

**CITY OF HOLLYWOOD, FLORIDA  
DEPARTMENT OF DEVELOPMENT SERVICES  
PLANNING DIVISION**

**DATE:** July 13, 2017

**FILE:** 16-DP-22

**TO:** Planning and Development Board

**VIA:** Alexandra Carcamo, Principal Planner



**FROM:** Arceli Redila, Planning Administrator



**SUBJECT:** 115 Holdings, Inc. requests Design, and Site Plan for an approximate 28,500 square foot mixed-use development, generally located at 113-117 South 21<sup>st</sup> Avenue, east of South 21<sup>st</sup> Avenue between Hollywood Boulevard and Harrison Street (Atrium Center).

**REQUEST**

Design and Site Plan for an approximate 28,500 square foot mixed-use development (Atrium Center).

**RECOMMENDATION**

Design: Approval.

Site Plan: Approval, if Design is granted.

**BACKGROUND**

The subject site is generally located east of South 21<sup>st</sup> Avenue between Hollywood Boulevard and Harrison Street. The overall site at approximately 0.26 acres currently contains a 5,500 square foot building. It has a Land Use designation of Regional Activity Center (RAC).

Regional Activity Center (RAC) Land Use designation is to encourage redevelopment or development of areas that are regionally significant. The major purposes of this designation is to facilitate multi-use and mixed-use development, encourage mass transit, reduce the need of automobile travel, provide incentives for quality development, and give definition to the urban form.

In 2009, a Master Plan was established for Downtown. This plan recommended the creation of several zoning districts complementary of the RAC Land Use; later in 2016 the rezoning of the area was finalized. As a result of the recent rezoning, the subject site is now zoned Historic Retail Core (RC-2).

**REQUEST**

The Applicant, 115 Holdings, Inc. is requesting Design and Site Plan approval for an approximate 28,500 square foot mixed-use development, known as Atrium Center. The project proposes to expand the existing building to four-stories; at 55 feet, the mixed-use building includes retail space on the ground floor, office space on the second floor, and nine two-bedroom residential units on the third and fourth floors.

The proposed design is contemporary, consisting of simple rectilinear forms. The street-facing façade is predominantly glass, accented with aluminum perforated panels, steel and brick. It is further articulated

with large balconies on the upper floor which creates a vertical transition of the residential units above the commercial space.

Building setbacks, parking, and vehicular access and circulation respectively, are met. Parking will be provided on the ground floor concealed from the street as it is integrated into the building design. The intent of the Applicant is to improve the site, and provide live and work spaces, a truly mixed-use building for urban living. Redevelopment of this site will enhance the appearance of the site and that of surrounding areas; as well as improve the community.

## **SITE DATA**

<b>Owner/Applicant:</b>	115 Holdings, Inc.
<b>Address/Location:</b>	Generally located at 113-117 South 21 <sup>st</sup> Avenue, east of South 21 <sup>st</sup> Avenue between Hollywood Boulevard and Harrison Street
<b>Net Area of Property:</b>	11,475 sq. ft. (0.26 acres)
<b>Gross Area of Property</b>	14,237 sq. ft. (0.33 acres)
<b>Land Use:</b>	Regional Activity Center (RAC)
<b>Zoning:</b>	Retail Core (RC-2)
<b>Existing Use of Land:</b>	Mixed-Use

## **ADJACENT LAND USE**

<b>North:</b>	Regional Activity Center (RAC)
<b>South:</b>	Regional Activity Center (RAC)
<b>East:</b>	Regional Activity Center (RAC)
<b>West:</b>	Regional Activity Center (RAC)

## **ADJACENT ZONING**

<b>North:</b>	Retail Core (RC-2)
<b>South:</b>	Retail Core (RC-2)
<b>East:</b>	Retail Core (RC-2)
<b>West:</b>	Planned Development (PD)

## **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

Located within the Regional Activity Center the subject site is surrounded by residential and commercial properties. The goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.* The intent of the Regional Activity Center Land Use designation is to *encourage redevelopment or development of areas that are regionally significant. The major purposes of this designation are to facilitate multi-use and mixed-use development, encourage mass transit, reduce the need of automobile travel, provide incentives for quality development, and give definition to the urban form.* Development of this site enhances the neighborhood, encourages redevelopment of the area, and provides a model for new development within the Regional Activity Center.

The project is consistent with the Comprehensive Plan based on the following Objectives:

**Objective 4:** *Maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted.*

**Objective 5:** *Encourage appropriate infill redevelopment in blighted areas throughout the City and economic development in blighted business and tourist areas.*

**Objective 6:** *Encourage multi-use areas and mixed uses concentrations of density near existing or planned major employment centers and major transportation routes in order to promote energy*

*conservation and mass transit, preserve air quality, reduce the cost of services, encourage affordable housing, and promote economic development.*

## **CONSISTENCY WITH THE CITY-WIDE MASTER PLAN**

Located within Sub-Area 2, is Dixie Highway Corridor, bounded by Federal Highway on the east, Sheridan Street on the north, Pembroke Road on the south, and FEC Railroad and 22<sup>nd</sup> Avenue on the west.

The proposed request is consistent with City-Wide Master Plan based upon the following:

**Guiding Principle:** *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*

**Policy 2.9:** *Encourage development of office space in the Downtown and desired locations.*

**Policy 2.10:** *Encourage high-density residential development in the Downtown.*

**Policy 3.39:** *Support new housing and rehabilitation to replace deteriorated structures.*

The City-Wide Master Plan recognizes the need for mixed-use development within the Downtown area and along the corridors. As revitalization of Downtown continues, street side dining, sidewalk strolling, window shopping and other “New Urbanism” features such as these are being incorporated into new developments.

## **APPLICABLE CRITERIA**

**Analysis of Criteria and Findings for Design** as stated in the City of Hollywood’s Zoning and Land Development Regulations, Article 5.

**CRITERIA 1:** Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

**ANALYSIS:** The design is contemporary. The street-facing façade is predominantly glass, accented with aluminum perforated panels, steel and brick. It is further articulated with large balconies on the upper floor which creates a vertical transition of the residential units above the commercial space. The building fronts the street and is oriented to provide direct pedestrian access and give definition to the urban form. Orienting buildings toward the street further supports the intent of the Regional Activity Center *to encourage redevelopment or development which facilitate multi-use and mixed-use development, encourage mass transit, reduce the need of automobile travel, provide incentives for quality development, and give definition to the urban form.*

**FINDING:** Consistent.

**CRITERIA 2:** Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

**ANALYSIS:** The area is primarily surrounded by multi-family residential buildings; densification of this underutilized site reinforces the urban form and building pattern emerging throughout Dixie Highway Corridor. The Applicant states, "...it brings to life the vision of the new zoning regulations for the RC2 corridor without complete dwarfing the existing structures around it." The proposed development is compatible with both the building pattern and characteristics of the surrounding neighborhood.

**FINDING:** Consistent.

**CRITERIA 3:** Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding molding, and fenestration.

**ANALYSIS:** The project proposes to expand the existing building to a four-story mixed-use building at 55 feet of approximately 28,500 square feet. The building mass reflects simple composition of basic architectural details. The design is contemporary with clean lines and modern finishes. The street-facing façade is predominantly glass, accented with aluminum perforated panels, steel and brick. It is further articulated with large balconies on the upper floor which creates a vertical transition of the residential units above the commercial space.

**FINDING:** Consistent.

**CRITERIA 4:** Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

**ANALYSIS:** The landscape design enhances the design of the building while adding visual appeal to the neighborhood. Although the building is locked on both sides with a zero lot line, an atrium feature is provided allowing an access to natural light while creating a courtyard space for all tenants to enjoy. In addition, street trees will be added to accent the entrance of the parking area which is located under the building fully integrated into the building design.

**FINDING:** Consistent.

**CRITERIA 5:** That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

**FINDING:** Not applicable.

## **SITE PLAN**

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 6 of Zoning and Land Development Regulations on May 9, 2017. Therefore, Staff recommends approval, if Design is granted.

## **ATTACHMENTS**

ATTACHMENT A: Application Package  
ATTACHMENT B: Land Use and Zoning Map



# ATTACHMENT A

## Application Package

# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

## GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: 05/23/2017

Location Address: 115/117 S 21<sup>st</sup> AVE  
Lot(s): 4/5 Block(s): 8 Subdivision: Appt. 1-21 B  
Folio Number(s): 514215 011300 / 514215 011310  
Zoning Classification: RC-2 Land Use Classification: 12/28  
Existing Property Use: MIXED USE Sq Ft/Number of Units: 6,892 / 1 apt.  
Is the request the result of a violation notice? ( ) Yes ☒ No If yes, attach a copy of violation.  
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): YES

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: Planning & Development Review & Approval for Final Site Plan Approval

Number of units/rooms: 7 Sq Ft: 5,820 commercial existing 10,000 BIA office  
Value of Improvement: Approx 2 M.L. Estimated Date of Completion: Jan. 2019  
Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: 115 HOLDINGS INC  
Address of Property Owner: 4451 HOLLYWOOD BLVD, Hollywood, FL 33021  
Telephone: 954-678-8733 Fax: \_\_\_\_\_ Email Address: John@benarocgroup.net  
Name of Consultant/Representative/Tenant (circle one): NICOLAE POPESCU  
Address: 180 E. Atlantic Ave. Blvd. 14th Hallandale FL 33009 Telephone: 954-401-5052  
Fax: N/A Email Address: Architectura.Group.Miami@Gmail.com  
Date of Purchase: 2/22/13 Is there an option to purchase the Property? Yes ( ) No ☒  
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_  
Address: \_\_\_\_\_  
Email Address: \_\_\_\_\_



# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 05/03/17

PRINT NAME: \_\_\_\_\_

JOHN DEMARCO

Date: 05/03/17

Signature of Consultant/Representative: \_\_\_\_\_

Date: 05/28/17

PRINT NAME: \_\_\_\_\_

NICOLAE POPESCU

Date: 05/03/17

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for ATTIRION CENDED SITE PLAN APPROVAL to my property, which is hereby made by me or I am hereby authorizing NICOLAE POPESCU to be my legal representative before the Planning & Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 24 day of May

[Signature]

Notary Public

State of Florida

My Commission Expires: 4/3/21 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



Daysha Mahabir  
Commission # GG089830  
Expires: April 3, 2021  
Bonded thru Aaron Notary

Signature of Current Owner

John DeMarco

Print Name



# **ARCHITECTURA GROUP MIAMI**

Submittal for Planning and Development Board

## **"ATRIUM CENTER MIXED USE PROJECT"**

(115 / 117 S 21<sup>st</sup> Ave, Hollywood Fl. 33021)

Legal Description – Project Information – Criteria Statements

PREPARED BY:

Nicolae Popescu  
1920 E Hallandale Beach Blvd. Suite PH11  
Hallandale Fl. 33009  
954-401-5082

May 23, 2017



#### **USA – Florida - Corporate Office**

**1920 Hallandale Blvd, Suite 908  
HALLANDALE, FLORIDA 33009. USA  
Phone: 954-401-5082**

[www.architecturagroup.com](http://www.architecturagroup.com)

#### **EUROPE**

**ASA Business Center - Str. Alex Cimpeanu,  
Nr. 24 Sector 1, BUCAHREST 11237,  
Phone: +40730097872**

[e-mail: argroupinc@aol.com](mailto:argroupinc@aol.com)

ARCHITECTURE + INTERIOR DESIGN-USA LICENSES: AA-26001885 ID-3873

EUROPEAN ARCHITECT LIC.- OAR 5850

## **Legal Description**

115/117 S 21<sup>st</sup> Ave. Hollywood Fl. 33021

Lots 4 and 5, Block 8, of "Hollywood", according to the plat thereof, as recorded in Plat Book 1, Page 21, of the Public Records of Broward County, Florida.

## **Project Information**

The project is mixed use that has approx. 5,500 SqFt of commercial retail space on the ground floor, 10,000 SqFt of class A office space on the second floor, and 9 two bedroom two story units on the third and fourth floors, totaling approx. 12,600 SqFt of residential.

The project will be built on an existing site that currently has 5,500 SqFt of commercial retail space to remain and an apartment on the second floor to be removed. The new proposed building will be built above the existing commercial retail space as well as the parking lot to the South.

The project has a unique Atrium feature to allow for all tenants on the office space to have access to natural light even though the building is locked on both sides with a zero lot line. This unique feature will allow for a courtyard space, natural ventilation, natural light, and an all-around healthier working environment.

This feature continues through to the third and fourth floors where the residential units are further stepped back from the atrium opening creating outdoor areas for all residents to enjoy while maintaining an expansive façade on the main elevation that truly modernizes the entire street. The third floor outdoor areas will be exclusively for residential use and will have outdoor exercise areas, sun bathing areas, and other outdoor amenities for the residents.

All residential units are 2 bedrooms and at least 2.5 bathrooms. Each unit is 2 stories with an internal staircase taking you up to the bedrooms with all common areas on the ground floor. This particular layout of residential units allows for spacious living areas and very large bedrooms while maintain a relatively small footprint, perfect for downtown urban living.

The building is a truly modern mixed use building for urban living that creates healthy live and work spaces for all to enjoy.

## Criteria Statements

### *1. Architectural and Design Components*

The Architectural and Design components are selected specifically to create an aesthetic born out of the functionality of the building. The intent is to create a uniform image on the main elevation on South 21<sup>st</sup> Ave. Therefore the glass details maintain the same feeling vertically as the functions change. Even the balustrades of the balconies for the residential units are of the same tinted glass as the rest of the façade. This was intentionally designed to create the verticality requested by the Technical Advisory Committee so as to create a statement on 21<sup>st</sup> Ave. and develop a building identity. The structural slabs and all technical / structural spaces are also concealed from the street through the use of spandrel glass of the same tint. Verticality was further emphasized through the use of the vertical channels on the building that break up the façade and add a layer of depth and dimension to the elevation. The channels are further emphasized by utilizing architectural lighting creating a dynamic façade even at night.

Other materials selected were to show how the building itself is constructed, utilizing brick, steel, and glass. To activate the street from a pedestrian standpoint a new curtain wall will be installed for the existing commercial/retail space tying in the existing spaces to the new construction creating a seamless transition while updating the streetscape.

The use of vertical green elements helps to soften the building at the street level. This creating a welcoming feel that combines modern glass and steel with brick and vegetation, further giving the building an identity and a life.

### *2. Compatibility*

The proposed Atrium Center Mixed Use building utilizes similar architectural styles, elements, and materials with all other buildings that are existing around the Downtown RAC corridor, while bringing a much needed modernization and facelift to 21<sup>st</sup> Ave. This building although maintains the compatibility with the existing buildings surrounding it brings to life the vision of the new zoning regulations for the RC2 corridor without completely dwarfing the existing structures around it.

This creates a harmonious shift into the desired direction for the redevelopment of the entire corridor without completely overshadowing existing structures and/or businesses. The scale of the proposed Atrium Center will also help to create a transition between the existing downtown buildings and the new larger scale developments happening around the outskirts of the corridor, such as Hollywood Station or the new mixed use project currently under construction at the Circle.

It is our hope that this new development can become the catalyst for developers to come in and provide a much needed face lift to the entire downtown corridor.



### *3. Scale/Massing*

With new zoning regulation in the area as well as the new zoning designation of RC-2, the current project site allows for up to 10 stories to be built within the current code. The Atrium Center being on 2 relatively narrow lots was designed in such a way as to create a harmonious massing in relation to its height, width, and density.

This project strives to create a balanced transition between current structures and new developments that will call for up to 10 stories in height. The use of glass spanning the entire façade and covering the structural breaks between floors along with the vertical channels that will be accented with architectural lighting, creates a sense of balance and verticality to the building without overshadowing existing structures that are waiting for redevelopment.

### *4. Landscaping*

The current Atrium Center has no landscaping requirements as per the zoning and development code for the RC-2 Downtown Corridor. All parking is currently under the building and therefore does not have a landscape island requirement.

We are proposing two new street trees to accent the entrance into the parking area of the new proposed structure as well as protect oncoming traffic from vehicles exiting the parking area.

The street trees proposed are palms of the same size, caliper, and quality as other street trees in the area and have been recommended for use by the Landscape Department of the City of Hollywood.





**ALTA/ACSM LAND TITLE SURVEY**

## LEGAL DESCRIPTION

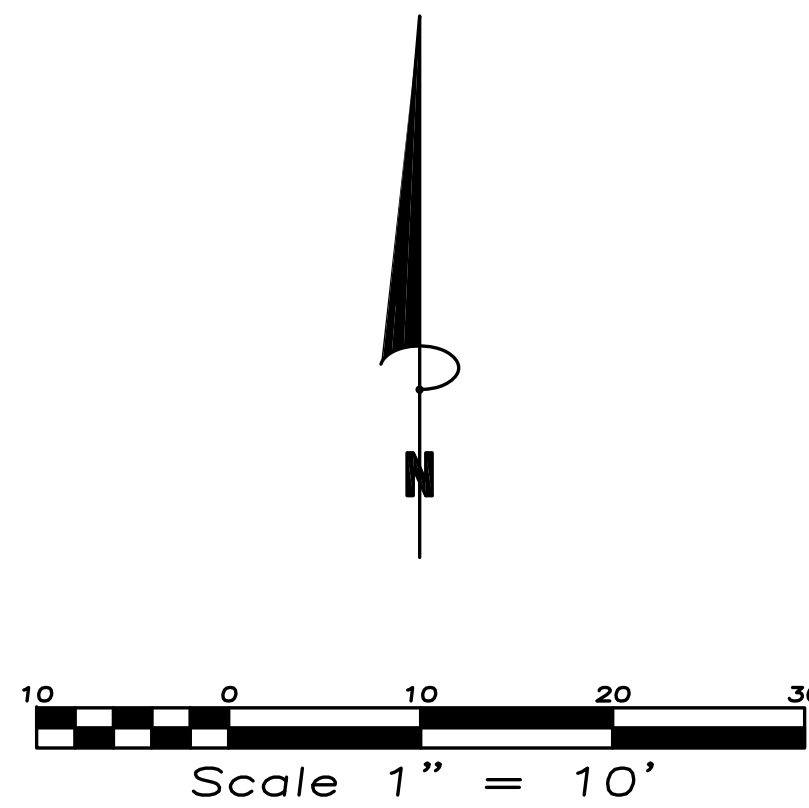
LOTS 4 & 5, BLOCK 8, OF "HOLLYWOOD", ACCORDING TO THE  
PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE  
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:  
115 HOLDINGS INC.

PROPERTY ADDRESS  
115 & 117 S. 21ST AVENUE  
HOLLYWOOD, FL 33021

BOUNDARY SURVEY  
INVOICE # 39384U  
SURVEY DATE 01/13/16  
SURVEY DATE 02/25/16  
SURVEY DATE 05/05/16

FLOOD ZONE X 0.2%  
MAP DATE 08/18/14  
MAP NUMBER 125113 0569H



### SURVEYOR'S CERTIFICATE

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 3, 7a, 8, 9, of Table A thereof, The field work was completed on MAY 5, 2016.

Date of Plat or Map: MAY 5, 2016.

SURVEYOR'S NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS
10. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
11. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.


**ABBREVIATIONS**

BC BUILDING CORNER  
 BW BACK OF WALL  
 C CALCULATED  
 M MEASURED  
 N.T.S. NOT TO SCALE  
 O OFF  
 ORB OPERATOR'S BOOK  
 P POINT  
 P.B. POINT OF BEGINNING  
 P.C. POINT OF COMMENCEMENT  
 P.M. POINT OF REVERSE CURVE  
 P.M. PERMANENT REVERSE CURVE  
 P.M. PERMANENT REVERSE CURVE MONUMENT  
 P.M. POINT OF MONUMENT  
 E/F END OF FENCE  
 E/F END OF FENCE  
 E/W EDGE OF WATER  
 F/F FENCE LINE  
 F/L FENCE LINE  
 F/P FOUND IRON PIPE  
 F/R FOUND IRON ROD  
 F/N FOUND NAIL  
 F/N&D FOUND NAIL & DISC  
 FLA FLORIDA POWER AND LIGHT  
 R&D RECORD  
 R&D NAIL & DISC # 5495  
 S&C SET, 1/2" PN & CAP # 5495  
 S&C SET, 1/2" PN & CAP # 5495

**LEGEND**

▣ CABLE JUNCTION BOX  
 ▢ CATCH BASIN  
 ○ CLEAN OUT  
 ⊕ CONTROL VALVE  
 ⊕ ELECTRIC SERVICE  
 ⊕ FIRE HYDRANT  
 ▨ F&P PAD  
 ⊕ GUY ANCHOR  
 ▭ MANHOLE  
 ▢ POOL EQUIPMENT  
 ⊕ POWER/LIGHT POLE  
 ⊕ SPRINKLER SYSTEM  
 ▢ WATER METER  
 ▢ WATER VALVE  
 ▢ WELL

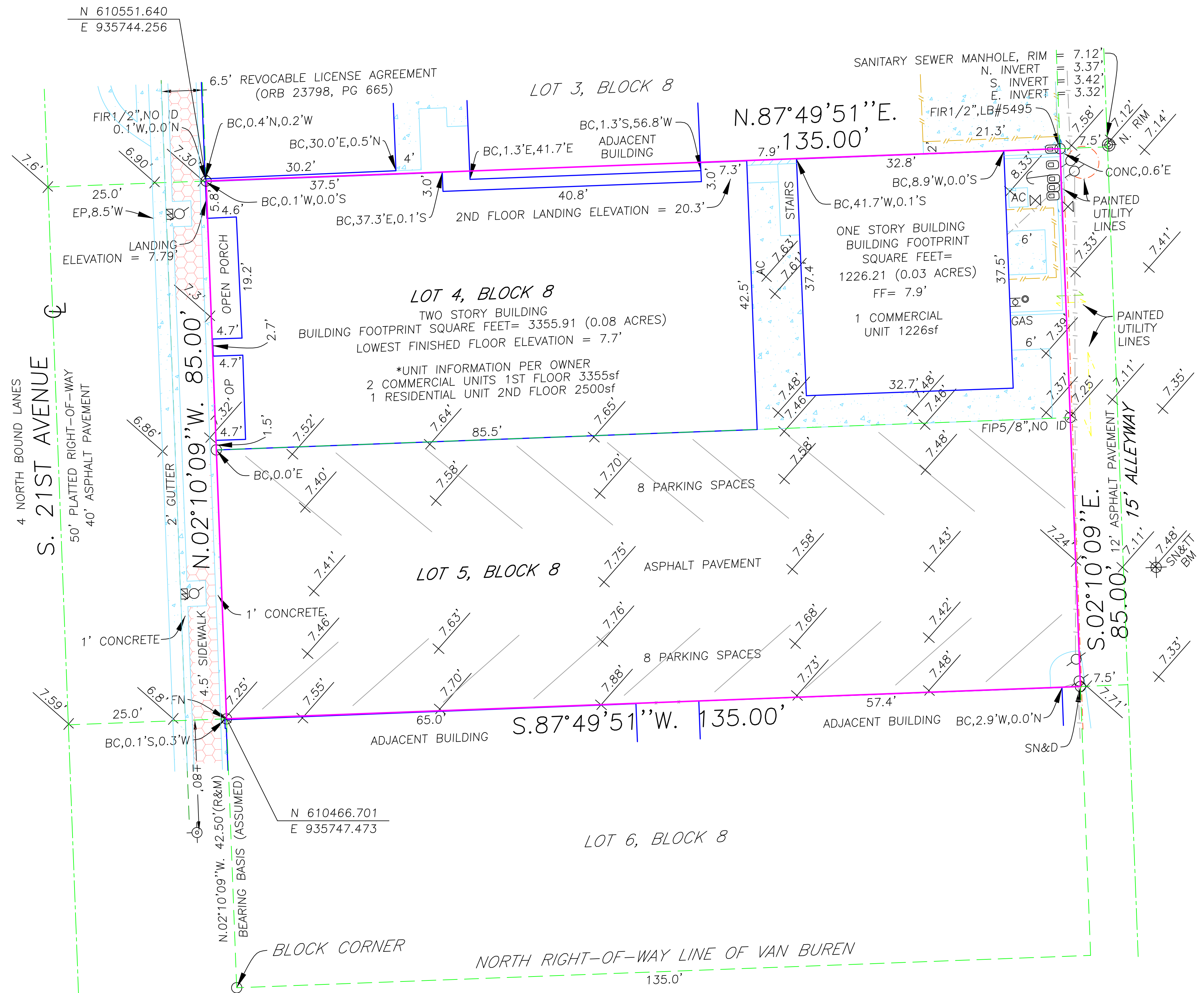
BRICK PAVERS  
 CENTERLINE  
 CONCRETE/CHAT  
 CONCRETE WALL  
 ELEVATION  
 METAL FENCE  
 OVERHEAD WIRES  
 WOOD DECK/DOCK  
 WOOD FENCE



**ATLANTIC COAST**  
 SURVEYING, INC.

*Paul J. Stowell*

PAUL J. STOWELL  
 PROFESSIONAL LAND SURVEYOR  
 FLORIDA CERTIFICATION NO. 5241  
 ATLANTIC COAST SURVEYING, INC.  
 6129 STRUNG RD SUITE 2 DAVIE, FLORIDA 33314  
 OFFICE: 954.587.2100 FAX: 954.587.5418



GROSS LAND SQUARE FEET= 14237.84 (0.33 ACRES)  
(CALCULATIONS ARE OF LEGAL DESCRIBED PROPERTY EXTENDED TO CENTERLINE OF ADJOINING RIGHT-OF-WAY & ALLEY WAY)

NET LAND SQUARE FEET= 11475.00 (0.26 ACRES)  
(CALCULATIONS ARE OF LEGAL DESCRIBED PROPERTY ONLY)

## OWNERSHIP & ENCUMBRANCE

CHICAGO TITLE INSURANCE COMPANY  
FILE NUMBER/INVOICE NUMBER: 5766719  
UNIT#:02100.170607  
CUSTOMER REFERENCE #: 5650956/115 HOLDING INC  
DATE: APRIL 25, 2016

### ENCUMBRANCE REVIEW

ITEM 1: MORTGAGE, O.R.B. 49649, PAGE 1006, NOT PLOTTABLE  
ITEM 2: PLAT, MATTERS PERTAINING TO P.B. 1, PAGE 21, ARE AS SHOWN ON SURVEY  
ITEM 3: GRANT OF EASEMENT, MATTERS PERTAINING TO O.R.B. 16536, PAGE 688, NOT PLOTTABLE  
ITEM 4: REVOCABLE LICENSE AGREEMENT, MATTERS PERTAINING TO O.R.B. 23798, PG 665, ARE AS SHOWN ON SURVEY  
ITEM 5: REVOCABLE LICENSE AGREEMENT, MATTERS PERTAINING TO O.R.B. 29610, PG 549, NOT PLOTTABLE

BENCHMARK OF ORIGIN:  
CITY OF HOLLYWOOD BENCHMARK  
BOX CUT @ P.I. OF S/W IN N.E. CORNER  
OF 21ST AVE. & HARRISON STREET  
ELEVATION = 9.85' (NGVD 29)  
ELEVATION = 8.25' (NAVD 88)



Issue		
No.	Date	Description

Client

115 Holdings Inc.

Project Name

Atrium Building  
Mixed Use

115 S. 21st Ave., Hollywood, Florida, 33020

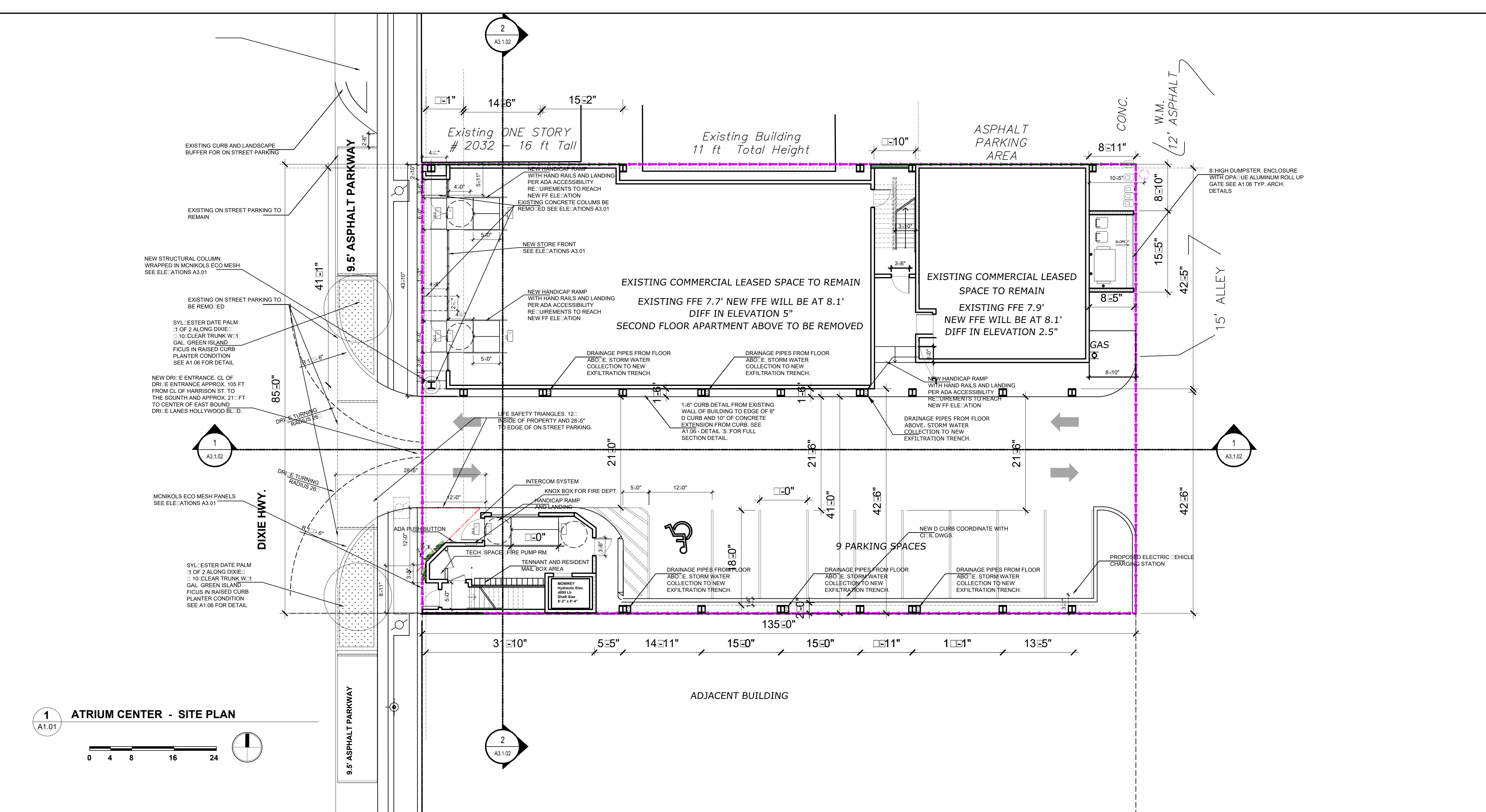
SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

Proposed Site  
Plan

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issued for	
Issue date	Sheet #
05.22.11	A1.01
Scale	1"



BUILDING DATA		
	BUILDING - Mixed Use	
CONSTRUCTION	TYPE 5A SPRINKLERED	TYPE 5A SPRINKLERED
MAX HT ALLOWABLE	10 STORIES 140 FT.	
BUILDING HEIGHT	53 1"	
MAX AREA ALLOWABLE	B 18,000 SF FLR M 14,000 SF FLR R2 12,000 SF FLR	
BUILDING AREA & DENSITY (AC AREA)	FIRST FLOOR (6,500 - SqFt) B & M Classification SECOND FLOOR (9,970 - SqFt) B Classification THIRD FLOOR (6,300 - Ft) R2 Classification FOURTH FLOOR (6,388 - Ft) R2 Classification	FAR RC-2 : 3.0 NET LAND AREA: 11,475 SqFt TOTAL DENSITY: 34,425 SqFt ALLOWABLE TOTAL PROPOSED: 28,158 SqFt
TOTAL	28,158 - SF	
OCCUPANCY CLASSIFICATION	MIXED USE B - BUSINESS M - MERCANTILE R2 - RESIDENTIAL	
OCCUPANT LOAD PER TABLE 1004.1.1:	BUSINESS / MERCANTILE / RESIDENTIAL B 12,500 100 12 M - 3,500 30 11 R 12,450 200 62 SUBTOTAL 308	
EXIT ACCESS TRAVEL DISTANCE PER FBC 1016.1	B - 300 FT MAX M - 250 FT MAX R - 200 FT MAX	

NOTES: MAXIMUM FOOT CANDLE LEVELS CAN BE FOUND ON SITE PHOTOMETRICS SHEET PH.1 - LEVELS ARE AS FOLLOWS - North = 0.0, South P.L., has buildings lining the property line. However, our spill-over should those buildings go down would be 1.08 F.C., East (Alley) 1.7 to 2.6 F.C., West (21 Ave) 1.4 to 2.7 F.C.

SITE DATA			PER RC-2 HISTORIC RETAIL CORE DEVELOPMENT REGULATIONS TABLE	
ZONING		RC-2		
SETBACKS				
	REQUIRED		PROVIDED	
FRONT	0'		0'	
FRONT 3/4TH FL. RESIDENTIAL	0'		0'	
REAR	5'		8' 5" 1ST FLR, 11' 5" 2ND FL.	
REAR 3/4TH FL. RESIDENTIAL	5'		11' 5"	
SIDE YARD FIRST 2 FLOORS	0'		0'	
SIDE YARD 3RD FL RESIDENTIAL	0'		0'	
PARKING				
	TOTAL AREA / # OF UNITS	PARKING RATIO	REQUIRED	PROVIDED
BUSINESS :	16,450 -SF	0	0	0 (OFF SITE)
RESIDENTIAL :				
2 BEDROOM	9 UNITS	1 / UNIT	9	9
TOTAL			9	8 + 1HC = 9
SITE AREA INFORMATION				
	IMPERVIOUS	PERVIOUS	TOTAL AREA	
STRUCTURAL (GROUND FLOOR AREA + HARDSCAPE)	7,110 SF (62%)			
VEHICULAR USE AREA	4,370 SF (38%)			
SUB-TOTAL (STRUCTURAL + VEHICULAR)	11,480 SF (100%)			
LANDSCAPED AREA	0			
SITE AREA TOTAL			11,480 SF (100%)	

## LEGAL DESCRIPTION

LOTS 4 & 5, BLOCK 8 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

## LAND USE AND ZONING

LAND USE: 12 - MIXED USE - STORE AND OFFICE OR STORE AND RESIDENTIAL OR RESIDENTIAL COMBINATION.

ZONING: RC-2 - HISTORIC RETAIL CORE REGIONAL ACTIVITY CENTER

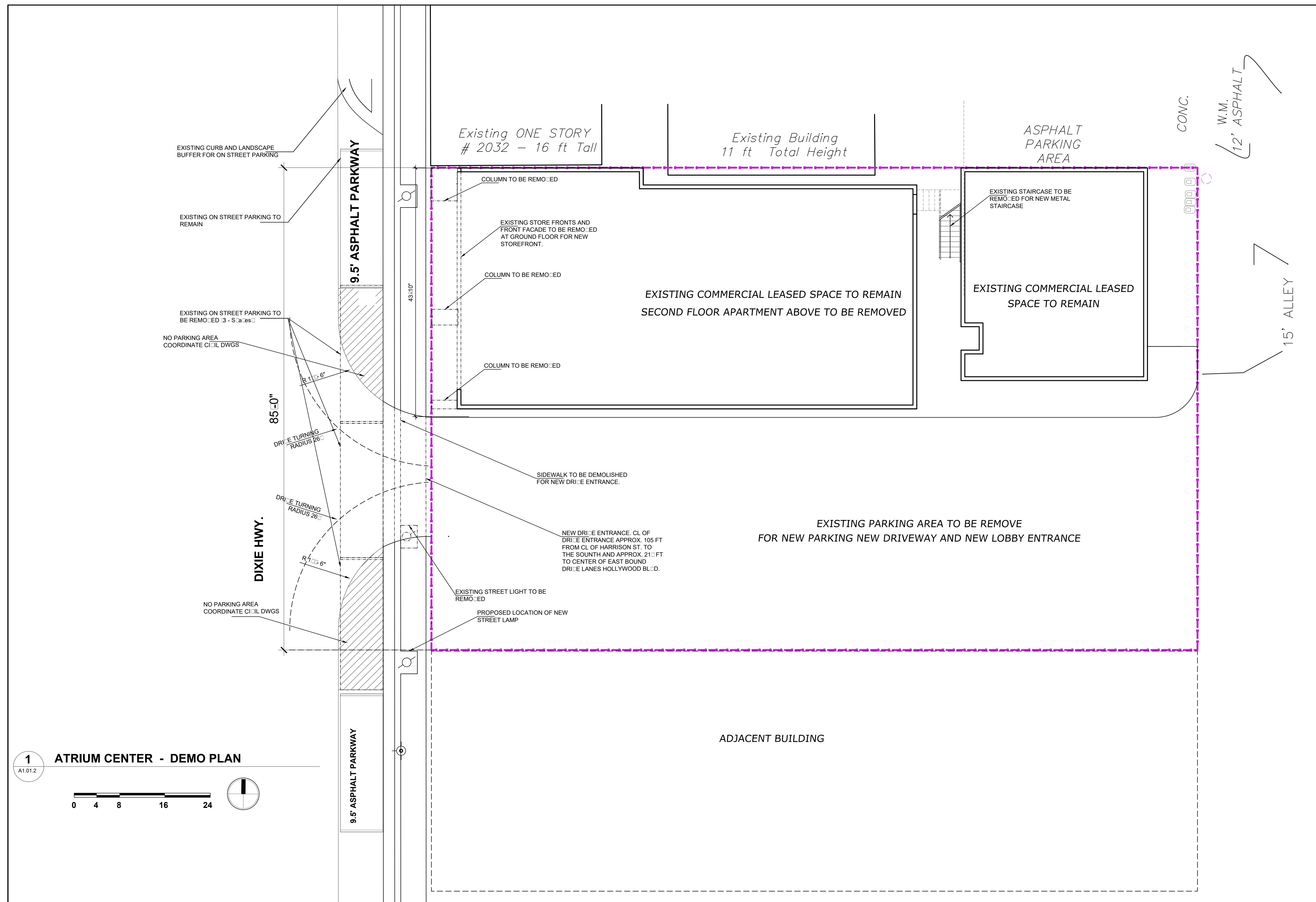
## LAND SIZE

GROSS LAND SIZE - 14,237.84 SqFt (.33 ACRES)

NET LAND SIZE - 11,475.00 SqFt (.26 ACRES)

## GREEN BUILDING

NOTES: DEVELOPMENT WILL BE GREEN BUILDING CERTIFIED WITH THE FLORIDA GREEN BUILDING COLATITION.





Issue		
No.	Date	Description

Client

**115 Holdings Inc.**

Project Name

**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

**SECOND FLOOR  
PLAN**

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issue date	05.22.11
Scale	1/8" = 1'

A1.02

NON STRUCTURAL CHANELS WITH  
LED BUILDING UP LIGHTS SEE  
ELEVATIONS A3.01

CURTAIN WALL GLASS, DARK  
BRONZE SPANDREL GLASS  
BETWEEN FLOORS. SEE  
ELEVATIONS A3.01

NON STRUCTURAL CHANELS WITH  
LED BUILDING UP LIGHTS SEE  
ELEVATIONS A3.01

CURTAIN WALL GLASS, DARK  
BRONZE SPANDREL GLASS  
BETWEEN FLOORS. SEE  
ELEVATIONS A3.01

NON STRUCTURAL CHANELS WITH  
LED BUILDING UP LIGHTS SEE  
ELEVATIONS A3.01

CURTAIN WALL GLASS, DARK  
BRONZE SPANDREL GLASS  
BETWEEN FLOORS. SEE  
ELEVATIONS A3.01

NON STRUCTURAL CHANELS WITH  
LED BUILDING UP LIGHTS SEE  
ELEVATIONS A3.01

CURTAIN WALL GLASS, DARK  
BRONZE SPANDREL GLASS  
BETWEEN FLOORS. SEE  
ELEVATIONS A3.01

NON STRUCTURAL CHANELS WITH  
LED BUILDING UP LIGHTS SEE  
ELEVATIONS A3.01

CURTAIN WALL GLASS WITH  
PERFORATED ALUMINUM  
SCREENING SEE ELEVATIONS  
A3.01

BRICK VENEER CLADDING SEE  
ELEVATION A3.01

Existing ONE STORY  
# 2032 - 16 ft Tall

Existing Building  
11 ft Total Height

OFFICE AREA "A" = 4,011 s.f.

OUTDOOR PATIO AREA  
650 s.f.

OFFICE AREA "C" = 838 s.f.

OFFICE AREA "B" = 2,111 s.f.

LOBBY Reception - OFFICE AREA

+17'-00"

MOWREY  
Hydraulic Elev.  
4800 Lb  
Shaft Size  
6'-2" x 8'-4"

Tech.  
Room

WC

WC

Janitor

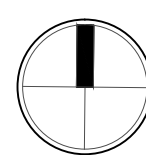
ADJACENT BUILDING

OFFICE AREAS = 6,619 s.f.  
Common AREAS = 1,911 s.f.  
OUTDOOR PATIO AREA = 652 s.f.

1 ATRium CENTER - SECOND FLOOR PLAN

A1.02

0 4 8 16 24





[illegible]

Client

10/1/2008

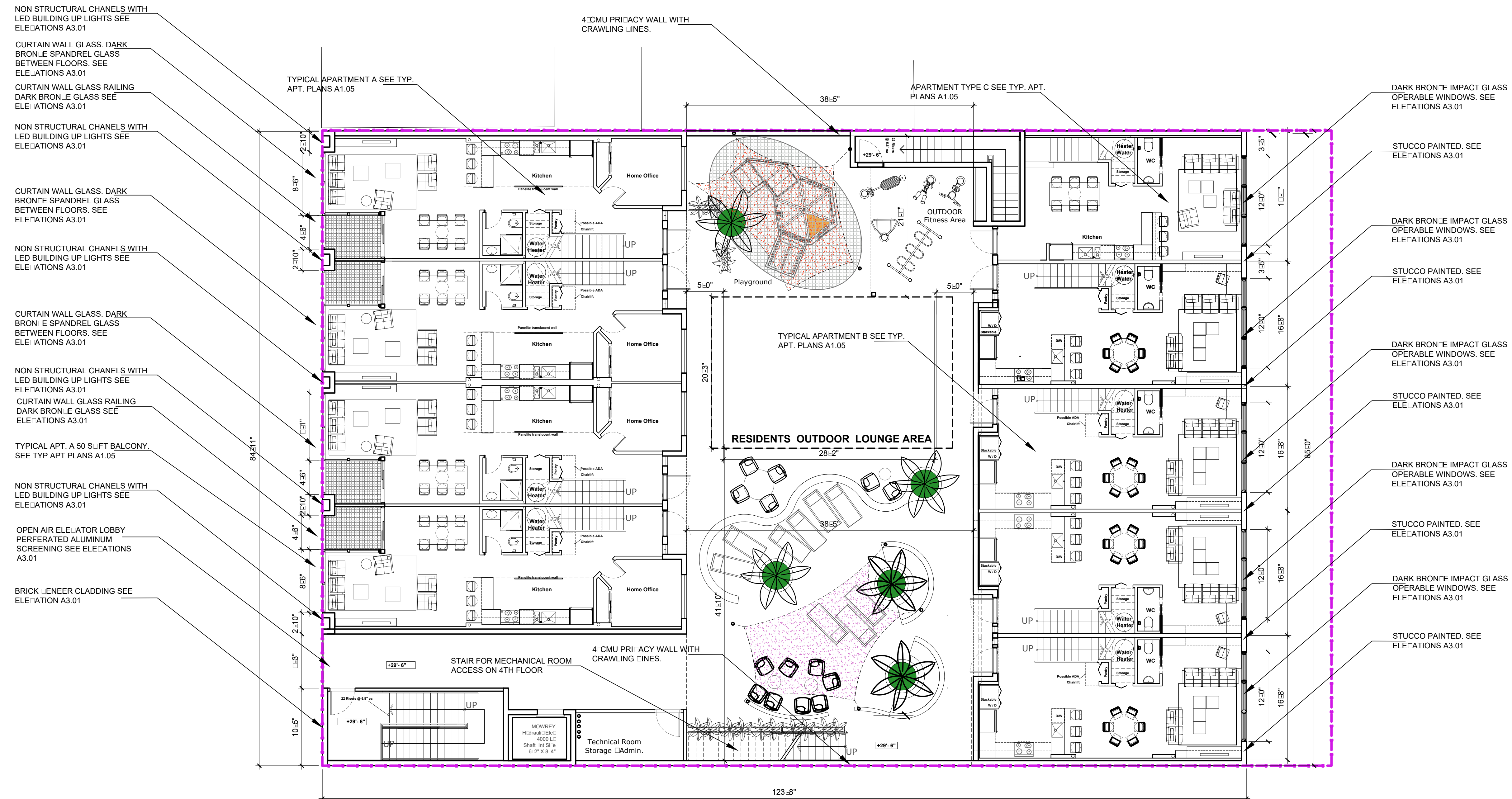
Project Name	
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# Atrium Building Mixed Use

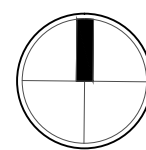
SIGN &amp; SEAL

Sheet title
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Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issued for	
Issue date	Sheet #
05.22.11 <input type="checkbox"/>	<b>A1.03</b>
Scale	
$\frac{1}{8}" = 1'$	



**1 ATRIUM CENTER - THIRD FLOOR PLAN**





Issue		
No.	Date	Description

Client

**115 Holdings Inc.**

Project Name

**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

SIGN & SEAL

Cristian Gavrilesco  
Registered Architect # AR 94560

Sheet title

**FOURTH FLOOR  
PLAN**

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issued for	
Issue date	05.22.11
Scale	1/8" = 1'

A1.04

CURTAIN WALL GLASS RAILING  
DARK BRONZE GLASS SEE  
ELEVATIONS A3.01

IMPACT GLASS SLIDER DARK  
BRONZE SEE ELEVATIONS A3.01

IMPACT GLASS SLIDER DARK  
BRONZE SEE ELEVATIONS A3.01

CURTAIN WALL GLASS RAILING  
DARK BRONZE GLASS SEE  
ELEVATIONS A3.01

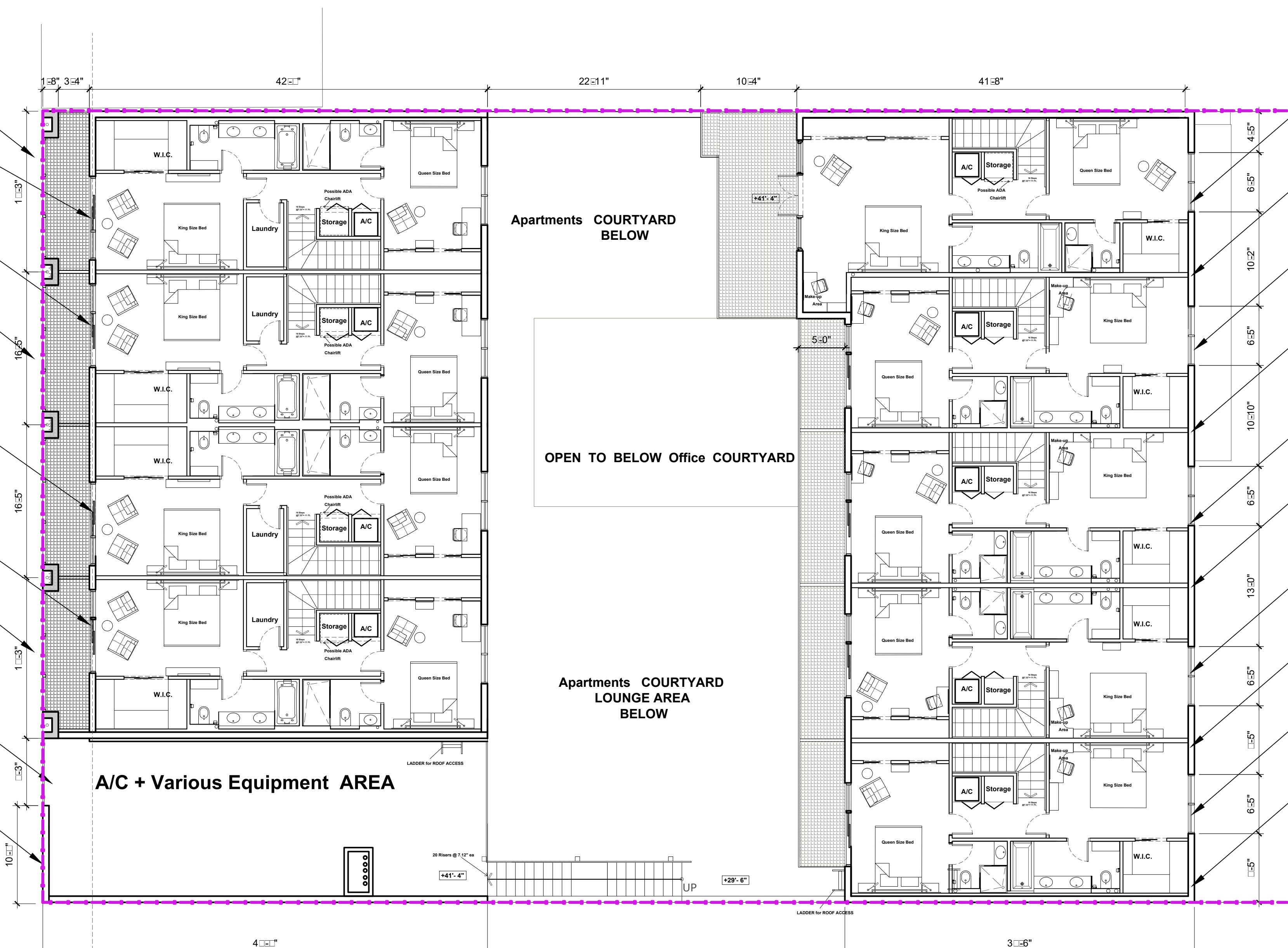
IMPACT GLASS SLIDER DARK  
BRONZE SEE ELEVATIONS A3.01

IMPACT GLASS SLIDER DARK  
BRONZE SEE ELEVATIONS A3.01

CURTAIN WALL GLASS RAILING  
DARK BRONZE GLASS SEE  
ELEVATIONS A3.01

OPEN AIR MECHANICAL  
EQUIPMENT AREA PERFORATED  
ALUMINUM SCREENING SEE  
ELEVATIONS A3.01

BRICK VENEER CLADDING SEE  
ELEVATION A3.01



DARK BRONZE IMPACT GLASS  
OPERABLE WINDOWS. SEE  
ELEVATIONS A3.01

STUCCO PAINTED. SEE  
ELEVATIONS A3.01

DARK BRONZE IMPACT GLASS  
OPERABLE WINDOWS. SEE  
ELEVATIONS A3.01

STUCCO PAINTED. SEE  
ELEVATIONS A3.01

DARK BRONZE IMPACT GLASS  
OPERABLE WINDOWS. SEE  
ELEVATIONS A3.01

STUCCO PAINTED. SEE  
ELEVATIONS A3.01

DARK BRONZE IMPACT GLASS  
OPERABLE WINDOWS. SEE  
ELEVATIONS A3.01

STUCCO PAINTED. SEE  
ELEVATIONS A3.01

DARK BRONZE IMPACT GLASS  
OPERABLE WINDOWS. SEE  
ELEVATIONS A3.01

STUCCO PAINTED. SEE  
ELEVATIONS A3.01

**1 ATRIUM CENTER - FOURTH FLOOR PLAN**

A1.04

0 4 8 16 24



[illegible]

Project Name

Atrium Building  
Mixed Use

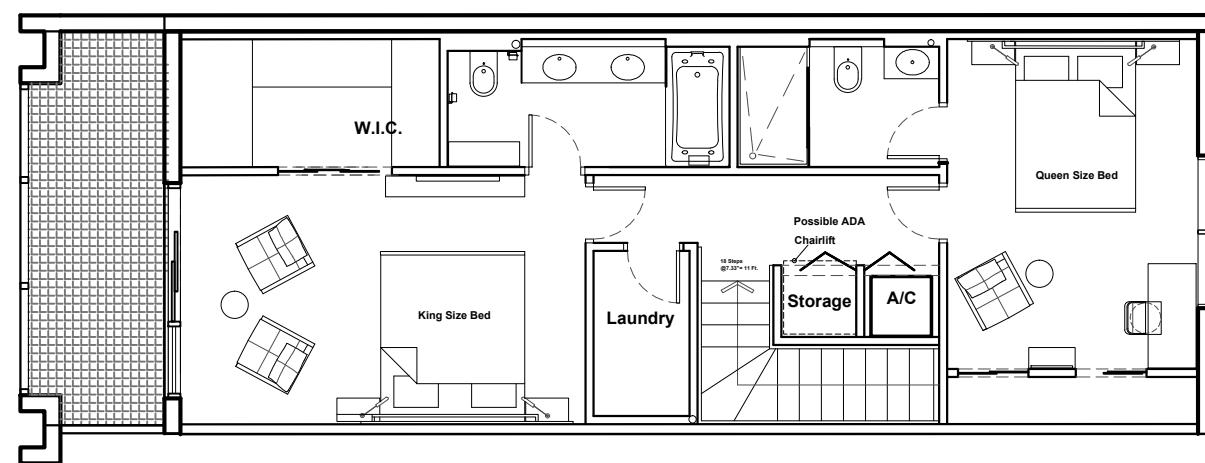
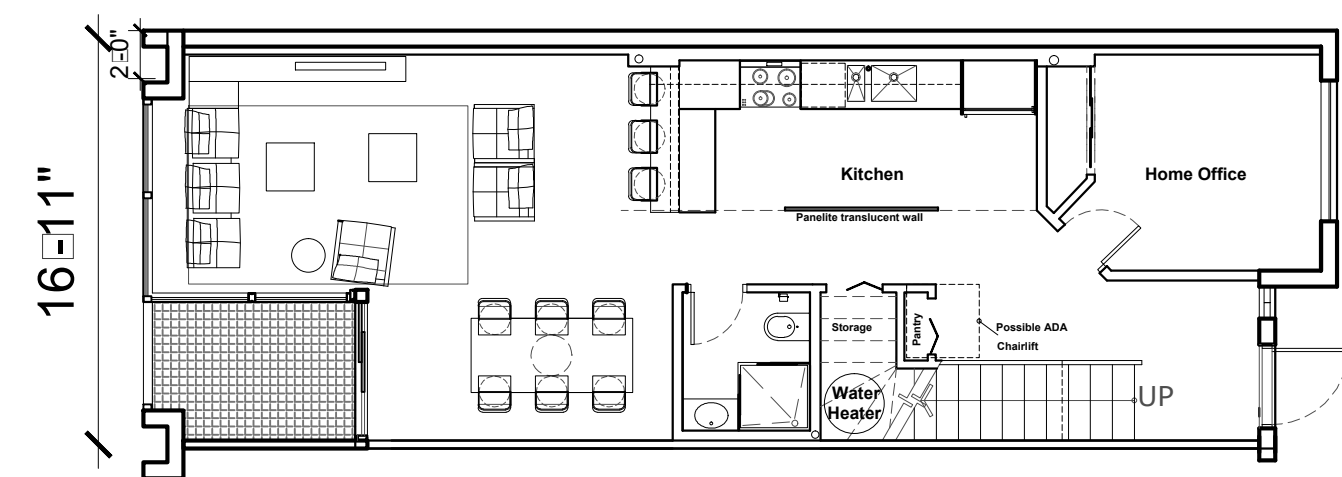
1115 S. 21st Ave., Hollywood, Florida, 33020

SIGN &amp; SEAL

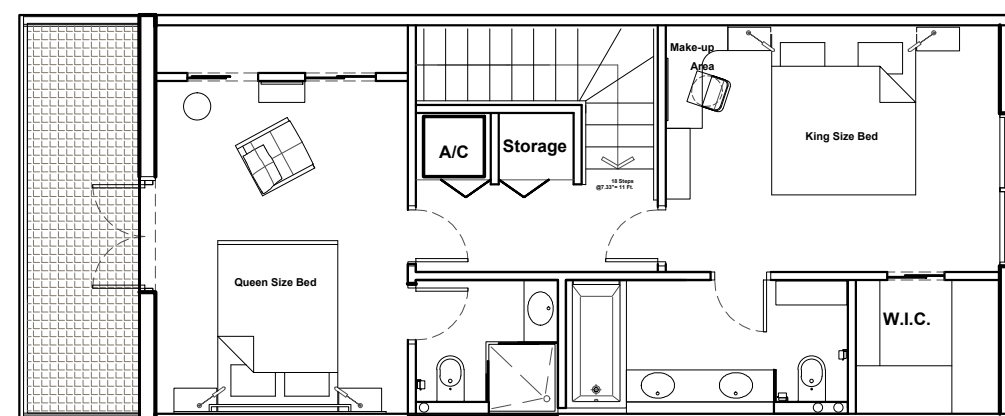
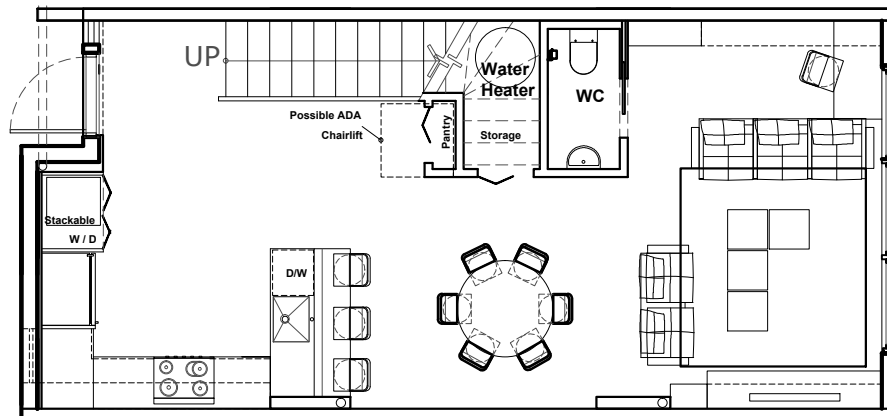
**Cristian Gavrilescu**  
Registered Architect # AR 94560

## TYPICAL APARTMENT PLANS

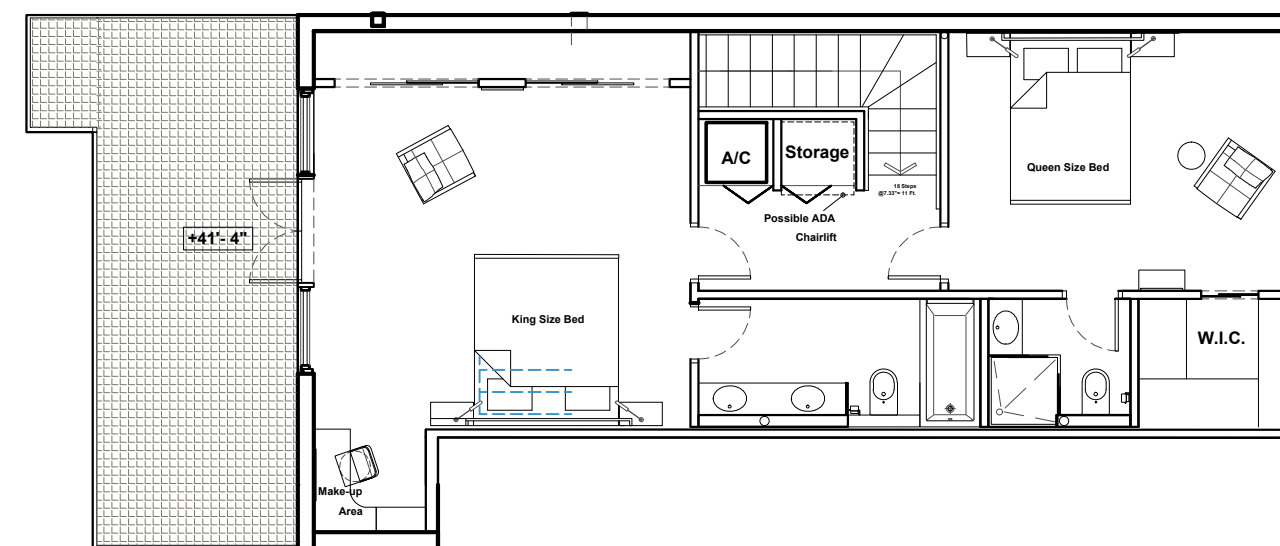
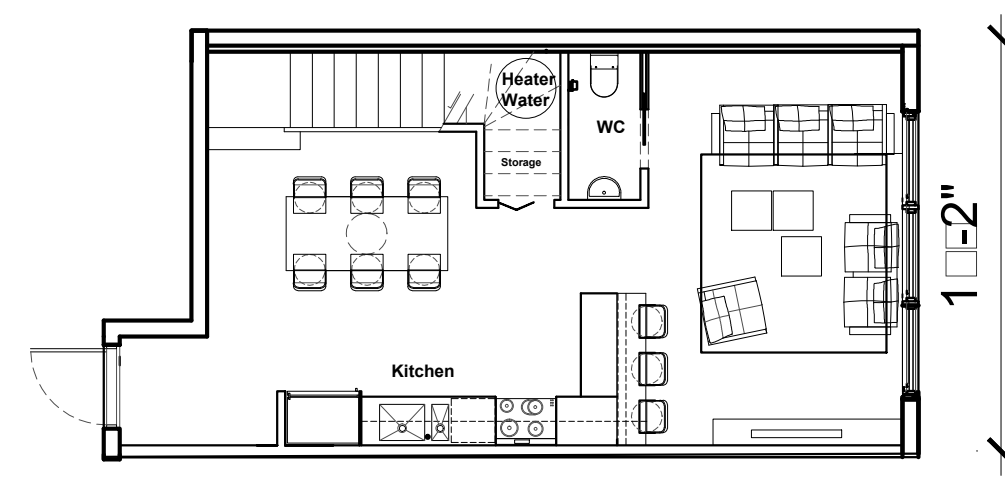
Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issued for	
Issue date	Sheet #
05.22.1 <input type="checkbox"/>	<b>A1.05</b>
Scale	
1/8" = 1'	



Total First Floor = ..... 793 Sq. F  
Terrace at Living Room = .....50 Sq. F  
Total Second Floor = .....763 Sq. F  
Terrace at Master Suite = .....96 Sq. F



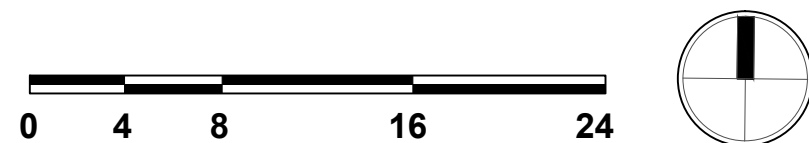
Total First Floor =..... 612 Sq. F  
Total Second Floor =.....623 Sq. F  
Terrace at Master Suite =.....85 Sq. F



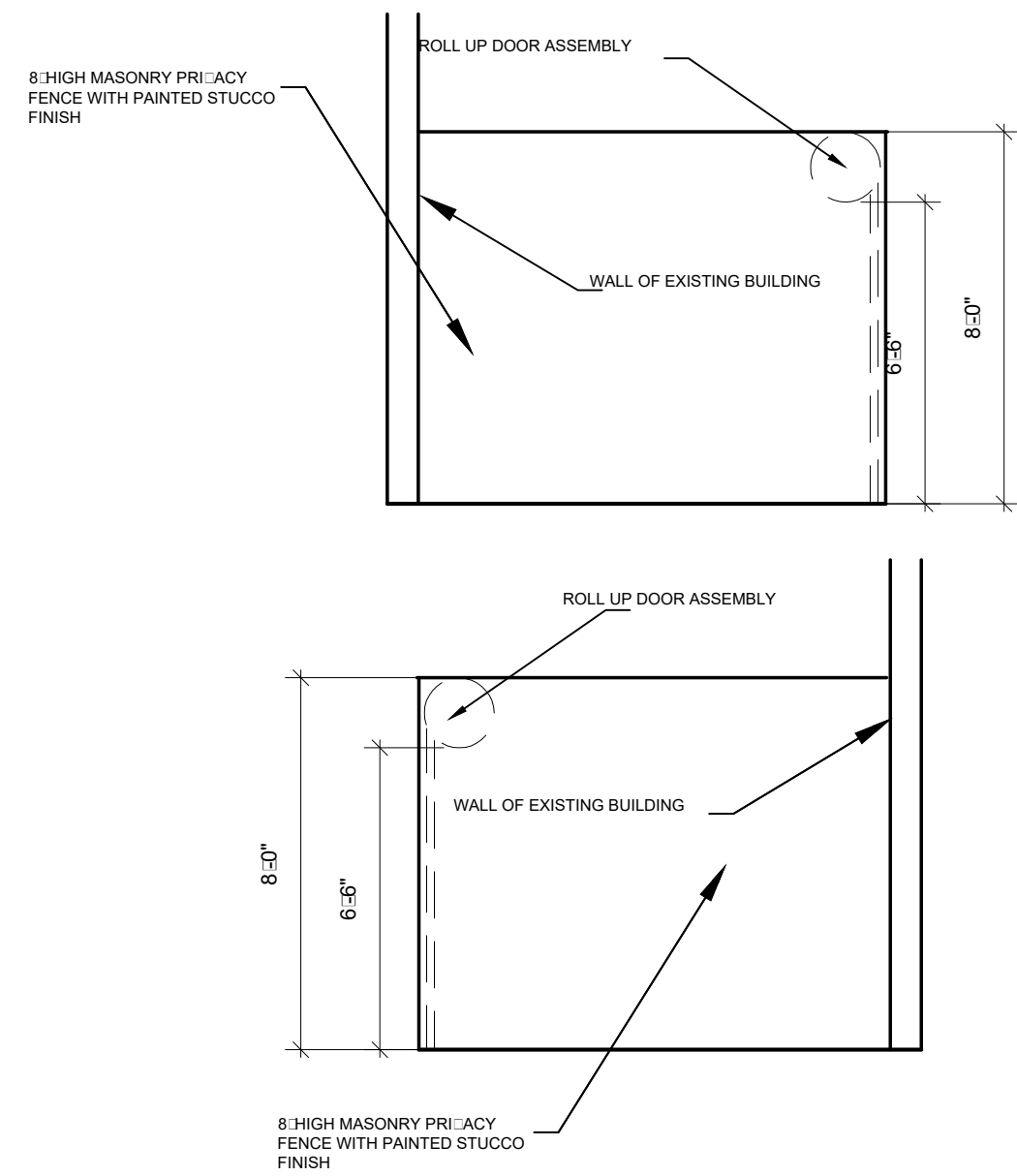
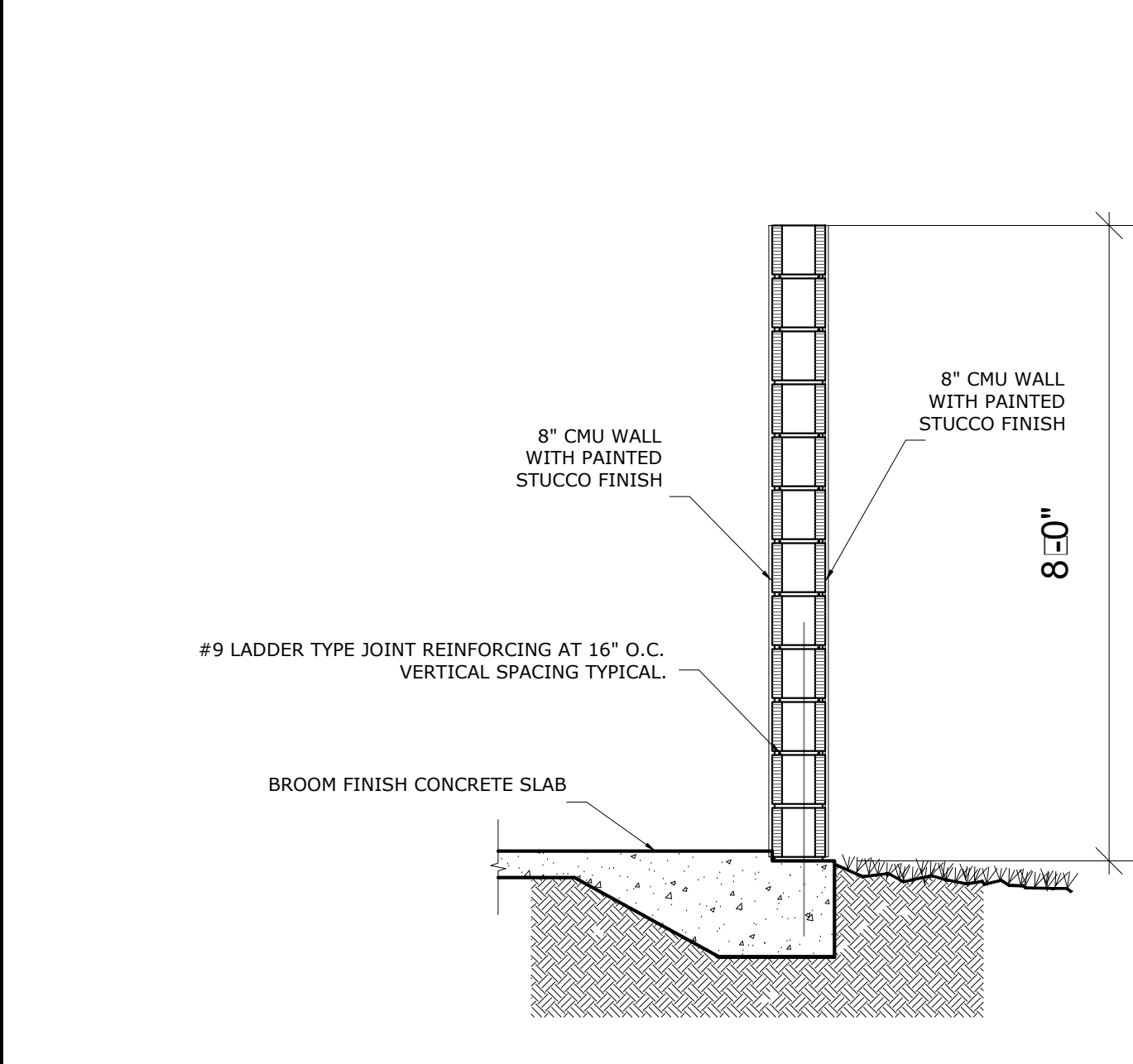
Total First Floor = ..... 557 Sq. Ft.  
Total Second Floor = ..... 761 Sq. Ft.  
Terrace at Master Suite = ..... 203 Sq. Ft.

**1**  
A1.05

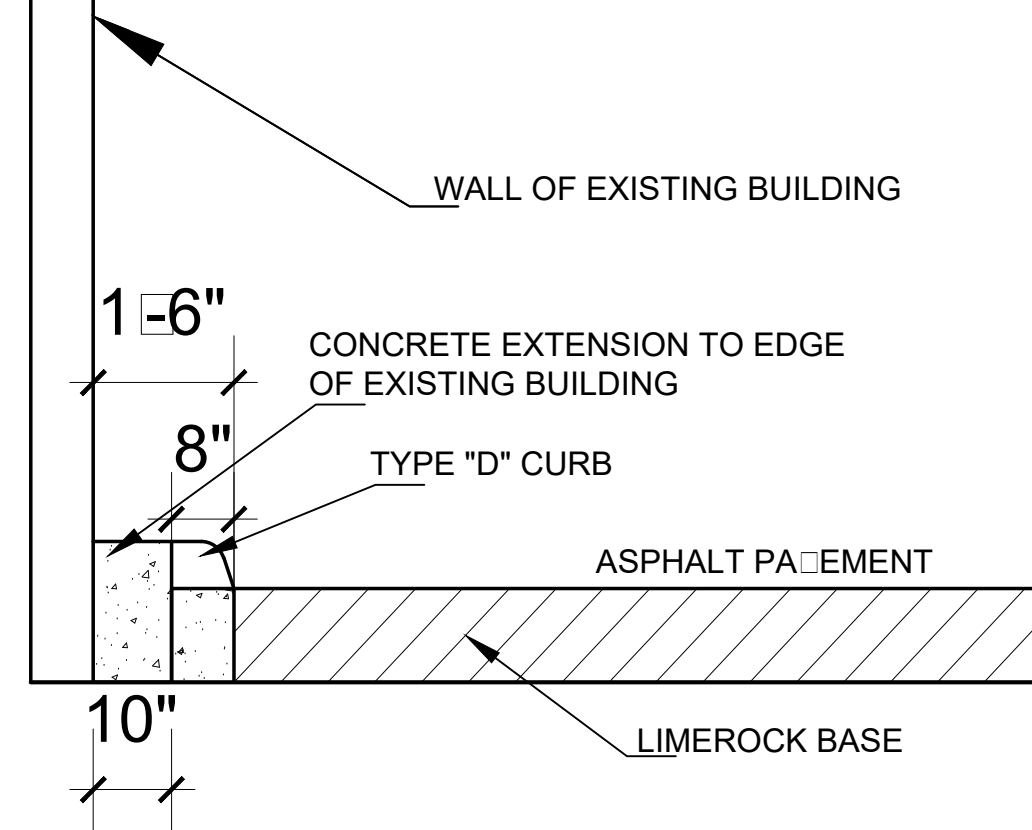
## ATRIUM CENTER - TYPICAL APARTMENT PLANS



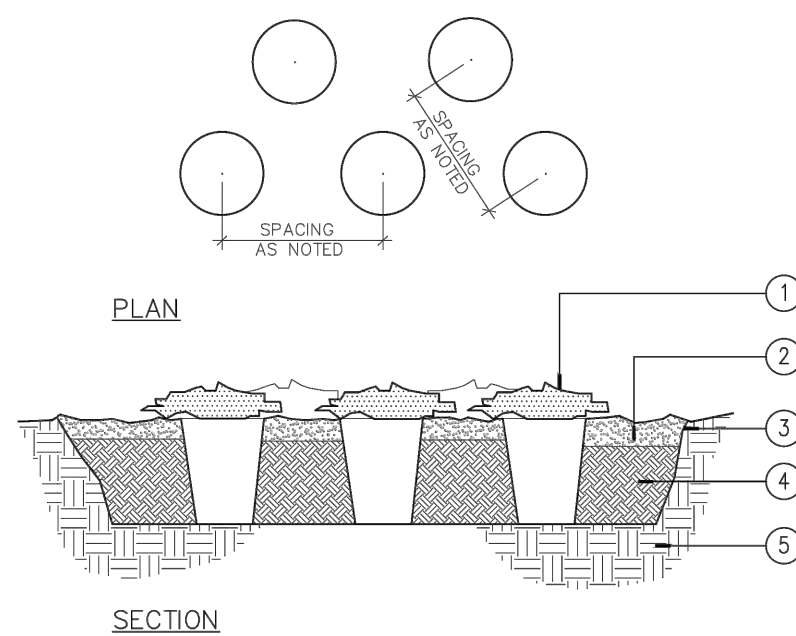




3	Dumpster Enclosure Side Elevation
A1.06	Scale - 1/4" : 1'



5	Dumpster Enclosure Side Elevation
A1.06	Scale - NTS



- GENERAL NOTES**
- A. REMOVE ALL LIMBEROCK AND NON-ORGANIC MATERIALS 2" DIAM AND GREATER TO A DEPTH 18" FOR THE ENTIRE PLANTER
- B. GROUNDCOVER TO HAVE A MIN. 18" SPREAD AT TIME OF PLANTING WITH A MAXIMUM 24" CENTER TO CENTER SPACING
- C. WATER ALL NEW PLANT MATERIALS INCLUDING GROUNDCOVER AND PALMS UNTIL FULLY ESTABLISHED. PER HOLLYWOOD CODE OF ORDINANCES, OWNER OF ADJACENT PROPERTY TO THE R.O.W. LANDSCAPE IMPROVEMENTS IS TO MAINTAIN LANDSCAPE IN PERPETUITY.

## 6 Palm Planting Detail

Issue		
No.	Date	Description

Client  
**115 Holdings Inc.**

Project Name  
**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

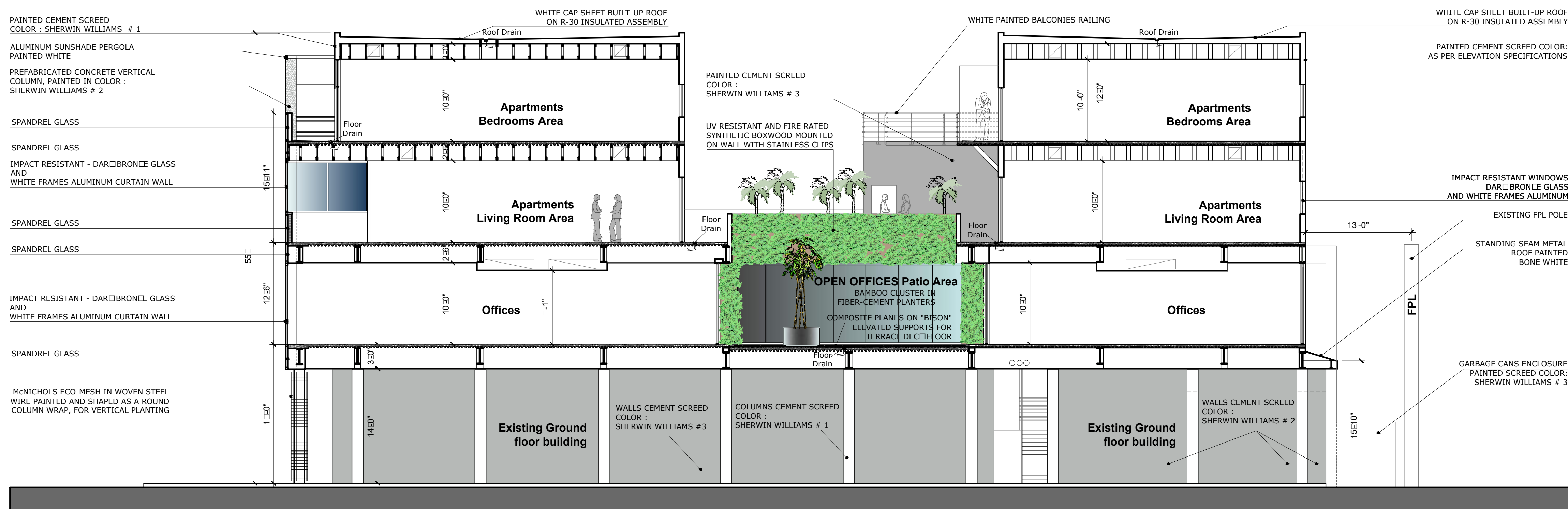
SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

**BUILDING  
SECTIONS**

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issue date	05.22.10
Sheet #	A2.01
Scale	1/8"=1'



**1 ATRIUM CENTER - SECTION 1.1**

A2.01

0 4 8 16 24

WALLS Paint Color Legend	
COLOR # 1 - SHERWIN WILLIAMS - SW C95 SOMMELIER	
COLOR # 2 - SHERWIN WILLIAMS - SW C90 TRENTAN	
COLOR # 3 - SHERWIN WILLIAMS - SW C99 BRICPAVER	
COLOR # 4 - SHERWIN WILLIAMS - SW C26 CURICH WHITE	



Issue		
No.	Date	Description

Client

**115 Holdings Inc.**

Project Name

**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

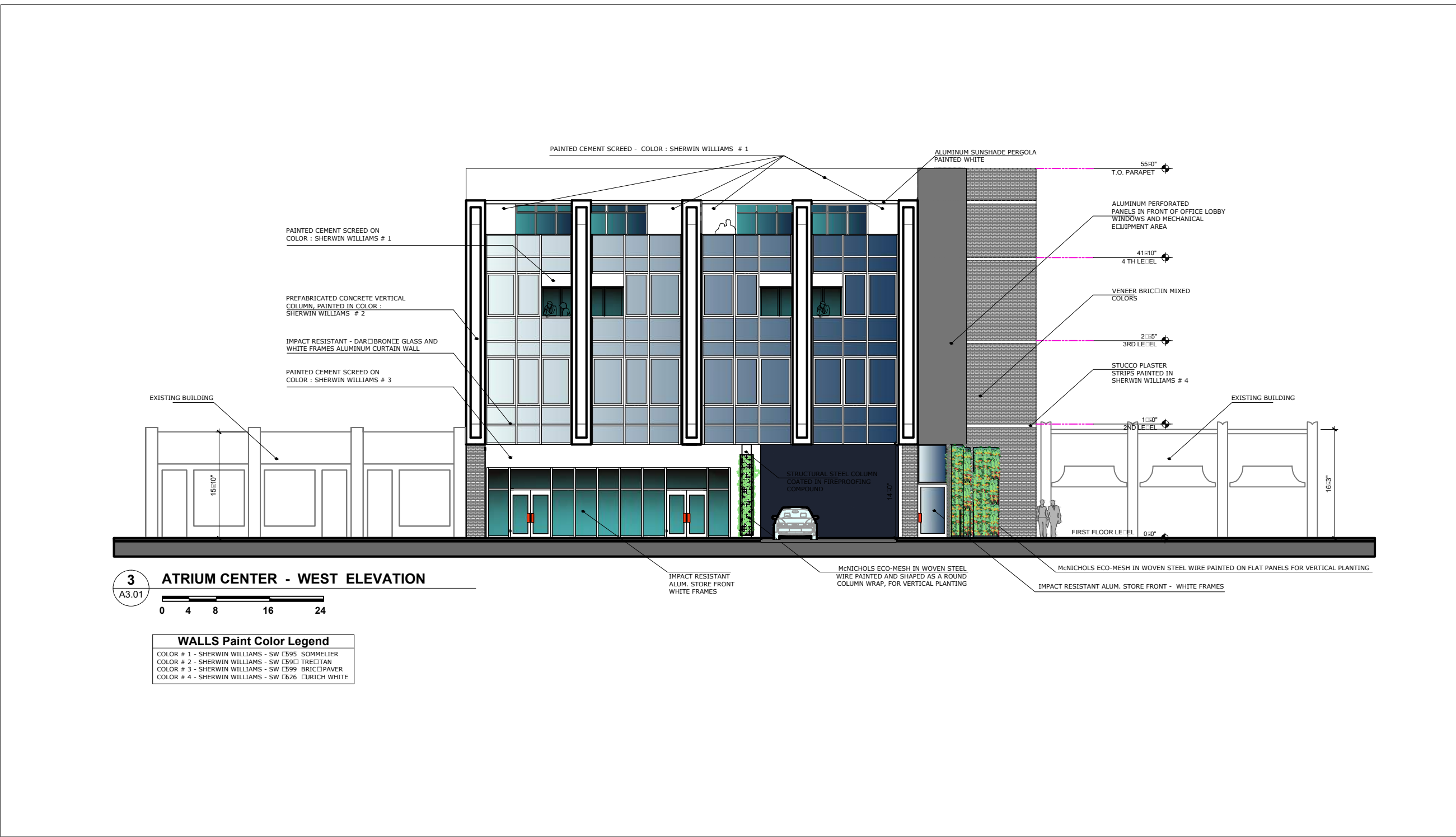
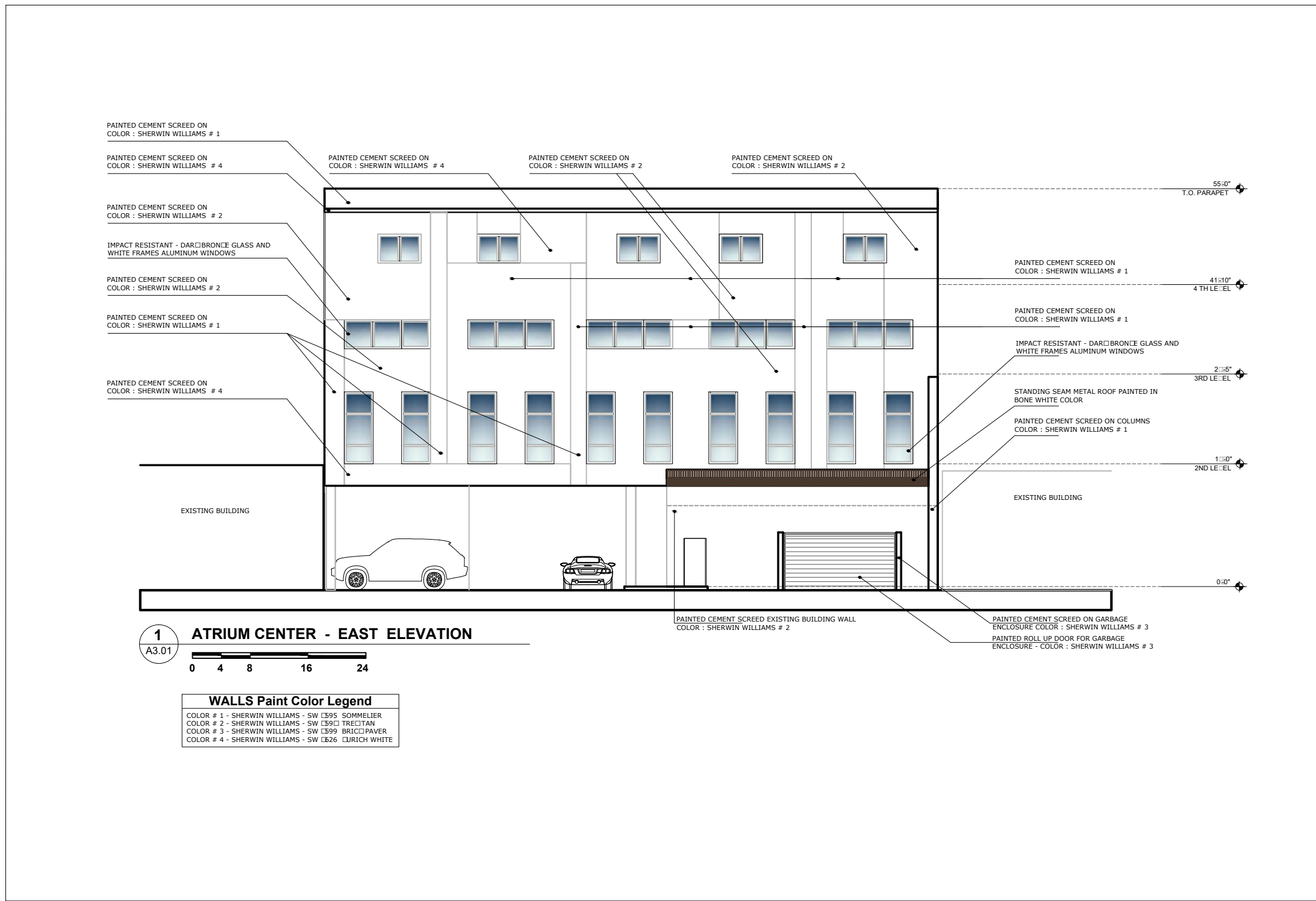
SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

**Ele<sup>o</sup>tion**

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issue date	05.22.11
Sheet #	A3.01
Scale	1/16"=1'





Issue		
No.	Date	Description

Client

**115 Holdings Inc.**

Project Name

**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

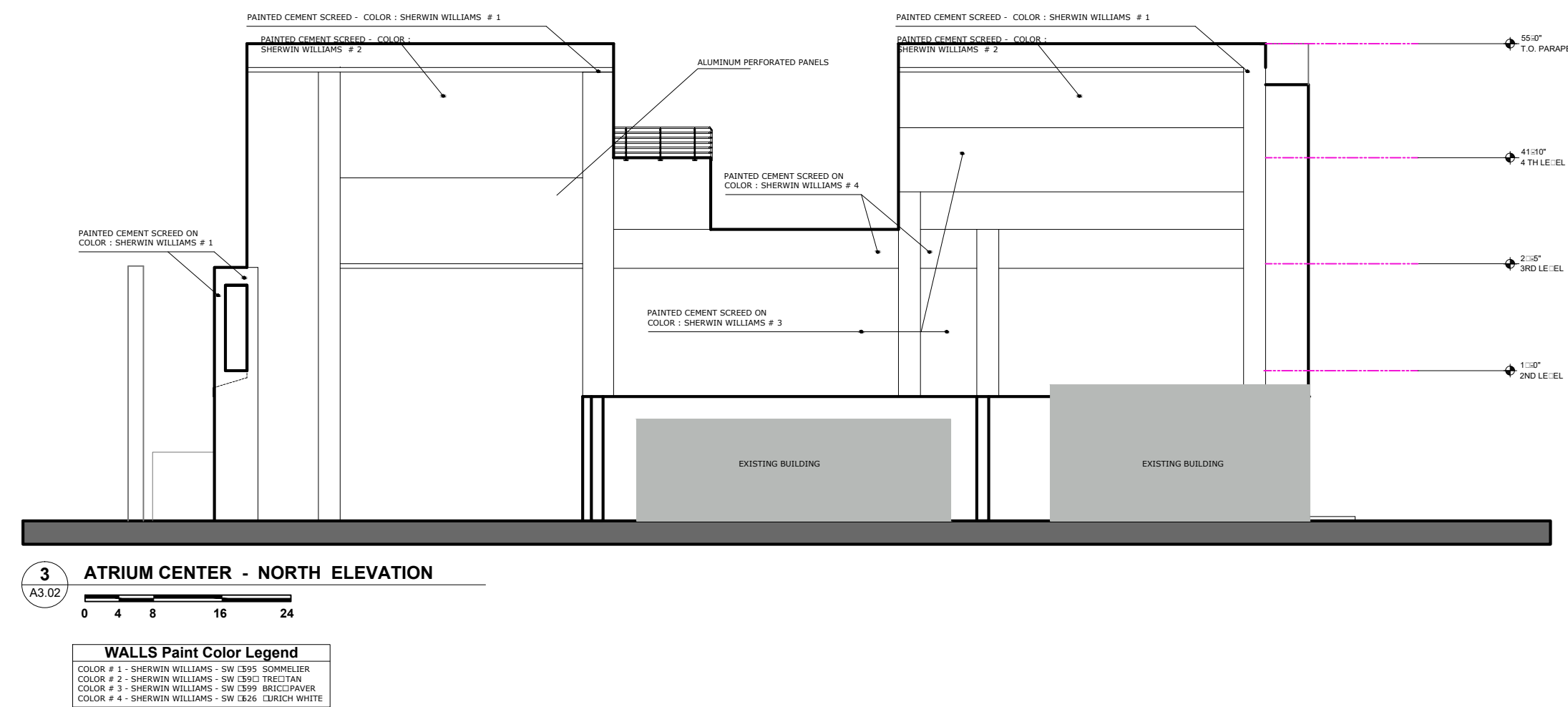
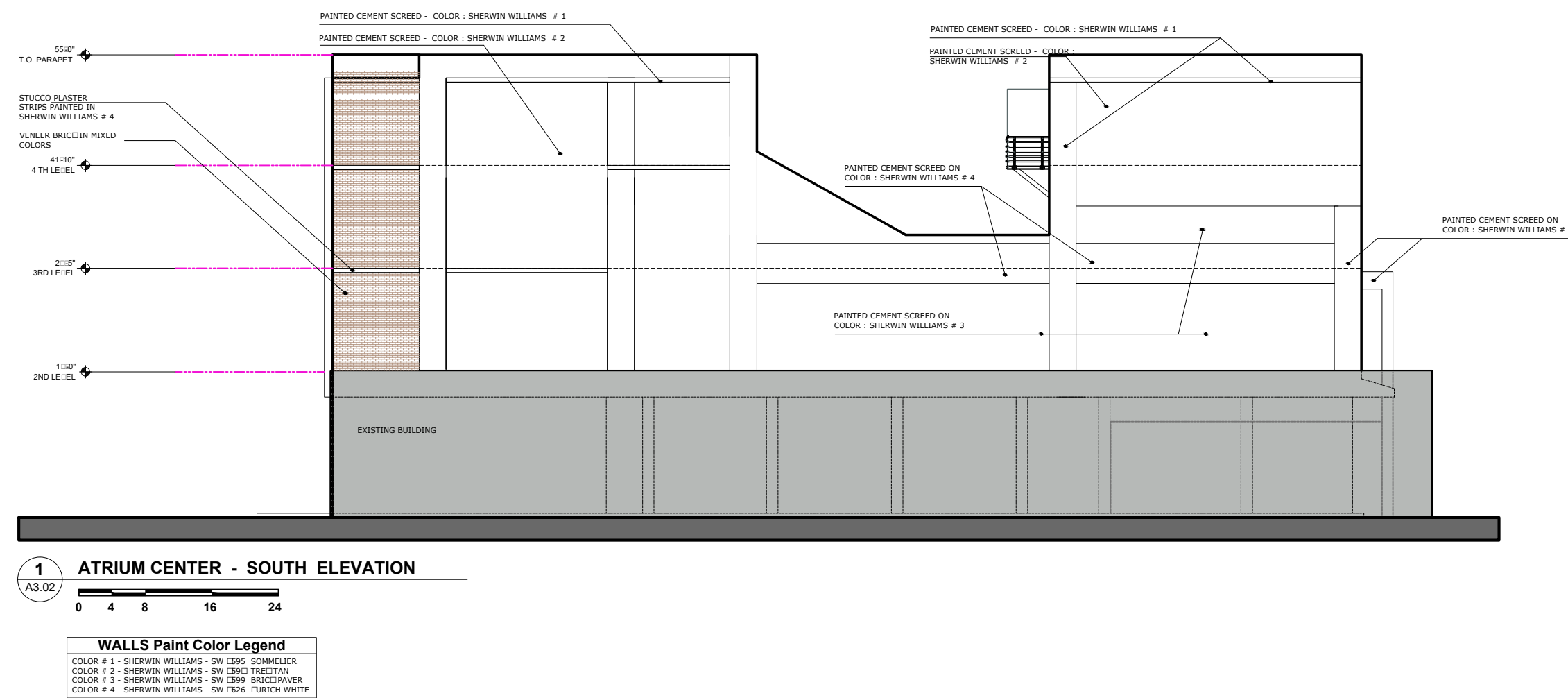
SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

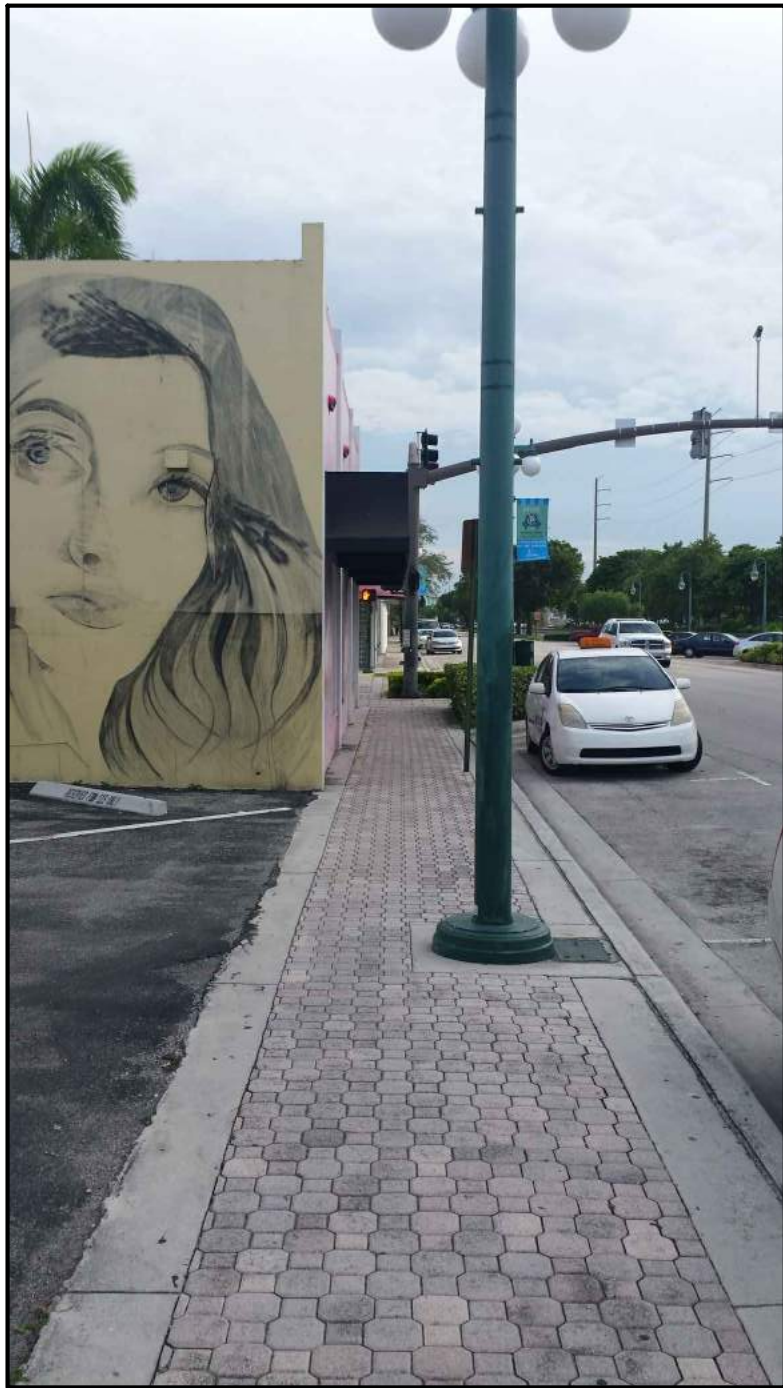
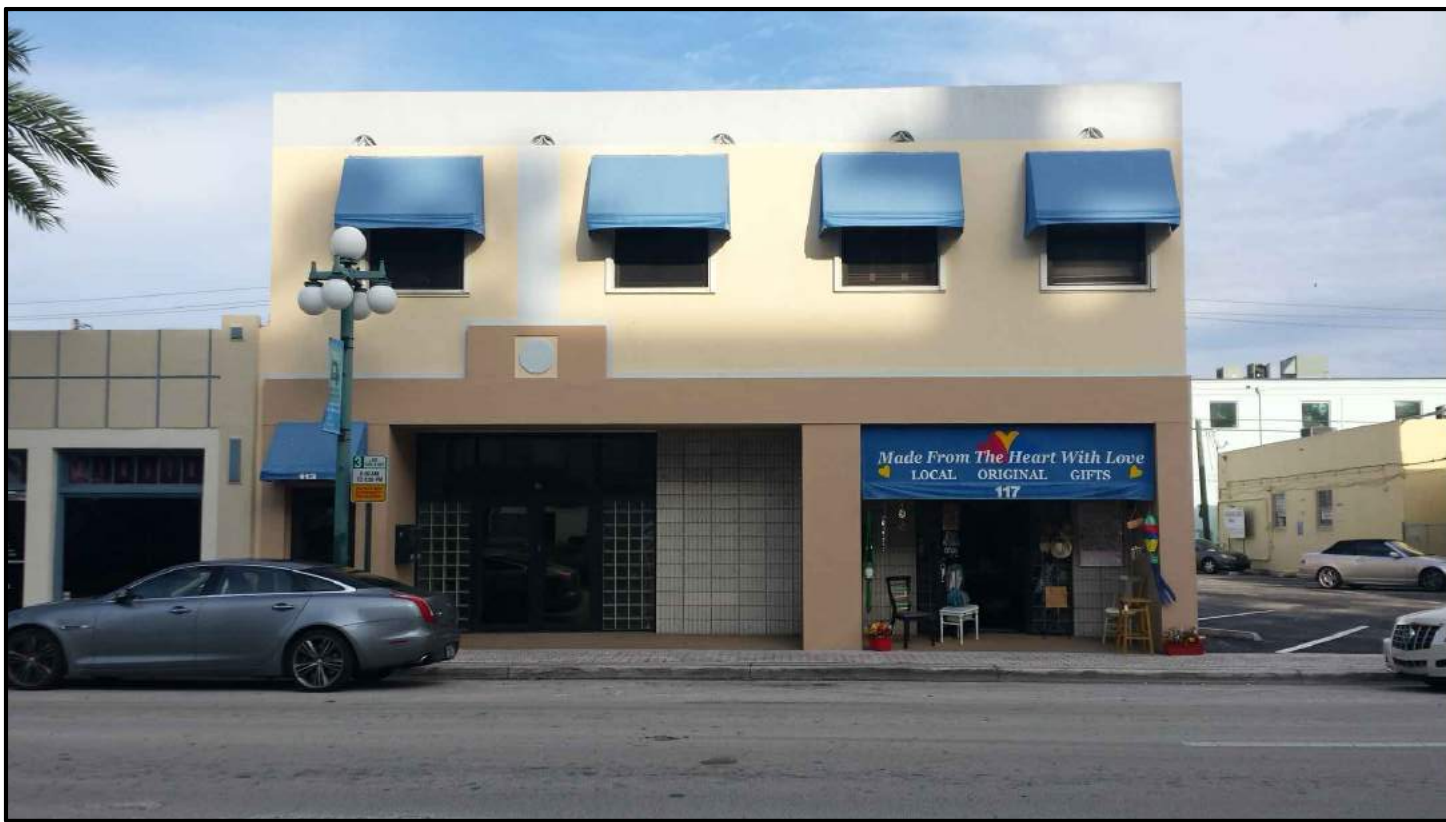
Sheet title

**Ele<sup>o</sup>tion**

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issue date	05.22.11
Sheet #	A3.02
Scale	1/16"=1'







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Issue		
No.	Date	Description

Client

**115 Holdings Inc.**

Project Name

**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

**Ele~~tion~~ and  
Existing P~~lots~~ots**

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issue date	05.22.10
Scale	NTS
Sheet #	A3.03



1.01 ARCHITECT'S STATUS:

1.02 CODES:  
ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

1.04 JOB CONDITIONS:

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS.

1.05 WORK NECESSARY TO COMPLETE CONSTRUCTION:

1.06 CLEAN UP / REPAIR:

B. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EXISTING ITEMS DAMAGED BY THE PROCESS OF NEW CONSTRUCTION AND SHALL FINISH ALL PATCHWORK AND REPAIRS TO MATCH EXISTING ADJACENT AREAS AND SURFACES.

A.C.I.	AMERICAN CONCRETE INSTITUTE
ADA	AMERICANS WITH DISABILITIES ACT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS
FBC	FLORIDA BUILDING CODE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
SJI	STEEL JOIST INSTITUTE
U.L.	UNDERWRITERS LABORATORIES
ANCHOR BOLT	
ABOVE FINISH FLOOR	
AIR HANDLER UNIT	
AMPERAGE	
ASSEMBLY	
BEAM	
BUILDING	
BOTTOM	
CATCH BASIN	
CUBIC FEET PER MINUTE	
CEILING	
CLEAR	
CONCRETE MASONRY UNIT	
CLEAN OUT	
COLUMN	
COMBINATION	
CONCRETE	
CONTINUOUS	
COORDINATE	
DIAMETER	
DISCONNECT	
DOWN	
DRAWINGS	
DEMOLITION	
EXISTING	
EACH	
ELECTRICAL	
ELEVATION	
EASEMENT	
ELECTRIC WATER HEATER	
EXPANSION	
FEMALE	
FLOOR DRAIN	
FLOOR SINK	
FOOT FEET	
FOOTING	
GAUGE	
GALVANIZED	
GROUND FAULT CURRENT INTERRUPT	
GROUND	
GYPSUM WALL BOARD	
HEIGHT	
HORSE POWER	
HOUR	
HERTZ	
INCH	
JOIST	
JOIST GIRDER	
JOINT	
LABORATORY	
LICENSE	
LOCATION	
MALE	
MATERIAL	
MAXIMUM	
MECHANICAL	
MINIMUM	
MILLIMETERS	
MOUNTED	
METAL	
MASONRY OPENING	
NEW	
NOT APPLICABLE	
NUMBER	
NON LOAD-BEARING	
OVER ALL	
ON CENTER	
OVER HANG	
OVERHEAD POWER LINE	
PHASE	
PLUMBING	
PLANNED UNIT OF DEVELOPMENT	
QUANTITY	
PLATE	
POWDER ACTUATED FASTENERS	
PRE ENGINEERED	
PROPERTY LINE	
PANEL	
POLYVINYL-CHLORIDE	
POUNDS PER SQUARE FOOT	
POUNDS PER SQUARE INCH	
PRESSURE TREATED	
REFERENCE REFRIGERATOR	
REINFORCING	
ROOM	
ROUGH SAWN	
RAIN WATER LEADER	
SANITARY	
SCHEDULE	
SIMILAR	
SHUT-OFF VALVE	
SQUARE FEET	
SQUARE INCH	
STANDARD	
TIE BEAM	
TOP OF BEAM	
TOP OF CONCRETE	
TOP OF FOOTING	
TOP OF STEEL	
TYPICAL	
TONGUE AND GROOVE	
UNLESS NOTED OTHERWISE	
VENT THROUGH ROOF	
WITH	
WATER CLOSET	
WIDTH DEPTH	
WIDE FLANGE BEAM	
YEAR	

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[illegible]

Client

**115 Holdings Inc.**

<p>Project Name</p> <p><b>Atrium Building Mixed Use</b></p>	<p>1115 S. 21st Ave., Hollywood, Florida, 33020</p>
---	---

SIGN &amp; SEAL

**Cristian Gavrilesco**  
Registered Architect # AR 94560

Sheet title

## Genre Notes

Drawn by	A.P.
Checked by	E.P.
Project Number	101.15
Issued for	
Issue date	Sheet #
05.22.1 <input type="checkbox"/>	A4.01
Scale NTS	



[illegible]**115 Holdings Inc.**

**Atrium Building  
Mixed Use**

**Cristian Gavrilescu**  
Registered Architect # AR 94560

**PAVING**  
**GRADING**  
**DRAINAGE PLAN**

Drawn by	AA
Checked by	SCH
Project Number	101.15
Issued for	SITE PLAN APPROVAL
Issue date	Sheet #

11.8.16

Scale:  
1"=10'



LOTS 4 & 5, BLOCK 8, OF "HOLLYWOOD", ACCORDING TO THE  
PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF  
THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.




	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
	PROPOSED WATER METER
	PROPOSED CLEANOUT
	PROPOSED RPZ BACKFLOW PREVENTER
	PROPOSED DOUBLE DETECTOR CHECK VALVE
	PROPOSED PIPING
	EXISTING PIPING AND APPURTENANCES
	EXISTING CATCH BASIN
	EXISTING ELEVATION
	EXISTING UTILITY POLE
	EXISTING MANHOLE (AS DESIGNATED)
	EXISTING APPURTENANCES (AS INDICATED)
	EXISTING FENCE
	EXISTING CONCRETE

1. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
2. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIALS FROM THE SITE.
3. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
4. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
5. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS AT A MINIMUM.
6. MAXIMUM CROSS SLOPE ON WALKWAYS TO BE 2%.
7. MAXIMUM LENGTHWISE SLOPE ON WALKWAYS TO BE 5%.

ALL ASPHALT AREAS TO BE  
RE-GRADED AND SLOPED  
TOWARD DRAINAGE SYSTEM.

## PAVING, GRADING AND DRAINAGE PLAN

CA7325



**HOLLAND ENGINEERING INC.**  
civil engineers

3900 HOLLYWOOD BLVD. - SUITE 303 - HOLLYWOOD - FL - 33021  
(954)367-0371 . (954)367-0372 Fax

SUSAN C. HOLLAND, PE  
License no. 41831





WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE.

FROM POINT OF SERVICE UP TO DDCV, UNDERGROUND WORK MUST BE COMPLETED BY A FP CONTRACTOR I, II, OR V PER FS 633.102 INCLUDING WITNESSING ALL WET TAPS, FLUSH TEST, AND PRESSURE TESTS.

OFFICE SPACE: 16,450 SF X 0.20 GPD = 3,290 GPD  
RESIDENTIAL: 8 UNITS X 250 GPD/UNIT = 2,000 GPD  
TOTAL = 5,290 GPD



1. WHERE SOIL CONDITIONS ARE NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
2. SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
3. NEW SURFACING MATERIALS SHALL BE CONSISTENT W/ EXIST. & SHALL HAVE BUTT JOINTS (2" MIN. THK.).
4. COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-180
5. ROADWAY SHALL BE CONSTRUCTED TO MEET THE MINIMUM SPECIFICATION GOVERNING AUTHORITY HAVING JURISDICTION
6. MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL (SEE DETAILS).
7. DENSITY TESTS - MIN. 2 PER SUB-BASE, MIN. 2 PER LIMEROCK, PER CUT. CITY ENGINEERING DEPT. RECEIVES 2 COPIES OF RESULTS.

### PAVEMENT RESTORATION DETAILS

SCALE 1" = 10'-0"



LOTS 4 & 5, BLOCK 8, OF "HOLLYWOOD", ACCORDING TO THE  
PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF  
THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CONTRACTOR TO FIELD VERIFY SIZE OF  
EXISTING SEWER LATERAL, IF LATERAL  
IS LESS THAN 6", IT IS TO BE REPLACED  
WITH A NEW 6" LATERAL.

CONTRACTOR TO FIELD VERIFY  
LOCATION, SIZE, MATERIAL AND  
DEPTH OF ALL EXISTING UTILITIES  
PRIOR TO CONSTRUCTION.

PAVEMENT RESTORATION FOR  
15' ALLEYWAY WILL BE REQUIRED

	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
	PROPOSED WATER METER
	PROPOSED CLEANOUT
	PROPOSED RPZ BACKFLOW PREVENTER
	PROPOSED DOUBLE DETECTOR CHECK VALVE
	PROPOSED PIPING
	EXISTING PIPING AND APPURTENANCES
	EXISTING CATCH BASIN
	EXISTING ELEVATION
	EXISTING UTILITY POLE
	EXISTING MANHOLE (AS DESIGNATED)
	EXISTING APPURTENANCES (AS INDICATED)
	EXISTING FENCE
	EXISTING CONCRETE

15-95



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CA7325

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miami

**ARCHITECTURA**  
**GROUP MIAMI**

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
AA26001885  
ID 00003873

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HALLANDALE, FLORIDA 33009  
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[illegible]

Client

**115 Holdings Inc.**

Project Name

**Atrium Building**  
**Mixed Use**

SIGN &amp; SEAL

**Cristian Gavrilescu**  
Registered Architect # AR 9456

Sheet title

☐ ATER ☐ SE ☐ ER  
PLAN

Drawn by

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Project Number

ber

Issued To:	
By:	

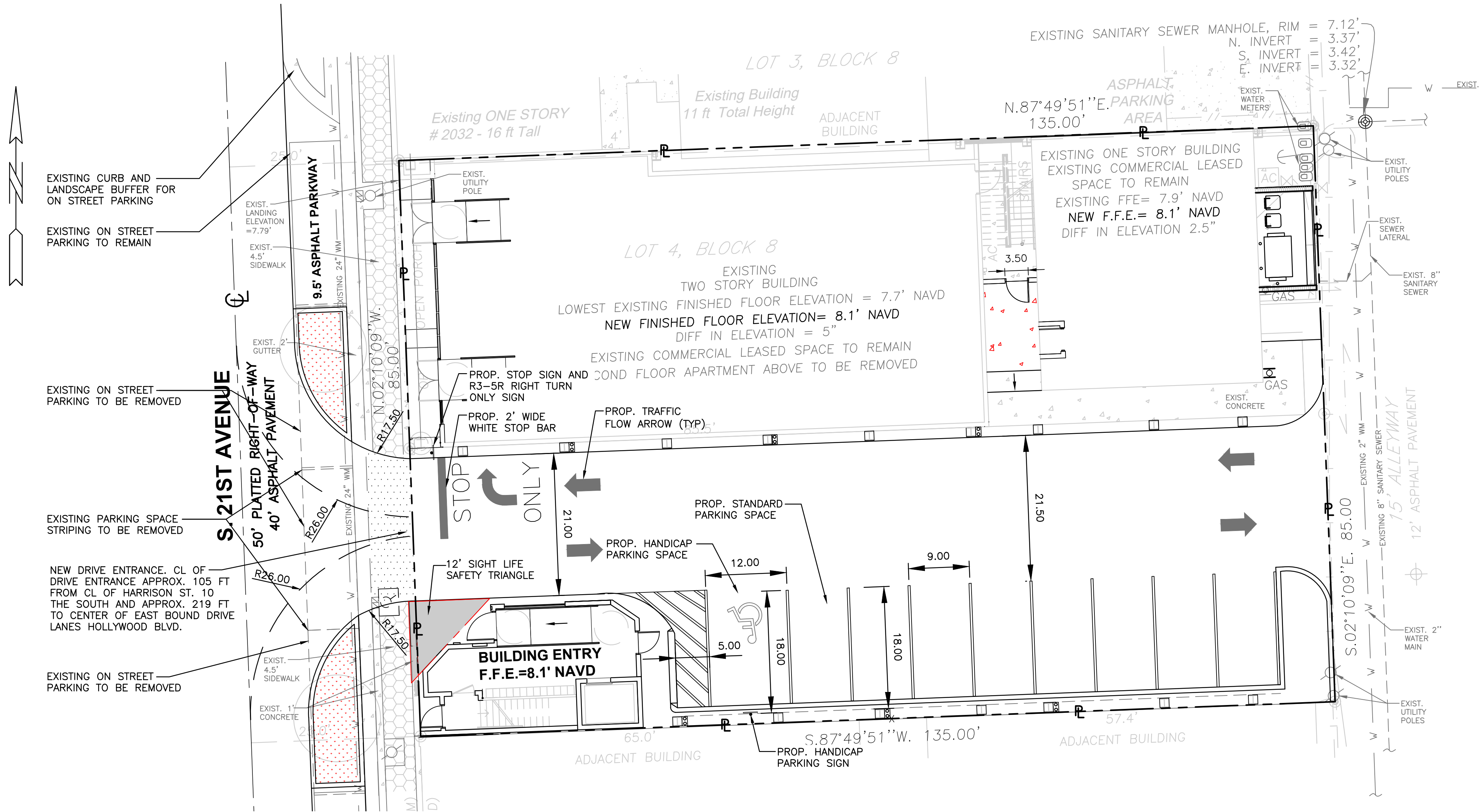
SITE PLAN APPROVAL	
8/1/00	

11.8.16

Scale

## C2





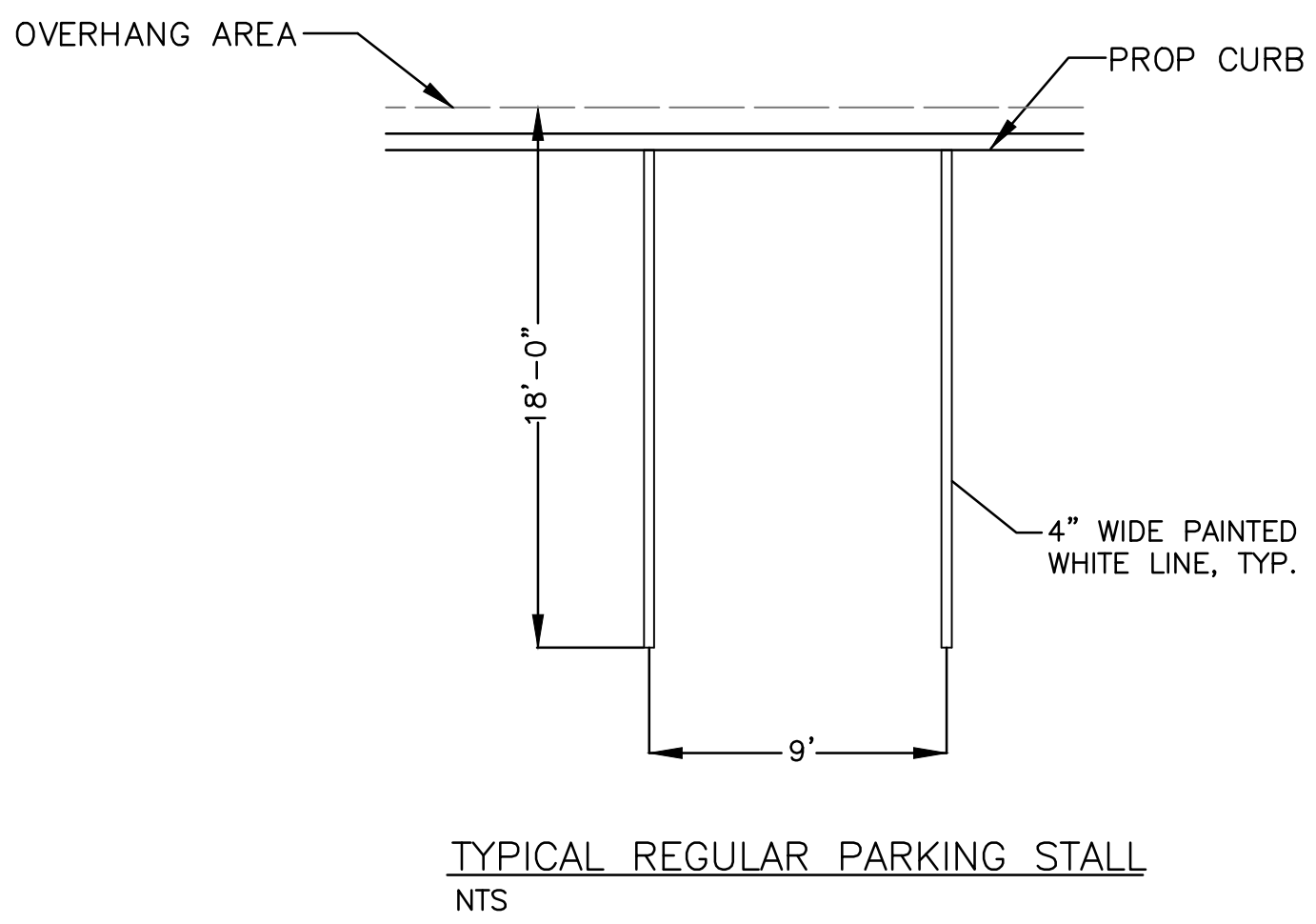
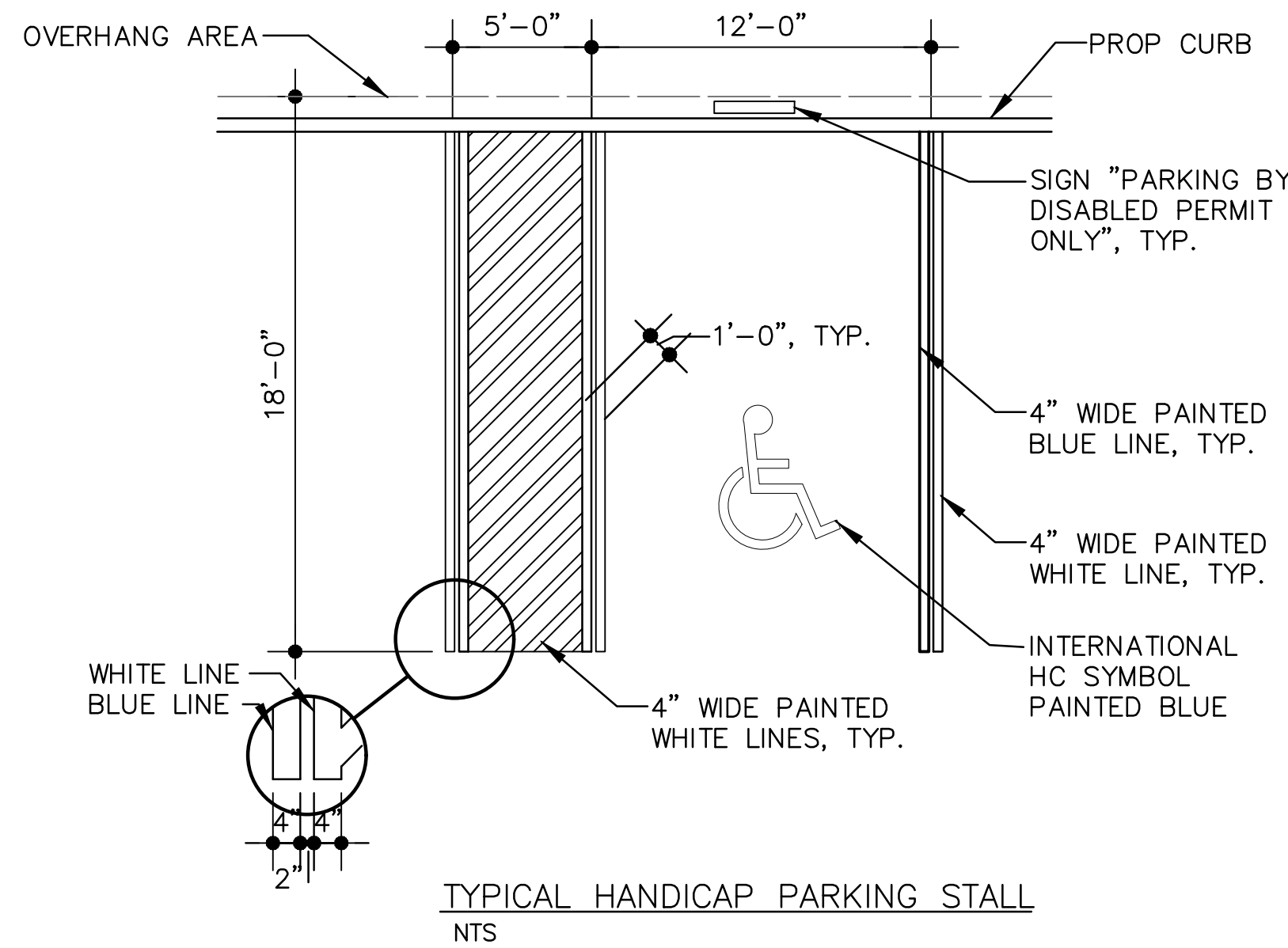
EXISTING CURB AND LANDSCAPE BUFFER FOR ON STREET PARKING TO REMAIN

EXISTING ON STREET PARKING TO BE REMOVED

EXISTING PARKING SPACE STRIPING TO BE REMOVED

NEW DRIVE ENTRANCE. CL OF DRIVE ENTRANCE APPROX. 105 FT FROM CL OF HARRISON ST. 10 THE SOUTH AND APPROX. 219 FT TO CENTER OF EAST BOUND DRIVE LANES HOLLYWOOD BLVD.

EXISTING ON STREET PARKING TO BE REMOVED



LOCATION MAP

NOT TO SCALE

LEGAL DESCRIPTION:

LOTS 4 & 5, BLOCK 8, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED NO PARKING AREA
- PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED WATER METER
- PROPOSED CLEANOUT
- PROPOSED RPZ BACKFLOW PREVENTER
- PROPOSED DOUBLE DETECTOR CHECK VALVE
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- EXISTING CATCH BASIN
- EXISTING ELEVATION
- EXISTING UTILITY POLE
- EXISTING MANHOLE (AS DESIGNATED)
- EXISTING APPURTENANCES (AS INDICATED)
- EXISTING FENCE
- EXISTING CONCRETE

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PAVEMENT MARKING AND SIGNAGE PLAN

SCALE 1" = 10'-0"

**HOLLAND ENGINEERING INC.**  
civil engineers  
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(954)367-0371 • (954)367-0372 Fax

SUSAN C. HOLLAND, PE  
License no. 41831

CA7325

ARCHITECTURA GROUP MIAMI

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No.	Date	Description

Client  
**115 Holdings Inc.**

Project Name  
**Atrium Building Mixed Use**  
115 S. 21st Ave., Hollywood, Florida, 33020

SIGN & SEAL  
Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title  
**PAVEMENT MARKING AND SIGNAGE PLAN**

Drawn by	AA
Checked by	SCH
Project Number	101.15
Issued for	SITE PLAN APPROVAL
Issue date	Sheet #
11.8.16	
Scale	1"=10'
	<b>C3</b>



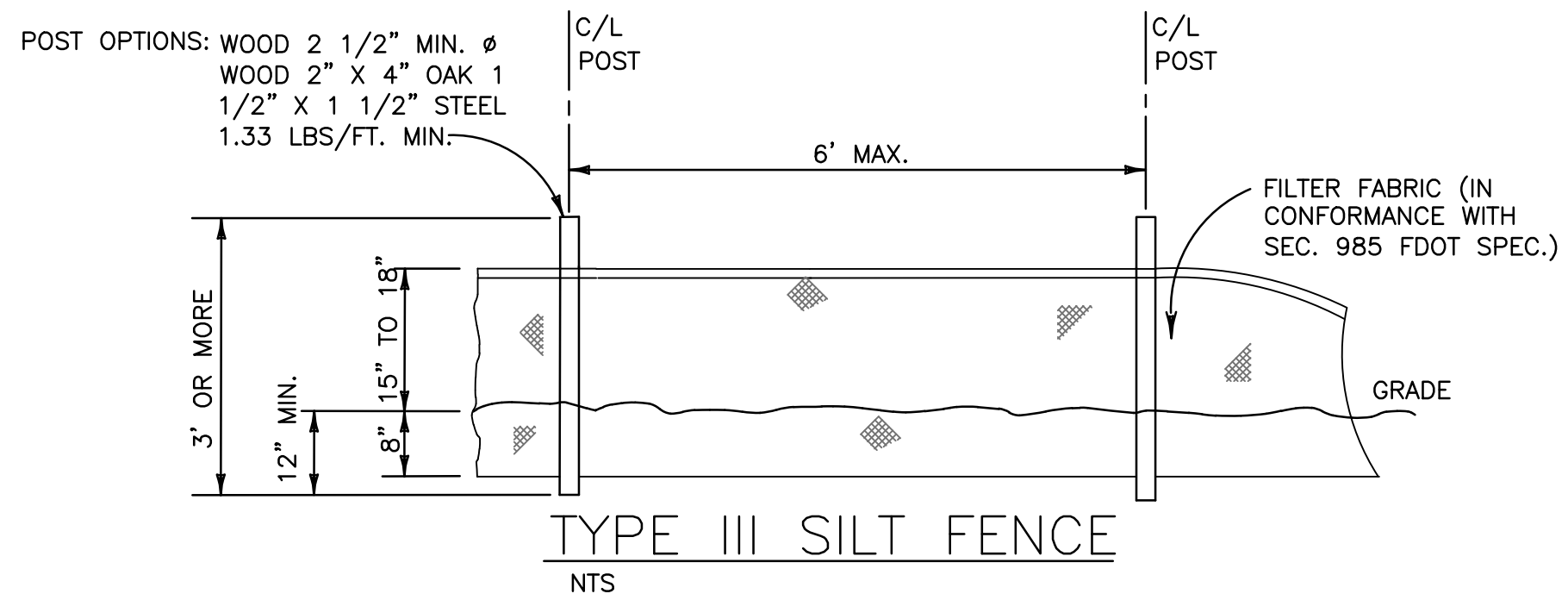
### LEGEND

	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
	PROPOSED WATER METER
	PROPOSED CLEANOUT
	PROPOSED RPZ BACKFLOW PREVENTER
	PROPOSED DOUBLE DETECTOR CHECK VALVE
	PROPOSED PIPING
	EXISTING PIPING AND APPURTENANCES
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#### BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. TO MEET LEED REQUIREMENTS.
12. PROVIDE SILT FENCE AROUND WORK AREA DURING INSTALLATION OF NEW 8" SANITARY MAIN.



## STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 10'-0"

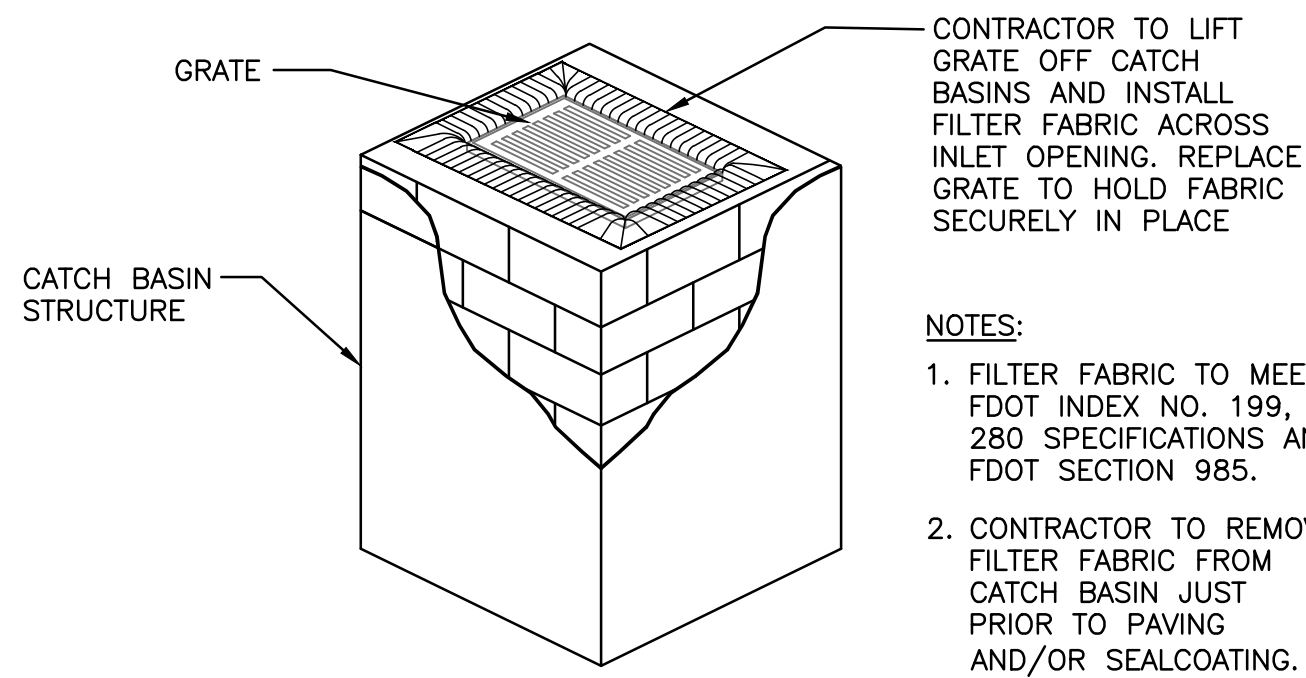


### LOCATION MAP

NOT TO SCALE

### LEGAL DESCRIPTION:

LOTS 4 & 5, BLOCK 8, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



CONTRACTOR TO LIFT GRATE OFF CATCH BASINS AND INSTALL FILTER FABRIC ACROSS INLET OPENING. REPLACE GRATE TO HOLD FABRIC SECURELY IN PLACE

#### NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

### POLLUTION PREVENTION FOR CATCH BASIN

N.T.S.

architectura group

ag  
miami

### ARCHITECTURA GROUP MIAMI

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
AA26001885  
ID 00003873

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No.	Date	Description

Client  
**115 Holdings Inc.**

Project Name  
**Atrium Building Mixed Use**  
115 S. 21st Ave., Hollywood, Florida, 33020

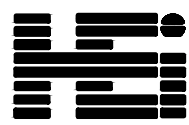
SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

### STORMWATER POLLUTION PREVENTION PLAN

Drawn by	AA
Checked by	SCH
Project Number	101.15
Issued for	SITE PLAN APPROVAL
Issue date	Sheet #
11.8.16	
Scale	1"=10'



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civil engineers

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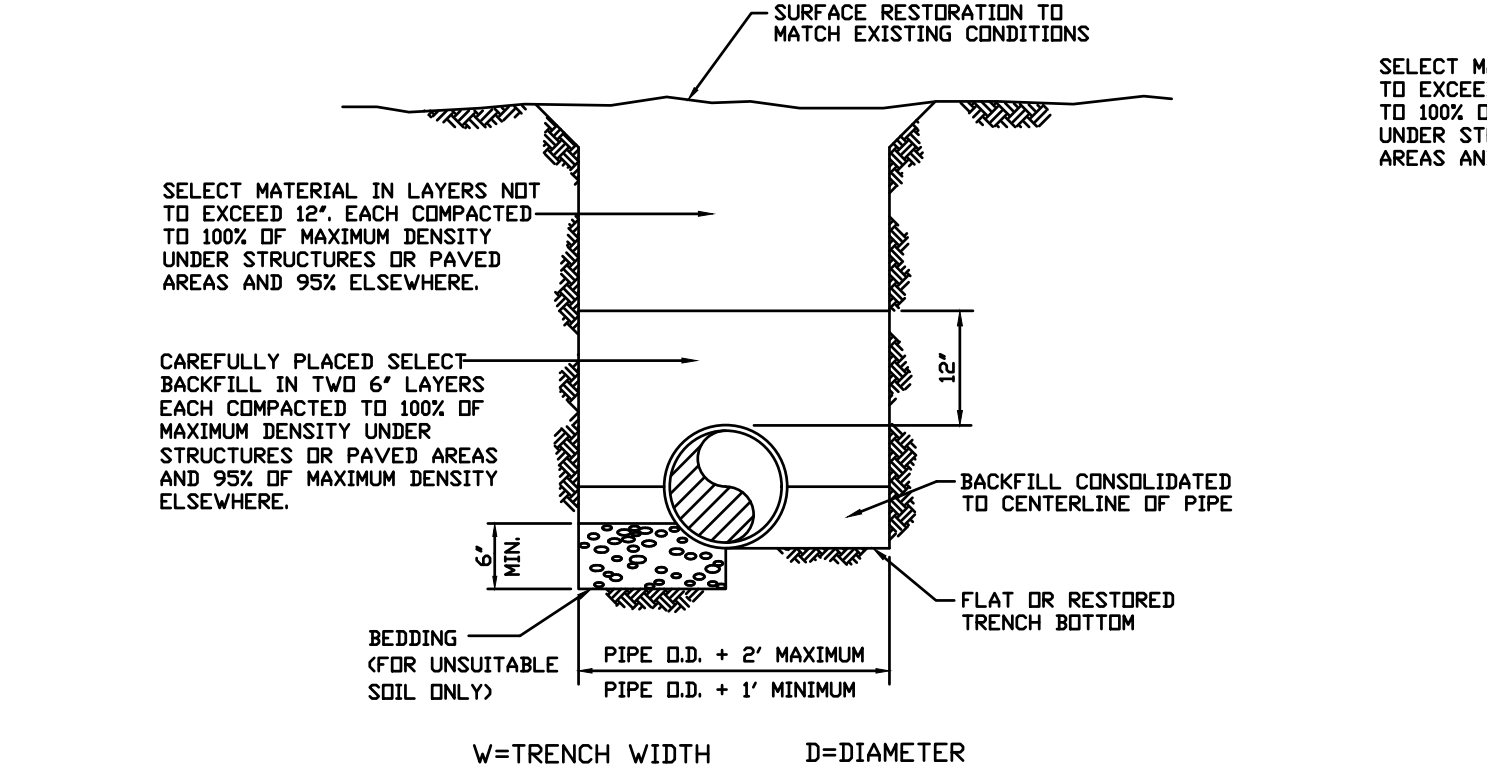
CA7325

15-95

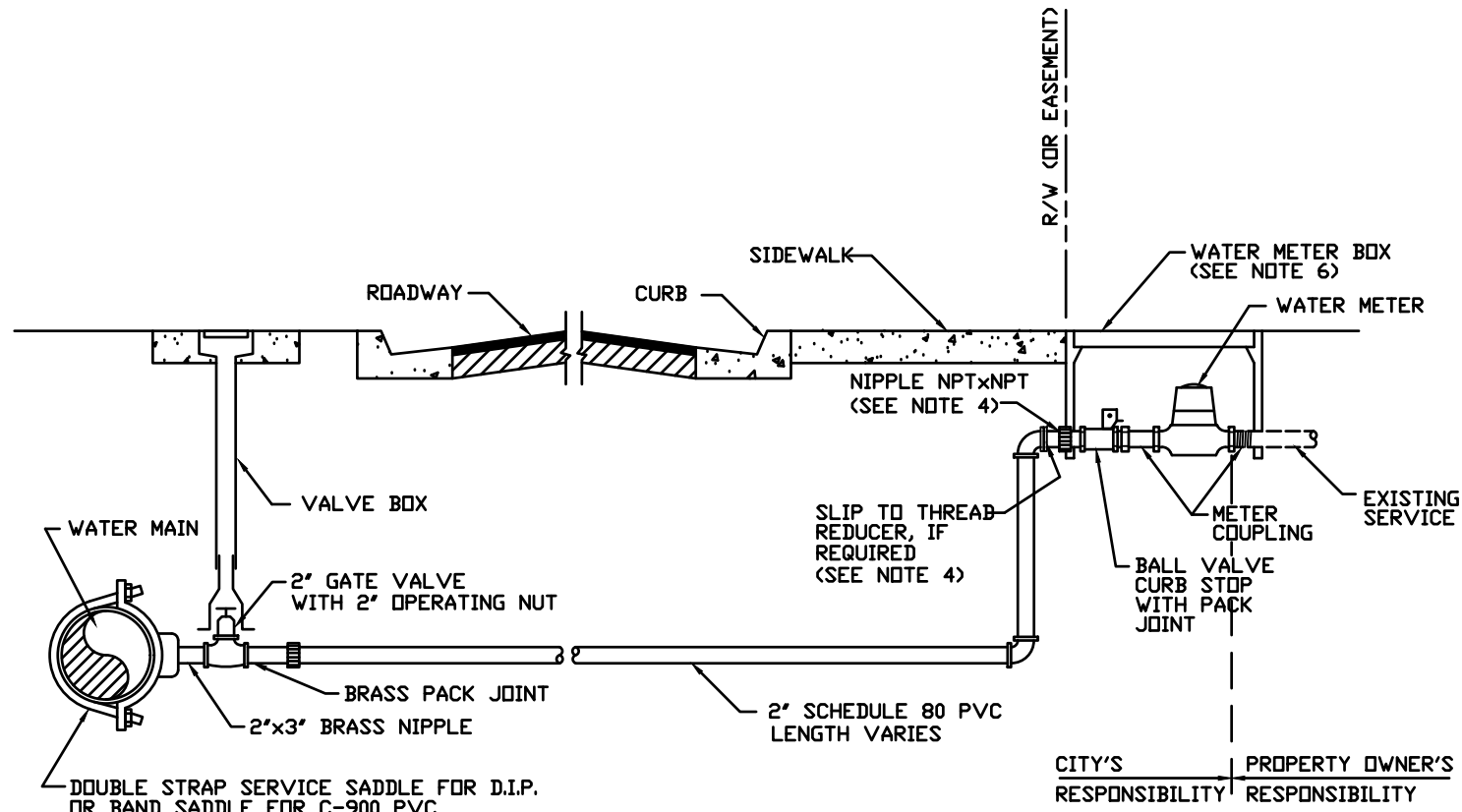




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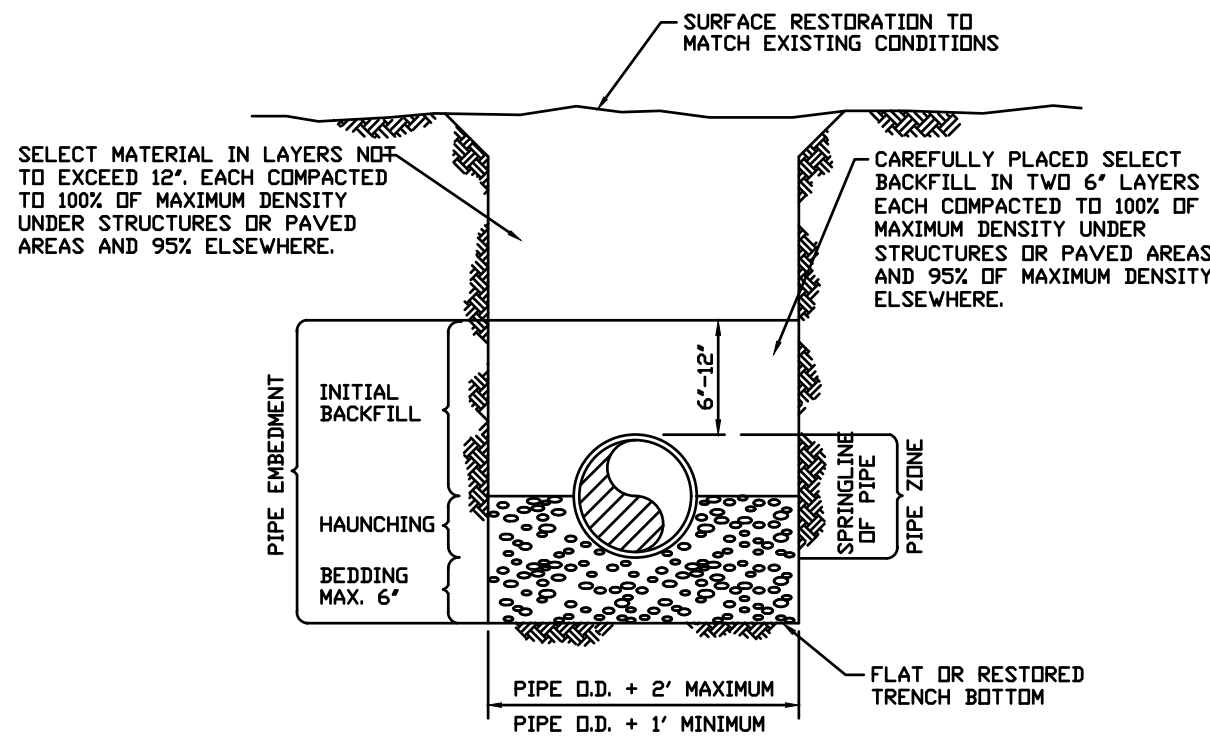


- NOTES:
1. BEDDING MATERIAL, WHEN NECESSARY, SHALL BE CLEAN SANDY SOIL WHENEVER AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED 3/4\"
  2. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.



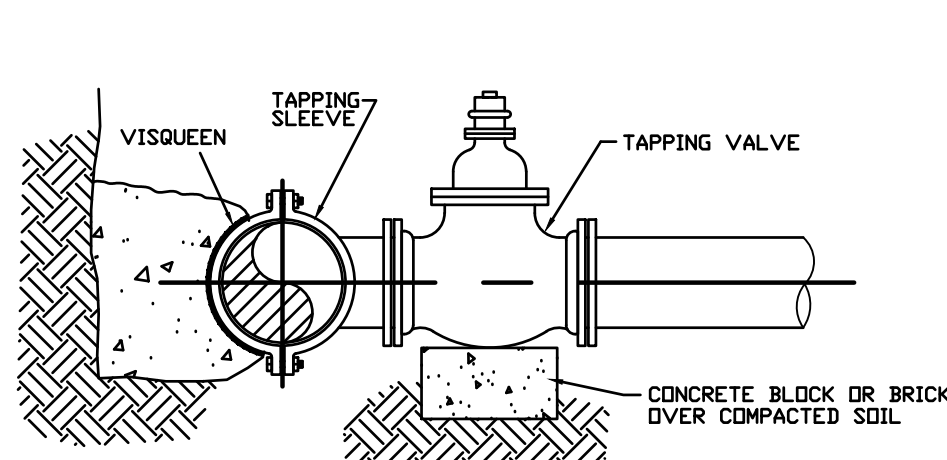
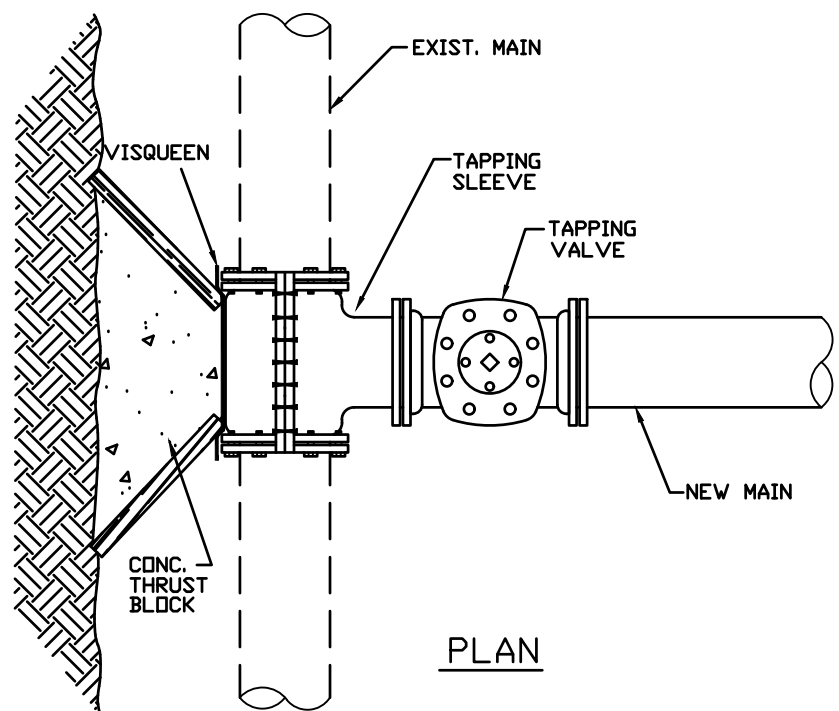
TYPICAL SERVICE CONNECTION  
(FOR P.V.C. ONLY)

- NOTES:
1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18\"
  2. SERVICE CONNECTIONS RUN FROM THE WATER MAIN TO THE METER AND INCLUDE THE SERVICE CLAMP, THE CORPORATION STOP OR GATE VALVE (DEPENDING ON METER SIZE), PIPING, THE CURB STOP AND ALL NECESSARY FITTINGS.
  3. SERVICE CONNECTION PIPES AND FITTINGS CROSSING UNDER PAVEMENT SHALL BE A MINIMUM OF 2\"
  4. FOR 1\", 1-1/2\" AND 2\" METERS, THE NIPPLE AND ACCESSORIES BETWEEN THE 2\" 90\" BEND OR 2\" TEE AND THE METER SHALL BE THE SAME SIZE AS THE METER.
  5. THE WATER METER, METER BOX AND COVER BY THE CITY OF HOLLYWOOD.
  6. ELEVATION OF TOP OF WATER METER BOX SHALL BE SET AT THE SAME ELEVATION AS PROPOSED GRADE AT BACK OF SIDEWALK AND THE METER DIAL SHALL BE MAX. 6\" BELOW METER COVER.
  7. EXISTING SERVICE CONNECTIONS TO BE DISCONNECTED SHALL BE REMOVED AND PLUGGED AS REQUIRED.
  8. DETAIL SHALL BE SAME FOR 1 1/2\" SERVICE AND METER



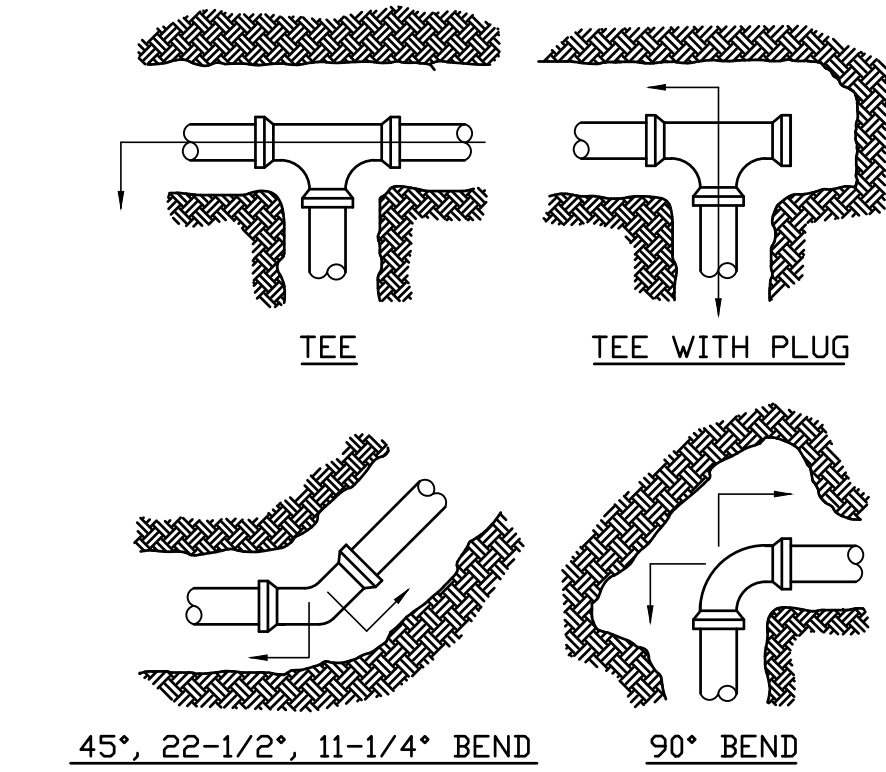
PIPE LAYING CONDITION  
TYPICAL SECTION (P.V.C.)

- NOTES:
1. BEDDING AND HAUNCHING SHALL BE WELL GRADED 3/4\"
  2. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.



ELEVATION  
TYPICAL TAPPING SLEEVE  
AND VALVE

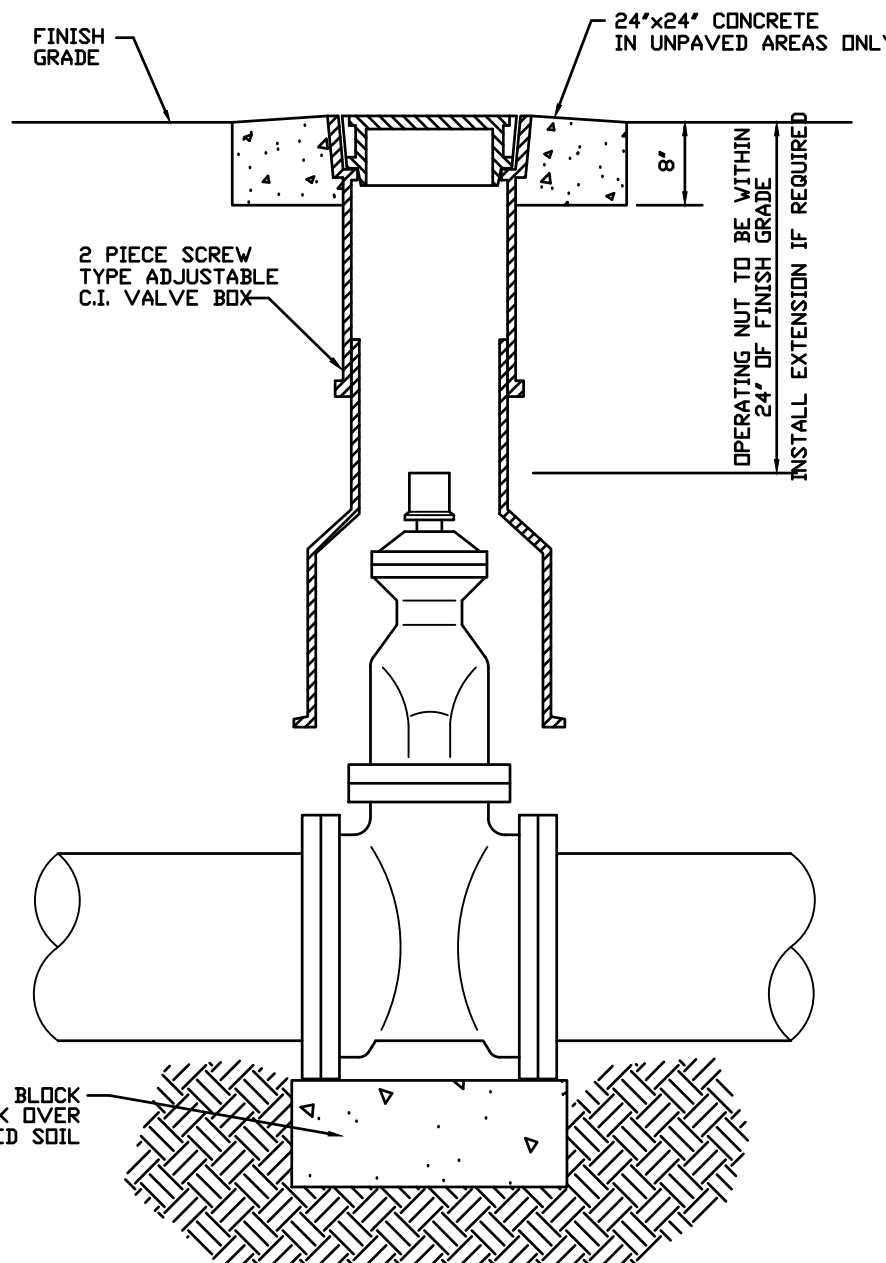
- NOTES:
1. NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
  2. TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.



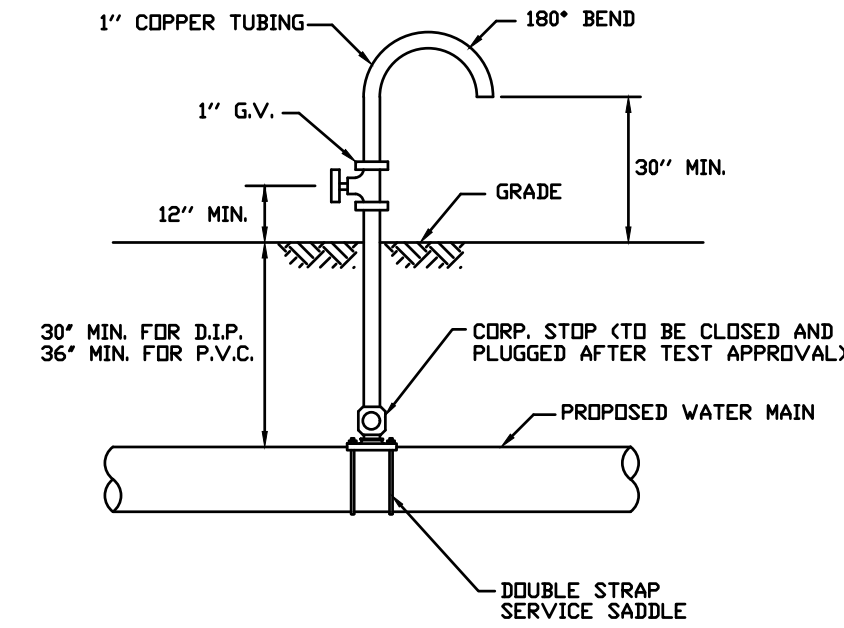
RESTRAINED JOINTS

FITTING	PIPE SIZE				
	4"	6"	8"	10"	12"
TEE	51	72	91	110	135
11-1/4"	4	5	6	7	8
22-1/2"	8	10	13	14	17
45" BEND	17	22	26	30	35
90" BEND	42	53	63	72	85
DEAD END	76	97	117	136	162

- NOTES:
1. LENGTH SHOWN IN THE TABLE TO BE RESTRAINED IN THE DIRECTION OF THE ARROWS, FROM CENTER OF FITTING.
  2. RESTRAINED LENGTHS TABULATED ARE BASED ON THE FOLLOWING CONDITIONS:  
A. LAYING CONDITION TYPE 3  
B. SOIL DESIGNATION SAND/SILT  
C. DEPTH OF COVER 3 FEET  
D. DESIGN PRESSURE 150 PSI.  
E. SAFETY FACTOR 1.5  
F. 18' SPAN BETWEEN THE FIRST TWO UNRESTRAINED JOINTS ON EITHER SIDE OF THE TEE, OR EACH WAY.
  3. USE RESTRAINED JOINTS FOR FITTINGS AND MECHANICAL JOINT PIPE.



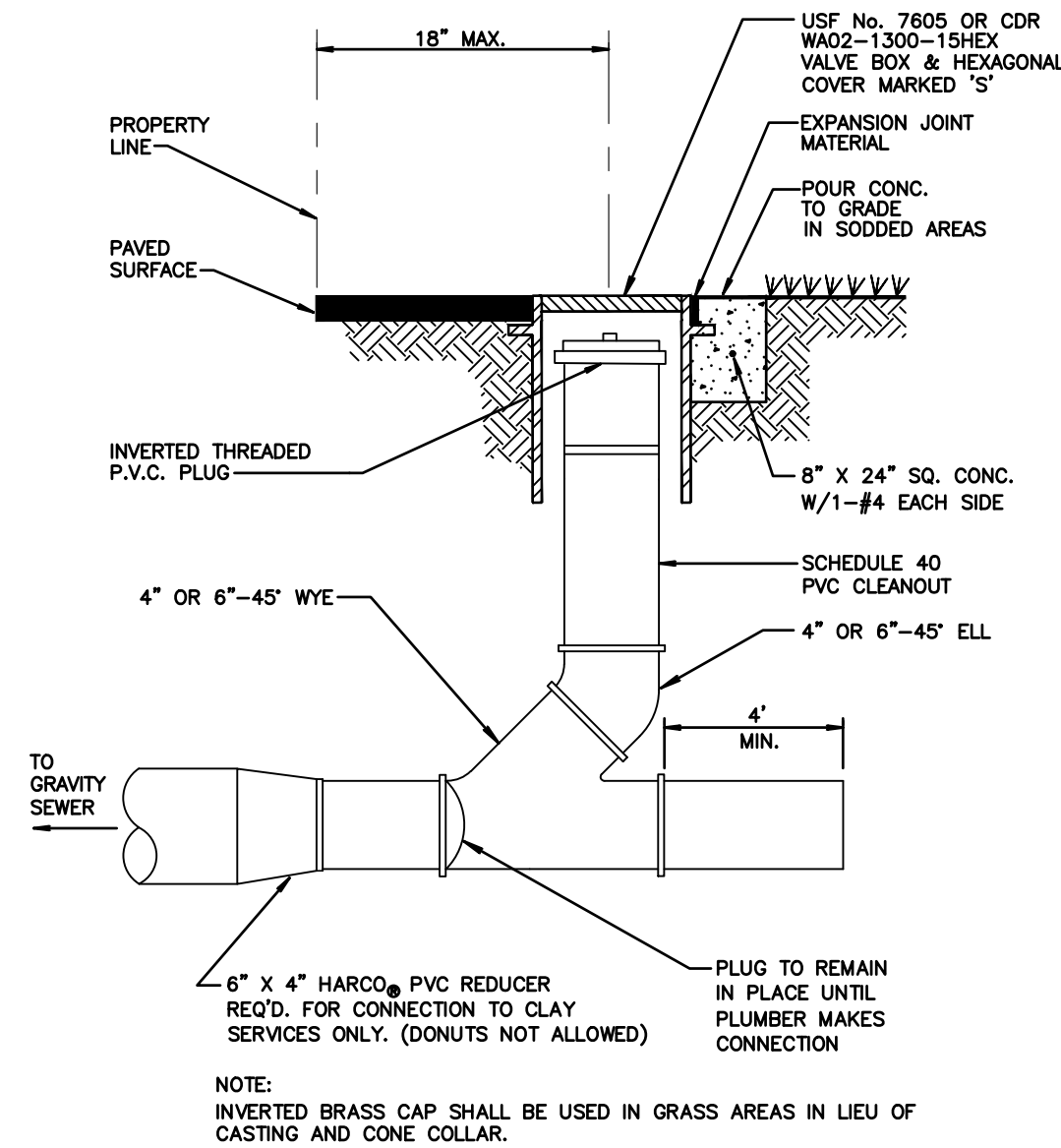
TYPICAL GATE VALVE  
AND VALVE BOX



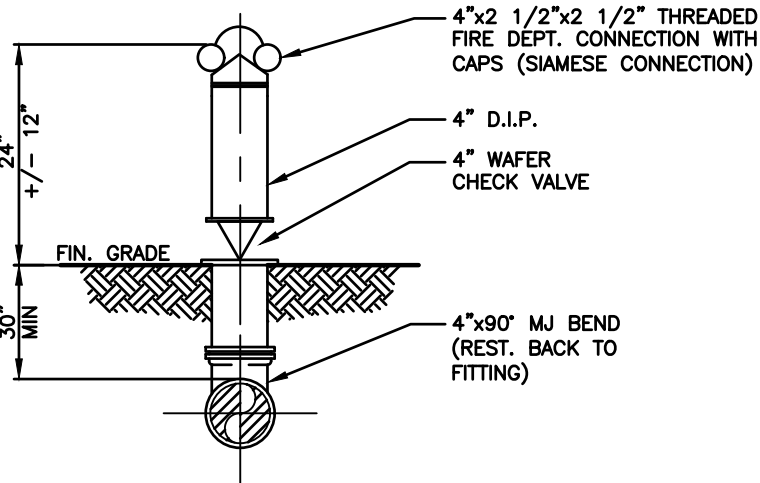
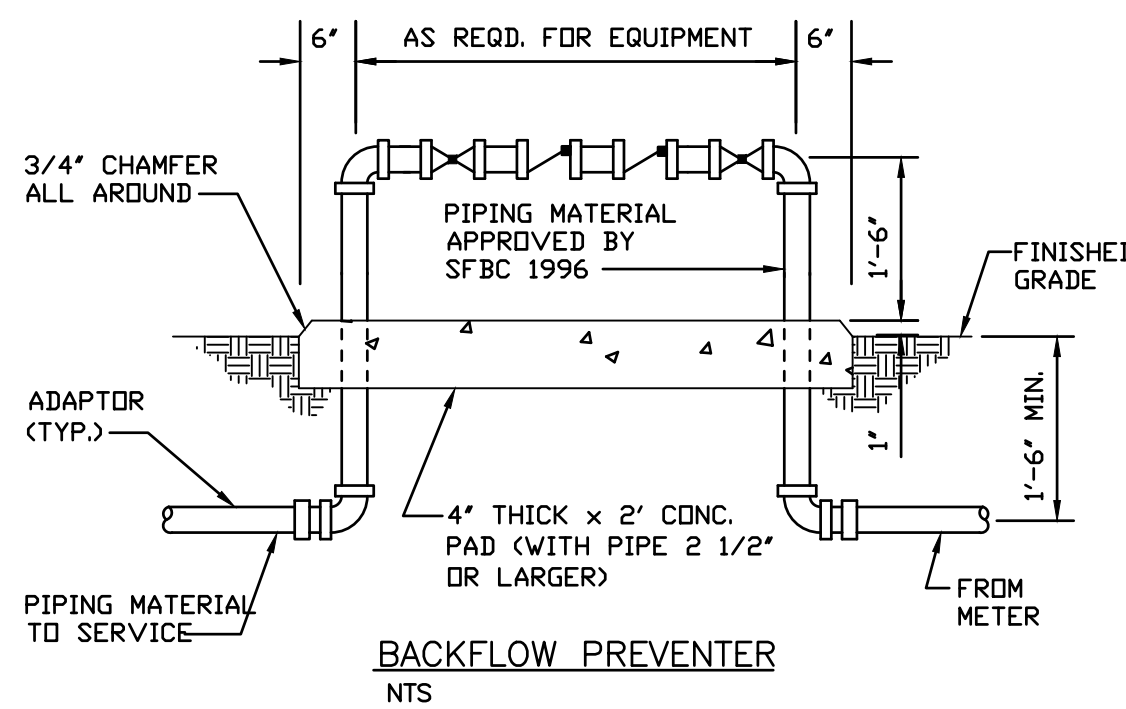
SAMPLING POINT

- NOTE:
- SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY PUBLIC HEALTH UNIT (B.C.P.H.U.)

- PIPE SEPARATION REQUIREMENTS  
62-555.314 F.A.C AUGUST 28, 2003
- 1) VERTICAL CROSSINGS:  
SANITARY SEWER SYSTEMS AND/OR RECLAIMED WATER MAINS SHALL CROSS UNDER POTABLE WATER MAINS WHENEVER PHYSICALLY POSSIBLE. SANITARY SEWER SYSTEMS AND/OR RECLAIMED WATER MAINS CROSSING BELOW POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A PREFERRED VERTICAL SEPARATION DISTANCE OF 12 INCHES (MINIMUM 6\"
  - 2) HORIZONTAL SEPARATIONS:  
WHEREVER IT IS PHYSICALLY POSSIBLE:  
  
SANITARY SEWER SYSTEMS REQUIRE A PREFERRED 10-FOOT HORIZONTAL SEPARATION DISTANCE (MINIMUM 6-FOOT) OUTSIDE TO OUTSIDE OF PIPE BETWEEN ANY POTABLE WATER MAIN PARALLEL INSTALLATIONS.  
  
RECLAIMED WATER MAINS REQUIRE A MINIMUM OF A 3 FOOT OUTSIDE TO OUTSIDE OF PIPE HORIZONTAL SEPARATION DISTANCE BETWEEN ANY POTABLE WATER MAIN AND/OR A SANITARY SEWER SYSTEM PARALLEL INSTALLATIONS.  
  
WHEREVER EITHER ARE NOT PHYSICALLY POSSIBLE, THEN THE POTABLE WATER MAIN SHALL BE LAID OUT AT THE MAXIMUM PHYSICAL HORIZONTAL SEPARATION DISTANCE POSSIBLE, AND EITHER LAID:  
A) IN A SEPARATE TRENCH;  
B) ON AN UNDISTURBED EARTH SHEL;  
AND CONFORMING TO THE MINIMUM VERTICAL CROSSINGS IN PARAGRAPH 1).
  - 3) CONFLICTS:  
WHENEVER IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM STANDARDS IN 1) AND 2), THEN ALL PIPING MATERIAL SHALL BE DUCTILE IRON PIPE (DIP). ALL DIP SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN AND SITE CONDITIONS. ADDITIONALLY, THE POTABLE WATER MAIN SHALL BE A FULL JOINT CENTERED ON THE CONFLICT AND BE MECHANICALLY RESTRAINED. AN ABSOLUTE MINIMUM VERTICAL SEPARATION DISTANCE OF 6 INCHES SHALL BE PROVIDED BETWEEN THE INVERT OF THE UPPER PIPE AND CROWN OF THE LOWER PIPE.



TYPICAL CLEANOUT DETAIL  
NTS



FIRE DEPARTMENT CONNECTION  
NTS

ARCHITECTURA GROUP MIAMI, HEREBY RESERVES ITS LAW COPYRIGHTS AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGN. THESE PLANS, IDEAS, AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER, WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION, CONSENT, AND APPROPRIATE COMPENSATION TO ARCHITECTURA GROUP MIAMI. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND ARCHITECTURA GROUP MIAMI TO BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS (c) 2014.

Issue		
No.	Date	Description

Client

**115 Holdings Inc.**

Project Name

**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

**UTILITY DETAILS**

Drawn by	AA
Checked by	SCH
Project Number	101.15
Issued for	SITE PLAN APPROVAL
Issue date	Sheet #
11.8.16	<b>C6</b>
Scale 1"=10'	



**HOLLAND ENGINEERING INC.**  
civil engineers

3900 HOLLYWOOD BLVD. - SUITE 303 - HOLLYWOOD - FL - 33021  
(954)367-0371 . (954)367-0372 Fax

SUSAN C. HOLLAND, PE  
License no. 41831

**UTILITY DETAILS**  
SCALE: N.T.S.

CA7325



Issue	No.	Date	Description

Client  
**115 Holdings Inc.**

Project Name

**Atrium Building  
Mixed Use**

115 S. 21st Ave., Hollywood, Florida, 33020

SIGN & SEAL

Cristian Gavrilescu  
Registered Architect # AR 94560

Sheet title

**Proposed Site  
Lighting  
Photometric  
Plan**

Drawn by A.P.

Checked by E.P.

Project Number 101.15

Issued for

Issue date Sheet #

05.19.16 PH-1

Scale 1/8" = 1'

## PROPOSED LUMINAIRE SCHEDULE

S□□ Col	Label	□□	Catalog Number	Wattage	Lumens
			NEPTUN VAPOR TIGHT LED LIGHT SUSPENDED - LED-PT48-050-UNV CEIL. MOUNTED □ 12AFG□	50W	4,150
			+ 2.0 □ INDICATES FOOT CANDLE LIGHT LEVELS		

### AREA LIGHTING AVERAGES

AVERAGE	2.4 FC
MAXIMUM	2.7 FC
MINIMUM	1.2 FC

### NOTE:

SEE SPEC. DETAIL FOR MOUNTING SPEC. THIS SHEET

### THE LUMINATION SPILL OVER IS AS FOLLOWS:

NORTH P.L. = 0.0 F.C.  
SOUTH P.L. = 0.2 F.C. PROVIDE LATTICE AT WALL OPENINGS.  
EXTG. BUILDINGS LINING THE PROPERTY LINE. HOWEVER,  
EAST (ALLEY) = 15 TO 2.5 F.C.  
WEST (21 AVE) = 16 TO 2.4 F.C.

NEPTUN  
LIGHT

LED  
VAPOR TIGHT LINEAR FIXTURE  
2FT. / 4FT. / 5FT.



Model#	L	A1	A2	W	E
VPT24-020	25.9"	15.75"	19.68"	4.13"	4.13"
VPT24-030	25.9"	15.75"	19.68"	6.41"	4.13"
VPT48-040	49.92"	35.40"	39.37"	4.13"	4.13"
VPT48-050	49.92"	35.40"	39.37"	6.41"	4.13"
VPT60-050	61.73"	35.40"	47.24"	4.13"	4.13"
VPT60-060	61.73"	35.40"	47.24"	6.41"	4.13"

OUTDOOR RATED  
**IP65**

\*\* AVAILABLE \*\*  
Bi-Level Dimming 100%  
0-10V  
FULL DIMMING

Incredible **100,000 hrs**

### GENERAL DESCRIPTION

Neptun's Vapor Tight LED linear fixture features classic design and durability to be used in new construction or retrofit applications. The LED-VPT series fixture features excellent optics for increased visibility, security, and to evenly illuminate intended area. The versatile design allows for use in a variety of indoor and outdoor applications. Can replace existing vapor tight fluorescent style fixtures up to 140W.

### APPLICATION

- Canopy Lighting
- Covered Walkway Lighting
- Parking Garage Lighting
- Stairwell Lighting
- Security Lighting

### STRUCTURE, MATERIALS, & FEATURES

- Heat & Impact resistant reinforced plastic housing.
- Diffused impact resistant acrylic lens ensures strength.
- Corrosion resistant electrocoat finish (custom colors available).
- Continuous silicone gasket surrounds lens for weather-tight IP65 seal.
- Slim design with tool-less entry polycarbonate latches.
- High Output LED's.
- High power factor, low THD driver with 10kV Surge Protection.
- Instant-On flicker-free Cold Start and Hot Re-Start.
- Bright white light (5000°K) for greater visibility and safety.
- LED engine design with Advanced Thermal Management.
- Up to 15 year maintenance free operation.
- 5 Year Warranty on complete fixture, (LED's, Driver, & Housing)
- Optional: Bi-Level Dimming, 0-10V Dimming, Remote Monitoring and ON/ OFF Control, DC 24V Operation - Solar Compatible

### ORDERING INFORMATION

Sample Number: LED-123060-UNV-0-10V-DIM-850-BLK  
Custom options and accessories available. Please consult factory

Series	Wattage	Voltage	Options	Color Temp	Accessories	Color
VTP	48-050	UNV	BL-DIM	850	-	GRY
LED-VPT = Vapor Tight Fixture	24-020 = 20 W (2') 24-030 = 30 W (2') 48-040 = 40 W (4') 48-050 = 50 W (5') 60-050 = 50 W (5') 60-060 = 60 W (5')	UNV = 120-277 VAC 24VDC = 24 VDC	0-10V DIM = 0-10V Dimming BL-DIM = Bi-Level Dimming *Includes Motion Sensor ** Contact Factory for dimming options	850 = 3500°K 841 = 4100°K 850 = 5000°K * Standard	MD = Motion Detector ON/OFF	GRY = Grey * Custom Colors Available



lightinnovations@work™

sales@ener-savelighting.com http://Ener-SaveLighting.com 1-778.590.5000

NEPTUN  
LIGHT

LED  
VAPOR TIGHT LINEAR FIXTURE  
2FT. / 4FT. / 5FT.

### PRODUCT INFORMATION

Model No.	Description	Rated Watts	Input Watts	Initial Lumens	Universal Line Voltage (VAC)	Max Line Current (Amp) @ 120 - 277	THD	Power Factor	Weight
LED-VPT24-020-UNV	Vapor Tight LED	20	21	1,900	120-277	0.17 - 0.07	<20%	>0.90	4 lbs
LED-VPT24-030-UNV	Vapor Tight LED	30	31	2,850	120-277	0.26 - 0.11	<20%	>0.90	4 lbs
LED-VPT48-040-UNV	Vapor Tight LED	40	41	3,800	120-277	0.34 - 0.15	<20%	>0.90	6 lbs
LED-VPT48-050-UNV	Vapor Tight LED	50	51	4,750	120-277	0.43 - 0.18	<20%	>0.90	6 lbs
LED-VPT60-050-UNV	Vapor Tight LED	50	51	4,750	120-277	0.43 - 0.18	<20%	>0.90	8 lbs
LED-VPT60-060-UNV	Vapor Tight LED	60	61	5,700	120-277	0.52 - 0.22	<20%	>0.90	8 lbs

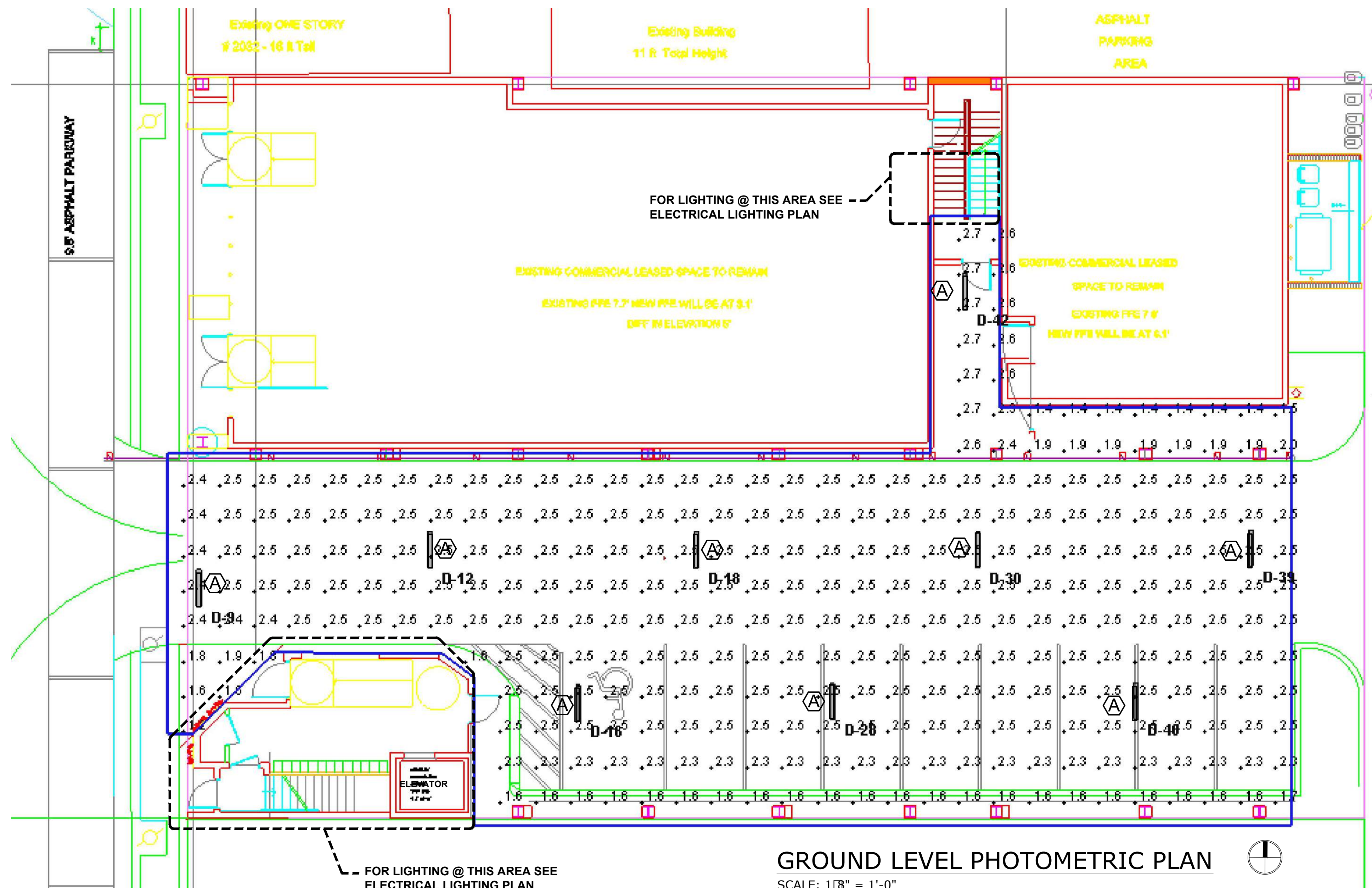
### SPECIFICATIONS

- LED Driver ..... Constant Current
- Power Supply ..... 350mA
- Driver UL Rating ..... Class 1
- Driver UL Outdoor Rated ..... Wet Location
- Start Method ..... InstantON
- Hot Re-start ..... InstantON
- Universal Input Line Voltage ..... 120-277 VAC
- Input Line Frequency ..... 50/60 Hz
- Driver Off-State Draw ..... 0 Watts
- Sound Rating ..... Class A
- ANSI Surge Protection ..... IEEE C62.41 C High
- Projected (L70) @ 25°C ..... > 100,000 hrs.
- Color Temperature ..... 5000°K
- Color Rendering Index (CRI) ..... > 80
- Minimum Starting Temperature ..... -40°C
- Maximum Starting Temperature ..... +50°C
- Lumens per Watt ..... > 95
- Shock / Vibration Resistant ..... Yes
- Power Factor ..... > 0.90
- Total Harmonic Distortion ..... < 20%
- Inrush Current Peak ..... < 10 Amp
- FCC Compliance ..... Part 15, Subp. C
- Housing IP Rating ..... IP65
- Driver IP Rating ..... IP67
- Warranty ..... 5 Year

### MOUNTING OPTIONS



USING BAR JOIST CLAM & ROD



## GROUND LEVEL PHOTOMETRIC PLAN

SCALE: 1/8" = 1'-0"




# ATTACHMENT B


## Land Use & Zoning Map

Address: 113-117 South 21st Avenue



DEVELOPMENT SERVICES  
PLANNING  
**Legend**

 Subject Parcel

 Streets

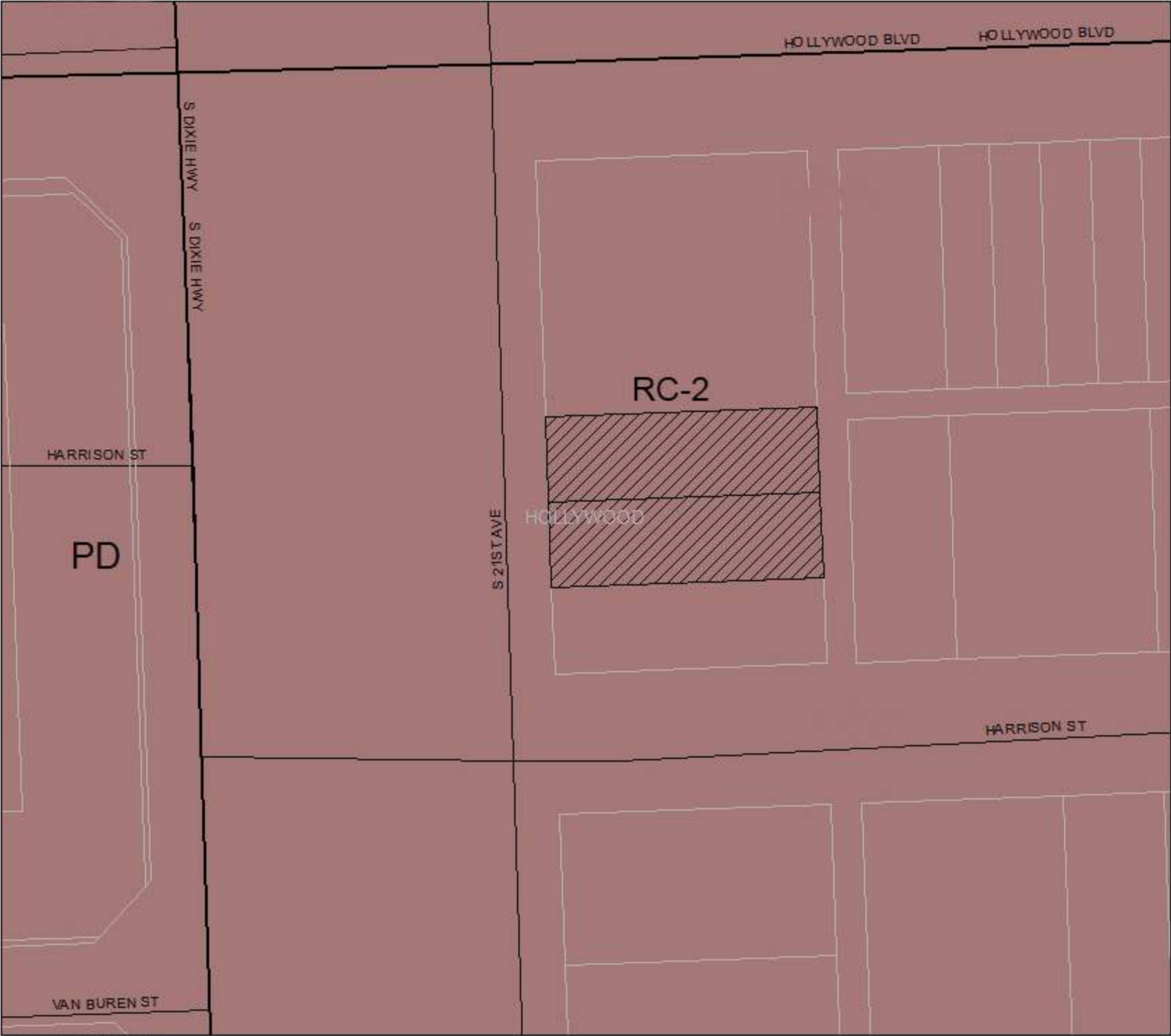
**LAND USE**

 RAC

**ZONING**

 RC-2

 PD



0 12 24 36 48 60 Feet

