/ GROUND COVER PLANTING DETAIL
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TYPICAL TREE PLANTING DETAIL
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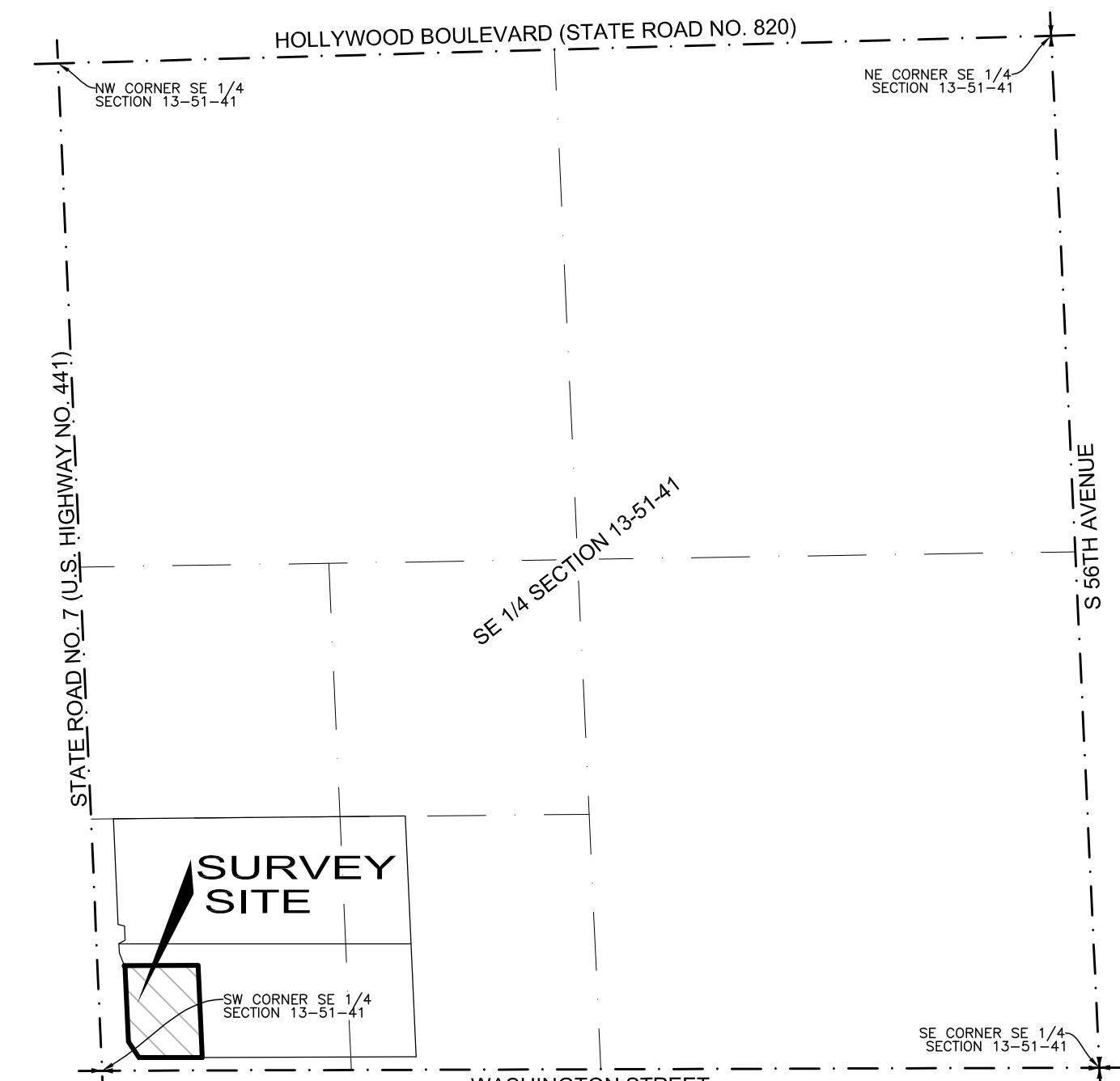


TYPICAL PALM PLANTING DETAIL
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ALTERNATE LARGE TREE PLANTING DETAIL
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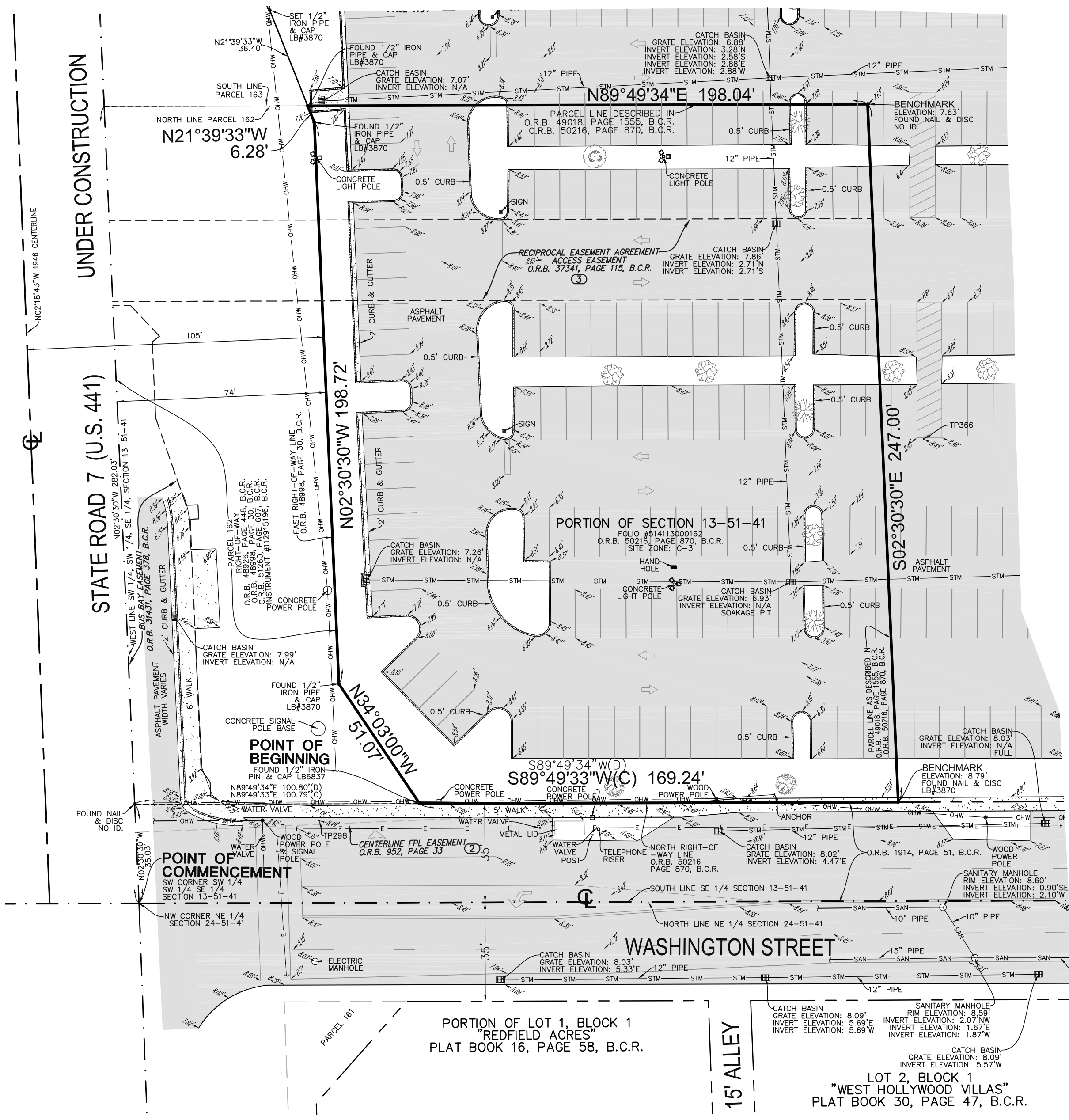
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VICINITY MAP
NOT TO SCALE

LEGEND

- CONCRETE
- ASPHALT PAVEMENT
- ELEVATION
- OVERHEAD WIRES
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- NON-VEHICULAR ACCESS LINE
- CENTERLINE
- O.R.B. OFFICIAL RECORDS BOOK
- B.C.R. BROWARD COUNTY RECORDS
- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
- FPL FLORIDA POWER & LIGHT COMPANY
- PALM TREE
- OAK TREE
- MAHOGANY TREE
- BLACK OLIVE TREE
- GUMBO LIMBO TREE
- UNIDENTIFIED TREE
- TITLE EXCEPTION



LEGAL DESCRIPTION:

THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 13; THENCE NORTH 02°30'30\"/>

SAID LANDS LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

FOLIO NO. 5141-13-00-0162

NOTES:

- THIS SITE CONTAINS 47,805 SQUARE FEET (1.0975 ACRES) MORE OR LESS.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. NATIONAL GEODETIC SURVEY BENCHMARK NO. S 312; ELEVATION: 8.60'.
- FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #125113 0564H; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET BEING S89°49'33\"/>

CERTIFICATION

TO INFINITY ENGINEERING GROUP, LLC; COMMONWEALTH LAND TITLE INSURANCE COMPANY; DUNAY, MISKELE AND BACKMAN, LLP; BANK OF AMERICA, N.A.: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 8, 9, & 11 OF TABLE A THEREOF.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

John F. Pulice

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- BETH E. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS6136
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274

STATE OF FLORIDA

5		
4		
3		
2		
1		
NO.	REVISIONS	BY

BANK OF AMERICA SITE AT HOLLYWOOD SHOPPING PLAZA
STATE ROAD NO. 7 AND WASHINGTON STREET
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33023

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

PLS

DRAWN BY: B.E./B.B. SCALE: 1"=30' FILE: INFINITY ENGINEERING GROUP, LLC
CHECKED BY: J.F.P. SURVEY DATE: 07/29/16 ORDER NO.: 61545





EXTERIOR FINISH SCHEDULE

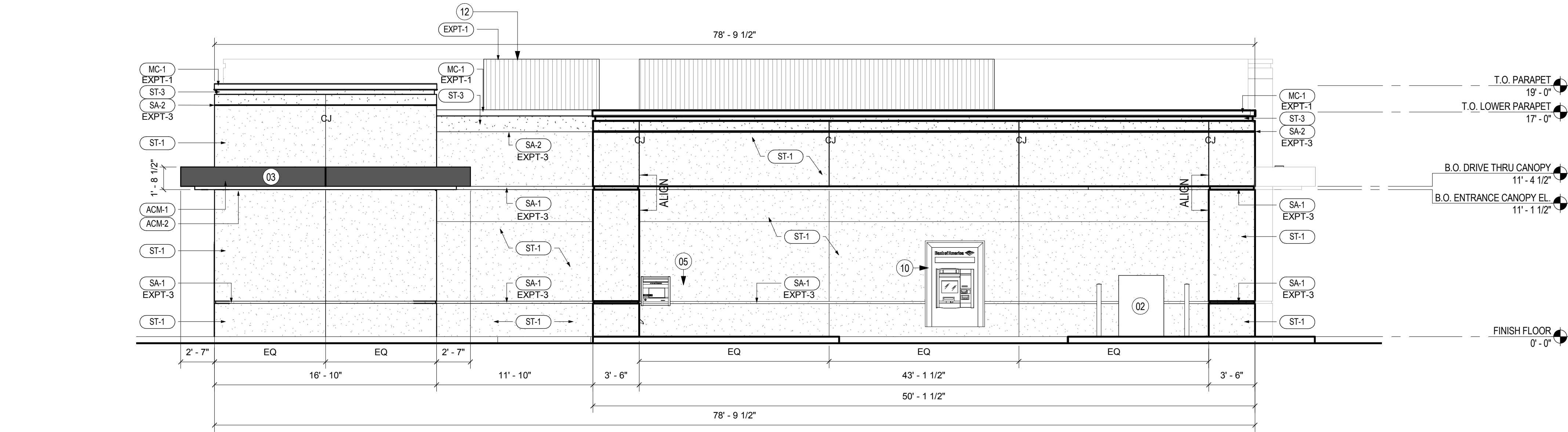
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EAST ELEVATION Copy 1

SCALE: 3/16" = 1'-0"

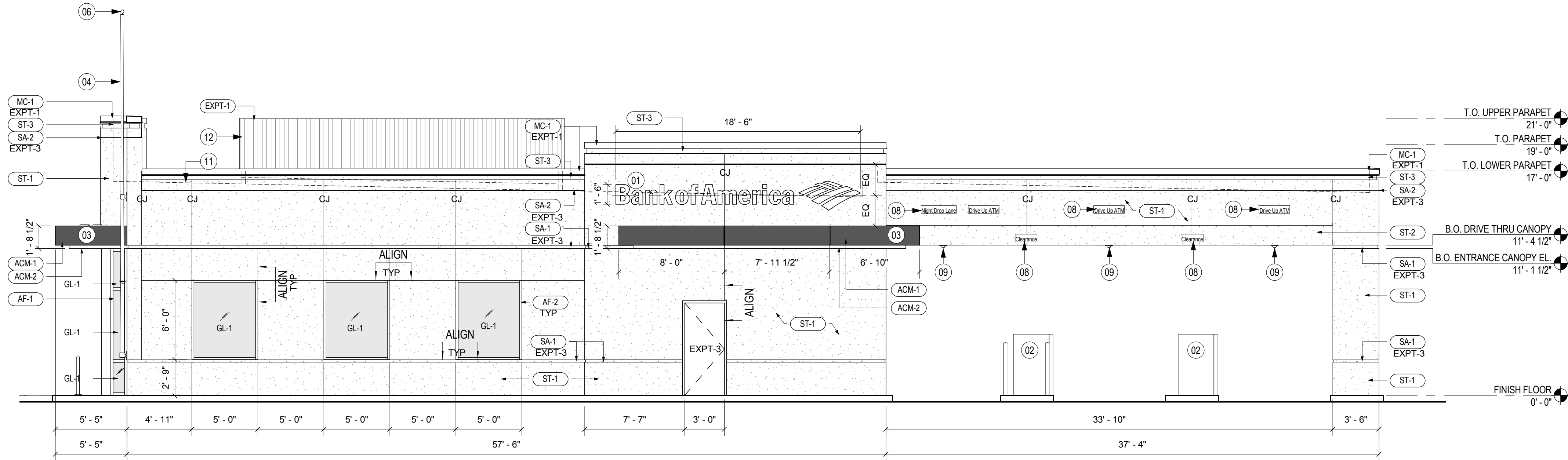
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SOUTH ELEVATION Copy 1

SCALE: 3/16" = 1'-0"

2



STUCCO/PLASTER (BASED ON PAREX STUCCO)

[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ST-1	10409 "TUNDRA," SAND FINE FIN.
ST-2	10432 "WARM SAND," SAND FINE FIN.
ST-3	10447 "MOSS," SMOOTH FIN.

ALUMINUM COMPOSITE METAL PANEL (BASED ON ALPOLIC)

[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ACM-1	"BRITE RED" #4MMBTR REFER TO SECTION 07 42 43
ACM-2	"RVW WHITE" #3MM4RVW REFER TO SECTION 07 42 43
ACM-3	"MATCH STOREFRONT" REFER TO SECTION 08 41 13

ALUMINUM GLAZING FRAMES

[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED

STUCCO ACCESSORIES

[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

SA-1	WIDE CHANNEL SCREED AS SPECIFIED
SA-2	NARROW CHANNEL SCREED AS SPECIFIED
SA-3	MODIFIED CHANNEL SCREED AS SPECIFIED

METAL COPING

(BAC PERFORMANCE)

MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3
------	--

EXTERIOR PAINT

[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

EXPT-1	[N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS
EXPT-2	[N185] COLOR: HC-80 "BLEEKER BEIGE," MATCHES ST-2: WARM SAND
EXPT-3	[N185] COLOR: CLASSIC #1039 "STONE HOUSE," MATCHES ST-1: TUNDRA

EXTERIOR SEALANT COLOR

[BAC PERFORMANCE]

GLAZING AT EXTERIOR STOREFRONT
(ACM, RED AND WHITE) METAL PANEL TO METAL PANEL
WINDOW FRAME/ STOREFRONT TO STUCCO
(ACM, RED AND WHITE) METAL PANEL TO STUCCO
(ACM, RED AND WHITE) METAL PANEL TO STOREFRONT

BLACK
MATCH METAL CLIP COLOR
MATCH METAL FRAME
MATCH ADJACENT STUCCO FINISH
MATCH STOREFRONT FRAME

SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
- 02 DRIVE THRU ATM BY OWNER
- 03 METAL PANEL SYSTEM
- 04 31'-FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 NIGHT DEPOSITORY
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE
- 07 NOT USED
- 08 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONISLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN= CENTERLINE OF LANE.
- 09 EXTERIOR SECURITY CAMERA
- 10 DRIVE UP TTW ATM BY OWNER
- 11 LINE OF ROOF BEYOND
- 12 MECHANICAL EQUIPMENT SCREENING. REFER TO STRUCTURAL DRAWINGS.

Bank of America



851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
NRSP VERSION: 2.0
BULLETIN: 2-2016

M. Arthur Gensler Jr. &
Associates Inc.

Gensler

LIC. NO. AA0002837

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Infinity Engineering Group, LLC.
Attn: Brett Nevanil
1208 E. Kennedy Blvd. Suite 230
Tampa, FL 33602
Tel 813.434.4770
Fax 813.445.4211

△	Date	Description
1	08.15.16	ISSUE FOR TAC SUBMISSION
3	10.31.16	REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

Project Name

BAC/GU WASHINGTON PARK

Project Number

69.6191.100

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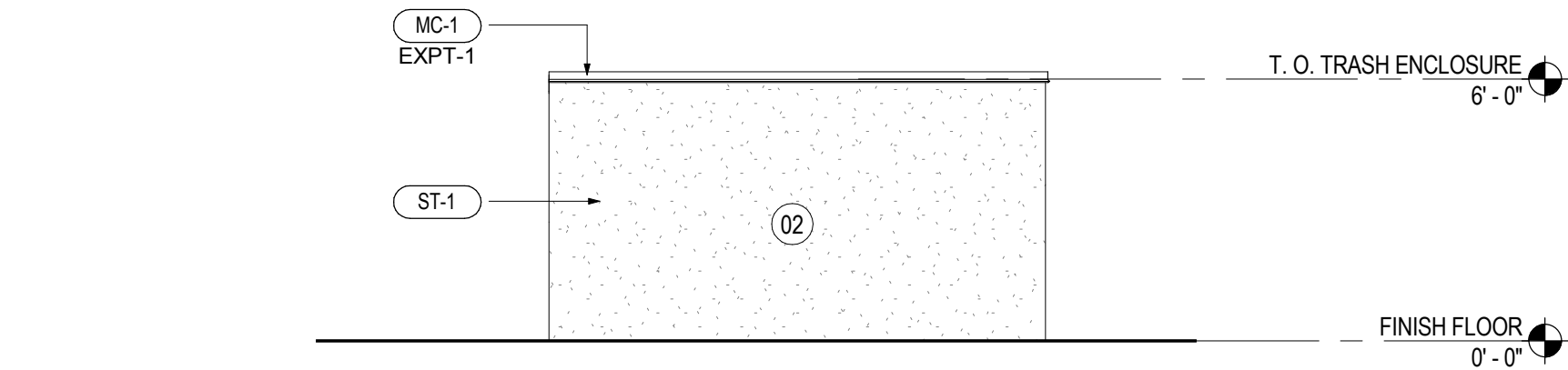
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Description

ELEVATIONS

A103

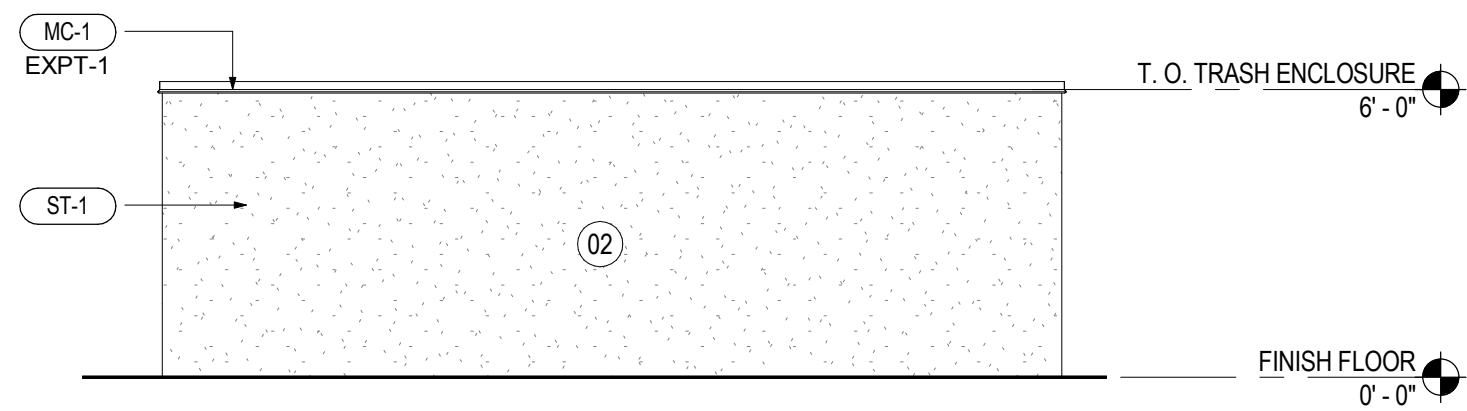
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DUMPSTER ENCLOSURE RIGHT

SCALE: 1/4" = 1'-0"

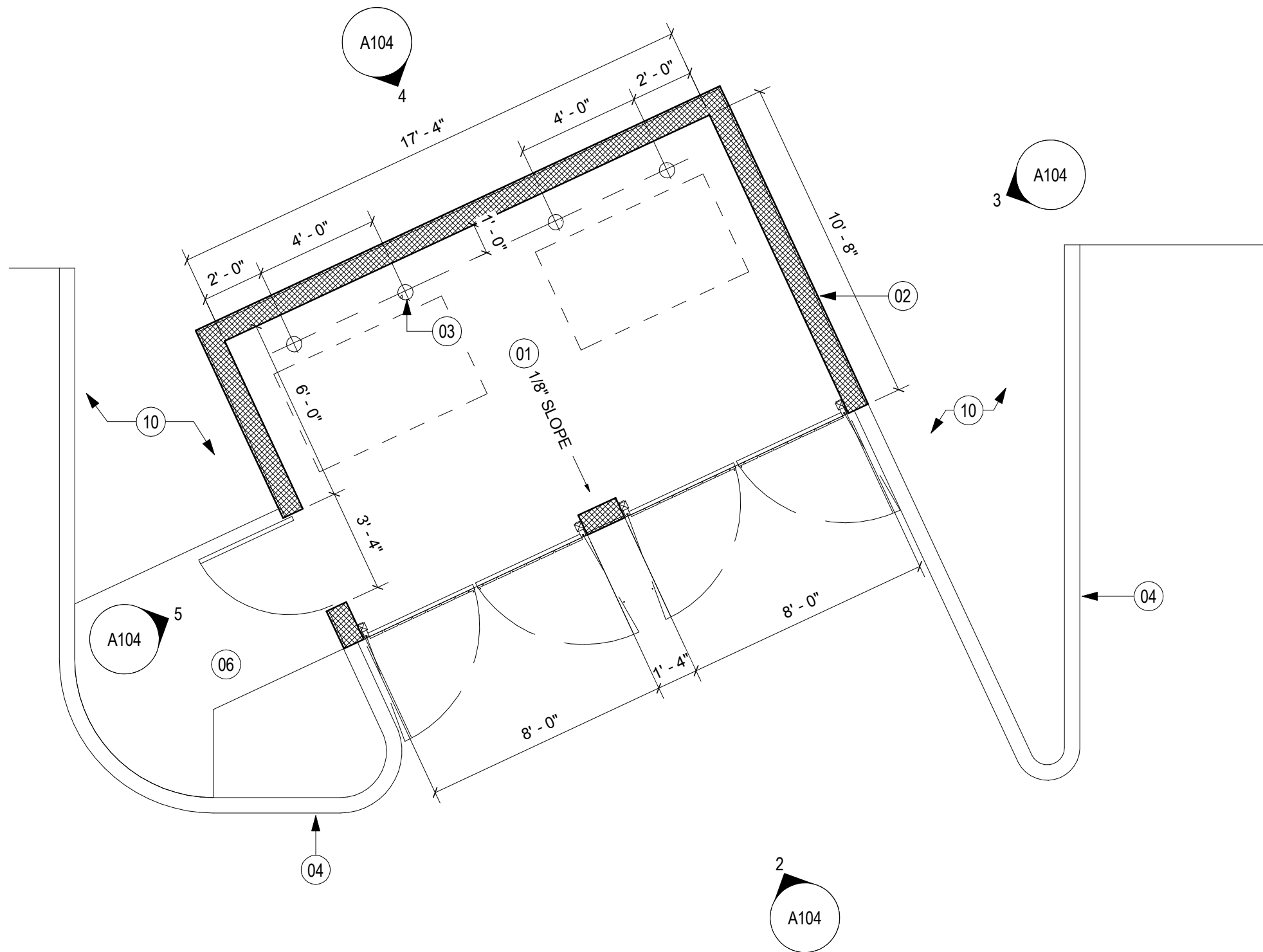
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DUMPSTER ENCLOSURE REAR ELEVATION

SCALE: 1/4" = 1'-0"

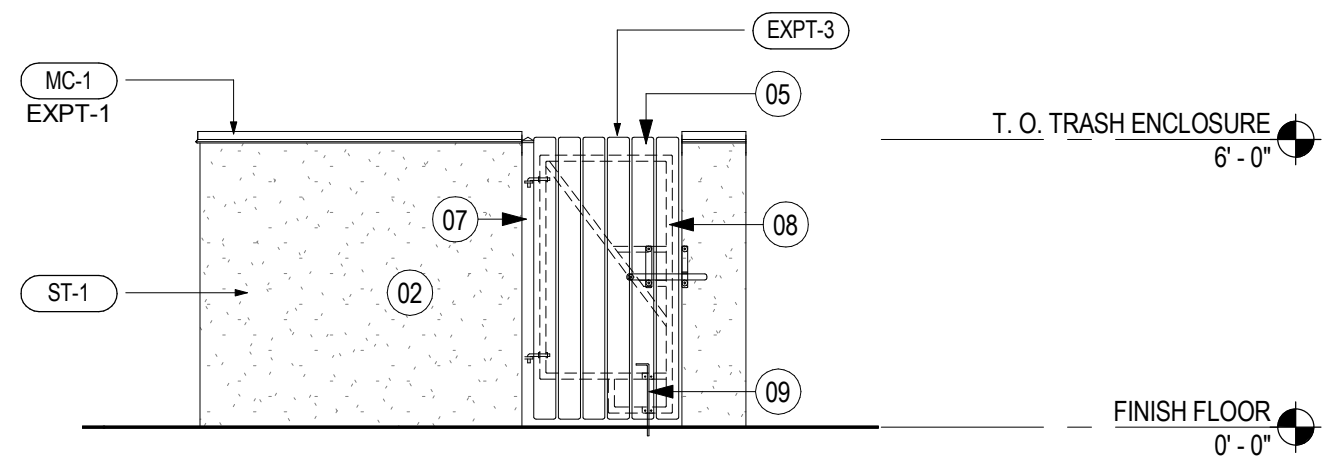
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DUMPSTER ENCLOSURE PLAN

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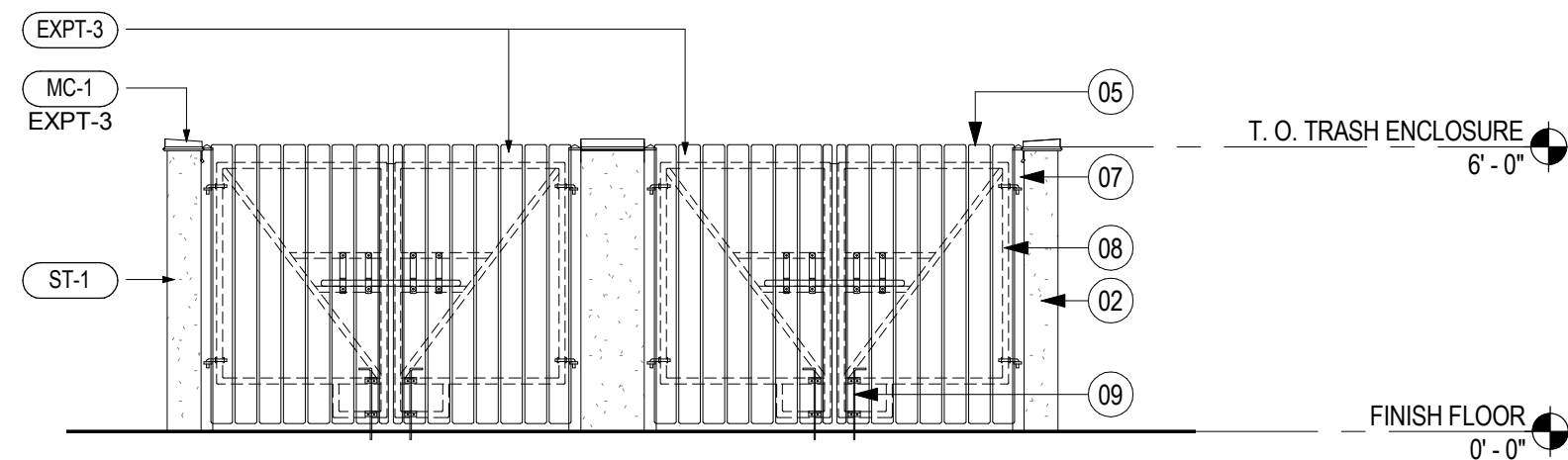
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DUMPSTER ENCLOSURE LEFT ELEVATION

SCALE: 1/4" = 1'-0"

5



DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

2

STUCCO/ PLASTER (BASED ON PAREX STUCCO)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ST-1	10409 "TUNDRA," SAND FINE FIN.
ST-2	10432 "WARM SAND," SAND FINE FIN.
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ALUMINUM COMPOSITE METAL PANEL (BASED ON ALPOLIC)
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ACM-1	"BRITE RED" #4MMBTR REFER TO SECTION 07 42 43
ACM-2	"RVW WHITE" #3MM4RVW REFER TO SECTION 07 42 43
ACM-3	"MATCH STOREFRONT" REFER TO SECTION 08 41 13

ALUMINUM GLAZING FRAMES
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED

STUCCO ACCESSORIES (ALL PAINTED EXPT-3)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

SA-1	WIDE CHANNEL SCREED AS SPECIFIED
SA-2	NARROW CHANNEL SCREED AS SPECIFIED
SA-3	MODIFIED CHANNEL SCREED AS SPECIFIED

METAL COPING (BAC PERFORMANCE)

MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3
------	--

EXTERIOR PAINT (BASED ON BENJAMIN MOORE)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

EXPT-1	[N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS
EXPT-2	[N185] COLOR: HC-80 "BLEEKER BEIGE," MATCHES ST-2: WARM SAND
EXPT-3	[N185] COLOR: CLASSIC #1039 "STONE HOUSE," MATCHES ST-1: TUNDRA

EXTERIOR SEALANT COLOR [BAC PERFORMANCE]

GLAZING AT EXTERIOR STOREFRONT	BLACK
(ACM, RED AND WHITE) METAL PANEL TO METAL PANEL	MATCH METAL CLIP COLOR
WINDOW FRAME/ STOREFRONT TO STUCCO	MATCH METAL FRAME
(ACM, RED AND WHITE) METAL PANEL TO STUCCO	MATCH ADJACENT STUCCO FINISH
(ACM, RED AND WHITE) METAL PANEL TO STOREFRONT	MATCH STOREFRONT FRAME

EXTERIOR FINISH SCHEDULE

SHEET NOTES

1. CONC. SLAB. REFER TO STRUCTURAL DRAWINGS
2. MASONRY BLOCK WALL W/ DIRECT BOND STUCCO FINISH, TYP
3. BOLLARD. REFER TO CIVIL DRAWINGS.
4. CONCRETE CURB. REFER TO CIVIL DRAWINGS
5. NOM. 1" X 6" RECYCLED PLASTIC 'LUMBER', WITH 5/8" GAP BETWEEN BOARDS.
6. CONCRETE SIDEWALK. REFER TO CIVIL DRAWINGS
7. 3" X 3" SQUARE STEEL TUBE W/ DRIVE ON CAPS. PAINT TO MATCH ADJACENT WALL.
8. 1 1/2" X 1 1/2" SQUARE STEEL TUBE. SHOP WELD ALL JOINTS.
9. 21" L. (MIN.) 3/8" DIA RODS W/ MIN 3" HOOK. DRILL HOLES IN CONCRETE TO LOCK GATES OPEN AND CLOSED POSITIONS.
10. LANDSCAPING. REFER TO CIVIL DRAWINGS

Bank of America

851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
NRSP VERSION: 2.0
BULLETIN: 2-2016

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Tampa, FL 33602
Tel 813.434.4770
Fax 813.445.4211

△	Date	Description
1	08.15.16	ISSUE FOR TAC SUBMISSION
3	10.31.16	REVISED PER TAC COMMENTS

Seal / Signature

DANA MULLER, AIA REG. FL. NO. AR92911

10.31.2016

Project Name

BAC/GU WASHINGTON PARK

Project Number

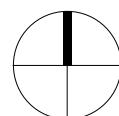
69.6191.100

Scale

As indicated

Description

DUMPSTER ENCLOSURE



A104

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WEST ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

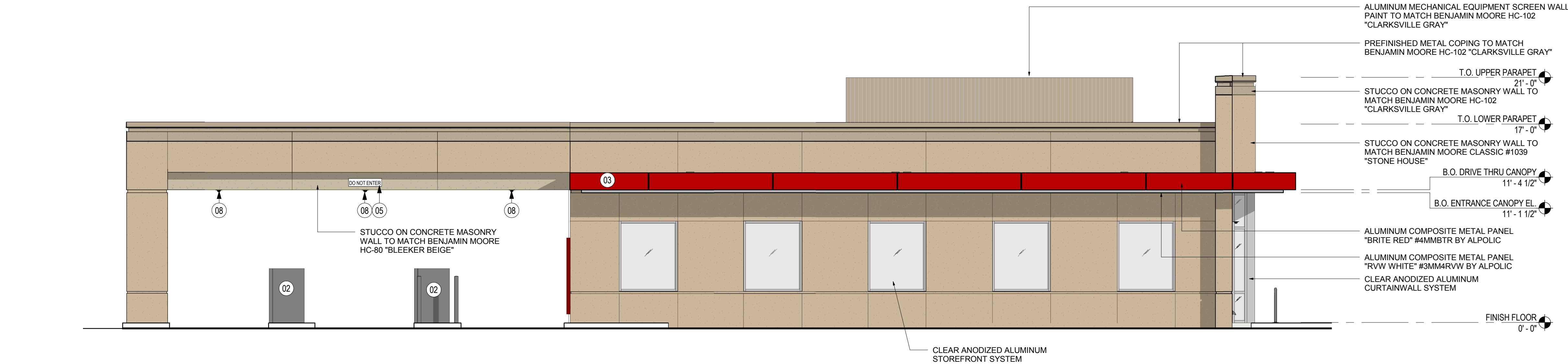
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NORTH ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

2



	STUCCO WALL FINISH COLOR: TUNDRA TO MATCH BENJAMIN MOORE #1039 "STONE HOUSE"		STUCCO WALL FINISH COLOR: WARM SAND TO MATCH BENJAMIN MOORE HC-80 "BLEEKER BEIGE"		STUCCO WALL FINISH COLOR: MOSS TO MATCH BENJAMIN MOORE HC-102 "CLARKSVILLE GRAY"		ALUMINUM COMPOSITE PANEL COLOR: ALPOLIC "BRITE RED"		ALUMINUM COMPOSITE PANEL COLOR: ALPOLIC "RVW WHITE"		ALUMINUM COMPOSITE PANEL COLOR: ALPOLIC "CLEAR ANODIZED" TO MATCH CURTAINWALL
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EXTERIOR FINISH LEGEND

SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
- 02 DRIVE THRU ATM BY OWNER
- 03 METAL PANEL SYSTEM
- 04 31 - FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 S - TYPE REGULATORY DIRECTIONAL/ INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTER OF SIGN = CENTER OF LANE
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE
- 07 BIKE RACK
- 08 EXTERIOR SECURITY CAMERA
- 09 SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER
- 10 LINE OF ROOF BEYOND
- 13 MECHANICAL EQUIPMENT SCREENING. REFER TO STRUCTURAL DRAWINGS.
- 14 ALIGN CENTER OF METAL PANEL REVEAL W/ CENTERLINE OF WINDOW, TYP

Bank of America

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As indicated

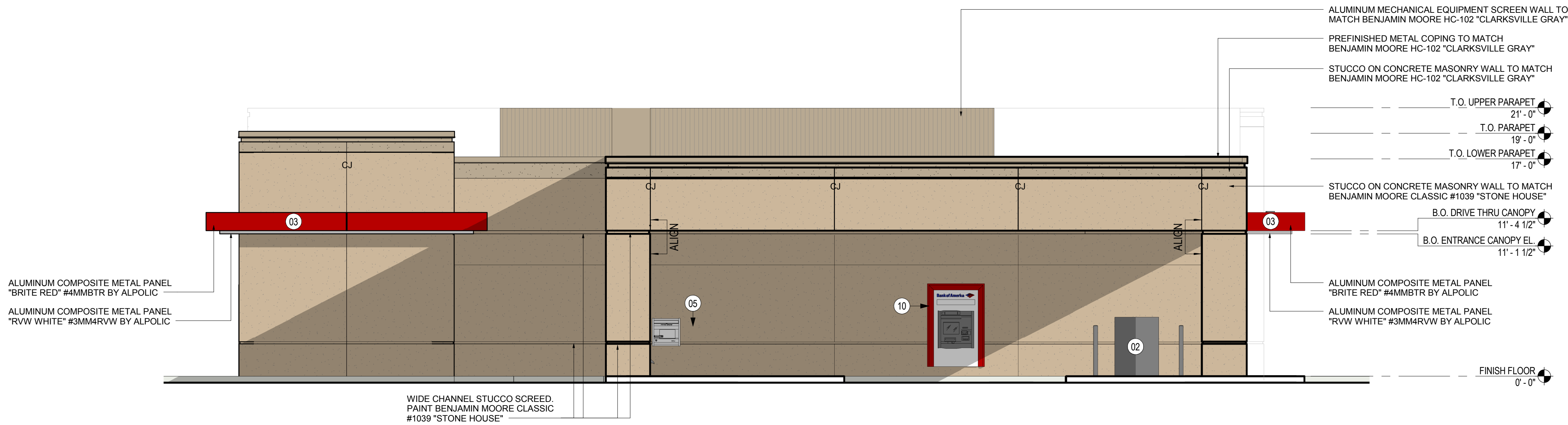
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COLOR ELEVATIONS

A105

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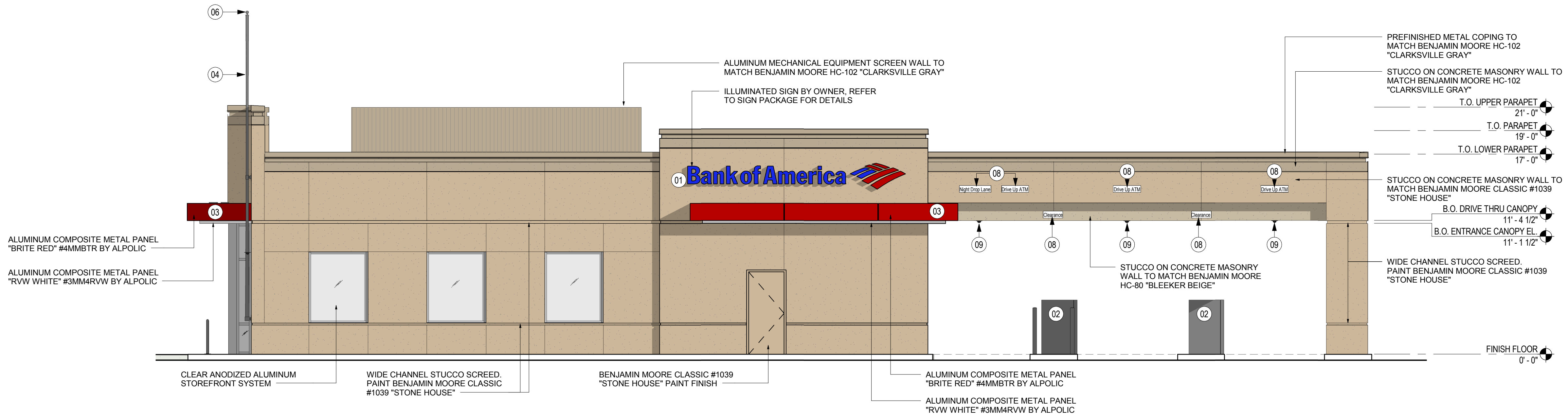
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EAST ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

1



SOUTH ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

2

	STUCCO WALL FINISH COLOR: TUNDRA TO MATCH BENJAMIN MOORE #1039 "STONE HOUSE"		STUCCO WALL FINISH COLOR: WARM SAND TO MATCH BENJAMIN MOORE HC-80 "BLEEKER BEIGE"		STUCCO WALL FINISH COLOR: MOSS TO MATCH BENJAMIN MOORE HC-102 "CLARKSVILLE GRAY"		ALUMINUM COMPOSITE PANEL COLOR: ALPOLIC "BRITE RED"		ALUMINUM COMPOSITE PANEL COLOR: ALPOLIC "RVW WHITE"		ALUMINUM COMPOSITE PANEL COLOR: ALPOLIC "CLEAR ANODIZED" TO MATCH CURTAINWALL
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EXTERIOR FINISH SCHEDULE

SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
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- 03 METAL PANEL SYSTEM
- 04 31 - FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 NIGHT DEPOSITORY
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE
- 07 NOT USED
- 08 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN= CENTERLINE OF LANE.
- 09 EXTERIOR SECURITY CAMERA
- 10 DRIVE UP TTW ATM BY OWNER
- 11 LINE OF ROOF BEYOND
- 12 MECHANICAL EQUIPMENT SCREENING. REFER TO STRUCTURAL DRAWINGS.

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COLOR ELEVATIONS

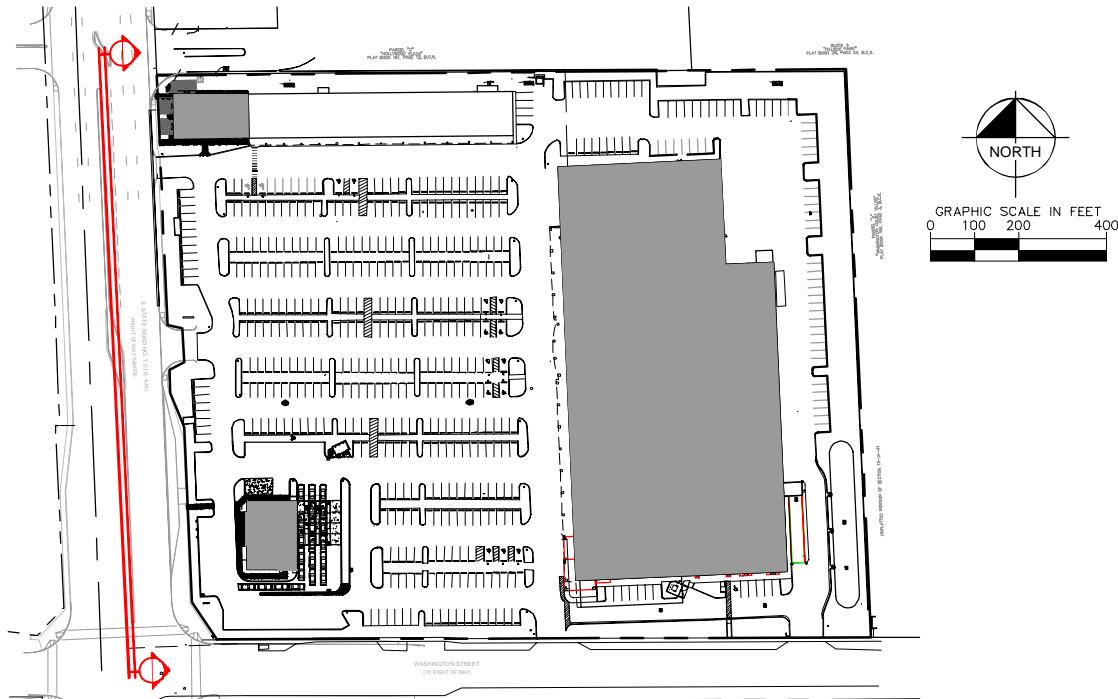
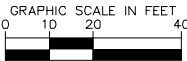
A106

HOLLYWOOD PLAZA

SR7 STREET VIEW RENDERING

Kimley»Horn

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5200 NW 33rd AVENUE, SUITE 109, FT. LAUDERDALE, FL 33309
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM CA 00000696



KEY PLAN

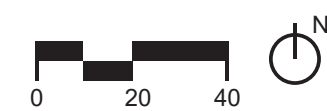


BANK OF AMERICA

MAY 2017 • CONTACT: MATT FRANKO (407) 427-1629

SITE PLAN RENDERING

CITY OF HOLLYWOOD



Kimley»Horn


ATTACHMENT B

Land Use and Zoning Map










**DEVELOPMENT SERVICES
PLANNING**

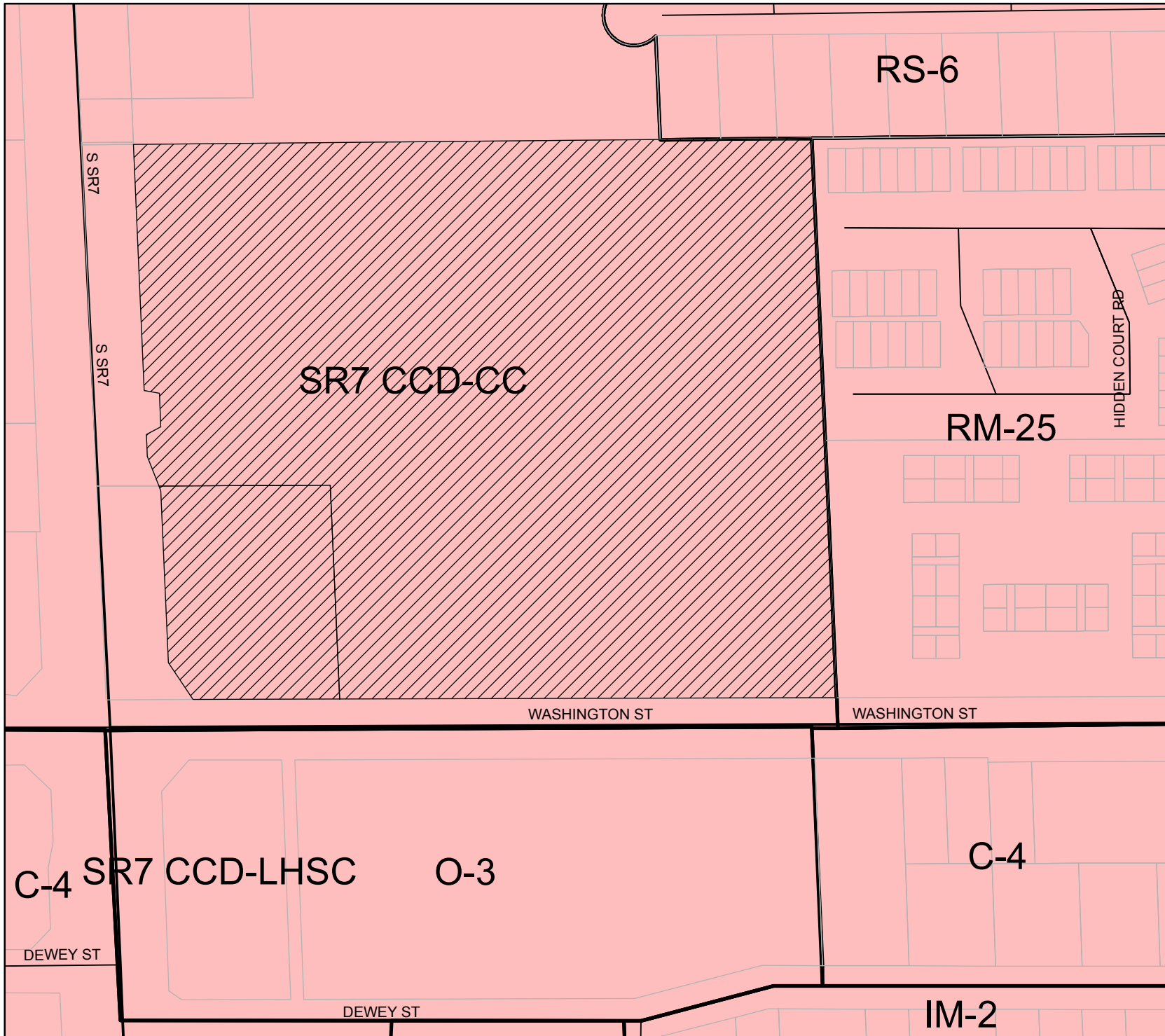
Legend

Subject Property
 Subject Property

— Streets
 — Major Roads

LAND USE
 TOC

ZONING
 C-4
 IM-2
 O-3
 RM-25
 RS-6
 SR7 CCD-CC
 SR7 CCD-LHSC



0 37.5 75 150 Feet

