



**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
PLANNING DIVISION**

DATE: July 13, 2017 **FILE:** 17-S-31
TO: Planning & Development Board
VIA: Alexandra Carcamo, Principal Planner 
FROM: Jean-Paul W. Perez, Planning Administrator 
SUBJECT: Alliance Hollywood, LLC requests a Special Exception for a temporary modular classroom trailer located at 502 North 28 Avenue (Paragon Academy).

REQUEST

Special Exception for a temporary modular classroom trailer (Paragon Academy).

RECOMMENDATION

Special Exception: Approval, with the following conditions:

- a. The capacity of the school shall be limited to 525 students as approved by Resolution 13-DPS-13.
- b. Comply with all conditions of Resolution 13-DPS-13.
- c. The use of the temporary modular classroom trailer shall be valid for a period of 36 months or until the issuance of Building Permits for renovation/improvements to the existing school, whichever is first. At the end of such period, the temporary modular classroom trailer shall be removed.
- d. During the time period of temporary modular classroom trailer use, vehicular activity shall operate in accordance with Sheet A1.01, entitled "Key Plan."

REQUEST

Alliance Hollywood, LLC requests a Special Exception approval for a temporary modular classroom trailer on an existing charter school site located at 502 North 28 Avenue. The site currently contains seven, one-story buildings, and a sanctuary building. The applicant is proposing one (1) modular classroom. Student enrollment is not increasing and shall remain at 525 students. The Applicant purports the modular classroom is simply to accommodate existing capacities for staff and enrolled students. The proposed modular building is 1,725 square feet. Modular buildings are typically used by the School Board to accommodate school needs such as crowded classrooms. The one-story building is similar in height, approximately 13-feet, with the existing buildings. The proposed design is typical of a prefabricated building and compatible with existing facilities.

Paragon Academy was established in 2005 and Sunshine Elementary Charter School opened in 2006. The school currently accommodates 36 staff members and 525 students ranging from kindergarten to eighth grade; however, the school has been approved to tenth grade, but has never formally enrolled students for anything beyond middle – which ends at eighth grade. The site is generally located between

i-95 and North 28 Avenue, between Pierce Street and Fillmore Street and is approximately 6.5 acres. The ample site massing of land allows for the expansion of the school without being detrimental to the surrounding multifamily residential area. Pursuant to the City's Land Development Code, an educational facility is an allowable use within a residential zoning district as an established Special Exception.

At this time, no modifications are proposed for the existing parking area; therefore, the site will continue to provide parking and pick-up/drop-off areas as previously established. The existing parking lot contains 68 spaces parking stalls, including two (2) accessible parking stalls. The play courts along the north plot line serve as a bus pick-up/drop-off loop, and are utilized for additional parking as necessary for special events. Moreover, current hours of operation from 7:30 a.m. to 6:00 p.m. will be maintained since the school offers standard educational and aftercare programs. With the addition of the modular classroom, there shall be no change for the pick-up and drop-off times. The same patterns of use are expected to be maintained.

SITE INFORMATION

Owner/Applicant:	Alliance Hollywood, LLC
Address/Location:	502 North 28 Avenue
Net Size of Property:	281,119 sq. ft. (±6.45 acres)
Land Use:	Medium Residential
Zoning:	Medium High Density Multiple Family District (RM-18)
Existing Use of Land:	Education Facility/Place of Worship

ADJACENT LAND USE

North:	Medium Residential
South:	Medium Residential
East:	Low Residential, Medium Residential
West:	Medium Residential

ADJACENT ZONING

North:	Medium High Density Multiple Family (RM-18)
South:	Medium High Density Multiple Family (RM-18)
East:	Single Family (RS-3), Medium High Density Multiple Family (RM-18)
West:	Medium High Density Multiple Family (RM-18)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Located within the Medium Residential Land Use Designation, the project is surrounded by residential uses. The goal of the Land Use Element is to promote adequate school site and school buildings to serve the population. Permitted uses in areas designated residential include community facilities, schools, and churches. Additionally, the Comprehensive Plan encourages the distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property. The requested Special Exception will allow the applicant to provide additional classroom space for existing students, and is not an increase of the enrollment numbers, student population or on-site staff for the school. The proposed request is consistent with Comprehensive Plan based upon the following:

Goal: *Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

Objective 4: *Maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted.*

CONSISTENCY WITH THE CITYWIDE MASTER PLAN:

The subject property is located in Sub-Area 3, East Central Hollywood, is defined by Dixie Highway to the east, Stirling Road to the north, Pembroke Road to the south and I-95 to the west. This area includes the residential neighborhoods of Liberia/Oakwood Hills, North Central and South Central. Most of the commercial/retail activities in the area are along Hollywood Boulevard and at Oakwood Plaza. Hollywood Boulevard, the primary commercial corridor in this area, is predominantly office and neighborhood commercial, which includes both retail and service oriented business. The proposed request is consistent with City-Wide Master Plan based upon the following:

Guiding Principles and Policies:

- *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*
- *Attract and retain businesses that will increase the economic opportunities for the City while enhancing the quality of life for residents.*

The request is to provide a temporary modular classroom trailer to an existing charter school. The new modular building will be necessary to accommodate additional students. The proposed development would meet the above policies by allowing a needed space by the school while taking into consideration the surrounding properties and making the necessary improvements in order to help mitigate any possible impacts which may occur.

ANALYSIS OF SPECIAL EXCEPTION CRITERIA as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.3(G) (1). Approval, Approval with Conditions, or Denial will be based on the following criteria:

Special Exception: **For a temporary modular classroom trailer.**

CRITERION 1: The proposed use must be consistent with the principles of the City's Comprehensive Plan.

ANALYSIS: The intent of the Comprehensive Plan's Land Use element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property. Trailers are structures commonly associated with educational facilities, and in many instances have not proven to cause health safety and general welfare issues of persons working or residing in the vicinity. Approval for the Special Exception will permit the Applicant to better meet the needs of the school, thus improving the quality of the school's services, and allowing people working or residing within the vicinity an alternative option in education for their children. As it relates to the City, approval will not be detrimental or injurious to property and improvements in the vicinity or general welfare of the City. The temporary modular classroom trailer, as stated by the applicant, will be a temporary use, in anticipation for a permanent solution. As such, Staff recommends **the use of the temporary modular classroom trailer shall be valid for a period of 36 months or until the issuance of Building Permits for renovation/improvements to the existing school, whichever is first. At the end of such period, the temporary modular classroom trailer shall be removed.**

FINDING: Consistent, with the imposition of Staff's condition.

CRITERION 2:	The proposed use must be compatible with the existing land use pattern and designated future land use and with existing natural environment and other real property within the vicinity.
ANALYSIS:	This approval for Special Exception is to allow for the temporary use of a temporary modular classroom trailer as additional classroom space for the charter school. Pursuant to Resolution No. 13-DPS-13, the existing number of students for the charter school was deemed appropriate and adopted through Special Exception. More specifically, that a charter school was appropriate and compatible with the existing neighborhood, land use pattern and designated future land use for a maximum capacity of 525 students, as such Staff recommends the approval be conditioned to comply with all conditions of Resolution 13-DPS-13 and do not exceed 525 students.
FINDINGS:	Consistent, with the imposition of Staff's condition.
CRITERION 3:	That there will be provisions for save traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.
ANALYSIS:	The request complies with all required setbacks and exceeds current parking requirements. Traffic circulation and parking locations are not being modified as part of this request and shall be maintained. The proposed request is compliant to the maximum extent possible with City Regulations.
FINDINGS:	Consistent.
CRITERION 4:	That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.
ANALYSIS:	As mentioned hereinbefore, the request complies with all required setbacks and has adequate existing buffering to control any adverse effects of noise, light, dust and other potential nuisances.
FINDINGS:	Consistent.
CRITERION 5:	The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.
ANALYSIS:	Modular classroom trailers are structures commonly associated with educational facilities. In many instances, they have not proven to affect public welfare or be the impetus of issues for persons working or residing in the vicinity. Approval for the Special Exception will permit the Applicant to better meet the needs of the school, thus improving the quality of the school's services, and allowing persons working or residing within the vicinity a quality option in education for their children. As it relates to the City, approval will not be detrimental or injurious to the property and improvements in the vicinity or general welfare of the City. The temporary modular classroom trailer, as stated by the applicant, will be a temporary use, in anticipation for a permanent solution.
FINDINGS:	Consistent.
CRITERION 6:	The subject parcel must be adequate in shape and size to accommodate the proposed use.

ANALYSIS: As mentioned before, the Applicant has worked extensively with the Engineering and Planning Division, to ensure pedestrian and vehicular circulation continues to function adequately on the site and to ensure proper accommodations are arranged. The site is adequate in shape and size for the proposed use. As such, Staff recommends **that during the use of the temporary modular classroom trailer, all vehicular activity shall operate in conformance with Sheet A1.01, entitled "Key Plan."**

FINDINGS: Consistent, with the imposition of Staff's condition.

CRITERION 7: The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the Zoning Classification in which such use is proposed to be located and all other requirements for such particular use set forth elsewhere in the Zoning Code, or otherwise adopted by the City Commission.

ANALYSIS: The City's Zoning and Land Development Regulations define a Special Exception as *[a] use that is not generally appropriate in a district, but would be appropriate if it is consistent with the review criteria listed for Special Exceptions*. As stated herein above, Staff finds the Applicant's request consistent with the Special Exception criteria set for in Article 5 of the City's Zoning and Land Development Regulations.

Because modular classroom trailers are structures commonly associated with educational facilities in the State of Florida, and have in many instance have not proven to negatively impact public welfare or issues of persons working or residing in the vicinity, the proposed use is appropriate at the subject location. The trailer meets all other zoning requirements regarding parking, and setbacks. Therefore, the proposed use is consistent with the criterion.

FINDINGS: Consistent.

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Resolution No. 13-DPS-13
ATTACHMENT C: Land Use and Zoning Map

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 05.15.17

Location Address: 502 N. 28th Avenue

Lot(s): 1-6 LESS S 10 Block(s): 1-26 Subdivision: LITTLE RANCHES

Folio Number(s): 5142 16 02 5950

Zoning Classification: RM-18 Land Use Classification: MRES

Existing Property Use: CHARTER SCHOOL Sq Ft/Number of Units: 37,071SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 13-DCP-13

- ☒ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: ADDITION OF 1,725 SF MODULAR CLASSROOM BUILDING.
NO INCREASE IN STUDENT CAPACITY.

Number of units/rooms: NA Sq Ft: 1,725 SF

Value of Improvement: \$120,000 Estimated Date of Completion: 08.31.17

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: ALLIANCE HOLLYWOOD LLC

Address of Property Owner: 19950 W COUNTRY CLUB DR STE 800 AVENTURA FL 33180

Telephone: 786.251.8501 Fax: _____ Email Address: sz@esjcp.com

Name of Consultant/Representative/Tenant (circle one): J. SCOTT MIRE / CONSILIUM

Address: 3400 ROBBINS ROAD, POMPANO FL 33062 Telephone: 954.788.3884

Fax: _____ Email Address: SMIRE@CONSILIUMATLANTIC.COM

Date of Purchase: 07.02.2012 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 5/15/2017

PRINT NAME: Arnaud Sithon

Date: _____

Signature of Consultant/Representative: _____

Date: 5/15/17

PRINT NAME: J. SCOTT MIRE

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

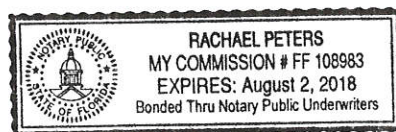
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for the Modular Classroom Addition _____ to my property, which is hereby made by me or I am hereby authorizing J. Scott Mire _____ to be my legal representative before the Planning and Development _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 15 day of 2017

[Signature]

Notary Public
State of Florida



Signature of Current Owner

Print Name

Arnaud Sithon

My Commission Expires: 8/2/18 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

CRITERIA STATEMENT

The applicant, Charter BC Hollywood, makes this application for the expansion of the existing Special Exception school use for the addition of a 1,728 square foot modular classroom building for on behalf of the property tenant(s) Paragon Academy of Technology and Sunshine Elementary Charter School. There will be no increase of the student population as the result of this application.

This application conforms to the applicable criteria of the Code as follows:

a. The proposed use is consistent with the principles of the City's Comprehensive Plan. Quality schools and quality education help meet the objectives of the Comprehensive plan by

- Preserving and enhancing single-family residential areas
- Providing for continued growth potential directed to specific and adequate areas.
- Attracting and retaining businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.
- Promoting the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

b. The proposed use is compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.

A neighborhood school has existed and operated on this property since the mid-1950's. This use is consistent with the historical structure of the City, the Zoning Code and the Future Land Use Plan.

c. There are provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.

The current school has been in operation at this location for several years and has demonstrated, by function, adequate pedestrian and vehicular controls for both on-site and off-site traffic.

These patterns of use are expected to remain consistent with the expanded use.

d. There are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.

The campus is located on a generous 6.5 acres with substantial setbacks between buildings and adjacent properties. The grounds of the campus have large athletic fields, courts, and playgrounds, all beneath a large mature oak tree canopy. The school has no illuminated fields or courts and generally does not produce objectionable amounts of noise, light, dust, or other nuisances.

e. The proposed use, singularly or in combination with other Special Exceptions, is not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.

Schools, especially A-Rated schools, are generally regarded at an asset to the community providing vital services.

The proposed building is consistent in scale in character with the other structures on campus, and provides for a height, appearance, orientation and relationship that is harmonious with the neighborhood.

f. The subject parcel is adequate in shape and size to accommodate the proposed use. The site is efficiently rectangular and occupied approximately 6.5 acres.

g. The proposed use is consistent with the definition of a Special Exception and meets the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.



Site of addition



Building 1



Building 4 and Playground



Buildings 1 and 3 and athletic fields



Building 1 and Cafeteria



Building 1 and 2

PARAGON ACADEMY & SUNSHINE ELEMENTARY

MODULAR CLASSROOM BUILDING

05.15.17

INDEX OF DRAWINGS

A0.0	COVER
1 of 2	SURVEY
2 of 2	SURVEY
A1.01	KEY PLAN / SITE PLAN
A1.02	DIMENSIONED SITE PLAN
L1.01	LANDSCAPE PLAN
A1	FLOOR PLAN
A2	ELEVATIONS

LEGAL DESCRIPTION

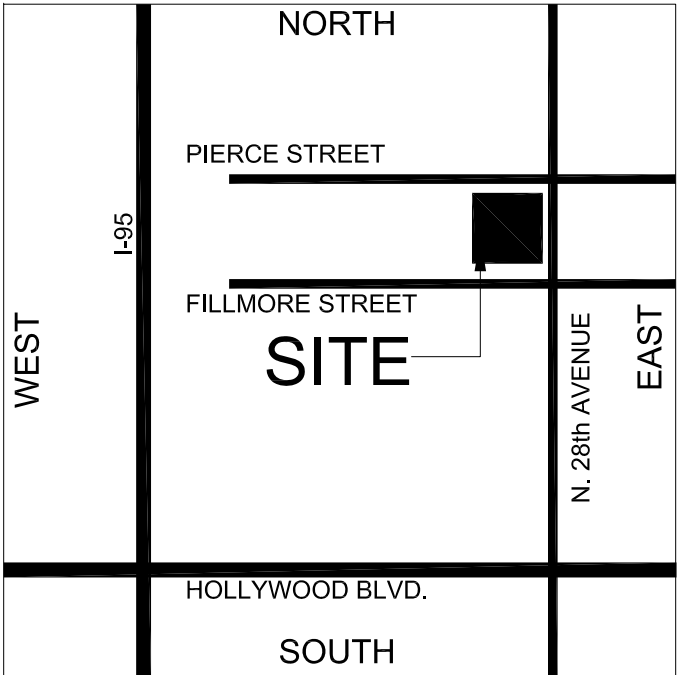
HOLLYWOOD LITTLE RANCHES 1-26 B LOTS 1 THRU 6
LESS S 10 THEREOF FOR R/W,& LOTS 7 & 18 THRU 24 BLK
39

FOLIO: 5142 16 02 5950

SCOPE OF WORK

ADDITION OF A 1,725 SF MODULAR CLASSROOM AND
LIMITED ASSOCIATED SITE WORK.

LOCATION MAP



CONSILIUM ATLANTIC, INC.
3400 Robbins Rd.
Pompano Beach, FL 33062
tel. 954.788.3884
fax. 954.788.3874
consiliumatlantic.com
COPYRIGHT 2013, BY CONSILIUM ATLANTIC, INC. ALL RIGHTS RESERVED.

CONSILIUM design build

AA 260000722
CGC 1506349

Paragon Academy
Modular Classroom
Building
502 N. 28th Avenue
Hollywood
Florida

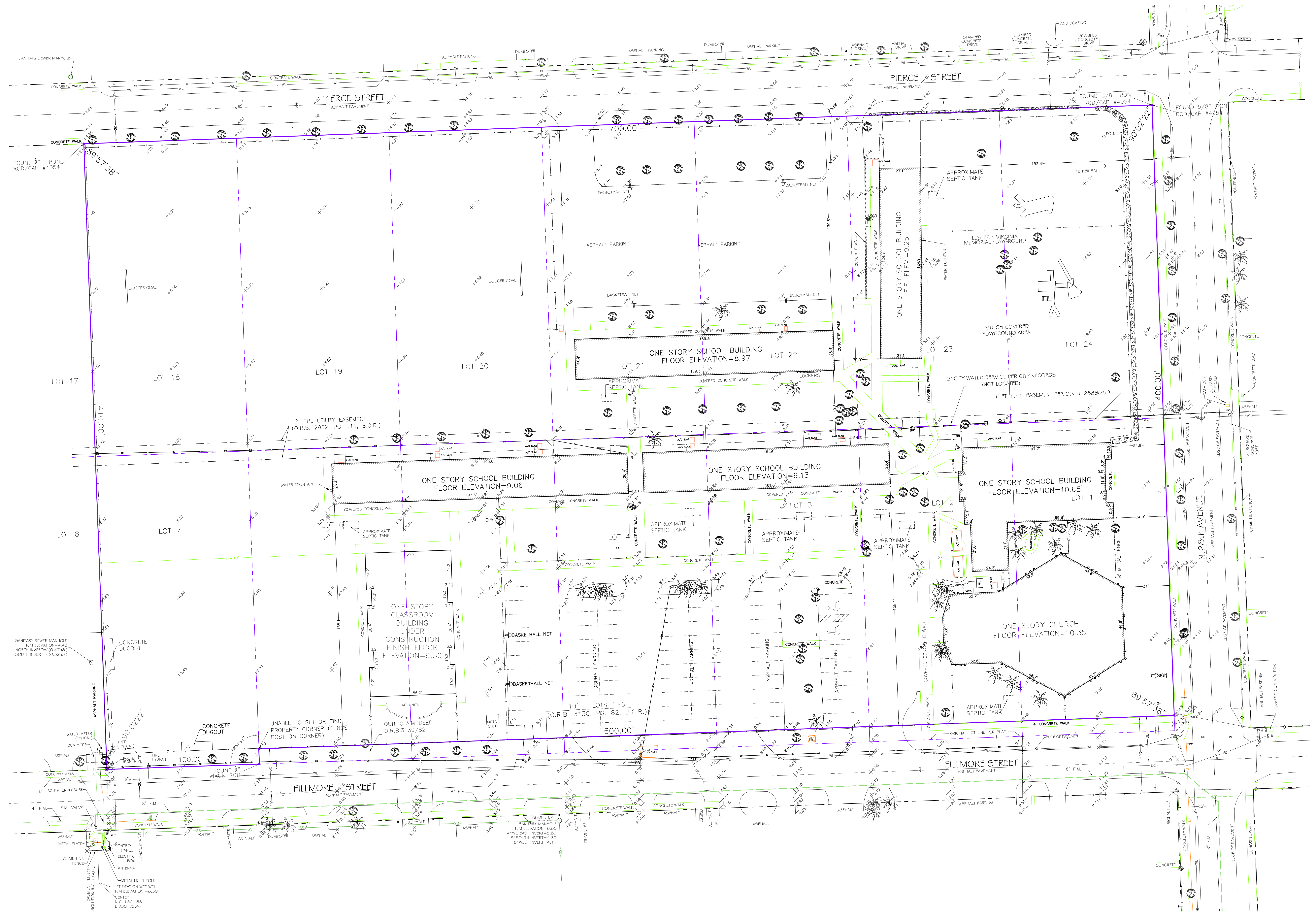
DATE:	04-11-17		
FILE:	13808		
REVISIONS:	Δ	DESCRIPTION:	

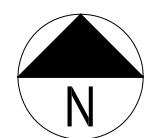
SEAL
J. SCOTT MARE
ARC014601

COVER

DRAWING

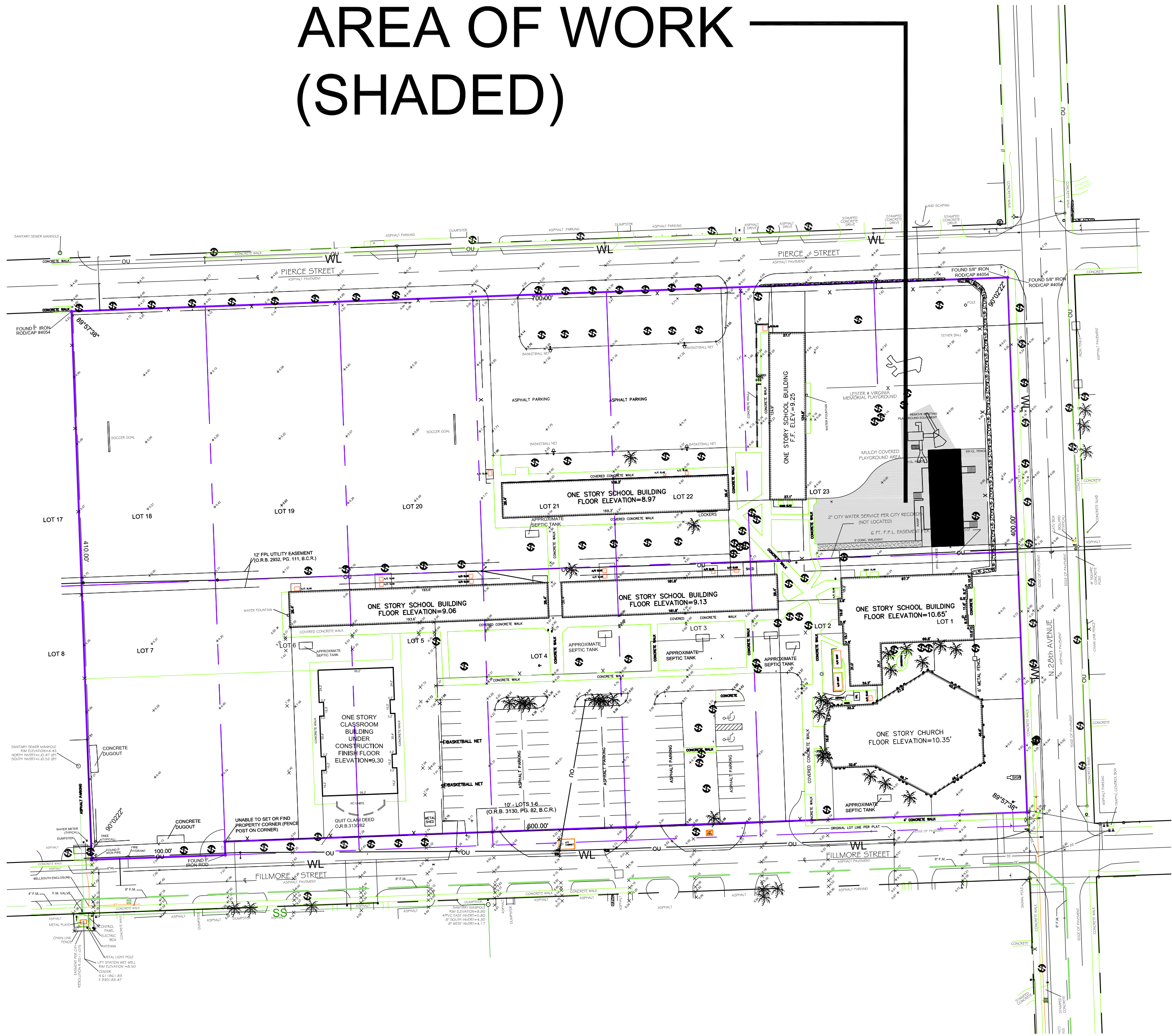
A0.0



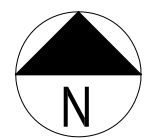


SCALE: 1" = 30'

① AREA 1 - CONSTRUCT 1,728 SF MODULAR CLASSROOM BUILDING AND ASSOCIATED SITE WORK.



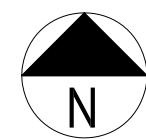
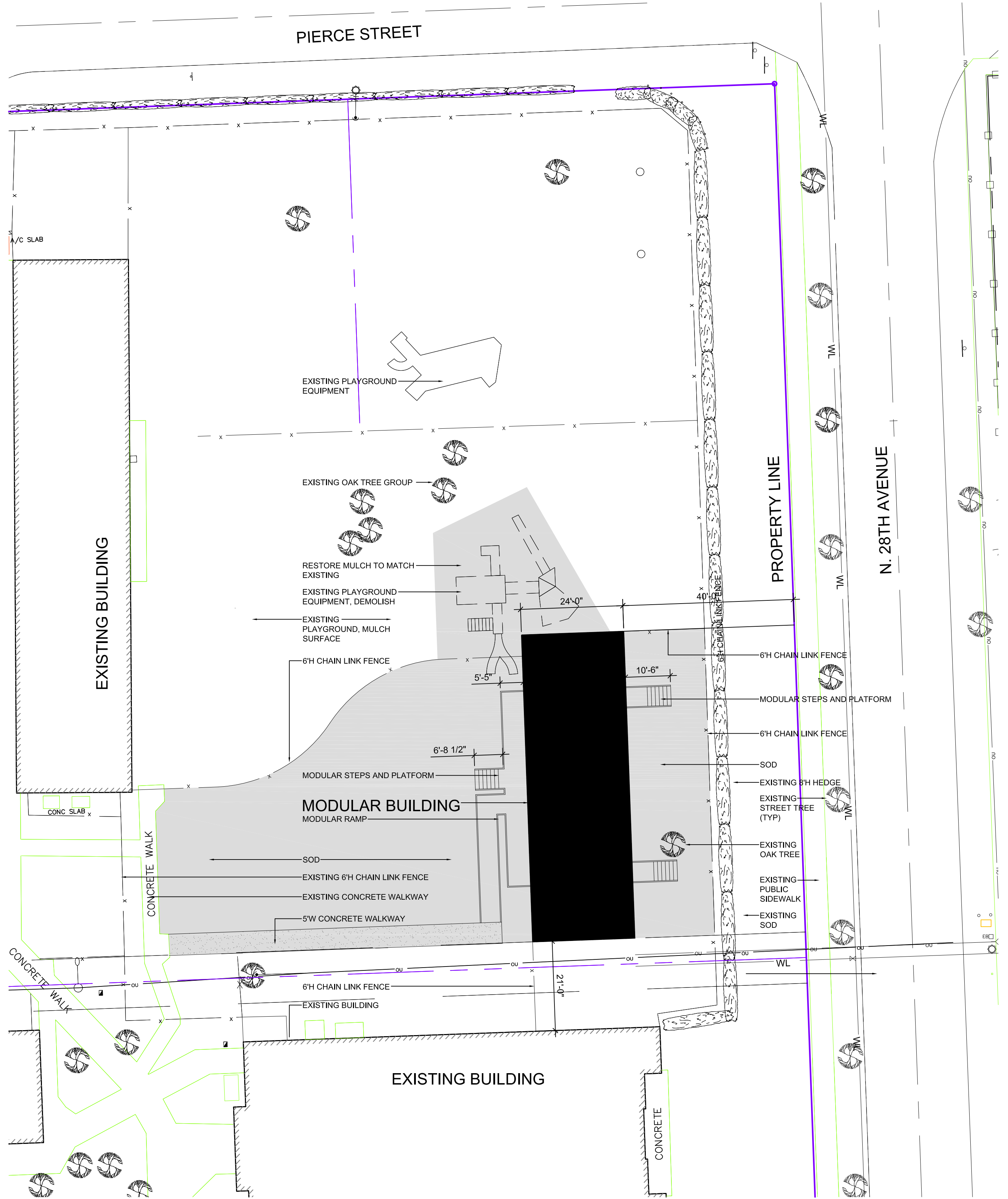
AREA OF WORK
(SHADED)



1
A1.02

SITE PLAN

SCALE: 1" = 60'



1
A1.02

DETAIL SITE PLAN / LANDSCAPE PLAN

SCALE: 1" = 16'

AA 260000722
CGC 1506349

Paragon Academy
Modular Classroom
Building
502 N. 28th Avenue
Hollywood
Florida

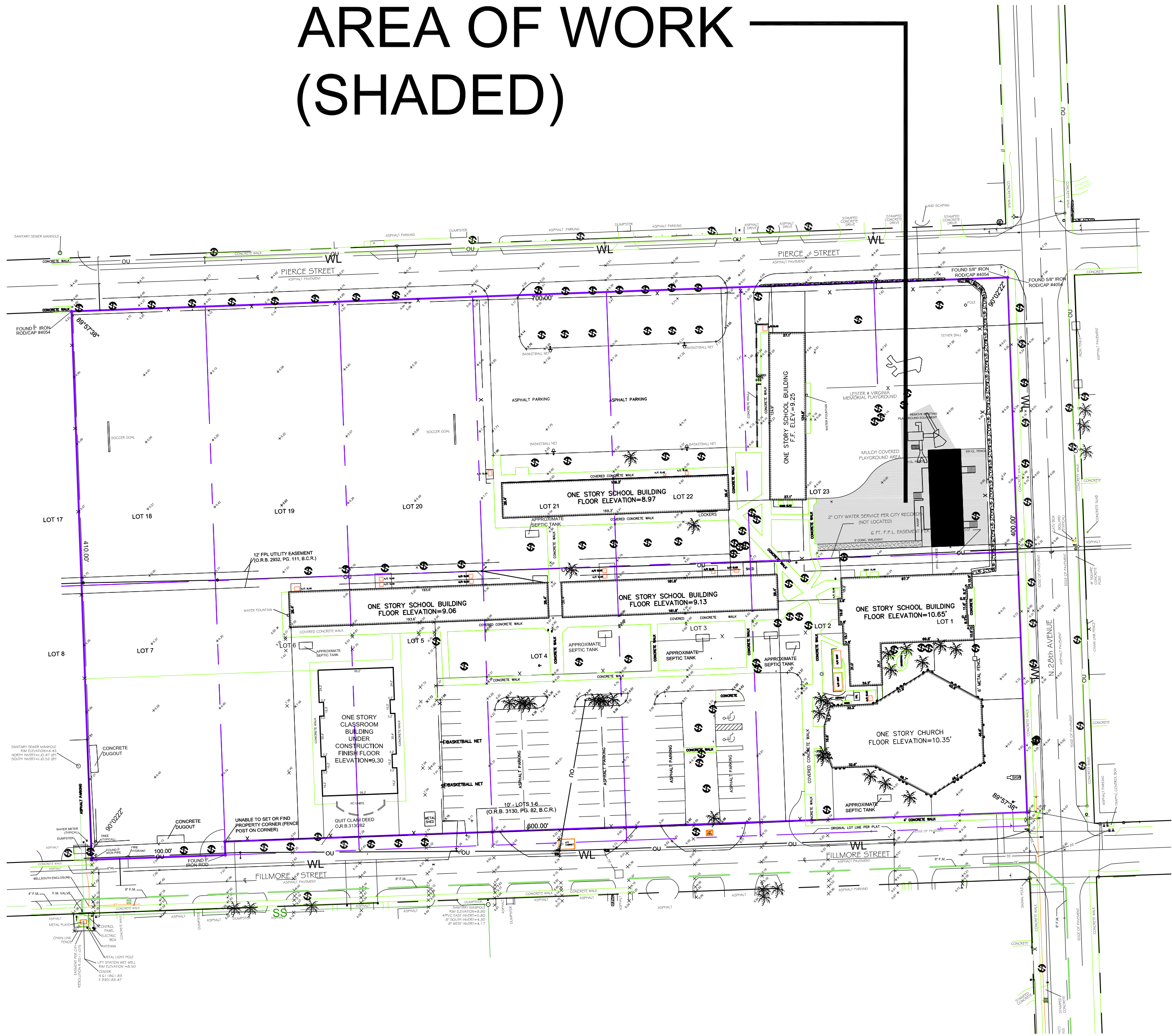
DATE:	04-11-17
FILE:	13008
REVISIONS:	DESCRIPTION-DATE:
Δ	



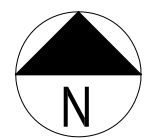
SITE PLAN

DRAWING

A1.02



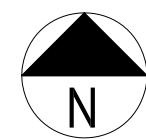
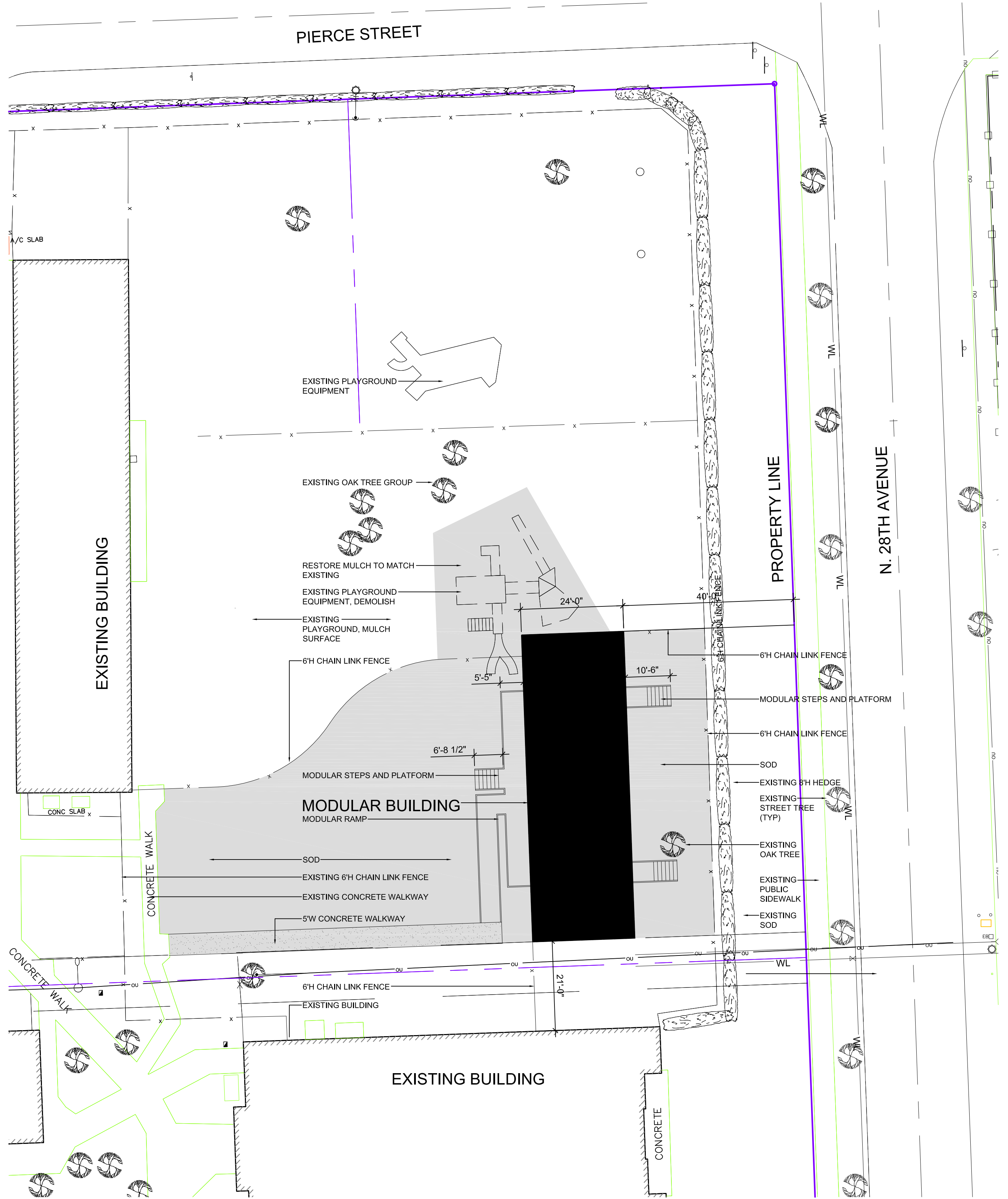
AREA OF WORK
(SHADED)



1
A1.02

SITE PLAN

SCALE: 1" = 60'



1
A1.02

DETAIL SITE PLAN / LANDSCAPE PLAN

SCALE: 1" = 16'

CONSILIUM
ATLANTIC, INC.
3400 Robbins Rd.
Pompano Beach, FL
33062
tel. 954.788.3884
fax. 954.788.3874
consiliumatlantic.com
COPYRIGHT 2013, BY CONSILIUM ATLANTIC,
INC. ALL RIGHTS RESERVED.

CONSILIUM
design build

AA 260000722
CGC 1506349

Paragon Academy
Modular Classroom
Building
502 N. 28th Avenue
Hollywood
Florida

DATE:	04-11-17
FILE:	13008
REVISIONS:	DESCRIPTION-DATE:
Δ	



SITE PLAN

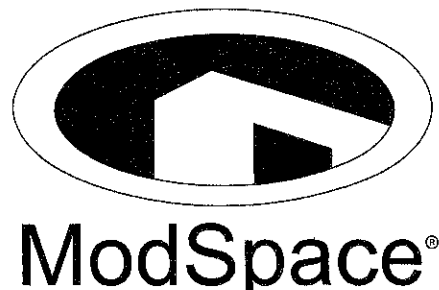
DRAWING

A1.02

MODULAR PLANS DESIGN, CO.

1074 S. FLORIDA AVENUE
SUITE 201
LAKELAND, FLORIDA 33803
(863) 688 - 1054

MODULAR STRUCTURE FOR:



MECHANICAL NOTES:

1. ALL SUPPLY AIR REGISTERS SHALL BE 10 INCHES X 10 INCHES ADJUSTABLE W/ 10 INCHES X 20 INCHES (INSIDE) OVERHEAD FIBERGLASS DUCT, UNLESS OTHERWISE SPECIFIED. DUCTS LOCATED IN VENTILATED ATTIC SPACES SHALL HAVE AN R-6 INSULATION VALUE. DUCTS LOCATED IN UNCONDITIONED INTERIOR SPACE, INTERIOR SPACES SHALL HAVE AN R-4.2 INSULATION VALUE.
2. RESTROOM VENT FANS SHALL PROVIDE 80 CFM MINIMUM PER WATER CLOSET AND / OR URINAL.
3. VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
4. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH INTAKES PROVIDING 20 CFM FOR EACH OCCUPANT OR 80 CFM FOR EACH WATER HEATER CLOSET AND EACH URINAL, WHICHEVER IS GREATER.

PLUMBING NOTES:

1. CUSTOMER ASSUMES ALL RESPONSIBILITY FOR DRINKING WATER FACILITIES AND SERVICE SINK WHEN NOT SHOWN ON THE FLOOR PLAN.
2. TOILETS SHALL BE ELONGATED WITH NON-ABSORBENT OPEN FRONT SEAT.
3. RESTROOM WALLS SHALL BE COVERED WITH NON-ABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 48 INCHES A.F.F.
4. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
5. WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR, T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
6. DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
7. WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER; WHEN POLYBUTYLENE SUPPLY LINES ARE INSTALLED THE MAXIMUM WATER HEATER TEMPERATURE SETTING IS 120° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LIMITATIONS AND INSTRUCTIONS.
8. WATER CLOSETS ARE TANK TYPE AND URINALS ARE FLUSH TANK TYPE UNLESS OTHERWISE SPECIFIED.
9. BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
10. SHOWERS SHALL BE CONTROLLED BY AN APPROVED MIXING VALVE WITH A MAXIMUM WATER OUTLET TEMPERATURE OF 120° F (48.8° C).
11. THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION AND APPROVAL.

AS-BUILT BUILDING NOTES:

RELOCATION OF THIS BUILDING IS SUBJECT TO THE APPROVAL OF THE LOCAL JURISDICTION. THESE PLANS HAVE NOT BEEN PREPARED BASED ON THE CURRENT CODES, BUT THE CODES THAT WERE IN EFFECT AT THE TIME OF INITIAL CONSTRUCTION.

THE ARCHITECT OR ENGINEERS ARE NOT RESPONSIBLE FOR ANY DAMAGE TO OR ALTERATIONS IN THE BUILDING, BUILDING DESIGN, OR CODE REVISIONS THAT WERE MADE AFTER THE INITIAL APPROVAL OF THE BUILDING.

IF THE STATE LABEL HAS BEEN LOST, REMOVED OR STOLEN THEN IT IS UP TO THE LOCAL JURISDICTION TO REVIEW AND APPROVE THE ATTACHED BUILDING PLANS.

THIS BUILDING WAS DESIGNED, APPROVED, AND CONSTRUCTED UNDER THE THEN CURRENT BUILDING CODES FOR A BASIC WIND SPEED OF 145 MPH. THE FBC 2014 EDITION NOW USES A ULTIMATE DESIGN WIND SPEED. IN SEC. 1808.3 TABLE 1609.1 EQUIVALENT BASIC WIND SPEEDS THE NOMINAL DESIGN WIND SPEED AND THE ULTIMATE DESIGN WIND SPEEDS ARE COMPARED. THE 145 MPH NOMINAL DESIGN WIND SPEED IS EQUAL TO THE 188 MPH ULTIMATE DESIGN WIND SPEED.

THIS IS A SET OF STOCK AS-BUILT APPROVED BUILDING PLANS. THE ORIGINAL SET OF APPROVED PLANS IS NO LONGER AVAILABLE, THEREFORE THIS SET HAS BEEN PROVIDED FOR ACQUIRING A BUILDING PERMIT.

" NOTICE "

PLEASE REVIEW PLANS COMPLETELY. ANY COMPONENTS CROSSING MATE LINES WILL BE SITE INSTALLED BY SET UP CREW.

GENERAL NOTES:

1. ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESIGNED BY AND FIELD BUILT BY OTHERS AND SUBJECT TO ALL LOCAL JURISDICTIONS. AT LEAST 60% OF PUBLIC ENTRANCES (INCLUDING PRIMARY ENTRANCES) AND ALL REQUIRED EXITS MUST BE ACCESSIBLE.
2. ALL DOORS SHALL BE OPERABLE FROM THE EXTERIOR SIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED.
3. ALL GLAZING WITHIN A 45 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 80 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
4. FLOOR DESIGN LINE LOAD - 100 PSF (LOBBIES & CORRIDORS) ; 50 PSF (REMAINDER) .
5. MAXIMUM WIND LOAD - 146 / 188 MPH (EXT. C) HWFZ
6. OCCUPANCY IS BUSINESS.
7. OCCUPANT LOAD: 18 PEOPLE. [BASED ON 1 PERSON PER 100 SQUARE FEET OF BUSINESS AREA] .
8. CONSTRUCTION IS TYPE V-B.
9. ALL STEEL STRAPS REFERENCED ON FLOOR PLAN SHALL BE 1.5 INCH X 2.5 GA. W/ (8) 15 GA. X 7/16 INCH CROWN X 1 1/2 INCH STAPLES WITH A MINIMUM OF 1" PENETRATION EACH END OF STRAP OR MIN. CORRIDOR WIDTH IS 44 INCHES.
10. MIN. CORRIDOR FINISH IS CLASS B (VSPSM) .
11. WINDOW AND DOOR HIGH WIND STORM COVERINGS PER CODE TO BE SUPPLIED AND SITE INSTALLED BY OTHERS SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
12. PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S. TO BE DONE BY THE LOCAL FIRE SAFETY INSPECTOR.
13. PORTABLE FIRE EXTINGUISHER PER N.F.P.A. - 101 INSTALLED BY OTHERS ON SITE, AND SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
14. THIS BUILDING REQUIRED A FIRE SEPARATION DISTANCE IN ACCORDANCE WITH TABLE 602 OF THE 2014 FLORIDA BUILDING CODE, 5TH EDITION (2014) .
15. WHEN LOW SIDE OF ROOF PROVIDES LESS THAN 6" OF OVERHANG GUTTERS AND DOWNSPOUTS WILL BE REQUIRED. SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION.
16. IN WIND BORNE DEBRIS REGIONS, EXTERIOR GLAZING SHALL BE PROTECTED WITH AND IMPACT RESISTANT COVERINGS OR WITH MINIMUM 7/16" WOOD STRUCTURAL PANELS PER SECTION 1609.1.4 OF THE FBC. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER TABLE 1809.1.4 THE IMPACT RESISTANT COVERING OR WOOD STRUCTURAL PANELS ARE TO BE PROVIDED ON SITE BY THE BUILDING OWNER SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
17. WIND BORNE DEBRIS REGIONS ARE AREAS WITHIN ONE MILE OF THE COASTAL MEAN HIGH WATER LINE WHERE THE BASIC WIND SPEED IS 110 MPH OR GREATER AND AREAS WHERE THE BASIC WIND SPEED IS 120 MPH OR GREATER.
18. ALL MATERIALS USED IN THE CONSTRUCTION OF THE BUILDING WHICH ARE COVERED BY THE FLORIDA BUILDING COMMISSION CHAPTER 6B - 72 RULES SHALL HAVE CURRENT FLORIDA PRODUCT APPROVAL.
19. THESE PLANS COMPLY WITH THE FLORIDA BUILDING CODE, 5TH EDITION (2014) .
20. THE RAISED SEAL SET OF PLANS ARE ON FILE IN THE THIRD PARTY AGENCY'S OFFICE AS DIRECTED BY DBPR.
21. EMERGENCY LIGHTING SHALL BE CAPABLE OF PROVIDING INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE AND A MIN. OF 1 FC MEASURED ALONG THE EGRESS AT THE FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO A C AVERAGE AND A MINIMUM AT ANY POINT OF 0.6 FC AT THE END OF THE EMERGENCY LIGHT TIME DURATION. A MAXIMUM TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES.

ELECTRICAL NOTES:

1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODES (NEC) .
2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 8 INCHES FROM "STORAGE AREA" AS DEFINED BY NEC 410-8.1 (a) .
3. WHEN WATER HEATER AND TANK SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTED CONDUITS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
6. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. ALL CIRCUITS CROSSING OVER MODULE MATING LINES(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
8. REFERENCE STATE APPROVED PACKAGE FOR ELECTRICAL WIRING DIAGRAM.
9. FIRE ALARM PULL STATION OPERABLE DEVICE SHALL BE LOCATED 42 TO 48 INCHES ABOVE THE FLOOR. FIRE ALARM HORN / STROBE DEVICE SHALL BE WALL MOUNTED WITH THE BOTTOM EDGE 80 INCHES ABOVE THE FLOOR.
10. EXTERIOR LIGHTS NOT INTENDED FOR 24 HOUR USE AND SHALL BE CONNECTED TO A PHOTOCELL OR TIMER.
11. ALL RECEPTICALS INSTALLED IN WET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER PROOF (W.P.) ENCLOSURES. THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN AN ATTACHMENT PLUG CAP IS INSERTED OR REMOVED.
12. WHEN NOT SHOWN ON THE PLANS PROVISIONS FOR EXIT DISCHARGE LIGHTING (INCLUDING EXIT DISCHARGE EMERGENCY LIGHTING) ARE DESIGNED BY OTHERS AND THE RESPONSIBILITY OF THE BUILDINGS OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL.

ACCESSIBILITY NOTES:

1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. INACCESSIBLE ENTRANCES SHALL HAVE DIRECTIONAL SIGNS INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.
2. ACCESSIBLE DRINKING FOUNTAINS SHALL HAVE A SPOUT HEIGHT NO HIGHER THAN 36 INCHES ABOVE THE FLOOR AND EDGE OF BASIN NO HIGHER THAN 34 INCHES ABOVE THE FLOOR FOR INDIVIDUALS IN WHEELCHAIRS. ADDITIONALLY, DRINKING WATER PROVISIONS SHALL BE MADE FOR INDIVIDUALS WHO HAVE DIFFICULTY IN BENDING.
3. WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS, AND DRAWERS ARE PROVIDED AT LEAST ONE OF EACH TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH THE FOLLOWING: DOORS, ETC. TO SUCH SPACES SHALL BE ACCESSIBLE (i.e. TOLLER LATCHES, U-SHAPED PULLS). SPACES SHALL BE WITHIN 15 INCHES MINIMUM AND 48 INCHES MAXIMUM OF THE FLOOR FOR FORWARD REACH OR 8 INCHES MINIMUM AND 34 INCHES MAXIMUM, OF THE FLOOR FOR SIDE REACH. CLOTHES RODS SHALL BE A MINIMUM OF 34 INCHES ABOVE THE FLOOR (48 INCHES MAXIMUM WHEN DISTANCE FROM WHEELCHAIR TO ROD EXCEEDS 10 INCHES).
4. CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48 INCHES ABOVE THE FLOOR FOR FRONT APPROACH OR 34 INCHES ABOVE THE FLOOR FOR SIDE APPROACH. RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR. EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTACLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.
5. WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING RESTROOMS, AND PLACED 80 INCHES ABOVE THE FLOOR OR 6 INCHES BELOW CEILING, WHICHEVER IS LOWER.
6. DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (i.e. LEVER - OPERATED, PUSH - TYPE, U - SHAPED) MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.
7. ALL DOORS SHALL BE OPENABLE BY A SINGLE EFFORT. THE MAXIMUM FORCE REQUIRED TO OPEN A DOOR SHALL NOT EXCEED 8.5 LBS. FOR EXTERIOR SWINGING DOORS AND 5 LBS. FOR ALL SLIDING, FOLDING, AND INTERIOR SWINGING DOORS.
8. FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCHES AND 0.5 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMPS. CARPET PILE THICKNESS SHALL BE 0.5 INCH MAX. GRATINGS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT.
9. ACCESSIBLE WATER CLOSETS SHALL BE 19 INCHES FROM THE FLOOR TO THE TOP OF THE SEAT. GRAB BARS SHALL BE 36 INCHES LONG MINIMUM WHEN LOCATED BEHIND THE WATER CLOSET AND 42 INCHES MINIMUM WHEN LOCATED ALONG THE SIDE OF THE WATER CLOSET, AND SHALL BE MOUNTED 33 INCHES FROM THE FLOOR TO THE TOP OF THE RAIL WITH 0.5 INCH MAXIMUM VARIATION.
10. ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL HUNG WITH ELONGATED RIMS AT A MAXIMUM OF 17 INCHES ABOVE THE FLOOR.
11. ACCESSIBLE LAVATORIES SHALL BE MOUNTED WITH THE RIM NO HIGHER THAN 34 INCHES ABOVE THE FLOOR AND A CLEARANCE OF AT LEAST 28 INCHES ABOVE THE FLOOR TO THE BOTTOM OF THE APRON.
12. ACCESSIBLE SINKS SHALL BE MOUNTED WITH RIM NO HIGHER THAN 34 INCHES ABOVE THE FLOOR AND A CLEARANCE OF AT LEAST 27 INCHES HIGH, 30 INCHES WIDE, AND 19 INCHES DEEP UNDERNEATH SINK. THE SINK DEPTH SHALL BE 6.5 INCHES MAXIMUM.
13. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT CONTACT. INSULATION OR PROTECTION MATERIAL MAY BE SITE INSTALLED, THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.
14. ACCESSIBLE LAVATORIES AND SINKS SHALL HAVE ACCESSIBLE FAUCETS (i.e. LEVER-OPERATED, PUSH-TYPE, ELECTRONICALLY CONTROLLED).
15. WHERE MIRRORS ARE PROVIDED IN RESTROOM, AT LEAST ONE SHALL BE PROVIDED WITH ITS BOTTOM EDGE NO HIGHER THAN 40 INCHES ABOVE THE FLOOR.
16. WHERE MEDICINE CABINETS ARE PROVIDED, AT LEAST ONE SHALL BE LOCATED WITH A USABLE SHELF NO HIGHER THAN 44 INCHES ABOVE THE FLOOR.
17. GRAB BARS REQUIRED FOR ACCESSIBILITY SHALL BE 1.25 INCHES TO 1.5 INCHES IN DIAMETER WITH 1.5 INCHES CLEAR SPACE BETWEEN THE BAR AND THE WALL.
18. TOILET STALL DOORS SHALL BE THE SELF-CLOSING TYPE.
19. A TOWEL DISPENSER SHALL BE LOCATED ADJACENT TO ALL ACCESSIBLE LAVATORIES.
20. WATER CLOSET FLUSH CONTROL SHALL BE MOUNTED ON THE WIDE SIDE OF THE CLOSET.

STRUCTURAL LOAD LIMITATIONS:

DESIGN CODES
FLORIDA BUILDING CODE, 5TH EDITION (2014) w/ 2016 SUPPLEMENTS
ASCE 7-10 CODE

BUILDING DEAD LOADS
A. ROOF = 20 PSF
B. FLOOR = 10 PSF
C. WALLS = 5 PSF

BUILDING LIVE LOADS
A. ROOF = 30 PSF
B. FLOOR = 50/100 = 2000#
C. CORRIDOR = 100 PSF

CONCENTRATED LOAD.
OVER 30 INCH 0.20 INCH AREA.
LOCATED ANYWHERE ON FLOOR.

ROOF SNOW LOAD: N/A

WIND LOAD CRITERIA:
1. 145 Vase/188 Vuh MPH WIND SPEED
2. Iw = 1.0 WIND IMPORTANCE FACTOR.
3. II BUILDING CATEGORY
4. ENCLOSURE CLASSIFICATION: ENCLOSED
Gcpl = 0.18 INTERNAL PRESSURE COEFFICIENT.
5. C EXPOSURE FACTOR
6. 0.85 WIND DIRECTIONALITY FACTOR (Kd)
7. 0.85 GUST RESPONSE FACTOR (Gf)
8. MAIN FRAME STRUCTURE: OVERTURNING
LOAD
Pr = -83 PSF
9. COMPONENT & CLADDING LOAD:
(ROOF)
Pr = 123.70 PSF
(WALL)
PW = 85.6 PSF ZONE 5 PW = 40 ZONE 4
10. ENCLOSED BUILDING ENCLOSURE CLASSIFICATION
11. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
SEISMIC LOAD: N/A

FLOOD LOAD:
THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECT TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. FINISH FLOOR ELEVATION MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL.

SITE INSTALLED NOTES:

NOTE THAT THIS LIST DOES NOT NECESSARILY LIMITS THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION AND APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND TIE DOWN SYSTEM.
2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
3. PORTABLE FIRE EXTINGUISHER(S)
4. DRINKING FOUNTAIN, BUILDING DRAINS, CLEAN-OUTS, AND HOOK-UP TO PLUMBING SYSTEM.
5. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY)
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATING LINES (S) - (MULTI-UNITS ONLY)
8. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN
9. WINDOW AND DOOR HIGH WIND STORM COVERINGS PER CODE.
10. GUTTERS AND DOWNSPOUTS (IF APPLICABLE).
11. SINK AND CABINETS.
12. FIRE ALARM SYSTEM, WIRING, ETC.
13. THERMAL EXPANSION DEVICE IF REQUIRED.

STATE CODES:

FLORIDA
FBC 5TH EDITION (2014) w/ 2016 SUPPLEMENTS
FLORIDA MECHANICAL CODE, 5TH EDITION (2014)
FLORIDA PLUMBING CODE, 5TH EDITION (2014)
FUEL GAS CODE, 5TH EDITION (2014)
2011 NATIONAL ELECTRIC CODE
FLORIDA ACCESSIBILITY CODE, 5TH EDITION (2014)
FLORIDA FIRE PREVENTION CODE, 5TH EDITION (2014)
OCCUPANCY BUSINESS
CONSTRUCTION TYPE V-B

DRAWING INDEX:

C1	COVER SHEET
A1	FLOOR PLAN
A2	ELEVATIONS
A3	BUILDING CROSS SECTION
A4	FOUNDATION PLAN

ELEVATION NOTES (TYP.)

- 1) SEE CROSS SECTION FOR METHOD OF ROOF VENTILATION
- 2) HANDICAP RAMPS, STAIRS (S), AND HANDRAILS ARE TO BE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
- 3) FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET FERT AREA PER 10' MINIMUM OF THE FLOOR AREA, AND ALL BE 24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION AND APPROVAL.

CONSULTING ARCHITECT

THOMAS L. MELTON
FLORIDA # AR0017033

REVISION DATE:

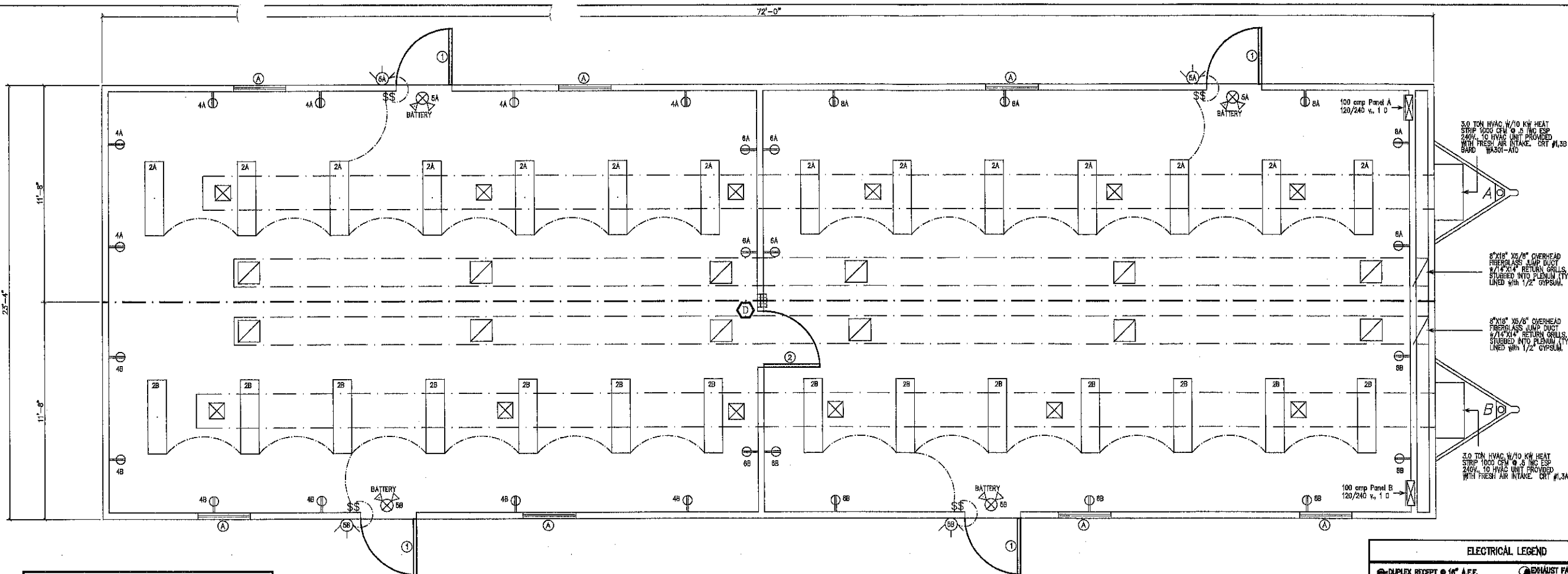
DATE: 04-18-2017

DRAWN: R.L.G.

JOB #: 633018-9

SHEET NO.

C1



FLOOR PLAN
SCALE: 3/8" = 1'-0"

COLUMN STRAPPING SCHEDULE

- A — INDICATES TYPE OF STUD
 T1 — INDICATES TYPE OF TIE DOWN STRAP
 * — INDICATES WITH RIDGE BEAM BEARING STIFFENER (SEE RIDGE BEAM NOTES FOR SPECIFICATIONS)

COLUMN STRAPPING SCHEDULE

A (2) 2x4 SPF #2 THIS HALF	B (2) 2x4 SPF #2 EACH HALF
C (3) 2x4 SPF #2 THIS HALF	D (3) 2x4 SPF #2 EACH HALF
E (4) 2x4 SPF #2 THIS HALF	F (4) 2x4 SPF #2 EACH HALF
G (5) 2x4 SPF #2 THIS HALF	H (5) 2x4 SPF #2 EACH HALF
I (6) 2x4 SPF #2 THIS HALF	J (6) 2x4 SPF #2 EACH HALF
K (7) 2x4 SPF #2 THIS HALF	L (7) 2x4 SPF #2 EACH HALF
M (8) 2x4 SPF #2 THIS HALF	N (8) 2x4 SPF #2 EACH HALF

- NOTES:
 1. ALL COLUMN STUDS SHALL BE NAILED TOGETHER PER NDS AND FASTENED TOGETHER WITH 100% PVA GLUE COVERAGE.
 2. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.
 3. INSTALL ONE TIE DOWN STRAP FROM RIDGE BEAM TO COLUMN AND FROM COLUMN TO FLOOR RM JOIST FOR EACH STUD OF COLUMNS. (E.G. 3 STUD COLUMN WILL REQUIRE 4 TIE DOWN STRAPS)
 4. STRAPS SHALL NOT BE OVERLAPPED OR DOUBLED UNLESS SPECIFIED OTHERWISE.

TIE DOWN STRAP DESCRIPTION

T1 20 GA. X 1-1/2" GALV. STEEL STRAP WITH (7) 0.148" X 3" NAILS EACH END. TWO 26 GA. X 1.5" GALV. STEEL STRAPS MAY BE SUBSTITUTED FOR ONE 20 GA. X 1-1/2" STRAP. NAILS MUST PENETRATE 2" MINIMUM INTO ALL MEMBERS. PENETRATION MAY BE REDUCED TO 1-1/2" IF 3 NAILS ARE USED IN LIEU OF 7. IN NO CASE SHALL SPLITTING OF WOOD BE PERMITTED.

DOOR SCHEDULE

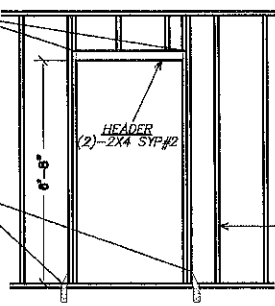
#	SIZE	DESCRIPTION	QTY	HEADER	JACKS	KINGS	COMMENTS
1	36x80	STL EXTERIOR DOOR W/ 10"x10" V.B.	4	DBL 2x4	1	1	EXISTING
		HARDWARE: PASSAGE LOCK SET, CLOSER					
2	36x80	HOLLOW CORE - STEEL REDIFRAME	1	SQL 2x4	0	2	EXISTING
		HARDWARE: PASSAGE LEVER, CLOSER					
3	24x80	HOLLOW CORE - STEEL REDIFRAME	0	SQL 2x4	0	2	EXISTING
		HARDWARE: PASSAGE LEVER, CLOSER					

WINDOW SCHEDULE

#	SIZE	DESCRIPTION	QTY	HEADER	JACKS	KINGS	COMMENTS
A	24"x64"	HS/BRONZE/BRONZE/CLEAR	7	DBL 2x4	1	1	

HEADER STRAP
EQUAL TO
HUGHES HLSTA 24
(1260# UPLIFT)

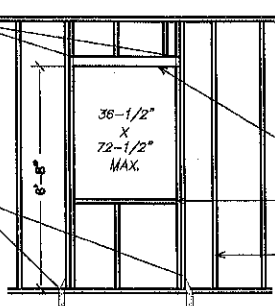
STUD HURRICANE
ANCHOR EQUAL
TO HUGHES HC20
(1260# UPLIFT)



TYPICAL DOOR FRAMING

HEADER STRAP
EQUAL TO
HUGHES HLSTA 24
(1260# UPLIFT)

STUD HURRICANE
ANCHOR EQUAL
TO HUGHES HC20
(1260# UPLIFT)



TYPICAL WINDOW FRAMING

TYPICAL FRAMING
SCALE: 3/8" = 1'-0"

ELECTRICAL LEGEND

- DUPLEX RECEPT @ 16" A.F.F.
 ● DUPLEX RECEPT @ 42" A.F.F.
 ● RECEPT 220 VOLT
 + SWITCH
 ▼ PHONE JACK @ 42" A.F.F.
 ▼ PHONE JACK @ 16" A.F.F.
 ○ THERMOSTAT
 ◆ INCANDESCENT LIGHT 60W MAX.
 ◆ WATER PROOF PORCH LIGHT 60W MAX.
 ◆ PHOTO CELL
 ● EXHAUST FAN
 □ EXHAUST FAN / LIGHT
 ⚡ EMERGENCY LIGHT
 □ J BOX FOR MANUAL PULL STATION
 □ 10" X 10" SUPPLY AIR REGISTER
 □ 12" X 12" RETURN AIR GRILLE
 ◆ EMERGENCY EXIT LIGHTING
 □ FLORESCENT FIXTURE 87.0W MAX.

ELECTRICAL PANEL "A" SIZING		
DESCRIPTION	WATTAGE	AMPS
0.035 KW SF X 864 SF X 1.25	3.78	
15 RECEPT @ 180 VA / 1000	2.7	
WATER HEATER 4.5 KW		
FAN @ .3 KW X 1.25		
HVAC	10.9	
TOTAL	17.38 KW	
TOTAL / 240 X 1000	72.42 A	
INSTALL 100 AMP PANEL 120 / 240V 1Ø		

ELECTRICAL PANEL "B" SIZING		
DESCRIPTION	WATTAGE	AMPS
0.035 KW SF X 864 SF X 1.25	3.78	
15 RECEPT @ 180 VA / 1000	2.7	
WATER HEATER 4.5 KW		
FAN @ .3 KW X 1.25		
HVAC	10.9	
TOTAL	17.38 KW	
TOTAL / 240 X 1000	72.42 A	
INSTALL 100 AMP PANEL 120 / 240V 1Ø		

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE SIZE (CU. IN.)	WIRE TYPE
1 & 3	HVAC	PER MFR. SPECS.		
6	LIGHTS & FANS	20A 1P	12-2	
2,4,6	RECEPTACLES	20A 1P	12-2	
N/A	WATER HEATER	30A 2P	10-2	

ALL PORTABLE APPLIANCES, INCLUDING N/A TO HAVE DISCONNECT IF NOT WITHIN VIEW OF ELECTRIC PANEL.

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE SIZE (CU. IN.)	WIRE TYPE
1 & 3	HVAC	PER MFR. SPECS.		
6	LIGHTS / FAN	20A 1P	12-2	
2,4,6	RECEPTACLES	20A 1P	12-2	
N/A	WATER HEATER	30A 2P	10-2	

ALL PORTABLE APPLIANCES, INCLUDING N/A TO HAVE DISCONNECT IF NOT WITHIN VIEW OF ELECTRIC PANEL.

CONSULTING ARCHITECT
THOMAS L. MELTON
FLORIDA # ARO017033

REVISION DATE:

04-18-17

MODULAR STRUCTURE FOR:
ModSpace
(24' X 72')

MODULAR PLANS DESIGN, CO.

M P D
Company

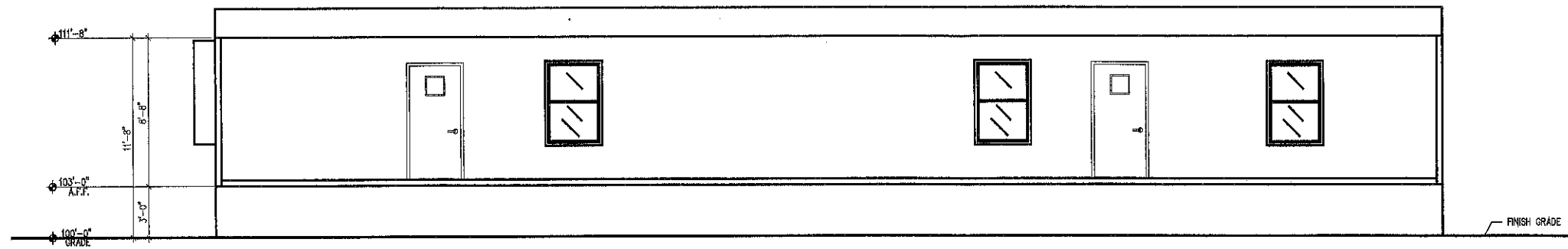
DATE: 04-18-2017

DRAWN: R.C.S.

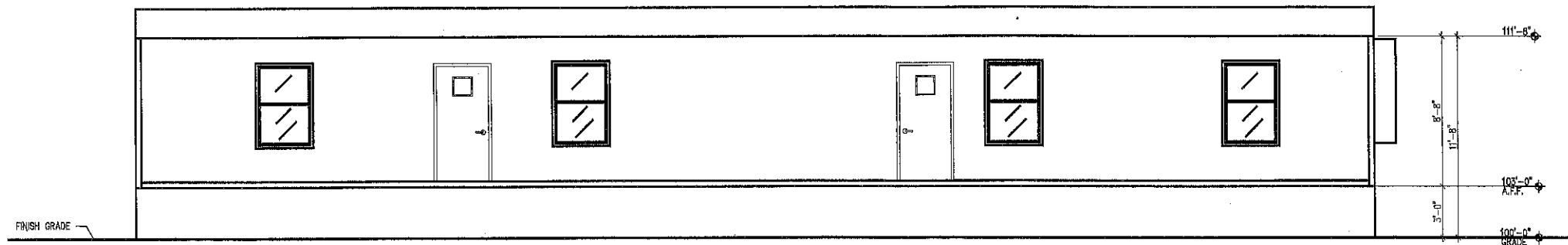
JOB #: 833018-9

SHEET NO.

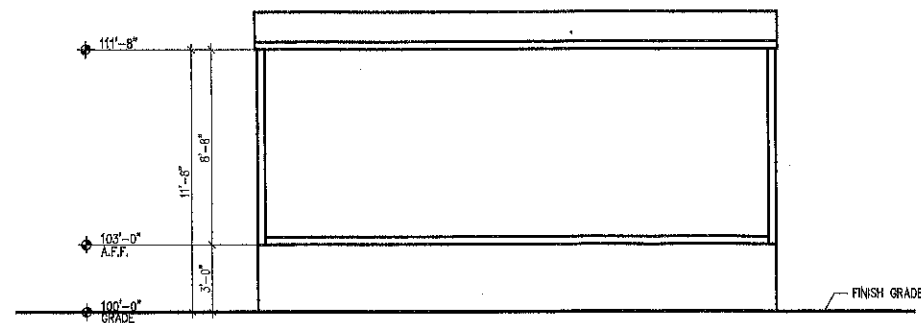
A1



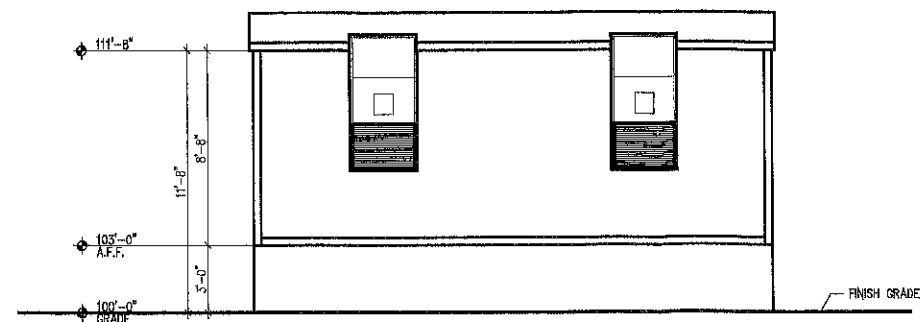
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



BACK ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MODULAR PLANS DESIGN, CO.

M P D
Company

PH: 866-688-1054
FAX: 866-688-7118
MODULARPLANS@TAMPABAYFL.COM

1074 S. FLORIDA AVE., SUITE 201
LAKELAND, FLORIDA
33803

MODULAR STRUCTURE FOR:
ModSpace
(24' X 60')

CONSULTING ARCHITECT
THOMAS L. MELTON
FLORIDA # ARO017033

REVISION DATE:

04-18-17

DATE: 04-18-2017

DRAWN: R.L.G.

JOB #: 633016-9

SHEET NO.

A2

© COPYRIGHT 2013-MODULAR PLANS DESIGN, CO.

RIDGE BEAM CONSTRUCTION

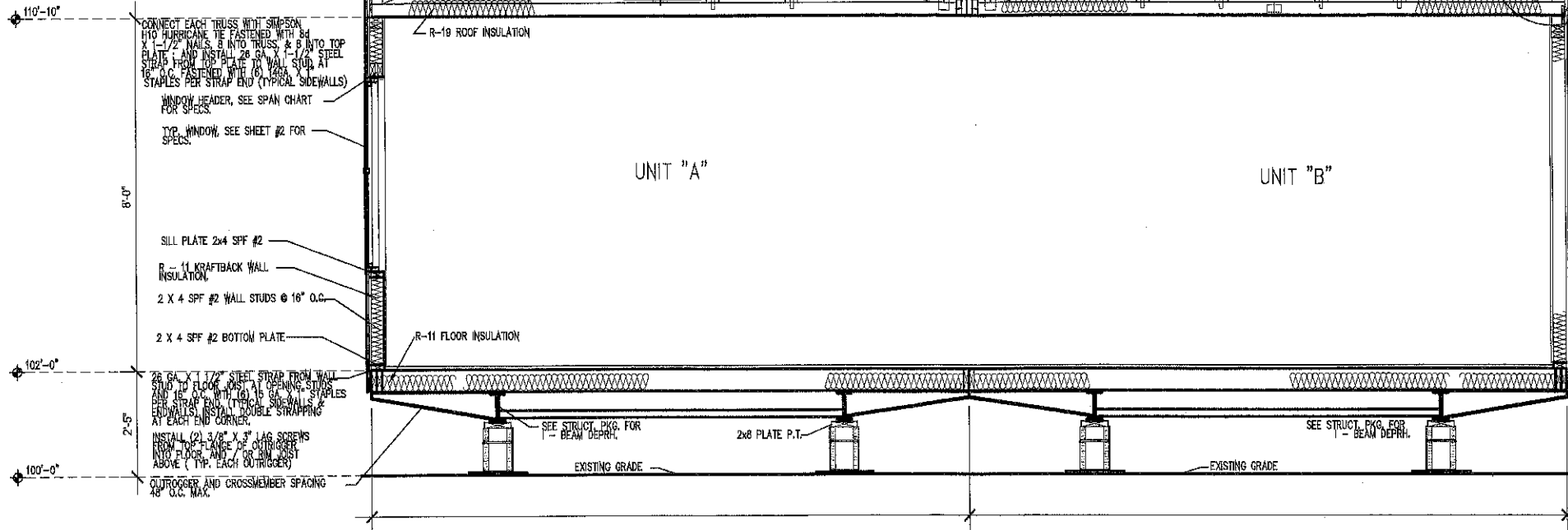
4 LAYERS 3/4" X 24" PLYWOOD, RATED SHEATHING, EXP. -1, STRUCT. -1,
 3. PLY 1/2" LAYER, WITH EACH HALF CONTINUOUS ENTIRE LENGTH OF BUILDING

NOTES:

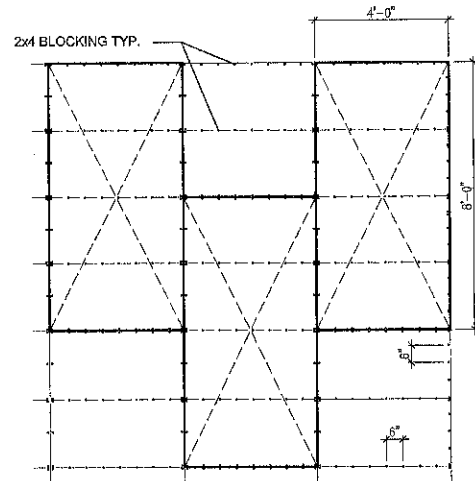
1. PLYWOOD FACE GRAIN MUST BE PARALLEL TO THE RIDGE BEAM SPAN.
2. ALL PLYWOOD BUTT JOINTS MUST BE STAGGERED 24" MINIMUM.
3. ALL RIDGE BEAM PLYWOOD LAMINATIONS MUST BE THE SAME DEPTH, THICKNESS, AND GRADE OF PLYWOOD. NO LUMBER OR PLYWOOD FLANGES ARE PERMITTED.
4. PLYWOOD MUST BE MANUFACTURED IN ACCORDANCE WITH PS-10.
5. PLYWOOD LAMINATIONS IN EACH HALF OF THE UNITS MUST BE GLUE NAILED TO ADJACENT LAYERS IN ACCORDANCE WITH PS SUPPLEMENT #6, WITH AN ADHESIVE COMPLYING WITH ASTM D690, OR G-304.
6. PLYWOOD MUST NOT BE TREATED WITH A FIRE RETARDANT PROCESS.
7. MOISTURE CONTENT MUST BE LESS THAN 19%.
8. BEAMS MUST EXTEND CONTINUOUS OVER ENTIRE LENGTH OF ALL COLUMN SUPPORTS.
9. INSTALL (2) 4" X 20" SPF #3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS, WHEN SPECIFIED ON FLOOR PLAN, FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GLUE COVERAGE AND (8) 16 GA. X 2 - 1/2" STAPLES.

APPROVED TRUSS DESIGN

TRUSS MFG. UNIVERSAL FOREST PRODUCTS
 TRUSS CWDG. NO. #022903



TYPICAL CROSS SECTION
 SCALE: 3/4" = 1'-0"



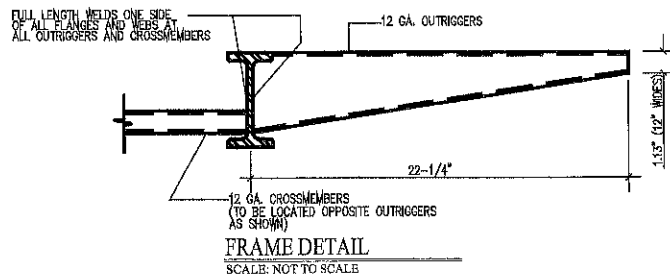
PLYWOOD ROOF SHEATHING NAILING PATTERN
 SCALE: 3/8" = 1'-0"

5/8" PLYWOOD SHEATHING SHALL BE BLOCKED WITH 2x NOMINAL LUMBER OF THE SAME SPECIES AND GRADE AS TRUSS TOP CHORD FOR A DISTANCE OF 4'-0" FROM EACH END WALL WITH ROOF BOUNDARIES NAILED AT 4'-0" O.C. AND OTHER BLOCKED EDGES NAILED AT 6" O.C. AND UNBLOCKED EDGES AT 6" O.C. NAIL FIELD LOCATIONS AS FOLLOWS: 4" O.C. IN AREAS WITHIN 4'-0" OF BUILDING CORNERS 6" O.C. AT ALL OTHER LOCATIONS WITHIN 4'-0" OF EXTERIOR EDGES OF BUILDING 10" O.C. ELSEWHERE. ALL NAILS SHALL BE 10d COMMON NAILS.

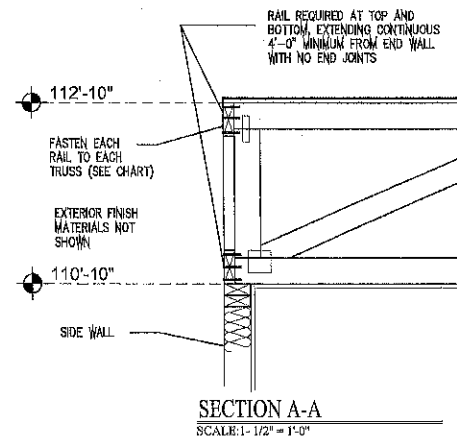
INTERIOR FINISH MATERIAL	
CEILING:	T-GIRD INSTALLED PER MANUFACTURER'S SPECIFICATIONS
WALL:	1/2" VINYL COVERED GYPSUM WALLBOARD; INSTALLED PER MANUFACTURER'S SPECS.
FLOOR:	BLOCK TILE IN BATHROOM AND WET AREAS. FLOORING ALL OTHER AREA TO BE PROVIDED BY OTHERS.

EXTERIOR FINISH MATERIAL	
ROOF:	45 MIL BLACK RUBBER ROOF COVERING (EPDM) INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
WALL:	5/16" INCH HARD-PANEL OVER APPROVED MOISTURE BARRIER AND BRACING MATERIAL; FASTEN W/ 6d COMMON NAILS @ 4" O.C. (EDGE) AND 6" O.C. (FIELD).
NOTE:	ALL ROOF COVERINGS SHALL MEET CLASS C OR BETTER REQ. ROOFING AND SIDING MATERIALS AND THERE FASTENINGS SHALL BE DESIGNED AND INSTALLED SO AS TO RESIST THE COMPONENT WIND LOAD SHOWN ON THE COVER SHEET. ALL ROOF COVERINGS SHALL MEET CLASS C OR BETTER REQUIREMENTS. WALL FINISH SHALL BE INSTALLED OVER APPROVED MOISTURE PROTECTION AND BRACING MATERIAL. MOISTURE PROTECTION BEHIND WALL COVERING SHALL BE AS REQUIRED BY EXTERIOR WALL FINISH MANUFACTURER'S SPECIFICATIONS, BUT NOT LESS THAN ONE LAYER OF NO. 15 ASPHALT FELT COMPLYING WITH ASTM D226 FOR TYPE 1 FELT ATTACHED IN SUCH A MANNER AS TO PROVIDE A CONTINUOUS WATER - RESISTIVE BARRIER BEHIND THE EXTERIOR WALL FINISH.

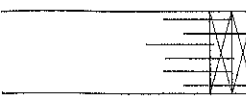
GENERAL CROSS - SECTION NOTES:	
1.	UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY W/ ASTM A36, YIELD STRENGTH = 36 KSI.
2.	ALL LAG SCREWS MUST COMPLY WITH ANSI / ASME B18.2.1, Fx = 60 K.S.I. MIN.
3.	TRUSS BOTTOM CHORDS MUST BE BRACED IN ACCORDANCE WITH SPECIALTY ENGINEERS DESIGN DRAWINGS.



FRAME DETAIL
 SCALE: NOT TO SCALE



SECTION A-A
 SCALE: 1-1/2" = 1'-0"

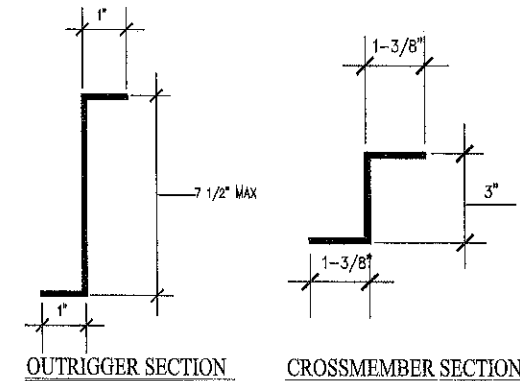


FLOOR JOIST
 SCALE: 1" = 1'-0"

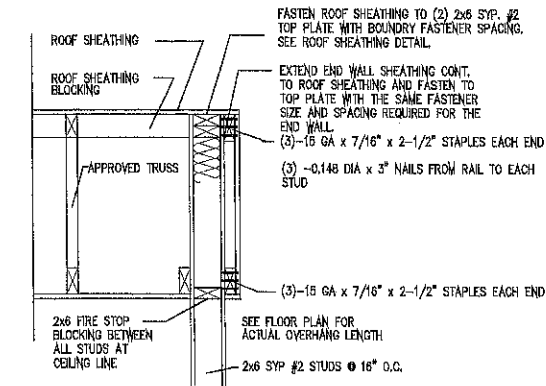
RAIL AND RAIL FASTENING CHART						
WIND SPEED (EXP. C)	15'-8" MAX. MODULE WIDTH		13'-8" MAX. MODULE WIDTH		11'-8" MAX. MODULE WIDTH	
	MINIMUM RAIL SIZE	STAPLES PER RAIL	MINIMUM RAIL SIZE	STAPLES PER RAIL	MINIMUM RAIL SIZE	STAPLES PER RAIL
165 MPH	2 X 10	8	2 X 8	7	2 X 8	6

NOTES:

1. THIS DESIGN IS BASED ON ASCE 7 - 02 WITH A ROOF ANGLE OF LESS THAN 10°.
2. ALL RAILS ARE SYP #2 LUMBER OR BETTER.
3. ALL FASTENERS ARE 16 GA. X 7/16" X 2 - 1/2" STAPLES OR EQUAL.



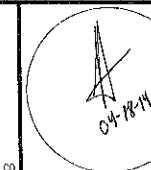
OUTRIGGER SECTION **CROSSMEMBER SECTION**



ENDWALL DETAIL
 SCALE: 1" = 1'-0"

CONSULTING ARCHITECT
 THOMAS L. MELTON
 FLORIDA # ARO017033

REVISION DATE:



DATE: 04-18-2017

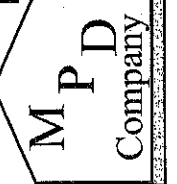
DRAWN: R.L.G.

UNIT#: 633018-9

SHEET NO.

A3

MODULAR PLANS DESIGN, CO.



MODULAR STRUCTURE FOR:

ModSpace
 (24' X 72')

PH: 853-688-1054
 FAX: 853-688-7718
 1074 S. FLORIDA AVE., SUITE 201
 LAKELAND, FLORIDA 33803
 MODULARPLANS@TAMPAFLA.NET

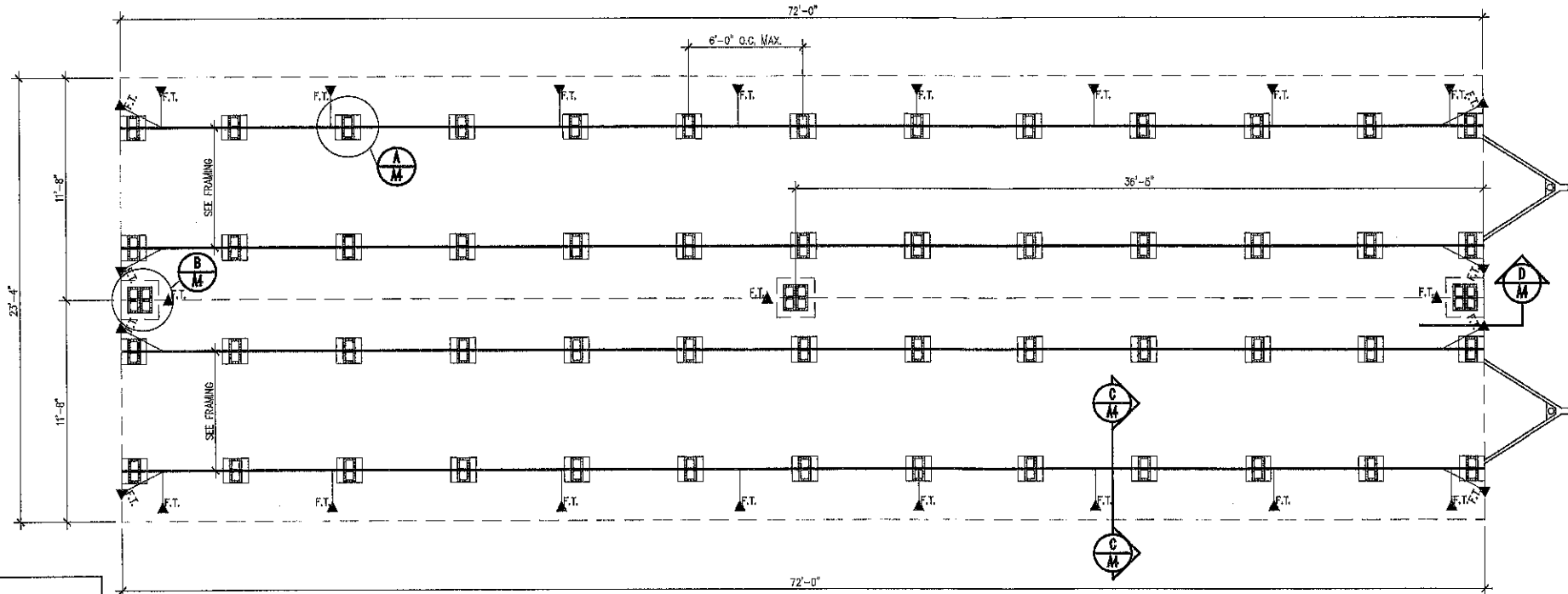
FRC 5th EDITION w/ 2016 SUPP.
COMPLIANCE STATEMENT:
1. BASIC WIND SPEED - SEE ANCHOR SCHEDULE
2. BASIC CATEGORY -
3. BASIC EXPOSURE -
4. INTERNAL PRESSURE COEFF.: 0.18

ANCHOR & STRAPPING SCHEDULE	
72' BOX 130 MPH	9 STRAPS PER SIDE
72' BOX 140 MPH	10 STRAPS PER SIDE
72' BOX 150 MPH	11 STRAPS PER SIDE
72' BOX 160 MPH	12 STRAPS PER SIDE
72' BOX 170 MPH	13 STRAPS PER SIDE
72' BOX 180 MPH	14 STRAPS PER SIDE (QWH2)

GROUND ANCHOR NOTE
GENERAL NOTE:
STABILIZER PLATES ARE NOT REQUIRED WITH INSTALLATION, HOWEVER, ANY UNSTABLE SOIL CONDITIONS THAT MAY IMPACT THE GROUND ANCHORS ABILITY TO RESIST UPLIFT MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

FOUNDATION DIMENSIONS		
A. MODULE WIDTH	B. PIER TO MODULE EDGE	C. STEEL BEAM SPACING
11' - 8"	22"	VARIES
D. MAX. PIER SPACING		MINIMUM SOIL BEARING CAPACITY
6' - 0"		2000 PSF

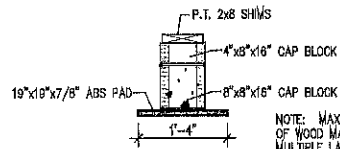
SYMBOLS	
	FRAME TIE-DOWN FASTENED TO GROUND ANCHOR
	HURRICANE STRAP



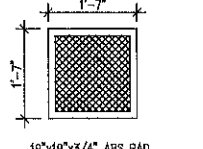
NOTE: LESSEE/END USER IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS.
NOTE: LESSEE/END USER IS RESPONSIBLE FOR CONDUCTING A "PULL TEST" IF REQUIRED FOR PERMITTING.

NOTE: IF SITE CONDITIONS/BUILDING CONSTRUCTION DICTATE ANY STATE OF FLORIDA APPROVED TIE-DOWN METHOD MAY BE USED IN LIEU OF THE DETAIL SHOWN.
NOTE: CONTRACTOR TO FIELD VERIFY ALL COLUMN LOCATIONS TO INSURE CORRECT PLACEMENT OF SUPPORT PIERS.

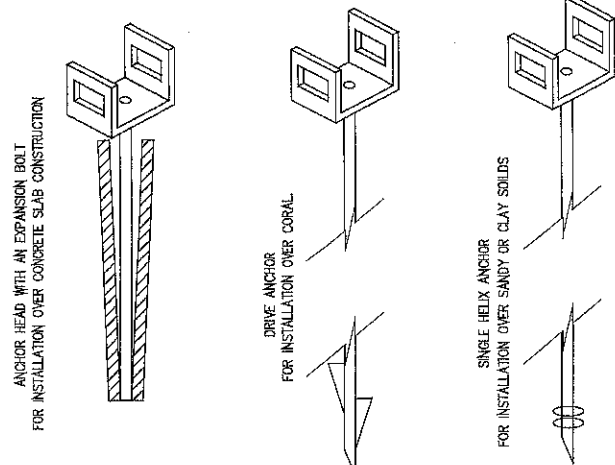
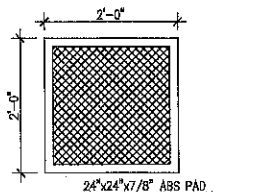
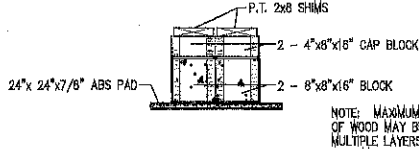
FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



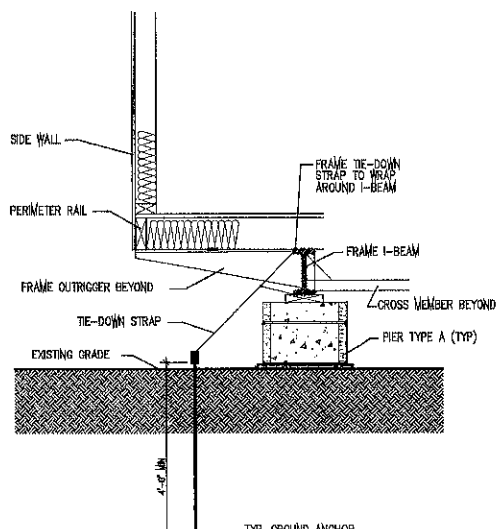
PIER "A"
SCALE: 3/4" = 1'-0"



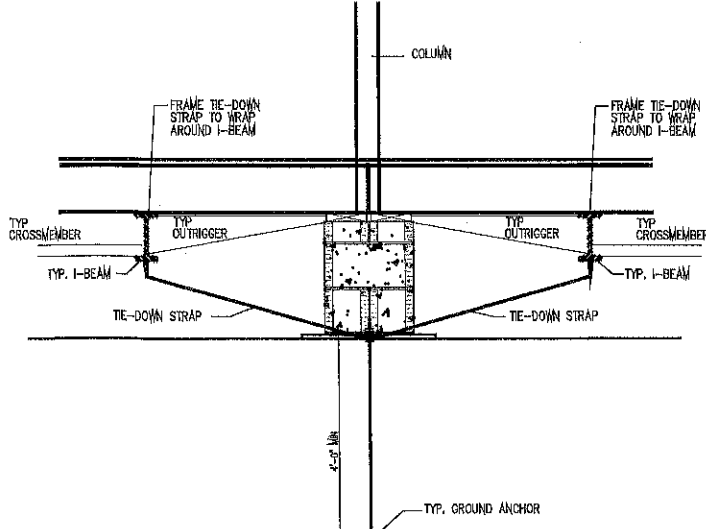
PIER "B"
SCALE: 3/4" = 1'-0"



ANCHOR TYPES
SCALE: NTS



SECTION TIE DOWN, SIDEWALL (TYP.)
SCALE: 3/4" = 1'-0"



SECTION TIE DOWN, MATE-LINE (TYP.)
SCALE: 3/4" = 1'-0"

FOUNDATION NOTES:

MATERIAL SPECIFICATIONS:

SOIL & SITE PREPARATION:

1. FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. ANY SOIL CONDITIONS THAT MAY DIFFER FROM THIS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. FOUNDATIONS SHALL BE BUILT ON UNDISTURBED SOIL OR PROPERLY COMPACT FILL MATERIAL. COMPACTED SOILS SHALL BE TESTED TO A MINIMUM OF 95% PROCTOR IN ACCORDANCE WITH ASTM D 1557.
3. EXCAVATIONS FOR FOUNDATIONS SHALL BE BACKFILLED WITH SOIL WHICH IS FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, AND LARGE ROCKS.
4. LESSEE/END USER IS RESPONSIBLE FOR INSURING THAT SITE/SOIL CONDITIONS MEET OR EXCEED THE REQUIREMENTS SHOWN.

BASE PAD:

1. PIER FOOTING TYPE "A" SHALL BE 19"X19" ABS PAD OR 16"X16"X4", 2500 PSI CONCRETE PAD. PIER FOOTING TYPE "B" SHALL BE 24"X24" ABS PAD.
2. CONCRETE IN FOOTINGS SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH OF NO LESS THAN 2500 PSI AT 28 DAYS.

MASONRY UNIT:

1. PIERS SHALL BE CONSTRUCTED WITH NOMINAL 8"X16"X4" CONCRETE MASONRY UNITS CONFORMING TO ASTM C-90.

WOOD & SHIM MATERIAL:

1. ALL WOOD BLOCKING AND SHIMS SHALL BE CEDAR OR PRESSURE TREATED.

GROUND ANCHORS:

1. GROUND ANCHORS SHALL HAVE 4725# MIN. ULTIMATE CAPACITY & SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

TIE-DOWN STRAPS:

1. THE TIE-DOWN STRAPS SHALL BE 1/4" X 0.35" GALVANIZED STEEL QQS-781-H TYPE 1 FINISH-B, GRADE-1. TIE-DOWN STRAPS AND CONNECTING HARDWARE SHALL HAVE 4725# MIN. ULTIMATE CAPACITY.

INSTALLATION SPECIFICATIONS:

SOIL & SITE PREPARATION:

1. WHERE WATER IMPACTS THE GROUND FROM A ROOF VALLEY, DOWN SPOUT, SCUPPER, OR OTHER RAINWATER COLLECTION OR DIVERSION DEVICE, PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION AND DIRECT THE WATER AWAY FROM THE FOUNDATION.
2. FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE AREA UNDER FOOTINGS, FOUNDATIONS, AND CONCRETE SLABS ON GRADE SHALL HAVE NO VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIAL REMOVED PRIOR TO THEIR CONSTRUCTION. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL.

MASONRY UNIT:

1. LONG DIMENSION OF ALL PIERS MAY BE INSTALLED PERPENDICULAR OR PARALLEL TO THE FRAME. MAXIMUM OF (4) COURSES, (32" HIGH) UNLESS OTHERWISE NOTED.
2. CONCRETE MASONRY UNITS SHALL CONFORM TO THE ASTM C 90 STANDARDS.
3. CONSTRUCTION OF DRY-STACKED, SURFACE BONDED MASONRY WALLS WHEN SPECIFIED, INCLUDING STACKING AND LEVELING OF ALL UNITS, MIXING AND THE APPLICATION OF MORTAR, CURING AND PROTECTION SHALL COMPLY WITH ASTM C 946.

TIE-DOWN STRAPS:

1. THE FIRST TIE-DOWN STRAP FROM THE ENDWALL SHALL NOT EXCEED 2'-6", UNLESS OTHERWISE SHOWN.
2. REFER TO ANCHOR & STRAPPING SCHEDULE FOR MINIMUM NUMBER OF GROUND ANCHORS.

CONSULTING ARCHITECT
THOMAS L. MELTON
FLORIDA # ARO017033

REVISION DATE:

DATE: 04-18-2017
DRAWN: R.C.S.
JOB #: 633018-6
SHEET NO. A4

MODULAR PLANS DESIGN, CO.

M P D
Company

MODULAR STRUCTURE FOR:
ModSpace
(24' X 72')

PH: 863-688-1054
FAX: 863-688-7118
MODULARPLANS@TAMPABAY.FL.COM

1074 S. FLORIDA AVE., SUITE 201
LAKELAND, FLORIDA 33803

ATTACHMENT B
Resolution No. 13-DPS-13

2

CITY OF HOLLYWOOD
PLANNING AND DEVELOPMENT BOARD

INSTR # 111699663
OR BK 50025 Pages 1826 - 1834
RECORDED 07/29/13 10:05:02 AM
BROWARD COUNTY COMMISSION
DEPUTY CLERK 2165
#2, 9 Pages

RESOLUTION NO. 13-DPS-13

A RESOLUTION OF THE CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD CONSIDERING A REQUEST FOR A SPECIAL EXCEPTION, DESIGN AND SITE PLAN APPROVAL, FOR THE EXPANSION OF AN EXISTING CHARTER SCHOOL (PARAGON ACADEMY OF TECHNOLOGY, INC. AND SUNSHINE ELEMENTARY CHARTER SCHOOL) BY CONSTRUCTING AN APPROXIMATE 5,200 SQ. FT. ADDITION LOCATED AT 502 NORTH 28TH AVENUE, PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Planning and Development Board (the "Board") is charged with, among other things, the responsibility of considering requests for variances, design, special exceptions and site plan approval; and

WHEREAS, Section 3.12 G. 2. of the City's Zoning and Land Development Regulations provides that an application for a Special Exception may be filed to intensify a lawful nonconforming use of land or extension of such use to occupy a greater area than otherwise permitted; and

WHEREAS, the Board is duly empowered to grant design approvals in accordance with the guidelines and procedures found in Section 5.3 of the City's Zoning and Land Development Regulations and site plan approval pursuant to Article 6 of the Zoning and Land Development Regulations; and

WHEREAS, Alliance Hollywood, LLC (the "Applicant"), has applied for a Special Exception, Design and Site Plan approval for the construction of an approximate 5,200 square foot addition to an existing charter school located at 502 North 28th Avenue, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Assistant Director, Planning Manager and Planning and Development Services Administrator of the Planning and Development Services ("Staff"), following an analysis of the application and its associated documents have determined that the proposed request for a Special Exception for the expansion of the existing charter school by constructing an approximate 5,200 addition to the charter school does meet the criteria set forth in Section 3.12 H. of the Zoning and Land Development Regulations and have therefore recommended that it be approved with the following conditions:

- (1) The Charter School shall provide two start times separated by a minimum of 30 minutes and two end times separated by a minimum of 45 minutes; and
- (2) The Applicant shall install the missing portion of the sidewalk that terminates at the western boundary of the property to the existing sidewalk along Pierce Street from the existing sidewalk to the east located along North 28th Avenue by the earlier of the following dates:
 - (a) Within two (2) years of the date that the Certificate of Occupancy is issued for the current expansion; or
 - (b) Prior to the issuance of the Certificate of Occupancy for any future facilities; and
- (3) All of the improvements depicted on the site plan attached hereto and incorporated by reference as Exhibit "B", shall receive a Certificate of Occupancy and/or Certificate of Completion prior the establishing the new school building.

; and

WHEREAS, Section 3.12 H. of the Zoning and Land Development Regulations states that any approval of G.1. through G.5. shall be based upon the Planning and Development Board determining that the following criteria have been met:

- (1) That the approval of the application is necessary for the preservation and enjoyment of substantial property rights of the applicant; and.
- (2) That the approval will not, under any circumstances of the particular case, be detrimental to the health, safety and general welfare of persons working or residing within the vicinity; and
- (3) That the approval will not be detrimental or injurious to property and improvements in the vicinity or to the general welfare of the city; and
- (4) That the approval will, to the maximum extent possible, bring the use or building and the site upon which it is located into compliance with the city regulations.

; and

WHEREAS, the Assistant Director of Planning and the Planning and Development Services Administrator, following analysis of the application and its associated documents, have determined that the proposed request for Design approval meets the applicable criteria set forth in Section 5.3.I.4. of the Zoning and Land Development Regulations and therefore recommend approval of the Design; and

WHEREAS, the Technical Advisory Committee, following an analysis of the application and its associated documents, have determined that the proposed request for Site Plan approval does meet the review standards set forth in Article 6 of the Zoning and Land Development Regulations and have therefore recommended approval of the proposed Site Plan; and

WHEREAS, on June 26, 2013, the Board met and held an advertised public hearing to consider the Applicant's requests; and

WHEREAS, the Board reviewed the application for the Special Exception for the expansion of the existing charter school by constructing an approximate 5, 200 square foot addition, reviewed the evidence submitted and the testimony received at the public hearing, considered staff's recommendation with conditions, and applied the criteria for reviewing a request for a Special Exception as set forth in Section 3.12.H. of the City's Zoning and Land Development Regulations and the Board determined that the criteria with staff's conditions have been met and therefore approve the Special Exception with said conditions; and

WHEREAS, the Board reviewed the application and the Department of Planning and Development Services staff report and recommendations for the Design approval and considered the following criteria pursuant to Section 5.3.I.4.a. (1) through (4) of the City's Zoning and Land Development Regulations:

- 1) The Architectural details are commensurate with the building mass. Design of the building(s) considered aesthetics and functionality, including the relationship of the pedestrian with the built environment;
- 2) Compatibility. There is an appropriate relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. The Building contains architectural details that are characteristic of the surrounding neighborhood;
- 3) Scale/Massing. The Building is proportionate in scale, with a height which is consistent with the surrounding structures. The Building mass reflects a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. The Architectural details include, but are not limited to, banding, molding, and fenestration; and
- 4) Landscaping. The Landscaped areas contain a variety of native and other compatible plant types and forms, and are carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site have been preserved.

; and

WHEREAS, the Board reviewed the application and the Department of Planning and Development Services staff report and the Technical Advisory Committee's recommendation of approval for the Site Plan and considered the Site Plan review standards set forth in Article 6 of the Zoning and Land Developments;

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND DEVELOPMENT BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all written and oral testimony received during the public hearing, and the consideration of the criteria listed herein for approving/denying the requested Special Exception to intensify the existing charter school by constructing an approximate 5,200 addition for the property located at 502 North 28th Avenue, and its findings set forth above, the Board finds that the necessary criteria have been met, and the requested Special Exception is hereby **approved** with the following conditions:

- (a) The Charter School shall provide two start times separated by a minimum of 30 minutes and two end times separated by a minimum of 45 minutes; and
- (b) The Applicant shall install the missing portion of the sidewalk that terminates at the western boundary of the property to the existing sidewalk along Pierce Street from the existing sidewalk to the east located along North 28th Avenue by the earlier of the following dates:
 - (1) Within two (2) years of the date that the Certificate of Occupancy is issued for the current expansion; or
 - (2) Prior to the issuance of the Certificate of Occupancy for any future facilities; and
- (c) All of the improvements depicted on the site plan attached hereto and incorporated by reference as Exhibit "B", shall receive a Certificate of Occupancy and/or Certificate of Completion prior the establishing the new school building; and
- (d) The Applicant shall hook-up the remaining buildings to the City's sanitary sewer system within two (2) years as required by an agreement with the City's Dept. of Public Utilities.

Section 2: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Design criteria set forth herein, the Board finds that the necessary criteria have been met, and the Design is hereby **approved**.

Section 3: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Site Plan review standards set forth in Article 6 of the Zoning and Land Development Regulations, the Board finds that the necessary review standards have been met, and Site Plan is hereby **approved**.

Section 4: That the Applicant shall have up to 24 months from the date of the Special Exception approval to apply for all necessary building permits or license. Failure to submit an application within the required time period shall render all approvals null and void.

Section 5: That the Applicant shall have up to 24 months from the date of this Design approval to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the required time period shall render all approvals null and void.

Section 6: That the Applicant shall have up to 24 months from the date of Site Plan approval to apply for a valid construction permit. Failure to submit an application within the required time period shall render all approvals null and void.

[THIS SPACE LEFT INTENTIONALLY BLANK]

PLANNING AND DEVELOPMENT BOARD RESOLUTION 13-DPS-13 (ALLIANCE HOLLYWOOD, LLC 502 NORTH 28TH AVENUE)

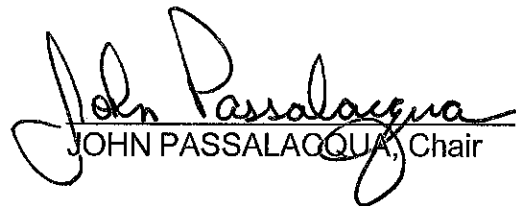
Section 7: That the Department of Planning and Development Services is hereby directed to forward a copy of this resolution to the Applicant/Owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the Public Records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 26th DAY OF JUNE, 2013.

RENDERED THIS 23 DAY OF July, 2013.

ATTEST:


JOSEPH KALLER, Secretary


JOHN PASSALACQUA, Chair

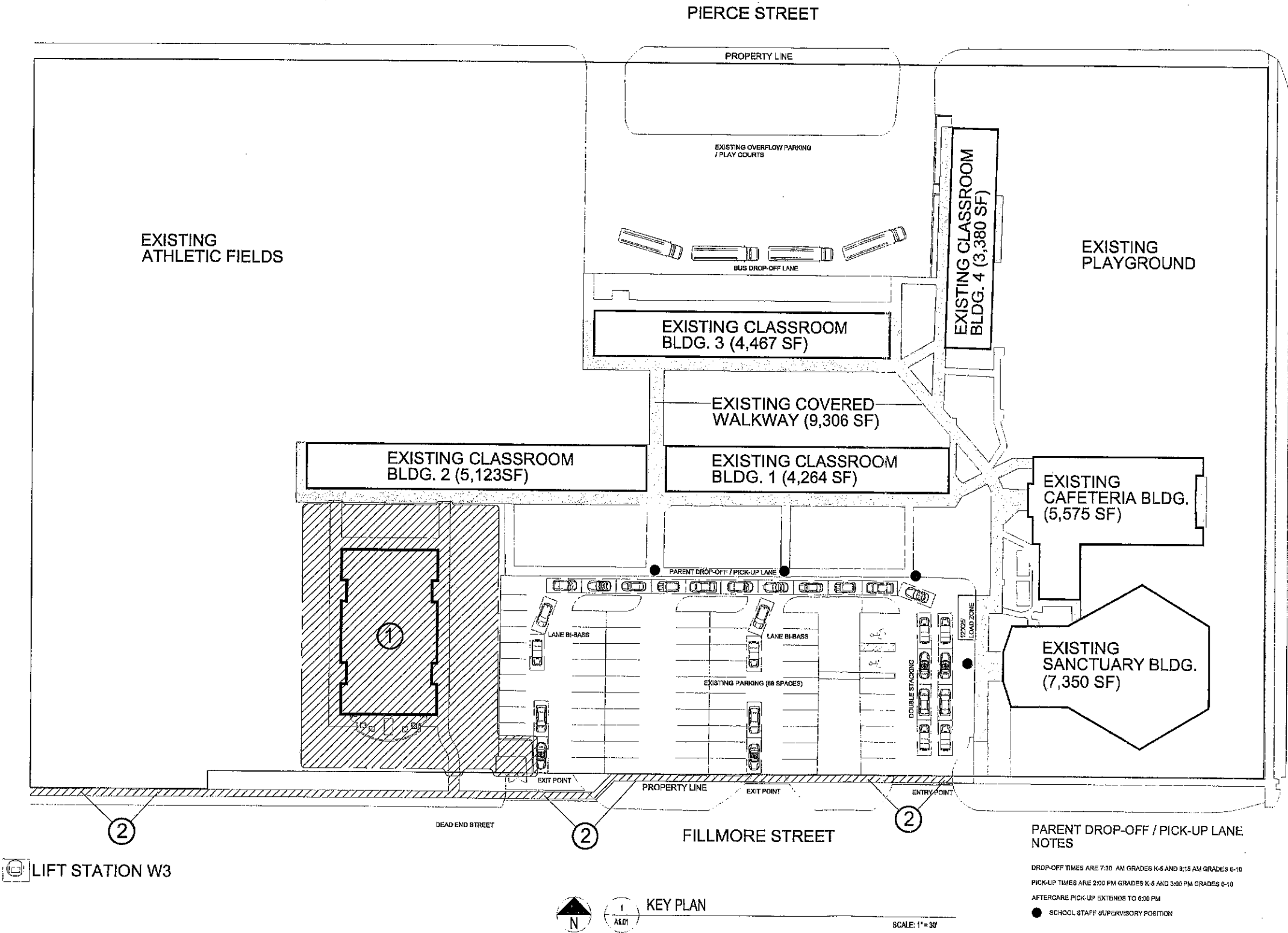
APPROVED AS TO FORM & LEGALITY
for the use reliance of the Planning and
Development Board of the City of Hollywood,
Florida, only.


JEFFREY P. SHEFFEL, BOARD COUNSEL

EXHIBIT "A"
LEGAL DESCRIPTION

Lots 1 through 6, Inclusive, less the South 10 feet thereof, Lot 7, and Lots 18 through 24, Inclusive, Block 39, HOLLYWOOD LITTLE RANCHES, according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward county, Florida.

EXHIBIT "B"
PLANS



SUPPLEMENTAL TABULAR INFORMATION

ITEM	RESPONSE
NUMBER OF EXISTING STUDENTS	326
NUMBER OF ADDITIONAL STUDENTS	226
TOTAL NUMBER OF STUDENTS	552
EXISTING TEACHER STUDENT RATIO	
GRADES K - 3	8 TEACHERS / 144 STUDENTS
GRADES 3 - 7	8 TEACHERS / 175 STUDENTS
GRADES 8 - 10	NA
ADMIN. AND SUPPORT	8 TEACHERS AND STAFF
ADDITIONAL TEACHER STUDENT RATIO	
GRADES K - 3	1 TEACHERS / 16 STUDENTS
GRADES 3 - 7	4 TEACHERS / 88 STUDENTS
GRADES 8 - 10	4 TEACHERS / 100 STUDENTS
ADMIN. AND SUPPORT	1 TEACHERS AND STAFF
TOTAL TEACHER STUDENT RATIO	
GRADES K - 3	9 TEACHERS / 162 STUDENTS
GRADES 3 - 7	12 TEACHERS / 264 STUDENTS
GRADES 8 - 10	4 TEACHERS / 100 STUDENTS
ADMIN. AND SUPPORT	10 TEACHERS AND STAFF
HOURS OF OPERATION	7:30 AM - 6:00 PM
EXISTING BUILDING AREA	35,168 GSF
ADDITIONAL BUILDING AREA	5,184 GSF
TOTAL BUILDING AREA	40,352 GSF
LOADING CALCULATIONS	1 EXISTING LOADING ZONE (1 SPACE PER 25-40,000 SF)

TABULAR INFORMATION

ITEM	RESPONSE
LEGAL DESCRIPTION	Lots 1 through 8, inclusive, less the South 10 foot thereof, Lot 7, and Lots 18 through 24, inclusive, Block 36, HOLLYWOOD LITTLE RANCHES, according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward county, Florida.
SITE AREA	281,000 SF (6.46 ACRES)
ZONING	RM-18
LAND USE	MRES
SETBACKS	
FRONT REQUIRED	20'
FRONT PROVIDED	NA'
BACK REQUIRED	20'
BACK PROVIDED	178'
S. SIDE STREET REQUIRED	16'
S. SIDE STREET PROVIDED	31.3'
N. SIDE STREET REQUIRED	15'
N. SIDE STREET PROVIDED	NA
PERVIOUS / IMPVIOUS	
IMPERVIOUS REQUIRED (MAX.)	60%
IMPERVIOUS PROVIDED	34.7% (97,470 SF)
BUILDING	12.3% (35,392 SF)
COVERED WALKWAY	4.1% (11,833 SF)
WALKS AND COURTS	2.4% (6,870 SF)
PAVEMENT	15.2% (43,876 SF)
PERVIOUS REQUIRED (MIN.)	40%
PERVIOUS PROVIDED	65.3% (183,648 SF)
HEIGHT OF STRUCTURE	
ALLOWABLE HEIGHT	46'
PROVIDED HEIGHT	19'
PARKING	
PARKING REQUIRED	34 (STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES, FBC 423)
FACULTY	28 (28 FACULTY / 1 PARKING SPACE PER FACULTY)
VISITORS	6 (825 STUDENTS / 1 PARKING SPACE / 100 STUDENTS)
H.S. STUDENTS (6-10)	0
ACCESSIBLE	(2) (INCLUDED IN COUNT)
PARKING PROVIDED	68
EXISTING PARKING	68
REQUESTED VARIANCES	SPECIAL EXCEPTION FOR EXPANDED USE
MAXIMUM P-2 AT PROPERTY LINE	0 P-2 (NO SITE LIGHTING)
TOTAL GROSS FLOOR AREA	5,184 GSF (PROPOSED BUILDING)

SCOPE OF WORK

- ① AREA 1 - CONSTRUCT 5,184 SF CLASSROOM BUILDING AND ASSOCIATED SITE WORK. SEE DRAWINGS A1.02, A2.01, A3.01, AND C2.01
- ② AREA 2 - CONSTRUCT 4' WIDE SIDEWALK ALONG FILLMORE STREET. SEE DRAWINGS C1.01 AND C3.01

THIS PROJECT SHALL CONFORM TO THE GREEN BUILDING ORDINANCE
ALL EXTERIOR BELLS AND SPEAKERS ARE EXISTING, NO NEW EXTERIOR DEVICES

CONSILUM ATLANTIC, INC.
3400 Robb Rd.
Pompano Beach, FL 33062
Tel. 954.788.3884
Fax. 954.788.3874
consilumatlantic.com
Copyright 2013, by Consilum Atlantic, Inc. All rights reserved.

CONSILUM
design build

Paragon Academy
Classroom Addition
502 N. 28th Avenue
Hollywood
Florida

FILE	1308	
REVISIONS:	DESCRIPTION DATE	
1	PRELIM TAG	04.15.13
2	FINAL TAG REV.	04.15.13

KEY PLAN
DRAWING
A1.01

J. J. SCOTT MIRE
AR0014801

DRAWING

A1.02



A1.02

SCALE: 1" = 10'







ATTACHMENT C

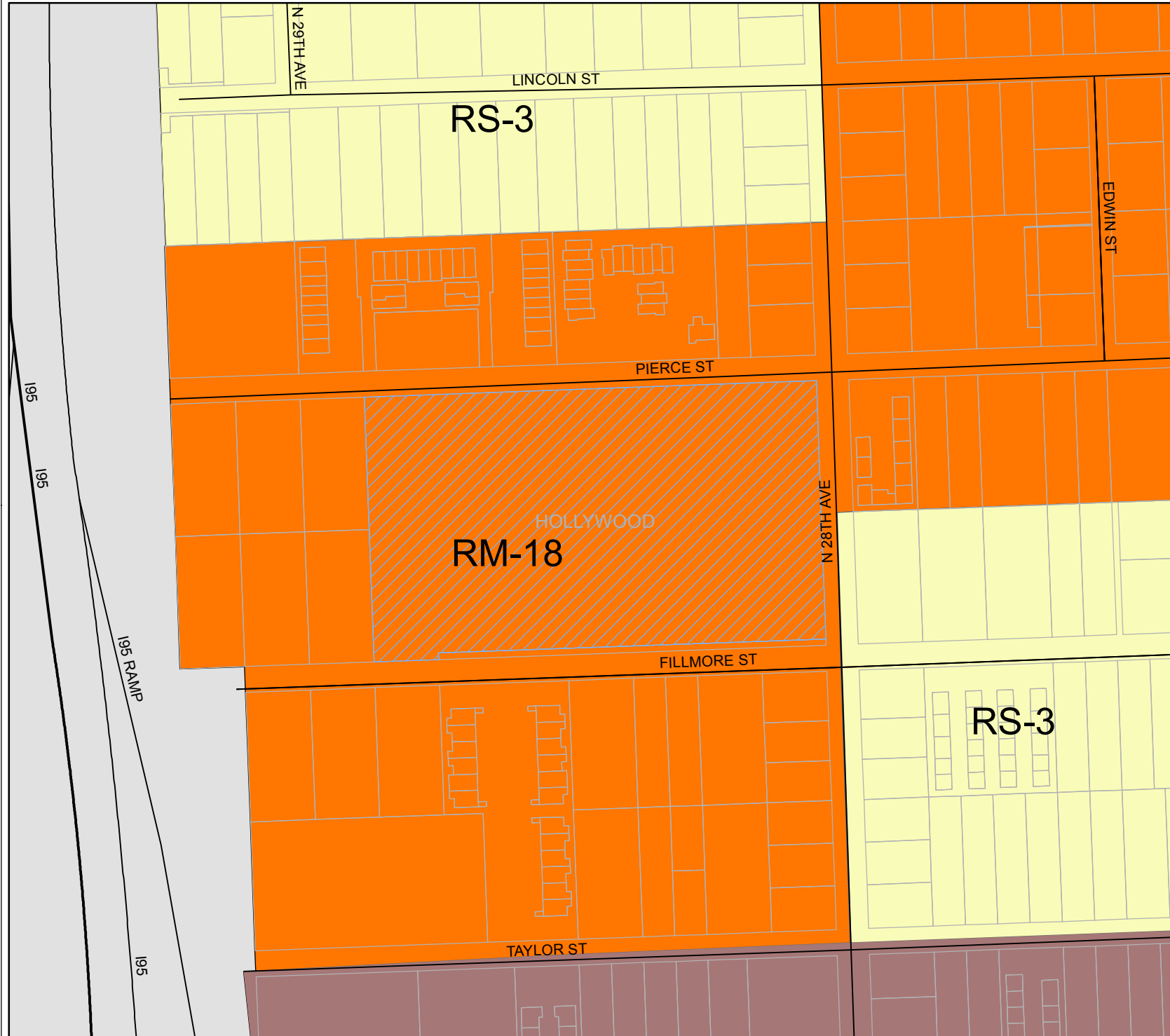
Land Use and Zoning Map



DEVELOPMENT SERVICES
PLANNING

Legend

-  Subject Property
-  Parcels
-  LRES
-  MRES
-  RAC
-  TRANS



0 50 100 200 Feet

