

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: _____

Location Address: Chase Bank - Young Circle, FL

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142 10 62 0010

Zoning Classification: SS (in RAC) Land Use Classification: Vacant

Existing Property Use: Vacant Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Request for the construction of a new freestanding Chase Bank with a drive thru ATM and variance for drive-thru stacking

Number of units/rooms: N/A Sq Ft: 3,550 SF

Value of Improvement: \$1,340,000.00 Estimated Date of Completion: 8/12/2018

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Real Sub LLC. % Publix Super Markets Inc.

Address of Property Owner: 3300 Publix Corporate Prky, Lakeland, FL 33811

Telephone: 800-242-1227 Fax: _____ Email Address: _____

Name of ~~Consultant/~~Representative/Tenant (circle one): Core States Group (Zach Thornton)

Address: 110 N. 11th Street Ste. 101 Tampa, FL 33602 Telephone: 813-490-1755

Fax: _____ Email Address: zthornton@core-eng.com

Date of Purchase: 5/26/15 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Real Sub, LLC
By: William W Rayburn

Date: 5-18-2017

PRINT NAME: William W. Rayburn, Director of R/E Assets

Date: 5-18-2017

Signature of Consultant/Representative: Z Thornton

Date: 5/22/2017

PRINT NAME: Zach H. Thornton, P.E. (Core States Group)

Date: 5/22/2017

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the Director of Real Estate Assets for Real Sub, LLC, the current owner of the described real property and I am aware of the nature and effect the request for Approval of JPMorgan Chase Bank's plans to improve Real Sub, LLC's property, which is hereby made by me or I am hereby authorizing Zach H. Thornton, P.E. to be my legal representative before the Planning and Development (Board and/or Committee) relative to all matters concerning this application; provided: (1) such representative shall not have the authority to bind owner to any monetary or non-monetary obligations, or to in any way affect the zoning or land use of the property, (2) this power of attorney only applies to land folio #514210620010; and (3) owner reserves the right to revoke the power at any time upon written notice.

Sworn to and subscribed before me
this 18th day of May, 2017

Notary Public
State of Florida



PATRICIA COOLEY
MY COMMISSION # FF 114839
EXPIRES: August 20, 2018
Bonded Thru Budget Notary Services

Real Sub, LLC

By: William W Rayburn, v
William W. Rayburn, Director of Real Estate Assets
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

May 12, 2017

Alexandra Carcamo
Principal Planner
City of Hollywood
Department of Development Services
2600 Hollywood Blvd.
Hollywood, FL 33022

Re: Proposed Chase Bank Store No. 55203 – Young's Circle
Preliminary Technical Advisory Committee (TAC) Submission
1700 Sheridan Street, Hollywood, FL

Dear Ms. Carcamo:

On behalf of JPMorgan Chase, N.A., Core States Group ("CSG") is requesting that the proposed 4,453 sf Chase Bank be considered for Preliminary Technical Advisory Committee approval. The subject property is an outparcel within the West Lakes Commons Shopping Center located at the southeast corner of Sheridan Street and US1 (Federal Highway), more specifically at 1700 Sheridan Street, Hollywood, FL 33020.

The proposed parcel encompasses 0.696 acres and is currently zoned Sheridan Street Mixed Use District (SS) located within the Regional Activity Center Overlay District per Ordinance O-2016-22. Per the PACO meeting held on March 13, 2017, the site was requested to conform to the Federal Highway Medium-High Intensity, Mixed Use District (FH-2) regulations as well as the SS regulations. Therefore, the site layout was revised and the building was relocated to the maximum building setback of thirty (30) feet from Federal Highway.

Based on an additional meeting held with City staff on April 27, 2017, the site was revised to provide a fifteen (15) feet wide drive aisle on the west side of the building, adjacent to Federal Highway, and a landscape strip along the west side of the building which would visually enhance the building elevation facing Federal highway. The site design includes an enhanced pedestrian entrance of concrete pavers from the existing sidewalk along Federal Highway to the front entrance and will also incorporate other elements to make the building more interactive with the pedestrian traffic on Federal Highway, such as bicycle parking and possible future benches.

The project proposes two (2) variances. One for a reduction in the total vehicular use area landscaping from the required 3,891 sf to 3,284 sf, based on the restraints of the site. The second variance is for the reduction of the Land Development Regulations required stacking from six (6) spaces to four (4) spaces. The City Land Development Regulations does not make a distinction between a banking facility drive thru with teller line and a drive-up ATM. Please note other municipalities have eliminated stacking requirements for Chase banks based on the self-service, automated system not being a typical teller service. Also, please note that per Chase Operational standards, the typical self-service ATM queue does not exceed four (4) stacking positions. In fact, Chase does not offer check cashing or deposits at their ATMs which reduces the transaction time for stopped vehicles. Please refer to the attached Chase Bank Queuing Analysis prepared by a licensed professional engineer in the State of Florida.

Please accept this letter as a request for review and approval of the project documents and variances. The granting of the requested variances will not cause conflicts with other sections of the County Land Regulations and will not adversely affect public safety. No feasible engineering or construction solutions can be applied to satisfy the regulations at this time. In addition, it is Core States belief that the proposed development will greatly improve the appearance, functionality, and value of the subject parcel and the surrounding parcels. The proposed project within West Lake Commons will bring both revenue and jobs to this area and the City. The proposed development will create a site that is both aesthetically pleasing and function.

If you should have any questions, please do not hesitate to contact me directly at (813)319-8753.

Sincerely,

A handwritten signature in blue ink, appearing to read "Z Thornton".

Zach H. Thornton, P.E.
Civil Engineer
Core States Group

Attachments:

1) Location and Aerial Maps

May 12, 2017

Ms. Clarissa M. Ip, P.E.
Engineering Support Services Manager
City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33022

RE: Chase Bank Queuing Analysis - 1700 Sheridan Street, Hollywood, FL 33020

Dear Ms. Ip:

The purpose of this letter is to analyze the drive-up ATM typical operational characteristics and the anticipated queuing at a Chase Bank retail banking facility. Chase provided drive up ATM transaction history for a 30 day period preceding May 8, 2017 at two local branches. Reference the attachment for hourly transaction history at 1701 Hollywood Blvd, Hollywood, FL 33020 (FL7527) and 193 US-1, Dania Beach, FL 33004 (FL7643). The average day was determined by averaging the transactions at the two locations and dividing by 30. Chase operating hours are 9 am to 6 pm M-F. The peak hour weekday average transaction at the drive-up ATM were 16.20 at 4-5 pm during operating hours and 17.80 at 6-7 pm after hours.

Chase drive-up ATM transaction time is typically 1-2 minutes. Previous studies have been completed in the Florida Market indicating average observed times of 2:03 at drive-up ATMs. Using a single-server waiting line model, the following average number of customers in the queuing system can be determined;

λ = arrival rate = 17.80 average transactions per peak hour

μ = service rate = 2 minute average ATM transaction time = 30 transactions per hour

L = average number of customers in the waiting line

$$L = \lambda / (\mu - \lambda)$$

Therefore, during the peak hour transaction period it is anticipated 1.5 cars will be in the queueing system. Conservatively, if 2:30 is used as the average service time then less than 3 cars would be in the queue system during the peak hour.

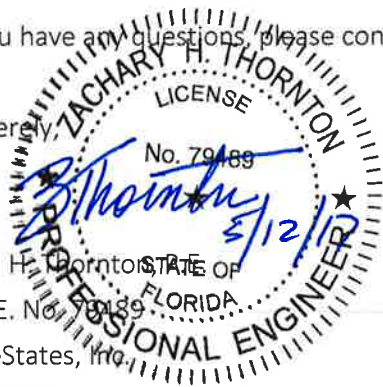
If you have any questions, please contact me at 813.490.1755.

Sincerely,

Zach H. Thornton
FL PE. No. 79189

CoreStates, Inc.

CA# 9578



Attachments:

1. Drive-up ATM Transactions by Hour and Single Server Waiting Line Model

Drive-up ATM Transactions by Hour and Single Server Waiting Line Model.xlsx

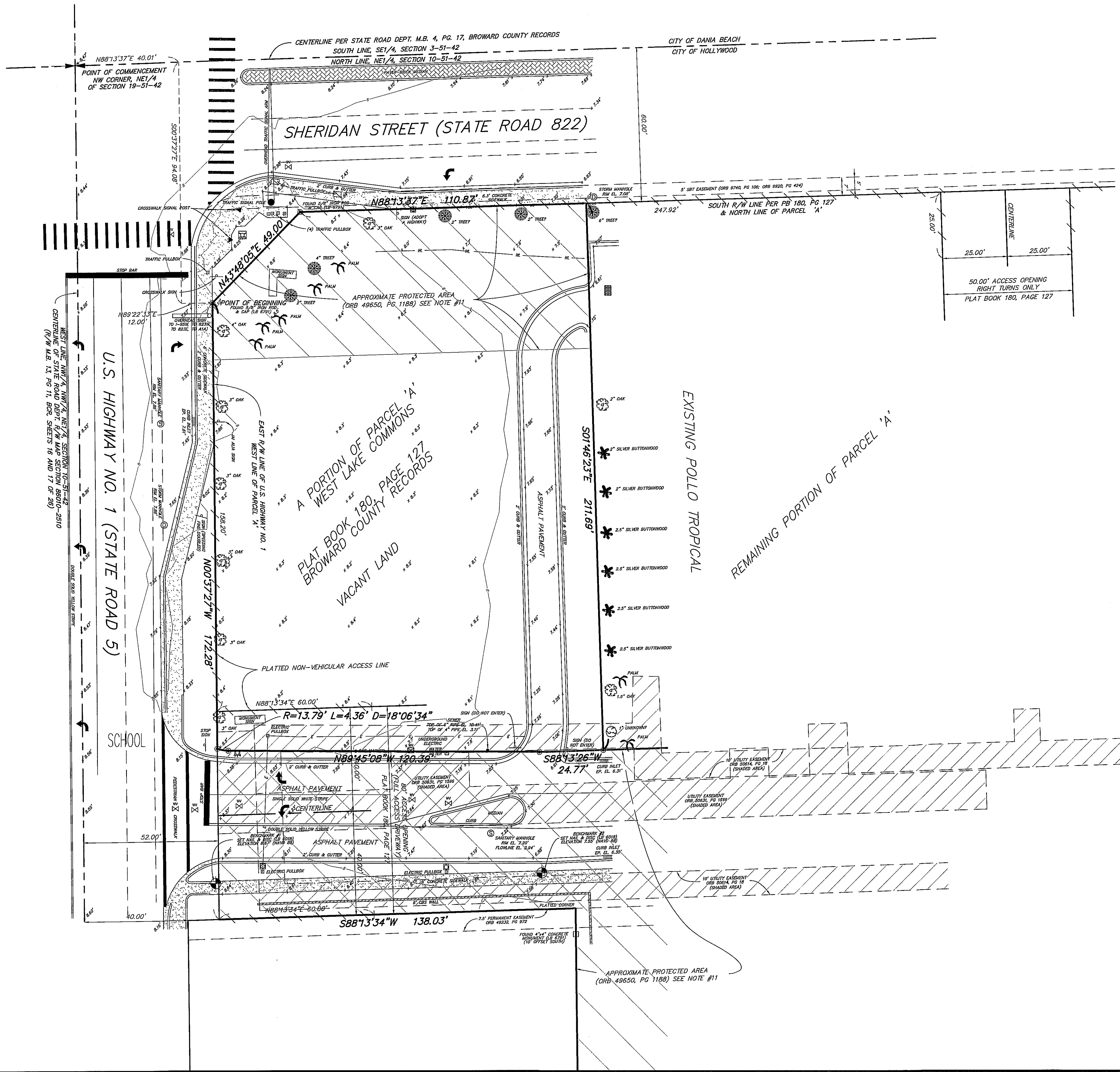
TERM_ID	Type	Access	MST_STATE_CD	MODEL_TP_CD	Hour0Ct	Hour1Ct	Hour2Ct	Hour3Ct	Hour4Ct	Hour5Ct	Hour6Ct	Hour7Ct	Hour8Ct	Hour9Ct	Hour10Ct	Hour11Ct
FL7527	ATM	DRIVE UP	FL	6634 D	154	137	92	71	32	34	60	108	255	361	329	358
FL7643	ATM	DRIVE UP	FL	2043	160	90	48	20	19	34	28	130	210	310	317	379
TIME					1:00 AM	2:00 AM	3:00 AM	4:00 AM	5:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM
AVG DAY					5.23	3.78	2.33	1.52	0.85	1.13	1.47	3.97	7.75	11.18	10.77	12.28
2 min avg transaction time L (CARS)					0.21	0.14	0.08	0.05	0.03	0.04	0.05	0.15	0.35	0.59	0.56	0.69
2.5 min avg transaction time L (CARS)					0.28	0.19	0.11	0.07	0.04	0.05	0.07	0.20	0.48	0.87	0.81	1.05

Drive-up ATM Transactions by Hour and Single Server Waiting Line Model.xlsx

TERM_ID	Type	Access	MST_STATE_CD	MODEL_TP_CD	Hour12Ct	Hour13Ct	Hour14Ct	Hour15Ct	Hour16Ct	Hour17Ct	Hour18Ct	Hour19Ct	Hour20Ct	Hour21Ct	Hour22Ct
FL7527	ATM	DRIVE UP	FL	6634 D	424	451	390	449	489	492	513	456	435	360	293
FL7643	ATM	DRIVE UP	FL	2043	471	483	447	458	483	477	555	428	383	326	217
TIME					1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	11:00 PM
AVG DAY					14.92	15.57	13.95	15.12	16.20	16.15	17.80	14.73	13.63	11.43	8.50
2 min avg transaction time L (CARS)					0.99	1.08	0.87	1.02	1.17	1.17	1.46	0.97	0.83	0.62	0.40
2.5 min avg transaction time L (CARS)					1.64	1.85	1.39	1.70	2.08	2.06	2.87	1.59	1.32	0.91	0.55

TERM_ID	Type	Access	MST_STATE_CD	MODEL_TP_CD	Hour23Ct
FL7527	ATM	DRIVE UP	FL	6634 D	294
FL7643	ATM	DRIVE UP	FL	2043	210
TIME					12:00 AM
AVG DAY					8.40
2 min avg transaction time L (CARS)					0.39
2.5 min avg transaction time L (CARS)					0.54

ALTA/NSPS LAND TITLE SURVEY
A PORTION OF PARCEL 'A', WEST LAKE COMMONS
PLAT BOOK 180, PAGE 147
HOLLYWOOD, BROWARD COUNTY, FLORIDA



LEGAL DESCRIPTION:
A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10; THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET; THENCE SOUTH 00°37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 94.08 FEET; THENCE NORTH 89°22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET; THENCE NORTH 88°13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET; THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET; THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.

- SURVEYOR'S NOTES:**
1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
 2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
 3. LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25, 2017 AT 5:00 PM.
 - 4.) PLAT BOOK 180, PAGES 127-130 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
 - 5.) ORB 49459, PG 972 - AFFECTS PROPERTY, UNPLOTTABLE
 - 6.) ORB 49650, PG 1109; INSTRUMENT # 113020931 - AFFECTS PROPERTY, UNPLOTTABLE
 - 7.) ORB ORB 49650, PG 1210; ORB 51142, PG 1361 - AFFECTS PROPERTY - BOUNDARY
 - 8.) ORB 50263, PG 891 - AFFECTS PROPERTY, UNPLOTTABLE
 - 9.) ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
 - 10.) ORB 50631, PG 1596 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
 - 11.) ORB 50690, PG 1996 - AFFECTS PROPERTY, UNPLOTTABLE
 - 12.) ORB 51126, PG 100 - AFFECTS PROPERTY, UNPLOTTABLE
 - 13.) INSTRUMENT #113020930 - AFFECTS PROPERTY, UNPLOTTABLE
 4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37"E. ALONG THE SOUTH RIGHT OF WAY LINE OF SHERIDAN STREET, PER PLAT BOOK 180, PAGE 127
 5. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29) CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'
 6. SITE AREA: 30818.47 SQUARE FEET OR 0.696 ACRES MORE OR LESS.
 7. THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.
 8. LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
 9. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 10. BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE SHOWN.
 11. OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.
 12. HATCHED AREA DESIGNATED AS PROTECTED AREA ARE RECORDED IN OFFICIAL RECORDS BOOK 49650, PAGE 1188, THESE ARE AN APPROXIMATE LOCATION. DOCUMENT IS REDUCED AND UNSCALABLE.

SURVEYOR'S CERTIFICATION:
TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26, 2014.
SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ROBERT BLOOMSTER JR.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

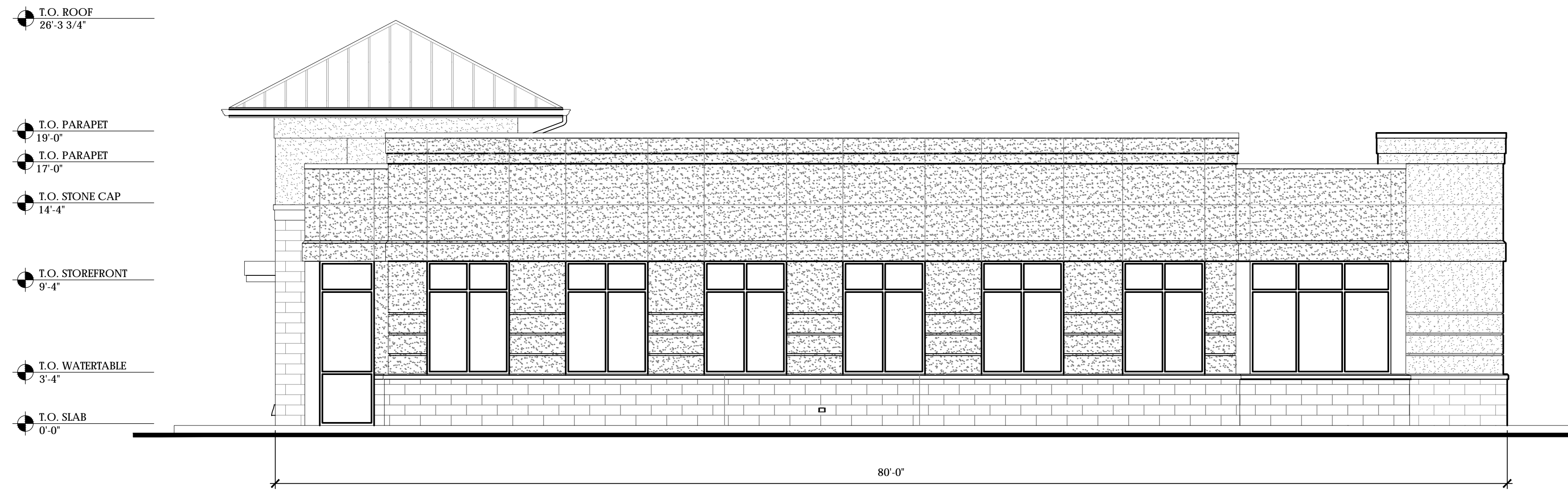
BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.
L.B. #8018

641 NORTHEAST SPENCER STREET
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868

SHEET 1 OF 1		
DRAWN BY: DPK		
SCALE: 1" = 20'		
FIELD WORK COMPLETED: 7/26/2016		
FIELD BOOK: SKETCH		
JOB NO. 13652		
REVISIONS		
DATE:	DESCRIPTION:	BY:
12/9/16	EXC#15 CORR.	DPK
5/8/17	TREES	DPK
5/18/17	ALTA O&E UPDATE	DPK

CORE STATES GROUP
1790 SHERIDAN STREET
HOLLYWOOD, BROWARD COUNTY, FLORIDA

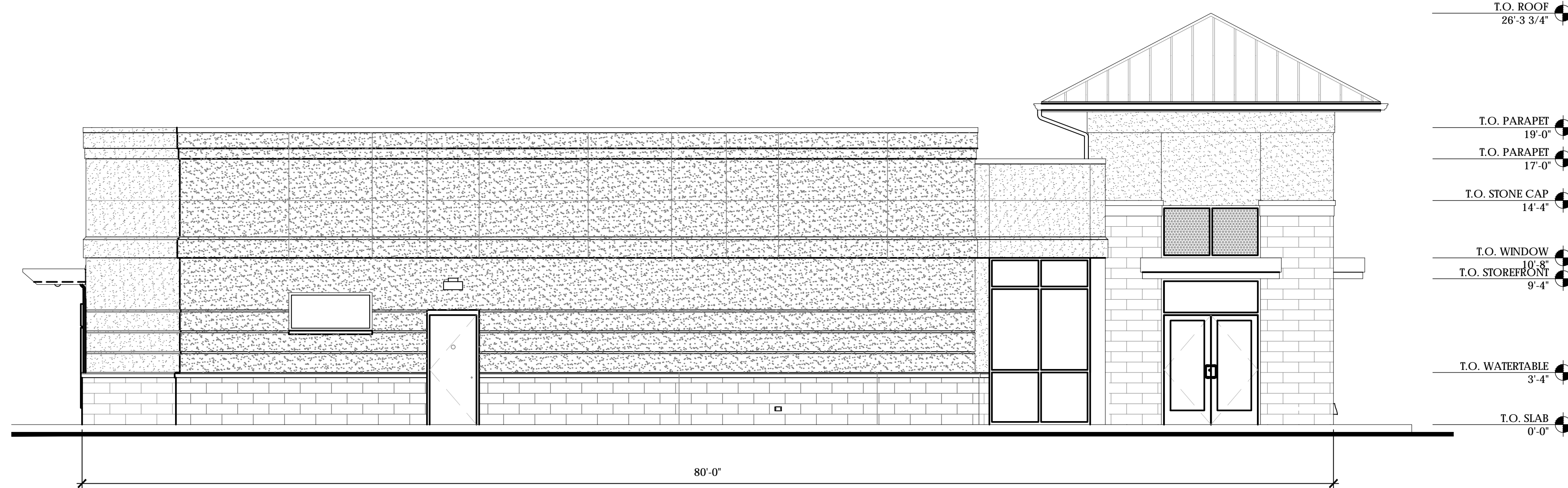
- LEGEND**
- CLEAN OUT
 - ⊙ MANHOLE
 - ⊗ WATER VALVE
 - ⊗ FIRE HYDRANT
 - ⊗ SPOT ELEVATIONS
 - ⊗ LIGHT POST
 - ⊗ GAS VALVE
 - INV. INVERT
 - EL. ELEVATION
 - DEPT. DEPARTMENT
 - CBS CONCRETE BLOCK STRUCTURE
 - EP EDGE OF PAVEMENT
 - R/W RIGHT OF WAY
 - M.B. MAP BOOK
 - PG. PAGE
 - ORB OFFICIAL RECORDS BOOK
 - PB PLAT BOOK
 - LB LICENSED BUSINESS
 - BOR BROWARD COUNTY RECORDS
 - E UNDERGROUND ELECTRIC
 - HL UNDERGROUND WATER LINE
 - NAVD NORTH AMERICAN VERTICAL DATUM



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

PAINT - EPT1
APPLICATION: EXTERIOR MATERIAL
COLOR: MATCH TO SHERWIN WILLIAMS
SW-7045 "INTELLECTUAL GRAY"

PAINT - EPT2
APPLICATION: EPS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 "ACCESSIBLE BEIGE"

PAINT - EPT4
APPLICATION: EPS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-6108 "LATTE"

ROOF
APPLICATION: BERRIDGE METAL ROOF
COLOR: ZINC GREY

MULLIONS
APPLICATION: EXTERIOR MATERIAL
COLOR: ANNOZED ALUMINUM

STONE - ST1
APPLICATION: SAVANNA STONE
COLOR: LIMESTONE #3

METAL
APPLICATION: CANOPY/TRIM
COLOR: BLUE

CHASE
SHERIDAN STREET &
FEDERAL HIGHWAY

PROPOSED EXTERIOR ELEVATIONS

MAY 18, 2017
SCALE: $\frac{3}{16}$ " = 1'-0"

110 N. 11TH ST.
SUITE 101,
TAMPA, FL 33602
Contact: James Lalli
jlalli@core-eng.com

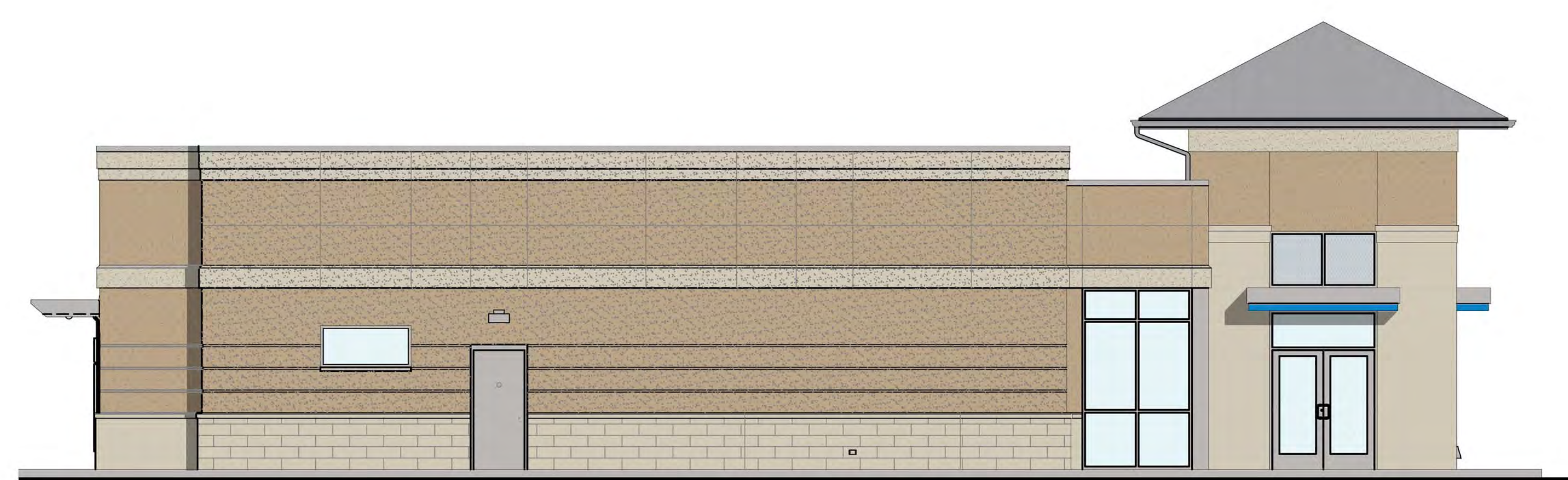
CORE STATES
GROUP



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

PAINT - EPT1
APPLICATION: EXTERIOR MATERIAL
COLOR: MATCH TO SHERWIN WILLIAMS
SW-7045 "INTELLECTUAL GRAY"

PAINT - EPT2
APPLICATION: EIFS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 "ACCESSIBLE BEIGE"

PAINT - EPT4
APPLICATION: EIFS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-6108 "LATTE"

ROOF
APPLICATION: BERRIDGE METAL ROOF
COLOR: ZINC GREY

MULLIONS
APPLICATION: EXTERIOR MATERIAL
COLOR: ANNOXIDIZED ALUMINUM

STONE - ST1
APPLICATION: SAVANNA STONE
COLOR: LIMESTONE #3

METAL
APPLICATION: CANOPY/TRIM
COLOR: BLUE

CHASE 
SHERIDAN STREET &
FEDERAL HIGHWAY

PROPOSED EXTERIOR ELEVATIONS

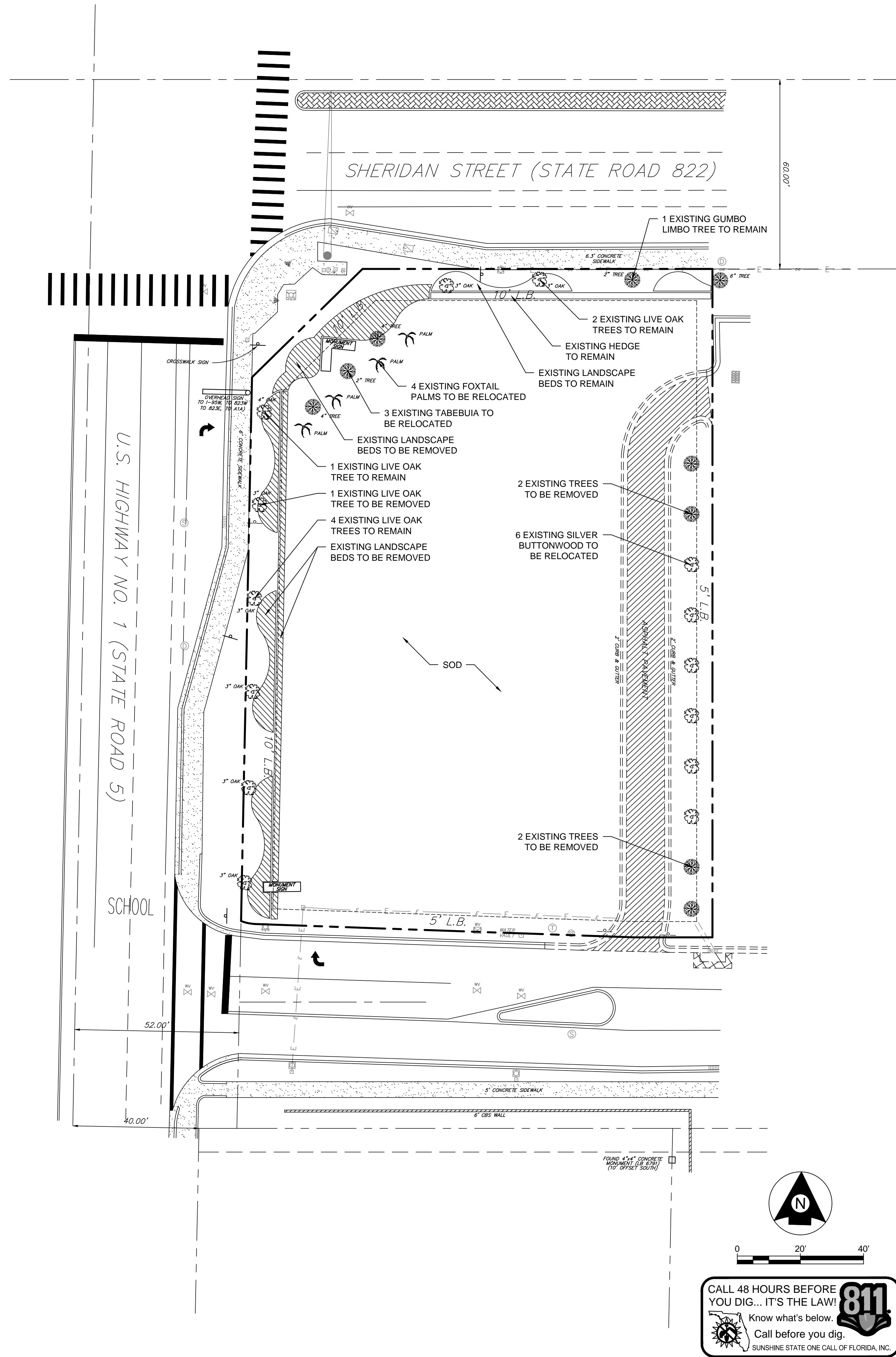
MAY 3, 2017
SCALE: $\frac{3}{16}$ " = 1'-0"

110 N. 11TH ST.
SUITE 101,
TAMPA, FL 33602
Contact: James Lalli
jlalli@core-eng.com

CORE STATES

GROUP

This document, together with the concepts and designs presented
Drafted by Charles Bailey Creative CAD Source 561 628 9822



CHASE BANK - STORE NO. 55203
SHERIDAN ST. & US HWY 1
HOLLYWOOD, FLORIDA 33020

EXISTING
LANDSCAPE PLAN

SCALE: AS NOTED	LANDSCAPE ARCHITECT:
DESIGNED BY: PMC	
DRAWN BY: CMB	
CHECKED BY: PMC	
PATRICIA M. CASTELLANO, RLA LICENSE NUMBER: 1667	
DATE:	

[illegible]

SimplyVerde
Landscape Architecture
829 38th Avenue North, St. Petersburg, FL 33704
727 521 7290 License Number: LC26000392

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by SimplyVerde, LLC shall be without liability to SimplyVerde, LLC.
Drafted by Charles Bailey, Creative CAD Source, 851 628-9822

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - 146/50 = 3 TREES

PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - 209/50 = 4 TREES

PROVIDED: 5 EXISTING TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE.

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,562 SF X .25 = 3,891 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

PROVIDED: 1 TREE PER ISLAND AND 3,294 SF OF LANDSCAPE AREA (VARIANCE REQUESTED), 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PERVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY.

MINIMUM OF ONE TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS.

REQUIRED: 7,664 SF/1000SF = 7 TREES AND 7,664 SF X .25 = 1,916 SF

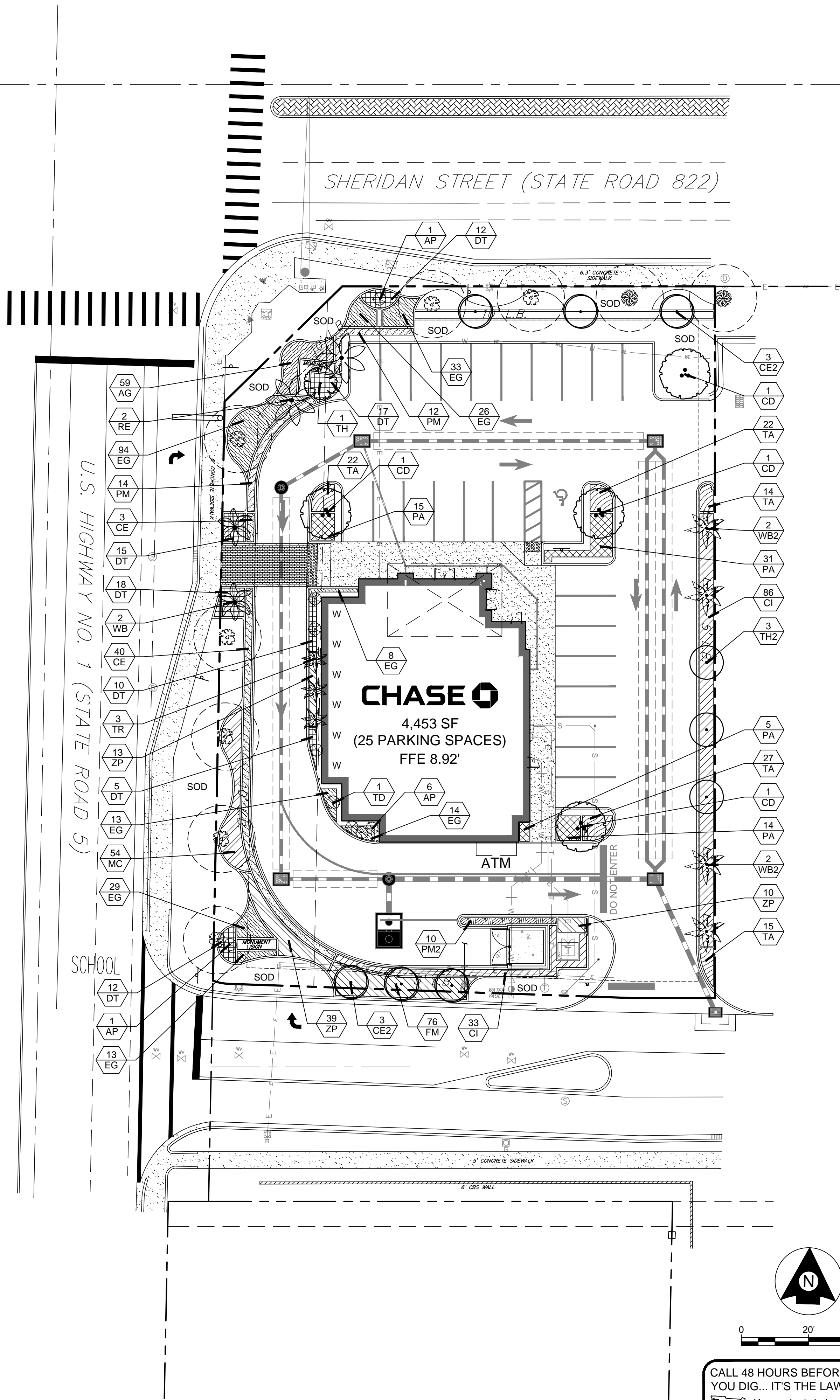
PROVIDED: 7 TREES AND 66% OF PERVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD).

SPECIFICATIONS AND MINIMUM REQUIREMENTS

- ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL.
- THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:
REQUIRED: 11-20 TREES = 3 REQUIRED
PROVIDED: 6 SPECIES OF TREES AND PALMS
- PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
- ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12' IN HEIGHT.
- A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.
REQUIRED: 19 X .60 = 11 TREES AND 554 X .50 = 277 SHRUBS
PROVIDED: 14 TREES AND 278 SHRUBS
- A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES.
REQUIRED: 19 X .50 = 10 OR 20% = 4
PROVIDED: 4 RELOCATED FOXTAIL PALMS
- THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR STAGGERED).
- SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO LAY THE SOD.
- GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
- AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCA OR EUCALYPTUS MULCH IS RECOMMENDED.
- CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

- LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
- PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
- TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/3 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
- ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
- TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE REQUIREMENTS.
- IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
- APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

811

SimplyVerde

SV Landscape Architecture

829 38th Avenue North, St. Petersburg, FL 33704
727.521.7290
License Number: LC26000392

NO.	REVISIONS	DATE	BY

LANDSCAPE ARCHITECT:	PATRICIA M. CASTELLANO, RLA LICENSE NUMBER: 1687
SCALE: AS NOTED	CHECKED BY: PMC
DESIGNED BY: PMC	DRAWN BY: CMB

LANDSCAPE PLAN

CHASE

CHASE BANK - STORE NO. 55203
SHERIDAN ST. & US HWY 1
HOLLYWOOD, FLORIDA 33020

DATE	05/10/2017
PROJECT NUMBER	CSG17-05CBH
SHEET NUMBER	L-02

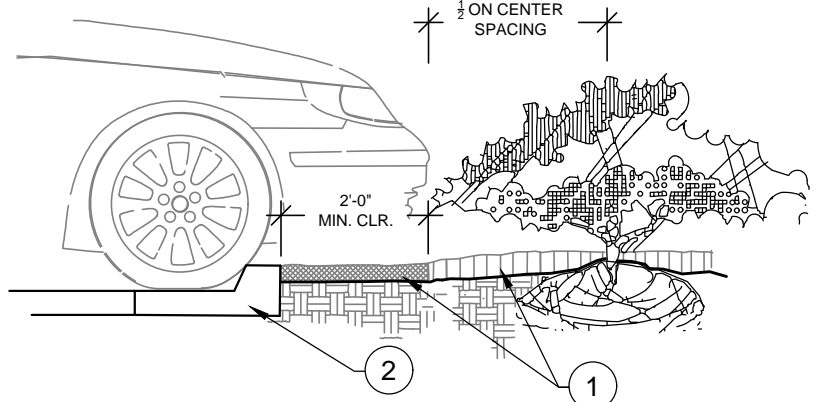
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Drafted by: Charles Bailey, Creative CAD Source, 851.628.9822

PLANT SCHEDULE

TREES			CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT	
	CD	4	Coccoloba diversifolia / Pigeon Plum			FG., MIN. 14' HT. x 6' SPR., 4" CAL.	YES	HIGH	
	CE2	6	Conocarpus erectus sericeus / Silver Buttonwood			RELOCATED	YES	HIGH	
	TH	1	Tabebuia heterophylla / Pink Trumpet Tree			FG., MIN. 14'-16' x 6'-8", 4" CAL.	NO	HIGH	
	TH2	3	Tabebuia heterophylla / Pink Trumpet Tree			RELOCATED	NO	HIGH	
PALM TREES			CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT	
	RE	2	Roystonea elata / Florida Royal Palm			FG., MIN. 10' GW, MATCHED	YES	HIGH	
	TR	3	Thrinax radiata / Florida Thatch Palm			FG., 8'-9' HT., SINGLE, STRAIGHT	YES	HIGH	
	WB	2	Wodyetia bifurcata / Foxtail Palm			FG., MIN. 10' GW, MATCHED	NO	MEDIUM	
	WB2	4	Wodyetia bifurcata / Foxtail Palm			RELOCATED	NO	MEDIUM	
SHRUBS			CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	AP	8	Alocasia 'Portora' / Portora Elephant Ear			15 GAL., MIN. 5'-6' HT., FULL	AS SHOWN	NO	MEDIUM
	TD	1	Tabernaemontana divaricata / Crape Jasmine			FG., MIN. 4' HT., FULL	AS SHOWN	NO	MEDIUM
SHRUB AREAS			CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	CE	43	Conocarpus erectus sericeus / Silver Buttonwood			10 GAL., MIN. 42" HT., FULL	30" O.C.	YES	HIGH
	CI	119	Chrysobalanus icaco / Coco Plum			7 GAL., MIN. 24" HT., FULL	30" O.C.	YES	HIGH
	DT	89	Dianella tasmanica 'Variegata' / Variegated Flax Lily			3 GAL., MIN. 16" x 16", FULL	24" O.C.	NO	HIGH
	FM	76	Ficus microcarpa 'Green Island' / Green Island Ficus			3 GAL., MIN. 12" x 12", FULL	24" O.C.	NO	HIGH
	MC	54	Muhlenbergia capillaris / Pink Muhly Grass			3 GAL., MIN. 18" x 18", FULL	24" O.C.	YES	HIGH
	PA	65	Plumbago auriculata 'Imperial Blue' / Imperial Blue Plumbago			3 GAL., MIN. 14" x 14", FULL	24" O.C.	NO	HIGH
	PM	26	Podocarpus macrophyllus / Podocarpus			7 GAL., MIN. 42" HT., FULL	30" O.C.	NO	HIGH
	PM2	10	Podocarpus macrophyllus / Podocarpus			15 GAL., MIN. 6'-7' HT., FULL	30" O.C.	NO	HIGH
	ZP	62	Zamia pumila / Coontie			3 GAL., MIN. 14"-16" x 14"-16", FULL	24" O.C.	YES	HIGH
GROUND COVERS			CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
	AG	59	Arachis glabrata 'Ecoturf' / Ecoturf Perennial Peanut			1 GAL., FULL	18" O.C.	NO	MEDIUM
	EG	230	Evolvulus glomeratus 'Blue My Mind' / Blue My Mind Blue Daze			1 GAL., FULL	18" O.C.	NO	MEDIUM
	TA	100	Trachelospermum asiaticum 'minima variegata' / Variegated Minima Asiatic Jasmine			1 GAL., FULL	18" O.C.	NO	YES

LANDSCAPE SPECIFICATION REQUIREMENTS:

- ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
- ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL.
- ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES.
- ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM FLORATAM).
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.



- INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
- CURB OR PARKING LOT EDGE, BY OTHERS.

Parking Space/Curb Planting

SECTION

NTS

Plantings Adjacent to Buildings

SECTION

NTS

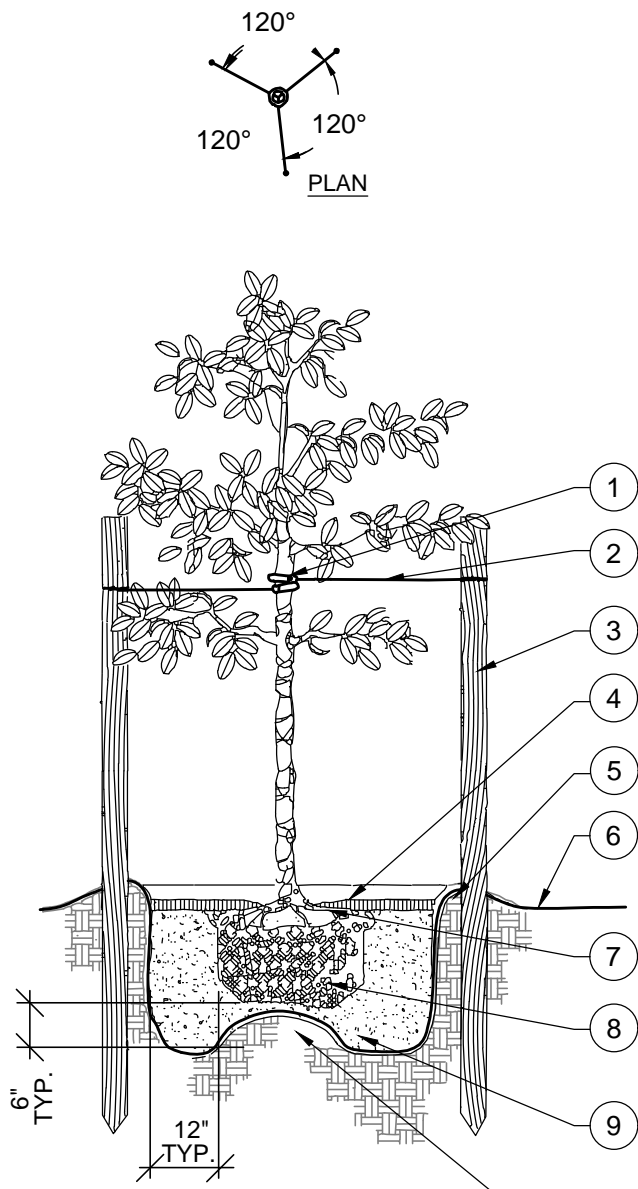
Tree/Shrub Protector

BARRIER DETAIL

Fire Hydrant Area

PLAN

NTS



Small Tree Planting

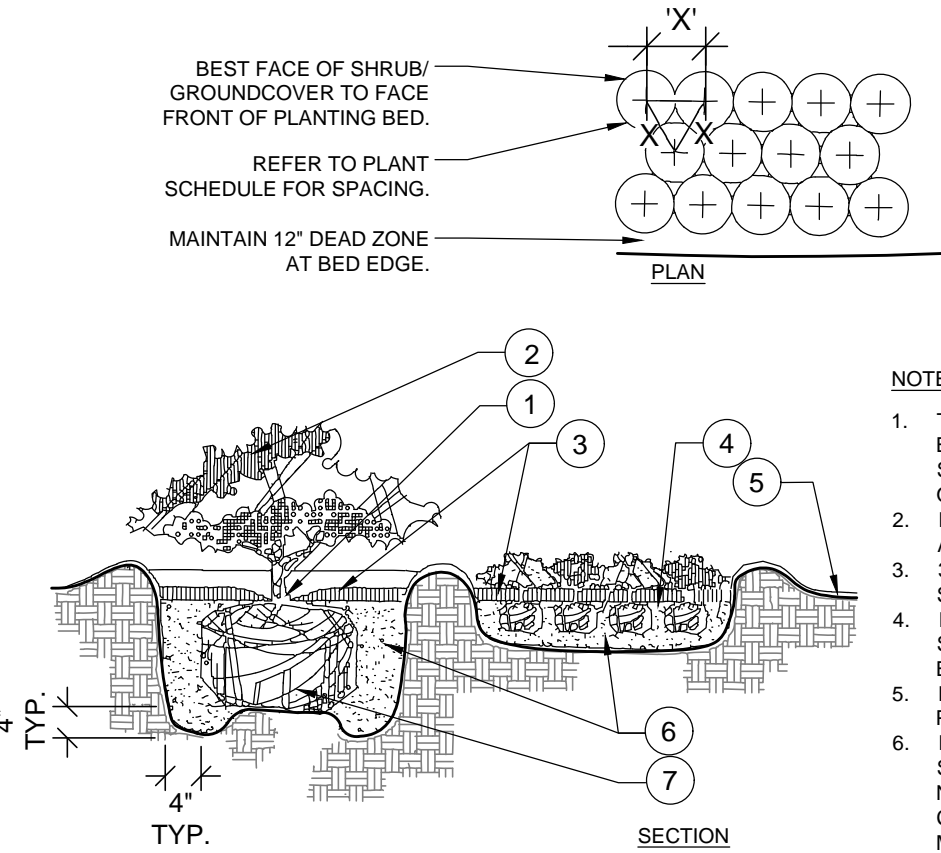
SECTION

(Less Than 14")

Palm Planting

SECTION

NTS



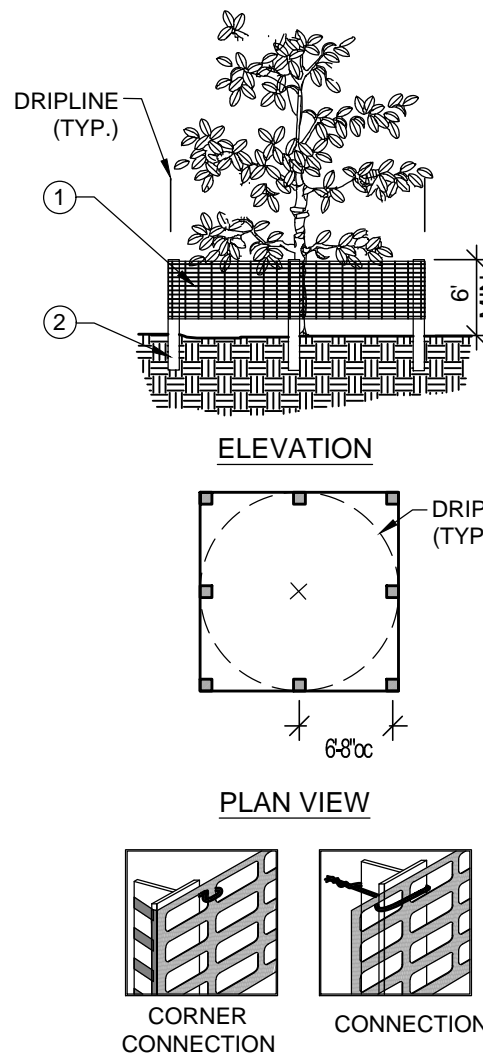
Shrub/Groundcover Planting

PLAN/SECTION

Planted Parking Lot Islands/Medians

SECTION

NTS

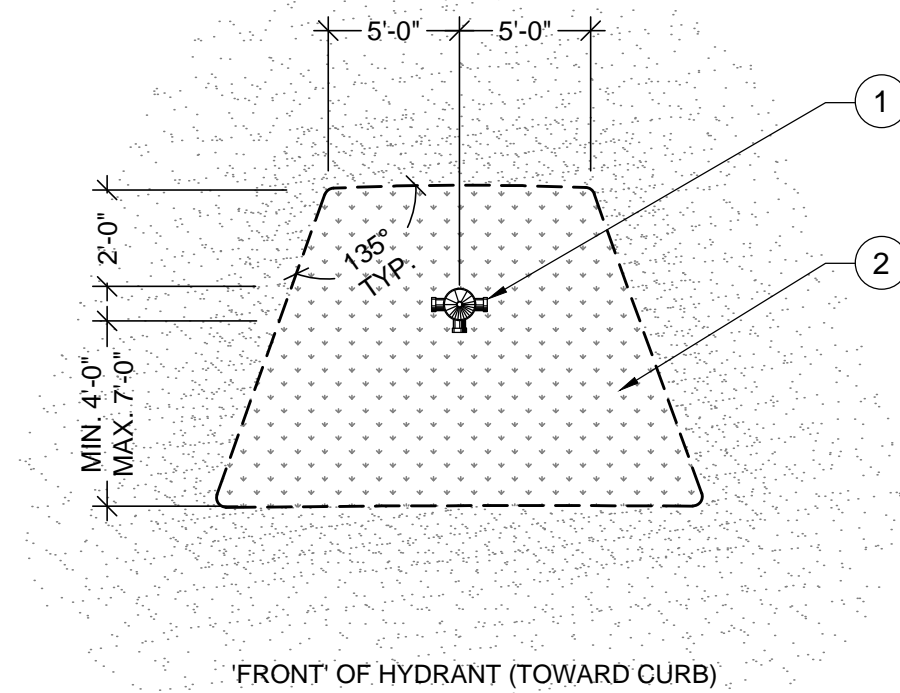


- 6" "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
- 8\"/>

INSTALLATION NOTES:

- POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL \"T\" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
- POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6\"/>

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.



- FIRE HYDRANT.
- NO PLANT SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
- NO TREES OR SHRUBS SHALL BE PLANTED IN FRONT OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.

CHASE

CHASE BANK - STORE NO. 55203
SHERIDAN ST. & US HWY 1
HOLLYWOOD, FLORIDA 33020

LANDSCAPE DETAILS

SCALE: AS NOTED
DESIGNED BY: PVC
DRAWN BY: CMB
CHECKED BY: PVC
LANDSCAPE ARCHITECT:
PATRICIA M. CASTELLANO, RLA
LICENSE NUMBER: 1667
DATE:

NO. REVISIONS DATE BY

SimplyVerde
SV Landscape Architecture
829 38th Avenue North, St. Petersburg, FL 33704
License Number: LC26000392

A

B

C

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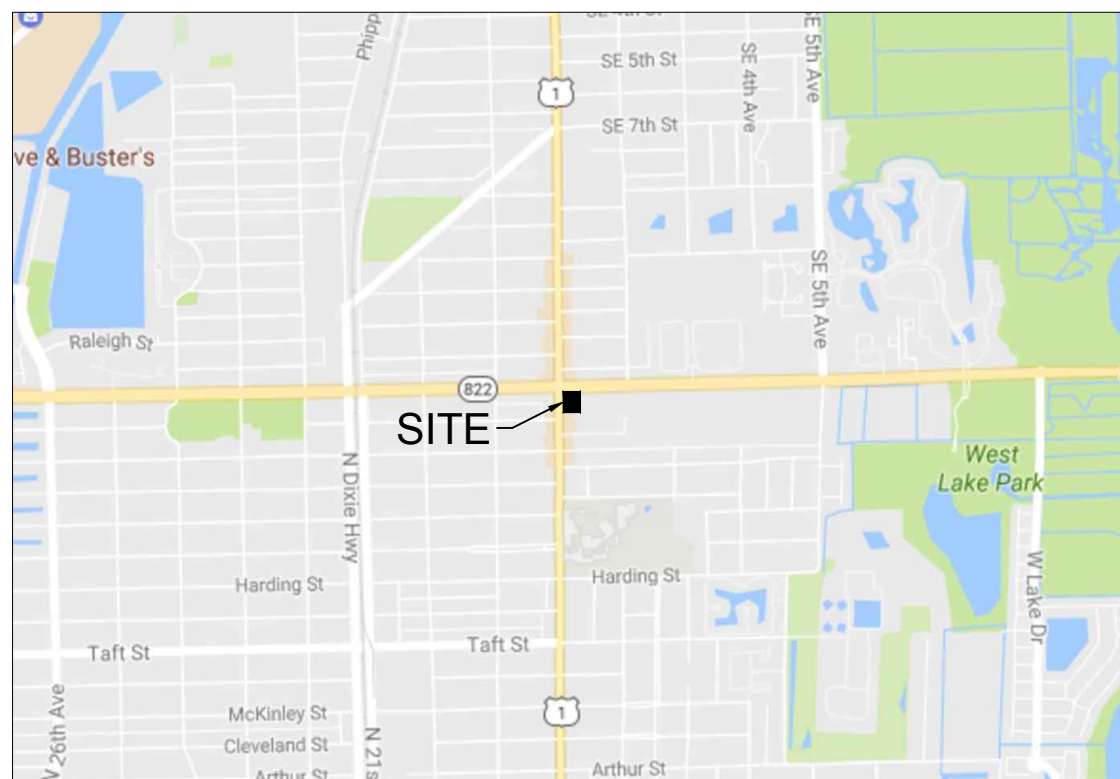
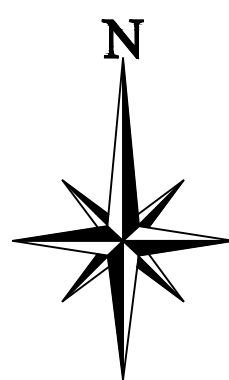
ELECTRIC COMPANY: FPL
4000 DAVIE ROAD EXTENSION
HOLLYWOOD, FL 33024
CONTACT: ERIC DOAN
TEL: 954.442.6369

TELEPHONE / INTERNET: COMCAST
4571 SHERIDAN STREET
HOLLYWOOD, FL 33021
TEL: 800.266.2278

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR CITY OF HOLLYWOOD, FLORIDA, COMMUNITY NUMBER 125113 0567H EFFECTIVE DATE 8/18/2014.

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

CHASE BANK - STORE NO. 55203
YOUNG CIRCLE
1700 SHERIDAN STREET
HOLLYWOOD, FL 33020
SECTION 10, TOWNSHIP 51 S., RANGE 42 E.
BROWARD COUNTY, FLORIDA



VICINITY MAP:
SCALE = 1" = 2,000'

SHEET INDEX				
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
C1	COVER SHEET			
C2	GENERAL NOTES			
C3	PHASE 1 EROSION AND SEDIMENTATION CONTROL PLAN			
C4	PHASE 2 EROSION AND SEDIMENTATION CONTROL PLAN			
C5	EROSION CONTROL DETAILS			
C6	DEMOLITION PLAN			
C7	SITE PLAN			
C8	GRADING AND DRAINAGE PLAN			
C9	UTILITY PLAN			
C10-C12	CONSTRUCTION DETAILS			
C13	PHOTOMETRIC PLAN			
REFERENCE SHEETS				
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
SHEET 1 OF 1	ALTA/ACSM LAND TITLE SURVEY BY BLOOMSTER			
L-01	EXISTING LANDSCAPE PLAN			
L-02	LANDSCAPE PLAN			
L-03	LANDSCAPE DETAILS			
L-04	LANDSCAPE NOTES			


A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10;
 THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET;
 THENCE SOUTH 00°37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 58.00 FEET;
 THENCE NORTH 89°22'22" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING;
 THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET;
 THENCE NORTH 88°13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.97 FEET;
 THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET; THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT;
 THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°06'34" WEST, AN ARC DISTANCE OF 4.36 FEET TO THE POINT OF BEGINNING OF A LINE 12.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1);
 THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINING 0.696 ACRES.



CORE STATES



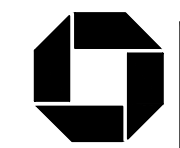
GROUP

110 NORTH 11TH STREET, SUITE 101
TAMPA, FL 33602
PHONE (813) 460-1755
FAX (813) 430-1759
CCARDEN@CORE-ENG.COM

CORESTATES, INC.
CA # 9878

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CLIENT



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THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO

[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK AT
YOUNG CIRCLE, FL
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

SHEET TITLE
COVER SHEET

JOB #:	JPM.19067
DATE:	05.12.2017
SCALE:	N/A
DRAWN BY:	CED
CHECKED BY:	ZHT

SHEET NO.

C1

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL, (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAD'S, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE BROUGHT TO A SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.

3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.

5. ALL EXISTING SERVICES, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND REPORT OR RELAY TO THE CITY/COUNTY OF CONSTRUCTION. THE AFFECTED UTILITY COMPANY, ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE AREA ROAD RIGHT-OF-WAY DURING CONSTRUCTION.

6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.

7. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

9. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.

11. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.

12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION, ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.

13. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

GENERAL SITE NOTES:

1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUE OF THE MATERIAL SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.

3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.

4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.

5. CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT. ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT BE A BASIS OF OR ANY OTHER BASIS FOR CLAIMS FOR DAMAGES. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF, PROFESSIONALS AND INSPECTORS.

8. THE GENERAL CONTRACTOR SHALL REMOVE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY PORTABLE UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.

9. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.

10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.

11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH THE ENTIRE CONSTRUCTION AREA PRIOR TO TURNOVER TO THE OWNER.

12. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY AND ALL EXISTING PAVING THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE SAWCUT, THEN REMOVED AND REPLACED.

13. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ARCHITECT/ENGINEER.

14. SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH EXISTING FLUSH AND SMOOTH.

15. IF REQUESTED BY THE OWNER, PROVIDE TEMPORARY CONSTRUCTION FENCING, MINIMUM 6'-0" HIGH AROUND ENTIRE AREA OF CONSTRUCTION OR PER THE CLIENTS STANDARDS. FIELD VERIFY EXACT LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT CURB AND POST HOLES.

16. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC. UNLESS NOTED OTHERWISE).

17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.

18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.

19. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.

20. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START.

21. CONTRACTOR SHALL PROVIDE ARCHITECTURAL PLANS, ELEVATIONS, EXACT LOCATIONS AND DIMENSIONS OF CURB APPURTENANCES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & LIGHTS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
27. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND UNCOMPLETED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE AND THE SITE SHALL BE STABILIZED PER THE PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
29. ALL VEGETATION FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE.
30. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GOVERNING AGENCY STANDARDS.
31. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
- ## GENERAL PAVING AND GRADING NOTES:
1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON FOR EXACT LOCATION OR DEPTH. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
5. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHIN THE EXTENT OF THE CONTRACT, THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKSMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST EDITION) RESPECTIVELY.
14. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
15. ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,500 PSI IN 28 DAYS. ALL CONCRETE SIDEWALKS SHALL HAVE CONJOINT JOINTS CUT ON 5-FOOT CENTERS AND EXPANSION JOINTS PLACED ON 60-FOOT CENTERS. CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS. CONSTRUCTION JOINT SPACING MATCHES WIDTH OF SIDEWALK AND EXPANSION JOINTS ARE REQUIRED AT A MAXIMUM OF 25 FEET. THIS WOULD MEAN 24 FEET FOR A 6 INCH CURB. PAVEMENT JOINTS SHALL BE SPACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR DETAILS.
16. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND GEOTECHNICAL REPORT.
17. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. ALL CONTRACTOR TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FINE DRAINING TOPSOIL.
18. CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DOWERTING MAY BY REQUIRED.
19. IF DOWERTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT/ENGINEER PRIOR TO EXCAVATION.
20. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LAWN AREAS.
21. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
22. CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
23. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED.
- ## GENERAL UTILITY NOTES:
1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE, A DAY BEFORE THE PROPOSED DATE OF CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
5. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. REPAIRS MAY NOT BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISHED GRADE WITH WATER TIGHT LIDS.
9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

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2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON TO EXACTLY LOCATE OR ELEVATE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
5. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN TO EXISTING CONDITIONS OR BETTER.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITH THE EXCEPTION THAT THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SATISFACTORY STANDARDS.
13. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKSMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST EDITION) RESPECTIVELY.
14. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
15. ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI IN 28 DAYS. CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON FOOT CENTERS AND EXPANSION JOINTS PLACED ON 60-FOOT CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS. CONTRACTION JOINT SPACING MATCHES WIDTH OF SIDEWALK AND EXPANSION JOINTS ARE REQUIRED AT A MAXIMUM OF 25 FEET. THIS WOULD MEAN 24 FEET FOR A 6 INCH CURB. PAVEMENT JOINTS SHALL BE SPACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR DETAILS.
16. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND GEOTECHNICAL REPORT.
17. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMBEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL PLANTING AREAS ARE PLANTED FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FINE DRAINING TOPSOIL.
18. CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DETERMINING MAY BY REQUIRED.
19. IF DETERMINING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT/ENGINEER PRIOR TO EXCAVATION.
20. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPED AREAS.
21. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
22. CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
23. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED.

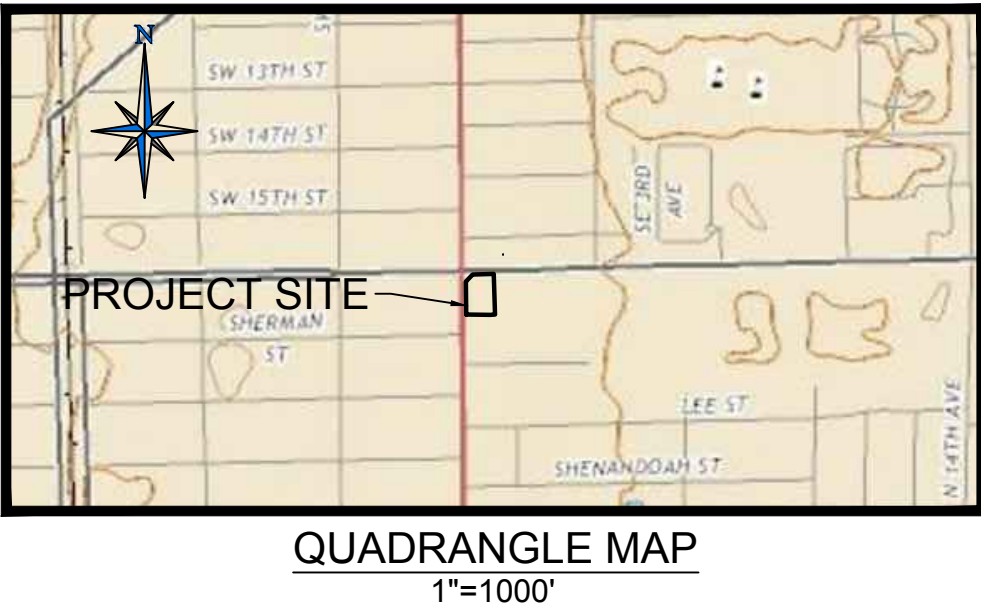
GENERAL UTILITY NOTES:

1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER'S CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
5. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. REPAIRS MAY NOT BE REPLACED OR REPAIRED IN PLACE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL UTILITIES THAT MAY BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE TYPE OF UTILITY AND THE POINT OF INSTALLATION. THE WORKING ANNUITS DURING INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISHED GRADE WITH WATER TIGHT LIDS.
9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

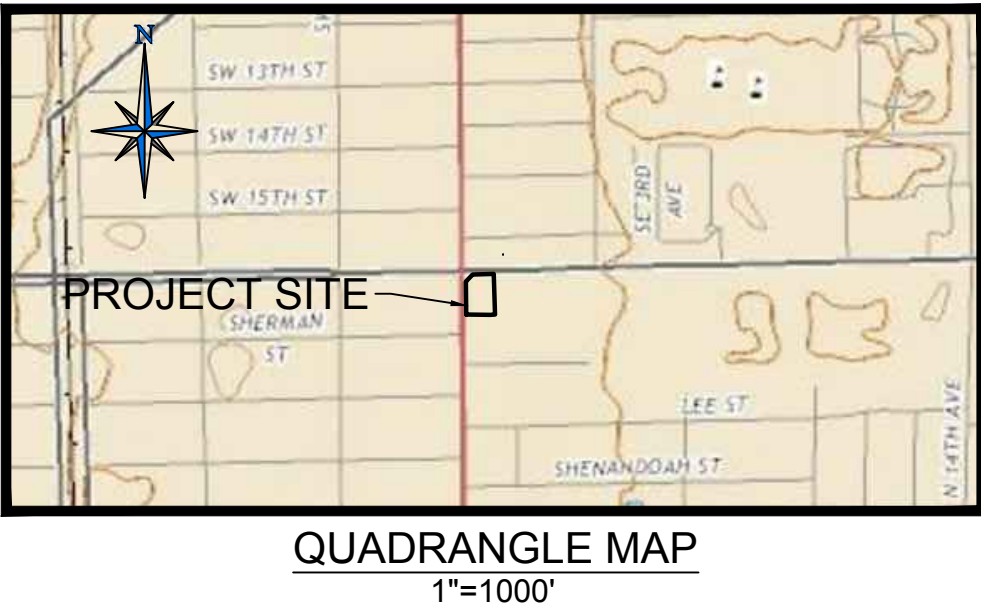
- * CLEAN OUT
- MANHOLE
- WATER VALVE
- FIRE HYDRANT
- SPOT ELEVATIONS
- LIGHT POST
- GAS VALVE
- INV. INVERT
- EL. ELEVATION
- DEPT. DEPARTMENT
- CBS CONCRETE BLOCK STRUCTURE
- EP EDGE OF PAVEMENT
- R/W RIGHT OF WAY
- M.B. MAP BOOK
- PG. PAGE
- ORR OFFICIAL RECORDS BOOK
- FB FLAT BOOK
- LCB LICENSED BUSINESS
- BRF BROWARD COUNTY RECORDS
- E UNDERGROUND ELECTRIC
- HL. UNDERGROUND WATER LINE
- AVD NORTH AMERICAN VERTICAL DATUM

STANDARD ABBREVIATIONS	
AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCRP	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

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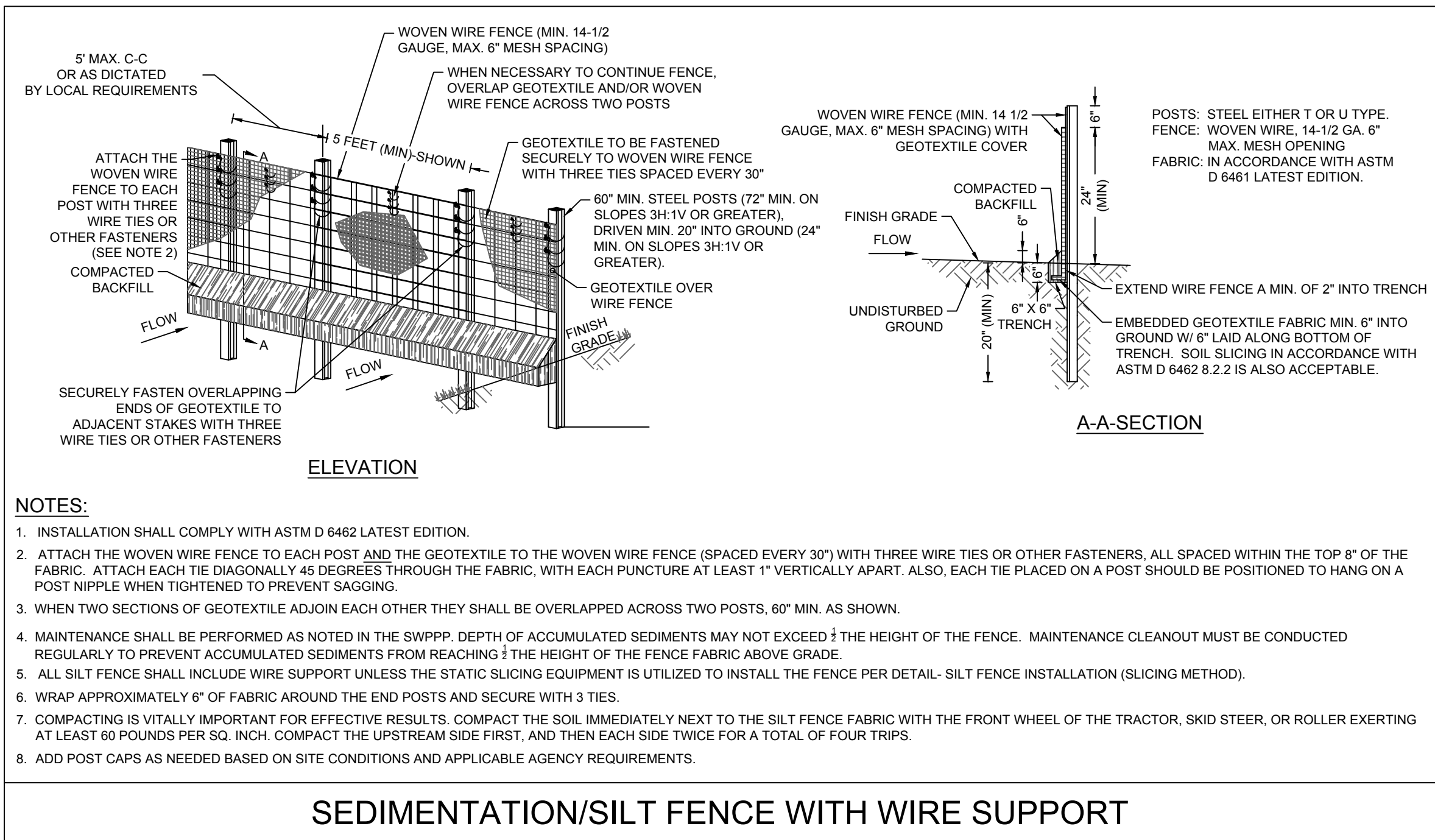
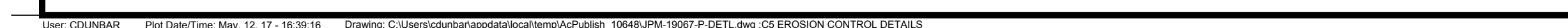
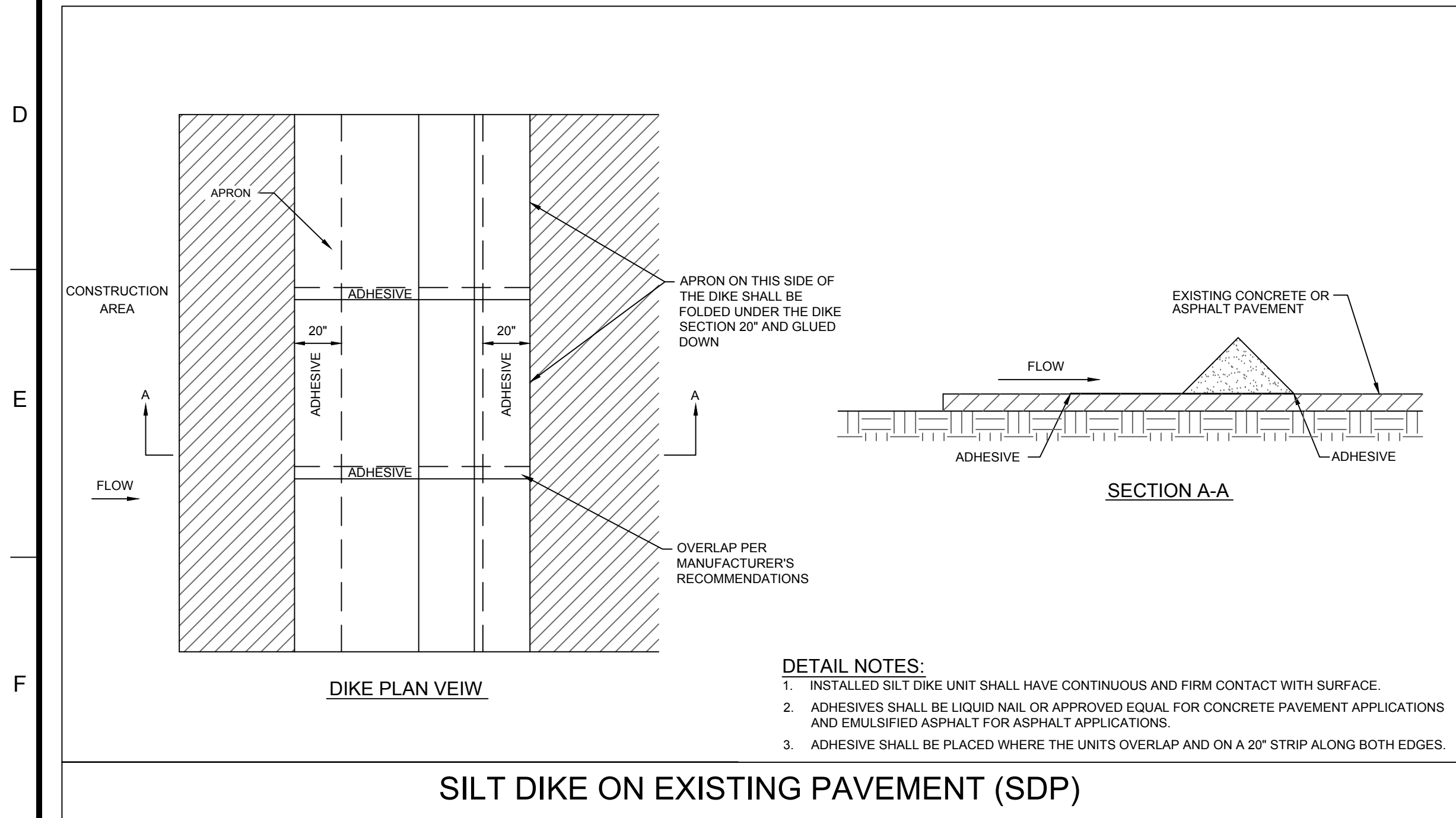
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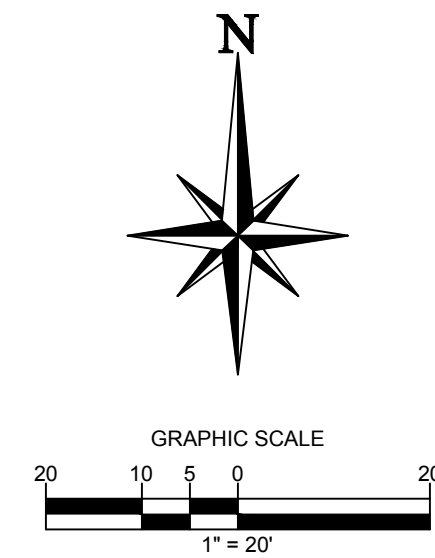
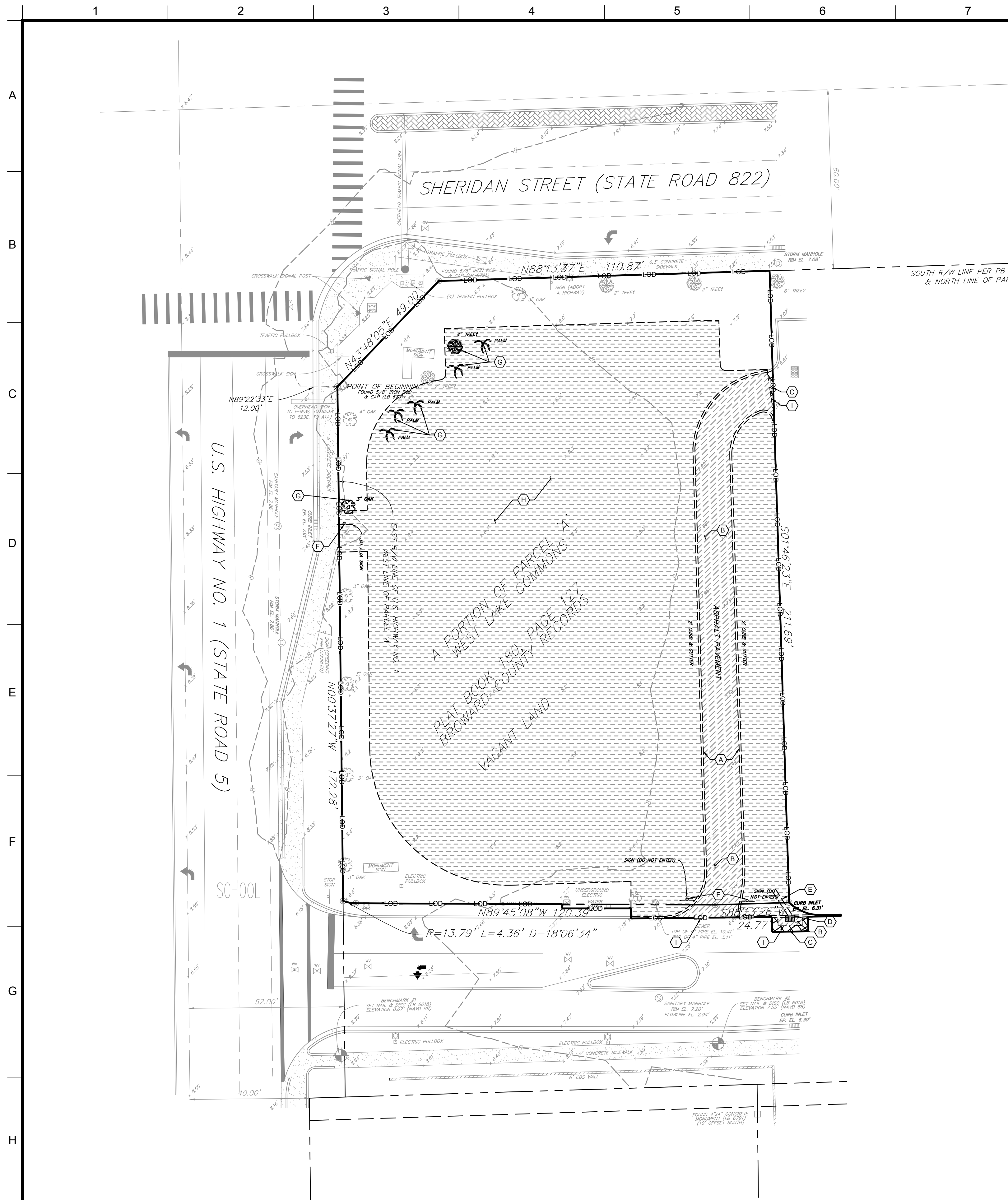
ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	0.704
ON-SITE DISTURBED AREA	0.696
OFF-SITE DISTURBED AREA	0.008
TOTAL DISTURBED AREA (MUST MATCH NOI)	0.704
IMPERVIOUS AREA AT COMPLETION	0.529
PERVIOUS/ SEEDED AREA AT COMPLETION	0.175

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ACREAGE SUMMARY (IN ACRES)	
TOTAL PROJECT AREA	0.704
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TOTAL DISTURBED AREA (MUST MATCH NOI)	0.704
IMPERVIOUS AREA AT COMPLETION	0.529
PERVIOUS/ SEEDED AREA AT COMPLETION	0.175

C4





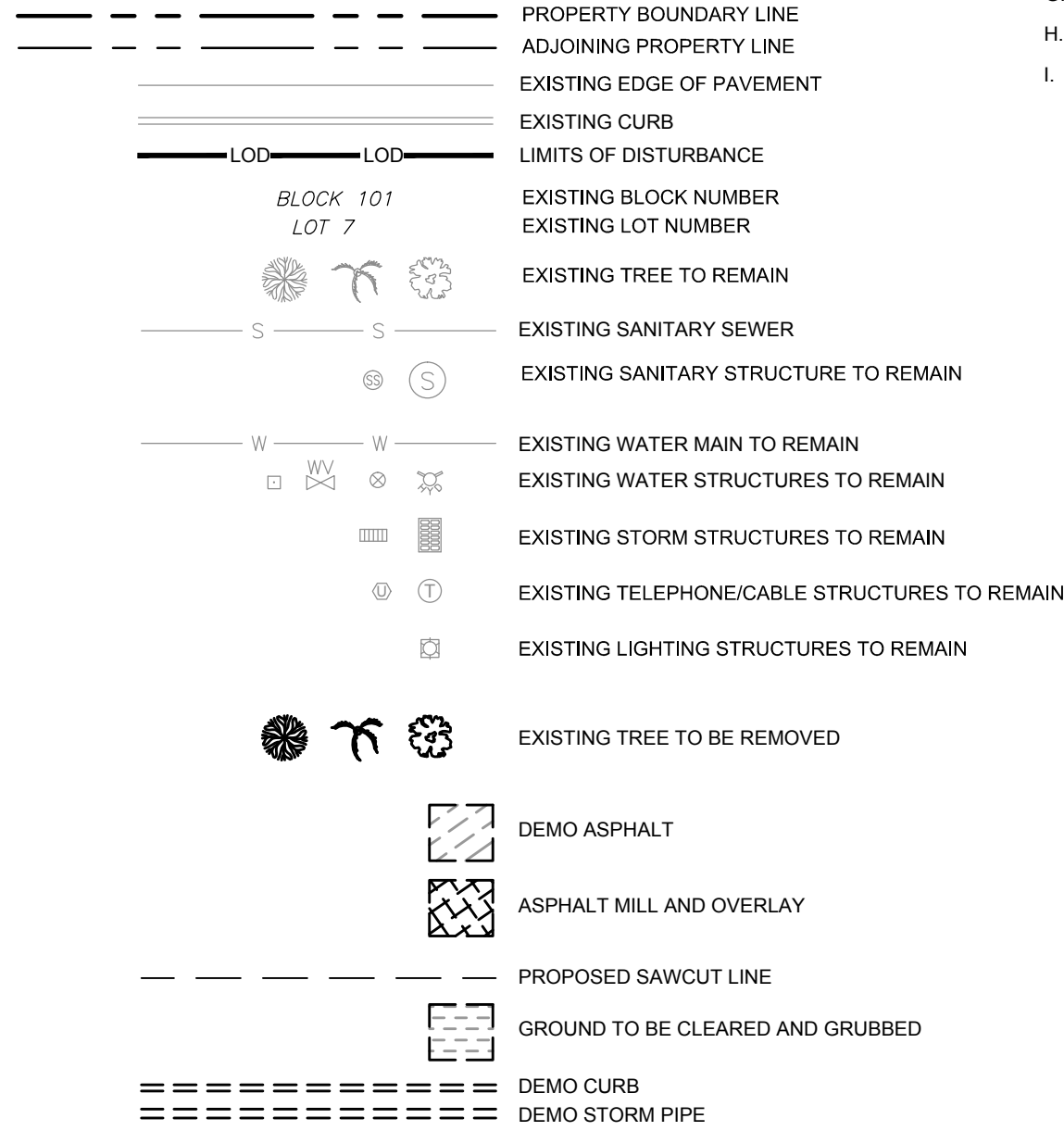
DEMOLITION NOTES:

1. CONTRACTOR TO FIELD LOCATE ALL EXISTING ON-SITE UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
2. ALL ITEMS DARK AND DASHED TO BE REMOVED OR REPLACED PER KEYED NOTES.
3. ALL PROPER EROSION CONTROL METHODS SHALL BE INSTALLED AND FUNCTIONAL PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
4. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.


KEYED NOTES:

- A. EXISTING CONCRETE CURB TO BE REMOVED (430 LF ±).
- B. EXISTING ASPHALT PAVEMENT TO BE REMOVED (2,300 SF ±).
- C. EXISTING ASPHALT PAVEMENT TO BE MILLED (50 SF ±).
- D. EXISTING STORM INLET STRUCTURE TO BE REMOVED. CONTRACTOR SHALL ENSURE EXISTING STORMWATER FLOW IS PUMPED AND CONTAINED ON-SITE DURING INSTALLATION OF PROPOSED STRUCTURE.
- E. EXISTING 15" STORM SEWER STUB TO BE REMOVED (10 LF ±).
- F. EXISTING SIGN TO BE REMOVED.
- G. EXISTING TREE TO BE REMOVED.
- H. GROUND TO BE CLEARED AND GRUBBED (22,680 SF ±).
- I. SAWCUT LINE.

DEMOLITION LEGEND



CORE STATES



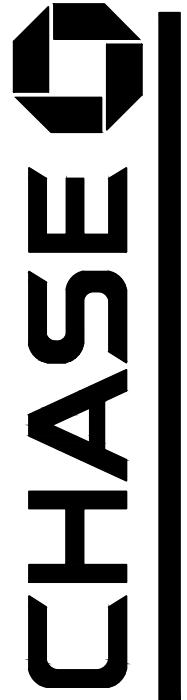
GROUP

110 NORTH 41TH STREET, SUITE 101
TAMPA, FL 33602
PHONE (813) 490-1755
FAX (813) 490-1759
CCARDEN@CORE-ENG.COM

CORESTATES, INC.
CA # 9578

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORSE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO

REVISIONS

[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK AT
YOUNG CIRCLE, FL
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

ENGINEER SEAL

SHEET TITLE
DEMOLITION
PLAN

JOB #:	JPM.19067
DATE:	05.12.2017
SCALE:	1"=20'
DRAWN BY:	CED
CHECKED BY:	ZHT

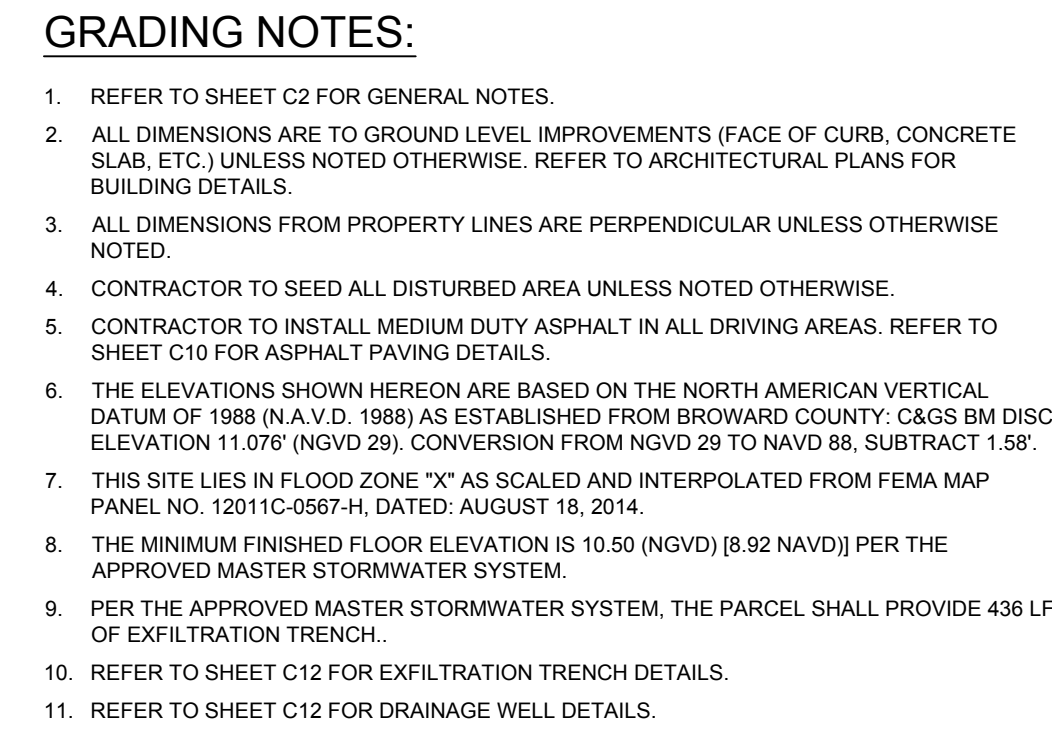
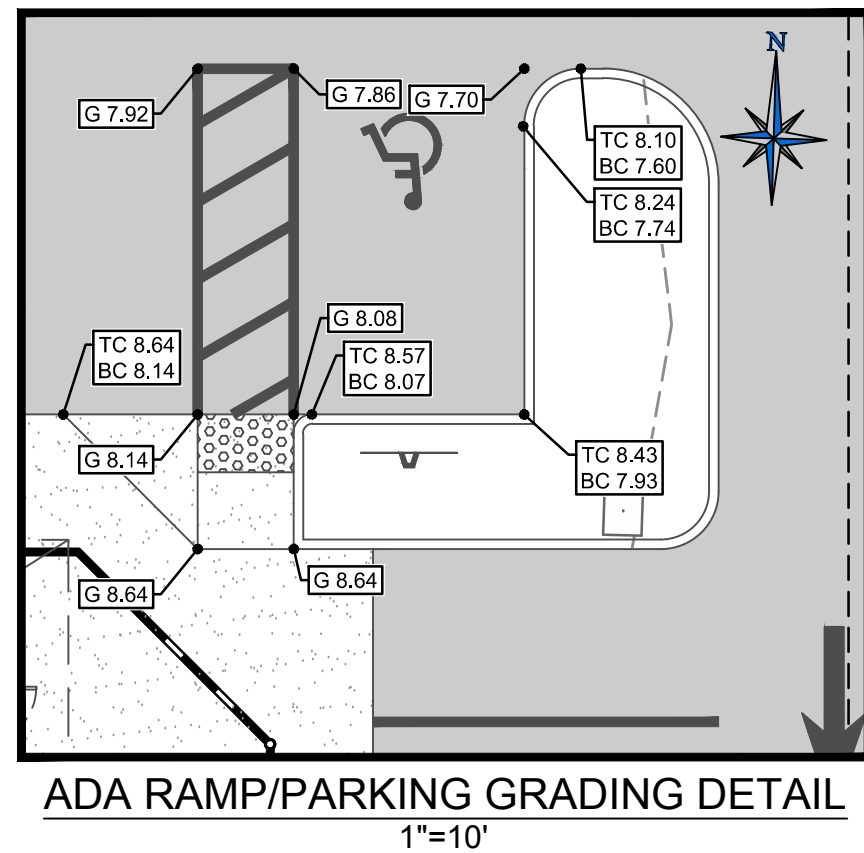
SHEET NO.

C6



KEY NOTES:

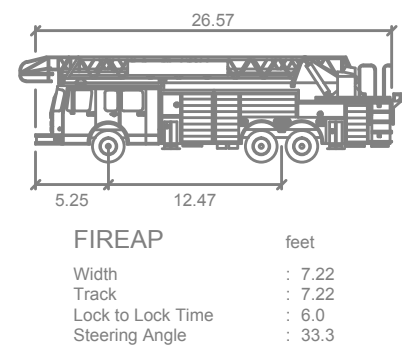
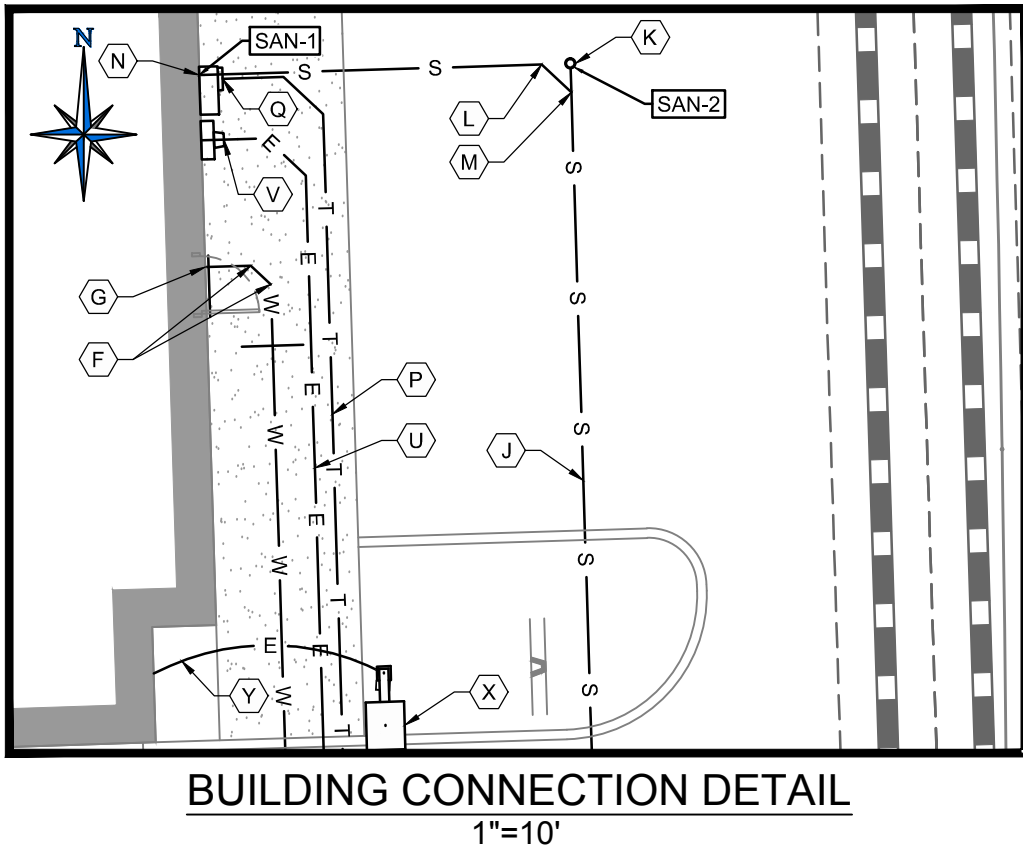
A.	PROPOSED 4.453 SF CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
B.	PROPOSED BUILDING SIGNS TO BE PROVIDED AND INSTALLED BY OTHERS.
C.	PROPOSED DRIVE-THRU ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
D.	PROPOSED ASPHALT PAVEMENT (15,890 SF ±). REFER TO SHEET C10 FOR DETAIL.
E.	PROPOSED 9' x 18' PARKING SPACE. (TYPICAL)
F.	PROPOSED 12' x 18' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.
G.	PROPOSED 5' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAIL.
H.	PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C11 FOR DETAIL.
I.	PROPOSED ADA COMPLIANT CURB RAMP. REFER TO SHEET C10 FOR DETAIL.
J.	PROPOSED DETECTABLE WARNING. REFER TO SHEET C10 FOR DETAIL.
K.	PROPOSED CONCRETE SIDEWALK WITH TURNED DOWN EDGE (1,581 SF ±). REFER TO SHEET C10 FOR DETAIL.
L.	PROPOSED BRICK PAVEMENT CROSSWALK (327 SF ±). REFER TO SHEET C10 FOR DETAIL.
M.	PROPOSED FDOT TYPE "D" CURB (971 LF ±). REFER TO SHEET C10 FOR DETAIL.
N.	PROPOSED HEAVY DUTY CONCRETE PAVEMENT (166 SF ±). REFER TO SHEET C10 FOR DETAIL.
O.	PROPOSED 24" WIDE THERMOPLASTIC STOP BAR. REFER TO SHEET C11 FOR DETAIL.
P.	PROPOSED 24" WIDE THERMOPLASTIC STOP BAR WITH "DO NOT ENTER" PAINTED ON PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
Q.	PROPOSED 6" SOLID WHITE PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
R.	PROPOSED 6" SOLID BLUE PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
S.	PROPOSED DIRECTION TRAFFIC MARKING. REFER TO SHEET C11 FOR DETAIL.
T.	PROPOSED STOP SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
U.	PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAIL.
V.	PROPOSED MONUMENT SIGN BY OTHERS. REFER TO SIGNAGE PACKAGE PREPARED BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
W.	PROPOSED TRASH ENCLOSURE LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
X.	PROPOSED CONCRETE TRANSFORMER PAD.
Y.	PROPOSED BOLLARD. REFER TO SHEET C10 FOR DETAIL.
Z.	PROPOSED CURB TRANSITION. REFER TO SHEET C10 FOR DETAIL.
AA.	PROPOSED 25' HIGH DIRECT BURRY CONCRETE SITE LIGHT POLE. (SEE SITE NOTE # 6)
AB.	PROPOSED "U" SHAPE BICYCLE RACK. REFER TO SHEET C11 FOR DETAIL.
AC.	PROPOSED DRAINAGE WELL. REFER TO SHEET C12 FOR DETAIL.



DRAINAGE SCHEDULE							
STRUCTURE NUMBER	STRUCTURE TYPE	DRAINAGE AREA TO STRUCTURE (AC.)	GRATE/E.O.P. / RIM ELEV.	INVERT ELEV.	DOWNSTREAM PIPE INFORMATION		
					PIPE LENGTH (FEET)	PIPE SIZE / TYPE	PERCENT SLOPE
ST-1	TYPE F	0.1250	6.75	2	87 (WEST) 132 (SOUTH)	18" HDPE EXFILTRATION TRENCH	0.00%
ST-2A	STUB	0.090	--	5.42	2	4" PVC	2.50%
ST-2B	CLEANOUT	--	8.90	5.37	21	4" PVC	2.50%
ST-3C	CLEANOUT	--	8.85	4.85	19	4" PVC	2.50%
ST-2D	STUB	0.008	--	4.42	2	4" PVC	2.50%
ST-2E	CLEANOUT	--	8.90	4.37	24	4" PVC	2.50%
ST-2F	STUB	0.008	--	3.82	2	4" PVC	2.50%
ST-2G	CLEANOUT	--	8.90	3.77	39	4" PVC	2.50%
ST-2	TYPE F	0.116	7.35	2	28	15" HDPE	0.00%
ST-3	MANHOLE	--	7.68	2	116	18" HDPE EXFILTRATION TRENCH	0.00%
ST-4	TYPE F	0.082	7.48	2	32	18" HDPE EXFILTRATION TRENCH	0.00%
ST-5	DRAINAGE WELL	--	8.02	2	--	24" WELL	0.00%
ST-6	MANHOLE	--	7.97	2	11	18" HDPE	0.00%
ST-7	TYPE F	0.107	6.75	2	79 (WEST) 43 (SOUTHEAST)	18" HDPE	0.00%
ST-8	TYPE C	EXISTING	6.31	2	EXISTING	EXISTING	EXISTING

NOTE TO THE CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITIES DEPTHS AND RECORD ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



SANITARY SEWER SCHEDULE						
STRUCTURE NUMBER	STRUCTURE TYPE	GRATE/E.O.P / RIM ELEV.	INVERT ELEV.	DOWNSTREAM PIPE INFORMATION		
				PIPE LENGTH (FEET)	PIPE SIZE / TYPE	PERCENT SLOPE
SAN-1	STUB	-	5.42	20	4" PVC	2.25%
SAN-2	CLEANOUT		4.97	69	4" PVC	2.25%
SAN-3	CLEANOUT		3.42	13	4" PVC	2.38%
SAN-4	EXISTING CLEANOUT		3.11	--	4" PVC	-

1. REFER TO SHEET C2 FOR GENERAL NOTES.
2. REFER TO SHEET C6 FOR DEMOLITION PLAN.
3. REFER TO SHEET C7 FOR SITE PLAN.
4. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
5. REFER TO SHEET L-01 FOR LANDSCAPE PLAN.
6. REFER TO SHEET I-01 FOR IRRIGATION PLAN.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND /OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
9. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM BROWARD COUNTY, C&GS BM DISC. 1076 (ELEV. 1076.00) LOCATED AT THE INTERSECTION OF S.W. 10TH AVENUE AND S.W. 15TH AVENUE.

A. PROPOSED POTABLE WATER CONNECTION POINT TO EXISTING 2" SERVICE SUB.

B. PROPOSED 1" POTABLE WATER METER AND 1" BACKFLOW PREVENTOR FOR SINGLE SERVICE SUB.

C. PROPOSED IRRIGATION C12 FOR DETAIL.

D. PROPOSED IRRIGATION WATER CONNECTION POINT TO EXISTING 4" SERVICE PLUG WITH 2" BLOWOFF.

E. PROPOSED 1" IRRIGATION METER AND 1" BACKFLOW PREVENTOR FOR IRRIGATION SERVICE SUB.

F. PROPOSED 1" SDR 21 DETAIL FOR DETAIL.

G. PROPOSED 1" (SHR 29) DOMESTIC WATER SERVICE. MAINTAIN 36" OF COVER. (78 LF TOTAL).

H. PROPOSED 1" PVC - 45° BEND.

I. PROPOSED IRRIGATION C12 FOR 1" POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

J. EXISTING FIRE HYDRANT ASSEMBLY.

K. CONNECT TO EXISTING 6" PVC SANITARY SEWER CLEANOUT. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERTS PRIOR TO CONSTRUCTION. (SEE NOTE #7).

L. PROPOSED 4" (SDR 26) PVC SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT A MINIMUM SLOPE OF 2.00%. (102 LF TOTAL).

M. PROPOSED 4" PVC SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C12 FOR DETAIL.

N. PROPOSED 4" - 45° BEND.

O. PROPOSED 4" - 45° WYE BEND.

P. PROPOSED LOCATION FOR 4" PVC SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

Q. PROPOSED POINT OF CONNECTION FOR TELEPHONE SERVICE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY.

R. CONTRACTOR TO PROVIDE (2) 4" UNDERGROUND CONDUITS FOR TELEPHONE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY FOR CONDUIT SPECIFICATIONS.

S. PROPOSED LOCATION FOR UNDERGROUND TELEPHONE AND CABLE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

T. POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE BY ELECTRIC COMPANY (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.

U. ELECTRIC COMPANY TO INSTALL UNDERGROUND CONDUITS FOR ELECTRICAL SERVICE TO TRANSFORMER. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY (FPL).

V. CONTRACTOR TO PROVIDE 2" UNDERGROUND CONCRETE PAD TO BE INSTALLED BY ELECTRIC COMPANY (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.

W. CONTRACTOR SHALL PROVIDE (6) 4" UNDERGROUND SECONDARY CONDUIT FOR ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (FPL).

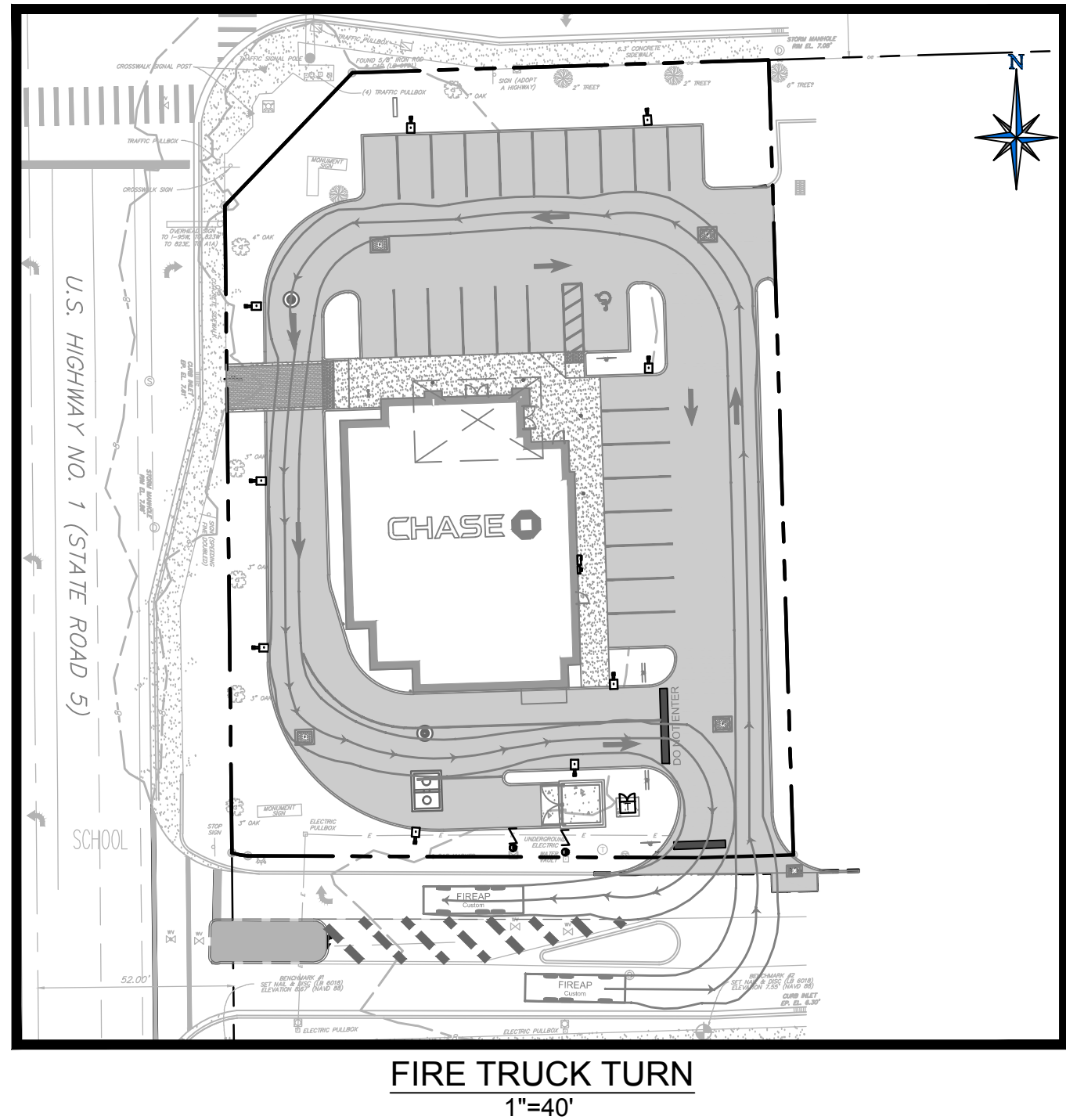
X. PROPOSED 1" MOUNTED IRRIGATION METER AND MANUAL TRANSFER SWITCH. REFER TO ARCHITECTURAL PLANS FOR DETAILS.




Y. PROPOSED 3/4" ELECTRICAL CONDUIT FOR MONUMENT SIGN.

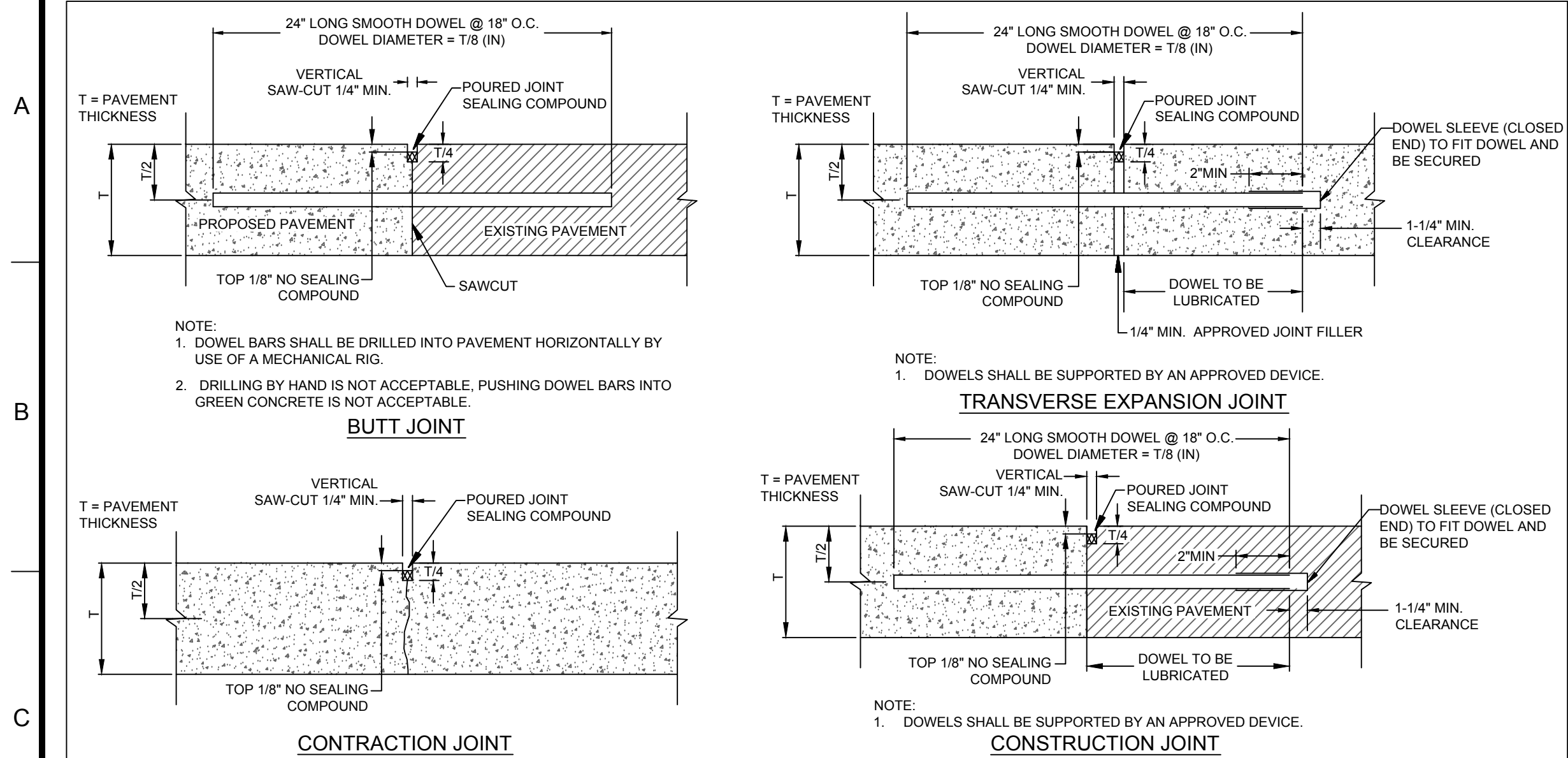
Z. POINT OF RISE, IRRIG. FIXTURE. 28" MOUNTING HEIGHT. (SEE PHOTOMETRIC PLAN). REFER TO SHEET C13 FOR DETAIL.

AA. PROPOSED 2" 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR SITE LIGHTING. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATIONS ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATE PROPOSED WIRING SCHEMATIC.

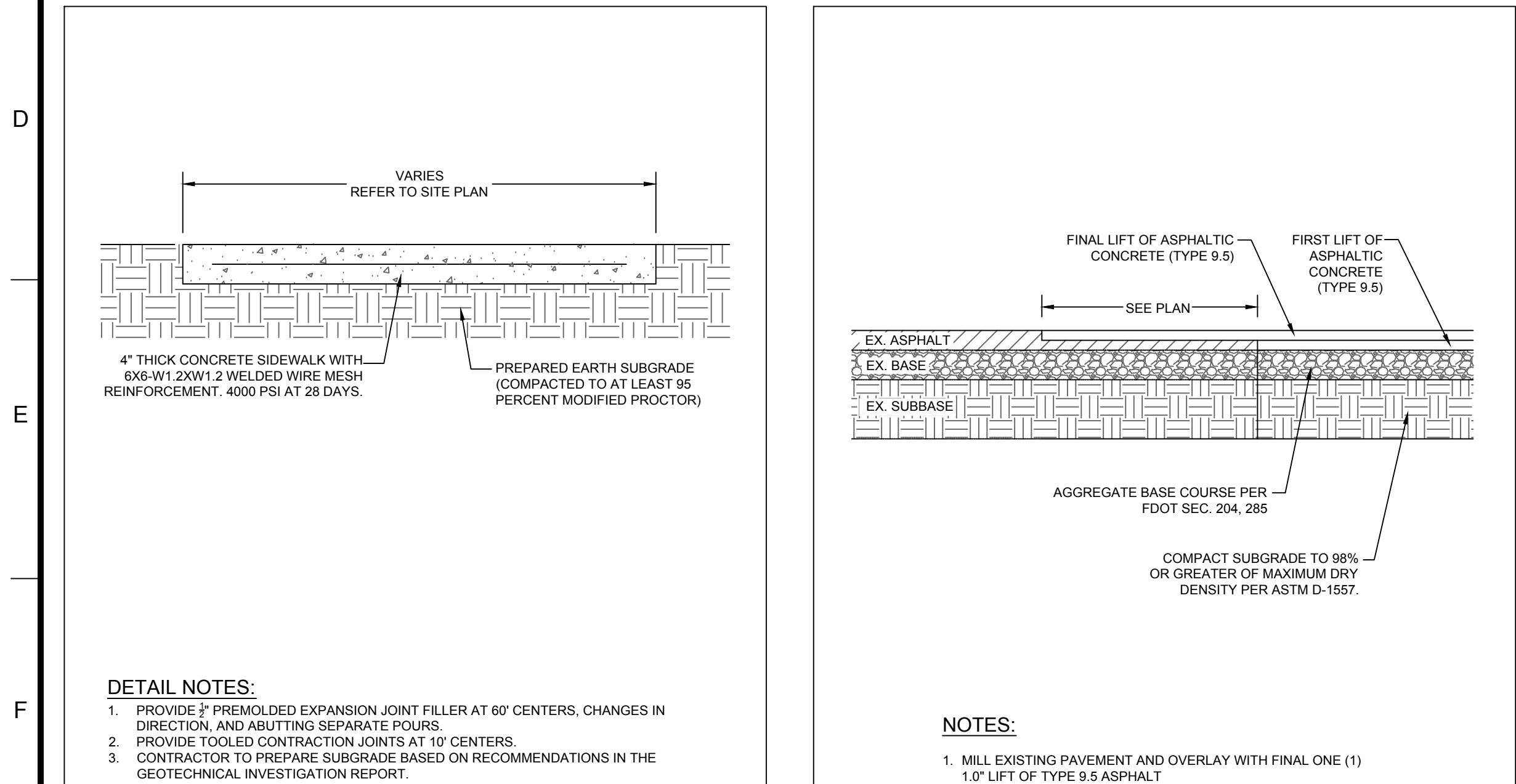
OFFICE BUILDING: 15 GPD PER 100 SF
 4,453 SF X 15 GPD/100 = 668 GPD
 668 GPD X 2.5 (PEAKING FACTOR) = 1,670 GPD = 70 GPH = 1.17 GPM



			
<p>CORE STATES GROUP</p> <p>110 NORTH 11TH STREET, SUITE 101 TAMPA, FL 33602 PHONE (813) 490-1755 FAX (813) 490-1759 GCARDEN@CORE-ENG.COM</p>		<p>CORESTATES, INC. CA# 9578</p>	
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CLIENT			
 CHASE			
 Know what's below. Call before you dig.			
THE CONTRACTOR IS RESPONSIBLY ADVISED BY CHASE BANK THAT THESE PLANS ARE BASED ON DESIGN INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND SHOULD BE CAREFULLY RE-EVALUATED PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY LOCATIONS TO PROCEED EXACT FIELD LOCATION(S) OF UTILITIES.			
REVISIONS			
REV.	DATE	COMMENT	BY
DOCUMENT CIVIL			
CONSTRUCTION			
PLANS FOR			
CHASE BANK AT			
YOUNG CIRCLE, FL			
SITE LOCATION			
1700 SHERIDAN			
STREET			
HOLLYWOOD, FL			
33020			
ENGINEER SEAL			
SHEET TITLE			
UTILITY PLAN			
JOB #:	JPM. 19007		
DATE:	05.12.2017		
SCALE:	1"=20'		
DRAWN BY:	CED		
CHECKED BY:	ZHT		
SHEET NO.			
C9			

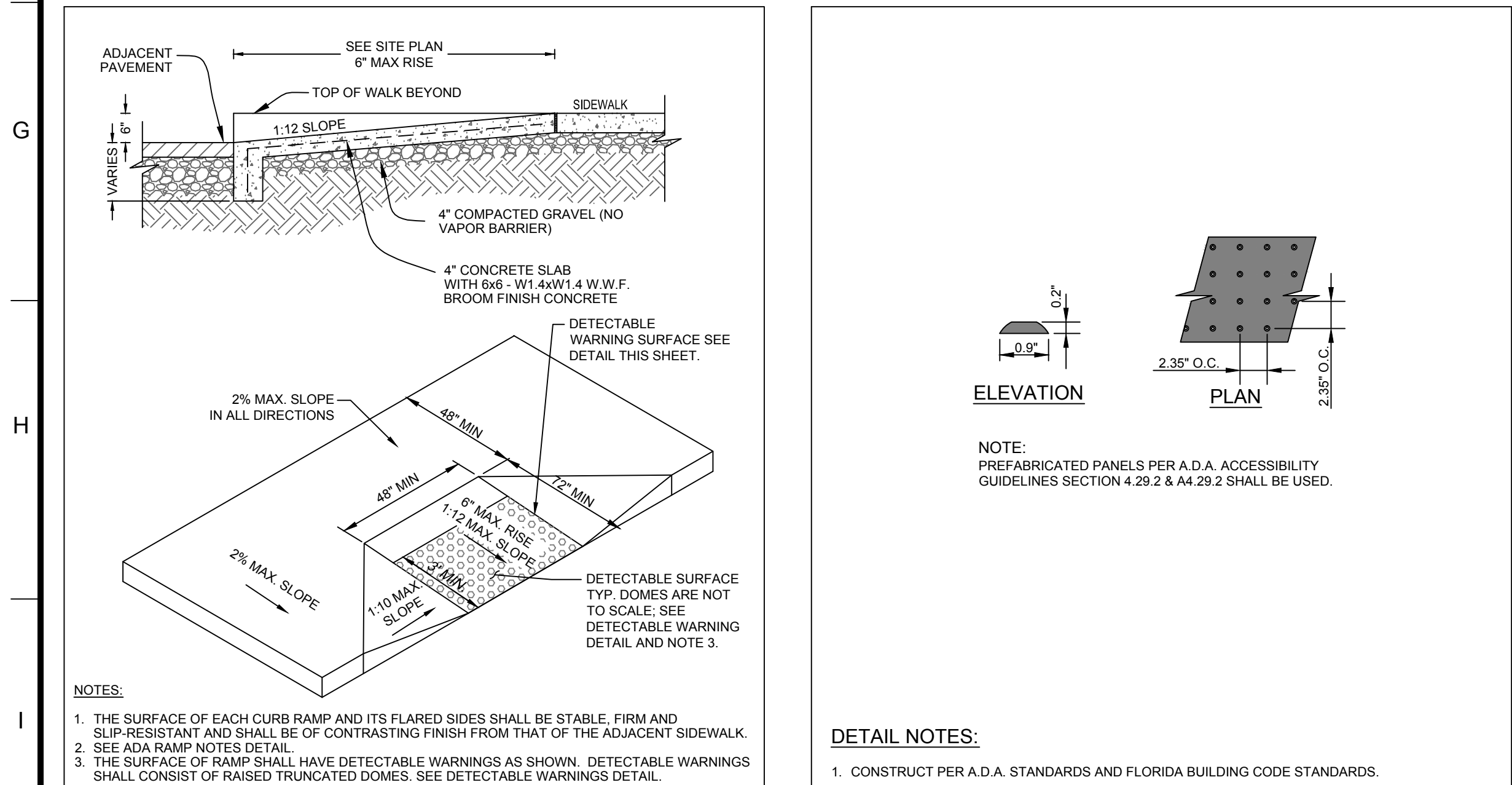


CONCRETE JOINT DETAILS



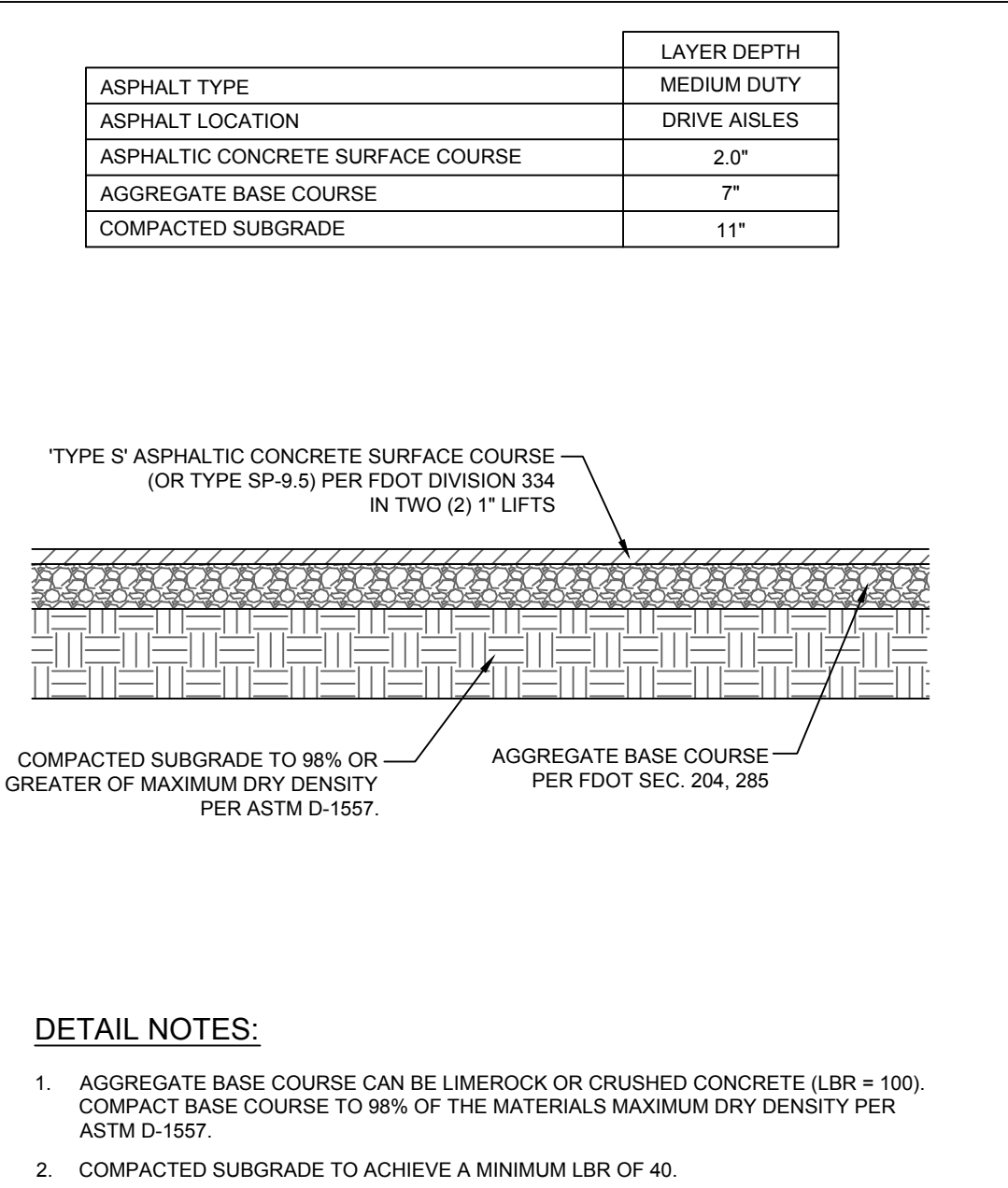
CONCRETE SIDEWALK DETAIL

MILL AND OVERLAY DETAIL

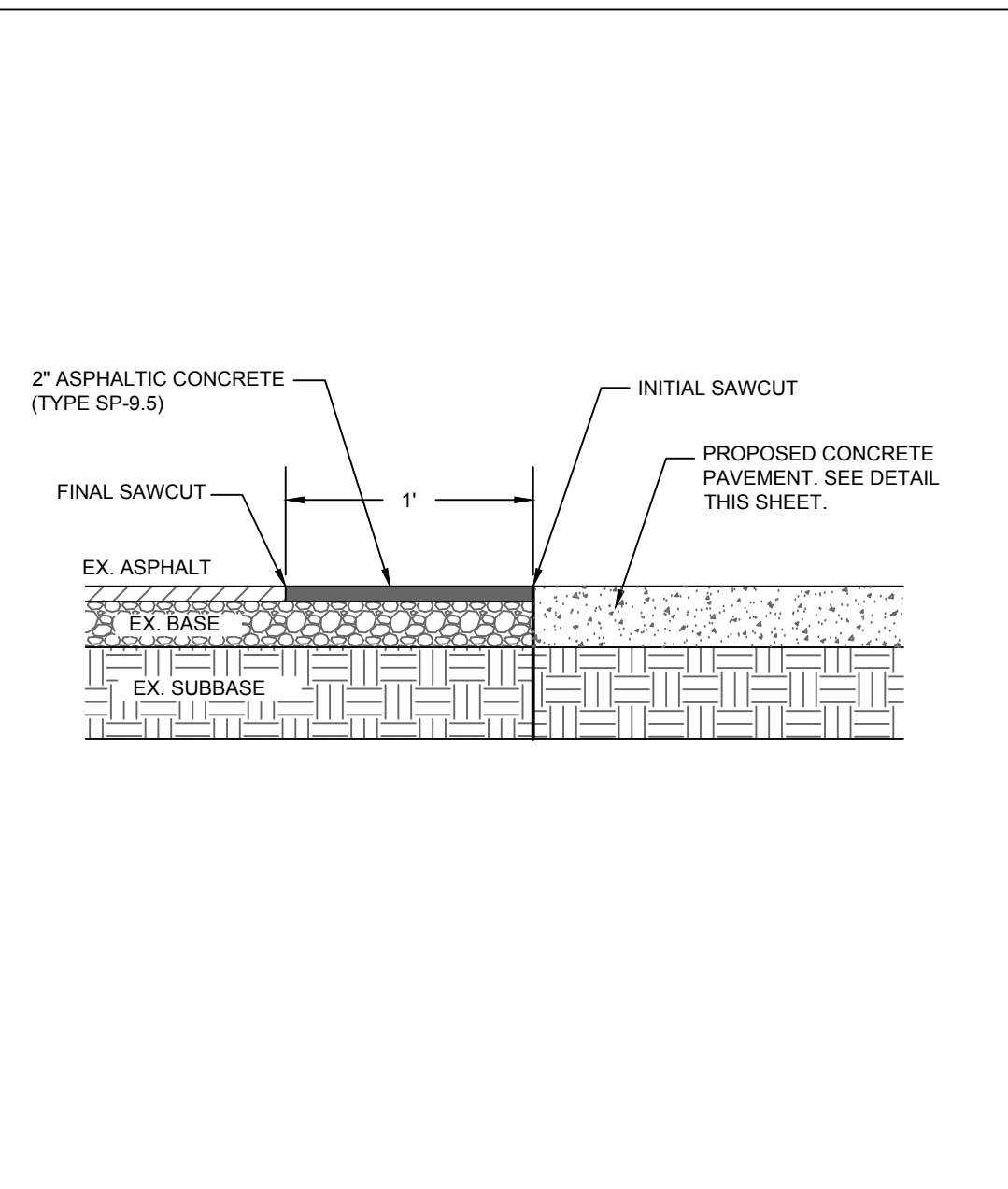


FLARED CURB RAMP DETAIL

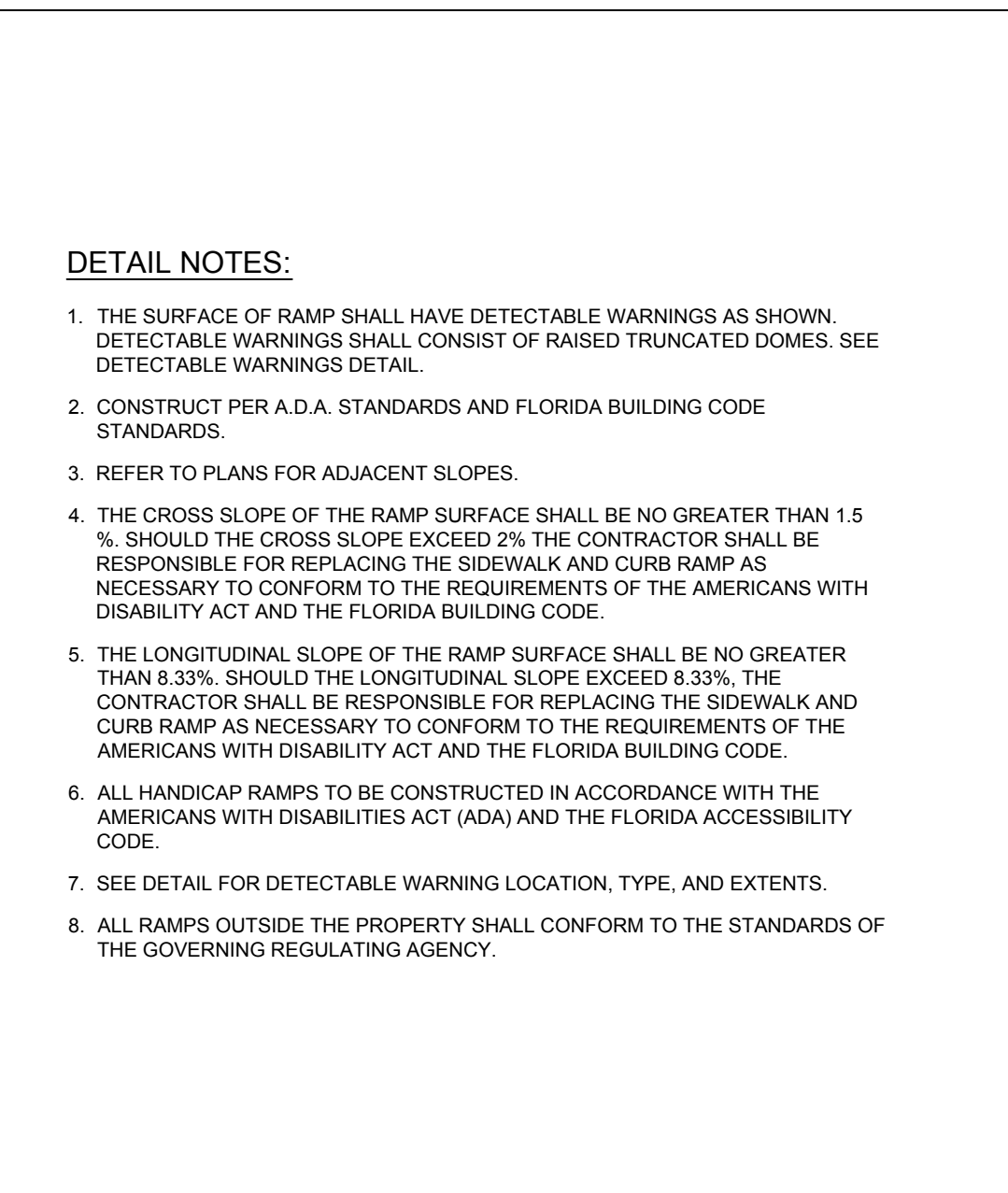
DETECTABLE WARNING DETAIL



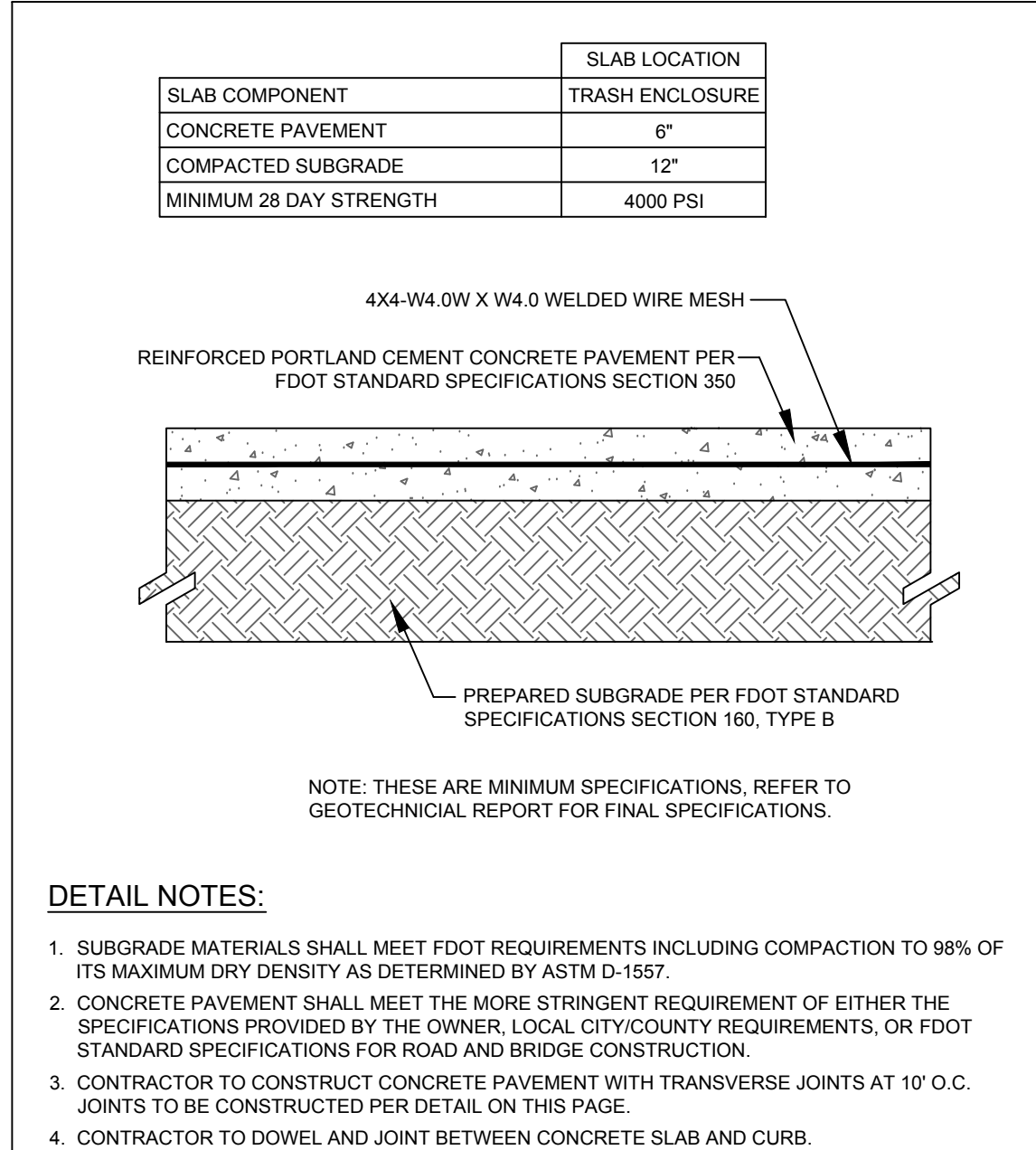
ASPHALT PAVING DETAIL



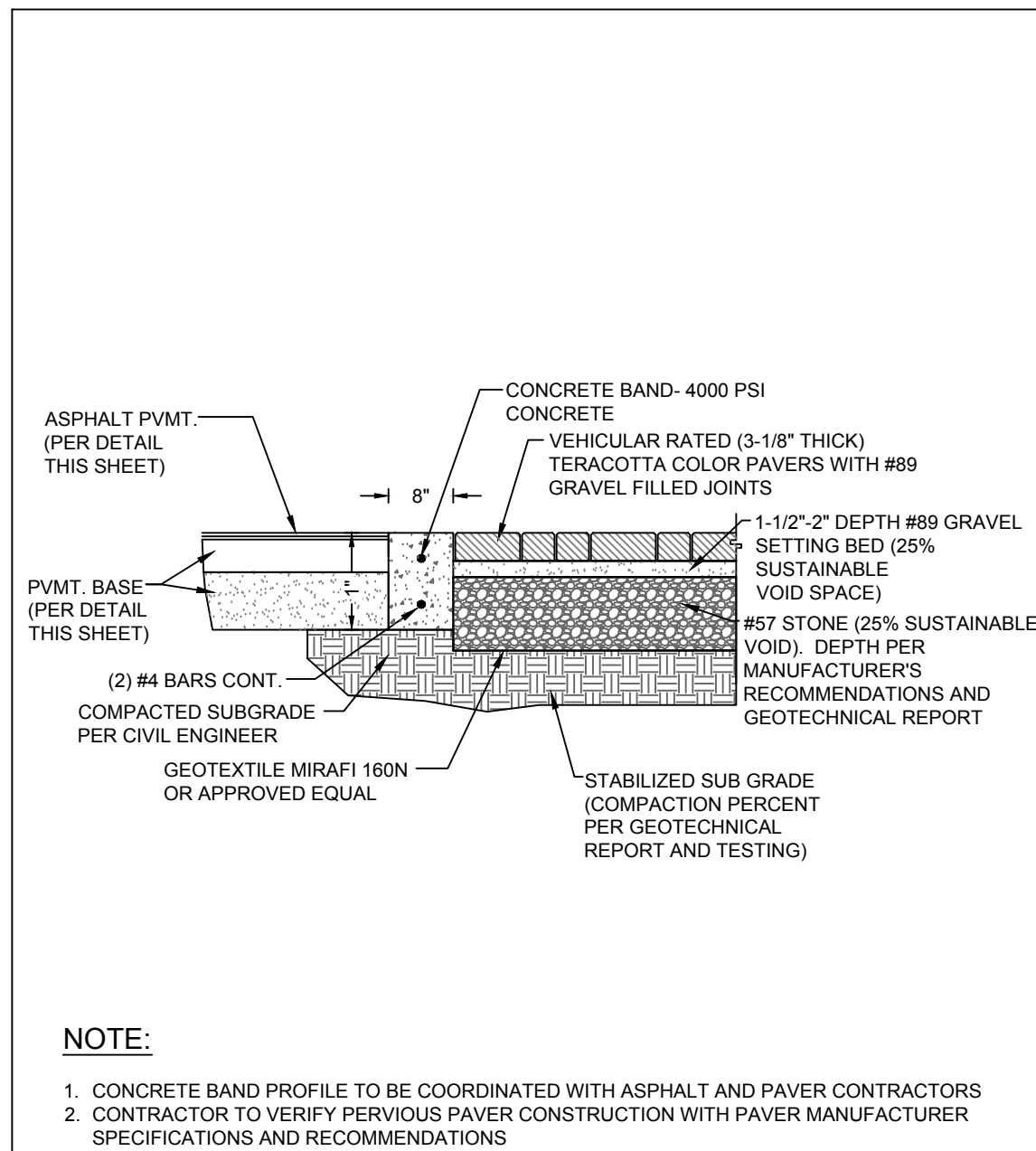
PAVEMENT CONNECTION DETAIL



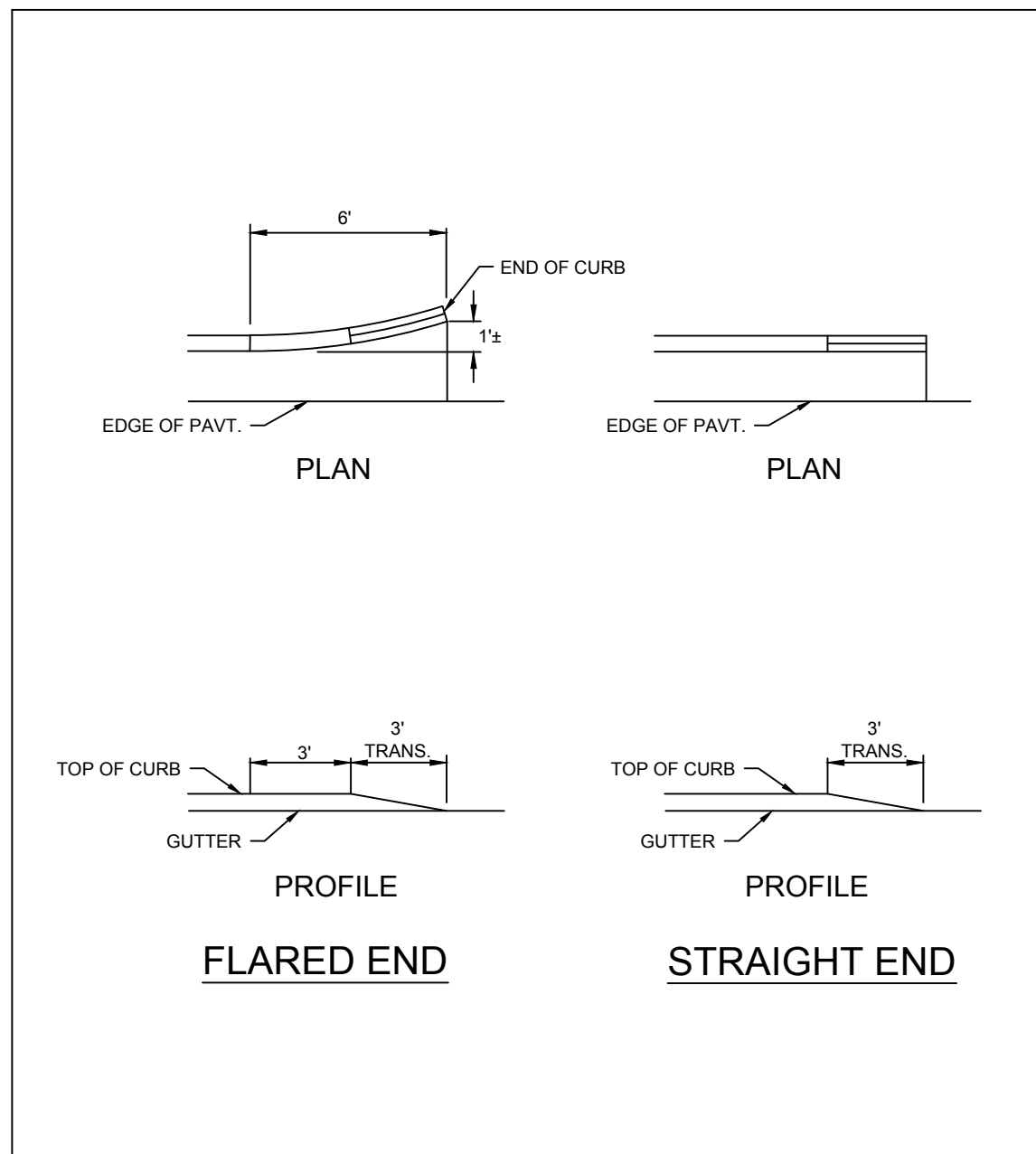
ADA RAMP NOTES



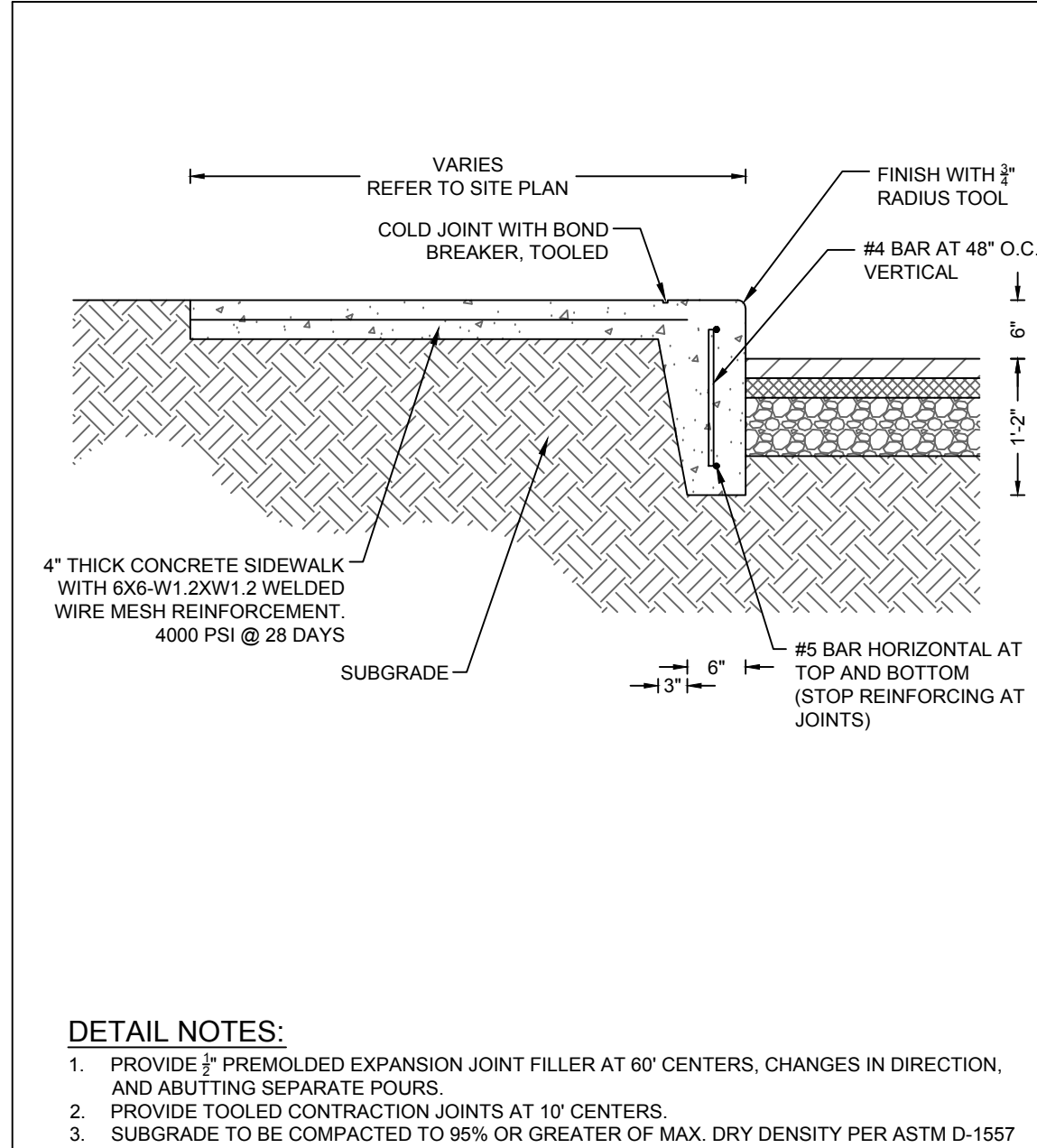
CONCRETE SLAB DETAIL



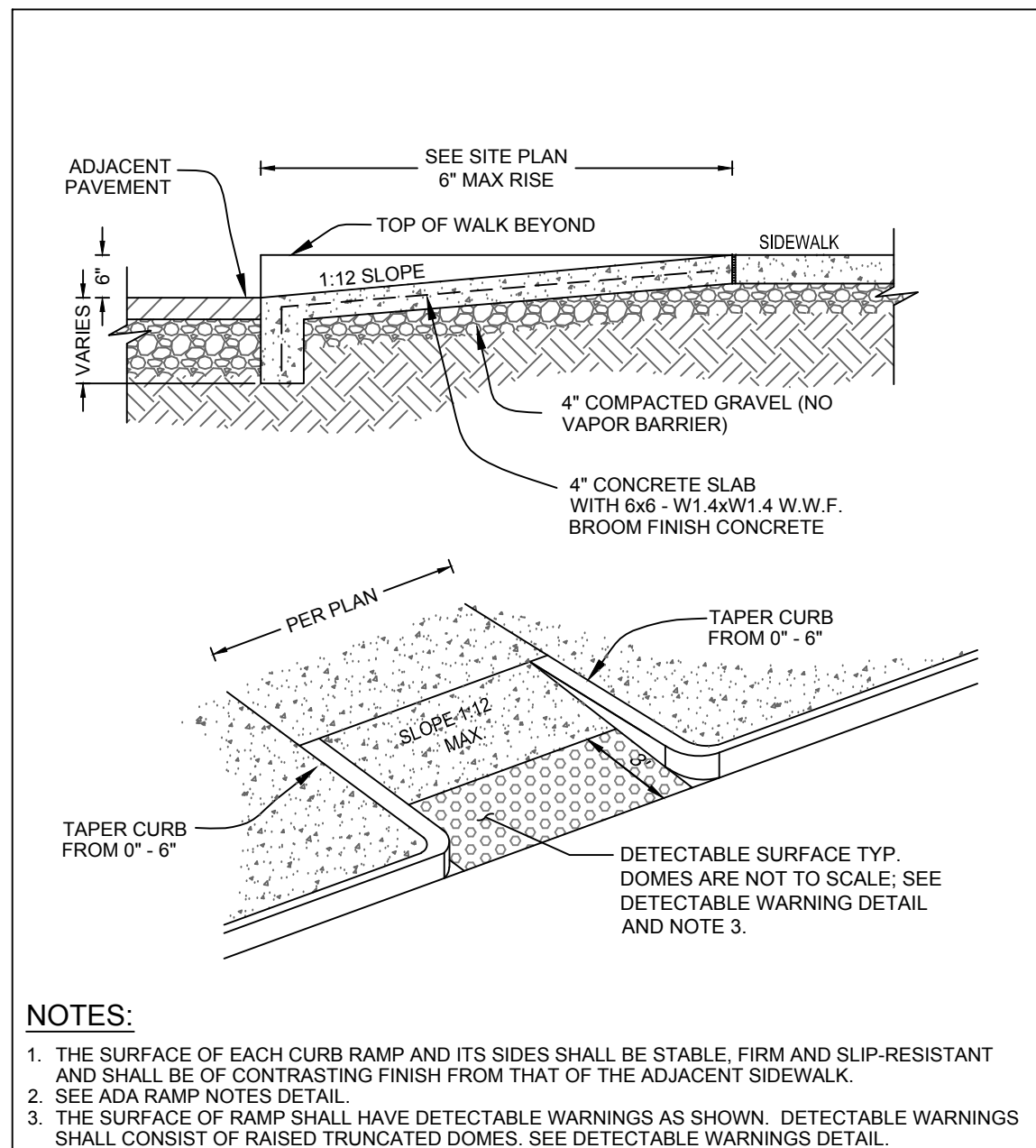
TYPICAL PAVER SECTION



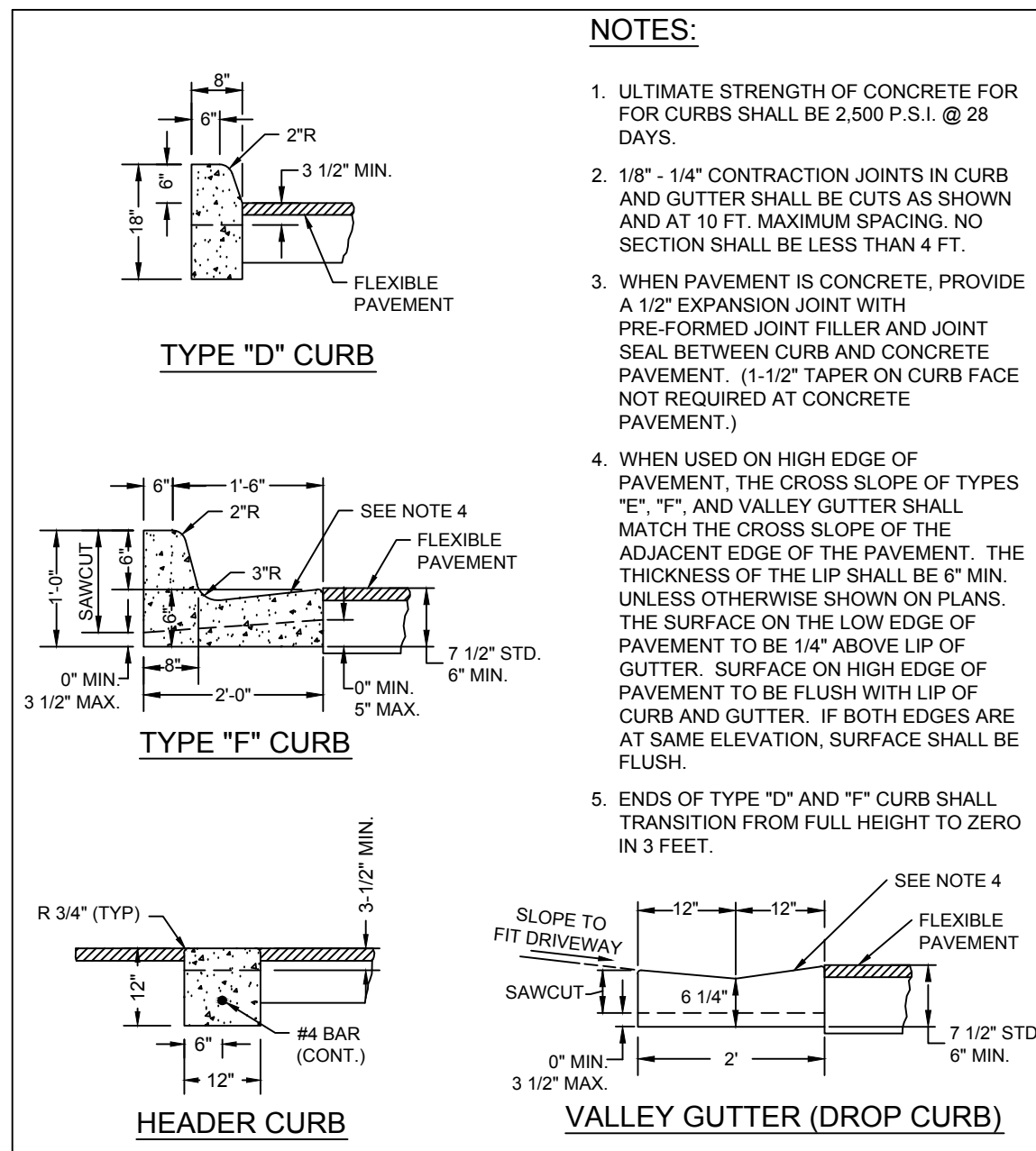
CURB TRANSITION DETAIL



TURNED DOWN CONCRETE WALK DETAIL



PERPENDICULAR CURB RAMP DETAIL



CONCRETE CURB DETAILS

CORE STATES GROUP

110 NORTH 11TH STREET, SUITE 101
FORT LAUDERDALE, FL 33304
PHONE (813) 490-1755
FAX (813) 490-1759
SCARDEN@CORE-ENG.COM
CA # 9578

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CLIENT

CHASE

811

Know what's below. Call before you dig.

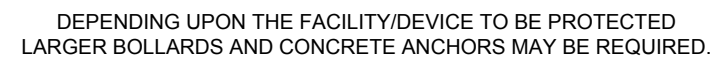
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN INFORMATION RECEIVED BY CORE STATES, INC. CORE STATES, INC. DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 10 DAYS BEFORE ANY EXCAVATION TO LOCATE AND MARK ALL UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY

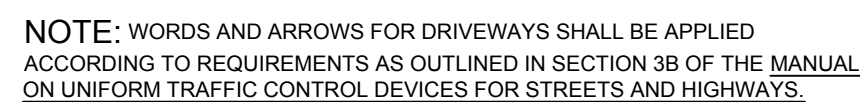
DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK AT
YOUNG CIRCLE, FL
SITE LOCATION
1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020
ENGINEER SEAL

SHEET TITLE	
CONSTRUCTION DETAILS	
JOB #:	JPM-19067
DATE:	05.12.2017
SCALE:	N/A
DRAWN BY:	CED
CHECKED BY:	ZHT

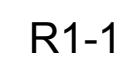
SHEET NO.
C10



D ————— E



G
—
H
—
I



DETAIL NOTES:

1. LEGEND SHALL BE WHITE (RETROREFLECTIVE).
2. BACKGROUND SHALL BE RED (RETROREFLECTIVE).

SEE HANDICAP ACCESSIBLE SIGN DETAIL THIS SHEET

HANDICAP IN VEHICLE PLATE

1200 FINE (2-100-0000)

SIGNAGE OTHER THAN HANDICAP ACCESSIBLE (STOP, YIELD, ETC.)

U-CHANNEL SIGN POST (2 LBS/FT)

6" SCHEDULE 40 STEEL PIPE FILLED WITH CONCRETE AND PAINTED TRAFFIC YELLOW ONLY WHEN SIGN IS IN PAVED AREA OR SIDEWALK UNLESS OTHERWISE NOTED.

REFER TO BREAK AWAY CHANNEL POST DETAIL WHEN STEEL PIPE IS NOT REQUIRED

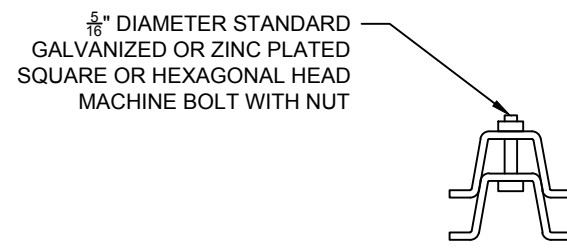
SLOPE TOP OF CONCRETE

FINISHED GRADE

3500 PSI CONCRETE

7' MIN
1" CAP
3"
2"
5"

BREAK AWAY POST (ELEVATION)



BREAK AWAY POST (PLAN)

DETAIL NOTES:

1. ALL SIGNS SHALL COMPLY WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION), AND LOCAL CODES AS SPECIFIED.
2. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.



STRIPING LEGEND

- (A) 4" BLUE
- (B) 4" BLUE @ 45°

N.T.S

SOLID PARKING SPACE LINE (4\" WIDE WHITE)

SOLID PARKING LINE (4\" WIDE BLUE)

SOLID LANE LINE (6\" WIDE WHITE)

SOLID DOUBLE CENTER LINE (6\" WIDE YELLOW)

SOLID CROSSWALK TRANSVERSE LINE (12\" WIDE WHITE)

SOLID STOP BAR LINE (24\" WIDE WHITE)

NOTE: ALL STRIPING SHALL BE THERMOPLASTIC
OR NOTED ON THE SITE PLAN AND SHALL MEET
THE CRITERIA OF STATE AND LOCAL AUTHORITIES
HAVING JURISDICTION.

THROUGH LANE ARROW

TURN LANE ARROW

DETAIL NOTES:

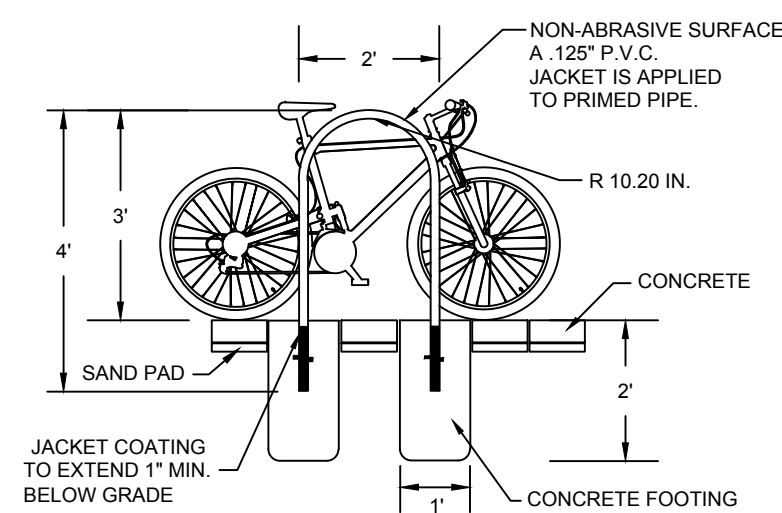
1. RIGHT TURN ARROW TO BE THE REVERSE OF TURN LANE ARROW SHOWN ABOVE.
2. ARROWS SHALL BE THERMOPLASTIC PAINTED REFLECTIVE WHITE.
3. ARROWS SHALL BE APPLIED PER FOOT INDEX 17346, LATEST EDITION.

R5-1


DETAIL NOTES:

1. LEGEND AND BACKGROUND SHALL BE WHITE (RETROREFLECTIVE).
2. SYMBOLS SHALL BE RED (RETROREFLECTIVE).

TYPICAL PLAN



CORE STATES



GROUP

110 NORTH 11TH STREET, SUITE 101
TAMPA, FL 33602
PHONE (813) 900-1755
FAX (813) 480-1789
CORESTATES, INC.
CA # 9578
CARDEN@CORE-ENG.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



Know what's below.
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO

[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK AT
YOUNG CIRCLE, FL

1700 SHERIDAN
STREET
HOLLYWOOD, FL
33020

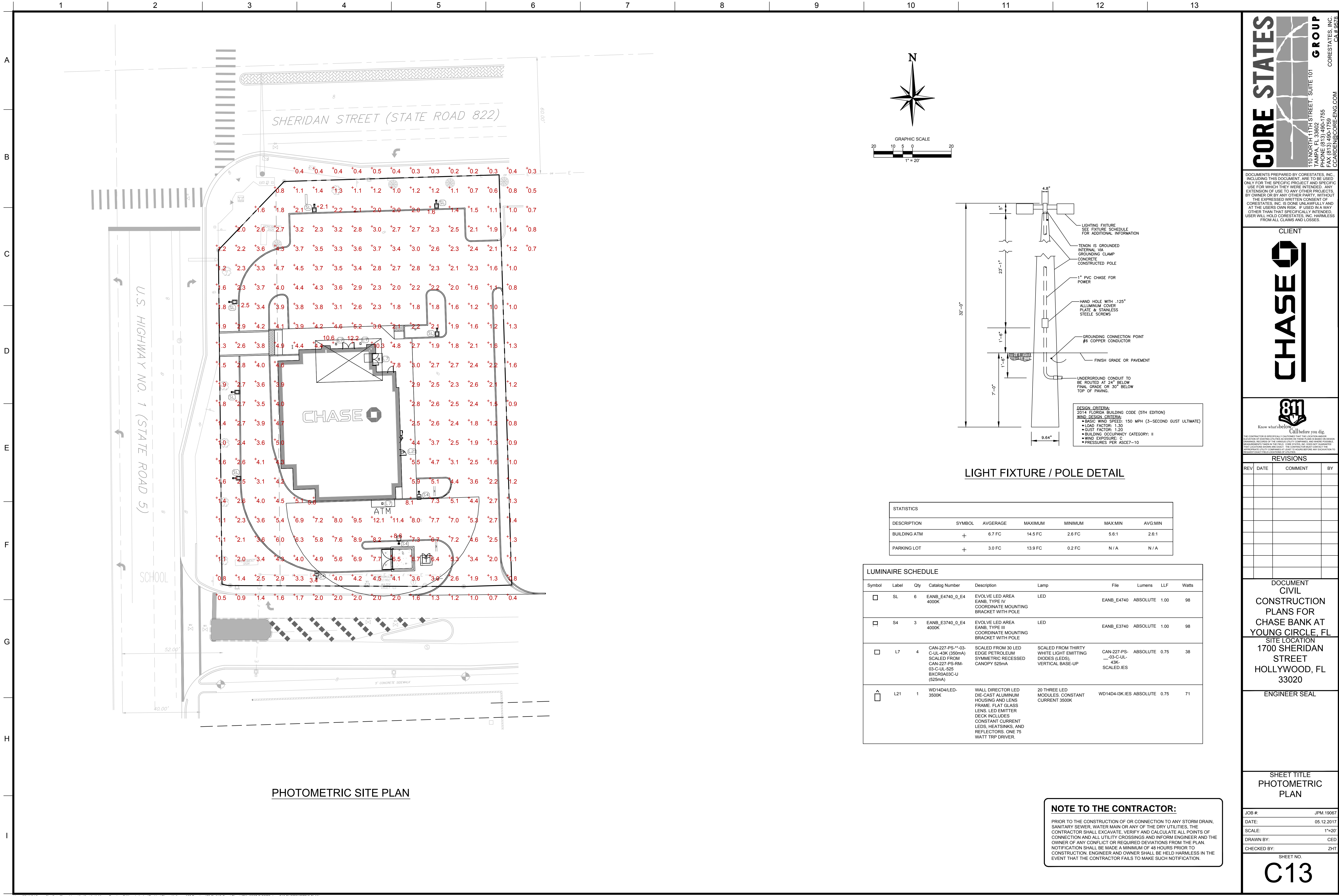
ENGINEER SEAL

SHEET TITLE
CONSTRUCTION
DETAILS

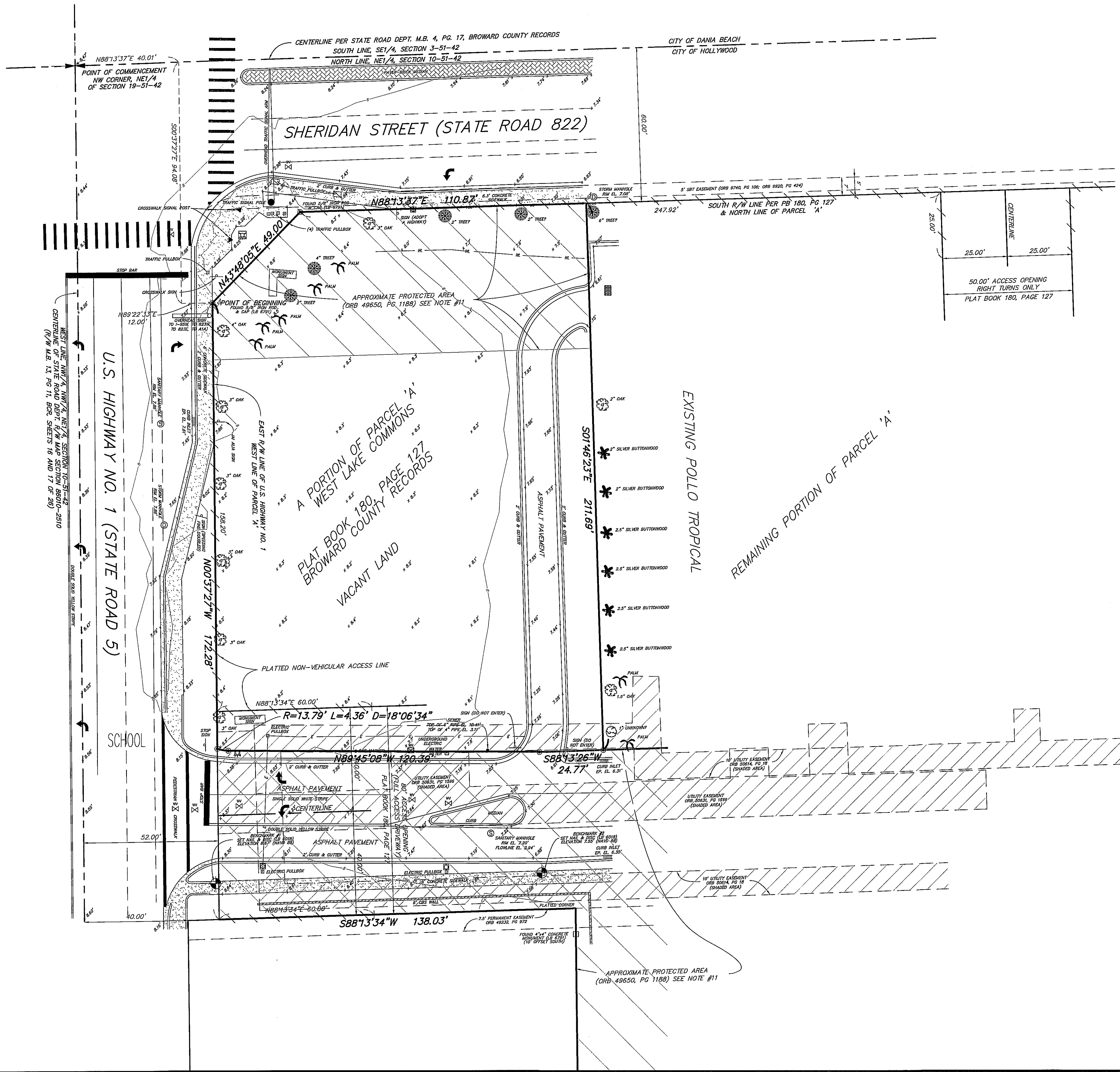
JOB #:	JPM.19067
DATE:	05.12.2017
SCALE:	N/A
DRAWN BY:	CED
CHECKED BY:	ZHT

SHEET NO.

C11



ALTA/NSPS LAND TITLE SURVEY
A PORTION OF PARCEL 'A', WEST LAKE COMMONS
PLAT BOOK 180, PAGE 147
HOLLYWOOD, BROWARD COUNTY, FLORIDA



LEGAL DESCRIPTION:
A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10; THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET; THENCE SOUTH 00°37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 94.08 FEET; THENCE NORTH 89°22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET; THENCE NORTH 88°13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET; THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET; THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.

- SURVEYOR'S NOTES:**
1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
 2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
 3. LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25, 2017 AT 5:00 P.M.
 - 4.) PLAT BOOK 180, PAGES 127-130 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
 - 5.) ORB 49459, PG 972 - AFFECTS PROPERTY, UNPLOTTABLE
 - 6.) ORB 49650, PG 1109; INSTRUMENT # 113020931 - AFFECTS PROPERTY, UNPLOTTABLE
 - 7.) ORB ORB 49650, PG 1210; ORB 51142, PG 1361 - AFFECTS PROPERTY - BOUNDARY
 - 8.) ORB 50263, PG 891 - AFFECTS PROPERTY, UNPLOTTABLE
 - 9.) ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
 - 10.) ORB 50631, PG 1596 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
 - 11.) ORB 50690, PG 1996 - AFFECTS PROPERTY, UNPLOTTABLE
 - 12.) ORB 51126, PG 100 - AFFECTS PROPERTY, UNPLOTTABLE
 - 13.) INSTRUMENT #113020930 - AFFECTS PROPERTY, UNPLOTTABLE
 4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37"E. ALONG THE SOUTH RIGHT OF WAY LINE OF SHERIDAN STREET, PER PLAT BOOK 180, PAGE 127
 5. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29) CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'
 6. SITE AREA: 30818.47 SQUARE FEET OR 0.696 ACRES MORE OR LESS.
 7. THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.
 8. LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
 9. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 10. BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE SHOWN.
 11. OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.
 12. HATCHED AREA DESIGNATED AS PROTECTED AREA ARE RECORDED IN OFFICIAL RECORDS BOOK 49650, PAGE 1188, THESE ARE AN APPROXIMATE LOCATION. DOCUMENT IS REDUCED AND UNSCALABLE.

SURVEYOR'S CERTIFICATION:
TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26, 2014.
SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ROBERT BLOOMSTER JR.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.
L.B. #8018

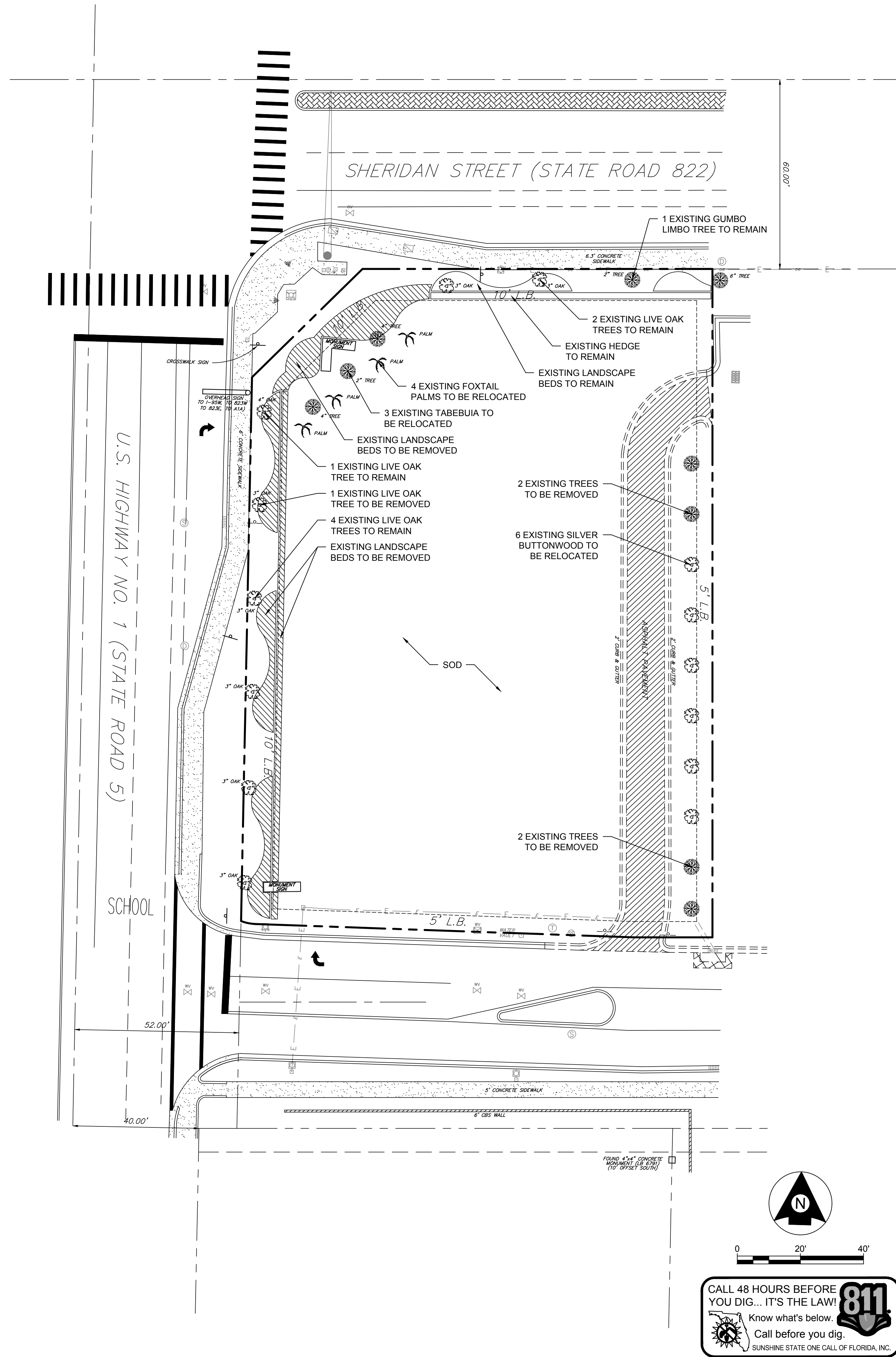
641 NORTHEAST SPENCER STREET
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868

SHEET 1 OF 1		
DRAWN BY: DPK		
SCALE: 1" = 20'		
FIELD WORK COMPLETED: 7/26/2016		
FIELD BOOK: SKETCH		
JOB NO. 13652		
REVISIONS		
DATE:	DESCRIPTION:	BY:
12/9/16	EXC#15 CORR.	DPK
5/8/17	TREES	DPK
5/18/17	ALTA O&E UPDATE	DPK

CORE STATES GROUP
1790 SHERIDAN STREET
HOLLYWOOD, BROWARD COUNTY, FLORIDA

- LEGEND**
- CLEAN OUT
 - ⊙ MANHOLE
 - ⊗ WATER VALVE
 - ⊗ FIRE HYDRANT
 - ⊗ SPOT ELEVATIONS
 - ⊗ LIGHT POST
 - ⊗ GAS VALVE
 - INV. INVERT
 - EL. ELEVATION
 - DEPT. DEPARTMENT
 - CBS CONCRETE BLOCK STRUCTURE
 - EP EDGE OF PAVEMENT
 - R/W RIGHT OF WAY
 - M.B. MAP BOOK
 - PG. PAGE
 - ORB OFFICIAL RECORDS BOOK
 - PB PLAT BOOK
 - LB LICENSED BUSINESS
 - BOR BROWARD COUNTY RECORDS
 - E UNDERGROUND ELECTRIC
 - HL UNDERGROUND WATER LINE
 - NAVD NORTH AMERICAN VERTICAL DATUM

This document, together with the concepts and designs presented
Drafted by Charles Bailey Creative CAD Source 561 628 9822



CHASE

CHASE BANK - STORE NO. 5
SHERIDAN ST. & US HWY
HOLLYWOOD, FLORIDA 33020

EXISTING
LANDSCAPE PLAN

SCALE: AS NOTED	LANDSCAPE ARCHITECT: PATRICIA M. CASTELLANO, RLA LICENSE NUMBER: 1667 DATE:
DESIGNED BY: PMC	
DRAWN BY: CMB	
CHECKED BY: PMC	

[illegible]

SV **SimplyVerde**
 Landscape Architecture
 829 38th Avenue North, St. Petersburg, FL 33704
 727 521,7290 License Number: LC26000392

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Drafted by Charles Bailey, Creative CAD Source, 851 628-9822

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - 146/50 = 3 TREES

PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - 209/50 = 4 TREES

PROVIDED: 5 EXISTING TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE.

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,562 SF X .25 = 3,891 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

PROVIDED: 1 TREE PER ISLAND AND 3,294 SF OF LANDSCAPE AREA (VARIANCE REQUESTED), 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PERVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY.

MINIMUM OF ONE TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS.

REQUIRED: 7,664 SF/1000SF = 7 TREES AND 7,664 SF X .25 = 1,916 SF

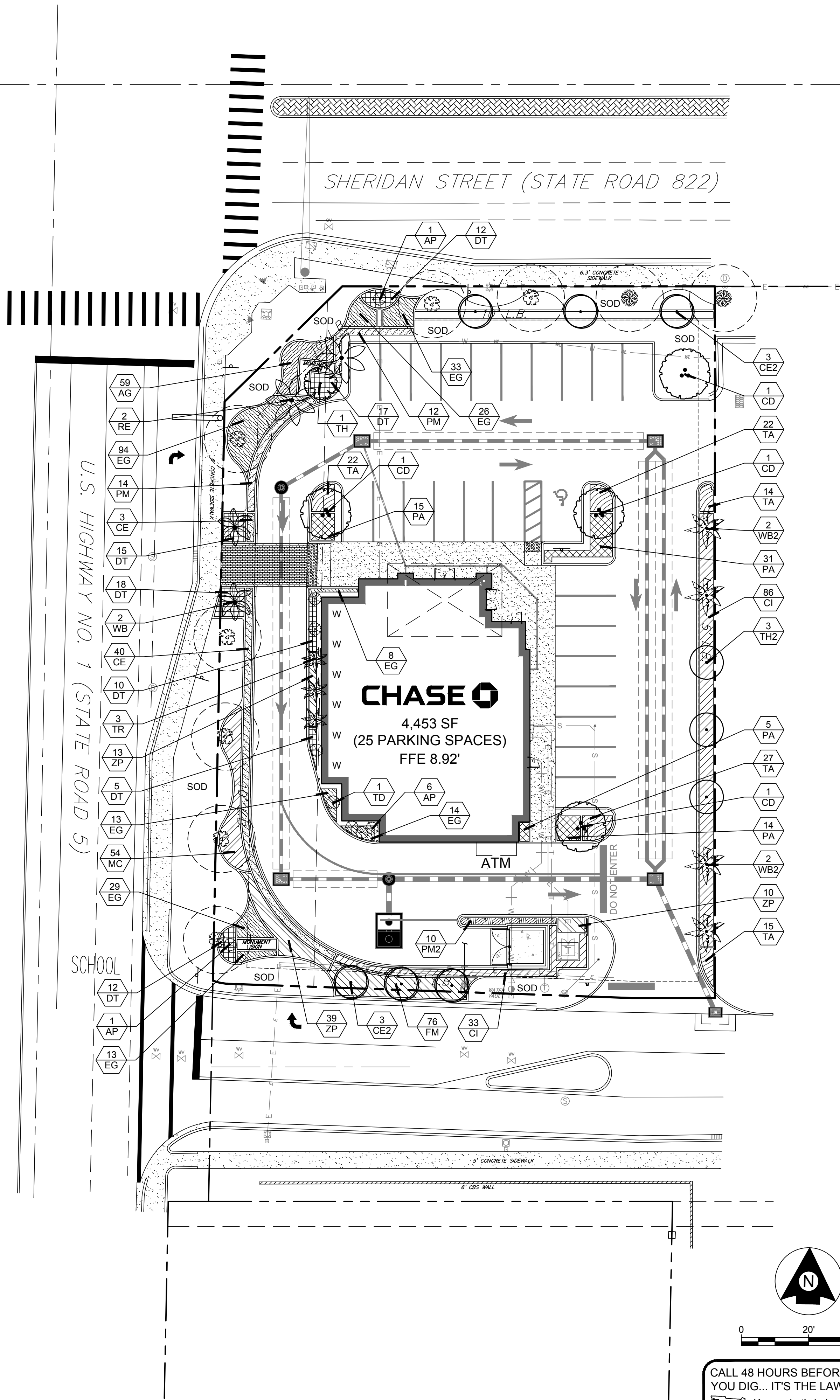
PROVIDED: 7 TREES AND 66% OF PERVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD).

SPECIFICATIONS AND MINIMUM REQUIREMENTS

- ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL.
- THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:
REQUIRED: 11-20 TREES = 3 REQUIRED
PROVIDED: 6 SPECIES OF TREES AND PALMS
- PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
- ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12' IN HEIGHT.
- A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.
REQUIRED: 19 X .60 = 11 TREES AND 554 X .50 = 277 SHRUBS
PROVIDED: 14 TREES AND 278 SHRUBS
- A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES.
REQUIRED: 19 X .50 = 10 OR 20% = 4
PROVIDED: 4 RELOCATED FOXTAIL PALMS
- THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR STAGGERED).
- SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO LAY THE SOD.
- GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
- AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCA OR EUCALYPTUS MULCH IS RECOMMENDED.
- CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

- LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
- PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
- TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/3 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
- ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
- TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE REQUIREMENTS.
- IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
- APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



NO.	REVISIONS	DATE	BY

LANDSCAPE ARCHITECT:	PATRICIA M. CASTELLANO, RLA LICENSE NUMBER: 1687
SCALE: AS NOTED	CHECKED BY: PMC
DESIGNED BY: PMC	DRAWN BY: CMB

LANDSCAPE PLAN

CHASE
CHASE BANK - STORE NO. 55203
SHERIDAN ST. & US HWY 1
HOLLYWOOD, FLORIDA 33020

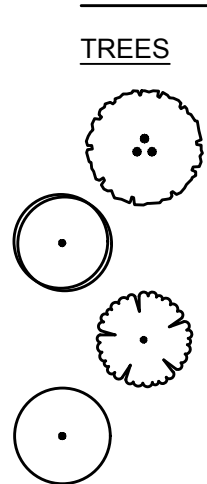
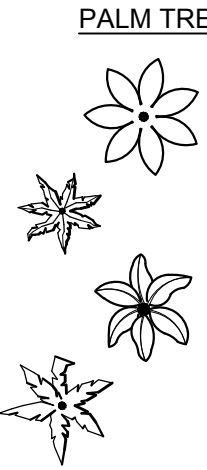
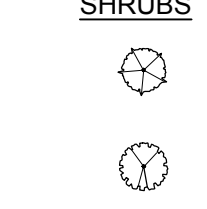
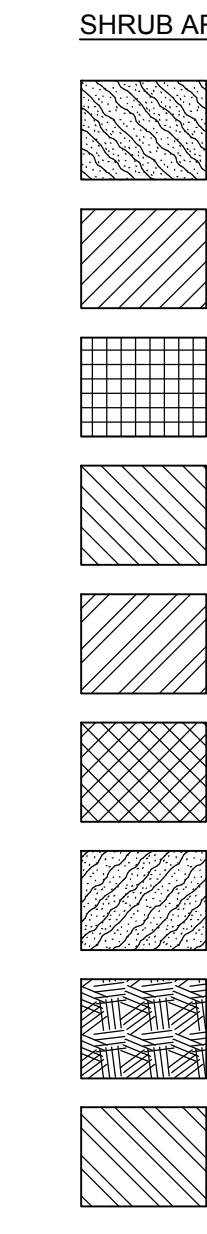
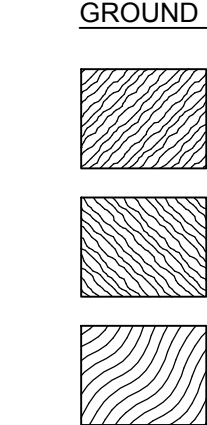
DATE	05/10/2017
PROJECT NUMBER	CSG17-05CBH
SHEET NUMBER	L-02

CALL 48 HOURS BEFORE YOU DIG... IT'S THE LAW!
Know what's below.
Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

811

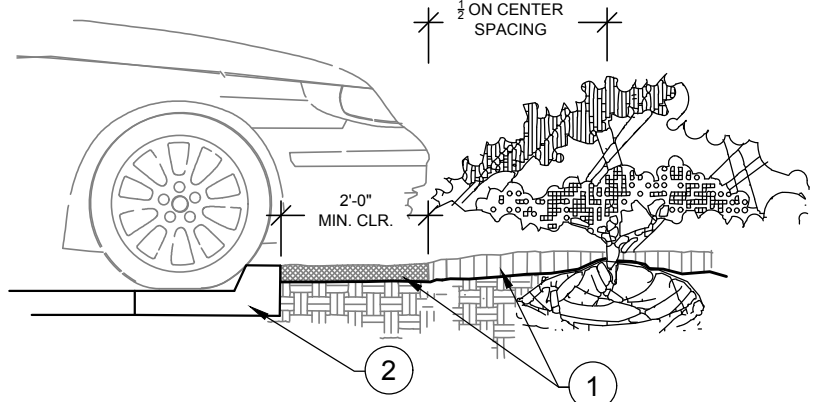
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Drafted by Charles Bailey, Creative CAD Source, 851.628.9822

PLANT SCHEDULE

	TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT		
		CD	4	Coccoloba diversifolia / Pigeon Plum	FG., MIN. 14' HT. x 6" SPR., 4" CAL.	YES	HIGH		
		CE2	6	Conocarpus erectus sericeus / Silver Buttonwood	RELOCATED	YES	HIGH		
		TH	1	Tabebuia heterophylla / Pink Trumpet Tree	FG., MIN. 14'-16' x 6'-8", 4" CAL.	NO	HIGH		
		TH2	3	Tabebuia heterophylla / Pink Trumpet Tree	RELOCATED	NO	HIGH		
	PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT		
		RE	2	Roystonea elata / Florida Royal Palm	FG., MIN. 10' GW, MATCHED	YES	HIGH		
		TR	3	Thrinax radiata / Florida Thatch Palm	FG., 8'-9' HT., SINGLE, STRAIGHT	YES	HIGH		
		WB	2	Wodyetia bifurcata / Foxtail Palm	FG., MIN. 10' GW, MATCHED	NO	MEDIUM		
		WB2	4	Wodyetia bifurcata / Foxtail Palm	RELOCATED	NO	MEDIUM		
	SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT	
		AP	8	Alocasia 'Portora' / Portora Elephant Ear	15 GAL., MIN. 5'-6" HT., FULL	AS SHOWN	NO	MEDIUM	
		TD	1	Tabernaemontana divaricata / Crape Jasmine	FG., MIN. 4' HT., FULL	AS SHOWN	NO	MEDIUM	
	SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT	
		CE	43	Conocarpus erectus sericeus / Silver Buttonwood	10 GAL., MIN. 42" HT., FULL	30" O.C.	YES	HIGH	
		CI	119	Chrysobalanus icaco / Coco Plum	7 GAL., MIN. 24" HT., FULL	30" O.C.	YES	HIGH	
		DT	89	Dianella tasmanica 'Variegata' / Variegated Flax Lily	3 GAL., MIN. 16" x 16", FULL	24" O.C.	NO	HIGH	
		FM	76	Ficus microcarpa 'Green Island' / Green Island Ficus	3 GAL., MIN. 12" x 12", FULL	24" O.C.	NO	HIGH	
		MC	54	Muhlenbergia capillaris / Pink Muhly Grass	3 GAL., MIN. 18" x 18", FULL	24" O.C.	YES	HIGH	
		PA	65	Plumbago auriculata 'Imperial Blue' / Imperial Blue Plumbago	3 GAL., MIN. 14" x 14", FULL	24" O.C.	NO	HIGH	
		PM	26	Podocarpus macrophyllus / Podocarpus	7 GAL., MIN. 42" HT., FULL	30" O.C.	NO	HIGH	
		PM2	10	Podocarpus macrophyllus / Podocarpus	15 GAL., MIN. 6'-7" HT., FULL	30" O.C.	NO	HIGH	
		ZP	62	Zamia pumila / Coontie	3 GAL., MIN. 14"-16" x 14"-16", FULL	24" O.C.	YES	HIGH	
		GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	NATIVE	DROUGHT TOLERANT
			AG	59	Arachis glabrata 'Ecoturf' / Ecoturf Perennial Peanut	1 GAL., FULL	18" O.C.	NO	MEDIUM
		EG	230	Evolvulus glomeratus 'Blue My Mind' / Blue My Mind Blue Daze	1 GAL., FULL	18" O.C.	NO	MEDIUM	
		TA	100	Trachelospermum asiaticum 'minima variegata' / Variegated Minima Asiatic Jasmine	1 GAL., FULL	18" O.C.	NO	YES	

LANDSCAPE SPECIFICATION REQUIREMENTS:

- ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
- ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL.
- ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES.
- ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM FLORATAM).
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.



- INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
- CURB OR PARKING LOT EDGE, BY OTHERS.

Parking Space/Curb Planting

SECTION

NTS

Plantings Adjacent to Buildings

SECTION

NTS

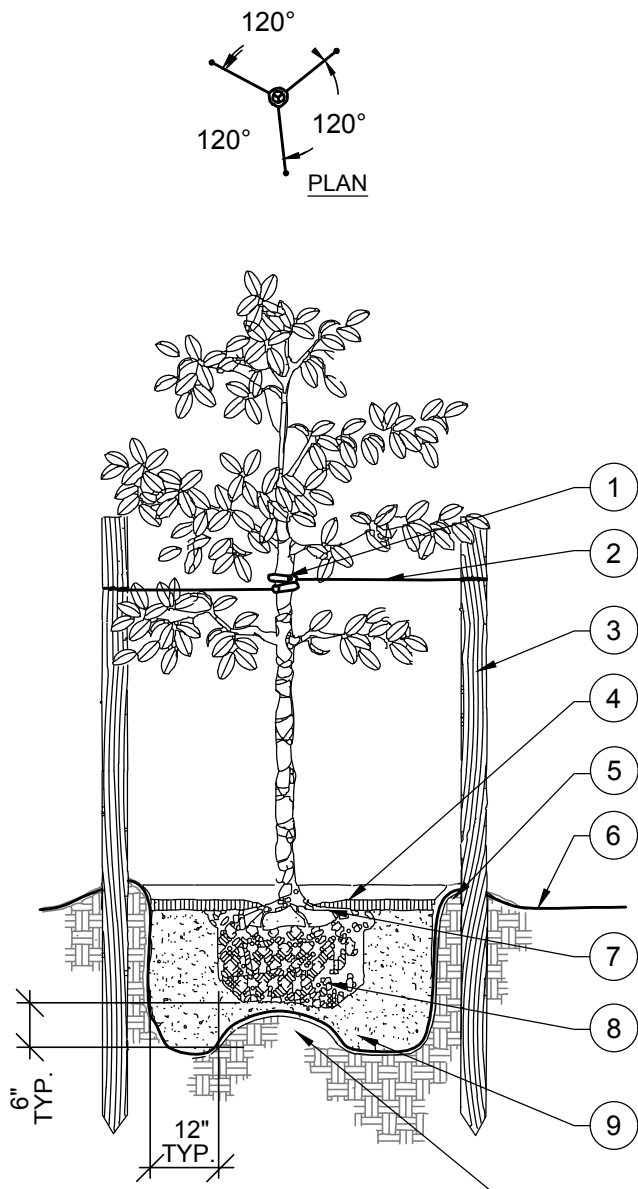
Tree/Shrub Protector

BARRIER DETAIL

Fire Hydrant Area

PLAN

NTS



Small Tree Planting

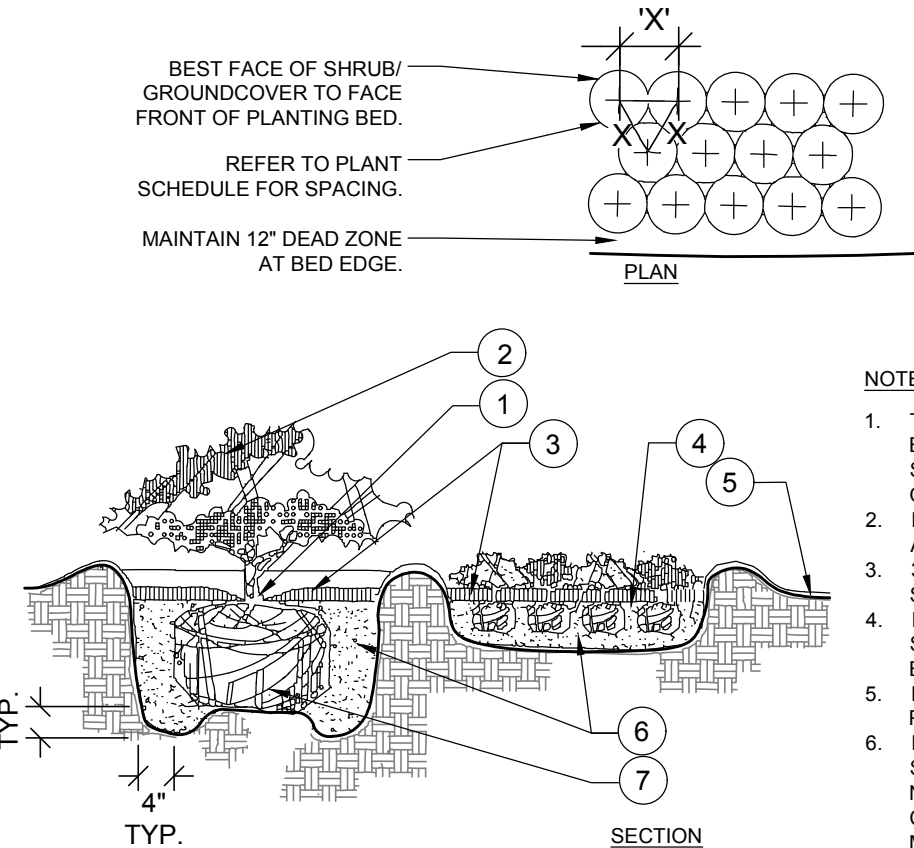
SECTION

(Less Than 14")

Palm Planting

SECTION

NTS



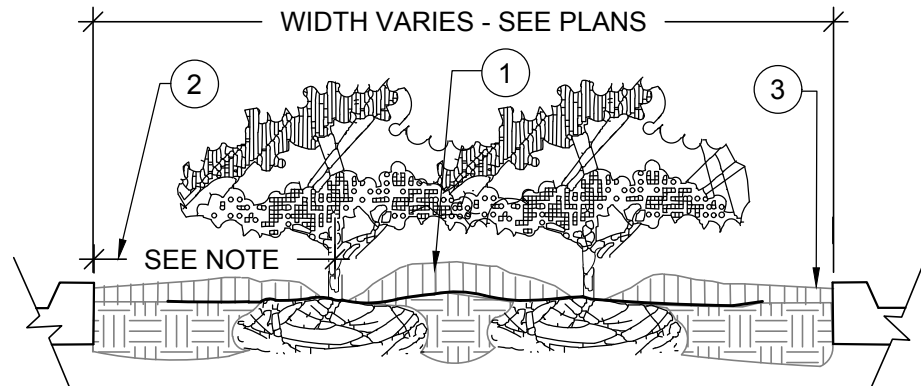
Shrub/Groundcover Planting

PLAN/SECTION

Planted Parking Lot Islands/Medians

SECTION

NTS

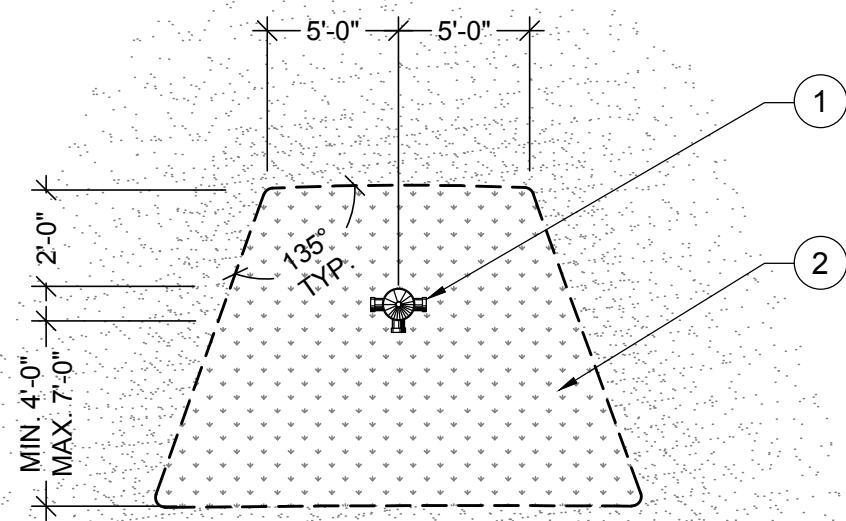


PLANTER ISLAND NOTES

- CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
- CLEAR ZONE: 24" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF. SEE PLANS.
- 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

NOTES:

- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL ISLANDS/MEDIANS PRIOR TO ANY PLANTING. CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATIONS PRIOR TO PLANTING.



'FRONT' OF HYDRANT (TOWARD CURB)

- FIRE HYDRANT.
- NO PLANT SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
- NO TREES OR SHRUBS SHALL BE PLANTED IN FRONT OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.

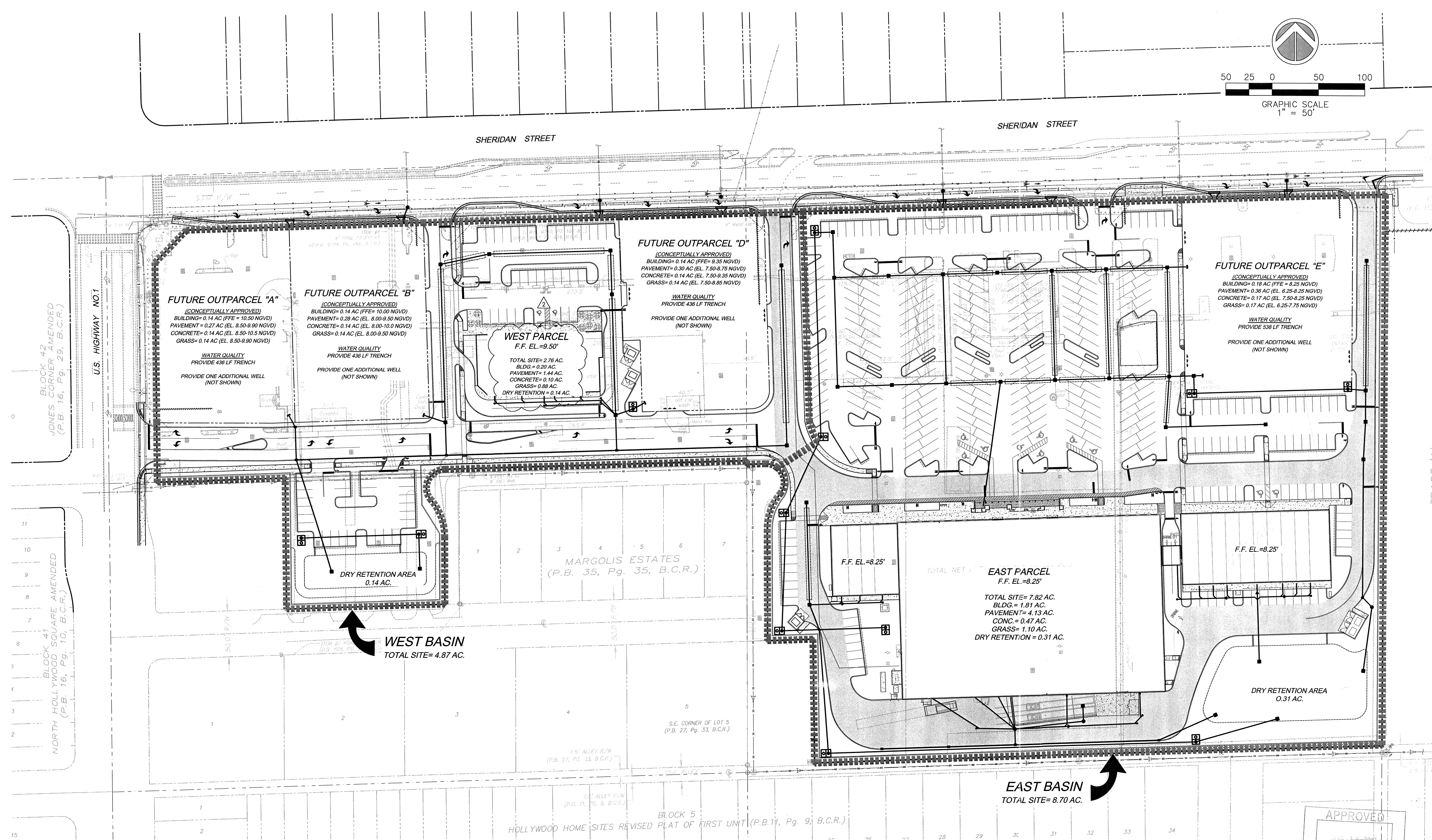
NO.	REVISIONS	DATE	BY

SCALE	AS NOTED	LANDSCAPE ARCHITECT
DESIGNED BY:	PVC	PATRICIA M. CASTELLANO, RULA
DRAWN BY:	CMB	LICENSE NUMBER: 1687
CHECKED BY:	PVC	DATE:

LANDSCAPE DETAILS

K:\PROJECTS\12-3453\12-3453.dwg, PLOT DATE: 6/10/2013 8:31 AM BY: Andy Venneman

FILE: K:\PROJECTS\12-3453\12-3453.dwg, PLOT DATE: 6/10/2013 8:31 AM BY: Andy Venneman



DRAINAGE BASINS AREAS BREAKDOWN

WEST BASIN					
PARCEL	BUILDING	PAVMT. & CONC.	GRASS	DRY RETENTION	TOTAL
WEST PARCEL	0.20	1.54	0.88	0.14	2.76
OUTPARCEL "A"	0.14	0.41	0.14	0.00	0.69
OUTPARCEL "B"	0.14	0.42	0.14	0.00	0.70
OUTPARCEL "D"	0.14	0.44	0.14	0.00	0.72
TOTAL	0.62	2.81	1.30	0.14	4.87

EAST BASIN					
PARCEL	BUILDING	PAVMT. & CONC.	GRASS	DRY RETENTION	TOTAL
EAST PARCEL	1.81	4.60	1.10	0.31	7.82
OUTPARCEL "E"	0.18	0.53	0.17	0.00	0.88
TOTAL	1.99	5.13	1.27	0.31	8.70

EAST BASIN PHASE I (DOES NOT INCLUDE OUTPARCELS)
WEST BASIN PHASE I (DOES NOT INCLUDE OUTPARCELS)

NOTES:

1. ALL ELEVATIONS ARE IN N.G.V.D.

ALL WATER GENERATED ON THIS PROPERTY WILL BE RETAINED ON SAID PROPERTY.

REVISIONS:			
1	1/21/13	PER EPD REVIEW	
2	3/13/13	PER DPEP REVIEW	

SEAL
Jun 10 2013
CLIFFORD R. LOUTAN, P.E.
FL. REG. NO. 56890

CONSULTANT
Sun-Tech Engineering, Inc.
1000 West Colonial Parkway
Fort Lauderdale, FL 33301
Phone: (954) 333-0101
Fax: (954) 333-0102

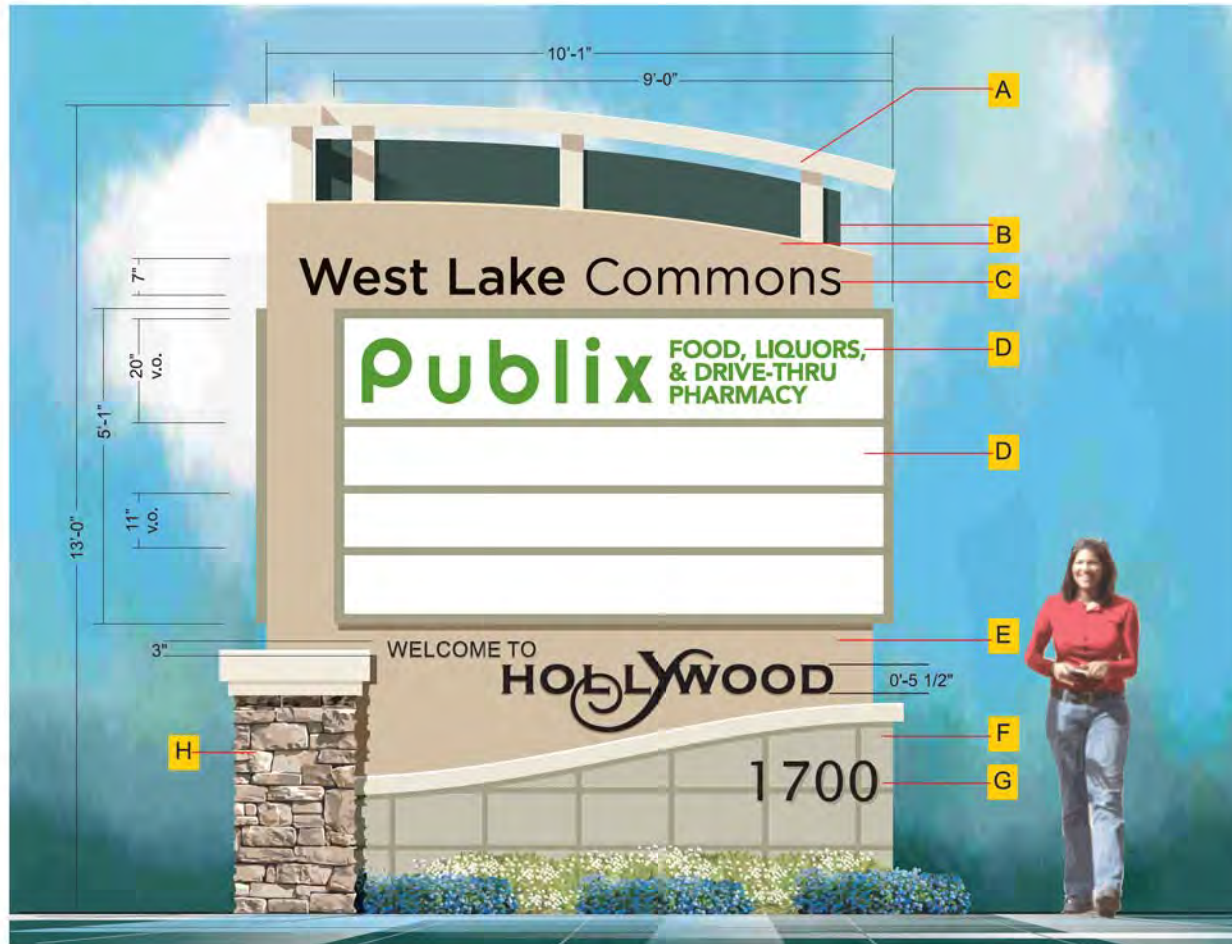
STILES ARCHITECTURAL GROUP
301 East Las Olas Blvd
Fort Lauderdale, Florida, 33301
954 - 627 - 9180
FL. REG #AA-26001798

WEST LAKE COMMONS
FEDERAL HIGHWAY AND SHERIDAN STREET
CITY OF HOLLYWOOD, FLORIDA

DRAINAGE BASINS PLAN

PD9

PROJECT NO. 12-3453
DRAWN BY: MAS
CHECKED BY: M.G.
DATE: June 10, 2013



"V" Shaped Illuminated Main Marketing Identity Display

1 Required

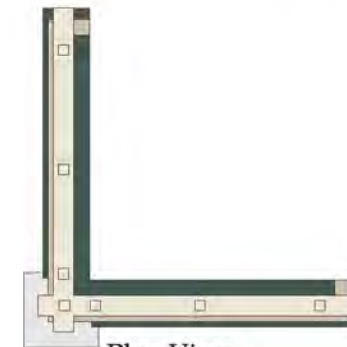
SCALE: 1/2"=1'-0"



Option: 1

Illuminated Display Features the Following:

- A** Top of display is capped with a sweeping accent design element and vertical components which integrates into the overall theme and design concept. Constructed of aluminum.
- B** Layered design elements echo the top cap and add aesthetic interest in form and color variations.
- C** Branding of the center is accomplished using 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamps.
- D** Tenant branding section offers individual tenant panels of white polycarbonate material with first surface 3M vinyl decoration. This section is also illuminated with high output fluorescent lamps.
- E** "Welcome to Hollywood" is 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamps.
- F** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- G** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.
- H** Columns feature stone veneer overlay to match the shopping center.



Plan View



SIGN & AWNING CO INC

4590 118TH Avenue North
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

West Lake Commons

Drawing Number:

50490 A REND MS

Installation Address:

FEDERAL & SHERIDAN
HOLLYWOOD, FL

Project Identity Number:

50415

Sales Associate: Project Team:

Dominic Nelson TH

Designer: Date:

CRH 07-13-12

Project Notes:

X

X

Project completion X

Municipality:

X

Square Footage Allowable: X

Square Footage Shown: X

Project Updates:

Changed layout for maximum

to fit alignment and code

restrictions 7-13-12 CRH

Changed from 10 tenant

panels to 6 7-16-12 CRH

Updated colors 1 changed logo

copy 7-30-12 CRH

Updated to new logo 10-30-12 KAB

Updated to new number layout

11-09-12 DAB

Address numbers to 8", took off

street, changed Welcome spacing

11-12-12 KAB

NEW PUBLIX FACE 01-03-13

Approval:

☐ Approved

☐ Approved as noted

DATE:

☐ Revise & Re-Submit

DATE:

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Page Sheet

1 1 of 4

Local: 727-573-7757

Fax: 727-573-0328

West Lake Commons
Hollywood, Florida

Celebrating 43 Years of Quality Manufacturing and Service

43



D/F Illuminated Entry Marketing Identity Display

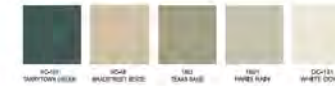
1 Required

SCALE: 1/2"=1'-0"

B

Illuminated Display Features the Following:

- A** Top of display is capped with a sweeping accent design element and vertical components which integrates into the overall theme and design concept. Constructed of aluminum.
- B** Layered design elements echo the top cap and add aesthetic interest in form and color variations.
- C** Branding of the center is accomplished using 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamps.
- D** Tenant branding section offers individual tenant panels of white polycarbonate material with first surface 3M vinyl decoration. This section is also illuminated with high output fluorescent lamps.
- E** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- F** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.
- G** Column feature stone veneer overlay to match the shopping center.



THOMAS

SIGN & AWNING CO INC

4590 118TH Avenue North
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

West Lake Commons

Drawing Number:

50490 B REND MS

Installation Address:

FEDERAL & SHERIDAN
HOLLYWOOD, FL

Project Identity Number:

50415

Sales Associate: Dominic Nelson TH

Designer: CRH Date: 07-13-12

Project Notes:

X

X

Project completion X

Municipality:

X

Square Footage Allowable: X

Square Footage Shown: X

Project Updates:

Changed layout for maximum

sq. ft. allotment and code

restrictions 7-13-12 CRH

Changed from 10 tenant

panels to 6 7-16-12 CRH

Updated colors / changed logo

copy 7-10-12 CRH

Updated to new logo 10-10-12

KAB

Updated to new number layout

11-00-12 DRB

NEW PUBLIX FACE 01-03-13

Approval

☐ Approved

☐ Approved as noted

DATE:

☐ Revise & Re-Submit

DATE:

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2 2 of 4

Local: 727-573-7757
Fax: 727-573-0328



D/F Illuminated Outparcel Marketing Identity Display

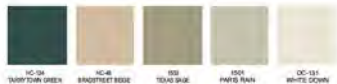
4 Required

SCALE: 3/4"=1'-0"



Illuminated Display Features the Following:

- A** Tenant branding section offers white polycarbonate face with first surface 3M vinyl decoration. This section is illuminated with high output fluorescent lamps.
- B** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- C** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.



D/F Illuminated Outparcel Marketing Identity Display

1 Required

SCALE: 3/4"=1'-0"



Illuminated Display Features the Following:

- A** Tenant branding section offers white polycarbonate face with first surface 3M vinyl decoration, sub-divided into four (4) equal sections with aluminum T-bar divider. This section is illuminated with high output fluorescent lamps.
- B** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- C** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.



THOMAS

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4590 118TH Avenue North
Clearwater, Florida 33762

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CLIENT

West Lake Commons

Drawing Number:

50490 C REND MS

Installation Address:

FEDERAL & SHERIDAN
HOLLYWOOD, FL

Project Identity Number:

50415

Sales Associate/ Project Team:

Dominic Nelson/ TH

Designer: Date:

CRH 07-13-12

Project Notes:

X

Project completion t

Municipality:

X

Square Footage Allowable: X

Square Footage Shown: X

Project Updates:

Changed layout for maximum

sq. ft. allotment and code

restrictions 7-13-12 CRH

Made tenant panel larger;

removed top trim 7-16-12 CRH

Updated colors 7-30-12 CRH

Revised layout to allow for trim

along side and top 9-27-12 CRH

Added address letters to both signs

-WAC 07/11/12

Approval:

☐ Approved

☐ Approved as noted

DATE:

☐ Revise & Re-Submit

DATE:

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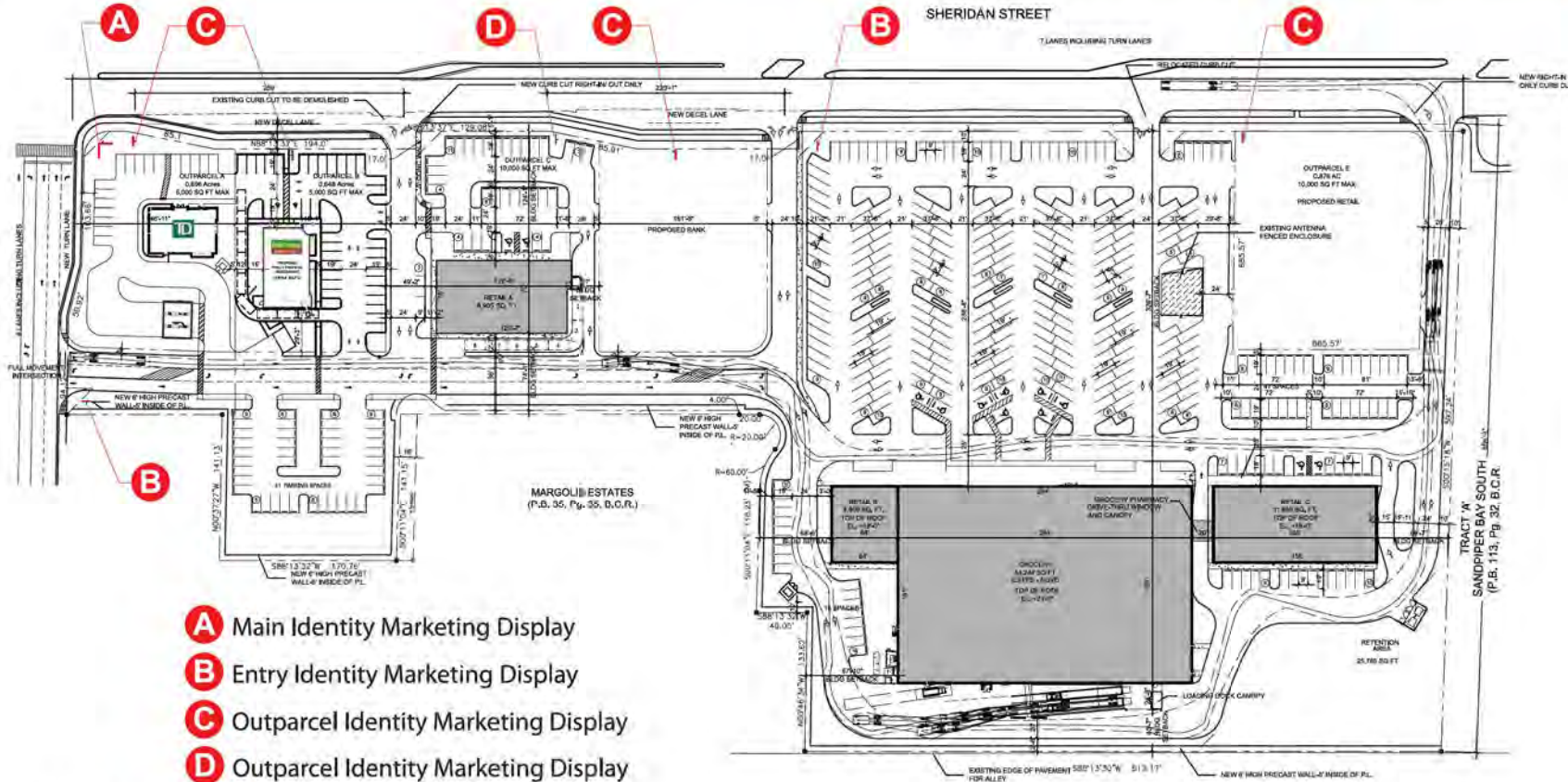
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Page Sheet

3 3 of 4

Local: 727-573-7757

Fax: 727-573-0328



- A** Main Identity Marketing Display
- B** Entry Identity Marketing Display
- C** Outparcel Identity Marketing Display
- D** Outparcel Identity Marketing Display

Site Map

Variances Required for Sign Package Approval:

- 1) Approval for second "Entry Marketing Identity Display" (two monuments allowed under standard code).
- 2) Approval for five total "Outparcel Marketing Identity Displays".
- 3) Approval for five total "Outparcel Marketing Identity Displays" to be 11.25 Sq. Ft. (up from 6 Sq. Ft.).



THOMAS
SIGN & AWNING CO INC

4590 118TH Avenue North
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT
West Lake Commons

Drawing Number:
50490 C REND MS

Installation Address:
**FEDERAL & SHERIDAN
HOLLYWOOD, FL**

Project Identity Number:
50415

Sales Associate | Project Team
Dominic Nelson TH
Designer: Date:
CRH 07-13-12

Project Notes:
X
X

Project completion X

Municipality:
X

Square Footage Allowable: X
Square Footage Shown: X

Project Updates:

Approval
☐ Approved

☐ Approved as noted
DATE:
☐ Revise & Re-Submit
DATE:

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4	4 of 4

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