

**CITY OF HOLLYWOOD, FLORIDA
MEMORANDUM
PLANNING AND DEVELOPMENT SERVICES**

DATE: January 19, 2017

FILE: 16-V-87

TO: Planning and Development Board

VIA: Alexandra Carcamo, Principal Planner 

FROM: Arceli Redila, Planning Administrator 

SUBJECT: Lantz, CP & Betty A & Zell, DE & Patricia W requests Variances to reduce the required parking lot setback, to decrease the number of required parking spaces, and to reduce the required drive aisle width for the property located at 890 North State Road 7 (Walgreens).

REQUEST:

- Variance 1: To reduce the required parking lot setback from a minimum of 10 feet to a minimum of 5 feet.
- Variance 2: To decrease the number of required parking spaces from 68 spaces to 63 spaces.
- Variance 3: To reduce the required drive aisle width from a minimum of 24 feet to a minimum of 22 feet.

RECOMMENDATION:

- Variance 1: Approval, with condition that all improvements (trees, shrubs, sod, etc.) as reflected on the Landscape Plan included in Attachment A are completed prior to the issuance of a Certificate of Completion or Certificate of Occupancy (whichever is applicable).
- Variance 2: Approval.
- Variance 3: Approval, with condition that the Applicant submits, in a form acceptable to the City Attorney, a covenant running with the land that holds the city harmless against any claims arising from accidents, recorded by the City of Hollywood, in the Broward County Public Records prior to the issuance of a Certificate of Completion or Certificate of Occupancy (whichever is applicable).

BACKGROUND

The Florida Department of Transportation (FDOT) purchased approximately 2,650 square feet of this site which impacts portion of the northern and eastern property line along Johnson Street and State Road 7, respectively. The acquired right-of-way will be used to accommodate the necessary public improvements associated with the SR 7 roadway widening including a new drive lane, sidewalk, and bicycle lane.

On June 12, 2014, FDOT presented a cure plan for this site and was granted approval by the Board for the same three Variances currently requested. However, the approval expired.

REQUEST

At this time, the current property owner (the Applicant) is requesting the same three Variances granted by the Board on June 12, 2014 by Resolution No. 14-V-06 (Attachment B). The first Variance is to reduce the required parking lot setback from a minimum of 10 feet to a minimum of 5 feet; second, to decrease the number of required parking spaces from 68 spaces to 63 spaces; and third, to reduce the required drive aisle width from a minimum of 24 feet to a minimum of 22 feet.

The area affected by the FDOT widening currently contains landscaping and required parking. A parking lot setback/landscape buffer will be provided with the majority ranging in width from approximately 15 feet to 21 feet with the exception of a small area at approximately 5 feet in width; adjacent to the new bus shelter on State Road 7. New landscaping material will be added, grass, trees, and shrubs. Prior to the taking, the site has an existing 86 parking spaces; however, only 68 spaces are required for the overall site. Upon re-establishing this portion of the site, the Applicant is proposing 63 parking spaces, a reduction of 5 spaces. The Applicant is also proposing a two way drive aisle at 22 feet wide located at the eastern portion of the property, parallel with State Road 7. There are no parking spaces on either side of the proposed drive aisle therefore, vehicle back-out area is not necessary. As proposed, this design allows the site to maintain traffic flow for cars maneuvering through the site.

SITE INFORMATION

Applicant:	Lantz, CP & Betty A & Zell, DE & Patricia W
Address/Location:	890 North State Road 7
Net Area of Property:	75,909 Sq. Ft. (1.74 acres)
Land Use:	Transit Oriented Corridor
Zoning:	SR7 CCD-LHC, C-4
Existing Use of Land:	Retail (Walgreens)

ADJACENT LAND USE

North:	Transit Oriented Corridor
South:	Transit Oriented Corridor
East:	Transit Oriented Corridor
West:	Transit Oriented Corridor

ADJACENT ZONING

North:	Commercial Corridor District–Low Hybrid Commercial Sub-Area, Medium/High Intensity Commercial District (SR7 CCD-LHC, C-4)
South:	Commercial Corridor District–Low Hybrid Commercial Sub-Area, Medium/High Intensity Commercial District (SR7 CCD-LHC, C-4)
East:	Commercial Corridor District–Low Hybrid Commercial Sub-Area, Medium/High Intensity Commercial District (SR7 CCD-LHC, C-4)
West:	Low Intensity Commercial District (C-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Located within the Transit Oriented Corridor, the project site on all sides is surrounded by commercial uses. The goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property*. Redevelopment of this site will increase the availability of commercial uses and expand the mixture of uses in the area; serving the adjacent community as well as the region.

Policy 2.2.11: *Promote the development of US 441/SR 7 as a major transit corridor.*

Policy 3.1.1: Continue to prioritize US 441/SR 7 Corridor for redevelopment opportunities and work with the Florida Department of Transportation and other applicable agencies on design of the highway, and create innovative zoning to implement future plans.

Policy 3.1.4: Promote land assembly along the US 441/SR 7 Corridor to create larger development parcels for economic sustainability to offset the physical and economic loss from Florida Department of Transportation right-of-way acquisition.

Policy 3.1.5: Provide increased buffering between businesses along the US 441/SR 7 Corridor and adjacent residential areas.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City of Hollywood recognizes State Road 7 as a major transportation corridor and one which is crucial to the success of the western portion of the City. Being established as the first sub-area in the Plan, it is clear the City and its residents are committed to the revitalization of this corridor.

The following City-Wide Master Plan Policies are applicable to this project:

Policy 1.1: Place a priority on the US 441/SR 7 Corridor for redevelopment opportunities, influence FDOT on design of the highway, and create innovative zoning to implement future plans.

Policy 1.24: Create an environment to protect the establishment and enhancement of small business along the US 441/SR 7 Corridor.

Policy 1.27: Assist FDOT regarding the redesign of the US 441/SR 7 Corridor through the City of Hollywood to ensure that FDOT's redesign plans complement and support the City's plans as well as accommodate FDOT's construction needs.

Policy 1.47: Promote the development of US 441/SR 7 as a major transit corridor.

FDOT takings will cause the loss of landscape buffer and parking spaces for the site. While the creation of non-conformities as a result of the FDOT takings is not ideal; the site configuration after FDOT takings does not otherwise permit strict adherence to the applicable requirements of the Zoning and Land Development Regulations. As proposed, this design allows the site to maintain its functionality and the traffic flow of cars maneuvering through the site. A parking lot setback/landscape buffer will be provided ranging in width from approximately 15 feet to 21 feet with the exception of the small area at approximately 5 feet in width; adjacent to the bus shelter on State Road 7. New materials will be added, grass, trees and shrubs will greatly enhance this site. This is a favorable outcome as landscaping along this Corridor is currently lacking.

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Variances as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

VARIANCE 1: To reduce the required parking lot setback from a minimum of 10 feet to a minimum of 5 feet.

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: The purpose of required setbacks is to provide landscaping and safe distances between adjacent structures and right-of-ways. As part of the design of State Road 7 following the road widening and additional amenities, a portion of this property's northern and eastern parking lot setback/landscape buffer must be

acquired by FDOT. After FDOT's takings the site configuration does not otherwise permit strict adherence to the parking lot setback requirements. A parking lot setback/landscape buffer will be provided ranging in width from approximately 15 feet to 21 feet, more than what is required with the exception of the small area adjacent to the location of a new bus shelter on State Road 7. The area although only 5 feet in width but is only 21 feet long, "majority of the buffer ranges from 15 feet and 21 feet," as stated by the Applicant. New materials will be added, grass, trees and shrubs will greatly enhance this site. This is a favorable outcome as landscaping along this Corridor is currently lacking. As such, it meets the basic intent of the subject regulations.

FINDING: Consistent.

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: This portion of the site will be used to accommodate a new bus shelter which may have an additional grass area which creates a larger visual buffer. "The granting of the Variance for the subject property will not affect the use or development of neighboring properties and will not hinder or discourage appropriate development and/or use of adjacent and nearby lands," expresses the Applicant.

Given existing conditions, which include a mostly concrete streetscape, any area which includes even a minimal amount of landscaping helps enhance the area. In this instance, only a small portion of the landscaped area will be lost; however, trees and shrubs will be replaced in excess of what exists. The proposed design is consistent with the desired look of the corridor and is not detrimental to the community. As such, to help ensure the best possible outcome which includes the completion of these improvements, **staff is suggesting the condition that all improvements as reflected on the Landscape Plan (trees, shrubs, sod, etc.) are completed prior to the issuance of a Certificate of Completion or Certificate of Occupancy (whichever is applicable).**

FINDING: Consistent, with staff's condition.

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plan adopted by the City.

ANALYSIS: Many policies within the Comprehensive Plan supporting State Road 7 were first established by the City-Wide Master Plan. Sub-Area 1 of the Plan details existing conditions and desired actions for improvement along State Road 7. Part of this includes working with FDOT to create a design which will be beneficial to Hollywood and the community immediately this corridor. While it does express a desire to avoid redesigns which result in variances and/or non-conformities, staff today recognizes this may not be realistic. In many instances, creating a design which conforms to all requirements may have a negative impact on business and could possibly cause owners to lose portions of their building. Variance requests for setbacks such as this allow businesses to continue maximizing use of their land by maintaining full operations.

FINDING: Consistent.

CRITERIA 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: The requested Variance is being made as a result of a State-funded roadway improvement needed to meet transportation/transit demands of a growing population. This Variance is not economically based or self-imposed. Rather, completion of this improvement by FDOT is needed to help the roadway meet required level-of-service standards therefore allowing traffic to flow properly through the City and Broward County.

FINDING: Consistent.

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

VARIANCE 2: To decrease the number of required parking spaces from 68 spaces to 63 spaces.

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: The Zoning and Land Development Regulations requires that retail uses provide 1 parking space for every 250 square feet of gross floor area. The site at approximately 17,017 square feet is required to provide 68 parking spaces. Currently, site provides 86 parking spaces. Upon re-establishing this portion of the site, FDOT is proposing 63 parking spaces, a reduction of 5 spaces from the required 68 spaces.

The intent of parking regulations is to ensure adequate amounts of parking are available based on a particular use. As stated by the Applicant, "Walgreens is open for more hours than other retail uses, staggering the amount of people who patronize the business throughout the day." The traffic pattern is steady without large peaks or jams. "Thus, the remaining 63 parking spaces provide ample parking for the site."

Considering all of the conditions described above, the Variance would still meet the intent of this regulation and will not have a negative impact on the stability and appearance of the City.

FINDING: Consistent.

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: Reducing the amount of parking spaces for this development does not hinder its daily operations or create unfavorable parking conditions on this site. Given the limited nature of most properties along the corridor, there is typically a lack of parking for the existing establishments. Additionally, while some businesses provide a minimal amount of parking, it is non-conforming. Given the existing condition, as stated by the Applicant, "it has demonstrated compatibility with surrounding land uses and proven that it is not detrimental to the community." Additionally, this business is situated on one of the larger parcels and provides ample parking for its use.

FINDING: Consistent.

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time

to time, the applicable Neighborhood Plan and all other similar plan adopted by the City.

ANALYSIS: Many policies within the Comprehensive Plan supporting State Road 7 were first established by the City-Wide Master Plan. Sub-Area 1 of the Plan details existing conditions and desired actions for improvement along State Road 7. Part of this includes working with FDOT to create a design which will be beneficial to Hollywood and the community immediately surrounding this corridor.

Additionally, the site is located within the Transit Oriented Corridor where mass transit is encouraged in order to reduce the need for automobile travel. Parking reduction is one of the types of development incentives needed to encourage transit oriented development as stated in Policy 5.2.3.d in the City's Comprehensive Plan.

FINDING: Consistent.

CRITERIA 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: The requested Variance is being made as a result of a State-funded roadway improvement needed to meet transportation/transit demands of a growing population. This Variance is not economically based or self-imposed. Rather, completion of this improvement by FDOT is needed to help the roadway meet required level-of-service standards therefore allowing traffic to flow properly through the City and Broward County.

FINDING: Consistent.

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

VARIANCE 3: To reduce the required drive aisle width from a minimum of 24 feet to a minimum of 22 feet.

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: The Zoning and Land Development Regulations requires drive aisle width a minimum of 24 feet for two way traffic. This requirement is met throughout the site except for the drive aisle located on the eastern portion of the property, parallel with State Road 7. As proposed variance will only reduce the drive aisle by two feet and will apply only to the eastern portion of the parking area. It will not be detrimental to the stability or appearance of the City of Hollywood as the 22 foot drive aisle provides adequate space for this area.

FINDING: Consistent.

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: Given the existing condition and the site configuration after FDOT takings, the site is left with not enough room for strict adherence to the subject regulations while still maintaining full operations. The proposed 22 feet wide two way drive aisle is located at the eastern portion of the property, parallel with State Road 7. There are no parking spaces on either side of the drive aisle and no car is backing out

onto the drive aisle. Staff is suggesting the condition that the Applicant submits, in a form acceptable to the City Attorney, a covenant running with the land that holds the city harmless against any claims arising from accidents, recorded by the City of Hollywood, in the Broward County Public Records prior to the issuance of a Certificate of Completion or Certificate of Occupancy (whichever is applicable).

FINDING: Consistent, with Staff's condition.

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plan adopted by the City.

ANALYSIS: Many policies within the Comprehensive Plan supporting State Road 7 were first established by the City-Wide Master Plan. Sub-Area 1 of the Plan details existing conditions and desired actions for improvement along State Road 7. Part of this includes working with FDOT to create a design which will be beneficial to Hollywood and the community immediately this corridor. While it does express a desire to avoid redesigns which result in variances and/or non-conformities, staff today recognizes this may not be realistic. In many instances, creating a design which conforms to all requirements may have a negative impact on business and could possibly cause owners to lose portions of their building. The Variance request would enable businesses to continue maximizing use of their land by maintaining full operations.

FINDING: Consistent.

CRITERIA 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: The requested Variance is being made as a result of a State-funded roadway improvement needed to meet transportation/transit demands of a growing population. This Variance is not economically based or self-imposed. Rather, completion of this improvement by FDOT is needed to help the roadway meet required level-of-service standards therefore allowing traffic to flow properly through the City and Broward County.

FINDING: Consistent.

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

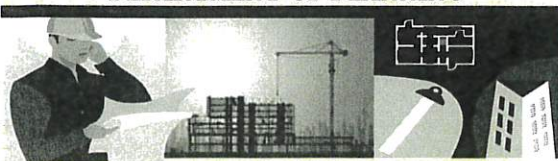
ATTACHMENTS

Attachment A:	Application Package
Attachment B:	Resolution No. 14-V-06
Attachment C:	Land Use & Zoning Map

ATTACHMENT A

Application Package

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 11/28/2016

Location Address: 890 North State Road 7

Lot(s) (See attached legal description) Block(s): _____ Subdivision: Pine Ridge Estates

Folio Number(s): 5141 13 04 0110

Zoning Classification: SR7 CCD LHC Land Use Classification: T.O.C.

Existing Property Use: Walgreens Sq Ft/Number of Units: 17,017 SF

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☒ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: On June 12, 2014 the Hollywood Planning and Development Board granted the following variances via Resolution No. 14-V-06: 1- Reduce the required parking lot setback from 10 feet to 5 feet;

Decrease the number of parking spaces from 68 to 63; and Reduce the required drive aisle from 24 feet to 22 feet.

Construction did not commence by June 11, 2016 and the variance approvals expired. WGI is requesting 3 variance approvals as originally granted so that construction of the site plan improvements may commence. (See attached justification statement)

Number of units/rooms: N/A Sq Ft: 17,017 SF

Value of Improvement: N/A Estimated Date of Completion: _____

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: LANTZ, C P & BETTY A & ZELL, D E & PATRICIA W

Address of Property Owner: 141 GREENS RD HOLLYWOOD FL 33021-2840

Telephone: 847-315-3259 Fax: _____ Email Address: andrew.wojcik@walgreens.com

Name of Consultant/Representative/Tenant (circle one): WGI

Address: 2035 Vista Parkway, West Palm Beach, FL 33411 Telephone: 561-537-4541

Fax: _____ Email Address: Lynn.Zolezzi@WantmanGroup.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

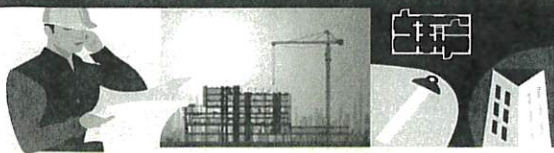
List Anyone Else Who Should Receive Notice of the Hearing: Andrew Wojcik and Martina Rizzo

Address: _____

Email Address: andrew.wojcik@walgreens.com

Martina.Rizzo@macegroup.com

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: DAVID ZELL

Date: 11/23/16

PRINT NAME: DAVID ZELL

Date: 11/23/16

Signature of Consultant/Representative: Mike McGill

Date: 12/5/16

PRINT NAME: Mike McGill

Date: 12/5/16

Signature of Tenant: Mike McGill

Date: 12/5/16

PRINT NAME: Mike McGill

Date: 12/5/16

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Variance approvals to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Lynn Zolezzi of WGI to be my legal representative before the Planning and Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 23rd day of November 2016

DAVID ZELL

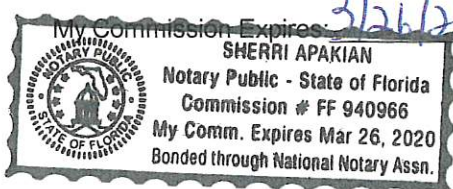
SIGNATURE OF CURRENT OWNER

Sherril Apakian

Notary Public State of Florida

DAVID ZELL

PRINT NAME



(Check One) David Zell ☒ Personally known to me; OR

Consent Form

Project Name: Walgreens located at ^{890 E} 809 North State Road 7, Hollywood, Florida

I hereby give CONSENT to WGI to act on my behalf as agent, to submit or have submitted this application(s) and all required material and documents, and attend and represent me at all meetings and public hearings pertaining to the application(s) indicated. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

Signature of Current Owner: [Signature] Date: 11/23/16

PRINT NAME: DAVID ZELL

AGENT INFORMATION:

WGI
2035 Vista Parkway
West Palm Beach, FL 33411

NOTARY PUBLIC INFORMATION: STATE OF Florida COUNTY OF Broward

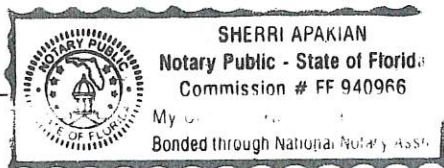
The forgoing instrument was acknowledge before me Sherri Apakian ^{acknowledging David Zell} this 23rd
day of November 2016 by:

Sherri Apakian
(Name of person acknowledging)

He/she is personally known to me or has produced _____

(Type of identification) and did/did not take an oath

Sherri Apakian
Name (stamp or print)



My Commission Expires on: 3/26/20

NOTARY'S SEAL OR STAMP

LEGAL DESCRIPTION:

(PER WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 5588, PAGE 587, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.)

LOT 12, LESS THE SOUTH 100 FEET, IN BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND ALSO THE EAST 30 FEET OF LOT 11, LESS THE SOUTH 100 FEET, IN BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS PARCEL No. 119: (PER WARRANTY DEED RECORDED IN INSTRUMENT No. 112853176, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.)

A PORTION OF LOT 12, BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP OF STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 2277751, SECTION 86100-2528 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF SAID LOT 12, ALSO BEING THE POINT OF INTERSECTION OF THE WESTERLY EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD 7 (U.S. 441) AND THE SOUTHERLY EXISTING RIGHT OF WAY LINE OF JOHNSON STREET AS SHOWN ON SAID MAP;

THENCE SOUTH 88°08'31" WEST ALONG THE NORTH LINE OF SAID LOT 12 AND SAID SOUTHERLY EXISTING RIGHT OF WAY LINE OF JOHNSON STREET, A DISTANCE OF 300.02 FEET TO THE NORTHWEST CORNER OF SAID LOT 12;

THENCE SOUTH 02°30'15" EAST ALONG THE WEST LINE OF SAID LOT 12, A DISTANCE OF 3.65 FEET;

THENCE NORTH 88°08'31" EAST, A DISTANCE OF 255.20 FEET;

THENCE SOUTH 55°33'52" EAST, A DISTANCE OF 47.83 FEET;

THENCE SOUTH 01°31'09" EAST, A DISTANCE OF 47.71 FEET;

THENCE SOUTH 87°29'45" WEST, A DISTANCE OF 7.33 FEET;

THENCE SOUTH 02°30'15" EAST, A DISTANCE OF 21.75 FEET;

THENCE NORTH 87°29'45" EAST, A DISTANCE OF 6.96 FEET;

THENCE SOUTH 01°32'08" EAST, A DISTANCE OF 11.83 FEET;

THENCE NORTH 87°56'31" EAST, A DISTANCE OF 2.57 FEET;

THENCE SOUTH 13°01'51" EAST, A DISTANCE OF 29.56 FEET TO A POINT ON SAID WESTERLY EXISTING RIGHT OF WAY LINE OF STATE ROAD 7 (U.S. 441) AND THE EAST LINE OF SAID LOT 12;

THENCE NORTH 02°30'15" WEST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE AND THE EAST LINE OF SAID LOT 12, A DISTANCE OF 142.25 FEET TO THE POINT OF BEGINNING.



JUSTIFICATION STATEMENT
Request for Regulatory Variance

Walgreens / 890 N. State Road 7
Folio ID# 5141 13 04 0110
Hollywood, Florida
Submitted: November 2016

REQUEST

The purpose of this request is to obtain three (3) variances from the City of Hollywood's Zoning and Land Development Regulations for the Walgreens property located at the southwest corner of State Road 7 and Johnson Street, within the City of Hollywood. The site is approximately 1.74 acres.

The subject property consists of a developed Walgreen's site located at 890 North State Road 7 in Hollywood, Florida. As a result of the State Road 7 road widening project, modifications to the site layout were required. As the site plan modification did not meet certain requirements of the Hollywood Land Development Code, three (3) variance were requested for the site. On June 12, 2014 the Hollywood Planning and Development Board granted these variances via Resolution No. 14-V-06:

1. Reduce the required parking lot setback from 10 feet to 5 feet (Section 4.22.I.2.b);
2. Decrease the number of parking spaces from 68 to 63 (Section 7.2.a); and
3. Reduce the required drive aisle from 24 feet to 22 feet (Section 7.1.B.2.c).

Construction of the site plan modifications did not commence by June 11, 2016 and the variance approvals expired. WGI is respectfully requesting approval of the three variances originally granted via Resolution No. 14-V-06 so that construction of the site plan improvements may commence.

PROPERTY HISTORY & SITE CHARACTERISTICS

The property is zoned State Road 7 CCD Low Hybrid Commercial South Sub-Area and is improved with a Walgreens pharmacy. According to building records, the site was originally developed in 1969. Copies of approved site plans, obtained from the Hollywood Records and Archives Department, are included with this submittal. The site is accessed from State Road 7 and Johnson Street and there are two signs on the site. As shown on the Parcel Sketch by Sexton Engineering, the right of way taking is approximately 2,648 square feet and it will impact the northern and eastern portions of the site. The site is owned by Betty Lantz & Patricia Zell.

BUILDING SQUARE FOOTAGE & PARKING REQUIREMENTS

According to the Existing Conditions Sketch, the building square footages and parking calculations are as follows:

Walgreens	17,017 sf	1 space/250 sf	68 required spaces
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Although the Walgreen's site requires 68 parking spaces, there are 86 parking spaces onsite, including 4 handicap spaces.

ACQUISITION IMPACTS/CURE PLAN

The right of way taking will cause the loss of parking spaces and portions of the front and side landscape buffer. Please see Existing Conditions Sketch. In order to restore vehicular circulation, parking, perimeter landscaping and portions of the parking lot have been reconfigured. Please see Cure Plan

Parking & Circulation

As the Cure Plan shows, the majority of the parking field has been reconfigured from angled parking to 90 degree parking. This reconfiguration results in a total of 63 parking spaces on the cure plan. Required parking is 68 spaces, per Section 7.2.a of the Hollywood Zoning and Land Development Regulations. The new parking lot layout is functional and provides safe vehicular circulation throughout the site. A variance is required due to lack of 5 parking spaces.

Drive Aisle

A twenty-four (24) foot wide two-way drive aisle is required as per Section 7.1.B.2.c of the Hollywood Zoning and Land Development Regulations. The cure plan is compliant with these minimum dimensional requirements throughout the site except for a two-way drive aisle located at the eastern portion of the property. As the cure plan shows, there are no parking spaces adjacent to the proposed 22 drive aisle. Although the drive aisle is deficient by 2 feet, it provides sufficient space for safe two way traffic circulation. There the applicant is asking for a variance the 2 foot drive aisle width deficiency.

Parking Lot Setback with Landscaping

A ten (10) foot wide parking lot setback with landscaping is required adjacent to the parking field along the north, east and south property line. A new perimeter landscape buffer has been established along the front (SR 7) and side (Johnson Street) frontages. The majority of the buffer ranges from 15 feet to 21 feet in width, however there is a small area adjacent to the bus shelter on SR 7 which is only 5 feet in width. A typical bus bay is 5 feet deep, however meetings with Hollywood Planning and Public Works staff revealed that the approved Hollywood bus shelter prototype is less deep. Staff reported that the structure was about 2 feet narrower than the standard 5 foot wide shelter. Therefore there may be additional space at the rear of the shelter to add grass to the State Road 7 landscape buffer, however the applicant cannot guarantee the exact width of the additional grassed area. Visually the landscape buffer would be about 7 feet wide. As the landscape buffer/parking lot setback is less than the required 10 feet, we are asking for a variance from Section 4.22.I.2.b of the Hollywood Zoning and Land Development Regulations.

Signage

A new monument style business identification sign will be located along State Road 7, near the northeast corner of the property. This sign will replace the existing business identification sign.

Due to the Florida Department of Transportation acquiring the right-of-way along State Road 7, it is not possible for the above referenced property to meet the sections of the City of Hollywood's Zoning and Land Development Regulations referenced below. Therefore, the Applicant is seeking regulatory variances from the sections outlined below.

VARIANCE REQUESTS

Zoning Code Section	Required	Proposed	Variance
Section 7.2.a	68 required spaces	63 parking spaces	Variance to allow for the reduction of five (5) required parking spaces
Section 7.1.B.2.c	24 foot wide two-way drive aisle	22 foot wide two-way drive aisle	Variance to allow for the reduction of the eastern two-way drive aisle by 2 feet.
Section 4.22.I.2.b	10' parking lot setback	5' parking lot setback	Variance to allow for the reduction of the parking lot setback by 5 feet.

REGULATORY VARIANCE CRITERIA

The City of Hollywood has established five (5) criteria that must be met in order to obtain a regulatory variance. These criteria and responses to each criterion are specified below.

Section 5.3.F.1

Variances. Except as set forth in division F.2. below, no Variance shall be granted by the Development Review Board unless the Board finds that the petitioner has shown that criteria a. through d. have been met or criteria e. is established, then the Variance shall be granted.

- a. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.**

Variance # 1 (Parking) – Per Section 7.2.a, the required parking for the site is 68 spaces. Due to site constraints, it is only possible to fit 63 parking spaces on the property. Therefore, the Applicant is requesting a variance for five (5) parking spaces. The basic intent and purpose of the subject regulations is to provide adequate parking for patrons of the business. The parking requirement for this use is very general and does not take into consideration the type of business that currently operates on the site. Walgreens is open for more hours than other retail uses, staggering the amount of people who patronize the business throughout the day. Thus, the remaining 63 parking spaces provide ample parking for the site. The requested variance will not have a negative effect on the stability and appearance of the City of Hollywood.

Variance # 2 (Drive aisle) – Per Section 7.1.B.2.c, a twenty-four (24) foot wide two way drive aisle is required within a parking lot. This minimal requirement is met throughout the property except for the eastern drive aisle adjacent to State Road 7. The 24 foot requirement provides sufficient space for two way vehicular circulation, plus enough room for entering and exiting of parking spaces. As the cure plan shows, there are no parking spaces adjacent to the proposed twenty-two (22) foot wide drive aisle and the proposed drive aisle provides sufficient room for two way traffic to circulate through the eastern portion of the site. The requested variance will not have a negative effect on the stability and appearance of the City of Hollywood and meets the basic intent of Section 7.1.B.2.c by providing a safe environment for two way traffic.

Variance # 3 (Parking Lot Setback/Landscape Buffer) – Per Section 4.22.I.2, a ten (10) foot parking lot setback, with landscaping is required adjacent to the parking lot. This requirement is applicable to Johnson Street, State Road 7 and along portions of the south property line. The new landscape buffers

along State Road 7 and Johnson Street generally exceeds the 10 foot requirement. However, due to the placement of a new bus shelter on State Road 7, a small portion of the front landscape buffer will be reduced to 5 feet in width. The City of Hollywood requires 5 feet of pavement behind bus shelters for installation. However, the new bus shelter design for the City of Hollywood only requires 3 feet of pavement. An additional 2 feet of grass would most likely be added to the area behind the bus shelter, giving the proposed 5 foot wide landscape buffer an extra 2 feet. Therefore, the proposed variance will not adversely affect the appearance or the stability of the City of Hollywood and is consistent with the basic intent of Section 4.22.1.2.

- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.**

Variance # 1 (Parking) – *The requested variance is for a reduction in the number of required parking spaces on the site. The use and function of the current business operations will not be altered as a result of this variance. The current use has demonstrated compatibility with surrounding land uses and has proven that it is not detrimental to the community. Thus, the reduction in the amount of parking spaces will not result in any change to the demonstrated compatibility of the site and will not be detrimental to the community.*

Variance # 2 (Drive aisle)– *The requested variance is for a reduction of the eastern drive aisle width by only 2 feet. The twenty-two (22) foot drive aisle is needed in order to provide two way traffic throughout the property and is necessary to operate the current business on site as it provides a safe environment to its customers. The use and function of the current business operations will not be altered as a result of this variance. The current use has demonstrated compatibility with surrounding land uses and has proven that it is not detrimental to the community. Thus, the reduction of the eastern drive aisle by two feet will not result in any change to the demonstrated compatibility of the site and will not be detrimental to the community.*

Variance # 3 (Parking Lot Setback/Landscape Buffer) – *The proposed variance is only for a very small portion of the parking lot setback, with landscaping, along State Road 7. The parking lot setback/landscape buffer along Johnson Street ranges from 15 feet – 18 feet wide, while the majority of the parking lot setback/ landscape buffer area adjacent to State Road 7 ranges from 10 feet - 21 feet wide. The five (5) foot wide portion of the landscape buffer will be adjacent to a new bus shelter, which will blend into the wider portions of the landscape buffer on State Road 7 and create visual appeal. The new bus shelter design will only require approximately 3 feet of pavement for installation. This will provide and two (2) feet of deep which will most likely be grassed. Although the applicant cannot guarantee it, it is likely that the proposed 5 foot wide landscape buffer will actually have an additional 2 feet of grassed area adjacent to it and therefor appear to be a 7 foot wide buffer. The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. Additionally, the granting of the variance for the subject property will not affect the use or development of neighboring properties and will not hinder or discourage appropriate development and/or use of adjacent and nearby lands.*

- c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

Variances 1-3 (Parking, Drive aisle, and Parking Lot Setback) – *The requested variances are consistent with applicable Goals, Objectives and Policies.*

Policy 1.9: Coordinate with FDOT to expedite the widening project for the US 441/SR 7 to coincide with proposed impacts.

The requested variance is consistent with Policy 1.9. This variance request was previously submitted on behalf of the Florida Department of Transportation in an effort to resolve any site development issues that coincide with the road widening along State Road 7. The variances were granted on June 12, 2014 via Resolution No. 14-V-06.

Policy 1.21: Create a business development and retention program that provides incentives that encourage businesses to remain in the US 441/SR 7 Corridor.

The Florida Department of Transportation has been working diligently to minimize the impacts of the State Road 7 road widening project on business owners along that corridor. The variances that are being submitted to the City of Hollywood represent FDOT's commitment to retaining the businesses along the State Road 7 Corridor, thus, the requested variance is consistent with Policy 1.21.

Policy 1.24: Create an environment to protect the establishment and enhancement of small business along the US 441/SR 7 Corridor.

The requested variance is consistent with Policy 1.24, as it is FDOT's goal to protect small businesses along the State Road 7 Corridor by minimizing the impacts of the road widening project.

Policy 1.37: Establish policy guidelines and/or code requirements addressing the impacts of eminent domain relating to the US 441/SR7 Corridor.

The Florida Department of Transportation worked with the City of Hollywood in establishing an Eminent Domain Ordinance that addresses the acquisition impacts that occur as a result of the State Road 7 Corridor widening process. Thus, the requested variance is consistent with Policy 1.37.

d. That the need for the requested Variance is not economically based or self-imposed.

Variances 1, 2, & 3 (Parking, Drive aisle, & Parking Lot Setback) – *The need for the variance is a result of the Florida Department of Transportation right-of-way taking along State Road 7 and is not a direct result of an action by the property owner. Therefore, the variance is not economically based or self-imposed.*

e. That the Variance is necessary to comply with state or federal law and is the minimum Variance necessary to comply with the applicable law.

Variance # 1 (Parking) – *The requested variance is the minimum necessary to maintain the current business operations on the site, without causing further impact to the property owner by requiring additional site improvements be modified to accommodate the five (5) deficient required parking spaces. Thus, the need for the variance is the minimum necessary for the property owner to make reasonable use of the property.*

Variance # 2 (Drive aisle) – *The requested variance is the minimum necessary to maintain the existing buildings and provide the drive aisle and vehicular movement areas needed to maintain the existing*

Walgreens business. Thus, the need for the variance is the minimum variance necessary for the property owner to make reasonable use of the property.

Variance # 3 (Parking Lot Setback) – *The requested variance is the minimum necessary to maintain the existing buildings and provide the drive aisle and vehicular movement areas needed to maintain the existing Walgreens business. Thus, the need for the variance is the minimum variance necessary for the property owner to make reasonable use of the property.*

Based on the above and attached information, the Applicant respectfully requests approval of the proposed variances.



SUBJECT SITE FACING SOUTHEAST



SUBJECT SITE FACING EAST



SUBJECT SITE FACING SOUTH

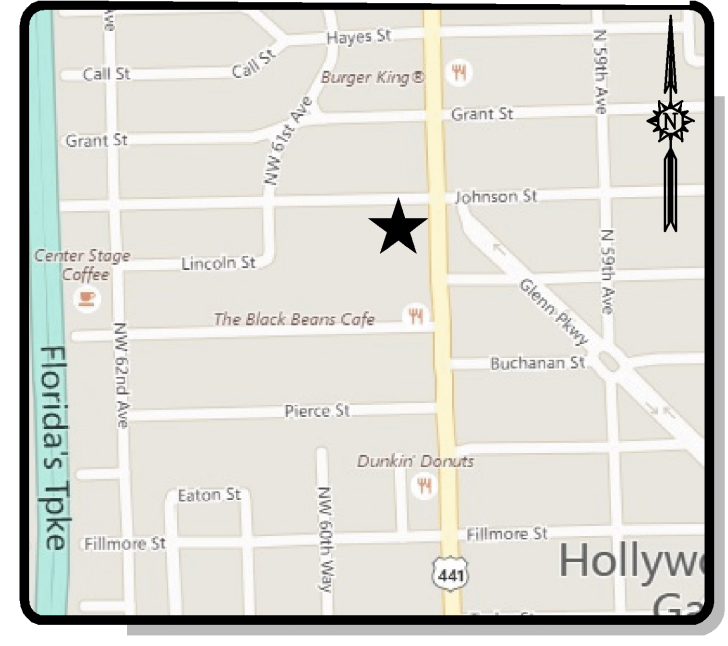
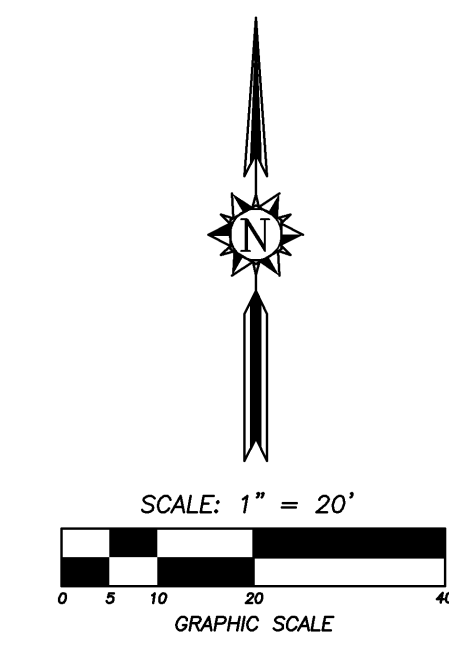
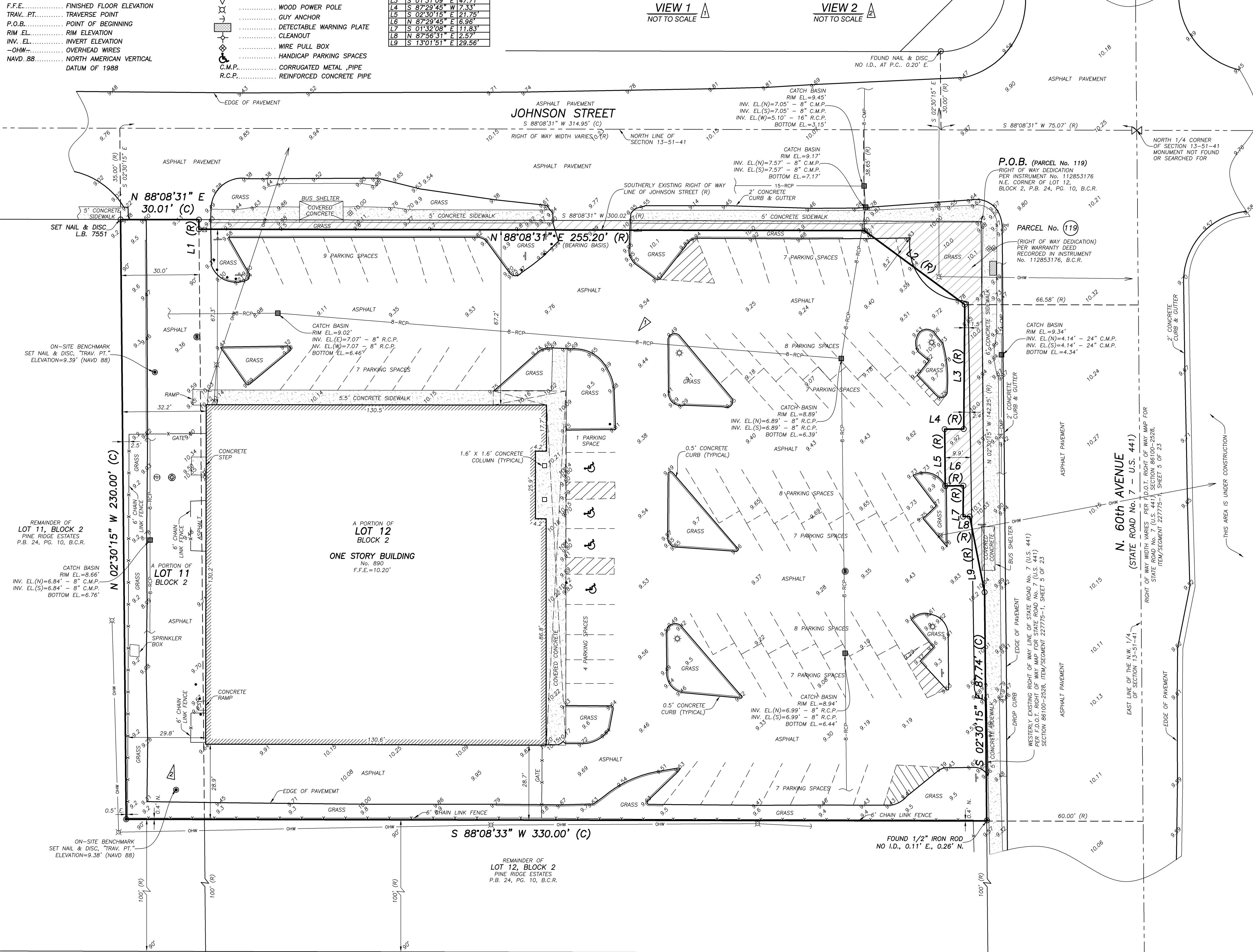
SKETCH OF BOUNDARY AND TOPOGRAPHIC SURVEY OF: 890 N. 60th AVENUE, HOLLYWOOD, FL.

LEGEND:
B.C.R. BROWARD COUNTY RECORDS
L.B. LICENSED BUSINESS
I.D. IDENTIFICATION
L1 LINE No. 1 (SEE LINE TABLE)
P.C. POINT OF CURVATURE
(P) DEVOTES INFORMATION BASED ON PLATS OF RECORD
(R) DEVOTES BEARING AND DISTANCE BASED ON RECORD INFORMATION
(C) CALCULATED
P.B. PLAT BOOK
PG. PAGE
F.F.E. FINISHED FLOOR ELEVATION
TRAV. PT. TRAVERSE POINT
P.O.B. POINT OF BEGINNING
RIM EL. RIM ELEVATION
INV. EL. INVERT ELEVATION
-OHW- OVERHEAD WIRES
NAVD. 88 NORTH AMERICAN VERTICAL DATUM OF 1988

LEGEND:
S SANITARY SEWER MANHOLE
M METAL/CONCRETE BOLLARD
W WATER METER
P METAL POWER POLE
V WATER VALVE
C CATCH BASIN
S SIGN
U UTILITY MANHOLE
G GAS MANHOLE
L METAL LIGHT POLE
E ELECTRICAL METER
W WOOD POWER POLE
A GUY ANCHOR
D DETECTABLE WARNING PLATE
C CLEANOUT
W WIRE PULL BOX
H HANDICAP PARKING SPACES
C.M.P. CORRUGATED METAL PIPE
R.C.P. REINFORCED CONCRETE PIPE

LEGEND:
VIEW 1
BREAK IN LINE SCALE
SET NAIL & DISC, L.B. 7551
UNLESS OTHERWISE SPECIFIED
SET 5/8" IRON ROD & CAP, L.B. 7551
UNLESS OTHERWISE SPECIFIED

LINE	BEARING	DISTANCE
L1	S 02°30'15" E	3.65'
L2	S 55°33'52" E	47.83'
L3	S 01°31'09" E	47.71'
L4	S 87°29'45" W	7.33'
L5	S 02°30'15" E	21.75'
L6	N 87°29'45" E	6.96'
L7	S 01°32'08" E	11.83'
L8	N 87°56'31" E	2.57'
L9	S 13°01'51" E	29.56'



LEGAL DESCRIPTION:
NOT TO SCALE
(PER WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 5588, PAGE 587, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.)
LOT 12, LESS THE SOUTH 100 FEET, IN BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
AND ALSO THE EAST 30 FEET OF LOT 11, LESS THE SOUTH 100 FEET, IN BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LESS PARCEL No. 119: (PER WARRANTY DEED RECORDED IN INSTRUMENT No. 112853176, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.)
A PORTION OF LOT 12, BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP OF STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 227751, SECTION 88100-2528 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE NORTHEAST CORNER OF SAID LOT 12, ALSO BEING THE POINT OF INTERSECTION OF THE WESTERLY EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD 7 (U.S. 441) AND THE SOUTHERLY EXISTING RIGHT OF WAY LINE OF JOHNSON STREET AS SHOWN ON SAID MAP;
THENCE SOUTH 88°08'31" WEST ALONG THE NORTH LINE OF SAID LOT 12 AND SAID SOUTHERLY EXISTING RIGHT OF WAY LINE OF JOHNSON STREET, A DISTANCE OF 300.02 FEET TO THE NORTHWEST CORNER OF SAID LOT 12;
THENCE SOUTH 02°30'15" EAST ALONG THE WEST LINE OF SAID LOT 12, A DISTANCE OF 3.65 FEET;
THENCE NORTH 88°08'31" EAST, A DISTANCE OF 255.20 FEET;
THENCE SOUTH 55°33'52" EAST, A DISTANCE OF 47.83 FEET;
THENCE SOUTH 01°31'09" EAST, A DISTANCE OF 47.71 FEET;
THENCE SOUTH 87°29'45" WEST, A DISTANCE OF 7.33 FEET;
THENCE NORTH 87°29'45" EAST, A DISTANCE OF 6.96 FEET;
THENCE SOUTH 01°32'08" EAST, A DISTANCE OF 11.83 FEET;
THENCE NORTH 87°56'31" EAST, A DISTANCE OF 2.57 FEET;
THENCE SOUTH 13°01'51" EAST, A DISTANCE OF 29.56 FEET TO A POINT ON SAID WESTERLY EXISTING RIGHT OF WAY LINE OF STATE ROAD 7 (U.S. 441) AND THE EAST LINE OF SAID LOT 12;
THENCE NORTH 02°30'15" WEST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE AND THE EAST LINE OF SAID LOT 12, A DISTANCE OF 142.25 FEET TO THE POINT OF BEGINNING.

SURVEY NOTES:
1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE BEARINGS SHOWN HEREON ARE BASED ON A RECORD BEARING OF N.88°08'31"E, ALONG THE SOUTHERLY EXISTING RIGHT OF WAY LINE OF JOHNSON STREET, AS SHOWN IN WARRANTY DEED RECORDED IN INSTRUMENT NO. 112853176, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
3. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME. THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
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6. THE PROPERTY SHOWN HEREON CONTAINS 1.68 ACRES (73,249 SQUARE FEET), MORE OR LESS.
7. TREES, HEDGES, IRRIGATION LINES, WELLS AND SPRINKLERS HEADS (IF ANY), NOT LOCATED OR SHOWN HEREON.
8. EXACTA COMMERCIAL SURVEYORS, INC., DID NOT SEARCH THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
9. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
10. THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE X AND FLOOD ZONE AH, ELEVATION=10' (NAVD 88)), AS SHOWN IN FLOOD INSURANCE RATE MAP NUMBER 12011C 0564 H, COMMUNITY NO. 125113, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA. MAP REVISED DATE: AUGUST 18, 2014.
11. THE ELEVATIONS SHOWN HEREON ARE BASED ON A NATIONAL GEODETIC SURVEY BENCHMARK "BC 22 BCED" AND REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE MARK IS A BRASS DISC SET ON A CONCRETE SIDEWALK AND IS LOCATED 1 FOOT NORTHEAST OF THE NORTHEAST CORNER OF A ONE STORY BROWARD COUNTY LIBRARY, 205 FEET WEST OF THE CENTERLINE OF U.S. HIGHWAY 441. ELEVATION=10.19'.

THIS SURVEY IS CERTIFIED TO:
ZAMORA & ASSOCIATES, INC.
CERTIFICATE:
THIS IS TO CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
JAVIER DE LA ROCHA
PROFESSIONAL SURVEYOR AND MAPPER NO. 6080
STATE OF FLORIDA
EXACTA COMMERCIAL SURVEYORS, INC. L.B. 7551
email: javier@exactacomm.com

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770
EXACTA
COMMERCIAL SURVEYORS, INC.
L.B. 7551
3460 FAIRLANE FARMS ROAD, SUITE 7, WELLINGTON, FL 33414

SEAL
NOT VALID UNLESS
SEALED HERE
WITH
AN EMBOSSED
SURVEYOR'S SEAL

SKETCH OF BOUNDARY
AND TOPOGRAPHIC SURVEY
A PORTION OF LOTS 11 & LOT 12
BLOCK 2
PINE RIDGE ESTATES
PLAT BOOK 24, PAGE 10, B.C.R.
890 N. 60th AVENUE, HOLLYWOOD, FL 33021

ZAMORA &
CLIENT: ASSOCIATES, INC.
DATE: 09/07/16
DRAWN BY: J.E.C.
CHK'D BY: JDLR
LAST FIELD DATE: 09/10/16

REVISIONS
JOB NO.
ECS1608-0012
SHEET NO.
01
OF
01

[illegible]**LEASE PROPERTY DESCRIPTION:**

TRACT 18, lies the South 1/4th Sec. 14; and the North 2 1/2 Sec. 15 of the East 1/4th 1/2 of Tract 14; Block 2, FINE RIDGE ESTATES, according to the Plat thereof as recorded in Plat Book 24, Page 10, of the Public Records of Duval County, Florida;

LESS and excepting from the above described, the South 2 1/2 Sec. 15 of the West 1/2 Sec. 14 thereof

FROM SS - JOHN SS BASICENT DESCRIPTION:

The South 24.50 feet of the West 177.78 feet of the splitting described lands; NE 1/4 12, 14 & 15, the South 100.00 feet; and the North 231.00 feet of the East 40.00 feet of Tract 33; Block 7, T40N, R40E, S20E, according to the plat thereof, as recorded in Plat Book 24, Page 10, of the Public Records of Crawford County, Florida.

FACILITIES PLANNING AND DESIGN
DR. VILHO RONG
603-645-0886

NEEDLEFELD R.
1983

PROJECT TYPE

DRIVER LICENSES OF
VOLUME

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☒ VALENTINE CONTRACTOR
☐ LINDQUIST CONTRACTOR (THIRTY EIGHT THOUSAND)

STORE	BUILDING
NEW..... ☐	NEW..... ☐
REMODELING... ☒	EXISTING... ☒
RELOCATION... ☐	NEW ENGL. BLDG ☐
OTHER..... ☐	

NO.	DATE	DESCRIPTION	AMOUNT
1	10/1/54	...	...
2	10/2/54	...	...
3	10/3/54	...	...
4	10/4/54	...	...
5	10/5/54	...	...
6	10/6/54	...	...
7	10/7/54	...	...
8	10/8/54	...	...
9	10/9/54	...	...
10	10/10/54	...	...
11	10/11/54	...	...
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31	10/31/54	...	...

415	416
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1994

WIRE UNIT

1. JAMES H. HENRY, JR., 1941-1942

DATE: 10/10/1997
PAGE: 10/10

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STATE OF FLORIDA
IN SENATE
JANUARY 11, 1966

AND SON.	FLORIAN LITHE: 48 GUNDS AND VILSON EL. ROCKS J. GUN, CALIF-190
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121 GREENSBORO AVE

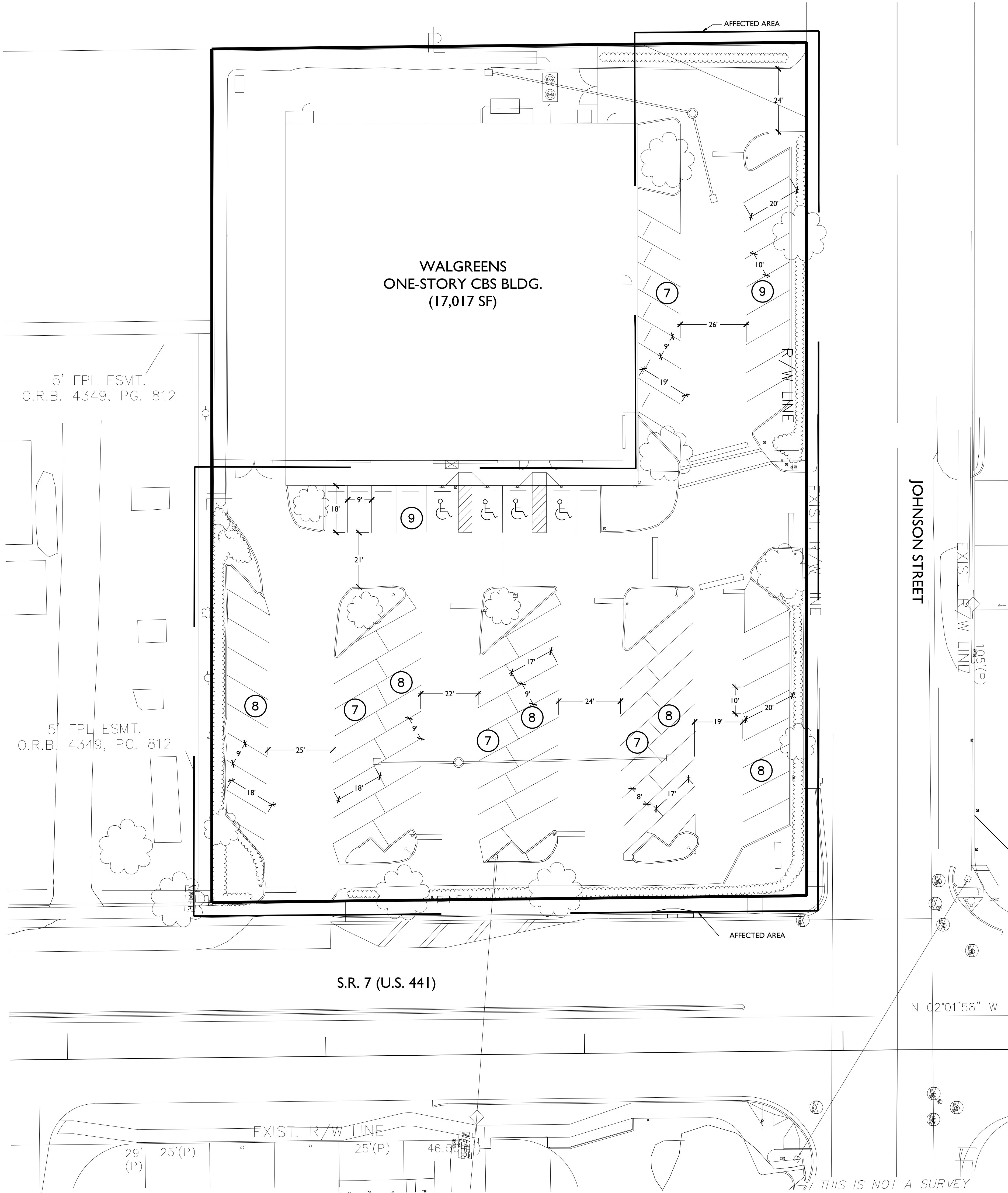
890 NORTH STATE ROAD 7

HOLLYWOOD, FLORIDA
MOVING TIME

SITE LOCATION PLAN

DATE: <u>3-10-57</u>	STATE NO. <u>1-10</u>	ISSUING NO. <u>1-10</u>
----------------------	-----------------------	-------------------------

Figure 1



5' FPL ESMT.
O.R.B. 4349, PG. 812

5' FPL ESMT.
O.R.B. 4349, PG. 812

S.R. 7 (U.S. 441)

EXIST. R/W LINE

29'
(P)

25'(P)

25'(P)

46.5'

THIS IS NOT A SURVEY

SITE DATA

NAME OF DEVELOPMENT	WALGREENS
SITE ADDRESS	890 N. STATE ROAD 7, HOLLYWOOD, FL 33020
EXISTING LAND USE DESIGNATION	T.O.C. (TRANSIT-ORIENTED CORRIDOR)
EXISTING ZONING DESIGNATION	C-4 / SR 7 CCD LOW HYBRID COMMERCIAL SUB-AREA
EXISTING USE	RETAIL
BROWARD COUNTY FOLIO NUMBER	5141-13-04-0110
TOTAL SITE AREA	±75,909 SF (1.74 AC.)
TOTAL BUILDING SQUARE FOOTAGE	17,017 S.F.
BUILDING HEIGHT	ONE STORY, EXISTING STRUCTURE
TOTAL PARKING REQUIRED (RETAIL - 1 SP. PER 250 S.F.)	68 SPACES
TOTAL PARKING EXISTING	86 SPACES

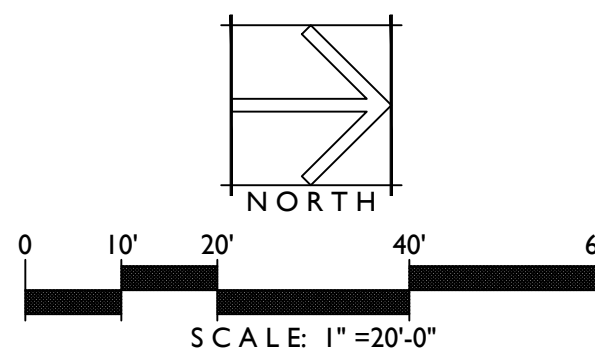
AMENDMENTS

ZONING STAMP

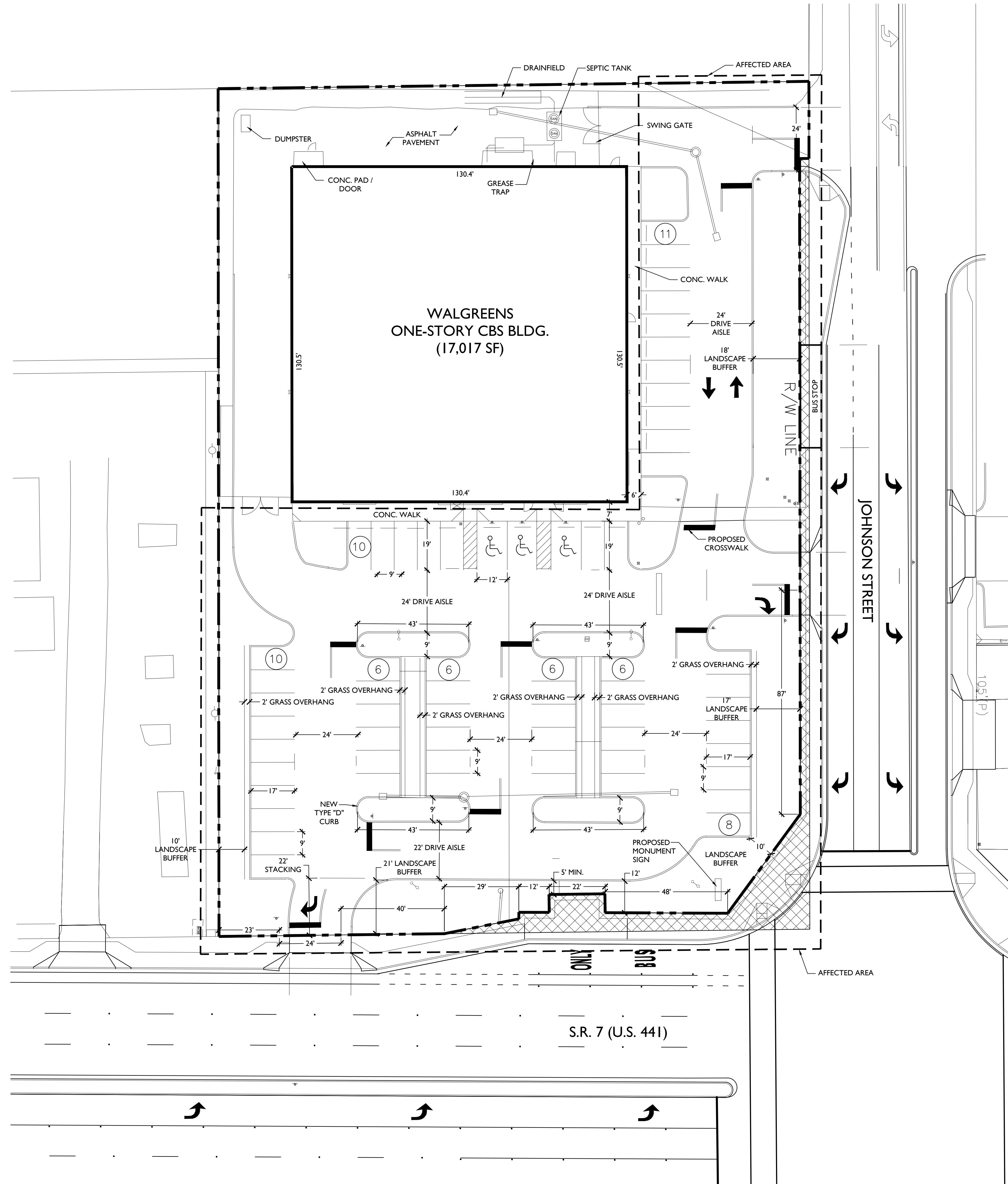
P-119 WALGREENS EXISTING CONDITIONS SKETCH CITY OF HOLLYWOOD, FLORIDA

REVISION DATES		
DATE	APPROVAL	NOTES
09/30/13	Initial Submittal	

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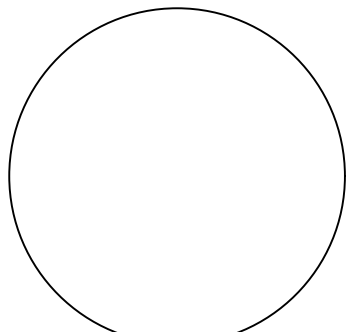


SITE DATA

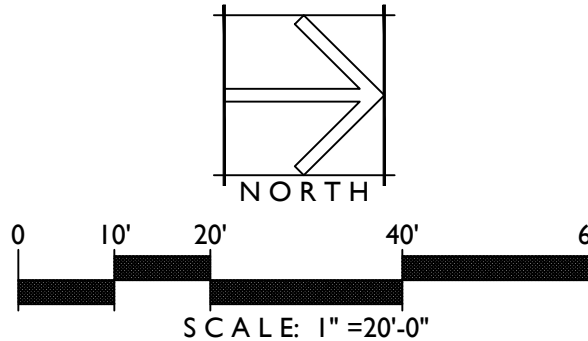
NAME OF DEVELOPMENT	WALGREENS
SITE ADDRESS	890 N. STATE ROAD 7, HOLLYWOOD, FL 33020
EXISTING LAND USE DESIGNATION	T.O.C. (TRANSIT-ORIENTED CORRIDOR)
EXISTING ZONING DESIGNATION	C-4 / SR 7 CCD LOW HYBRID COMMERCIAL SUB-AREA
EXISTING USE	RETAIL
BROWARD COUNTY FOLIO NUMBER	5141-13-04-0110
TOTAL SITE AREA	±73,260 SF (1.68 AC.)
TOTAL BUILDING SQUARE FOOTAGE	17,017 S.F.
BUILDING COVERAGE BUILDING HEIGHT	ONE STORY, EXISTING STRUCTURE
IMPERVIOUS SURFACE AREA	57,430 S.F. (78.4%)
PERVIOUS SURFACE AREA	15,830 S.F. (21.6%)
TOTAL PARKING REQUIRED (RETAIL - 1 SP. PER 250 S.F.)	68 SPACES
TOTAL PARKING PROVIDED	63 SPACES

P-119 WALGREENS
CURE PLAN
CITY OF HOLLYWOOD, FLORIDA

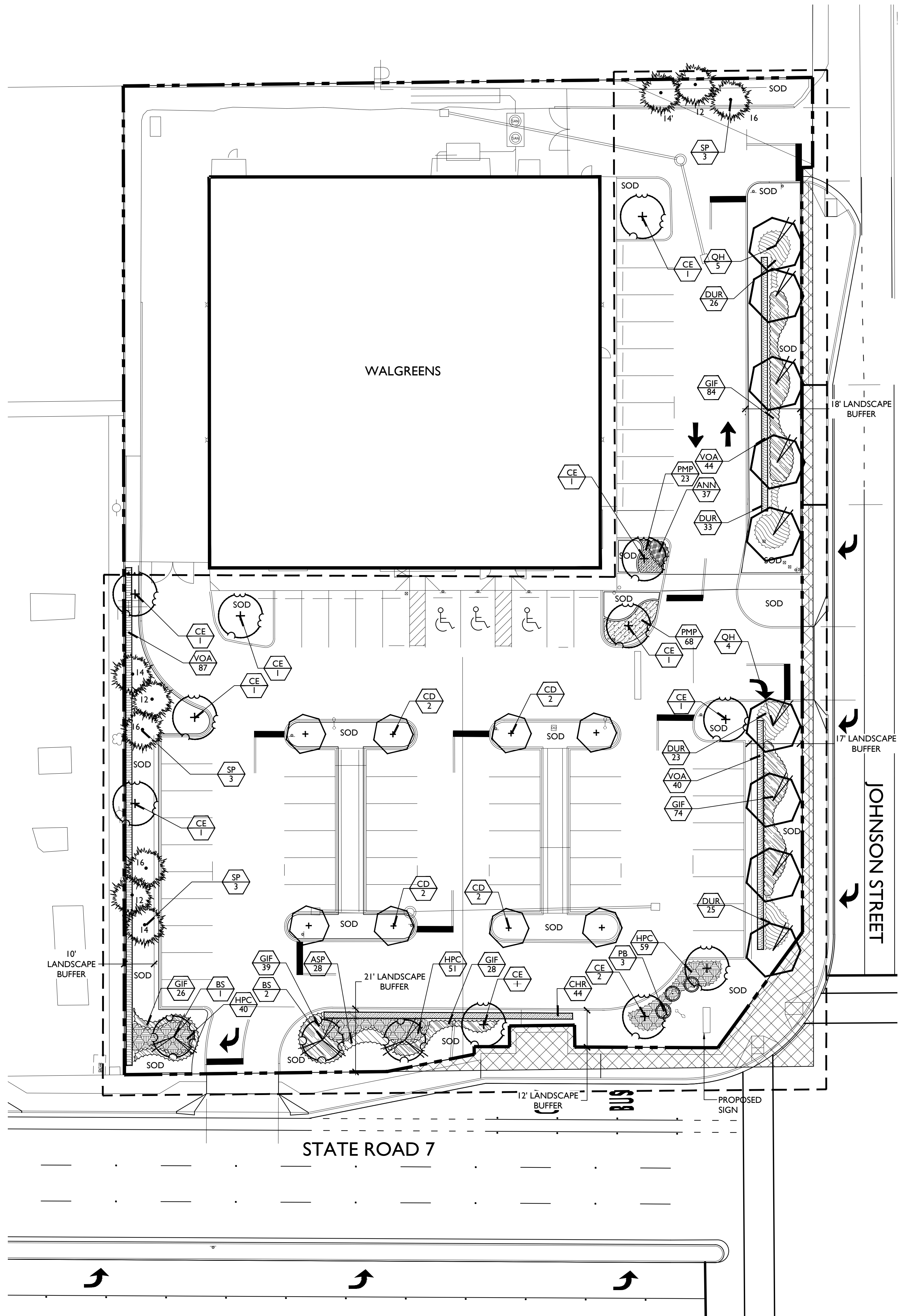
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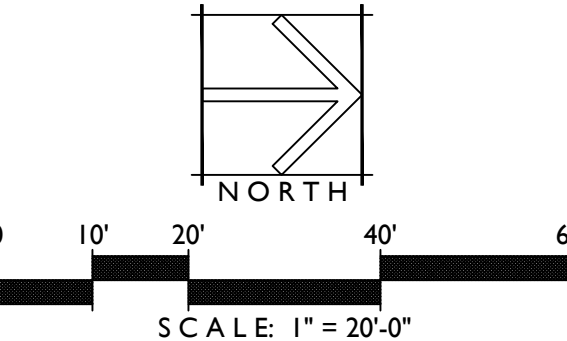
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
BS	3	BURSERIA SIMARUBA	GUMBO LIMBO	F.G.	3" CAL	12' HT. X 8' SPR., FULL CANOPY,
CD	8	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	B & B	2.5" CAL	12' HT., 6-8' SPR., FULL CANOPY, NATIVE
CE	11	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	F.G.	2.5" CAL	10' HT. X 5' SPR., FULL CANOPY
QH	9	QUERCUS VIRGINIANA 'HIGHRISE'	HIGHRISE LIVE OAK	F.G.	3" CAL	16' OA HT., 7' SPR., FULL CANOPY
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
SP	9	SABAL PALMETTO	CABBAGE PALMETTO	F.G.		STAGGERED HEIGHTS, SEE PLAN FOR HEIGHTS, FULL
ACCENTS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
PB	3	PLUMERIA PUDICA 'BRIDAL BOUQUET'	FRANGIPANI	CONTAINER	60" o.c.	5' HT. X 3' SPR., FULL
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
CHR	44	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL, HEDGE
DUR	107	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	3 GAL	24" o.c.	18" HT. X 18" SPRD., FULL
HPC	150	HAMELIA PATENS 'COMPACTA'	DWARF FIRE BUSH	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL
VOA	171	VIBURNUM ODORATISSIMUM 'AWABUKI'	AWABUKI VIBURNUM	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL, HEDGE
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
ANN	37	ANNUALS	SEASONAL COLOR	4" POT	12" o.c.	WINTER: IMPATIENS (NOV.-APR.), SUMMER: CALADIUM (APR.-NOV.)
ASP	28	ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN	1 GAL	18" o.c.	12" HT. X 12" SPR., FULL
GIF	251	FICUS MICROCARPA	GREEN ISLAND FICUS	3 GAL	24" o.c.	12" HT. X 18" SPR., FULL
PMP	91	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	1 GAL	18" o.c.	12" HT. X 12" SPR., FULL



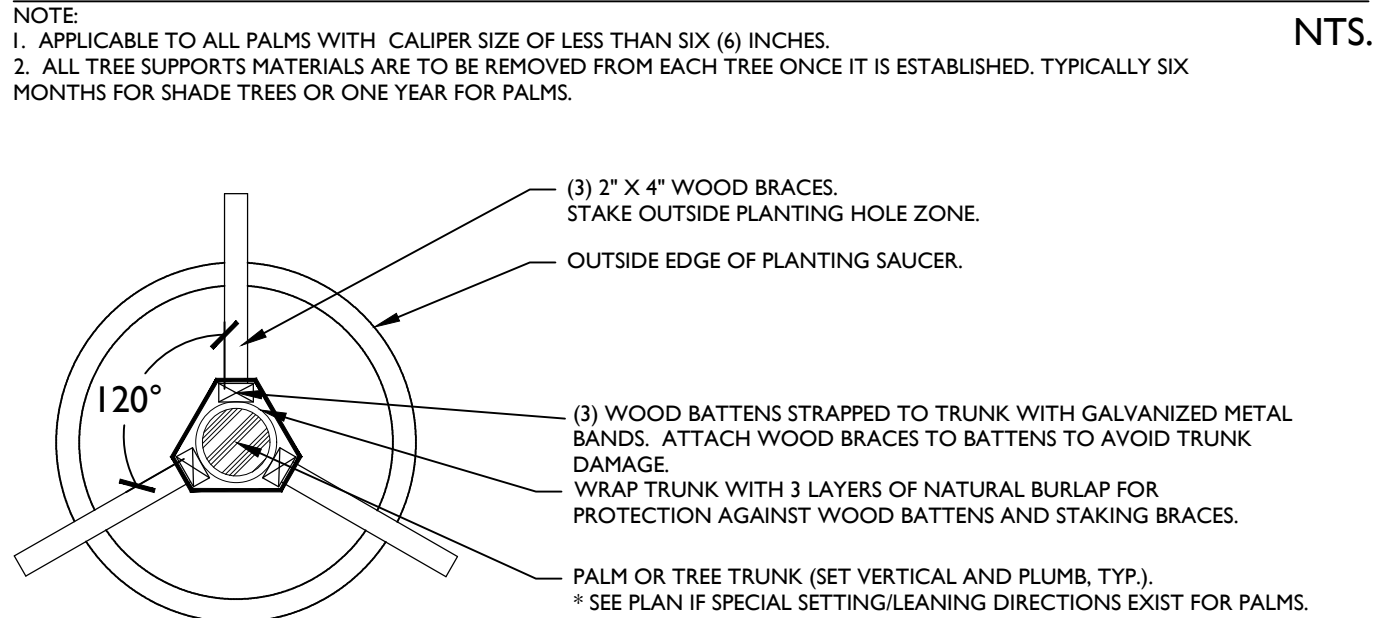
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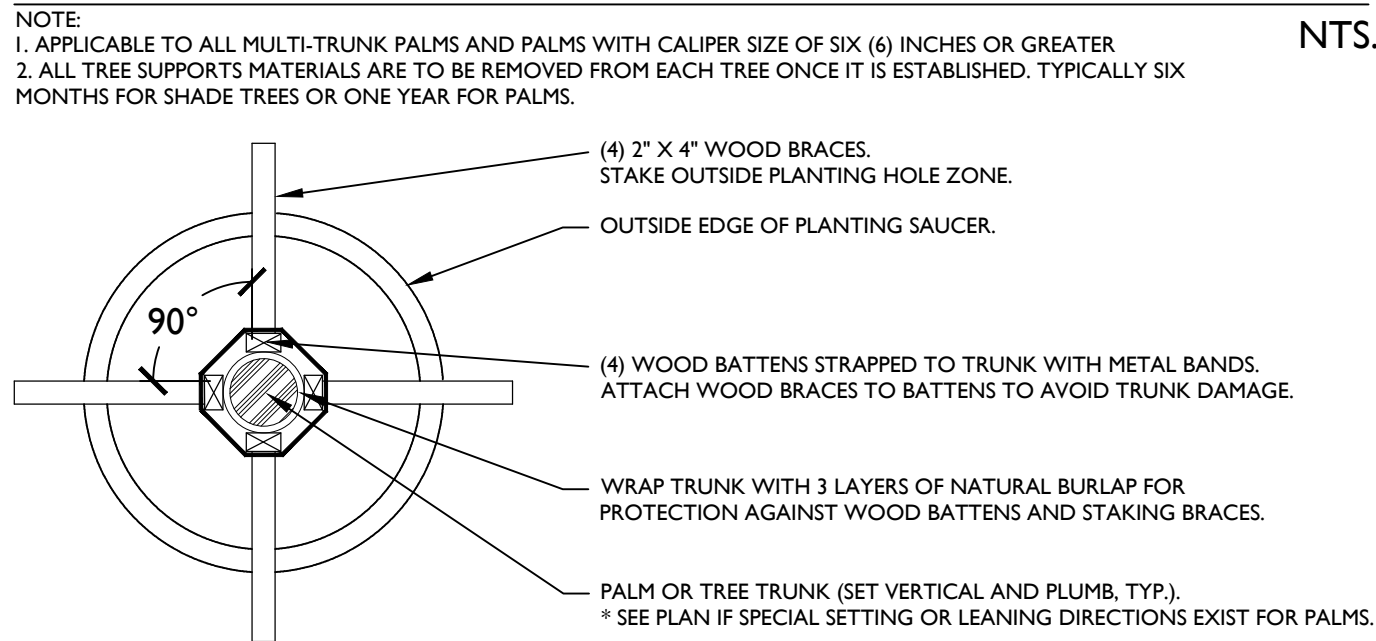


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FILE #: 1072.8

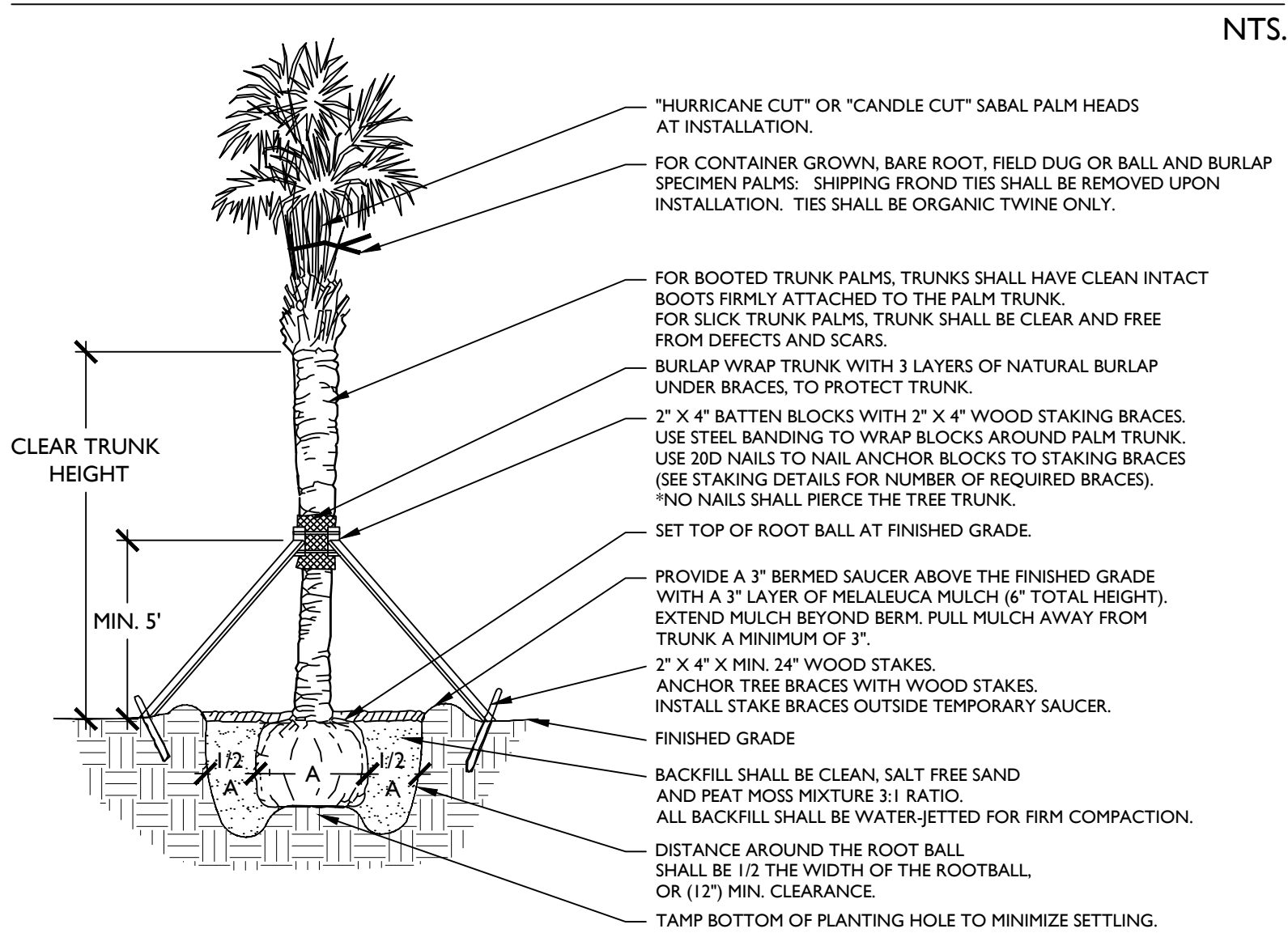
SMALL PALM STAKING PLAN



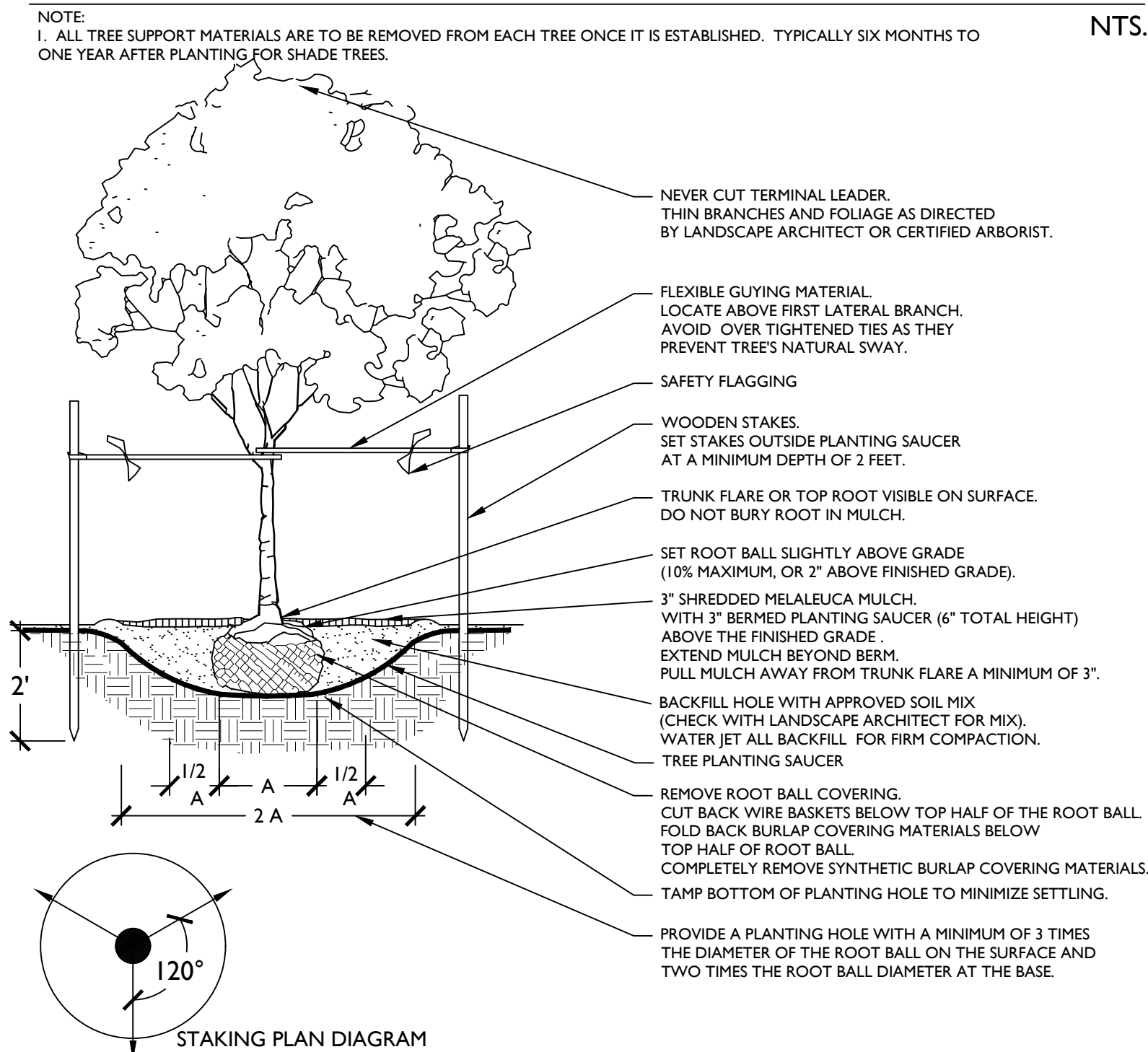
LARGE PALM OR TREE STAKING PLAN



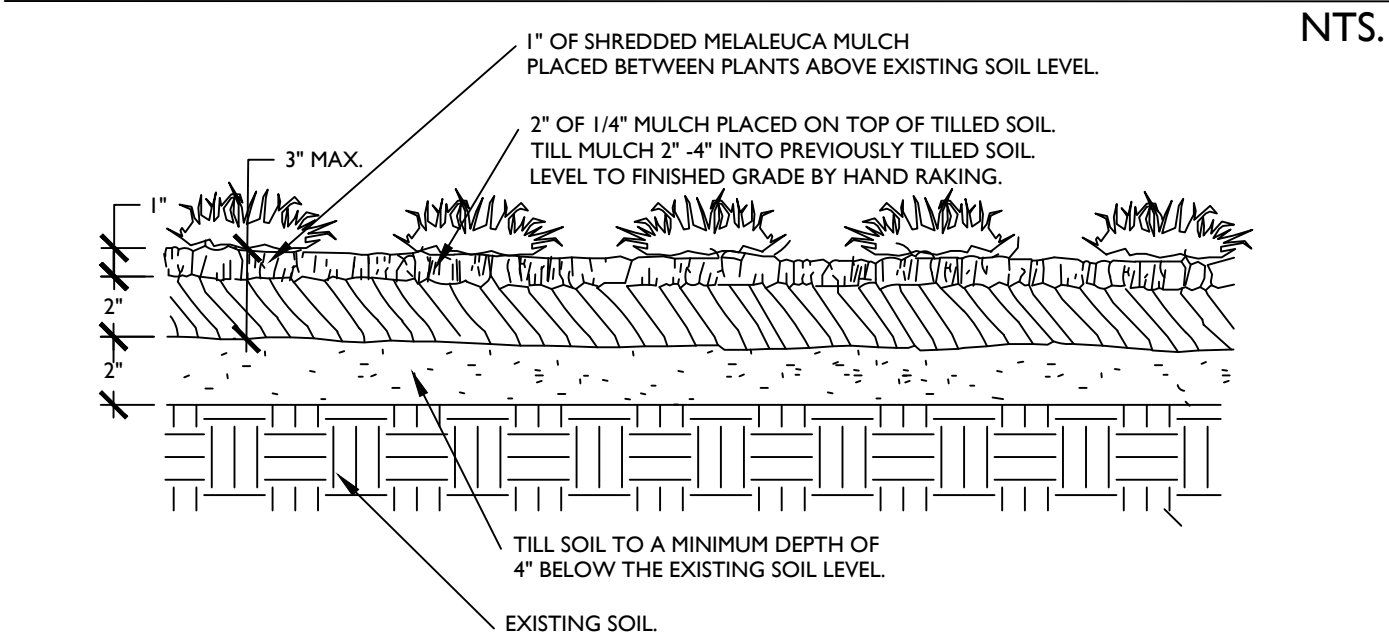
PALM PLANTING DETAIL



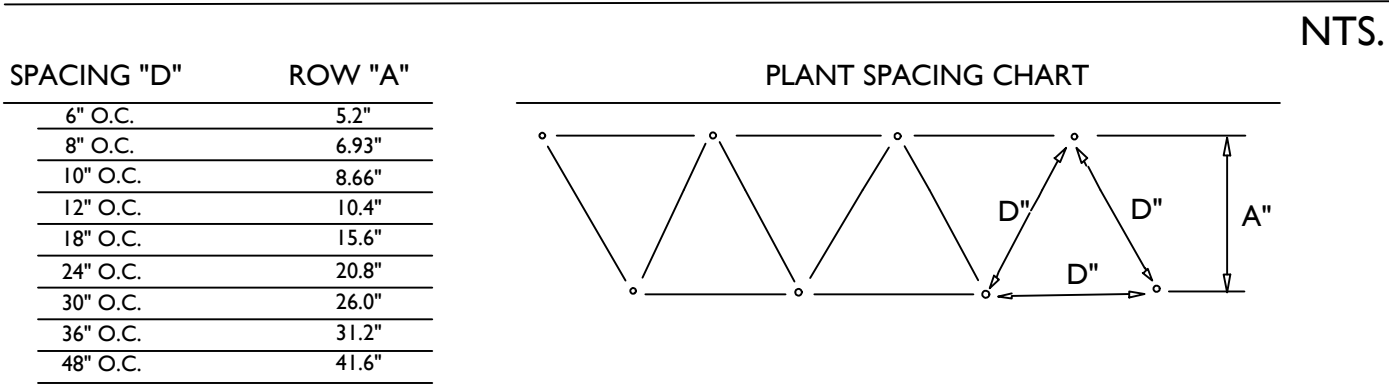
TREE PLANTING DETAIL



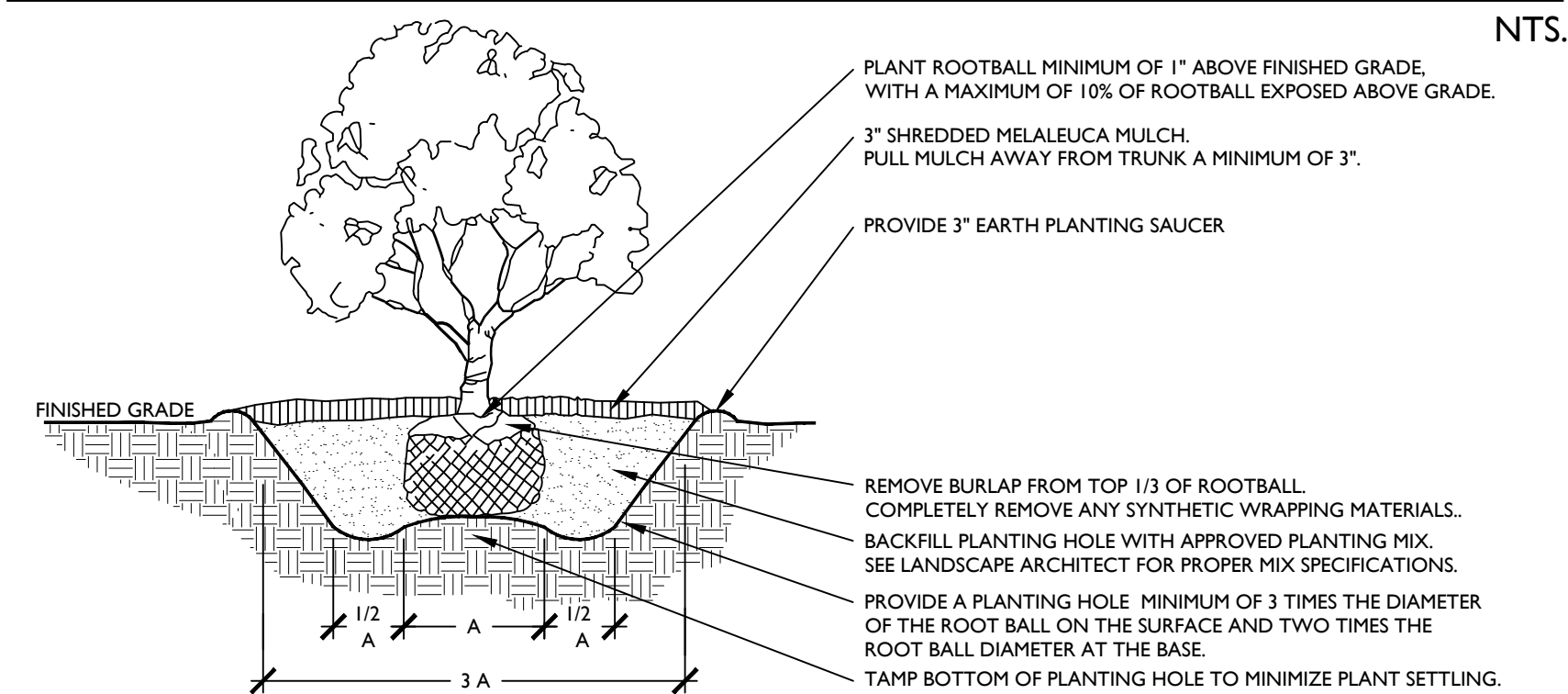
GROUNDCOVER DETAIL



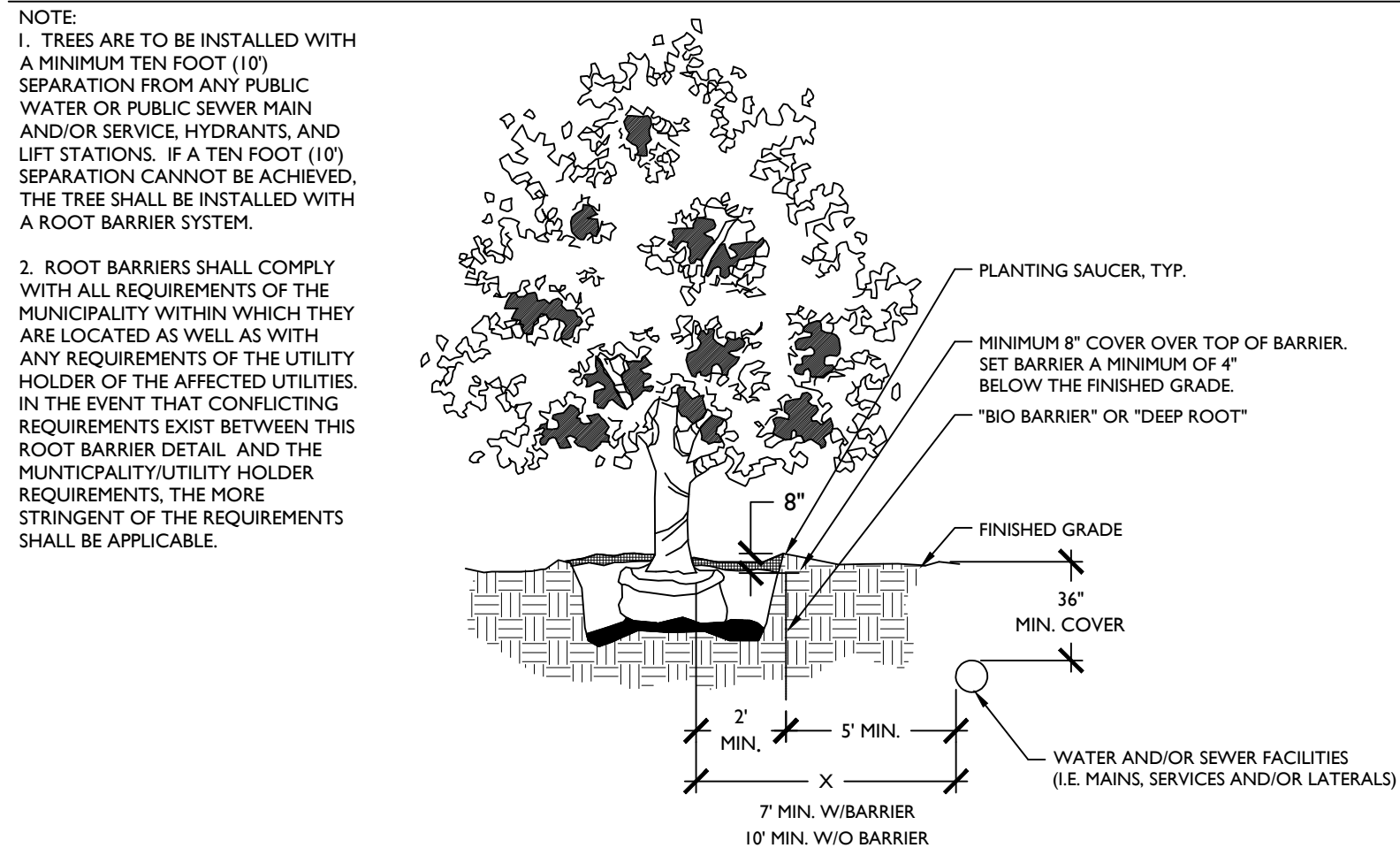
PLANT SPACING DETAIL



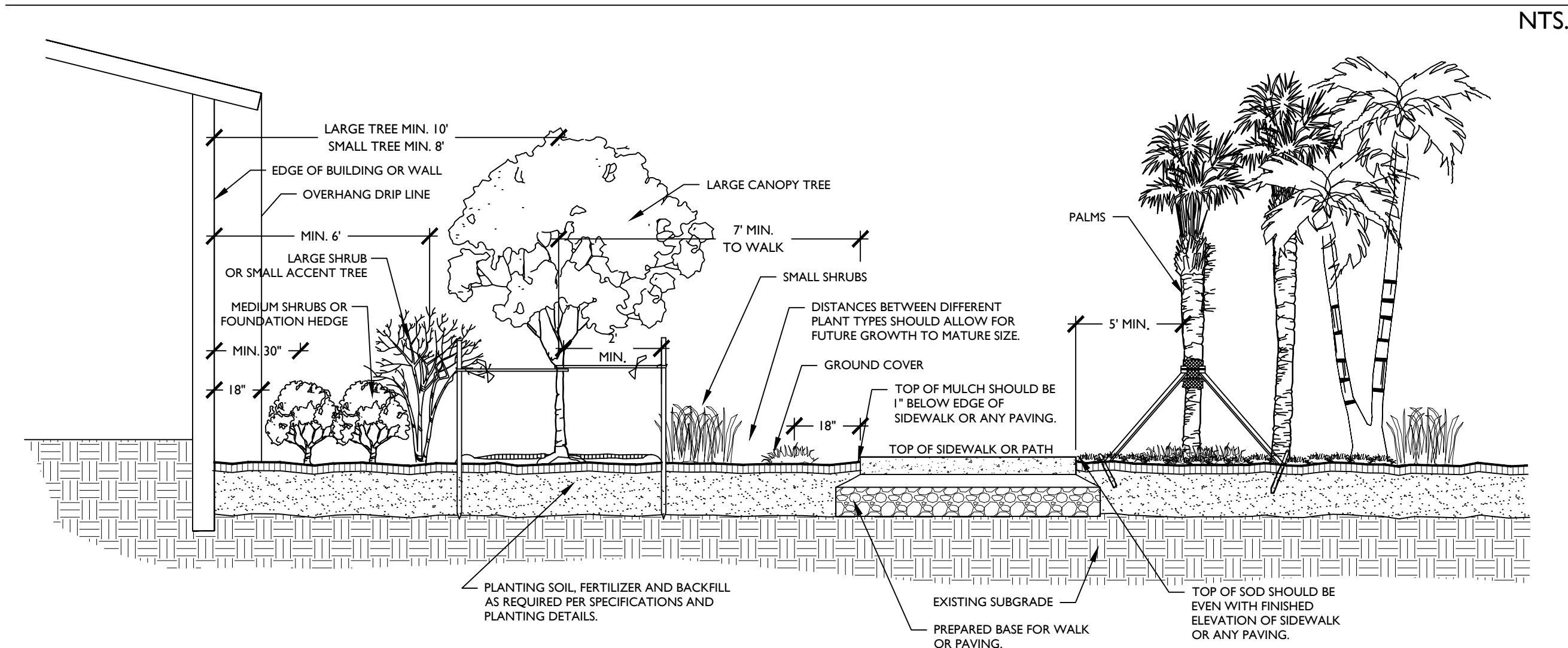
SHRUB PLANTING DETAIL



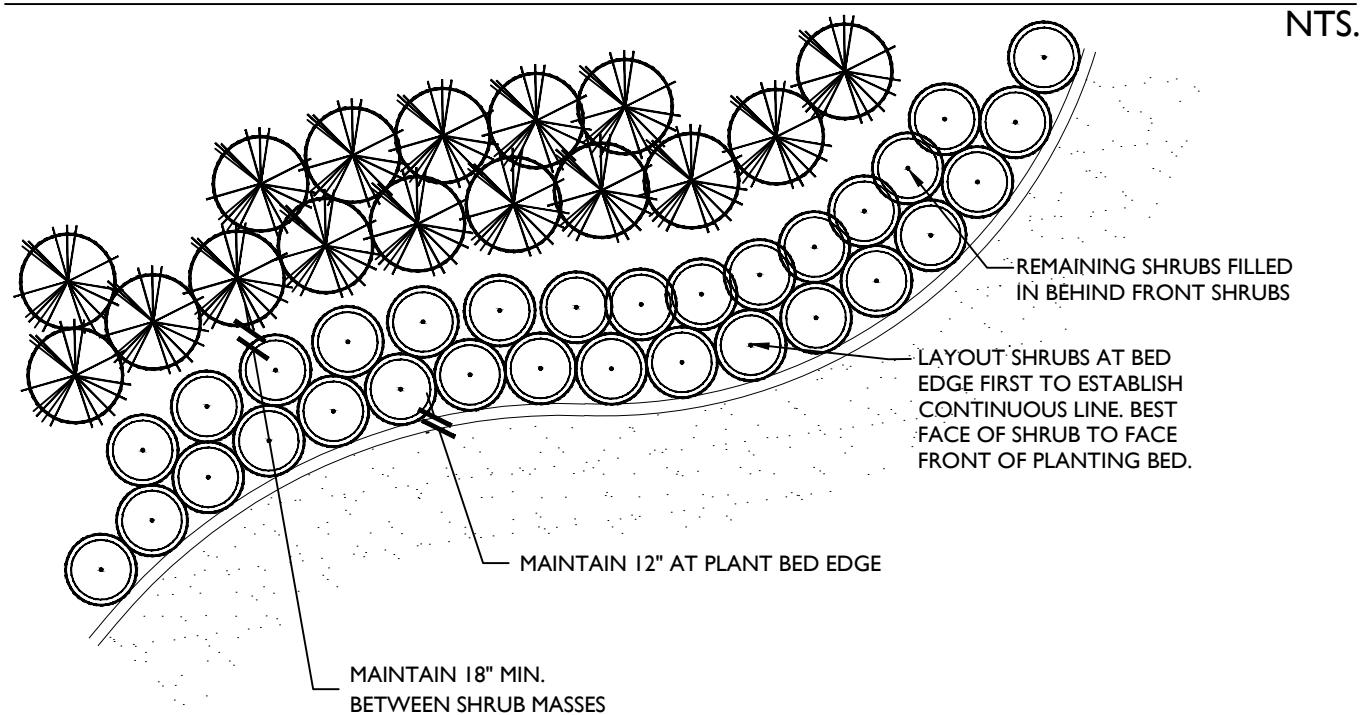
ROOT BARRIER DETAIL



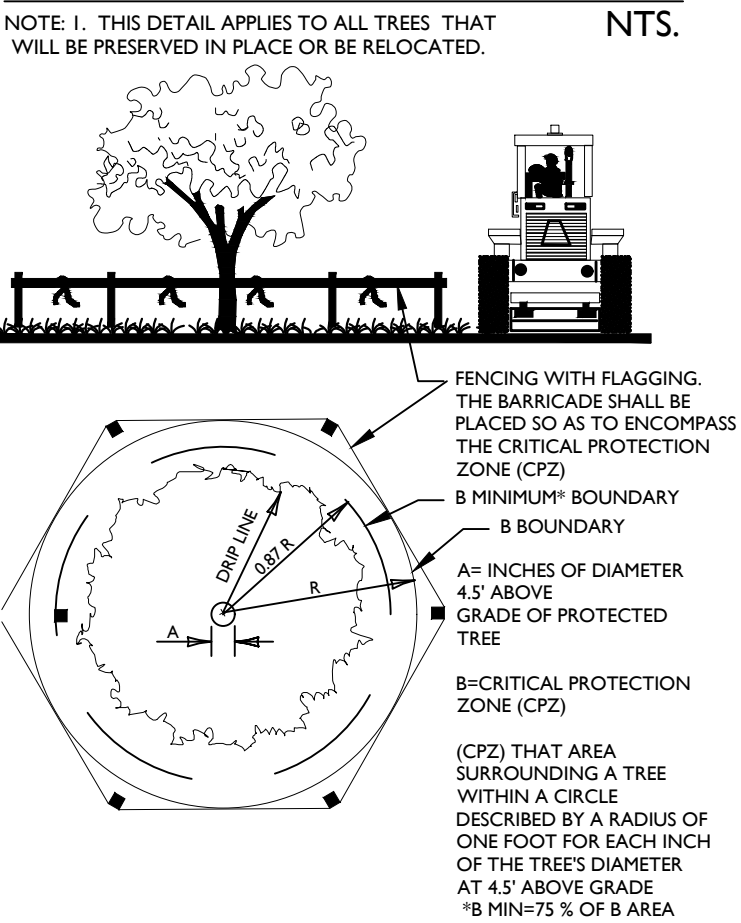
TYPICAL PLANTING DIAGRAM



SHRUB AND GROUNDCOVER PLANTING DETAIL



TREE PROTECTION DETAIL



LANDSCAPE NOTES:

1. STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
2. CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
3. TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
4. ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
5. ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
6. IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP. AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
7. ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHTS' (FPLS) RIGHT TREE RIGHT PLACE GUIDELINES.
8. IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
9. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
10. REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
11. RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.

P-I 19 WALGREENS
LANDSCAPE PLAN
CITY OF HOLLYWOOD, FLORIDA

REVISION DATES		
DATE	APPROVAL	NOTES
09/30/13		Initial Submittal

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DRAWN BY: LHT
DRAWING #: 2016-11-22_P-I19_Walgreens_LP.dwg
FILE #: 1072.8

REVISION DATES		
DATE	APPROVAL	NOTES

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DRAWN BY:	SA / AMM
DRAWING #:	2016-11-22, P-I19-Walgreens_LP.dwg
FILE #:	1072.8

- I. Description of Work
- A. Provide all exterior planting as shown on the drawings or inferable therefrom and/or as specified in accordance with the requirements of the Contract Documents. Landscape plans provided indicate the proposed location of living plant material only. Structural elements and hardscape features indicated on the landscape plans are for information purposes only. Landscape plans are not to be utilized for staking and layout or location of any structural site features including but not limited to, buildings, signage, pathways, easements, utilities or roadways.
- B. These specifications include standards necessary for and incidental to the execution and completion of planting as indicated on the prepared drawings and specified herein. C. All applicable federal, state and local permits shall be obtained prior to the removal, relocation, or installation of plant materials indicated within the plan documents.
- D. Protection of existing features. During construction, protect all existing trees, shrubs, and other specified vegetation, site features and improvements, structures, and utilities specified herein and/or on submitted drawings. Removal or destruction of existing plantings is prohibited unless specifically authorized by the owner, and with permit as required by associated federal, state and local government agencies.
- II. Applicable Standards
- A. American National Standards for Tree Care Operations, ANSI A300. American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036.
- B. American Standard for Nursery Stock, ANSI Z60.1. American Nursery and Landscape Association, 1250 Eye Street, NW, Suite 500, Washington, D.C. 20005.
- C. Hortus Third, The Staff of the L.H. Bailey Hortorum, 1978. Macmillan Publishing Co., New York.
- D. Florida Department of Agriculture "Grades and Standards for Nursery Plants", most recent addition.
- E. National Arborist Association: Pruning Standards for Shade Trees
- F. All standards shall include the latest additions and amendments as of the date of advertisement for bids
- III. Qualifications
- A. Landscape planting and related work shall be performed by a firm with a minimum of five years experience specializing in this type of work. All contractors and their sub-contractors who will be performing any landscape work included in this section of the specification shall be approved by the landscape architect.
- B. Landscape Contractor shall be licensed and shall carry any necessary insurance and shall protect the Landscape Architect and Owner against all liabilities, claims or demands for injuries or damage to any person or property growing out of the performance of the work under this contract. All workers shall be covered by Workman's Compensation Insurance.
- IV. Requirements of Regulatory Agencies
- A. Certificates of inspection shall accompany the invoice for each shipment of plants as may be required by law for transportation. File certificates with the landscape architect prior to acceptance of the material. Inspection by federal or state authorities at place of growth does not preclude rejection of the plants at the site.
- V. Submittals
- A. Manufacturer's Data: Submit copies of the manufacturer's and/or source data for all materials specified, including soils, soil amendments and fertilizer materials. Comply with regulations applicable to landscape materials.
- B. Samples: Submit samples of all topsoil, soil mixes, mulches, and organic materials. Samples shall weigh 1 kg (2 lb) and be packaged in plastic bags. Samples shall be typical of the lot of material to be delivered to the site and provide an accurate indication of color, texture, and organic makeup of the material.
- C. Nursery Sources: Submit a list of all nurseries that will supply plants, along with a list of the plants they will provide and the location of the nursery.
- D. Soil Test: Submit soil test analysis report for each sample of topsoil and planting mix from a soil testing laboratory approved by the landscape architect.
1. Provide a particle size analysis, including the following gradient of mineral content:
- | USDA Designation | Size in mm |
|------------------|--------------------|
| Gravel | +2 mm |
| Very Coarse Sand | 1-2 mm |
| Coarse Sand | 0.5-1 mm |
| Medium Sand | 0.25-0.5 mm |
| Fine Sand | 0.1-0.25 mm |
| Very fine sand | 0.05-0.1 mm |
| Silt | 0.002-0.05 mm |
| Clay | smaller than 0.002 |
2. Provide a chemical analysis, including the following:
- a. pH and buffer pH
- b. Percentage of organic content by oven-dried weight.
- c. Nutrient levels by parts per million, including phosphorus, potassium, magnesium, manganese, iron, zinc, and calcium. Nutrient test shall include the testing laboratory recommendations for supplemental additions to the soil based on the requirements of horticultural plants.
- d. Soluble salt by electrical conductivity of a 1:2, soil: water, sample measured in millimho per cm.
- e. Cation exchange capacity (CEC).
- E. Material Testing: Submit the manufacturers particle size analysis, and the pH analysis and provide a description and source for the content material of all organic materials.
- F. Maintenance Instructions: Prior to the end of maintenance period, Landscape Contractor shall furnish three copies of written maintenance instructions to the Landscape Architect for transmittal to the Owner for maintenance and care of installed plants through their full growing season.
- VI. Utility Verification
- A. The contractor shall contact the local utility companies for verification of the location of all underground utility lines in the area of the work. The contractor shall be responsible for all damage resulting from neglect or failure to comply with this requirement.
- Part 2. Materials**
- I. Plants
- A. Plants shall be true to species and variety specified and nursery-grown in accordance with good horticultural practices under climatic conditions similar to those in the locality of the project for at least two years. They shall have been freshly dug.
1. All plant names and descriptions shall be as defined in Hortus Third.
2. All plants shall be grown and harvested in accordance with the American Standard for Nursery Stock and Florida Department of Agriculture Grades and Standards for Nursery Plants.
3. Unless approved by the landscape architect, plants shall have been grown at a latitude not more than 325 km (200 miles) north or south of the latitude of the project unless the provenance of the plant can be documented to be compatible with the latitude and cold hardness zone of the planting location.
- B. Unless specifically noted, all plants shall be exceptionally heavy, symmetrical, and so trained or favored in development and appearance as to be unquestionably and outstandingly superior in form, compactness, and symmetry. They shall be sound, healthy, vigorous, well branched, and densely foliated when in leaf, free of disease and insects, eggs, or larvae; and shall have healthy, well-developed root systems. They shall be free from physical damage or other conditions that would prevent vigorous growth.
1. Trees with multiple leaders, unless specified, will be rejected. Trees with a damaged or crooked leader, bark abrasions, sunscald, disfiguring knots, insect damage, or cuts of limbs over 20 mm (3/4 in.) in diameter that are not completely closed will be rejected.
- C. Plants shall conform to the measurements specified, except that plants larger than those specified may be used if approved by the landscape architect. Use of larger plants shall not increase the contract price. If larger plants are approved, the root ball shall be increased in proportion to the size of the plant.
1. Caliper measurements shall be taken on the trunk 150 mm (6 in.) above the natural ground line for trees up to and including 100 mm (4 in.) in caliper, and 300 mm (12 in.) above the natural ground line for trees over 100 mm (4 in.) in caliper. Height and spread dimensions specified refer to the main body of the plant and not from branch tip to branch tip. Plants shall be measured when branches are in their normal position. If a range of sizes is given, no plant shall be less than the minimum size, and no less than 50 percent of the plants shall be as large as the maximum size specified. Measurements specified are minimum sizes acceptable after pruning, where pruning is required. Plants that meet measurements but do not possess a standard relationship between height and spread, according to the Florida Department of Agriculture Grades and Standards for Nursery Plants, shall be rejected.
- D. Substitutions of plant materials will not be permitted unless authorized in writing by the landscape architect. If proof is submitted in writing that a plant specified is not obtainable, consideration will be given to the nearest available size or similar variety, with a corresponding adjustment of the contract price.
- E. The plant schedule provided at the end of this section, or on the drawing, is for the contractor's information only, and no guarantee is expressed or implied that quantities therein are correct or that the list is complete. The contractor shall ensure that all plant materials shown on the drawings are included in his or her bid.
- F. All plants shall be labeled by plant name. Labels shall be attached securely to all plants, bundles, and containers of plant materials when delivered. Plant labels shall be durable and legible, with information given in weather-resistant ink or embossed process lettering.
- G. Selection and Tagging
1. Plants shall be subject to inspection for conformity to specification requirements and approval by the landscape architect at their place of growth and upon delivery. Such approval shall not impair the right of inspection and rejection during progress of the work.
2. A written request for the inspection of plant material at their place of growth shall be submitted to the landscape architect at least ten calendar days prior to digging. This request shall state the place of growth and the quantity of plants to be inspected. The landscape architect may refuse inspection at this time if, in his or her judgment, sufficient quantities of plants are not available for inspection or landscape architect deems inspection is not required.
3. All field grown deciduous trees shall be marked to indicate the trees north orientation in the nursery. Place a 1-in. diameter spot of white paint onto the north side of the tree trunk within the bottom 12 inches of the trunk.
- H. Anti-Desiccants
1. Anti-desiccants, if specified, are to be applied to plants in full leaf immediately before digging or as required by the landscape architect. Anti-desiccants are to be sprayed so that all leaves and branches are covered with a continuous protective film.
- I. Balled and Burlapped (B&B) Plant Materials
1. Trees designated B&B shall be properly dug with firm, natural balls of soil retaining as many fibrous roots as possible, in sizes and shapes as specified in the Florida Department of Agriculture Grades and Standards for Nursery Plants. Balls shall be firmly wrapped with synthetic, natural, or treated burlap, and/or wire. All synthetic fabric should be removed from the rootball prior to planting. True biodegradable burlap can be left around the root ball. The root collar shall be apparent at surface of ball. Trees with loose, broken, processed, or manufactured root balls will not be accepted, except with special written approval before planting.
- J. Container Plants
1. Plants grown in containers shall be of appropriate size for the container as specified in the most recent edition of the Florida Department of Agriculture Grades and Standards for Nursery Plants and be free of circling roots on the exterior and interior of the root ball.
2. Container plants shall have been grown in the container long enough to have established roots throughout the growing medium.
- K. Bareroot and Collected Plants
1. Plants designated as bareroot or collected plants shall conform to the American Standard for Nursery Stock.
2. Bareroot material shall not be dug or installed after bud break or before dormancy.
3. Collected plant material that has not been taken from active nursery operations shall be dug with a wet soil spread at least 1/3 greater than nursery grown plants. When specified or approved, shall be in good health, free from disease, insect or weed infestation and shall not be planted before inspection and acceptance at the site. Testing may be required at the discretion of the Landscape Architect and/or the Owner and shall be provided at no additional cost.
- L. Specimen Material: Plant material specified as specimens are to be approved by the Landscape Architect before being brought to the site. Unless otherwise noted on the drawings, these plants shall be Florida Fancy.
- M. Palms
1. Coconut Palms shall be grown from a certified seed.
2. All palm species except Sabal palmetto shall have roots adequately wrapped before transporting.
3. Sabal palms shall have a hurricane cut. Sabal palms shall be installed on site at the earliest opportunity in the construction process. All Sabal palms shall be from Palm Beach County or other sandy soils. All Sabal palms shall be Florida Fancy.
4. For booted trunk palms, trunks shall have clean intact boots firmly attached to the palm trunk. For slick trunk palms, trunk shall be clear and free from defect and scars.
5. The Contractor shall treat all palms as required to prevent infestation by the palmetto weevil.
- N. Sod
1. Sod shall be graded #1 or better. Sod shall be loam or muck grown with a firm, full texture and good root development. Sod shall be thick, healthy and free from defects and debris including but not limited to dead thatch, insects, fungus, diseases and contamination by weeds, other grass varieties or objectionable plant material.
2. Sod shall be sufficiently thick to insure a dense stand of live grass. Sod shall be live, fresh, and uninjured at the time of planting. Plant sod within 48 hours after harvesting.
3. Sod area shall be all areas not otherwise identified and shall include the area beyond the property line to the edge of pavement and/or edge of water.
- O. Immediately after harvesting plants, protect from drying and damage until shipped and delivered to the planting site. Rootballs shall be checked regularly and watered sufficiently to maintain root viability.
- P. Transportation and Storage of Plant Material
1. Branches shall be tied with rope or twine only, and in such a manner that no damage will occur to the bark or branches.
2. During transportation of plant material, the contractor shall exercise care to prevent injury and drying out of the trees. Should the roots be dried out, large branches broken, balls of earth broken or loosened, or areas of bark torn, the landscape architect may reject the injured tree(s) and order them replaced at no additional cost to the owner. All loads of plants shall be covered at all times with tarpaulin or canvas. Loads that are not protected will be rejected.
3. All bareroot stock sent from the storage facility shall be adequately covered with wet soil, sawdust, woodchips, moss, peat, straw, hay, or other acceptable moisture-holding medium, and shall be covered with a tarpaulin or canvas. Loads that are not protected in the above manner may be rejected.
4. Plants must be protected at all times from sun or drying winds. Those that cannot be planted immediately on delivery shall be kept in the shade, well protected with soil, wet mulch, or other acceptable material, and kept well watered. Plants shall not remain unplanted any longer than three days after delivery. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be lifted and handled with suitable support of the soil ball to avoid damaging it.

- Q. Mechanized Tree Spade Requirements
- Trees may be moved and planted with an approved mechanical tree spade. The tree spade shall move trees limited to the maximum size allowed for a similar B&B root-ball diameter according to the American Standard for Nursery Stock or the manufacturer's maximum size recommendation for the tree spade being used, whichever is smaller. The machine shall be approved by the landscape architect prior to use. Trees shall be planted at the designated locations in the manner shown in the plans and in accordance with applicable sections of the specifications.
- II. Materials for Planting
- A. Mulch: Except as otherwise specified, mulch shall be shredded Melaleuca mulch - grade "A". All Melaleuca mulch shall be made entirely from the wood and bark of the Melaleuca quinquinervia tree. It shall not contain more than 10% bark (by volume). Shreds and chips shall not be larger the 3/4" diameter and 1 1/2" in length. Mulch shall be free of weeds, seeds, and any other organic or inorganic material other than Melaleuca wood and bark. It shall not contain stones or other foreign material that will prevent its effective decay. This shall be applied to all planted areas where indicated so that, after installation, the mulch thickness will not be less than 3". Submit sample for approval.
- B. Peat: Shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition free from lumps.
- C. Gravel Mulch: Use only where specifically indicated on the plans of the size and type shown. Unless otherwise specified it shall be water-worn, hard durable gravel, washed free of loam, sand, clay and other foreign substances. It shall be a minimum of 3" deep and shall be contained with edging or other approved gravel stop as indicated on the plans. It shall be a maximum of 1 1/2", a minimum of 3/4" and of a readily-available natural gravel color range. Provide geotextile filter fabric below aggregate rock.
- D. Submit sample for approval.
- E. Root Barrier: Where specified, root barriers shall be installed on all tree and palm material in accordance with the root barrier detail provided within the plan drawings. Root barriers shall comply with all requirements of the municipality within which they are located as well as with any utility holder requirements of any affected utilities. In the event that conflicting requirements exist between the root barrier detail provided within the plan documents and the municipality/utility holder requirements, the more stringent of the requirements shall be applicable.
- F. Planter Edging: Use only where specifically indicated on plans. Edging shall be the color black.
- F. Anti-desiccant: shall be an emulsion specifically manufactured for agricultural use, which provides a protective film over plant surfaces. Anti-desiccants shall be delivered in containers of the manufacturer and shall be mixed according to the manufacturer's directions. Submit manufacturer literature for approval.
- III. Materials for Soil Amendment
- A. Pine Bark: Horticultural-grade milled pine bark, with 80 percent of the material by volume sized between 0.1 and 15.0 mm.
1. Pine bark shall be aged sufficiently to break down all woody material. Pine bark shall be screened.
2. pH shall range between 4 and 7.0.
3. Submit manufacturer literature for approval.
- B. Organic Matter: Leaf matter and yard waste composted sufficiently to break down all woody fibers, seeds, and leaf structures, and free of toxic and nonorganic matter. Organic matter shall be commercially prepared compost. Submit 0.5 kg (1 lb) sample and suppliers literature for approval.
- C. Course Sand: Course concrete sand, ASTM C-33 Fine Aggregate, with a Fines Modulus Index of 2.75 or greater.
1. Sands shall be clean, sharp, natural sands free of limestone, shale and slate particles.
2. Provide the following particle size distribution:
- | Sieve | Percentage Passing |
|-------------------|--------------------|
| 3/8 in (9.5 mm) | 100 |
| No. 4 (4.75 mm) | 95-100 |
| No. 8 (2.36 mm) | 80-100 |
| No. 16 (1.18 mm) | 50-85 |
| No. 30 (0.60 mm) | 25-60 |
| No. 50 (0.30 mm) | 10-30 |
| No. 100 (0.15 mm) | 2-10 |
- D. Lime: shall be ground, palletized, or pulverized lime manufactured to meet agricultural standards and contain a maximum of 60 percent oxide (i.e. calcium oxide plus magnesium oxide). Submit manufacturer literature for approval.
- E. Sulfur: shall be flowers of sulfur, pelletized or granular sulfur, or iron sulfate. Submit manufacturer literature for approval.
- F. Fertilizer: Agricultural fertilizer of a formula indicated by the soil test. Fertilizers shall be organic, slow-release compositions whenever applicable. Submit manufacturer literature for approval.
- IV. Planting Mix
- A. Planting Mix
1. Planting Mix for Trees, Shrubs, Groundcovers and vines: Check with landscape architect for appropriate mixture.
2. Planting Mix for Palms: Mixture of course sand and peat mixed to the following proportion:
- | Component | Percent by Volume |
|-------------|-------------------|
| Coarse Sand | 75% |
| Peat | 25% |
- B. Planting mix shall be thoroughly mixed, screened, and shredded.
- C. Prior to beginning the mixing process, submit a 1-kg (2-lb) sample of the proposed mix with soil test results that indicate the mix ratio and the results achieved.
- D. During the mixing process but prior to installing the mix, submit a 1-kg (2-lb) sample for each 200 cubic meters (250 cubic yards) of planting mix, taken randomly from the finished soil mix, with soil test results for approval. In the event that the test results do not meet the required particle size distribution, remix and resubmit a revised planting mix.
- E. Make all amendments of lime/sulfur and fertilizer indicated by the soil test results at the time of mixing.
- F. All mixing shall take place in the contractors yard, using commercial mixing equipment sufficient to thoroughly mix all components uniformly
- G. Protect the planting mix from erosion prior to installation.
- Part 3. Execution**
- I. Excavation of Planted Areas
- A. Locations for plants and/or outlines of areas to be planted are to be staked out at the site. Locate and mark all subsurface utility lines. Approval of the stakeout by the landscape architect is required before excavation begins.
- B. Tree, shrub, and groundcover beds are to be excavated to the depth and widths indicated on the landscape plan detail drawings. If the planting area under any tree is initially dug too deep, the soil added to bring it up to the correct level should be thoroughly tamped.
1. The sides of the excavation of all planting areas shall be sloped at a 45 degrees. The bottom of all beds shall slope parallel to the proposed grades or toward any subsurface drain lines within the planting bed. The bottom of the planting bed directly under any tree shall be horizontal such that the tree sits plumb.
2. Maintain all required angles of repose of the adjacent materials as shown on the drawings. Do not excavate compacted subgrades of adjacent pavement or structures.
3. Subgrade soils shall be separated from the topsoil, removed from the area, and not used as backfill in any planted or lawn area. Excavations shall not be left uncovered or unprotected overnight.
- C. For trees and shrubs planted in individual holes in areas of good soil that is to remain in place and/or to receive amendment in the top 150-mm (6 in.) layer, excavate the hole to the depth of the root ball and to widths shown on the drawing. Slope the sides of the excavation at a 45 degree angle up and away from the bottom of the excavation.
1. In areas of slowly draining soils, the root ball may be set up to 75 mm (3 in.) or 1/8 of the depth of the root ball above the adjacent soil level.
2. Save the existing soil to be used as backfill around the tree.
3. On steep slopes, the depth of the excavation shall be measured at the center of the hole and the excavation dug as shown on the drawings.
- D. Detrimental soil conditions: The landscape architect is to be notified, in writing, of soil conditions encountered, including poor drainage, that the contractor considers detrimental to the growth of plant material. When detrimental conditions are uncovered, planting shall be discontinued until instructions to resolve the conditions are received from the landscape architect.
- E. Obstructions: If rock, underground construction work, utilities, tree roots, or other obstructions are encountered in the excavation of planting areas, alternate locations for any planting shall be determined by the landscape architect.
- II. Installation of Planting Mix
- A. Prior to the installation of the planting mix, install subsurface drains, irrigation main lines, lateral lines, and irrigation risers shown on the drawings.
- B. The landscape architect shall review the preparation of subgrades prior to the installation of planting mix.
- C. Do not proceed with the installation of planting mix until all utility work in the area has been installed.
- D. Protect adjacent walks, walks, and utilities from damage or staining by the soil. Use 12-mm (1/2 in.) plywood and/or plastic sheeting as directed to cover existing concrete, metal, masonry work, and other items as directed during the progress of the work.
1. Clean up any soil or dirt spilled on any paved surface at the end of each working day.
2. Any damage to the paving or architectural work caused by the soils installation contractor shall be repaired by the general contractor at the soils installation contractors expense.
- E. Till the subsoil into the bottom layer of topsoil or planting mix.
1. Loosen the soil of the subgrade to a depth of 50 to 75 mm (2 to 3 in.) with a rototiller or other suitable device.
2. Spread a layer of the specified topsoil or planting mix 50 mm (2 in.) deep over the subgrade. Thoroughly till the planting mix and the subgrade together.
3. Immediately install the remaining topsoil or planting mix in accordance with the following specifications. Protect the tilled area from traffic. DO NOT allow the tilled subgrade to become compacted.
4. In the event that the tilled area becomes compacted, till the area again prior to installing the planting mix.
- F. Install the remaining topsoil or planting mix in 200- to 250-mm (8- to 10-in.) lifts to the depths and shown on the drawing details. The depths and grades shown on the drawings are the final grades after soil settlement and shrinkage of the organic material. The contractor shall install the soil at a higher level to anticipate this reduction of soil volume, depending on predicted settling properties for each type of soil.
1. Phase the installation of the soil such that equipment does not have to travel over already-installed topsoil or planting mixes.
2. Compact each lift sufficiently to reduce settling but not enough to prevent the movement of water and feeder roots through the soil. The soil in each lift should feel firm to the foot in all areas and make only slight heel prints. Overcompaction shall be determined by the following field percolation test.
- a. Dig a hole 250 mm (10 in.) in diameter and 250 mm (10 in.) deep.
- b. Fill the hole with water and let it drain completely. Immediately refill the hole with water, and measure the rate of fall in the water level.
- c. In the event that the water drains at a rate less than 25 mm (1 in.) per hour, till the soil to a depth required to break the overcompaction.
- d. The landscape architect shall determine the need for, and the number and location of percolation tests based on observed field conditions of the soil.
3. Maintain moisture conditions within the soils during installation to allow for satisfactory compaction. Suspend installation operations if the soil becomes wet. Do not place soils on wet subgrade.
4. Provide adequate equipment to achieve consistent and uniform compaction of the soils. Use the smallest equipment that can reasonably perform the task of spreading and compaction.
5. Add lime, sulfur, fertilizer, and other amendments during soil installation. Spread the amendments over the top layer of soil and till into the top 100 mm (4 in.) of soil. Soil amendments may be added at the same time that organic matter, when required, is added to the top layer of soil.
6. Protect soil from overcompaction after placement. An area that becomes overcompacted shall be tilled to a depth of 125 mm (6 in.). Uneven or settled areas shall be filled and regraded.

- III. Fine Grading
- A. It shall be the responsibility of the Contractor to finish grade (min. 6" below adjacent F.F.E.). Finish grades in planting areas shall be one inch lower than adjacent paving and are to include 3" of mulching. New earthwork shall blend smoothly into the existing earthwork, and grades shall pitch evenly between spot grades. All planted areas must pitch to drain at a minimum of 1/4" per foot. Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
- B. Fill all dips and remove any bumps in the overall plane of the slope.
1. The tolerance for dips and bumps in lawn areas shall be a 12-mm (1/2 in.) deviation from the plane in 3,000 mm (10 ft).
2. The tolerance for dips and bumps in shrub planting areas shall be a 25-mm (1 in.) deviation from the plane in 3,000 mm (10 ft).
- C. All fine grading shall be inspected and approved by the landscape architect prior to planting, mulching, sodding, or seeding.
- C. Berming shall not be placed within 10' of any existing tree nor will it be allowed to encroach upon any utility, drainage, or maintenance easement. Berming shall not impede or obstruct any necessary swales needed to drain other areas for the property.
- IV. Planting Operations
- A. Plants shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, unless otherwise noted on the drawings. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compacting of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later.
1. Determine the elevation of the root flare and ensure that it is planted at grade. This may require that the tree be set higher than the grade in the nursery.
2. If the root flare is less than 50 mm (2 in.) below the soil level of the root ball, plant the tree the appropriate level above the grade to set the flare even with the grade. If the flare is more than 50 mm (2 in.) at the center of the root ball the tree shall be rejected.
- B. Lift plants only from the bottom of the root balls or with belts or lifting harnesses of sufficient width not to damage the root balls. Do not lift trees by their trunk or use the trunk as a lever in positioning or moving the tree in the planting area.
- C. Remove plastic, paper, or fiber pots from containerized plant material. Pull roots out of the root mat. Loosen the potting medium and shake away from the root mat. Immediately after removing the container, install the plant such that the roots do not dry out. Pack planting mix around the exposed roots while planting.
- D. The roots of bare-root trees shall be pruned at the time of planting to remove damaged or undesirable roots (those likely to become a detriment to future growth of the root system). Bare-root trees shall have the roots spread to approximate the natural position of the roots and shall be centered in the planting pit. The planting-soil backfill shall be worked firmly into and around the roots, with care taken to fill in completely with no air pockets.
- E. Cut ropes or strings from the top of shrub root balls and trees smaller than 3 in. caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top half of balls. Do not turn under and bury portions of burlap at top of ball.
1. Do not immediately remove the ropes and burlap from trees larger than 3 in. caliper. Return to each tree three months after planting and cut all ropes around the trunks and tops of the root balls of these trees.
2. Completely remove any waterproof or water-repellent strings or wrappings from the root ball and trunk before backfilling.
- F. Set balled and burlapped trees in the hole with the north marker facing north unless otherwise approved by the landscape architect.
- G. Place native soil, topsoil, or planting mix into the area around the tree, tamping lightly to reduce settlement.
1. For plants planted in individual holes in existing soil, add any required soil amendments to the soils, as the material is being backfilled around the plant. Ensure that the amendments are thoroughly mixed into the backfill.
2. For plants planted in large beds of prepared soil, add soil amendments during the soil installation process.
3. Ensure that the backfill immediately around the base of the root ball is tamped with foot pressure sufficient to prevent the root ball from shifting or leaning.
- H. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. Stagger strips to offset joints in adjacent courses. Bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. Sod along slopes shall be pegged to hold sod in place along slopes or banks a wood peg acceptable to the Landscape Architect shall be used at no additional cost to the Owner. If, in the opinion of the Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in without additional charge.
- I. Thoroughly water all plants immediately after planting. Apply water by hose directly to the root ball and the adjacent soil.
- J. Remove all tags, labels, strings, etc. from all plants.
- K. Remove any excess soil, debris, and planting material from the job site at the end of each workday.
- L. Water watering saucers 100 mm (4 in.) high immediately outside the area of the root ball of each tree as indicated on the drawings.
- V. Relocation of Existing Material
- A. Landscape Contractor shall root prune trees which are to be relocated in accordance with approved horticultural practices and the following procedures.
1. Select a healthy tree
2. Selectively trim the canopy removing dead limbs, cross branching over crowned areas, and lower undesirable limbs. Fertilize and water trees before pruning.
3. Root prune 50% of the root system approximately 18"-2" deep (depending upon species and size). This is done by hand with sharp hand tools or a root pruning saw. The diameter of the root ball to be pruned is 8-12 inches per every one inch of diameter at breast height of the tree.
4. Back fill the existing soil with peat moss to stimulate new root growth of the pruned roots.
5. Water in thoroughly and treat with a mycorrhizae and a low nitrogen fertilizer (so not to burn the pruned roots). Brace trees if deemed necessary.
6. The root pruned tree should be watered every day (especially during warm months of the season), the equivalent of 5 gallons for every DBH of tree per day.
7. Root pruned trees should be let to stand for a minimum of 6 weeks for trees less than 8" DBH and as long as 3 months for larger specimens prior to transplanting.
8. For best results and survivorship, new root growth should be evident on root pruned trees prior to transplanting.
9. Upon transplanting, water should be applied every day as outlined in step 6 for at least one year.
- VI. Staking and Guying
- A. The Contractor shall stake all trees and palms in accordance with the tree and palm staking details provided within the plan drawings. Alternate methods of guying or staking may be employed with the prior approval of the Landscape Architect.
- B. The Contractor shall be responsible for the replacement or adjustment of all trees, palms or shrubs that fall or lean during the guarantee period. The Contractor shall be responsible for any damage caused by the falling or leaning of trees.
- C. Stakes and guys shall be installed immediately upon approval or planting, and shall be removed in accordance with the staking details provide within the plan drawings. Any tree that is not stable at the end of the warranty period shall be rejected.
- VII. Pruning
- A. Plants shall not be heavily pruned at the time of planting. Pruning is required at planting time to correct defects in the tree structure, including removal of injured branches, watersprouts, suckers, and interfering branches. Healthy lower branches and interior small twigs should not be removed except as necessary to clear walks and roads. In no case should more than one-quarter of the branching structure be removed. Retain the normal or natural shape of the plant.
- B. All pruning shall be completed using clean, sharp tools. All cuts shall be clean and smooth, with the bark intact with no rough edges or tears.
- C. Pruning of large trees shall be done from a hydraulic man-lift such that it is not necessary to climb the tree.
- VIII. Mulching
- A. All trees, palms, shrubs, and other plantings will be mulched with mulch previously approved by the landscape architect. The mulch shall be a minimum 3" thick layer over all tree, shrub and ground cover planting areas, unless otherwise specified. All mulch layers shall be of the specified thickness at the time of the final acceptance of the work. Mulch shall not be placed within 3 inches of the trunks of trees, palms or shrubs.
- B. Place mulch at least 3" in depth in a circle around all trees located in lawn areas. The diameter of the circle shall be 18" in diameter larger than the ball of the plant provided. Mulch must not be placed within 3 inches of the trunks of trees, palms or shrubs.
- IX. Maintenance of Trees, Shrubs, and Vines
- A. Maintenance shall begin immediately after each plant is planted and continue until its acceptance has been confirmed by the landscape architect.
- B. Maintenance shall consist of pruning, watering, cultivating, weeding, mulching, fertilizing, tightening and repairing guys and stakes, resetting plants to proper grades or upright position, restoring of the planting saucer, and furnishing and applying such sprays or other materials as necessary to keep plantings free of insects and diseases and in vigorous condition.
- C. Planting areas and plants shall be protected at all times against trespassing and damage of all kinds for the duration of the maintenance period. If a plant becomes damaged or injured, it shall be treated or replaced as directed by the landscape architect at no additional cost.
- D. Watering: Contractor shall irrigate as required to maintain vigorous and healthy tree growth. Overwatering or flooding shall not be allowed. The contractor shall monitor, adjust, and use existing irrigation facilities, if available, and furnish any additional material, equipment, or water to ensure adequate irrigation. Root balls of all trees and large shrubs shall be spot watered using handfield hoses during the first four months after planting, as required to ensure adequate water within the root ball.
- E. During periods of restricted water usage, all governmental regulations (permanent and temporary) shall be followed. The contractor may have to transport water from ponds or other sources, at no additional expense to the owner when irrigation systems are unavailable.
- F. Remove soil ridges from around watering basins prior to end of maintenance period, as directed by Landscape Architect
- X. Acceptance
- A. The landscape architect shall inspect all work for acceptance upon written request of the contractor. The request shall be received at least ten calendar days before the anticipated date of inspection.
- B. Acceptance of plant material shall be for general conformance to specified size, character, and quality and shall not relieve the contractor of responsibility for full conformance to the contract documents, including correct species.
- C. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect, the landscape architect shall certify in writing that the work has been accepted.
- XI. Acceptance in Part
- A. Work may be accepted in parts when the landscape architect and contractor deem that practice to be in their mutual interest. Approval must be given in writing by the landscape architect to the contractor verifying that the work is to be completed in parts. Acceptance of work in parts shall not waive any other provision of this contract.
- XII. Guarantee Period and Replacements
- A. The guarantee period for trees and shrubs shall begin at the date of acceptance.
- B. The contractor shall guarantee all plant material to be in healthy and flourishing condition for a period of one year from the date of acceptance.
- C. When work is accepted in parts, the guarantee periods extend from each of the partial acceptances to the terminal date of the guarantee of the last acceptance. Thus, all guarantee periods terminate at one time.
- D. The contractor shall replace, without cost, as soon as weather conditions permit, and within a specified planting period, all plants determined by the landscape architect to be dead or in an unacceptable condition during and at the end of the guarantee period. To be considered acceptable, plants shall be free of disease and or dying branches and branch tips and shall bear foliage of normal density, size, and color. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification.
- E. The guarantee of all replacement plants shall extend for an additional period of one year from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of said extended guarantee period, the landscape architect may elect subsequent replacement or credit for that item.
- F. At the end of the guarantee, the contractor shall reset grades that have settled below the proposed grades on the drawings.
- G. The contractor shall make periodic inspections, at no extra cost, during the guarantee period to determine what changes, if any, should be made in the maintenance program. If changes are recommended, they shall be submitted in writing to the landscape architect. Claims by the contractor that the owners maintenance practices or lack of maintenance resulted in dead or dying plants will not be considered if such claims have not been documented by the contractor during the guarantee period.
- XIII. Final Inspection and Final Acceptance
- At the end of the guarantee period and upon written request of the contractor, the landscape architect will inspect all guaranteed work for final acceptance. The request shall be received at least ten calendar days before the anticipated date for final inspection. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect at that time, the landscape architect shall certify, in writing, that the project has received final acceptance.



SITE DATA	
NAME OF DEVELOPMENT	WALGREENS
SITE ADDRESS	890 N. STATE ROAD 7, HOLLYWOOD, FL 33020
EXISTING LAND USE DESIGNATION	T.O.C. (TRANSIT-ORIENTED CORRIDOR)
EXISTING ZONING DESIGNATION	C-4 / SR 7 CCD LOW HYBRID COMMERCIAL SUB-AREA
EXISTING USE	RETAIL
BROWARD COUNTY FOLIO NUMBER	5141-13-04-0110
TOTAL SITE AREA	±73,260 SF (1.68 AC.)
TOTAL BUILDING SQUARE FOOTAGE	17,017 S.F.
BUILDING COVERAGE BUILDING HEIGHT	ONE STORY, EXISTING STRUCTURE
IMPERVIOUS SURFACE AREA	57,430 S.F. (78.4%)
PERVIOUS SURFACE AREA	15,830 S.F. (21.6%)
TOTAL PARKING REQUIRED (RETAIL - 1 SP. PER 250 S.F.)	68 SPACES
TOTAL PARKING PROVIDED	63 SPACES

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
BS	3	BURSERA SIMARUBA	GUMBO LIMBO	F.G.	3" CAL.	12" HT. X 8" SPR., FULL CANOPY,
CD	8	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	B & B	2.5" CAL.	12" HT., 6'-8' SPR., FULL CANOPY, NATIVE
CE	11	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	F.G.	2.5" CAL.	10' HT. X 5' SPR., FULL CANOPY
QH	9	QUERCUS VIRGINIANA 'HIGHRISE'	HIGHRISE LIVE OAK	F.G.	3" CAL.	16' OA HT., 7' SPR., FULL CANOPY
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
SP	9	SABAL PALMETTO	CABBAGE PALMETTO	F.G.		STAGGERED HEIGHTS, SEE PLAN FOR HEIGHTS, FULL
ACCENTS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
PB	3	PLUMERIA PUDICA 'BRIDAL BOUQUET'	FRANGIPANI	CONTAINER	60" o.c.	5' HT. X 3' SPR., FULL
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
CHR	44	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL, HEDGE
DUR	107	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	3 GAL	24" o.c.	18" HT. X 18" SPRD., FULL
HPC	150	HAMELIA PATENS 'COMPACTA'	DWARF FIRE BUSH	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL
VOA	171	VIBURNUM ODORATISSIMUM 'AWABUKI'	AWABUKI VIBURNUM	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL, HEDGE
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
ANN	37	ANNUALS	SEASONAL COLOR	4" POT	12" o.c.	WINTER: IMPATIENS (NOV.-APR.), SUMMER: CALADIUM (APR.-NOV.)
ASP	28	ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN	1 GAL	18" o.c.	12" HT. X 12" SPRD., FULL
GIF	251	FICUS MICROCARPA	GREEN ISLAND FICUS	3 GAL	24" o.c.	12" HT. X 18" SPR., FULL
PMP	91	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	1 GAL	18" o.c.	12" HT. X 12" SPR., FULL

ATTACHMENT B
Resolution No. 14-V-06

CITY OF HOLLYWOOD
PLANNING AND DEVELOPMENT BOARD

INSTR # 112483443
OR BK 51033 Pages 1408 - 1416
RECORDED 08/22/14 08:18:25 AM
BROWARD COUNTY COMMISSION
DEPUTY CLERK 1016
#1, 9 Pages

RESOLUTION NO. 14-V-06

A RESOLUTION OF THE CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD GRANTING APPROVAL OF A PROPERTY CURE FOR EMINENT DOMAIN PROCEEDINGS TO CURE A NON-CONFORMITY BY APPROVING THREE (3) VARIANCES WITH CONDITIONS TO: (1) REDUCE THE REQUIRED PARKING LOT SETBACK FROM A MINIMUM OF 10 FEET TO A MINIMUM OF 5 FEET; (2) DECREASE THE NUMBER OF PARKING SPACES FROM 68 TO 63; AND (3) REDUCE THE REQUIRED DRIVE AISLE WIDTH FROM A MINIMUM OF 24 FEET TO 22 FEET, FOR THE PROPERTY LOCATED AT 890 NORTH STATE ROAD 7 (WALGREENS), AS MORE SPECIFICALLY DEPICTED IN EXHIBIT "A" PURSUANT TO PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, Section 5.3.E.1. of the City's Zoning and Land Development Regulations allows the Florida Department of Transportation (FDOT) to submit petitions for Variances for acquisition parcels within a FDOT US 441/SR 7 corridor improvement project; and

WHEREAS, FDOT submitted an application for three (3) Variances for the property located at 890 North State Road 7 (Walgreens) to: (1) reduce the required parking lot setback from a minimum of 10 feet to a minimum of 5 feet; (2) decrease the number of parking spaces from 68 to 63 spaces; and (3) reduce the required drive aisle width from a minimum of 24 feet to 22 feet; and

WHEREAS, the Department of Planning staff, following an analysis of the application and its associated documents, have determined that the request to reduce the required parking lot setback from 10 feet to a minimum of 5 feet does meet the criteria set forth in Section 5.3.F.1.a. through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variance be approved with the following condition:

That all improvements (trees, shrubs, sod, etc.) as depicted on the Landscape Plan attached hereto as Exhibit "B" shall be completed prior to the issuance of a Certificate of Completion or Certificate of Occupancy, whichever is applicable.

; and

WHEREAS, the Department of Planning staff, following an analysis of the application and its associated documents, have determined that the request to decrease the number of required parking spaces from 68 to 63 spaces does meet the criteria set forth in Section 5.3.F.1.a.through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variance be approved; and

WHEREAS, the Department of Planning staff, following an analysis of the application and its associated documents, have determined that the request to reduce the required drive isle width from a minimum of 24 feet to a minimum of 22 feet does meet the criteria set forth in Section 5.3.F.1.a.through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variance be approved with the following condition:

The Applicant shall submit, in a form acceptable to the City Attorney, a covenant running with the land that holds the City harmless from and against any and all claims arising from accidents, which shall be recorded by the City in the public records of Broward County prior to the issuance of Certificate of Completion or Certificate of Occupancy, whichever is applicable.

; and

WHEREAS, on June 12, 2014, the Planning and Development Board met and held an advertised public hearing to consider the three (3) Variance requests and the Board made the following findings:

- (1) As to the Variance to reduce the parking lot setback requirement from a minimum of 10 feet to a minimum of 5 feet, including staff's condition, the Board finds:
 - a. That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City; and
 - b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and
 - c. That the requested Variance is consistent with, and in furtherance of, the Goals, Objectives and Policies of the adopted Comprehensive Plan, Neighborhood Plan and all other similar plans adopted by the City; and
 - d. That the requested Variance is not economically based or self-imposed; and

- e. Since the Board finds that criteria a. through d. above have been met, then criteria e. is not applicable.

(2) As to the Variance to decrease the number of required parking spaces from 68 to 63 spaces, including staff's condition, the Board finds:

- a. That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City; and
- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and
- c. That the requested Variance is consistent with, and in furtherance of, the Goals, Objectives and Policies of the adopted Comprehensive Plan, Neighborhood Plan and all other similar plans adopted by the City; and
- d. That the requested Variance is not economically based or self-imposed; and
- e. Since the Board finds that criteria a. through d. above have been met, then criteria e. is not applicable.

(3) As to the Variance to reduce the required drive aisle width from a minimum of 24 feet to a minimum of 22 feet, including staff's condition, the Board finds:

- a. That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City; and
- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and
- c. That the requested Variance is consistent with, and in furtherance of, the Goals, Objectives and Policies of the adopted Comprehensive Plan, Neighborhood Plan and all other similar plans adopted by the City; and
- d. That the requested Variance is not economically based or self-imposed; and
- e. Since the Board finds that criteria a. through d. above have been met, then criteria e. is not applicable.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND DEVELOPMENT BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Dept. of Planning and Development Services report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing, and the consideration of the criteria listed herein the Board finds that the necessary criteria have been met, and the requested Variance for the property located at 890 North State Road 7 (Walgreens), to reduce the required parking lot setback requirement from a minimum of 10 feet to a minimum of 5 feet, as more specifically set forth in Exhibit "A", the Variance is hereby approved along with the following condition:

The all improvements (trees, shrubs, sod, etc.) as depicted on the Landscape Plan attached hereto as Exhibit "B" shall be completed prior to the issuance of a Certificate of Completion or Certificate of Occupancy, whichever is applicable.

Section 2: That following review of the Dept. of Planning and Development Services report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing, and the consideration of the criteria listed herein the Board finds that the necessary criteria have been met, and the requested Variance for the property located at 890 North State Road 7 (Walgreens), to decrease the number of required parking spaces from 68 to 63 spaces as more specifically set forth in Exhibit "A", the Variance is hereby approved.

Section 3: That following review of the Dept. of Planning and Development Services report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing, and the consideration of the criteria listed herein the Board finds that the necessary criteria have been met, and the requested Variance for the property located at 890 North State Road 7 (Walgreens), to reduce the required drive aisle width from a minimum of 24 feet to a minimum of 22 feet, as more specifically set forth in Exhibit "A", the Variance is hereby approved with the following condition:

The Applicant shall submit, in a form acceptable to the City Attorney, a covenant running with the land that hold the City harmless from and against any and all claims arising from accidents, which shall be recorded in the Public Records of Broward County, by the City prior to the issuance of a Certificate of Completion or Certificate of Occupancy, whichever is applicable.

Section 4: That the approval by the Board granting all three (3) Variances shall become null and void unless the Applicant obtains all appropriate building or other permit(s) or license(s) within 24 months of the Board's approval. Said 24 months shall commence upon passage and adoption of this Resolution.

RESOLUTION NO. 14-V-06 CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD (890 North State Road 7 Walgreens)

Section 5: That the Dept. of Planning is hereby directed to forward a copy of this resolution to the applicant and owner of the property upon which the request was made and a copy shall be recorded in the Public Records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations.

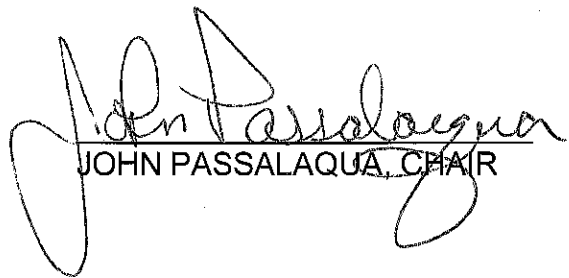
PASSED AND ADOPTED THIS 12th DAY OF June, 2014.

RENDERED this 18 day of August, 2014.

ATTEST:



JOSHUA LEVY, Secretary



JOHN PASSALAGUA, CHAIR

APPROVED AS TO FORM & LEGALITY
for the use reliance of the Planning and
Development Board of the City of Hollywood,
Florida, only.



JEFFREY P. SHEFFEL, BOARD COUNSEL *DR*

EXHIBIT "A"

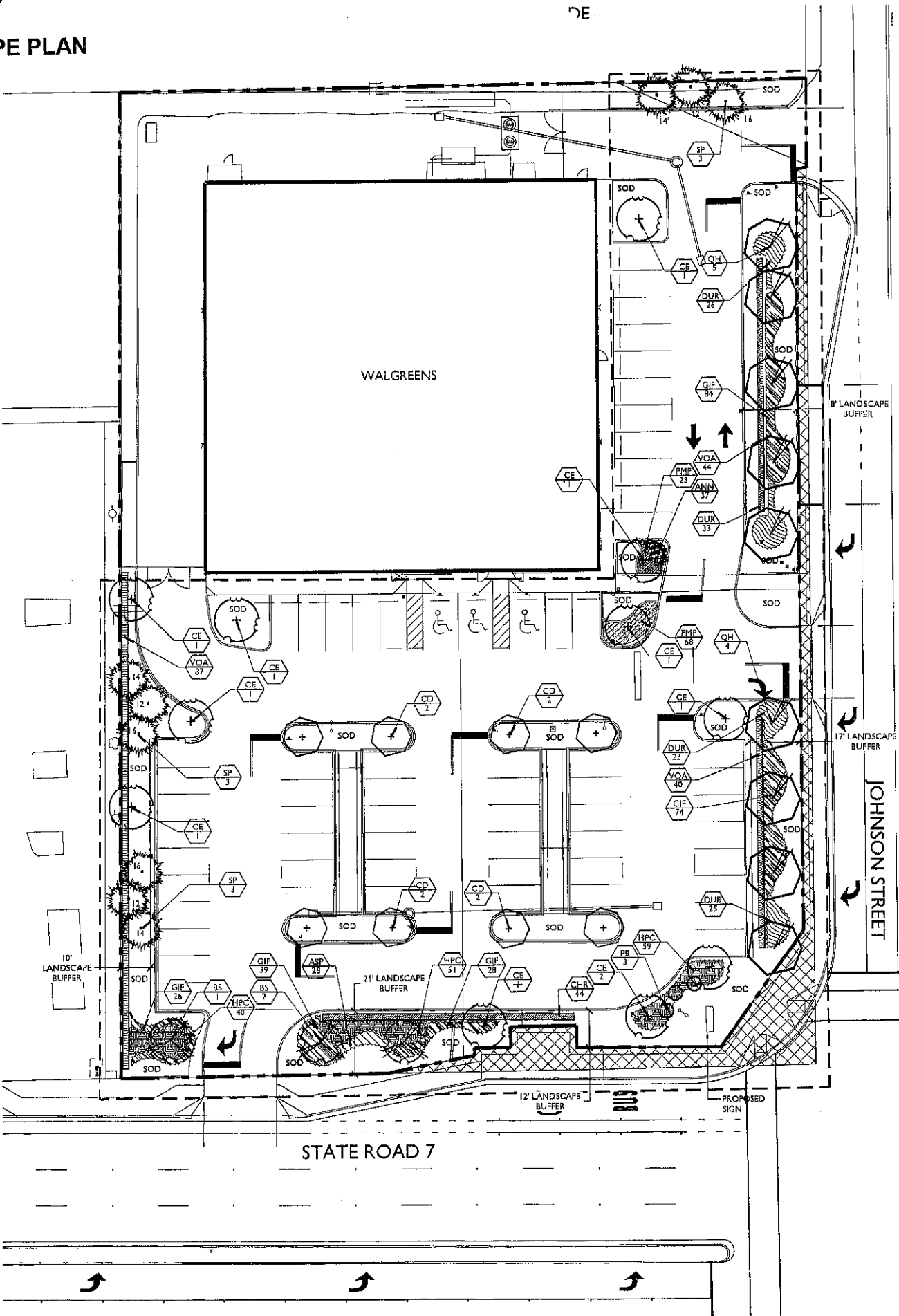
Legal Description

LEGAL DESCRIPTION:

LOT 12, LESS THE SOUTH 100 FEET IN BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 24, PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND ALSO THE EAST 30 FEET OF LOT 11, LESS THE SOUTH 100 FEET IN BLOCK 2, PINE RIDGE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 24, PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LAND SITUATE LYING AND BEING IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST.

EXHIBIT "B"

LANDSCAPE PLAN

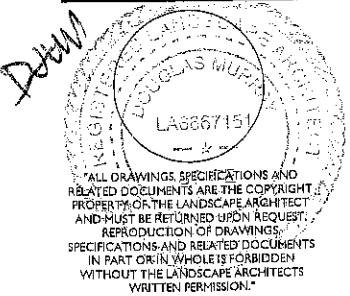


PLANT SCHEDULE

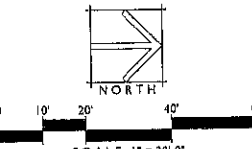
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
BS	3	BURSERIA SIMARUBA	GUMBO LIMBO	F.G.	3" CAL	12" HT. X 8' SPR., FULL CANOPY,
CD	8	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	B & B	2.5" CAL	12" HT. X 8' SPR., FULL CANOPY, NATIVE
CE	11	CONOCARPUS ERECTUS	GREEN BUTTWOOD	F.G.	2.5" CAL	10' HT. X 5' SPR., FULL CANOPY
QH	9	QUERCUS VIRGINIANA 'HIGHRISE'	HIGHRISE LIVE OAK	F.G.	3" CAL	16' OA HT., 7' SPR., FULL CANOPY
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
SP	9	SABAL PALMETTO	CABBAGE PALMETTO	F.G.		STAGGERED HEIGHTS, SEE PLAN FOR HEIGHTS, FULL
ACCENTS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
PB	3	PLUMERIA PUDICA 'BRIDAL BOUQUET'	FRANGIPANI	CONTAINER	60" o.c.	5' HT. X 3' SPR., FULL
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
CHR	44	CHRYSOBALANUS 'ICACO 'RED TIP'	RED TIP COCOPLUM	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL, HEDGE
DUR	107	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	3 GAL	24" o.c.	18" HT. X 18" SPRD., FULL
HPC	130	HAMELIA PATENS 'COMPACTA'	DWARF FIRE BUSH	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL
VOA	171	VIBURNUM ODORATISSIMUM 'AWABUKI'	AWABUKI VIBURNUM	3 GAL	24" o.c.	24" HT. X 24" SPRD., FULL, HEDGE
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
ANN	37	ANNUALS	SEASONAL COLOR	4" POT	12" o.c.	WINTER: IMPATIENS (NOV.-APR.), SUMMER: CALADIUM (APR.-NOV.)
ASP	28	ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN	1 GAL	18" o.c.	12" HT. X 12" SPRD., FULL
GIF	251	FICUS MICROCARPA	GREEN ISLAND FICUS	3 GAL	24" o.c.	12" HT. X 18" SPR., FULL
PMP	91	PODOCARPUS MACROPHYLLUS 'DWARF FRINGLES'	DWARF PODOCARPUS	1 GAL	18" o.c.	12" HT. X 12" SPR., FULL



REVISION DATES		
DATE	APPROVAL	NOTES
2/2/2021	[Signature]	[Text]

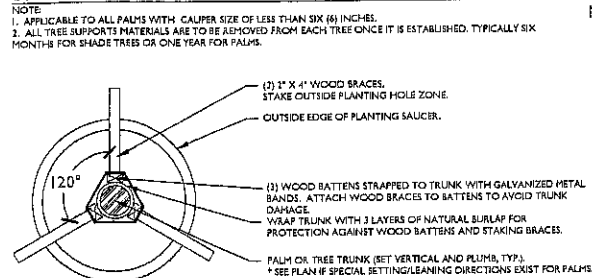


"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE LANDSCAPE ARCHITECT'S WRITTEN PERMISSION."

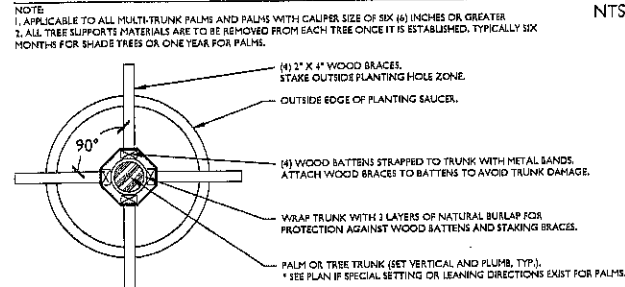


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DRAWING #: 2014-04-28_P-119_Walgreens_LP.dwg
FILE #: 1072.0

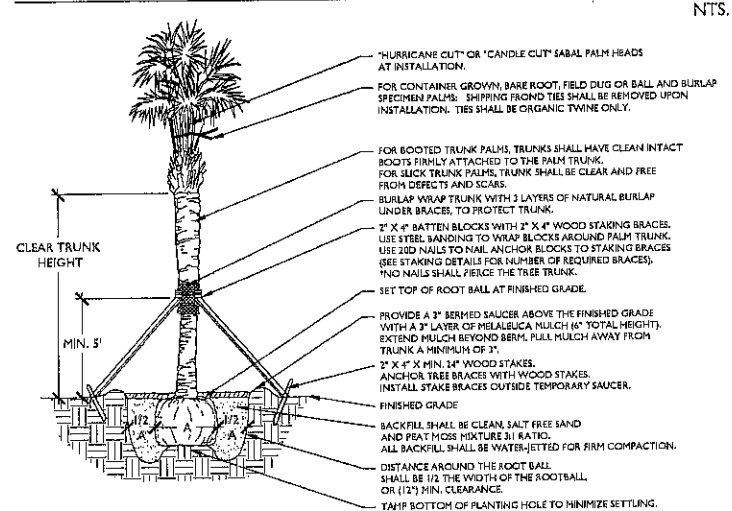
SMALL PALM STAKING PLAN



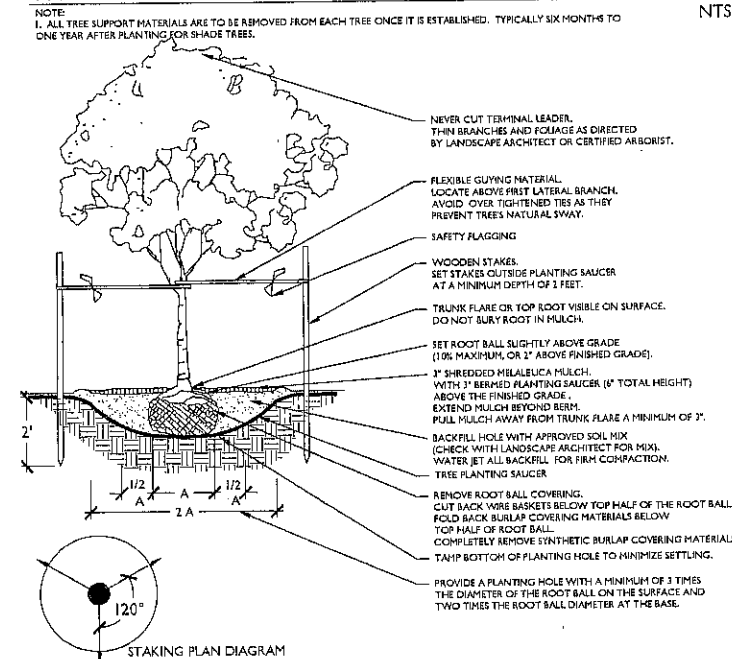
LARGE PALM OR TREE STAKING PLAN



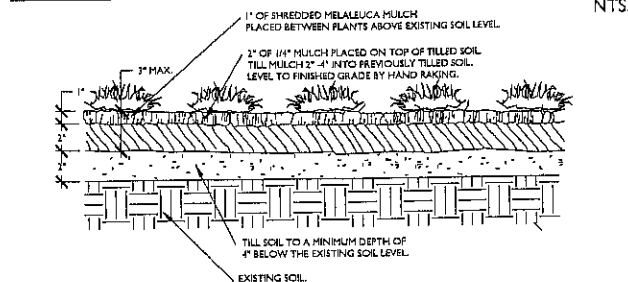
PALM PLANTING DETAIL



TREE PLANTING DETAIL



GROUND COVER DETAIL

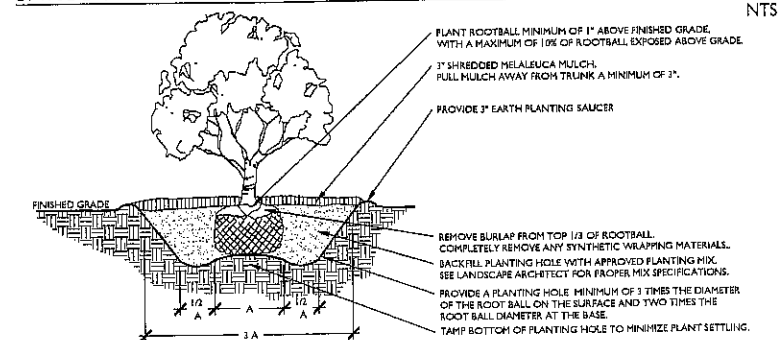


PLANT SPACING DETAIL

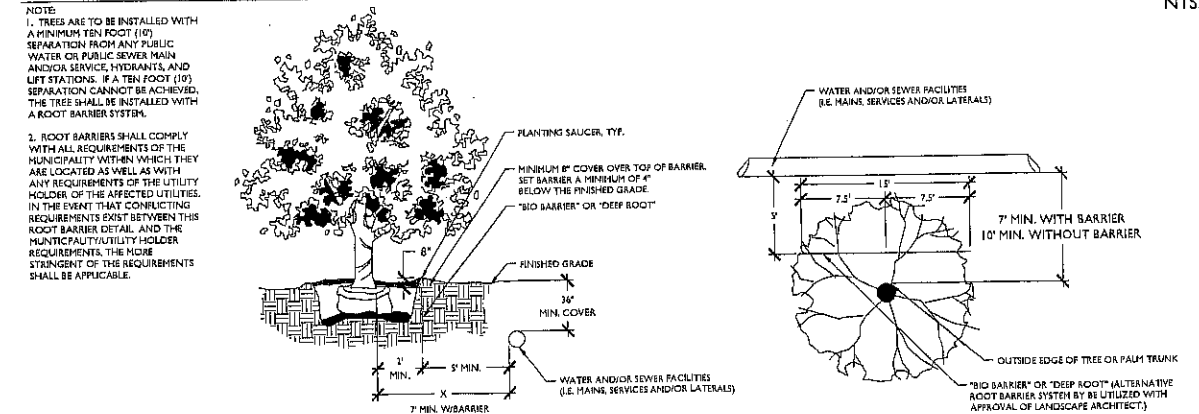
PLANT SPACING CHART

SPACING "D"	ROW "A"
4" O.C.	5.5"
6" O.C.	6.9"
8" O.C.	8.4"
10" O.C.	10.4"
12" O.C.	12.5"
14" O.C.	14.8"
16" O.C.	17.2"
18" O.C.	19.7"
20" O.C.	22.3"
24" O.C.	27.0"
30" O.C.	33.5"

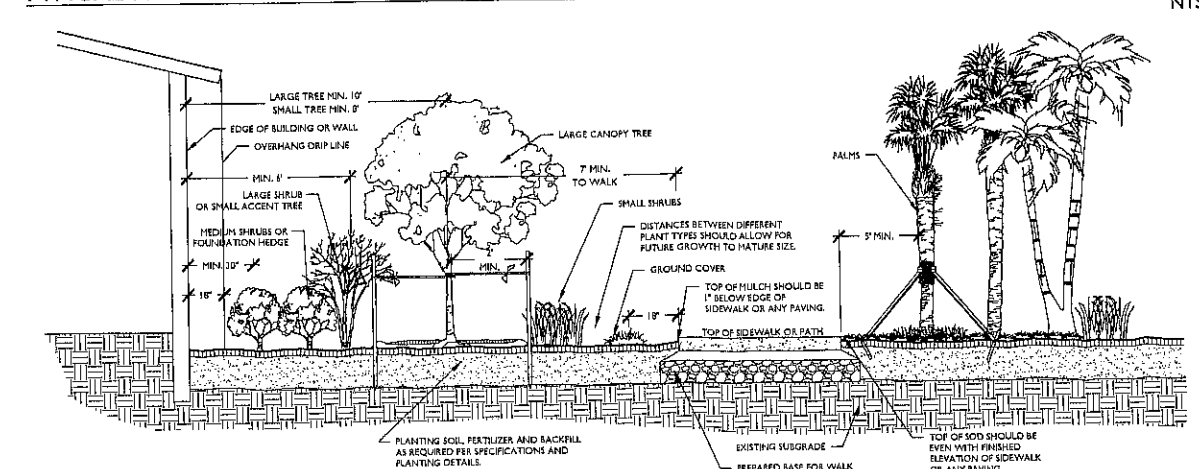
SHRUB PLANTING DETAIL



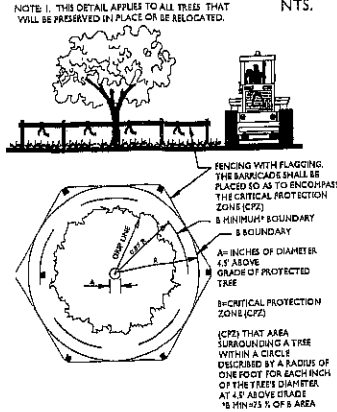
ROOT BARRIER DETAIL



TYPICAL PLANTING DIAGRAM



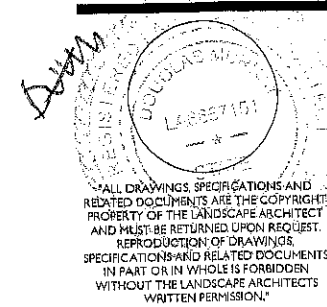
TREE PROTECTION DETAIL



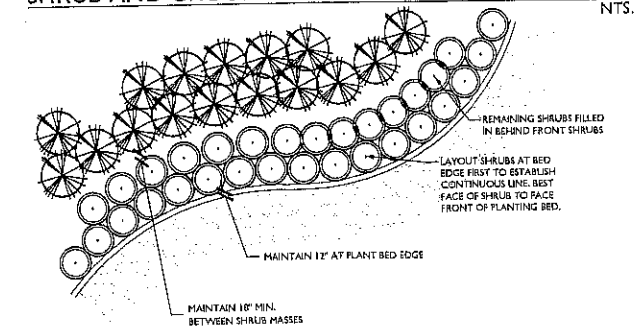
LANDSCAPE NOTES:

- STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
- CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
- TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE BUILT ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
- ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 5' ABOVE THE PAVEMENT.
- ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
- IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP. AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
- ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHTS (FPLS) RIGHT TREE RIGHT PLACE GUIDELINES.
- IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
- LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
- REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
- RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.

REVISION DATES		
DATE	APPROVAL	NOTE
01/27/17		Initial Release



SHRUB AND GROUND COVER PLANTING DETAIL



DRAWN BY:	SA / AMM
DRAWING #:	2014-04-18_P-119_Walgreens_LP.dwg
FILE #:	1072.8

I. Description of Work

A. Provide all exterior planting as shown on the drawings or inferable therefrom and/or as specified in accordance with the requirements of the Contract Documents. Landscape plans provided indicate the proposed location of living plant material only. Structural elements and landscape features indicated on the landscape plans are for information purposes only. Landscape plans are not to be utilized for staking and layout or location of any structural site features including but not limited to, buildings, signage, pathways, assessments, utilities or roadways.

B. These specifications include standards necessary for and incidental to the execution and completion of planting as indicated on the prepared drawings and specified herein.

C. All applicable federal, state and local permits shall be obtained prior to the removal, relocation, or installation of plant materials indicated within the plan documents.

D. Protection of existing features. During construction, protect all existing trees, shrubs, and other specified vegetation, site features and improvements, structures, and utilities specified herein and/or on submitted drawings. Removal or destruction of existing plantings is prohibited unless specifically authorized by the owner, and with permit as required by associated federal, state and local government agencies.

II. Applicable Standards

- A. American National Standards for Tree Care Operations, ANSI A300, American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036.
- B. American Standard for Nursery Stock, ANSI Z60.1, American Nursery and Landscape Association, 1250 Eye Street, NW, Suite 500, Washington, D.C. 20005.
- C. Hortus Third, The Staff of the L.H. Bailey Hortorium, 1976, MacMillan Publishing Co., New York.
- D. Florida Department of Agriculture Grades and Standards for Nursery Plants, last most edition.
- E. National Arborist Association-Planting Standards for Shade Trees
- F. All standards shall include the latest additions and amendments as of the date of advertisement for bids

III. Qualifications

- A. Landscape planting and related work shall be performed by a firm with a minimum of five years experience specializing in this type of work. All contractors and their sub-contractors who will be performing any landscape work included in this section of the specification shall be approved by the landscape architect.
- B. Landscape Contractor shall be licensed and shall carry any necessary insurance and shall protect the Landscape Architect and Owner against all liabilities, claims or demands for injuries or damage to any person or property growing out of the performance of the work under this contract. All workers shall be covered by Workman's Compensation Insurance.

IV. Requirements of Regulatory Agencies

- A. Certificates of inspection shall accompany the invoice for each shipment of plants as may be required by law for transportation. File certificates with the landscape architect prior to acceptance of the material. Inspection by federal or state authorities at place of growth does not include rejection of the plants at the site.

V. Submittals

- A. Manufacturer's Data: Submit copies of the manufacturer's and/or source data for all materials specified, including soils, soil amendments and fertilizer materials. Comply with regulations applicable to landscape materials.
- B. Samples: Submit samples of all topsoil, soil mixes, mulches, and organic materials. Samples shall weigh 1 kg (2 lb) and be packaged in plastic bags. Samples shall be typical of the lot of material to be delivered to the site and provide an accurate indication of color, texture, and organic makeup of the material.
- C. Nursery Sources: Submit a list of all nurseries that will supply plants, along with a list of the plants they will provide and the location of the nursery.
- D. Soil Test: Submit soil test analysis report for each sample of topsoil and planting mix from a soil testing laboratory approved by the landscape architect.

1. Provide a particle size analysis, including the following gradient of mineral content:

USDA Designation	Size in mm
Gravel	+2 mm
Very Coarse Sand	1-2 mm
Coarse Sand	0.5-1 mm
Medium Sand	0.25-0.5 mm
Fine Sand	0.1-0.25 mm
Very fine sand	0.05-0.1 mm
Silt	0.002-0.05 mm
Clay	smaller than 0.002

2. Provide a chemical analysis, including the following:

- a. pH and buffer pH
- b. Percentage of organic content by oven-dried weight.
- c. Nutrient levels by parts per million, including phosphorus, potassium magnesium, manganese, iron, zinc, and calcium. Nutrient test shall include the testing laboratory recommendations for supplemental additions to the soil based on the requirements of horticultural plants.
- d. Soluble salt by electrical conductivity of a 1:2, soil: water, sample measured in millimho per cm.
- e. Cation exchange capacity (CEC).

E. Material Testing: Submit the manufacturers particle size analysis, and the pH analysis and provide a description and source location for the content material of all organic materials.

F. Maintenance Instructions: Prior to the end of maintenance period, Landscape Contractor shall furnish three copies of written maintenance instructions to the Landscape Architect for transmittal to the Owner for maintenance and care of installed plants through their full growing season.

VI. Utility Verification

- A. The contractor shall contact the local utility companies for verification of the location of all underground utility lines in the area of the work. The contractor shall be responsible for all damage resulting from neglect or failure to comply with this requirement.

Part 2. Materials

I. Plants

A. Plants shall be true to species and variety specified and nursery-grown in accordance with good horticultural practices under climatic conditions similar to those in the locality of the project for at least two years. They shall have been freshly dug.

1. All plant names and descriptions shall be as defined in Hortus Third.
2. All plants shall be grown and harvested in accordance with the American Standard for Nursery Stock and Florida Department of Agriculture Grades and Standards for Nursery Plants.

3. Unless approved by the landscape architect, plants shall have been grown at a latitude not more than 325 km (200 miles) north or south of the latitude of the project unless the provenance of the plant can be documented to be compatible with the latitude and cold hardiness area of the planting location.

B. Unless specifically noted, all plants shall be completely healthy, symmetrical, and so trained or trained in development and appearance as to be unquestionably and outstandingly superior in form, compactness, and symmetry. They shall be sound, healthy, vigorous, well branched, and densely foliated when in leaf; free of disease and insects, eggs, or larvae; and shall have healthy, well-developed root systems. They shall be free from physical damage or other conditions that would prevent vigorous growth.

1. Trees with multiple leaders, unless specified, will be rejected. Trees with a damaged or crooked leader, bark abrasions, unsound, disfiguring knots, insect damage, or cuts of limbs over 20 mm (3/4 in.) in diameter that are not completely closed will be rejected.

C. Plants shall conform to the measurements specified, except that plants larger than those specified may be used if approved by the landscape architect. Use of larger plants shall not increase the contract price. If larger plants are approved, the root ball shall be increased in proportion to the size of the plant.

1. Caliper measurements shall be taken on the trunk 150 mm (6 in.) above the natural ground line for trees up to and including 100 mm (4 in.) in caliper, and 300 mm (12 in.) above the natural ground line for trees over 100 mm (4 in.) in caliper. Height and spread dimensions specified refer to the main body of the plant and not from branch tip to branch tip. Plants shall be measured when branches are in their normal position. If a range of sizes is given, no plant shall be less than the minimum size, and no less than 50 percent of the plants shall be as large as the maximum size specified. Measurements specified are minimum sizes acceptable after pruning, where pruning is required. Plants that meet measurements but do not possess a standard relationship between height and spread, according to the Florida Department of Agriculture Grades and Standards for Nursery Plants, shall be rejected.

D. Substitutions of plant materials will not be permitted unless authorized in writing by the landscape architect. If proof is submitted in writing that a plant specified is not obtainable, consideration will be given to the nearest available size or similar variety, with a corresponding adjustment of the contract price.

E. The plant schedule provided at the end of this section, or on the drawing, is for the contractor's information only, and no guarantee is expressed or implied that quantities therein are correct or that the list is complete. The contractor shall ensure that all plant materials shown on the drawings are included in his or her bid.

F. All plants shall be labeled by plant name. Labels shall be attached securely to all plants, bundles, and containers of plant materials when delivered. Plant labels shall be durable and legible, with information given in weather-resistant ink or embossed process lettering.

G. Selection and Tagging

1. Plants shall be subject to inspection for conformity to specification requirements and approval by the landscape architect at their place of growth and upon delivery. Such approval shall not impair the right of inspection and rejection during progress of the work.
2. A written request for the installation of plant material at their place of growth shall be submitted to the landscape architect at least ten calendar days prior to digging. This request shall state the place of growth and the quantity of plants to be inspected. The landscape architect may refuse inspection at this time if, in his or her judgment, sufficient quantities of plants are not available for inspection or landscape architect deems inspection is not required.
3. All field grown deciduous trees shall be marked to indicate the trees north orientation in the nursery. Place a 1-in. diameter spot of white paint on the north side of the tree trunk within the bottom 12 inches of the trunk.

H. Anti-Desiccants

1. Anti-desiccants, if specified, are to be applied to plants in full leaf immediately before digging or as required by the landscape architect. Anti-desiccants are to be sprayed so that all leaves and branches are covered with a continuous protective film.

I. Balled and Burlapped (B&B) Plant Materials

1. Trees designated B&B shall be properly dug with firm, natural balls of soil retaining as many fibrous roots as possible, in sizes and shapes as specified in the Florida Department of Agriculture Grades and Standards for Nursery Plants. Balls shall be firmly wrapped with synthetic, natural, or plastic burlap, and/or wire. All synthetic fabric should be removed from the rootball prior to planting. True balled-and-burlapped burlap can be left around the root ball. The root collar shall be apparent at surface of ball. Trees with loose, broken, processed, or manufactured root balls will not be accepted, except with special written approval before planting.

J. Container Plants

1. Plants grown in containers shall be of appropriate size for the container as specified in the most recent edition of the Florida Department of Agriculture Grades and Standards for Nursery Plants and be free of circling roots on the exterior and interior of the root ball.

2. Container plants shall have been grown in the container long enough to have established roots throughout the growing medium.

K. Bareroot and Collected Plants

1. Plants designated as bareroot or collected plants shall conform to the American Standard for Nursery Stock.
2. Bareroot material shall not be dug or installed after bud break or before dormancy.
3. Collected plant material that has not been taken from active nursery operations shall be dug with a root ball spread at least 1/3 greater than nursery grown plants. When specified or approved, shall be in good health, free from disease, insect or weed infestation and shall not be planted before inspection and acceptance at the site. Tooling may be required at the discretion of the Landscape Architect and/or the Owner and shall be provided at no additional cost.
- L. Specimen Materials: Plant material specified as specimens are to be approved by the Landscape Architect before being brought to the site. Unless otherwise noted on the drawings, these plants shall be Florida Fancy.

M. Palms

1. Coconut Palms shall be grown from a certified seed.
2. All palm species except Sabal palmetto shall have roots adequately wrapped before transporting.
3. Sabal palms shall have a hurricane cut. Sabal palms shall be installed on site at the earliest opportunity in the construction process. All Sabal palms shall be from Palm Beach County or other sandy soils. All Sabal palms shall be Florida Fancy.
4. For balled trunk palms, trunks shall have clean intact bolls firmly attached to the palm trunk. For stick trunk palms, trunk shall be clear and free from defect and scars.
5. The Contractor shall treat all palms as required to prevent infestation by the palm moth.

N. Sod

1. Sod shall be graded #1 or better. Sod shall be torn or muck grown with a firm, full texture and good root development. Sod shall be thick, healthy and free from defects and debris including but not limited to dead thatch, insects, fungus, diseases and contamination by weeds, other grass varieties or objectionable plant material.
2. Sod shall be sufficiently thick to insure a dense stand of live grass. Sod shall be live, fresh, and unjured at the time of planting. Plant sod within 48 hours after harvesting.
3. Sod area shall be all areas not otherwise identified and shall include the area beyond the property line to the edge of pavement and/or width of water.

O. Immediately after harvesting plants, protect from drying and damage until shipped and delivered to the planting site. Rootballs shall be checked regularly and watered sufficiently to maintain root viability.

P. Transportation and Storage of Plant Material

1. Branches shall be tied with rope or wire only, and in such a manner that no damage will occur to the bark or branches.
2. During transportation of plant material, the contractor shall exercise care to prevent injury and drying out of the trees. Should the roots be dried out, large branches broken, balls of earth broken or loosened, or areas of bark torn, the landscape architect may reject the injured tree(s) and order them replaced at no additional cost to the owner. All loads of plants shall be covered at all times with tarpaulin or canvas. Loads that are not protected will be rejected.
3. All bareroot stock sent from the storage facility shall be adequately covered with wet soil, seaweed, woodchips, moss, peat, straw, hay, or other acceptable moisture-holding medium, and shall be covered with a tarpaulin or canvas. Loads that are not protected in the above manner may be rejected.
4. Plants must be protected at all times from sun or drying winds. Those that cannot be planted immediately on delivery shall be kept in the shade, well protected with soil, wet mulch, or other acceptable material, and kept well watered. Plants shall not remain unplanted any longer than three days after delivery. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be lifted and handled with suitable support of the soil ball to avoid damaging it.

Q. Mechanized Tree Spade Requirements

Trees may be moved and planted with an approved mechanical tree spade. The tree spade shall move trees limited to the maximum size allowed for a similar B&B root-ball diameter according to the American Standard for Nursery Stock or the manufacturer's maximum size recommendation for the tree spade being used, whichever is smaller. The machine shall be approved by the landscape architect prior to use. Trees shall be planted at the designated locations in the manner shown in the plans and in accordance with applicable sections of the specifications.

II. Materials for Planting

- A. Mulch: Except as otherwise specified, mulch shall be shredded Malaleuca mulch - grade "A". All Malaleuca mulch shall be made entirely from the wood and bark of the Malaleuca quinquenervia tree. It shall not contain more than 10% bark (by volume). Shreds and chips shall not be larger than 3/4" diameter and 1 1/2" in length. Mulch shall be free of weeds, seeds, and any other organic or inorganic material other than Malaleuca wood and bark. It shall not contain stones or other foreign material that will prevent its eventual decay. This shall be applied to all planted areas where indicated so that, after installation, the mulch thickness will not be less than 3". Submit sample for approval.
- B. Peat: Shall be horticultural peat composed of not less than 80% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition free from lumps.
- C. Gravel/Mulch: Use only where specifically indicated on the plans of the size and type shown. Unless otherwise specified it shall be water-worn, hard durable gravel, washed free of loam, sand, and other foreign substances. It shall be a minimum of 3" deep and shall be combined with edging or other approved gravel stop as indicated on the plans. It shall be a maximum of 1 1/2", a minimum of 3/4" and of a readily-available natural gravel color range. Provide geotextile filter fabric below aggregate rock.
- D. Root Barrier: Where specified, root barriers shall be installed on all tree and palm material in accordance with the root barrier detail provided within the plan drawings. Root barriers shall comply with all requirements of the municipality within which they are located as well as with any utility holder requirements of any affected utilities. In the event that conflicting requirements exist between the root barrier detail provided within the plan documents and the municipality/utility holder requirements, the more stringent of the requirements shall be applicable.
- E. Planter Edging: Use only where specifically indicated on plans. Edging shall be the color black.
- F. Anti-desiccant: shall be an emulsion specifically manufactured for agricultural use, which provides a protective film over plant surfaces. Anti-desiccants shall be delivered in containers of the manufacturer and shall be mixed according to the manufacturer's directions. Submit manufacturer literature for approval.

III. Materials for Soil Amendment

- A. Pine Bark: Horticultural-grade milled pine bark, with 80 percent of the material by volume sized between 0.1 and 15.0 mm.
- Pine bark shall be aged sufficiently to break down all woody material. Pine bark shall be screened.
 - pH shall range between 4 and 7.0.
 - Submit manufacturer literature for approval.
- B. Organic Matter: Leaf matter and yard waste composted sufficiently to break down all woody fibers, seeds, and leaf structures, and free of toxic and nonorganic matter. Organic matter shall be commercially prepared compost. Submit 0.5 kg (1 lb) sample and supplier literature for approval.
- C. Course Sand: Course concrete sand, ASTM C-33 Fine Aggregate, with a Finer Modulus index of 2.75 or greater.
- Sands shall be clean, sharp, natural sands free of limestone, shale and silica particles.
 - Provide the following particle size distribution:

Size	Percentage Passing
3/8 in (9.5 mm)	100
No. 4 (4.75 mm)	95-100
No. 8 (2.36 mm)	80-100
No. 16 (1.18 mm)	50-85
No. 30 (0.60 mm)	25-60
No. 60 (0.30 mm)	10-30
No. 100 (0.15 mm)	2-10

- D. Lime: shall be ground, pelletized, or pulverized lime manufactured to meet agricultural standards and contain a maximum of 60 percent oxide (i.e. calcium oxide plus magnesium oxide). Submit manufacturer literature for approval.
- E. Sulfur: shall be flowers of sulfur, pelletized or granular sulfur, or iron sulfate. Submit manufacturer literature for approval.
- F. Fertilizer: Agricultural fertilizer of a formula indicated by the soil test. Fertilizers shall be organic, slow-release compositions whenever applicable. Submit manufacturer literature for approval.

IV. Planting Mix

A. Planting Mix

1. Planting Mix for Trees, Shrubs, Groundcovers and vines: Check with landscape architect for appropriate mixture.
2. Planting Mix for Palms: Mixture of course sand and peat mixed in the following proportion:
- | Component | Percent by Volume |
|-------------|-------------------|
| Course Sand | 75% |
| Peat | 25% |

B. Planting mix shall be thoroughly mixed, screened, and shredded.

- C. Prior to beginning the mixing process, submit a 1-kg (2-lb) sample of the proposed mix with soil test results that indicate the mix ratio and the results achieved.
- D. During the mixing process but prior to installing the mix, submit a 1-kg (2-lb) sample for each 200 cubic meters (250 cubic yards) of planting mix, taken randomly from the finished soil mix, with soil test results for approval. In the event that the test results do not meet the required particle size distribution, remix and resubmit a revised planting mix.
- E. Make all amendments of lime/sulfur and fertilizer indicated by the soil test results at the time of mixing.
- F. All mixing shall take place in the contractors yard, using commercial mixing equipment sufficient to thoroughly mix all components uniformly.
- G. Protect the planting mix from erosion prior to installation.

Part 3. Execution

I. Excavation of Planted Areas

- A. Locations for plants and/or outlines of areas to be staked out at the site. Locate and mark all subsurface utility lines. Approval of the stakeout by the landscape architect is required before excavation begins.
- B. Tree, shrub, and groundcover beds are to be excavated to the depth and width indicated on the landscape plan detail drawings. If the planting area under any tree is initially dug too deep, the soil added to bring it up to the correct level should be thoroughly tamped.
- The sides of the excavation of all planting areas shall be sloped at a 45 degree. The bottom of all beds shall slope parallel to the proposed grades or lower any subsurface drain lines within the planting bed. The bottom of the planting bed directly under any tree shall be horizontal such that the tree also plumb.
 - Maintain all required angles of repose of the adjacent materials as shown on the drawings. Do not excavate compacted subgrades of adjacent pavement or structures.
 - Subgrade soils shall be separated from the topsoil, removed from the area, and not used as backfill in any planted or lawn area. Excavations shall not be left uncovered or unprotected overnight.
- C. For trees and shrubs planted in individual holes in areas of good soil that is to remain in place and/or to receive amendment in the top 160-mm (6 in.) layer, excavate the hole to the depth of the root ball and to widths shown on the drawing. Slope the sides of the excavation at a 45 degree angle up and away from the bottom of the excavation.
- In areas of slowly draining soils, the root ball may be set up to 75 mm (3 in.) or 1/8 of the depth of the root ball above the adjacent soil level.
 - Save the existing soil to be used as backfill around the tree.
 - On steep slopes, the depth of the excavation shall be measured at the center of the hole and the excavation dug as shown on the drawings.
- D. Detrimental soil conditions: The landscape architect is to be notified, in writing, of soil conditions encountered, including poor drainage, that the contractor considers detrimental to the growth of plant material. When detrimental conditions are uncovered, planting shall be discontinued until instructions to resolve the conditions are received from the landscape architect.
- E. Obstructions: If rock, underground construction work, utilities, tree roots, or other obstructions are encountered in the excavation of planting areas, alternate locations for any planting shall be determined by the landscape architect.

II. Installation of Planting Mix

- A. Prior to the installation of the planting mix, install subsurface drains, irrigation main lines, lateral lines, and irrigation risers shown on the drawings.
- B. The landscape architect shall review the preparation of subgrades prior to the installation of planting mix.
- C. Do not proceed with the installation of planting mix until all utility work in the area has been installed.
- D. Protect adjacent walls, walks, and utilities from damage or staining by the soil. Use 12-mm (1/2 in.) plywood and/or plastic sheeting as directed to cover existing concrete, metal, masonry work, and other items as directed during the progress of the work.
- Clean up any soil or dirt applied on any paved surface at the end of each working day.
 - Any damage to the paving or architectural work caused by the soils installation contractor shall be repaired by the general contractor at the soils installation contractor's expense.
- E. Fill the subsoil into the bottom layer of topsoil or planting mix.
- Loosen the soil of the subgrade to a depth of 50 to 75 mm (2 to 3 in.) with a rotilator or other suitable device.
 - Spread a layer of the specified topsoil or planting mix 50 mm (2 in.) deep over the subgrade. Thoroughly till the planting mix and the subgrade together.
 - Immediately install the remaining topsoil or planting mix in accordance with the following specifications. Protect the filled area from traffic. DO NOT allow the filled subgrade to become compacted.
 - In the event that the filled area becomes compacted, fill the area again prior to installing the planting mix.
- F. Install the remaining topsoil or planting mix in 200- to 250-mm (8- to 10-in.) lifts to the depths and shown on the drawing details. The depths and grades shown on the drawings are the final grades after soil settlement and shrinkage of the organic material. The contractor shall install the soil at a higher level to anticipate this reduction of soil volume, depending on predicted settling properties for each type of soil.
- Phase the installation of the soil such that equipment does not have to travel over already-installed topsoil or planting mixes.
 - Compact each lift sufficiently to reduce settling but not enough to prevent the movement of water and feeder roots through the soil. The soil in each lift should feel firm to the foot in all areas and make only slight heel prints. Overcompaction shall be determined by the following field penetration test.
 - Dig a hole 250 mm (10 in.) in diameter and 250 mm (10 in.) deep.
 - Fill the hole with water and let it drain completely. Immediately refill the hole with water and measure the rate of fall in the water level.
 - In the event that the water drains at a rate less than 25 mm (1 in.) per hour, fill the soil to a depth required to break the overcompaction.
 - The landscape architect shall determine the need for, and the number and location of penetration tests based on observed field conditions of the soil.
 - Maintain moisture conditions within the soils during installation to allow for satisfactory compaction. Suspend installation operations if the soil becomes wet. Do not place soils on wet subgrade.
 - Provide adequate equipment to achieve consistent and uniform compaction of the soils. Use the smallest equipment that can reasonably perform the task of spreading and compaction.
 - Add lime, sulfur, fertilizer, and other amendments during soil installation. Spread the amendments over the top layer of soil and till into the top 100 mm (4 in.) of soil. Soil amendments may be added at the same time that organic matter, when required, is added to the top layer of soil.
 - Protect soil from overcompaction after placement. An area that becomes overcompacted shall be filled to a depth of 125 mm (5 in.). Uneven or settled areas shall be filled and regraded.

III. Fine Grading

- A. It shall be the responsibility of the Contractor to finish grade (min. 8" below adjacent F.F.E.). Finish grades in planting areas shall be one inch lower than adjacent paving and are to include 5" of mulching. New earthwork shall stand smoothly to the existing earthwork, and grades shall pitch evenly between spot grades. All planted areas must pitch to drain at a minimum of 1/4" per foot. Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
- B. Fill all dips and remove any bumps in the overall plane of the slope.
- The tolerance for dips and bumps in lawn areas shall be a 12-mm (1/2 in.) deviation from the plane in 3,000 mm (10 ft).
 - The tolerance for dips and bumps in shrub planting areas shall be a 25-mm (1 in.) deviation from the plane in 3,000 mm (10 ft).
 - All fine grading shall be inspected and approved by the landscape architect prior to planting, mulching, sodding, or seeding.
- C. Barring shall not be placed within 10' of any existing line nor will it be allowed to encroach upon any utility, drainage, or maintenance easement. Barring shall not impede or obstruct any necessary swales needed to drain other areas for the property.

IV. Planting Operations

- A. Plants shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, unless otherwise noted on the drawings. Plants must be set plumb and balled in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compaction of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later.
- Set the elevation of the root flare and ensure that it is planted at grade. This may require that the tree be set higher than the grade in the nursery.
 - If the root flare is less than 50 mm (2 in.) below the soil level of the root ball, plant the tree the appropriate level above this grade to set the flare even with the grade. If the flare is more than 50 mm (2 in.) at the center of the root ball the tree shall be rejected.
- B. Lift plants up from the bottom of the root balls or with belts or lifting harnesses of sufficient width not to damage the root balls. Do not lift trees by their trunk or use the trunk as a lever in positioning or moving the tree in the planting area.
- C. Remove plastic, paper, or fiber pots from containerized plant material. Pull roots out of the root mat. Loosen the potting medium and shake away from the root mat. Immediately after removing the container, install the plant such that the roots do not dry out. Pack planting mix around the exposed roots while planting.
- D. The roots of bare-root trees shall be pruned at the time of planting to remove damaged or undesirable roots (those likely to become a detriment to future growth of the root system). Bare-root trees shall have the roots spread to approximate the natural position of the root and shall be centered in the planting pit. The planting-soil backfill shall be worked firmly into and around the roots, with care taken to fill it is completely with no air pockets.
- E. Cut ropes or slings from the top of shrub root balls and trees smaller than 3 in. caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top half of balls. Do not turn under and bury portions of burlap at top of ball.
- Do not immediately remove the ropes and burlap from trees larger than 3 in. caliper. Return to each tree three months after planting and cut all ropes around the trunks and tops of the root balls of these trees.
 - Completely remove any waterproof or water-repellent strings or wrappings from the root ball and trunk before backfilling.
- F. Set balled and burlapped trees in the hole with the north marker facing north unless otherwise approved by the landscape architect.
- G. Place native soil, topsoil, or planting mix into the area around the tree, tamping lightly to reduce settlement.
- For plants planted in individual holes in existing soil, add any required soil amendments to the soils, as the material is being backfilled around the plant. Ensure that the amendments are thoroughly mixed into the backfill.
 - For plants planted in large beds of prepared soil, add soil amendments during the soil installation process.
- H. Solid soil shall be laid with closely abutting joints with a tamped or rolled, even surface. Stagger steps to offset joints in adjacent courses. Bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. Sod along slopes shall be pegged to hold sod in place along slopes or banks a wood peg acceptable to the landscape Architect shall be used at no additional cost to the Owner. If, in the opinion of the Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in without additional charge.
- Thoroughly water all plants immediately after planting. Apply water by hose directly to the root ball and the adjacent soil.
- J. Remove all tags, labels, strings, etc. from all plants.
- K. Remove any excess soil, debris, and planting material from the job site at the end of each workday.
- L. Form watering saucers 100 mm (4 in.) high immediately outside the area of the root ball of each tree as indicated on the drawings.

V. Relocation of Existing Material

- A. Landscape Contractor shall root prune trees which are to be relocated in accordance with approved horticultural practices and the following procedures.
- Select a healthy tree
 - Selectively trim the canopy removing dead limbs, cross branching over crowded areas, and lower undesirable limbs. Fertilize and water trees before pruning.
 - Root prune 50% of the root system approximately 15"-2" deep (depending upon species and size). This is done by hand with sharp hand tools or a root pruning saw. The diameter of the root ball to be pruned is 8-12 inches per every one inch of diameter at breast height of the tree.
 - Back fill the existing soil with peat moss to stimulate new root growth of the pruned roots.
 - Water in thoroughly and treat with a mycorrhizae and a low nitrogen fertilizer (so not to burn the pruned roots). Break trees if deemed necessary.
 - The root pruned tree should be watered every day (especially during warm months of the season), the equivalent of 6 gallons for every DBH of tree per day.
 - Root pruned trees should be let to stand for a minimum of 8 weeks for trees less than 8" DBH and as long as 3 months for larger specimens prior to transplanting.
 - For best results and survivorship, new root growth should be evident on root pruned trees prior to transplanting.
 - Upon transplanting, water should be applied every day as outlined in step 8 for at least one year.

VI. Staking and Guying

- A. The Contractor shall stake all trees and palms in accordance with the tree and palm staking details provided within the plan drawings. Alternate methods of guying or staking may be employed with the prior approval of the Landscape Architect.
- B. The Contractor shall be responsible for the replacement or adjustment of all trees, palms or shrubs that fall or lean during the guarantee period. The Contractor shall be responsible for any damage caused by the falling or leaning of trees.
- C. Stakes and guys shall be installed immediately upon approval or planting, and shall be removed in accordance with the staking details provide within the plan drawings.
- D. Any tree that is not stable at the end of the warranty period shall be rejected.

VI. Pruning

- A. Plants shall not be heavily pruned at the time of planting. Pruning is required at planting time to correct defects in the tree structure, including removal of injured branches, water sprouts, suckers, and interfering branches. Healthy lower branches and interior small twigs should not be removed except as necessary to clear walks and roads. In no case should more than one-quarter of the branching structure be removed. Retain the normal or natural shape of the plant.
- B. All pruning shall be completed using clean, sharp tools. All cuts shall be clean and smooth, with the bark intact with no rough edges or tears.
- C. Pruning of large trees shall be done from a hydraulic man-lift such that it is not necessary to climb the tree.

VIII. Mulching

- A. All trees, palms, shrubs, and other plantings will be mulched with mulch previously approved by the landscape architect. The mulch shall be a minimum 3" thick layer over all tree, shrub and ground cover planting areas, unless otherwise specified. All mulch layers shall be of the specified thickness at the time of the final acceptance of the work. Mulch must not be placed within 3 inches of the trunks of trees, palms or shrubs.
- B. Place mulch at least 3" in depth around all trees located in lawn areas. The diameter of the circle shall be 18" in diameter larger than the ball of the plant provided. Mulch must not be placed within 3 inches of the trunks of trees, palms or shrubs.

IX. Maintenance of Trees, Shrubs, and Vines

- A. Maintenance shall begin immediately after each plant is planted and continue until its acceptance has been confirmed by the landscape architect.
- B. Maintenance shall consist of pruning, watering, cultivating, weeding, mulching, fertilizing, lightening and repairing guys and stakes, resetting plants to proper grades or upright position, restoring of the planting saucer, and furnishing and applying such sprays or other materials as necessary to keep plantings free of insects and diseases and in vigorous condition.
- C. Planting areas and plants shall be protected at all times against trespassing and damage of all kinds for the duration of the maintenance period. If a plant becomes damaged or injured, it shall be treated or replaced as directed by the landscape architect at no additional cost.
- D. Watering: Contractor shall irrigate as required to maintain vigorous and healthy tree growth. Overwatering or flooding shall not be allowed. The contractor shall monitor, adjust, and use existing irrigation facilities, if available, and furnish any additional material, equipment, or water to ensure adequate irrigation. Root balls of all trees and large shrubs shall be kept watered using hand-held hoses during the first four months after planting, as required to ensure adequate water within the root ball.
- E. During periods of restricted water usage, all governmental regulations (permanent and temporary) shall be followed. The contractor may have to transport water from ponds or other sources, at no additional expense to the owner when irrigation systems are unavailable.
- F. Remove soil ridges from around watering basins prior to end of maintenance period, as directed by Landscape Architect

X. Acceptance

- A. The landscape architect shall inspect all work for acceptance upon written request of the contractor. The request shall be received at least ten calendar days before the anticipated date of inspection.
- B. Acceptance of plant material shall be for general conformance to specified size, character, and quality and shall not relieve the contractor of responsibility for full conformance to the contract documents, including correct species.
- C. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect, the landscape architect shall certify in writing that the work has been accepted.

XI. Acceptance in Part

A. Work may be accepted in parts when the landscape architect and contractor deem that practice to be in their mutual interest. Approval must be given in writing by the landscape architect to the contractor verifying that the work is to be completed in parts. Acceptance of work in parts shall not waive any other provision of this contract.

XII. Guarantee Period and Replacements

- A. The guarantee period for trees and shrubs shall begin at the date of acceptance.
- B. The contractor shall guarantee all plant material to be in healthy and flourishing condition for a period of one year from the date of acceptance.
- C. When work is accepted in parts, the guarantee periods extend from each of the partial acceptances to the terminal date of the guarantee of the last acceptance. Thus, all guarantee periods terminate at one time.
- D. The contractor shall replace, without cost, as soon as weather conditions permit, and within a specified planting period, all plants determined by the landscape architect to be dead or in an unacceptable condition during and at the end of the guarantee period. To be considered acceptable, plants shall be free of dead or dying branches and branch tips and shall bear foliage of normal density, size, and color. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification.
- E. The guarantee of all replacement plants shall extend for an additional period of one year from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of said extended guarantee period, the landscape architect may elect subsequent replacement or credit for that item.
- F. At the end of the guarantee, the contractor shall reset grades that have settled below the proposed grades on the drawings.
- G. The contractor shall make periodic inspections, at no extra cost, during the guarantee period to determine what changes, if any, should be made in the maintenance program. If changes are recommended, they shall be submitted in writing to the landscape architect. Claims by the contractor that the owners maintenance practices or lack of maintenance resulted in dead or dying plants will not be considered if such claims have not been documented by the contractor during the guarantee period.

XIII. Final Inspection and Final Acceptance

At the end of the guarantee period and upon written request of the contractor, the landscape architect will inspect all guaranteed work for final acceptance. The request shall be received at least ten calendar days before the anticipated date of final inspection. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect at that time, the landscape architect shall certify, in writing

ATTACHMENT C

Land Use & Zoning Map

890 North State Road 7 (Walgreens)



PLANNING AND
DEVELOPMENT SERVICES

Legend

 Subject Parcel

 Streets

LAND USE

 TOC

ZONING

 C-1

 C-3

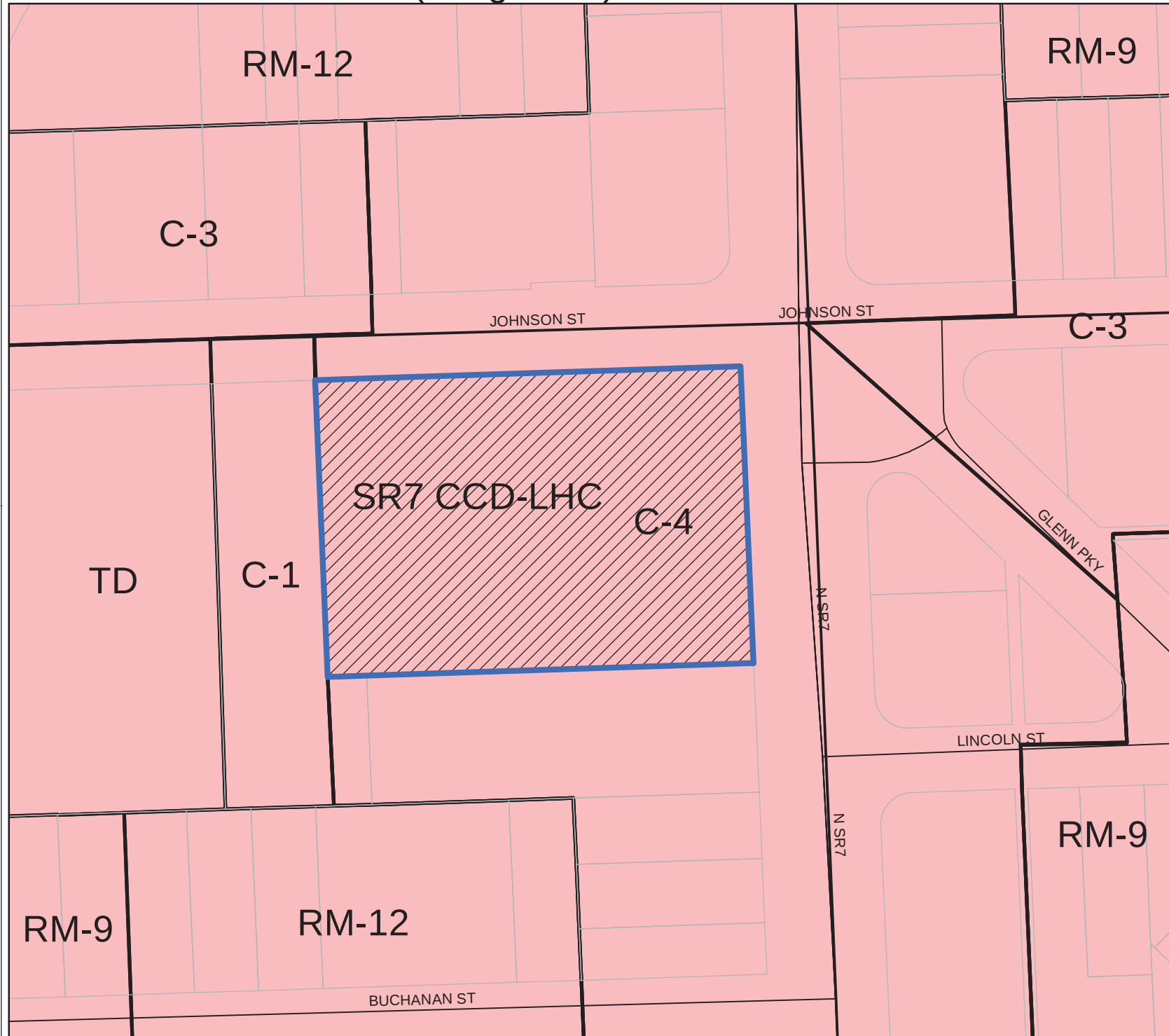
 C-4

 RM-12

 RM-9

 SR7 CCD-LHC

 TD



0 25 50 100 Feet

