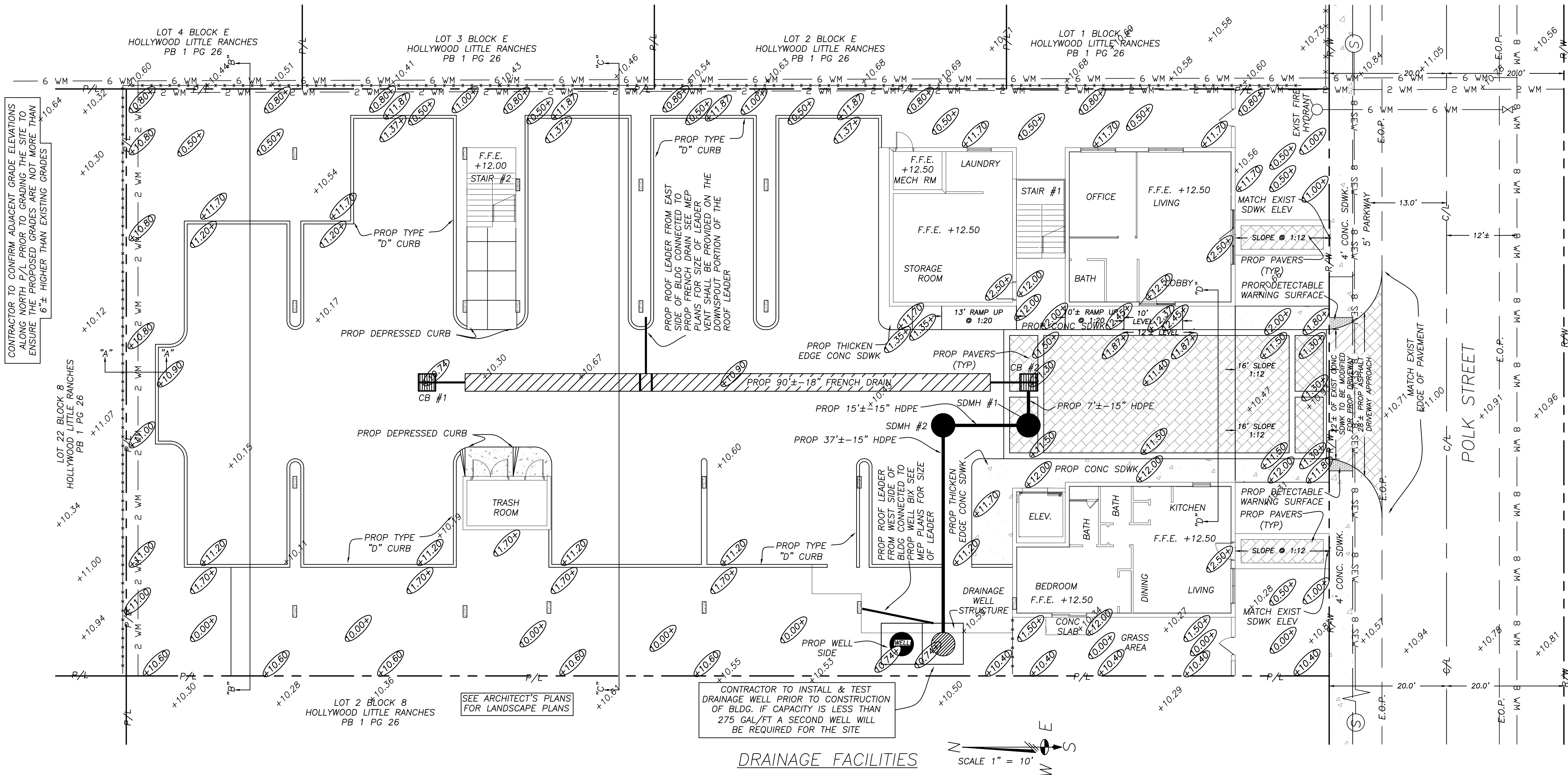


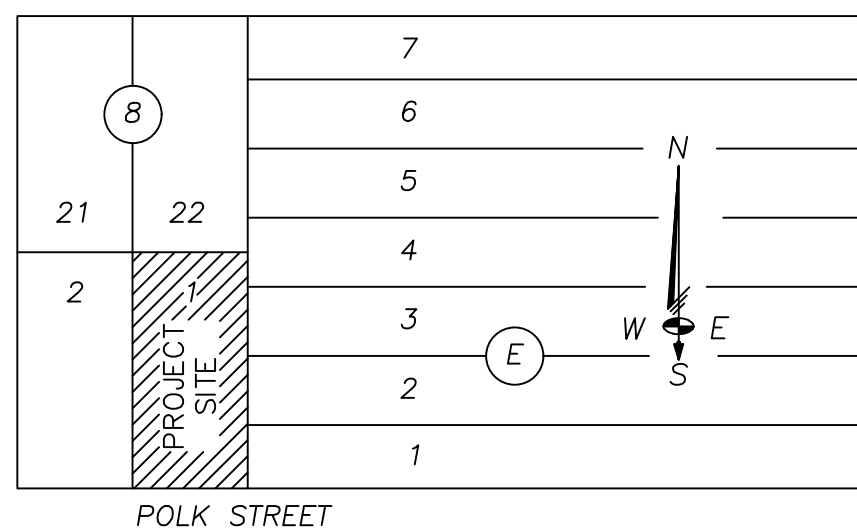


GENERAL NOTES:

- ALL ELEVATIONS REFER TO N.A.V.D. 88.
- ALL WORK SHALL CONFORM TO CITY OF HOLLYWOOD ENGINEER DEPARTMENT'S GRADING AND DRAINAGE REGULATIONS AND STANDARDS, BROWARD COUNTY STORMWATER MANAGEMENT REGULATIONS AND STANDARDS AND FLORIDA D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- LIME ROCK BASE COURSE: AT LEAST 97% (BY WEIGHT) OF THE MATERIAL SHALL PASS A 3.5" SIEVE AND NO MORE THAN 70% SHALL PASS A 3/4" SIEVE AND THE MATERIAL SHALL BE GRADED UNIFORMLY DOWN TO DUST, ALL CRUSHING WHICH MIGHT BE NECESSARY IN ORDER TO MEET SUCH SIZE REQUIREMENT SHALL BE DONE BEFORE THE MATERIAL IS PLACED ON THE PARKING & DRIVES AREA.
- MATERIAL HAVING A LIME ROCK BEARING RATIO (L.B.R.) LESS THAN 100 WILL NOT BE ALLOWED FOR BASE MATERIAL. STABILIZED SUB-BASE SHALL HAVE A MIN. L.B.R. = 40 UNDER ALL ASPHALT AREAS.
- BASE MATERIAL SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-180 METHOD. SUB-BASE MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-180 METHOD.
- PRIME COAT ON LIME ROCK BASE COURSE SHALL MEET F-D.O.T. STANDARD AS SET FORTH IN SECTION 300.
- ASPHALTIC CONCRETE SHALL BE OF TYPE S-3. TYPE S-3 ASPHALTIC CONCRETE SHALL MEET F-DOT STANDARD SPECIFICATIONS AS SET FORTH IN SECTION 331, UNLESS SPECIFIED OTHERWISE.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND/OR BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
- TRAFFIC MARKING, STRIPING AND SIGNS TO BE IN CONFORMANCE WITH CITY OF HOLLYWOOD ENGINEER DEPARTMENT'S SPECIFICATIONS AND MANUAL ON UNIFORM TRAFFIC DEVICES.
- IN THE EVENT THAT UNSUITABLE SOILS (MUCK) ARE FOUND WITHIN THE LIMITS OF THE PROPOSED DRIVES AND PARKING AREAS, THE CONTRACTOR SHALL REMOVE SAID SOILS TO ITS FULL DEPTH. THE EXCAVATED MATERIAL SHALL BE SUBSTITUTED WITH 40 LBR SOILS COMPACTED TO 95% IN 12" LAYERS.
- CONTRACTOR:
 - COORDINATE YOUR WORK WITH WATER & SEWER CONTRACTOR TO AVOID POTENTIAL CONFLICTS.
 - IF EXISTING IMPROVEMENTS ARE DAMAGED, RESTORE THEM TO THEIR CONDITION AT THE BEGINNING OF YOUR WORK.
 - NOTIFY ALL UTILITY COMPANIES BEFORE STARTING WORK.
 - YOU ARE SOLELY RESPONSIBLE FOR COORDINATING AND GIVING NOTICE OF REQUIRED INSPECTIONS, IN DOING THIS HONOR THE LEAD TIME NEEDS OF THE RESPECTIVE AGENCIES.

GENERAL NOTES CONT'D:

- ALL DISPOSAL MATERIAL, RUBBISH AND DEBRIS SHALL BE MADE AT LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED SATISFACTORILY. NO SEPARATE PAYMENT WILL BE MADE FOR THIS.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF THE OWNER, ENGINEER AND CITY OF HOLLYWOOD ENGINEERING DEPARTMENT.
- DENSITY TEST SHALL BE PERFORMED EVERY 7000 S.F.T. FOR BASE AND SUB-BASE. SAID TEST SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR HIS APPROVAL.
- CORE DRILLED SAMPLES WILL BE PERFORMED TO INSURE THAT THE THICKNESS OF MATERIAL ARE MET AS CALLED FOR IN THIS PLANS. THE CONTRACTOR WILL BE RESPONSIBLE TO INSURE THAT THE DESIGN THICKNESS ARE MET.
- ALL HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 941, 430 & 440.
- ALL CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 945.
- ALL DRAINAGE STRUCTURES SHALL HAVE A MIN. SUMP OF 24" MEASURED FROM LOWEST PIPE INVERT. ALL DRAINAGE STRUCTURES SHALL BE PLACED OVER 12" OF 3/4" LIMEROCK.
- ALL PIPE BEDDING SHALL BE OF GOOD GRANULAR QUALITY, FREE OF EXCESSIVE FINES. AN OPEN GRADED STONE, NOT LARGER THAN 3/4" IS RECOMMENDED. PIPE BEDDING SHALL BE A MINIMUM OF 12" THICK.
- TRENCHES SHALL BE BACK FILLED WITH APPROVED MATERIAL FREE OF LARGE LOGS, STONES OR ROCKS AND CAREFULLY DEPOSITED AND COMPACTED IN LAYERS NOT TO EXCEED 6" UNTIL ENOUGH FILL HAS BEEN PLACED TO PROVIDE A COVER OF NOT LESS THAN ONE FOOT ABOVE THE PIPE. THE REMAINDER OF BACK FILL MATERIAL SHALL BE PLACED IN 12" LAYERS MOISTENED AND COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR TEST AS PER AASHTO T-180 METHOD.
- INLETS AND MANHOLE LOCATION DICTATE OVER CULVERTS LENGTHS; FOR EXACT LOCATION OF STRUCTURES
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DRAINAGE STRUCTURES, PIPES, GRATES AND RELATED MATERIAL TO THE ENGINEER OF RECORD FOR HIS APPROVAL PRIOR TO INSTALLATION.
- AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL CERTIFY THAT THE DRAINAGE SYSTEM IS CLEAN OF DEBRIS OR ANY OTHER FOREIGN OBJECT. THE SITE SHALL BE CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
- ALL PIPE CALLED HDPE OR OPP TO BE HIGH STRENGTH CORRUGATE POLYETHYLENE PIPE WITH SMOOTH INTERIOR. PIPE SHALL MEET AASHTO M294 TYPE S; SPECIFICATION FOR CORRUGATED POLYETHYLENE PIPE, 12 TO 36 IN DIAMETER, ASTM D1248, ASTM D3350 & ASTM F405. PIPE INSTALLATION FOR C.P.P. SHALL BE IN ACCORDANCE WITH ASTM 2321; STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE. PIPE SHALL BE ADS N-12, HANCOR HI-Q OR APPROVED EQUAL.



LEGAL DESCRIPTION:
LOT 1 BLOCK 8, "AMENDED
PLAT OF HOLLYWOOD
LITTLE RANCHES" PLAT
BOOK 1 PAGE 26 AS
RECORDED IN THE PUBLIC
RECORDS OF BROWARD
COUNTY

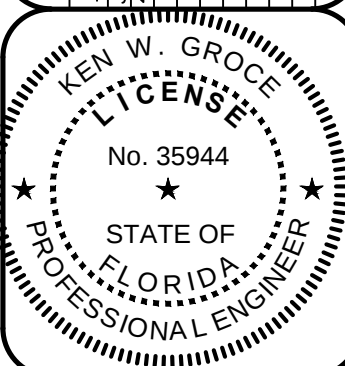
LEGEND:	
EXISTING GRADE	PROPOSED GRADE
C/S	C/S & CUTTER
EOP	EDGE OF PAVEMENT
R.P./L	PROPERTY LINE
C/L	CENTER LINE
R/W	RIGHT OF WAY
EXIST.	EXISTING
Z.E.I	AS-BUILT ELEVATION
D.I.P	DUCTILE IRON PIPE
W.M.	WATER MAIN
ELEV.	ELEVATION
T.O.P	TOP OF PIPE
BLOG	BUILDING
UNK	UNKNOWN
WV	WATER VALVE
CI	CAST IRON
BST	BELL SOUTH TELEPHONE
SHN	SANITARY
ELEC	ELECTRIC
SV	SEWER VALVE
SS	STORM SEWER
S	SANITARY SEWER
MH	MANHOLE
LP	LIGHT POLE
F.D	FRENCH DRAIN
EXIST/NEW SEWER LATERAL	EXIST/NEW SEWER LATERAL
EXIST GATE/BUTTERFLY VALVE	EXIST GATE/BUTTERFLY VALVE
NEW GATE/BUTTERFLY VALVE	NEW GATE/BUTTERFLY VALVE
EXIST/NEW FIRE HYDRANT ASSEMBLY	EXIST/NEW FIRE HYDRANT ASSEMBLY
SINGLE/DUAL WATER SERVICE	SINGLE/DUAL WATER SERVICE
EXIST/NEW REDUCER	EXIST/NEW REDUCER
EXIST/NEW MANHOLE	EXIST/NEW MANHOLE
TEES & BENDS	TEES & BENDS
PROP DRAINAGE	PROP DRAINAGE
EXIST DRAINAGE	EXIST DRAINAGE



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CIELO AZUL AT HOLLYWOOD
GRADING & DRAINAGE PLAN
2201 POLK STREET
HOLLYWOOD, FLORIDA

REVISIONS	Date	Remarks	By	App'd
1	12/01/17	REVISIONS PER CITY OF HOLLYWOOD COMMENTS	K.W.G.	
2	12/01/17	REVISIONS PER CITY OF HOLLYWOOD ADDED COMMENTS	K.W.G.	



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For The Firm By:
KEN W. GROCE, P.E.
Fl. Reg. No. 35944
Civil Engineer

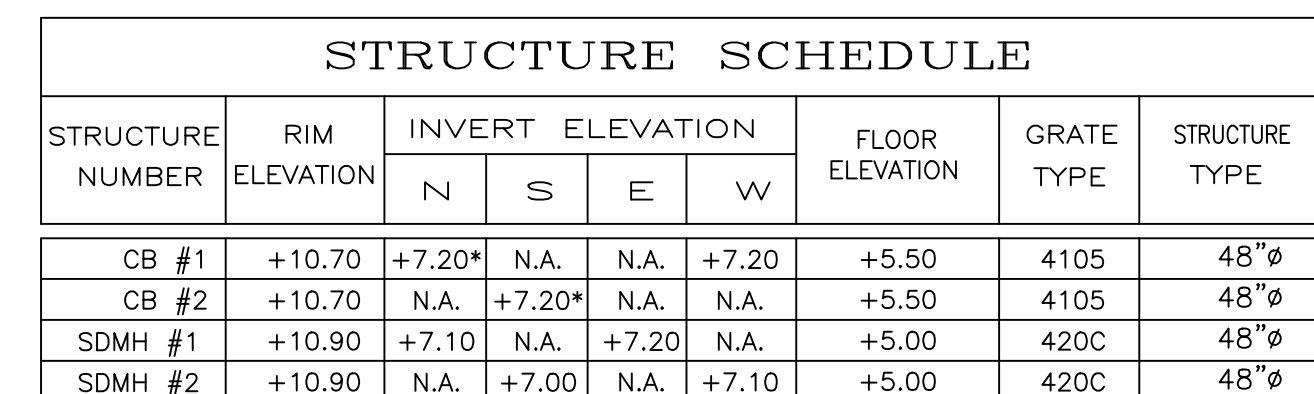
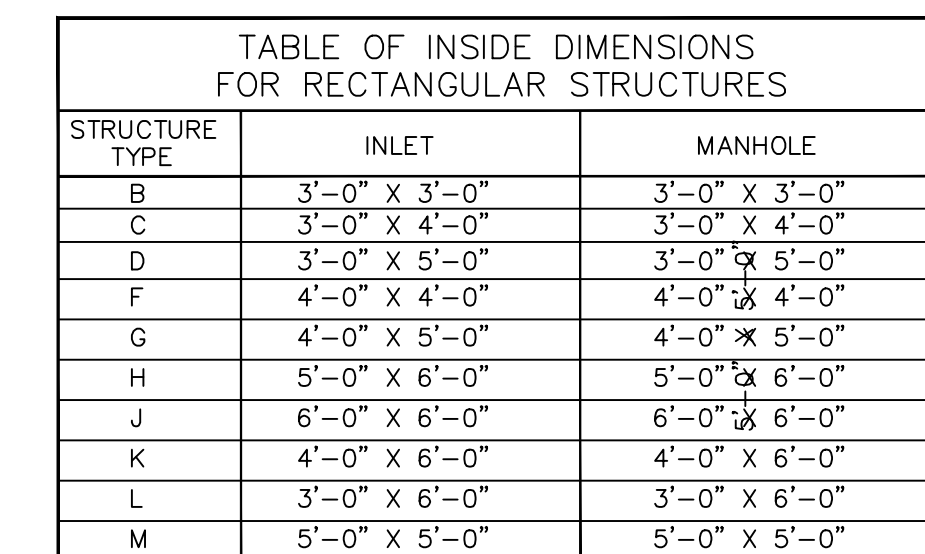
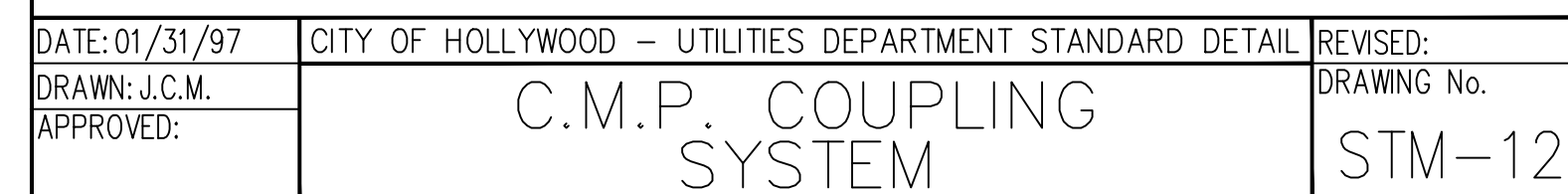
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Checked By: KWG
Date: 2.3.17
Project No: 17-05

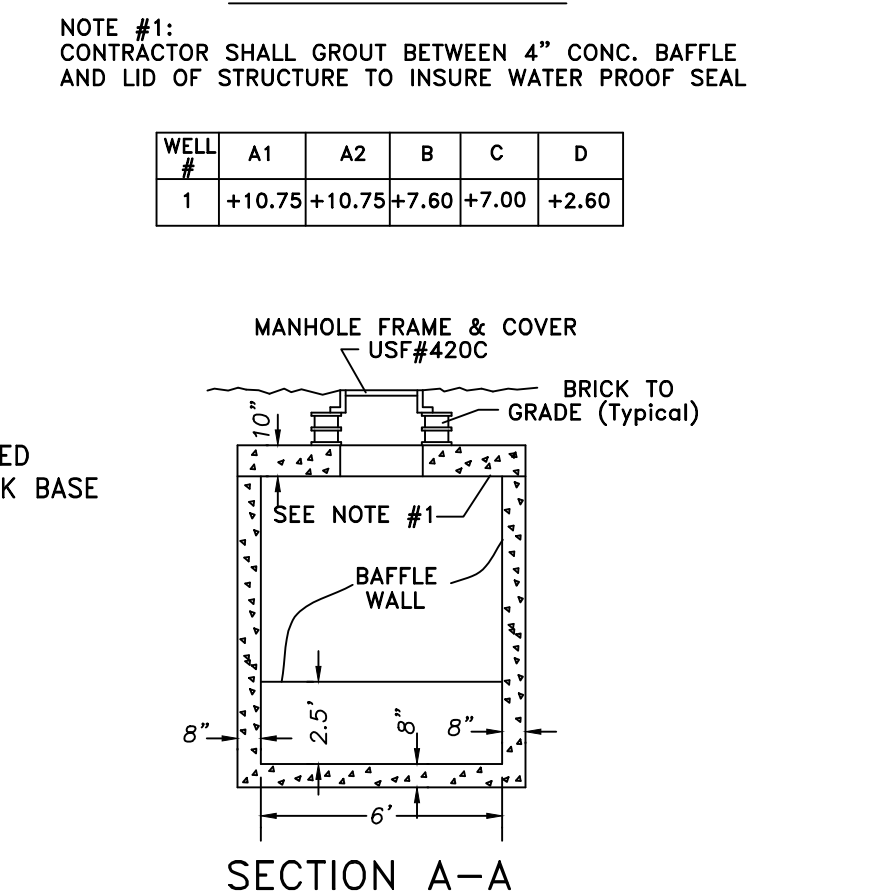
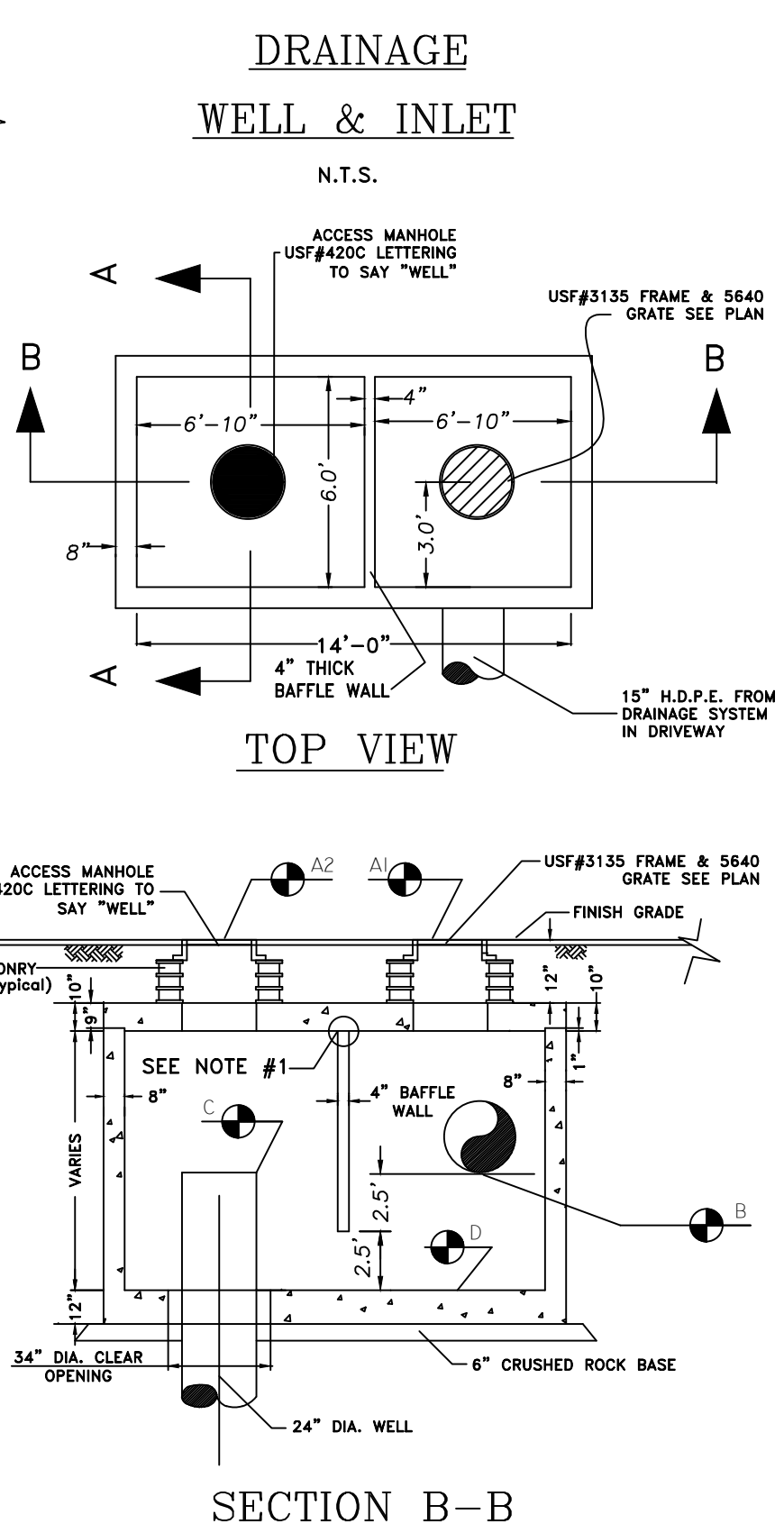
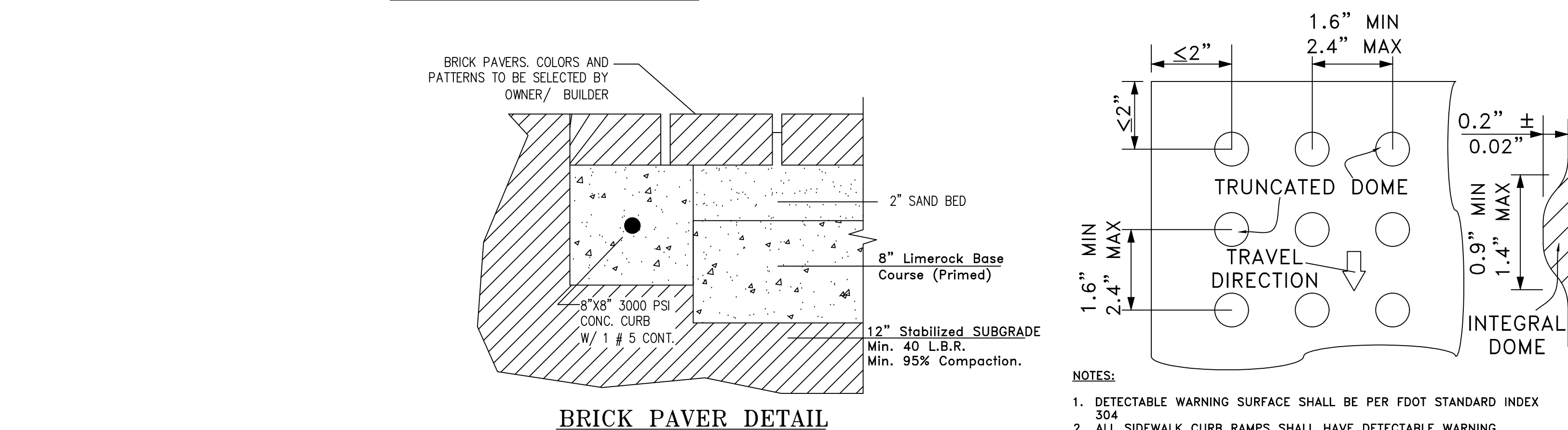
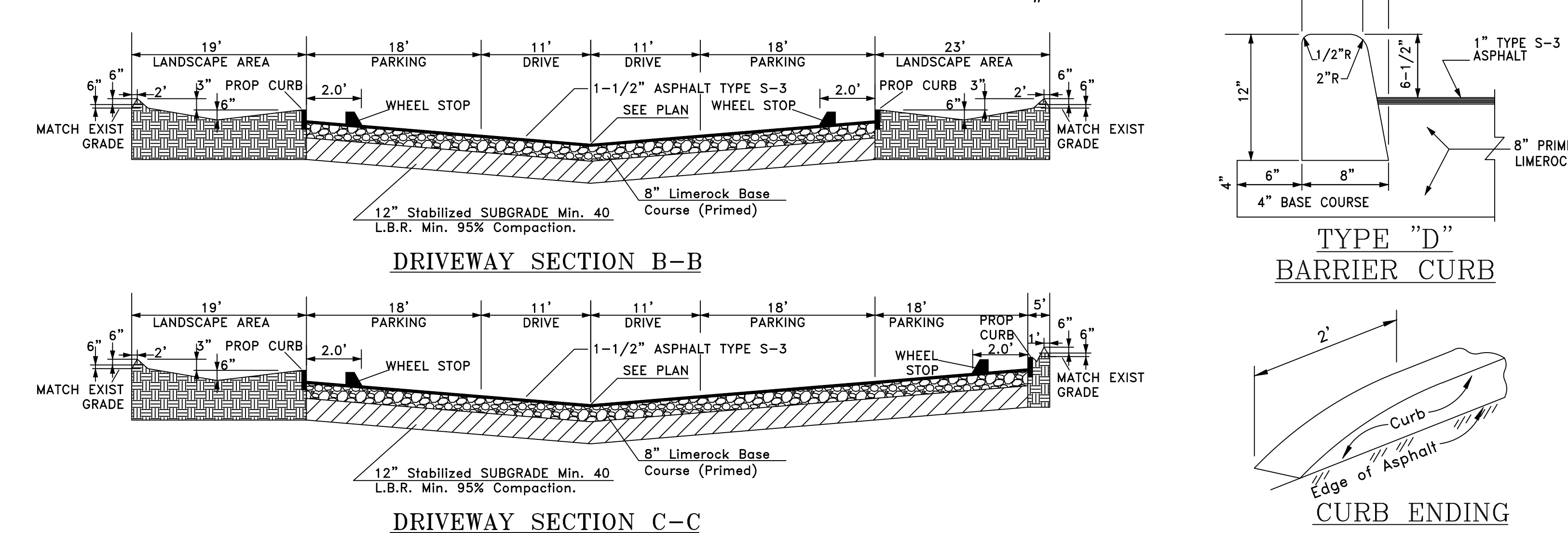
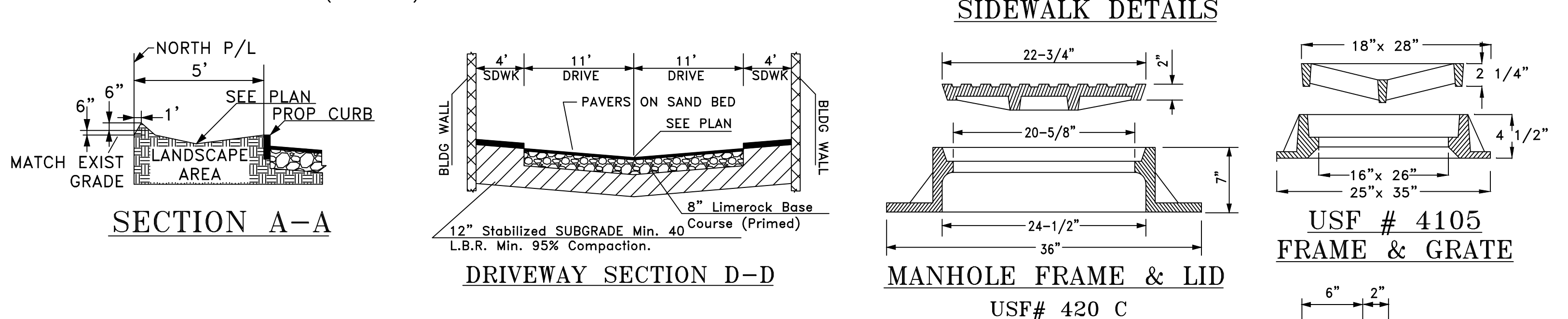
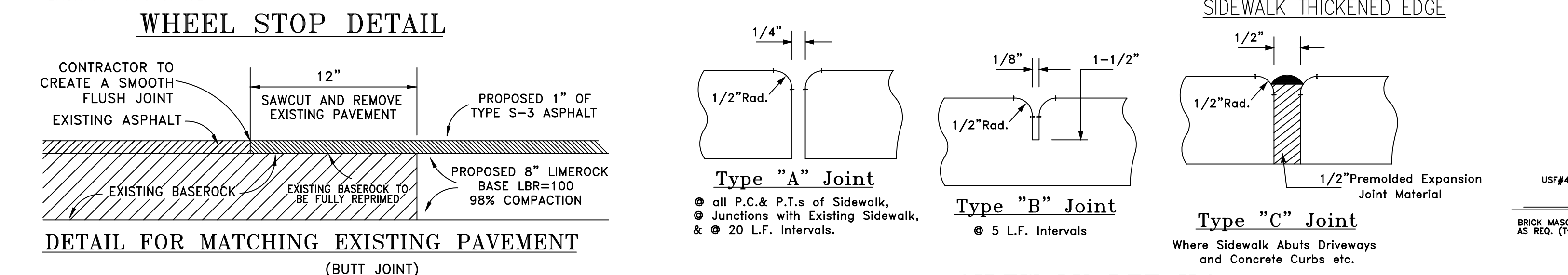
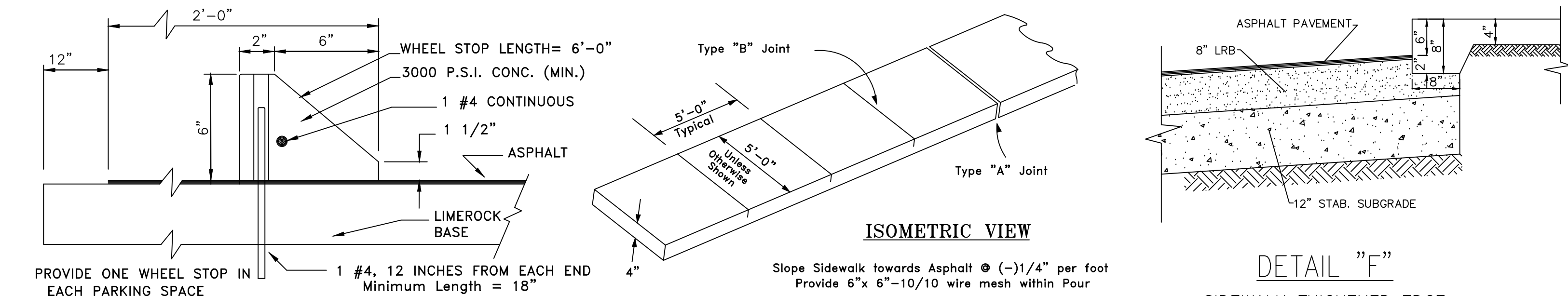
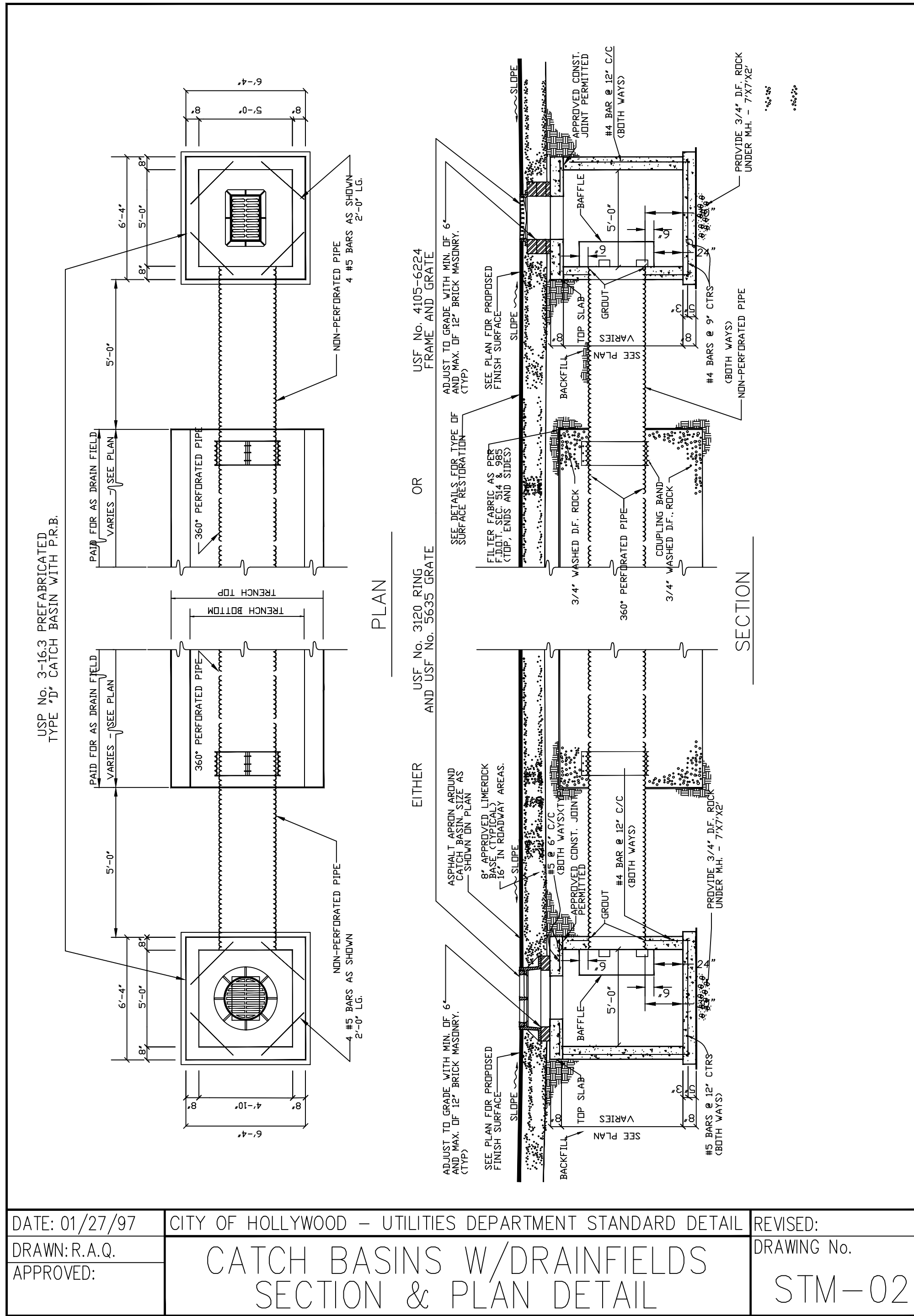
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PD-1 7 OF 11



NOTES:

1. ALUMINUM SHEET OF SAME THICKNESS (GAGE) AS PIPE SHALL BE WELDED TO CLOSURE OPENING.
2. BAFFLE SHALL BE AS MANUFACTURED BY SOUTHERN CULVERT OR ENGINEER'S APPROVED EQUAL.
3. NEOPRENE GASKET (3/8"x 2") SHALL BE INSTALLED AT ALL BAFFLES





DRAINAGE WELL NOTES:

- THE DRAINAGE WELLS SHOWN HEREON SHALL BE CASED TO THE DEPTH NECESSARY TO DEVELOP THE REQUIRED DISCHARGE AND SUFFICIENT TO ACHIEVE A MINIMUM OF 10,000 PPM OF TOTAL DISSOLVED SOLIDS. AN OPEN HOLE SHALL BE DEVELOPED BELOW CASING AS REQUIRED TO ACHIEVE REQUIRED CAPACITY OF 500 GPM PER FOOT OF HEAD.
- WELLS ARE TO BE AS PLUMB AND TRUE TO LINE AS GOOD WORKMANSHIP PERMITS.
- COMPLETED WELLS ARE TO BE THOROUGHLY DEVELOPED.
- EACH COMPLETED WELL SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR CONDUCTING WELL TESTS AND PROPERLY DISPOSING OF THE WATER PUMPED FROM THE WELL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THE INITIATION OF SUCH TESTING.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL NECESSARY PERMITS AND TO COMPLY WITH THE PROVISIONS THEREOF.
- TEMPORARY SOLID LIDS SHALL BE WELDED ON THE TOP OF EACH COMPLETED WELL TO PREVENT FOREIGN MATERIALS AND/OR CONSTRUCTION WASTE FROM ENTERING THE WELL. THESE LIDS SHALL BE REMOVED AFTER THE INSTALLATION OF THE MANHOLE STRUCTURE AND THE BAFFLES ON INLETS HAVE BEEN INSTALLED.
- CONTRACTOR SHALL TEST THE WELL TO DETERMINE THE CAPACITY.
- CONTRACTOR IS TO UTILIZE A FIRE HYDRANT OR OTHER APPROVED SOURCE OF MEASUREMENT OF FLOW IN ORDER TO ACCURATELY DETERMINE THE FLOW CAPACITY OF SAID WELL.

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CIELO AZUL AT HOLLYWOOD
 DRAINAGE STANDARD DETAILS
 2201 POLK STREET
 HOLLYWOOD, FLORIDA

REVISIONS

Date	Remarks	By	KWG
12/01/17	REVISIONS PER CITY OF HOLLYWOOD COMMENTS	KWG	
4/18/17	REVISIONS PER CITY OF HOLLYWOOD COMMENTS	KWG	

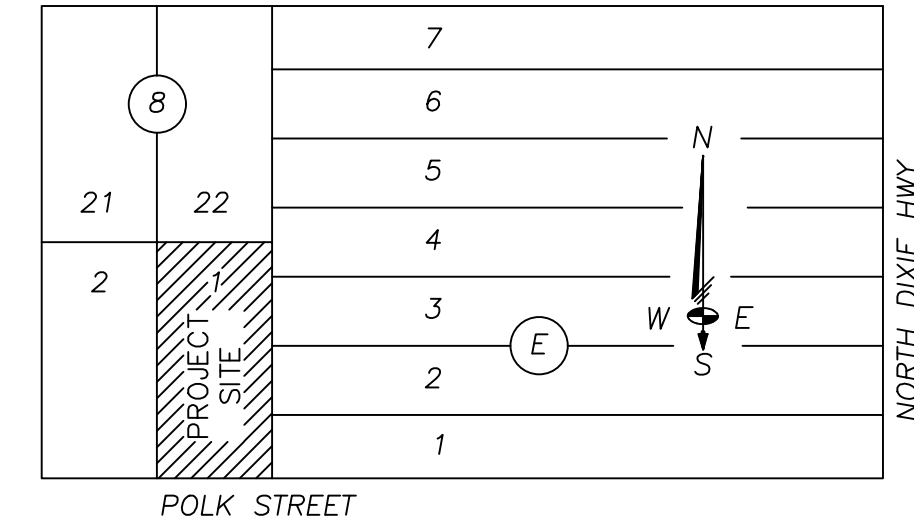
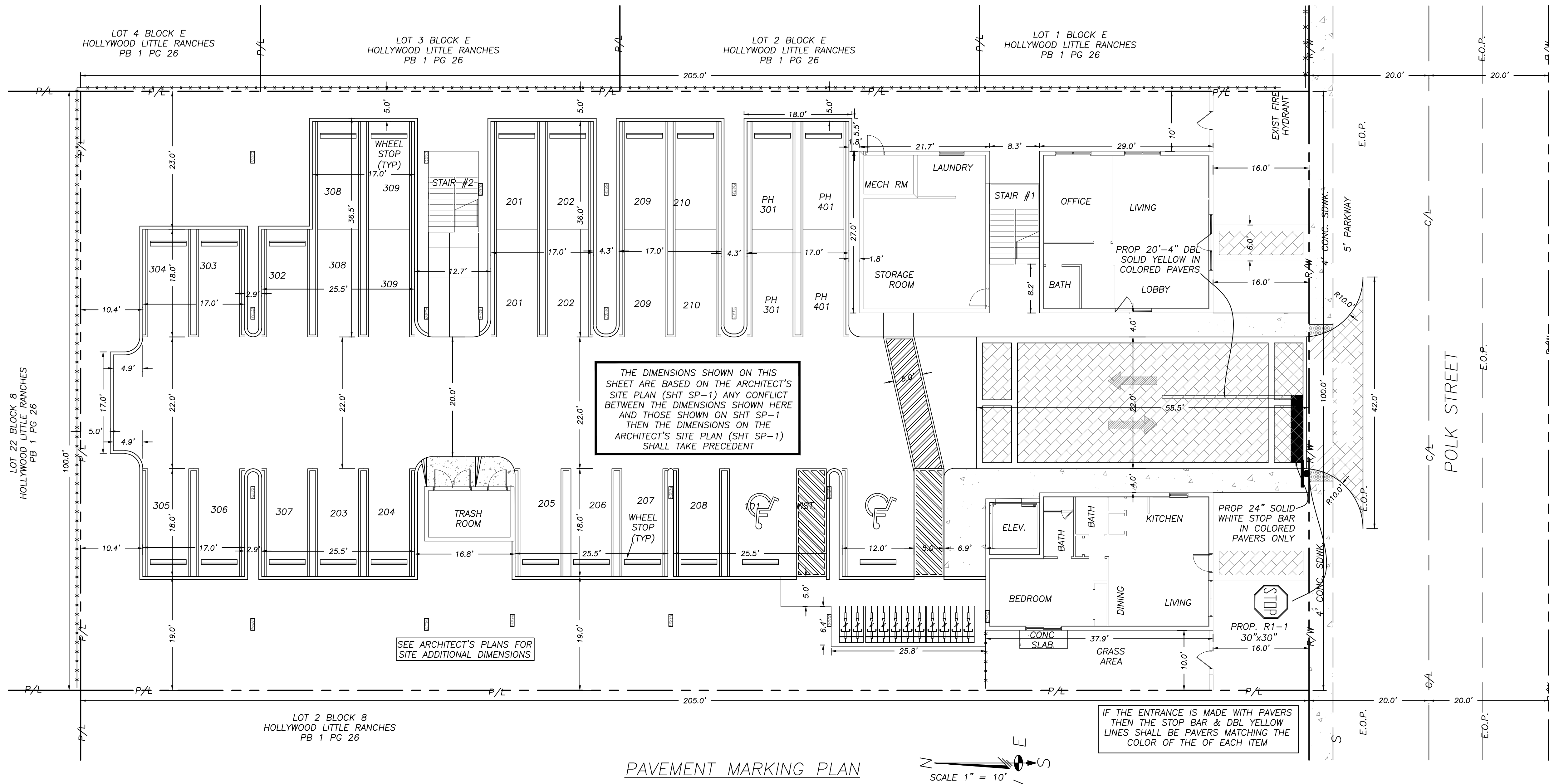
KEN W. GROCE
 No. 35944
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

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For The Firm By:
 KEN W. GROCE, P.E.
 FL. Reg. No. 35944
 Civil Engineer

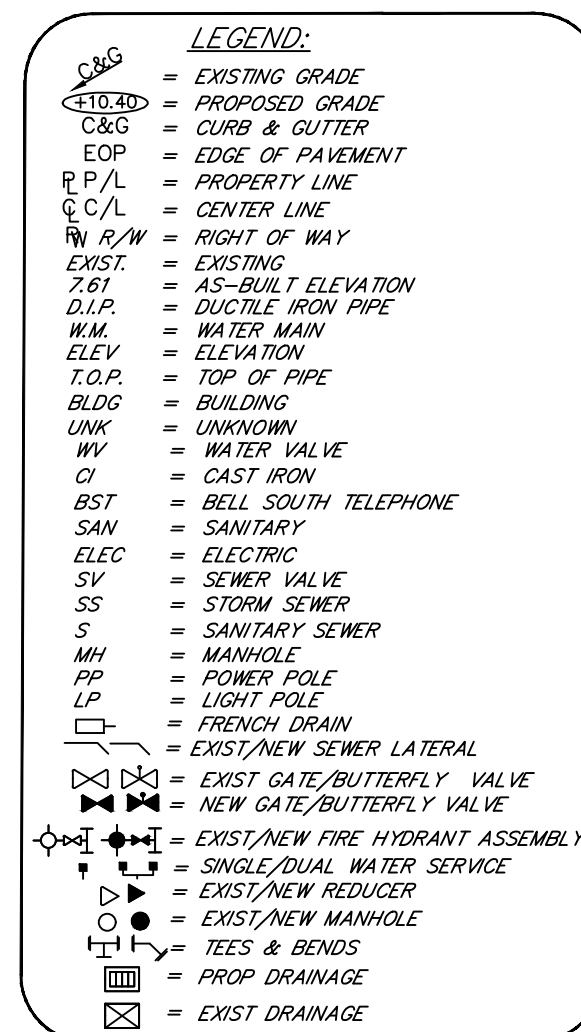
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 Project No: 17-05

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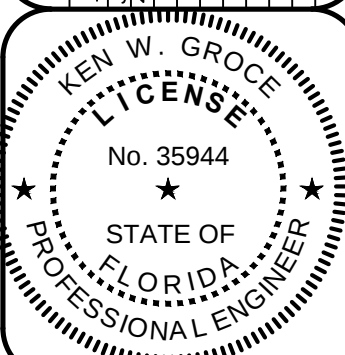
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CIELO AZUL AT HOLLYWOOD
PAVEMENT MARKING PLAN
2201 POLK STREET
HOLLYWOOD, FLORIDA

REVISED	BY	DATE	REVISIONS
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98	KWG	12/01/17	REVISIONS PER CITY OF HOLLYWOOD COMMENTS
99	KWG	12/01/17	REVISIONS PER CITY OF HOLLYWOOD COMMENTS
100	KWG	12/01/17	REVISIONS PER CITY OF HOLLYWOOD COMMENTS



THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 4/18/17 BY KEN W. GROCE, P.E. USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS SHEET ARE NOT CONSIDERED AS SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE.

For The Firm By:
KEN W. GROCE, P.E.
Fl. Reg. No. 35944
Civil Engineer

Scale: As Shown In Views

Designed By: KWG

Drawn By: CDS

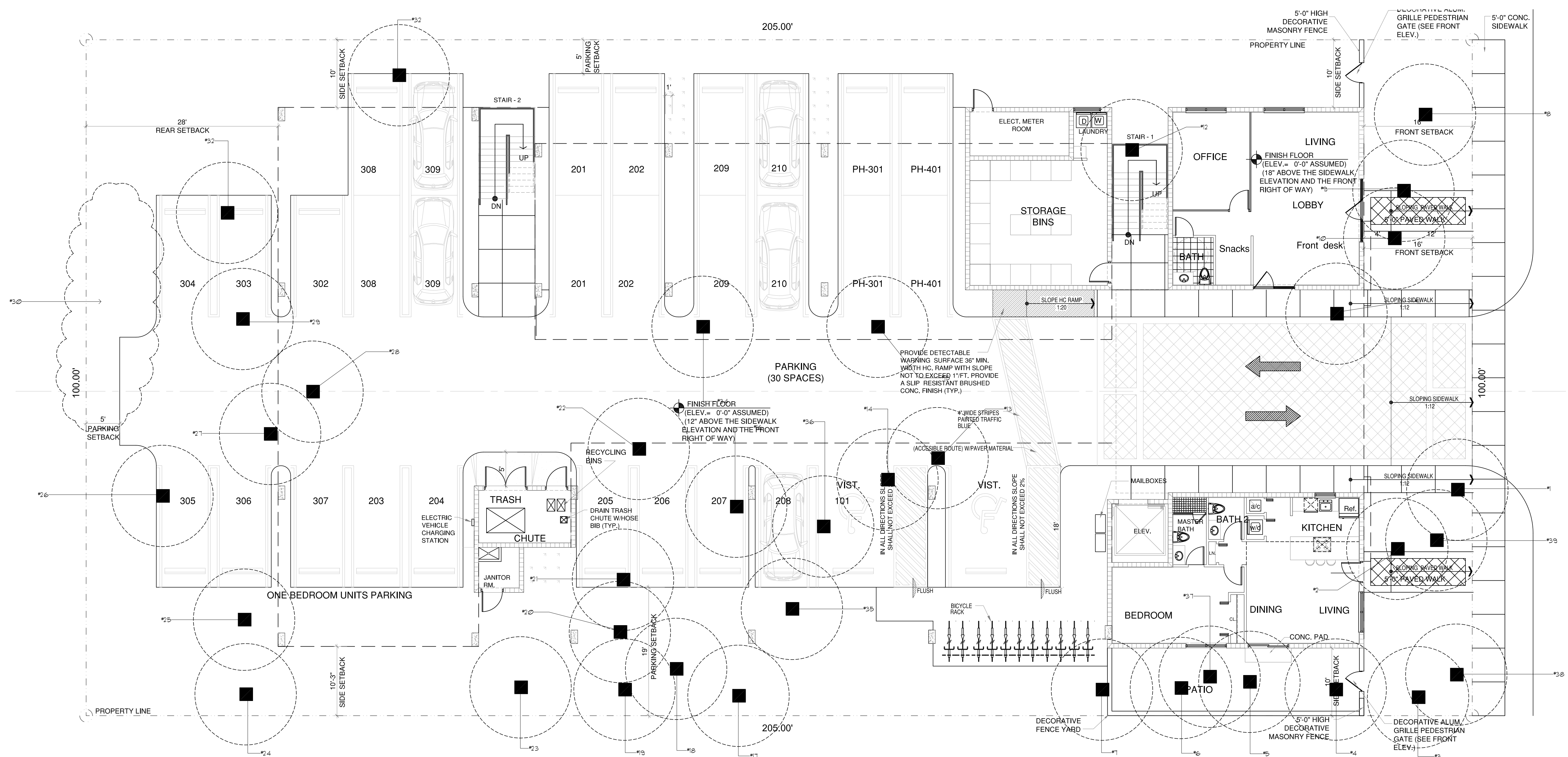
Checked By: KWG

Date: 2.3.17

Project No: 17-05

Sheet: PD-4 10 OF 11

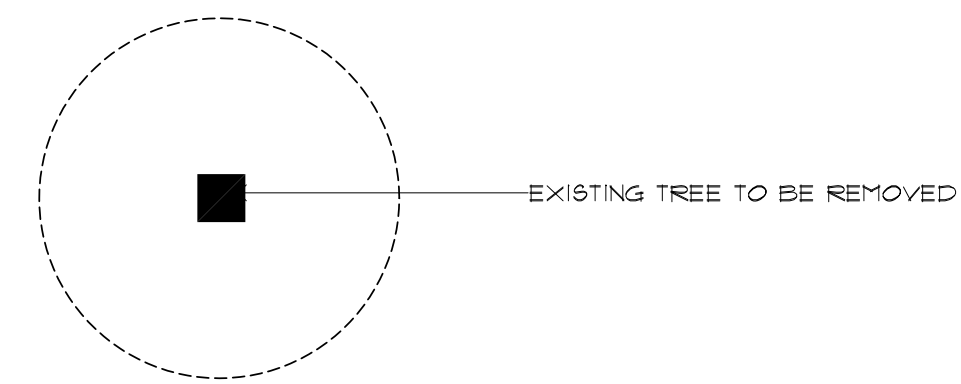




EXISTING TREE LIST:

No	COMMON NAME	BOTANICAL NAME	DBH (")	HT. (')	SP. (')	CONDITION/RECOMMENDATIONS	DBH (") TO BE REMOVED
1	GUMBO LIMBO	BURSERA SIMARUBA	2'	35'	30'	POOR/TO BE REMOVED	24"
2	JAMAICAN ACKEE	BLIGHIA SAPIDA	0.8'	25'	25'	EXEMPT/POOR/TO BE REMOVED	0
3	GUMBO LIMBO	BURSERA SIMARUBA	0.1'	20'	15'	POOR/TO BE REMOVED	8"
4	GUMBO LIMBO	BURSERA SIMARUBA	0.1'	18'	12'	POOR/TO BE REMOVED	8"
5	GUMBO LIMBO	BURSERA SIMARUBA	1'	30'	25'	POOR/TO BE REMOVED	12"
6	BRAZILIAN PEPPER	SCHINUS TEREBINTHIFOLIUS	12'	25'	25'	PROHIBITED/TO BE REMOVED	0
7	GUMBO LIMBO	BURSERA SIMARUBA	12'	30'	30'	POOR/TO BE REMOVED	14"
8	LIVE OAK	QUERCUS VIRGINIANA	0.6'	20'	12'	POOR-GROWING THROUGH FENCE/TO BE REMOVED	
9	JAMAICAN ACKEE	BLIGHIA SAPIDA	0.15'	20'	20'	EXEMPT/POOR/TO BE REMOVED	0
10	WAX APPLE	SYZYGIUM SPP.	12'	20'	25'	PROHIBITED/POOR/TO BE REMOVED	0
11	GUMBO LIMBO	BURSERA SIMARUBA	1'	30'	20'	POOR/TO BE REMOVED	12"
12	SAPODILLA	MANIKARA ZAPOTA	4'	45'	50'	PROHIBITED/POOR/TO BE REMOVED	0
13	MANGO	MANGIFERA INDICA	1.8'	22'	20'	POOR/TO BE REMOVED	21"
14	AVOCADO	PERSEA AMERICANA	0.5'	20'	18'	POOR/TO BE REMOVED	6"
15	JAMAICAN ACKEE	BLIGHIA SAPIDA	1.3'	25'	25'	EXEMPT/POOR/TO BE REMOVED	0
16	AVOCADO	PERSEA AMERICANA	0.1'	18'	18'	POOR/TO BE REMOVED	8"
17	FAN PALM	LIVISTONIA CHINENSIS	1'	20'	12'	POOR/TO BE REMOVED	12"
18	FAN PALM	LIVISTONIA CHINENSIS	12'	25'	25'	POOR/TO BE REMOVED	14"
19	FAN PALM	LIVISTONIA CHINENSIS	12'	25'	25'	POOR/TO BE REMOVED	14"
20	FAN PALM	LIVISTONIA CHINENSIS	12'	12'	12'	POOR/TO BE REMOVED	14"
21	JAMAICAN ACKEE	BLIGHIA SAPIDA	0.6'	22'	20'	EXEMPT/POOR/TO BE REMOVED	0
22	JAMAICAN ACKEE	BLIGHIA SAPIDA	0.6'	20'	18'	EXEMPT/POOR/TO BE REMOVED	0
23	FAN PALM	LIVISTONIA CHINENSIS	12'	30'	12'	POOR/TO BE REMOVED	14"
24	LIVE OAK	QUERCUS VIRGINIANA	1.3'	16'	12'	POOR/TO BE REMOVED	16"
25	GUMBO LIMBO	BURSERA SIMARUBA	0.8'	32'	15'	POOR/TO BE REMOVED	10"
26	JAMAICAN ACKEE	BLIGHIA SAPIDA	0.1'	30'	30'	EXEMPT/POOR/TO BE REMOVED	0
27	JAMAICAN ACKEE	BLIGHIA SAPIDA	0.6'	25'	20'	EXEMPT/POOR/TO BE REMOVED	0
28	MANGO	MANGIFERA INDICA	12'	30'	30'	POOR/TO BE REMOVED	14"
29	JAMAICAN ACKEE	BLIGHIA SAPIDA	0.1'	30'	30'	EXEMPT/POOR/TO BE REMOVED	0
30	BRAZILIAN PEPPER	SCHINUS TEREBINTHIFOLIUS	GROUPING			PROHIBITED/TO BE REMOVED	0
31	NOT SEEN ON SITE						0
32	JAMAICAN ACKEE	BLIGHIA SAPIDA	12'	16'	16'	EXEMPT/POOR/TO BE REMOVED	0
33	FAN PALM	LIVISTONIA CHINENSIS	1'	16'	16'	POOR/TO BE REMOVED	12"
34	DEAD TREE					TO BE REMOVED	0
35	STARBURST CLERODENDRON	CLERODENDRON SPP.	0.4'	18'	10'	POOR/TO BE REMOVED	5"
36	STARBURST CLERODENDRON	CLERODENDRON SPP.	0.4'	18'	10'	POOR/TO BE REMOVED	5"
37	GUMBO LIMBO	BURSERA SIMARUBA	0.6'	20'	15'	POOR/TO BE REMOVED	7"
38	LIVE OAK	QUERCUS VIRGINIANA	MULTI x 1'	12'	6'	POOR-GROWING THROUGH FENCE/TO BE REMOVED	12"
39	GUMBO LIMBO	BURSERA SIMARUBA		12'	5'	POOR-LEANING/TO BE REMOVED	6"
						MITIGATION QUANTITY (TOTAL DBH):	268"

SYMBOL KEY:



DESIGNING BEAUTIFUL SPACES

LLA LAURA
LLERENA &
ASSOCIATES

LANDSCAPE ARCHITECTURE
13170 S.W. 128th Street, Suite 207, Miami, FL 33186
Tel: 305-256-1199 / Fax: 305-256-1155

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PROJECT No. _____

CAWN BY: LR

CHECKED BY: LMLH

DATE: 03-17-17

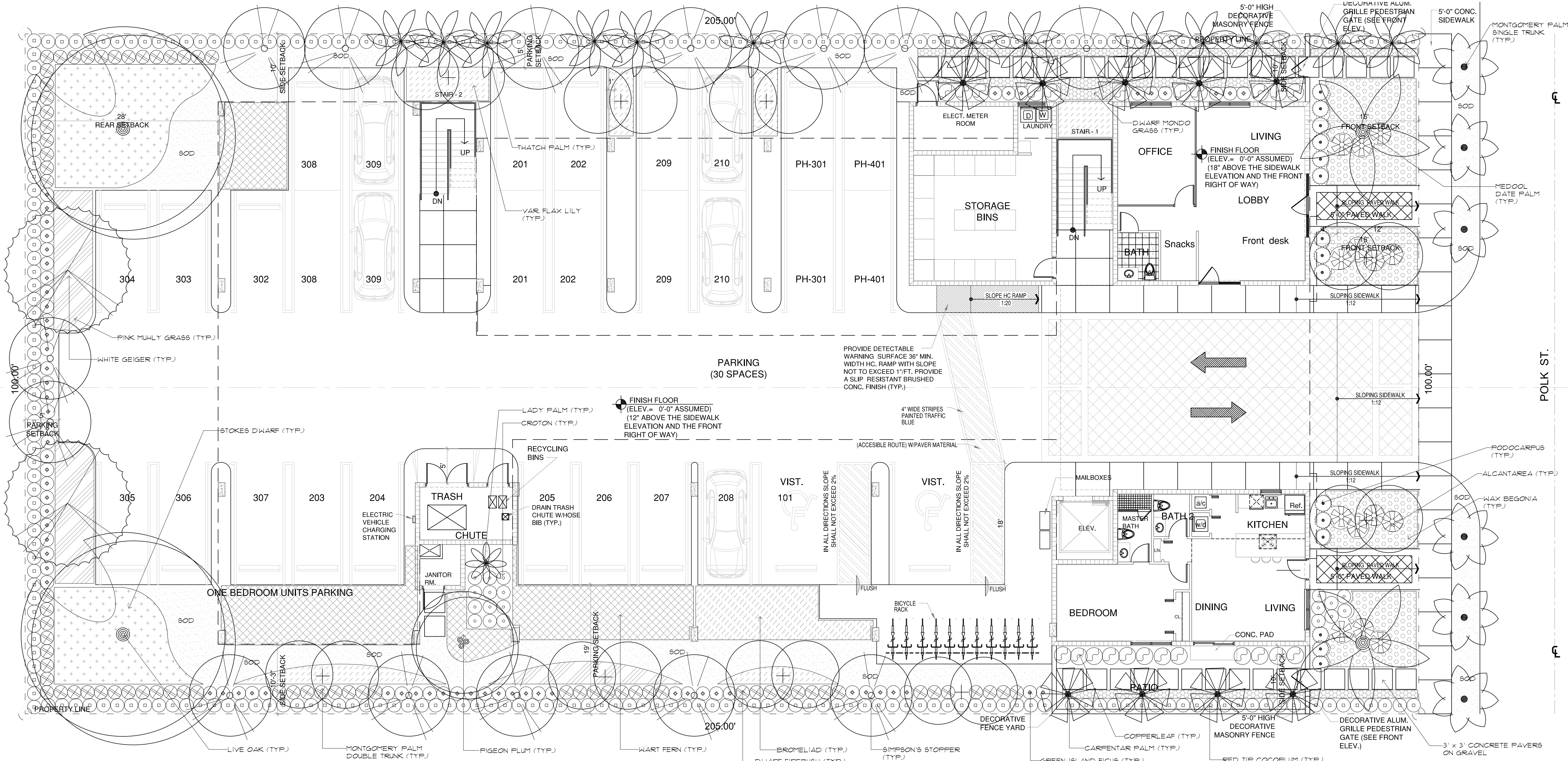
JURA M. LLERENA-HERNANDEZ

MEET TITLE

TREE DISPOSITION
PLAN

EX-1

1 OF 1



CITY OF HOLLYWOOD CODE

PROPERTY ZONING:	RM-1B
PROPERTY SIZE:	20500 SF. / 0.48 ACRES
PERIMETER LANDSCAPE/STREET TREES:	1 STREET TREE PER EVERY 50' OF STREET FRONTAGE 2 REQUIRED / 2 PROVIDED
OPEN SPACE:	MIN. OF 40% OF TOTAL SITE AREA MUST BE LANDSCAPED OPEN SPACE 8200 SF. REQUIRED / 8819 SF. PROVIDED
LOT TREES:	1 PER EVERY 1000 SF. OF PERVIOUS AREA 9 REQUIRED / 9 OF THE SIMPSON'S STOPPER SHALL COUNT TOWARDS THIS REQUIREMENT. THE REMAINDER OF TREES/PALMS SHALL COUNT TOWARDS MITIGATION TOTALS.

MITIGATION CALCULATIONS

TOTAL DBH PROPOSED FOR REMOVAL:	268"
TOTAL PROPOSED (GROUND FLOOR) REPLACEMENT TREES:	(7) 12" HT. x 2" DBH TREES (2) 16" HT. x 3" DBH TREES (30) SINGLE TRUNK PALM TREES (8) DOUBLE TRUNK PALM TREES
*MITIGATION SHORTFALL TO BE PAID INTO CITY TREE TRUST FUND OR ADDITIONAL TREES TO BE PLANTED ON CITY PROPERTY AS DIRECTED BY THE CITY LANDSCAPE ARCHITECT.	

PLANT LIST

QTY.	KEY BOTANICAL NAME	COMMON NAME	D.T. SIZE & REMARKS
TREES:			
1	CD COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	Δ** MIN. 12' HT. x 2" DBH. MALE SPECIES, F.G.
2	CB CORDIA BOISSIERI	WHITE GEIGER	** MIN. 12' HT. x 2" DBH. F.G.
13	MF MYRTANTHES FRAGRANS	SIMPSON'S STOPPER	Δ** MIN. 12' HT. x 2" DBH. STD. F.G.
2	QV QUERCUS VIRGINIANA	LIVE OAK	Δ** MIN. 16' HT. x 3" DBH. F.G.
PALMS:			
9	CA CARPENTARIA ACUMINATA	CARPENTER PALM	** MIN. 25' OAH.T. S.T. F.G.
13	TR THrinax RADIATA	THATCH PALM	Δ** MIN. 10'-14' O.A. STAGGERED HTS. F.G.
2	PD PHOENIX DACTYLIFERA	MEDJOL DATE PALM	* MIN. 20' C.T. MATCHED, F.G.
1	REI RAPHIS EXCELSA	LADY PALM	* 25 GALLON, MIN. 8' HT. FULL
6	VMI VEITCHIA MONTGOMERIANA	MONTGOMERY PALM	** MIN. 20' HT. S.T. MATCHED, F.G.
8	VMI2 VEITCHIA MONTGOMERIANA	MONTGOMERY PALM	** MIN. 20' HT. D.T. F.G.
SHRUBS:			
14	AC ALCANTAREA IMPERIALIS	ALCANTAREA	** 15 GALLON, FULL
22	AW COPPERLEAF 'INFERNO'	ACALYPHA WILKESIANA	** 1 GAL., 30" O.C., FULL, SR.
247	CI CHRYSAEALANUS (CAGO	RED TIP COCOPLUM	Δ** 3 GAL., 24" O.C. SR.
19	CV CODIAEUM VARIEGATUM	CROTON 'GOLD DUST'	** 3 GAL., 24" O.C. T.S.
60	FI FICUS MICROCARPA	GREEN ISLAND FICUS	** 3 GAL., 24" O.C. SR.
13	HN HAMAMELIA NODOSA	DWARF FIREBUSH	** 3 GAL., 24" O.C. SR.
15	IV ILEX VOMITORIA	STOKES DWARF	Δ** 3 GAL., 24" O.C. T.S.
15	FM1 FODOCARPUS MACROPHYLLUS	FODOCARPUS	** 1 GAL., 30" O.C., FULL, SR.
GROUNDCOVERS:			
TBD	BS BEGONIA SEMPERFLORENS	WAX BEGONIA	** 1 GAL., 12" O.C., RED FLOWER, T.S.
TBD	BR BROMELIAD SPP.	BROMELIAD	** 1 GAL., 12" O.C. T.S.
TBD	MC MUHLBERGIA CAPILLARIS	PINK MUHLY GRASS	Δ** 1 GAL., 18" O.C. FULL, T.S.
TBD	MS MICROSORUM SCOLOPENDRIA	WART FERN	* 1 GAL., 18" O.C. FULL, T.S.
TBD	TJ TASMANICA VARIEGATA	VAR. FLAX LILY	* 1 GAL., 18" O.C. FULL, T.S.
TBD	OJ OPHIOPOGON JAPONICUS 'NANA'	DWARF MONDO GRASS	** 1 GAL., 12" O.C. T.S.
SOD:			
1300*	SOD STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE FLORATAM	Δ * SOLID SOD
ABBREVIATIONS:			
OAH.T.	OVERALL HEIGHT	MIN.	MINIMUM
STD.	STAGGERED	STD.	STANDARD
SR.	SINGLE ROW	O.C.	ON CENTER
T.S.	TRIANGULAR SPACING	GAL.	GALLON
S.T.	SINGLE TRUNK	G.W.	GREY WOOD
D.T.	DOUBLE TRUNK		
DROUGHT TOLERANCE & ORIGIN:			
			* MODERATE DROUGHT TOLERANCE
			** VERY DROUGHT TOLERANT
			Δ NATIVE

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE GRADED FLORIDA #1 OR BETTER, AS DEFINED IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PART 1 AND 11 BY THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
2. ALL LANDSCAPE MATERIAL SHALL COMPLY WITH COUNTY, CITY OR LOCAL ORDINANCES.
3. SYMBOLS REPRESENT PLANTS AT MATURE STAGE, NEVER AT TIME OF INSTALLATION.
4. VERIFY WITH OWNER'S REPRESENTATIVE OR SITE SUPERVISOR OF ANY EXISTING UNDERGROUND UTILITIES AND/OR EASEMENTS PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL RECEIVE 3" DEPTH OF FLORIMULCH.
6. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN QUANTITY TAKE OFF, IN CASE OF ANY DISCREPANCIES, PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
7. SOLID SOD SHALL BE ST. AUGUSTINE FLORATAM.
8. THERE SHALL BE A 24" WIDE STRIP OF FLORIMULCH BETWEEN SOD AND SHRUBS/GROUNDCOVERS.
9. TERRA-SORB MOISTURE RETENTION GRANULES SHALL BE ADDED TO ALL TREE/PALM FITS AT THE RATE RECOMMENDED BY MANUFACTURER.
10. PLANTING SOIL SHALL CONSIST OF AN EVENLY BLENDED MIX OF 50% MUCK, 25% SAND, 15% SPHAGNUM PEAT MOSS & 10% SHEEP MANURE. TWO POUNDS OF FERTILIZER SHALL BE ADDED TO EACH CUBIC YARD OF SOIL & THOROUGHLY MIXED. PLANTING SOIL SHALL HAVE A PH OF BETWEEN 6.0 & 7.0 AFTER MIXING & ADDITION OF FERTILIZER.
11. TOPSOIL MIX SHALL CONSIST OF 80% SAND & 20% MUCK THOROUGHLY MIXED WITH A COMMERCIAL SHREDDER. MIX SHALL BE FREE OF ROCKS, LIMBS, ROOTS & OTHER MATTER.
12. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS. THIS IS DESIGNED FOR "HEAD TO HEAD" COVERAGE.
13. ALL EXISTING SOD OUTSIDE THE PROPERTY LINE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH SAME SPECIES AT NO COST TO OWNER.
14. TREES SHALL NOT BE PLANTED ON TOP OF IRRIGATION LINES.
15. ALL AREAS NOT COVERED BY SHRUBS, GROUNDCOVER BEDS, BUILDINGS OR PAVING ARE TO BE SODDED.
16. IF APPLICABLE, PUBLIC RIGHT OF WAY TREES TO BE REMOVED SHALL COMPLY WITH CITY/COUNTY FOR APPROVALS, PERMITS & OTHER SPECIFIC REQUIREMENTS.

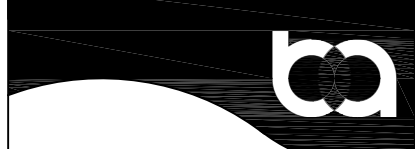
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ARCHITECTURE
LAND PLANNING
INTERIORS
CONSTRUCTION MANAGEMENT

CONSULTANTS

CIELO AZUL AT HOLLYWOOD
2201 POLK STREET
CITY OF HOLLYWOOD, FLORIDA

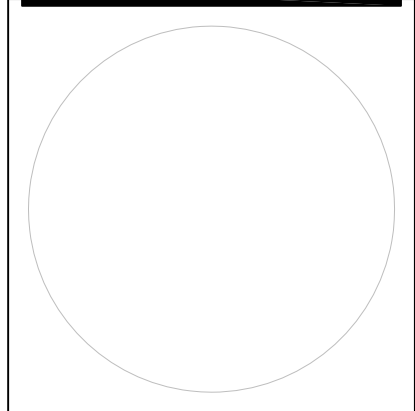
MARK DATE DESCRIPTION

PROJECT No.

DRAWN BY: LR

CHECKED BY: LMLH

DATE: 03-17-17



SHEET TITLE

PRELIMINARY
LANDSCAPE PLAN

L-1

SHEET 1 OF 3

GROUND FLOOR PRELIMINARY LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"





Color Photographs Of Site & Adjacent Properties

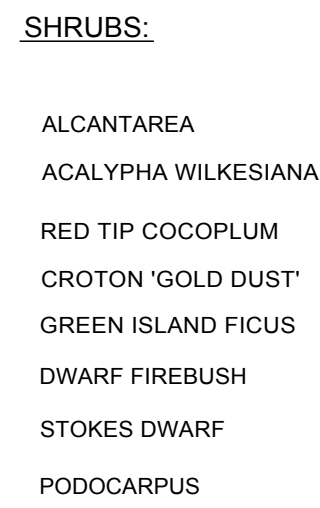




2201 - Cielo Azul at Hollywood
Polk Street Street Profile

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PAGE 1 OF 1



WAX BEGONIA
BROMELIAD
PINK MUHLY GRASS
WART FERN
VAR. FLAX LILY
DWARF MONDO GRASS

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ATTACHMENT B

Land Use and Zoning Map



**DEVELOPMENT SERVICES
PLANNING**

Legend

 Subject Property

 Streets

 Major Roads

LAND USE

 RAC

ZONING

 DH-2

 DH-3

DH-2

DH-3

TAYLOR ST

POLK ST

TYLER ST

0 20 40 80 Feet

