PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):

GENERAL APPLICATION



Tel: (954) 921-3471 Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

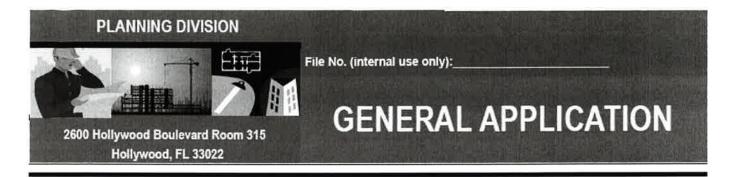
At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website

http://www.hollywoodfl.org/DocumentCenter/Home/View/21



Al	PPLICATION TYPE (CHECK ONE):
X	☐ Technical Advisory Committee ☐ Historic Preservation Board
	☐ City Commission ☐ Planning and Development Board
8	Date of Application:
M	Chage Bank - Voung Cirole FL
	cation Address: Chase Bank - Young Circle, FL
Foli	(s):Block(s):Subdivision: io Number(s):5142_10_62_0010
	ning Classification: SS (in RAC) Land Use Classification: Vacant
	sting Property Use: Vacant Sq Ft/Number of Units:
	ne request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.
	s this property been presented to the City before? If yes, check all that apply and provide File
	mber(s) and Resolution(s):
	Economic Roundtable 🗵 Technical Advisory Committee 🔲 Historic Preservation Board
	City Commission
Exc	planation of Request: Request for the construction of a new freestanding Chase Bank
	ith a drive thru ATM and variance for drive-thru stacking
Nur	mber of units/rooms:N/A Sq Ft:3,550 SF
	ue of Improvement: \$1,340,000.00 Estimated Date of Completion: 8/12/2018
	Project be Phased? () Yes (X)No If Phased, Estimated Completion of Each Phase
_	
	ne of Current Property Owner:Real Sub LLC. % Publix Super Markets Inc.
Ivar	lress of Property Owner:3300 Publix Corporate Prky, Lakeland, FL 33811
Tok	ephone: Fax: Email Address:
	ne Consultant/Representative/Tenant (circle one): Core States Group (Zach Thornton)
	ress: 110 N. 11th Street Ste. 101 Tampa, FL 33602 Telephone: 813-490-1755
	:Email Address:zthornton@core-eng.com
	e of Purchase: 5/26/15 Is there an option to purchase the Property? Yes () No (x)
9	es, Attach Copy of the Contract.
98	Anyone Else Who Should Receive Notice of the Hearing:
	Address:
-	Email Address:



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at ww.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: By; William W Rugbon	Date: 5-18-201
PRINT NAME: William W. Rayburn, Director of RIE Assets	Date: <u>5-18-2017</u>
Signature of Consultant/Representative:	Date: 5/22/2017
PRINT NAME: Zach H. Thornton, P.E. (Core States Group)	Date: 5/22/2017
Signature of Tenant:	Date:
PRINT NAME:	Date:

Current Owner Power of Attorney

I am the Director of Real Estate Assets for Real Sub, LLC, the current owner of the described real property and I am aware of the nature and effect the request for Approval of JPMorgan Chase Bank's plans to improve Real Sub, LLC's property, which is hereby made by me or I am hereby authorizing Zach H. Thornton, P.E. to be my legal representative before the Planning and Development (Board and/or Committee) relative to all matters concerning this application; provided: (1) such representative shall not have the authority to bind owner to any monetary or non-monetary obligations, or to in any way affect the zoning or land use of the property, (2) this power of attorney only applies to land folio #514210620010; and (3) owner reserves the right to revoke the power at any time upon written notice.

land use of the property, (2) this power of attorney only applies to land folio revoke the power at any time upon written notice.	
Sworn to and subscribed before me this 18 In day of 19 20 1	By: William W. Rayburn, Director of Real Estate Assets Print Name
My Commission Expires:(Check One) Personally known to me	e; OR Produced Identification



May 12, 2017

Alexandra Carcamo
Principal Planner
City of Hollywood
Department of Development Services
2600 Hollywood Blvd.
Hollywood, FL 33022

Re: Proposed Chase Bank Store No. 55203 – Young's Circle

Preliminary Technical Advisory Committee (TAC) Submission

1700 Sheridan Street, Hollywood, FL

Dear Ms. Carcamo:

On behalf of JPMorgan Chase, N.A., Core States Group ("CSG") is requesting that the proposed 4,453 sf Chase Bank be considered for Preliminary Technical Advisory Committee approval. The subject property is an outparcel within the West Lakes Commons Shopping Center located at the southeast corner of Sheridan Street and US1 (Federal Highway), more specifically at 1700 Sheridan Street, Hollywood, FL 33020.

The proposed parcel encompasses 0.696 acres and is currently zoned Sheridan Street Mixed Use District (SS) located within the Regional Activity Center Overlay District per Ordinance O-2016-22. Per the PACO meeting held on March 13, 2017, the site was requested to conform to the Federal Highway Medium-High Intensity, Mixed Use District (FH-2) regulations as well as the SS regulations. Therefore, the site layout was revised and the building was relocated to the maximum building setback of thirty (30) feet from Federal Highway.

Based on an additional meeting held with City staff on April 27, 2017, the site was revised to provide a fifteen (15) feet wide drive aisle on the west side of the building, adjacent to Federal Highway, and a landscape strip along the west side of the building which would visually enhance the building elevation facing Federal highway. The site design includes an enhanced pedestrian entrance of concrete pavers from the existing sidewalk along Federal Highway to the front entrance and will also incorporate other elements to make the building more interactive with the pedestrian traffic on Federal Highway, such as bicycle parking and possible future benches.



The project proposes two (2) variances. One for a reduction in the total vehicular use area landscaping from the required 3,891 sf to 3,284 sf, based on the restraints of the site. The second variance is for the reduction of the Land Development Regulations required stacking from six (6) spaces to four (4) spaces. The City Land Development Regulations does not make a distinction between a banking facility drive thru with teller line and a drive-up ATM. Please note other municipalities have eliminated stacking requirements for Chase banks based on the self-service, automated system not being a typical teller service. Also, please note that per Chase Operational standards, the typical self-service ATM queue does not exceed four (4) stacking positions. In fact, Chase does not offer check cashing or deposits at their ATMs which reduces the transaction time for stopped vehicles. Please refer to the attached Chase Bank Queuing Analysis prepared by a licensed professional engineer in the State of Florida.

Please accept this letter as a request for review and approval of the project documents and variances. The granting of the requested variances will not cause conflicts with other sections of the County Land Regulations and will not adversely affect public safety. No feasible engineering or construction solutions can be applied to satisfy the regulations at this time. In addition, it is Core States belief that the proposed development will greatly improve the appearance, functionality, and value of the subject parcel and the surrounding parcels. The proposed project within West Lake Commons will bring both revenue and jobs to this area and the City. The proposed development will create a site that is both aesthetically pleasing and function.

If you should have any questions, please do not hesitate to contact me directly at (813)319-8753.

Sincerely,

Zach H. Thornton, P.E. Civil Engineer

Core States Group

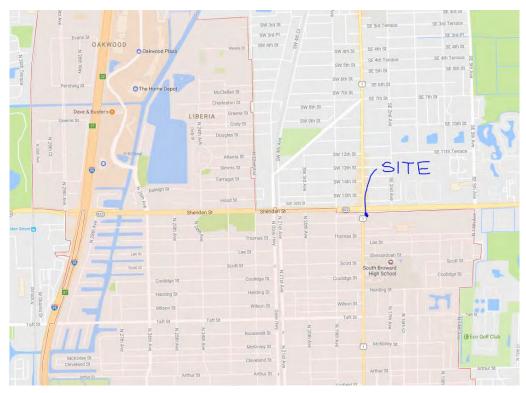
Attachments:

1) Location and Aerial Maps



Attachment 1

LOCATION MAP:



AERIAL MAP:





May 12,2017

Ms. Clarissa M. Ip, P.E.
Engineering Support Services Manager
City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33022

RE: Chase Bank Queuing Analysis - 1700 Sheridan Street, Hollywood, FL 33020

Dear Ms. Ip:

The purpose of this letter is to analysis the drive-up ATM typical operational characteristics and the anticipated queuing at a Chase Bank retail banking facility. Chase provided drive up ATM transaction history for a 30 day period preceding May 8, 2017 at two local branches. Reference the attachment for hourly transaction history at 1701 Hollywood Blvd, Hollywood, FL 33020 (FL7527) and 193 US-1, Dania Beach, FL 33004 (FL7643). The average day was determined by averaging the transactions at the two locations and dividing by 30. Chase operating hours are 9 am to 6 pm M-F. The peak hour weekday average transaction at the drive-up ATM were 16.20 at 4-5 pm during operating hours and 17.80 at 6-7 pm after hours.

Chase drive-up ATM transaction time is typically 1-2 minutes. Previous studies have been completed in the Florida Market indicating average observed times of 2:03 at drive-up ATMs. Using a single-server waiting line model, the following average number of customers in the queuing system can be determined:

 λ = arrival rate = 17.80 average transactions per peak hour μ = service rate = 2 minute average ATM transaction time = 30 transactions per hour L = average number of customers in the waiting line

$$L = \lambda/(\mu - \lambda)$$

Therefore, during the peak hour transaction period it is anticipated 1.5 cars will be in the queueing system. Conservatively, if 2:30 is used as the average service time then less than 3 cars would be in the queue system during the peak hour.



If you have any questions, please contact me at 813.490.1755.

Sincerely

No. 79169

Zach H. Dorntois TATE OF

FL PE. No. 79189

ORIDA.

CoreStates, Krig NAL E

CA# 9578

Attachments:

1. Drive-up ATM Transactions by Hour and Single Server Waiting Line Model

Drive-up ATM Transactions by Hour and Single Server Waiting Line Model.xlsx

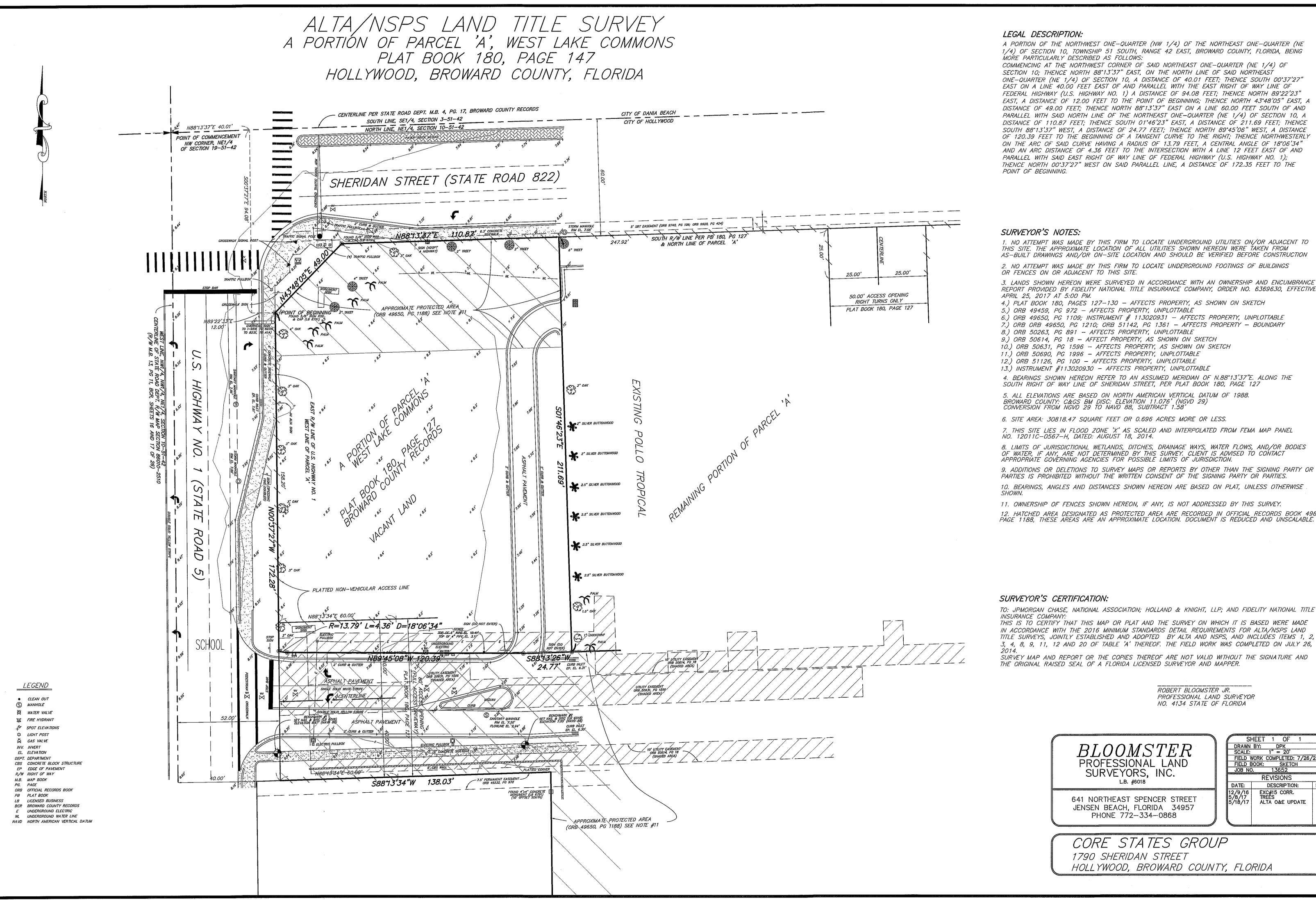
TERM_ID	Туре	Access	MST_STATE_CD	MODEL_TP_CD	Hour0Ct	Hour1Ct	Hour2Ct	Hour3Ct	Hour4Ct	Hour5Ct	Hour6Ct	Hour7Ct	Hour8Ct	Hour9Ct	Hour10Ct	Hour11Ct
FL7527	ATM	DRIVE UP	FL	6634 D	154	137	92	71	32	34	60	108	255	361	329	358
FL7643	ATM	DRIVE UP	FL	2043	160	90	48	20	19	34	28	130	210	310	317	379
				TIME	1:00 AM	2:00 AM	3:00 AM	4:00 AM	5:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM
				AVG DAY	5.23	3.78	2.33	1.52	0.85	1.13	1.47	3.97	7.75	11.18	10.77	12.28
		2 min	avg transaction time	L (CARS)	0.21	0.14	0.08	0.05	0.03	0.04	0.05	0.15	0.35	0.59	0.56	0.69
		2.5 min	avg transaction time	L (CARS)	0.28	0.19	0.11	0.07	0.04	0.05	0.07	0.20	0.48	0.87	0.81	1.05

Drive-up ATM Transactions by Hour and Single Server Waiting Line Model.xlsx

TERM_ID	Туре	Access	MST_STATE_CD	MODEL_TP_CD	Hour12Ct	Hour13Ct	Hour14Ct	Hour15Ct	Hour16Ct	Hour17Ct	Hour18Ct	Hour19Ct	Hour20Ct	Hour21Ct	Hour22Ct
FL7527	ATM	DRIVE UP	FL	6634 D	424	451	390	449	489	492	513	456	435	360	293
FL7643	ATM	DRIVE UP	FL	2043	471	483	447	458	483	477	555	428	383	326	217
				TIME	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	11:00 PM
				AVG DAY	14.92	15.57	13.95	15.12	16.20	16.15	17.80	14.73	13.63	11.43	8.50
		2 min	avg transaction time	L (CARS)	0.99	1.08	0.87	1.02	1.17	1.17	1.46	0.97	0.83	0.62	0.40
		2.5 min	avg transaction time	L (CARS)	1.64	1.85	1.39	1.70	2.08	2.06	2.87	1.59	1.32	0.91	0.55

Drive-up ATM Transactions by Hour and Single Server Waiting Line Model.xlsx

TERM_ID	Туре	Access	MST_STATE_CD	MODEL_TP_CD	Hour23Ct
FL7527	ATM	DRIVE UP	FL	6634 D	294
FL7643	ATM	DRIVE UP	FL	2043	210
				TIME	12:00 AM
				AVG DAY	8.40
	0.39				
	L (CARS)	0.54			



LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10: THENCE NORTH 88"13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET; THENCE SOUTH 00'37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 94.08 FEET; THENCE NORTH 89'22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET; THENCE NORTH 88'13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET: THENCE SOUTH 01'46'23" EAST. A DISTANCE OF 211.69 FEET: THENCE SOUTH 88'13'37" WEST. A DISTANCE OF 24.77 FEET: THENCE NORTH 89'45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18'06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION

2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.

3. LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25. 2017 AT 5:00 PM.

- 4.) PLAT BOOK 180, PAGES 127-130 AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 5.) ORB 49459, PG 972 AFFECTS PROPERTY, UNPLOTTABLE
- 6.) ORB 49650, PG 1109; INSTRUMENT # 113020931 AFFECTS PROPERTY, UNPLOTTABLE
- 7.) ORB ORB 49650, PG 1210; ORB 51142, PG 1361 AFFECTS PROPERTY BOUNDARY
- 8.) ORB 50263, PG 891 AFFECTS PROPERTY, UNPLOTTABLE 9.) ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
- 10.) ORB 50631, PG 1596 AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 11.) ORB 50690, PG 1996 AFFECTS PROPERTY, UNPLOTTABLE 12.) ORB 51126, PG 100 - AFFECTS PROPERTY, UNPLOTTABLE
- 13.) INSTRUMENT #113020930 AFFECTS PROPERTY, UNPLOTTABLE
- 4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37"E. ALONG THE

SOUTH RIGHT OF WAY LINE OF SHERIDAN STREET, PER PLAT BOOK 180, PAGE 127

5. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29) CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'

6. SITE AREA: 30818.47 SQUARE FEET OR 0.696 ACRES MORE OR LESS.

7. THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.

8. LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.

PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

10. BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE

11. OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.

12. HATCHED AREA DESIGNATED AS PROTECTED AREA ARE RECORDED IN OFFICIAL RECORDS BOOK 49650, PAGE 1188, THESE AREAS ARE AN APPROXIMATE LOCATION. DOCUMENT IS REDUCED AND UNSCALABLE.

SURVEYOR'S CERTIFICATION:

TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26,

SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

> ROBERT BLOOMSTER JR. PROFESSIONAL LAND SURVEYOR NO. 4134 STATE OF FLORIDA

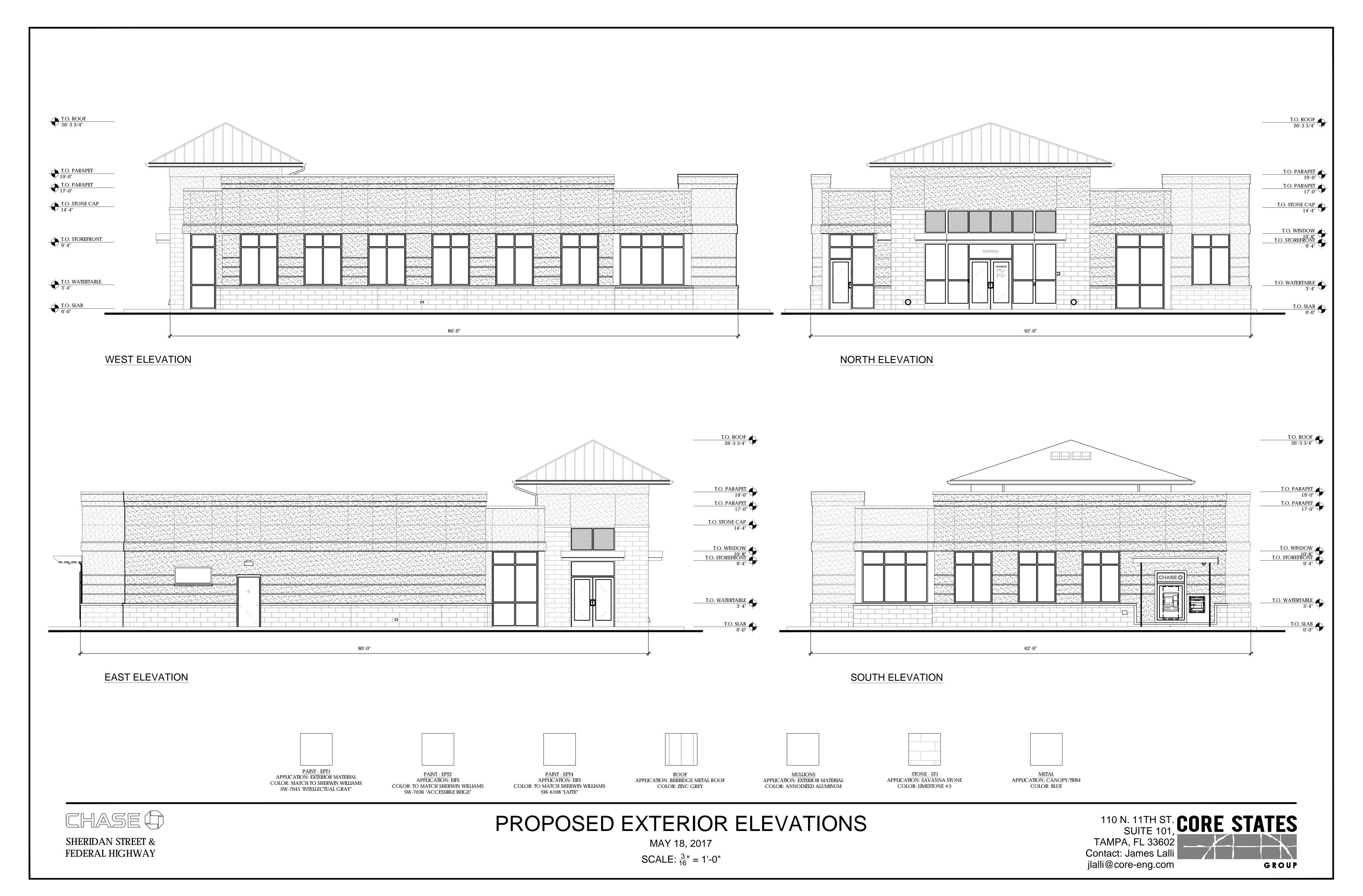
BLOOMSTERPROFESSIONAL LAND SURVEYORS, INC. L.B. #6018

641 NORTHEAST SPENCER STREET JENSEN BEACH, FLORIDA 34957 PHONE 772-334-0868

DRAWN BY: DPK SCALE: 1" = 20' FIELD WORK COMPLETED: 7/26/2016 FIELD BOOK: SKETCH JOB NO. 13652 REVISIONS DATE: DESCRIPTION: BY: 12/9/16 EXC#15 CORR. DPK 5/8/17 TREES DPK 5/18/17 ALTA O&E UPDATE DPK	Si	HEEI	1 01	1			
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JOB NO. 13652 REVISIONS DATE: DESCRIPTION: BY:	FIELD V	WORK CO	MPLETE	D: 7/2	6/2016		
REVISIONS DATE: DESCRIPTION: BY:	FIELD E	300K:	SKE	TCH			
DATE: DESCRIPTION: BY:	JOB NO).	13652				
	REVISIONS						
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CORE STATES GROUP

1790 SHERIDAN STREET HOLLYWOOD, BROWARD COUNTY, FLORIDA







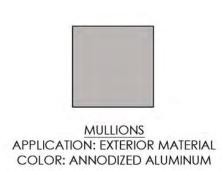




PAINT - EPT1
APPLICATION: EXTERIOR MATERIAL
COLOR: MATCH TO SHERWIN WILLIAMS
SW-7045 "INTELLECTUAL GRAY" PAINT - EPT2 APPLICATION: EIFS COLOR: TO MATCH SHERWIN WILLIAMS SW-7036 "ACCESSIBLE BEIGE"









COLOR: LIMESTONE #3

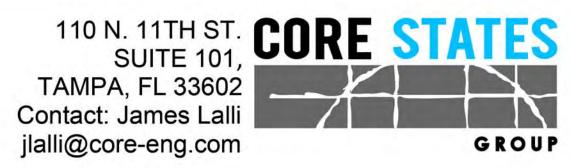






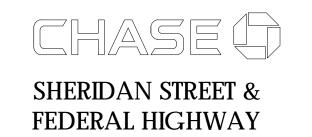


MAY 3, 2017 SCALE: $\frac{3}{16}$ " = 1'-0"



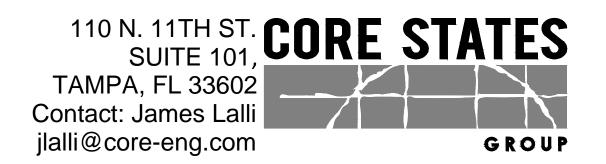
GROUP

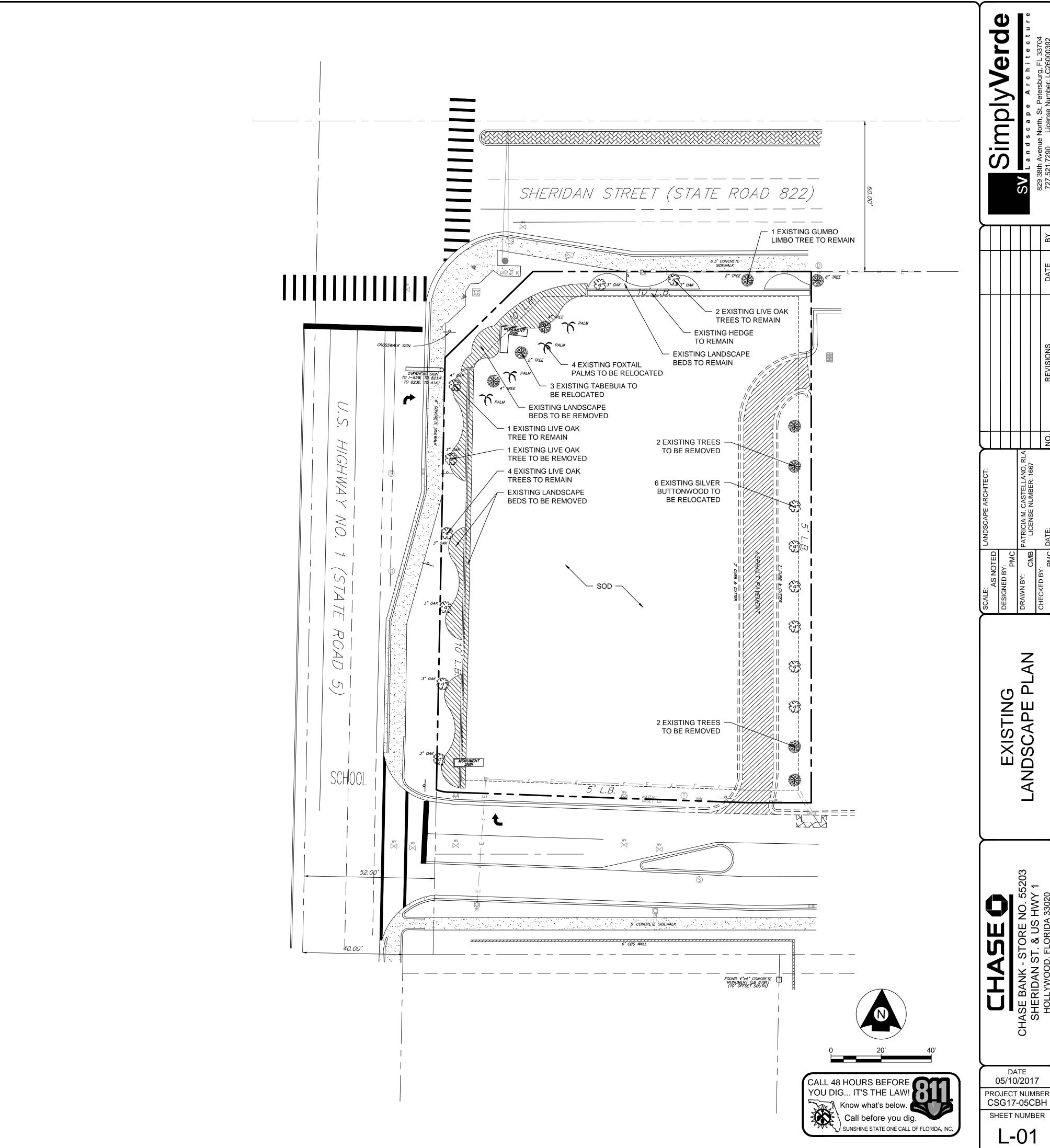






MAY 18, 2017 SCALE: $\frac{3}{16}$ " = 1'-0"





EXISTING LANDSCAPE PLAN

DATE 05/10/2017 PROJECT NUMBER CSG17-05CBH

SHEET NUMBER L-01

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - 146/50 = 3 TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - 209/50 = 4 TREES

PROVIDED: 5 EXISTING TREES

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,562 SF X .25 = 3,891 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

PROVIDED: 1 TREE PER ISLAND AND 3,294 SF OF LANDSCAPE AREA (VARIANCE REQUSTED), 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PERVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY. MINIMUM OF ONE TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS. REQUIRED: 7,664 SF/1000SF = 7 TREES AND 7,664 SF X .25 = 1,916 SF

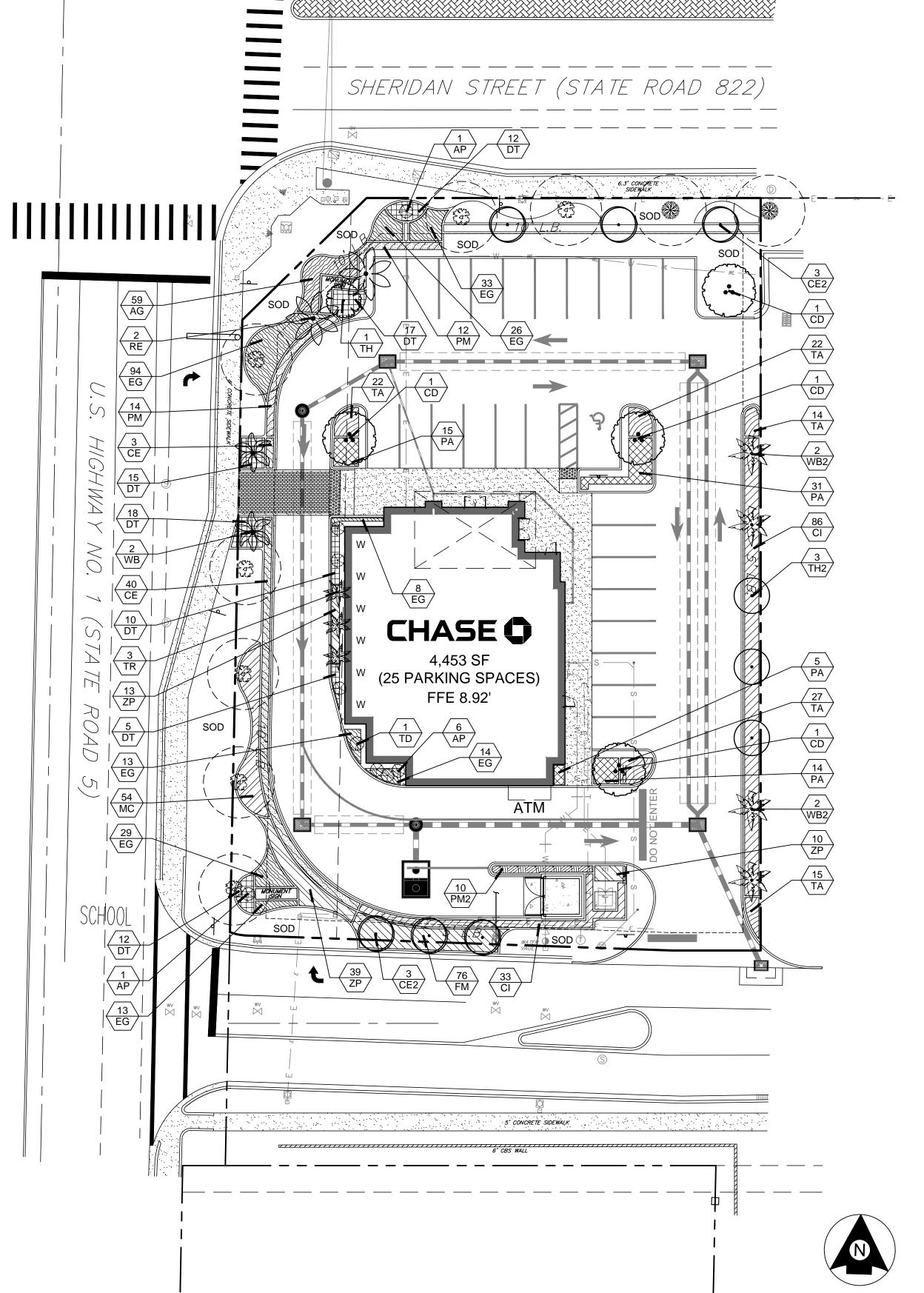
PROVIDED: 7 TREES AND 66% OF PERVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD).

SPECIFICATIONS AND MINIMUM REQUIREMENTS

- 1. ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
- 2. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL
- 3. THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:
- REQUIRED: 11-20 TREES = 3 REQUIRED
- PROVIDED: 6 SPECIES OF TREES AND PALMS
- 4. PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
- ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12' IN HEIGHT.
- 6. A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.
- REQUIRED: 19 X .60 = 11 TREES AND 554 X .50 = 277 SHRUBS
- PROVIDED: 14 TREES AND 278 SHRUBS
- 7. A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES. REQUIRED: 19 X .50 = 10 OR 20% = 4
- PROVIDED: 4 RELOCATED FOXTAIL PALMS
- 8. THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR STAGGERED).
- 9. SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO
- 10. GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
- 11. PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
- 12. AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCCA OR EUCALYPTUS MULCH IS RECOMMENDED.
- 13. CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

- 1. LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- 2. WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
- 3. PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
- 4. TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/3 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
- 5. ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
- 6. TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE
- 7. IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
- 8. APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



CALL 48 HOURS BEFORE

Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC

05/10/2017 ROJECT NUMBER CSG17-05CBH SHEET NUMBER

1 GAL., FULL

1 GAL., FULL

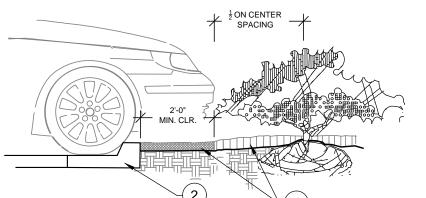
LANDSCAPE SPECIFICATION REQUIREMENTS:

- 1. ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
- 2. ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL 3. ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM.

TA 100 Trachelospermum asiaticum 'minima variegata' / Variegated Minima Asiatic Jasmine 1 GAL., FULL

- 4. ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES. 5. ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM 'FLORATAM').
- 6. PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.

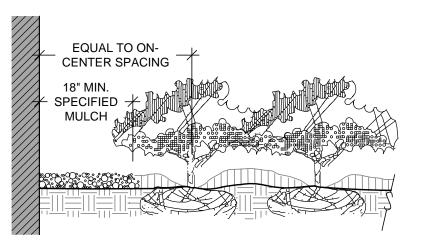
Parking Space/Curb Planting



Arachis glabrata `Ecoturf` / Ecoturf Perennial Peanut

EG 230 Evolvulus glomeratus `Blue My Mind` / Blue My Mind Blue Daze

1. INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE. 2. CURB OR PARKING LOT EDGE, BY OTHERS.



MEDIUM

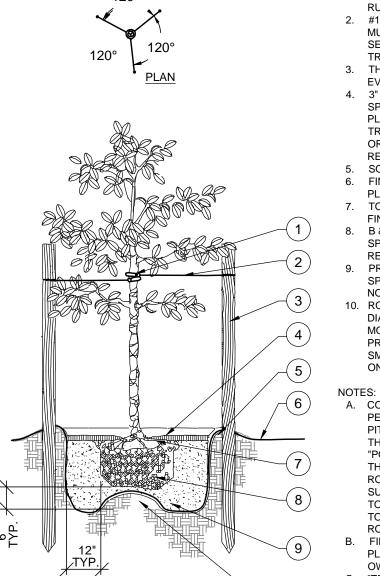
MEDIUM

YES

SHRUBS - EQUAL TO ON-CENTER SPACING OF ADJACENT SHRUBS. PALMATE PALMS - AT LEAST 8 FEET FROM THE BUILDING. PINNATE PALMS - AT LEAST 18 FEET FROM THE BUILDING. TREES - AT LEAST THE DIAMETER OF THE CANOPY (AS SHOWN GRAPHICALLY ON THE PLANS) FROM THE BUILDING. INSTALL SPECIFIED MULCH: 18" MIN. FROM BUILDING. SPECIFIED

MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

Plantings Adjacent to Buildings



1. PROTECT TREE TRUNK WITH BLACK RUBBER HOSE. 2. #10 GAUGE WIRE (NOTE FOR MULTI-TRUNK TREES, USE

SEPARATE GUYS TO STRONGEST TRUNKS AT CENTER OF EACH). THREE 2" X 8' LODGE POLES SPACE EVENLY AROUND TREE. 4. 3" MINIMUM OF MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 8' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S

REPRESENTATIVE. 5. SOIL BERM TO HOLD WATER. 6. FINISHED GRADE (SEE GRADING

7. TOP OF ROOTBALL MIN. 2" ABOVE FINISHED GRADE . B & B OR CONTAINERIZED (SEE

SPECIFICATIONS FOR ROOT BALL REQUIREMENTS). PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE

10. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.

A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. IF THE CONTRACTOR ENCOUNTERS "POOR DRAINAGE CONDITIONS" THEN THE SURFACE OF THE TREE ROOTBALL SHALL BE 4"-6" ABOVE SURROUNDING GRADE WITH A TOPSOIL MIX GRADUALLY MOUNTED TO MEET THE TOP OF THE ROOTBALL.

. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY

1. TOP OF SHRUB ROOTBALLS TO

A UNIFORM MASS/HEIGHT 3" MINIMUM MULCH AS

EXCAVATE ENTIRE BED

5. FINISHED GRADE (SEE GRADING

6. PREPARED PLANTING SOIL AS

SPECIFIED. (SEE LANDSCAPE

NOTES) NOTE: WHEN GROUND-

COVERS AND SHRUBS USED IN

AMENDED WITH PLANTING SOIL

MASSES, ENTIRE BED TO BE

7. SCARIFY ROOTBALL SIDES AND

MIX AS SPECIFIED.

OF ROOTBALL.

SPECIFIED.

BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP

PRUNE ALL SHRUBS TO ACHIEVE

SPECIFIED FOR GROUNDCOVER

. "TREE SAVER" ANCHORING SYSTEM MAY BE SUBSTITUTED FOR WOOD STAKING SYSTEM UPON APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.

Small Tree Planting

ALL TREES SHALL BE PLUMB VERTICALLY

BEST FACE OF SHRUB/ -GROUNDCOVER TO FACE

REFER TO PLANT -

AT BED EDGE

ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS

OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

Shrub/Groundcover Planting

PLAN/SECTION

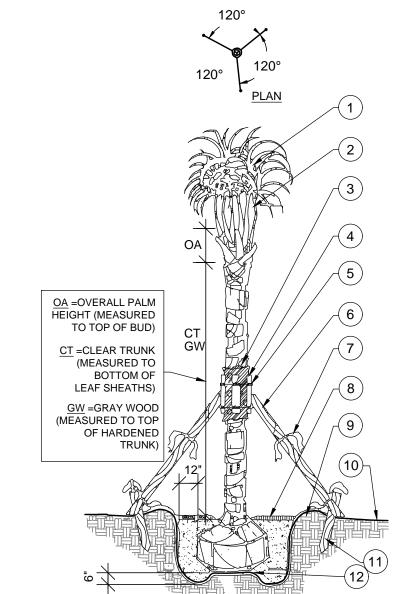
FRONT OF PLANTING BED.

SCHEDULE FOR SPACING. MAINTAIN 12" DEAD ZONE -

WITHIN A TOLERANCE OF THREE DEGREES,

UNLESS OTHERWISE DIRECTED BY OWNER'S

(Less Than 14') NTS



1. MINIMUM OF NINE (9) GOOD PALM

2. PRUNE AND TIE FRONDS WITH HEMP TWINE. CABBAGE PALMS TO BE SELECTIVELY "HURRICANE CUT", LEAVING 3-4 SMALLER, TRIMMED FRONDS.

3. 5 LAYERS OF BURLAP TO PROTECT 4. FIVE 2" X 4" X 18" WOOD BATTENS. 5. SECURE BATTENS WITH 2- 3/4" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING 6. (3) 2"X4"X8' SUPPORTS, NAIL (DRILL

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AND NAIL IF NECESSARY) TO BATTENS AND 2" X 4" STAKES. FLAG AT MIDPOINT AND AT BASE. . PROVIDE FLAGGING AT MIDPOINT AND

8. 3" SPECIFIED MULCH. 9. BERM SOIL TO HOLD WATER.

10. FINISH GRADE 11. 2X4X24" (MIN) P.T. WOOD STAKES (TYP.) NAIL TO SUPPORT POLES.

12. PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES).

A. WASHINGTONIA PALMS SIMILAR W/ BOOTS INTACT. B. SEE PLANS AND SPECS. FOR PALMS W/

BOOTS TO REMAIN ON TRUNK.

C. FINAL TREE STAKING DETAILS AND

PLACEMENT TO BE APPROVED BY . CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. IF THE CONTRACTOR ENCOUNTERS "POOR DRAINAGE CONDITIONS" THEN THE SURFACE OF THE TREE ROOTBALL SHALL BE 4"-6" ABOVE SURROUNDING GRADE WITH A TOPSOIL MIX

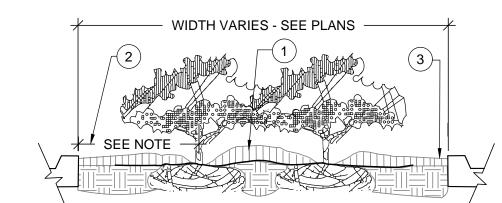
GRADUALLY MOUNTED TO MEET THE

TOP OF THE ROOTBALL.

ALL PALMS SHALL BE PLUMB VERTICALLY WITHIN A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

Palm Planting

SECTION



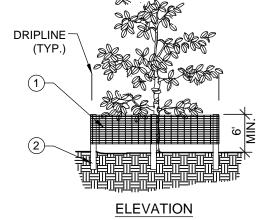
PLANTER ISLAND NOTES

- 1. CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE
- 2. <u>CLEAR ZONE:</u> 24" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS.
- 3. 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR
- ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL ISLANDS/MEDIANS PRIOR TO ANY PLANTING. CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATIONS PRIOR TO PLANTING.

Planted Parking Lot Islands/Medians

5'-0" - 5'-0" -



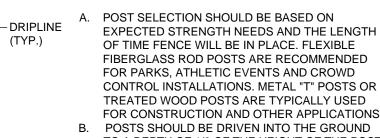
PLAN VIEW

CONNECTION

BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION. 8' TALL METAL "T" POSTS OR 2" x 2" X 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

1. 6'H "PERIMETER PLUS" CONSTRUCTION FENCE

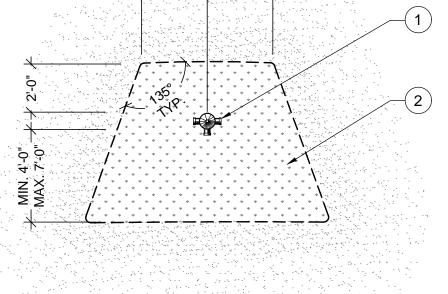
INSTALLATION NOTES:



FOR CONSTRUCTION AND OTHER APPLICATIONS TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND. C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).

D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT



FIRE HYDRANT.

- NO PLANT SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE
- 3. NO TREES OR SHRUBS SHALL BE PLANTED IN FRONT OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.

Fire Hydrant Area

PLAN NTS

HYDRANTS OCCUR ON SITE.

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AND

SECTION

18" O.C.

18" O.C.

18" O.C.

NO

NO

Tree/Shrub Protector BARRIER DETAIL

CORNER

CONNECTION

WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

'FRONT' OF HYDRANT (TOWARD CURB)

GENERAL LANDSCAPE NOTES

1. SCOPE OF WORK

- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.

2. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

3. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES (OR PER PROJECT JURISDICTIONAL CODE, WHICHEVER IS MORE STRINGENT). CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER

4. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

6. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

7. LAWN MAINTENANCE

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

B. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

- A. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR
- B. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
- C. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
- D. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

PLANT SPECIFICATION NOTES

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE. UPON SAMPLES' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL ONE (1) CUBIC FOOT MULCH PLANTING / TOPSOIL MIX ONE (1) CUBIC FOOT (INCLUDING EXISTING SOILS REPORT) ONE (1) PHOTO OF EACH VARIETY (OR TAGGED IN NURSERY) PLANTS

2. PLANT MATERIALS

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER OR OWNER'S REPRESENTATIVE
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- D. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE. ALL TREE ROOTBALLS SHALL BE SHAVED 1" - 1 1/2" OFF ON ALL SIDES WITH EITHER A SHARP SPADE OR BLADE BEFORE PLANTING OR FROM TOP TO BOTTOM WITH A BALLING SPADE AFTER THE TREE HAS BEEN PLANTED TO ELIMINATE CIRCLING ROOTS.

SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

RPG = "ROOTS PLUS GROWER" CONTAINER WHERE SPECIFIED.

- E. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.
- F. PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE

3. DIGGING AND HANDLING

NURSERY ROW.

- A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS
- B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
- C. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- D. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- E. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

4. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.
- B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE.
- D. WHEN UNSUITABLE SOILS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR THE OWNER OR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

PLANT SPECIFICATION NOTES CONTINUED

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO CHECK TO SEE IF WATERING/IRRIGATION RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER OR OWNER'S REPRESENTATIVE, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. CONTRACTOR TO CHECK TO SEE IF FERTILIZER RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

7. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). SEE PLANT LIST FOR TYPE OF MATERIAL ("FLORIMULCH," EUCALYPTUS MULCH, OR PINE STRAW/BARK/NUGGET) AND GRADE.

8. SOD

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

PLANTING PROCEDURE NOTES

- CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES OR REFER TO THE CIVIL PLANS IF APPLICABLE.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE , PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR TO REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- 8. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 9. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- 10. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN THE PLANT SPECIFICATIONS NOTES. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, INSTALL AS NOTED IN THE TREE AND/OR PALM PLANTING DETAILS. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 11. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 12. SOIL MIXTURE SHALL BE AS SPECIFIED UNDER PLANT SPECIFICATION NOTES.
- 13. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 14. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. SUBMIT PRODUCT INFORMATION PRIOR TO INOCULATION FOR APPROVAL.
- 15. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. ALL NON-BIODEGRADEABLE MATERIAL SHALL BE COMPLETELY REMOVED FROM THE PLANTING PIT PRIOR TO BACKFILLING AND DISPOSED OF PROPERLY.
- 16. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 17. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" WITH THE PLANTING SOIL MIXTURE AND THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

PLANTING PROCEDURE NOTES CONTINUED

- 18. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 19.PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.
- 20.ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- 21.ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 22.CONTRACTOR TO PROVIDE A CLEAN, SHARP EDGE ON ALL LANDSCAPE BEDS AND TREE PITS. A SHARP, SPADE CUT EDGE (MINIMUM 3" DEEP) SHALL BE PROVIDED UNLESS OTHER BED EDGING METHODS ARE SPECIFICALLY IDENTIFIED ON THE PLANS.
- 23.THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 24.SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 25.DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT

SCHEMATIC IRRIGATION NOTES

- A. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW AND EXISTING TREES, LARGE SHRUBS AND UTILITIES.
- B. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIED CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAIN BIRD SNAP-TITE CONNECTORS AND SEALANT. A SEPARATE NEUTRAL WIRE (MIN. NO.14) SHALL BE RUN WITH ALL OTHER WIRING.
- C. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.

AND RADIUS TO ASSURE 100 PERCENT COVERAGE AND TO MINIMIZE OVERSPRAY. DRIP SHALL BE UTILIZED

- D. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES AND REGULATIONS. E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE ROTORS/SPRAYS ARC
- IN ALL BEDS AND BUBBLERS ON ALL TREES. F. NO LINES ARE TO BE LOCATED WITHIN THE PROTECTIVE RADIUS OF TREES.
- G. CONTRACTOR IS TO MATCH PRECIPITATION RATES FOR ALL HEADS. H. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT A COPY OF THE IRRIGATION PLAN PRIOR
- I. THE CONTRACTOR SHALL PROVIDE A RAIN SENSOR DEVICE OR SWITCH TO PREVENT IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL

<u> 2. PIPE</u>

TO COMMENCING WORK.

- A. ALL IRRIGATION PIPE INCLUDING MAINLINE AND CONDUITS IS TO BE SCHEDULE 40 PVC. ALL WIRING TO BE IN CONDUIT IF NOT WITHIN THE MAINLINE TRENCH.
- B. ALL PIPING SHALL BE ROUTED TO AVOID ABOVE AND BELOW GROUND FEATURES. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
- C. DUCT TAPE AND OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION DURING INSTALLATION.

2. CONTROLLER

- A. CONTRACTOR TO RUN ONE STATION AT A TIME UNLESS TWO IS ALLOWED. CONTRACTOR SHALL PROVIDE
- A CONTROLLER SCHEDULE TO MINIMIZE PRESSURE LOSSES THROUGHOUT THE SITE B. THE CONTROLLER LOCATION TO BE COORDINATED WITH THE OWNER. CONTROLLER TO BE HUNTER OR RAINBIRD. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S RECOMMENDATION.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF THE POWER FOR THE CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT THE CONTROLLER IS WIRED IN ACCORDANCE WITH ALL ELECTRICAL CODES. ALL MATERIALS NECESSARY TO WIRE THE CONTROLLER SHALL BE FURNISHED BY THE CONTRACTOR. GENERAL CONTRACTOR IS TO PROVIDE THE POWER TO THE CONTROLLER.

4. BACKFILL

A. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 24". ALL LATERAL PIPING DOWNSTREAM OF THE MAINLINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".

MEET WEEKLY EVAPOTRANSPIRATION RATES FOR THE PLANT MATERIAL INSTALLED.

B. BACKFILL TRENCHES WITH FINE GRANULAR MATERIAL WITH NO FOREIGN MATERIAL LARGER THAN 2 1/2".

5. TESTING

- A. PRIOR TO BACKFILLING, OPEN THE VALVE AND OPERATE EACH CIRCUIT TO CHECK FOR LEAKAGE AROUND PVC FITTINGS. MAKE NECESSARY CORRECTIONS TO STOP LEAKS. B. RETEST THOSE SYSTEMS WHERE LEAKS WERE CORRECTED BEFORE COMMENCING BACK FILLING
- OPERATIONS. C. UPON COMPLETION, TEST THE ENTIRE SYSTEM FOR OPERATION INCLUDING ELECTRICALLY ACTUATING THE VALVE. RUN THE SYSTEM UNTIL WATER BEGINS TO PUDDLE AND/OR RUN OFF TO DETERMINE THE INITIAL CONTROLLER RUN TIME TO DETERMINE THE NUMBER OF IRRIGATION CYCLES NECESSARY TO

6. ASBUILTS

UPON COMPLETION OF "AS-BUILT" DRAWINGS, PREPARE CONTROLLER CHARTS - ONE PER CONTROLLER. INDICATE IN THE CHART EACH AREA CONTROLLED BY A VALVE. THIS CHART SHALL BE REDUCED TO A SIZE THAT WILL FIT WITHIN THE CONTROLLER DOOR OR A UTILITY BASKET WITHIN THE ENCLOSURE. THE REDUCTION SHALL BE A BLACK AND WHITE COPY THAT IS HERMETICALLY SEALED BETWEEN TWO 20.MIL PIECES OF CLEAR PLASTIC.

7. INSPECTION

- A. BEFORE ACCEPTANCE OF THE IRRIGATION SYSTEM. THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL: FINAL WALK-THROUGH AND CORRECTION OF ANY PUNCH-LIST ITEMS COMPLETION AND ACCEPTANCE OF ACCURATELY DRAFTED "AS-BUILT" DRAWINGS ACCEPTANCE OF CONTROLLER CHARTS AND PLACEMENT IN THE CONTROLLER
- B. MANUAL FLUSH VALVES OR FLUSH-OUT'S SHOULD BE FLUSHED THREE (3) TIMES EACH IRRIGATION SEASON FOR A PERIOD OF 30 TO 60 SECONDS OR UNTIL THE WATER IS VISIBLY CLEAN, WHILE THE VALVE IS ACTIVATED. THE SYSTEM SHOULD BE FLUSHED MONTHLY OR MORE FREQUENTLY, FLUSHING IS ALSO RECOMMENDED ANY TIME THE SYSTEM IS REPAIRED.

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05/10/2017 PROJECT NUMBER CSG17-05CBH

SHEET NUMBER

L-04

DEVELOPER: JPMORGAN CHASE, N.A.

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JENSEN BEACH, FL 34957
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GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: CITY OF HOLLYWOOD COMMUNITY DEVELOPMENT DEPARTMENT 2600 HOLLYWOOD BOULEVARD. ROOM 315

HOLLYWOOD, FL 33021 TEL: 954 921 3471

FIRE DEPARTMENT: CITY OF HOLLYWOOD FIRE DEPARTMENT: 2741 STIRI ING ROAD

HOLLYWOOD, FL 33312

WATER/WASTEWATER: CITY OF HOLLYWOOD PUBLIC UTILITIES

1621 N. 14TH AVENUE HOLLYWOOD, FL 33020 TEL: 954 967 4455

STORMWATER: BROWARD COUNTY ENVIRONMENTAL PROTECTION

AND GROWTH MANAGEMENT DEPARTMENT 1 N. UNIVERSITY DRIVE, SUITE 201-A

PLANTATION, FL 33324 TEL: 954.519.1483

UTILITY CONTACTS:

ELECTRIC COMPANY:

4000 DAVIE ROAD EXTENSION HOLLYWOOD, FL 33024 CONTACT: ERIC DOAN

TELEPHONE / INTERNET: COMCAST
4571 SHERIDAN STREET

HOLLYWOOD, FL 33021 TEL: 800.266.2278

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR CITY OF HOLLYWOOD, FLORIDA, COMMUNITY NUMBER 125113 0567H EFFECTIVE DATE 8/18/2014.

ALERT TO CONTRACTOR:

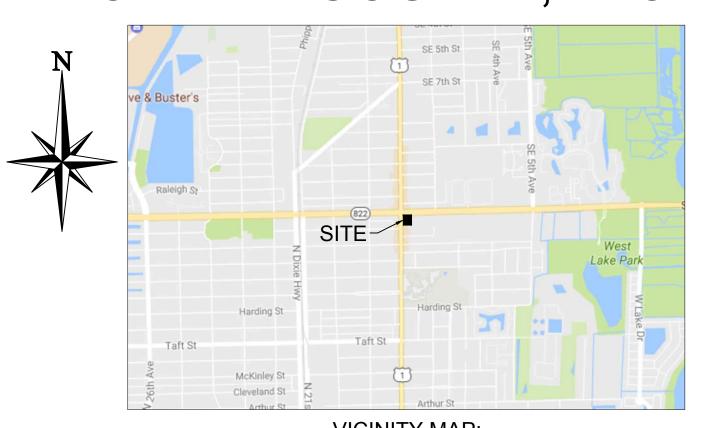
- THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PREFORMED PRIOR TO PROJECT COMPLETION.

CIVIL CONSTRUCTION PLANS

FOR CHASE ()

CHASE BANK - STORE NO. 55203 YOUNG CIRCLE

1700 SHERIDAN STREET
HOLLYWOOD, FL 33020
SECTION 10, TOWNSHIP 51 S., RANGE 42 E.
BROWARD COUNTY, FLORIDA



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SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
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C5	EROSION CONTROL DETAILS			
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C13	PHOTOMETRIC PLAN			
RE	FERENCE SHEETS			
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
SHEET 1 OF 1	ALTA/ACSM LAND TITLE SURVEY BY BLOOMSTER			
L-01	EXISTING LANDSCAPE PLAN			
L-02	LANDSCAPE PLAN			
L-03	LANDSCAPE DETAILS			
L-04	LANDSCAPE NOTES			

LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10;
THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET;
THENCE SOUTH 00°37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A

DISTANCE OF 94.08 FEET;
THENCE NORTH 89°22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET;
THENCE NORTH 88°13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET;
THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET; THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A

DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT;
THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°06'34" AND AN ARC DISTANCE OF 4.36 FEET TO

THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINING 0.696 ACRES.



CROUTE 101 GROUP GRAND AND THE STATES INC. 1759 COBESTATES INC. 1759 COB

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED DILY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, JSER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CHASE

Know what's below.

Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION ANDIOR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV DATE COMMENT BY

BY

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK AT
YOUNG CIRCLE, FL
SITE LOCATION

SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL 33020

ENGINEER SEAL

SHEET TITLE
COVER SHEET

 JOB #:
 JPM.19067

 DATE:
 05.12.2017

 SCALE:
 N/A

 DRAWN BY:
 CED

 CHECKED BY:
 ZHT

C

GENERAL DEMOLITION NOTES: 25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE 27. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL COMPACTED FILL MATERIAL PER THE SPECIFICATIONS CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE AND THE SITE SHALL BE STABILIZED PER THE PERMIT FOR STORM WATER DISCHARGE FROM LARGE THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE AND SMALL CONSTRUCTION ACTIVITIES (NPDES). DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE ALL VEGETATION FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE. REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION, MAINTENANCE OF TRAFFIC SHALL FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONFORM TO GOVERNING AGENCY STANDARDS CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE CITY/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE FREQUENCY REQUIREMENTS ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. **GENERAL PAVING AND GRADING NOTES:** ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. UNLESS OTHERWISE NOTED. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT-OF-WAY DURING ON AS BEING EXACT OR COMPLETE THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES. UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING. LIGHTING AND/OR ANY OTHER CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER. WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS

THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR

CONSTRUCTION ACTIVITIES.

FIT AND CONTINUOUS GRADE.

EDITION) RESPECTIVELY.

STRINGENT.

HEALTHY STAND OF VEGETATION IS OBTAINED.

LOCATION, DEWATERING MAY BY REQUIRED.

CONSTRUCTION IS COMPLETED

GENERAL UTILITY NOTES:

COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.

NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

FINISH GRADE WITH WATER TIGHT LIDS.

TO ANY EXISTING LINE.

CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.

APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH

TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL

ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A

ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO

ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST

ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND

ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI IN

EXPANSION JOINTS PLACED ON 60-FOOT CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE

28 DAYS. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5-FOOT CENTERS AND

POURS CONTRACTION JOINT SPACING MATCHES WIDTH OF SIDEWALK AND EXPANSION JOINTS ARE

REQUIRED AT A MAXIMUM OF 25 FEET. THIS WOULD MEAN 24 FEET FOR A 6 INCH CURB. PAVEMENT

JOINTS SHALL BE SPACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR DETAILS.

ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL

THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION

(CLAY SUBGRADE MATERIAL MARI. FTC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN

ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.

CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT

PLANTING AREAS. ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL

AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM

IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS.

TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND

THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT/ENGINEER PRIOR TO

20. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS.

21. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS

22. CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE

THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT, INCLUDING BUT

PROPOSED WORK. BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL

CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT

ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED

TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE

CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER

MAIN OR ANY OF THE DRY UTILITIES. THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL

SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS

SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER,

TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT

INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR

OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION.

ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING

ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS.

LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT

UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR

INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE

INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.

ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE

TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE

ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED

10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING

7 IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS

DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR

LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW

REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT

BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND

POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION

THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR

NOT LIMITED TO THE INSTALLATION OF BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF

TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE

REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.

PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND GEOTECHNICAL REPORT.

SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A

ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN

SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE

CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR

TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.

SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN

PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.

AND REPAIR

CONTRACTOR'S EXPENSE

GENERAL SITE NOTES:

AND O.S.H.A. STANDARDS.

CONSTRUCTION OF THIS PROJECT.

OF CONSTRUCTION ACTIVITIES

REMOVED AND REPLACED.

EXISTING FLUSH AND SMOOTH.

UNLESS NOTED OTHERWISE).

IN GRADE AND ALIGNMENT.

CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS

THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE

OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED

FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR

ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING

DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT

ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS

WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF

ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL

THE SITE GEOTECHNICAL REPORT. ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT

CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND

DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE

CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF

THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT

RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL

THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS. FACILITY

THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY

10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH THE

EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE.

AREAS OF EXISTING PAVING THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE SAWCUT, THEN

THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY

DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL

SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES

OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH

IF REQUESTED BY THE OWNER, PROVIDE TEMPORARY CONSTRUCTION FENCING, MINIMUM 6'-0" HIGH,

AROUND ENTIRE AREA OF CONSTRUCTION OR PER THE CLIENTS STANDARDS. FIELD VERIFY EXACT

LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION.

REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT FENCE POST

CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING

CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN

DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING,

RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS

ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER

PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL

OF BUILDING APPURTENANCES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING

CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS

ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC

19. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.

23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED. REMOVED OR

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON

lser: CDUNBAR Plot Date/Time: May. 12, 17 - 16:39:10 Drawing: C:\Users\cdunbar\appdata\local\temp\AcPublish_10648\JPM-19067-P-DETL.dwg ;C2 GENERAL NOTES

OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND

ENTIRE CONSTRUCTION AREA PRIOR TO TURNOVER TO THE OWNER.

COORDINATE WITH THE OWNER AND THE ARCHITECT/ENGINEER.

17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.

DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED

COST SHALL BE INCLUDED IN BASE BID.

EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.

EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD.

COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON

POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.

THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS

NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.

THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE

OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.

CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES

INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY

ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE

GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.

SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL

ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT

VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES

REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF

THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL

CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE

CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY

	6	7	8	9	
	11. 12.	UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTE ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28			
3	13.	P.S.I. REFER TO ARCHITECTURAL PLUMBING DRAWINGS FOR TIE-IN C	OF ALL UTILITIES.		
	14.	CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECI WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WAT			
	15.	CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANII AND SPECIFICATIONS.			
	16.	DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES	S.		
	17.	EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INST	TALLATION OF ANY NEW LINES.		
	18.	THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATER AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOUND CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE TACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABL CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIPMENTS AND THE JURISDICTIONAL AGENCY RETHE MOST STRINGENT SHALL GOVERN.	OWN ON THESE PLANS. THE QUIPMENT, MACHINERY, TOOLS, MEANS THE WORK IN FULL AND COMPLETE IN LY INTENDED REQUIREMENTS OF THE REMENTS. IN THE EVENT THAT THE		
	19.	THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION	ON IN KIND, UNLESS SHOWN OTHERWISE.		
	20.	DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL IN SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED IN PLUMB AND LOCATED ACCORDING TO THE PLANS.	ND FITTINGS WITH A WATERTIGHT PLUG S SHALL BE CLEAN AND JOINT SURFACES		
	21.	ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AF COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE VI THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGEN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.	WITH SPECIFICATIONS. IN THE EVENT		
	22.	SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SH BY THE GOVERNING UTILITY DEPARTMENT. CONTRACTOR TO C APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UI REVIEWED, APPROVED AND RETURNED TO THE CONTRACTOR.	OPY THE ENGINEER OF RECORD WITH NTIL SHOP DRAWINGS HAVE BEEN		
	23.	AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONT CITY/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WE THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHE REQUIRED. THE CITY/COUNTY ENGINEERING INSPECTION OFFICE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF IT PREFORMED PRIOR TO NOTIFYING THE CITY/COUNTY ENGINEER DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMODE TO THE CONTRACTOR.	VITH ALL REQUIRED SHOP DRAWINGS, EDULE AND OTHER INFORMATION AS CE SHOULD ALSO BE CONTACTED FIVE NSPECTION PERSONAL. ANY WORK RING INSPECTION OFFICE OR WITHOUT A		
ł	24.	THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) CITY/COUNTY UTILITY REGULATIONS. SAID TESTS ARE TO BE CEAND SUBMITTED TO THE CITY/COUNTY FOR APPROVAL. THE SC NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPON) IN ACCORDANCE WITH THE ERTIFIED BY THE ENGINEER OF RECORD CHEDULING, COORDINATION AND		
-	25.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXI SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS SPECIFICATIONS.	M CLEARANCE BETWEEN WATER MAINS		
	26.	SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STOF WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE SEWER LATERALS, AND STORM SEWERS CROSSING WATER MA MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOOF THE LOWER PIPE.	E. SANITARY SEWERS, FORCE MAINS, NINS SHALL BE LAID TO PROVIDE A		
-	27.	A MINIMUM HORIZONTAL DISTANCE OF TEN FEET SHOULD BE M SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVA JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITHAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 IN LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDATHE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WABENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATIC OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AMOUNT OF THE PRECEDING BY THE AMOUNT	ER LINES AND SEWERS SHALL NOT BE AL OF THE AUTHORITY HAVING ITY TO SEWERS MUST BE PLACED SO NCHES ABOVE THE TOP OF THE SEWER ABLY BE REDUCED, THE WATER LINE OR H SEALED WATERTIGHT ENDS G. ANY JOINT IN THE ENCASEMENT PIPE E MAY BE VENTED TO THE SURFACE IF ATER LINE MUST UNAVOIDABLY PASS ON MUST BE MAINTAINED BETWEEN THE ENCASEMENT REQUIREMENT.		
	20	A MINIMUM LICEIZONTAL DICTANICE OF THEFE FEET CHALL BE A	MAINTAINED DETWEEN WATED LINES AND		

28. A MINIMUM HORIZONTAL DISTANCE OF THREE FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.

29. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

30. ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.

TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.

ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE

APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.

33. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY/COUNTY AND/OR FIRE

CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION.

35. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.

36. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.

STANDARD ABBREVIATIONS AC ACRES ADA AMERICANS WITH DISABILITY ACT ARCH ARCHITECTURAL BC BOTTOM OF CURB BF BASEMENT FLOOR BK BLOCK BASELINE BLD BUILDING BOL BOLLARD BM BENCH MARK BRL BUILDING RESTRICTION LINE CF **CUBIC FEET** CL CENTERLINE CMP CORRUGATED METAL PIPE CONN CONNECTION CONC CONCRETE CPP CORRUGATED PLASTIC PIPE CY **CUBIC YARDS** DEC DECORATIVE DEP DEPRESSED DIP DUCTILE IRON PIPE DOM DOMESTIC ELEC ELECTRIC ELEV ELEVATION EDGE OF PAVEMENT ES EDGE OF SHOULDER EW END OF WALL EX EXISTING FES FLARED END SECTION FF FINISH FLOOR ELEVATION FH FIRE HYDRAN FG FINISHED GRADE G GRADE GF GARAGE FLOOR GH GRADE HIGH SIDE OF WALL GL GRADE LOW SIDE OF WALL GRT GRATE GV GATE VALVE HDPE HIGH DENSITY POLYETHYLENE PIPE HP HIGH POINT HOR HORIZONTA HW HEADWALL INTERSECTION INV INVERT LF LINEAR FOOT LOC LIMITS OF CLEARING LOD LIMITS OF DISTURBANCE LOS LINE OF SIGHT LOW POINT LS LANDSCAPE MAX MAXIMUM MIN MINIMUM MH MANHOLE MJ MECHANICAL JOINT OC ON CENTER PC POINT OF CURVATURE POINT OF COMPOUND CURVATURE, CURB RETURN PCCR PI POINT OF INTERSECTION POG POINT OF GRADE POI POINT OF INTEREST PROP PROPOSED POINT OF TANGANCY POINT OF TANGENCY, CURB RETURN PTCR PVC POLYVINYL CHLORIDE PIPE POINT OF VERTICAL INTERSECTION PVT POINT OF VERTICAL TANGENCY R RADIUS RCP | REINFORCED CONCRETE PIPE RCPR REINFORCED CONCRETE WITH RUBBER GASKET RET-WALL RETAINING WALL R/W RIGHT OF WAY S SLOPE SAN SANITARY SEWER SF SQUARE FEET STA STATION STM STORM TBR TO BE REMOVED TBRL TO BE RELOCATED TC TOP OF CURB TEL TELEPHONE TP TREE PROTECTION TW TOP OF WALL TYP TYPICAL UNDERGROUND UG UP UTILITY POLE W/L WATER LINE W/M WATER METER PLUS OR MINUS ± DEGREE Ø DIAMETER # NUMBER

EXISTING LEGEND:

CLEAN OUT

₩ WATER VALVE

□ LIGHT POST

₩ GAS VALVE

EL. ELEVATION

DEPT. DEPARTMENT

R/W RIGHT OF WAY

M.B. MAP BOOK

PB PLAT BOOK

PG. PAGE

EP EDGE OF PAVEMENT

ORB OFFICIAL RECORDS BOOK

BCR BROWARD COUNTY RECORDS

WL UNDERGROUND WATER LINE

NAVD NORTH AMERICAN VERTICAL DATUM

E UNDERGROUND ELECTRIC

LB LICENSED BUSINESS

CBS CONCRETE BLOCK STRUCTURE

INV. INVERT

C FIRE HYDRANT

+ SPOT ELEVATIONS

(S) MANHOLE

SCALE:

FROM ALL CLAIMS AND LOSSES. CLIENT SHEET TITLE

OCUMENTS PREPARED BY CORESTATES IN NCLUDING THIS DOCUMENT, ARE TO BE USE NLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS
BY OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES

REVISIONS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE. FL

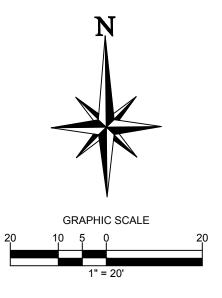
SITE LOCATION 1700 SHERIDAN HOLLYWOOD, FL

ENGINEER SEAL

GENERAL NOTES

05.12.201 DRAWN BY: CHECKED BY:

User: CDUNBAR Plot Date/Time: May. 12, 17 - 16:39:38 Drawing: C:\Users\cdunbar\Desktop\Chase Hollywood\02 Drawings\20 Civil\10 Const Plans\JPM-19067-P-SITE.dwg ;C3 EROSION CONTROL PLAN (PHASE I)



SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

1. INSTALL STABILIZED CONSTRUCTION EXIT(S).

3. PREPARE TEMPORARY PARKING AND STORAGE AREA.

2. INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE, AND INLET PROTECTION(S) (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).

4. HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION OF BMP'S.

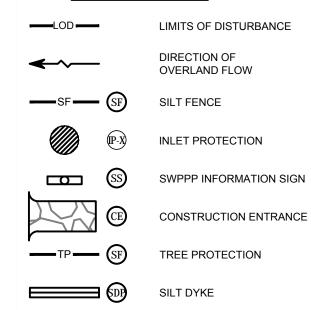
- 5. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
- 6. BEGIN GRADING THE SITE. 7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

- 1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
- 4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
- 5. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- 8. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
- 9. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.
- 10. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION
- 11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY
- THE REMOVAL OF THE BMP. 12. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE
- 13. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE FDEP AND SHAL

PROVIDE A COPY OF FDEP APPROVAL TO THE OWNER AND ENGINEER OF RECORD. NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES

CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

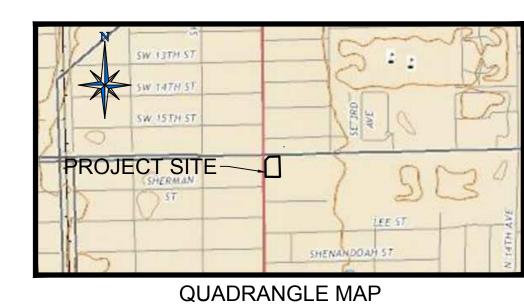
E&S LEGEND





8" DEPRESSED AREA FOR 8" DEPRESSED AREA FOR CONCRETE WASHOUT

ACREAGE SUMMARY (IN ACRES)						
TOTAL PROJECT AREA	0.704					
ON-SITE DISTURBED AREA	0.696					
OFF-SITE DISTURBED AREA	0.008					
TOTAL DISTURBED AREA (MUST MATCH NOI)	0.704					
IMPERVIOUS AREA AT COMPLETION	0.529					
PERVIOUS/ SEEDED AREA AT COMPLETION	0.175					



BEST MANAGEMENT PRACTICES:

- 1. STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION. 2. DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY. LOT
- DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS,
- VEHICLE ENTRANCES AND EXITS: ACTIONS TAKEN AND INSPECTORS NAME.
- 3. CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE 4. COPY OF SWPPP SHALL BE KEPT ON SITE
- 5. PERIMETER MUST RETAIN THE SWPPP, NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF PROJECT

ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURED LIDDED METAL DUMPSTER. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT AND THE TRASH BE HAULED TO A LICENSED

II. HAZARDOUS WASTE

AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS. ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING, COMPOUNDS AND ADDITIVES. IN EVENT OF SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPARTMENT AND NMED.

ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.

V. GOOD HOUSEKEEPING

- A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB
- B. NEATLY STORE MATERIALS ON-SITE IN A SECURE MANNER C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
- D. DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE
 - E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING F THE CONTAINER F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROP USE AND DISPOSAL

VI. HAZARDOUS CONDITIONS PRACTICES TO REDUCE RISKS:

A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE

B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS C. DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS

VII. PETROLEUM PRODUCTS

PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED, ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER RECOMMENDATION

VIII. SPILL CONTROL PRACTICES:

A. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE WARE OF THE PROCEDURE B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE

C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY

IX. MAINTENANCE AND INSPECTION PROCEDURES

All POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD

RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON-SITE

F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING

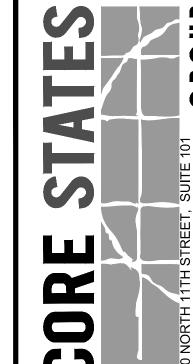
X. REMARKS

DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS, CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY.



OCUMENTS PREPARED BY CORESTATES INC INCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDED JSER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.





REVISIONS

CIVIL CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL SITE LOCATION

DOCUMENT

1700 SHERIDAN STREET HOLLYWOOD, FL 33020

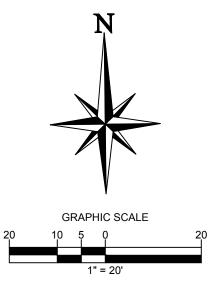
ENGINEER SEAL

EROSION AND SEDIMENTATION CONTROL PLAN

PHASE I

05.12.201 SCALE: DRAWN BY: CHECKED BY:

User: CDUNBAR Plot Date/Time: May. 12, 17 - 16:39:43 Drawing: C:\Users\cdunbar\Desktop\Chase Hollywood\02 Drawings\20 Civil\10 Const Plans\JPM-19067-P-SITE.dwg ;C4 EROSION CONTROL PLAN (PHASE II)



SEQUENCE OF CONSTRUCTION

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PHASE I

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 PREPARE TEMPORARY PARKING AND STORAGE AREA.

4. HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION OF BMP'S.

- 5. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
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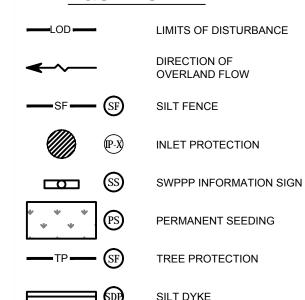
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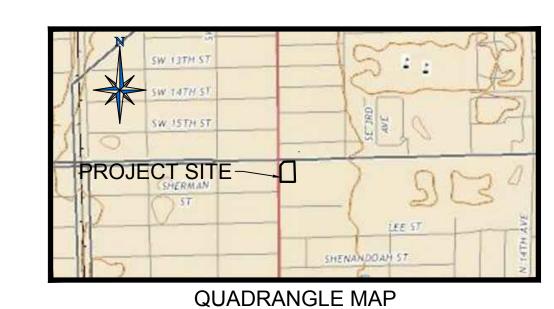
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- 13. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE FDEP AND SHALL PROVIDE A COPY OF FDEP APPROVAL TO THE OWNER AND ENGINEER OF RECORD.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

E&S LEGEND



ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	0.704
ON-SITE DISTURBED AREA	0.696
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TOTAL DISTURBED AREA (MUST MATCH NOI)	0.704
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TEARCH THE TERMINATIO

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III. SANITARY WASTE

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V. SPILL PREVENTION THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER

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V. GOOD HOUSEKEEPING

- A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB B. NEATLY STORE MATERIALS ON-SITE IN A SECURE MANNER
- C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
- D. DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
- E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING F THE CONTAINER F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROP USE AND DISPOSAL

VI. HAZARDOUS CONDITIONS PRACTICES TO REDUCE RISKS:

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- B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
- C. DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS

VII. PETROLEUM PRODUCTS PRODUCTS SHALL BE STOR

PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED, ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER RECOMMENDATION.

VIII. SPILL CONTROL PRACTICES:

A. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE WARE OF THE PROCEDURE B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE

MATERIAL STORAGE AREA ON-SITE C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN

E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING

IX. MAINTENANCE AND INSPECTION PROCEDURES All POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS

AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE

RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON-SITE

X. REMARKS DISPOSAL A

DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS, CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY.

ORE STATES

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED DOLLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY

CLIENT

OTHER THAN THAT SPECIFICALLY INTENDED

JSER WILL HOLD CORESTATES, INC. HARMLES

FROM ALL CLAIMS AND LOSSES.



Know what's below.

Call before you dig.

Contractor is specifically cautioned that the location and/or

varion of existing outlitties as shown on these Plans is based on design

winds, records of the various utility companies, and where possible,

surements taken in the field. core states, inc. does not quarantree

to carions shown are exact; the contract of must contract the

ROPRIATE UTILITY COMPANIES AT LAST 72 HOURS BEFORE ANY EXCAVATION TO

UEST EXACT FIELD LOCATIONS OF UTILITIES.

EV DATE COMMENT BY

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK AT
YOUNG CIRCLE, FL

SITE LOCATION

1700 SHERIDAN

STREET

HOLLYWOOD, FL

ENGINEER SEAL

33020

SHEET TITLE EROSION AND SEDIMENTATION

CONTROL PLAN

PHASE II

JOB #: JPM.19067

DATE: 05.12.2017

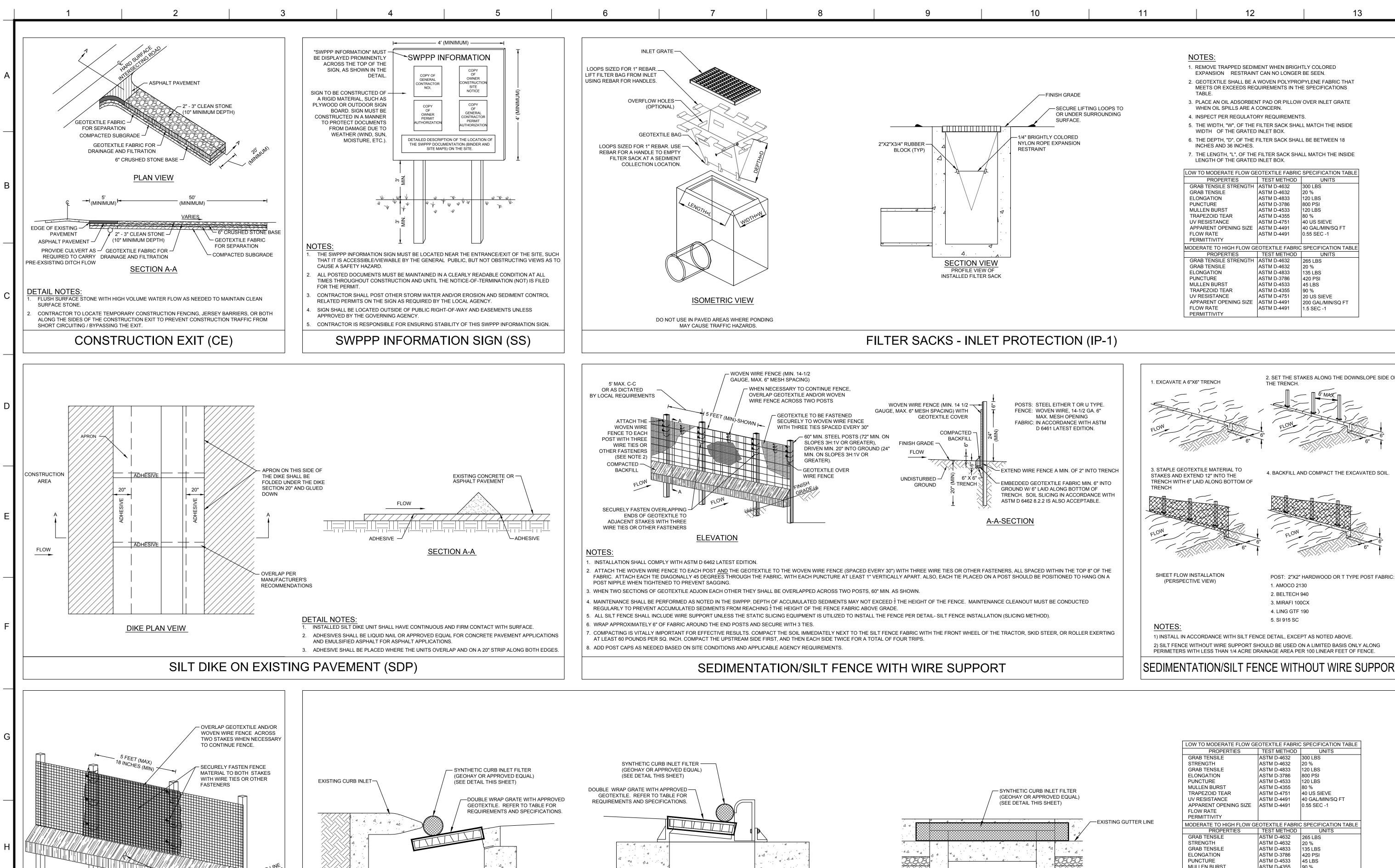
SCALE: 1"=20'

DRAWN BY: CED

CHECKED BY: ZHT

SHEET NO.

C



COMPACTED BACKFILL

ELEVATION

OVERLAP OF SEDIMENTATION/SILT FENCE

|SEDIMENTATION/SILT FENCE WITHOUT WIRE SUPPORT LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE TEST METHOD UNITS 40 US SIEVE 40 GAL/MIN/SQ FT MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE MULLEN BURS ASTM D-4355 TRAPEZOID TEAF ASTM D-4751 20 US SIEVE **UV RESISTANCE** ASTM D-4491 200 GAL/MIN/SQ FT APPARENT OPENING SIZE ASTM D-4491 1.5 SEC -1 FLOW RATE PERMITTIVITY TYPE 5 AND 6 CURB INLET TYPE 9 CURB INLET FRONT VIEW 1. THE CURB INLET PROTECTOR SHALL BE PLACED IN FRONT OF THE CURB INLET THROAT LAYING IN EXISTING CURB INLET 2. CURB INLET PROTECTOR SHALL BE INSTALLED AND MAINTAINED PER MANUFACTURER'S 3. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE. 4. INSPECT PER REGULATORY REQUIREMENTS. INLET PROTECTION (IP-2)

OCUMENTS PREPARED BY CORESTATES INC NCLUDING THIS DOCUMENT, ARE TO BE USE NLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS
BY OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

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REVISIONS

CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL SITE LOCATION 1700 SHERIDAN STREET

DOCUMENT CIVIL

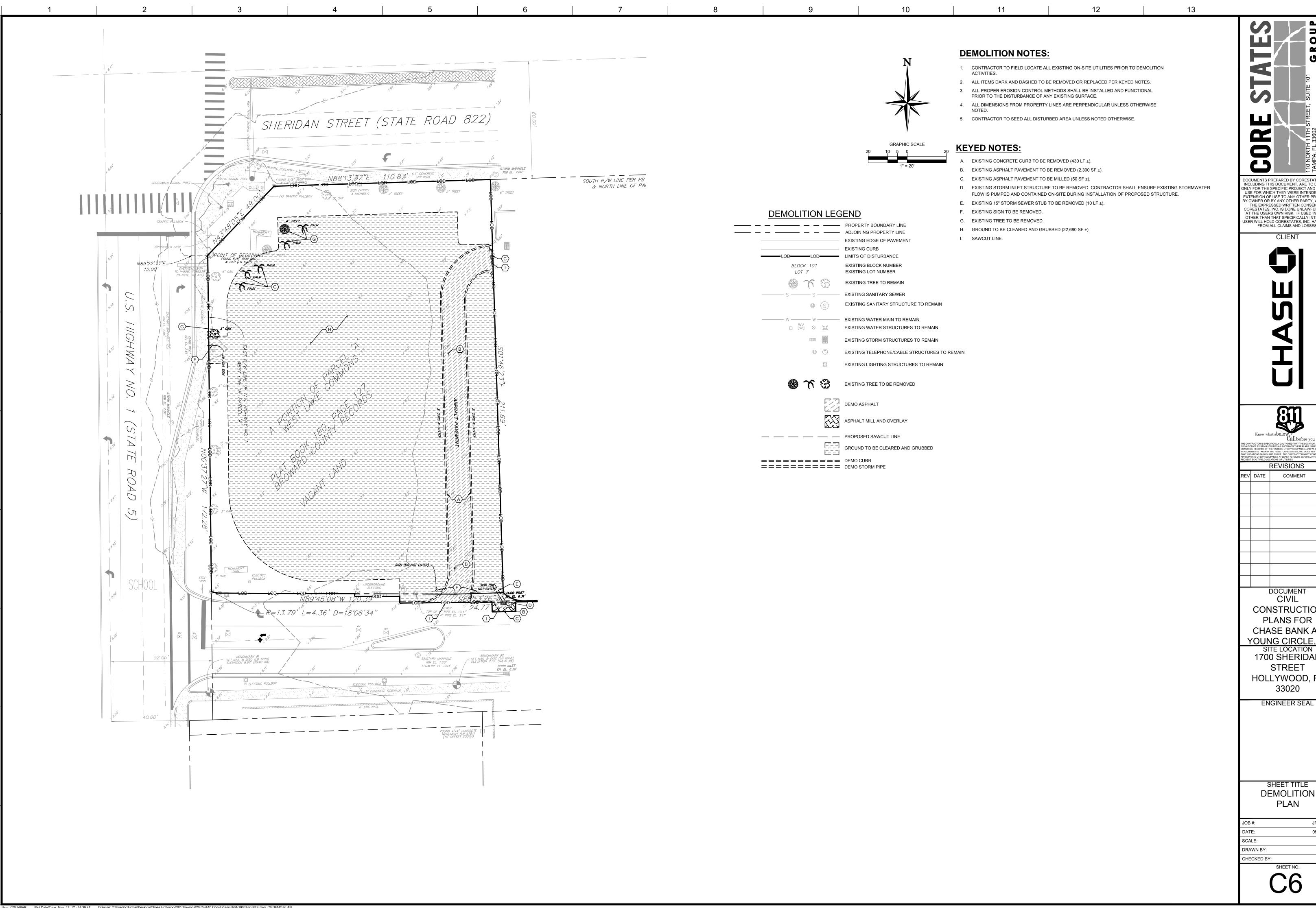
ENGINEER SEAL

HOLLYWOOD, FL

33020

SHEET TITLE **EROSION CONTROL** PLAN DETAILS

05.12.201 SCALE: DRAWN BY: CHECKED BY:



DOCUMENTS PREPARED BY CORESTATES, INC INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFI
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REVISIONS

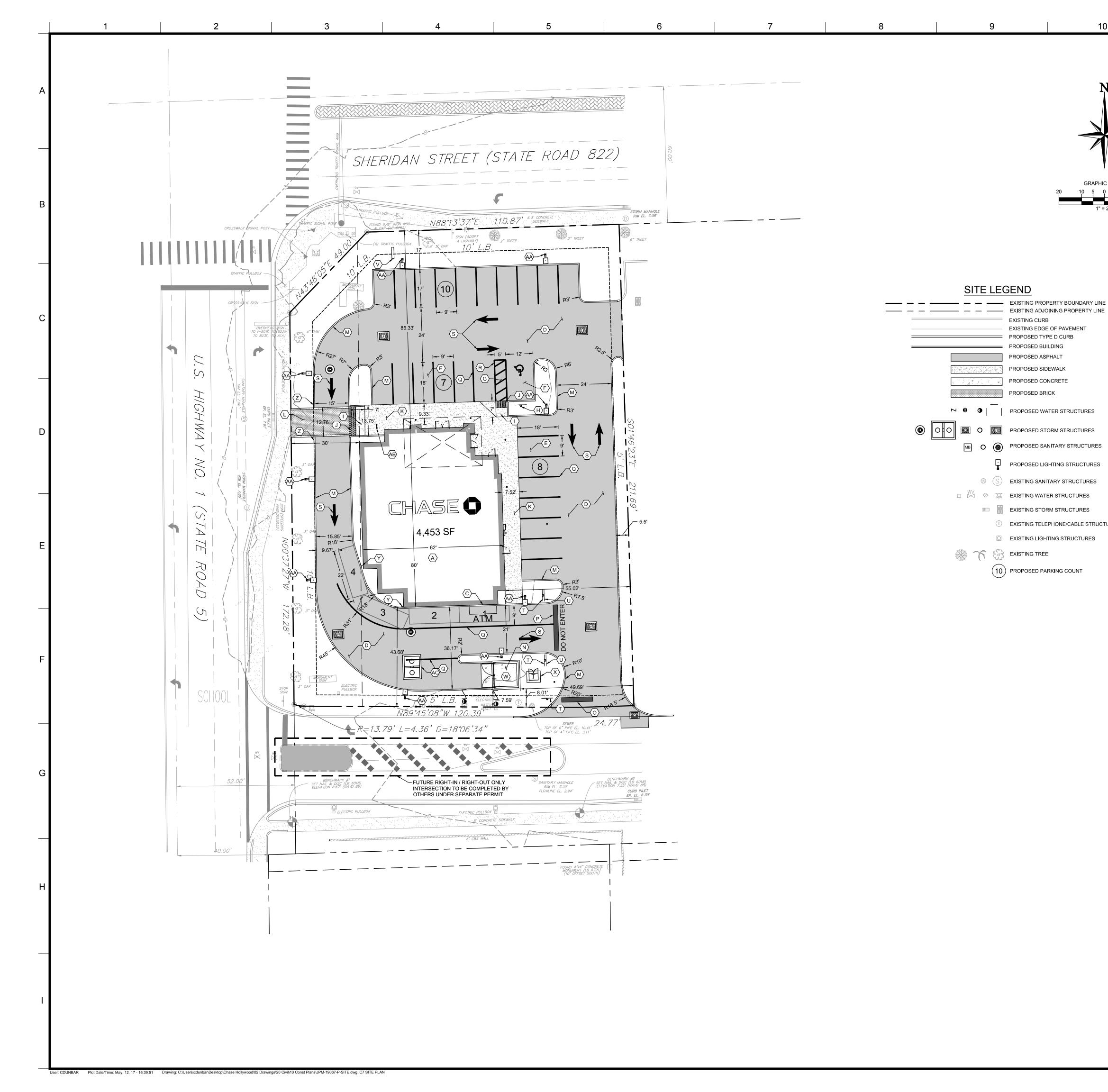
DOCUMENT CIVIL CONSTRUCTION

CHASE BANK AT YOUNG CIRCLE, FL SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL

ENGINEER SEAL

SHEET TITLE DEMOLITION PLAN

JPM.19067 05.12.2017



SITE NOTES:

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
- 2. REFER TO SHEET C6 FOR DEMOLITION PLAN.
- 3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- 4. REFER TO SHEET C9 FOR UTILITY PLAN. 5. REFER TO SHEET L-01 FOR LANDSCAPE PLAN.
- 6. REFER TO SHEET C12 FOR FOR SITE LIGHTING DETAILS.
- 7. REFER TO SHEET C13 FOR PHOTOMETRIC PLAN.
- 8. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR
- 9. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE
- 10. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.

11. CONTRACTOR TO INSTALL MEDIUM DUTY ASPHALT IN ALL DRIVING AREAS. REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

GRAPHIC SCALE

EXISTING PROPERTY BOUNDARY LINE

EXISTING EDGE OF PAVEMENT

PROPOSED LIGHTING STRUCTURES

T EXISTING TELEPHONE/CABLE STRUCTURES

EXISTING LIGHTING STRUCTURES

EXISTING CURB

PROPOSED BUILDING PROPOSED ASPHALT PROPOSED SIDEWALK PROPOSED CONCRETE

PROPOSED BRICK

HEM	EXISTING / REQUIRED	PROPOSED
BUILDING HEIGHT (FT)	28 FT	23'-4"
BUILDING AREA (SF)	N/A	4,453 SF
FRONT SETBACK (FT)	0 FT MINIMUM 30' MAXIMUM ALONG US HIGHWAY 1	85.33 FT (SHERIDAN) 30.00 FT (US HIGHWAY 1)
SIDE SETBACK (FT)	0 FT MINIMUM	55.02 FT
REAR SETBACK (FT)	0 FT MINIMUM	43.68 FT
BICYCLE PARKING	1 BIKE RACK PER 20 PARKING SPACES	2
PARKING SPACES	5 SPACES / 1,000 SF GFA 4,527 / $\frac{5}{1000}$ = 23 SPACES MIN.	25 SPACES
ADA PARKING SPACES	1 SPACE	2 SPACES
TOTAL PARCEL AREA	0.696 AC (30,318 SF)	0.696 AC (30,318 SF)
F.A.R.	N/A	14.69%
IMPERVIOUS SURFACES AREA (% OF LOT AREA)	0.557 AC (24,254 SF) 80 % MAXIMUM	0.521 AC (22,685 SF) 74.82 %
PERVIOUS SURFACE AREA (% OF LOT AREA)	0.139 AC (6,064 SF) 20% MINIMUM	0.175 AC (7,633 SF) 25.18 %
USE	BANK & FINANCIAL INSTITUTION	BANK & FINANCIAL INSTITUTION

KEY NOTES:

- PROPOSED 4,453 SF CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- PROPOSED BUILDING SIGNS TO BE PROVIDED AND INSTALLED BY OTHERS.
- DETAILS AND ELEVATIONS.
- PROPOSED 9' x 18' PARKING SPACE. (TYPICAL) PROPOSED 12' x 18' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 5' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED DETECTABLE WARNING. REFER TO SHEET C10 FOR DETAIL. PROPOSED CONCRETE SIDEWALK WITH TURNED DOWN EDGE (1,581 SF ±).
- PROPOSED FDOT TYPE "D" CURB (971 LF ±). REFER TO SHEET C10 FOR DETAIL.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT (166 SF ±). REFER TO SHEET C10 FOR DETAIL.
- PROPOSED 24" WIDE THERMOPLASTIC STOP BAR. REFER TO SHEET C11 FOR
- PAINTED ON PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID BLUE PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED DIRECTION TRAFFIC MARKING. REFER TO SHEET C11 FOR DETAIL. PROPOSED STOP SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
- PREPARED BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE
- FOR DETAILS AND ELEVATIONS.
- PROPOSED CONCRETE TRANSFORMER PAD.
- AA. PROPOSED 25' HIGH DIRECT BURRY CONCRETE SITE LIGHT POLE.
- (SEE SITE NOTE # 6)

١.	PROPOSED "U" SHAPE BICYCLE RACK. REFER TO SHEET C11 FOR DETAIL.	
; .	PROPOSED DRAINAGE WELL. REFER TO SHEET C12 FOR DETAIL.	

VARIANCE	REQUIRED	PROPOSED
STACKING LANES	6	4
LANDSCAPING VEHICLE USE ARE (VUA)	3,891 SF	3,284 SF

ZONING DATA

ZONED NFHC-2 - FEDERAL HIGHWAY ZONING DISTRICT

ITEM	EXISTING / REQUIRED	PROPOSED
BUILDING HEIGHT (FT)	28 FT	23'-4"
BUILDING AREA (SF)	N/A	4,453 SF
FRONT SETBACK (FT)	0 FT MINIMUM 30' MAXIMUM ALONG US HIGHWAY 1	85.33 FT (SHERIDAN) 30.00 FT (US HIGHWAY 1)
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PERVIOUS SURFACE AREA (% OF LOT AREA)	0.139 AC (6,064 SF) 20% MINIMUM	0.175 AC (7,633 SF) 25.18 %
USE	BANK & FINANCIAL INSTITUTION	BANK & FINANCIAL INSTITUTION

- PROPOSED DRIVE-THRU ATM. REFER TO ARCHITECTURAL PLANS FOR
- PROPOSED ASPHALT PAVEMENT (15,850 SF ±). REFER TO SHEET C10 FOR

- PROPOSED ADA COMPLIANT CURB RAMP. REFER TO SHEET C10 FOR DETAIL.
- REFER TO SHEET C10 FOR DETAIL.
 PROPOSED BRICK PAVER CROSSWALK (327 SF ±). REFER TO SHEET C10 FOR
- PROPOSED 24" WIDE THERMOPLASTIC STOP BAR WITH "DO NOT ENTER"
- PROPOSED 6" SOLID WHITE PAINTED STRIPE. REFER TO SHEET C11 FOR
- PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAIL. PROPOSED MONUMENT SIGN BY OTHERS. REFER TO SIGNAGE PACKAGE
- VENDOR. W. PROPOSED TRASH ENCLOSURE LOCATION. REFER TO ARCHITECTURAL PLANS
- PROPOSED BOLLARD. REFER TO SHEET C10 FOR DETAIL.
- PROPOSED CURB TRANSITION. REFER TO SHEET C10 FOR DETAIL.

VARIANCE	REQUIRED	PROPOSED
STACKING LANES	6	4

AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

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REVISIONS COMMENT

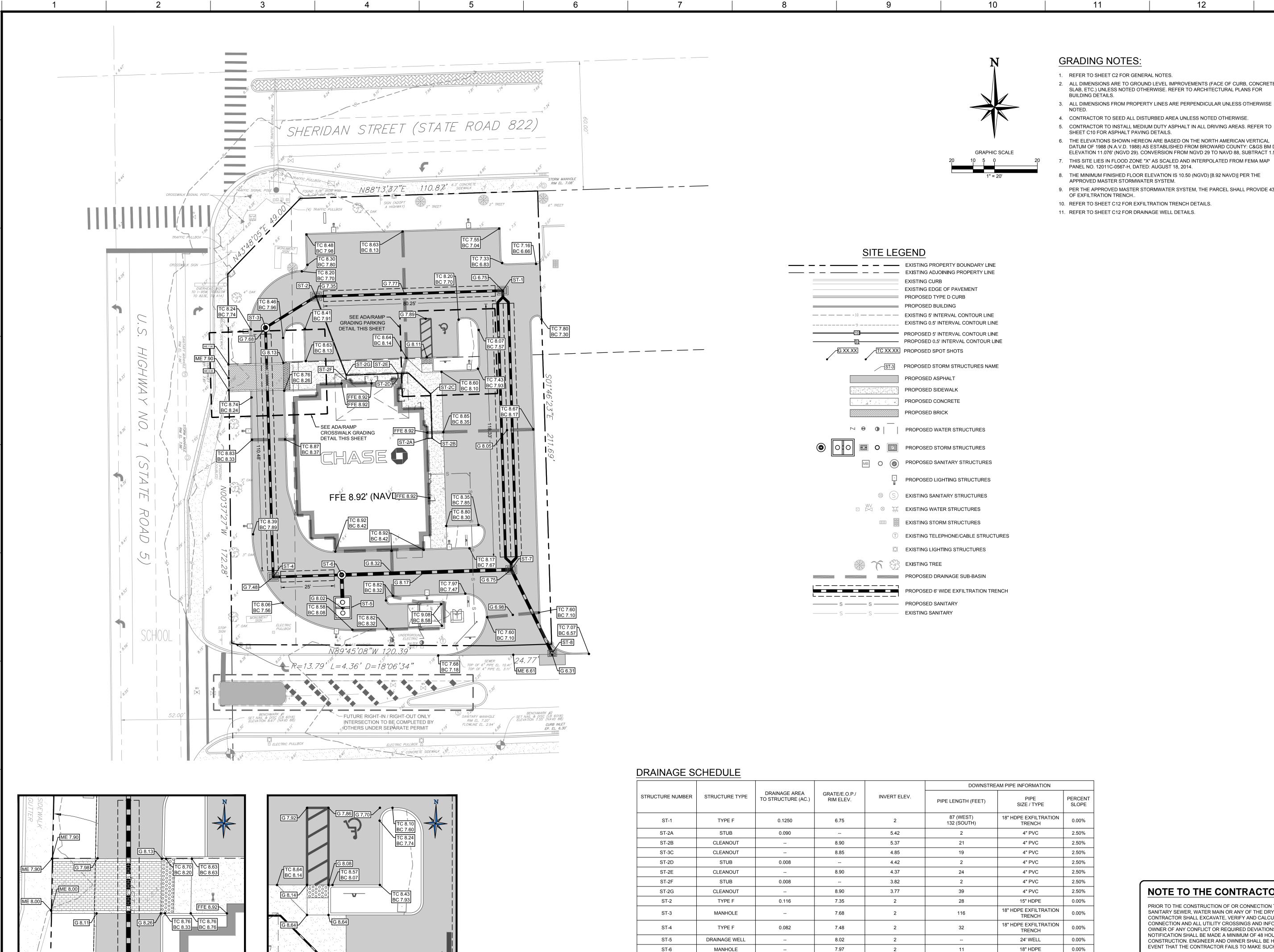
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL

SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL 33020

ENGINEER SEAL

SHEET TITLE SITE PLAN

JOB #:	JPM.19067
DATE:	05.12.2017
SCALE:	1"=20'
DRAWN BY:	CED
CHECKED BY:	ZHT



ADA RAMP/CROSSWALK GRADING DETAIL

User: CDUNBAR Plot Date/Time: May. 12, 17 - 17:18:14 Drawing: C:\Users\cdunbar\Desktop\Chase Hollywood\02 Drawings\20 Civil\10 Const Plans\JPM-19067-P-SITE.dwg ;C8 GRADING AND DRAINAGE PLAN

ADA RAMP/PARKING GRADING DETAIL

ST-7

ST-8

TYPE F

TYPE C

0.107

EXISTING

6.75

6.31

GRADING NOTES:

SLOPE

0.00%

2.50%

2.50%

2.50%

2.50%

2.50%

2.50%

2.50%

0.00%

0.00%

0.00%

0.00%

0.00%

0.00%

EXISTING

18" HDPE

EXISTING

79 (WEST)

43 (SOUTHEAST)

EXISTING

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
- 2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 3. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE
- 4. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- SHEET C10 FOR ASPHALT PAVING DETAILS. 6. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM BROWARD COUNTY: C&GS BM DISC:
- ELEVATION 11.076' (NGVD 29). CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'. 7. THIS SITE LIES IN FLOOD ZONE "X" AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.
- 8. THE MINIMUM FINISHED FLOOR ELEVATION IS 10.50 (NGVD) [8.92 NAVD)] PER THE APPROVED MASTER STORMWATER SYSTEM.
- 9. PER THE APPROVED MASTER STORMWATER SYSTEM, THE PARCEL SHALL PROVIDE 436 LF
- 10. REFER TO SHEET C12 FOR EXFILTRATION TRENCH DETAILS.
- 11. REFER TO SHEET C12 FOR DRAINAGE WELL DETAILS.

EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES. CLIENT

DOCUMENTS PREPARED BY CORESTATES. INC

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REVISIONS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL

SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL 33020

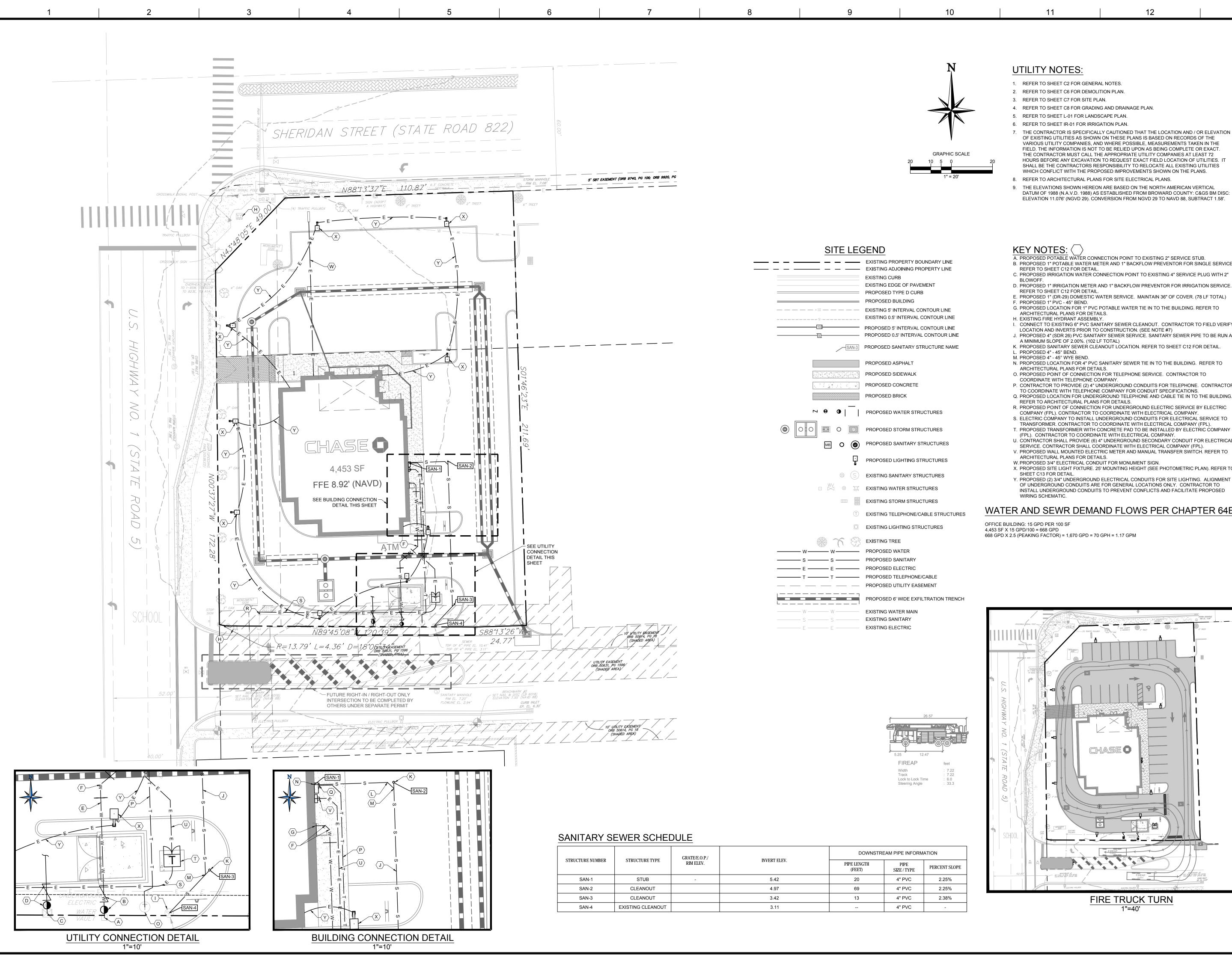
ENGINEER SEAL

SHEET TITLE GRADING AND DRAINAGE PLAN

JPM.19067 05.12.201 SCALE: DRAWN BY: CHECKED BY:

NOTE TO THE CONTRACTOR:

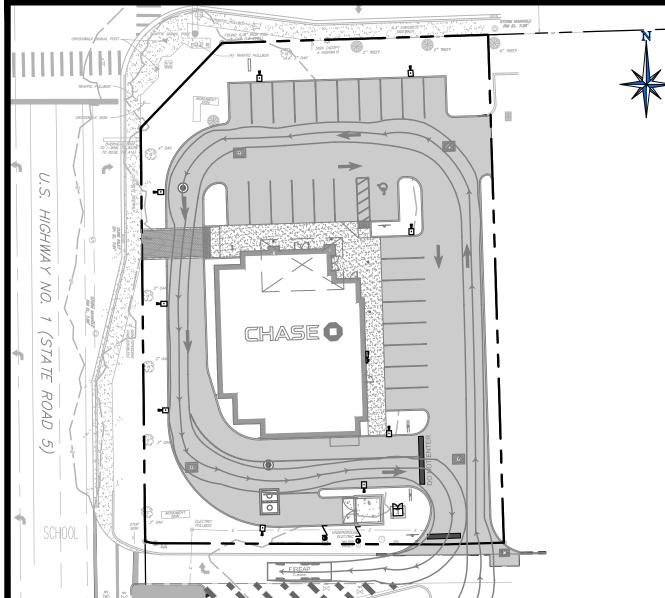
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



- 4. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- 7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72

- 9. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29). CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'.
- A. PROPOSED POTABLE WATER CONNECTION POINT TO EXISTING 2" SERVICE STUB.
- B. PROPOSED 1" POTABLE WATER METER AND 1" BACKFLOW PREVENTOR FOR SINGLE SERVICE.
- C. PROPOSED IRRIGATION WATER CONNECTION POINT TO EXISTING 4" SERVICE PLUG WITH 2"
- D. PROPOSED 1" IRRIGATION METER AND 1" BACKFLOW PREVENTOR FOR IRRIGATION SERVICE.
- E. PROPOSED 1" (DR-29) DOMESTIC WATER SERVICE. MAINTAIN 36" OF COVER. (78 LF TOTAL)
- G. PROPOSED LOCATION FOR 1" PVC POTABLE WATER TIE IN TO THE BUILDING. REFER TO
- I. CONNECT TO EXISTING 6" PVC SANITARY SEWER CLEANOUT. CONTRACTOR TO FIELD VERIFY
- J. PROPOSED 4" (SDR 26) PVC SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT
- K. PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C12 FOR DETAIL.
- N. PROPOSED LOCATION FOR 4" PVC SANITARY SEWER TIE IN TO THE BUILDING. REFER TO
- O. PROPOSED POINT OF CONNECTION FOR TELEPHONE SERVICE. CONTRACTOR TO
- P. CONTRACTOR TO PROVIDE (2) 4" UNDERGROUND CONDUITS FOR TELEPHONE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY FOR CONDUIT SPECIFICATIONS.
- Q. PROPOSED LOCATION FOR UNDERGROUND TELEPHONE AND CABLE TIE IN TO THE BUILDING.
- R. PROPOSED POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE BY ELECTRIC COMPANY (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
- TRANSFORMER. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY (FPL).
- (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY. U. CONTRACTOR SHALL PROVIDE (6) 4" UNDERGROUND SECONDARY CONDUIT FOR ELECTRICAL
- SERVICE. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (FPL).
- V. PROPOSED WALL MOUNTED ELECTRIC METER AND MANUAL TRANSFER SWITCH. REFER TO
- X. PROPOSED SITE LIGHT FIXTURE. 25' MOUNTING HEIGHT (SEE PHOTOMETRIC PLAN). REFER TO
- Y. PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR SITE LIGHTING. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATIONS ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATE PROPOSED

WATER AND SEWR DEMAND FLOWS PER CHAPTER 64E-6 F.A.C.



FIRE TRUCK TURN

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CLIENT

REVISIONS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR

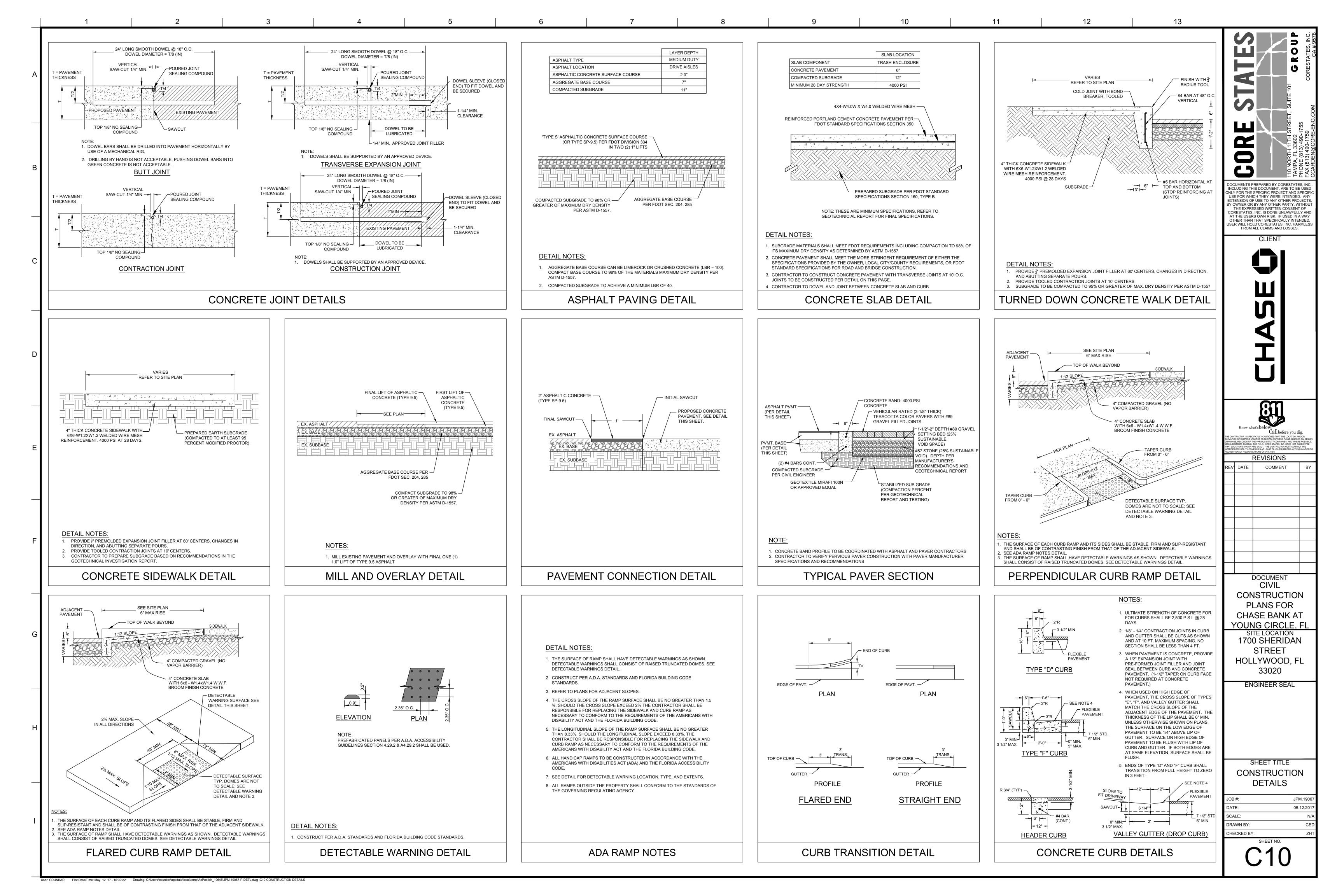
CHASE BANK AT YOUNG CIRCLE, FL SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL

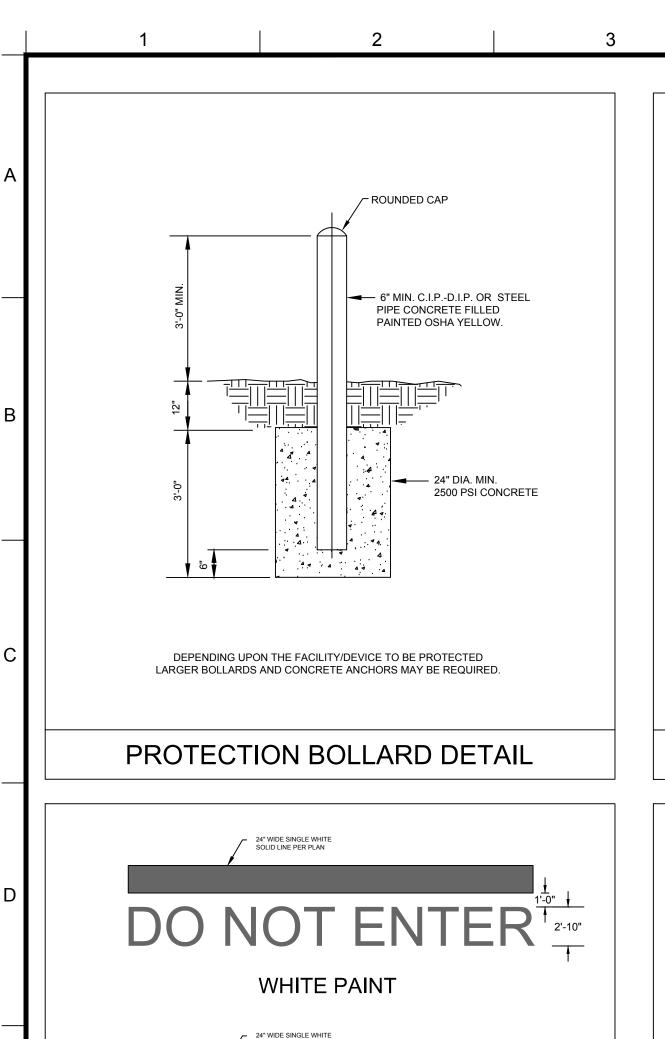
ENGINEER SEAL

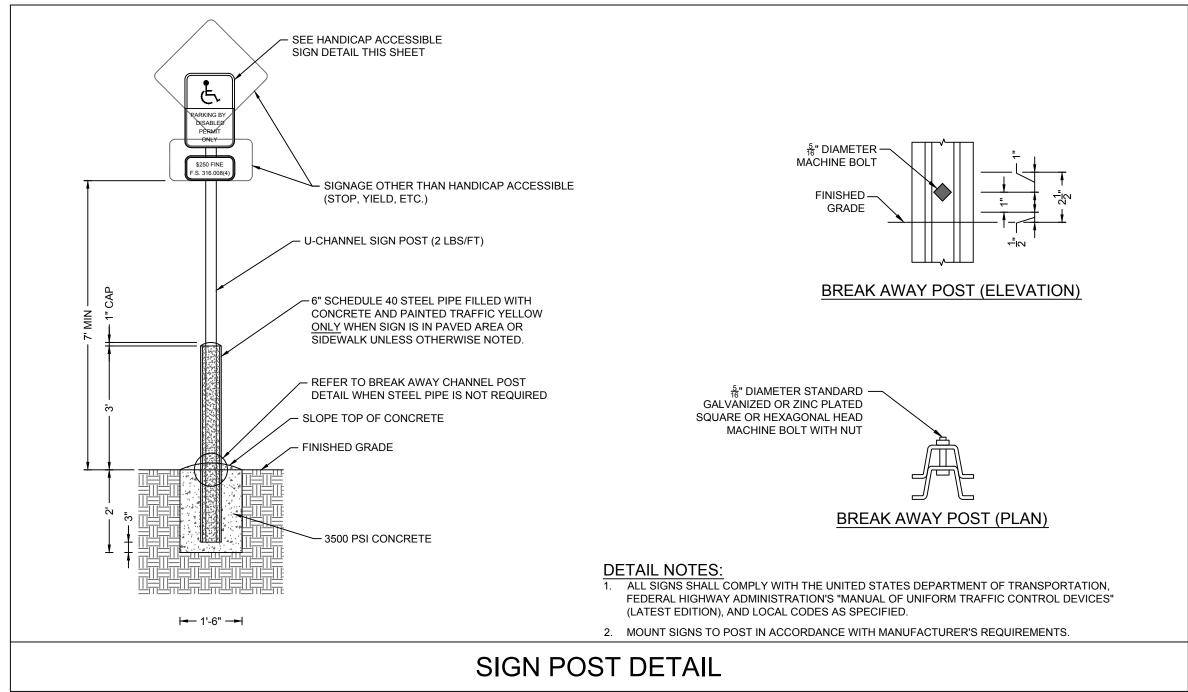
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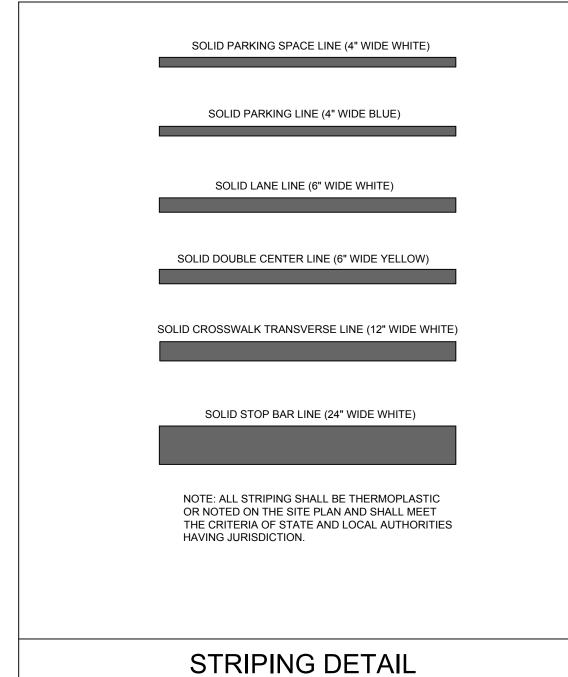
SHEET TITLE UTILITY PLAN

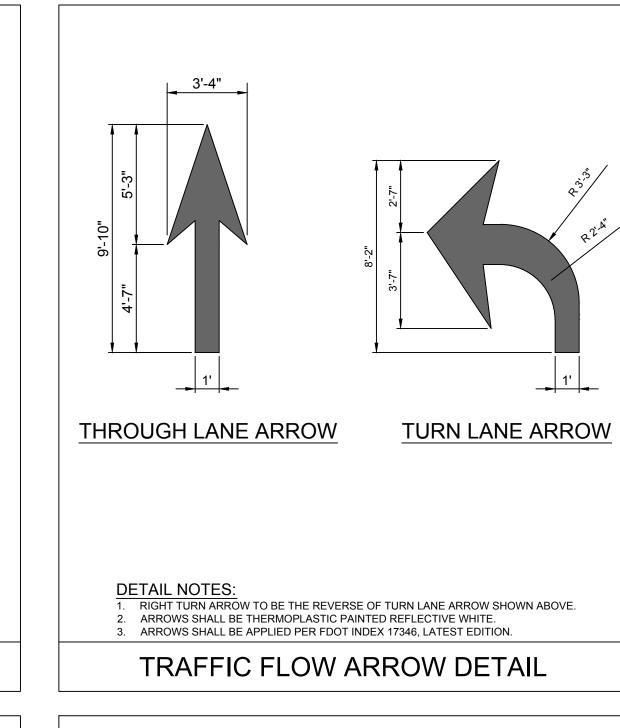
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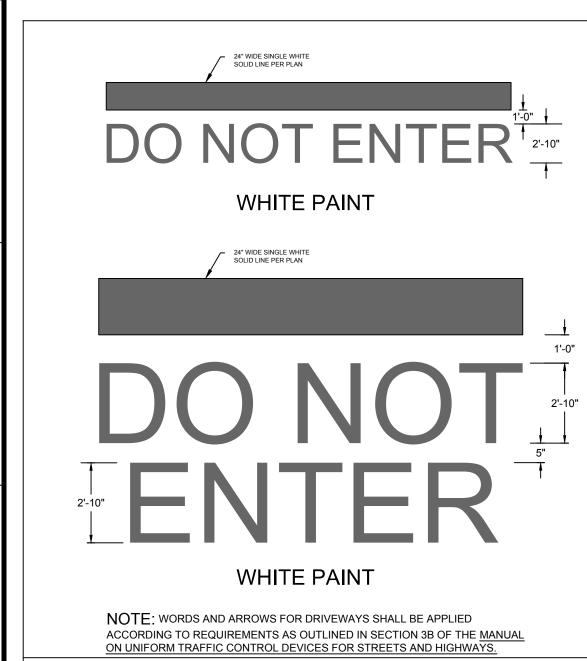




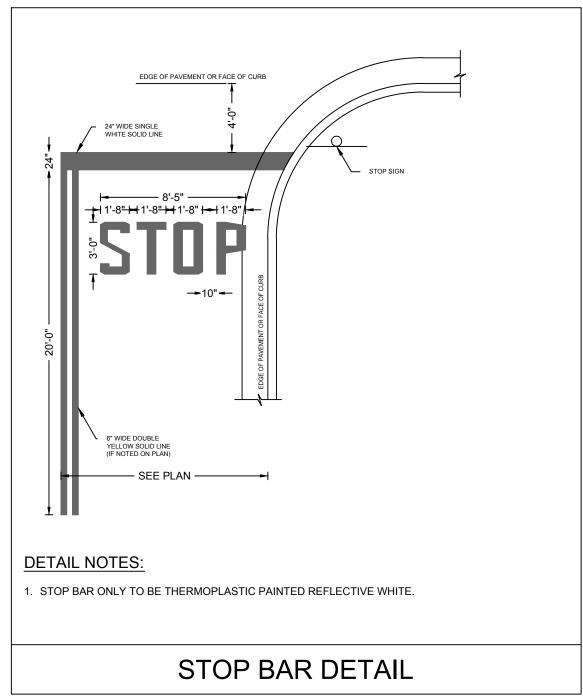


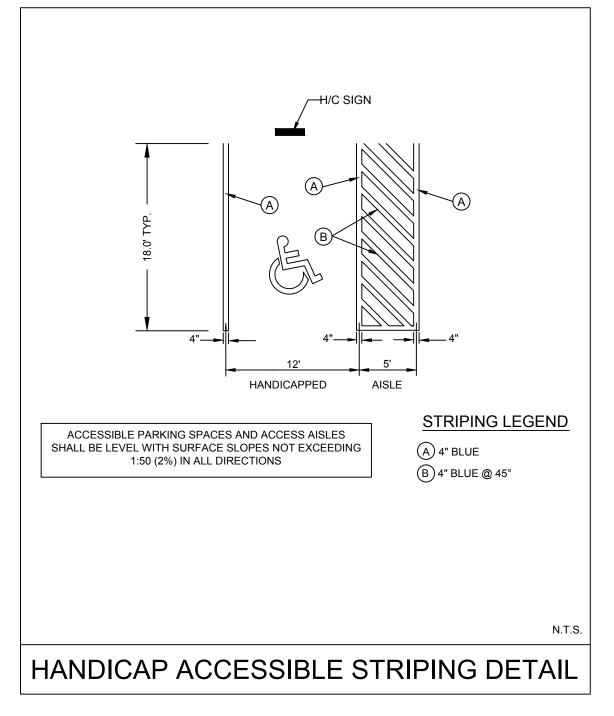


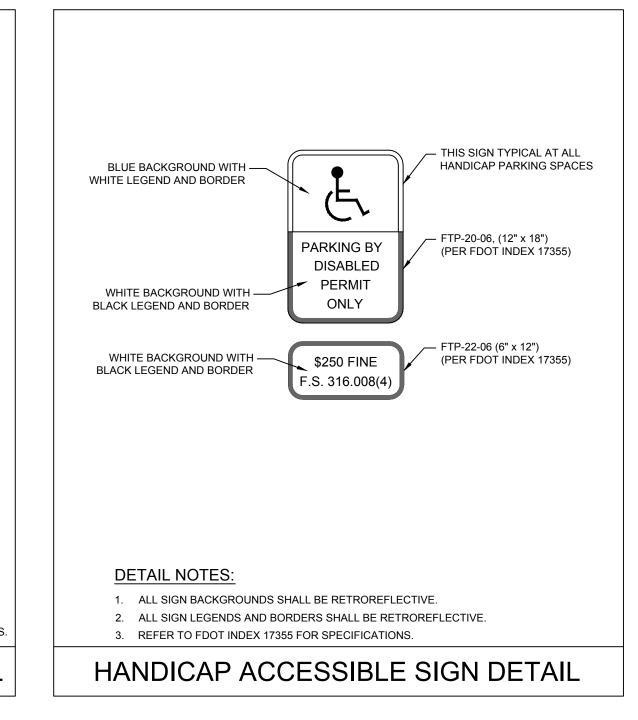


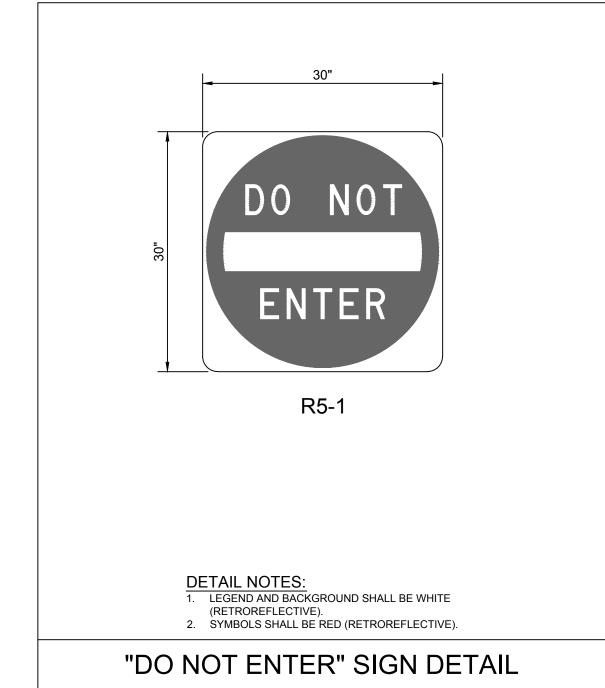


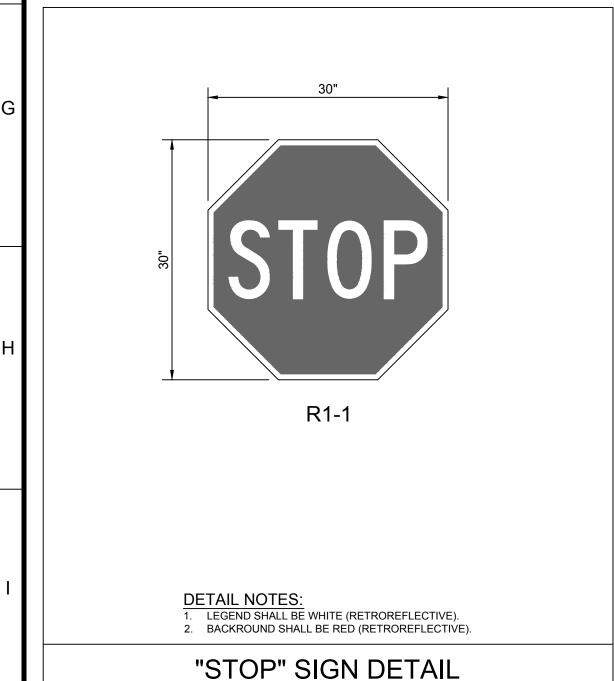
DO NOT ENTER DETAIL

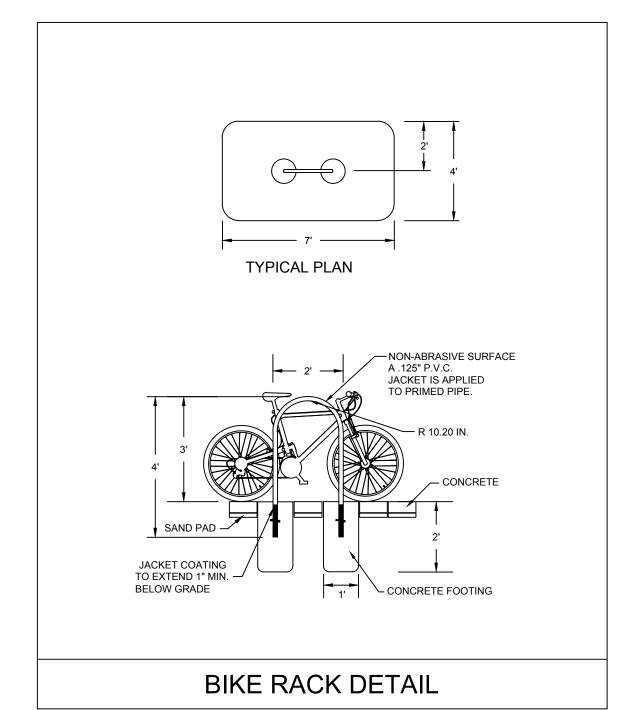




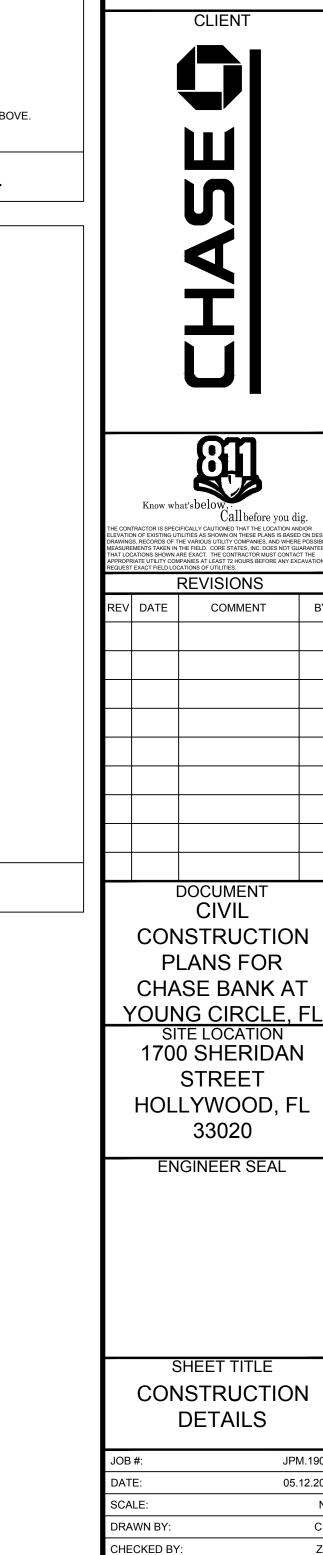












05.12.2017

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OCUMENTS PREPARED BY CORESTATES, INC

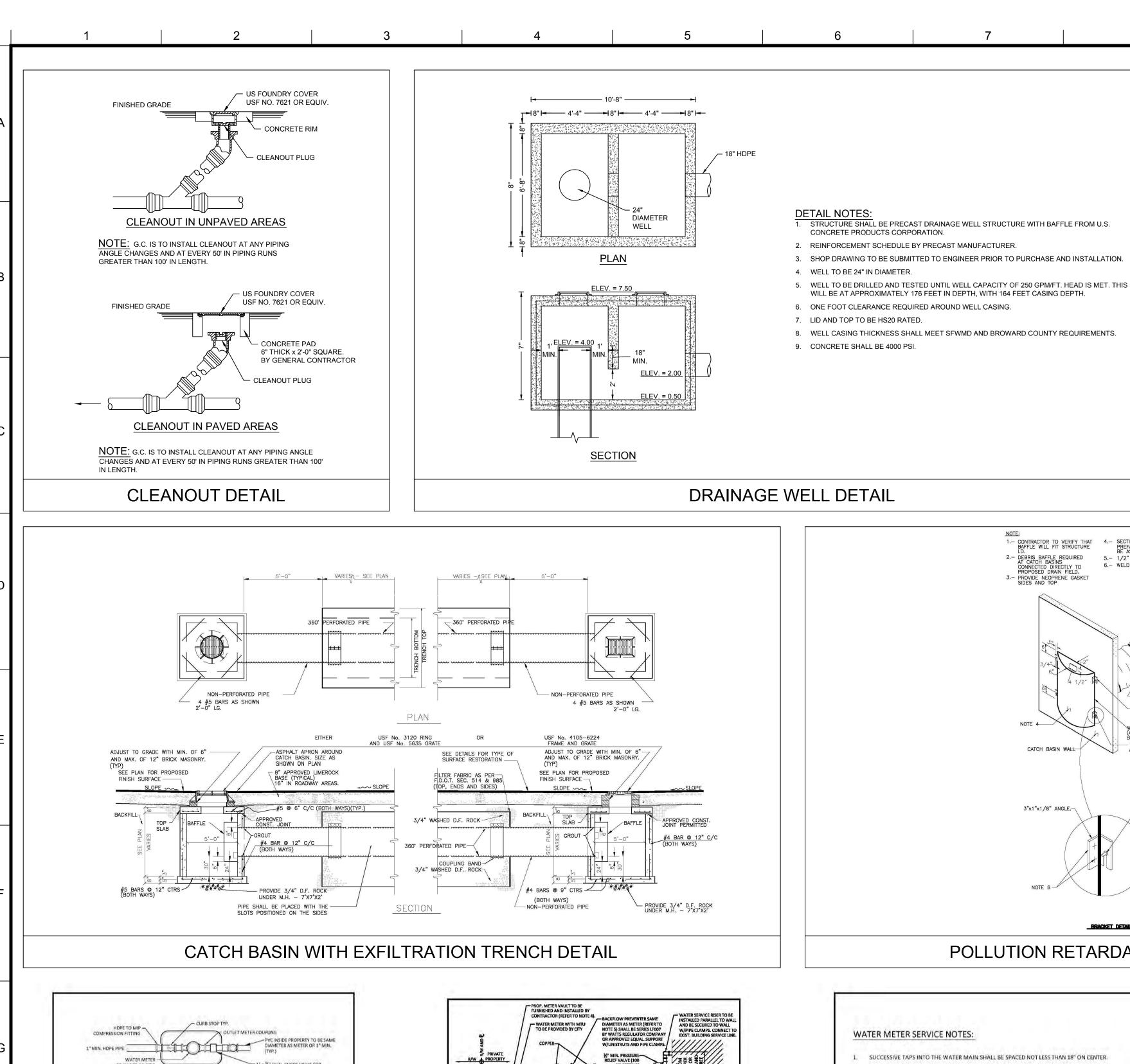
INCLUDING THIS DOCUMENT, ARE TO BE USED

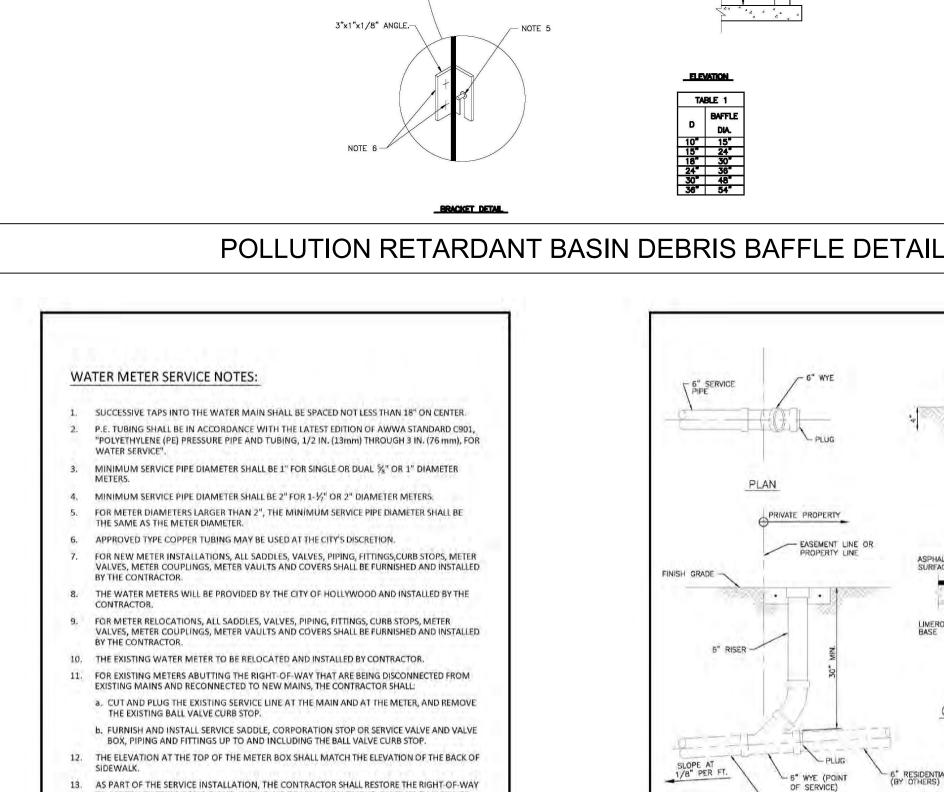
ONLY FOR THE SPECIFIC PROJECT AND SPECIF USE FOR WHICH THEY WERE INTENDED. AN

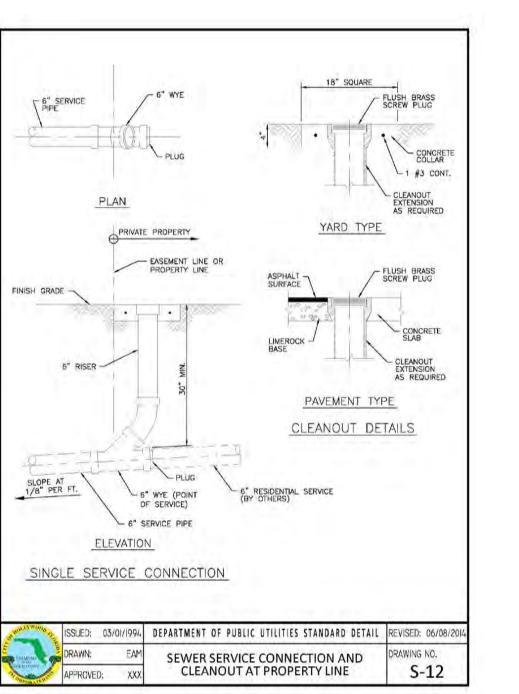
EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU

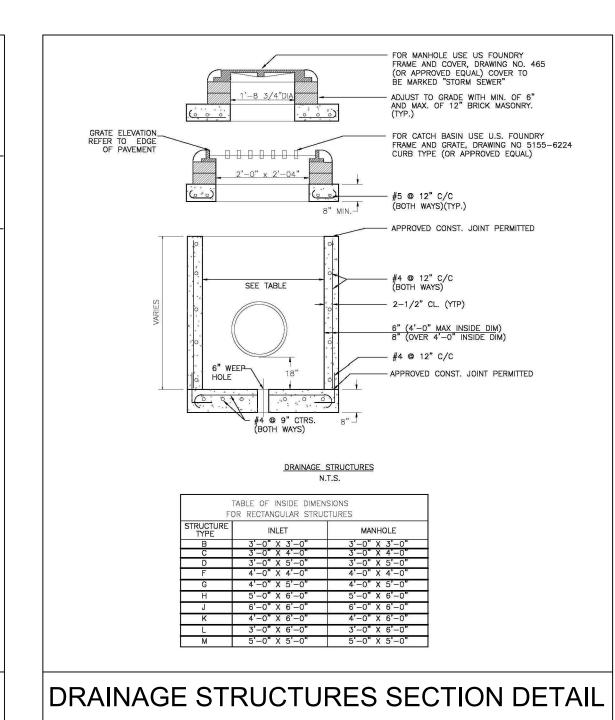
THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED,

USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.









LOWEST PAVEMENT

ELEVATION

ALLOWED: 6.17

- TYPICAL PAVEMENT SECTION. SEE DETAIL.

PEFORATED

- 6' TRENCH WIDTH -

2. ALL EXFILTRATION TRENCH SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH

EXFILTRATION TRENCH DETAIL

1. BALLAST ROCK SHALL BE FROM FRESH WATER, WASHED AND FREE OF

3. EACH CATCH BASIN MUST BE BAFFLED PRIOR TO INSTALLATION OF THE

ELEVATION VARIES

COMPLETELY

NON-WOVEN GEOTEXTILE

TRENCH WITH ADS 601

(OR EQUAL) MEETING

AASHTO M288 CLASS 2

SHWL 2.0

DETAIL NOTES:

DELETERIOUS MATTER.

PERFORATED PIPE.

SECTION OF A.C.M.P. <u>CUT IN HALF</u> OR EQUIVALENT PREFABRICATED FIBERGLASS, BAFFLE DIAMETER TO BE AS PER TABLE 1

5.- 1/2" GALVANIZED LAG BOLT IN LEAD SHIELD

6.- WELD OR 2-1/4" THRU BOLTS.

-3"x1"x1/8" ANGLE

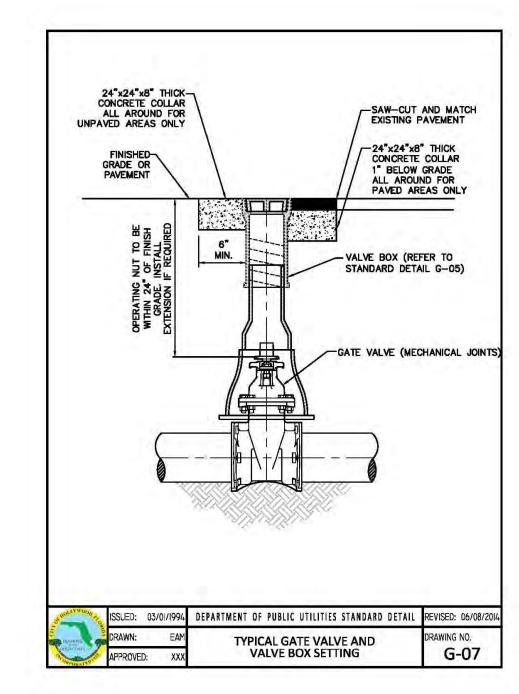
CONNECTION POINT TO A STRUCTURE.

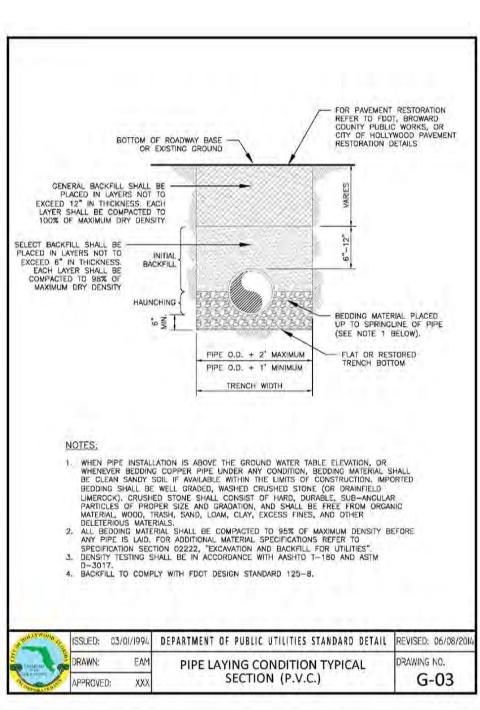
D = PIPE DIAMETER-

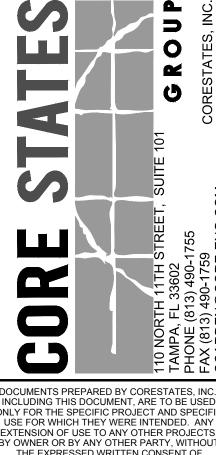
TABLE 1

ENVELOPE

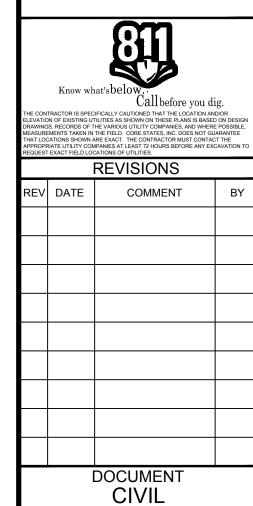








CORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES
FROM ALL CLAIMS AND LOSSES. CLIENT



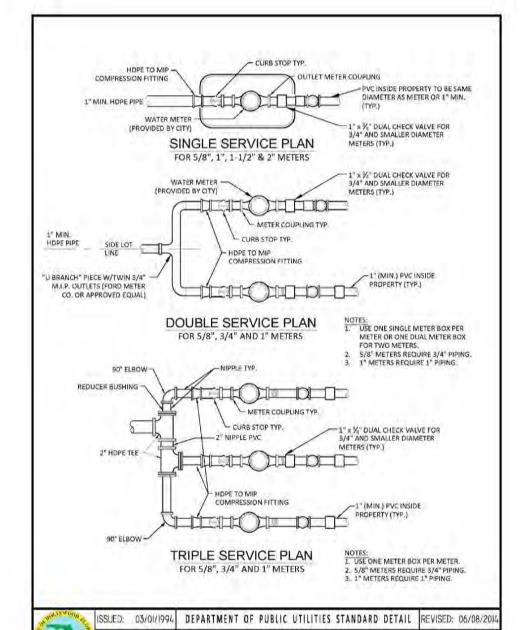
CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL

ENGINEER SEAL

33020

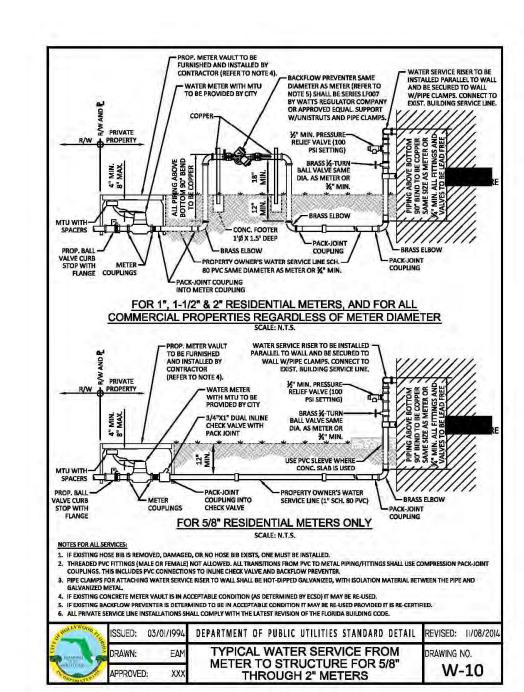
SHEET TITLE CONSTRUCTION **DETAILS**

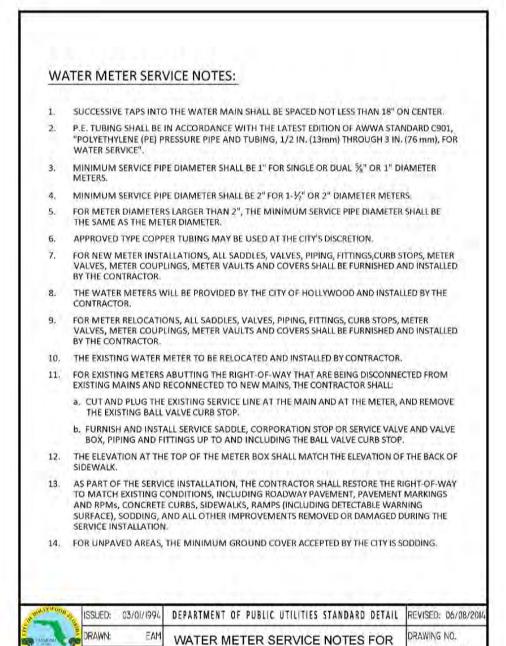
JPM.1906 05.12.201 SCALE: DRAWN BY: CHECKED BY:



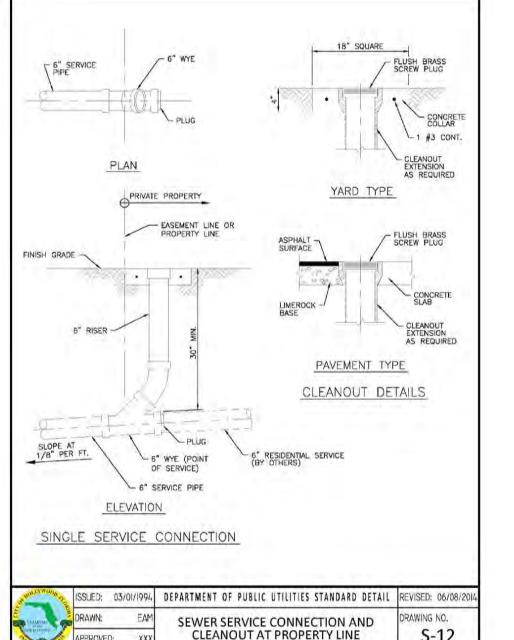
2" METER INSTALLATION

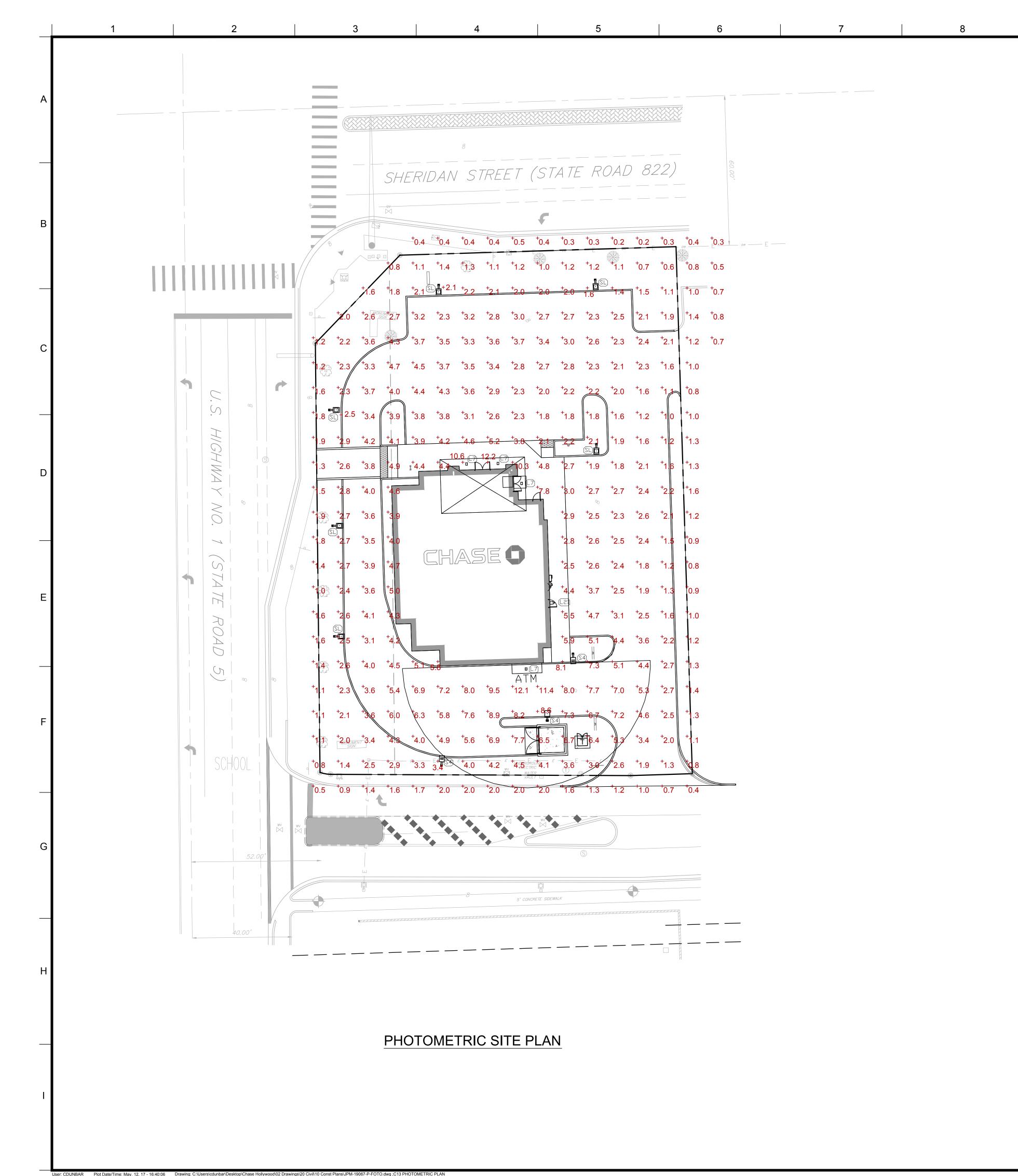
W-06

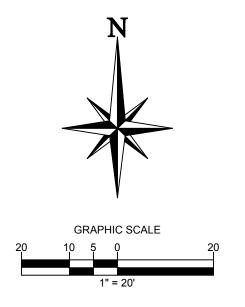


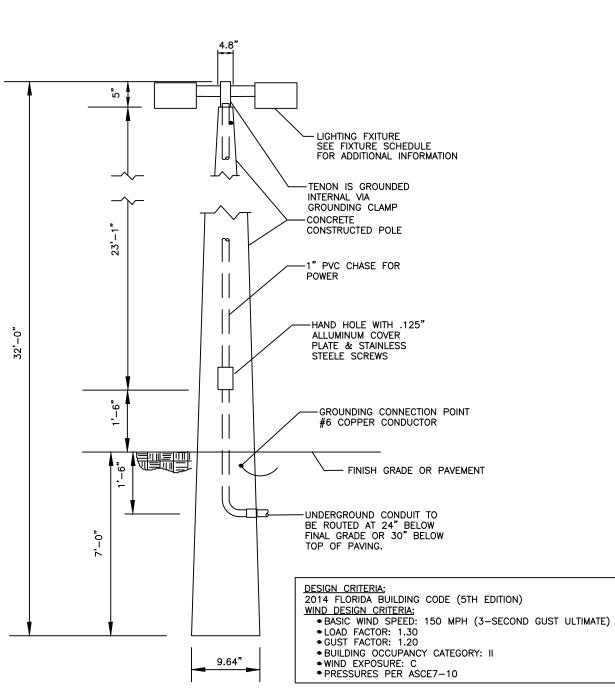


5/8" THROUGH 2" METERS









LIGHT FIXTURE / POLE DETAIL

STATISTICS						
DESCRIPTION	SYMBOL	AVGERAGE	MAXIMUM	MINIMUM	MAX:MIN	AVG:MIN
BUILDING ATM	+	6.7 FC	14.5 FC	2.6 FC	5.6:1	2.6:1
PARKING LOT	+	3.0 FC	13.9 FC	0.2 FC	N/A	N/A

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	SL	6	EANB_E4740_0_E4 4000K	EVOLVE LED AREA EANB, TYPE IV COORDINATE MOUNTING BRACKET WITH POLE	LED	EANB_E4740	ABSOLUTE	1.00	98
III	S4	3	EANB_E3740_0_E4 4000K	EVOLVE LED AREA EANB, TYPE III COORDINATE MOUNTING BRACKET WITH POLE	LED	EANB_E3740	ABSOLUTE	1.00	98
	L7	4	CAN-227-PS-**-03- C-UL-43K (350mA) SCALED FROM CAN-227-PS-RM- 03-C-UL-525 BXCR0A03C-U (525mA)	SCALED FROM 30 LED EDGE PETROLEUM SYMMETRIC RECESSED CANOPY 525mA	SCALED FROM THIRTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP	CAN-227-PS- 03-C-UL- 43K- SCALED.IES	ABSOLUTE	0.75	38
Î	L21	1	WD14D4/LED- 3500K	WALL DIRECTOR LED DIE-CAST ALUMINUM HOUSING AND LENS FRAME. FLAT GLASS LENS. LED EMITTER DECK INCLUDES CONSTANT CURRENT LEDS, HEATSINKS, AND REFLECTORS. ONE 75 WATT TRP DRIVER.	20 THREE LED MODULES. CONSTANT CURRENT 3500K	WD14D4-I3K.IES	ABSOLUTE	0.75	71

NOTE TO THE CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORPUSATION ON THE STREET, SUITE 101

TAMPA, FL 33602

PHONE (813) 490-1755

DOCUMENTS PREPARED BY CORESTATES, INC INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIF USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

Know what's below.

Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESI DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBL MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTRACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION

REVISIONS

EV DATE COMMENT BY

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK AT
YOUNG CIRCLE, FL
SITE LOCATION

SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

SHEET TITLE
PHOTOMETRIC
PLAN

 JOB #:
 JPM.19067

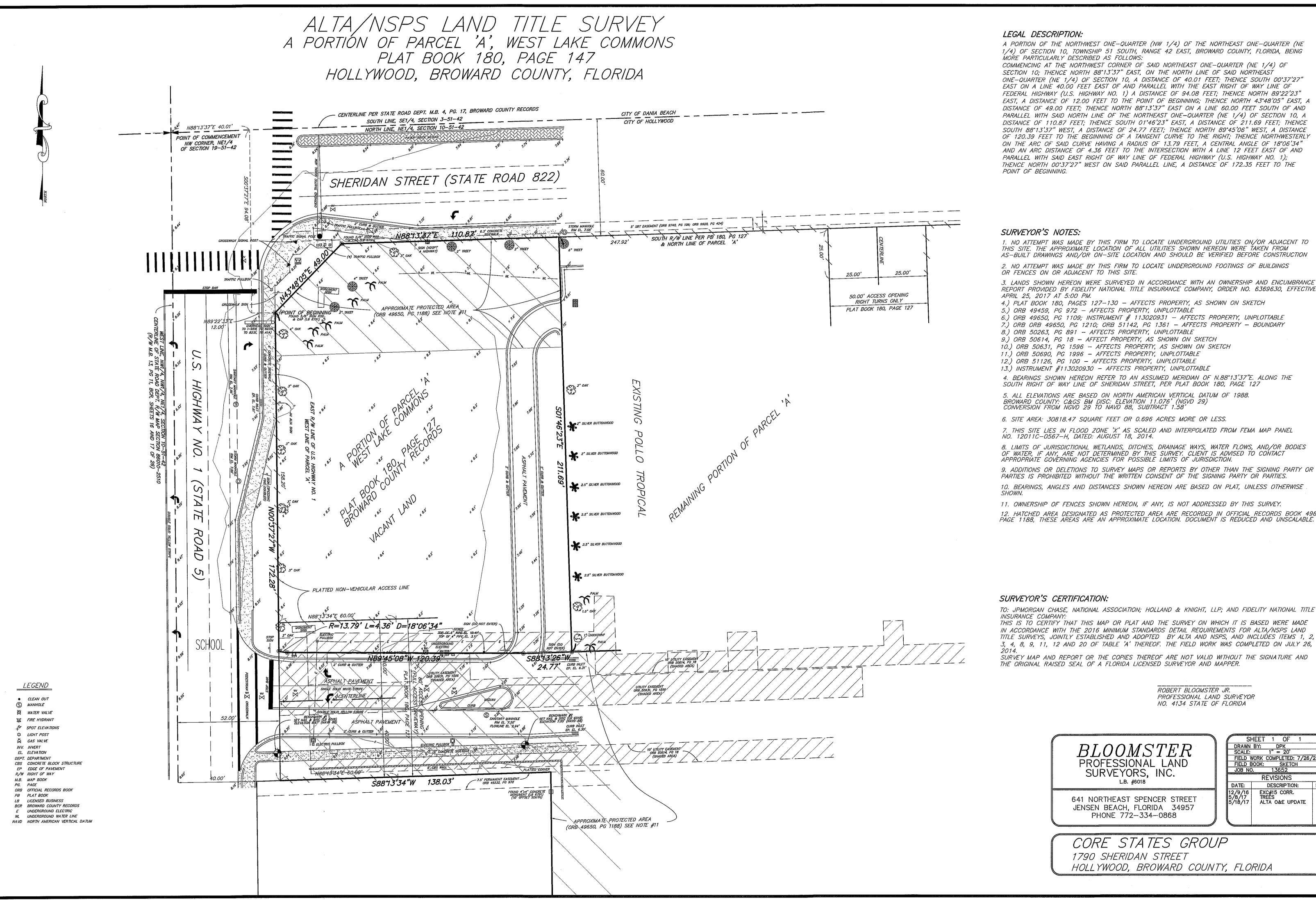
 DATE:
 05.12.2017

 SCALE:
 1"=20'

 DRAWN BY:
 CED

 CHECKED BY:
 ZHT

C13



LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10: THENCE NORTH 88"13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET; THENCE SOUTH 00'37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 94.08 FEET; THENCE NORTH 89'22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET; THENCE NORTH 88'13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET: THENCE SOUTH 01'46'23" EAST. A DISTANCE OF 211.69 FEET: THENCE SOUTH 88'13'37" WEST. A DISTANCE OF 24.77 FEET: THENCE NORTH 89'45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18'06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION

2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.

3. LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25. 2017 AT 5:00 PM.

- 4.) PLAT BOOK 180, PAGES 127-130 AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 5.) ORB 49459, PG 972 AFFECTS PROPERTY, UNPLOTTABLE
- 6.) ORB 49650, PG 1109; INSTRUMENT # 113020931 AFFECTS PROPERTY, UNPLOTTABLE
- 7.) ORB ORB 49650, PG 1210; ORB 51142, PG 1361 AFFECTS PROPERTY BOUNDARY
- 8.) ORB 50263, PG 891 AFFECTS PROPERTY, UNPLOTTABLE 9.) ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
- 10.) ORB 50631, PG 1596 AFFECTS PROPERTY, AS SHOWN ON SKETCH
- 11.) ORB 50690, PG 1996 AFFECTS PROPERTY, UNPLOTTABLE
- 12.) ORB 51126, PG 100 AFFECTS PROPERTY, UNPLOTTABLE
- 13.) INSTRUMENT #113020930 AFFECTS PROPERTY, UNPLOTTABLE
- 4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37"E. ALONG THE SOUTH RIGHT OF WAY LINE OF SHERIDAN STREET, PER PLAT BOOK 180, PAGE 127
- 5. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29) CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'
- 6. SITE AREA: 30818.47 SQUARE FEET OR 0.696 ACRES MORE OR LESS.
- 7. THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.
- 8. LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
- PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 10. BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE
- 11. OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.
- 12. HATCHED AREA DESIGNATED AS PROTECTED AREA ARE RECORDED IN OFFICIAL RECORDS BOOK 49650, PAGE 1188, THESE AREAS ARE AN APPROXIMATE LOCATION. DOCUMENT IS REDUCED AND UNSCALABLE.

SURVEYOR'S CERTIFICATION:

TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26,

SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

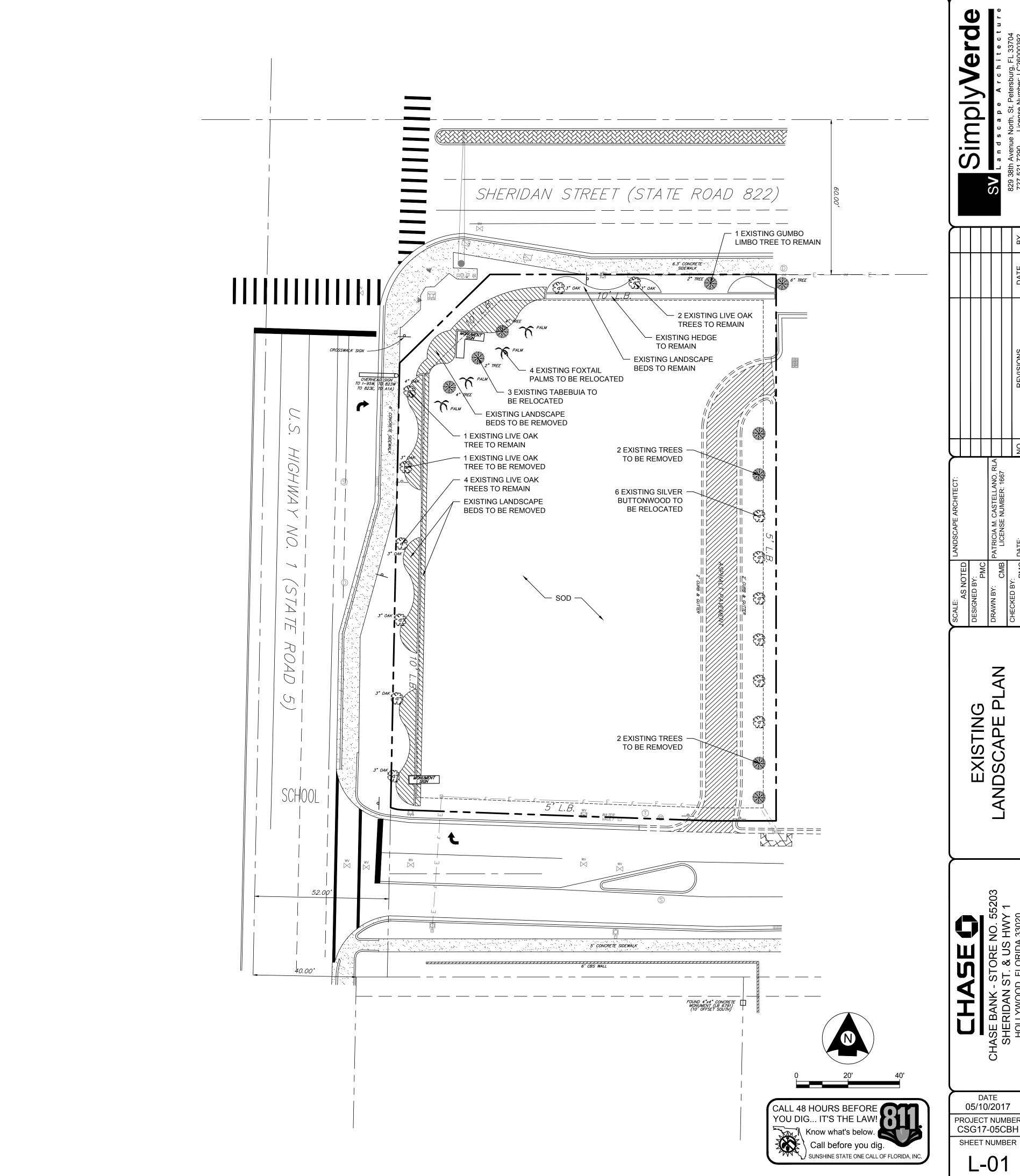
> ROBERT BLOOMSTER JR. PROFESSIONAL LAND SURVEYOR NO. 4134 STATE OF FLORIDA

BLOOMSTERPROFESSIONAL LAND SURVEYORS, INC. L.B. #6018

641 NORTHEAST SPENCER STREET JENSEN BEACH, FLORIDA 34957 PHONE 772-334-0868

CORE STATES GROUP

1790 SHERIDAN STREET HOLLYWOOD, BROWARD COUNTY, FLORIDA



EXISTING LANDSCAPE PLAN

DATE 05/10/2017

PROJECT NUMBER CSG17-05CBH SHEET NUMBER

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - 146/50 = 3 TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - 209/50 = 4 TREES

PROVIDED: 5 EXISTING TREES

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,562 SF X .25 = 3,891 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

PROVIDED: 1 TREE PER ISLAND AND 3,294 SF OF LANDSCAPE AREA (VARIANCE REQUSTED), 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PERVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY.

MINIMUM OF ONE TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS.

REQUIRED: 7,664 SF/1000SF = 7 TREES AND 7,664 SF X .25 = 1,916 SF

PROVIDED: 7 TREES AND 66% OF PERVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD).

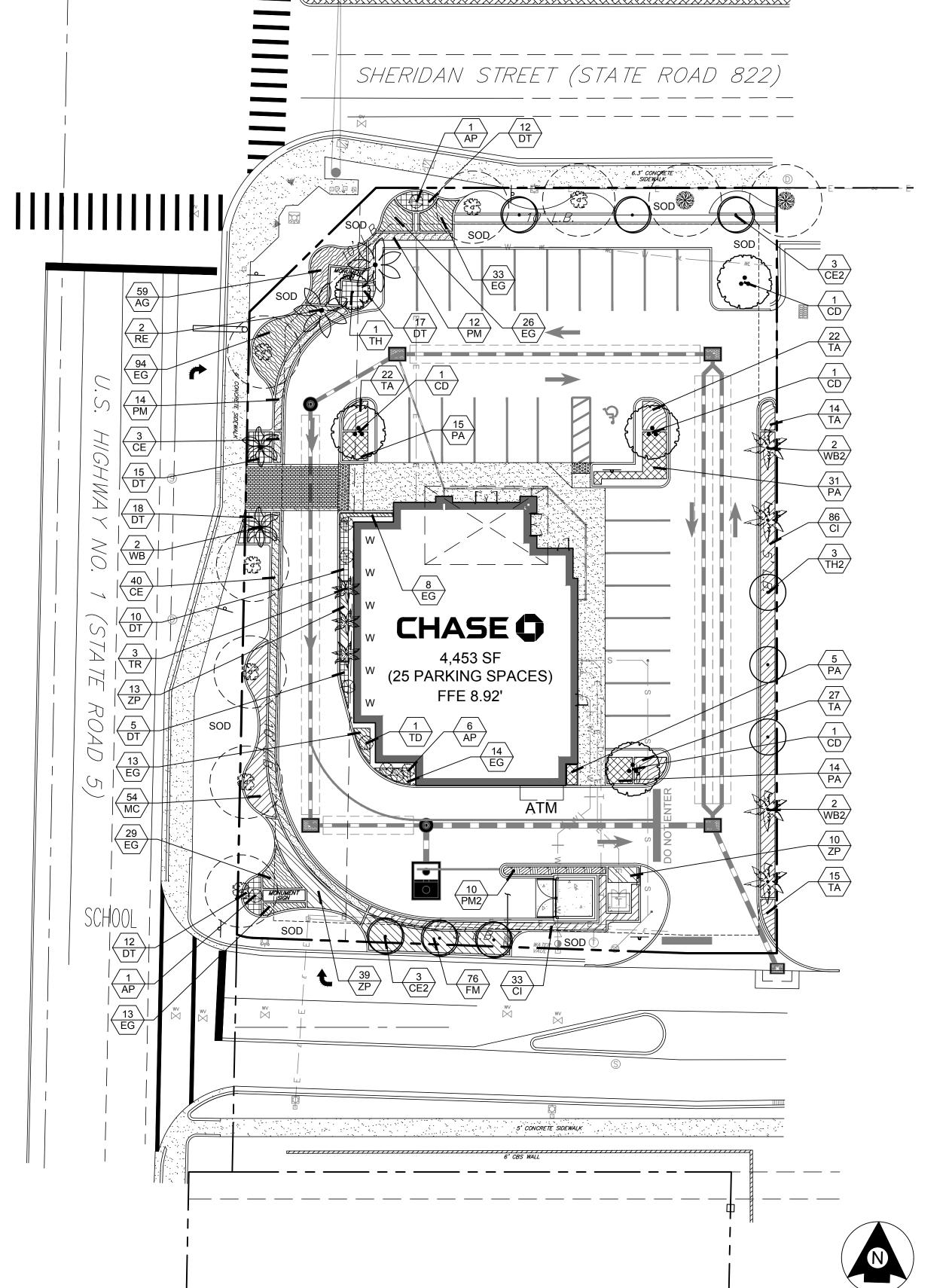
SPECIFICATIONS AND MINIMUM REQUIREMENTS

- 1. ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
- 2. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL
- 3. THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:
- REQUIRED: 11-20 TREES = 3 REQUIRED
- PROVIDED: 6 SPECIES OF TREES AND PALMS
- 4. PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
- 5. ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12' IN HEIGHT.
- 6. A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.
- REQUIRED: 19 X .60 = 11 TREES AND 554 X .50 = 277 SHRUBS
- PROVIDED: 14 TREES AND 278 SHRUBS
- 7. A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES.

 REQUIRED: 19 X .50 = 10 OR 20% = 4
- PROVIDED: 4 RELOCATED FOXTAIL PALMS
- 8. THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR STAGGERED).
- 9. SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO LAY THE SOD.
- 10. GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
- 11. PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
- 12. AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCCA OR EUCALYPTUS MULCH IS RECOMMENDED.
- 13. CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

- 1. LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- 2. WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
- 3. PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
- 4. TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/3 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
- 5. ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
- 6. TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE REQUIREMENTS.
- 7. IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
- 8. APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



is document, together with the concepts and designs presented herein, as ar afted by Charles Bailey, Creative CAD Source, 561.628.9822

E BANK - STORE NO. 5

DATE
05/10/2017
PROJECT NUMBER
CSG17-05CBH
SHEET NUMBER

CALL 48 HOURS BEFORE

Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC

L-02

РМ	26	Podocarpus macrophyllus / Podocarpus
PM2	10	Podocarpus macrophyllus / Podocarpus

Zamia pumila / Coontie

GROUND COVERS	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	AG	59	Arachis glabrata `Ecoturf` / Ecoturf Perennial Peanut	1 GAL., FULL	18" O.C.	NO	MEDIUM
	EG	230	Evolvulus glomeratus `Blue My Mind` / Blue My Mind Blue Daze	1 GAL., FULL	18" O.C.	NO	MEDIUM
	TA	100	Trachelospermum asiaticum 'minima variegata' / Variegated Minima Asiatic Jasmine	1 GAL., FULL	18" O.C.	NO	YES

3 GAL., MIN. 14" x 14", FULL

7 GAL., MIN. 42" HT., FULL

15 GAL., MIN. 6`-7` HT., FULL

3 GAL., MIN. 14"-16" x 14"-16", FULL 24" O.C.

24" O.C.

30" O.C.

30" O.C.

NO

NO

HIGH

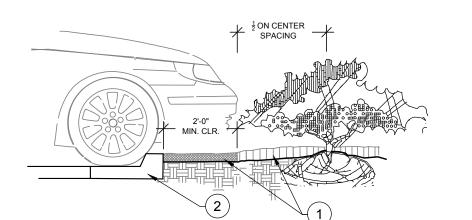
HIGH

LANDSCAPE SPECIFICATION REQUIREMENTS:

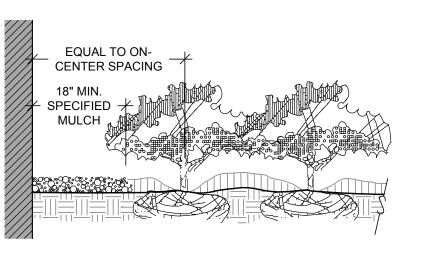
- 1. ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
- 2. ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL
- 3. ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM. 4. ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES.
- 5. ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM 'FLORATAM').

Plumbago auriculata 'Imperial Blue' / Imperial Blue Plumbago

PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.

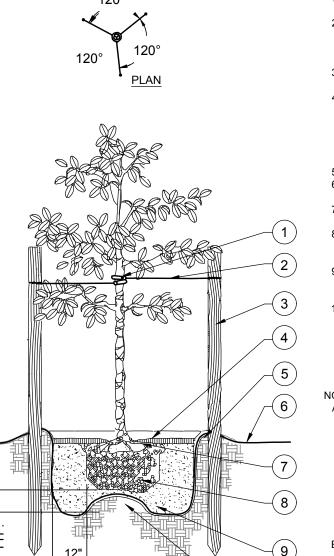


1. INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE. 2. CURB OR PARKING LOT EDGE, BY OTHERS.



SHRUBS - EQUAL TO ON-CENTER SPACING OF ADJACENT SHRUBS. PALMATE PALMS - AT LEAST 8 FEET FROM THE BUILDING. PINNATE PALMS - AT LEAST 18 FEET FROM THE BUILDING. TREES - AT LEAST THE DIAMETER OF THE CANOPY (AS SHOWN GRAPHICALLY ON THE PLANS) FROM THE BUILDING. INSTALL SPECIFIED MULCH: 18" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

Plantings Adjacent to Buildings



1. PROTECT TREE TRUNK WITH BLACK RUBBER HOSE. 2. #10 GAUGE WIRE (NOTE FOR MULTI-TRUNK TREES, USE

- SEPARATE GUYS TO STRONGEST TRUNKS AT CENTER OF EACH). THREE 2" X 8' LODGE POLES SPACE EVENLY AROUND TREE. 4. 3" MINIMUM OF MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR
 - TREES SHALL BE 8' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. SOIL BERM TO HOLD WATER. 6. FINISHED GRADE (SEE GRADING
- 7. TOP OF ROOTBALL MIN. 2" ABOVE FINISHED GRADE B. B & B OR CONTAINERIZED (SEE
- SPECIFICATIONS FOR ROOT BALL REQUIREMENTS). PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE
- NOTES) 10. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- NOTES: A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. IF THE CONTRACTOR ENCOUNTERS "POOR DRAINAGE CONDITIONS" THEN THE SURFACE OF THE TREE ROOTBALL SHALL BE 4"-6" ABOVE SURROUNDING GRADE WITH A TOPSOIL MIX GRADUALLY MOUNTED TO MEET THE TOP OF THE

1. TOP OF SHRUB ROOTBALLS TO

A UNIFORM MASS/HEIGHT

EXCAVATE ENTIRE BED

5. FINISHED GRADE (SEE GRADING

6. PREPARED PLANTING SOIL AS

SPECIFIED. (SEE LANDSCAPE

NOTES) NOTE: WHEN GROUND-

COVERS AND SHRUBS USED IN

AMENDED WITH PLANTING SOIL

NTS

MASSES, ENTIRE BED TO BE

7. SCARIFY ROOTBALL SIDES AND

MIX AS SPECIFIED.

3" MINIMUM MULCH AS

OF ROOTBALL.

SPECIFIED.

BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP

PRUNE ALL SHRUBS TO ACHIEVE

SPECIFIED FOR GROUNDCOVER

- ROOTBALL. . FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY
- . "TREE SAVER" ANCHORING SYSTEM MAY BE SUBSTITUTED FOR WOOD STAKING SYSTEM UPON APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.

Small Tree Planting

ALL TREES SHALL BE PLUMB VERTICALLY

BEST FACE OF SHRUB/ -GROUNDCOVER TO FACE

REFER TO PLANT -

AT BED EDGE.

ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS

OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

Shrub/Groundcover Planting

PLAN/SECTION

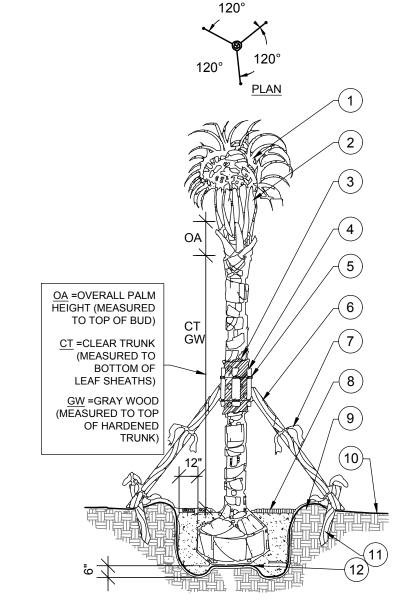
FRONT OF PLANTING BED.

SCHEDULE FOR SPACING. MAINTAIN 12" DEAD ZONE -

WITHIN A TOLERANCE OF THREE DEGREES,

UNLESS OTHERWISE DIRECTED BY OWNER'S

(Less Than 14') NTS



- MINIMUM OF NINE (9) GOOD PALM
- 2. PRUNE AND TIE FRONDS WITH HEMP TWINE. CABBAGE PALMS TO BE SELECTIVELY "HURRICANE CUT", LEAVING 3-4 SMALLER, TRIMMED

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AND

- FRONDS. 3. 5 LAYERS OF BURLAP TO PROTECT 4. FIVE 2" X 4" X 18" WOOD BATTENS. 5. SECURE BATTENS WITH 2- 3/4" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL
- BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING. 6. (3) 2"X4"X8' SUPPORTS, NAIL (DRILL AND NAIL IF NECESSARY) TO BATTENS
- AND 2" X 4" STAKES. FLAG AT MIDPOINT AND AT BASE. . PROVIDE FLAGGING AT MIDPOINT AND
- 8. 3" SPECIFIED MULCH. 9. BERM SOIL TO HOLD WATER.
- 10. FINISH GRADE 11. 2X4X24" (MIN) P.T. WOOD STAKES (TYP) NAIL TO SUPPORT POLES

12. PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES).

- A. WASHINGTONIA PALMS SIMILAR W/ BOOTS INTACT. B. SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK.
- C. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY . CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. IF THE CONTRACTOR ENCOUNTERS "POOR DRAINAGE CONDITIONS" THEN THE
- SURFACE OF THE TREE ROOTBALL SHALL BE 4"-6" ABOVE SURROUNDING GRADE WITH A TOPSOIL MIX GRADUALLY MOUNTED TO MEET THE TOP OF THE ROOTBALL.

ALL PALMS SHALL BE PLUMB VERTICALLY WITHIN A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

Palm Planting

SECTION

WIDTH VARIES - SEE PLANS

PLANTER ISLAND NOTES

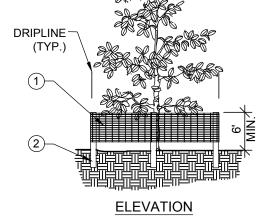
- 1. CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE
- 2. <u>CLEAR ZONE:</u> 24" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB.
- CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS. 3. 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED
- PLANTING MIX.

RECOMMENDATIONS PRIOR TO PLANTING.

PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP). CONTRACTOR SHALL ASSURE PERCOLATION OF ALL ISLANDS/MEDIANS PRIOR TO ANY PLANTING. CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE

Planted Parking Lot Islands/Medians



PLAN VIEW

CONNECTION

CORNER

BARRIER DETAIL

CONNECTION

PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION. 8' TALL METAL "T" POSTS OR 2" x 2" X 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE. **INSTALLATION NOTES:**

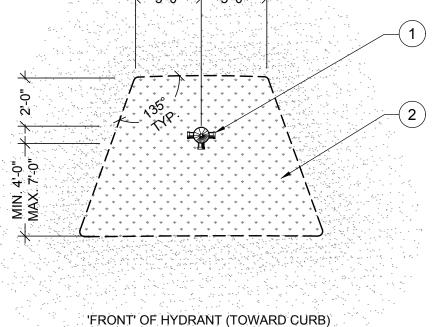
1. 6'H "PERIMETER PLUS" CONSTRUCTION FENCE

REPRESENTATIVE APPROVED EQUAL. SUBMIT

BY CONWED PLASTICS OR OWNER'S

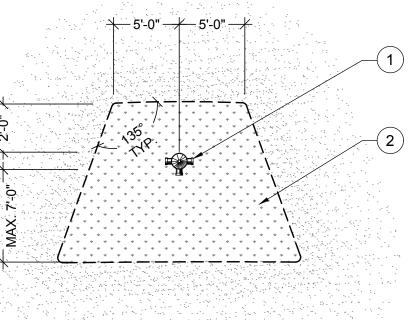
- A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT
- LEAST 2' INTO THE GROUND. C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.). D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO
- PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT Tree/Shrub Protector WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.



- 3. NO TREES OR SHRUBS SHALL BE PLANTED IN FRONT OF A FIRE

PLAN NTS



FIRE HYDRANT.

- NO PLANT SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
- HYDRANT OR FIRE DEPARTMENT CONNECTION.

Fire Hydrant Area

SHEET NUMBER L-03

05/10/2017

PROJECT NUMBER CSG17-05CBH

Parking Space/Curb Planting SECTION

GENERAL LANDSCAPE NOTES

1. SCOPE OF WORK

- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.

2. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

3. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES (OR PER PROJECT JURISDICTIONAL CODE, WHICHEVER IS MORE STRINGENT). CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

4. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

5. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

6. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

7. LAWN MAINTENANCE

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

8. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

9. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

10. WARRANT

- A. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
- B. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
- C. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
- D. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

PLANT SPECIFICATION NOTES

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE. UPON SAMPLES' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL SAMPLE S

MULCH ONE (1) CUBIC FOOT
PLANTING / TOPSOIL MIX
PLANTS ONE (1) CUBIC FOOT (INCLUDING EXISTING SOILS REPORT)
ONE (1) PHOTO OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- D. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE. ALL TREE ROOTBALLS SHALL BE SHAVED 1" - 1 1/2" OFF ON ALL SIDES WITH EITHER A SHARP SPADE OR BLADE BEFORE PLANTING OR FROM TOP TO BOTTOM WITH A BALLING SPADE AFTER THE TREE HAS BEEN PLANTED TO ELIMINATE CIRCLING ROOTS.

SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

RPG = "ROOTS PLUS GROWER" CONTAINER WHERE SPECIFIED.

- E. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.
- F. PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

3. DIGGING AND HANDLING

- A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
- C. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH <u>FLORIDA</u> <u>GRADES AND STANDARDS FOR NURSERY PLANTS</u>, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- D. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- E. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.
- 4. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)
- A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.
- B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- C. <u>SAND</u> SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE.
- D. WHEN UNSUITABLE SOILS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION <u>PRIOR TO PLANTING.</u>
- E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR THE OWNER OR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

PLANT SPECIFICATION NOTES CONTINUED

5. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO CHECK TO SEE IF WATERING/IRRIGATION RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

6. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER OR OWNER'S REPRESENTATIVE, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. CONTRACTOR TO CHECK TO SEE IF FERTILIZER RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

7. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). SEE PLANT LIST FOR TYPE OF MATERIAL ("FLORIMULCH," EUCALYPTUS MULCH, OR PINE STRAW/BARK/NUGGET) AND GRADE.

8. SOD

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

PLANTING PROCEDURE NOTES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES OR REFER TO THE CIVIL PLANS IF APPLICABLE.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR TO REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- 8. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 9. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- 10. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN THE PLANT SPECIFICATIONS NOTES. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, INSTALL AS NOTED IN THE TREE AND/OR PALM PLANTING DETAILS. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 11. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 12. SOIL MIXTURE SHALL BE AS SPECIFIED UNDER PLANT SPECIFICATION NOTES.
- 13. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 14. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. SUBMIT PRODUCT INFORMATION PRIOR TO INOCULATION FOR APPROVAL.
- 15. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. ALL NON-BIODEGRADEABLE MATERIAL SHALL BE COMPLETELY REMOVED FROM THE PLANTING PIT PRIOR TO BACKFILLING AND DISPOSED OF PROPERLY.
- 16. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 17. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" WITH THE PLANTING SOIL MIXTURE AND THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

PLANTING PROCEDURE NOTES CONTINUED

- 18. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 19.PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.
- 20.ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- 21.ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 22.CONTRACTOR TO PROVIDE A CLEAN, SHARP EDGE ON ALL LANDSCAPE BEDS AND TREE PITS. A SHARP, SPADE CUT EDGE (MINIMUM 3" DEEP) SHALL BE PROVIDED UNLESS OTHER BED EDGING METHODS ARE SPECIFICALLY IDENTIFIED ON THE PLANS.
- 23. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 24.SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 25.DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

SCHEMATIC IRRIGATION NOTES

TO COMMENCING WORK.

1. GENERAL

- A. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW AND EXISTING TREES, LARGE SHRUBS AND UTILITIES.
- B. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIED CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAIN BIRD SNAP-TITE CONNECTORS AND SEALANT. A SEPARATE NEUTRAL WIRE (MIN. NO.14) SHALL BE RUN WITH ALL OTHER WIRING.
- C. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.
- D. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES AND REGULATIONS.

 E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE ROTORS/SPRAYS ARC
- AND RADIUS TO ASSURE 100 PERCENT COVERAGE AND TO MINIMIZE OVERSPRAY. DRIP SHALL BE UTILIZED IN ALL BEDS AND BUBBLERS ON ALL TREES.
- F. NO LINES ARE TO BE LOCATED WITHIN THE PROTECTIVE RADIUS OF TREES.G. CONTRACTOR IS TO MATCH PRECIPITATION RATES FOR ALL HEADS.H. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT A COPY OF THE IRRIGATION PLAN PRIOR
- I. THE CONTRACTOR SHALL PROVIDE A RAIN SENSOR DEVICE OR SWITCH TO PREVENT IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL.

2. PIPE

- A. ALL IRRIGATION PIPE INCLUDING MAINLINE AND CONDUITS IS TO BE SCHEDULE 40 PVC. ALL WIRING TO BE IN CONDUIT IF NOT WITHIN THE MAINLINE TRENCH.
- B. ALL PIPING SHALL BE ROUTED TO AVOID ABOVE AND BELOW GROUND FEATURES. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
- C. DUCT TAPE AND OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION DURING INSTALLATION.

2. CONTROLLER

- A. CONTRACTOR TO RUN ONE STATION AT A TIME UNLESS TWO IS ALLOWED. CONTRACTOR SHALL PROVIDE
- A CONTROLLER SCHEDULE TO MINIMIZE PRESSURE LOSSES THROUGHOUT THE SITE.

 B. THE CONTROLLER LOCATION TO BE COORDINATED WITH THE OWNER. CONTROLLER TO BE HUNTER OR RAINBIRD. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S RECOMMENDATION.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF THE POWER FOR THE CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT THE CONTROLLER IS WIRED IN ACCORDANCE WITH ALL ELECTRICAL CODES. ALL MATERIALS NECESSARY TO WIRE THE CONTROLLER SHALL BE FURNISHED BY THE CONTRACTOR. GENERAL CONTRACTOR IS TO PROVIDE THE POWER TO THE CONTROLLER.

4. BACKFILL

- A. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 24". ALL LATERAL PIPING DOWNSTREAM OF THE MAINLINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
- B. BACKFILL TRENCHES WITH FINE GRANULAR MATERIAL WITH NO FOREIGN MATERIAL LARGER THAN 2 1/2".

5. TESTING

- A. PRIOR TO BACKFILLING, OPEN THE VALVE AND OPERATE EACH CIRCUIT TO CHECK FOR LEAKAGE AROUND PVC FITTINGS. MAKE NECESSARY CORRECTIONS TO STOP LEAKS.
- B. RETEST THOSE SYSTEMS WHERE LEAKS WERE CORRECTED BEFORE COMMENCING BACK FILLING OPERATIONS.
- C. UPON COMPLETION, TEST THE ENTIRE SYSTEM FOR OPERATION INCLUDING ELECTRICALLY ACTUATING THE VALVE. RUN THE SYSTEM UNTIL WATER BEGINS TO PUDDLE AND/OR RUN OFF TO DETERMINE THE INITIAL CONTROLLER RUN TIME TO DETERMINE THE NUMBER OF IRRIGATION CYCLES NECESSARY TO MEET WEEKLY EVAPOTRANSPIRATION RATES FOR THE PLANT MATERIAL INSTALLED.

6. ASBUILTS

UPON COMPLETION OF "AS-BUILT" DRAWINGS, PREPARE CONTROLLER CHARTS - ONE PER CONTROLLER. INDICATE IN THE CHART EACH AREA CONTROLLED BY A VALVE. THIS CHART SHALL BE REDUCED TO A SIZE THAT WILL FIT WITHIN THE CONTROLLER DOOR OR A UTILITY BASKET WITHIN THE ENCLOSURE. THE REDUCTION SHALL BE A BLACK AND WHITE COPY THAT IS HERMETICALLY SEALED BETWEEN TWO 20.MIL PIECES OF CLEAR PLASTIC.

7. INSPECTION

- A. BEFORE ACCEPTANCE OF THE IRRIGATION SYSTEM, THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL: FINAL WALK-THROUGH AND CORRECTION OF ANY PUNCH-LIST ITEMS COMPLETION AND ACCEPTANCE OF ACCURATELY DRAFTED "AS-BUILT" DRAWINGS ACCEPTANCE OF CONTROLLER CHARTS AND PLACEMENT IN THE CONTROLLER
- B. MANUAL FLUSH VALVES OR FLUSH-OUT'S SHOULD BE FLUSHED THREE (3) TIMES EACH IRRIGATION SEASON FOR A PERIOD OF 30 TO 60 SECONDS OR UNTIL THE WATER IS VISIBLY CLEAN, WHILE THE VALVE IS ACTIVATED. THE SYSTEM SHOULD BE FLUSHED MONTHLY OR MORE FREQUENTLY, FLUSHING IS ALSO RECOMMENDED ANY TIME THE SYSTEM IS REPAIRED.



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LANDSCAPE NOTE

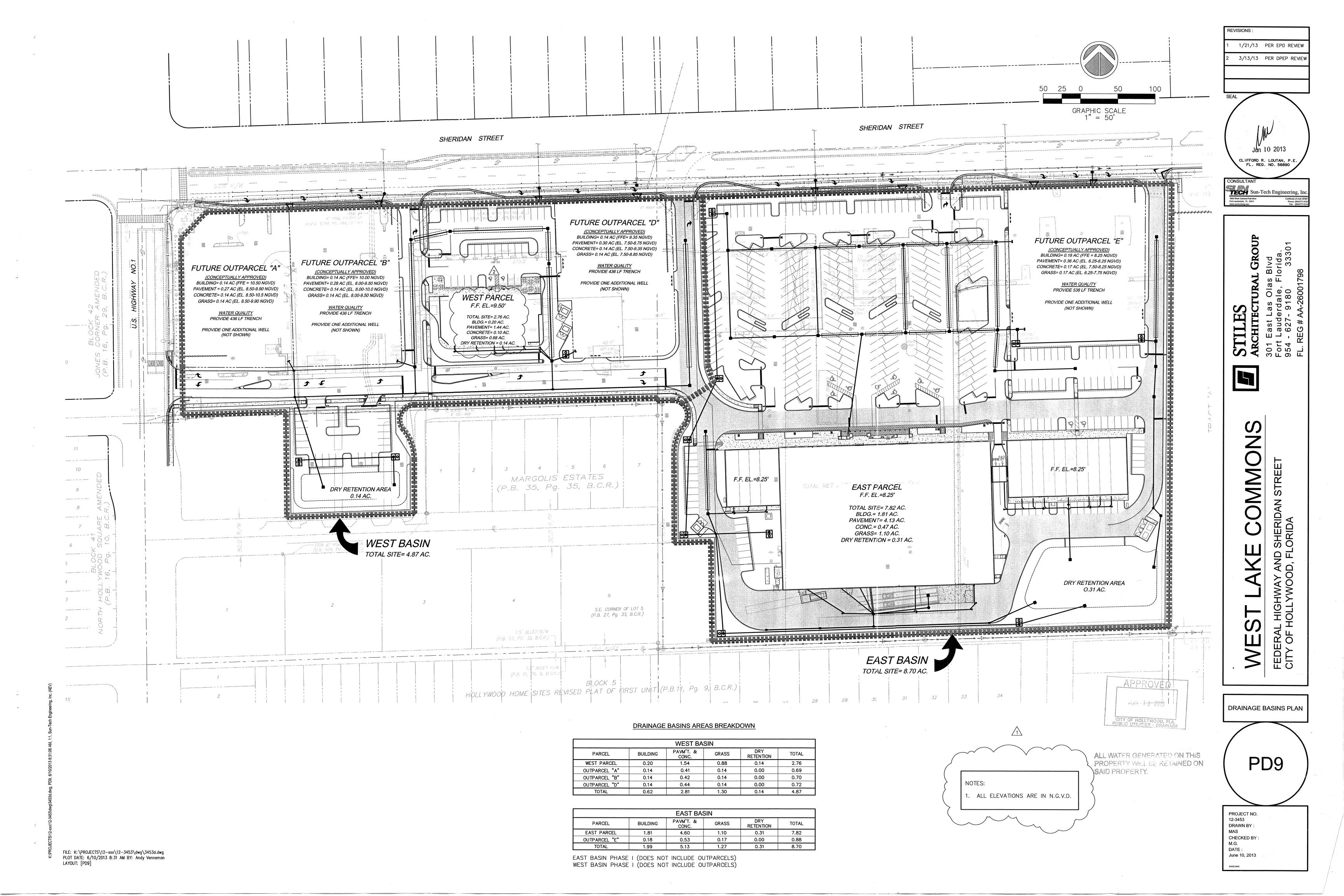
ASE CON SECULAR - STORE NO. 55203

NA ST. & US HWY 1

DATE 05/10/2017 PROJECT NUMBER

CSG17-05CBH

SHEET NUMBER



West Lake Commons Hollywood, Florida

Celebrating 43 Years of Quality Manufacturing and Service 43

Illuminated Display Features the Following:

Top of display is capped with a sweeping accent design element and vertical components which integrates into the overall theme and design concept. Constructed of

Layered design elements acho the top cap and add aesthetic interest in form and color variations.

Branding of the center is accomplished using 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamps.

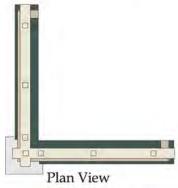
Tenant branding section offers individual tenant panels of white polycarbonate malerial with first surface 3M vinyl decoration. This section is also

"Walcome to Hollywood" is 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters

Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional

Street address is 1/2" computer cut high density PVC

Columns feature stone veneer overlay to match



West Lake Commons Publix FOOD, LIQUORS, & DRIVE-THRU PHARMACY 20" 5-1" D WELCOME TO WOOD

"V" Shaped Illuminated Main Marketing Identity Display

1 Required



Option: 1



SIGN & AWNING CO INC

4590 118TH Avenue North Clearwater, Florida 33762

800-526-3325

www.thomassign.com

West Lake Commons

Drawing Number

50490 A REND MS

Installation Address FEDERAL & SHERIDAN

HOLLYWOOD, FL

Project Identity Number 50415

Sales Associate Project Team

Dominic Nelson TH

Project Notes:

Project completion X

Municipality

Square Footage Allowable: X

Square Feelings Shows X

Project Updates: Changed layout for maximum an it- allotment and code restrictions 7–13–12 CRH Changed from 10 tenant panels to 5 7-16-12 CRH Updated colors / changed logo copy 7-30-12 CRH Updated to new logo 10-30-12 KAR

Undated to new number layout 1 L-09-12 DAB Address numbers to 6", took off street, changed Welcome spacing 11-12-12 KAB NEW PUBLIX FACE III - 03-13

Approval: ☐ Approved

Approved as noted

DATE

☐ Revise & Re-Submit

1 of 4



West Lake Commons Hollywood, Florida

Celebrating 43 Years of Quality Manufacturing and Service 43



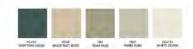


D/F Illuminated Entry Marketing Identity Display 1 Required



Illuminated Display Features the Following:

- A Top of display is capped with a sweeping accent design element and vertical components which integrates into the overall theme and design concept. Constructed of all minutes.
- B Layered design elements echo the top cap and add aesthetic interest in form and color variations.
- Branding of the center is accomplished using 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamos.
- D Tenant branding section offers individual tenant panels of white polycarbonate material with first surface 3M vinyl decoration. This section is also illuminated with high output fluorescent lamps.
- Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- F Street address is ½" computer cut high density PVC which are pin mounted flush to display.
- G Column feature stone veneer overlay to match the shopping center.





SIGN & AWNING CO INC 4590 118TH Avenue North Clearwater, Florida 33762

800-526-3325

www.thomassign.com

West Lake Commons

Drawing Number

50490 B REND MS Installation Address:

FEDERAL & SHERIDAN HOLLYWOOD, FL

Project Identity Number: 50415

Sales Associate Project Team: Dominic Nelson TH

Designer: Date:

CRH 07-13-

Project Notes:

x

Project completion X

unirenality

Square Footage Allowable: X

Square rootage withwatter: 2

Square Footage Shown X

Project Updates: Champed Jayout for maximum restrictions 7-13-1-12 CRH Champed from 10 renant panels to 6.7-16-1-2 CRH Updated colors , champed togo copy 7-10-12 CRH Updated rom logo 10-30-12 Updated in nw logo 10-30-12

Updated to new number layout 11-09-13 DRS. NEW PUBLIX FACE 01-03-13.

Approval

☐ Approved

☐ Approved as noted

DATE

Revise & Re-Submit

DATE:

The designs, rendepts, drawings and people are provided are the exclusive required from the Auritina Christian to the exclusive requires.

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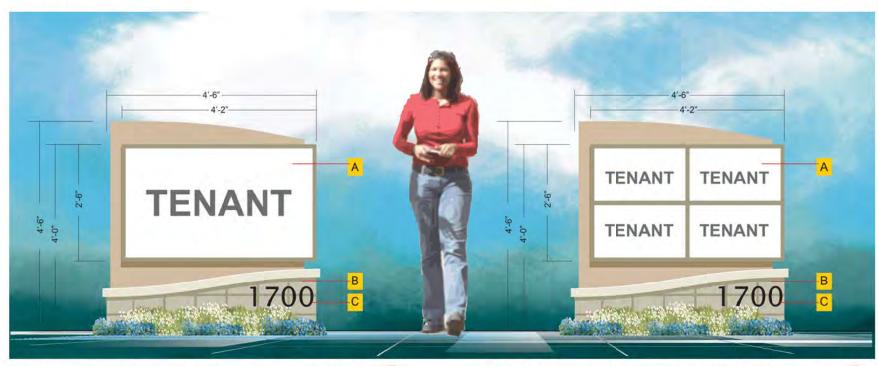
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2 of 4

Local: 727-573-7757 Fax: 727-573-0328

Celebrating 43 Years of Quality Manufacturing and Service 43





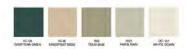
D/F Illuminated Outparcel Marketing Identity Display



4 Required

Illuminated Display Features the Following:

- Tenant branding section offers white polycarbonate face with first surface 3M vinyl decoration. This section is illuminated with high output fluorescent lamps.
- Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional
- Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.



D/F Illuminated Outparcel Marketing Identity Display

1 Required

Illuminated Display Features the Following:

- Tenant branding section offers white polycarbonate face with first surface 3M vinyl decoration, sub-divided into four (4) equal sections with aluminum T-bar divider. This section is illuminated with high output fluorescent lamps.
- Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.



SIGN & AWNING CO INC 4590 118TH Avenue North Clearwater, Florida 33762

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West Lake Commons

Drawing Number

50490 C REND MS

Installation Address FEDERAL & SHERIDAN HOLLYWOOD, FL

Project Identity Number

50415 Sales Associate Project Team:

Dominic Nelson TH

Project Notes:

Project completion K

Square Footage Allowable: X

Square Footage Shown X

Project Updates:

Changed layout for manimum sq. ft. allotment and code restrictions 7–13–11 CRH Made tenant panel larger, removed top trim 7 (6-12 CRH Updated colors 7-50 12 CRH

Revised layout to allow for trim along side and top 9-27-12 CRH

Added address letten to both signs -WAC 01/31/13

Approval: ☐ Approved

☐ Approved as noted

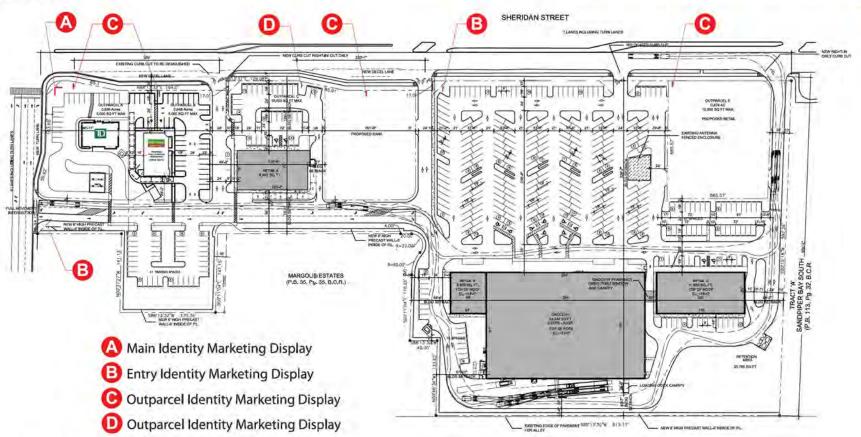
DATE: ☐ Revise & Re-Submit

3 of 4



Celebrating 43 Years of Quality Manufacturing and Service 43





Site Map

Variances Required for Sign Package Approval:

- 1) Approval for second "Entry Marketing Identity Display" (two monuments allowed under standard code).
- 2) Approval for five total "Outparcel Marketing Identity Displays".
- 3) Approval for five total "Outparcel Marketing Identity Displays" to be 11.25 Sq. Ft. (up from 6 Sq. Ft.).



SIGN & AWNING CO IN

4590 118TH Avenue North Clearwater, Florida 33762

800-526-3325

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West Lake Commons

Drawing Number

50490 C REND MS

FEDERAL & SHERIDAN HOLLYWOOD, FL

Project Identity Number

50415 Sales Associate Project Team

Dominic Nelson TH

CRH 07-13-

x

Project completion >

Municipality

Square Footage Allowable: X

Square Footage Shown X

Project Updates

707

Approval:

☐ Approved as noted

Revise & Re-Submit

DATE: The design), (encepts, drawings a specifications privated are the ea-

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4

4 of 4

Local: 727-573-7757