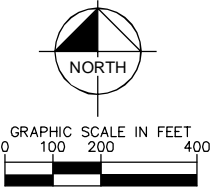
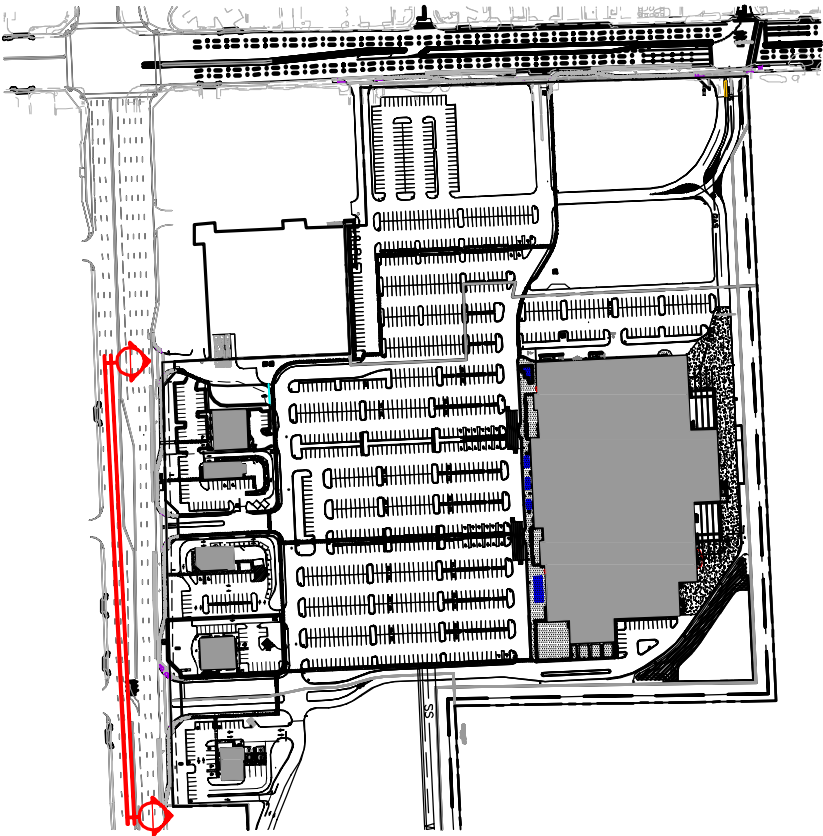
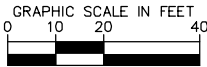
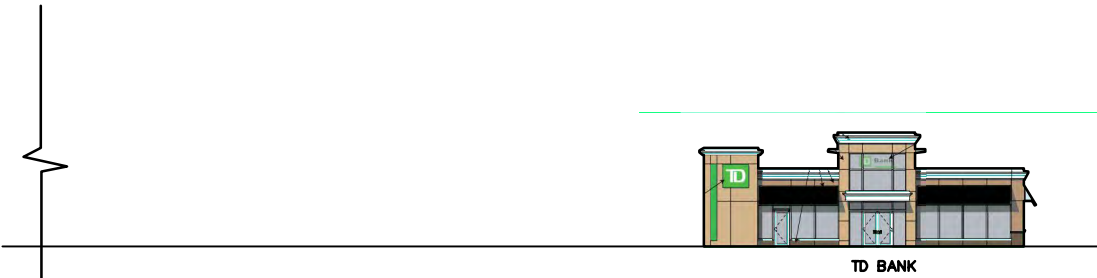
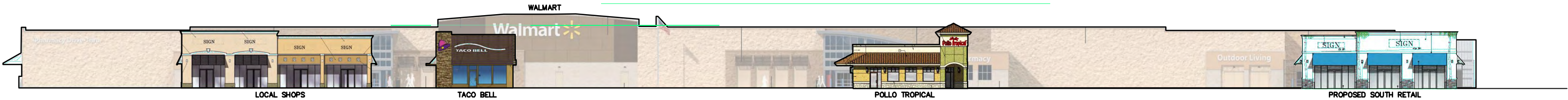


THE PLACE AT HOLLYWOOD

SR7 STREET VIEW RENDERING

Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696



KEY PLAN

Plotted By: Schulz, Ryan Sheet Set: THE PLACE AT HOLLYWOOD PHASE V SOUTH RETAIL Layout: C-000 COVER SHEET September 15, 2016 02:10:43pm K:\VRE_LDEV\147506002 - Phase 6 Retail\CAD\PlanSheets\C-000 COVER SHEET.dwg
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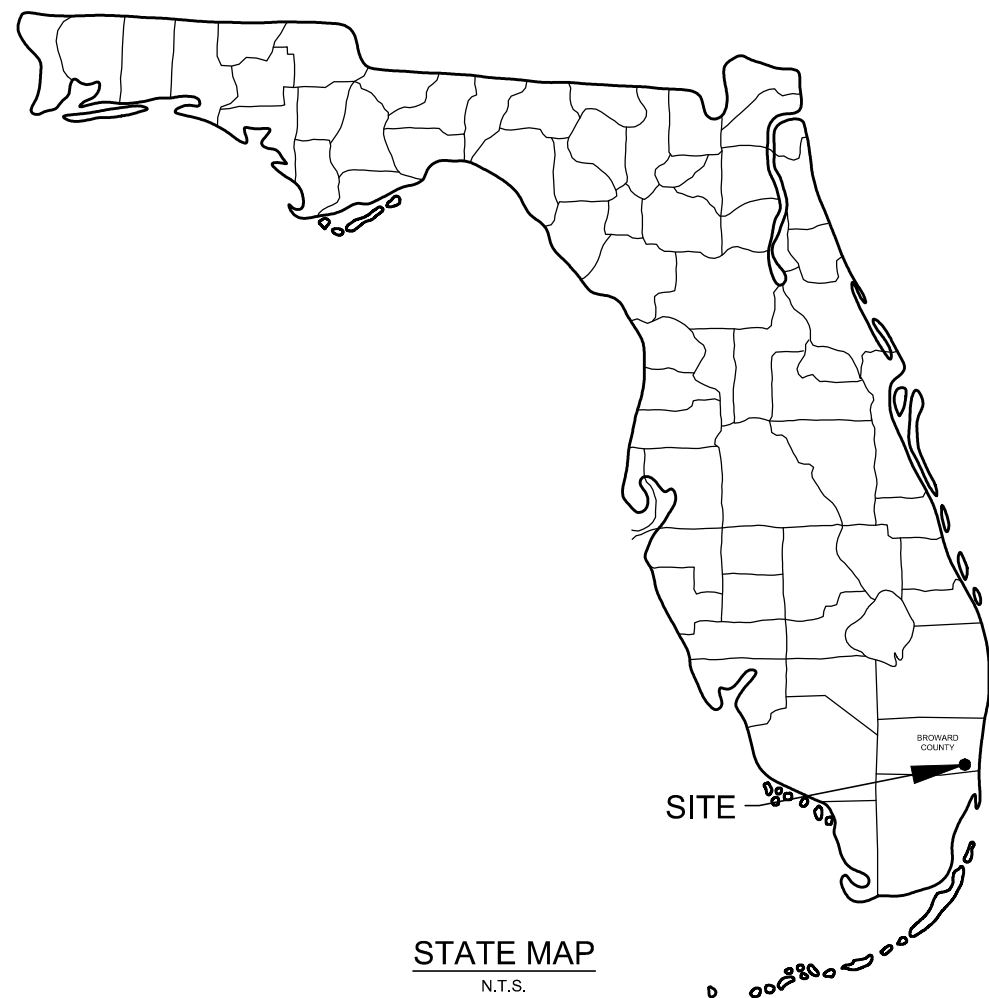
SITE CONSTRUCTION PLANS

THE PLACE AT HOLLYWOOD PHASE V

SOUTH RETAIL

333 SOUTH STATE ROAD 7

HOLLYWOOD, BROWARD COUNTY, FL



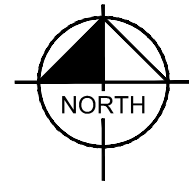
STATE MAP
N.T.S.



PROJECT LOCATION

VICINITY AND KEY MAP

N.T.S.



SHEET NUMBER

C-000

1 OF 1

C-001

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ARCHITECT

(PREPARED BY GUTIERREZ & LOZANO ARCHITECTS)

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SHEET TITLE

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A-1.1

ROOF PLAN

A-2.0

ELEVATIONS

A-2.1

COLOR ELEVATIONS

PROJECT DESIGN TEAM

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FLORIDA POWER & LIGHT
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4000 DAVIE ROAD EXTENSION
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HOLLYWOOD, FL 33022
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TECO PEOPLES GAS
DOUG HOFFMAN
15779 W. DIXIE HIGHWAY
NORTH MIAMI, FL 33162
PHONE: (954) 931-9742

MEETINGS	DATE
PRELIMINARY TAC	09/06/16
FINAL TAC	_____
PLANNING DEV. BOARD	_____
CITY COMMISSION	_____

THE PRESENCE OF ROCK SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig



ALERT TO CONTRACTOR:

- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE, WHEN PERFORMING GRADING OPERATIONS. DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

COVER SHEET

THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

CITY OF HOLLYWOOD FLORIDA

LICENSED PROFESSIONAL

GREG D. WILFONG, P.E.
FLORIDA LICENSE NUMBER
63166

KHA PROJECT
147506002

DATE
09/14/16

SCALE AS SHOWN
DESIGNED BY GOW

DRAWN BY RS
CHECKED BY

DATE: _____

Kimley»Horn

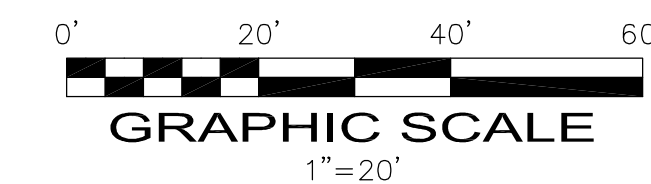
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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696

No.	REVISIONS	DATE	BY

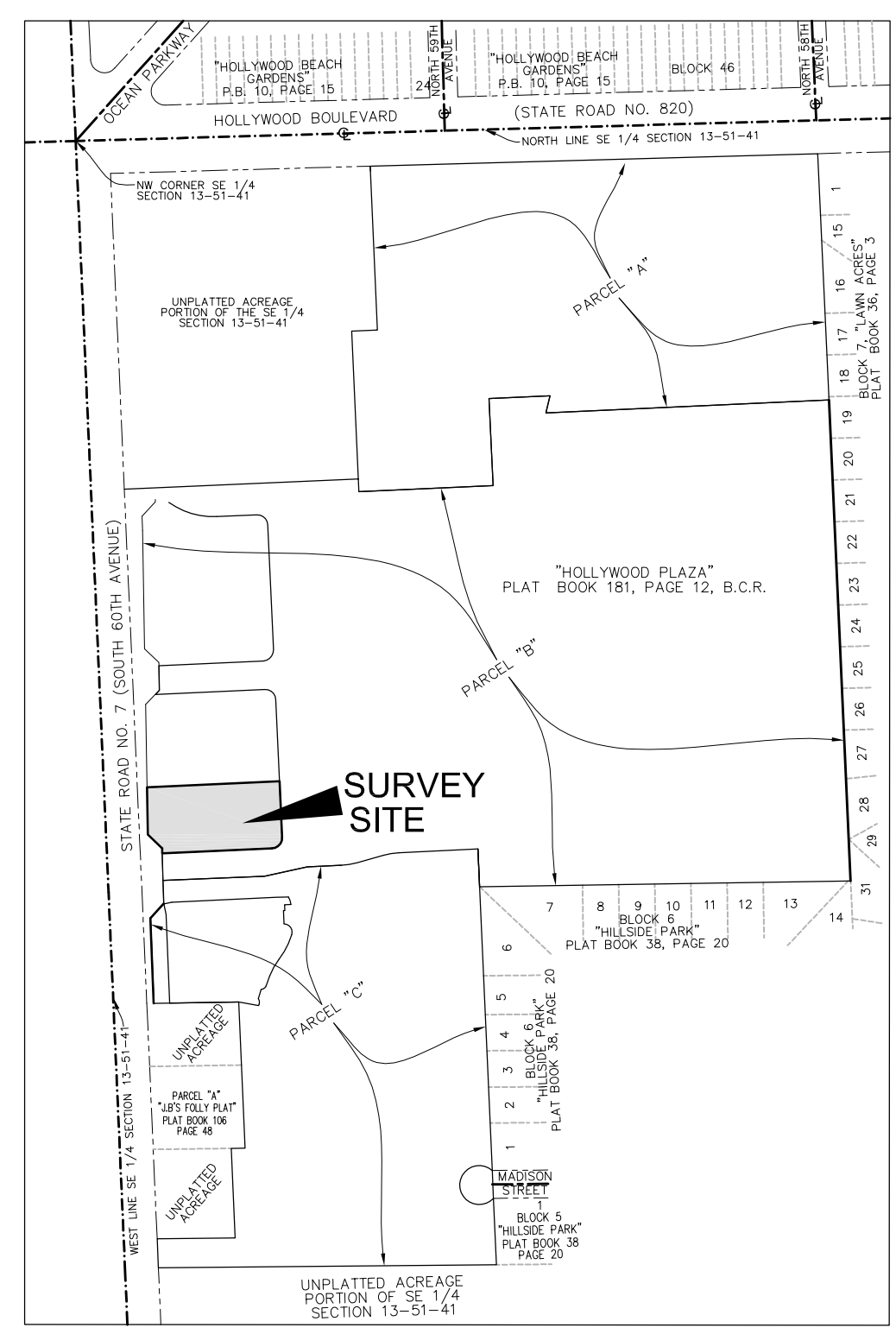
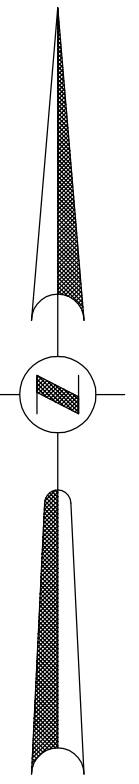
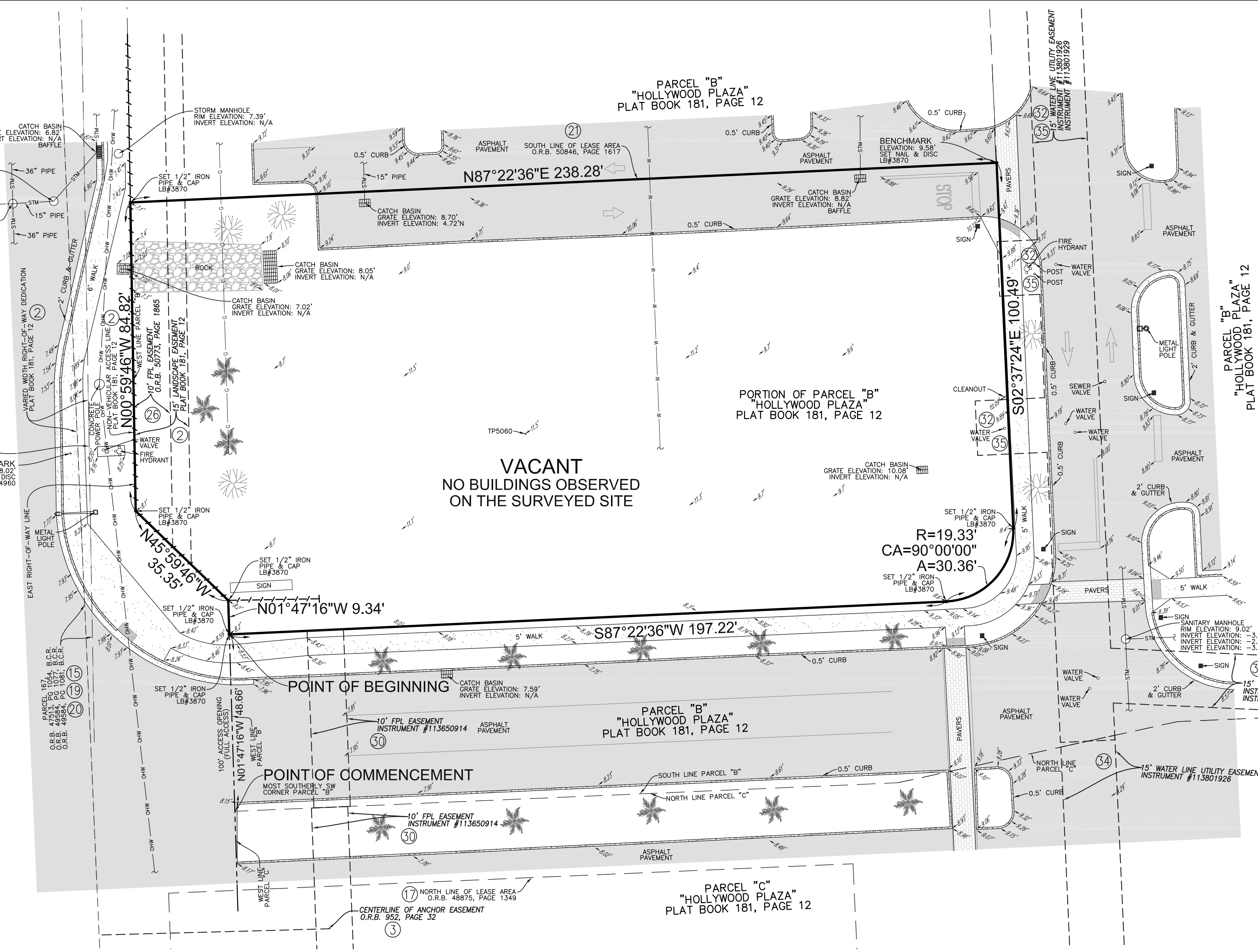
SHEET NUMBER
C-000

LEGEND

	CONCRETE
	ASPHALT PAVEMENT
	PAVERS
	ELEVATION
	OVERHEAD WIRES
	UNDERGROUND STORM SEWER LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE
	UNDERGROUND GAS LINE
	CENTERLINE
	O.R.B. OFFICIAL RECORDS BOOK
	B.C.R. BROWARD COUNTY RECORDS
	TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
	FPL FLORIDA POWER & LIGHT COMPANY
	R RADIUS
	CA CENTRAL ANGLE
	A ARC LENGTH
	PALM TREE
	OAK TREE
	PG PAGE



STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441)
UNDER CONSTRUCTION



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

A PORTION OF PARCEL "B" OF "HOLLYWOOD PLAZA" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID PARCEL "B"; THENCE ON THE WESTERLY BOUNDARY OF SAID PARCEL "B", ALSO BEING THE EAST RIGHT-OF-WAY LINE OF STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) THE FOLLOWING 4 COURSES AND DISTANCES: 1) NORTH 01°47'16" WEST 48.66 FEET TO THE POINT OF BEGINNING; 2) CONTINUE NORTH 01°47'16" WEST 9.34 FEET; 3) NORTH 45°59'46" WEST 35.35 FEET; 4) NORTH 00°59'46" WEST 84.82 FEET; THENCE NORTH 87°22'36" EAST 238.28 FEET; THENCE SOUTH 02°37'24" EAST 100.49 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 19.33 FEET, A CENTRAL ANGLE OF 90°00'00", FOR AN ARC DISTANCE OF 30.36 FEET TO A POINT OF TANGENCY; THENCE SOUTH 87°22'36" WEST 197.22 FEET TO THE POINT OF BEGINNING,

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 28,120 SQUARE FEET, 0.6456 ACRES.

CERTIFICATION:

TO DACAR MANAGEMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY; PALM BEACH 2000, INC., A FLORIDA CORPORATION; VESTMAZ, INC., A FLORIDA CORPORATION; COMMONWEALTH LAND TITLE INSURANCE COMPANY; DUNAY MISKEL AND BACKMAN, LLP:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8 & 11 OF TABLE A THEREOF.

□ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
□ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
□ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
STATE OF FLORIDA

5	REVISION	DATE	BY
4	REVISION	DATE	BY
3	REVISION	DATE	BY
2	REVISION	DATE	BY
1	REVISION	DATE	BY
NO.	REVISIONS	DATE	BY

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

DRAWN BY: B.E.
CHECKED BY: J.F.P.

SCALE: 1" = 20'
SURVEY DATE: 05/24/16

FILE: DACAR MANAGEMENT, LLC.
ORDER NO.: 61884

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NOTES:

- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #S2062; ELEVATION: 8.50 FEET.
- FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #125113 0564H; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE WEST LINE OF PARCEL "B" BEING N00°59'46"W.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- THIS SITE CONTAINS NO PARKING SPACES.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A CERTIFICATE OF SEARCH OWNERSHIP AND ENCUMBRANCE, FILE NUMBER 5915465, DATED THROUGH JULY 24, 2016 AT 6:00 A.M. AND FILE NUMBER 5915465 UPDATE, DATED FROM JULY 24, 2017 AT 6:00 A.M. TO SEPTEMBER 7, 2016, BOTH PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY. THE FOLLOWING ITEMS ARE EXCEPTIONS LISTED IN SAID REPORT:
 - NOTICE OF COMMENCEMENT IN INSTRUMENT #113428163 DOES NOT AFFECT THIS SITE.
 - PLAT IN PLAT BOOK 181, PAGE 12 AFFECTS THIS SITE AS DEPICTED HEREON.
 - EASEMENT IN O.R.B. 916, PAGE 32 DOES NOT AFFECT THIS SITE AS PARTIALLY DEPICTED HEREON.
 - EASEMENT IN O.R.B. 952, PAGE 33 DOES NOT AFFECT THIS SITE.
 - WARRANTY DEED IN O.R.B. 4225, PAGE 829 DOES NOT AFFECT THIS SITE.
 - ORDINANCE NO. 0-71-29 IN O.R.B. 4443, PAGE 805 DOES NOT AFFECT THIS SITE.
 - EASEMENT IN O.R.B. 4628, PAGE 196 DOES NOT AFFECT THIS SITE.
 - ELECTRIC EASEMENT IN O.R.B. 5058, PAGE 899 DOES NOT AFFECT THIS SITE.
 - MUTUAL ACCESS EASEMENT IN O.R.B. 32158, PAGE 1423 DOES NOT AFFECT THIS SITE.
 - GRANT OF EASEMENT IN O.R.B. 32158, PAGE 1430 DOES NOT AFFECT THIS SITE.
 - GRANT OF EASEMENT IN O.R.B. 32158, PAGE 1434 AFFECTS THIS SITE BUT IS NOT DEPICTED HEREON.
 - MEMORANDUM OF LEASE IN O.R.B. 35077, PAGE 850 DOES NOT AFFECT THIS SITE.
 - AMENDED AND RESTATED MEMORANDUM OF LEASE IN O.R.B. 39344, PAGE 1377 AFFECTS THIS SITE BUT IS NOT PLOTTED.
 - MEMORANDUM OF OPTIONEE'S EXERCISE OF PURCHASE OPTION IN O.R.B. 39521, PAGE 200 AFFECTS THIS SITE BUT IS NOT PLOTTED.
 - SUBORDINATION OF CITY UTILITY INTERESTS IN O.R.B. 47513, PAGE 1054 LIES WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167) AS DEPICTED HEREON.
 - DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS IN O.R.B. 48703, PAGE 462 AFFECTS THIS SITE, BUT THE LOADING AREA EASEMENT DOES NOT FALL WITHIN THE BOUNDARY OF THIS PROPERTY AND IS NOT DEPICTED.
 - MEMORANDUM OF LEASE IN O.R.B. 48875, PAGE 1349 DOES NOT AFFECT THIS SITE WITH NORTH LINE OF LEASE AREA DEPICTED HEREON.
 - MEMORANDUM OF LEASE IN O.R.B. 49331, PAGE 207 AFFECTS THIS SITE BUT LEASE AREA EXHIBIT C NOT ATTACHED TO DOCUMENT.
 - SPECIAL WARRANTY DEED IN O.R.B. 49584, PAGE 1077 FALLS WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167.1R) AS DEPICTED HEREON.
 - QUITCLAIM DEED IN O.R.B. 49584, PAGE 1081 FALLS WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167.1R) AS DEPICTED HEREON.
 - AMENDED AND RESTATED MEMORANDUM OF LEASE IN O.R.B. 50846, PAGE 1617 LIES NORTH OF AND ADJACENT TO THIS SITE AS DEPICTED HEREON.
 - SECURITY/LIEN AGREEMENT INSTALLATION OF REQUIRED IMPROVEMENTS IN O.R.B. 50295, PAGE 1021 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - RESOLUTION NO. 12-DPV-93 IN O.R.B. 50597, PAGE 1160 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - TREE MITIGATION AGREEMENT FOR "THE PLACE OF HOLLYWOOD" IN O.R.B. 50597, PAGE 1180 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - SEWER USE AGREEMENT IN O.R.B. 50688, PAGE 396 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - EASEMENT IN O.R.B. 50773, PAGE 1865 AFFECTS THIS SITE AS DEPICTED HEREON.
 - EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND (ECR) IN O.R.B. 51033, PAGE 1417 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT IN INSTRUMENT #113456377 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND IN INSTRUMENT #113585669 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - EASEMENT IN INSTRUMENT #113650914 DOES NOT LIE WITHIN THIS SITE BUT A PORTION ADJOINS THE SOUTH LINE OF THIS PROPERTY PROVIDING TIE IN SERVICE TO THIS SITE AS DEPICTED HEREON.
 - EASEMENT IN INSTRUMENT #113650915 DOES NOT AFFECT THIS SITE.
 - WATER LINE UTILITY EASEMENT IN INSTRUMENT #113801926 AFFECTS THIS SITE AS DEPICTED HEREON.
 - WATER LINE UTILITY EASEMENT IN INSTRUMENT #113801927 DOES NOT AFFECT THIS SITE BUT TIES INTO THE WATER LINE EASEMENT RECORDED IN ITEM 32, AND IS NOT DEPICTED HEREON.
 - BILL OF SALE ABSOLUTE IN INSTRUMENT #113801928 DOES NOT AFFECT THIS SITE BUT TIES INTO THE WATER LINE EASEMENT RECORDED IN ITEM 32, AS PARTIALLY DEPICTED HEREON.
 - BILL OF SALE ABSOLUTE IN INSTRUMENT #113801929 AFFECTS THIS SITE AS DEPICTED HEREON.

Plotted By: Schulz, Ryan Sheet Set: THE PLACE AT HOLLYWOOD PHASE V SOUTH RETAIL Layout: C-001 GENERAL NOTES September 15, 2016 02:11:22pm K:\VRB_LDBVA\147506002 - Phase 6 Retail\CAD\Plan\Sheets\C-101 GENERAL NOTES.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL):1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

RECORD DRAWINGS

1. CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 10 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, AS WELL AS BOTH IN AUTOCAD 2012 OR LATER, BOTH PREPARED BY A FLORIDA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

EROSION CONTROL NOTES (CONT.)

13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE FOOT STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING
- SUBGRADE PREPARATION
- BASE INSTALLATION
- ASPHALT INSTALLATION
- UNDERGROUND PIPING AND UTILITIES INSTALLATION
- INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC.
- SIDEWALK INSTALLATION
- CONNECTIONS TO WATER AND SEWER MAINS
- TESTS OF UTILITIES

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY

THE PRESENCE OF ROCK SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

CITY OF HOLLYWOOD

FLORIDA

SHEET NUMBER
C-001

Kimley»Horn

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LICENSED PROFESSIONAL
147506002

DATE
09/14/16

SCALE AS SHOWN

DESIGNED BY
GDW

DRAWN BY
RS

CHECKED BY
GDW

GREG D. WILFONG, P.E.

FLORIDA LICENSE NUMBER
63166

REVISIONS

DATE

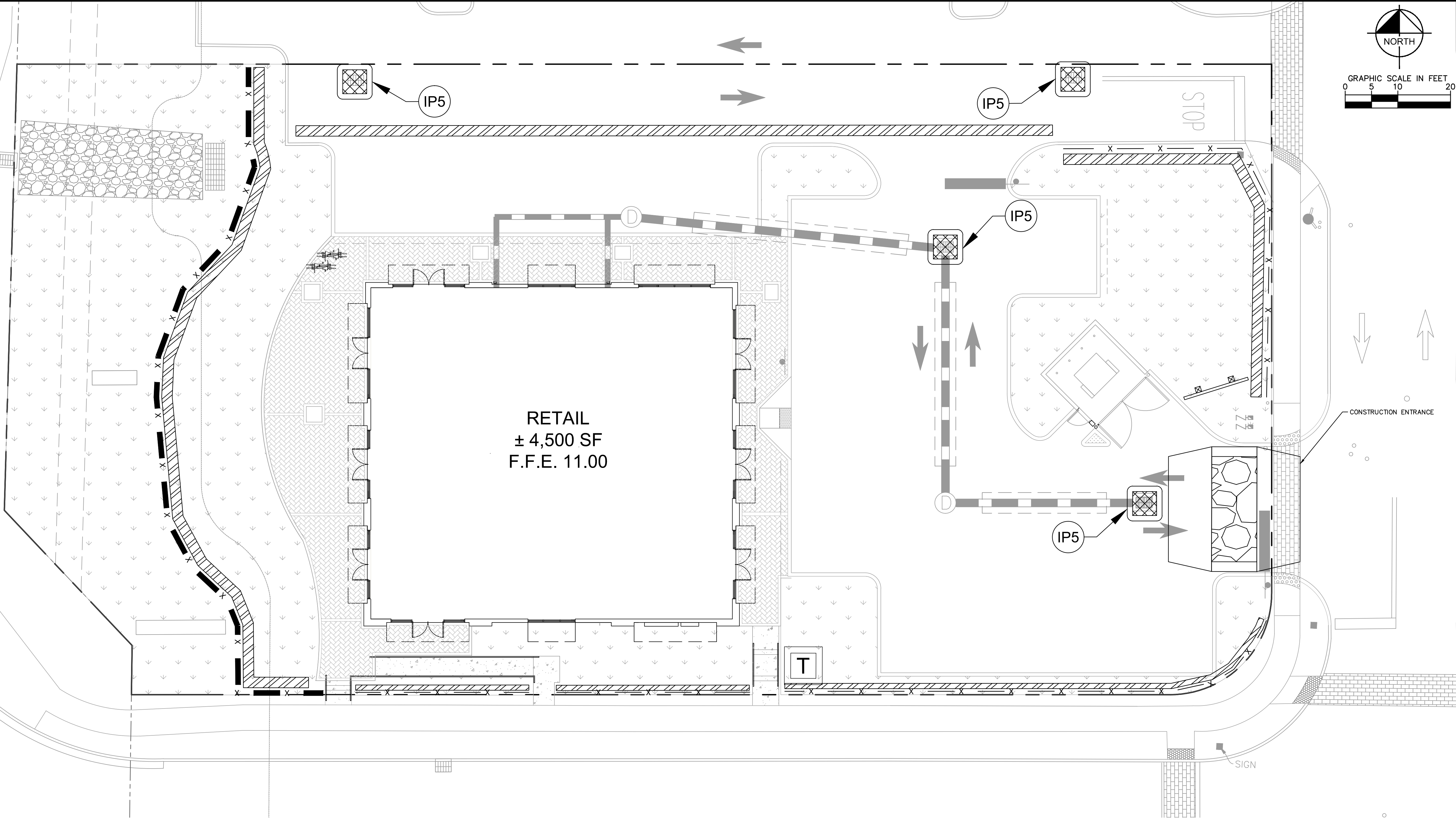
BY

Plotted By: Schulz, Ryan Sheet Set: THE PLACE AT HOLLYWOOD PHASE V SOUTH RETAIL Layout: C-100 EROSION AND SEDIMENT CONTROL PLAN September 15, 2016 02:12:40pm K:\VRB_LDEV\147506002 - Phase 6 Retail\CAD\PlanSheets\C-100 SWPPP.dwg
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METAL LIGHT POLE



NOTES

1. ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. PORTABLE TOILETS MUST BE LOCATED AT LEAST 30 FEET FROM INLETS, CHANNELS, SWALES, OR PERMITTED LIMITS OF DISTURBANCE, AND MUST BE LOCATED AT LEAST 50 FEET FROM WATERS OF THE STATE, OR WATERS OF THE U.S. PORTABLE TOILETS MUST BE SECURELY ANCHORED AND/OR TIED DOWN. SECONDARY CONTAINMENT SHALL BE PROVIDED AND FULL CAPACITY SHALL BE RESTORED IMMEDIATELY UPON DISCOVERY OF ITS DIMINISHMENT. THE LOCATION OF SANITARY FACILITIES SHALL BE SHOWN ON THE SITE MAPS.
2. LARGE AREAS OF SOIL THAT ARE DENUDE OF VEGETATION AND HAVE NO PROTECTION FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHERING PRODUCTS TO PREVENT SOIL PARTICLES FROM BECOMING AIRBORNE, AND FROM EXITING THE SITE PERIMETER.
3. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATED ON THE SITE. TACKIFIERS MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST. MANUFACTURER RECOMMENDATIONS FOR APPLICATION LOCATIONS AND RATES MUST BE USED FOR DUST CONTROL APPLICATIONS. ONLY SWPPP-SPECIFIED TACKIFIERS MAY BE USED ON THE PROJECT SITE; ANY CHEMICAL APPLICATION NOT INCLUDED IN THE SWPPP MUST BE APPROVED, IN WRITING, BY THE CIVIL ENGINEER.
4. DUST CONTROL MUST BE PROVIDED BY THE GC TO A DEGREE THAT IS IN COMPLIANCE WITH APPLICABLE FEDERAL, LOCAL AND STATE DUST CONTROL REGULATIONS.
5. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
6. IN ADDITION TO BMPs, GC SHALL PERFORM PER PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING.
7. STORM DRAIN INLET PROTECTION MEASURES SHALL PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS.
8. TEMPORARY CONTROLS SHALL BE CONSTRUCTED BEFORE THE SURROUNDING AREA IS DISTURBED.
9. TO PREVENT CLOGGING, STORM DRAIN CONTROL STRUCTURES MUST BE MAINTAINED FREQUENTLY.
10. CHECK ALL TEMPORARY CONTROL MEASURES DAILY, AND AFTER EACH STORM EVENT.
11. CONTROL MEASURES MUST BE BUILT PER DETAIL AND PLANS, AND MUST BE IN GOOD WORKING CONDITION AT ALL TIMES.
12. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
13. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
14. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
15. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP IMPLEMENTATION SEQUENCING, OR AS REQUIRED BY THE APPLICABLE GENERIC PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
16. ALL DENUDE/BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 7 DAYS.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE APPLIED PER ABOVE REQUIREMENTS.
19. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
20. ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE SITE PLANS.
21. STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT BENEFITS AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE-SPECIFIC POST CONSTRUCTION STORM WATER OPERATION AND MAINTENANCE (O&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.
22. ALL CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- PARCEL LINES
- X- CHAIN LINK FENCE
- /// FILTERTRENCH SEDIMENT CONTROL
- - - STORM SEWER PIPE
- SS SWPPP INFORMATION SIGN
- IP5 INLET PROTECTION FILTER SACK
- CONSTRUCTION EXIT
- PERMANENT SODDING

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THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

EROSION AND
SEDIMENT CONTROL
PLAN

CITY OF HOLLYWOOD FLORIDA

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PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL

KHA PROJECT

147506002

DATE

09/14/16

SCALE

AS SHOWN

DESIGNED BY

GDW

DRAWN BY

RS

CHECKED BY

DATE

GREG D. WILFONG, P.E.

FLORIDA LICENSE NUMBER

63166

REVISIONS

No.

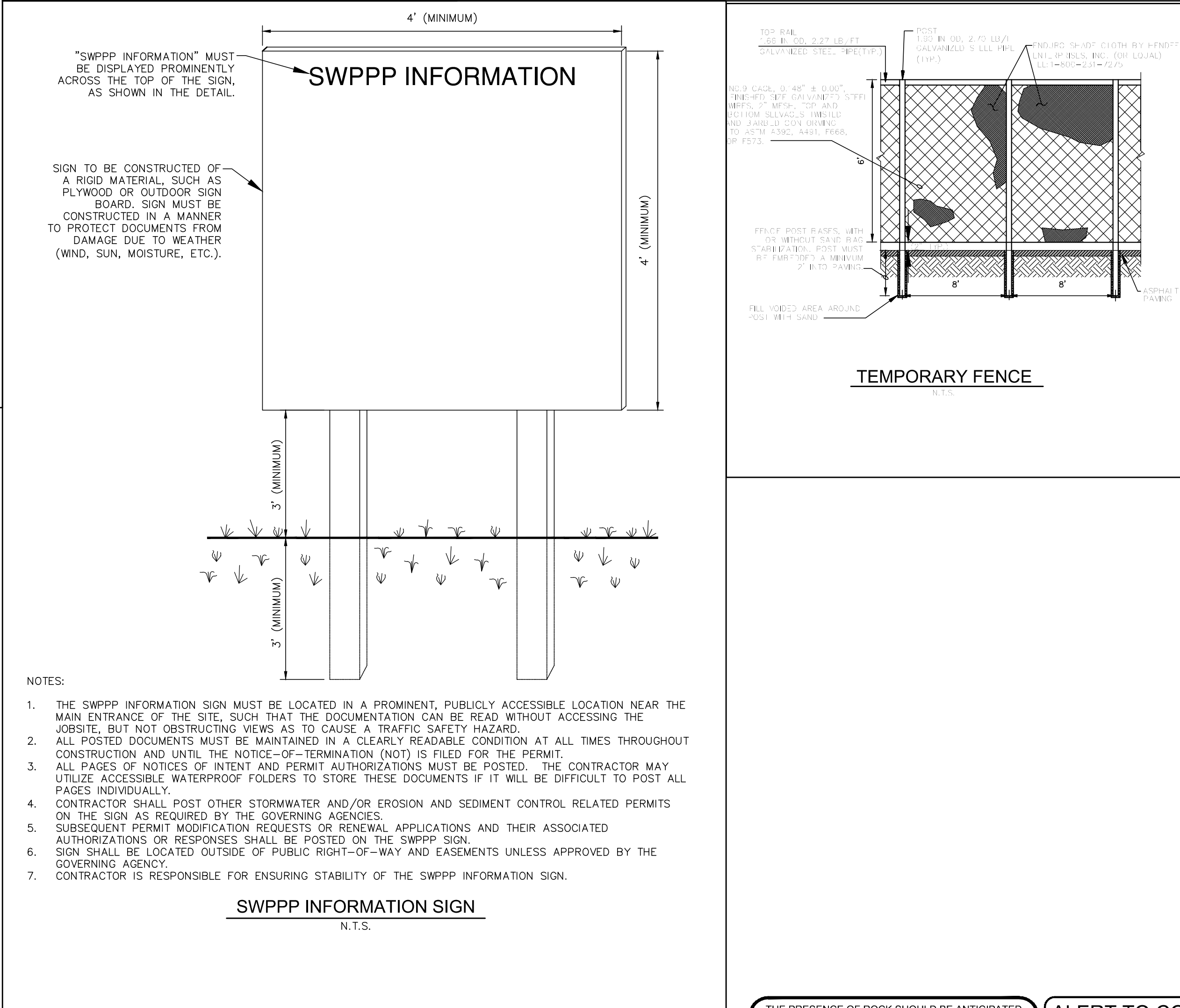
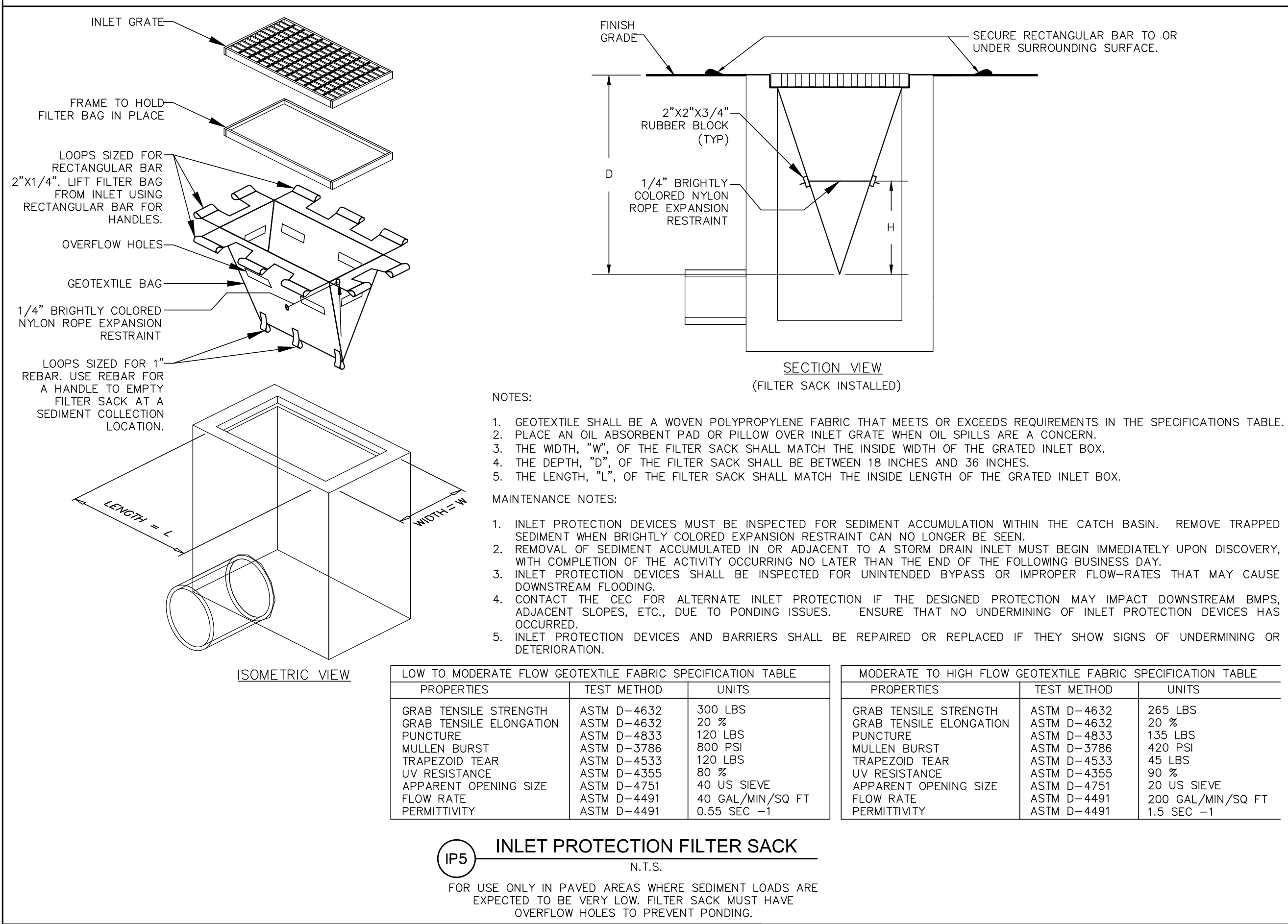
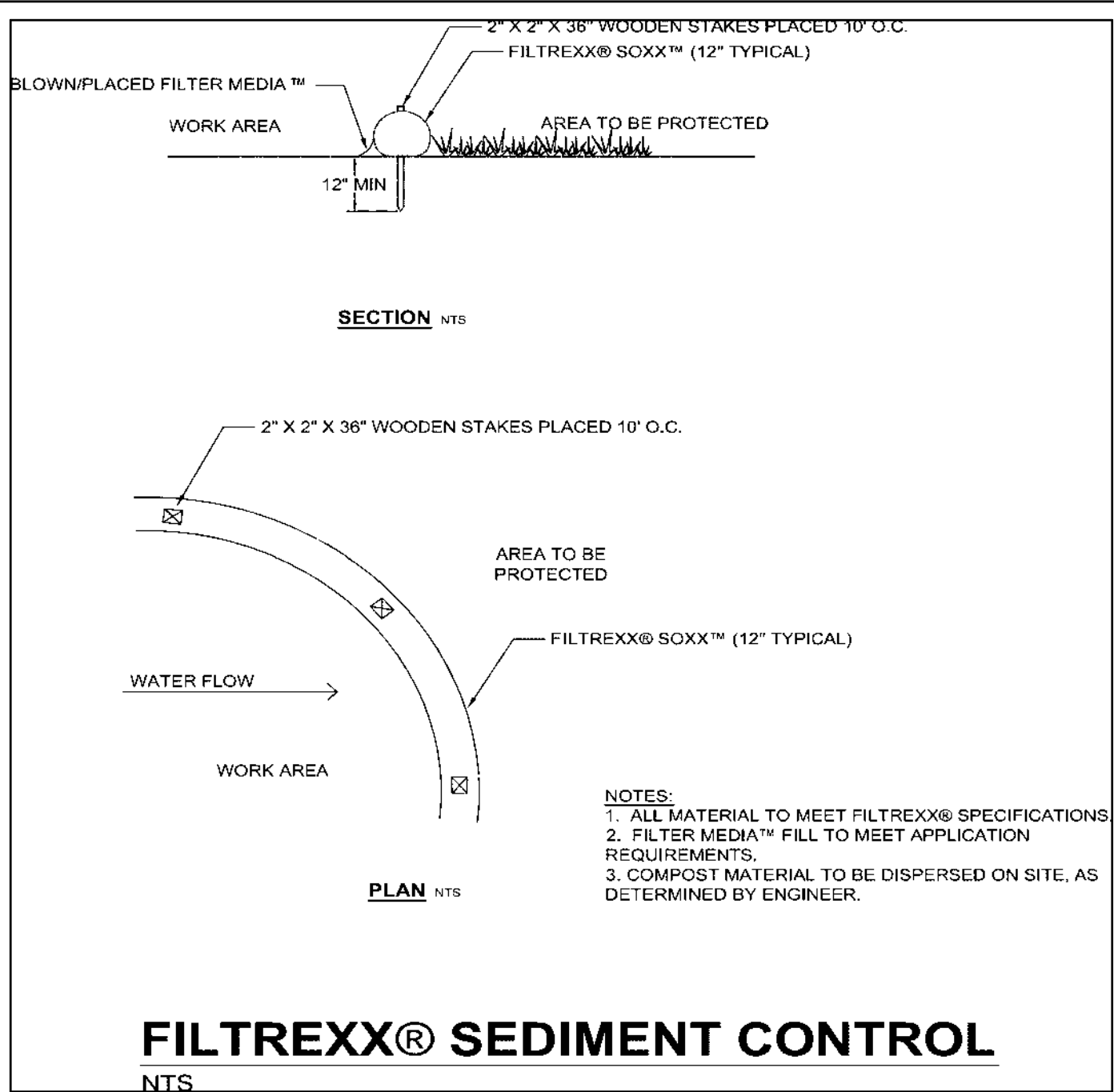
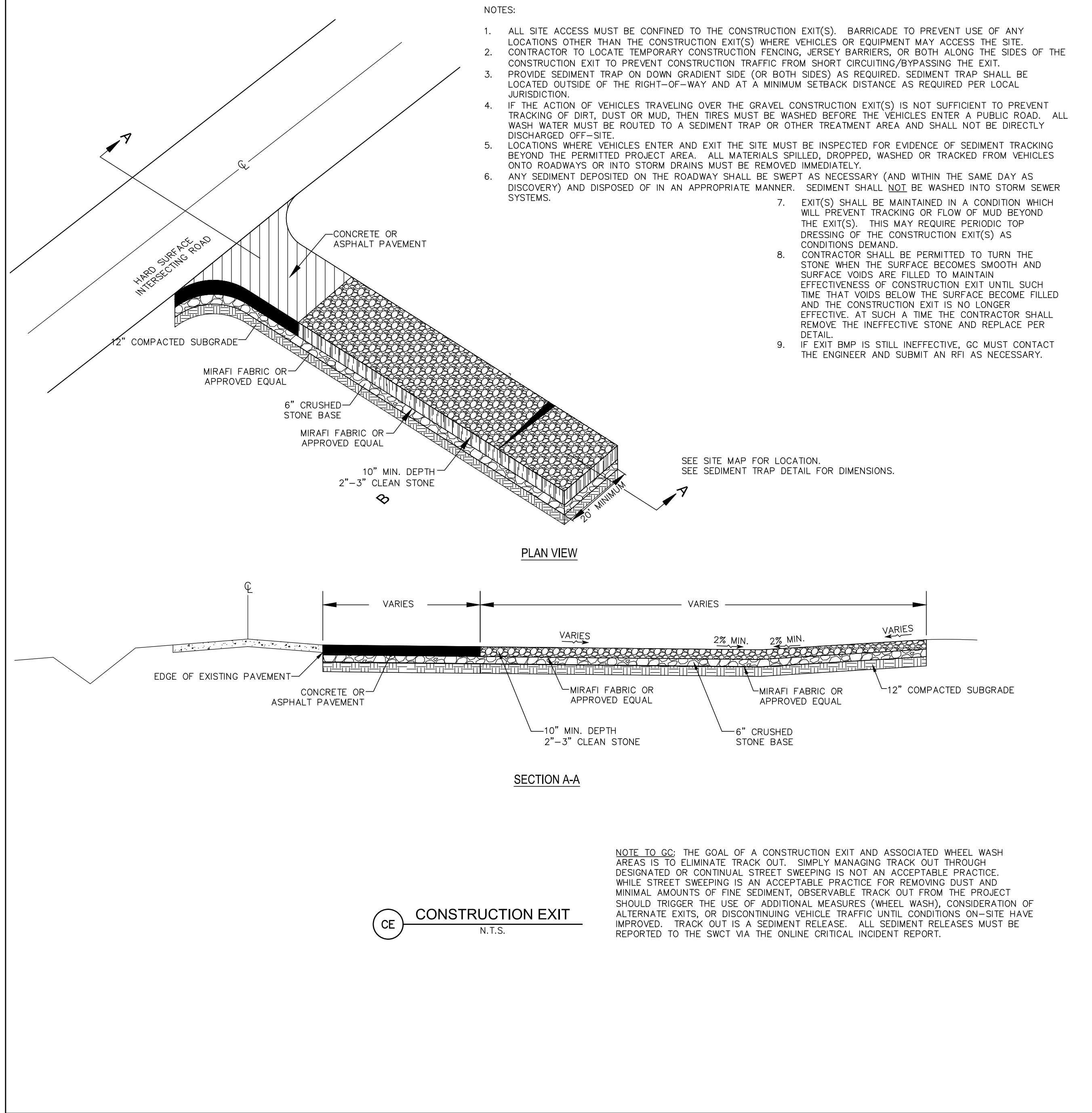
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BY

SHEET NUMBER
C-100

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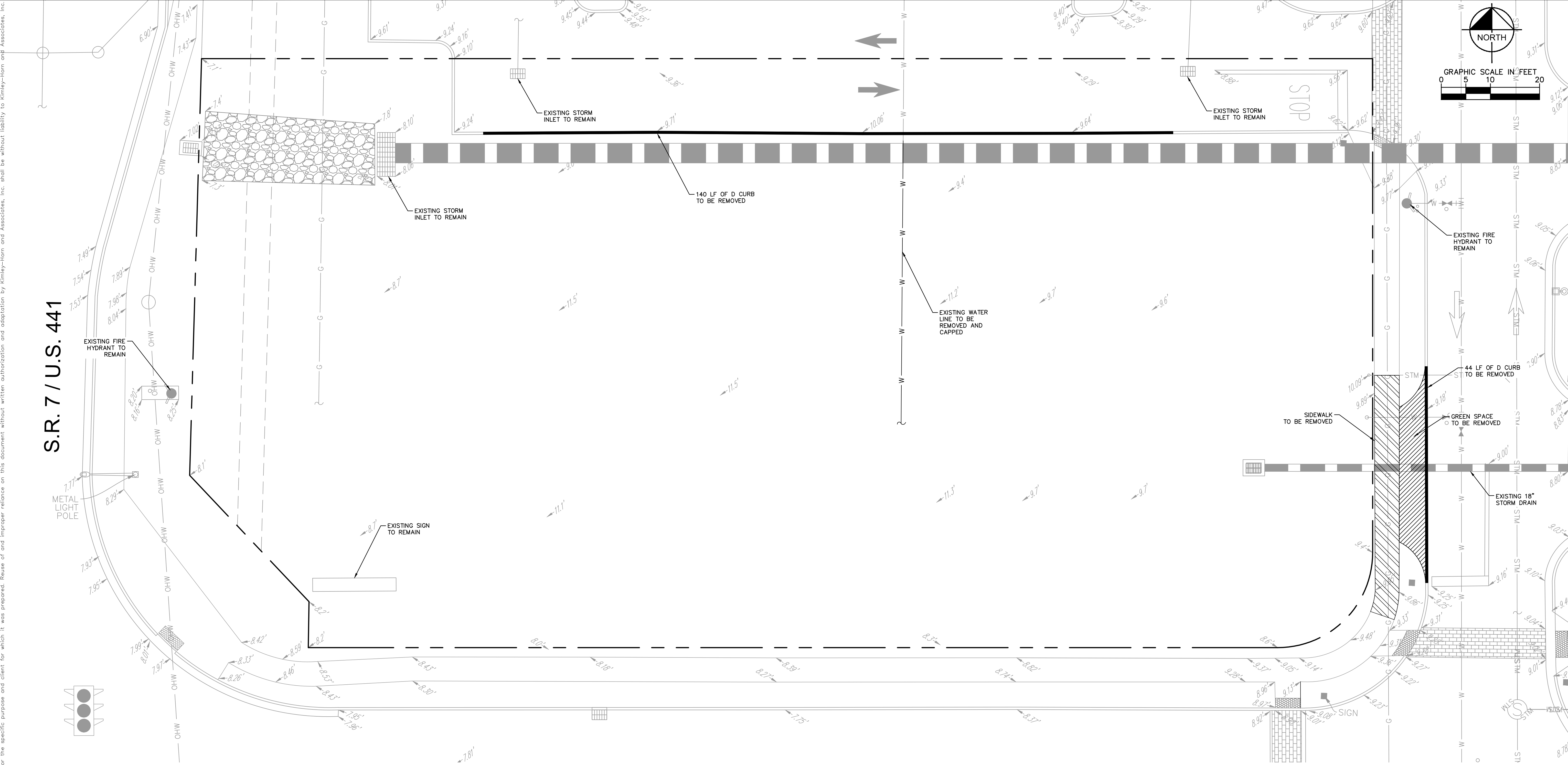
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THE PLACE AT HOLLYWOOD PHASE V SOUTH RETAIL		SWPPP DETAILS		CITY OF HOLLYWOOD FLORIDA	
SHEET NUMBER C-101		DATE 09/14/16		REVISIONS	
DESIGNED BY GOW		DRAWN BY RS		BY	
CHECKED BY		DATE		DATE	

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NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, ASPHALT PAVEMENT, CONCRETE PAVEMENT, LIGHT POLES, FOUNDATIONS, DRAINAGE, STRUCTURES, UTILITIES, LANDSCAPING MATERIALS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED BY OWNER.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
10. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY OF HOLLYWOOD UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF HOLLYWOOD DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
11. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
12. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
13. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS REQUIRED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THE THIS DEMOLITION PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBONE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.

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LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- CURB TO BE REMOVED
- LANDSCAPE TO BE REMOVED
- ASPHALT TO BE REMOVED

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LICENSED PROFESSIONAL
GREG D. WILFONG, P.E.
FLORIDA LICENSE NUMBER
63166

KHA PROJECT
147506002
DATE
09/14/16
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DATE
DATE

DEMOLITION PLAN

THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

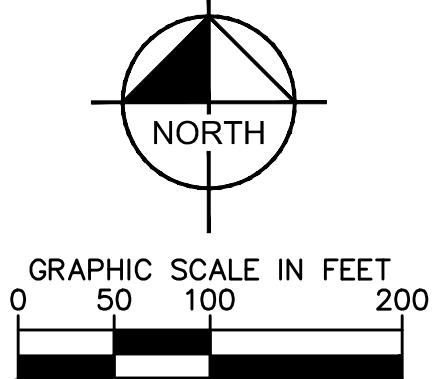
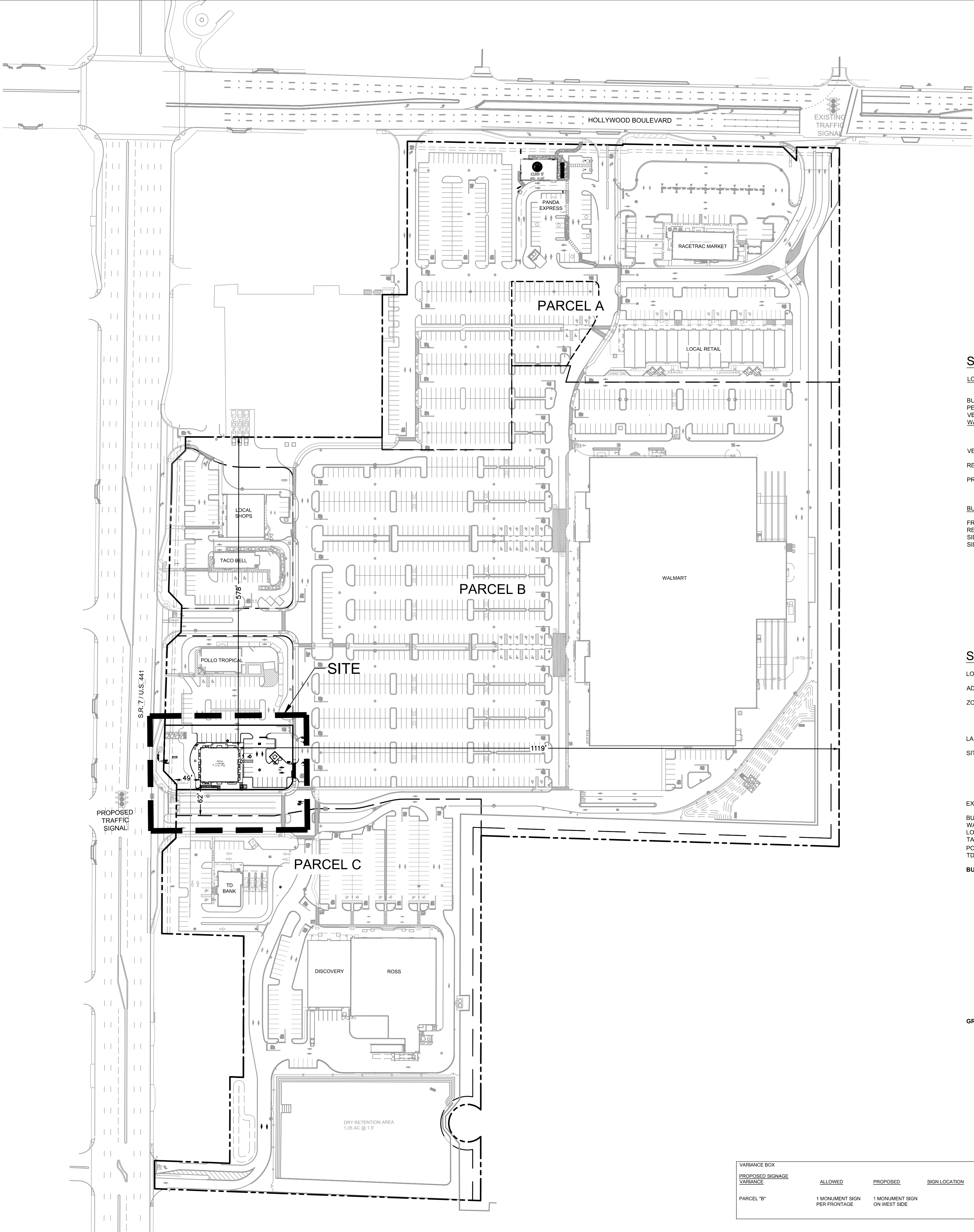
CITY OF HOLLYWOOD FLORIDA

SHEET NUMBER
C-200

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LEGEND

- PROPOSED STAMPED COLOR CONCRETE
- PROPOSED CONCRETE
- PROPERTY LINE
- SETBACK LINE
- LIMIT OF SCOPE OF WORK
- PARCEL LINES

OVERALL SITE DATA

LEGAL DESCRIPTION: PARCELS 'A', 'B' AND 'C', 'HOLLYWOOD PLAZA' ACCORDING TO THE PLAT THEREFORE, AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOCATION: SECTION 13, TOWNSHIP 51 S, RANGE 41 E

ADDRESS: 333 S. STATE ROAD 7, HOLLYWOOD, FL 33023

ZONING: SR7 CCD-CC: COMMERCIAL CORRIDOR DISTRICT - COMMERCIAL CORE SUB-AREA
C-2: LOW/MEDIUM INTENSITY COMMERCIAL DISTRICT
C-3: MEDIUM INTENSITY COMMERCIAL DISTRICT

LAND USE: 71: TRANSIT ORIENTED CORRIDOR

NET AREA: 1,747,214 SF OR 40.11 AC

NOTES:
-THE MAXIMUM FOOT-CANDLE LEVEL AT PROPERTY LINES (MAXIMUM 0.5 ADJACENT TO RESIDENTIAL)
-ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.
-ALL SIGNAGE WILL BE COMPLIANT WITH ZONING AND LAND DEVELOPMENT REGULATIONS.

SITE DATA: (PHASE V RETAIL SHOPS)

LOT COVERAGE:			
BUILDING AREA:	4,500 SF	0.10 AC	16.00%
PERVIOUS AREA:	9,637 SF	0.22 AC	34.27%
VEHICULAR USE AREA:	8,924 SF	0.21 AC	31.74%
WALKWAYS/IMPERVIOUS AREA:	5,059 SF	0.12 AC	17.99%
	28,120 SF	0.65 AC	100.00%

VEHICULAR USE AREA: 8,924 SF

REQUIRED LANDSCAPING FOR VEHICULAR USE AREA: 25% or 2,231 SF

PROVIDED: 26.52% or 2,367 SF

BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT	15'	49'
REAR	15'	1119'
SIDE (NORTH)	15'	578'
SIDE (SOUTH)	15'	62'

SITE DATA

LOCATION: SECTION 13, TOWNSHIP 51 S, RANGE 41 E

ADDRESS: 101 S. STATE ROAD 7, HOLLYWOOD, FL 33023

ZONING: SR7 CCD-CC: COMMERCIAL CORRIDOR DISTRICT - COMMERCIAL CORE SUB-AREA
C-2: LOW/MEDIUM INTENSITY COMMERCIAL DISTRICT
C-3: MEDIUM INTENSITY COMMERCIAL DISTRICT

LAND USE: 71: TRANSIT ORIENTED CORRIDOR

SITE AREA:	TOTAL	1,747,214 SF	40.11 AC
PARCEL A	391,179 SF	8.98 AC	
PARCEL B	966,489 SF	22.19 AC	
PARCEL C	364,627 SF	8.37 AC	
PROPOSED ROW	24,919 SF	0.57 AC	

EXISTING MALL PREVIOUSLY DEMOLISHED	755,919 ±SF	17.35 ±AC
BUILDING HEIGHT:	MAXIMUM	PROVIDED
WALMART	60'	29'-4"
LOCAL SHOPS	60'	24'-0"
TACO BELL	60'	24'-6"
POLLO TROPICAL	60'	27'-8"
TD BANK	60'	23'-6"
BUILDING AREA:	PARCEL A	2,600 SF
PARCEL A	391,179 SF	19,720 SF
LOCAL RETAIL	19,720 SF	5,928 SF
RACETRAC	5,928 SF	28,248 SF
TOTAL PARCEL A		
PARCEL B	966,489 SF	186,315 SF
WALMART (GROSS LEASABLE AREA)	186,315 SF	5,600 SF
LOCAL SHOPS	5,600 SF	2,556 SF
TACO BELL	3,505 SF	3,505 SF
POLLO TROPICAL	3,505 SF	4,500 SF
RETAIL SHOPS (PHASE V)	4,500 SF	
TOTAL PARCEL B		202,476 SF
PARCEL C	364,627 SF	27,250 SF
ROSS	27,250 SF	10,042 SF
DISCOVERY	10,042 SF	2,967 SF
TD BANK	2,967 SF	40,259 SF
TOTAL PARCEL C		
GRAND TOTAL		270,983 SF

PARCEL A (391,179 SF)		PREVIOUSLY APPROVED	CURRENTLY PROPOSED
BUILDING AREA:		5,928 SF/0.14 AC	N/A
FUTURE DEVELOPMENT AREA:		73,314 SF/1.68 AC	N/A
IMPERVIOUS AREA:		230,716 SF/5.30 AC	N/A
PERVIOUS AREA:		81,221 SF/1.86 AC	N/A
RACETRAC DEVELOPMENT APPROVED SEPARATELY AND SHOWN FOR INFORMATION PURPOSES ONLY			
PARCEL B (966,489 SF)		PREVIOUSLY APPROVED	CURRENTLY PROPOSED
BUILDING AREA:		197,976 SF/4.46 AC	202,476 SF/4.65 AC
FUTURE DEVELOPMENT AREA:		24,327 SF/0.56 AC	0 SF/0.00 AC
IMPERVIOUS AREA:		571,799 SF/13.21 AC	581,989 SF/13.36 AC
PERVIOUS AREA:		172,387 SF/3.96 AC	182,024 SF/4.18 AC
PARCEL C (364,627 SF)		PREVIOUSLY APPROVED	CURRENTLY PROPOSED
BUILDING AREA:		40,259 SF/0.92 AC	N/A
FUTURE DEVELOPMENT AREA:		0 SF/0.00 AC	N/A
IMPERVIOUS AREA:		217,592 SF/5.00 AC	N/A
PERVIOUS AREA:		106,776 SF/2.45 AC	N/A
BUILDING SETBACKS:		PREVIOUSLY APPROVED WITH PHASE I	PHASE II PROV
REQUIRED			
PARCEL A			
FRONT	15'	N/A	N/A
REAR	15'	N/A	N/A
SIDE (SOUTH)	15'	N/A	N/A
SIDE (NORTH)	15'	N/A	N/A
PARCEL B			
FRONT	15'	63'	63'
REAR	15'	82'	82'
SIDE (SOUTH)	15'	90'	90'
SIDE (NORTH)	15'	106'	106'
PARCEL C			
FRONT	15'	103'	103'
REAR	15'	444'	83'
SIDE (SOUTH)	15'	54'	271'
SIDE (NORTH)	15'	104'	104'

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THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

CITY OF HOLLYWOOD
FLORIDA

SHEET NUMBER
C-300

OVERALL SITE PLAN

DATE
09/14/16
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

LICENSED PROFESSIONAL
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FLORIDA LICENSE NUMBER
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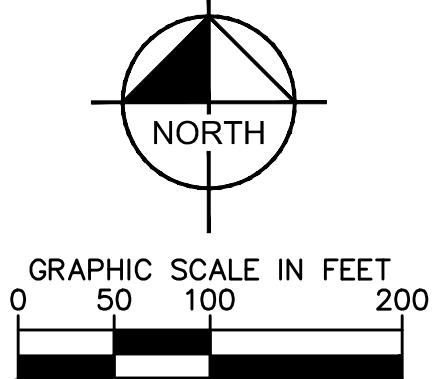
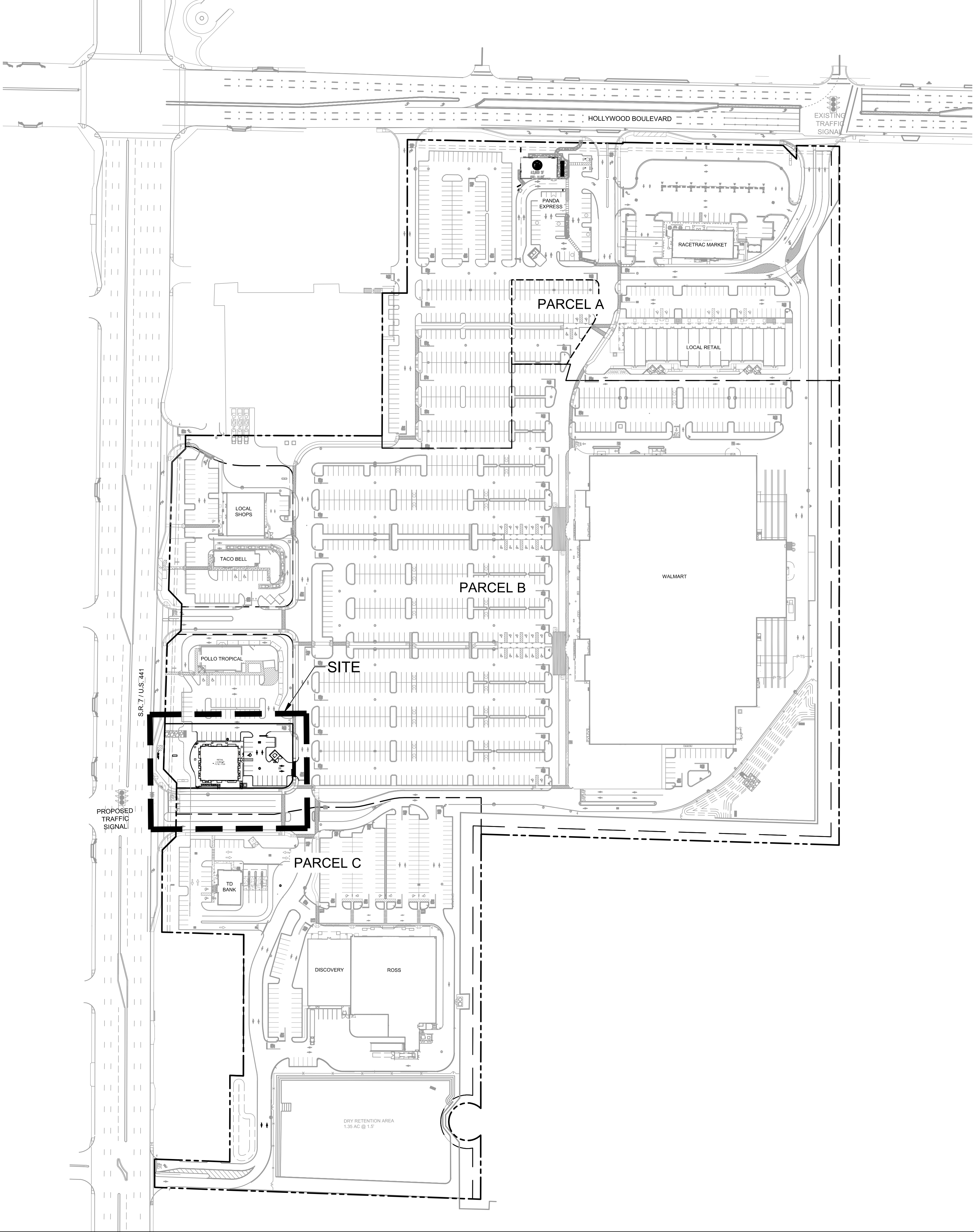
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PARKING SUMMARY	REQUIRED	PROVIDED
PARCEL A		
RACETRAC		
STANDARD	27	27
ACCESSIBLE PER ADA	2	2
TOTAL	29	29
PARKING RATIO	4.89 SP/ 1000 SF	4.89 SP/ 1000 SF
LOCAL RETAIL		
STANDARD	104	112
ACCESSIBLE PER ADA	5	10
LOADING SPACES	1	1
TOTAL	110	122
PARKING RATIO	5.58 SP/ 1000 SF	6.19 SP/ 1000 SF
PANDA EXPRESS		
STANDARD	18	33
ACCESSIBLE PER ADA	2	2
LOADING SPACES	0	0
TOTAL	20	35
PARKING RATIO	7.43 SP/ 1000 SF	13.01 SP/ 1000 SF
STANDARD	300*	303
ACCESSIBLE PER ADA	0	0
TOTAL	300 PER CROSS PARKING AGREEMENT	489

PARCEL B		
WALMART		
STANDARD	828	826
ACCESSIBLE PER ADA	19	26
CART CORRALS	N/A	29 (NOT INCLUDED IN TOTAL)
TOTAL	847	852
PARKING RATIO	4.55 SP/1000 SF	4.56SP/1000 SF
LOADING SPACES	4 (10' X 25')	6 (10' X 130')

LOCAL SHOPS		
STANDARD	24	27
ACCESSIBLE PER ADA	2	2
TOTAL	26	29
PARKING RATIO	4.55 SP/1000 SF	5.18SP/1000 SF

TACO BELL		
STANDARD	11	26
ACCESSIBLE PER ADA	1	2
TOTAL	12	28
PARKING RATIO	4.55 SP/1000 SF	10.95 SP/1000 SF

POLLO TROPICAL		
STANDARD	15	35
ACCESSIBLE PER ADA	1	2
TOTAL	16	37
PARKING RATIO	4.55 SP/1000 SF	10.66 SP/1000 SF

PHASE V		
STANDARD	20	24
ACCESSIBLE PER ADA	1	1
TOTAL	21	25
PARKING RATIO	4.55 SP/1000 SF	5.55 SP/1000 SF

PARCEL C		
TD BANK		
STANDARD	13	28
ACCESSIBLE PER ADA	1	2
LOADING SPACES	0	0
TOTAL	14	30
PARKING RATIO	4.55 SP/ 1000 SF	10.11 SP/ 1000 SF
RETAIL A & B		
STANDARD	164	164
ACCESSIBLE PER ADA	6	6
TOTAL	170	170
PARKING RATIO	4.56 SP/ 1000 SF	4.56 SP/ 1000 SF
LOADING SPACES	3	3

NOTE: REQUIRED PARKING SPACES FOR ALL BUILDING USES WERE CALCULATED BASED ON SHOPPING CENTER REQUIREMENT OF 1SP/220SF.

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THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

Kimley»Horn

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PHONE: 772-794-4100
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LICENSED PROFESSIONAL

GREG D. WILFONG, P.E.

FLORIDA LICENSE NUMBER
63166

KHA PROJECT
147506002

DATE
09/14/16

SCALE AS SHOWN

DESIGNED BY GDW

DRAWN BY RS

CHECKED BY

DATE: ---

OVERALL PARKING
PLAN

CITY OF HOLLYWOOD FLORIDA

OVERALL PARKING
PLAN

SHEET NUMBER
C-301

REVISIONS

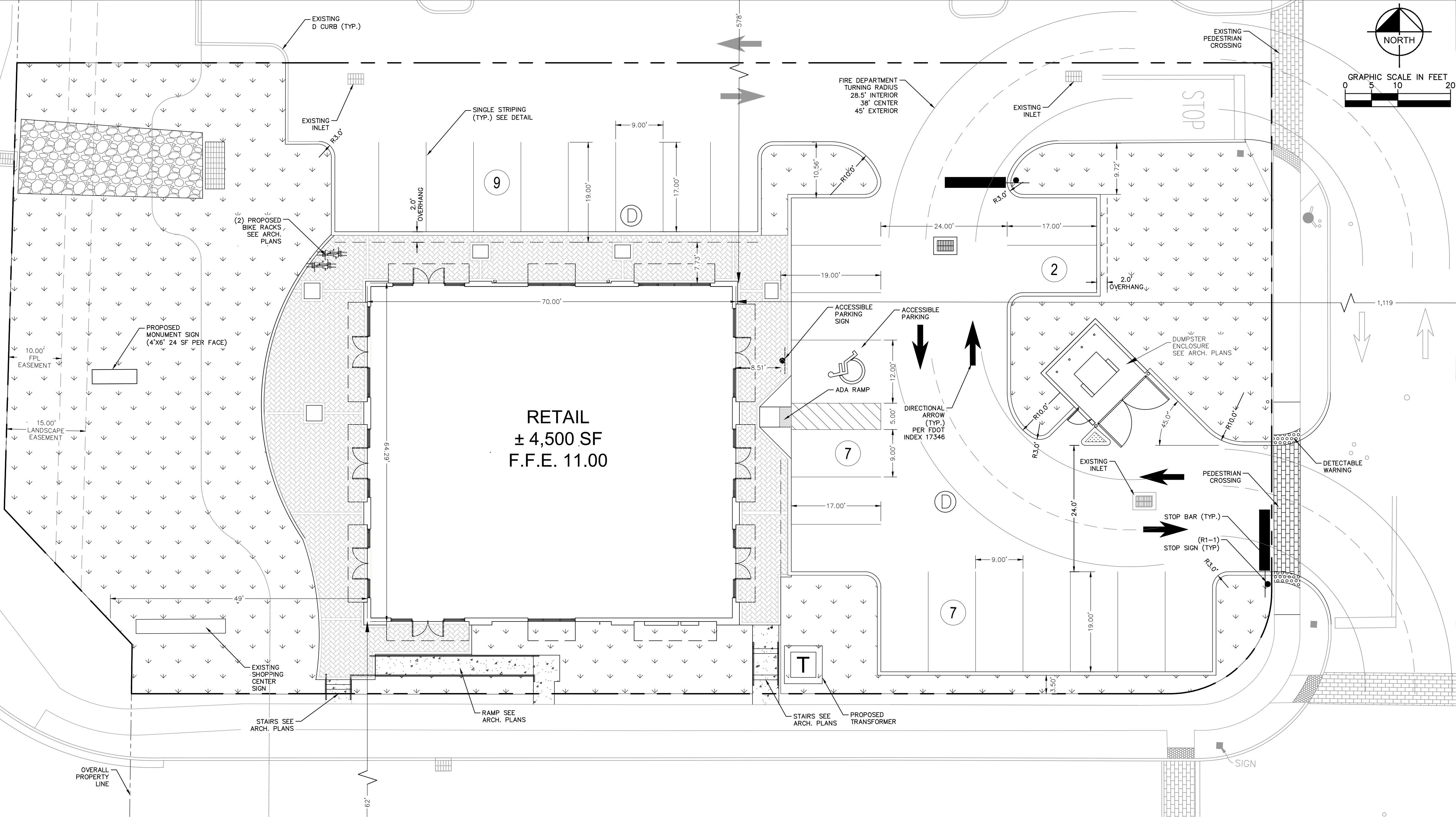
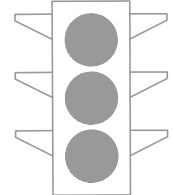
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DATE

BY

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LEGEND

- PROPOSED STAMPED COLOR ASPHALT
- PROPOSED GREEN SPACE
- PROPOSED PAVERS
- PROPOSED LEASE LINE
- EXISTING FIRE HYDRANT
- PROPOSED TYPE "D" CURB
- PROPOSED PARKING SPACES

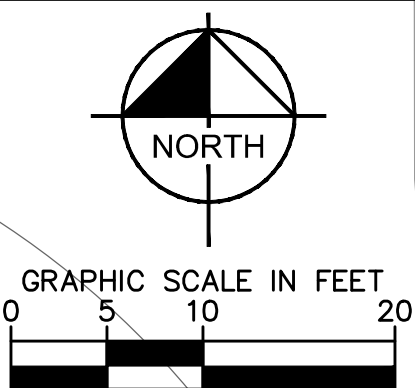
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THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

SHEET NUMBER
C-302

CITY OF HOLLYWOOD FLORIDA

LICENSED PROFESSIONAL

KHA PROJECT
147506002

DATE
09/14/16

SCALE AS SHOWN

DESIGNED BY GDW

DRAWN BY RS

CHECKED BY GDW

DATE: ----

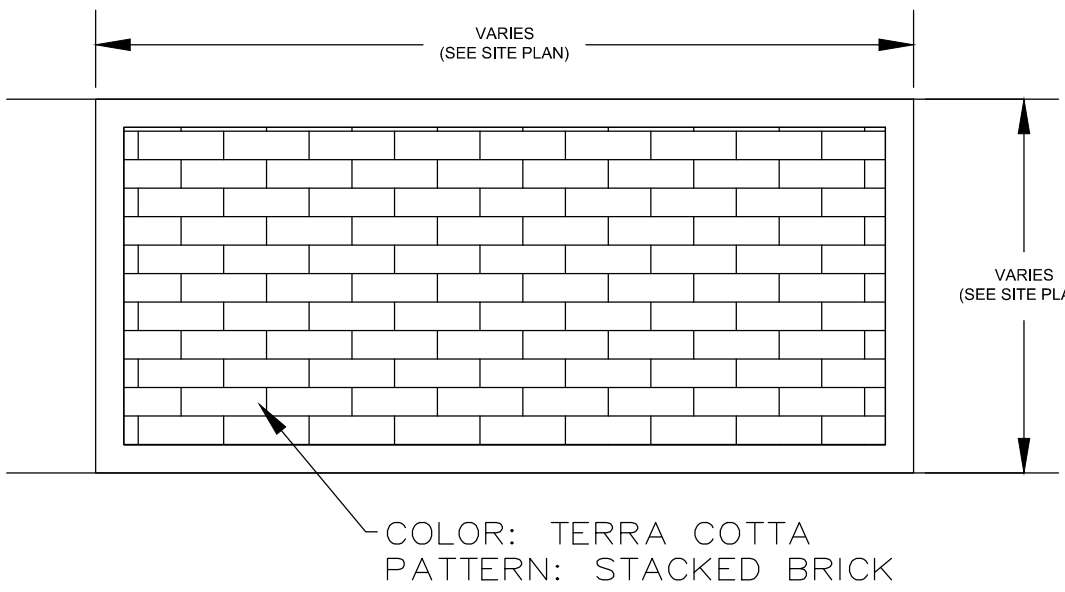
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FLORIDA LICENSE NUMBER
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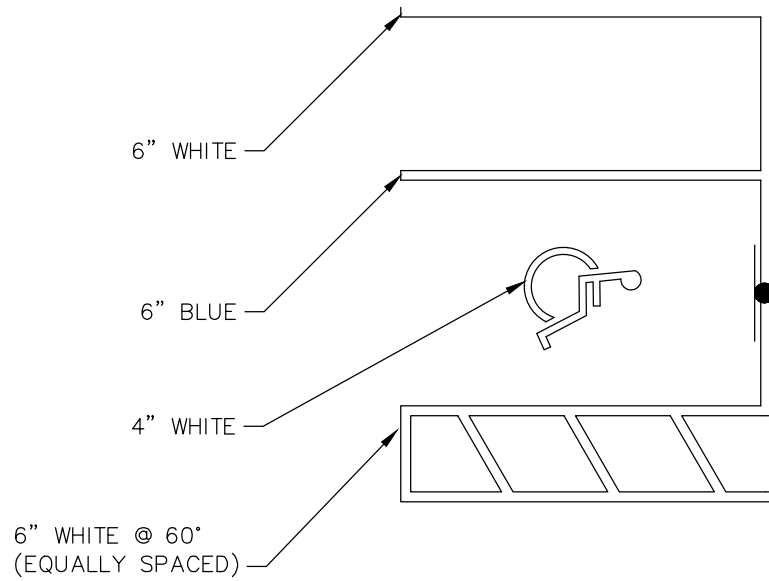
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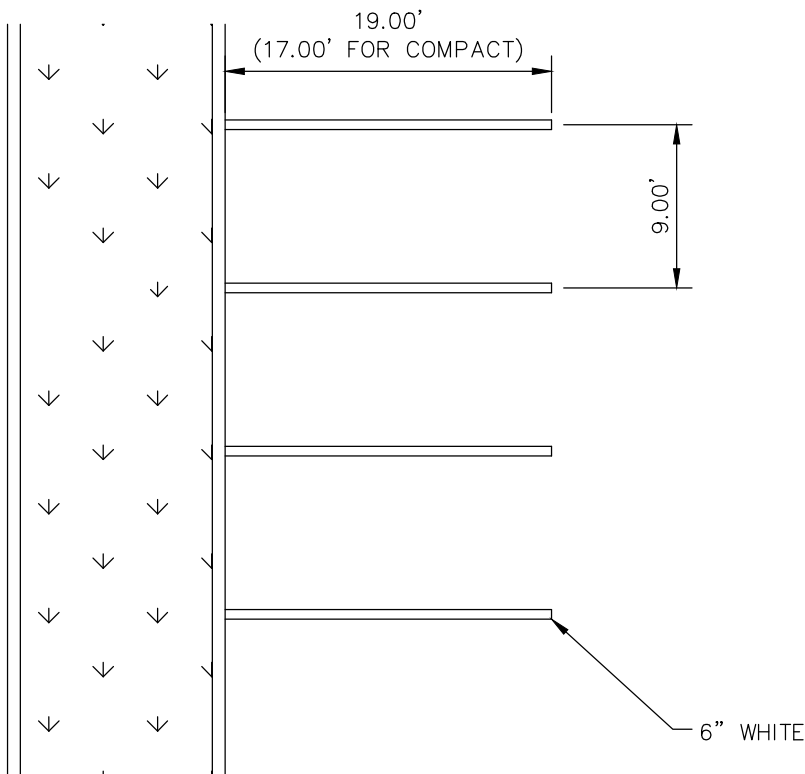
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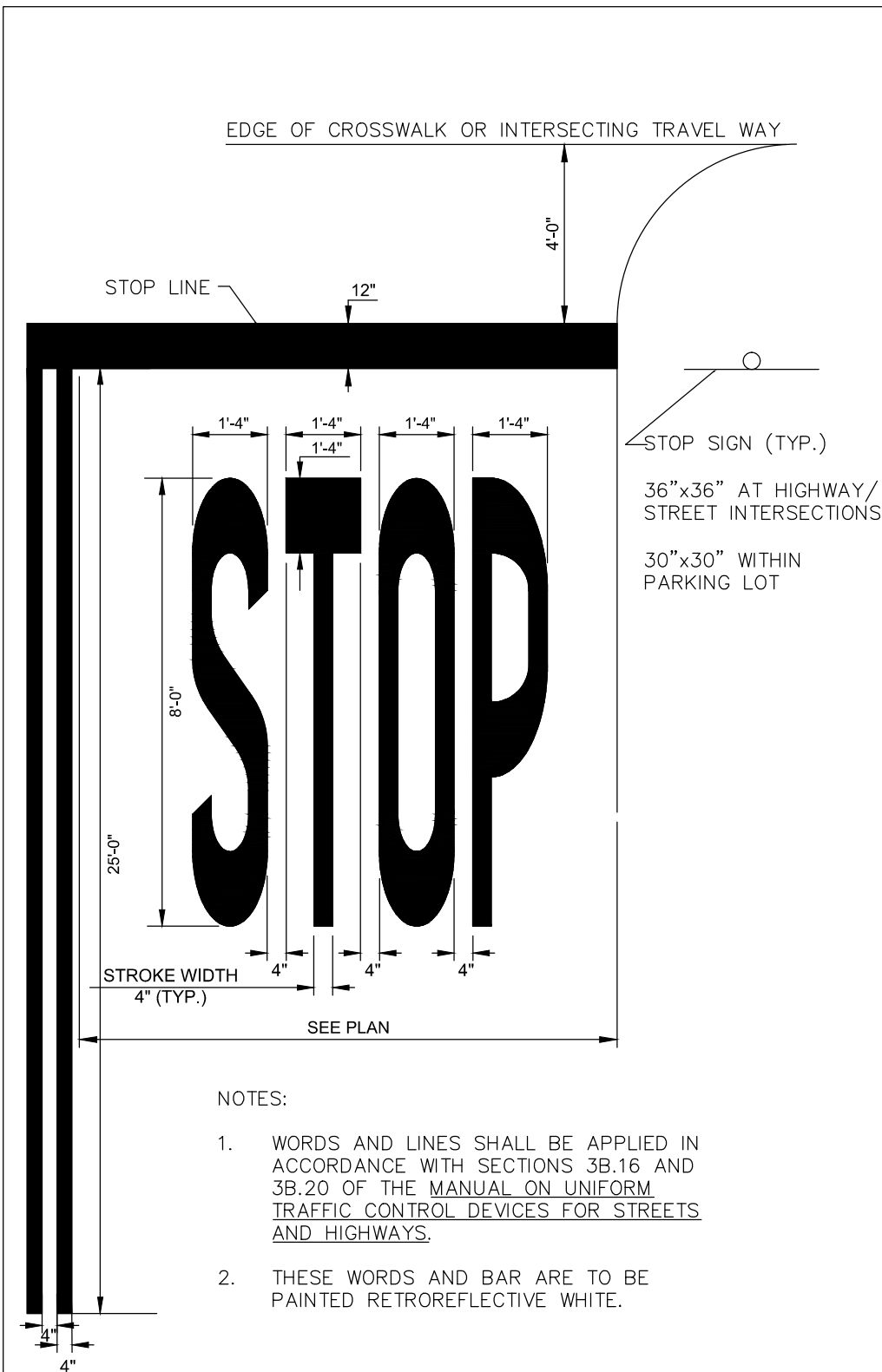
STAMPED COLORED ASPHALT DETAIL
PROVIDED BY KIMLEY-HORN AND ASSOC.



ADA PARKING STALL STRIPING
N.T.S.

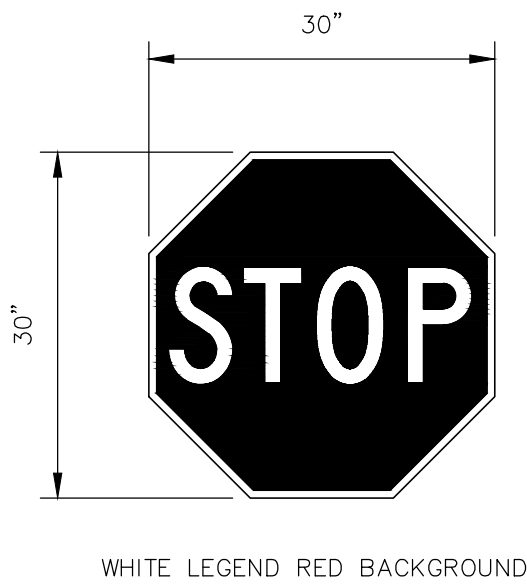


PARKING STALL STRIPING
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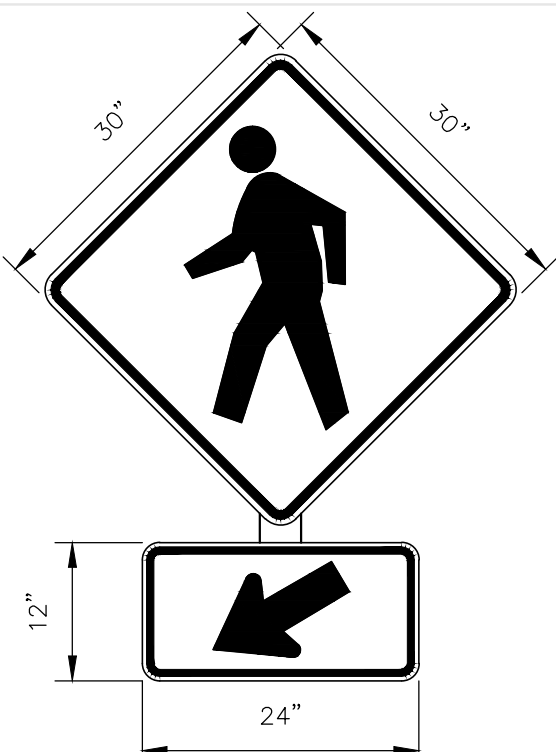


STOP SIGNAGE AND MARKING
N.T.S.

DETAIL MODIFIED BY KIMLEY-HORN
DTSTOPBR 03/04/11

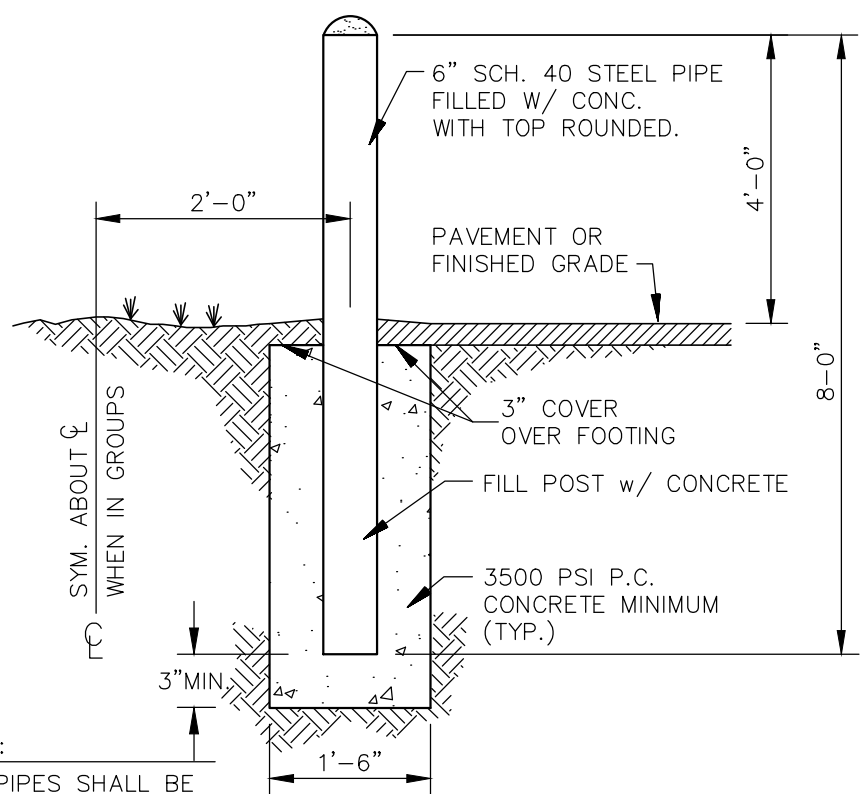


R1-1
30 inch x 30 inch
"STOP" SIGN
N.T.S.



NOTES:
1. BOTH SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST MUTCD EDITION, WARNING SIGNS W11-2 (TOP) & W16-7P (BOTTOM) WITH A BLACK LEGEND ON A FLUORESCENT YELLOW-GREEN BACKGROUND

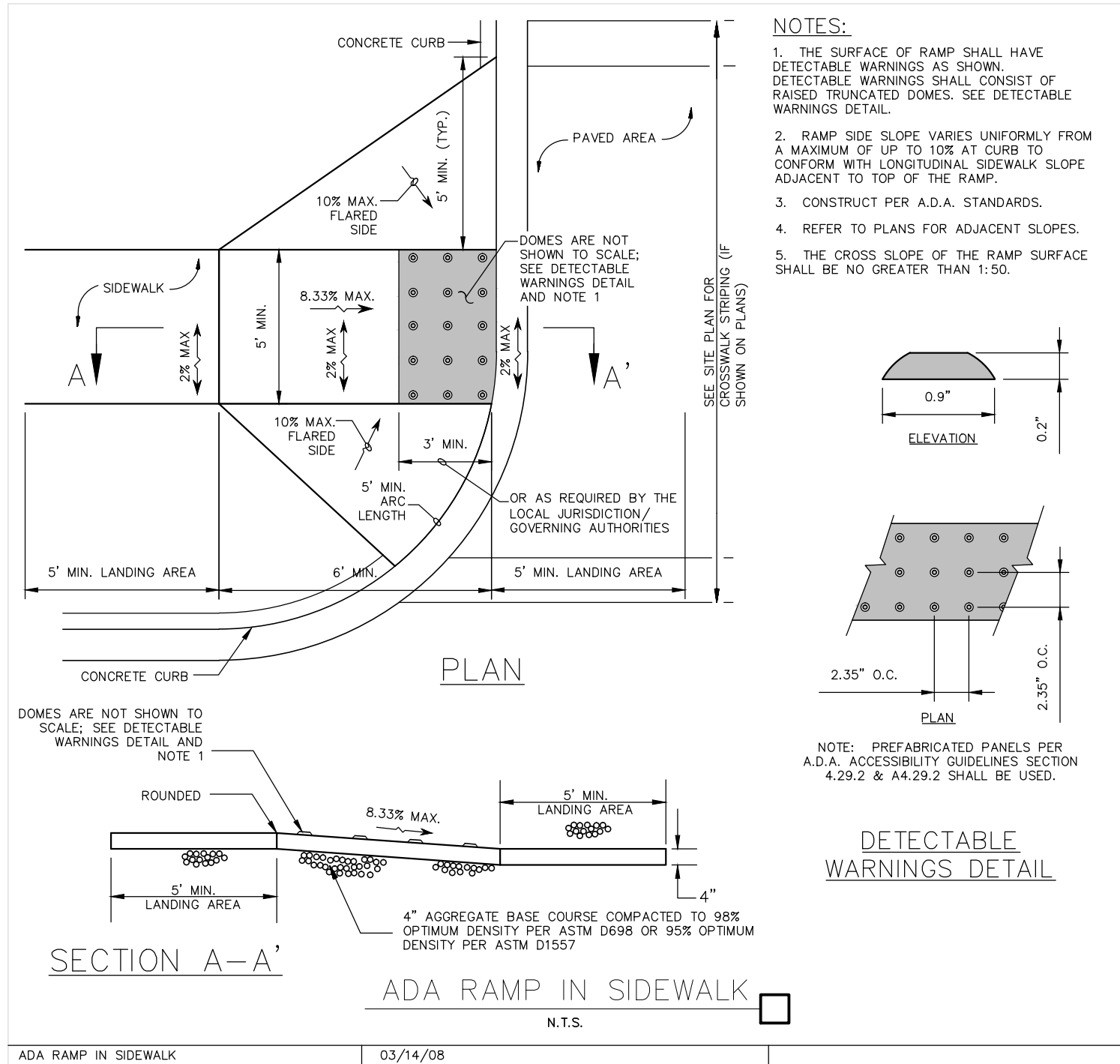
"PEDESTRIAN CROSSING" SIGN
N.T.S.



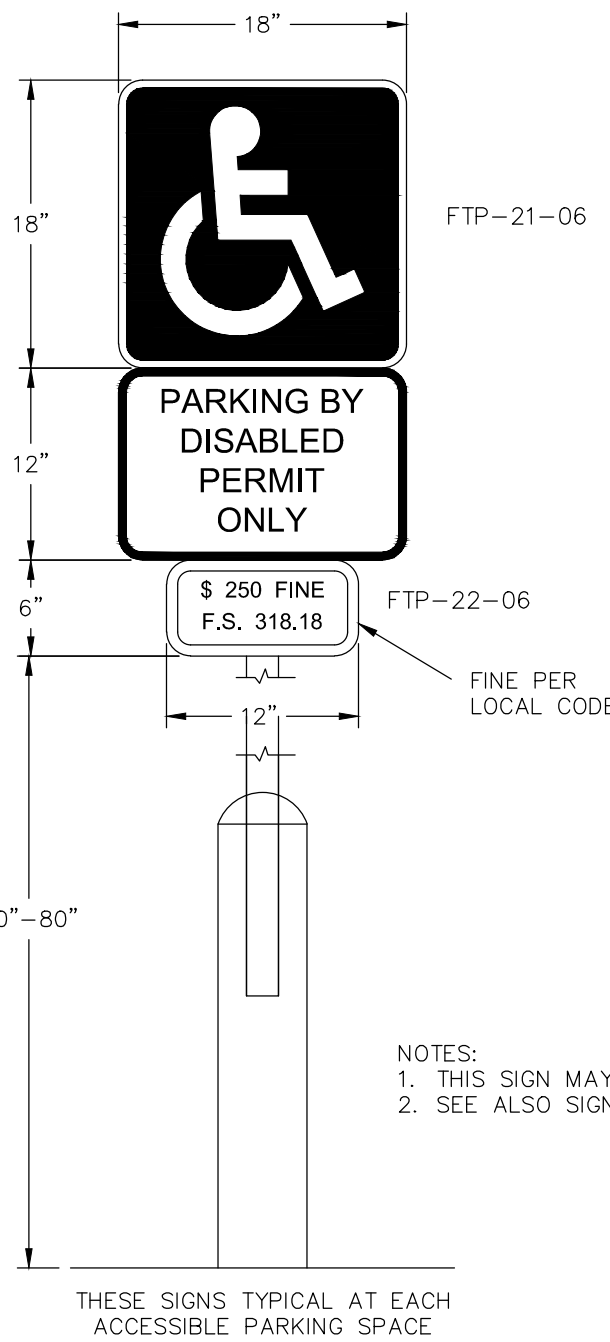
NOTE:
ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

PIPE BOLLARD
N.T.S.

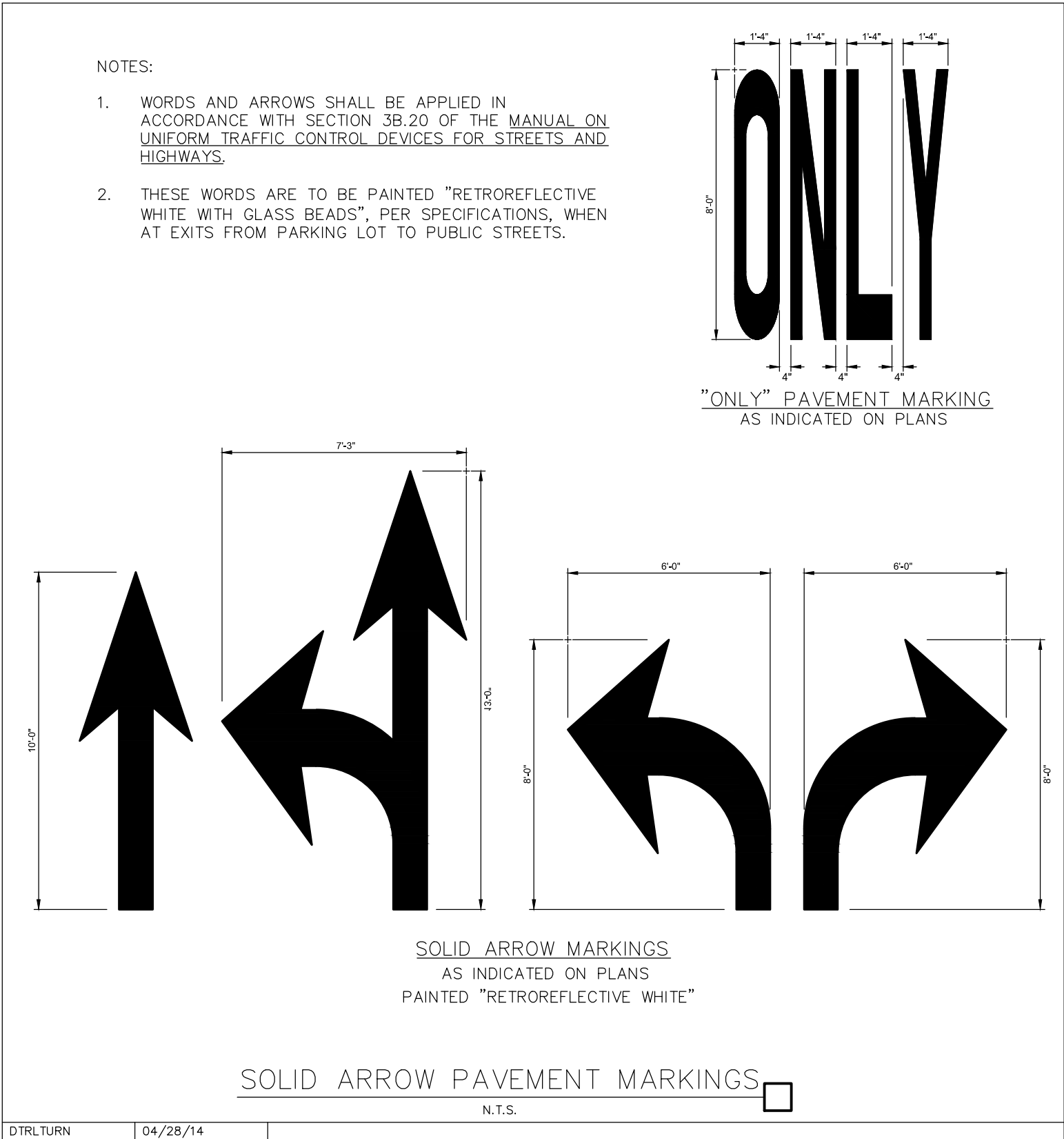
DTGRDPST 08/17/09



SIGN BASE
N.T.S.



ACCESSIBLE PARKING SIGN
N.T.S.



DTRTLTURN 04/28/14

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THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

CITY OF HOLLYWOOD FLORIDA

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LICENSED PROFESSIONAL

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FLORIDA LICENSE NUMBER
63166

KHA PROJECT
147506002

DATE
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SCALE AS SHOWN

DESIGNED BY GOW

DRAWN BY RS

CHECKED BY GOW

DATE: ---

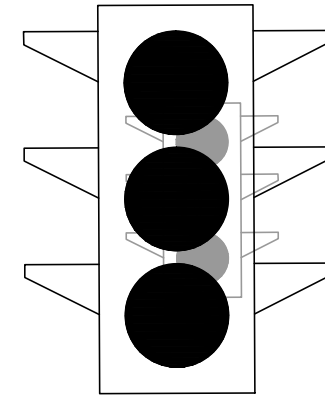
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DATE BY

SHEET NUMBER
C-303

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DRAINAGE STRUCTURE TABLE

EX-1	FDOT TYPE C INLET RIM EL. 8.70' INV. EL. 8.70' (N)
EX-2	FDOT TYPE C INLET RIM EL. 8.82
EX-3	FDOT TYPE C INLET ADJUST RIM FROM 9.91' TO 9.35' INV. EL. 0.45' (E) INV. EL. 0.50' (W)
D-1	STORM MANHOLE RIM EL. 10.25 INV. EL. 0.50' (E) INV. EL. 4.00' (W)
D-2	FDOT TYPE C INLET RIM EL. 9.74 INV. EL. 0.50' (W) INV. EL. 0.50' (S)
D-3	STORM MANHOLE RIM EL. 9.95 INV. EL. 0.50' (N) INV. EL. 0.50' (E)

NOTES:

- CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX'S 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
- ALL CLEANOUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
- ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
- SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION, IN CASES OF SIDEWALK AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH, 6" RISE, AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- SPOT ELEVATIONS ARE AT FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING GRADES AND DRAINAGE HAVE BEEN TAKEN FROM A SURVEY PREPARED BY PULICE LAND SURVEYORS, INC. DATED MAY 24TH, 2016. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. BROWARD COUNTY BENCHMARK NO. S2062; ELEV. = 8.50'.
- HDPE STORM PIPE-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE STORM DRAINAGE PIPE INSTALLATION MANUAL AND SPECIFICATIONS AND COMPLYING WITH ALL MANUFACTURER'S INSTALLATION PROCEDURES AND REQUIREMENTS. TESTING OF BACKFILL MATERIAL AND COMPACTION OF BACKFILL MATERIAL IS THE CONTRACTOR'S RESPONSIBILITY.
- ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
A. FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-24" DIAMETER.
B. FOR RCP DRAINAGE PIPE MAKE CONNECTION PER FDOT INDEX 280, CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND STUB PIPE DETAIL.
C. NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
- ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT INDEX #280. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.
- EXISTING STORM INLETS AND PIPES ON PROPERTY TO BE JETTED AND CLEANED PRIOR TO ENGINEER'S ACCEPTANCE OF SYSTEM.
- CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION ACTIVITY.
- CONTRACTOR TO ENSURE POSITIVE RUNOFF FROM THE BUILDING. PAVING SHALL BE FREE OF PONDING AND MAINTAIN POSITIVE OUTFALL TO THE DRAINAGE SYSTEM. CONTRACTOR SHALL FIELD VERIFY EXISTING DRAINAGE PATTERNS AND TIE-IN GRADES AND ALERT OWNER AND ENGINEER SHOULD ANY CONFLICTS ARISE.
- DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- ALL SLOPES STEEPER THAN 6:1 SHALL BE SODDED.

LEGEND

	PROPOSED STAMPED COLOR ASPHALT
	PROPOSED PAVERS
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED CONCRETE

--- PROPOSED LEASE LINE
--- PROPOSED STORM PIPE

	STORMWATER INLET
	STORMWATER MANHOLE
	EXISTING FIRE HYDRANT

BROWARD COUNTY DRAINAGE REQUIREMENTS

SITE DATA	REQUIRED	PROVIDED
MAX IMPERVIOUS	50% OR 0.32 ACRES	49.72% OR 0.33 ACRES
MAX BUILDING	35% OR 0.23 ACRES	16.00% OR 0.10 ACRES
MIN PERVIOUS	15% OR 0.10 ACRES	34.27% OR 0.22 ACRES
EXFIL. TRENCH	100 LF	100 LF
F.F.E.	11.00'	11.00'

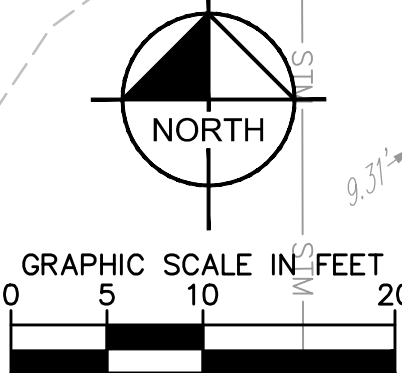
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LICENSED PROFESSIONAL

GREG D. WILFONG, P.E.

FLORIDA LICENSE NUMBER
63166

KHA PROJECT
147506002

DATE
09/14/16

SCALE AS SHOWN
DESIGNED BY GDW
DRAWN BY RS

CHECKED BY GDW
DATE: ---

PAVING, GRADING
AND DRAINAGE PLAN

THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

CITY OF HOLLYWOOD FLORIDA

SHEET NUMBER
C-400

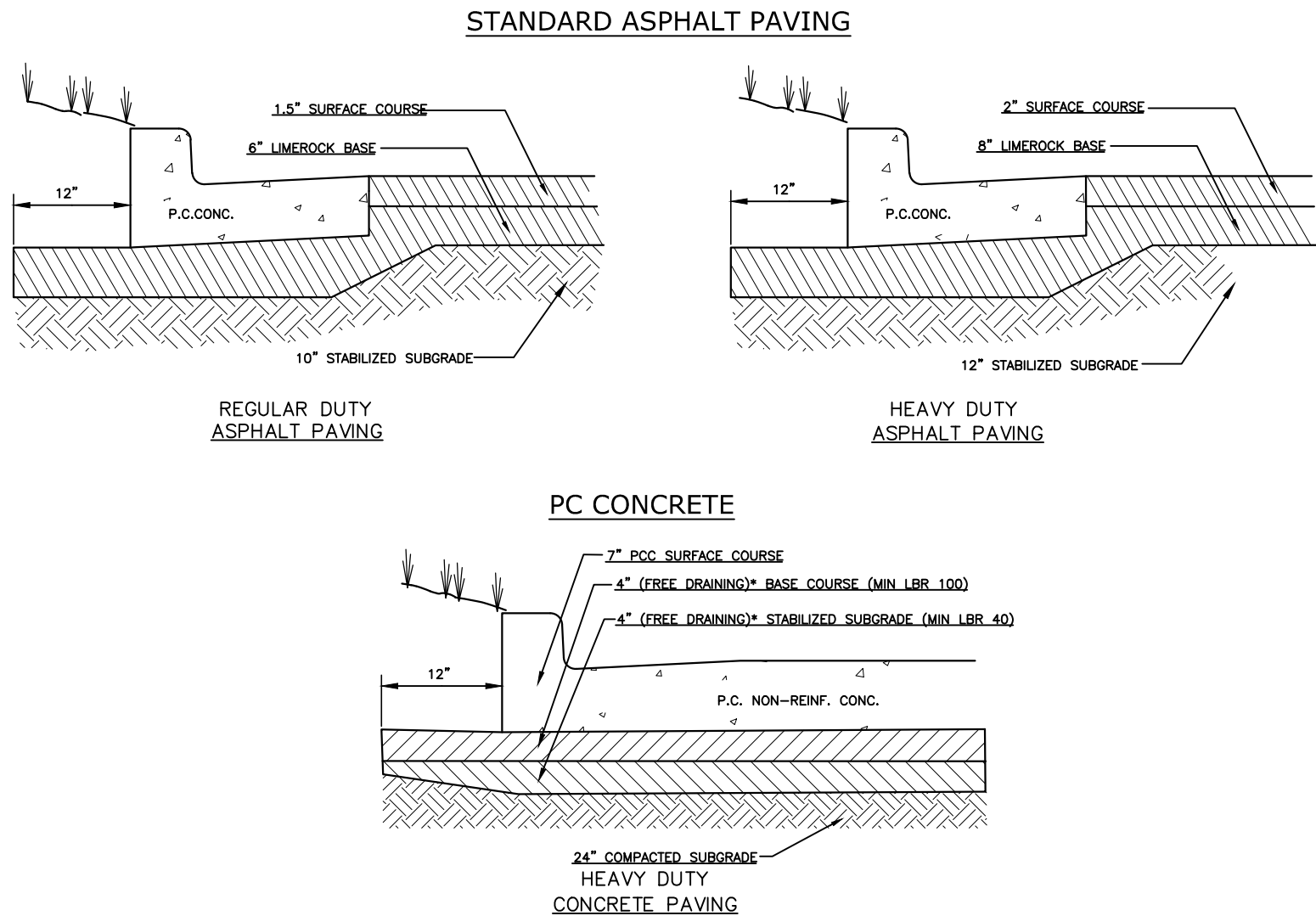
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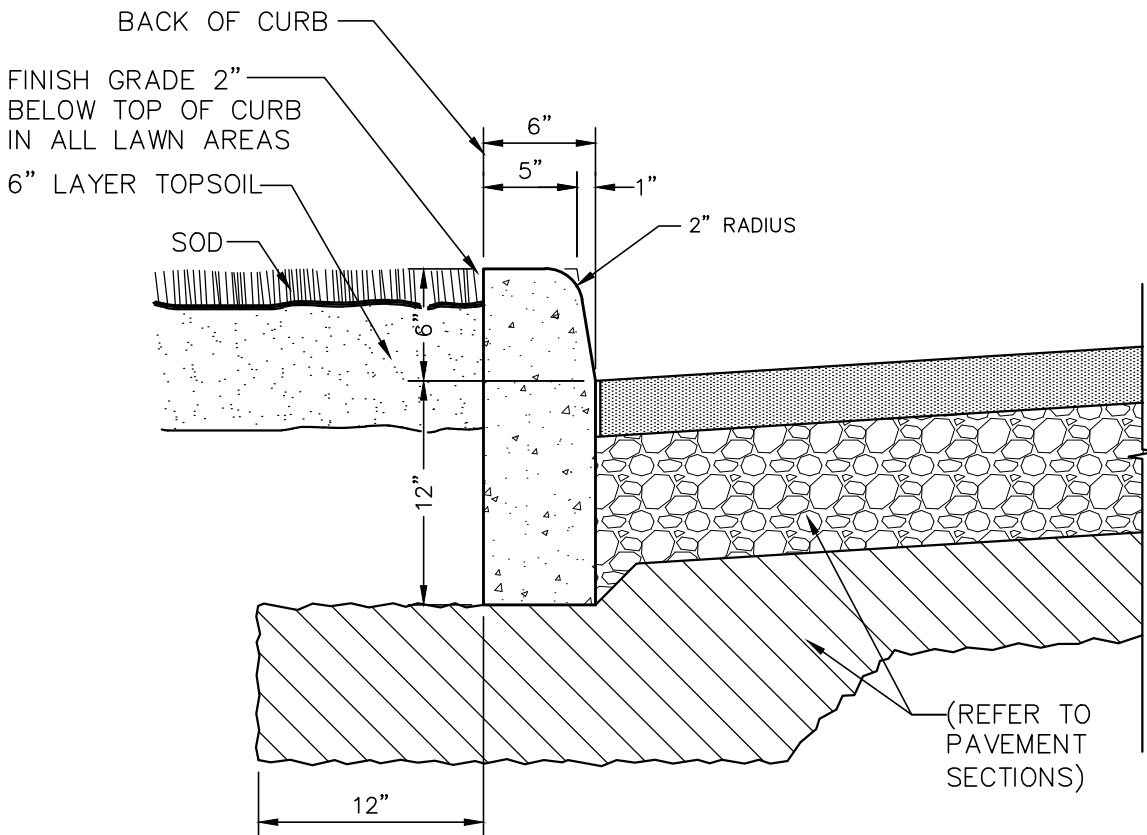
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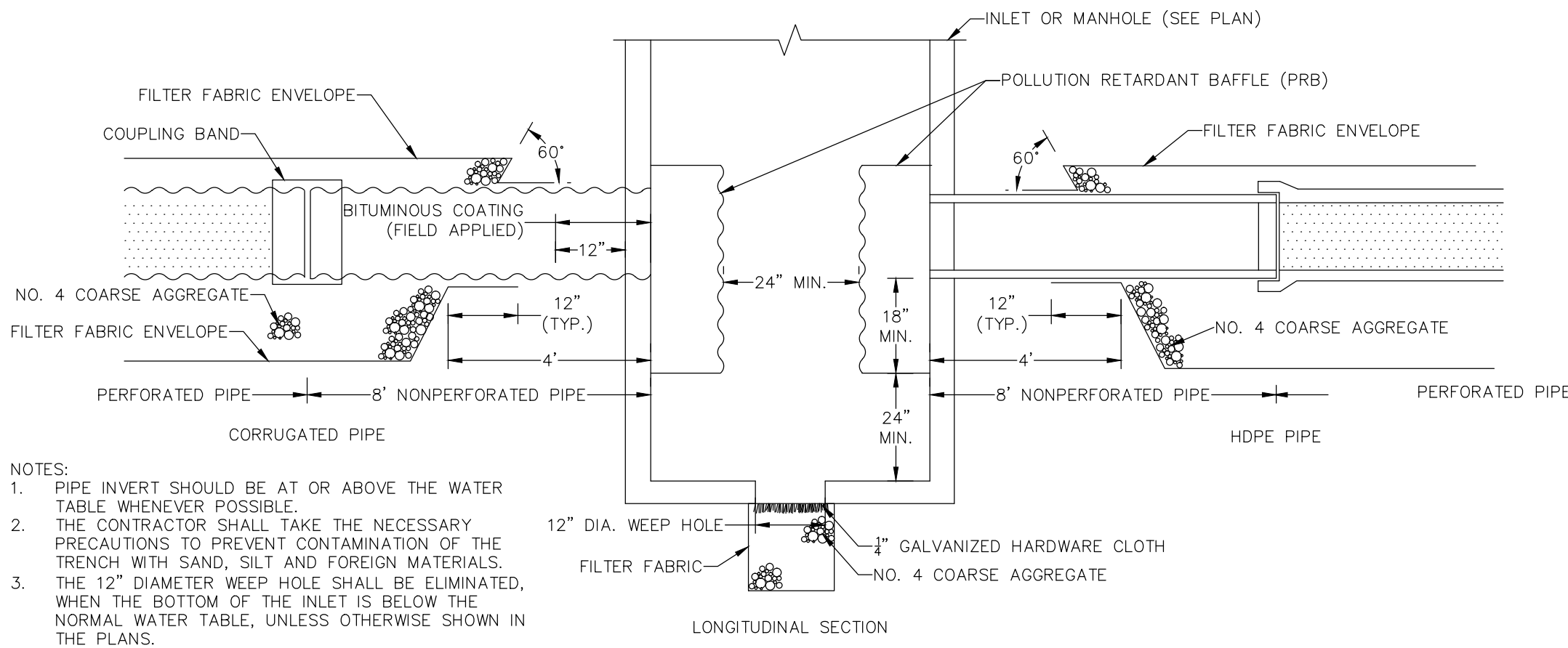
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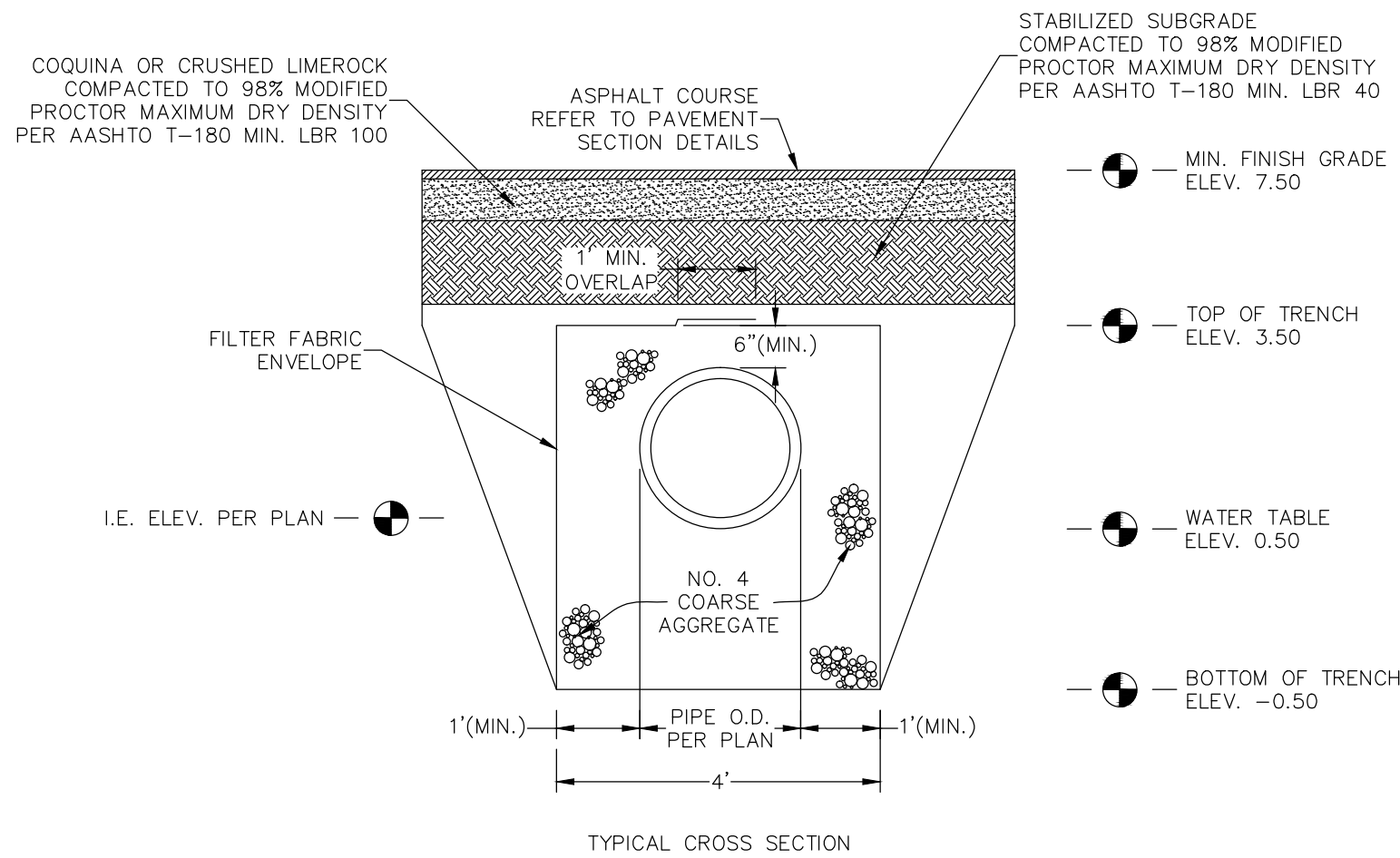
- NOTES:
- FOR PREPARATION OF SUBGRADE, FILL PLACED WITHIN 12 INCHES OF BOTTOM OF STABILIZED SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY. FILL PLACED BELOW THIS LEVEL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY.
 - STABILIZED SUBGRADE SHOULD BE COMPACTED TO A MINIMUM OF 98% OF THE MATERIAL'S MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY.
 - LIMEROCK BASE COURSE SHOULD CONFORM TO THE REQUIREMENTS OF SECTION 200 OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY.
 - ASPHALTIC SURFACE COURSE MIXTURES SHOULD BE IN ACCORDANCE WITH TYPE REFERENCED IN SECTION 330 OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE MIXTURE SHOULD HAVE A MINIMUM MARSHALL STABILITY OF 1,500 POUNDS, AND THE SURFACE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 95% MARSHALL DENSITY (ASTM SPECIFICATION D 1559).
 - THE PORTLAND CEMENT CONCRETE PAVEMENT MIXTURE SHOULD BE IN ACCORDANCE WITH THE AIR-ENTRAINED CONCRETE FOR PAVEMENT SECTION 330 OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE MIXTURE SHOULD BE DESIGNED TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH A 4 INCH MINIMUM SLUMP AND 5% TO 7% ENTRAINED AIR.
 - (*) BASE AND STABILIZED SUBGRADE COURSES BENEATH CONCRETE PAVEMENT SHALL HAVE A MINIMUM PERMEABILITY - (K) GREATER THAN OR EQUAL TO 0.001cm/sec. BASE AND SUBGRADE MATERIALS SHOULD BE COMPACTED TO AT LEAST 98% OF THE MATERIALS MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY.
- FOR LIMEROCK, COQUINA, BANKRUN SHELL OR CRUSHED CONCRETE, MIN. LBR=100. FOR SOIL CEMENT BASE, MIN. (7) DAY COMPRESSIVE STRENGTH=300 PSI.
- CONTROL JOINTS FOR CRACK CONTROL SHOULD BE CLOSELY SPACED, BETWEEN 8 TO 12 FEET APART. CONTROL JOINTS SHOULD BE PROVIDED IN A UNIFORM SQUARE OR RECTANGULAR PATTERN, THE JOINTS SHOULD BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO CONSTRUCTION. CONTROL JOINTS SHOULD BE SAWED AS SOON AS THE CONCRETE CAN WITHSTAND TRAFFIC, AND CONCRETE SURFACE AND AGGREGATE RAVELING CAN BE PREVENTED.



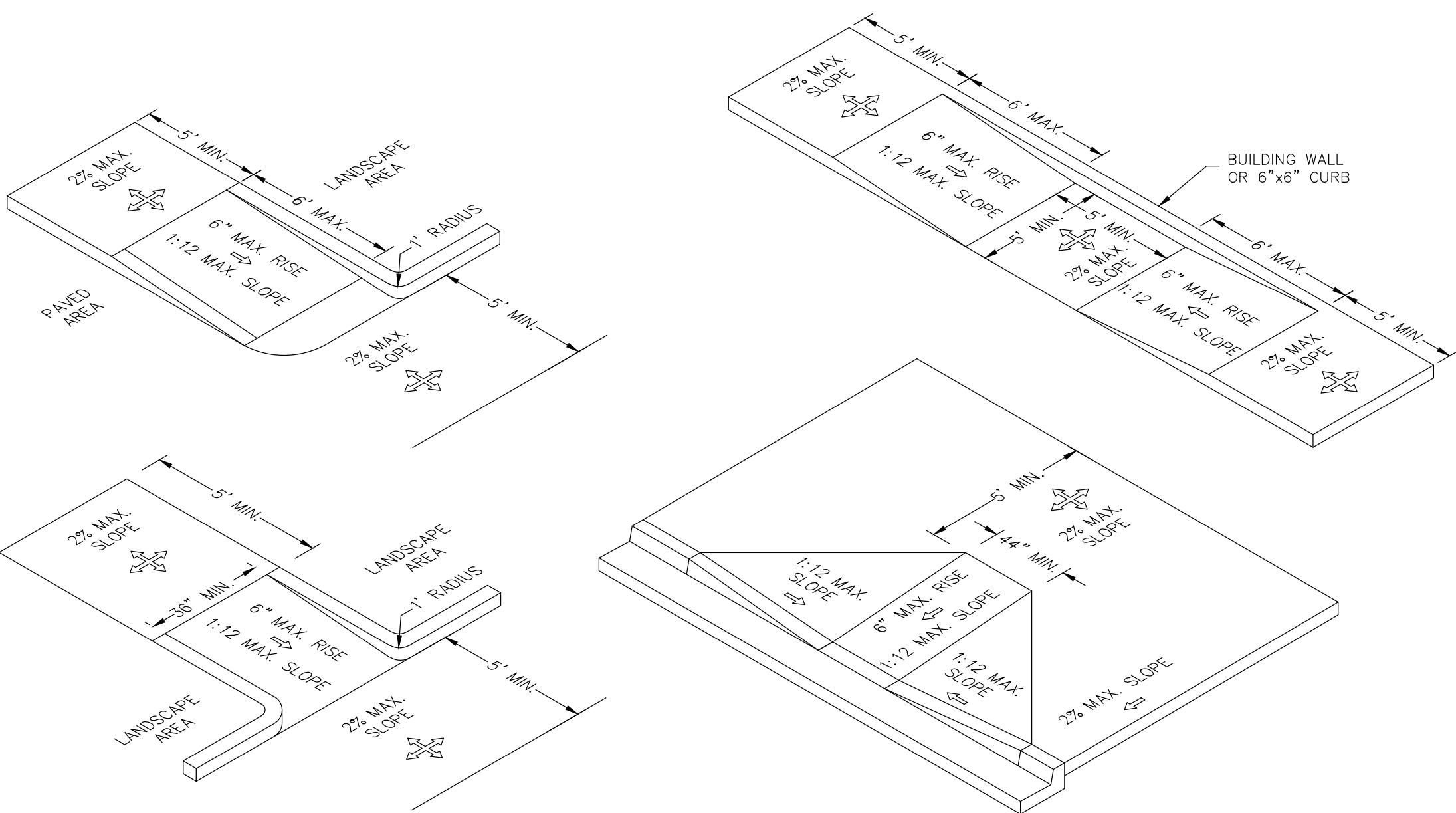
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ASSOCIATES, INC.



- NOTES:
- PIPE INVERT SHOULD BE AT OR ABOVE THE WATER TABLE WHENEVER POSSIBLE.
 - THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS. THE 12" DIAMETER WEEP HOLE SHALL BE ELIMINATED, WHEN THE BOTTOM OF THE INLET IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN IN THE PLANS.



EXFILTRATION TRENCH
N.T.S.



NOTE:
CURB RAMPS IN RIGHT-OF-WAY SHALL PROVIDE
DETECTABLE WARNING AND COMPLY WITH FDOT INDEX 304.

N.T.S.

THE PRESENCE OF ROCK SHOULD BE ANTICIPATED
ON THIS PROJECT. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
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NO.	REVISIONS	DATE	BY

Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
KHA PROJECT
147506002
DATE
09/14/16
SCALE AS SHOWN
DESIGNED BY GOW
DRAWN BY RS
CHECKED BY
DATE: _____

GREG D. WILFONG, P.E.
FLORIDA LICENSE NUMBER
63166

**PAVING, GRADING
AND DRAINAGE
DETAILS**

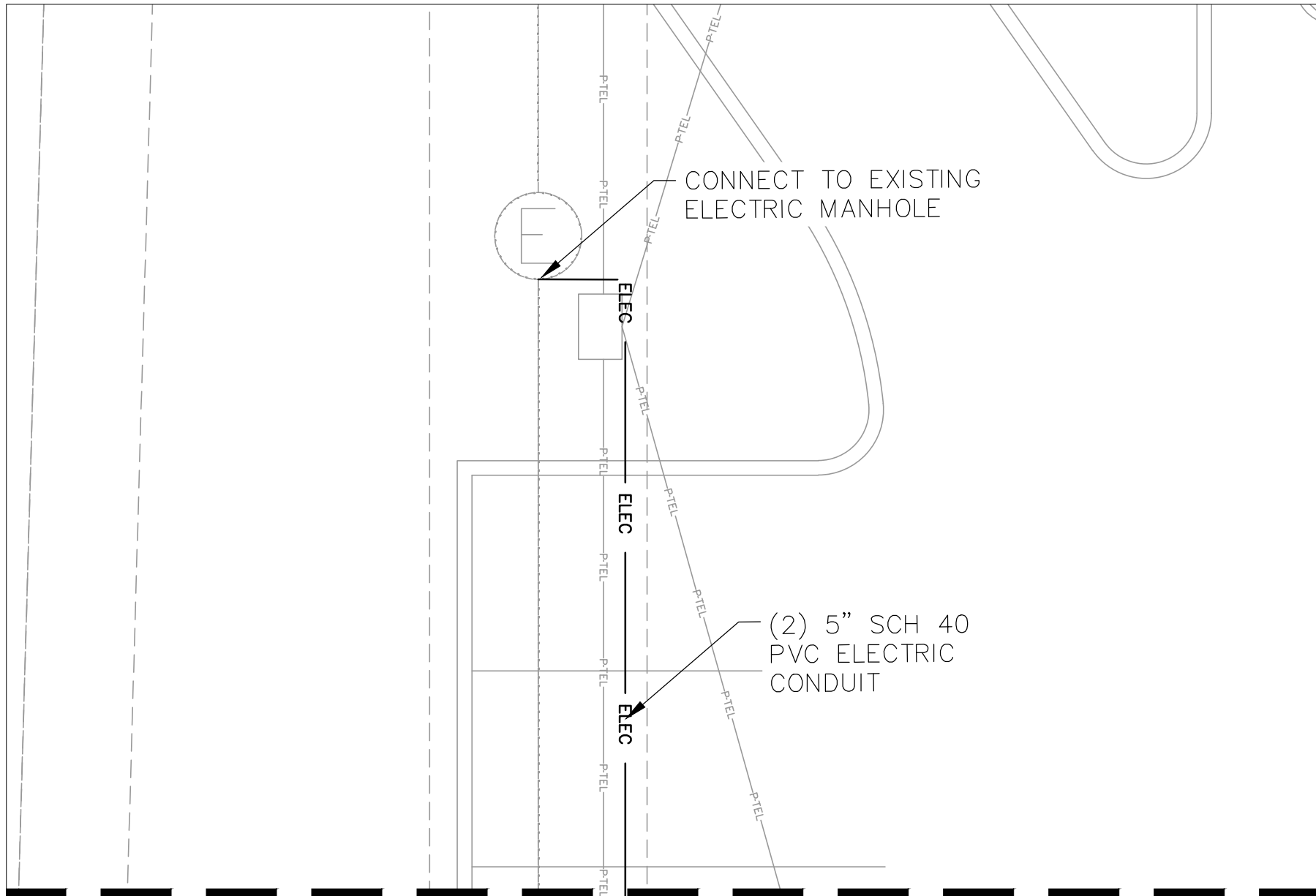
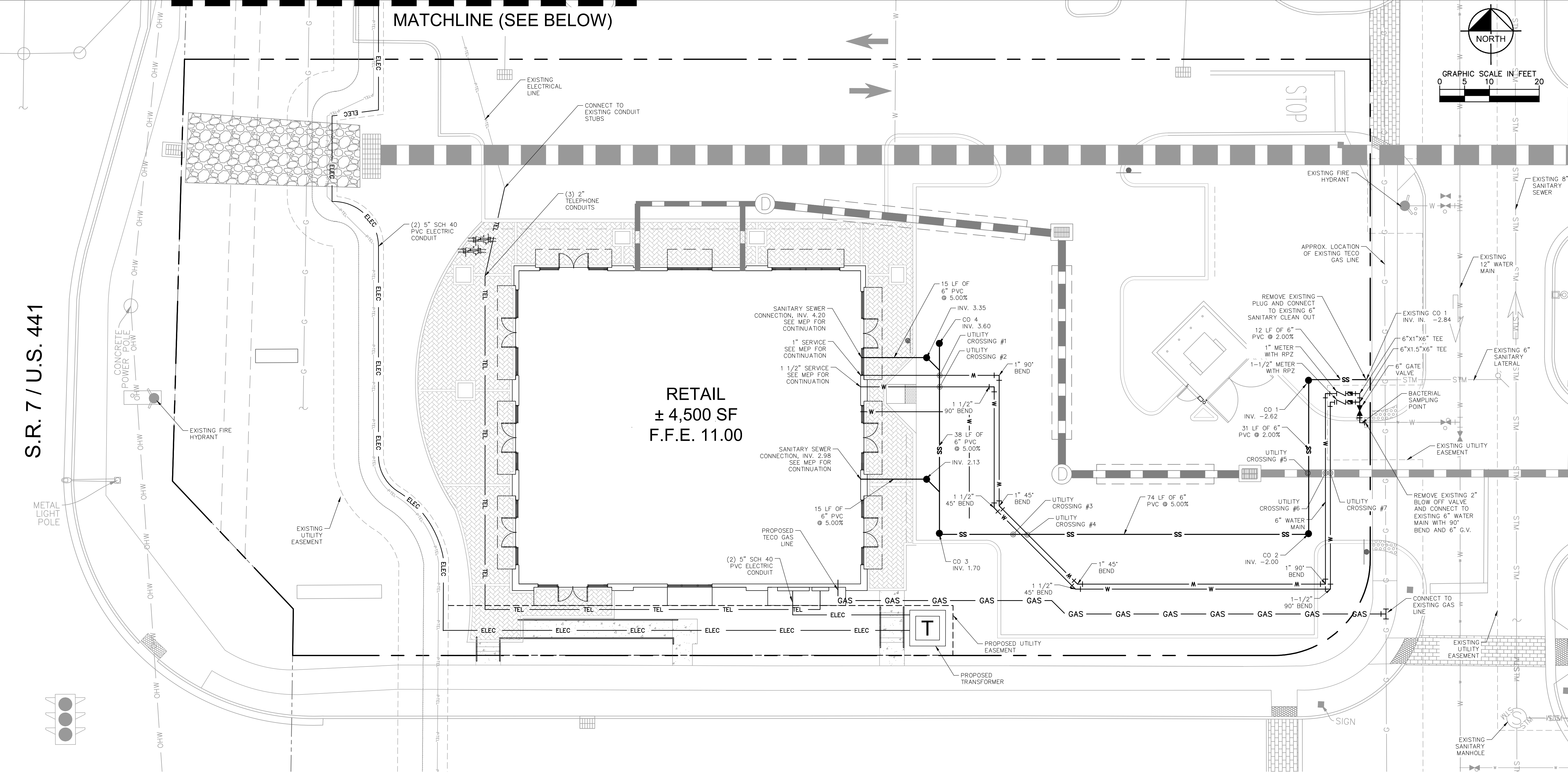
**THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL**

CITY OF HOLLYWOOD FLORIDA

SHEET NUMBER
C-401

Plotted By: Schurz, Ryan Sheet Set: THE PLACE AT HOLLYWOOD PHASE V SOUTH RETAIL Layout: C-500 UTILITY PLAN September 15, 2016 02:12:17pm K:\VRB-LDEV\147506002 - Phase 6 Retail\CAD\PlanSheets\C-500 UTILITY PLAN.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

S.R. 7 / U.S. 441



NOTE:
GAS SERVICE AND METER WILL
BE PROVIDED BY TECO GAS.

NOTE:
CONTRACTOR TO VERIFY ALL STUB LOCATIONS AND INVERTS
PRIOR TO STARTING UTILITY CONSTRUCTION

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UTILITY PLAN

THE PLACE AT
HOLLYWOOD PHASE
V SOUTH RETAIL

SHEET NUMBER
C-500

FLORIDA

CITY OF HOLLYWOOD

PROJECT
147506002

DATE
09/14/16

SCALE
AS SHOWN

DESIGNED BY
GDW

DRAWN BY
RS

CHECKED BY
GDW

DATE

LICENSED PROFESSIONAL

GREG D. WILFONG, P.E.

FLORIDA LICENSE NUMBER
63166

NO.

REVISIONS

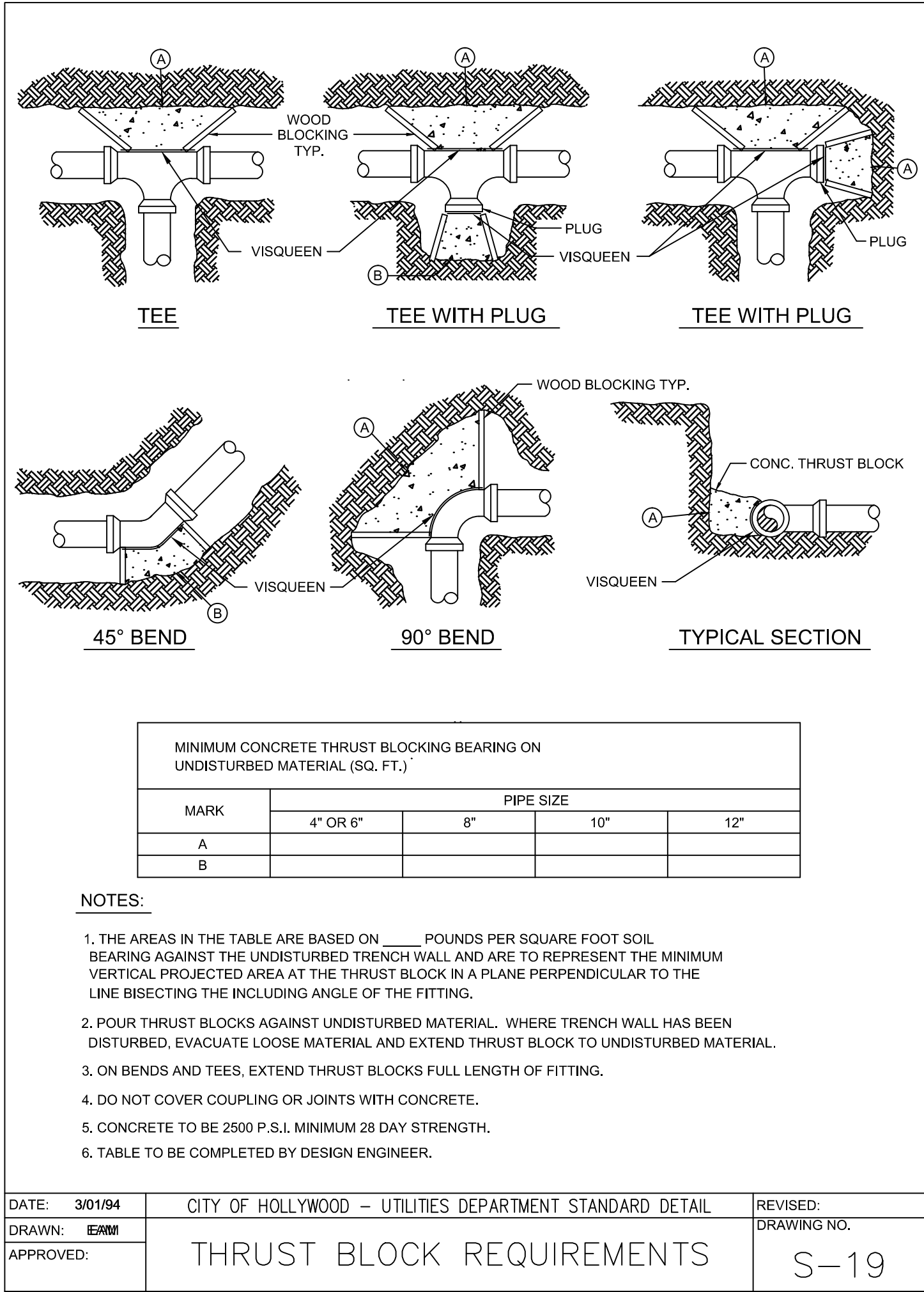
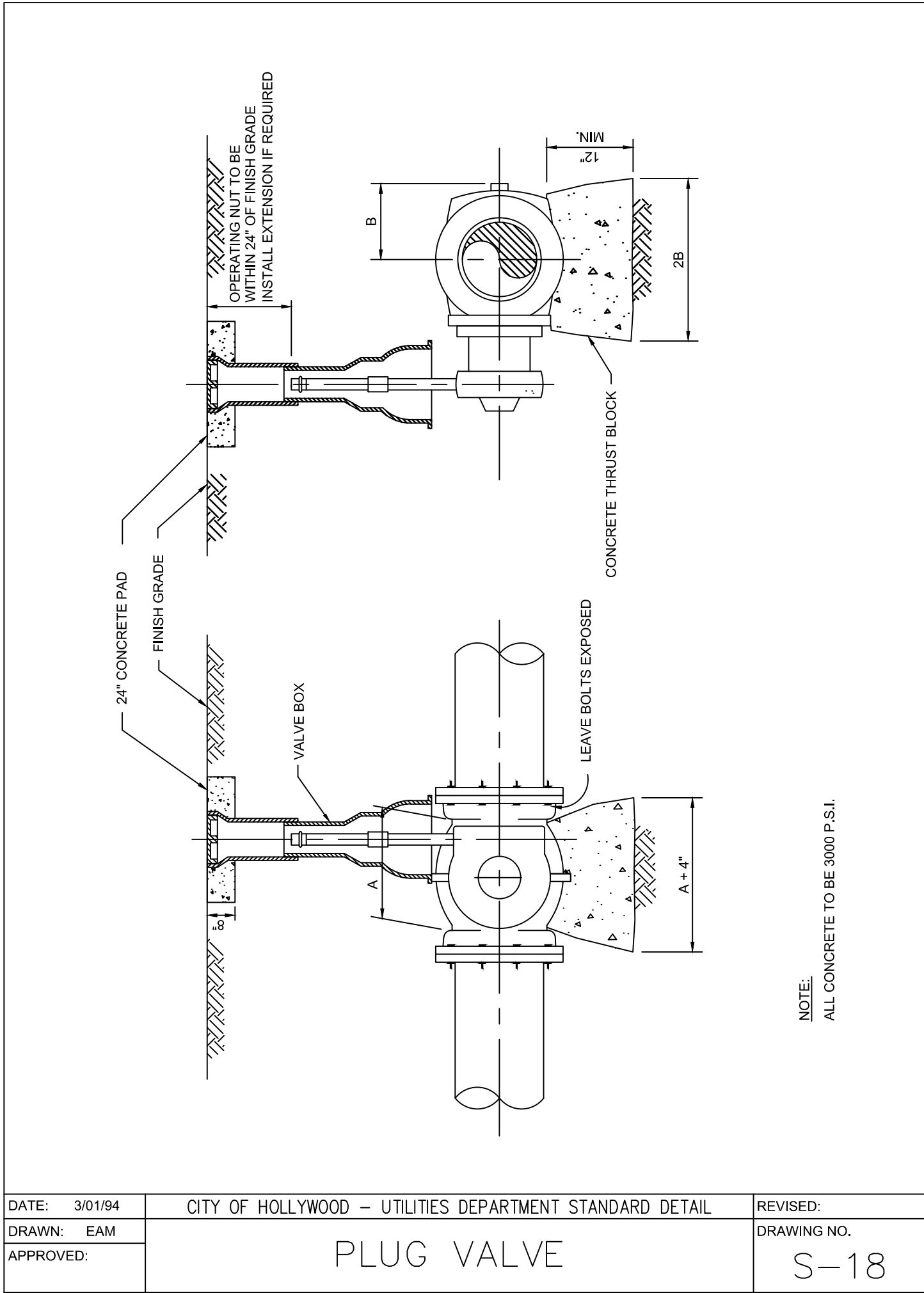
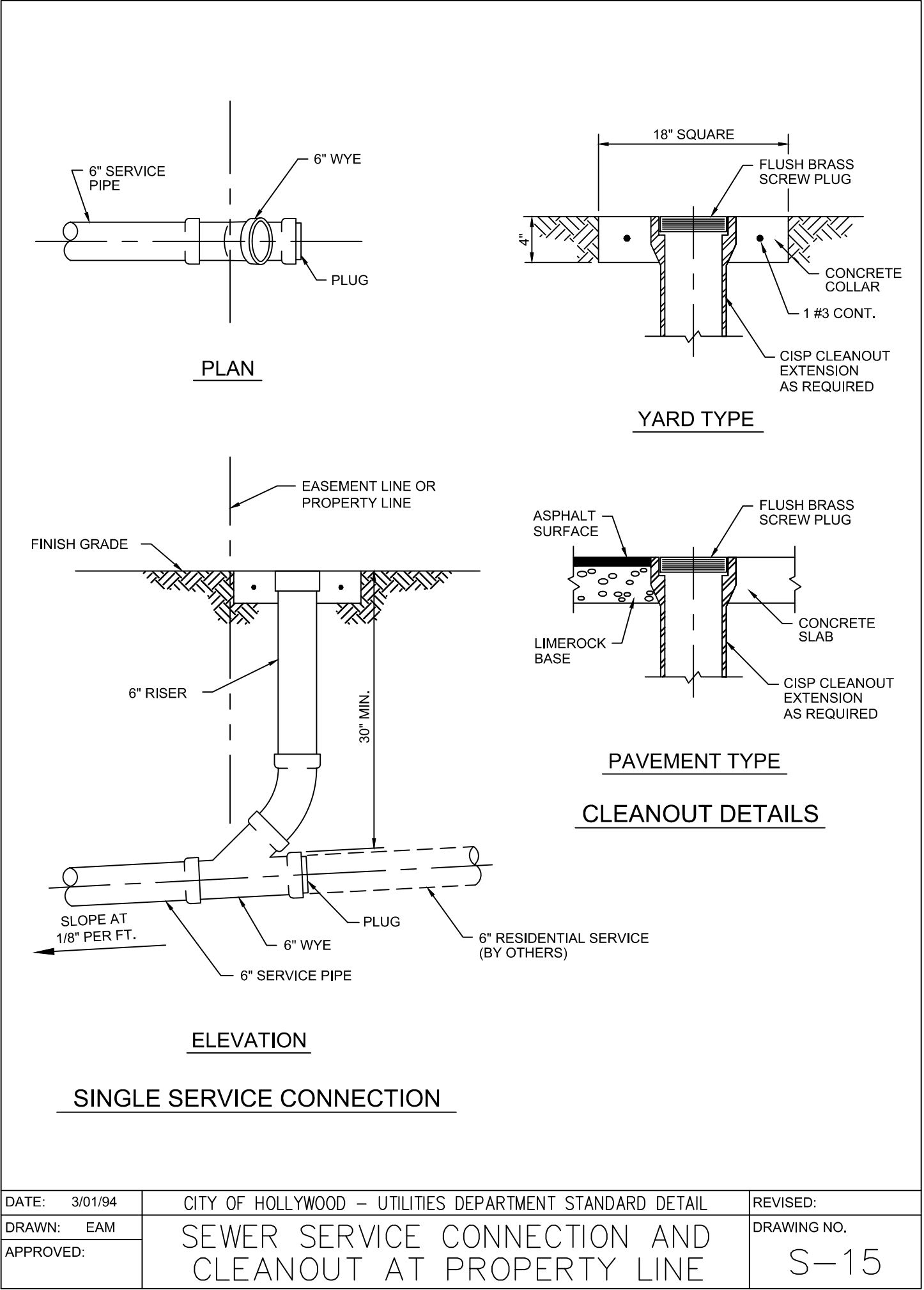
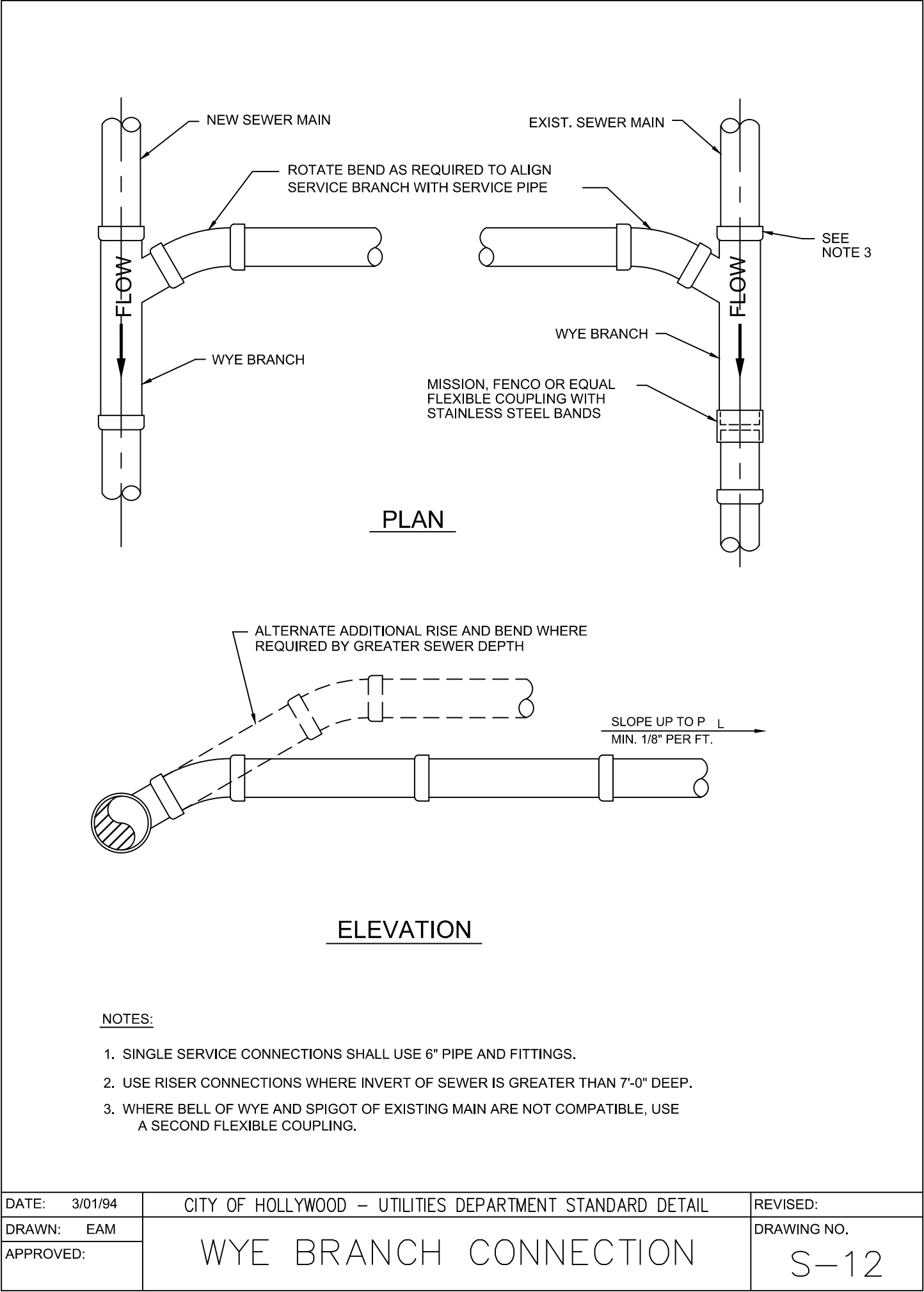
DATE

BY

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CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS	THE PLACE AT HOLLYWOOD PHASE V SOUTH RETAIL	FLORIDA CITY OF HOLLYWOOD	SHEET NUMBER C-504	REVISIONS	No.	DATE	BY

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LICENSED PROFESSIONAL	GREG D. WILFONG, P.E.	FLORIDA LICENSE NUMBER	63166
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SCALE	AS SHOWN	DESIGNED BY	GDW
DRAWN BY	RS	CHECKED BY	GDW
DATE: _____		DATE: _____	