

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 1/27/2017

Location Address: 2201 Polk Street Hollywood FL

Lot(s): 1 Block(s): 8 Subdivision: _____

Folio Number(s): 5142 16 01 3400

Zoning Classification: 01 Residential Land Use Classification: 01 Residential

Existing Property Use: Residential Sq Ft/Number of Units: 21,451 / 21

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 21 Sq Ft: 21,451

Value of Improvement: \$5,000,000 Estimated Date of Completion: 06/01/2018

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: SUNEXUS AT HOLLYWOOD LLC

Address of Property Owner: 10900 NW 25 ST Suite 106 Miami FL 33172

Telephone: 786-203-8026 Fax: _____ Email Address: camilo@sunexuz.com

Name of Consultant/Representative/Tenant (circle one): _____

Address: _____ Telephone: _____

Fax: _____ Email Address: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Camilo Hasbun

Address: 10900 NW 25 ST Suite 106

Miami Florida 33172 Email Address: camilo@sunexuz.com

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 2/6/17

PRINT NAME: Ludvin Hasbun / Sunexus At Hollywood LLC

Date: 1/27/2017

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) _____ to my property, which is hereby made by me or I am hereby authorizing (name of the representative) _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

SIGNATURE OF CURRENT OWNER

Notary Public State of Florida

PRINT NAME

My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____



CITY of HOLLYWOOD, FLORIDA

Department of Development Services

2600 Hollywood Blvd. • Room 315 • P.O. Box 229045 • Hollywood, Florida 33022-9045
Phone (954) 921-3471 • Fax (954) 921-3347 • www.hollywoodfl.org

Thomas Barnett
Director

TECHNICAL ADVISORY COMMITTEE REPORT & RESPONSES

January 17, 2017

Sunexus at Hollywood, LLC.
10900 NE 25th Street, Suite 106
Miami, FL 33172

FILE NUMBER: 16-DP-84

SUBJECT: Site Plan review for a 21 unit residential development (Cielo Azul at Hollywood).

SITE DATA

Owner/Applicant:	Sunexus at Hollywood, LLC.
Address/Location:	2201 Polk Street
Gross Area of Property:	TBD
Net Area of Property:	20,500 square feet
Land Use:	Regional Activity Center
Zoning:	Dixie Highway Medium Intensity Multi-Family(DH-2)
Existing Use of Land:	Multi-Family dwellings

ADJACENT LAND USE

North: Regional Activity Center
South: Regional Activity Center
East: Regional Activity Center
West: Regional Activity Center

ADJACENT ZONING

North: Dixie Highway Medium Intensity Multi-Family (DH-2)
South: Dixie Highway Medium Intensity Multi-Family (DH-2)
East: Dixie Highway High Intensity Mixed-Use (DH-3)
West: Dixie Highway Medium Intensity Multi-Family(DH-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

Our Mission: We are dedicated to providing municipal services for our diverse community in an atmosphere of cooperation, courtesy and respect.
We do this by ensuring all who live, work and play in the City of Hollywood enjoy a high quality of life.

"An Equal Opportunity and Service Provider Agency"

A. APPLICATION SUBMITTAL

Alexandra Carcamo, Principal Planner 954-921-3471

1. The cover sheet shall include a sheet index and the current meeting date. Leave space for future meeting dates (i.e. Preliminary TAC, Final TAC, Board meeting)

- a. Sheet index and current meeting date are included in the cover sheet.

2. The survey shall include the gross and net property area in square feet and acres.

2. They survey now includes both the gross and net property area in square feet and acres.

3. Revise survey to include the unit count to be demolished.

- a. The Survey Now included the unit count to be demolished.

4. Ensure that O&E Report, Survey, and Site Plan are consistent.

- a. The O & E Report, Survey and Site Plan are now consistent

5. Site Plan shall include Legal Description and shall match O&E and Survey. Revise accordingly.

- a. We revised all the documents and they match accordingly

6. Provide hatching and hatch legend to identify different materials; e.g. grass, concrete curb, stamped asphalt, etc.

- a. Hatching and hatch legend provided at Site Plan

7. With next submittal provide details and height of all proposed walls, fences, and gates. All fencing shall be decorative. This includes balconies.

- a. Height of walls fences and gates included

8. Provide details of all regulatory signage and pavement markings. Work with the Engineering Division to ensure signage provided will adequately serve proposed circulation.

- a. Signage packet included in this submittal

9. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

- a. Renders now reflect actual proposed landscape designs

10. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Website:

- http://www.broward.k12.fl.us/propertymgmt/Growth_Management/meetings/Docs/PublicSchoolImpactApplication.pdf

- a. We will submit a formal application, we already approached the county to receive an estimate of these costs.

11. Staff encourages Applicant to meet with surrounding civic associations, if any and adjacent

homeowners. Please provide update with next submittal.

- a. We met with the North Central Hollywood Civic on their monthly meeting on 1/24/17

12. Provide written responses to all comments with next submittal.

13. Additional comments may be forthcoming.

B. ZONING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Provide the following in the Tabular Information:

- a. Land Use and Zoning Designation

- b. Site Data may require additional revisions for clarity. Work with the Planning Department to ensure all information is clarified and clearly depicted.

1. The required rear setback is 20 feet. Revise accordingly on plans.

- We corrected the plans see SP1

2. Properly label uses and square footage for the building.

- Included on the plans see SP1

3. Identify "D" or "F" type curbing for all vehicle impact points. Specify where each is used.

- Identified on the plans A-1

4. No column shall be within 3 feet of the entrance to a parking space. Illustrate compliance.

- Modified on the plans See SP-1

5. Include note indicating provisions for recycling will be included.
 - Included on the plans
6. Location of all utilities shall be coordinated with appropriate departments.
 - We are on the process of these. Water and sewer connections have already been located.
7. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016-02.
 - We included one electric parking station on the plans. See SP-1

C. ARCHITECTURE AND URBAN DESIGN

Alexandra Carcamo, Principal Planner 954-921-3471

1. Provide material samples and paint chips with next submittal.
 - a. We are submitting the material for the main façade and gates and paint chips for selected walls see A-4

Terrence Comiskey, Architect, 954-921-3930

1. Are these rental or condo units? Marketing wise you should consider a stackable washer/dryer unit in every unit.
 - They are rental units. We included washer and dryer in all the units.
2. Sheet SP-1: I don't see any bicycle racks or a storage area for bicycles.
 - We included bicycle racks on the new set of plans. See SP-1
3. Sheet SP-1: I don't see a location for mailboxes.
 - The mailbox is also included on the new set of plans. See SP-1
4. Sheet A-1 & A-2: Maybe both "Open Courtyards" can be doubled in length to provide more light into the North/South Breezeways.
5. Sheet A-2 & A-3: The east terrace in both Penthouses is not secure because it opens onto "Stair – 1".

There is a wall not clearly drawn of the previous plans. Please review if this suffices this comment. Se A-1 & A-2
6. Sheet A-3: The "Sundeck" is not ADA accessible.
 - We implemented a lift to make the sundeck ADA accessible see A-3
7. I do not see anywhere in the plans a Janitorial Room with a mop sink and a storage area for cleaning supplies. How are the common areas maintained? Where is the room for the pool pump and how is the pool area maintained? Are the "BBQ" gas operated?

see Sp-1. A-2 and A-3
8. Sheet A-4: No materials or finishes are called out on the exterior elevations.
 - Materials are specified on the new set of plans see A-4

D. LANDSCAPING

Dale Bryant, Landscape Architect 954-921-3997

1. No comments received.

E. SIGNAGE

Alexandra Carcamo, Principal Planner 954-921-3471

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevations, dimensions on Site Plan, etc.

a. Signage package is included for review AS 1-5

2. Include a note on plans that all signage will comply with Zoning and Land Development Regulations.

a. Notes are included on the plans AS 1- AS 5

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

a. No signs are electrically illuminated AS 1- AS 5

F. LIGHTING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Add note to Site Plan indicating the maximum foot-candle at all property lines (maximum 0.5 if adjacent to residential).

- a. Noted Included on the plans see SP-1

G. GREEN BUILDING

Alexandra Carcamo, Principal Planner 954-921-3471

1. Work with Building Department to ensure compliance with Green Building Ordinance. Certification is required for any new construction of 20,000 square feet or more, note on Site Plan how this will be achieved.

- a. Noted, We will pursue the BD + C certification

H. ENVIRONMENTAL SUSTAINABILITY

Lindsey Nieratka, Environmental Sustainability Coordinator, 954 -921-3201

1. Provide secure bike storage for residents.

- a. Bikeracks are provided on the plans See SP-1

2. Provide additional street trees.

- a. We are still reviewing this with our landscape architect

3. Indicate the green building certification you will be pursuing. Note on the plans the specific credits you will achieve.

- a. We are pursuing the BD + C certification for the basic LEED 40 credit certification. We will note it on the plans

- 4.

I. UTILITIES

James Rusnak, Engineer 954-921-3302

Wilford Zephyr, Engineer 954-924-2985

1. No comments received.

J. BUILDING

Philip Sauer, Chief Building Official 954-921-3025

1. Are these rental units and if so are they transient rentals, less than 30 days?

- a. Yes they are transient rentals. The project is for corporate rentals.

2. Handicap parking needs to be on an accessible route to the elevator, lobby and storage area

- a. Handicap parking is accessible to the lobby, elevator and storage area on the new set of plans. See SP-1

3. If rental units, not of a transient nature, provide the required 5% of residential units that comply

with mobility features and 2% of the residential units that comply with communication features for ADA, FBC Accessibility section 233.3.1.

a. Pending response, Units of transient nature. Unit of first floor is ADA compliant

4. Show handicap access to the sun deck.

a. We placed a lift to have a handicap access to the sundeck see A-3

5. Fire sprinklers are required.

a. Fire sprinklers will be on site

6. The "breeze way" on all floors is a corridor and all openings, doors and windows, must be protected with a Fire Rating of 30 minutes. FBC Table 1018.1

a. They are protected with a fire rating of 30 minutes

K. ENGINEERING

Luis Lopez, City Engineer 954-921-3251

Clarissa Ip, Engineering Support Services Manager 954-921-3915

1. Provide civil plans for the proposed project. Provide and indicate items such as but not limited to all vehicle turning radii, sight triangles, pavement marking and signage, depth of T-turn around along with applicable details as well as change in elevations to show handicap accessibility has been met.

a. Civil plans are provided in this submittal

2. Show location for mailboxes.

a. The location on the mailboxes are indicated on the new set of plans see SP-1

3. Will utility connection within the rights-of-way be needed? If so, indicate on plans and indicate restoration area with applicable details.

pages Water & Sewer 1-11

4. Provide location for bike parking with bike rack.

a. The location of the bike racks are in the new set of plans see SP-1

5. For facilities with 26-50 parking spaces, 2 handicapped parking spaces are required.

a. Two handicapped spaces are provided in the new set of plans.

6. Tandem parking spaces are being proposed in the garage; the garage shall be fully operated by valet services at all times. Indicate location of valet parking station and operation.

a. Tandem parking is provided and allocated to a specific apartment unit: three bedrooms units to have two parking spaces when possible see SP-1

7. Park impact fees are required to be satisfied prior to issuance of Building Permit.

a. We already have a rough estimate for this charge

8. All outside agency permits must be obtained prior to issuance of Building Permit.

a. We are already in the process of obtaining the required permits

9. More comments may follow upon receipt of the requested information.

L. FIRE

Janet A. Washburn, Fire Prevention Officer III 954-921-3263

This review is limited only to water supply and fire dept. access. At time of application to the building department for a permit a full architectural review will be done using the 5th edition Florida Fire Prevention Code which includes NFPA 101 1 and NFPA 101, 2012 edition, and Broward County Fire Amendments. However, a few items need noting:

1. A fire pump will likely be required for this project due to the number of stories. Please show the location on the plan. See NFPA 20, 2010 for requirements.

a. Civil engineer answer pages Water & Sewer 1-11

2. No civil drawings were submitted. Locations of any new or existing hydrants, fire main, and fire department connections shall be shown on the plan.

a. Civil engineer answer pages Water & Sewer 1-11

3. Water supply for firefighting purposes shall meet the fire flow requirements found in NFPA 1, chapter 18.4. In order to determine this, a hydrant flow test must be scheduled through underground utilities at 954-921-3046. After test is completed, show the calculations on the

plan meeting the requirements of 18.4. If new hydrants are required, show them on the plan.

a. Civil engineer answer pages Water & Sewer 1-11

4. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1, 16.4.3.1.1.

a. Civil engineer answer pages Water & Sewer 1-11

5. Show on the plan that building will be in compliance with NFPA 1, 11.10* Two-Way Radio Communication Systems. (there is also a Broward Building code amendment 118.2 on requirements).

a. Civil engineer answer pages Water & Sewer 1-11

M. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager 954-921-3271

1. Appreciate new residential development in North Central neighborhood. Are they rental or for sale units?

a. They are rental units for corporate segment

2. Sheet SP-1 – It appears that 8 units have W/D. I question whether the common laundry facilities are adequate for the remaining 13 units?

a. It was corrected on the new set of plan. All units have W/D see SP-1, A-2 and A-3

3. Sheet SP-1 – Delete c/l fence and replace with decorative fence.

a. Replaced on the new set of plans See SP-1

4. Provide room dimensions.

a. Provided on the new set of plans see all architectural sheets

5. All units have shower stall. Is there an option for a tub?

a. No, our design for corporate rental housing does not include tubs.

6. Sheet A-3 – What is the rooftop structure?

a. Is a decorative Gazebo and ornamental trellis

7. Sheet A-3 – There's no trash chute on 4th floor. How will PH-401 dispose of trash?

a. There is a chute on the 4th floor on the new set of plans see A-3

8. Suggest meeting with North Central Civic Association about the project.

a. We already meet with their North Central Association on their monthly meeting on on 1/24/17

N. PARKS, RECREATION AND CULTURAL ARTS

Eric Brown, Recreation Supervisor 954-921-3404

David Vazquez, Assistant Director 954-921-3404

1. Shall submit a park impact fee application.

a. We already have the application, we are currently moving forward with this issue.

O. POLICE DEPARTMENT

Tracey Thomas, Police 954-967-4549

Doreen Avitabile, Police 954-967-4371

1. Application is substantially compliant.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

CPTED Strategies

1. Provide clear border definition of controlled space. Examples of border definition may include fences, shrubbery of signs in exterior areas.

• Provided on the new set of plans see SP-1

External Lighting

2. Parking lots, vehicle roadways, pedestrian walkways and building entryways should have "adequate" levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles

-Building Entryways 5 foot candles

- Ok Noted

3. Exterior lighting should be controlled by automatic devices (preferably by photocell).

- OK

4. Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.

- OK

5. Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.

- Ok, Noted

6. Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).

- Ok Noted

Landscaping

7. Make sure all landscaping is trimmed and well maintained.

- OK.

8. Make sure that landscaping does not obstruct the natural surveillance (visibility) of the area.

- OK

9. Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.

- OK

Fencing

10. (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

- OK

Signage

11. Please make sure areas of the premises are identified with proper signage.

- OK

P. PUBLIC WORKS

Karen Arndt, Assistant Director 954-967-4264

Charles Lassiter, Environmental Services Supervisor 954-967-4207

1. Application is substantially compliant.

Q. ECONOMIC DEVELOPMENT

Brian Rademacher, Corridor Redevelopment Manager 954-924-2922

1. Application is substantially compliant.

R. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director 954-924-2980

Susan Goldberg, Deputy Director 954-924-2980

1. Not applicable.

S. PARKING AND INTERGOVERNMENTAL AFFAIRS

Tamikia Bacon, Parking Operations Manager 954-921-3548

Harold King, Parking Administrator 954-921-3549

1. No comments received.

T. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulation

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

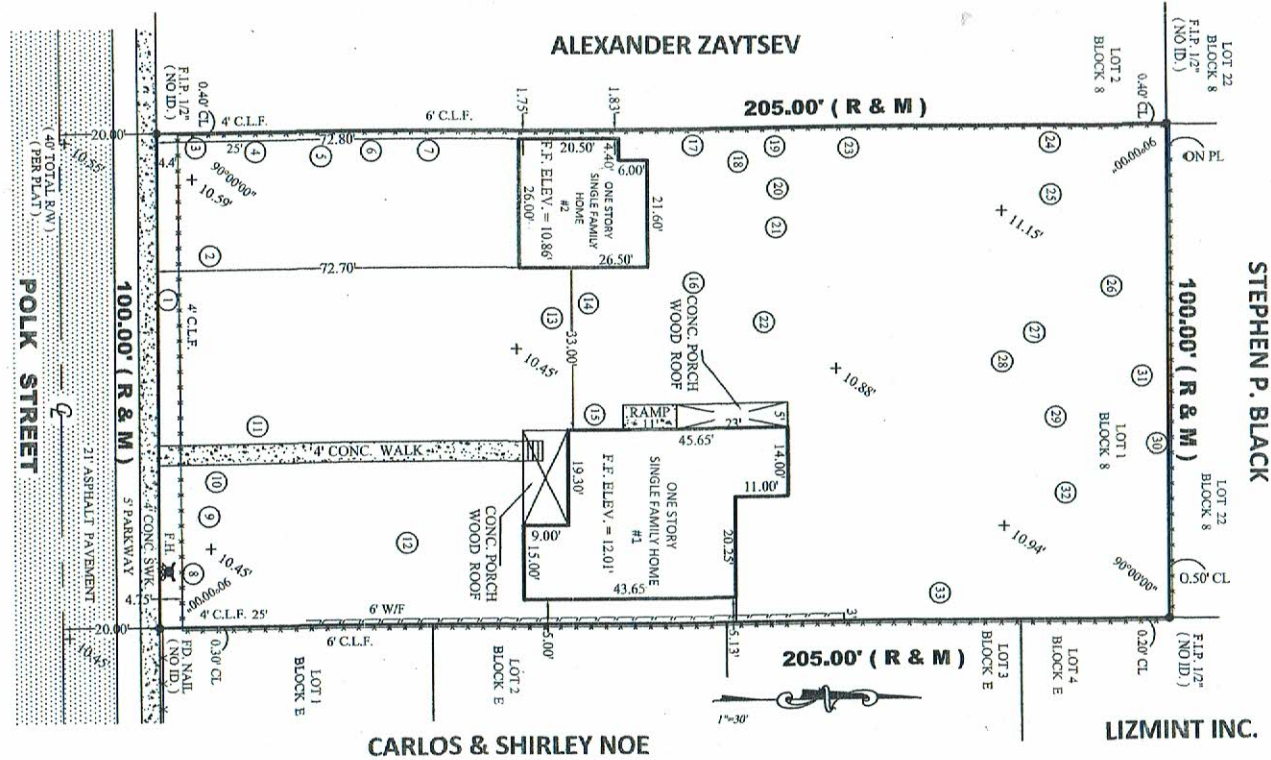


Alexandra Carcamo
Principal Planner

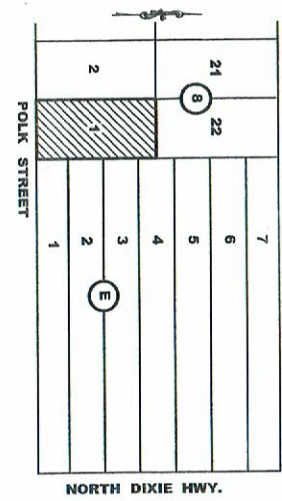
C: Camilo Hasbun via email camilo@sunexuz.com



Cielo Azul at Hollywood



LOCATION SKETCH SCALE: NTS



TREE CHART				
NO.	NAME	DIAMETER	HEIGHT	SPAN
1	GUINOA LIMO TREE	2"	30'	30'
2	MACADAMIA NUT TREE	6.0"	25'	25'
3	MACADAMIA NUT TREE	6.7"	20'	15'
4	GUINOA LIMO TREE	6.7"	18'	12'
5	GUINOA LIMO TREE	1"	30'	30'
6	OAK TREE	1.2"	25'	25'
7	GUINOA LIMO TREE	1.2"	30'	30'
8	OAK TREE	0.9"	20'	12'
9	GUINOA LIMO TREE	0.75"	20'	20'
10	MANGO TREE	1.2"	20'	25'
11	GUINOA LIMO TREE	1"	30'	30'
12	OAK TREE	4"	45'	50'
13	MACADAMIA NUT TREE	1.8"	22'	20'
14	AVOCADO TREE	0.9"	20'	15'
15	TYNIA OAK TREE	1.3"	25'	25'
16	AVOCADO TREE	0.7"	15'	15'
17	ORNAMENTAL PALM	1"	20'	12'
18	ORNAMENTAL PALM	1.2"	25'	25'
19	ORNAMENTAL PALM	1.2"	25'	25'
20	ORNAMENTAL PALM	1.2"	12'	12'
21	MACADAMIA NUT TREE	0.6"	22'	20'
22	MACADAMIA NUT TREE	0.6"	20'	15'
23	ORNAMENTAL PALM	1.2"	30'	12'
24	OAK TREE	1.3"	15'	12'
25	MACADAMIA NUT TREE	0.6"	32'	15'
26	MACADAMIA NUT TREE	0.7"	30'	15'
27	MACADAMIA NUT TREE	0.6"	35'	15'
28	AVOCADO TREE	1.2"	30'	15'
29	MACADAMIA NUT TREE	0.7"	30'	15'
30	FLORIDIANA TREE	2.4"	15'	10'
31	ORNAMENTAL PALM	1"	12'	5'
32	TWIN MACADAMIA NUT TREE	0.5"	15'	15'
33	ORNAMENTAL PALM	1"	15'	15'

ALTA/NSPS SURVEY

Property Address: 2201 Polk St., Hollywood, FL 33020.

Certified To: Sunexus at Hollywood LLC, a Florida limited liability company; Old Republic National Title Insurance Company; Closings.com, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 minimum standard detail requirements for ALTA/NSPS land title surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6a, 7a, 7b, 8, 9, 10a, 10b, 11a, 13, 14, 16, 17, 18, 19 and 20 of table A thereof. The field work was completed on November 21st, 2016.

Survey done according to Old Republic National Title Insurance Company Policy No.: OF6-8421235

- Schedule B-II title exception #5 affects the property and is plotted hereon. (P.B. 1, PG 26)
- All other Schedule B-II title exceptions are blanket in nature and not plottable.
- There are no encroachments on the property.

Legal Description: Lot 1, Block 8, AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida.

NET AREA = 20,500 SQ. FEET (0.47 ACRES)
GROSS AREA = 22,500 SQ. FEET (0.517 ACRES)

ABBREVIATIONS:
SWK=SIDEWALK, CBS=CONCRETE BLOCK STRUCTURE, CLF=CHAIN LINK FENCE, PL=PROPERTY LINE, DUE=DRAINAGE UTILITY EASEMENT, IP=IRON PIPE, F=FOUND, A/C=AIR CONDITIONER PAD, P/C=PROPERTY CORNER, D/H=DRILLED HOLE, W/F=WOODEN FENCE, RES=RESIDENCE, CL=CLEAR, RB=REBAR, UE=UTILITY EASEMENT, CONC=CONCRETE SLAB, RW=RIGHT OF WAY, DE=DRAINAGE EASEMENT, CL=CENTER LINE, O=DIAMETER, TYP=TYPICAL, M=MEASURED, R=RECORDED, ENCR=ENCROACHMENT, COMP=COMPUTER, ASH=ASPHALT, ND=NAIL & DISC, S=SET, FEE=FINISH FLOOR ELEVATION, OIS=OFFSET, PIP=POWER POLE, OHP=OVERHEAD POWERLINE, WM=WATER METER
WOOD FENCE= [Symbol]
MASONRY WALL= [Symbol]
CONCRETE= [Symbol]
MAINTENANCE & DRAINAGE EASEMENT= M & D.E.

ELEVATION BASED ON LOC. #
CBM# 1944 ELV. 15.03 TYPE OF SURVEY: BOUNDARY SURVEY

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. 4) LEGAL DESCRIPTION PROVIDED BY CLIENT. 5) UNDERGROUND ENCROACHMENTS NOT LOCATED. 6) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. 7) OWNERSHIP OF FENCES ARE UNKNOWN. 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL

REVISED:

I HEREBY CERTIFY That the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes.

There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

Adis N. Nunez
ADIS N. NUNEZ
REGISTERED LAND SURVEYOR
STATE OF FLORIDA #5924

SINCE 1987

BLANCO SURVEYORS INC.
Engineers • Land Surveyors • Planners • LB # 0007059
555 NORTH SHORE DRIVE
MIAMI BEACH, FL 33141
Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

(305) 865-1200

FLOOD ZONE: X
PANEL: 0569
DATE: 11/21/16
SCALE: 1" = 30'

SUFFIX: L
COMMUNITY # 125113
DWN. BY: F. Blanco
JOB No 16-866

DATE: 9/11/09
BASE: N/A



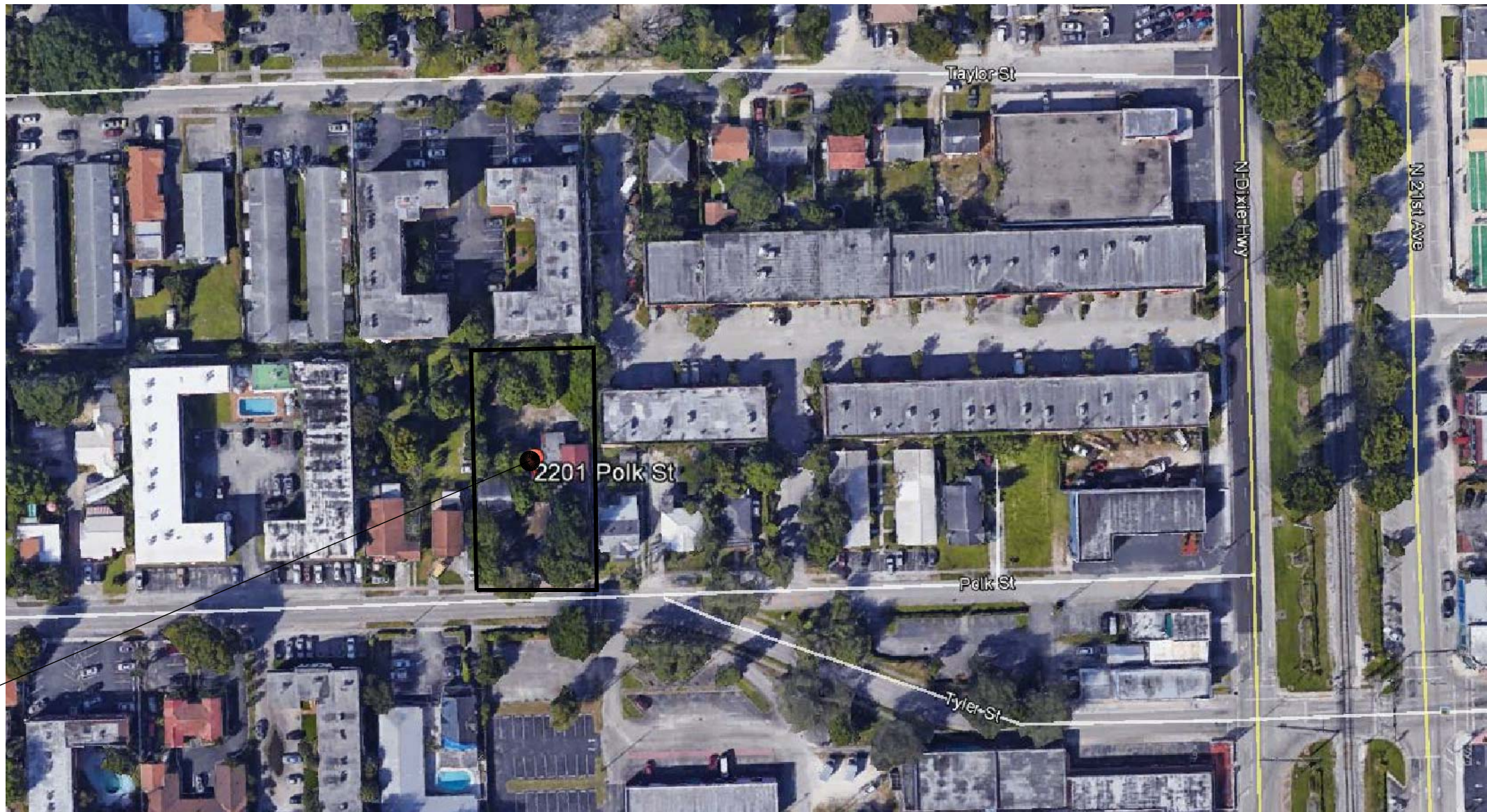
CIELO AZUL AT HOLLYWOOD

CITY OF HOLLYWOOD, FLORIDA

INDEX OF DRAWINGS	
<u>GENERAL NOTES</u>	
GI-1	COVER SHEET.
<u>ARCHITECTURE</u>	
SP-1	SITE PLAN.
A-1	GROUND FLOOR PLAN
A-2	SECOND FLOOR PLAN
A-3	THIRD FLOOR PLAN
A-4	FOURTH FLOOR PLAN
A-5	ELEVATIONS

BELLON ARCHITECTURE
13131 SW 132 STREET SUITE 104
MIAMI, FL 33186

PROJECT SITE
2201 POLK Street
HOLLYWOOD, FL.



LOCATION MAP
N.T.S.

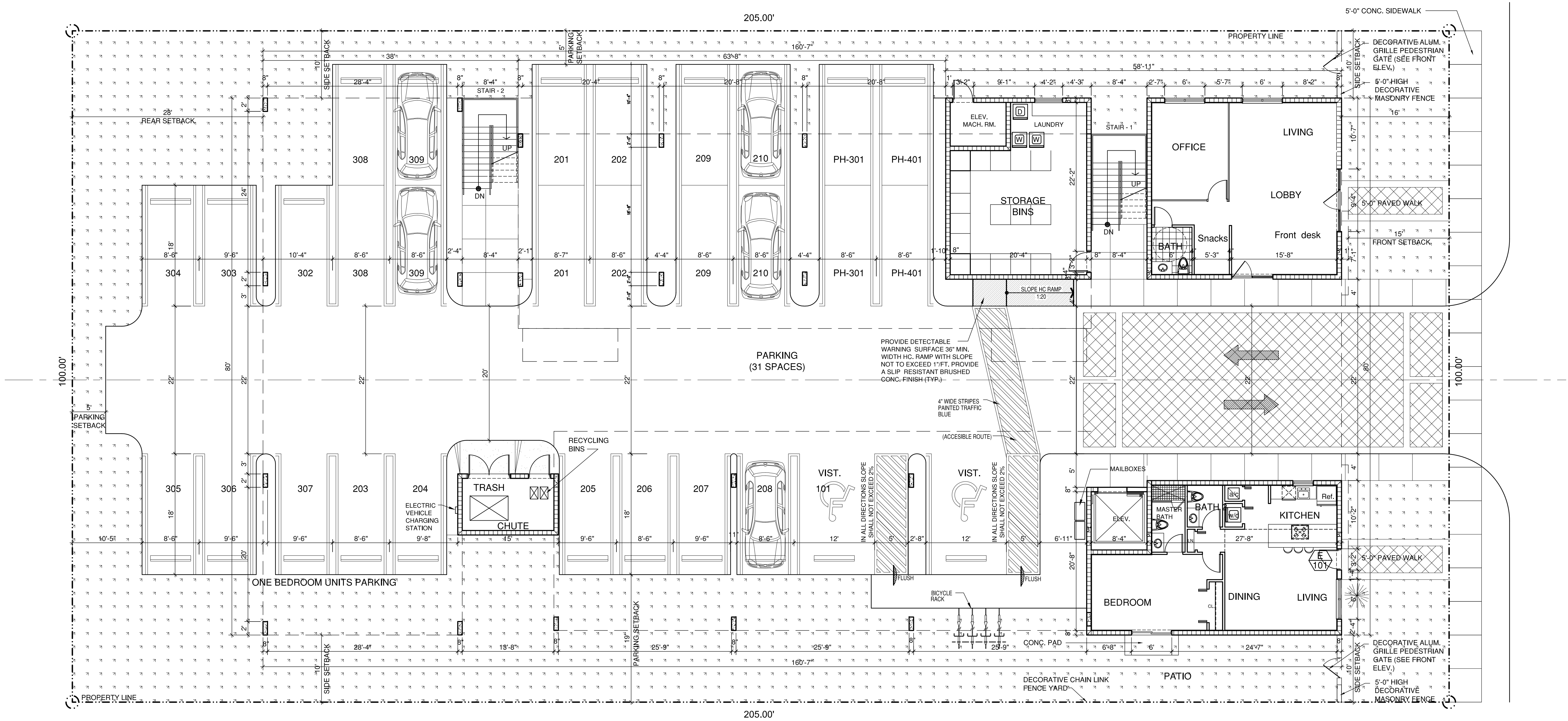
PROJECT AND CODE INFORMATION		
LEGAL JURISDICTION: (MIAMI DADE COUNTY, FLORIDA)	2014 ED.	FLORIDA BUILDING CODE
	1992	ZONING ORDINANCES (MIAMI DADE COUNTY)
	2014 ED.	MECHANICAL CODE (FBC)
	2014 ED.	ELECTRICAL CODE (FBC)
	2014 ED.	FLORIDA ACCESSABILITY CODE CHAPTER II (FBC)
ADOPTED ENFORCED CODES:	2014	NFPA 101 LIFE SAFETY CODE
	2013	FLORIDA FIRE PREVENTION CODE 5 TH EDITION

GROUND FLOOR BREAKDOWN	
UNIT "E" (1 bed / 1 b.):	780 S.F.
FRONT OFFICE:	785 S.F.
STORAGE / LAUNDRY:	585 S.F.
GROUND FLOOR CONST. AREA:	2,376 S. F. (11.5 %)
PARKING AREA & WALKS:	9,305 S. F.

UNITS BREAKDOWN	
UNIT "A" (1 bed / 1 b.):	795 S.F.
UNIT "B" (3 bed / 2 b.):	1,240 S.F.
UNIT "C" (2 bed / 2 b. + Den):	1,240 S.F.
UNIT "D" (2 bed / 2 b.):	1,100 S.F.
UNIT "E" (1 bed / 1 b.):	780 S.F.
UNIT "PH" (3 bed / 2 b.):	2,100 S.F.
FRONT OFFICE:	785 S.F.
STORAGE / LAUNDRY:	585 S.F.

SPRINKLER SYSTEM NOTE:
APARTMENT BUILDING SHALL BE PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM.

NOTE:
DOORS AND WINDOWS, MUST BE PROTECTED WITH A FIRE RATING OF 30 MINUTES, AS PER FBC TABLE 1018.1



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

CIELO AZUL AT HOLLYWOOD
2201 POLK STREET
CITY OF HOLLYWOOD, FLORIDA

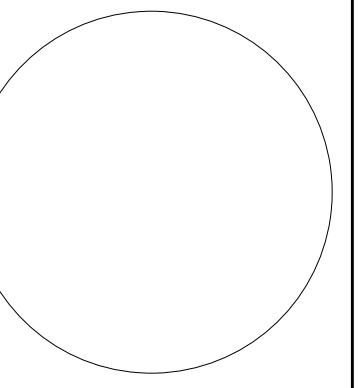
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PROJECT No. LB344

RAWN BY: JP

CHECKED BY: LB

DATE: 11-08-16



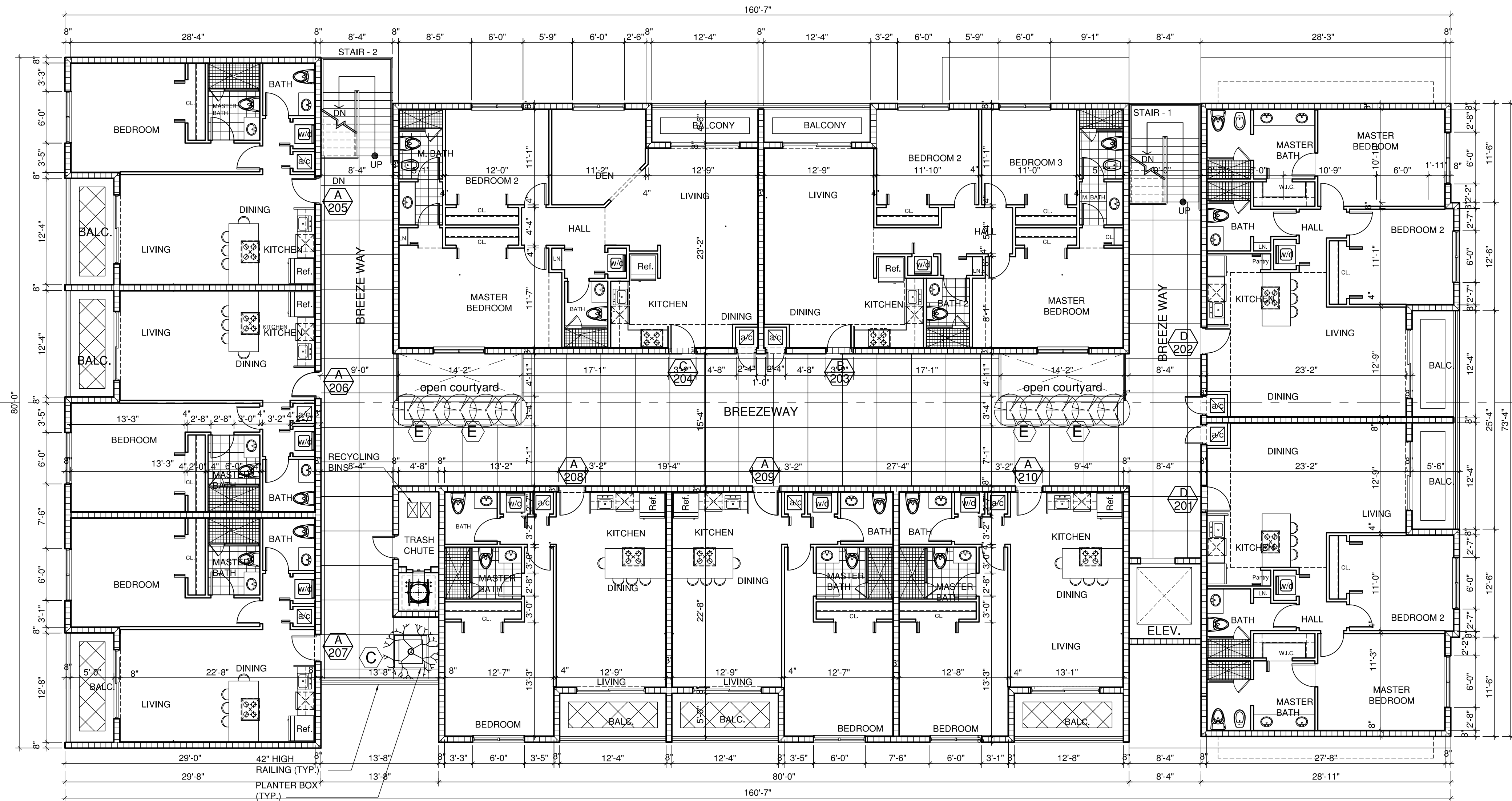
POLODO BELLON, AIA (AR-8737)

SHEET TITLE

SECOND FLOOR PLAN

A-2

SHEET OF



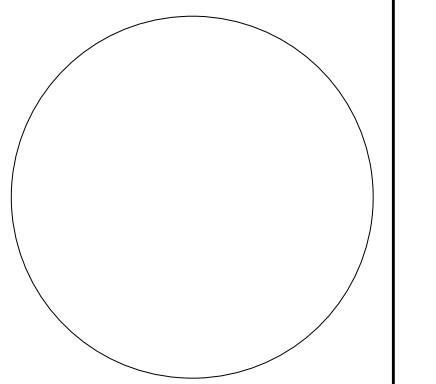
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

CIELO AZUL AT HOLLYWOOD
2201 POLK STREET
CITY OF HOLLYWOOD, FLORIDA

[illegible]

PROJECT No. LB344
DRAWN BY: JP
CHECKED BY: LB
DATE: 11-08-16



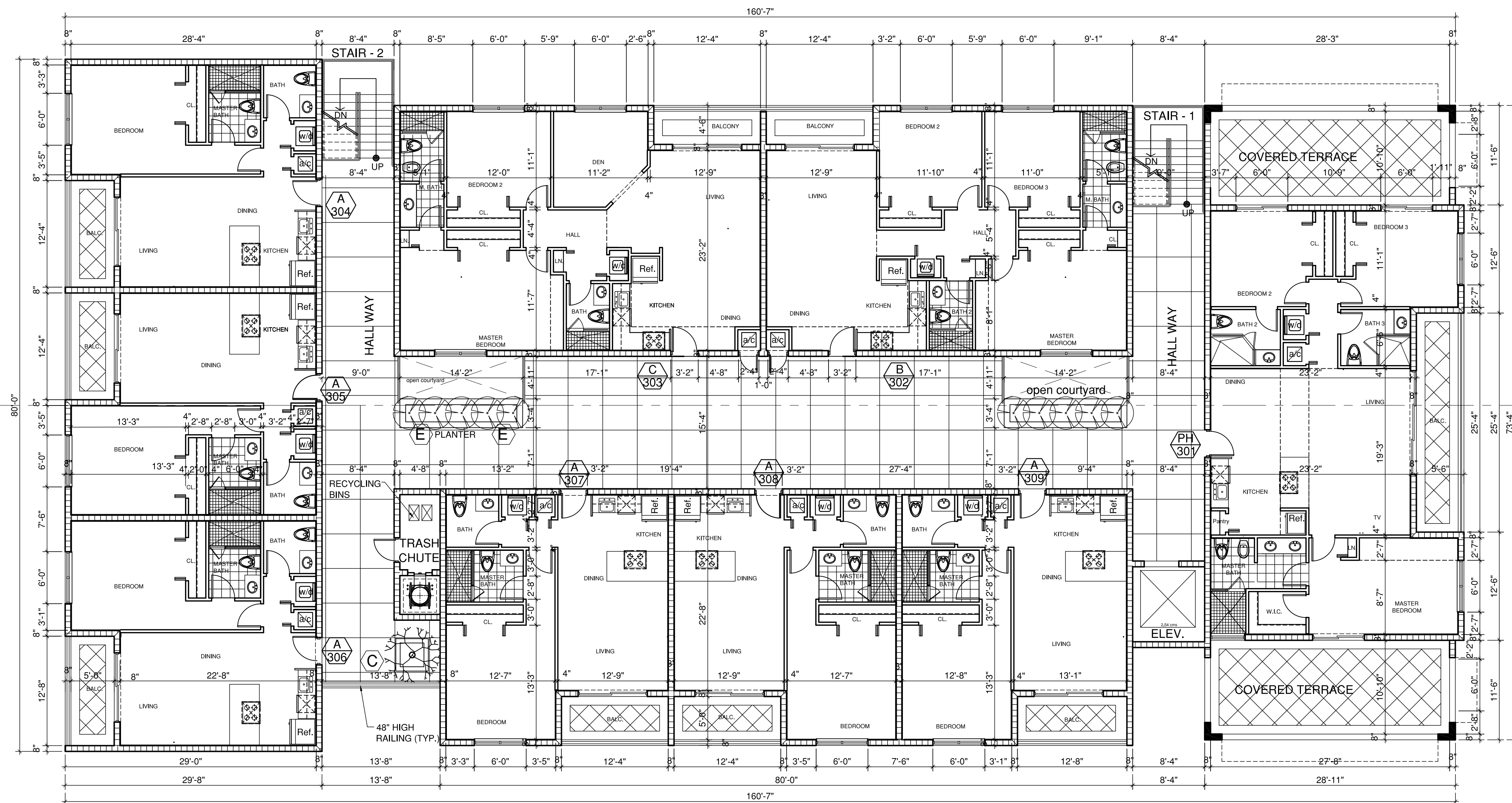
LEOPOLDO BELLON, AIA (AR-8737)

SHEET TITLE

THIRD FLOOR PLAN

A-3

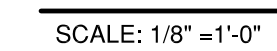
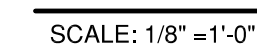
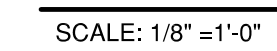
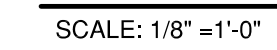
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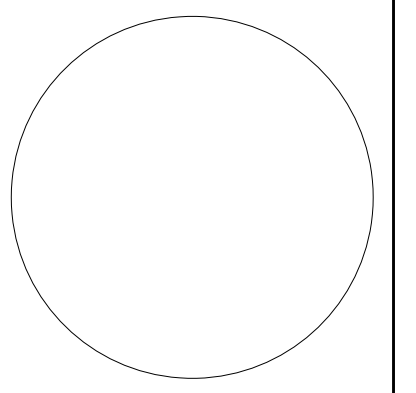
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



[illegible]

PROJECT No. LB344	
DRAWN BY: JP	
CHECKED BY: LB	
DATE:	11-08-16



LEOPOLDO BELLON, AIA (AR-8737)

SHEET TITLE

ELEVATIONS

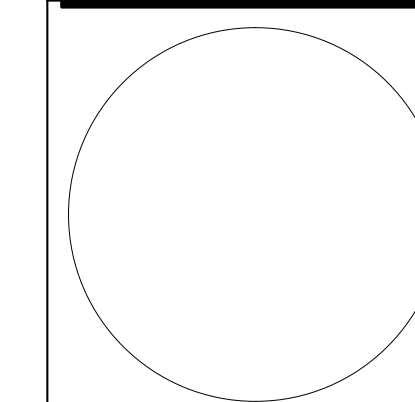
A-5

SHEET OF

CIELO AZUL AT HOLLYWOOD
2201 POLK STREET
CITY OF HOLLYWOOD, FLORIDA

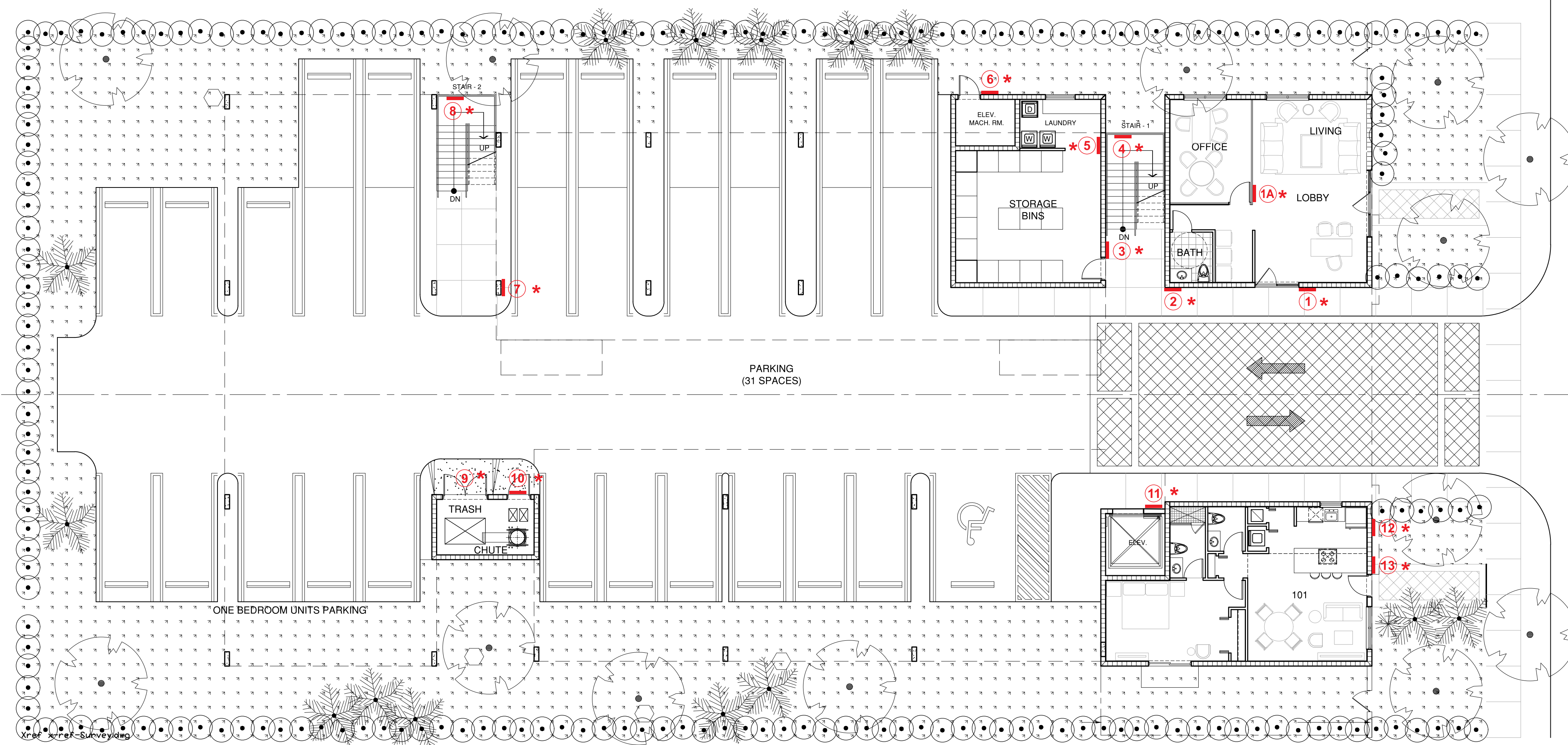
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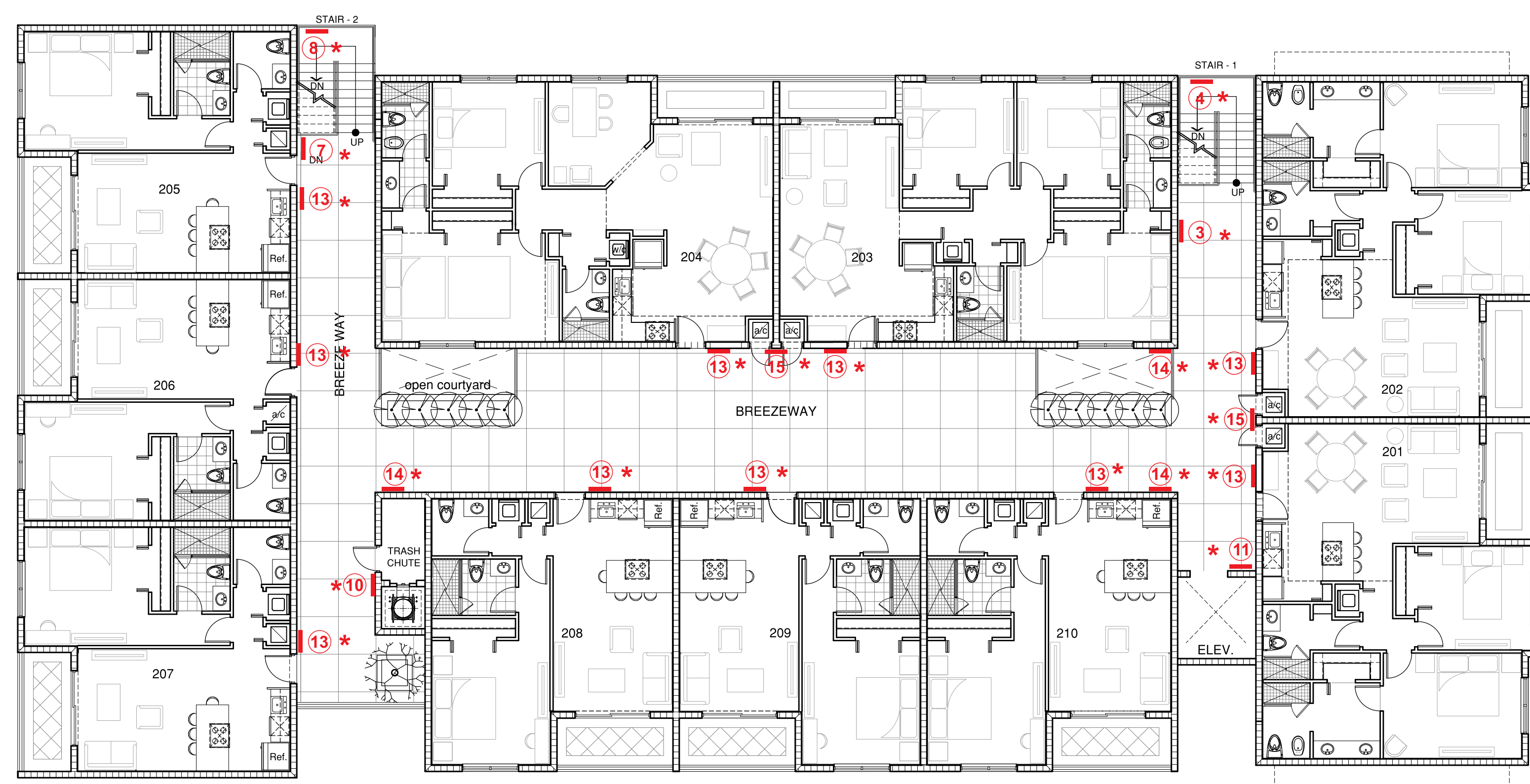


AS-1

SHEET 1 OF 5



SITE PLAN
N.T.S.



See sheet AS-3 thru AS-5 signs details

SECOND FLOOR PLAN
N.T.S.

MARK	DATE	DESCRIPTION
------	------	-------------

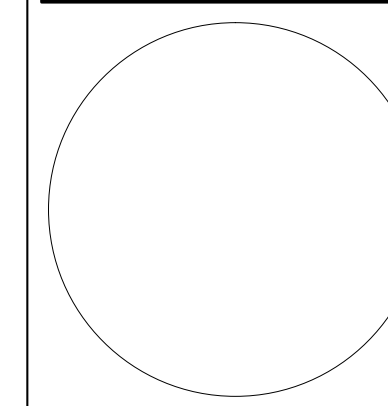
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PROJECT No. _____

DRAWN BY: A.V.

CHECKED BY: L.B.

DATE: 2-03-2017



LEOPOLDO BELLON, AIA (AR-8737)

SHEET TITLE

THIRD AND FOURTH
FLOOR PLANS SIGNS

AS-2

SHEET 2 OF 5



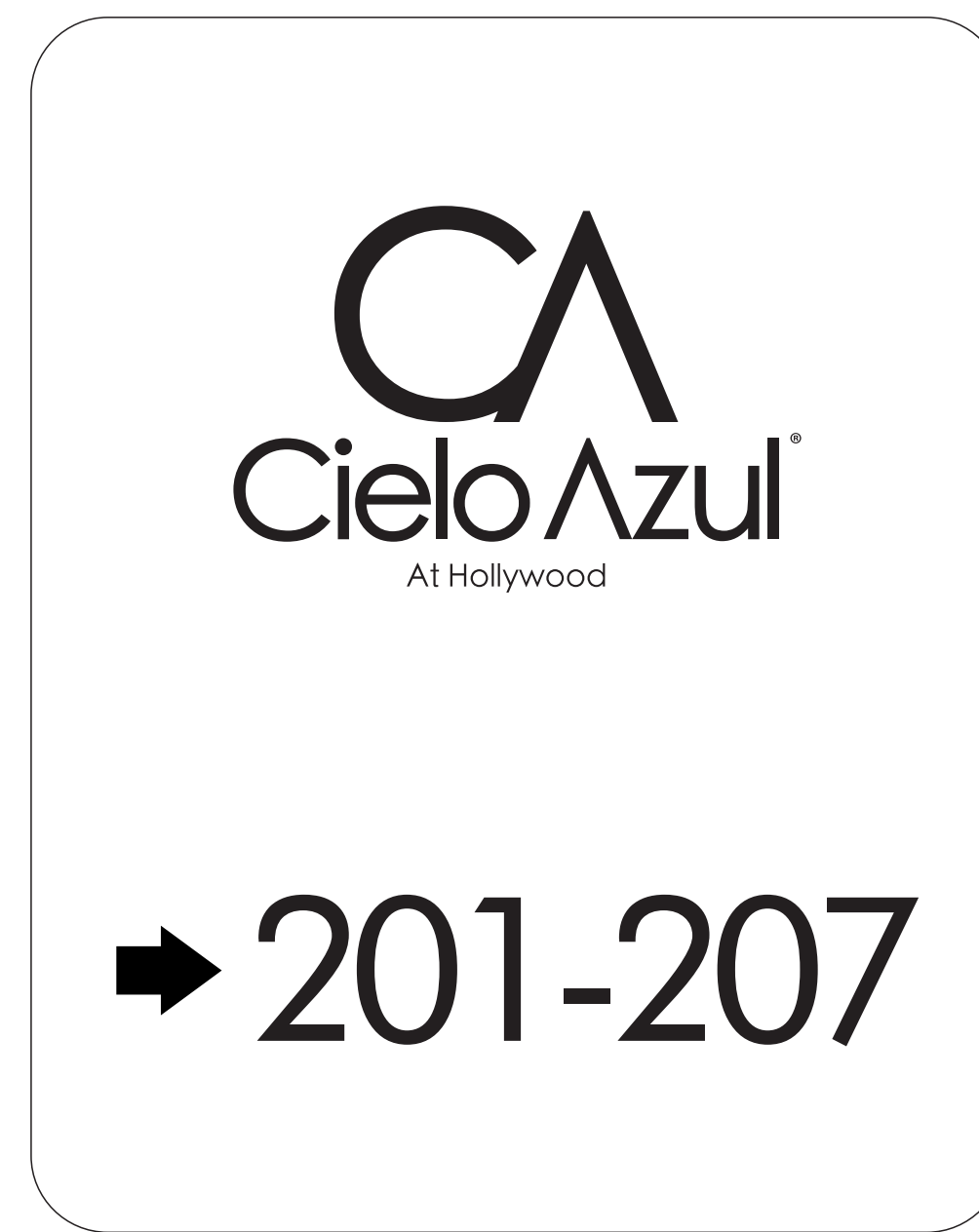
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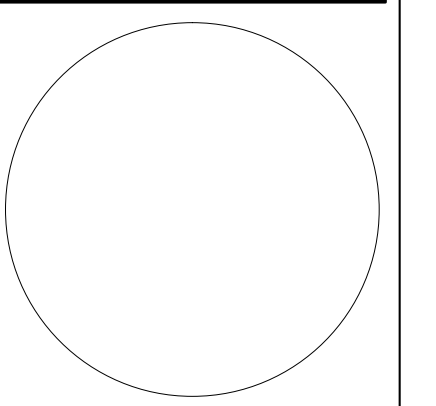
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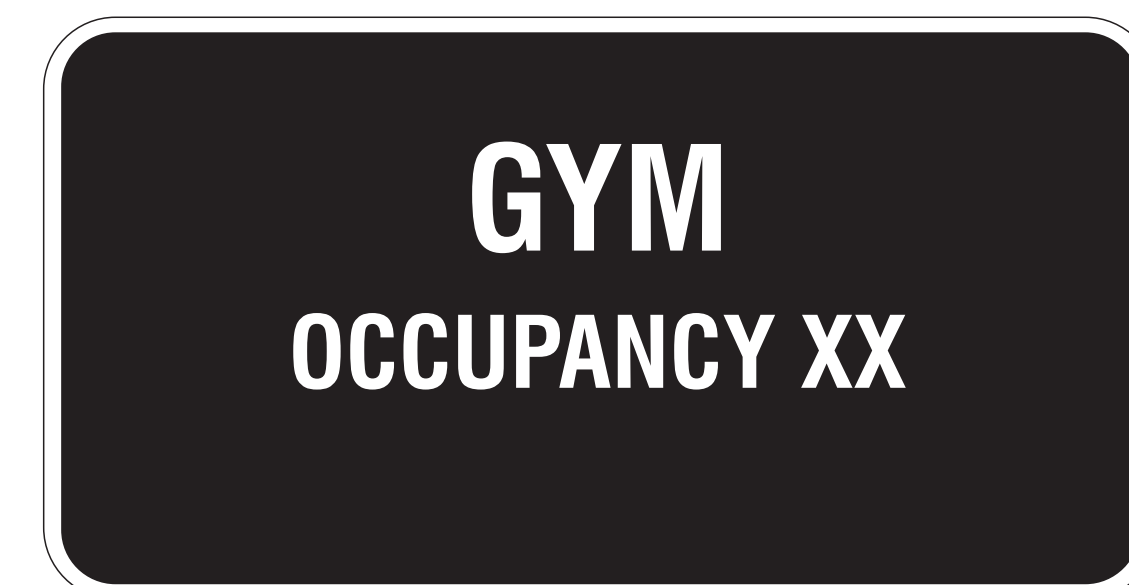
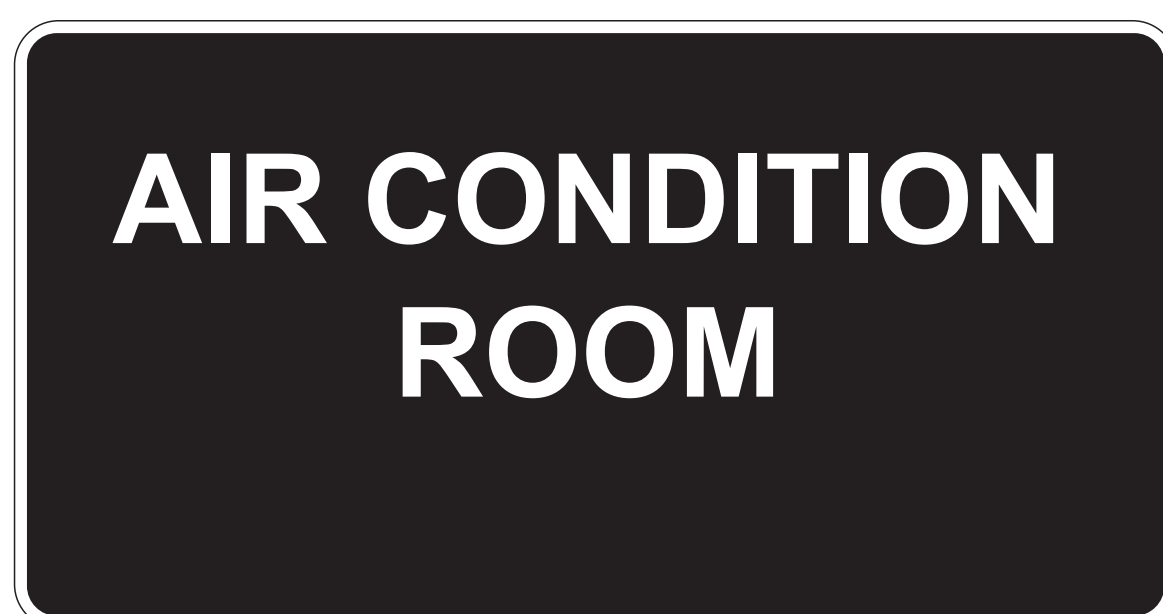
* NOTE

See sheet AS-3 thru AS-5 signs details

[illegible]

PROJECT No.	
DRAWN BY:	A.V.
CHECKED BY:	L.B.
DATE:	2-03-2017







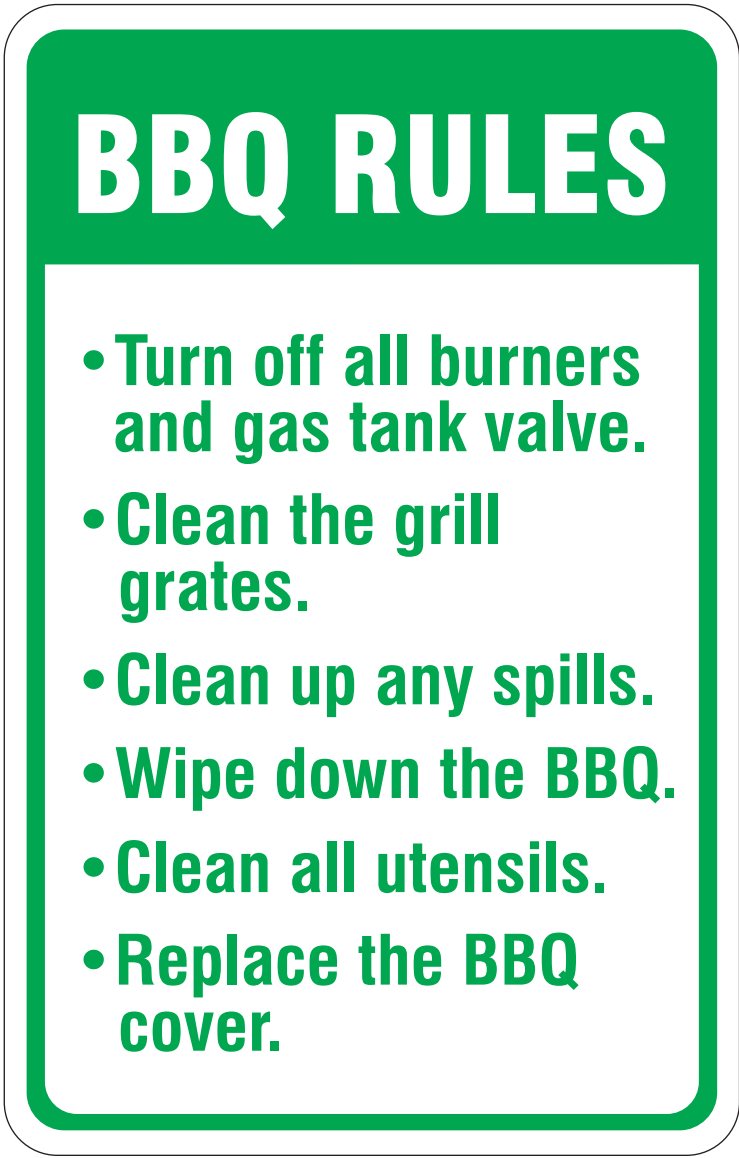
19 Pool Rules Sign 24" x 18" QTY = 1
Material: Dibond Alluminum



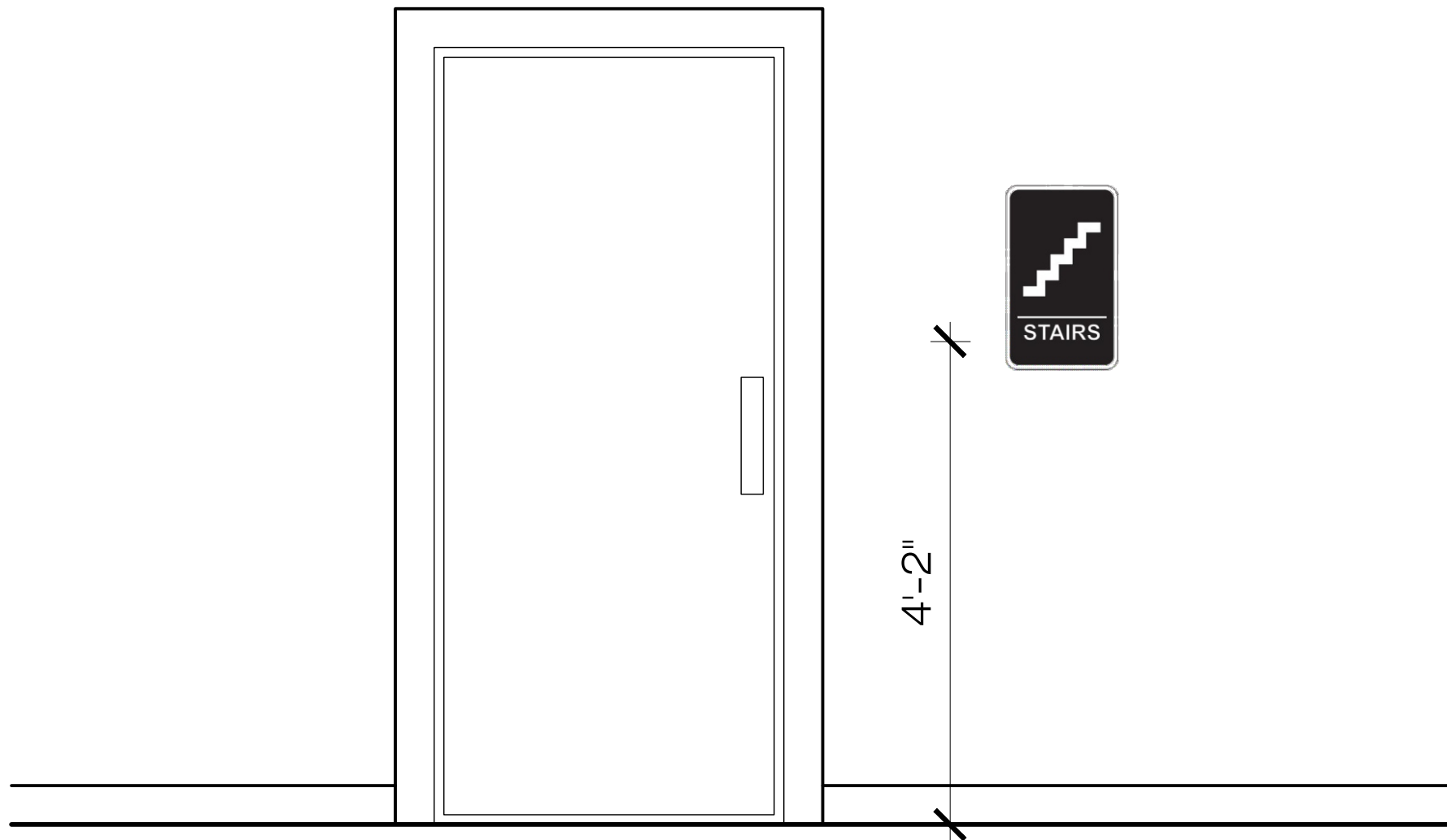
19 Pool Hours Sign 18" x 16" QTY = 1
Material: Dibond Alluminum



19 Pool Hours Sign 18" x 16" QTY = 1
Material: Dibond Alluminum



18 Grill Instructions Sign 18" x 11.5" QTY = 1
Material: Dibond Alluminum

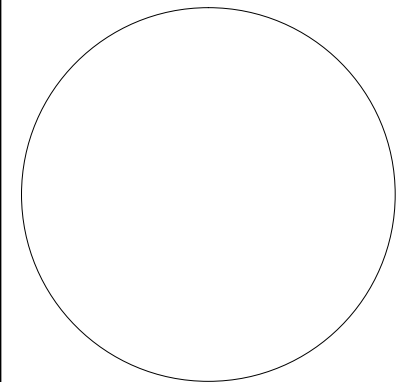


A TYPICAL SIGN LOCATION
N.T.S.

*** NOTE**
RAISED TEXT AND TACTILE BRAILLE AS PER F.B.C. CHAPTER 703 SIGNS .

MARK	DATE	DESCRIPTION

PROJECT No.
DRAWN BY: A.V.
CHECKED BY: L.B.
DATE: 2-03-2017



LEOPOLDO BELLON, AIA (AR-8737)

SHEET TITLE

SIGNS DETAILS

[illegible]

PROJECT No.	
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CHECKED BY:	LMLH
DATE:	02-03-17

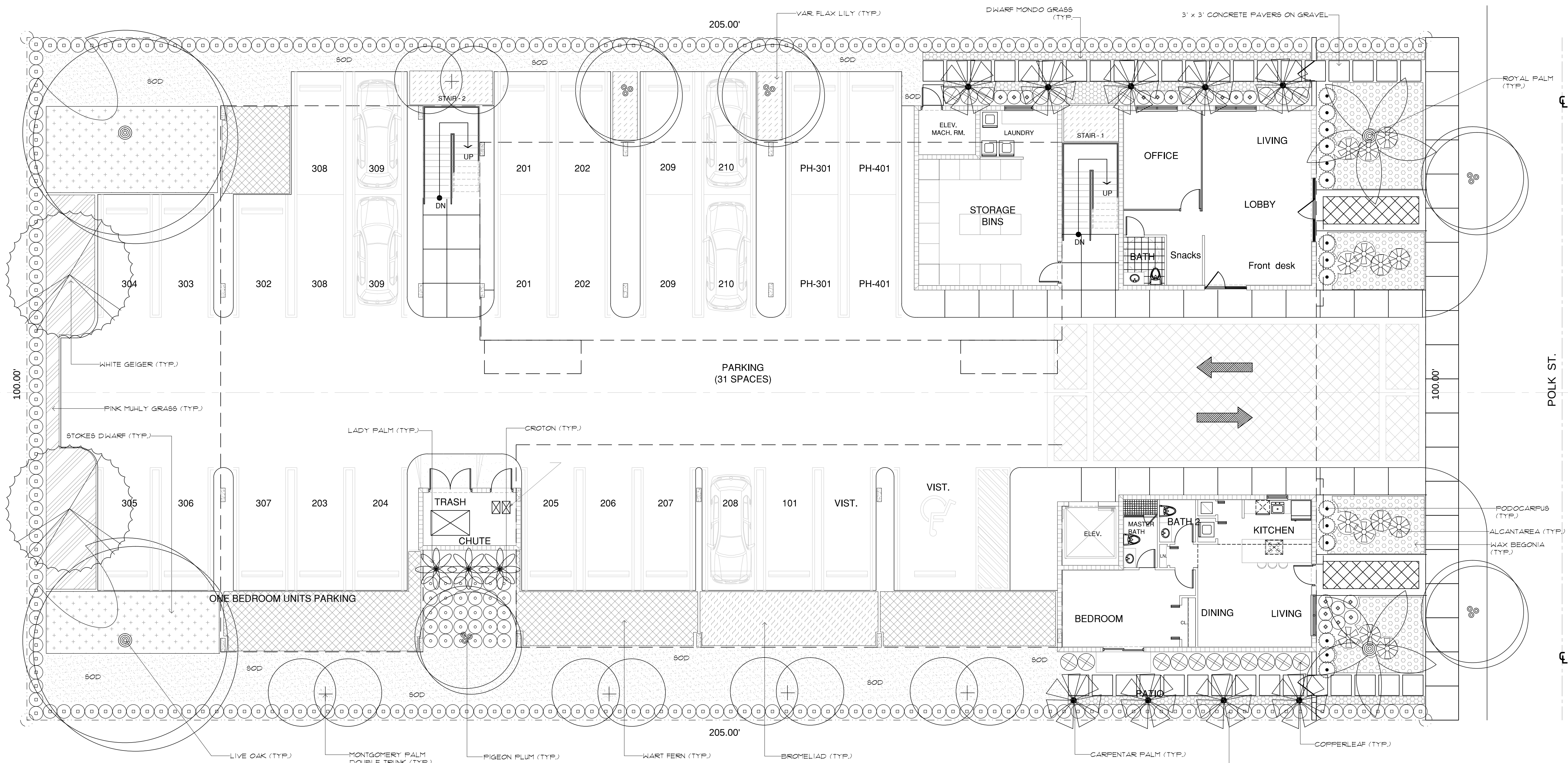
LAURA M. LLERENA-HERNANDEZ

SHEET TITLE

PRELIMINARY
LANDSCAPE PLAN

L-1

SHEET 1 OF 2



CITY OF HOLLYWOOD CODE

PROPERTY ZONING:	RM-1B
PROPERTY SIZE:	20500 SF. / 0.48 ACRES
PERIMETER LANDSCAPE/STREET TREES:	1 STREET TREE PER EVERY 50' OF STREET FRONTAGE 2 REQUIRED / 2 PROVIDED
OPEN SPACE:	MIN. OF 40% OF TOTAL SITE AREA MUST BE LANDSCAPED OPEN SPACE 8200 SF. REQUIRED / 8819 SF. PROVIDED
LOT TREES:	1 PER EVERY 1000 SF. OF PERVIOUS AREA 9 REQUIRED / 7 TREES PROVIDED 4 5 PALM TREES @ 3:1
NATIVE TREES:	MIN. OF 50% OF ALL REQUIRED TREES SHALL BE NATIVE 5 REQUIRED / 5 TREES PROVIDED
NATIVE SHRUBS:	50% TOTAL SHRUBS PROVIDED OF WHICH 40% ARE NATIVE

PLANT LIST

QTY.	KEY BOTANICAL NAME	COMMON NAME	D.T. SIZE & REMARKS
TREES:			
5	CD COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	Δ** MIN. 12' HT. x 2" GAL. MALE SPECIES, FG
2	CB CORDIA BOISSIERI	SENNA SURATTENSIS	** MIN. 12' HT. x 2" GAL. F.G.
2	QV QUERCUS VIRGINIANA	LIVE OAK	Δ** MIN. 16' HT. x 3" GAL. F.G.
PALMS:			
9	CA CARPENTARIA ACUMINATA	CARPENTER PALM	** MIN. 25' O.A.H. S.T. F.G.
3	REI RAPHS EXCELSA	LADY PALM	** 25 GALLON, MIN. 8' HT. FULL
2	RE2 ROYSTONIA ELATA	ROYAL PALM	Δ ** MIN. 25' C.T. MATCHED, F.G.
5	VM2 VEITCHIA MONTGOMERIANA	MONTGOMERY PALM	** MIN. 20' HT. D.T. F.G.
SHRUBS:			
14	AC ALCANTAREA IMPERIALIS	ALCANTAREA	** 15 GALLON, FULL
22	AW COFFERLEAF 'INFERNO'	ALCATHYA WILKESIANA	** 7 GALL. 30" OC. FULL, SR
248	CI CRYPTSABALANUS 'CAGO	RED TIP COCOPLUM	Δ** 3 GALL., 24" OC. SR
30	CV CROCADIUM VARIEGATUM	CROTON 'GOLD DUST'	** 3 GALL., 24" OC. SR
16	FM FICUS MICROCARPA	GREEN ISLAND FICUS	** 3 GALL., 24" OC. T.S. & SR
151	IV ILEX VOMITORIA	STOKES DWARF	Δ** 3 GALL., 24" OC. T.S.
15	FM FODOCARPUS MACROPHYLLUS	FODOCARPUS	** 1 GAL., 30" OC. FULL, SR
GROUND COVERS:			
TBD	BS BEGONIA SEMPERFLORENS	WAX BEGONIA	** 1 GAL., 12" OC., RED FLOWER, T.S.
TBD	BR BROMELIAD. SPP.	BROMELIAD	** 1 GAL., 12" OC. T.S.
TBD	MC MUEHLENBERGIA CAPILLARIS	PINK MILLY GRASS	Δ** 1 GAL., 18" OC. FULL, T.S.
TBD	MS MICROSORUM SCOLOFENDRIA	WART FERN	** 1 GAL., 18" OC. FULL, T.S.
TBD	TV TASHMANIA VARIEGATA	VARE FLAX LILY	** 1 GAL., 18" OC. FULL, T.S.
TBD	OJ OPHIOGON JAPONICUS 'NANA'	DWARF MONDO GRASS	** 1 GAL., 12" OC. T.S.

SOD:

1660* SOD STENOTAPHRUM SECUNDATUM ST. AUGUSTINE FLORATAM Δ * SOLID SOD

ABBREVIATIONS:

O.A.H.	OVERALL HEIGHT	MIN.	MINIMUM	* MODERATE DROUGHT TOLERANCE
STG.	STAGGERED	STD.	STANDARD	** VERY DROUGHT TOLERANT
S.R.	SINGLE ROW	O.C.	ON CENTER	△ NATIVE
T.S.	TRIANGULAR SPACING	GAL.	GALLON	
S.T.	SINGLE TRUNK	G.W.	GREY WOOD	
D.T.	DOUBLE TRUNK			

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE GRADED FLORIDA * OR BETTER AS DEFINED IN THE GRADES AND STANDARDS FOR NURSERY PLANTS PART I AND II BY THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
2. ALL LANDSCAPE MATERIAL SHALL COMPLY WITH COUNTY, CITY OR LOCAL ORDINANCES.
3. SYMBOLS REPRESENT PLANTS AT MATURE SIZE, NEVER AT TIME OF INSTALLATION.
4. VERIFY WITH OWNER'S REPRESENTATIVE OR SITE SUPERVISOR OF ANY EXISTING UNDERGROUND UTILITIES AND/OR EASEMENTS PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL RECEIVE 3" DEPTH OF FLORIMULCH.
6. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN QUANTITY TAKE OFF, IN CASE OF ANY DISCREPANCIES, PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
7. SOLID SOD SHALL BE ST. AUGUSTINE FLORATAM.
8. THERE SHALL BE A 24" WIDE STRIP OF FLORIMULCH BETWEEN SOD AND SHRUBS/GROUNDCOVERS.
9. TERRA-SORB MOISTURE RETENTION GRANULES SHALL BE ADDED TO ALL TREE/PLANT PITS AT THE RATE RECOMMENDED BY MANUFACTURER.
10. PLANTING SOIL SHALL CONSIST OF AN EVENLY BLENDED MIX OF 50% MUCK, 25% SAND, 15% SPAGNUM PEAT MOSS & 10% SHEEP MANURE. TWO POUNDS OF FERTILIZER SHALL BE ADDED FOR EACH CUBIC YARD OF SOIL & THOROUGHLY MIXED. PLANTING SOIL SHALL HAVE A PH OF BETWEEN 6.0 & 7.0 AFTER MIXING & ADDITION OF FERTILIZER.
11. TOPSOIL MIX SHALL CONSIST OF 80% SAND & 20% MUCK THOROUGHLY MIXED WITH A COMMERCIAL SHREDDER. MIX SHALL BE FREE OF ROCKS, LIMBS, ROOTS & OTHER MATTER.
12. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS. THIS IS DESIGNED FOR "HEAD TO HEAD" COVERAGE.
13. ALL EXISTING SOD OUTSIDE THE PROPERTY LINE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH SAME SPECIES AT NO COST TO OWNER.
14. TREES SHALL NOT BE PLANTED ON TOP OF IRRIGATION LINES.
15. ALL AREAS NOT COVERED BY SHRUBS, GROUNDCOVER BEDS, BUILDINGS OR PAVING ARE TO BE SODED.
16. PUBLIC RIGHT OF WAY PROPOSED TREE REMOVED SHALL COMPLY WITH MDCFW FOR APPROVALS, PERMITS & OTHER SPECIFIC REQUIREMENTS

DESIGNING BEAUTIFUL SPACES

LLA
LAURA
LLERENA &
ASSOCIATES

LANDSCAPE ARCHITECTURE
13170 S.W. 128th Street, Suite 207, Miami, FL 33186
Tel: 305-256-1199 / Fax: 305-256-1155
www.llderena-associates.com

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE LANDSCAPE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY OWNER ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE LANDSCAPE ARCHITECT.



GROUND FLOOR PRELIMINARY LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

CIELO AZUL AT HOLLYWOOD

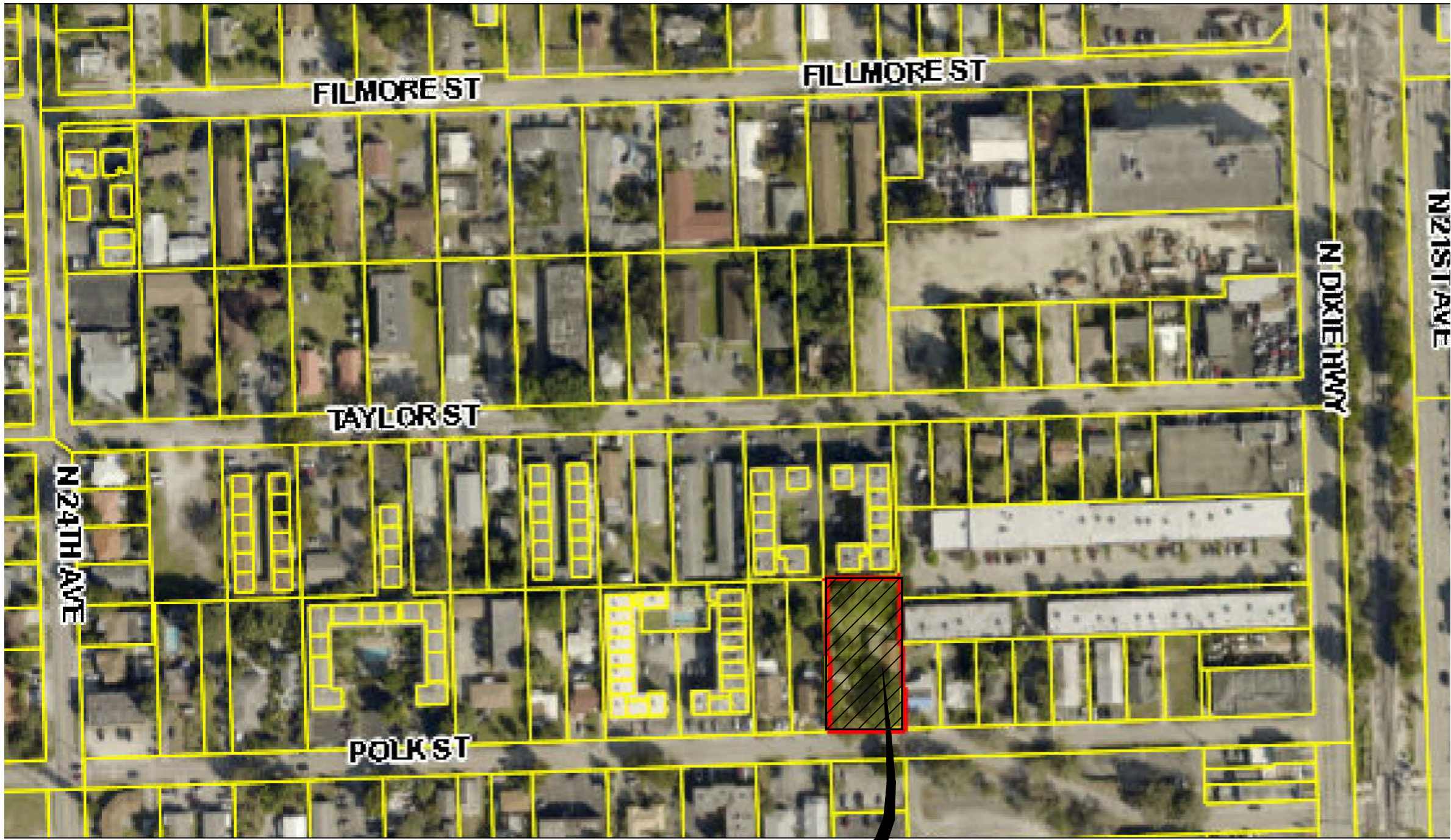
WATER, SEWER & DRAINAGE

2201 POLK STREET
HOLLYWOOD, FLORIDA

INDEX TO DRAWINGS	
DESCRIPTION	SHEET No.
COVER SHEET	1 OF 11
EXISTING SITE CONDITIONS (EX-1)	2 OF 11
WATER PLAN (WS-1)	3 OF 11
WATER DETAILS (WS-2)	4 OF 11
SEWER PLAN (WS-3)	5 OF 11
SEWER DETAILS (WS-4)	6 OF 11
DRAINAGE PLAN (PD-1)	7 OF 11
DRAINAGE DETAILS (PD-2 & PD-3)	8 & 9 OF 11
PAVEMENT MARKING PLAN (PD-4)	10 OF 11
EROSION PLAN (ER-1)	11 OF 11

LEGAL DESCRIPTION:

LOT 1 BLOCK 8
"HOLLYWOOD LITTLE RANCHES"
PLAT BOOK 1 PAGE 26
AS RECORDED IN THE PUBLIC
RECORDS OF BROWARD COUNTY



PROJECT
LOCATION

LEED CERTIFICATION CRITERIA:

LEED BD +C BASIC 40 CREDIT
BUILDING CERTIFICATION

1. INTERACTIVE PROCESS
2. LEED FOR NEIGHBORHOOD DEVELOPMENT LOCATION
3. SENSITIVE LAND PROTECTION
4. HIGH PRIORITY SITE
5. SURROUNDING DENSITY AND DIVERSE USES
6. ACCESS TO QUALITY TRANSIT
7. BICYCLE FACILITIES
8. REDUCED PARKING FOOT PRINT
9. GREEN VEHICLES
10. OPTIMIZE ENERGY PERFORMANCE
11. INTERIOR LIGHTING

LOCATION MAP

SEC. 16 TWP. 51S RGE. 42E
SCALE: N.T.S.

prepared by
CHEROKEE CONSULTING, INC.
CIVIL ENGINEERS

5821 SW 51 TERRACE, MIAMI, FLORIDA 33155
Phone: 305.205.2361; E-Mail: kwgroce@att.net

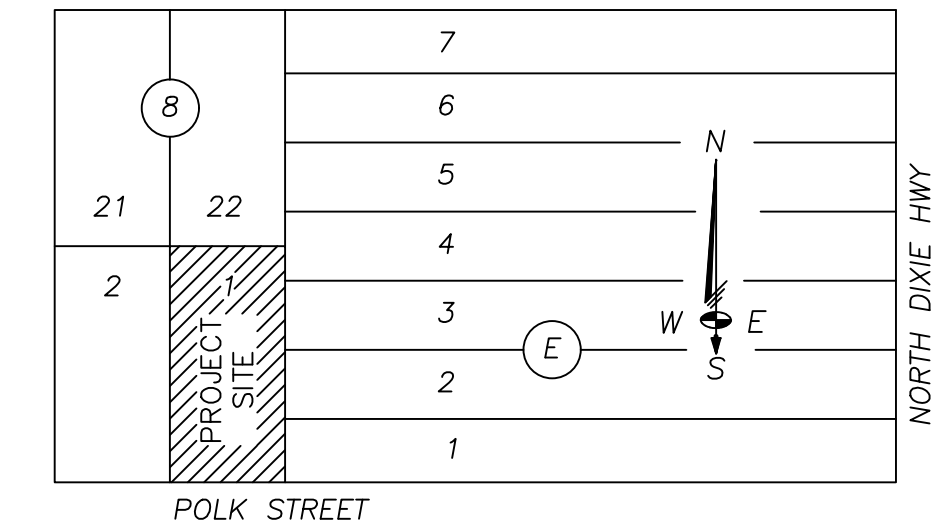
Certificate of Authorization 27419

REVISIONS		
Date	Remarks	By



Scale: As Shown In Views	THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 2.3.17 BY KEN W. GROCE P.E. USING A DIGITAL SIGNATURE.	
Designed By: KGW	PRINTED COPIES OF THIS SHEET ARE NOT CONSIDERED AS SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES	
Drawn By: CDS	PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE	
Checked By: KGW	For The Firm By: KEN W. GROCE, P.E. FL. Reg. No. 35944 Civil Engineer	
Date: 2.3.17		
Project No: 17-05		
Sheet:		
COVER	1 OF 11	

EX 1 OF 11



LOCATION MAP
SCALE: N.T.S.
Section 16 Township 51S Range 42E

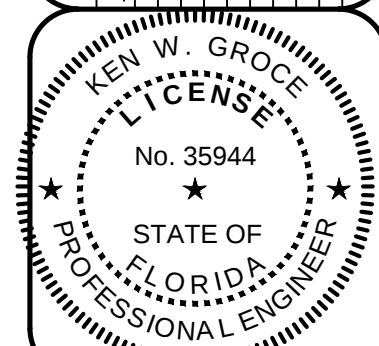
LEGAL DESCRIPTION:

LOT 1 BLOCK 8
"HOLLYWOOD LITTLE RANCHES"
PLAT BOOK 1 PAGE 26
AS RECORDED IN THE PUBLIC
RECORDS OF BROWARD COUNTY

- LEGEND:**
-  = EXISTING GRADE
 -  = PROPOSED GRADE
 -  = CURB & GUTTER
 -  = EDGE OF PAVEMENT
 -  = PROPERTY LINE
 -  = CENTER LINE
 -  = RIGHT OF WAY
 -  = EXISTING
 -  = AS-BUILT ELEVATION
 -  = DUCTILE IRON PIPE
 -  = WATER MAIN
 -  = ELEVATION
 -  = FIRE OUTFLOW
 -  = BUILDING
 -  = UNKNOWN
 -  = WATER VALVE
 -  = CAST IRON
 -  = BELL SOUTH TELEPHONE
 -  = SANITARY
 -  = ELECTRIC
 -  = SEWER VALVE
 -  = STORM SEWER
 -  = SANITARY SEWER
 -  = MANHOLE
 -  = POWER POLE
 -  = LIGHT POLE
 -  = FRENCH DRAIN
 -  = EXIST/NEW SEWER LATERAL
 -  = EXIST. GATE/BUTTERFLY VALVE
 -  = NEW GATE/BUTTERFLY VALVE
 -  = EXIST/NEW FIRE HYDRANT/ASSEMBLY
 -  = SINGLE/DUAL WATER SERVICE
 -  = EXIST/NEW MANHOLE
 -  = EXIST/NEW REDUCER
 -  = TEES & BENDS
 -  = PROP. DRAINAGE
 -  = EXIST. DRAINAGE

**CIELO AZUL AT HOLLYWOOD
PROPOSED WATER FACILITIES
2201 POLK STREET
HOLLYWOOD, FLORIDA**

CHEROKEE CONSULTING, INC
CIVIL ENGINEERS
5821 SW 51 TERRACE, MIAMI, FLORIDA 33155
Phone: 305.205.2361; E-Mail: kugroce@att.net
Certificate of Authorization 27419

[illegible]

THIS SHEET HAS BEEN
ELECTRONICALLY SIGNED & SEALED
ON 2.3.17 BY KEN W. GROCE P.E.
USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS SHEET ARE
NOT CONSIDERED AS SIGNED &
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES

PRINTED COPIES SHALL HAVE AN
ORIGINAL SIGNATURE AND DATE

For The Firm By:
KEN W. GROCE, P.E.
FL. Reg. No. 35944
Civil Engineer

Scale: As Shown In Views

Designed By:	KWG
Drawn By:	GDS

Checked By:	KWG
-------------	-----

Date:	2.3.17
Page:	12 of 25

Project No: 17-05

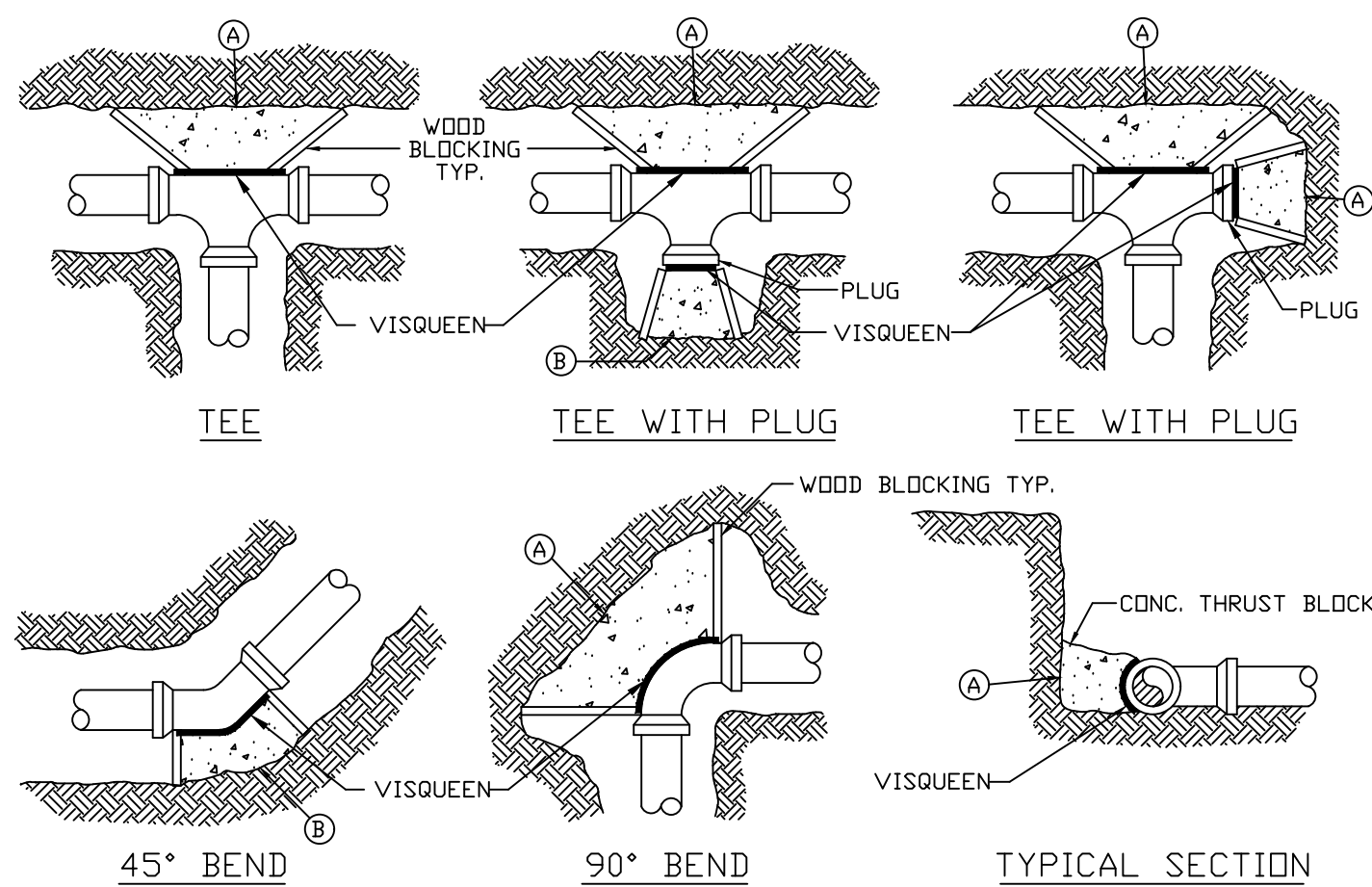
Sheet:

WS-1 3 OF 11

W D 1 3 OF 11

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DIG TO HAVE UNDERGROUND UTILITIES LOCATED AND MARKED.

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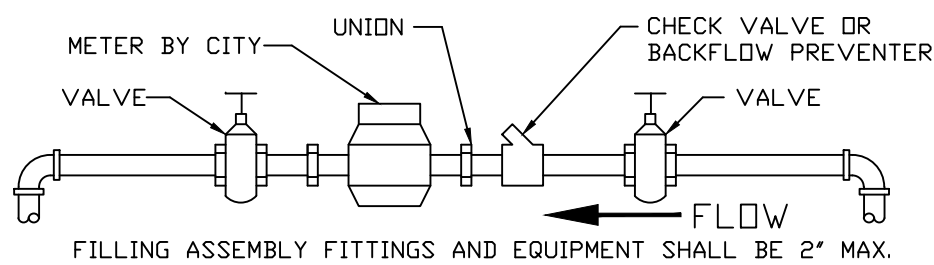


MARK	PIPE SIZE				
	4" OR 6"	8"	10"	12"	
A					
B					

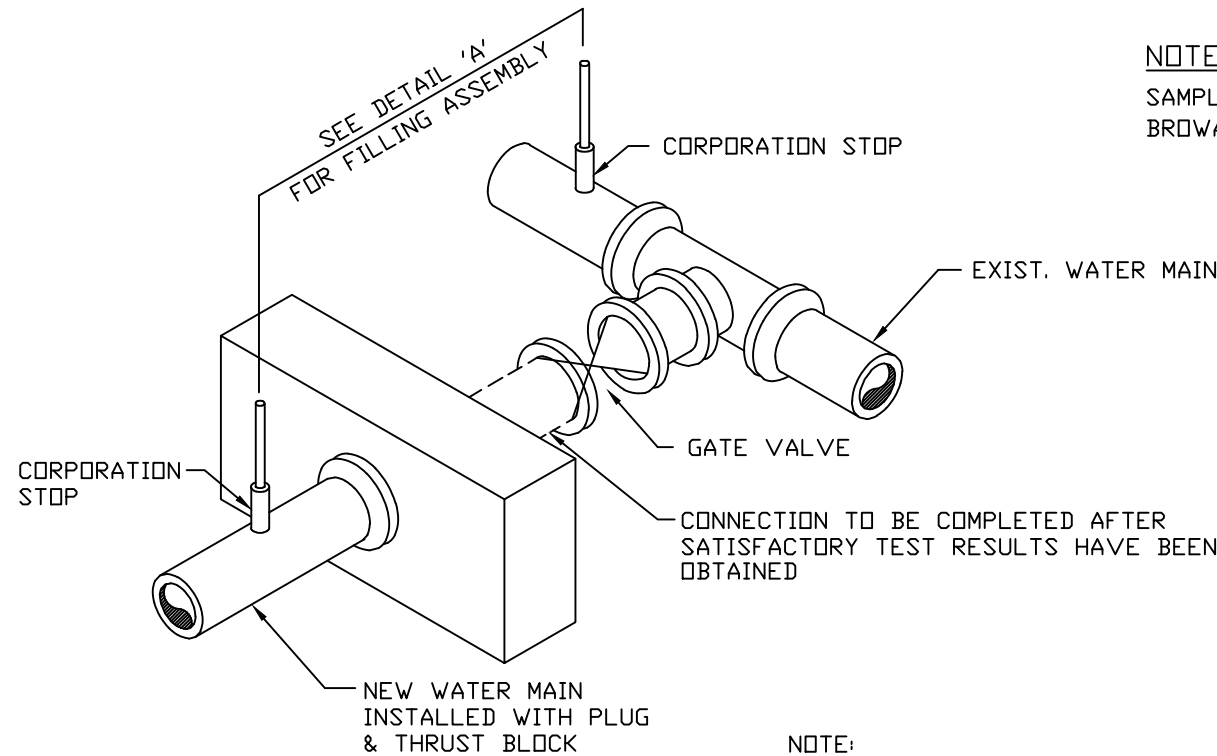
NOTES:

1. THE AREAS IN THE TABLE ARE BASED ON _____ POUNDS PER SQUARE FOOT SOIL BEARING AGAINST THE UNDISTURBED TRENCH WALL AND ARE TO REPRESENT THE MINIMUM VERTICAL PROJECTED AREA AT THE THRUST BLOCK IN A PLANE PERPENDICULAR TO THE LINE BISECTING THE INCLUDING ANGLE OF THE FITTING.
2. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EVACUATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
3. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
4. DO NOT COVER COUPLING OR JOINTS WITH CONCRETE.
5. CONCRETE TO BE 2500 P.S.I. MINIMUM 28 DAY STRENGTH.
6. TABLE TO BE COMPLETED BY DESIGNING ENGINEER.

THRUST BLOCK DETAIL



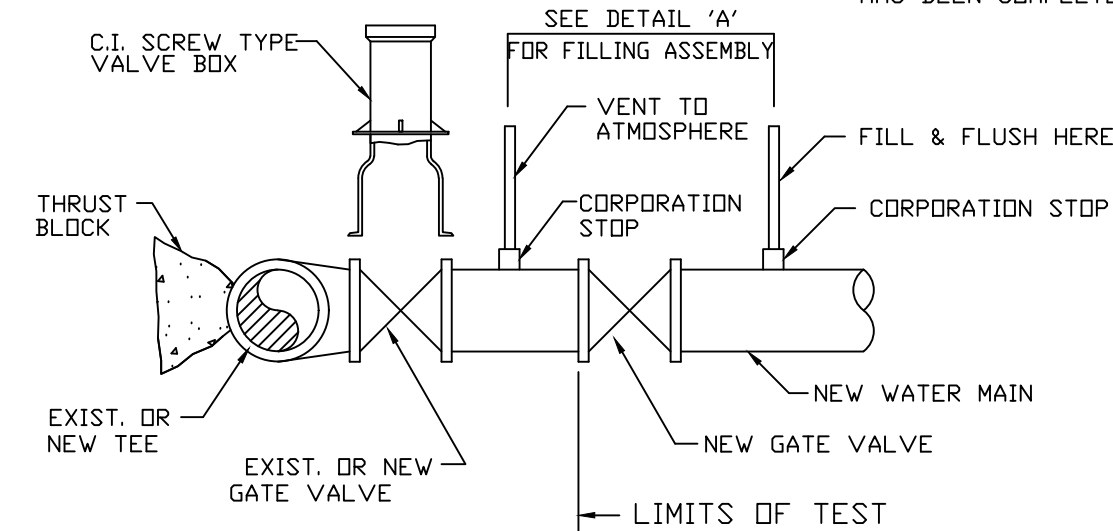
DETAIL 'A'



METHOD 'A'

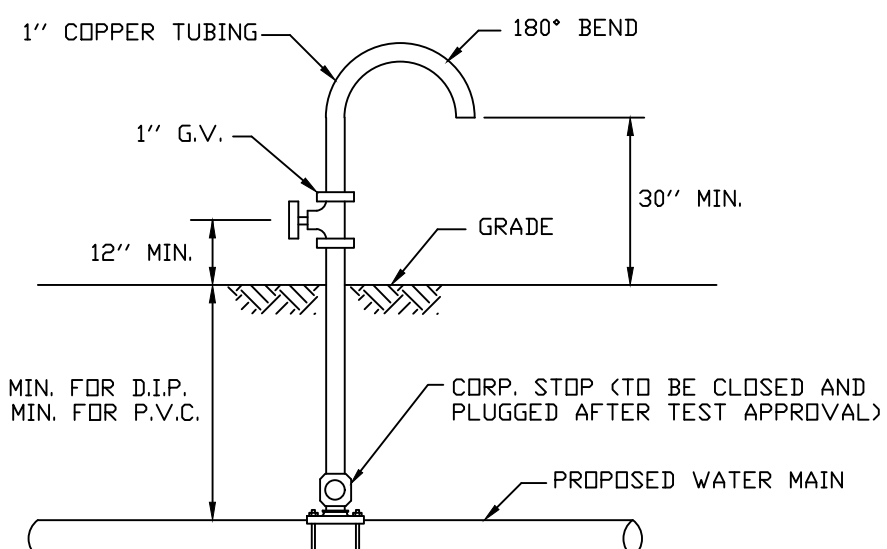
NOTE:

REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON NEW MAIN AFTER FILLING & FLUSHING HAS BEEN COMPLETED.



METHOD 'B'

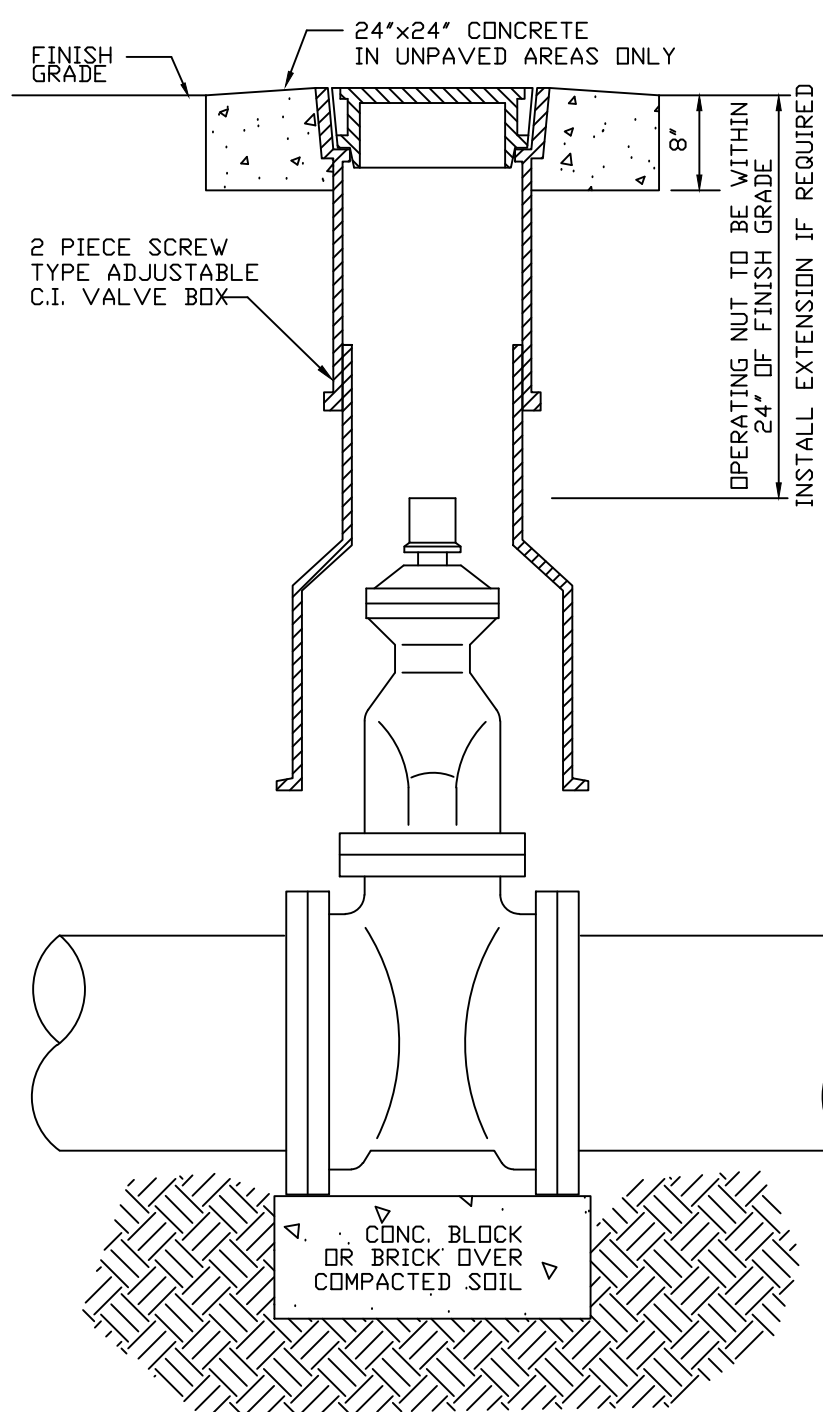
FILL & FLUSH DETAIL DETAIL



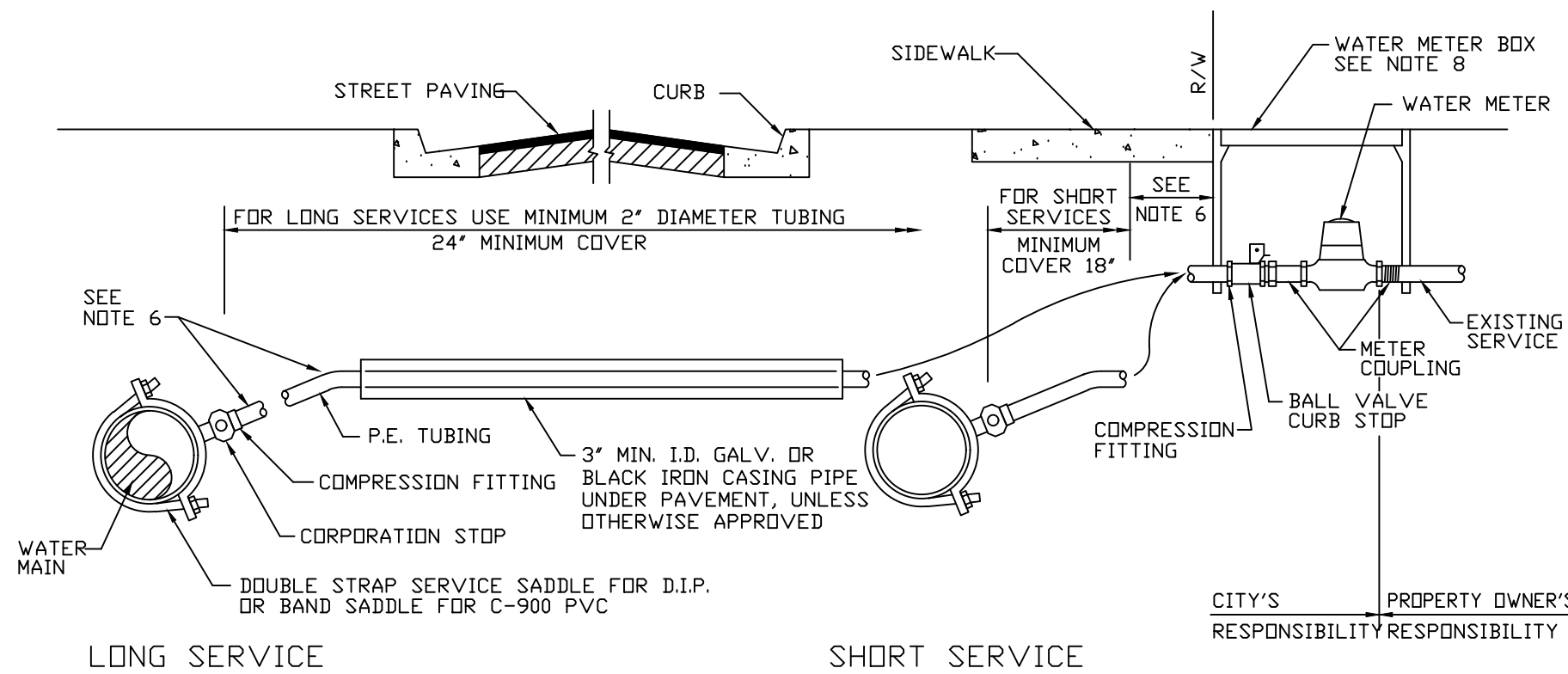
NOTE:

SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY PUBLIC HEALTH UNIT (B.C.P.H.U.)

SAMPLE POINT DETAIL



VALVE BOX DETAIL

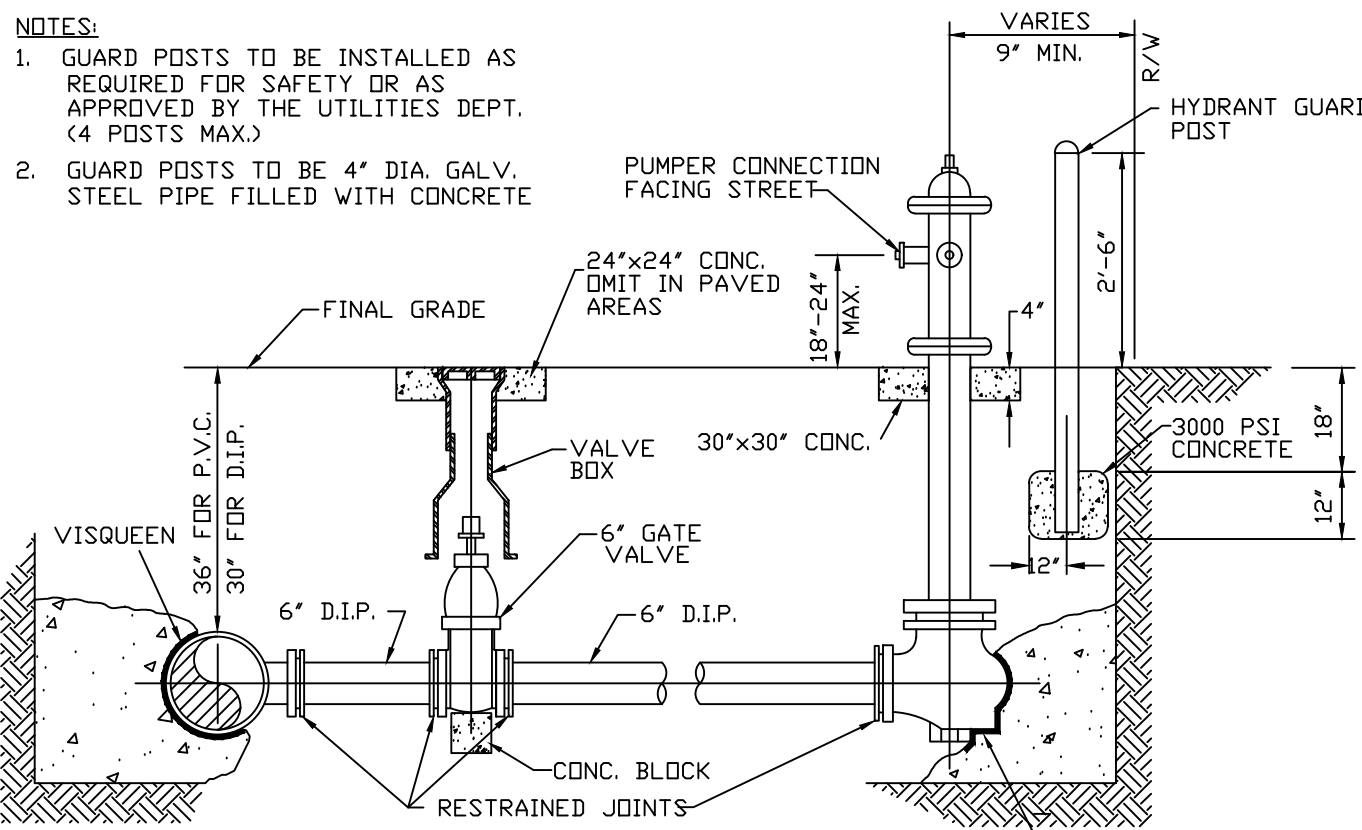


NOTES:

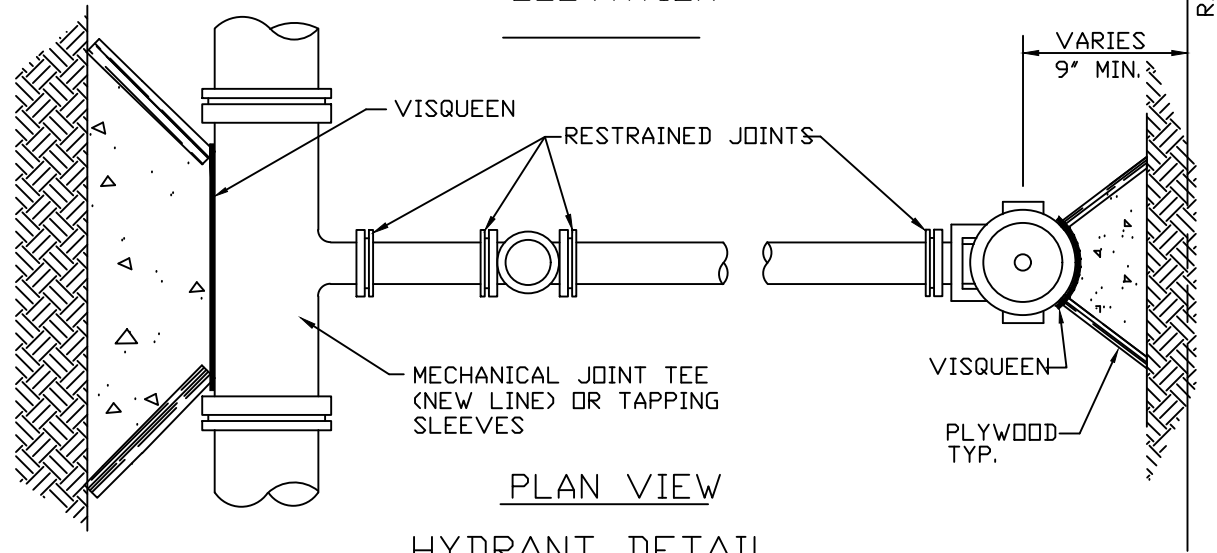
1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
2. P.E. TUBING SHALL BE IN ACCORDANCE WITH AWWA STANDARD C901, "POLYETHYLENE (P.E.) PRESSURE PIPE, TUBING, 1/2" THROUGH 3" FOR WATER"
3. SERVICE PIPE SHALL BE THE SAME SIZE AS THE WATER METER EXCEPT THAT NO SERVICE PIPE SHALL BE SMALLER THAN 1", AND PIPE CROSSING UNDER PAVEMENT MUST BE 2" MINIMUM.
4. ALL CASING PIPE SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF PAVED STREETS.
5. APPROVED TYPE COPPER TUBING MAY BE USED IN PLACE OF PLASTIC.
6. FOR 1" SERVICE LINES THE MINIMUM RADIUS SHALL BE 14'. FOR 2" SERVICE LINES THE MINIMUM RADIUS SHALL BE 21'.
7. THE WATER METER, METER BOX AND COVER BY THE CITY OF HOLLYWOOD.
8. ELEVATION OF TOP OF WATER METER BOX SHALL BE SET AT THE SAME ELEVATION AS PROPOSED GRADE AT BACK OF SIDEWALK AND THE METER DIAL SHALL BE MAX. 6" BELOW METER COVER.

NOTES:

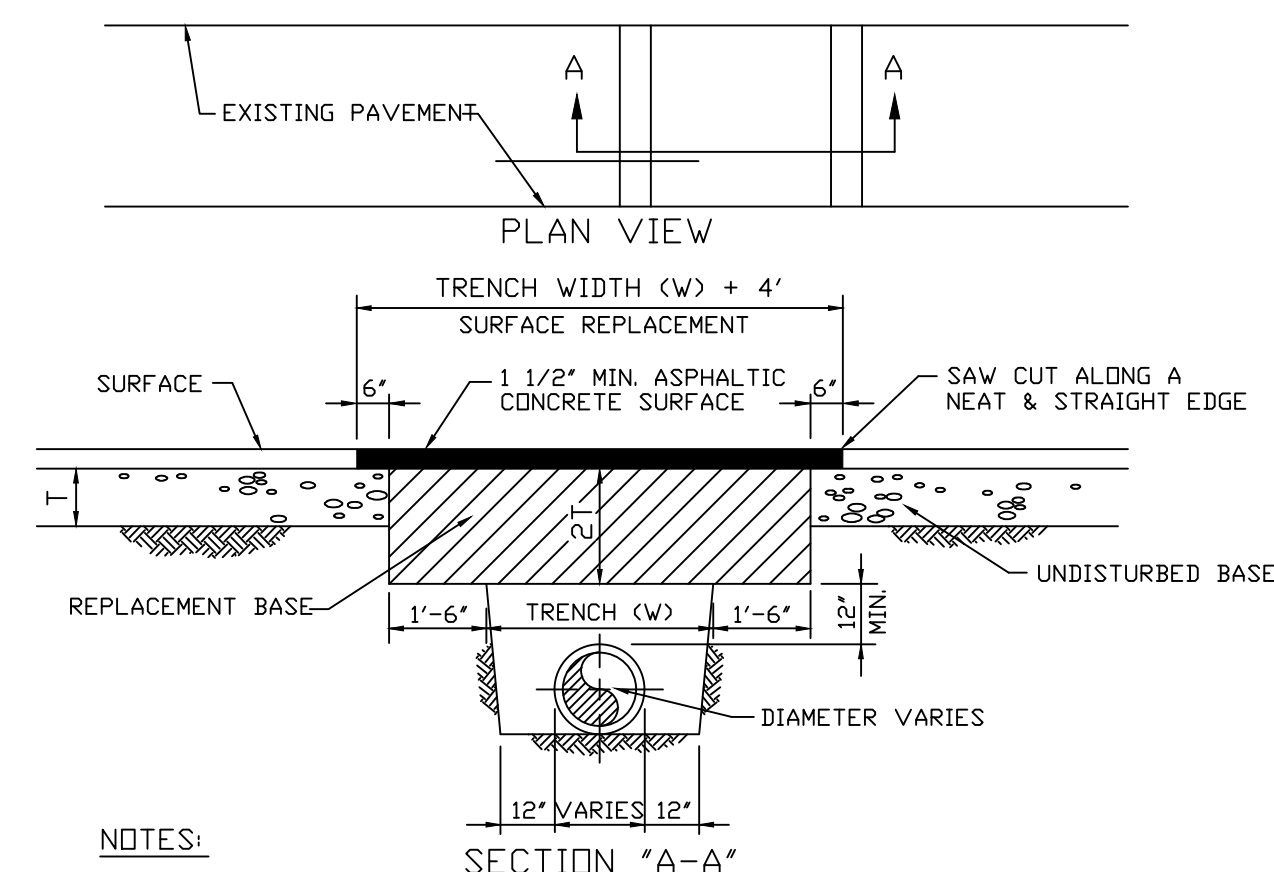
1. GUARD POSTS TO BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE UTILITIES DEPT. (4 POSTS MAX.)
2. GUARD POSTS TO BE 4" DIA. GALV. STEEL PIPE FILLED WITH CONCRETE



ELEVATION



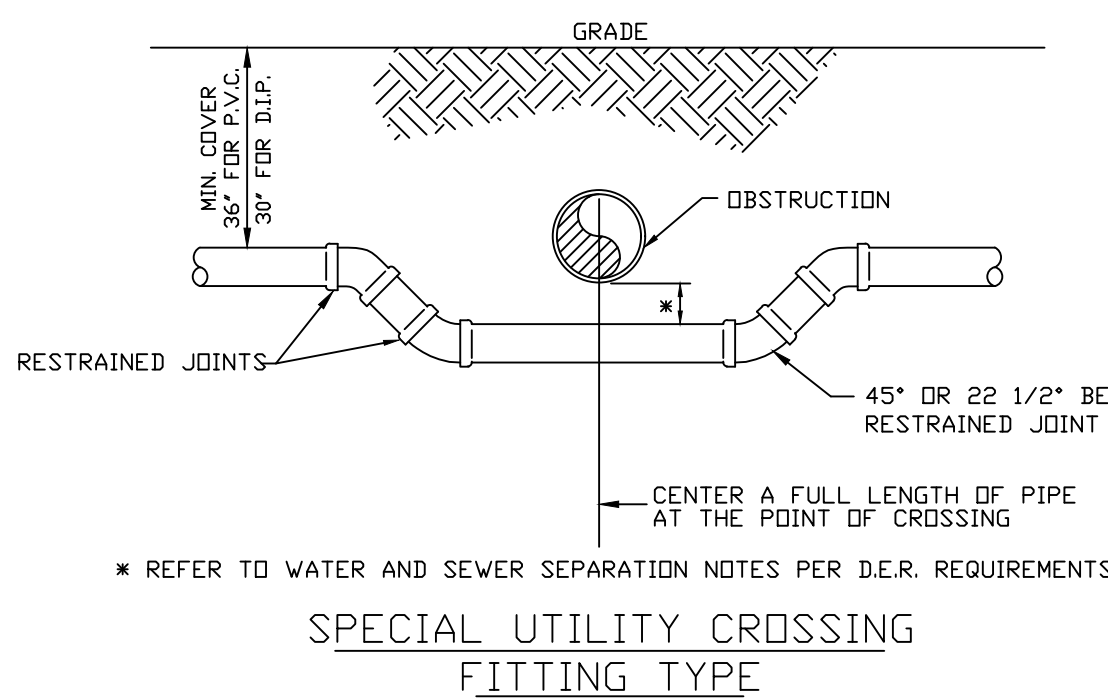
PLAN VIEW HYDRANT DETAIL



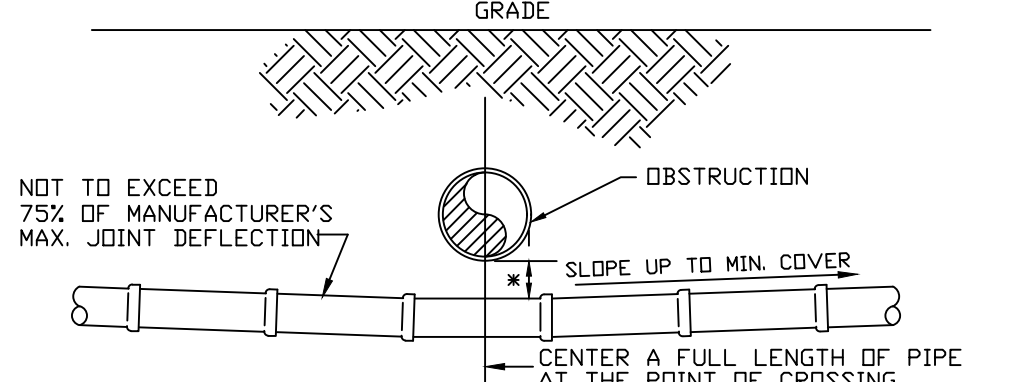
NOTES:

1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
6. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
7. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
8. BACKFILL SHALL BE IN ACCORDANCE WITH DETAIL OF PIPE LAYING CONDITION TYPICAL SECTION, EXCEPT AS SHOWN ABOVE.

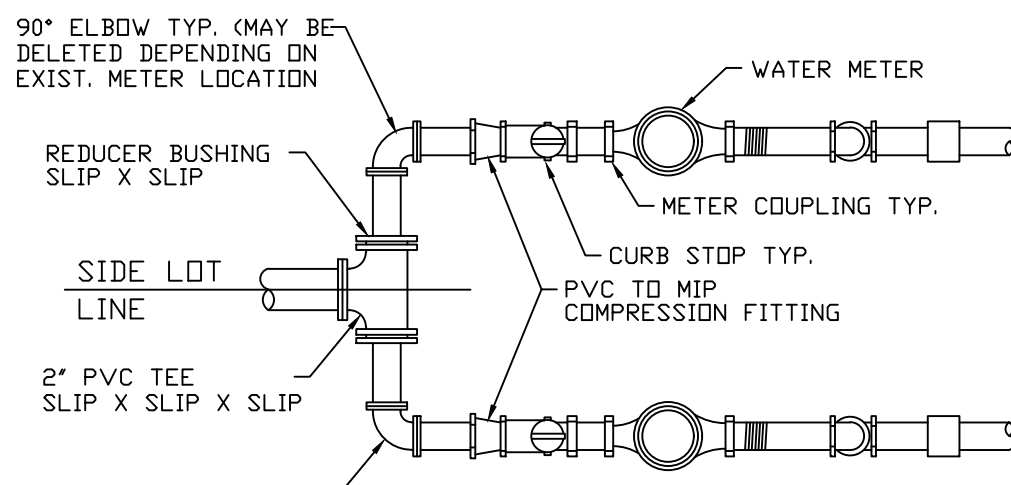
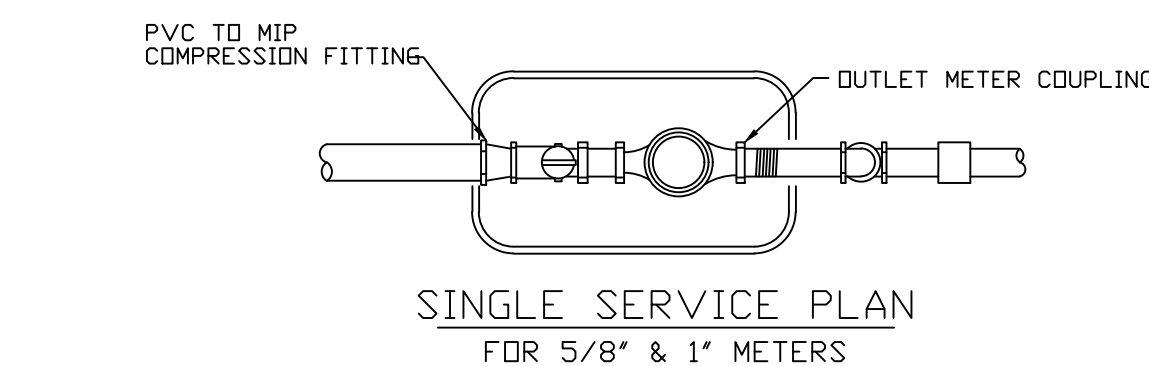
PAVEMENT RESTORATION DETAIL



SPECIAL UTILITY CROSSING FITTING TYPE



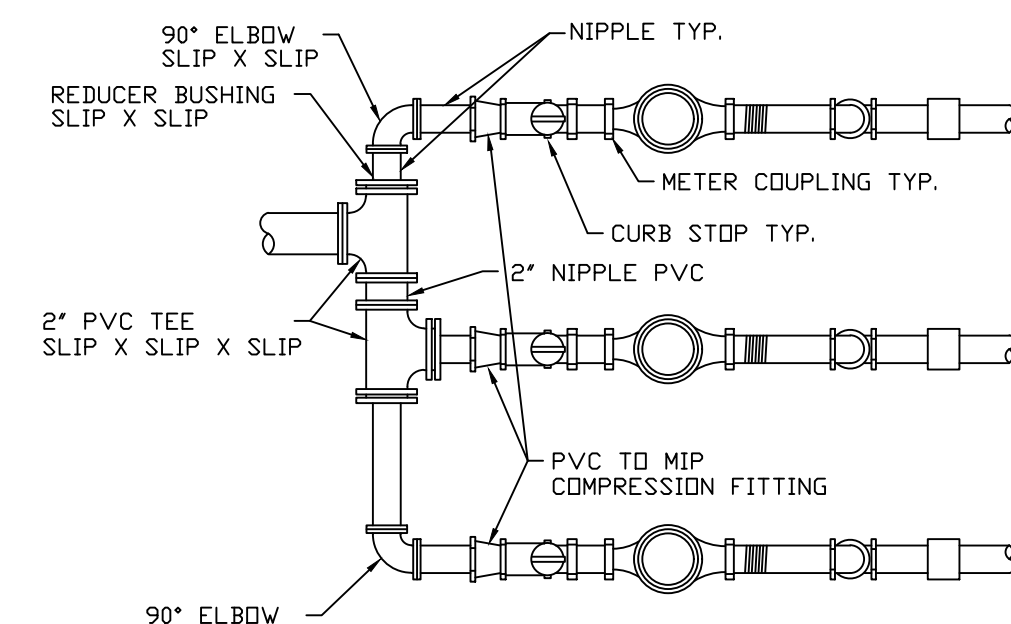
STANDARD UTILITY CROSSING DEFLECTION TYPE



DOUBLE SERVICE PLAN FOR 5/8" & 1" METERS

NOTES:

1. USE ONE METER BOX PER METER.
2. 5/8" METERS REQUIRE 3/4" PIPING.
3. 1" METERS REQUIRE 1" PIPING.



TRIPLE SERVICE PLAN FOR 5/8" & 1" METERS

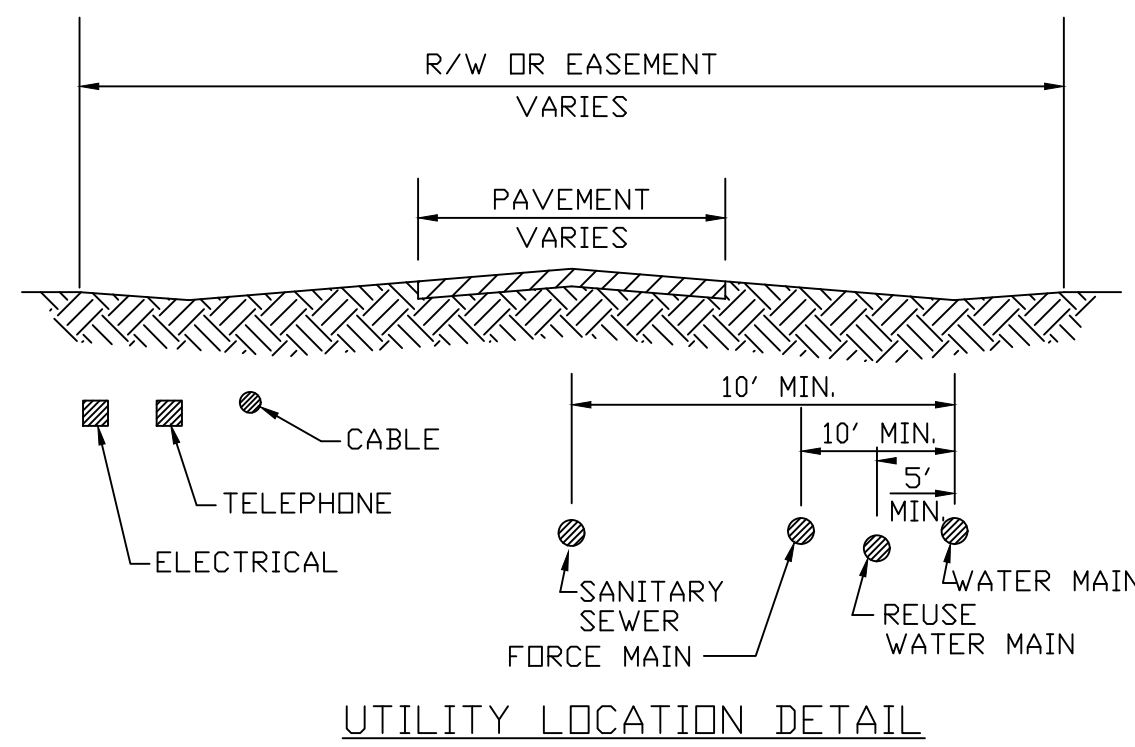
TESTING AND DISINFECTION

1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF HOLLYWOOD AND BROWARD COUNTY PUBLIC HEALTH UNIT (B.C.P.H.U.).
2. THE PRESSURE TEST SHALL BE FOR 2 HOURS AT 150 PSI AND IN ACCORDANCE WITH ANSI/AWWA STANDARD C600-93. PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

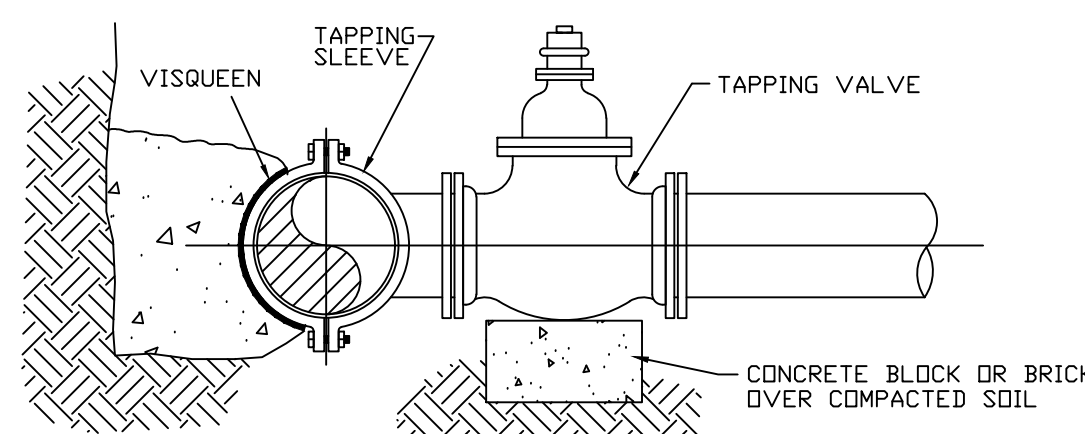
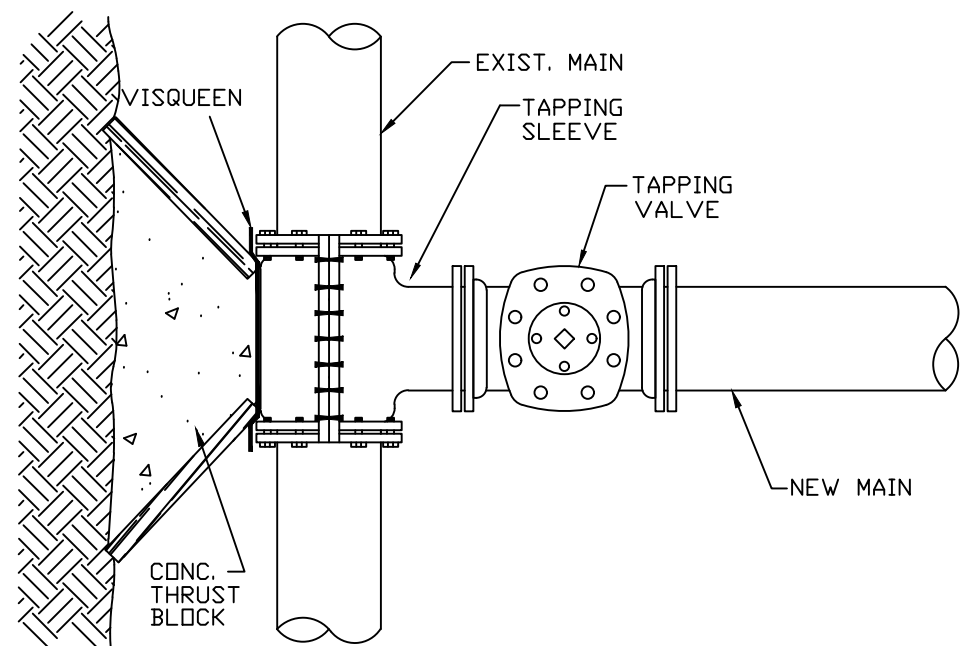
$$L = \frac{S \cdot D \cdot \sqrt{P}}{133,200}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH ANSI/AWWA STANDARD C651-92 AND BACTERIOLOGICALLY TESTED FOR TWO CONSECUTIVE DAYS. THE CITY OF HOLLYWOOD WATER TREATMENT PLANT LABORATORY WILL BE THE SOLE SAMPLER AND WILL PROVIDE BACTERIOLOGICAL TESTING.



UTILITY LOCATION DETAIL

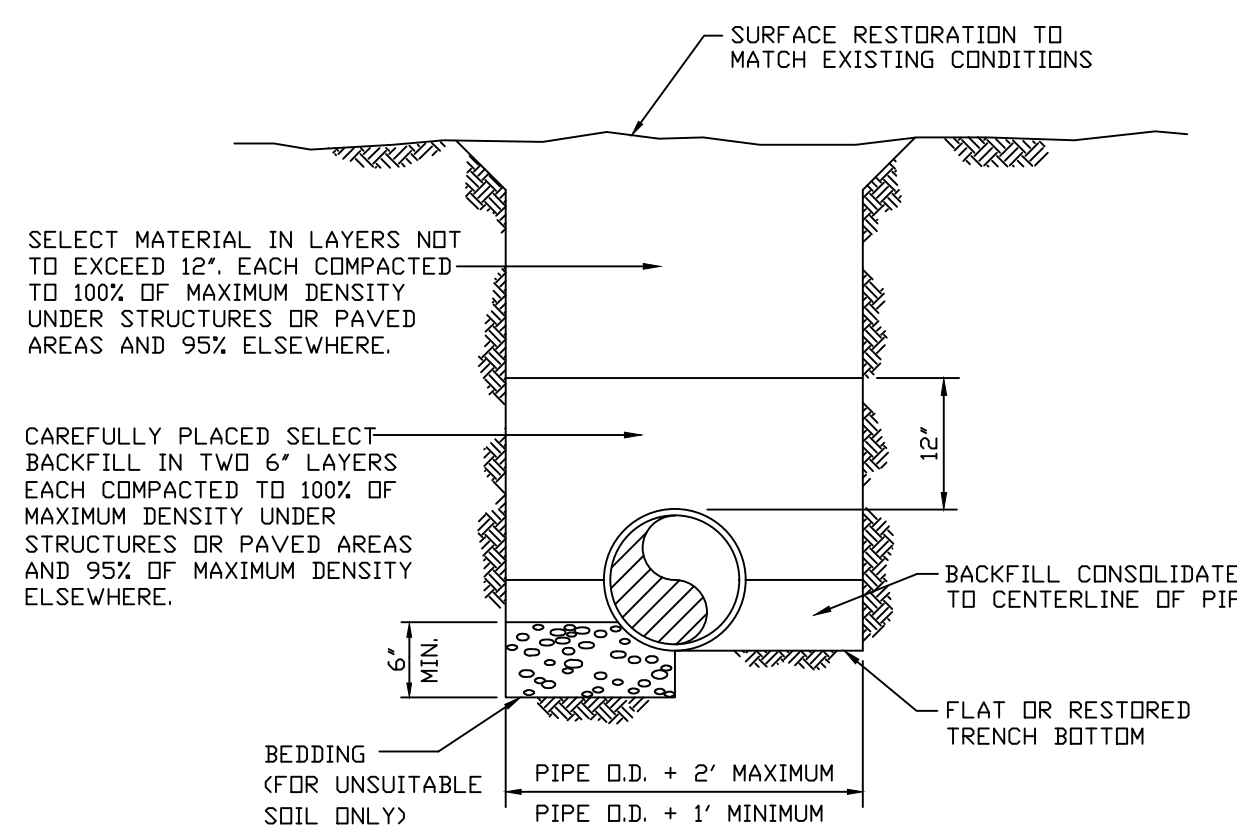


ELEVATION

NOTES:

1. NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
2. TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.

TAPPING SLEEVE DETAIL



W=TRENCH WIDTH D=DIAMETER

NOTES:

1. BEDDING MATERIAL WHEN NECESSARY, SHALL BE CLEAN SANDY SOIL WHENEVER AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED 3/4" MAX. SIZED CRUSHED LIMEROCK. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID.
2. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.

TRENCH DETAIL

CHEROKEE CONSULTING, INC
CIVIL ENGINEERS
5821 SW 51 TERRACE, MIAMI, FLORIDA 33155
Phone: 305.205.2361; E-Mail: kugroce@att.net
Certificate of Authorization 27419

CIELO AZUL AT HOLLYWOOD
PROPOSED WATER DETAILS
2201 POLK STREET
HOLLYWOOD, FLORIDA

REVISIONS

Date	Remarks
By	



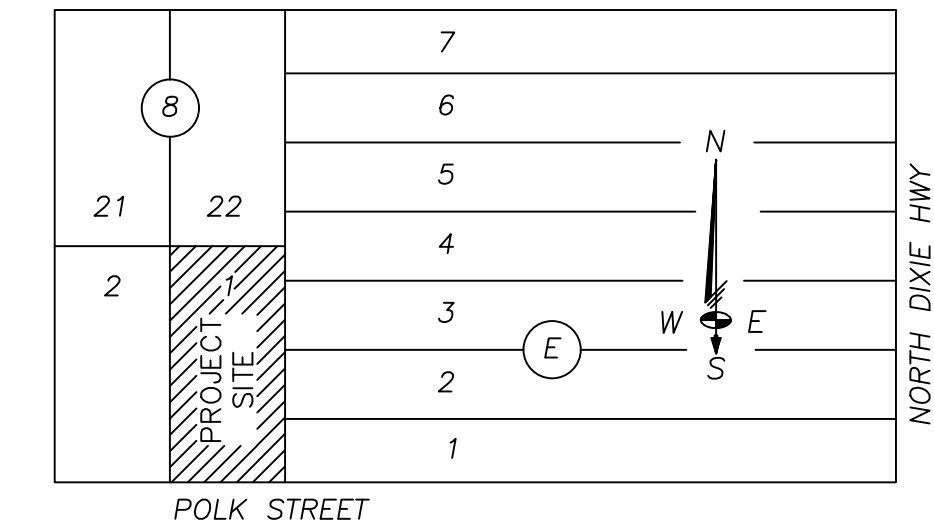
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For The Firm By: **KEN W. GROCE, P.E.**
Fl. Reg. No. 35944
Civil Engineer

Scale: As Shown In Views
Designed By: **KWG**
Drawn By: **CDS**
Checked By: **KWG**
Date: **2-3-17**
Project No: **17-05**

Sheet:
WS-2 4 OF 11

WS-3 5 OF 1



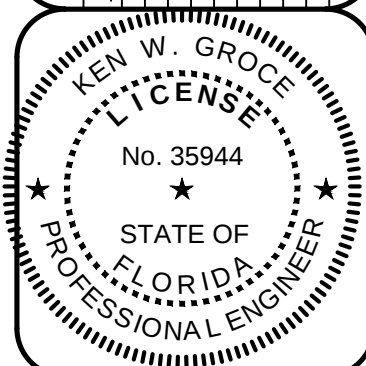
LOCATION MAP
SCALE: N.T.S.
Section 16 Township 51S Range 42E

LOT 1 BLOCK 8
"HOLLYWOOD LITTLE RANCHES"
PLAT BOOK 1 PAGE 26
AS RECORDED IN THE PUBLIC
RECORDS OF BROWARD COUNTY

LEGEND:

 = EXISTING GRADE
 = PROPOSED GRADE
 = CURB & GUTTER
EOP = EDGE OF PAVEMENT
P.P./L = PROPERTY LINE
C/L = CENTER LINE
R/W = RIGHT OF WAY
EW = EXISTING
F.I. = AS-BUILT ELEVATION
D.I.P. = DUCTILE IRON PIPE
W = WATER MAIN
ELEV = ELEVATION
T.O.P. = TOP OF PIPE
BLDG. = BUILDING
UNK = UNKNOWN
WY = WATER VALVE
CJ = CAST IRON
BST = BELL SOUTH TELEPHONE
SAN = SANITARY
ELEC = ELECTRIC
SV = SEWER VALVE
SS = STORM SEWER
SW = SANITARY SEWER
MH = MANHOLE
PP = POWER POLE
LP = LIGHT POLE
F.O. = FRENCH DRAIN
= EXIST-NEW SEWER LATERAL
 = EXIST GATE/BUTTERFLY VALVE
= NEW GATE/BUTTERFLY VALVE
 = EXIST-NEW FIRE HYDRANT ASSEMBLY
 = SINGLE/DUAL WATER SERVICE
 = EXIST-NEW REDUCER
 = EXIST-NEW MANHOLE
 = TEES & BENDS
 = PROP. DRAINAGE
 = EXIST DRAINAGE

1. ALL DISPOSAL MATERIAL, RUBBISH AND DEBRIS SHALL BE MADE AT LEGAL DISPOSAL SITE OR OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED SATISFACTORILY. NO SEPARATE PAYMENT WILL BE MADE FOR THIS.
2. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF THE OWNER, ENGINEER AND CITY OF HOLLYWOOD ENGINEERING DEPARTMENT.
3. DENSITY TEST SHALL BE PERFORMED EVERY 7000 S.F.T. FOR BASE AND SUB-BASE. SAID TEST SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR HIS APPROVAL.
4. CORE DRILLED SAMPLES WILL BE PERFORMED TO INSURE THAT THE THICKNESS OF MATERIAL ARE MET AS CALLED FOR IN THIS PLANS. THE CONTRACTOR WILL BE RESPONSIBLE TO INSURE THAT THE DESIGN THICKNESS ARE MET
5. ALL HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 941, 430 & 440.
6. ALL CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 945.
7. ALL DRAINAGE STRUCTURES SHALL HAVE A MIN. SUMP OF 24" MEASURED FROM LOWEST PIPE INVERT. ALL DRAINAGE STRUCTURES SHALL BE PLACE OVER 12" OF 3/4" LIMEROCK.
8. ALL PIPE BEDDING SHALL BE OF GOOD GRANULAR QUALITY, FREE OF EXCESSIVE FINES. AN OPEN GRADED STONE, NOT LARGER THAN 3/4" IS RECOMMENDED. PIPE BEDDING SHALL BE A MINIMUM OF 12" THICK.
9. TRENCHES SHALL BE BACK FILLED WITH APPROVED MATERIAL FREE OF LARGE LOGS, STONES OR ROCKS AND CAREFULLY DEPOSITED AND COMPACTED IN LAYERS NOT TO EXCEED 6" UNTIL ENOUGH FILL HAS BEEN PLACED TO PROVIDE A COVER OF NOT LESS THAN ONE FOOT ABOVE THE PIPE. THE REMAINDER OF BACK FILL MATERIAL SHALL BE PLACED IN 12" LAYERS UNDISTURBED AND COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR TEST AS PER AASHTO T-180 METHOD.
10. INLETS AND MANHOLE LOCATION DICTATE OVER CULVERTS LENGTHS; FOR EXACT LOCATION OF STRUCTURES
11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DRAINAGE STRUCTURES, PIPES, GRATES AND RELATED MATERIAL TO THE ENGINEER OF RECORD FOR HIS APPROVAL PRIOR TO INSTALLATION.
12. AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL CERTIFY THAT THE DRAINAGE SYSTEM IS CLEAN OF DEBRIS OR ANY OTHER FOREIGN OBJECT. THE SITE SHALL BE CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
13. ALL PIPE CALLED HDPE OR CPP TO BE HIGH STRENGTH CORRUGATE POLYETHYLENE PIPE WITH SMOOTH INTERIOR. PIPE SHALL MEET AASHTO M294 TYPE S; SPECIFICATION FOR CORRUGATED POLYETHYLENE PIPE, 12 TO 36 IN DIAMETER, ASTM D1248, ASTM D3330 & ASTM F405. PIPE INSTALLATION FOR C.P.P. SHALL BE IN ACCORDANCE WITH ASTM 2321: STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE. PIPE SHALL BE ADS N-12, HANCOR HI-0 OR APPROVED EQUAL.

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For The Firm By:
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FL. Reg. No. 35944
Civil Engineer

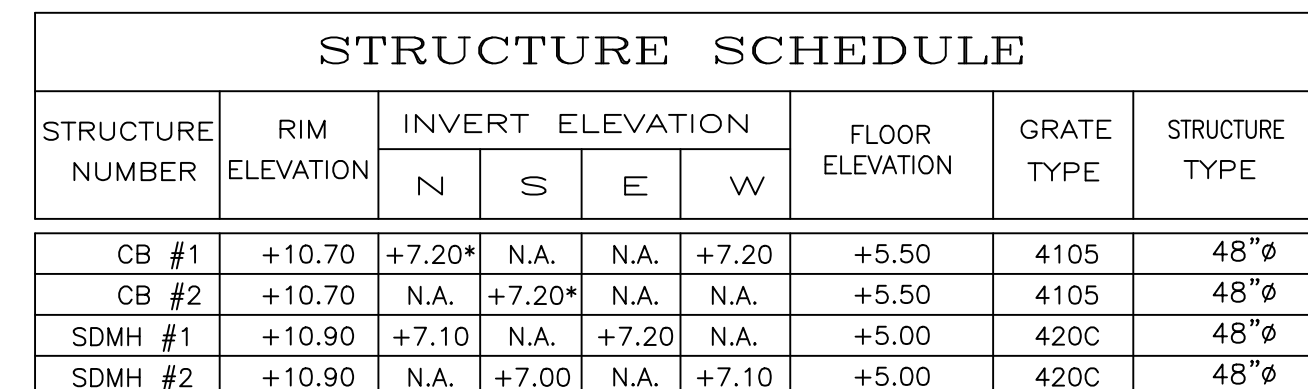
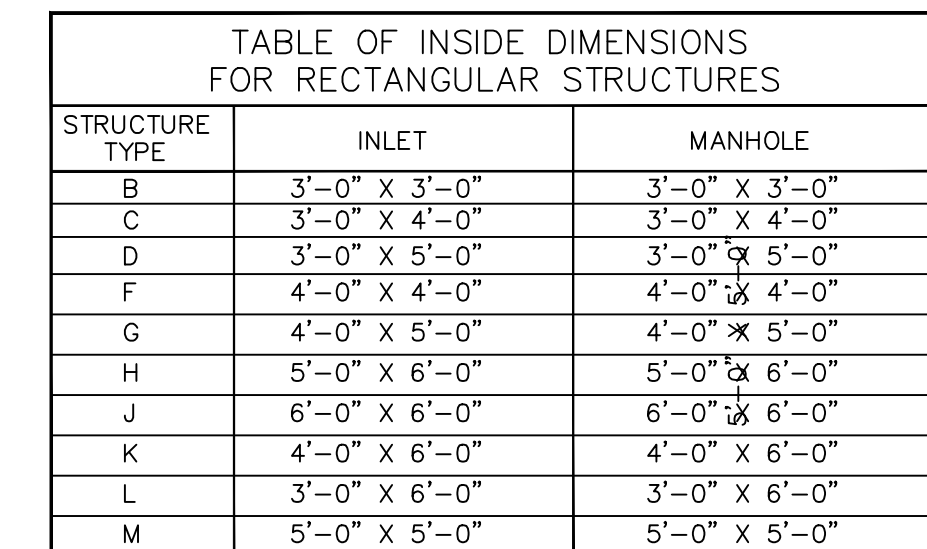
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Designed By:	KWG
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Checked By:	KWG
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Project No:	17-05

Sheet:
PD-1 7 OF 11

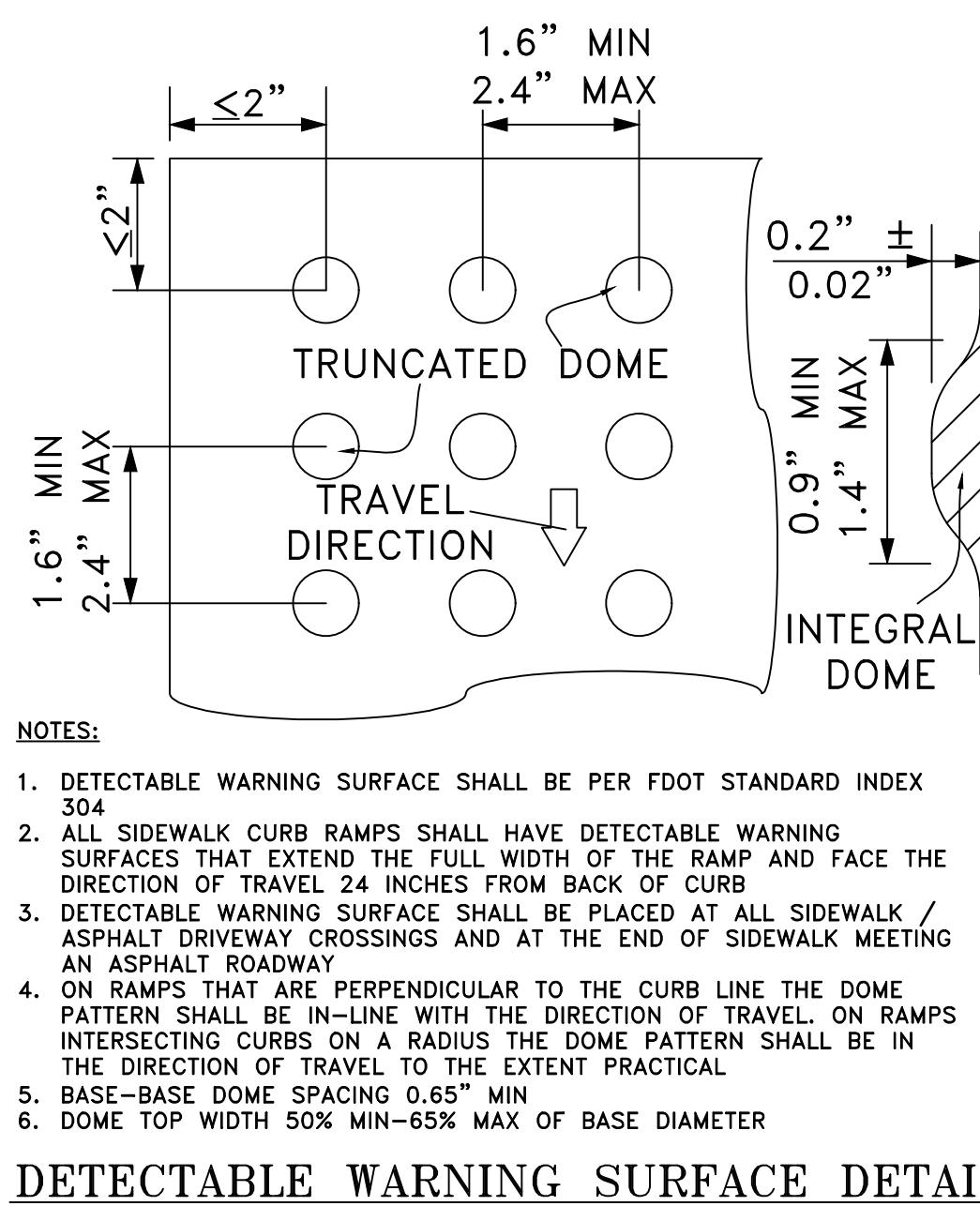
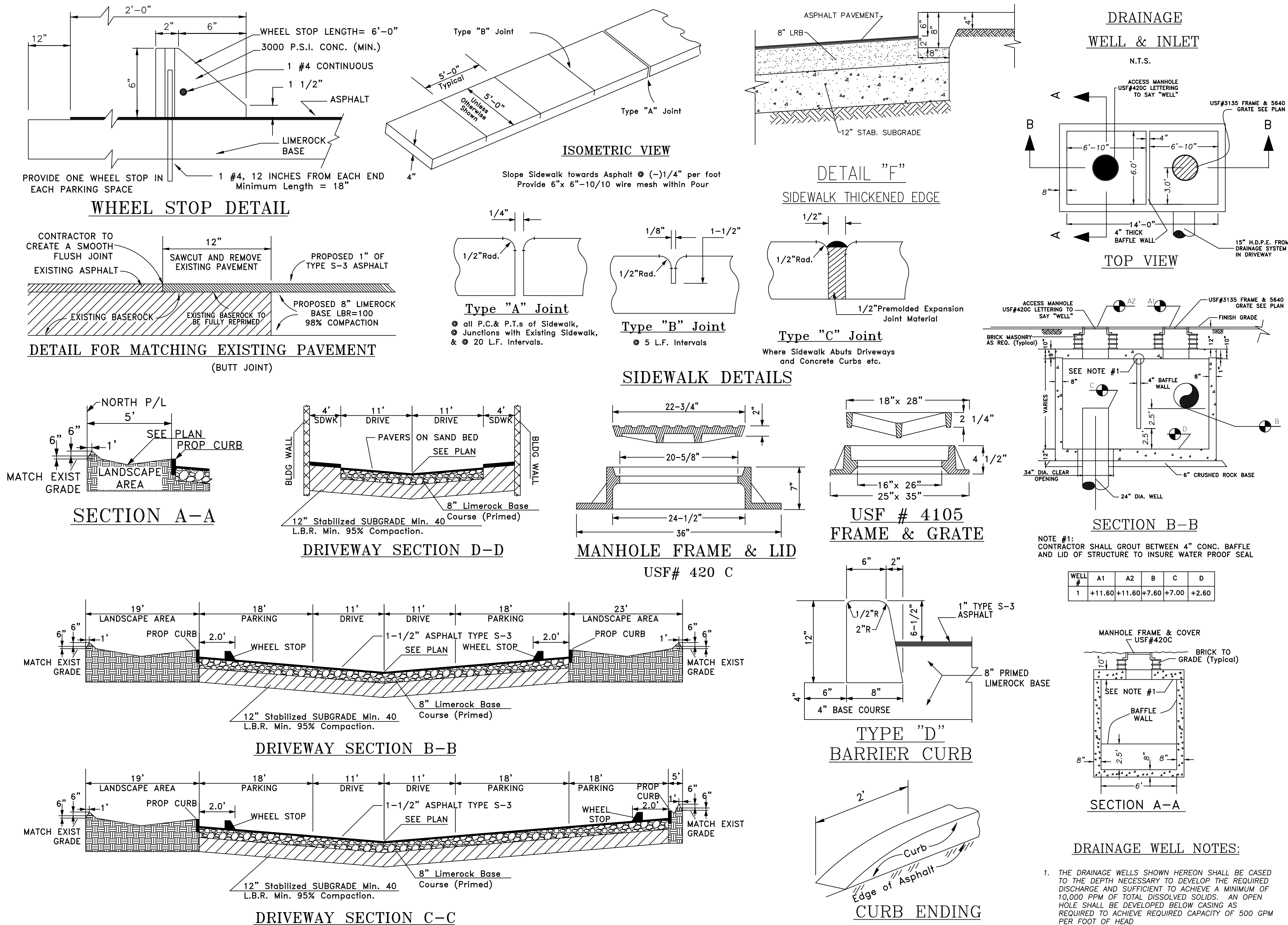
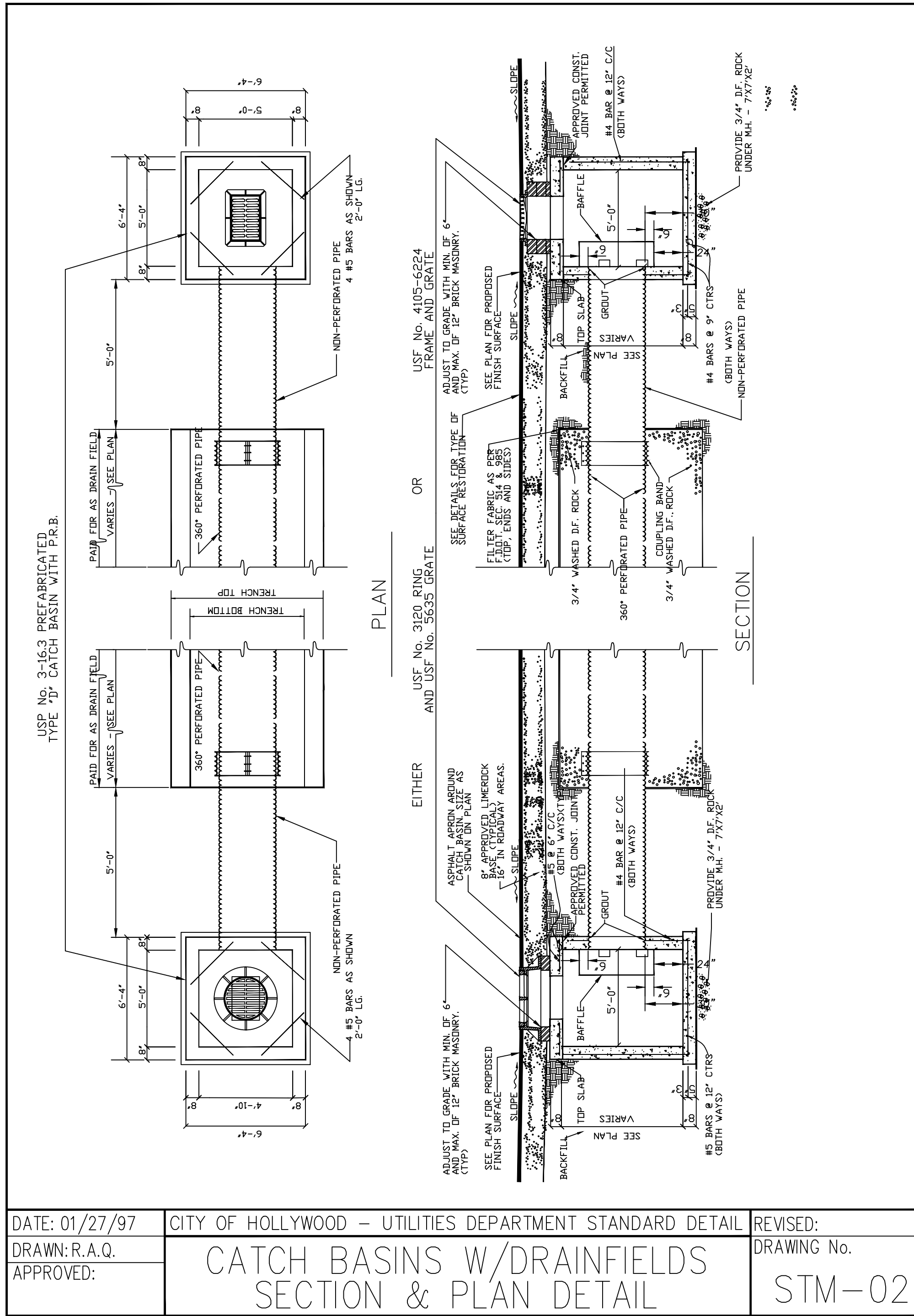


NOTES:

1. ALUMINUM SHEET OF SAME THICKNESS (GAGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING.
2. BAFFLE SHALL BE AS MANUFACTURED BY SOUTHERN CULVERT OR ENGINEER'S APPROVED EQUAL.
3. NEOPRENE GASKET (3/8" x 2") SHALL BE INSTALLED AT ALL BAFFLES.



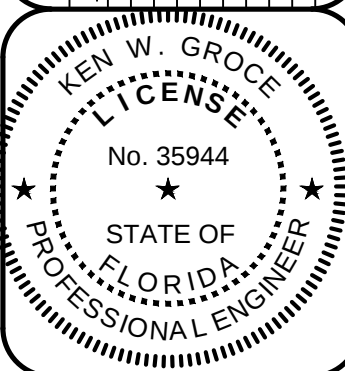
*DENOTES BAFFLE REQUIRED



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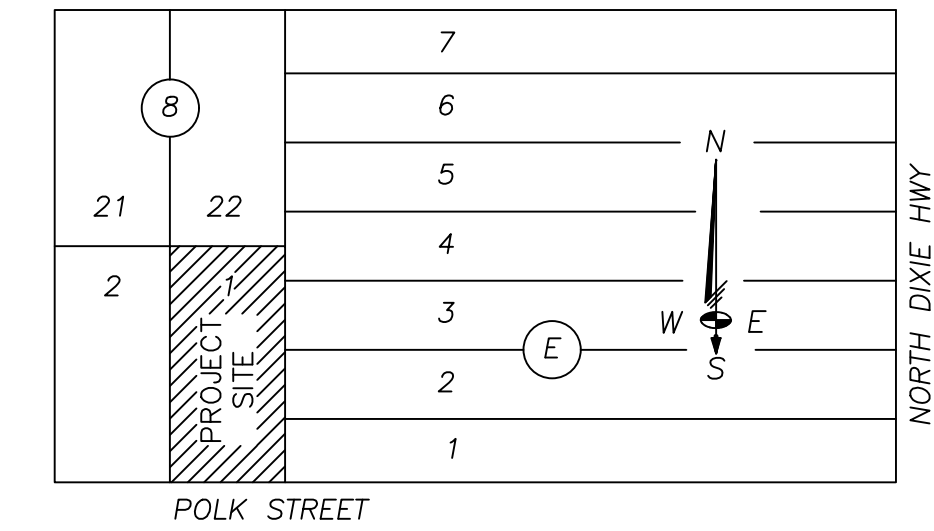
CIELO AZUL AT HOLLYWOOD
 PROPOSED DRAINAGE DETAILS
 2201 POLK STREET
 HOLLYWOOD, FLORIDA

REVISIONS	By	Date	Remarks



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 Date: 2.3.17
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LOCATION MAP
SCALE: N.T.S.
Section 16 Township 51S Range 42E

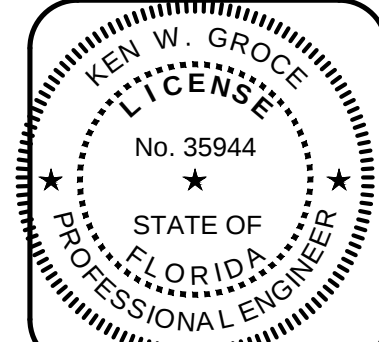
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LOT 1 BLOCK 8
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-  = WATER VALVE
-  = CAST IRON
-  = BELL SOUTH TELEPHONE
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-  = ELECTRIC
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-  = POWER POLE
-  = LIGHT POLE
-  = FRENCH DRAIN
-  = EXIST. SEWER LATERAL
-  = EXIST. GATE/BUTTERFLY VALVE
-  = NEW GATE/BUTTERFLY VALVE
-  = EXIST. NEW FIRE HYDRANT ASSEMBLY
-  = SINGLE/DUAL WATER SERVICE
-  = EXIST. NEW MANHOLE
-  = TEE
-  = BEND
-  = PROP. DRAINAGE
-  = DRAIN

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CIVIL ENGINEERS
5821 SW 51 TERRACE, MIAMI, FLORIDA 33155
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**CIELO AZUL AT HOLLYWOOD
PROPOSED PAVEMENT MARKING PLAN
2201 POLK STREET
HOLLYWOOD, FLORIDA**

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Civil Engineer

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Designed By:	KWG
Drawn By:	CDS

Checked By:	KWG
Date:	3.3.17

Project No: 17-05

Sheet:

PD-4 10-25-11

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