

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
PLANNING DIVISION**

DATE: July 13, 2017

FILE: 17-DP-09

TO: Planning and Development Board

VIA: Alexandra Carcamo, Principal Planner



FROM: Arceli Redila, Planning Administrator



SUBJECT: VRD at Hollywood, LLC requests Design, and Site Plan for an approximate 22,600 sq. ft. automotive repair center, located at 5900 Washington Street (Caliber Collision).

REQUEST

Design, and Site Plan for an approximate 22,600 square foot automotive repair center.

RECOMMENDATION

Design: Approval.

Site Plan: Approval, if Design is granted.

BACKGROUND

The subject site is generally located on the southeast corner of Washington Street and State Road 7. The overall site at approximately 4.5 acres currently contains a four-story commercial building fronting SR 7 (Bank of America) and a one-story automotive sale facility in which the Applicant wishes to redevelop.

It has a Land Use designation of Transit Oriented Corridor (TOC) and is zoned Commercial Corridor District – Low Hybrid South Commercial Sub Area (SR7 CCD-LHSC) with underlying High Intensity Office District (O-3). The SR 7 CCD-LHSC overlay establishes permitted uses while the underlying O-3 provides development regulations as applicable to this property. Transit Oriented Corridors (TOC) Land Use designation encourages redevelopment or development of significant areas. The major purposes of this designation are to facilitate multi-use and mixed-use development, encourage mass transit, reduce the need for automobile travel, provide incentive for quality development, and give definition to the urban form.

REQUEST

The Applicant, VRD at Hollywood, LLC is proposing to demolish the existing antiquated automotive sale facility and is requesting Site Plan, and Design approval for an approximate 22,600 square foot building for automotive repair center, known as Caliber Collision, a permitted use in SR 7 CCD-LHSC district.

The design is contemporary with clean lines and modern finishes with stacked stone work at the front façade and the building base. The building height proposed is one-story at approximately 22 feet including a raised parapet to screen the mechanical equipment on the roof. To soften the building and paving, the design is enhanced by a landscape plan which includes a wide array of planting materials and provides approximately 26 percent pervious areas. Pedestrian paths with paver walkway and ramps are provided for easy access to the main entrance, to public sidewalk, and to the main street.

Building setbacks, parking, and vehicular access and circulation respectively, are met. According to the Applicant, "significant considerations have been made to the design of the project to ensure that vehicle entry doors and vehicle storage areas are adequately screened from public view." All vehicle repair activities will be conducted indoors.

State Road 7 is a major transportation corridor and one of regional significance. It has long been the City's intent to shape this area into one which supports multiple modes of transportation while also creating a hub for redevelopment and economic vitality for the western portion of Hollywood. State Road 7 corridor has a variety of automotive uses that existed prior to the regulations. The intent of the applicant is to improve the site, build a new, modern automotive repair center. Redevelopment of this site will enhance the appearance of the site and that of surrounding areas; as well as improve the community.

SITE DATA

Owner/Applicant:	VRD at Hollywood, LLC
Address/Location:	5900 Washington Street
Net Area of Property:	87,567 Sq. Ft. (2.01 acres)
Land Use:	Transit Oriented Corridor (TOC)
Zoning:	Commercial Corridor District – Low Hybrid South Commercial Sub Area (SR7 CCD–LHSC), High Intensity Office District (O-3)
Existing Use of Land:	Automotive Sales

ADJACENT LAND USE

North:	Transit Oriented Corridor
South:	Transit Oriented Corridor
East:	Transit Oriented Corridor
West:	Transit Oriented Corridor

ADJACENT ZONING

North:	Commercial Corridor District – Commercial Core Sub Area (SR7 CCD – CC)
South:	Commercial Corridor District – Low Hybrid South Commercial Sub Area (SR7 CCD – LHSC), Medium/High Intensity Commercial District (C-4), Low Medium Intensity Industrial (IM-2)
East:	Commercial Corridor District – Low Hybrid South Commercial Sub Area (SR7 CCD – LHSC), Medium/High Intensity Commercial District (C-4)
West:	Commercial Corridor District – Low Hybrid South Commercial Sub Area (SR7 CCD – LHSC), Medium/High Intensity Commercial District (C-4)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The proposed improvement to the existing antiquated auto dealership is consistent with the Comprehensive Plan, based upon the following:

Objective 5: *Encourages appropriate infill redevelopment in blighted areas throughout the City, and economic development in blighted business and tourist areas by promoting improved architectural and streetscape design standards, code enforcement, economic development, neighborhood planning, and public information dissemination.*

State Road 7 corridor has a variety of automotive uses that existed prior to the regulations. The intent of the Applicant is to improve the site, build a new, modern auto repair facility. Approval of this request will allow the Applicant to make necessary improvements while maximizing the use of the land.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan is a compilation of policy priorities and recommendations designed to improve the appearance, appeal, and economic tax base of the City. It establishes a format for future direction and vision for the City.

The City-Wide Master Plan recognizes the need for a mix of uses along the corridors and identifies the US 441/SR 7 Corridor as a Special Emphasis Area of high importance for the development of the City and its improved image. The proposed project is consistent with the City-Wide Master Plan based upon the following:

Guiding Principles and Policies:

- *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*
- *Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.*

Policy CW.21: *Create and expand where appropriate commercial and industrial zones to increase tax dollars.*

Policy CW.44: *Foster economic development through creative land use, zoning and development regulations, City services and City policies.*

Policy CW.46: *Place emphasis on redevelopment along the major highway corridors; SR 7, US 1, Dixie Highway, Hollywood Boulevard and A-1-A by limiting expansion of residential areas, and deepening industrial and commercial zones to increase tax revenues.*

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERIA 1: Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: The Applicant is proposing an approximate 22,600 square foot one-story building with raised parapet to screen the mechanical equipment on the roof. The design is contemporary with clean lines and modern finishes with stacked stone work at the front façade and the building base. Pedestrian access is provided from the public sidewalk to the main building entrance. Adequate vehicular and pedestrian circulation is also provided.

FINDING: Consistent.

CRITERIA 2: Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS: State Road 7 Corridor contains several auto sales and synergy of uses related to auto sales in aging structures that do not contribute to the vision of the Comprehensive Plan. There is no predominant architectural style along this corridor. Redevelopment of this existing dealership would be a step in progress in beautifying the State Road 7 corridor. The overall design is reflective of its time, clearly a product of the current architecture.

FINDING: Consistent.

CRITERIA 3: Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding molding, and fenestration.

ANALYSIS: The building mass reflects simple composition of basic architectural details. The design is contemporary with clean lines and modern finishes with stacked stone work at the front façade and the building base. As proposed, the project presents a modern auto repair facility. The building height proposed is one-story at approximately 22 feet including a raised parapet to screen the mechanical equipment on the roof.

FINDING: Consistent.

CRITERIA 4: Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The landscape design enhances the design of the building while adding visual appeal to the neighborhood. Ample landscaping is provided on site, approximately 10 foot wide landscape buffer surrounding all sides. Overall the site provides approximately 26 percent pervious areas with a considerable amount of native trees, shrubs, and ground covers.

FINDING: Consistent.

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

SITE PLAN

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 6 of Zoning and Land Development Regulations on May 25, 2017. Therefore, Staff recommends approval, if Design is granted.

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Land Use and Zoning Map

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: _____

Location Address: 5900 Washington Street

Lot(s): 1, 2, and 3 Block(s): 1 Subdivision: West Hollywood Villas

Folio Number(s): 5141 24 15 0010

Zoning Classification: C-4 Land Use Classification: Commercial

Existing Property Use: Automotive Sales Sq Ft/Number of Units: 22,539

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: To demolish the existing Automotive Sales Facility and construct a 22,539 SF Caliber Collision Auto Body Repair.

Number of units/rooms: 1 Sq Ft: 22,539

Value of Improvement: \$1,000,000 Estimated Date of Completion: 03/01/18

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: VRD AT HOLLYWOOD LLC

Address of Property Owner: 8001 LBJ Freeway, STE 400, Dallas, TX 75251

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): Bill Pfeffer, P.E.

Address: 401 E. Las Olas Blvd, Suite 1400 Fort Lauderdale, FL 33301 Telephone: (954) 712-7482

Fax: _____ Email Address: bpfeffer@bowmanconsulting.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 2017-05-26

PRINT NAME: Tony Ramji

Date: 2017-05-26

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: Bill Pfeffer, P.E.

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

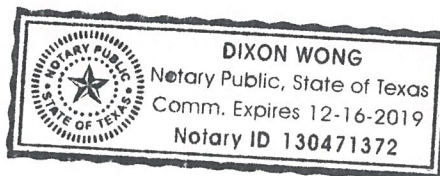
I am the current owner of the described real property and that I am aware of the nature and effect the request for improvements to my property, which is hereby made by me or I am hereby authorizing Bill Pfeffer to be my legal representative before the Board and Committee (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 26th day of May, 2017

Notary Public

State of ~~Florida~~ Texas

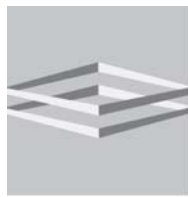
My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Tony Ramji

Print Name



Caliber Collision
5900 Washington Street
Project Narrative

VRD at Hollywood, LLC ("Petitioner") is the owner of the +/- 2.01 acre property located at 5900 Washington street, which is generally located on the southeast corner of Washington Street and South State Road 7 ("Property") in the City of Hollywood ("City"). The Property has a future land use designation of Transit Oriented Corridor ("TOC"), and has a zoning designation of Commercial Corridor District - Low Hybrid South Commercial Sub Area ("SR7 CCD-LHSC"), as well as High Intensity Office ("O-3"). The Property is currently developed with an old automotive sales facility and a +/- 5,000 square foot vacant one-story building. Petitioner proposes to redevelop the Property with a new +/- 22,539 square foot building for automotive repair facility ("Project"), known as Caliber Collision ("Caliber"). As part of the Project, Petitioner will be eliminating many of the existing non-conformities on the Property and redevelop the Property with a vibrant commercial use that will significantly improve the appearance of the Property and provide a new use that serves the needs of the community and the City.

Caliber sets the standard for a new generation of auto collision repair centers! It is the largest independently-owned collision repair company in the United States with over 300 locations nationwide. Additionally, Caliber employs over 6,500 associates located within 13 states and the District of Columbia. The company's culture is founded on the following core principles: maintaining an environmentally sensitive business model, premier community involvement, integrated architectural facility design and industry leading customer satisfaction. Examples of these core principles include, but are not limited to, utilizing building construction and design techniques that reduce exterior noise levels, performing all work on vehicles indoors within a secure and air-conditioned facility, providing service bay doors that auto-close upon vehicle entry, constructing stacked stone building facades, maximizing pedestrian connectivity around the site, providing lush landscaping and screening materials to avoid visibility of vehicles, storing all vehicles within a closed, secure and screened area, no storage of equipment outside, and heavy involvement in the community including providing fully-refurbished vehicles to needy families through the Caliber Recycled Rides Program and supplying local food banks with more than 1 million meals for needy kids and families, to name a few.

The Project is also compatible with existing adjacent uses. Similar SR7 CCD-LHSC zoning has been applied to adjacent parcels to the South, East and West, with the State Road 7 Commercial Corridor District, commercial Core Sub area zoning to the north. These zoning districts provide for a variety of transit oriented commercial uses. As such, many of the adjacent properties are developed with similar compatible uses, including repair facilities and rental car facilities to the east and south, insurance offices

and restaurants to the west, and a retail center to the north. As part of the Project, Petitioner will be providing significant landscaping throughout the site, including twenty foot (20') buffers along the south and west sides of the building and an additional buffer with dry retention and attractive landscape materials will be provided to the east. Petitioner has also worked on site and building design to ensure that vehicle entry doors and vehicle storage areas are adequately screened from public view. The Project has also provided for sidewalks and pedestrian connections along Washington Street to ensure safe pedestrian access to the Property. Significant considerations have been made to the design of the Project to ensure that it not only meets the City's code requirements, but that it truly provides for the best design considering the proposed use. As a result, the Project will eliminate the existing site nonconformities and significantly enhance the appearance of the Property with this vibrant new commercial use.

VRD at Hollywood, LLC (“Petitioner”) is the owner of the +/- 2.01 acre property located at 5900 Washington street, which is generally located on the southeast corner of Washington Street and South State Road 7 (“Property”) in the City of Hollywood (“City”). The Property has a future land use designation of Transit Oriented Corridor (“TOC”), and has a zoning designation of Commercial Corridor District - Low Hybrid South Commercial Sub Area (“SR7 CCD-LHSC”), as well as High Intensity Office (“O-3”). The Property is currently developed with an old automotive sales facility and a +/- 5,000 square foot vacant one-story building. Petitioner proposes to redevelop the Property with a new +/- 22,539 square foot building for automotive repair facility (“Project”), known as Caliber Collision (“Caliber”). As part of the Project, Petitioner will be eliminating many of the existing non-conformities on the Property and redevelop the Property with a vibrant commercial use that will significantly improve the appearance of the Property and provide a new use that serves the needs of the community and the City.

Architectural and Design Components

The Petitioner has worked on site and building design to bring quality retail frontage to the primary public street (Washington Street), in an effort to welcome pedestrian access in and around the site. Design of the building, which includes stacked-stone facades, will bring understated architectural enhancements to the quality of the district, and remain commensurate with its surroundings. The facades will contain a harmonious flow of colors consistent with each other as well as the surrounding buildings within the district. This enhanced fascia will provide more welcoming sights, and maximize the experience of residents and pedestrians in transit. Significant considerations have been made to the design of the Project to ensure that vehicle entry doors and vehicle storage areas are adequately screened from public view.

Compatibility

Caliber sets the standard for a new generation of auto collision repair centers! It is the largest independently-owned collision repair company in the United States with over 300 locations nationwide. Additionally, Caliber employees over 6,500 associates located within 13 states and the District of Columbia. The company’s culture is founded on the following core principles: maintaining an environmentally sensitive business model, premier community involvement, integrated

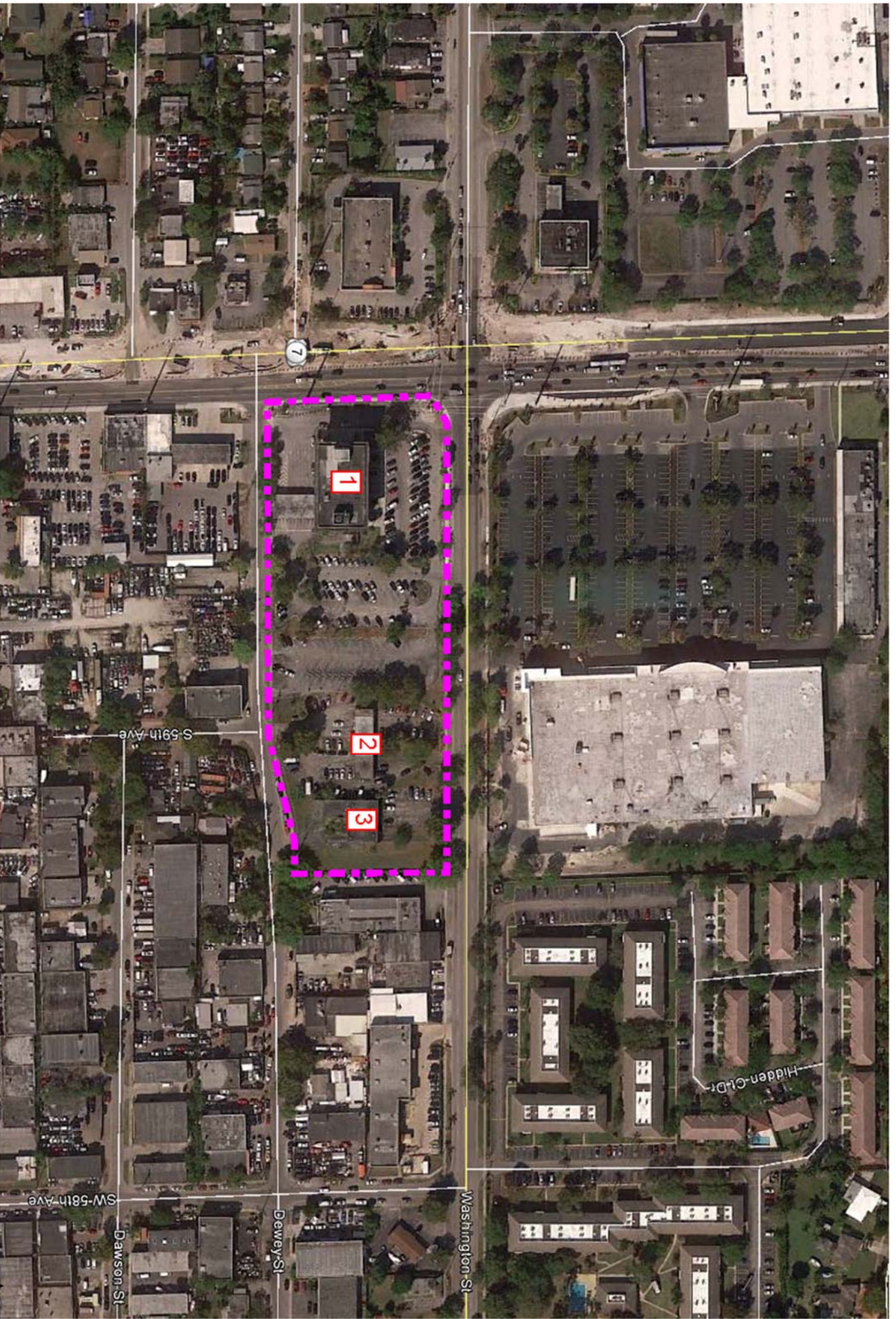
architectural facility design and industry leading customer satisfaction. Examples of these core principles include, but are not limited to, utilizing building construction and design techniques that reduce exterior noise levels, performing all work on vehicles indoors within a secure and air-conditioned facility, providing service bay doors that auto-close upon vehicle entry, constructing stacked stone building facades, maximizing pedestrian connectivity around the site, providing lush landscaping and screening materials to avoid visibility of vehicles, storing all vehicles within a closed, secure and screened area, no storage of equipment outside, and heavy involvement in the community including providing fully-refurbished vehicles to needy families through the Caliber Recycled Rides Program and supplying local food banks with more than 1 million meals for needy kids and families, to name a few. The Project is also compatible with existing adjacent uses. Similar SR7 CCD-LHSC zoning has been applied to adjacent parcels to the South, East and West, with the State Road 7 Commercial Corridor District, commercial Core Sub area zoning to the north. These zoning districts provide for a variety of transit oriented commercial uses. As such, many of the adjacent properties are developed with similar compatible uses, including repair facilities and rental car facilities to the east and south, insurance offices and restaurants to the west, and a retail center to the north. The Project has been designed while carefully taking into account the concerns of the surrounding neighborhoods.

Scale/Massing

The proposed building encompasses approximately 25% of the site area while maintaining nearly uniform buffers between adjacent structures.

Landscaping

As part of the Project, Petitioner will be providing significant landscaping throughout the site, including ten foot (10') buffers along all sides of the property and an additional buffer with dry retention and attractive landscape materials will be provided to the east. Along the Washington Street frontage, street trees will be planted to provide plenty of canopy for pedestrians and commuters. Lush landscaping and screening materials have been provided to screen the use from the public, while providing a rich streetscape experience for pedestrians and commuters. All plant types are native and compatible with the local environment. Hedges have been utilized to accentuate the stacked-stone facades and hide the vehicle storage yard completely.



5900 WASHINGTON STREET, HOLLYWOOD, FL 33023



BUILDING (3) – LOOKING NORTH



BUILDING (3) – LOOKING NORTH



BUILDING (3) LOOKING WEST



BUILDING (2) & (3) – LOOKING NORTH



BUILDING (1) & (2) LOOKING NORTHWEST



BUILDING (2) – LOOKING NORTH



BUILDING (2) & (3) – LOOKING NORTHEAST



BUILDING (2) – LOOKING NORTH



BUILDING (1) – LOOKING WEST



BUILDING (2) – LOOKING SOUTH



BUILDING (2) - LOOKING EAST



BUILDING (2) – LOOKING NORTHEAST



PARKING BETWEEN BUILDING (1) & (2)



BUILDING (2) – LOOKING SOUTHEAST



BUILDING (2) – LOOKING EAST



BUILDING (2) – LOOKING SOUTH



BUILDING (2) – LOOKING WEST



BUILDING (3) – LOOKING SOUTH



BUILDING (3) – LOOKING SOUTH



BUILDING (3) & (2) – LOOKING SOUTHWEST



BUILDING (1) – LOOKING NORTH



BUILDING (1) – LOOKING NORTHWEST



PARKING BETWEEN BUILDINGS (1) & (2)



BUILDING (2) – LOOKING EAST



BUILDING (2) – LOOKING NORTHEAST



BUILDING (2) – LOOKING NORTHEAST



CONSTRUCTION PLANS

FOR

CALIBER COLLISION

UTILITY SERVICE PROVIDERS

Water
City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33020
(954) 967-4357

Sewer
City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33020
(954) 967-4357

Electric
Florida Power and Light - Gulfstream Service Center
4000 Davie Road Extension
Hollywood, FL 33024
(954) 442-6300

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

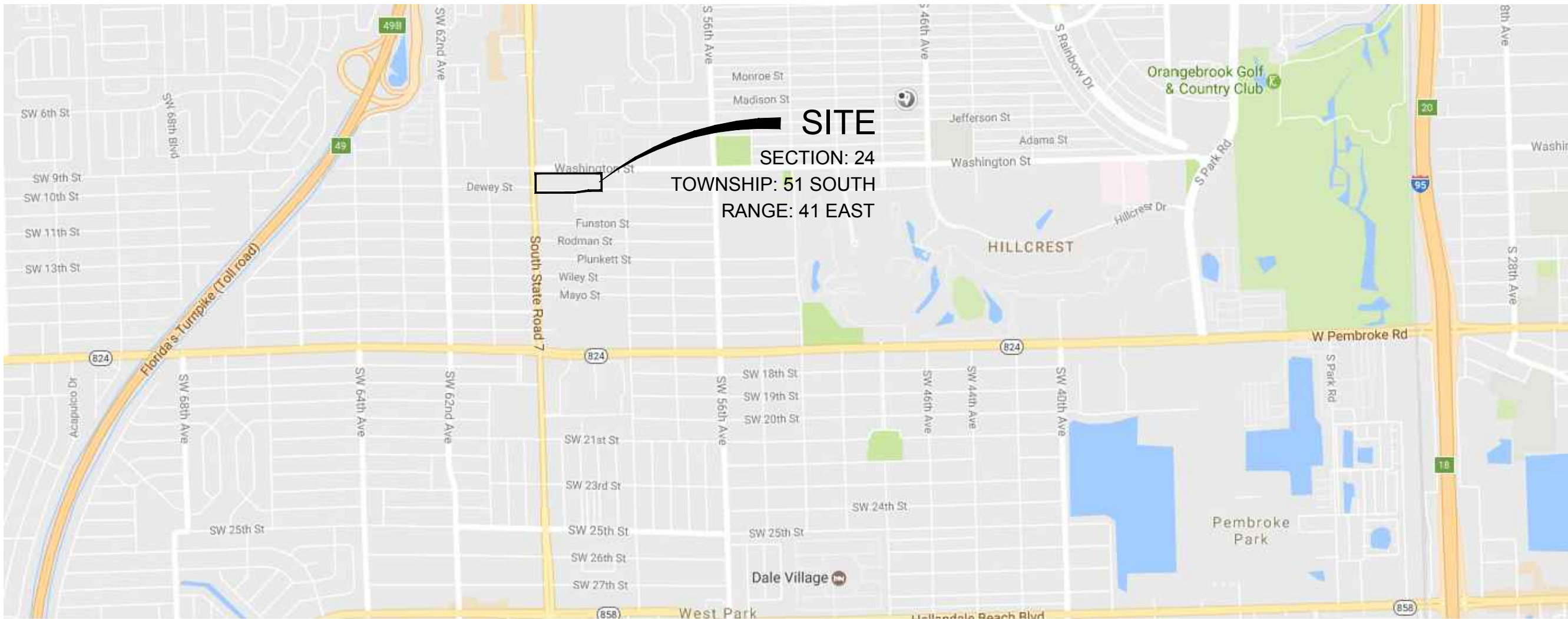
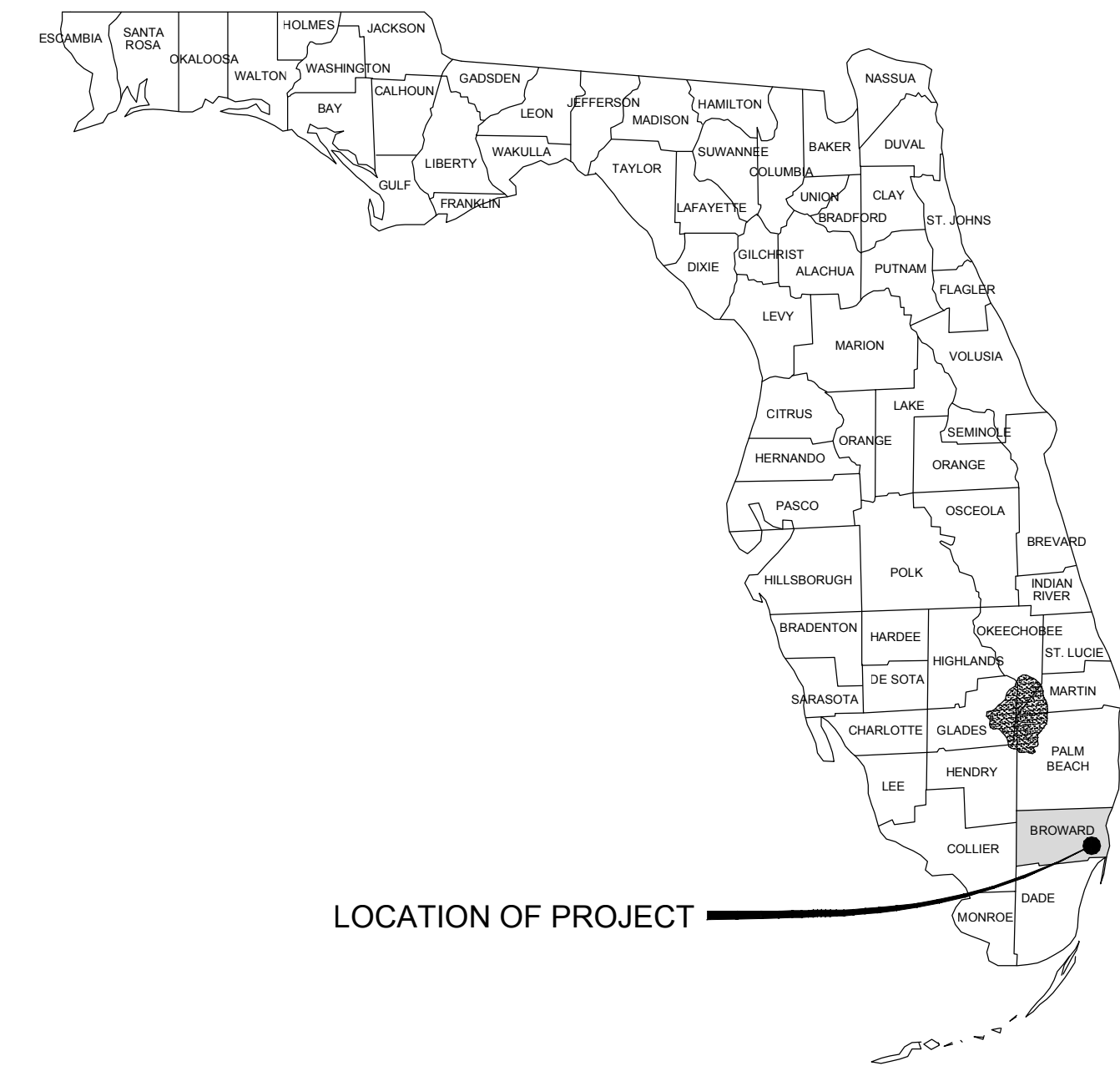
LOTS ONE (1) AND TWO (2) AND LOT THREE (3) LESS THE EAST 100 FEET THEREOF, IN BLOCK ONE (1) OF WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 30, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOTS ONE (1) AND TWO (2) IN BLOCK ONE (1) OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER OF SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, RUN EAST 50 FEET ALONG THE SECTION LINE, THENCE RUN SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 38 FEET TO A POINT OF BEGINNING, THENCE CONTINUE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN EASTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET, THENCE RUN NORTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN WESTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING.

LESS

A PORTION OF LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 47 AND A PORTION OF LOTS 1 AND 2, BLOCK 1, PLAT OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 2277741, SECTION NO. 86100-2527 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS; THENCE NORTH 02°08'08" WEST ALONG THE EASTERLY EXISTING RIGHT OF WAY LINE FOR SAID STATE ROAD 7 (U.S. 441), A DISTANCE OF 276.70 FEET TO A POINT ON THE SOUTHERLY EXISTING RIGHT OF WAY LINE FOR WASHINGTON STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE NORTH 89°49'33" EAST ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 43.07 FEET; THENCE SOUTH 41°24'14" WEST, A DISTANCE OF 47.97 FEET; THENCE SOUTH 02°08'08" EAST, A DISTANCE OF 230.67 FEET; THENCE SOUTH 55°22'09" EAST, A DISTANCE OF 17.73 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ALSO BEING A POINT ON THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR DEWEY STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE SOUTH 89°50'12" WEST ALONG SAID SOUTH LINE AND SAID NORTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 24.22 FEET TO THE POINT OF BEGINNING.



LOCATION MAP

N.T.S.

PRELIMINARY TAC MEETING: 03/20/2017

FINAL TAC MEETING: 04/24/2017

PLANNING & DEVELOPMENT BOARD: 07/13/2017

Bowman

CONSULTING

Certificate of Authorization License No. 30462

401 E. Las Olas Blvd.,
Suite 1400
Ft. Lauderdale, FL 33301
Phone: (954) 712-7482

www.bowmanconsulting.com
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SITE INFORMATION

Project Area: ±2.05 Acres

Parcel Folio No.: 5141-24-15-0010

Parcel Address: 5900 Washington Street, Hollywood, FL

Current Zoning: O-3 : High Intensity Office District

Proposed Use: Auto Repair Facility w/Paint

SHEET INDEX:

	COVER SHEET
	SURVEY
C1	DEMOLITION PLAN
C2	SITE PLAN
C2.1	SITE PLAN II
C3	PAVING, GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
C5	SITE DETAILS
C6	UTILITY DETAILS
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE PLAN
A1.0	FLOOR PLAN
A1.4	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
SP2.1	GATE & TRASH ENCLOSURE DETAILS

COVER SHEET

CALIBER COLLISION HOLLYWOOD

5900 WASHINGTON STREET

CITY OF HOLLYWOOD

BROWARD COUNTY, FLORIDA

WILLIAM PFEFFER, P. E. LICENSE NO. 73058 5/15/17		
PLAN STATUS		
03/20/17 - PRELIM. TAC MEETING		
04/24/17 - FINAL TAC MEETING		
07/13/17 - P&D BOARD		
DATE	DESCRIPTION	
EL DESIGN	EL DRAWN	BP CHKD
SCALE	AS SHOWN	
JOB No.	010430-01-002	
DATE	5/22/17	
FILE	010430-d-cp-002-c0-cov.d	
SHEET		

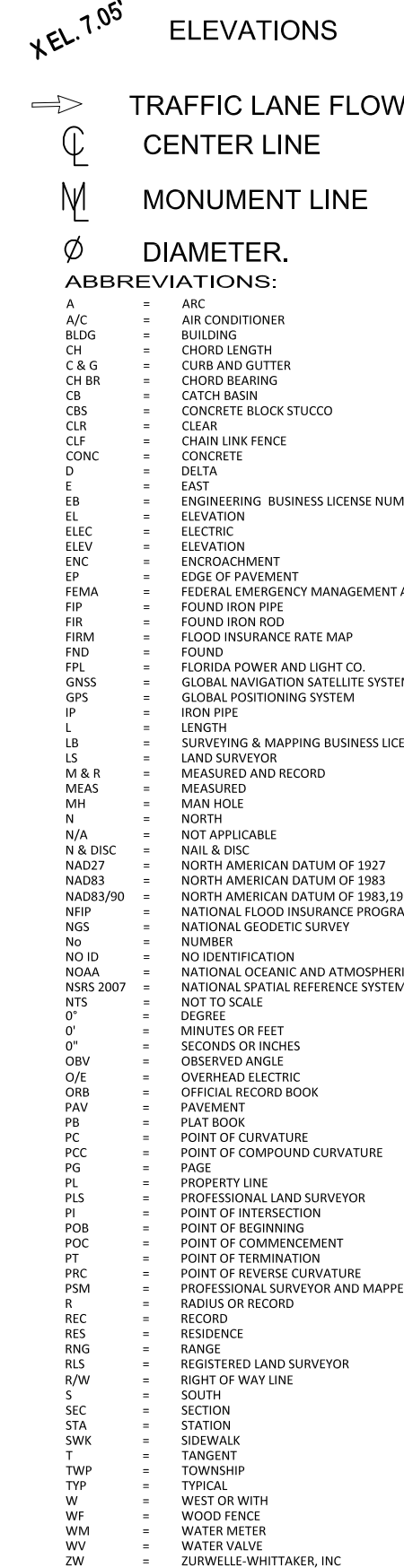
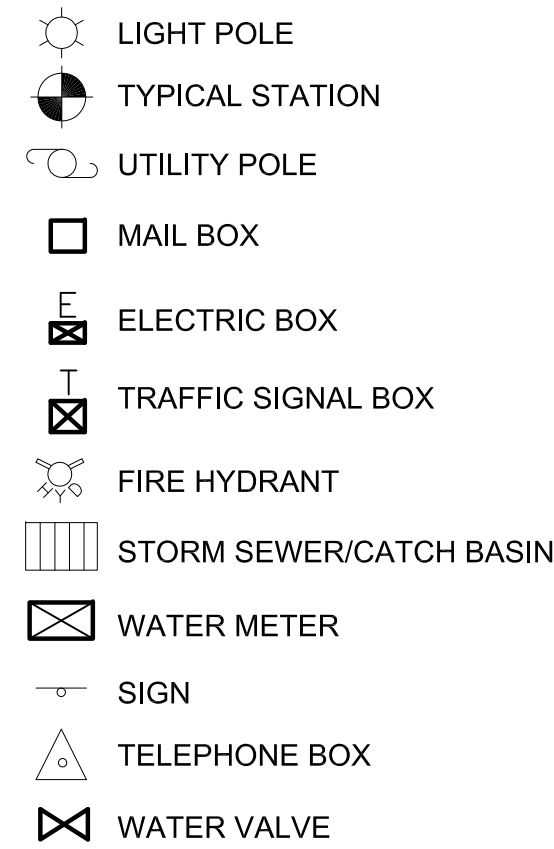
Bowman Consulting Group, Ltd.
401 E. Las Olas Blvd.,
Suite 1400
Ft. Lauderdale, FL 33301
Phone: (954) 712-7482
www.bowmanconsulting.com
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Bowman

CONSULTING

Certificate of Authorization License No. 30462

SYMBOL LEGEND:



SURVEYOR'S NOTES:

1. INTENTIONALLY DELETED.
2. LOCATION AND IDENTIFICATION OF UNDERGROUND ENCROACHMENTS OR UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED
3. NO SEARCH OF PUBLIC RECORDS HAS BEEN MADE (BY THIS OFFICE) FOR ACCURACY AND OR OMISSIONS.
4. INTENTIONALLY DELETED.
5. INTENTIONALLY DELETED.
6. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ENTITIES NAMED HEREON AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.
7. DIMENSIONS, BEARINGS OR ANGLES IDENTIFIED HEREIN ARE MEASURED AND ARE THE SAME AS PLAT VALUES UNLESS OTHERWISE INDICATED BEARINGS ARE BASED ON SHOWN PLAT VALUES (IF ANY) OR AN ASSUMED VALUE.
8. ALL RIGHTS OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED
9. UTILITY FACILITIES WITHIN UTILITY EASEMENTS NOT NOTED AS VIOLATIONS, DRIVEWAYS OR PORTIONS THEREOF WITHIN ROADWAYS NOT NOTED AS VIOLATIONS OR ENCROACHMENTS.
10. R/W LINES DEPICTED HEREON ARE REFERENCED TO THE PLATS OF PUBLIC RECORD (LISTED BELOW) NO ADDITIONAL INFORMATION WAS PROVIDED TO THIS OFFICE REGARDING CHANGES IN RIGHTS OF WAY, DEDICATIONS, LOT LINES, PROPERTY LINES, ZONING ETC.
11. THIS DRAWING IS PROPERTY OF ZURWELLE-WHITTAKER, INC AND CANNOT BE REPRODUCED WITHOUT WRITTEN CONSENT
12. THE ELEVATION INFORMATION SHOWN HEREON (IF ANY) IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM, (N.G.V.D.), OF 1929, UNLESS OTHERWISE NOTED
13. BENCHMARK USED: FDOT PNC NAVD 1988
14. COORDINATES SHOWN ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983/90 ADJUSTMENT, BASED ON STATE OF FLORIDA FPRN.
15. COORDINATE CONVERSIONS (IF ANY) HAVE BEEN CONVERTED USING CORPSCON VERSION 6.6.1, FROM U.S. ARMY CORPS OF ENGINEERS ALEXANDRIA, VIRGINIA.
16. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
17. ACCURACY OF HORIZONTAL CONTROL: (FOR EXPECTED USE OF LAND AS DEFINED BY (5)-17) THE FIELD MEASUREMENTS VERIFIED BY CALCULATIONS OF A CLOSED GEOMETRIC FIGURE BASED UPON FIELD INFORMATION TAKEN IN THE FIELD BY TOTAL STATION AND OR GPS/GNSS.

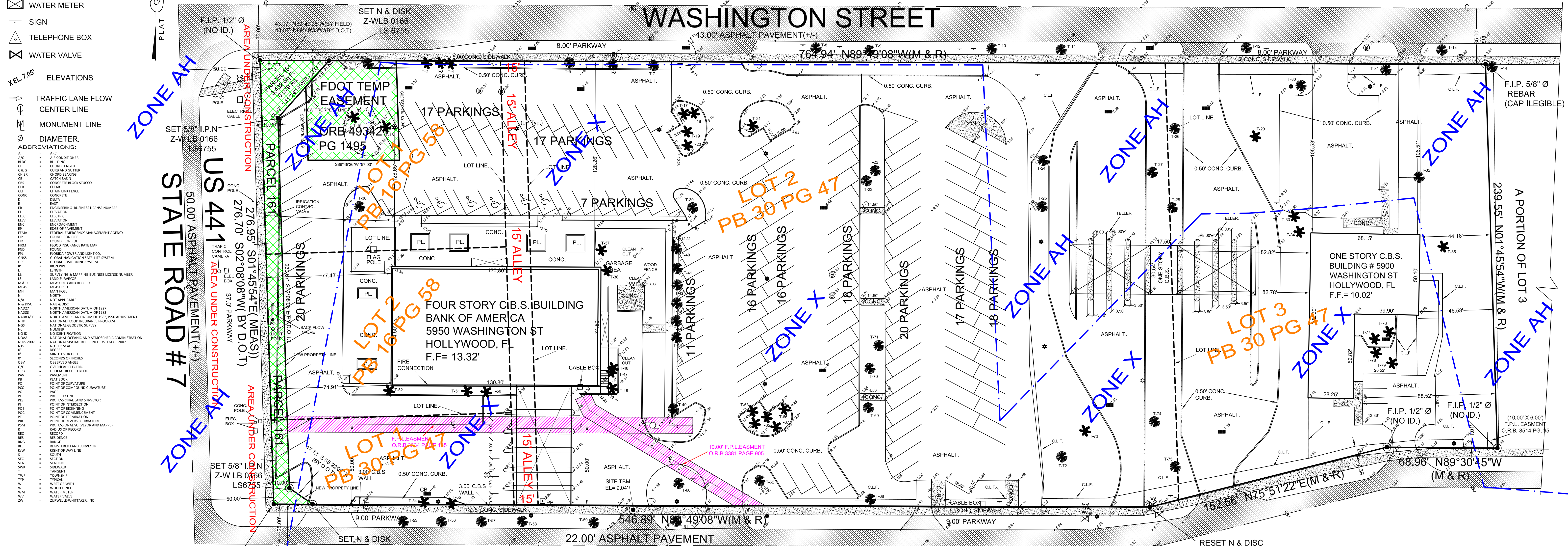
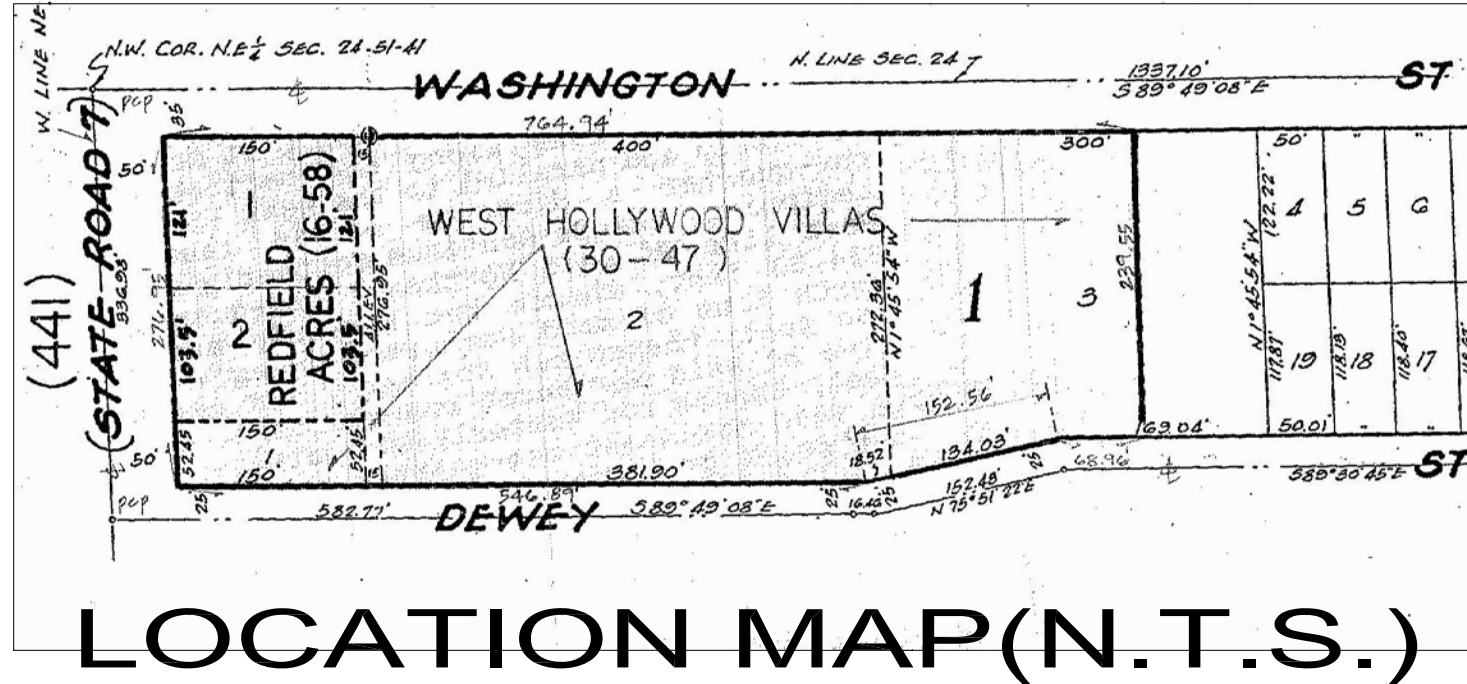
RELATIVE DISTANCE ACCURACY FOR THIS SURVEY IS MORE OR LESS.
X COMMERCIAL/HIGH RISK LINEAR: 1 FOOT IN 10,000 FEET

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED "BOUNDARY SURVEY" WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027.

FLOOD INFORMATION:

COMMUNITY NUMBER : 125113
PANEL NUMBER : 12011C0564
SUFFIX : H
DATE OF FIRM : 08-18-2014
FIRM ZONE : X, AH
BASE FLOOD ELEVATION : N/A, 10'
DATE FIELD WORK : 11-03-2016
DATE DRAFTING : 11-03-2016
DATE SIGNED AND SEALED : 11-03-2016
REVISED FIELD SURVEY : N/A



Form 5011662 (7-1-14) Page 10 of 12 ALTA Commitment (6-17-06) (with Florida modifications)

Customer Reference Number: South State Investment s/t Victory Real Estate
First American File Number: 1062-3646117

PART II

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
2. Any rights, interests, or claims of parties in possession of the land not shown by the public records.
3. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land.
4. Any lien, for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown by the public records.
5. Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water.
6. Taxes or special assessments not shown as liens in the public records or in the records of the local tax collecting authority, at Date of Policy.
7. Any minerals or mineral rights leased, granted or retained by current or prior owners.
8. Taxes and assessments for the year 2016 and subsequent years, which are not yet due and payable.

NOTES FOR STANDARD EXCEPTIONS: Standard Exceptions for parties in possession, for mechanics liens, and for taxes or special assessments not shown as liens in the public records shall be deleted upon receipt of an acceptable Non-Lien and Possession Affidavit establishing who is in possession of the lands, that there are no liens or encumbrances upon the lands other than as set forth in the Commitment, that no improvements to the lands have been made within the past 90 days or are contemplated to be made before closing that will not be paid in full, and that there are no unrecorded taxes or assessments that are not shown as existing liens in the public records. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said affidavit.

Standard Exception(s) for questions of survey may be deleted upon receipt and review of a properly certified Survey meeting the Florida Minimum Technical Standards for all land surveys dated not more than 90 days prior to closing or such other proof as may be acceptable to the Company. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said survey or proof.

9. Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of WEST HOLLYWOOD VILLAS, as recorded in Plat Book 30, Page(s) 47 as modified by that certain Ordinance recorded in Book 3153, Page 566, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).

10. Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of REDFIELD ACRES, as recorded in Plat Book 16, Page(s) 58, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).

11. Reservations contained in deed recorded in Deed Book 36, Page 58, as modified by Releases recorded in Book 1685, Page 492 and Book 7438, Page 472.

12. Reservations contained in deed recorded in Deed Book 49, Page 213 as modified by Release recorded in Book 1685, Page 137.
13. Easement to Florida Power & Light Company recorded in Book 3334, Page 185, as affected by Subordination of Utility Interests recorded in Book 48108, Page 1085.
14. Easement to Florida Power & Light Company recorded in Book 3381, Page 905.
15. Easement to Florida Power & Light Company recorded in Book 8514, Page 95.
16. Terms, covenants, conditions, restrictions and provisions Lease with the Bank of America, N.A. as disclosed by Quit Claim Deed recorded in Book 49342, page 1492.
17. Temporary Easement to the State of Florida Department of Transportation recorded in Book 49342, Page 1495.
18. Covenants, Conditions and Restrictions as set forth in Resolution No. 10-V-66 recorded in Book 47544, Page 1860, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
19. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

Customer Reference Number: South State Investment s/t Victory Real Estate
First American File Number: 1062-3646117

Note: All of the recording information contained herein refers to the Public Records of Broward County, Florida, unless otherwise indicated. Any reference herein to a Book and Page is a reference to the Official Record Books of said county, unless indicated to the contrary.

Notices - Where Sent

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this policy and shall be addressed to the Company, Attention: Claims Department, 1 First American Way, Santa Ana, CA 92707.

Service, Quality and Availability

First American Title Insurance Company cares about its customers and their ability to obtain information and service on a convenient, timely and accurate basis. A qualified staff of service representatives is dedicated to serving you. A toll-free number is available for your convenience in obtaining information about coverage and to provide assistance in resolving complaints at 1-800-854-3643. Office hours are from 8:30 a.m. through 5:30 p.m. Monday through Friday.

CERTIFIED TO:

*DE LA CRUZ & CUTLER, P.A.
*FIRST AMERICAN TITLE INSURANCE COMPANY
*JGB BANK N A F/K/A EAGLE NATIONAL BANK OF MIAMI, ITS SUCCESSORS AND/OR ASSIGNS. A THEIR INTEREST MAY APPEAR
*BECKER & POLIAKOFF, P.A.
*SOUTH STATE INVESTMENT LLC, A FLORIDA LIMITED LIABILITY COMPANY

TREE INFORMATION

TREE #	DESCRIPTION	SPREAD	HEIGHT	Ø
T-01	MAHOGANY	30.0'	30.0'	12"
T-02	SABAL PALMETTO	12.0'	40.0'	12"
T-03	SABAL PALMETTO	12.0'	40.0'	12"
T-04	SABAL PALMETTO	12.0'	40.0'	12"
T-05	PINK TABEBUIA	-	-	-
T-06	BLACK THORN	30.0'	30.0'	12"
T-07	BLACK THORN	30.0'	30.0'	12"
T-08	BLACK THORN	30.0'	30.0'	12"
T-09	BLACK THORN	30.0'	30.0'	12"
T-10	LIVE OAK	20.0'	20.0'	12"
T-11	LIVE OAK	30.0'	30.0'	12"
T-12	LIVE OAK	30.0'	30.0'	15"
T-13	LIVE OAK	60.0'	40.0'	24"
T-14	LIVE OAK	60.0'	30.0'	24"
T-15	SABAL PALMETTO	10.0'	20.0'	15"
T-16	SABAL PALMETTO	10.0'	20.0'	15"
T-17	SABAL PALMETTO	15.0'	30.0'	12"
T-18	SABAL PALMETTO	15.0'	30.0'	12"
T-19	SABAL PALMETTO	15.0'	30.0'	12"
T-20	SABAL PALMETTO	15.0'	30.0'	12"
T-21	SABAL PALMETTO	15.0'	30.0'	12"
T-22	UNKNOWN	-	-	-
T-23	UNKNOWN	-	-	-
T-24	MAHOGANY	60.0'	40.0'	24"
T-25	MAHOGANY	40.0'	40.0'	24"
T-26	LIVE OAK	40.0'	35.0'	48"
T-27	BLACK THORN	30.0'	30.0'	12"
T-28	BLACK THORN	30.0'	30.0'	15"
T-29	SABAL PALMETTO	15.0'	30.0'	12"
T-30	UNKNOWN	-	-	-
T-31	UNKNOWN	-	-	-
T-32	LIVE OAK	30.0'	25.0'	12"
T-33	SABAL PALMETTO	15.0'	30.0'	12"
T-34	SABAL PALMETTO	15.0'	30.0'	12"
T-35	SABAL PALMETTO	15.0'	20.0'	10"
T-36	BLACK THORN	60.0'	50.0'	36"
T-37	SABAL PALMETTO	15.0'	30.0'	12"
T-38	SABAL PALMETTO	15.0'	30.0'	12"
T-39	BLACK THORN	40.0'	40.0'	18"
T-40	MANCHINNEL	30.0'	30.0'	15"

TREE INFORMATION

TREE #	DESCRIPTION	HEIGHT	SPREAD	Ø
T-41	MANCHINNEL	20.0'	30.0'	12"
T-42	MANCHINNEL	20.0'	30.0'	12"
T-43	MANCHINNEL	30.0'	30.0'	15"
T-44	MANCHINNEL	20.0'	30.0'	12"
T-45	MANCHINNEL	20.0'	30.0'	12"
T-46	SABAL PALMETTO	15.0'	15.0'	12"
T-47	SABAL PALMETTO	15.0'	30.0'	12"
T-48	SABAL PALMETTO	15.0'	30.0'	12"
T-49	MANCHINNEL	30.0'	30.0'	15"
T-50	SABAL PALMETTO	15.0'	30.0'	12"
T-51	SABAL PALMETTO	15.0'	30.0'	12"
T-52	SABAL PALMETTO	15.0'	30.0'	12"
T-53	LIVE OAK	30.0'	30.0'	15"
T-54	SABAL PALMETTO	15.0'	30.0'	10"
T-55	SABAL PALMETTO	15.0'	30.0'	10"
T-56	LIVE OAK	30.0'	30.0'	12"
T-57	LIVE OAK	30.0'	30.0'	15"
T-58	LIVE OAK	30.0'	30.0'	12"
T-59	LIVE OAK	30.0'	30.0'	15"
T-60	BLACK THORN	30.0'	40.0'	18"
T-61	UNKNOWN	-	-	-
T-62	MAHOGANY	40.0'	40.0'	24"
T-63	SABAL PALMETTO	15.0'	30.0'	10"
T-64	SABAL PALMETTO	15.0'	30.0'	10"
T-65	SABAL PALMETTO	15.0'	30.0'	12"
T-66	SABAL PALMETTO	15.0'	30.0'	12"
T-67	SABAL PALMETTO	15.0'	30.0'	12"
T-68	FLORIDA STRANGLER	60.0'	40.0'	30"
T-69	SEA GRAPE	40.0'	30.0'	36"
T-70	FLORIDA STRANGLER	60.0'	30.0'	24"
T-71	FLORIDA STRANGLER	60.0'	30.0'	24"
T-72	UNKNOWN	-	-	-
T-73	SABAL PALMETTO	15.0'	30.0'	12"
T-74	BLACK THORN	30.0'	40.0'	20"
T-75	BLACK THORN	30.0'	40.0'	18"
T-76	SABAL PALMETTO	15.0'	20.0'	12"
T-77	SABAL PALMETTO	15.0'	20.0'	12"
T-78	SABAL PALMETTO	15.0'	20.0'	12"
T-79	SABAL PALMETTO	15.0'	10.0'	12"

LEGAL DESCRIPTION:

The land referred to herein below is situated in the County of Broward, State of Florida, and is described as follows:

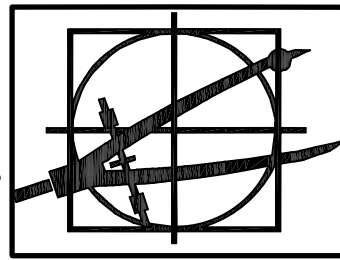
Lots One (1) and Two (2) and Lot Three (3) less the East 100 feet thereof, in Block One (1) of WEST HOLLYWOOD VILLAS, according to the plat thereof, recorded in Plat Book 30, Page 47, of the Public Records of Broward County, Florida, and that part of Lots One (1) and Two (2) in Block One (1) of REDFIELD ACRES, according to the plat thereof, recorded in Plat Book 16, Page 58, of the Public Records of Broward County, Florida, described as follows:

Commencing at the Northwest corner of the Northeast One-quarter of Section 24, Township 51 South, Range 41 East, run East 50 feet along the section line, thence run Southerly and parallel to the West line of said Northeast One-quarter a distance of 35 feet to a point of beginning, thence continue Southerly and parallel to the West line of said Northeast One-quarter a distance of 224.50 feet, thence run Easterly and parallel to the North line of said Northeast One-quarter a distance of 150 feet, thence run Northerly and parallel to the West line of said Northeast One-quarter a distance of 224.50 feet, thence run Westerly and parallel to the North line of said Northeast One-quarter a distance of 150 feet to the point of beginning.

Less

A portion of Lot 1, Block 1, WEST HOLLYWOOD VILLAS, according to the plat thereof, as recorded in Plat Book 30, Page 47 and a portion of Lots 1 and 2, Block 1, PLAT OF REDFIELD ACRES, according to the plat thereof, as recorded in Plat Book 16, Page 58, of the Public Records of Broward County, Florida, lying in Section 24, Township 51 South, Range 41 East, Broward County, Florida, as shown on the Florida Department of Transportation Right of Way Map for State Road 7 (U.S. 441), Item/Segment No. 2277741, Section No. 86100-2527 and being more particularly described as follows:

BEGIN at the Southwest Corner of said Lot 1, Block 1, WEST HOLLYWOOD VILLAS; thence North 02°08'08" West along the Easterly Existing Right of Way Line for said State Road 7 (U.S. 441) a distance of 276.70 feet to a point on the Southerly Existing Right of Way Line for Washington Street as shown on said Right of Way Map; thence North 89°49'33" East along said Southerly Existing Right of Way Line, a distance of 43.07 feet; thence South 41°24'14" West, a distance of 47.97 feet; thence South 02°08'08" East, a distance of 230.67 feet; thence South 55°22'09" East, a distance of 17.73 feet to a point on the South line of said Lot 1, Block 1, WEST HOLLYWOOD VILLAS, also being a point on the Northerly Existing Right of Way Line for Dewey Street as shown on said Right of Way Map; thence South 89°50'12" West along said South line and said Northerly Existing Right of Way Line, a distance of 24.22 feet to the POINT OF BEGINNING.



ESTAB. 1926
ZURWELLE-WHITTAKER, INC.
CONSULTING ENGINEERS AND SURVEYORS
9800 WEST 48th STREET, SUITE 504, HIALEAH, FLORIDA 33012
PHONE: (305) 534-4668 FAX: (305) 531-4689
CERTIFICATE OF AUTHORIZATION NO. LB0000166 EB 0028651
WWW.ZURWELLE-WHITTAKER.COM
MEMBER: FLORIDA LAND SURVEYORS COUNCIL, FLORIDA SURVEYING AND MAPPING SOCIETY

EDDIE A. MARTINEZ
PROFESSIONAL SURVEYOR AND
MAPPER NO. 150755
STATE OF FLORIDA

PROJECT:
**5900-5990 WASHINGTON ST
HOLLYWOOD, FL 33023**

JOB No.
N/A

FIELD BOOK:
J.C.CAREAGA

SCALE:
1"=30'

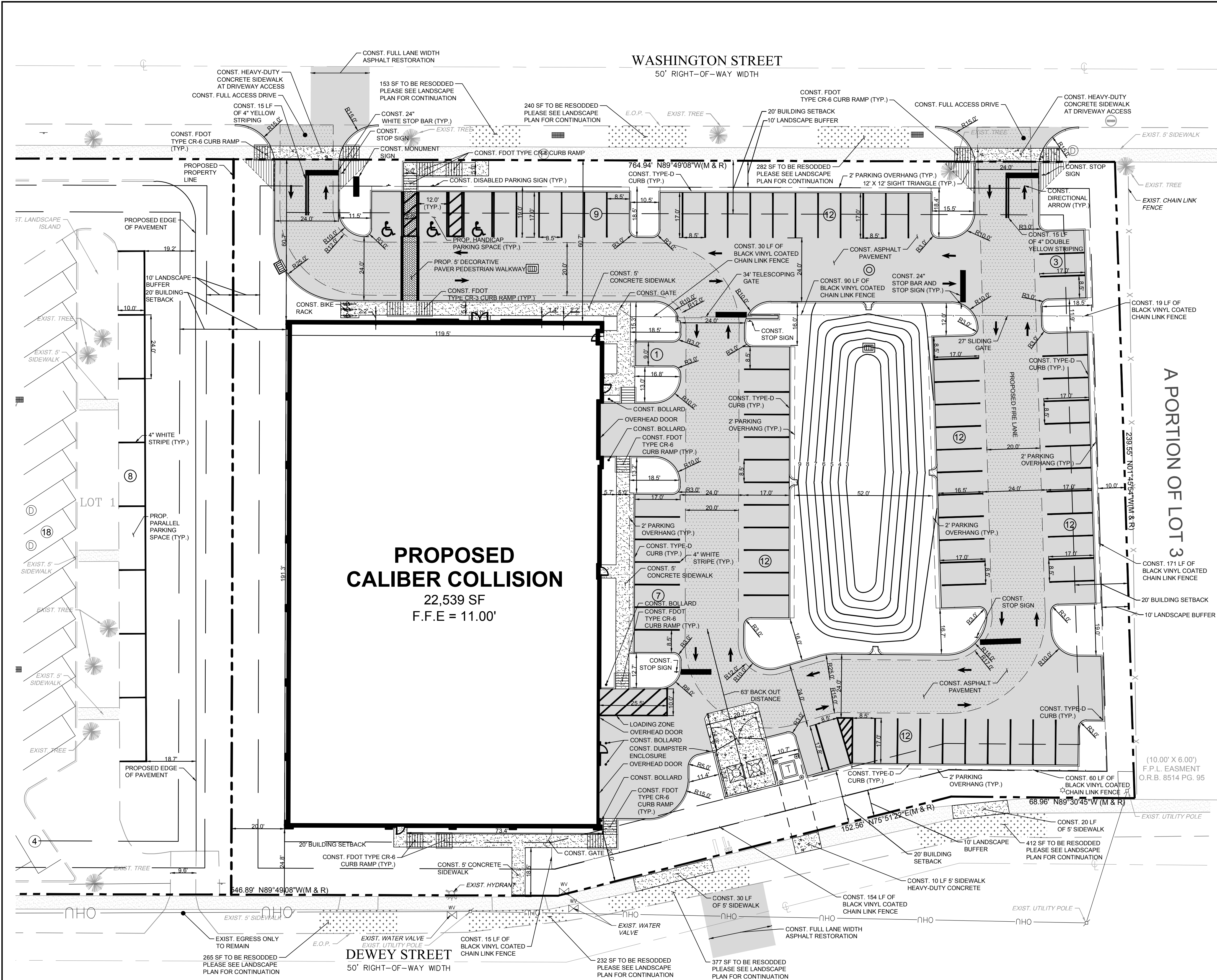
DRAWN:
JMR

REVISED:
EAM

REVISIONS
05-10-2011
06-10-2013

SHEET No.
1 OF 1

CAD FILE:
Z:\LAND PROJECTS\5900-5990 WASHINGTON ST\HOLLYWOOD.dwg (5900 WASHINGTON ST) (1.dwg)



OVERALL SITE DATA			
TOTAL SITE AREA	202,887 SF / 4.66 Ac.		
CALIBER COLLISION SITE AREA	87,567 SF / 2.01 Ac.		
LOT 1 SITE AREA	115,320 SF / 2.65 Ac.		
FUTURE LAND USE	TOC (TRANSIT ORIENTED CORRIDOR)		
EXISTING ZONING	O-3, SRT CCD-3-HSC		
PROPOSED BUILDING AREA	22,539 SF		
PROPOSED BUILDING HEIGHT	32'		
PROPOSED # OF STORIES	1 STORY		
DISTANCE BETWEEN BUILDINGS	300+ TO EXIST. BANK OF AMERICA		
FLOOR AREA:			
1. BANK OF AMERICA	33,268 SF	BANK / OFFICE	
2. CALIBER COLLISION	22,539 SF	AUTO REPAIR	
PARKING REQUIRED:			
BANK OF AMERICA	1 SPACE PER 300 SF	111 SPACES	
CALIBER COLLISION	1 SPACE PER 400 SF	57 SPACES	
PARKING PROVIDED:			
BANK OF AMERICA	144 SPACES (INCLUDING 7 ACCESSIBLE)		
CALIBER COLLISION	80 (INCLUDING 3 ACCESSIBLE)		
REQUIRED PERVIOUS AREA			
	30%		
REQUIRED PERVIOUS AREA (VEH. USE AREA)			
	25%		

LEGEND	
	PROPERTY LINE
	EXISTING CURB
	EXISTING CONCRETE SIDEWALK
	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	EXISTING FIRE HYDRANT
	EXISTING STORM SEWER/CATCH BASIN
	EXISTING WATER METER
	SIGN
	WATER VALVE
	PROPOSED FIRE LANE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED SIGN
	PROPOSED TRANSFORMER

CALIBER COLLISION SITE CALCULATIONS			
AREA	SF	ACRES	%
TOTAL SITE AREA	87,567	2.01	100
TOTAL PERVIOUS AREA	27,552	0.63	31
LANDSCAPE BUFFERS	10,724	0.25	12
PARKING OVERHANG	788	0.02	1
DETENTION AREA	7,965	0.18	8
BUILDING	22,539	0.61	30
PAVEMENT / SIDEWALK	33,456	0.77	38
TOTAL IMPERVIOUS AREA	60,015	1.38	69

VEHICULAR USE AREA			
AREA	SF	ACRES	%
TOTAL VEHICULAR USE AREA	49,635	1.14	100
IMPERVIOUS AREA	36,382	0.84	74
PERVIOUS AREA	13,253	0.30	26

BUILDING SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT YARD (NORTH)	20 FT	60.7 FT
REAR YARD (SOUTH)	20 FT	20 FT
SIDE YARD (WEST)	20 FT	20 FT
SIDE YARD (EAST)	20 FT	136 FT
PARKING LOT (FRONT)	10 FT	10 FT
PARKING LOT (SIDE)	10 FT	10 FT
PARKING LOT (REAR)	10 FT	10 FT

PARKING	
VEHICLE PARKING REQUIRED	
(FLOOR AREA): 22,539 SF * 1 SPACES/400 SF = 57 SPACES	
TOTAL REQUIRED:	= 57 SPACES
ACCESSIBLE PARKING REQUIRED	
TOTAL REQUIRED:	= 3 ACCESSIBLE
VEHICLE PARKING PROVIDED	
PARKING SPACES = 80 SPACES (INCLUDES ACCESSIBLE)	
TOTAL PROVIDED	= 80 SPACES

GENERAL NOTES:

- ALL LIGHTING LEVELS SHALL NOT EXCEED 0.5 FOOT-CANDLES AT ANY PROPERTY LINE ADJACENT TO RESIDENTIAL DEVELOPMENT.
- PROJECT SHALL MEET THE INTENTS OF GREEN BUILDING CODE ORDINANCE BY ACHIEVING LEED CERTIFICATION.
- ALL DRIVEWAY APRON AND OTHER ASPHALT TO BE REMOVED FROM SWALE AREA ALONG DEWEY STREET.
- ELECTRICAL VEHICLE CHARGING STATION INFRASTRUCTURE TO BE PROVIDED PER CITY OF HOLLYWOOD ORDINANCE O-2016-02. PLEASE SEE UTILITY PLAN SHEET C4, ELECTRICAL NOTES FOR CONTINUATION.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
- ALL SIDEWALK REPAIRS SHALL BE FULL FLAG REPLACEMENT. PARTIAL FLAG REPAIR OF SIDEWALKS IS NOT PERMITTED.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

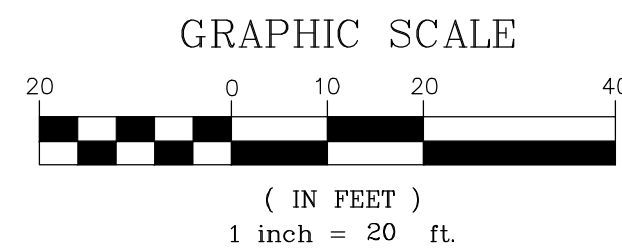
LOTS ONE (1) AND TWO (2) AND LOT THREE (3) LESS THE EAST 100 FEET THEREOF, IN BLOCK ONE (1) OF WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 30, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOTS ONE (1) AND TWO (2) IN BLOCK ONE (1) OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER OF SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, RUN EAST 50 FEET ALONG THE SECTION LINE, THENCE RUN SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 36 FEET TO A POINT OF BEGINNING, THENCE CONTINUE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN EASTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET, THENCE RUN NORTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN WESTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING.

LESS

A PORTION OF LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 47 AND A PORTION OF LOTS 1 AND 2, BLOCK 1, PLAT OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 2277741, SECTION NO. 86100-2527 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS; THENCE NORTH 02°08'08" WEST ALONG THE EASTERLY EXISTING RIGHT OF WAY LINE FOR SAID STATE ROAD 7 (U.S. 441), A DISTANCE OF 276.70 FEET TO A POINT ON THE SOUTHERLY EXISTING RIGHT OF WAY LINE FOR WASHINGTON STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE NORTH 89°49'33" EAST ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 43.07 FEET; THENCE SOUTH 41°24'14" WEST, A DISTANCE OF 47.97 FEET; THENCE SOUTH 02°08'08" EAST, A DISTANCE OF 230.57 FEET; THENCE SOUTH 55°22'09" EAST, A DISTANCE OF 17.73 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ALSO BEING A POINT ON THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR DEWEY STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE SOUTH 89°50'12" WEST ALONG SAID SOUTH LINE AND SAID NORTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 24.22 FEET TO THE POINT OF BEGINNING.



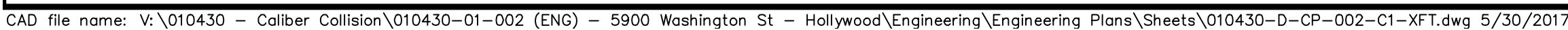
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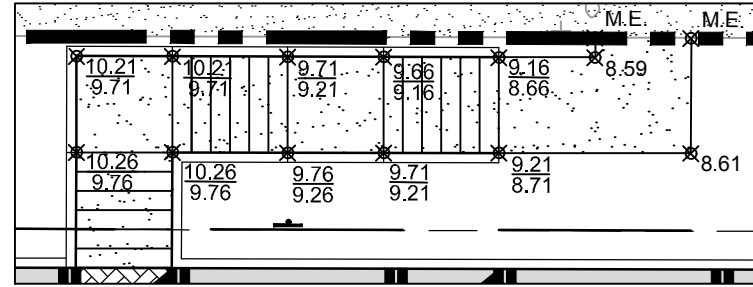
SITE PLAN
CALIBER COLLISION HOLLYWOOD
5900 WASHINGTON STREET
CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA

WILLIAM PEEFFER, P.E. LICENSE NO. 73058 5/22/17	
PLAN STATUS	
03/20/17 - PRELIM. TAC MEETING	
04/24/17 - FINAL TAC MEETING	
07/13/17 - P&D BOARD	
DATE	DESCRIPTION
EL DESIGN	EL DRAWN
BP	CHKD
SCALE	
JOB No. 010430-01-002	
DATE 5/22/17	
FILE 010430-d-cp-002-c2-sit.dwg	
SHEET C2	

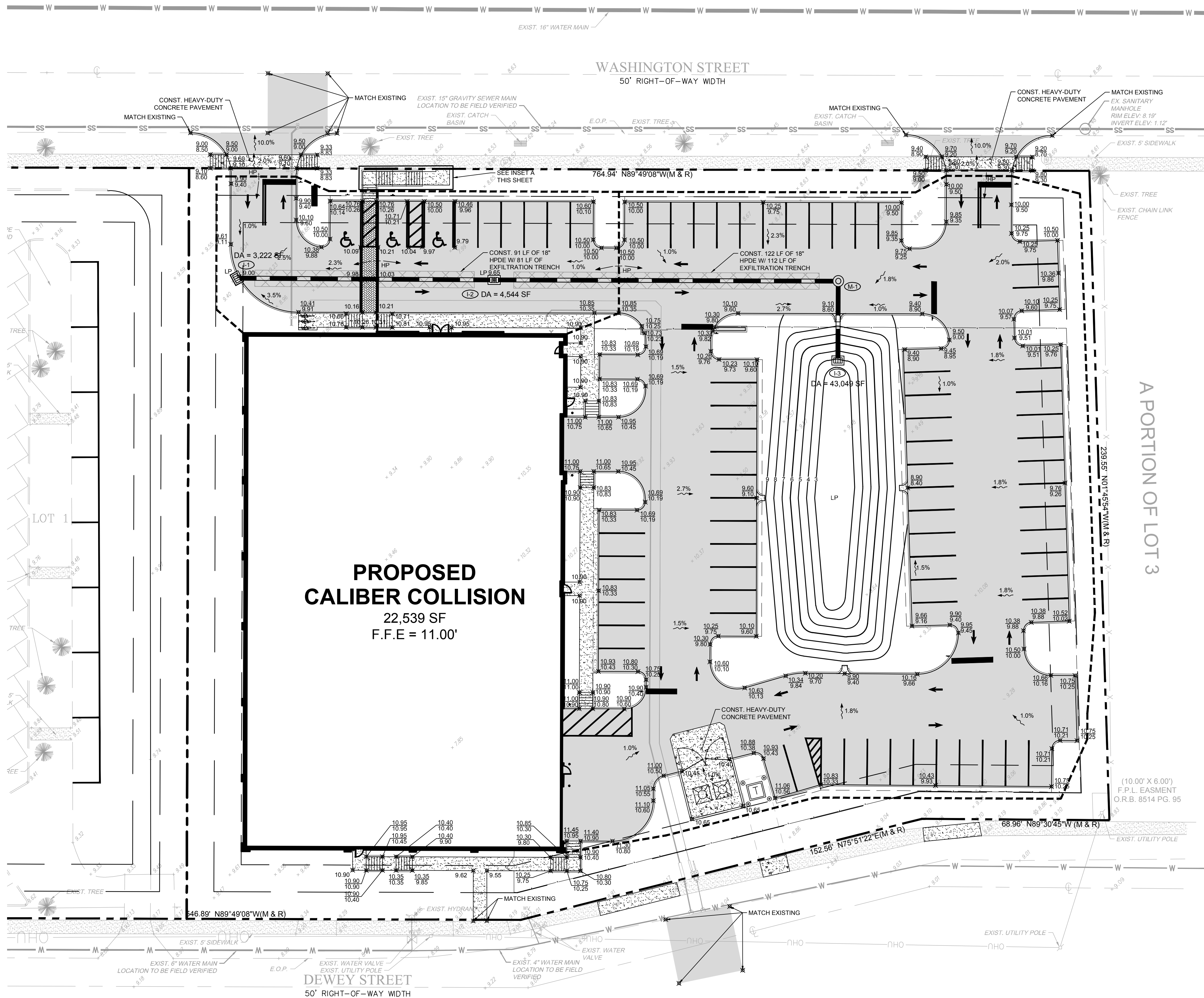




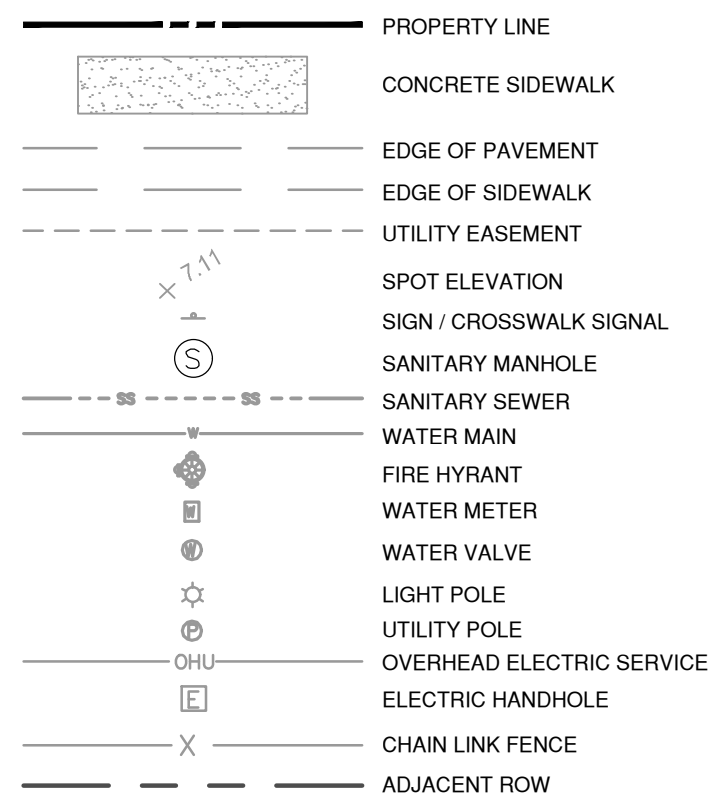
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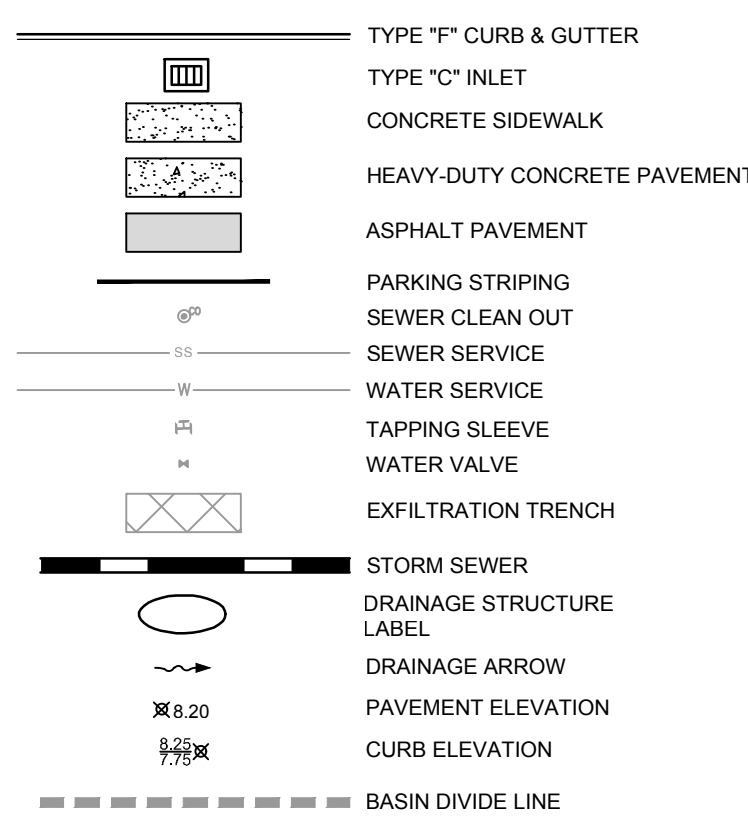
INSET A
SCALE: 1" = 10'



EXISTING LEGEND



PROPOSED LEGEND



DRAINAGE STRUCTURE TABLE

STRUCTURE #	GRATE/INLET TYPE	BOT. STR. TYPE	RIM	N INVERT	E INVERT	S INVERT	W INVERT
I-1	TYPE "C"	TYPE "C"	8.59	-----	3.62	-----	-----
I-2	TYPE "C"	TYPE "C"	8.90	-----	3.62	-----	3.62
I-3	TYPE "C"	TYPE "C"	6.12	3.62	-----	-----	-----
M-1	MANHOLE	-----	8.88	-----	-----	3.62	3.62

DATUM NOTE

1. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, CITY OF FORT LAUDERDALE BENCHMARK; NW141; ELEVATION: 6.264'

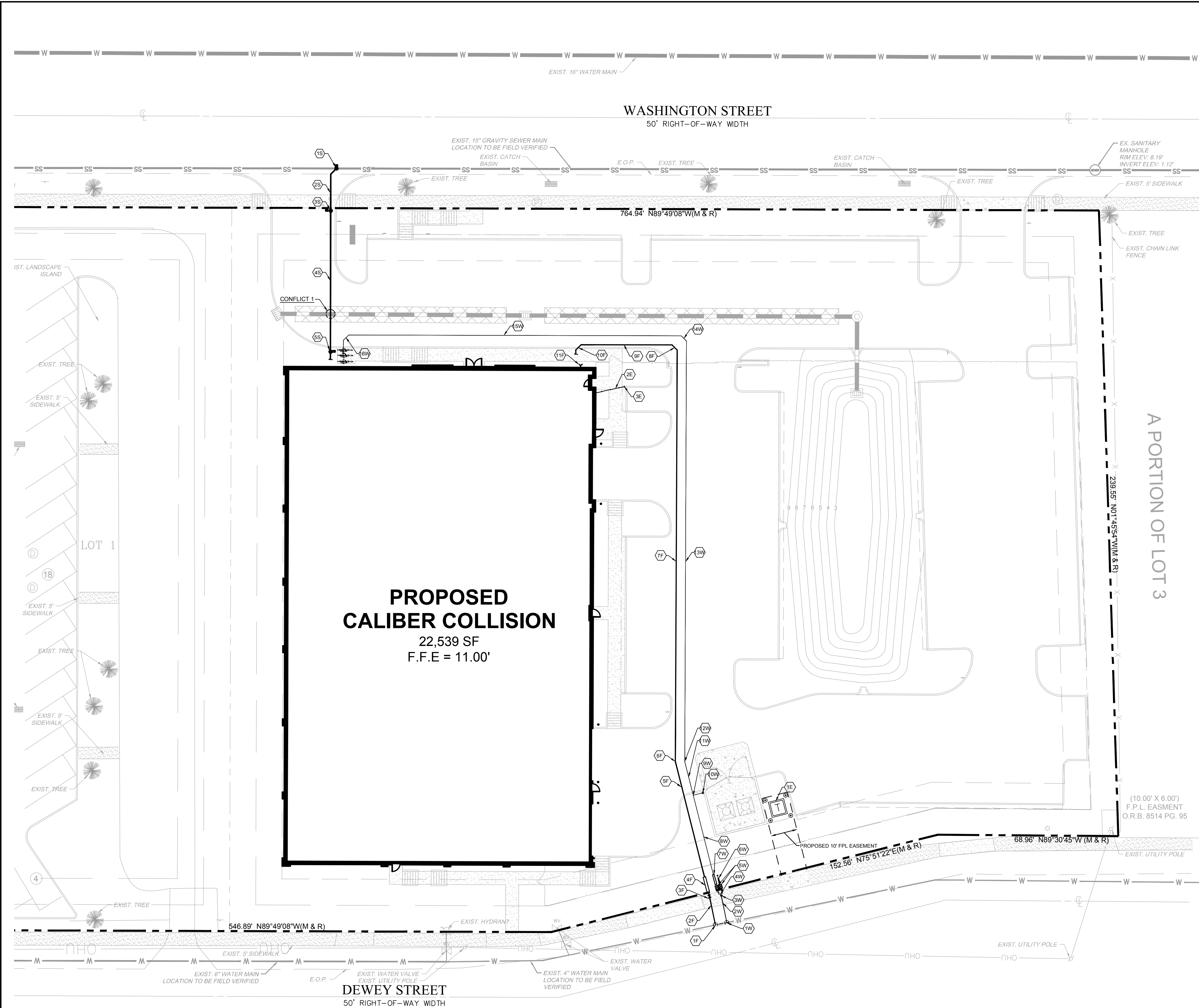
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PAVING, GRADING AND DRAINAGE PLAN
CALIBER COLLISION HOLLYWOOD
5900 WASHINGTON STREET
CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA

WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
5/15/17
PLAN STATUS
03/20/17 - PRELIM. TAC MEETING
04/24/17 - FINAL TAC MEETING
DATE DESCRIPTION
EL DESIGN EL DRAWN BP CHKD
SCALE
JOB No. 010430-01-002
DATE 5/15/17
FILE 010430-d-cp-002-pgd.dwg

SHEET **C3**



EXISTING LEGEND

	PROPERTY LINE
	CONCRETE SIDEWALK
	EDGE OF PAVEMENT
	EDGE OF SIDEWALK
	FPL EASEMENT
	UTILITY EASEMENT
	VALLEY INLET
	SIGN / CROSSWALK SIGNAL
	SANITARY MANHOLE
	SANITARY SEWER
	WATER MAIN
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	UTILITY POLE
	OVERHEAD ELECTRIC SERVICE
	CHAIN LINK FENCE

PROPOSED LEGEND

	TYPE "F" CURB & GUTTER
	TYPE "C" INLET
	CONCRETE PAVEMENT
	SEWER CLEAN OUT
	SEWER SERVICE
	WATER SERVICE
	TAPPING SLEEVE
	WATER VALVE
	EXFILTRATION TRENCH
	STORM SEWER

GENERAL UTILITY NOTES

- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION.
- CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
- ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS AND STANDARDS.
- ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
- IF PAVEMENT WITHIN RIGHT-OF-WAY IS DAMAGED DURING UTILITY CONSTRUCTION, FULL LANE WIDTH PAVEMENT RESTORATION WITH LENGTH EQUAL TO WIDTH IS REQUIRED PER PAVEMENT RESTORATION DETAIL G-12.1 ON PLAN SHEET C6.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
- ANY WATER AND/OR SEWER CONNECTIONS IN THE RIGHT-OF-WAY MUST BE COORDINATED AND SUPERVISED BY UTILITY DISTRICT PERSONNEL. PLEASE GIVE 72 HOURS NOTICE FOR CONNECTIONS.
- FIRE MAIN UNDERGROUND WORK TO BE COMPLETED BY CONTRACTOR I, II, OR V PER FS. 633.102.
- A KNOX BOX SHALL BE INSTALLED AT PERIMETER FENCE FOR FIRE DEPARTMENT ACCESS.
- SANITARY SEWER SYSTEM HAS BEEN DESIGNED PER 1,300 GALLON PER DAY (GPD) FLOW ESTIMATE PER BROWARD COUNTY CODE OF ORDINANCES, CHAPTER 27, SECTION 27-201 FOR AUTO REPAIR SHOPS.
250 GPD PER WATER CLOSET - 4 PROVIDED
100 GPD PER SERVICE BAY - 3 PROVIDED

WATER NOTES

- CONNECT TO EXISTING 4" DIP WATER MAIN WITH 4" X 2" TAPPING SLEEVE AND VALVE. CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING MAIN PRIOR TO CONSTRUCTION
- CONST. 11 LF OF 4" DIP WATER PIPE
- CONST. 4" X 1" REDUCER AT PROPERTY LINE
- CONST. DUAL 1" METER WATER SERVICE
- CONST. (2) 1" - WATER METER
- CONST. 1" - IRRIGATION METER AND BACKFLOW PREVENTER (SEE IRRIGATION PLAN FOR CONTINUATION)
- CONST. 1" BACKFLOW PREVENTER
- CONST. 31 LF OF 1" COPPER WATER SERVICE
- CONST. 1" TEE
- CONST. 1" HOSE BIB
- CONST. 13 LF OF 1" COPPER WATER SERVICE
- CONST. 1" - 22.5° BEND
- CONST. 160 LF OF 1" COPPER WATER SERVICE
- CONST. 1" - 90° BEND
- CONST. 127 LF OF 1" COPPER WATER SERVICE
- CONST. 1" - 90° BEND

FIRE NOTES

- CONNECT TO EXISTING 4" DIP WATER MAIN WITH 4" X 4" TAPPING SLEEVE AND VALVE. CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING MAIN PRIOR TO CONSTRUCTION
- CONST. 11 LF OF 4" DIP WATER PIPE
- CONST. 4" GATE VALVE
- CONST. DOUBLE DETECTOR CHECK VALVE
- CONST. 45 LF OF 4" DIP FIRE SERVICE PIPE
- CONST. 4" - 22.5° BEND
- CONST. 157 LF OF 4" DIP FIRE SERVICE PIPE
- CONST. 4" - 90° BEND
- CONST. 33 LF OF 6" DIP FIRE SERVICE PIPE
- CONST. 4" - 90° BEND
- CONST. FIRE DEPARTMENT CONNECTION (FDC)

SANITARY SEWER NOTES

- CONNECT TO EXISTING 15" VCP GRAVITY SEWER WITH CLEANOUT. CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING MAIN PRIOR TO CONSTRUCTION
- CONST. 16 LF OF 6" PVC GRAVITY SEWER LINE @ 1% SLOPE
- CONST. 6" CLEAN OUT - INV EL. = 6.90'
- CONST. 60 LF OF 6" PVC GRAVITY SEWER LINE @ 1% SLOPE
- CONST. 6" CLEAN OUT - INV EL. = 7.50'

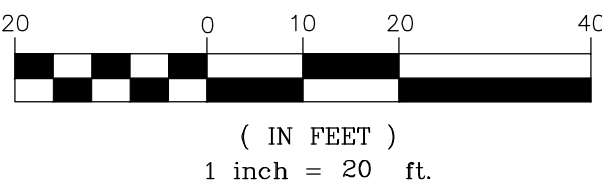
ELECTRICAL NOTES

- TRANSFORMER - CONSTRUCTED BY OTHERS
- CONST. 11 LF OF EMPTY 3/4" RACEWAY (PER O-2016-02)
- CONST. TWO-GANG JUNCTION BOX WITH BLANK PLATE (PER O-2016-02)

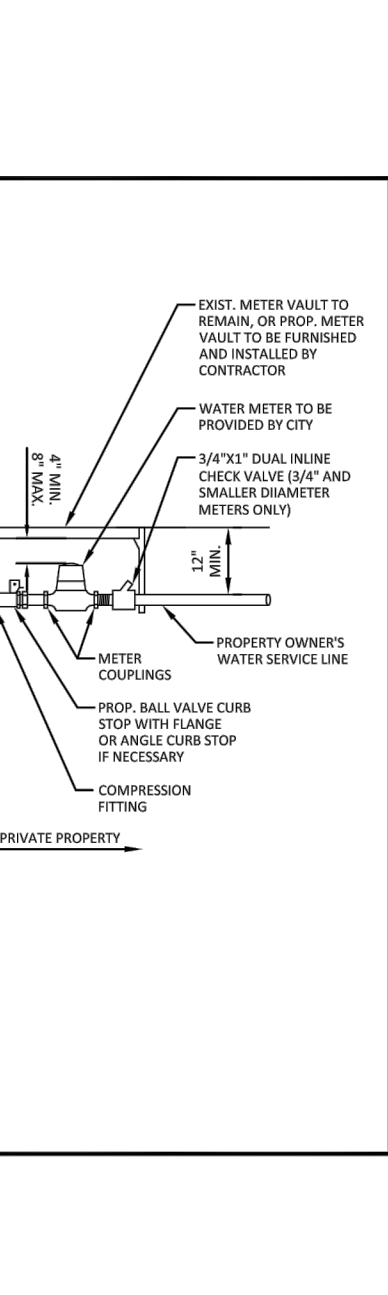
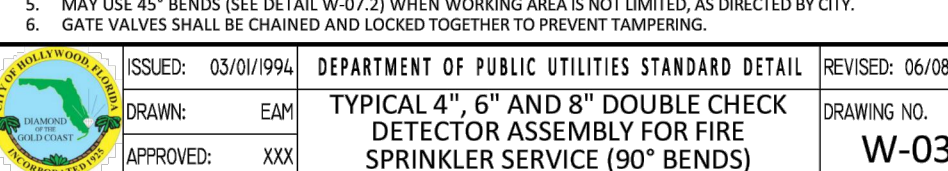
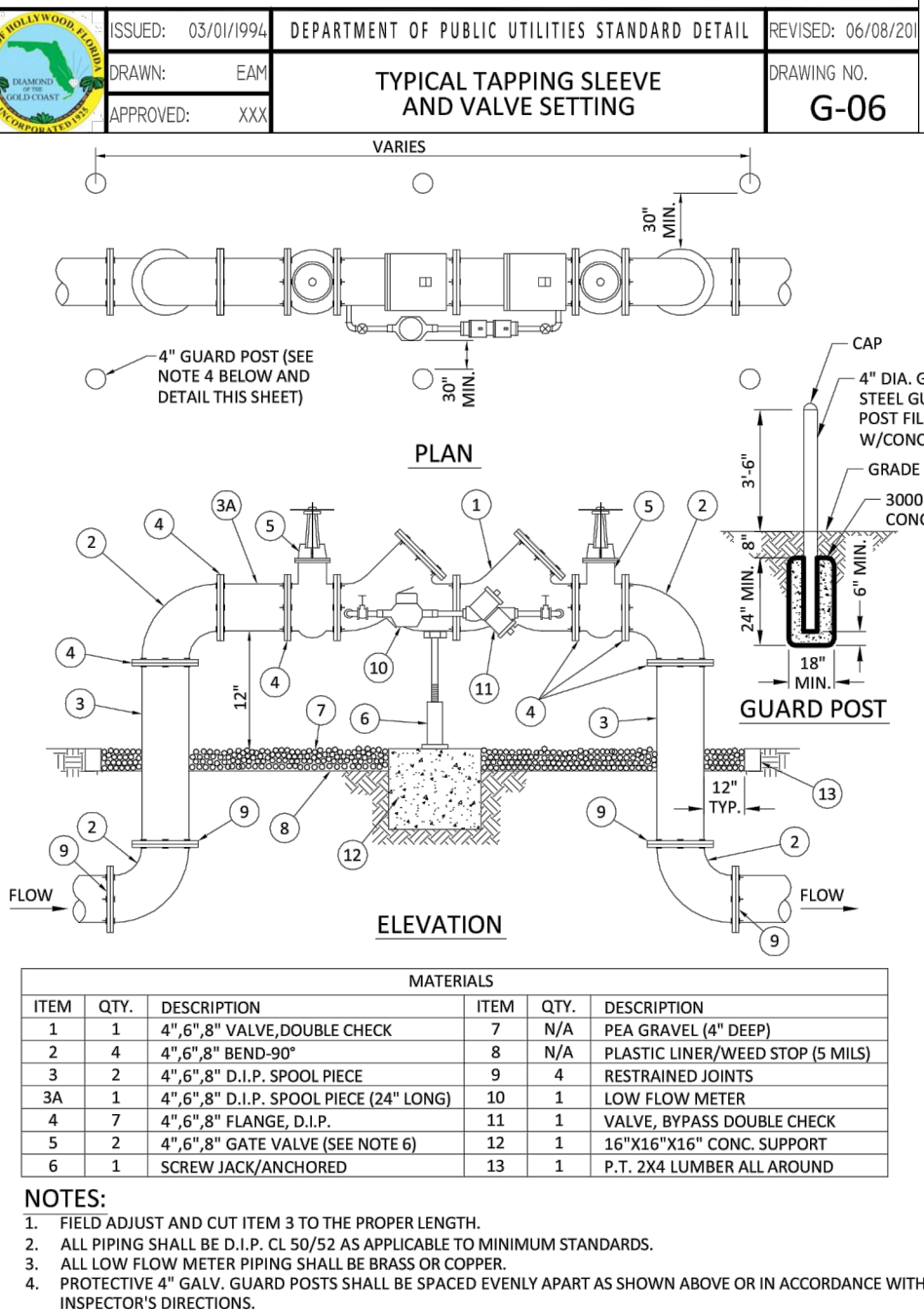
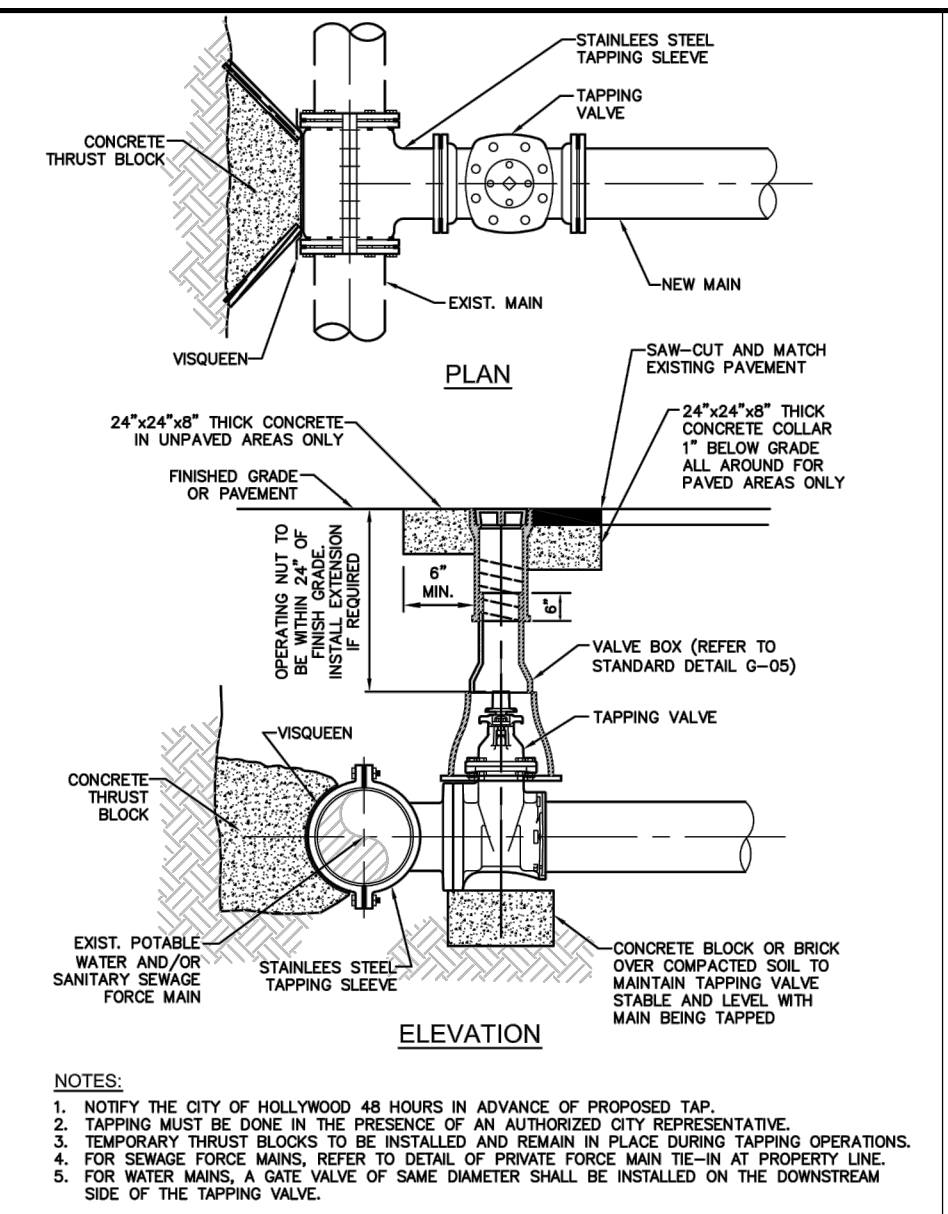
CONFLICTS

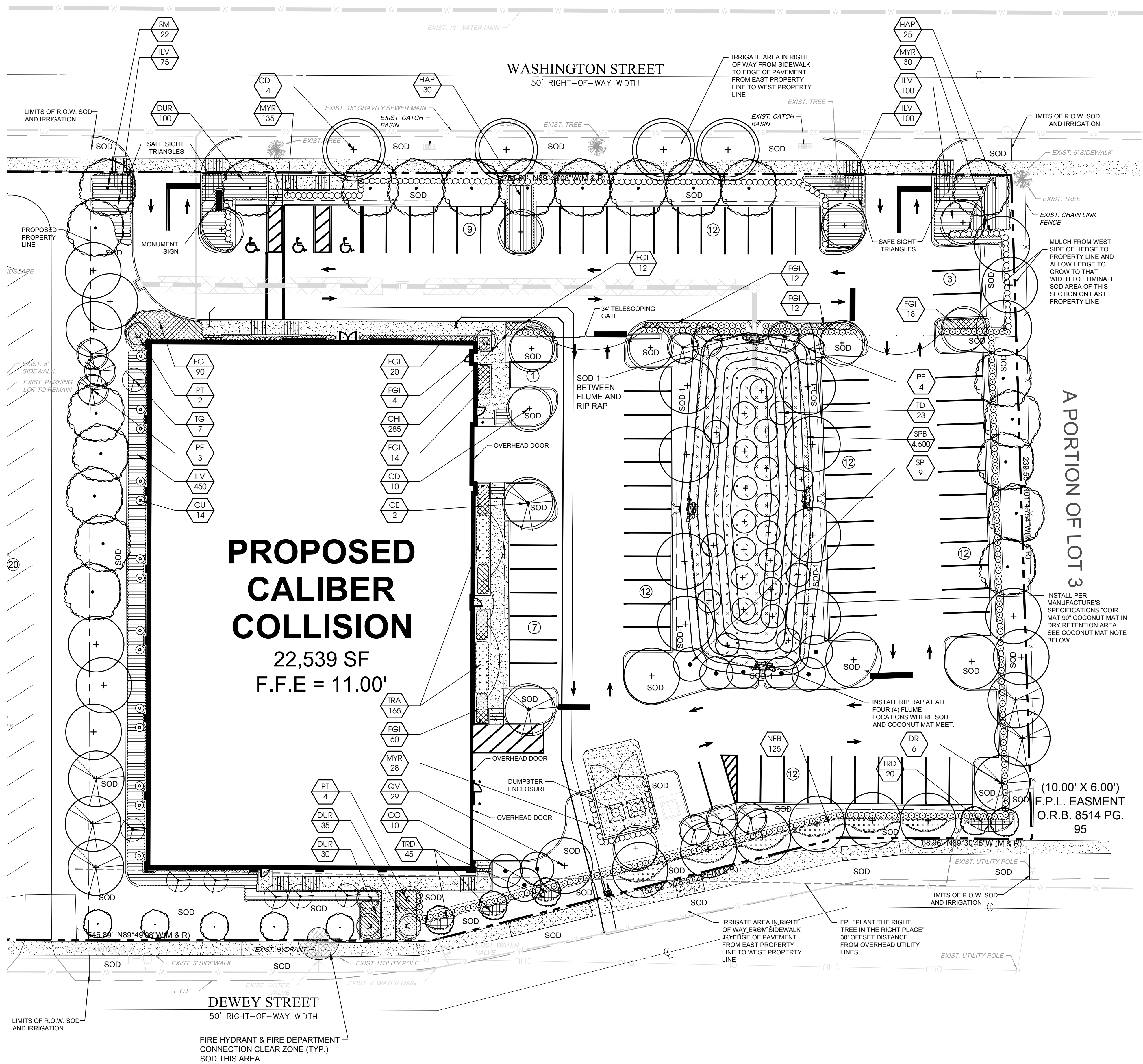
CONFLICT 1:
SEWER TO PASS UNDER STORM
T.O.P. SEWER = 2.62'
APPROX. B.O.P. STORM = 3.62'
CLEARANCE = 12"

GRAPHIC SCALE



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.





COCONUT MAT NOTE:

INSTALL PER MANUFACTURE'S SPECIFICATIONS "COIR MAT 90" COCONUT MAT BY GRANITE ENVIRONMENTAL (WWW.GRANITEENVIRONMENTAL.COM 888-703-9889) WHERE HATCHED AREAS ARE SHOWN TO STABILIZE THE SLOPES OF THE DRY RETENTION AREA TO PREVENT EROSION. INSTALL MAT ON SLOPE OF BANK WHERE HATCHED AREAS ARE SHOWN AND FROM BACK OF CURB ON NORTH SIDE OF THE FENCE TO HATCHED AREA. PLANT MAT AREA WITH SPARTINA GRASS AND COCOPLUM ON NORTH SIDE OF THE FENCE TO THE BACK OF CURB. ON SOUTH SIDE OF FENCE SOD FROM BACK OF CURB WITH BAHIA SOD TO COCONUT MAT AND OVERLAP THE SOD OVER THE EDGE OF THE COCONUT MAT. PIN THE SOD WITH WOODEN DOWELS.

General Notes

1. All utility lines as shown or indicated on the plan shall be screened with Cocoplum plants to three (3) sides.
2. Contractor to include drainage testing for all trees and palms installed. If drainage is inadequate the soil specification item 18 of the landscape specification is not appropriate for site conditions, the soil mixture shall be revised for this site's conditions. The Contractor shall obtain the Owner and Landscape Architect of the poor drainage conditions and write a drainage report to be provided to the contractor of appropriate soil mixture specification to be used.
3. All planted, existing or new species shall be removed from the site area of site prior to issuance of certificate of occupancy.
4. All plantings areas to be irrigated to provide 100% coverage and provide adequate irrigation of landscape areas for the first full growing season; a drip or line system shall be installed to maintain the required vegetation in good health conditions. Shop drawings to be submitted to the irrigation contractor for approval prior to installation.
5. The irrigation system shall be installed and maintained in accordance with the City of Hollywood's order.
6. All required landscape improvements must be inspected and approved by the City of Hollywood prior to the issuance of a Certificate of Occupancy.
7. This plan has been designed to meet with the tree planting requirements to be included within the FPL document titled "Plant the Right Tree in the Right Place" or new (proposed) plantings.
8. Plantings adjacent to fire hydrants shall have a minimum clear radius of 7.5' from the sides and 4' from the rear as required by the NFPA Uniform Fire Code Florida Edition, 18.3.4.1 H. dra. 18.
9. No plantings shall be made without Owner's and the City of Hollywood's approval.
10. Automatic Rain sensor shall be placed on-site as part of the required irrigation system.
11. Required hedges shall be planted and maintained so as to form a continuous, unbroken solid visual screen with a minimum height of three (3) feet, to be attained within one (1) year after planting.
12. Topsoil shall be clear of free of construction debris, weeds, rocks, and insects, pests, and diseases. The topsoil for all planting areas shall be composed of a minimum of fifty (50%) mulch or horticultural acceptability organic material.
13. The use of soil amendments to increase the water holding capacity of sandy soils or improve the drainage of heavy soils may be required.
14. Plant material shall be planted in the root balls of all trees.
15. All hedge material adjacent to chain link fences shall be required to grow to six feet (6') in height and maintained at that height.

Right Of Way Swale Notes

1. Right of way swales adjacent to the project from the east property line to the west property line shall include the following improvements to this scope of work. Scope of work shall include removal of existing driveways, aprons, excavations of limerock and poor soils in swales and replaced with amended soil mat at a depth of eight (8) to twelve (12) inches for a healthy deep turfgrass root system to thrive and sod.

PLANT LIST

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS	WATER USAGE
TREES							
10	CD*	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
4	CD-*	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
2	CE*	CONOCARPUS ERECTUS	GREEN BUTTWOOD	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
10	CU	CORDIA SEBESTENA	GEIGER TREE	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
14	CU	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	#15, 6' x 2"	A.S.	FULL & THICK	LOW
6	DR	DELONIX REGIA	ROYAL POINCIANA	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
7	PE*	PINUS ELLIOTTI	SLASH PINE	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
29	QV*	QUERCUS VIRGINIANA	LIVE OAK	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
22	SM*	SWIETENIA MAHOGANY	MAHOGANY	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
23	TD*	TAXODIUM DISTICHUM	BALD CYPRESS	14' x 5', 3" D.B.H.	A.S.	FULL CANOPY, 4' C.T.	LOW
7	TG	TIBOUCHINA GRANULOS	TIBOUCHINA STANDARD	#35, 6' x 4"	A.S.	FULL CANOPY, 3' C.T.	LOW
PALMS							
6	PT	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	10' C.T.	A.S.	DOUBLE TRUNKS, MATCHED	LOW
9	SP*	SABAL PALMETTO	SABAL PALM	12'-16' C.T.	A.S.	SLICK TRUNKS	LOW
SHRUBS							
285	CH*	CHRYSOBALANUS ICAGO	COCOPLUM	#7, 4' x 2"	2' O.C.	FULL & THICK	LOW
55	HAP*	HAMELIA PATENS	FIREBUSH	#3, 2' x 2"	3' O.C.	FULL & THICK	LOW
193	MYR*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#7, 4' x 2"	2' O.C.	FULL & THICK	LOW
4,600	SPB*	SPARTINA BAKERI	SAND CORDGRASS	B.R. 6"	12' O.C.	FULL & THICK	LOW
LOW SHRUBS							
165	DUR	DURANTA ERECTA	GOLD MOUND	#3, 2' x 2"	2' O.C.	FULL & THICK	LOW
242	FGI	FICUS MICROCARPA 'GREEN ISLAND'	FICUS GREEN ISLAND	#3, 2' x 2"	2' O.C.	FULL & THICK	LOW
725	ILV*	ILEX VOMITORIA	DWARF YAUPOIN HOLLY	#3, 2' x 2"	2' O.C.	FULL & THICK	LOW
125	NEP*	NEPHROLEPIS EXALTATA	BOSTON FERN	#1, 12' x 12"	2' O.C.	FULL & THICK	LOW
65	TRD*	TRIPSACUM DACTYLOIDES DWARF	DWARF FAKAHATCHEE GRASS	#3, 2' x 2"	2' O.C.	FULL & THICK	LOW
165	TRA	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	#1, 8' x 12"	12' O.C.	FULL & THICK	LOW
SOD		STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE SOD			SEE SPECS.	MEDIUM
SOD-1		PASPALUM NOTATUM	BAHIA SOD			SEE SPECS.	LOW

LANDSCAPE DATA

STREET TREES WASHINGTON STREET: 1 TREE / 50' L.F. OF STREET FRONTAGE - LENGTH = 281' REQUIRED = 6 TREES PROVIDED = 6 TREES 2 EXISTING TREES + 4 PROPOSED TREES (QV) = 6 TREES PROVIDED IN R.O.W.	VEHICULAR USE AREA INTERIOR LANDSCAPE: 25% OF OF THE TOTAL S.F. OF PAVED V.U.A. SHALL BE LANDSCAPED V.U.A. = 49,635 S.F. x 25% = 12,409 S.F. REQUIRED = 12,409 S.F. PROVIDED = 13,253 S.F.
STREET TREES DEWEY STREET: 1 TREE / 50' L.F. OF STREET FRONTAGE - LENGTH = 345' REQUIRED = 7 TREES PROVIDED = 7 TREES NOTE: THE TREES WERE PROVIDED ON SITE DUE TO THE EXISTING WATER LINE IN THE PLANTING AREA ALONG THE DEWEY STREET RIGHT OF WAY.	OPEN SPACE: 1 TREE / 1,000 S.F. OF PEROUS AREA IN ADDITION TO THE V.U.A. 14,299 / 1,000 = 31.54 = 14 TREES REQUIRED = 14 TREES PROVIDED = 14 TREES
PERIMETER LANDSCAPE BUFFER WITH PARKING ADJACENT TO WASHINGTON STREET: 1 TREE / 20' L.F. OF STREET FRONTAGE - LENGTH = 264' REQUIRED = 13 TREES PROVIDED = 13 TREES (SM + EXISTING BLACK OLIVE)	TOTAL TREES REQUIRED: REQUIRED = 66 TREES PROVIDED = 116 TREES (3 EXISTING + 113 PLANTED = 116 TREES)
4' TALL HEDGE SETBACK 3' FROM STREET RIGHT OF WAY REQUIRED = 125 SHRUBS PROVIDED = 135 SHRUBS	MITIGATION TREES REQUIRED = 47 MITIGATION TREES PROVIDED = 47 MITIGATION PALMS REQUIRED = 9 MITIGATION PALMS PROVIDED = 9
PERIMETER LANDSCAPE BUFFER WITH PARKING ADJACENT TO DEWEY STREET: 1 TREE / 20' L.F. OF STREET FRONTAGE - LENGTH = 205' REQUIRED = 10 TREES PROVIDED = 10 TREES	TOTAL TREES SPECIES REQUIRED: WHEN THE REQUIRED TREES EQUAL 61-80 TREES, SIX (6) SPECIES ARE REQUIRED TO BE PLANTED REQUIRED = 66 TREES = 6 SPECIES PROVIDED = 10 SPECIES
4' TALL HEDGE SETBACK 3' FROM STREET RIGHT OF WAY REQUIRED = 125 SHRUBS PROVIDED = 145 SHRUBS	MAXIMUM USE OF PALMS: 60% OF REQUIRED TREES SHALL BE NATIVE 66 TREES X 60% = 40 REQUIRED = 40 TREES PROVIDED = 113 PLANTED TREES (97 NATIVE PLANTED TREES) 86%
PARKING LOT TERMINAL ISLANDS: 1 TREE / ISLAND REQUIRED = 16 TREES PROVIDED = 16 TREES (CD, CE & QV)	NATIVE PLANTS: 60% OF REQUIRED TREES SHALL BE NATIVE 66 TREES X 60% = 40 REQUIRED = 40 TREES PROVIDED = 113 PLANTED TREES (97 NATIVE PLANTED TREES) 86%
	50% OF THE REQUIRED SHRUBS SHALL BE NATIVE REQUIRED = 6,620 SHRUBS PROVIDED = 5,983 SHRUBS (90%)

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www.bowmanconsulting.com
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LANDSCAPE PLAN
CALIBER COLLISION HOLLYWOOD
5900 WASHINGTON STREET
CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA

Seal:		
DON'T RE-USE SEAL RE-USE IT ONLY ONCE		
Prepared, Reviewed & Supervised By: []		
Conceptual Design: Group, Inc.		
900 East Ocean Boulevard, Suite 1300		
Stuart, Florida 34904		
(772) 344-2340 LC: 26000198		
Name: [] Jeffrey W. Smith, RLA		
License #: [] LA0001635		
PLAN STATUS		
3/31/2017	CITY COMMENTS	
5/9/2017	CITY COMMENTS	
5/17/2017	CITY COMMENTS	
DATE DESCRIPTION		
JWS	JS	JWS
DESIGN	DRAWN	CHKD
SCALE 1" = 20'		
JOB NO. BOWMAN / CDG		
010430-01-002 / 17-0201		
DATE 3/2/2017		
FILE		
SHEET L 100 [] []		

LANDSCAPE NOTES

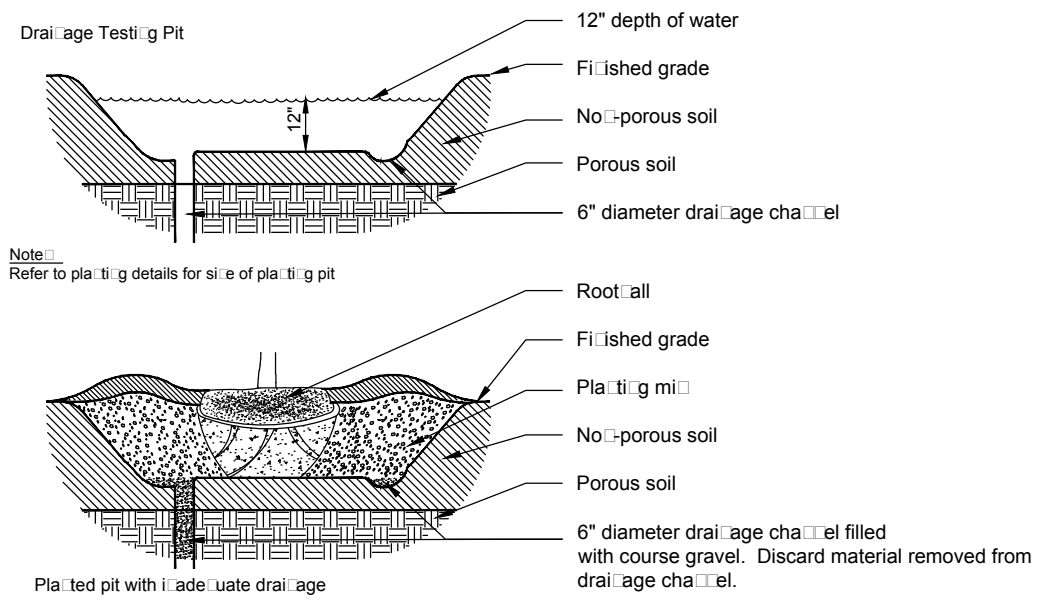
1. All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part 1 and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality; (2) condition of foliage; (3) root system; (4) freedom from pest or mechanical damage; (5) heavily branched and well-foliated according to the accepted normal shape of the species.
2. Undershrub or subshrub of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
3. Project Warranty: All plant material shall be warranted for a period of one (1) year after date of substantial completion against defects, including death and unsatisfactory growth, except for defects resulting from abuse or damage by others or unusual phenomena or inclement weather which are the sole responsibility of the contractor's control.
4. A standard all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
5. The contractor shall verify the location of underground utilities prior to commencing work on a project area.
6. Mulch planting areas with 3" layer of Melaleuca, Eucalyptus, or Eriovomulch. Cypress Mulch is NOT ACCEPTABLE. Plantings to receive mulch throughout entire life span.
7. All plants to be set to ultimate grade. No filling will be permitted around trunks or stems. Mulch to be kept a minimum of 2" away from trunks and stems.
8. Planting trees and shrubs: Excavate hole per planting detail. When plant is set, place additional backfill consisting of a 50% mixture of Peat humus and natural soil around the base and sides of hole, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Water again after placing final layer of backfill and before installing mulch.
9. Curbside street trees: 3 directions with galvanized wire, through flexible hose chaffing guards, with wooden stakes anchored immediately after planting. (See Detail).
10. Trees and shrubs shall be fertilized with a complete natural organic fertilizer with a ratio of approximately 3:1:2 or 3:1:3 (e.g., one bag applied 12-4-8). Similar analysis such as 16-4-8 (4:1:2) can also be used. Fertilizers that are slow release, controlled release, sulphur coated or with litroge: as IBDU or ureaformaldehyde have extended release period. Thirt: to fit: per cent of the litroge: should be water soluble or slow release.

Palms should receive a complete granular fertilizer formulated for palms ("Palm Special") at a rate of 5 to 8 lbs. per palm.

Agiform 20-10-5 two (2) ounce granular plantings to let material be substituted for granular fertilizer. If utilized, the following rates shall be utilized: Position planting hole. Backfill halfway up the root ball. Place tablet(s) inside root ball about 1" from root tips. Do not place tablet(s) at bottom of hole.

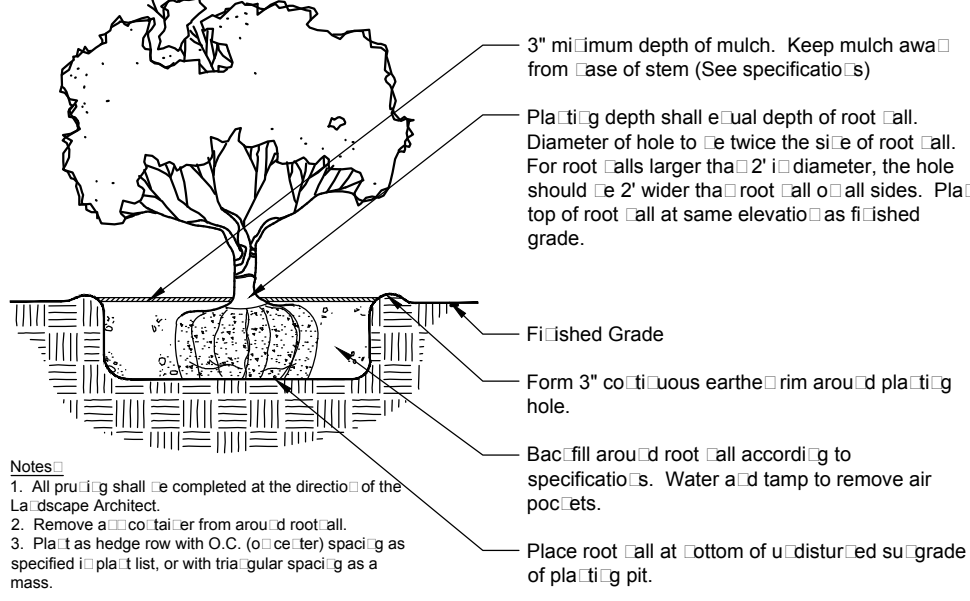
- 1 Gallo = 1 Tablet
3 Gallo = 2 Tablets
25 Gallo = 8 B&B Trees 2 per 1" caliper

11. Mail trees, shrubs, and other plants: water, cultivate, and weed as required for healthy growth. Restore planting saucers and mulch. Tighten and repair stakes and guaging and reset trees and shrubs to proper grade or vertical position as required. Spraying is necessary to keep trees and shrubs free of insects and disease. The contractor shall begin maintenance immediately after planting and shall continue maintenance through final acceptance when Certificate of Occupancy is issued to the General Contractor. The governing agency or project is released by the General Contractor to Client.
12. Prune trees and shrubs only to remove damaged branches.
13. Planting Law: Provide clear, strong, rooted, uniform sized strips of Stenolophorum secundatum - St. Augustine "Florilam" sod (unless otherwise noted in Plant List), machine stripped not more than 24 hours prior to laying. Grade and roll prepared law surface. Water thoroughly to create mud-soil condition. Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.
14. Mail trees: positive drainage, no planting is to local drainage.
15. Drainage Test: Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
- A) Dig each planting pit to the minimum specified size.
- B) Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
- C) When a drainage channel is required, the drainage channel must be directed down through the impervious soil and into porous soil. (See Drainage Test Detail)
- D) Discard all material removed from the drainage channel.
- E) When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.
16. All fertilizers shall meet the governing agencies (local, County, etc.) ordinances and application requirements.



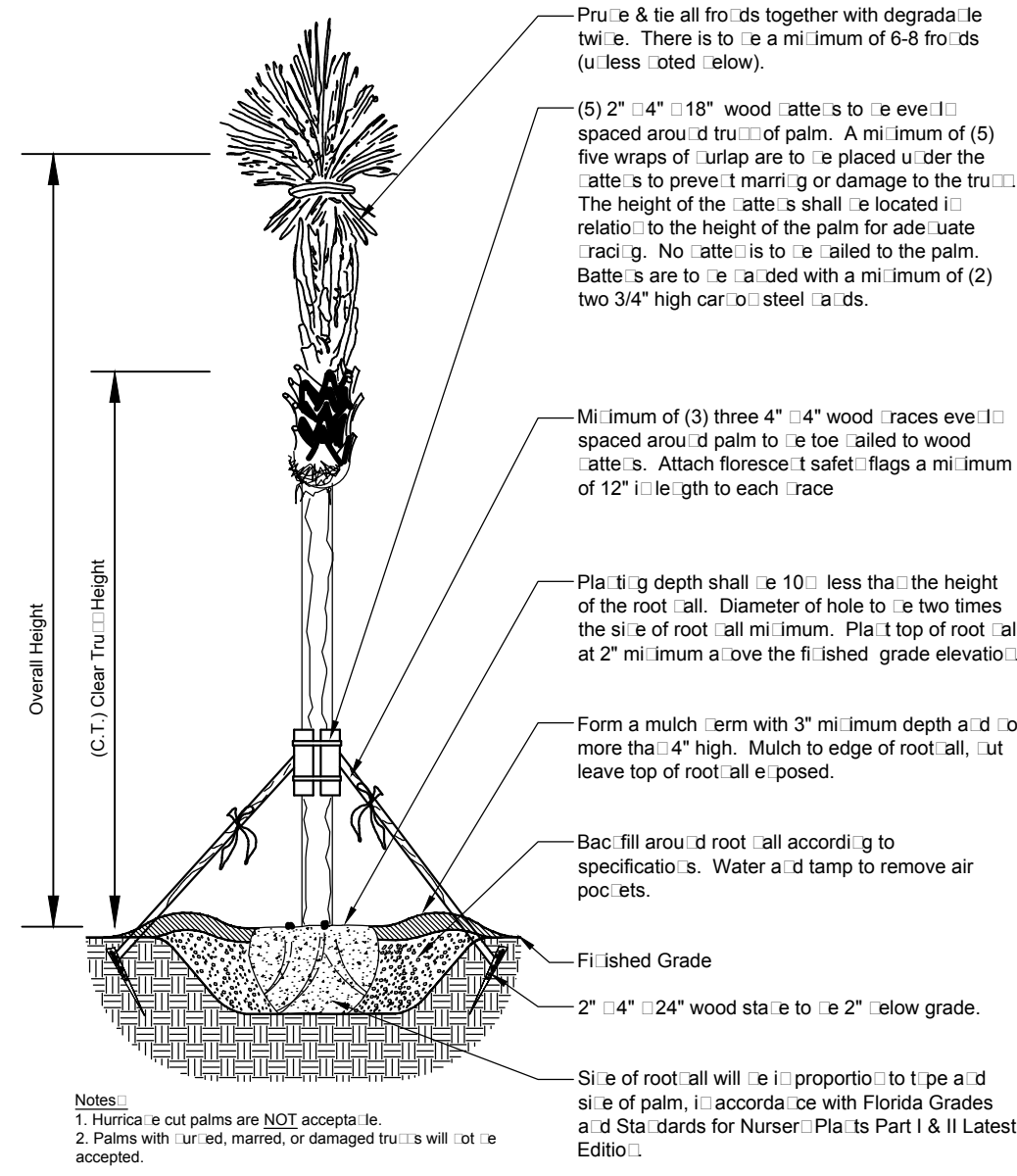
Drainage Test Pit Detail

Not to Scale



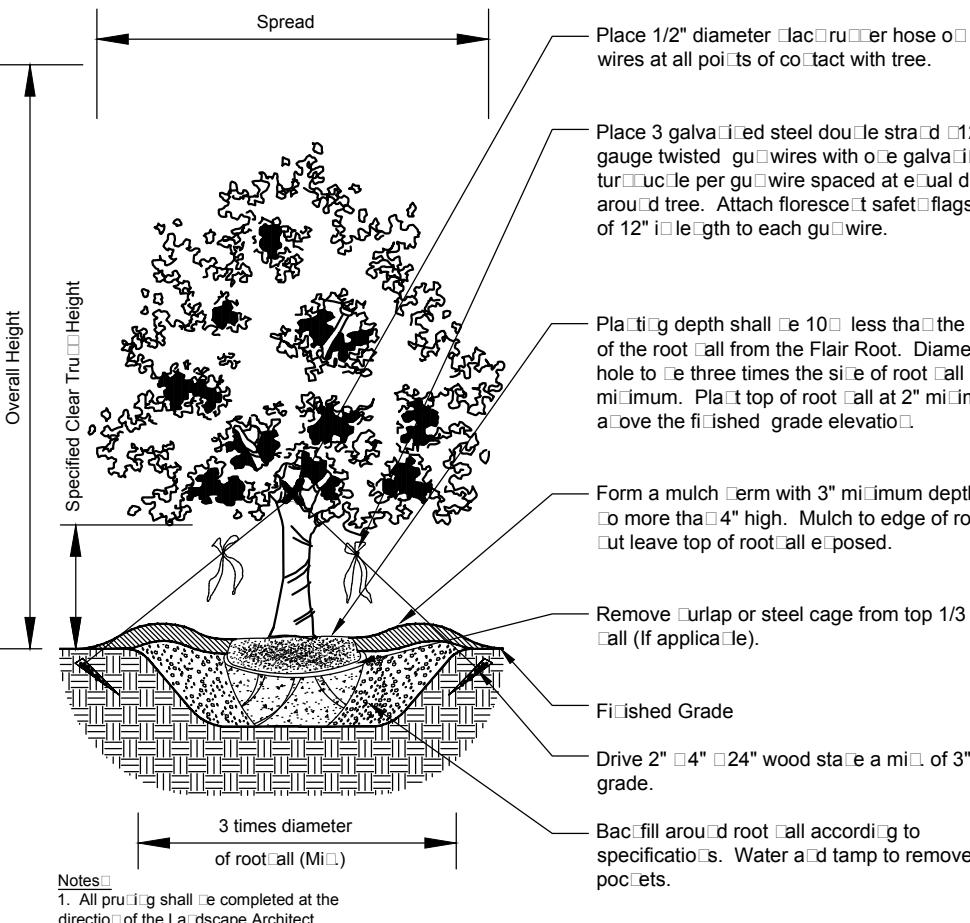
Shrub Detail

Not to Scale



Palm Planting Detail

Not to Scale



Tree Planting Detail

Not to Scale

Conceptual Design Group, Inc.

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 130d
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LC: 26000198

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.



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Phone: (954) 712-7482
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LANDSCAPE PLAN
CALIBER COLLISION HOLLYWOOD
5900 WASHINGTON STREET
CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA

Seal: [Blank Seal Area]
Prepared, Reviewed & Supervised By: [Blank]
Conceptual Design Group, Inc.
900 East Ocean Boulevard, Suite 130d,
Stuart, Florida 34994
(772) 344-2340 LC: 26000198
Name: Jeffrey W. Smith, RLA
License #: LA0001635

PLAN STATUS	
3/31/2017	CITY COMMENTS
5/9/2017	CITY COMMENTS
5/17/2017	CITY COMMENTS

DATE	DESCRIPTION	
JWS	JS	JWS
DESIGN	DRAWN	CHKD

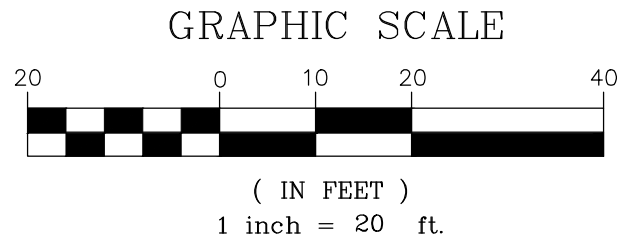
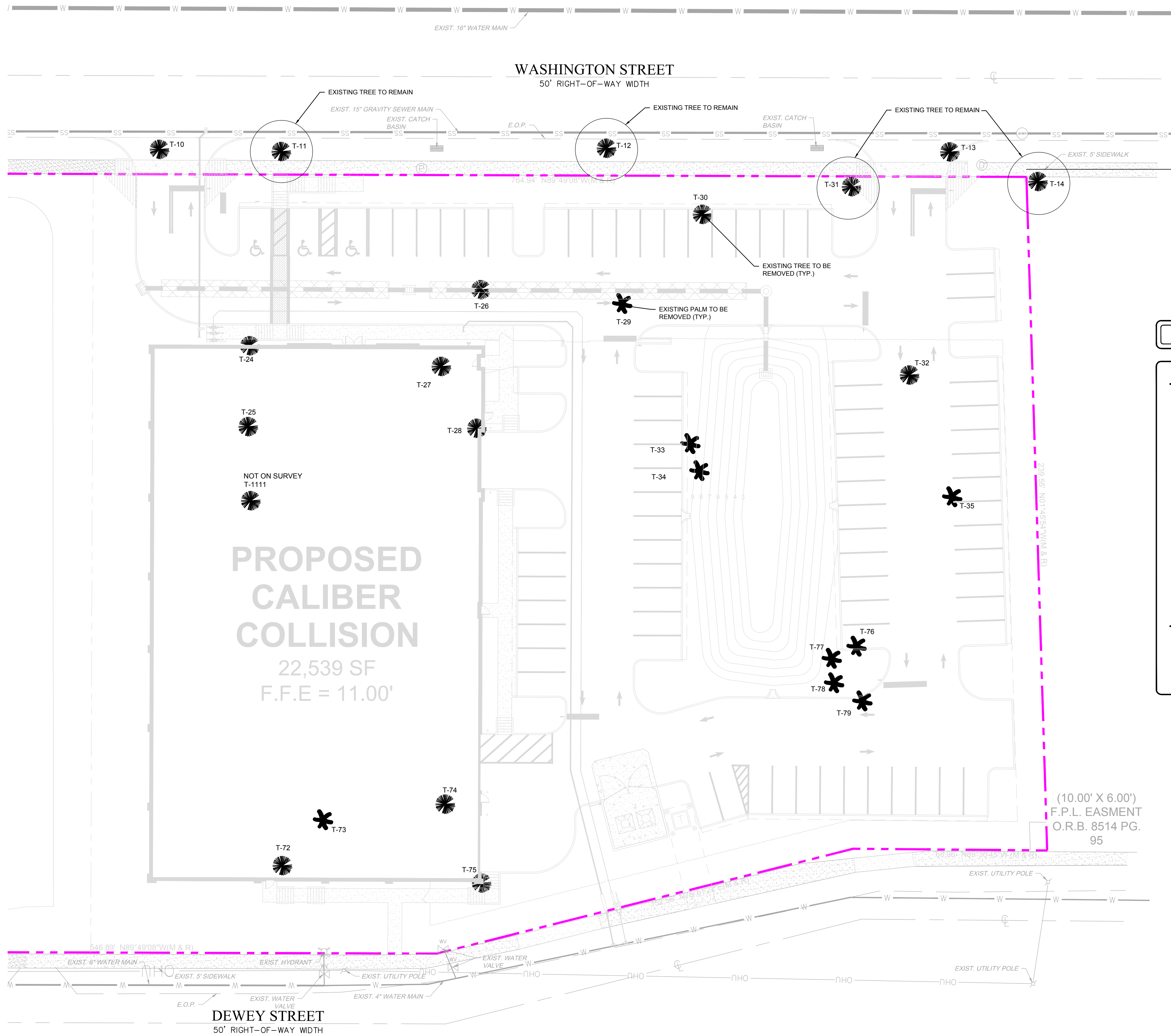
SCALE 1" = 20'

JOB No. BOWMAN / CDG
010430-01-002 / 17-0201

DATE 3/2/2017

FILE

SHEET L of



**Conceptual
Design
Group, Inc.**

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 130d
Stuart, Florida 34994
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LC: 26000198

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landscape architect and are not to be
used for other projects except by written
permission from the landscape architect.
Report any discrepancies immediately
to the landscape architect.



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TREE DISPOSITION & MITIGATION DATA

TREES TO BE REMOVED:

	TYPE:	DIAMETER:	HEIGHT:	SPREAD:
T-10	LIVE OAK	12"	20'	20'
T-13	LIVE OAK	6" - DEAD	12'	4'
T-24	MAHOGANY	18"	60'	40'
T-25	MAHOGANY	24"	40'	40'
T-26	LIVE OAK	48"	40'	35'
T-27	BLACK OLIVE	12"	30'	30'
T-28	BLACK OLIVE	15"	30'	30'
T-29	SABAL PALM	12" - DEAD	30'	30'
T-30	UNKNOWN	12"	30'	25'
T-32	LIVE OAK	12"	30'	25'
T-33	SABAL PALM	12"	30'	25'
T-34	SABAL PALM	12"	30'	25'
T-35	SABAL PALM	12"	30'	25'
T-72	UNKNOWN	15" - DEAD	30'	30'
T-73	SABAL PALM	15"	30'	40'
T-74	BLACK OLIVE	20"	30'	40'
T-75	BLACK OLIVE	18"	30'	40'
T-76	SABAL PALM	18"	30'	40'
T-77	SABAL PALM	18"	30'	40'
T-78	SABAL PALM	18"	30'	40'
T-79	SABAL PALM	18"	30'	40'
T-1111 (TREE NOT ON SURVEY)	MAHOGANY	18"	50'	35'

MITIGATION REQUIREMENTS:

TOTAL TREES REMOVED = 13
TOTAL INCHES REMOVED = 230"
TOTAL REPLACEMENT INCHES REQUIRED = 230"
TOTAL 3" D.B.H. REPLACEMENT TREES REQUIRED = 77
PROVIDED = 66 REQUIRED TREES CHANGED FROM 2" TO 3" D.B.H. = 66"
47 ADDITIONAL 3" D.B.H. TREES PLANTED = 141"
3 EXISTING TREES = 51"
ADDITIONAL NON-CODE REQUIRED ITEMS PROVIDED:
1. LOW PLANTINGS IN WEST BUFFER (ILV, CU, & TG) TO ELIMINATE SOD
2. PLANTED DRY RETENTION AREA (QV, PE, TD, SP & SPB) TO ELIMINATE SOD
3. ADDED NON-REQUIRED TREES TO DRY RETENTION EDGE TO SHADE PARKING STALLS IN FUTURE WITH TREE CANOPY.
4. PLANTED SOME PARKING LOT ISLANDS TO ELIMINATE SOD
5. ADDITIONAL LOW PLANTINGS IN SOUTH LANDSCAPE BUFFER TO ELIMINATE SOD.
6. INCREASED SIZES OF TREES FROM 2" TO 3" D.B.H.
7. REBUILDING SWALES AND IRRIGATING SOD IN BOTH R.O.W.s TO ENSURE SURVIVABILITY IN FUTURE.
8. ADDED ADDITIONAL TREES IN BUFFERS TO CREATE MORE TREE CANOPY AREA ON SITE.
9. ADDED PLANTINGS ON SOUTH BUFFER WALKWAY INCLUDING PALMS TO SHADE USERS OF WALKWAY.
10. PROVIDED ADDITIONAL VARIETIES IN TREE SPECIES.

TREES TO REMAIN:

	TYPE:	DIAMETER:	HEIGHT:	SPREAD:
T-11	LIVE OAK	12"	30'	30'
T-12	LIVE OAK	15"	30'	30'
T-14	OFF-SITE	OFF-SITE	40'	30'
T-31	BLACK OLIVE	24"	40'	30'

TOTAL PROVIDED = 230"

TOTAL SABAL PALMS REMOVED = 9
TOTAL SABAL PALM PLANTED ON SITE = 9

LANDSCAPE PLAN

CALIBER COLLISION HOLLYWOOD

5900 WASHINGTON STREET

CITY OF HOLLYWOOD BROWARD COUNTY, FLORIDA

Seal :
Prepared, Reviewed & Supervised By :
Conceptual Design Group, Inc.
900 East Ocean Boulevard, Suite 130d,
Stuart, Florida 34994
(772) 344-2340 LC: 26000198
Name : Jeffrey W. Smith, RLA
License # : LA0001635
PLAN STATUS
3/31/2017 CITY COMMENTS
5/9/2017 CITY COMMENTS
5/17/2017 CITY COMMENTS

DATE DESCRIPTION
JWS JS JWS
DESIGN DRAWN CHKD
SCALE 1" = 20'
JOB No. BOWMAN / CDG
010430-01-002 / 17-0201
DATE 3/2/2017
FILE
SHEET L 1 of 1

KEY NOTES:

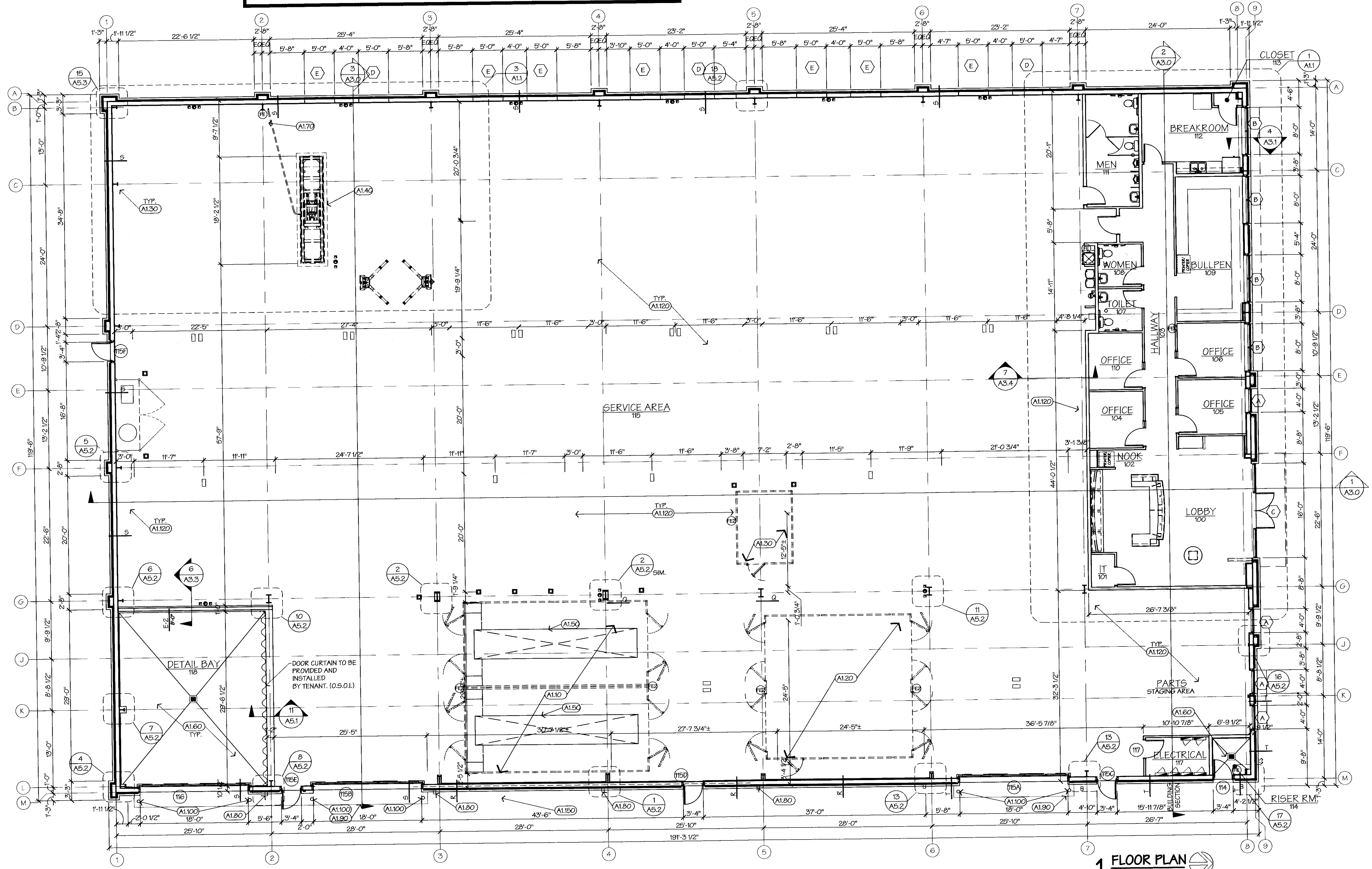
- (A1.10) PAINT BOOTH #1 - WITH UNDER SLAB TUNNELS - SEE INCLUDED EQUIPMENT DRAWINGS
- (A1.20) PAINT BOOTH #2 - SEE INCLUDED EQUIPMENT DRAWINGS
- (A1.30) MIX ROOM - SEE INCLUDED EQUIPMENT DRAWINGS
- (A1.40) RECESSED CONCRETE SLAB (RE: STRUCTURAL & CAR-O-LINER DRAWINGS FOR ADDITIONAL INFORMATION).
- (A1.50) TUNNELS UNDER SLAB (RE: STRUCTURAL AND PAINT BOOTH DRAWINGS FOR ADDITIONAL INFORMATION).
- (A1.60) RECESS SLAB 1" SLOPE TO DRAIN 1/4:12
- (A1.70) VERIFY EXACT LOCATION FOR 2" I.D. MIN. PVC SLEEVE. LOCATION AND EXACT PLACEMENT OF EQUIPMENT WITH OWNER (REF: SHEET A4.2).
- (A1.80) PRE-FINISHED METAL DOWNSPOUTS
- (A1.90) 2'-0" CONCRETE APRON
- (A1.100) CONCRETE FILLED BOLLARD WITH PLASTIC SLEEVE (RE: SP.1.1)
- (A1.110) NOT USED
- (A1.120) 4" WIDE STRIPING PAINTED TRAFFIC YELLOW AT 16" O.C.

GENERAL NOTES:

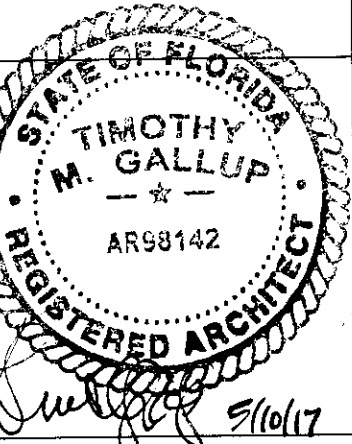
- ALL DIMENSIONS ARE FACE OF GYP. OR FACE OF CMU UNLESS NOTED OTHERWISE.
- ALL DOORS UNLESS OTHERWISE NOTED TO BE LOCATED 4" OFF THE ADJACENT WALL.
- NOT ALL EQUIPMENT IS SHOWN FOR CLARITY (REFER SHEET A0.1 FOR ALL EQUIPMENT).
- FIRE SPRINKLER/ALARM SYSTEM TO BE DESIGNED BY A LICENSED FIRE PROTECTION CONTRACTOR. INSTALL LATERAL LINES TO BE HELD TIGHT AGAINST THE BOTTOM OF STRUCTURE.
- GC TO INSTALL FIRE EXTINGUISHERS WHERE SHOWN ON PLANS. (RE: LS1.0)
- REFER SHEET A3.4 FOR WALL TYPE, CONTROL JOINT, AND METAL STUD INFORMATION.
- SEE SHEET LS1.0 FOR ADDITIONAL SIGNS AND FIRE EXTINGUISHER NOTES

LEGEND:

- STONE/ BRICK VENEER
- NON-RATED WALL
- DOOR TAG
- PARTITION TYPE
- PARTITION HEIGHT
- 5 LB (2A10B,C) FIRE EXTINGUISHER ON WALL BRACKET (SEE LS1.0)
- 10 LB (3A40B,C) FIRE EXTINGUISHER ON WALL BRACKET (SEE LS1.0)
- FIRE EXTINGUISHER CABINET w/ 5 LB. FIRE EXTINGUISHER (SEE LS1.0)
- FIRE DEPARTMENT CONNECTION
- DOWNSPOUT BY PEMB SUPPLIER
- FE
- FE2
- FE3
- FD
- D.S.



1 FLOOR PLAN
Scale: 1/8" = 1'-0"
NORTH



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NO.	DATE	BY	DESCRIPTION	REVISIONS

CALIBER COLLISION
5900 WASHINGTON STREET
HOLLYWOOD, FLORIDA
PROJECT NO. 162006

FILE NAME: 162006
DRAWN BY: REN
DATE: 5/10/2017
REVIEWED BY: TMG

A1.0

LEGEND:

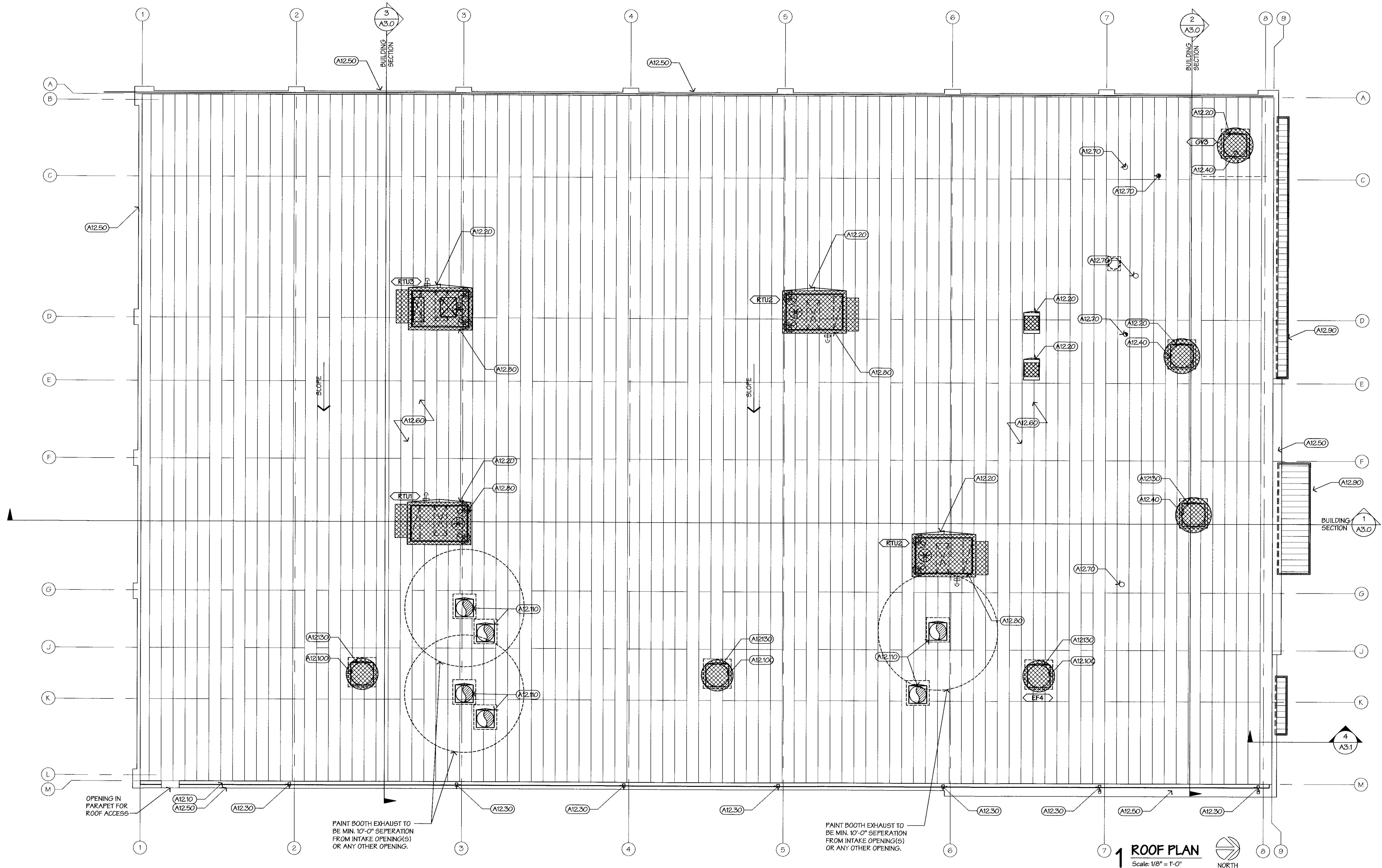
- (A12.10) GUTTER - COOL DARK BRONZE (PROVIDED BY METAL BUILDING COMPANY).
- (A12.20) CRICKET METAL ROOF
- (A12.30) METAL DOWNSPOUT - COOL DARK BRONZE (PROVIDED BY METAL BUILDING COMPANY).
- (A12.40) GRAVITY VENT w/ CAP - RE. MEP
- (A12.50) PRE-FINISHED, SLOPED SHEET METAL RAKE CAP/TRIM - COOL DARK BRONZE (PROVIDED BY METAL BUILDING COMPANY).

- (A12.60) PRE-FINISHED STANDING SEAM METAL ROOF PANEL (PROVIDED BY METAL BUILDING COMPANY) *
- (A12.70) MISC. FLUE AND VENT CAPS RE. MEP
- (A12.80) ROOF CURB FOR RTU to BE PROVIDED BY THE METAL BUILDING MFR.
- (A12.90) ROD BRACED PRE-FABRICATED METAL AWNING - COOL SIERRA TAN
- (A12.100) EXHAUST FAN WEATHERPROOF ROOF CAP

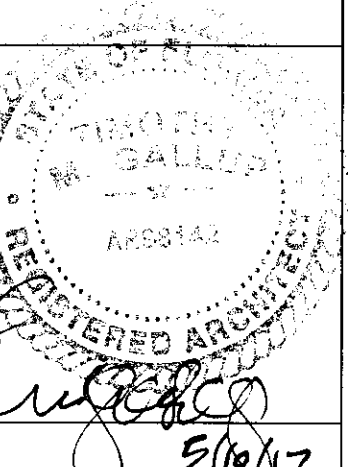
- (A12.110) PAINT BOOTH CURBS (MTL. BUILDING COMPANY TO PROVIDE, COORDINATE WITH PAINT BOOTH VENDOR)
- * PRE-FINISHED METAL ROOF TO MEET ONE OF THE FOLLOWING CRITERIA:
- 3 YEAR SOLAR REFLECTANCE INDEX OF 64, PER ASTM E 1980.
 - 3 YEAR SOLAR REFLECTANCE OF 0.55 AND THERMAL EMITANCE OF 0.75 PER CRITERIA LISTED IN IECC TABLE C401.3. VARCO PRUDEN ROOF PANELS TO BE COOL EGYPTIAN WHITE - EN51375

GENERAL NOTES:

1. RE. MECH. DRAWINGS FOR ADDITIONAL VENTS AND FLUE LOCATIONS



**CALIBER
COLLISION**



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architect of record

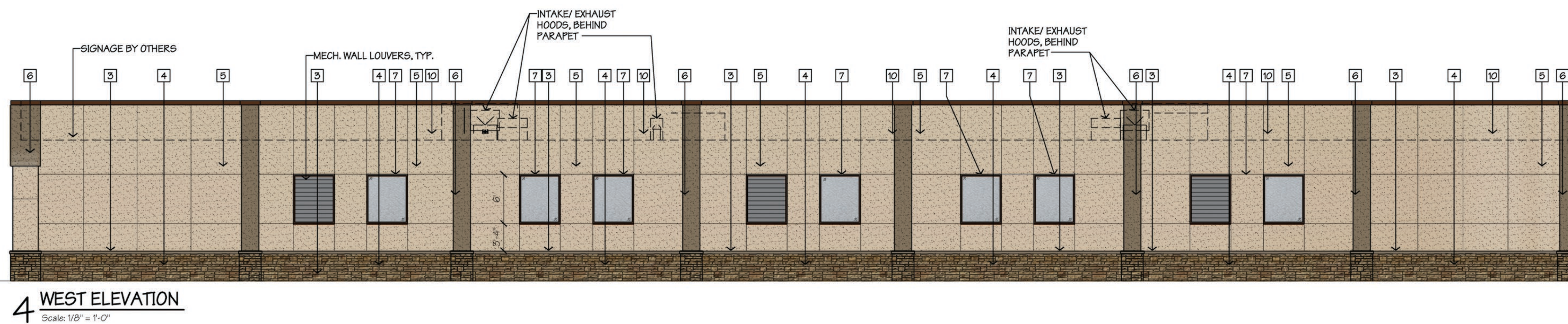
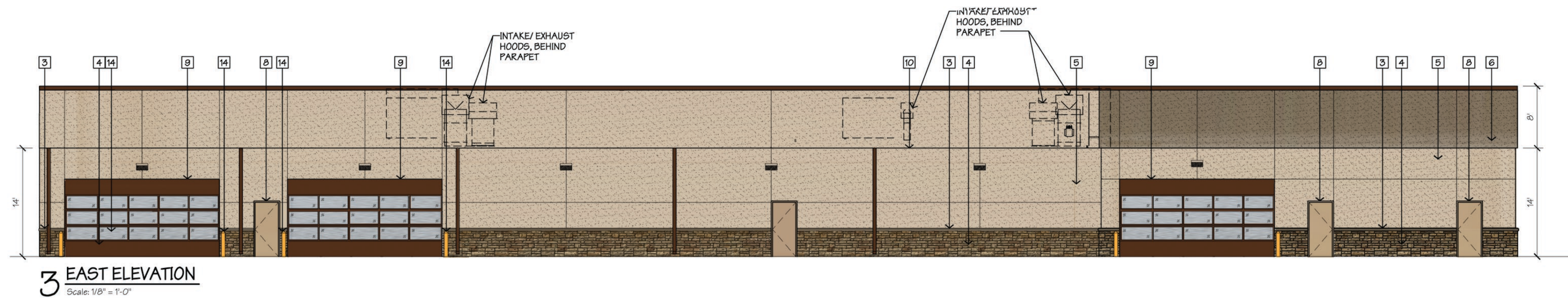
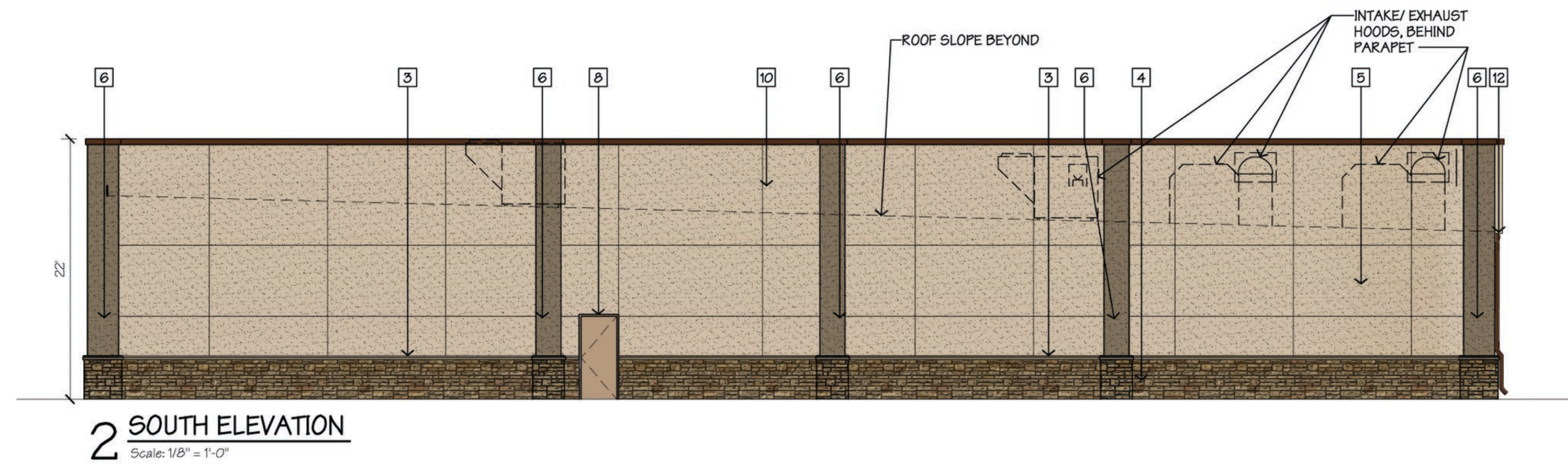
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Tulsa, Oklahoma 74116
918 445 9800
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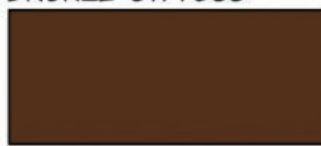



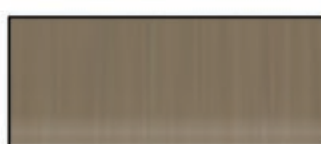




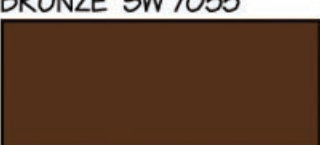
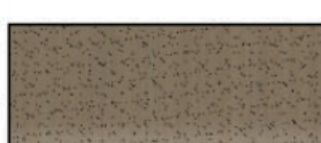



NO.	DATE	BY	DESCRIPTION
1			REVISIONS

**CALIBER
COLLISION**
5900 WASHINGTON STREET
HOLLYWOOD, FLORIDA
PROJECT NO. 182006

FILE NAME: 162006
DRAWN BY:
DATE: 5/10/2017
REVIEWED BY: TMG

A1.4

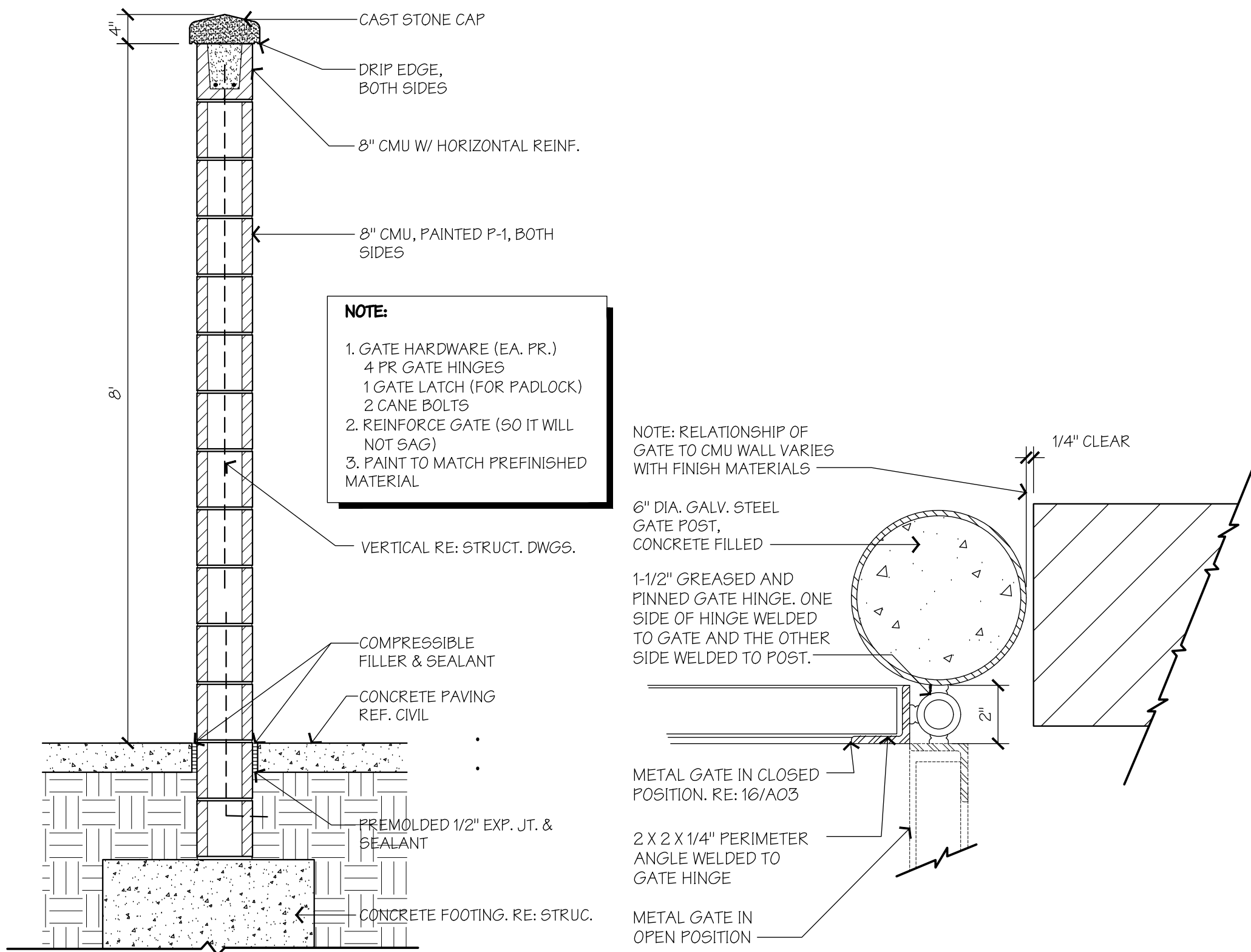


EXTERIOR FINISH SCHEDULE WITH COLORS					
KEY#	ITEMS:	COLOR:	KEY#	ITEMS:	COLOR:
1	METAL AWNING	MATCH -ENDURING BRONZE SW 7055 	8	EXTERIOR MAN DOOR/FRAME SHERWIN WILLIAMS	NOMADIC DESERT SW 6107 
2	E.I.F.S./ ACCENT COLOR	COLOR TO BE BLACK 	9	EXTERIOR O.H./ROLL-UP DOORS SHERWIN WILLIAMS	ENDURING BRONZE SW 7055 
3	CAST STONE MFR VARIES (CG TO PROVIDE ARCHITECT SAMPLES FOR APPROVAL)	BUFF 	10	BACK SIDE PARAPET MTL BLDG MFR	COOL SIERRA TAN 
4	NATURAL LIMESTONE	BRAZOS BLEND 	11	ROOF SURFACE MTL BLDG MFR	ACRYLIC COATED GALVALUME 
5	E.I.F.S. / FIELD DRYVIT	VAN DYKE #110 	12	GUTTERS/DOWNSPOUTS	MATCH -ENDURING BRONZE SW 7055 
6	E.I.F.S. / CORNICE & ACCENT DRYVIT	BAVARIAN WOOD #448 	13	INSULATED LOW-E GLAZING	CLEAR 
7	ALUMINUM STOREFRONT KAWNEER	DARK BRONZE ANODIZED ALUMINUM 	14	BOLLARDS	SAFETY YELLOW 



1 DUMPSTER ENCLOSURE

Scale: NTS

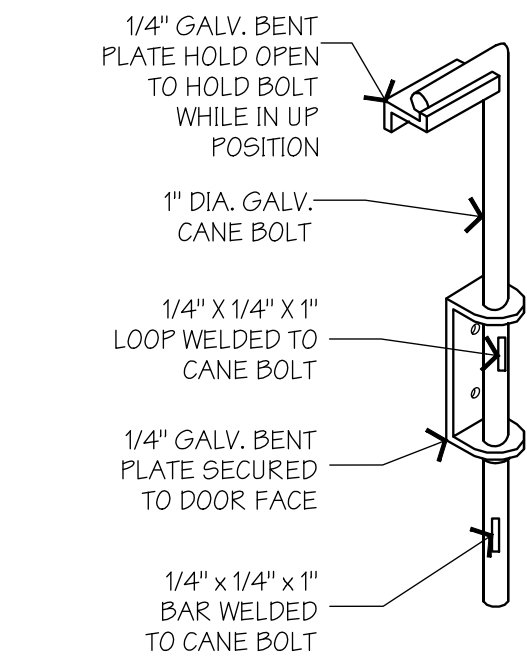


2 DUMPSTER ENCL. WALL SECTION

Scale: NTS

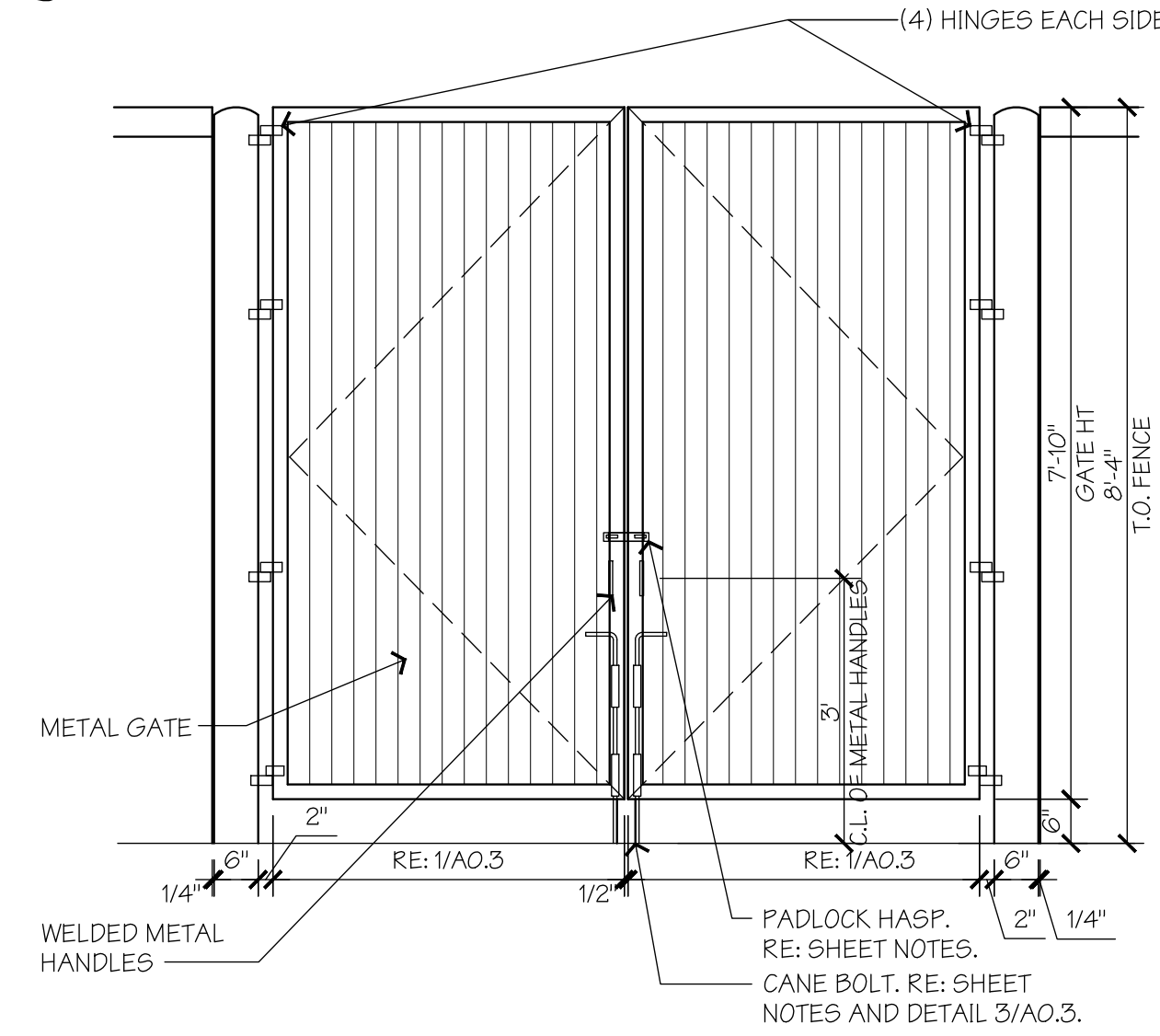
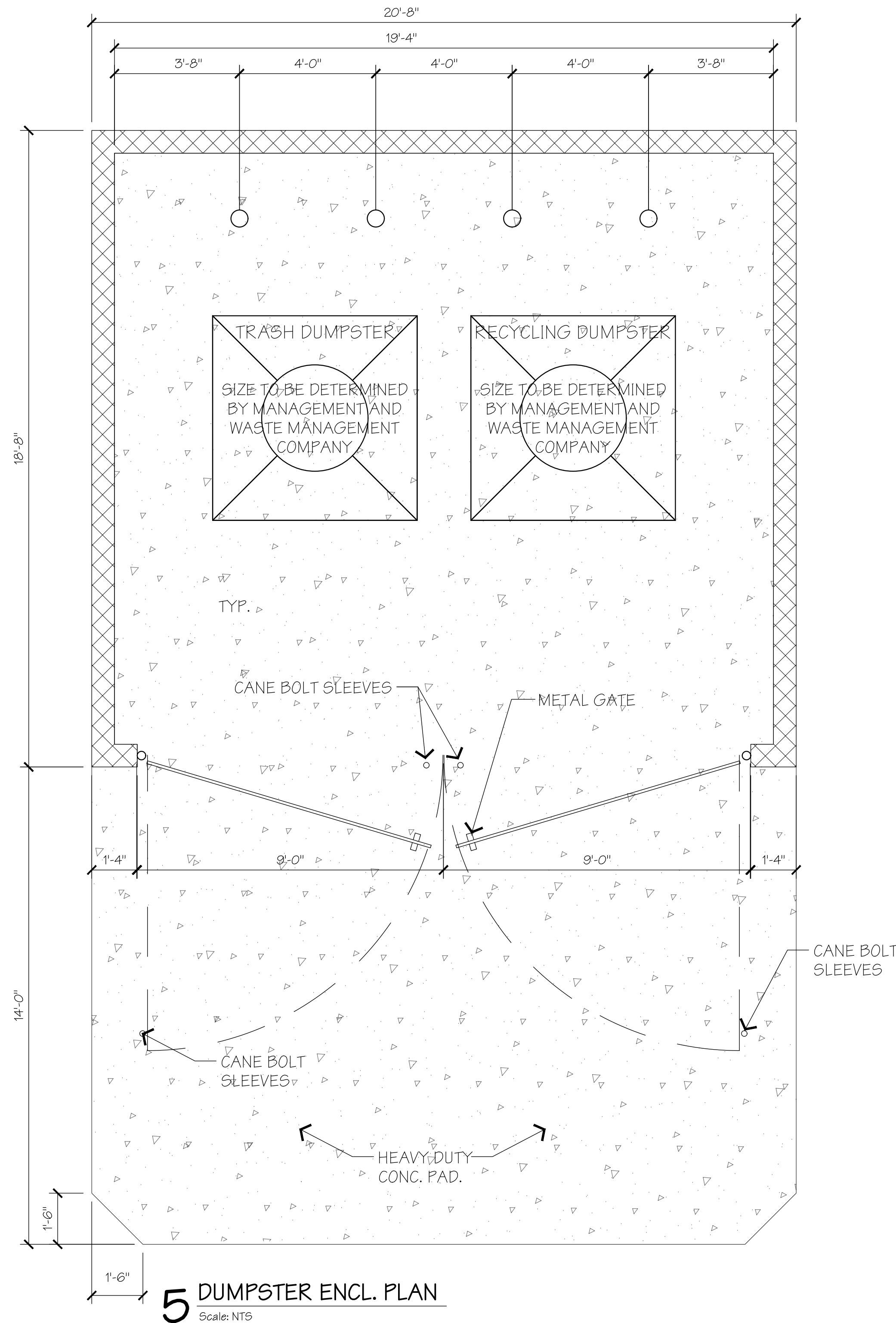
3 GATE DETAIL

Scale: NTS



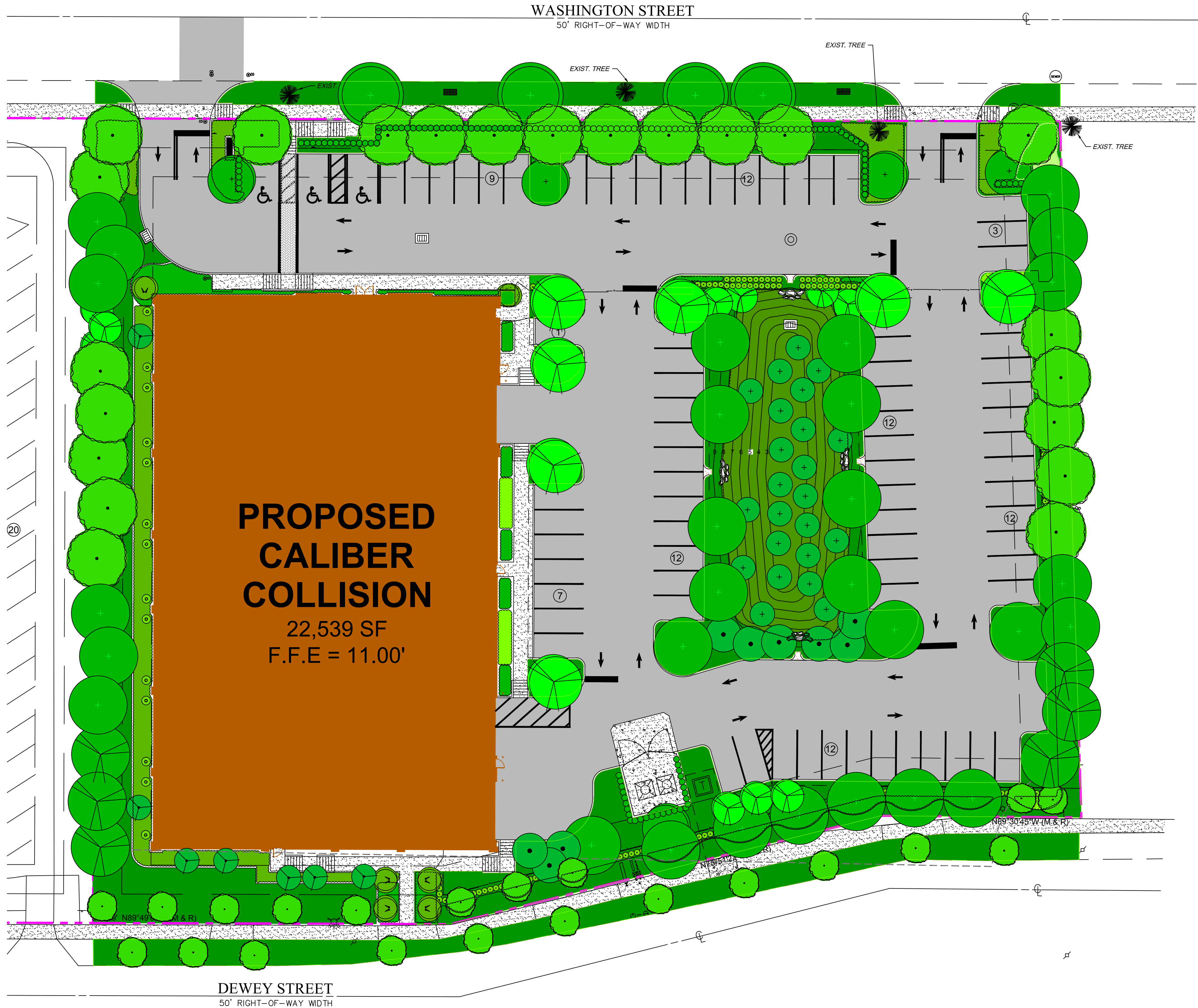
4 CANE BOLT DETAIL

Scale: NTS



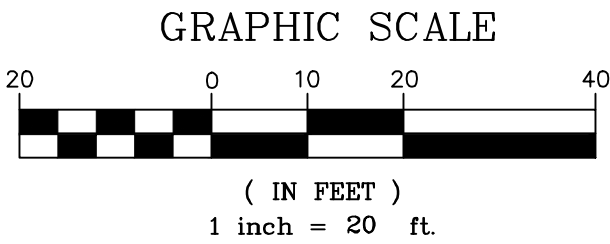
6 DUMPSTER ENCL. GATE

Scale: NTS



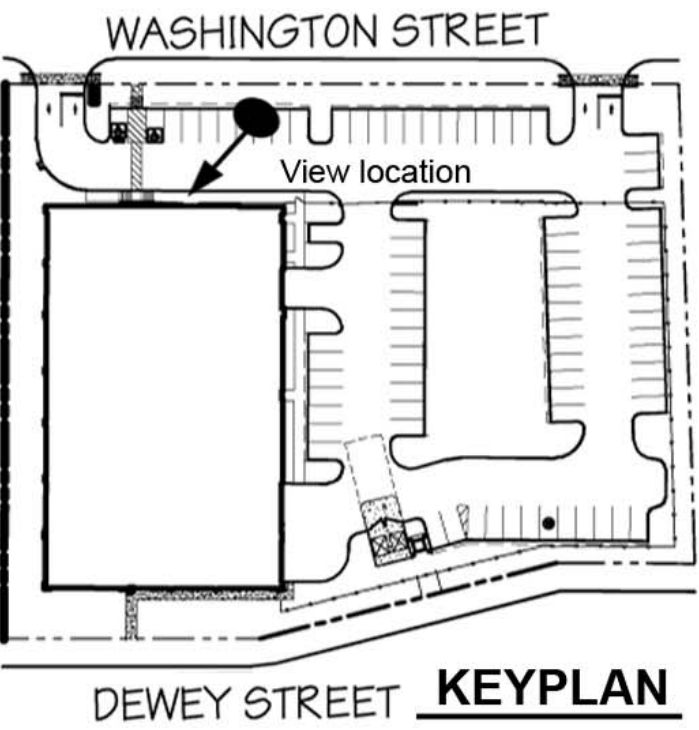
LANDSCAPE RENDERING

SCALE 1"=20'





View #1
Looking toward
entry



Revisions

timothy m. gallup
architect of record

601 S. BOULDER AVE., SUITE 808
TULSA, OKLAHOMA 74119
918.949.9600

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VICTORY REAL ESTATE DEVELOPMENT
DALLAS, TX.

PROPOSED SITE PLAN

STATE RD7/US 441
AND WASHINGTON ST.
HOLLYWOOD, FL.

PROJECT NO. 161014

FILE NAME: 162006

DRAWN BY: REN

DATE: 06/01/2017

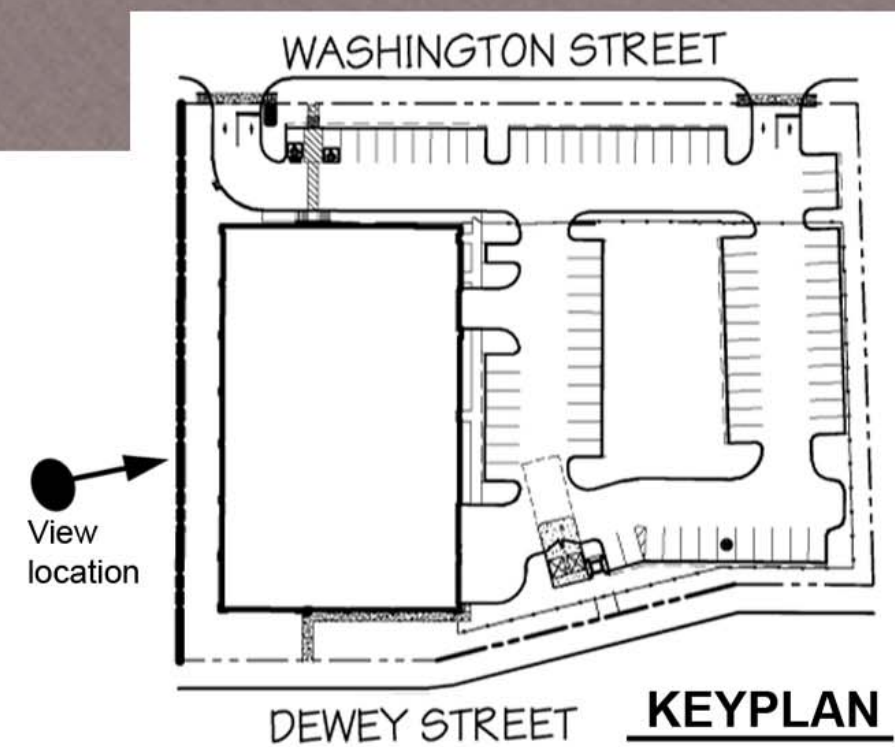
REVIEWED BY: TMG

1

DRAWING NUMBER



**View #2
Looking East**



Revelone

timothy m. gallup
architect of record

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TULSA, OKLAHOMA 74119
918.949.9600

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VICTORY REAL ESTATE DEVELOPMENT
DALLAS, TX.

PROPOSED SITE PLAN

STATE RD7/US 441
AND WASHINGTON ST.
HOLLYWOOD, FL.

PROJECT NO. 161014

FILE NAME: 162006

DRAWN BY: REN

DATE: 06/01/2017

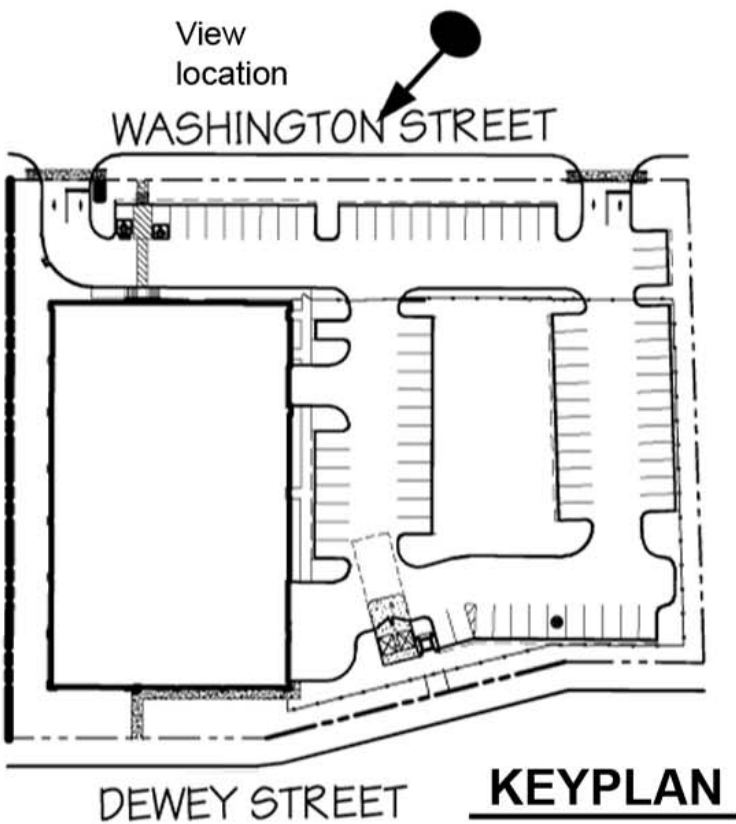
REVIEWED BY: TMG

2

DRAWING NUMBER



View #3
Looking SW on Washington



Revelone

timothy m. gallup
architect of record
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TULSA, OKLAHOMA 74119
918.949.9600
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VICTORY REAL ESTATE DEVELOPMENT
DALLAS, TX.

PROPOSED SITE PLAN

STATE RD7/US 441
AND WASHINGTON ST.
HOLLYWOOD, FL.

PROJECT NO. 161014

FILE NAME: 162006

DRAWN BY: REN

DATE: 06/01/2017

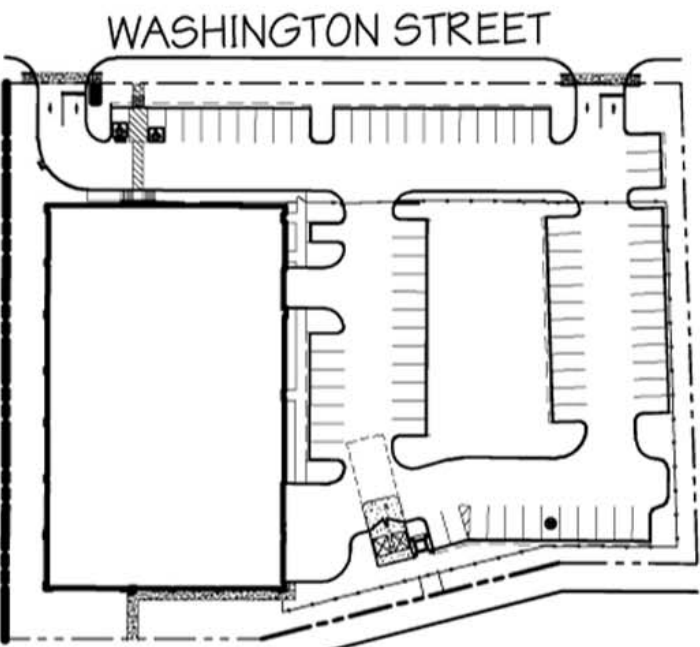
REVIEWED BY: TMG

3

DRAWING NUMBER



View #4
Looking N from Dewey St.



KEYPLAN

Revelone

timothy m. gallup
 architect of record
 601 S. BOULDER AVE., SUITE 808
 TULSA, OKLAHOMA 74119
 918.949.9600

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VICTORY REAL ESTATE DEVELOPMENT
 DALLAS, TX.

PROPOSED SITE PLAN

STATE RD7/US 441
 AND WASHINGTON ST.
 HOLLYWOOD, FL.

PROJECT NO. 161014

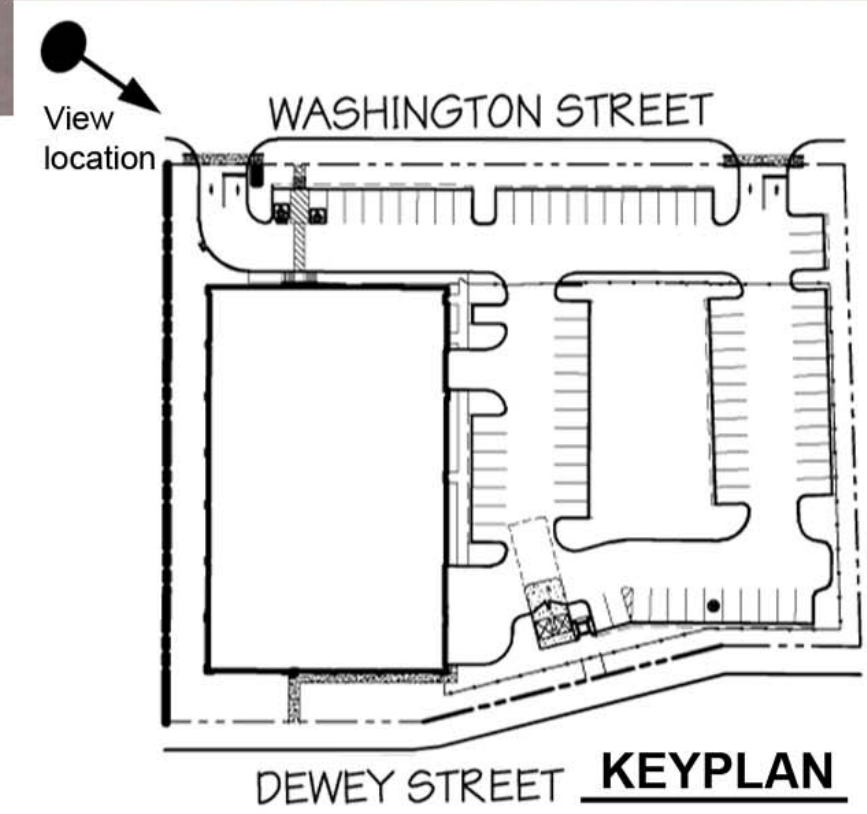
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 DRAWN BY: REN
 DATE: 06/01/2017
 REVIEWED BY: TMG

4

DRAWING NUMBER



View #5
Looking toward entry
from Washington Street



Revelone

timothy m. gallup
architect of record
801 S. BOULDER AVE., SUITE 808
TULSA, OKLAHOMA 74119
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VICTORY REAL ESTATE DEVELOPMENT
DALLAS, TX

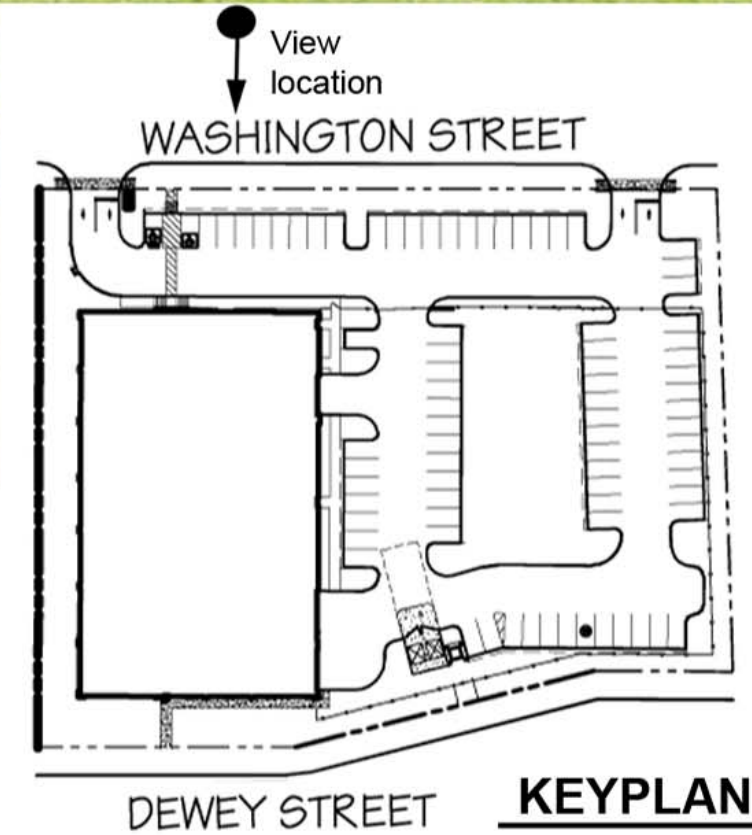
PROPOSED SITE PLAN
STATE RD7/US 441
AND WASHINGTON ST.
HOLLYWOOD, FL.
PROJECT NO. 161014

FILE NAME: 162006
DRAWN BY: REN
DATE: 06/01/2017
REVIEWED BY: TMG

5
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View #6
Looking S. on Washington



Revelone

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VICTORY REAL ESTATE DEVELOPMENT
DALLAS, TX.

PROPOSED SITE PLAN
STATE RD7/US 441
AND WASHINGTON ST.
HOLLYWOOD, FL.
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6
DRAWING NUMBER

ATTACHMENT B

Land Use & Zoning Map



DEVELOPMENT SERVICES
PLANNING

Legend

Subject Property

Streets

Major Roads

LAND USE

TOC

ZONING

C-4

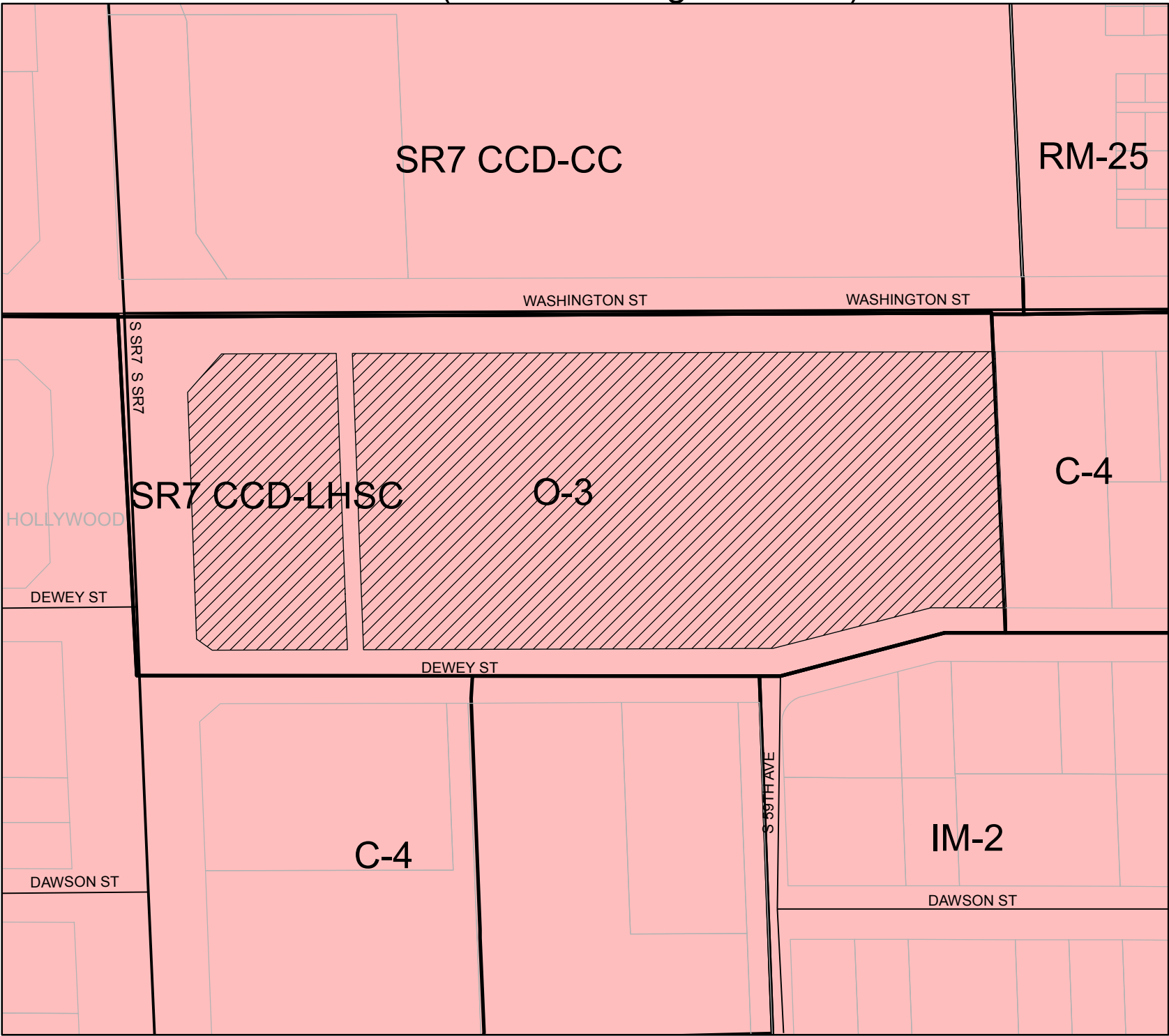
IM-2

O-3

RM-25

SR7 CCD-CC

SR7 CCD-LHSC



0 30 60 120 Feet

