

**CITY OF HOLLYWOOD, FLORIDA  
DEPARTMENT OF DEVELOPMENT SERVICES  
PLANNING DIVISION**

**DATE:** September 08, 2016

**FILE:** 16-DPS-20

**TO:** Planning and Development Board

**VIA:** Leslie A. Del Monte, Planning Manager

**FROM:** Arceli Redila, Planning Administrator

**SUBJECT:** Lotus Capital Partners, LLC. requests Design and Site Plan approval for an approximate 6,500 square foot addition to an existing office building located at 3800 Johnson Street and Special Exception for an associated at-grade parking lot located at 3802, 3810, 3814 Johnson Street.

**REQUEST:**

Design and Site Plan approval for an approximate 6,500 square foot addition to an existing office building located at 3800 Johnson Street and Special Exception for an associated at-grade parking lot.

**RECOMMENDATION:**

Special Exception: Approval, with the following conditions:

- a. The parking lot shall be used exclusively by the office building located at 3800 Johnson Street and shall not be used as a commercial parking lot;
- b. A Unity of Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C) for all parcels associated with the requests.

Design: Approval, if Special Exception is granted.

Site Plan: Approval, if the Special Exception and Design are granted.

**BACKGROUND**

The existing office building at approximately 21,000 square feet was approved in 2002. On March 10, 2011, the Development Review Board granted Design and Site Plan approval for an approximate 2,800 square foot addition and Special Exception for an associated parking lot. However, the approval expired.

**REQUEST**

The Applicant is requesting Design and Site Plan approval for an approximate 6,500 square foot addition to the existing office building and a Special Exception for an associated at-grade parking lot. The proposed addition will be constructed within the existing footprint, beneath the building, where there is currently required parking. The existing office building and required parking spaces are located on an assemblage of several parcels at 3800 Johnson Street. Three additional parcels to the west, 3802, 3810, 3814 Johnson Street have been purchased by the Applicant and will be converted into an at-grade parking lot. A total of 86 parking spaces will be provided for the entire site.

Following the proposed addition, the total building area will then be approximately 27,500 square feet. The existing Mediterranean style and colors will be maintained. Architectural treatments will match the traditional stucco material which is there today. The Applicant explains, "since the addition is to be constructed within the footprint of the existing 2-story medical building using the same materials and detailing, it will be virtually unnoticed when complete. The addition will appear as though it had always been there."

The proposed at-grade parking lot is located within a Single-Family Residential District. As such, it requires a Special Exception under the Parking Lot (At-Grade) Overlay Regulations. As the parking lot requires Special Exception, the Applicant has employed additional measures to further improve the appearance of the site and to create an association with the existing development. The Applicant will be using a concrete paving material which inherently has high solar reflectance, to limit absorption of sunlight and to reduce urban heat island effect. Landscaping within the vehicular use area and the remainder of the site will contain a variety of native trees and shrubs to enhance the overall development. These materials will also line the perimeters of the lot to provide adequate screening and to improve the aesthetics of the site. Overall, approximately 29 percent pervious area will be provided for the entire site.

Since this development is located on multiple lots, **Staff is recommending approval with the following conditions:** a.) The parking lot shall be used exclusively by the office building located at 3800 Johnson Street and shall not be used as a commercial parking lot; b.) A Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C) for all parcels associated with the requests.

#### **SITE INFORMATION**

<b>Owner/Applicant:</b>	Lotus Capital Partners, LLC
<b>Address/Location:</b>	3800, 3802, 3810, 3814 Johnson Street
<b>Net Area of Property:</b>	58,425 sq. ft. (1.34 acres)
<b>Gross Area of Property:</b>	63,175 sq. ft. (1.45 acres)
<b>Land Use:</b>	Office/Low Residential (0-5 units/acre)
<b>Zoning:</b>	Light Intensity Office District (O-1)/Single-Family District (RS-5)
<b>Existing Use of Land:</b>	Office/Single-Family Residential

#### **ADJACENT LAND USE**

<b>North:</b>	Community Facility/Low Residential (0-5 units/acre)
<b>South:</b>	Low Residential (0-5 units/acre)
<b>East:</b>	Office
<b>West:</b>	Low Residential (0-5 units/acre)

#### **ADJACENT ZONING**

<b>North:</b>	Hospital District (HD)/Single-Family District (RS-5)
<b>South:</b>	Single-Family District (RS-5)
<b>East:</b>	Light Intensity Office District (O-1)
<b>West:</b>	Single-Family District (RS-5)

#### **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

The proposed project is located in Office and Residential Land Use areas. The goal of the Land Use Element is to "promote a distribution of land uses to enhance and improve the residential, business, resort and natural communities while allowing land owners to maximize the use of their property."

The proposed request is consistent with Comprehensive Plan based upon the following:

**Goal:** *Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

**Policy 4.9:** *Place a priority on protecting, preserving and enhancing residential neighborhoods while incorporating the unique characteristics of redevelopment areas.*

The Comprehensive Plan challenges Staff with protecting neighborhoods while also allowing for a creative mix of uses to support the economic vitality of the City. The proposed building addition is located within the existing building footprint and does not have any impact on the current setbacks or building height. The associated parking lot provides needed parking for the existing and future medical practices and provides a transition into the residential neighborhood. These uses will be screened from the adjacent neighborhood with a continuous CBS wall and landscape buffer consisting of trees and shrubs on the interior and exterior. In addition to acting as a screen, these provisions will help maintain a pleasant streetscape and overall aesthetics of the neighborhood.

#### **CONSISTENCY WITH THE CITY-WIDE MASTER PLAN:**

This property is located in Sub-Area 6, West-Central Hollywood, which includes the residential neighborhoods of Hollywood Hills, Park East and Hillcrest. This Sub-Area is defined by I-95 to the east, Pembroke Road to the south, Sheridan Street to the north and 56<sup>th</sup> Avenue to the west. This sub-area is a mix of residential, commercial, office, institutional and industrial uses. Of these uses, there are a number of sub-sectors that function relatively independently. There are several activity centers with West-Central Hollywood which include the Place at Hollywood, the Memorial Regional Hospital and the Tri-Rail Stations.

**Guiding Principle:** *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*

**Guiding Principle:** *Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.*

The office building is located south of Memorial Regional Hospital on the south side of Johnson Street and west of 35<sup>th</sup> Avenue. The proposed addition is contained within the existing raised footprint and therefore will have minimal impact on surrounding properties. A Special Exception is proposed for the associated at-grade parking lot which will be screened from the surrounding neighborhood with a continuous 6-foot CBS wall and landscaping to match what exists. This use will act as a buffer between the medical office building and the abutting residential properties to the west.

#### **APPLICABLE CRITERIA**

**Analysis of Criteria and Findings for Special Exception** as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

**CRITERIA 1:** The proposed use must be consistent with the principles of the City's Comprehensive Plan.

**ANALYSIS:** The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property. The proposed parking lot is consistent with the City's Comprehensive Plan as it allows the Applicant to maximize use of their property and maintains massing on the eastern lots away from residential development to the west. The applicant has worked with Staff to provide adequate landscape buffers to help screen the use and create a fuller buffer along all the property lines. Additionally, the Applicant is also providing a 6-foot tall CBS wall on the west side adjacent to the residential areas.

**FINDING:** Consistent.

**CRITERIA 2:** The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.

**ANALYSIS:** Parking lots are permitted within Residential areas as Special Exception as they are typically viewed as an accessory use and may be appropriate depending on the mix of surrounding uses. While it is surrounded by residential on the west and south, immediately east are more office uses. Furthermore, it is located just south of Memorial Regional Hospital on Johnson Street, making it consistent with the predominantly office atmosphere in this area. As explained by the architect, "The new lot will act as a buffer between the 2-story building and the residential properties west of the new lot."

As mentioned earlier in this report, this parking lot would be a Special Exception and as such it may be appropriate to take additional measures to improve its compatibility with the surrounding residential uses. Therefore, to further improve the appearance of this parking lot and to create an association with the existing development, the Applicant will be using concrete paving material with inherently high solar reflectance to reduce urban heat island effect. Perimeter landscaping will also be provided.

**FINDING:** Consistent

**CRITERIA 3:** That there will be provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.

**ANALYSIS:** "The new parking lot addition to the medical office building will provide relief to the limited parking now available on the office site. The new parking lot is contiguous with the existing parking lot, allowing traffic flow between parking areas," describes the architect.

The existing office building will maintain the same driveway configuration. With the proposed parking lot, the head-in/back-out parking directly onto Johnson Street which is associated with the single-family homes will be eliminated. Therefore, traffic will then circulate internally providing for safer traffic movement on premises and on Johnson Street. Both areas will be improved to include connection to the existing sidewalk for clear and safe pedestrian movement.

**FINDING:** Consistent.

**CRITERIA 4:** That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.

**ANALYSIS:** All required setbacks have been provided on all sides of the proposed parking lot. These areas include a continuous CBS wall inside the landscape buffer. Mahogany trees will be planted on the west side of the parking lot to provide shade and screening at higher level and to soften the massing of the wall.

**FINDING:** Consistent.

**CRITERIA 5:** The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.

**ANALYSIS:** "The proposed parking lot is not detrimental to the health, safety or appearance of the neighborhood. Well landscaped, it will act as a buffer between the existing two medical buildings east of the parking lot and the residential district to the west."



As previously mentioned the proposed parking lot is designed with two types of screening, concrete wall and landscaping, and is a transition from the surrounding office uses to residential uses to the west. In addition to acting as a screen to the parking lot, the proposed landscaping is aesthetically pleasing and will help enhance the streetscape. To further improve the appearance of this parking lot and create uniformity with the existing development, the Applicant will be using concreted paving material with inherently high solar reflectance to reduce urban heat island effect.

FINDING: Consistent.

**CRITERIA 6:** The subject parcel must be adequate in shape and size to accommodate the proposed use.

ANALYSIS: The proposed parking lot has a total combined area of a little over half an acre will accommodate 54 parking spaces. All required setbacks are met, as well as required landscape and pervious areas.

FINDING: Consistent.

**CRITERIA 7:** The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.

ANALYSIS: A Special Exception is defined as *a use that is not generally appropriate in a district, but would be appropriate if it is consistent with the review criteria*. The purpose of the parking lot (at-grade) overlay regulations is to *permit at-grade parking lots in a manner that will not have a negative impact on adjacent property*. The parking lot will serve as an accessory use to the existing office building as well as to provide required parking for the proposed addition. It also serves as buffer between the two-story office building and the residential properties to the west.

As noted above, the proposed parking lot is consistent with all required criteria. Furthermore, it is consistent with all applicable Zoning and Land Development Regulations as set forth in the appropriate documents. **Staff is recommending approval with the following conditions: a.) The parking lot shall be used exclusively by the office building located at 3800 Johnson Street and shall not be used as a commercial parking lot; b.) A Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C) for all parcels associated with the requests.**

FINDING: Consistent, with the imposition of Staff's condition(s).

**Analysis of Criteria and Findings for Design Review** as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

**CRITERIA 1:** *Architectural and Design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: This project proposes an approximate 6,500 square foot addition to an existing 21,100 square foot office building. The addition will be located on the first floor

beneath the existing two story building. Architectural treatments will match the traditional stucco material which is there today. "The materials used and detailing are consistent with the materials and detailing of the existing building," expresses the Applicant. This is consistent with the Design Guidelines which state that *all projects should consider the overall form, pattern and detail of the building*.

Also included in the scope of work is a new at-grade parking lot to the west which will contain 54 spaces for a total of 86 spaces for the entire site. To further improve its appearance and create an association with the existing development, the applicant will be using concrete paving materials, which inherently has high solar reflectance. Landscaping within the vehicular use area and the remainder of the site will contain a variety of native trees and shrubs to enhance the overall development.

FINDING: Consistent.

**CRITERIA 2:** *Compatibility.* The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS: The applicant explains, "Since the addition is to be constructed within the footprint of the existing 2-story medical building using the same materials and detailing, it will be virtually unnoticed when complete. The addition will appear as though it had always been there." The proposed addition is within the existing building footprint and will extend beyond the existing building's perimeter wall. It will also incorporate the Mediterranean style and colors.

FINDING: Consistent.

**CRITERIA 3:** *Scale/Massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

ANALYSIS: The proposed addition will be within the existing building footprint and will not impact existing setbacks. Additionally, since it is located beneath an existing second story, it will not have any impact on the building height. Therefore it does not impact on the existing scale and massing.

FINDING: Consistent.

**CRITERIA 4:** *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: As described by the Design Guidelines, *landscape and paving materials shall be reviewed to ensure an adequate relationship with and enhancement of the overall Site Plan Design*. The Applicant has worked with Staff to provide adequate landscaping to match what exists and provide proper screening on all sides. A variety of native and exotic trees, shrubs and ground covers are being used, which include, but are not limited to Pigeon Plum and Mahogany trees along with Wax Jasmine and Dwarf Wild Coffee. These materials are arranged in

a manner to compliment the building's architecture as well as provide a buffer for the associated parking lot.

FINDING: Consistent.

## **SITE PLAN**

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article five of the Hollywood Zoning and Land Development Regulations on August 3, 2016. Therefore, staff recommends approval, if Design and Special Exception are granted and with the aforementioned condition.

## **ATTACHMENTS**

ATTACHMENT A: Application Package

ATTACHMENT B: Land Use and Zoning Map

# ATTACHMENT A

## Application Package

## DEPARTMENT OF PLANNING



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

*This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.*

*The applicant is responsible for obtaining the appropriate checklist for each type of application.*

*Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.*

*At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).*

*Documents and forms can be accessed on the City's website at*  
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: 8/3/16

Location Address: 3800 Johnson Street/3802, 3810, 3814 Johnson Street  
Lot(s): 28-37 Block(s): 81 Subdivision: Hollywood Hills  
Folio Number(s): 514207031730, 514207031750, 514207031760, 514207031770  
Zoning Classification: O-1 and RS-5 Land Use Classification: OFF and LRES  
Existing Property Use: Office Building/ 3 single Sq Ft/Number of Units: 21,155 sf (existing office)  
family residential  
Is the request the result of a violation notice? ( ) Yes (x) No If yes, attach a copy of violation.  
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 16-DPS-20

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development ☒ Pre-Application Conceptual Overview

Explanation of Request: New 6,500 gross sf addition at office building and new at-grade parking lot built on 3 adjacent properties, replacing 3 single family residences.

Number of units/rooms: N/A Sq Ft: 6,500 gross sf addition  
Value of Improvement: \$375,000 Estimated Date of Completion: November 2016  
Will Project be Phased? ( ) Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Moore Investments & Development/ Lotus Capital Partners LLC  
Address of Property Owner: 2750 NE 185th Street, Aventura, FL 33180  
Telephone: (305) 967-7467 Fax: \_\_\_\_\_ Email Address: mooreinvestments60@yahoo.com  
Name of Consultant Representative/Tenant (circle one): Saltz Michelson Architects  
Address: 3501 Griffin Road, Fort Lauderdale, FL 33312 Telephone: (954) 276-2700  
Fax: \_\_\_\_\_ Email Address: mfarlander@saltzmichelson.com

Date of Purchase: 10/9/2015 Is there an option to purchase the Property? Yes ( ) No ( )  
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_  
Address: \_\_\_\_\_  
Email Address: \_\_\_\_\_

## DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Ely R. Levy, As Manager of Lotus Capital Partners, LLC Date: 8/3/16

PRINT NAME: Ely R. Levy Date: 8/3/16

Signature of Consultant/Representative: Charles Mitchellson Date: 8/4/16

PRINT NAME: CHARLES MITCHELSON Date: 8/4/16

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

### CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing (name of the representative) \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this THIRD day of AUGUST 2016

Ely R. Levy, As Manager of Lotus Capital Partners, LLC  
SIGNATURE OF CURRENT OWNER

Ely R. Levy  
PRINT NAME

Notary Public State of Florida

My Commission Expires: JUNE 18, 2018 (Check One) ☒ Personally known to me; OR \_\_\_\_\_



**Deborah Jacobi**  
COMMISSION # FF133733  
EXPIRES: June 18, 2018  
[WWW.AARONNOTARY.COM](http://WWW.AARONNOTARY.COM)





3800 Johnson Street  
File: 16-DPS-20  
Legal Description and Project Information

Existing Legal Description:

PARCEL 1: LOT 33 AND THE EAST 1/2 OF LOT 34, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2: THE WEST 1/2 OF LOT 34 AND ALL OF LOT 35, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3: LOTS 28, 29, 30, 31 AND 32, BLOCK 81, "HOLLYWOOD HILLS" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 4: THE EAST 25 FEET OF LOT 36, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Project Information:

Zoning: O-1 and RS-5  
Gross Site Area: 63,175 SF or 1.45 acres  
Net Site Area: 58,425 SF or 1.34 acres

Building Setbacks (O-1 Zone at Existing Office Building)

Front:	25'-0" Required	25'-4" Provided
Rear:	20'-0" Required	20'-1" Provided
Interior Sides:	10'-0" Required	10'-3" (East) and 235'-2" (West) Provided

At-Grade Parking Lot Setbacks (RS-5 Zone at Proposed Parking Lot)

RS-5 Zone; Lot Greater than 150 FT

Front:	10'-0" Required	10'-0" Provided
Side or Rear:	10'-0" Required	10'-0" Provided

Building Use: Office

Building Area – Gross SF

First Floor Existing Gross Area:	2,708 SF
Second Floor Existing Gross Area:	18,461 SF
<b>Total Existing Gross Area:</b>	<b>21,169 SF</b>
<b>First Floor New Gross Area:</b>	<b>6,245 SF</b>
<b>Total Gross Area:</b>	<b>27,414 SF</b>

Building Area – Net SF

First Floor Existing Net Area:	2,488 SF
Second Floor Existing Net Area:	17,942 SF
<b>Total Existing Net Area:</b>	<b>20,430 SF</b>
<b>First Floor New Net Area:</b>	<b>5,950 SF</b>
<b>Total Net Area:</b>	<b>26,380 SF</b>

Parking Calculations:

Existing Building

\*Parking Spaces by Previously Granted Variance: 62

New Addition

5,950 net SF/ 250 SF per space: 24 required

**Total parking required: 86**

Existing parking to remain: 32

Parking provided in new lot: 54

**Total parking provided: 86**

Standard parking spaces: 82

Handicap parking spaces: 4

Site Calculations:

Vehicular Area not including dedicated R.O.W. and area under building:

Vehicular use area of parking lot addition (RS-5 zone); 18,946 SF

Vehicular use area of existing lot (O-1 zone): 4,262 SF

Total vehicular use area: 23,208 SF

**25% of IMPERVIOUS SURFACE: 5,802 SF**

Pervious Area – Parking lot addition

(Excluding landscape setbacks, 2 ft overhang and R.O.W.): 4,938 SF

Pervious Area – Existing Lot

(Excluding landscape setbacks, 2 ft overhang and R.O.W.): 1,921 SF

**Total Pervious Area**

**(Excluding landscape setbacks, 2 ft overhang and R.O.W.): 6,859 SF**

Pervious area within setbacks and R.O.W.: 11,212 SF

**Total Pervious Area on Site: 18,071 SF**

**18,071 SF/ 63,175 SF (Gross Site Area) = 29%**

Impervious Area – Vehicular

(Not including dedicated R.O.W. and area under building): 23,208 SF

Impervious Area – Sidewalks: 1,356 SF

Impervious Area beneath Building: 9,399 SF

Impervious Area outside R.O.W.: 943 SF

**Total Impervious Area: 34,906 SF**



June 6, 2016

City of Hollywood  
Office of Planning  
2600 Hollywood Blvd., Suite 315  
Hollywood, FL 33020

RE: **Building Addition and At-Grade Parking Lot  
3800 Johnson Street, Hollywood, FL**

Following are responses to the Special Exception Criteria and the Design Review Criteria:

**A. SPECIAL EXCEPTION CRITERIA**

**Criteria 1:**

The proposed use must be consistent with the principles of the City's Comprehensive Plan

***Response:*** *The proposed parking lot addition to an existing medical office building is consistent with the comprehensive plan. The area for the parking lots is designated on the Comprehensive Plan (C.P.) "Land Use" map LU-2 as Residential. Development of the property as a parking lot is a permitted use in Residential Areas as described in "Land Use", page LU-50 & LU-51 of the comprehensive plan, Item #3 and Item #10, which allows medical office buildings in residential areas.*

**Criteria 2:**

The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.

***Response:*** *The proposed use as a parking lot is consistent with the existing and future land use patterns in the area. The parking lot is to provide additional parking for the existing 2-story medical office building. The new lot will act as a buffer between the 2-story building and the residential properties west of the new lot. In addition, Memorial Regional Hospital and one of its parking garages is northeast of the parking lot, immediately across Johnson Street from the medical office building.*

**Criteria 3:**

That there will be provisions for save traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.

***Response:*** *The new parking lot addition to the medical office building will allow relocation of existing parking spaces removed due to the proposed addition and provide the required number of parking spaces for the new addition. The new parking lot is contiguous with the existing parking lot, allowing traffic flow between parking areas. The proposed plan maintains the same driveway configuration for the medical office building and eliminates the driveways at the 3 existing residential properties.*

**Criteria 4:**

That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.

**Response:** *The proposed plan includes buffers on all the exposed sides of the property. A 6 foot high masonry and stucco wall is to be constructed on the south and west property lines with landscaping on both sides of the wall. This is in keeping with the existing 6 foot high masonry wall on the south property line of the existing medical building. Along Johnson Street there is a 4 ft high masonry and stucco wall, also with landscaping on both sides.*

**Criteria 5:**

The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.

**Response:** *The proposed parking lot is not detrimental to the health, safety or appearance of the neighborhood. The parking lot replaces 3 small houses. Well landscaped, it will act as a buffer between the existing medical building east of the parking lot and the residential district to the west.*

**Criteria 6:**

The subject parcel must be adequate in shape and size to accommodate the proposed use.

**Response:** *The existing property at 225' x 133' is adequate in size and shape for the parking lot, including a considerable amount of landscaping and meets the minimum code requirements.*

**Criteria 7:**

The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.

**Response:** *The proposed parking lot use meets the definition of a Special Exception as demonstrated in our responses to the criterias.*

## **B. DESIGN REVIEW CRITERIA**

1. **Architectural and Design Components:** Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

**Response:** *The project includes a small addition to an existing 2-story medical office building, to be constructed fully underneath the 2<sup>nd</sup> floor of the existing building in the existing parking area. The addition does not extend beyond the existing building's perimeter walls. The materials used and detailing are consistent with the materials and detailing of the existing building. Existing pedestrian pathways into the building Lobbies will be maintained.*

2. **Compatibility:** The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

**Response:** *Since the addition is to be constructed within the footprint of the existing 2-story medical building using the same materials and detailing, it will be virtually unnoticed when complete. The addition will appear as though it had always been there. The existing building's architectural character is consistent with the residential look of the neighborhood.*

3. **Scale/Massing:** Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

*Again, since the addition is to be constructed underneath the 2<sup>nd</sup> floor within the footprint of the existing 2-story medical office building, it will have very little effect on the scale and massing of structures along the street. The new parking lot provides a buffer of approximately 225 feet between the medical office building and the houses west of the lot, thus reducing the impact of the office building's scale and massing on the street.*

4. **Landscaping:** Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

*New landscaping on the site will follow the basic design of the original office building's landscaping, using the same species wherever possible, maintaining design, massing of materials, etc. The existing trees on the site are to be removed as they are either unknown exotic species or fruit trees not compatible with a parking lot. Native trees are being relocated.*



# MEDICAL OFFICE BUILDING ADDITION AND PARKING LOT

3800 JOHNSON STREET  
HOLLYWOOD, FLORIDA

PLANNING AND DEVELOPMENT BOARD SUBMITTAL - MEETING DATE: SEPTEMBER 8, 2016

OWNER:

LOTUS CAPITAL PARTNERS, LLC  
3230 STIRLING ROAD, SUITE 1  
HOLLYWOOD, FLORIDA, 33021  
TELEPHONE: (954) 727-8570

ARCHITECT:

SALTZ MICHELSON ARCHITECTS  
3501 GRIFFIN RD.  
FORT LAUDERDALE, FLORIDA, 33312  
TELEPHONE: (954) 266-2700

CIVIL:

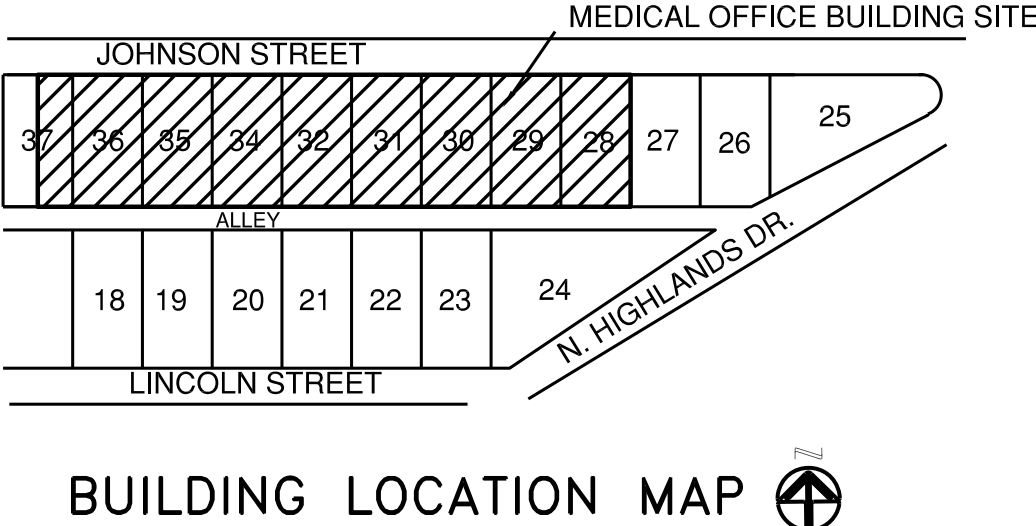
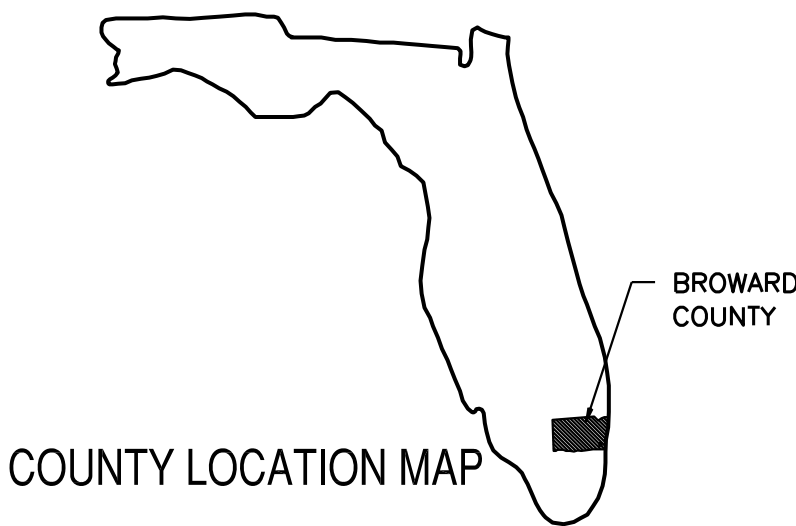
HOLLAND ENGINEERING INC.  
3900 HOLLYWOOD BLVD, SUITE 303  
HOLLYWOOD, FLORIDA, 33021  
TELEPHONE: (954) 367-0731



## LIST OF DRAWINGS

SHEET	DESCRIPTION	SHEET	DESCRIPTION
A0	COVER SHEET		
	ALTA SURVEY		
	ARCHITECTURAL		
SP1	SITE PLAN		
SP2	SITE DETAILS		
A10	FLOOR PLAN - BUILDING ADDITION		
A20	EXTERIOR BUILDING ELEVATIONS		
A21	NORTH SITE ELEVATION		
	CIVIL		
C1	PAVING & DRAINAGE PLAN		
C2	PAVEMENT MARKINGS & SIGNAGE PLAN		
C3	POLLUTION PREVENTION PLAN		
C4	CIVIL DETAILS		
	LANDSCAPE		
L10	LANDSCAPE PLAN, PLANTING NOTES		
	ELECTRICAL		
ES1	ELECTRICAL PHOTOMETRIC PLAN		

## LOCATION MAP



MEDICAL OFFICE BUILDING  
3800 JOHNSON STREET  
HOLLYWOOD, FLORIDA

**SALTZ MICHELSON**  
ARCHITECTS

3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700    Fx: (954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Charles Michelson AR0009976

Project No.:  
2015-195  
Drawn By:  
MF  
Checked By:  
CM  
DATE:  
9-8-16

REVISIONS

PLANNING AND DEVELOPMENT  
BOARD MEETING  
SEPTEMBER 8, 2016

A0



## ALTA/ACSM LAND TITLE SURVEY

3800, 3802, 3810 & 3814 JOHNSON STREET  
HOLLYWOOD, FL 33021PREPARED FOR  
MOORE INVESTMENTSTHE PARCELS ARE CONTIGUOUS AND CONTAIN NO GORES, GAPS OR OVERLAPS  
ALONG THEIR COMMON BOUNDARIES UNLESS OTHERWISE SHOWN

I have reviewed FIDELITY NATIONAL TITLE INSURANCE COMPANY'S Commitment for Title Insurance File Number: 15188 Policy Number: 2730609-95082943 Dated DECEMBER 18, 2015 @ 9:54 A.M. All policy and title search items have been abstracted and all that apply are shown hereon			
ITEM#	P.B.	PG.	CONVEYANCE STATUS
3	6	22	PLAT OF HOLLYWOOD HILLS SHOWN HEREON
ITEM#	O.R.B.	PG.	CONVEYANCE STATUS
4	1171	367	NOT PROVIDED OR AVAILABLE ON LINE
4	1805	576	NOT PROVIDED OR AVAILABLE ON LINE
5	29315	1524	AGREEMENT NOT PLOTTABLE

I have reviewed FIDELITY NATIONAL TITLE INSURANCE COMPANY'S Commitment for Title Insurance Order Number: 5518552 Policy Number: 2730609-94520979 Dated OCTOBER 19, 2015 @ 10:08 A.M. All policy and title search items have been abstracted and all that apply are shown hereon			
ITEM#	P.B.	PG.	CONVEYANCE STATUS
6	22	PLAT OF HOLLYWOOD HILLS	SHOWN HEREON
ITEM#	O.R.B.	PG.	CONVEYANCE STATUS
6	47788	457	RESOLUTION NO. 10-DPV5-57 NOT PLOTTABLE

I have reviewed FIDELITY NATIONAL TITLE INSURANCE COMPANY'S Commitment for Title Insurance Order Number: 5439649 Order Reference: 15-329 Dated AUGUST 20, 2015 @ 11:00 P.M. All policy and title search items have been abstracted and all that apply are shown hereon			
ITEM#	P.B.	PG.	CONVEYANCE STATUS
6	6	22	PLAT OF HOLLYWOOD HILLS SHOWN HEREON
ITEM#	O.R.B.	PG.	CONVEYANCE STATUS
7	33986	1858	RESOLUTION NO. 01-12-SDV SHOWN HEREON
8	37232	845	RESOLUTION NO. R-2002-430 SHOWN HEREON
9	38883	1402	CONVEYANCE AGREEMENT NOT PLOTTABLE
10	41154	1330	EASEMENT SHOWN HEREON
11	44990	1790	UTILITY EASEMENT SHOWN HEREON
13	47788	457	RESOLUTION NO. 10-DPV5-57 NOT PLOTTABLE

I have reviewed FIDELITY NATIONAL TITLE INSURANCE COMPANY'S Certificate of Search Ownership & Encumbrance File Number: 5662172 Revised Reference: Ely Levy through and including MAY 03, 2016 @ 6:00 A.M. All items have been abstracted and all that apply are shown hereon			
ITEM#	P.B.	PG.	CONVEYANCE STATUS
3	6	22	PLAT OF HOLLYWOOD HILLS SHOWN HEREON

## LEGAL DESCRIPTION:

PARCEL 1 (3802 JOHNSON STREET)

LOT 33 AND THE EAST 1/2 OF LOT 34, BLOCK 81, HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2 (3810 JOHNSON STREET)

THE WEST 1/2 OF LOT 34 AND ALL OF LOT 35, BLOCK 81, HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3 (3800 JOHNSON STREET)

LOTS 28, 29, 30, 31 AND 32 IN BLOCK 81, HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 4 (3814 JOHNSON)

LOT 36 AND THE EAST 25 FEET OF LOT 37, BLOCK 81, HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FLOOD ZONE: X

COMMUNITY NUMBER: 125113

PANEL: 0568

SUFFIX: H

## LOT CONTAINS:

- 63,175 GROSS SQUARE FEET OR 1.45 ACRES MORE OR LESS

- 58,425 NET SQUARE FEET OR 1.34 ACRES MORE OR LESS

## DRAINAGE STRUCTURE ASBUILT INFORMATION

<b>CATCH BASIN 'A'</b> RIM EL.= 9.44' TOP OF HOOD EL.= 6.69' (3.0' DIA OUTFLOW HOOD- EAST) B.O.S. EL.=1.57' WATER LEVEL EL.= 1.63'	<b>CATCH BASIN 'G'</b> RIM EL.= 9.86' TOP OF HOOD EL.= 6.78' (3.0' DIA OUTFLOW HOOD- NORTH) B.O.S. EL.=1.24' WATER LEVEL EL.= 1.32'
<b>CATCH BASIN 'B'</b> RIM EL.= 9.59' TOP OF HOOD EL.= 6.55' (3.0' DIA OUTFLOW HOOD- EAST) TOP OF HOOD EL.= 6.54' (3.0' DIA OUTFLOW HOOD- WEST) TOP OF HOOD EL.= 6.56' (3.0' DIA OUTFLOW HOOD- SOUTH) B.O.S. EL.=1.24' WATER LEVEL EL.= 3.80'	<b>CATCH BASIN 'H'</b> RIM EL.= 9.92' TOP OF HOOD EL.= 6.70' (3.0' DIA OUTFLOW HOOD- EAST) TOP OF HOOD EL.= 6.71' (3.0' DIA OUTFLOW HOOD- WEST) TOP OF HOOD EL.= 6.64' (3.0' DIA OUTFLOW HOOD- SOUTH) TOP OF HOOD EL.= 6.60' (3.0' DIA OUTFLOW HOOD- NORTH) B.O.S. EL.=0.81' WATER LEVEL EL.= 3.77'
<b>CATCH BASIN 'C'</b> RIM EL.= 9.45' TOP OF HOOD EL.= 6.69' (3.0' DIA OUTFLOW HOOD- EAST) B.O.S. EL.=1.52' WATER LEVEL EL.= 1.42'	<b>CATCH BASIN 'I'</b> RIM EL.= 9.84' TOP OF HOOD EL.= 7.11' (3.0' DIA OUTFLOW HOOD- WEST) B.O.S. EL.=2.40' WATER LEVEL EL.= 2.40'
<b>CATCH BASIN 'D'</b> RIM EL.= 9.93' TOP OF HOOD EL.= 6.81' (3.0' DIA OUTFLOW HOOD- EAST) TOP OF HOOD EL.= 6.79' (3.0' DIA OUTFLOW HOOD- WEST) TOP OF HOOD EL.= 6.75' (3.0' DIA OUTFLOW HOOD- SOUTH) TOP OF HOOD EL.= 6.76' (3.0' DIA OUTFLOW HOOD- NORTH) B.O.S. EL.=0.75' WATER LEVEL EL.= 3.97'	<b>CATCH BASIN 'J'</b> RIM EL.= 10.46' INVERT EL.= 6.89' (2.0' DIA OUTFLOW- NORTH) INVERT EL.= 6.68' (0.5' DIA OUTFLOW- SOUTH) TOP OF HOOD EL.= 6.40' (3.0' DIA OUTFLOW HOOD- SOUTH) B.O.S. EL.=1.33' WATER LEVEL EL.= 3.89'
<b>CATCH BASIN 'E'</b> RIM EL.= 9.93' INVERT EL.= 6.17' (2.0' DIA OUTFLOW- NORTH) B.O.S. EL.=1.50' WATER LEVEL EL.= 1.51'	<b>CATCH BASIN 'K'</b> RIM EL.= 9.93' TOP OF HOOD EL.= 6.54' (3.0' DIA OUTFLOW HOOD- EAST) TOP OF HOOD EL.= 6.52' (3.0' DIA OUTFLOW HOOD- WEST) B.O.S. EL.=0.74' WATER LEVEL EL.= 3.29'
<b>CATCH BASIN 'F'</b> RIM EL.= 9.94' INVERT EL.= 6.55' (0.5' DIA OUTFLOW- NORTH) TOP OF HOOD EL.= 6.67' (3.0' DIA OUTFLOW HOOD- EAST) TOP OF HOOD EL.= 6.67' (3.0' DIA OUTFLOW HOOD- WEST) B.O.S. EL.=0.77' WATER LEVEL EL.= 3.98'	<b>CURB INLET 'A'</b> RIM EL.= 8.79' INVERT EL.= 2.54' (1.25 DIA - NORTH) B.O.S. EL.=2.10'
WATER LEVEL ELEVATIONS AT TIME OF FIELD WORK ON 05-21-2016	

AS TO PARCEL 1 AND PARCEL 2:  
THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTANCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY;  
INVOICE NUMBER: 5662186. EFFECTIVE DATE: MAY 03, 2016. (PARCEL 1)  
INVOICE NUMBER: 5662179. EFFECTIVE DATE: MAY 03, 2016. (PARCEL 2)

AS TO PARCEL 3  
THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTANCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY;  
INVOICE NUMBER: 5662158. EFFECTIVE DATE: MAY 03, 2016.

AS TO PARCEL 4  
THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTANCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY;  
FILE NUMBER: 5662172. EFFECTIVE DATE: MAY 03, 2016.

## UTILITIES LEGEND

☐	CATCH BASIN
★	SECURITY LIGHT
⦿	FIRE HYDRANT
—	GUIDE WIRE
⊙	POWER POLE
⊙	CLEAN OUT
⊙	FIRE MANHOLE
⊙	STORM MANHOLE
⊙	SANITARY MANHOLE
⊙	ELECTRIC BOX
⊙	STOP SIGN
⊙	WATER VALVE
⊙	WATER PIPE
⊙	WATER METER

## ABBREVIATION DESCRIPTION:

C/L	CENTERLINE
DIA	DIAMETER
I.D.	IDENTIFICATION
LB	LICENSED BUSINESS
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
PSM	PROFESSIONAL SURVEYOR MAPPER
R/W	RIGHT OF WAY
B.O.S.	BOTTOM OF STRUCTURE

## SURVEYOR'S CERTIFICATION

TO: MOORE INVESTMENTS

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 1, 2, 3, 4, 5, 7(a), 8, 10(a), 11(a), 11(b), 17, 20(a) AND 20(b) OF TABLE A THEREOF.  
THE FIELD WORK WAS COMPLETED ON MARCH 7, 2016.

Kenneth J. Osborne PSM #6415

THIS SURVEY IS NOT VALID WITHOUT  
THE SIGNATURE AND THE ORIGINAL RAISED SEAL  
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Project  
C-13420  
Date  
03-07-2016  
Scale  
1" = 20'

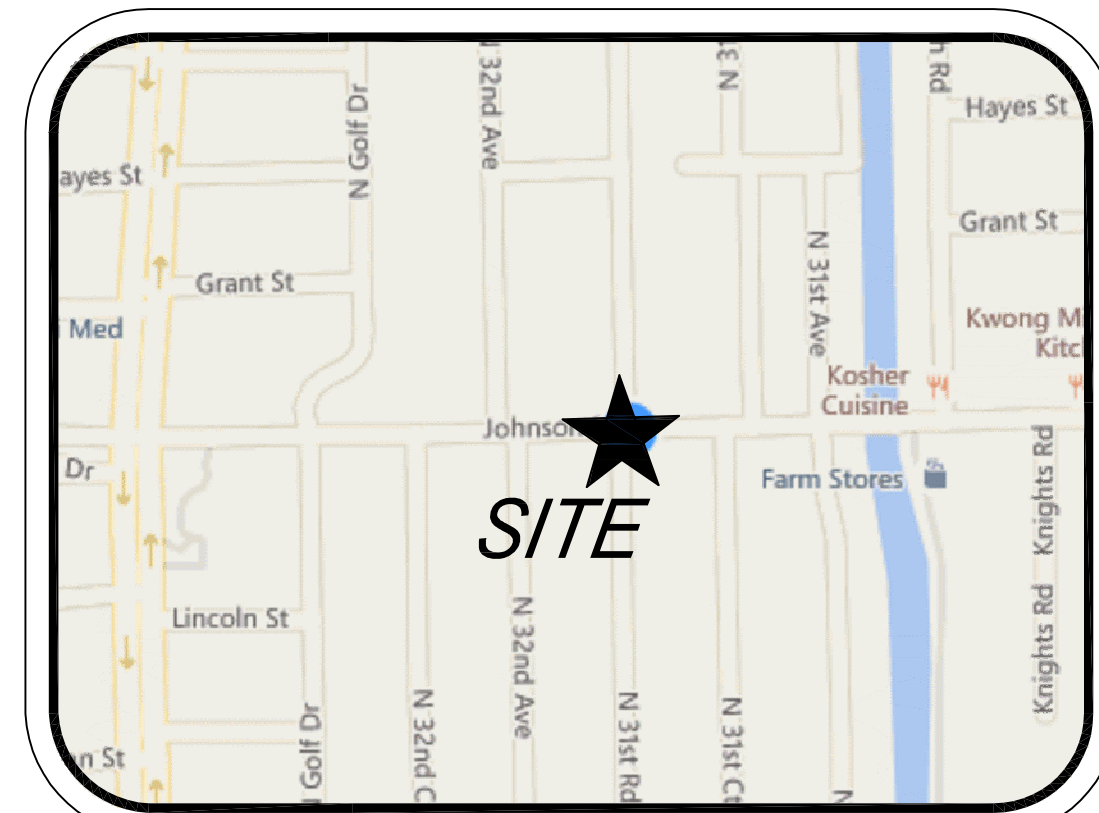
Sheet

1 OF 1

COMPASS  
SURVEYING  
WWW.COMPASSSURVEYING.NET

6250 N. MILITARY TRAIL, SUITE 102  
WEST PALM BEACH, FL 33407  
PHONE: 561.640.4800  
FAX: 561.640.0576

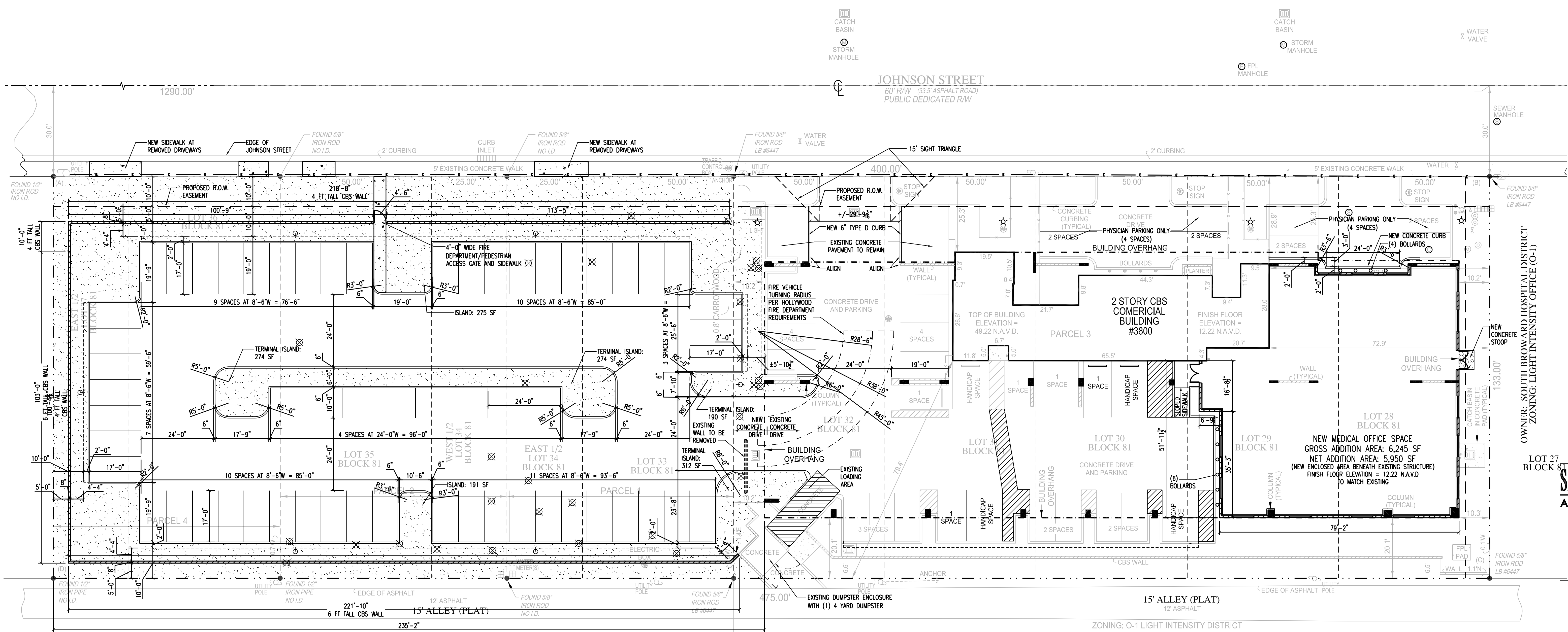
LB #7463



LOCATION MAP NOT TO SCALE

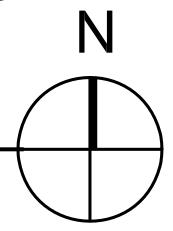
GRAPHIC SCALE (In Feet)  
1 inch = 20 ft.





SITE PLAN

SCALE: 1/16" = 1'-0"



EXISTING LEGAL DESCRIPTION
PARCEL 1: LOT 33 AND THE EAST 1/2 OF LOT 34, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
PARCEL 2:THE WEST 1/2 OF LOT 34 AND ALL OF LOT 35, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
PARCEL 3: LOTS 28, 29, 30, 31 AND 32, BLOCK 81, "HOLLYWOOD HILLS" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
PARCEL 4:THE EAST 25 FEET OF LOT 36, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
DEMOLITION NOTE
ALL IMPROVEMENTS ON THE RESIDENTIAL SITES (PARCELS 1, 2 AND 4) SHALL BE DEMOLISHED AND REMOVED PRIOR TO THE COMMENCEMENT OF THIS PROJECT, INCLUDING ALL ABOVE GROUND AND UNDERGROUND IMPROVEMENTS. REMOVE ALL SEPTIC TANKS & DRAINFIELDS. VERIFY LOCATIONS.
ADA NOTES
1. ACCESSIBLE ROUTE SLOPE SHALL NOT EXCEED 1:20 SLOPE. 2. CROSS SLOPES AT ACCESSIBLE ROUTE NOT TO EXCEED 1:50 SIDE SLOPE. 3. CURB RAMPS NOT TO EXCEED 1:12 SLOPE. 4. HC PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1:50 SLOPE.

SITE DATA - EXISTING AND NEW BUILDING ADDITION					
DESCRIPTION	ZONING	BUILDING USE: OFFICE		SITE CALCULATIONS	
PROPERTY	O-1 AND RS-5	BUILDING AREA - GROSS		VEHICULAR AREA NOT INCLUDING DEDICATED R.O.W. AND AREA UNDER BUILDING:	
ADJACENT NORTH	HD	FIRST FLOOR GROSS - EXISTING		VEHICULAR USE AREA OF PARKING LOT ADDITION (RS-5)	
ADJACENT SOUTH	RS-5	SECOND FLOOR GROSS - EXISTING		VEHICULAR USE AREA OF EXISTING LOT (O-1)	
ADJACENT EAST	O-1	TOTAL GROSS AREA - EXISTING		TOTAL VEHICULAR USE AREA:	
ADJACENT WEST	RS-5	FIRST FLOOR GROSS - NEW		25% OF IMPERVIOUS SURFACE:	
SITE CALCULATIONS		TOTAL GROSS AREA - COMBINED			
GROSS SITE AREA	63,175 SF OR 1.45 ACRES	BUILDING AREA - NET		PERVIOUS AREA - PARKING LOT ADDITION	
NET SITE AREA (W/O R.O.W.)	58,425 SF OR 1.34 ACRES	FIRST FLOOR NET - EXISTING		(EXCLUDING LANDSCAPE SETBACKS, 2 FT OVERHANG AND R.O.W.):	
BUILDING SETBACKS (O-1 ZONE AT BUILDING)	REQUIRED PROVIDED	SECOND FLOOR NET - EXISTING		PERVIOUS AREA - EXISTING LOT	
FRONT	25'-0"	25'-4"		(EXCLUDING LANDSCAPE SETBACKS AND R.O.W.):	
REAR	20'-0"	20'-1"		TOTAL PERVIOUS AREA (EXCLUDING LANDSCAPE SETBACKS, 2 FT OVERHANG AND R.O.W.):	
INTERIOR SIDES	10'-0"	10'-3" (EAST)		2,488 SF	
		235'-2" (WEST)		17,942 SF	
HEIGHT	30'-0"	33'-0"		20,430 SF	
		36'-0" TOP OF PARAPET		5,950 SF	
AT-GRADE PARKING SETBACKS	REQUIRED PROVIDED	TOTAL NET AREA - COMBINED		26,380 SF	
RS-5 ZONE; LOT WIDTH GREATER THAN 150 FT		PARKING CALCULATIONS		REQUIRED PROVIDED	
FRONT	10'-0"	EXISTING BUILDING *PARKING SPACES BY PREVIOUSLY GRANTED VARIANCE		62*	
SIDE OR REAR	10'-0"	NEW ADDITION 5,950 NET SF / 250 SF PER SPACE		24	
		TOTAL PARKING SPACES:		86	
		12'-0" X 19'-0" HC PARKING SPACES		4	
		8'-6" X 19'-0" STANDARD PARKING SPACES		82	

LEGEND	
	EXISTING TREE TO BE REMOVED
	NEW LIGHT POLE
	NEW LANDSCAPE AREAS
	NEW SIDEWALK
	NEW WALL
	FIRE DEPARTMENT ACCESS
T.A.C. SPECIFIC NOTES	
1. EXTEND EXISTING IRRIGATION SYSTEM FOR FULL PROPERTY COVERAGE. AN IRRIGATION PLAN WILL BE SUBMITTED WITH THE BUILDING PERMIT.	
2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS. NO NEW SIGNAGE IS INCLUDED IN THIS SUBMISSION.	
3. LIGHTING LEVELS WILL NOT EXCEED 0.5 FOOT-CANDELES AT ANY PROPERTY LINES ADJACENT TO RESIDENTIAL DEVELOPMENT.	
4. ALL NEW CURBS ARE TYPE "D" CURBS, EXCEPT CURBS ALONG JOHNSON STREET AT EXISTING DRIVEWAY INFILL AREAS, WHICH ARE TYPE "T" CURBS. SEE CIVIL DRAWINGS FOR SPECIFIC LOCATIONS AND DETAILS.	

GREEN BLDG PRACTICES
PROJECT SHALL PROVIDE 10 GREEN BUILDING PRACTICES IN ACCORDANCE WITH THE CITY'S GREEN BUILDING REGULATIONS, AS INDICATED BELOW:
1. LOCATED NEXT TO PUBLIC TRANSPORTATION (BUS STOP IN FRONT OF PROPERTY).
2. STORM WATER QUANTITY CONTROL.
3. STORM WATER QUALITY.
4. WATER EFFICIENT NATIVE LANDSCAPING.
5. ENERGY EFFICIENT LED PARKING LIGHTS.
6. USE EFFICIENT MECHANICAL SYSTEM IN BUILDING ADDITION.
7. USE EFFICIENT LED LIGHTING IN BUILDING ADDITION
8. USE EFFICIENT WINDOWS IN BUILDING ADDITION
9. USE RECYCLABLE MATERIALS IN CONSTRUCTION
10. CONTROL CONSTRUCTION WASTE
11. USE CONCRETE PAVING FOR NEW SURFACE PARKING LOT. CONCRETE HAS NATURAL HIGH ALBEDO.

Charles Michelson AR0009976

Project No.: 2015-195  
Drawn By: MF  
Checked By: CM  
DATE: 9-8-16

REVISIONS

PLANNING AND DEVELOPMENT  
BOARD MEETING  
SEPTEMBER 8, 2016

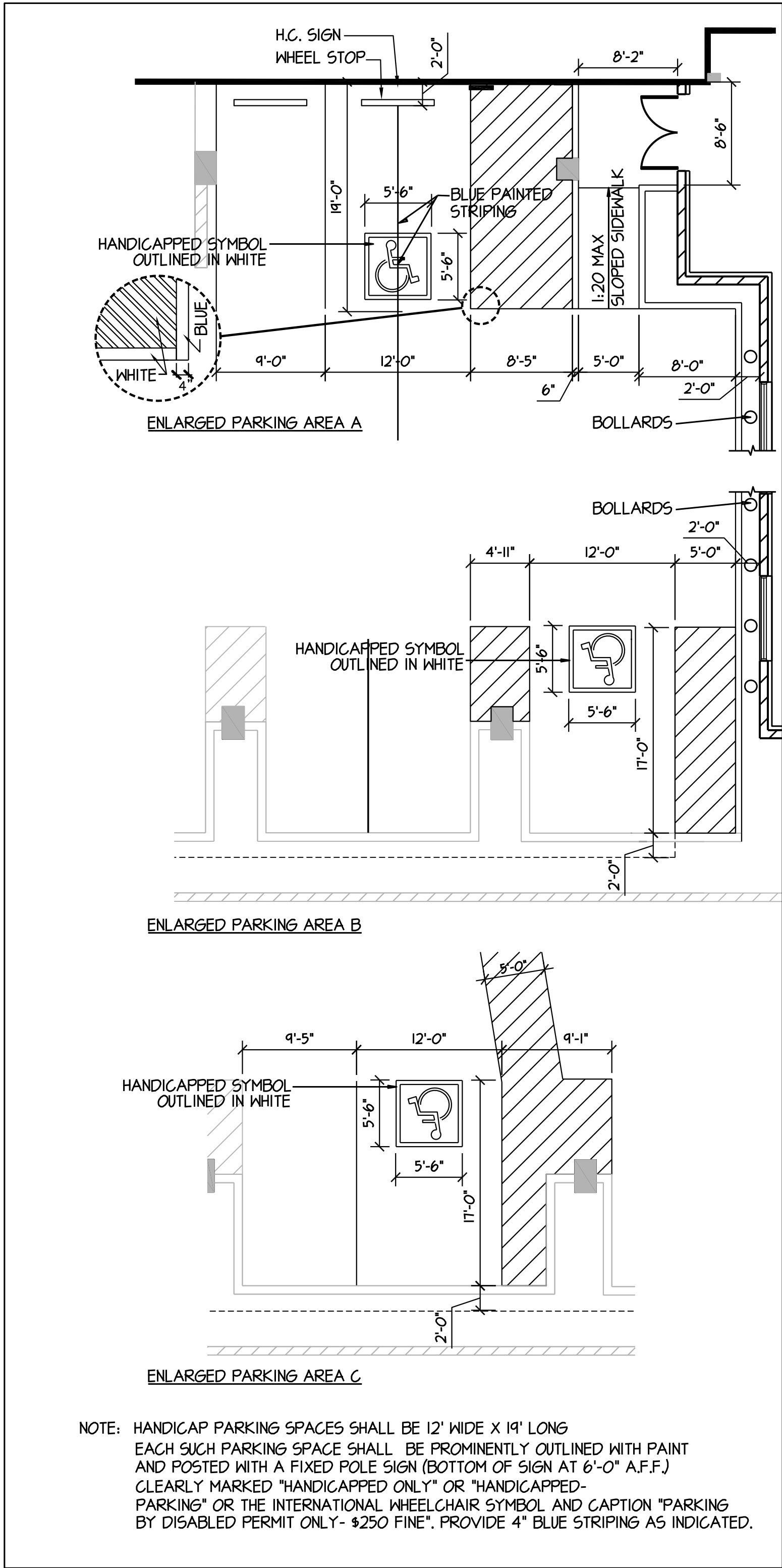
SP1

MEDICAL OFFICE BUILDING  
3800 JOHNSON STREET  
HOLLYWOOD, FLORIDA

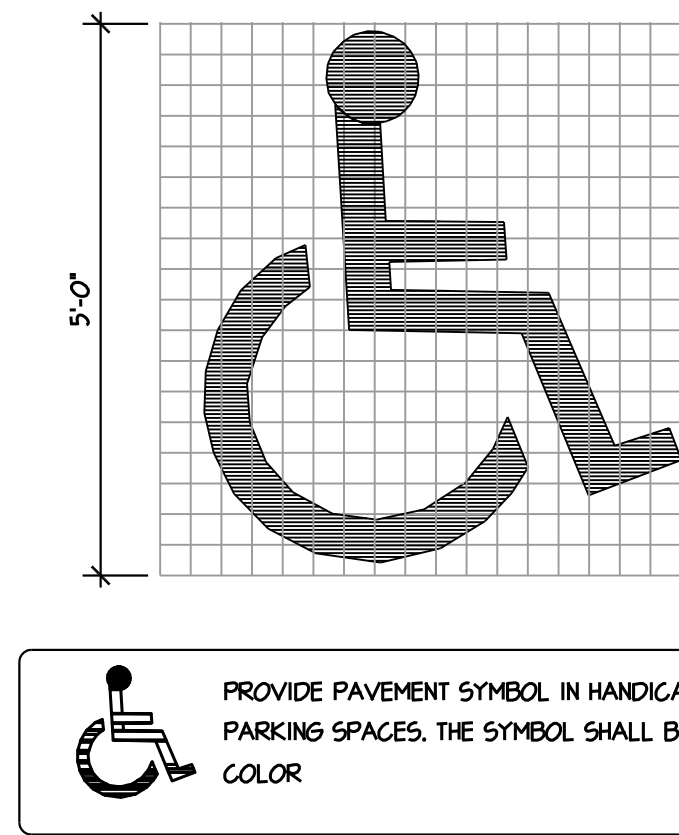
SALTZ MICHELSON  
ARCHITECTS

3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

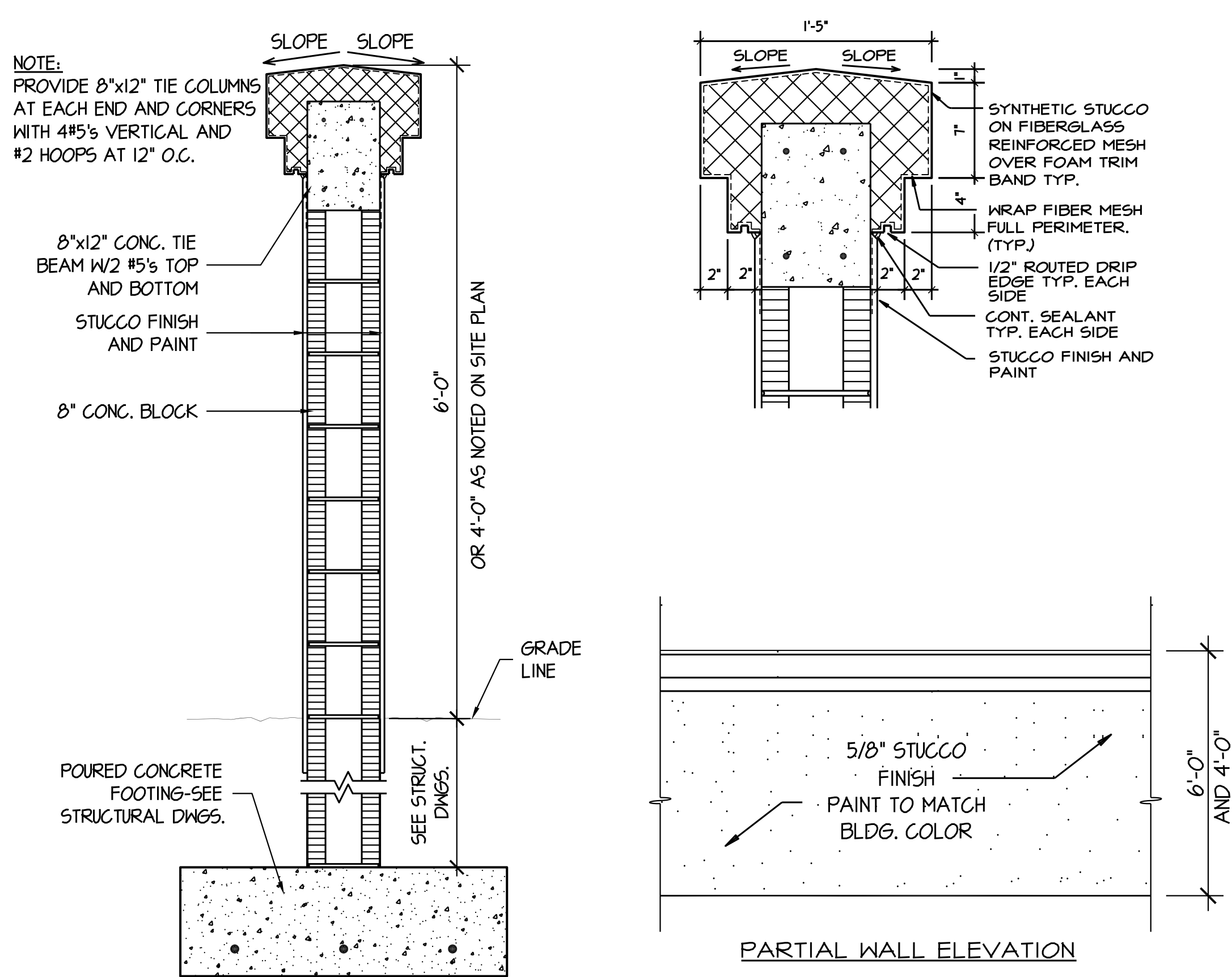
AA-0002897



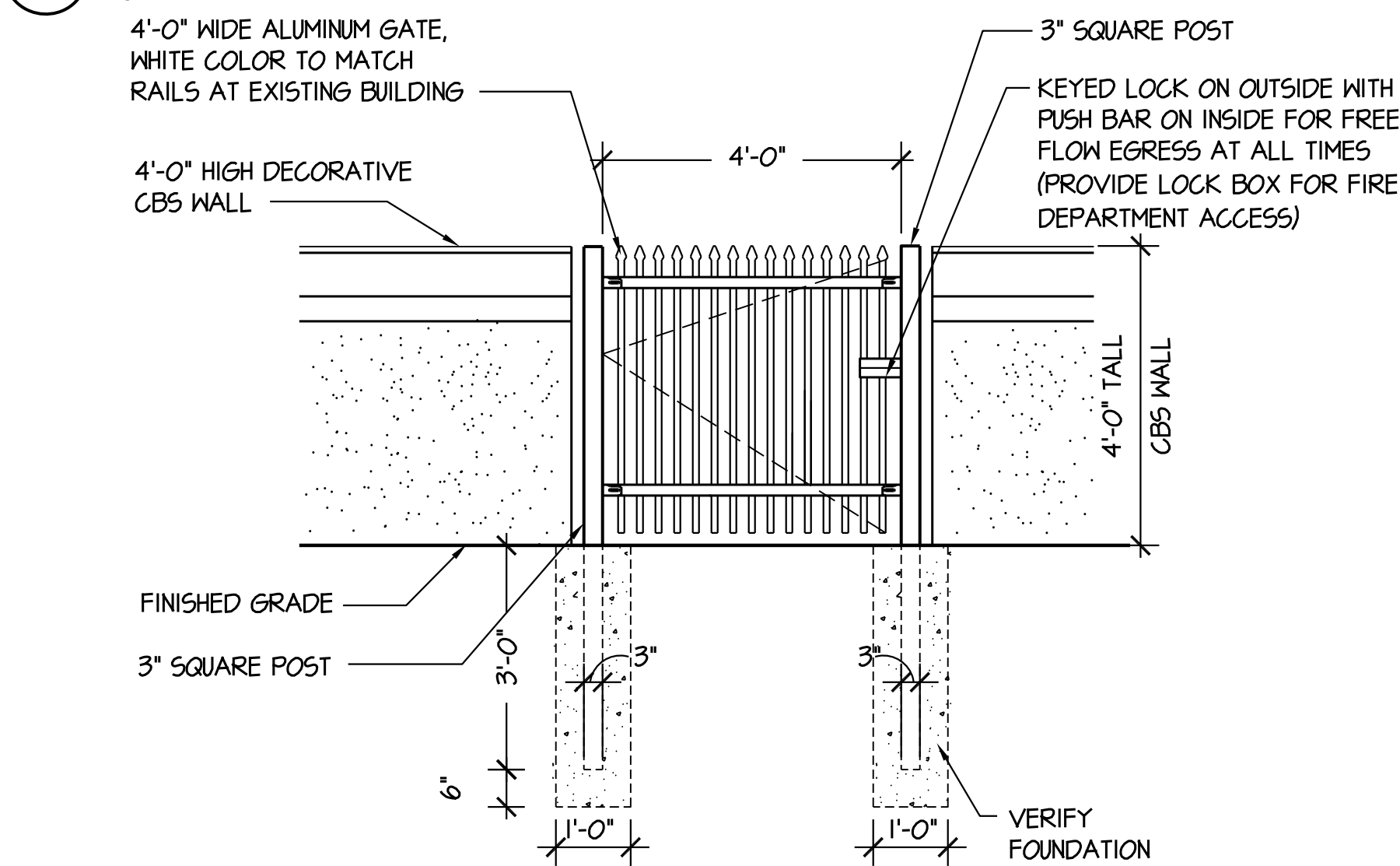
5 ENLARGED PARKING AREAS  
SCALE: 1/8" = 1'-0"



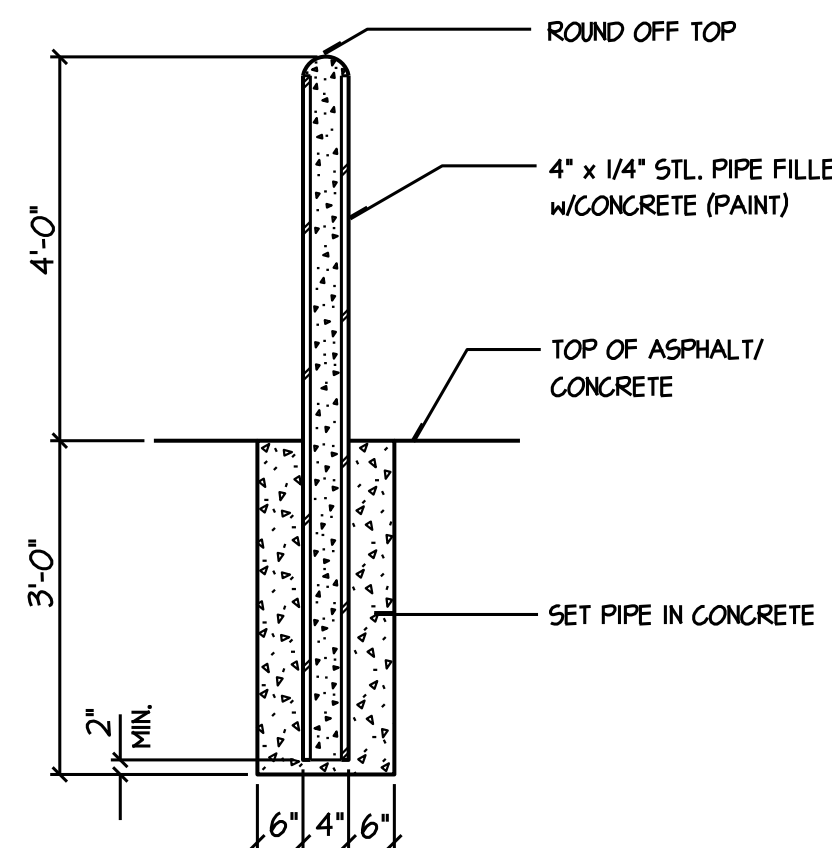
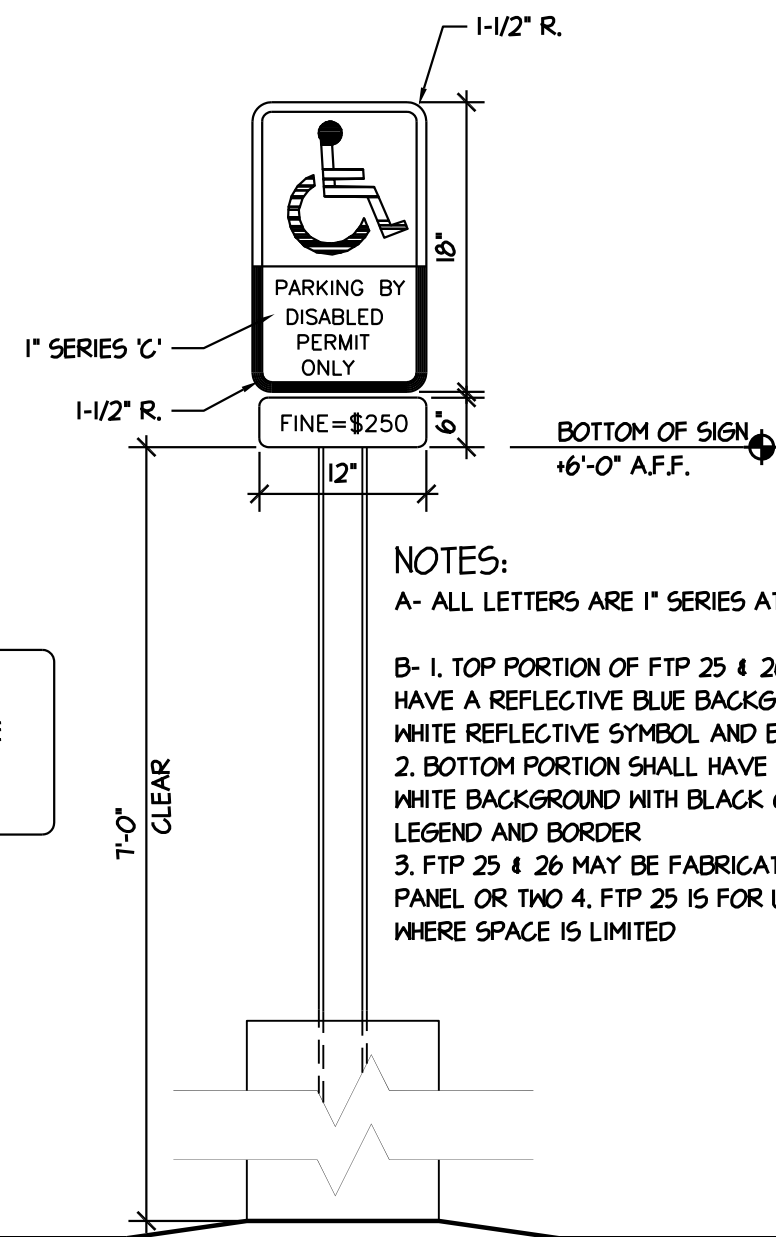
4 HANDICAP SIGNAGE DETAILS  
NTS



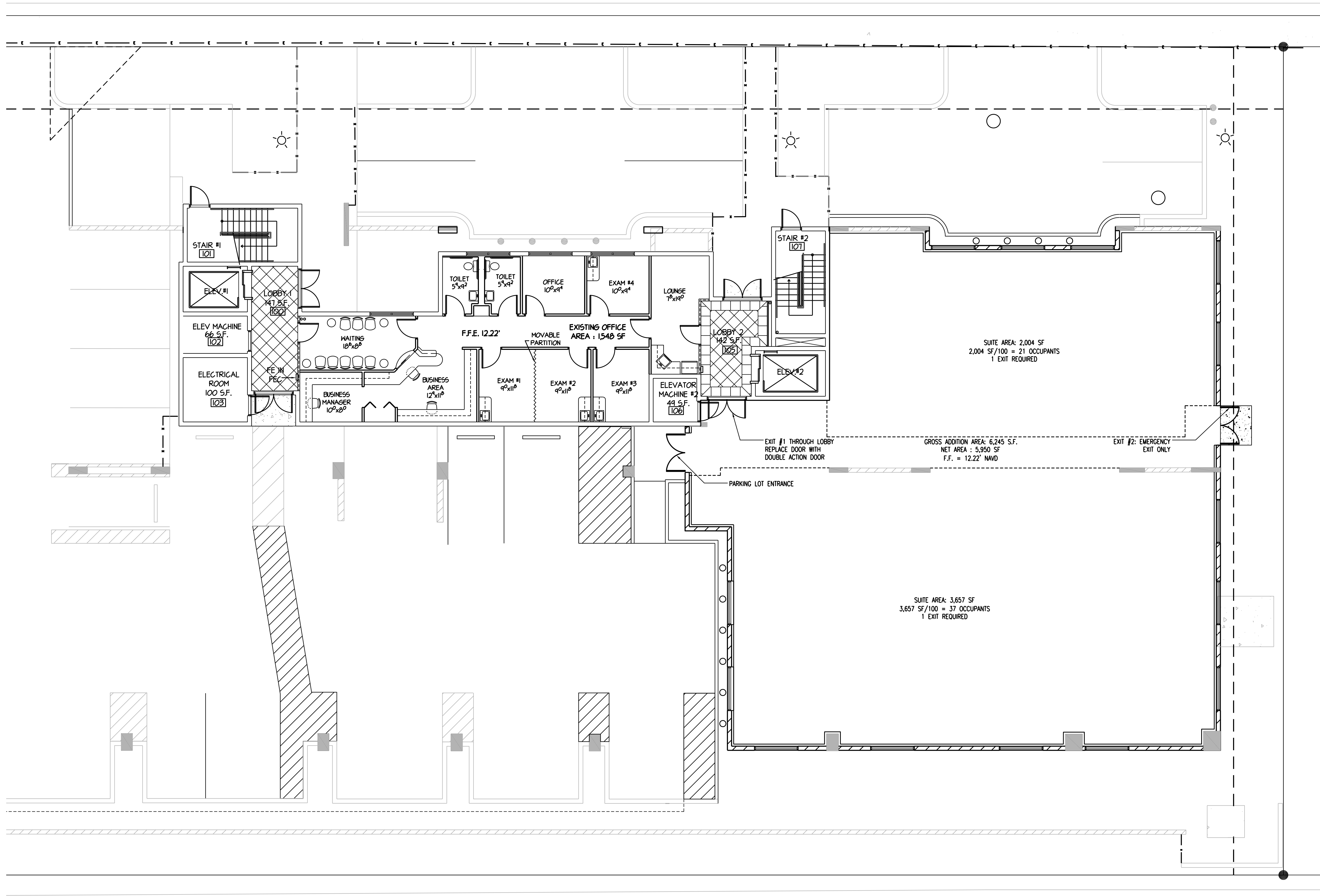
1 TYPICAL DECORATIVE WALL DETAILS  
NTS



2 FIRE ACCESS/PEDESTRIAN GATE  
NTS



3 BOLLARD DETAIL  
NTS



1  
A1.0

**FLOOR PLAN**

SCALE 1/8" = 1'-0"

N

GOVERNING CODE  
FLORIDA BUILDING CODE 5TH EDITION

**MEDICAL OFFICE BUILDING**  
3800 JOHNSON STREET  
HOLLYWOOD, FLORIDA

**SALTZ MICHELSON**  
ARCHITECTS

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Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Charles Michelson AR0009976

Project No.:  
2015-195  
Drawn By:  
MF  
Checked By:  
CM  
DATE:  
9-8-16

REVISIONS

**PLANNING AND DEVELOPMENT**  
**BOARD MEETING**  
**SEPTEMBER 8, 2016**

**A1.0**



ALUMINUM WINDOWS SHALL MATCH EXISTING WINDOWS. COLOR  
GREEN FRAMES & GREEN GLASS

MEDICAL OFFICE BUILDING  
3800 JOHNSON STREET  
HOLLYWOOD, FLORIDA

SALTZ MICHELSON  
ARCHITECTS

3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

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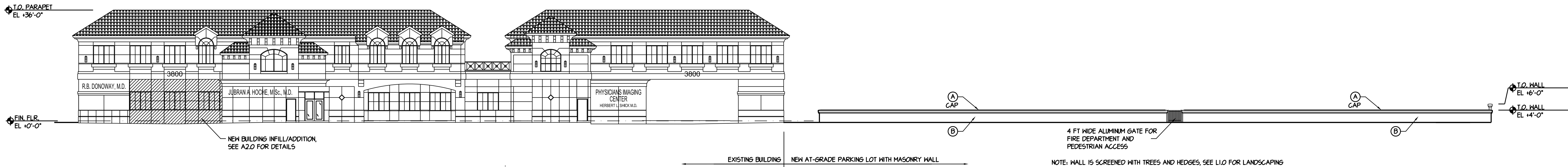
Charles Michelson AR0009976

Project No.:  
2015-195  
Drawn By:  
MF  
Checked By:  
CM  
DATE:  
9-8-16

REVISIONS

PLANNING AND DEVELOPMENT  
BOARD MEETING  
SEPTEMBER 8, 2016

A2.1



1 NORTH SITE ELEVATION  
A2.1 SCALE: 1/16" = 1'-0"

COLORS FOR NEW ADDITION SHALL MATCH COLOR  
SCHEME OF EXISTING BUILDING COLORS  
(A) BENJAMIN MORE PAINT #2151-10 IVORY TOWER  
(B) BENJAMIN MORE PAINT #2151-40 BEESWAX  
(C) BENJAMIN MORE PAINT #2018-60 LIGHTHOUSE  
ALUMINUM WINDOWS SHALL MATCH EXISTING WINDOWS. COLOR  
GREEN FRAMES & GREEN GLASS



ELEVATIONS ARE REFERENCED TO NAVD 1988

WATER AND SEWER DEMAND FOR BUILDING ADDITION  
6,500 SF MEDICAL OFFICE X 0.20 GPD/SF = 1,300 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

WATER, SEWER AND FIRE SERVICES FOR BUILDING ADDITION WILL BE CONNECTED TO EXISTING BUILDING.

LEGAL DESCRIPTION

PARCEL 1: LOT 33 AND THE EAST 1/2 OF LOT 34, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2: THE WEST 1/2 OF LOT 34 AND ALL OF LOT 35, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3: LOTS 28, 29, 30, 31 AND 32, BLOCK 81, "HOLLYWOOD HILLS" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 4: THE EAST 25 FEET OF LOT 36, BLOCK 81, "HOLLYWOOD HILLS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



LOCATION MAP  
NOT TO SCALE

MEDICAL OFFICE BUILDING  
3800 JOHNSON STREET  
HOLLYWOOD, FLORIDA

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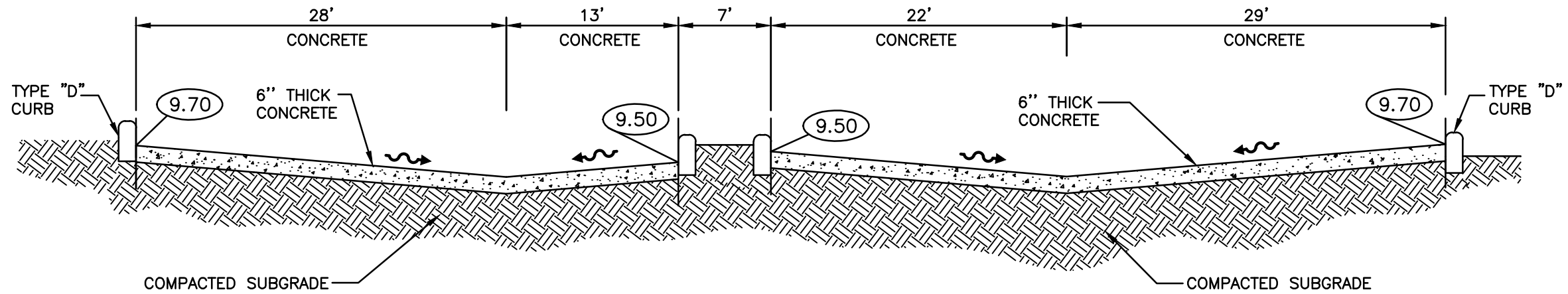
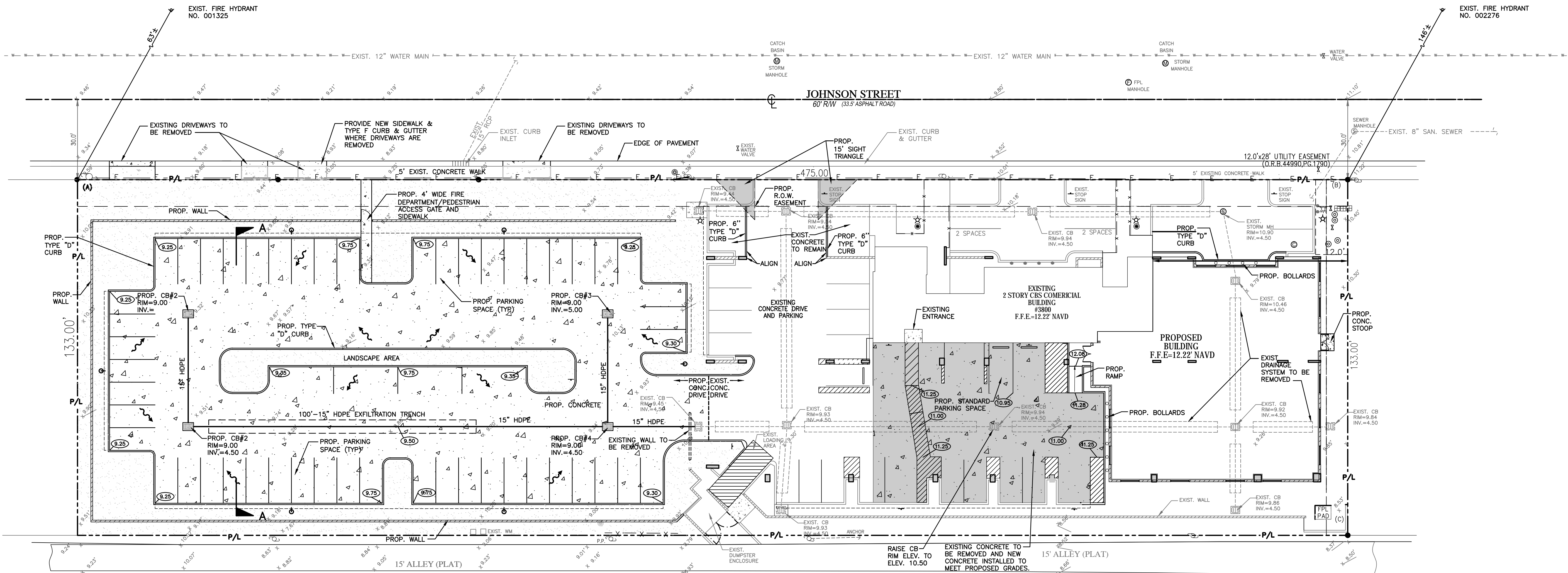
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REVISIONS

PLANNING AND DEVELOPMENT  
BOARD MEETING  
SEPTEMBER 8, 2016

C-1



SECTION A-A  
N.T.S.

PAVING AND DRAINAGE PLAN  
SCALE: 1"=20'

LEGEND

- |  |                                   |  |                                   |
|--|-----------------------------------|--|-----------------------------------|
|  | EXISTING CONCRETE SIDEWALK        |  | PROPOSED CONCRETE                 |
|  | EXISTING PIPING AND APPURTENANCES |  | PROPOSED CATCH BASIN              |
|  | EXISTING BACKFLOW PREVENTOR       |  | PROPOSED PIPING AND APPURTENANCES |
|  | EXISTING CATCH BASIN              |  | PROPOSED ELEVATION                |
|  | EXISTING CLEANOUT                 |  | CONCRETE TO BE RE-GRADED          |
|  | EXISTING ELEVATION                |  |                                   |
|  | EXISTING GAS METER                |  |                                   |
|  | EXISTING GREASE TRAP              |  |                                   |
|  | EXISTING CONCRETE LIGHT POLE      |  |                                   |
|  | EXISTING MANHOLE (AS DESIGNATED)  |  |                                   |
|  | EXISTING MONITORING WELL          |  |                                   |
|  | EXISTING SIGN (AS INDICATED)      |  |                                   |
|  | EXISTING VALVE BOX                |  |                                   |
|  | EXISTING WATER METER              |  |                                   |
|  | EXISTING WOOD POWER POLE          |  |                                   |
|  | EXISTING FENCE                    |  |                                   |

HOLLAND ENGINEERING INC.  
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SUSAN C. HOLLAND, PE  
Lic. no. 41831  
CA NO. 7325



**ELEVATIONS ARE REFERENCED TO NAVD 1988**

## LEGAL DESCRIPTION

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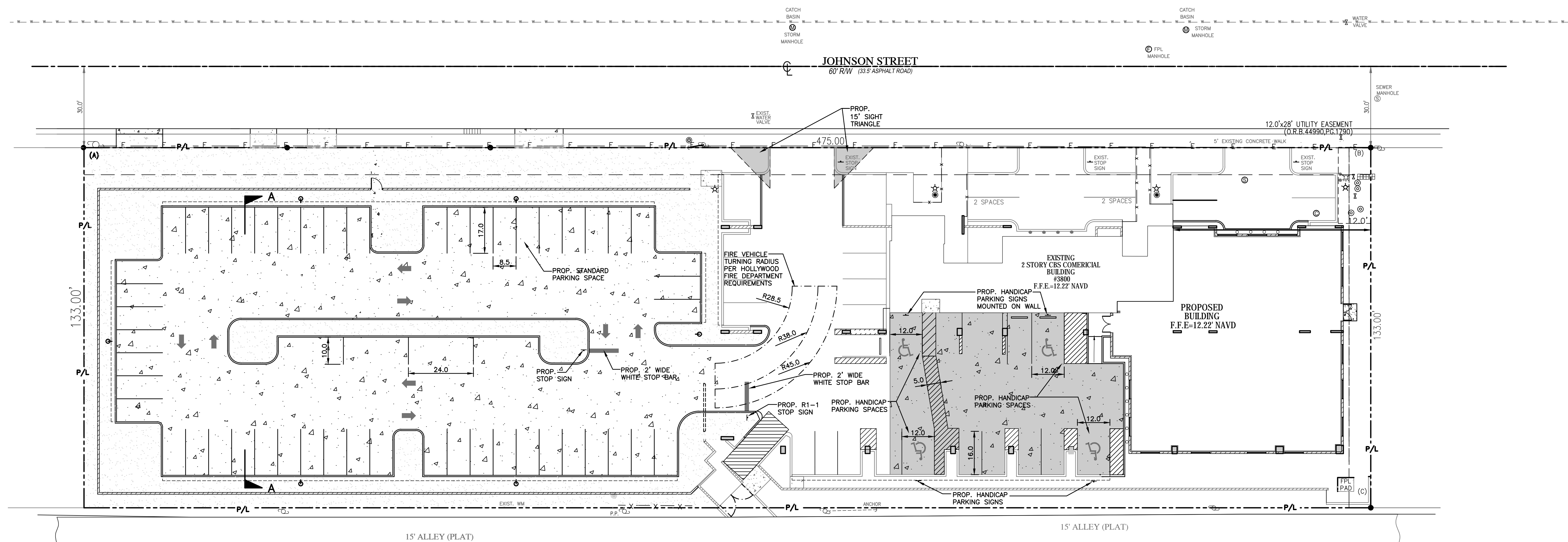
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LOCATION MAP

NOT TO SCALE



### LEGEND

EXISTING CONCRETE SIDEWALK  
 EXISTING PIPING AND APPURTENANCES  
 EXISTING BACKFLOW PREVENTOR  
 EXISTING CATCH BASIN  
 EXISTING CLEANOUT  
 EXISTING ELEVATION  
 EXISTING GAS METER  
 EXISTING GREASE TRAP  
 EXISTING CONCRETE LIGHT POLE  
 EXISTING MANHOLE (AS DESIGNATED)  
 EXISTING MONITORING WELL  
 EXISTING SIGN (AS INDICATED)  
 EXISTING VALVE BOX  
 EXISTING WATER METER  
 EXISTING WOOD POWER POLE  
 EXISTING FENCE

PROPOSED CONCRETE  
 PROPOSED CATCH BASIN  
 PROPOSED PIPING AND APPURTENANCES  
 PROPOSED ELEVATIONS  
 CONCRETE TO BE RE-GRADED

## PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1"=20'

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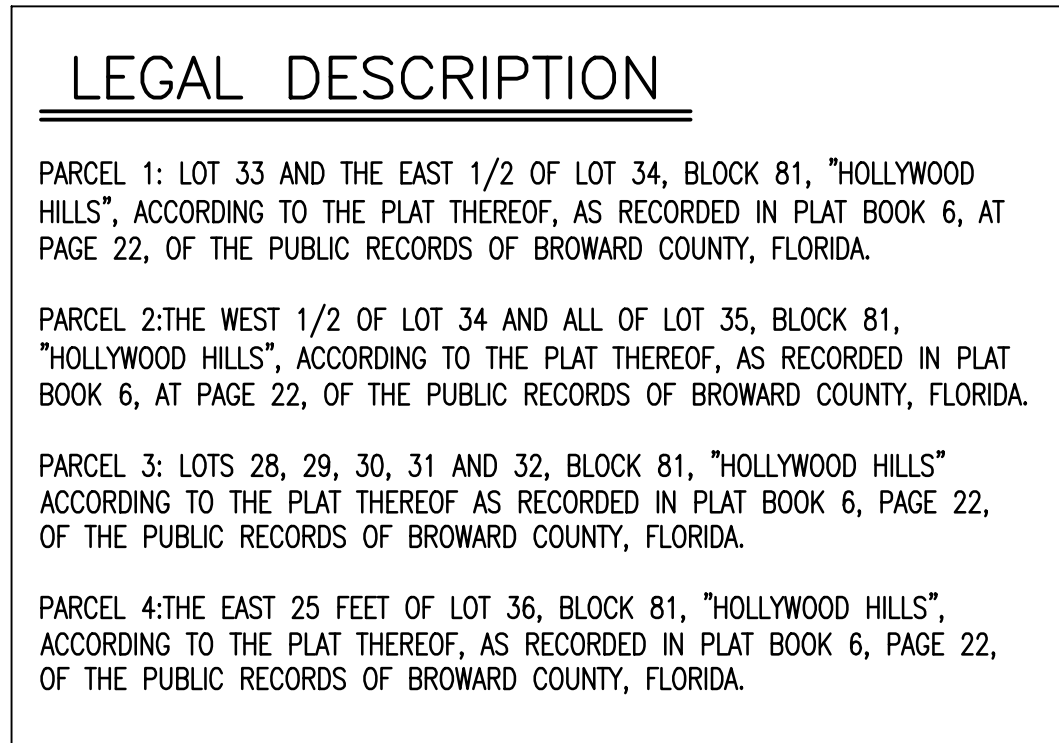
## REVISIONS

**PLANNING AND DEVELOPMENT  
BOARD MEETING  
SEPTEMBER 8, 2016**

C-2

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LOCATION MAP  
NOT TO SCALE

**MEDICAL OFFICE BUILDING**  
**3800 JOHNSON STREET**  
**HOLLYWOOD, FLORIDA**

**SALTZ MICHELSON**  
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REVISIONS

**PLANNING AND DEVELOPMENT  
BOARD MEETING  
SEPTEMBER 8, 2016**

**C-3**



- |        |                                   |  |                                   |
|--------|-----------------------------------|--|-----------------------------------|
|        | EXISTING SIDEWALK                 |  | PROPOSED CONCRETE                 |
|        | EXISTING PIPING AND APPURTENANCES |  | PROPOSED CATCH BASIN              |
|        | EXISTING BACKFLOW PREVENTOR       |  | PROPOSED PIPING AND APPURTENANCES |
|        | EXISTING CATCH BASIN              |  |                                   |
|        | EXISTING CLEANOUT                 |  |                                   |
| + 7.10 | EXISTING ELEVATION                |  |                                   |
|        | EXISTING GAS METER                |  |                                   |
|        | EXISTING GREASE TRAP              |  |                                   |
|        | EXISTING CONCRETE LIGHT POLE      |  |                                   |
|        | EXISTING MANHOLE (AS DESIGNATED)  |  |                                   |
|        | EXISTING MONITORING WELL          |  |                                   |
|        | EXISTING SIGN (AS INDICATED)      |  |                                   |
|        | EXISTING VALVE BOX                |  |                                   |
|        | EXISTING WATER METER              |  |                                   |
|        | EXISTING WOOD POWER POLE          |  |                                   |
|        | EXISTING FENCE                    |  |                                   |

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## STORMWATER POLLUTION PREVENTION PLAN



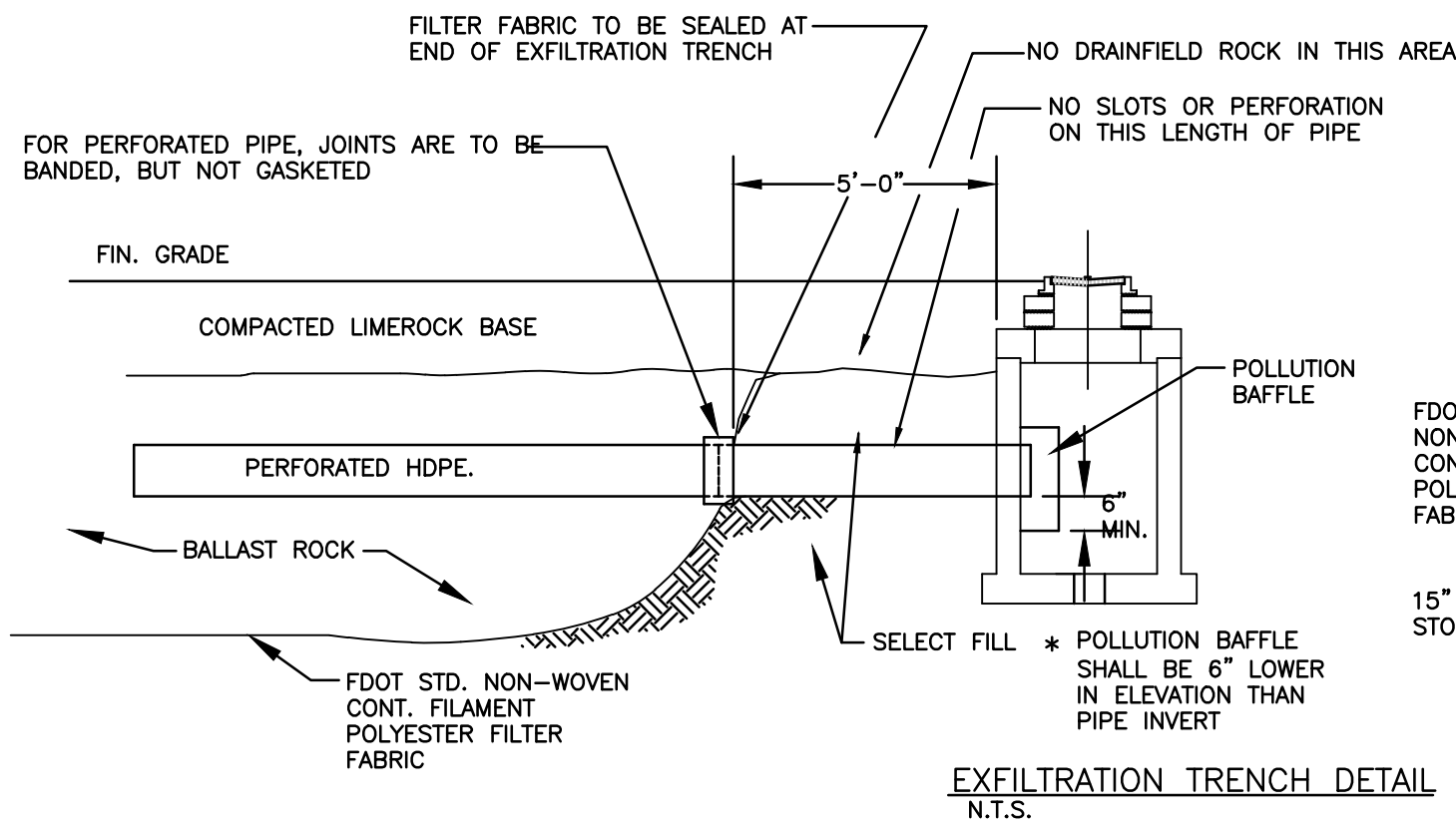
GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:  
FLORIDA POWER & LIGHT CO., CONSTRUCTION  
SOUTHERN BELL TELEPHONE & TEL. CO.  
CABLE CONSTRUCTION BUREAU  
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS  
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE  
UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADIATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 955 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -  
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III  
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196  
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196  
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942  
PVC = POLYVINYLCHLORIDE PIPE  
PCMP = PERFORATED CMP, FDOT SECTION 945  
DIP = DUCTILE IRON PIPE  
HDPE = HIGH DENSITY POLYETHYLENE PIPE.
15. ASPHALT -  
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.  
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.  
DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

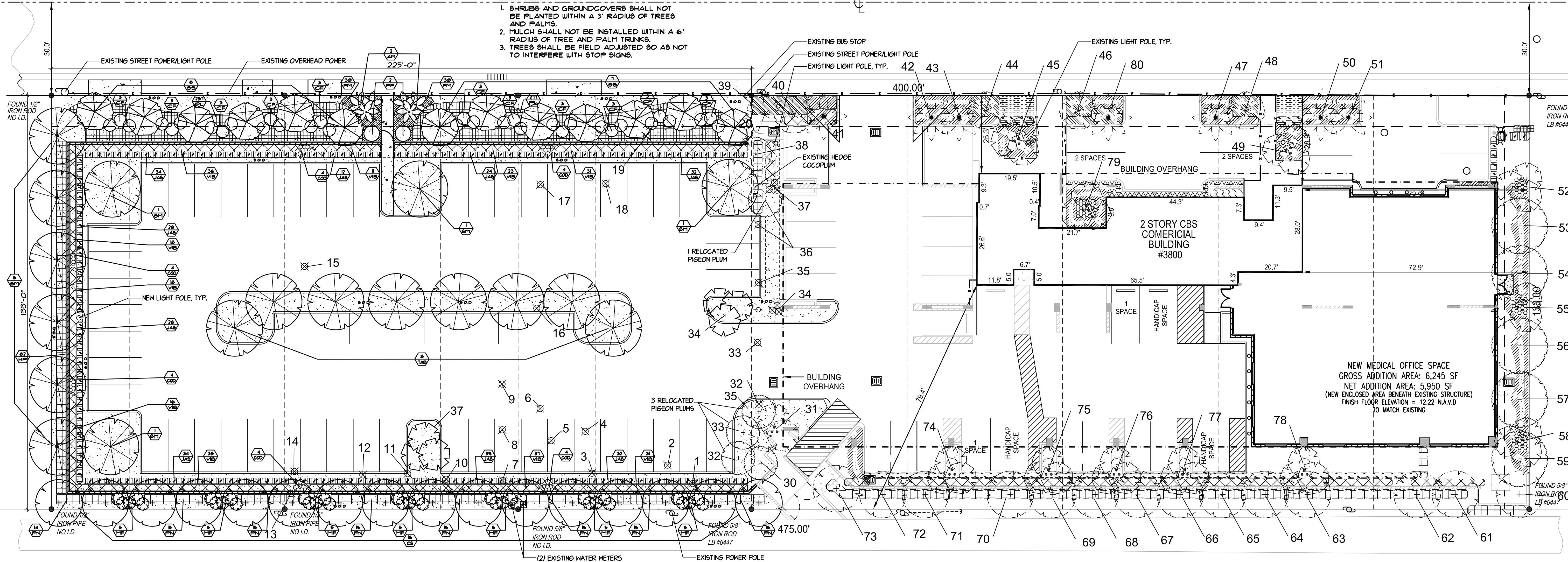
- PAVEMENT MARKING & SIGNING STANDARD NOTES :
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
  2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
  3. STOP BARS SHALL BE 24" WHITE.
  4. ALL SITE PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCLUDING PARKING STALL STRIPING.
  5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-08-001.





## NOTES

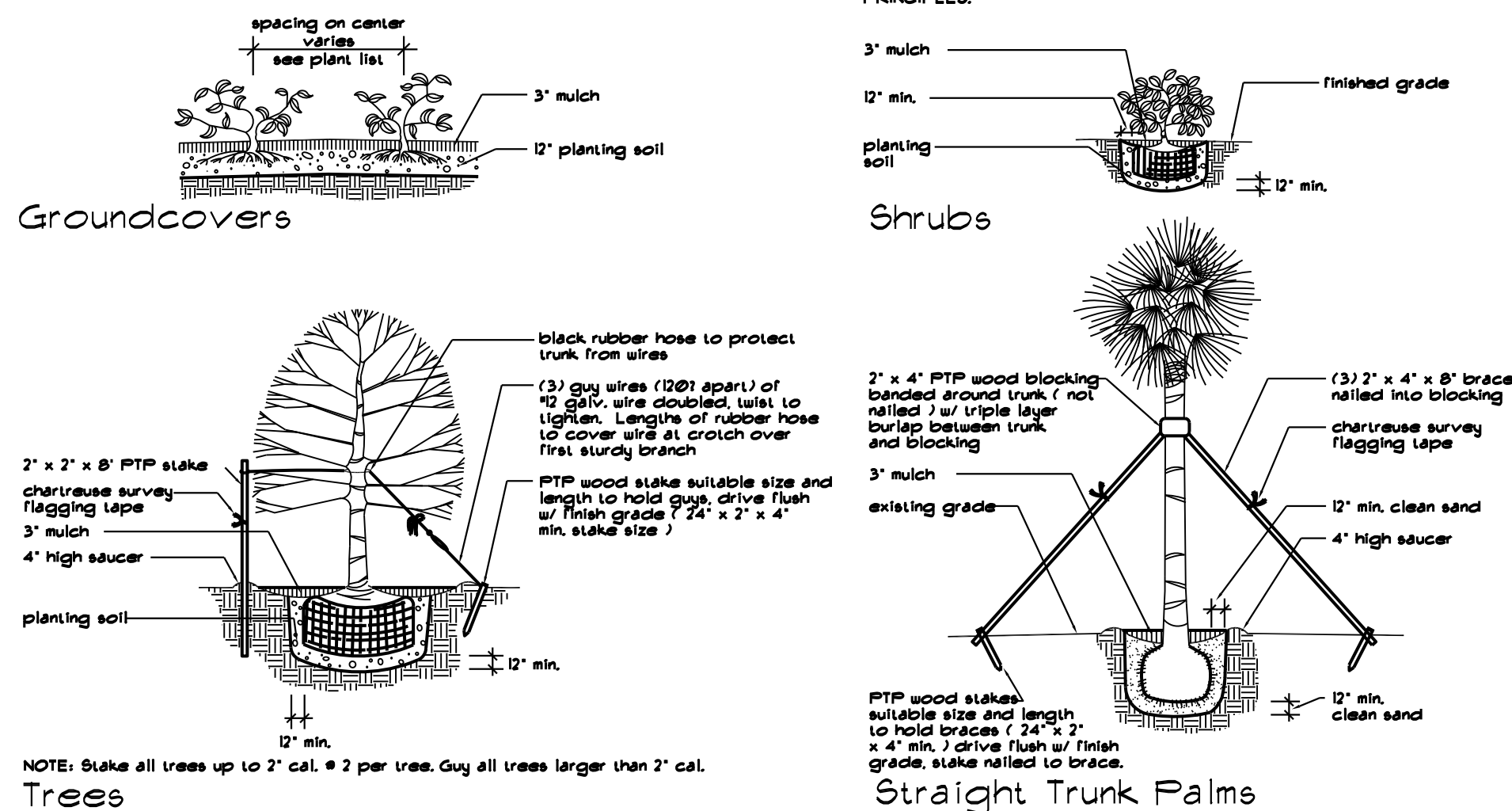
1. SHRUBS AND GROUNDCOVERS SHALL NOT BE PLANTED WITHIN A 3' RADIUS OF TREES AND PALMS.
2. MULCH SHALL NOT BE INSTALLED WITHIN A 6' RADIUS OF TREE AND PALM TRUNKS.
3. TREES SHALL BE FIELD ADJUSTED SO AS NOT TO INTERFERE WITH STOP SIGNS.



## PLANTING NOTES

1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER.
2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT, AND THE CITY LANDSCAPE REVIEWER.
3. ALL LANDSCAPED AREAS TO RECEIVE 100% IRRIGATION COVERAGE BY AN AUTOMATIC SPRINKLER SYSTEM.
4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT LIST IN ALL CASES. SOO QUANTITY IS TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS, GROUNDCOVERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS.
7. ALL GROUNDCOVER BEDS TO ADJUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE.
8. ALL TREES AND PALMS TO BE STAKED AND GUIDED.
9. ALL PLANTED AREAS ARE TO BE MULCHED WITH CYPRESS MULCH, GRADE 5 OR BETTER, TO A DEPTH OF 3".
10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE.
11. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.
12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATION BEGINS. THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.
13. TREES AND PALMS TO BE GUARANTEED FOR ONE (1) YEAR. SHRUBS AND GROUNDCOVERS TO BE GUARANTEED FOR NINETY (90) DAYS AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE.
14. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 6' ABOVE FINISHED GRADE.
15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY, COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS INCLUDES BUT IS NOT LIMITED TO HELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE.
16. ALL TREES REMOVAL TO BE PERMITTED AS REQUIRED BY THE CITY.
17. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.
18. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOO OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.
19. THIS PLAN PROPOSES PLANT MATERIAL AND COMBINATIONS OF PLANT MATERIAL THAT ARE DROUGHT TOLERANT TO COMPLY WITH WERSHARE PRINCIPLES.

## PLANTING DETAILS



## LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

Existing Tree List		
Tree Common	Tree Size	Status
1. Mango	25' h. x 25' spr. x 16' cal.	remove
2. Avocado	30' h. x 20' spr. x 12' cal.	remove
3. Mango	25' h. x 15' spr. x 12' cal.	remove
4. Unknown Exotic (can't verify)	20' h. x 12' cal.	remove
5. Mango	15' h. x 10' spr. x 3' cal.	remove
6. Unknown Exotic (can't verify)	15' h. x 15' spr. x 10' cal.	remove
7. Live Oak	fallen	remove
8. Unknown Exotic (can't verify)	30' h. x 14' cal.	remove
9. Unknown Exotic (can't verify)	25' h. x 10' cal.	remove
10. Avocado	25' h. x 20' spr. x 14' cal.	remove
11. Palm	30' h. x 10' cal.	remove
12. Palm	30' h. x 10' cal.	remove
13. Areca Palm	12' h. multi trunk	remove
14. Areca Palm	12' h. multi trunk	remove
15. Unknown Exotic (can't verify)	35' h. x 25' spr. x 12' cal.	remove
16. Unknown Exotic (can't verify)	12' h. x 15' spr. x 10' cal.	remove
17. Pine (Lebanon)	25' h. x 16" spr. x 6" cal.	remove
18. Pine (Lebanon)	25' h. x 16" spr. x 6" cal.	remove
19. Norfolk Island Pine	10' cal.	remove
20. Crepe Myrtle Bush	7' x multi branch	remove
21 - 29. Not Used		
30. Pigeon Plum	12' h. x 5' spr. x 3" cal.	remain
31. Triple Alexander Palm	24' h. x (3) 3" cal.	remain
32. Pigeon Plum	12' h. x 5' spr. x 3" cal.	RELOCATE-NATIVE
33. Pigeon Plum	12' h. x 5' spr. x 3" cal.	RELOCATE-NATIVE
34. Triple Alexander Palm	24' h. x (3) 3" cal.	RELOCATE
35. Pigeon Plum	12' h. x 5' spr. x 3" cal.	RELOCATE-NATIVE
36. Pigeon Plum	12' h. x 5' spr. x 3" cal.	RELOCATE-NATIVE
37. Triple Alexander Palm	24' h. x (3) 3" cal.	RELOCATE
38. Pigeon Plum	12' h. x 5' spr. x 3" cal.	remain
39. Glaucaous Cassia	20' h. x 15' spr. x 4" cal.	remain
40. Glaucaous Cassia	20' h. x 15' spr. x 4" cal.	remain
41. Alexander Palm	24' h. x (2) 3" cal.	remain
42. Alexander Palm	24' h. x (2) 4" cal.	remain
43. Alexander Palm	24' h. x (2) 4" cal.	remain
44. Glaucaous Cassia	20' h. x 15' spr. x 4" cal.	remain
45. Triple Alexander Palm	24' h. x (3) 4" cal.	remain
46. Glaucaous Cassia	20' h. x 15' spr. x 4" cal.	remain
47. Alexander Palm	24' h. x (2) 4" cal.	remain
48. Glaucaous Cassia	20' h. x 15' spr. x 4" cal.	remain
49. Triple Alexander Palm	24' h. x (3) 4" cal.	remain
50. Alexander Palm	24' h. x (2) 4" cal.	remain
51. Alexander Palm	24' h. x (2) 4" cal.	remain
52. Triple Alexander Palm	24' h. x (3) 4" cal.	remain
53. Pigeon Plum	12' h. x 5' spr. x 3" cal.	remain
54. Pigeon Plum	12' h. x 5' spr. x 3" cal.	remain
55. Triple Alexander Palm	24' h. x (3) 4" cal.	remain

## NEW PLANT LIST

SYM	BOTANICAL/COTTON NAME	SPECIFICATIONS	QTY	NATIVE
**CO	Conocarpus e. sericeus	8' h. x 5' spr. 2' cal.		
**Silver	Silver Buttonwood	12' h. x 6'-8' spr. 2' cal.	10	#
SM	Salsola mshogani	12' h. x 6'-8' spr. 2' cal.	10	#
TAB	Tabebuia impatiens	12' osh.	8	
SB	Senna surratensis	10' h. x 5' spr. 3' cal. 2' cal.	13	
AM	Adonidia merrillii	Triple 10' osh.	2	
FF	Ficus foetida	1 gal. 3' h.	2	
CF	Coriaria fruticosa	1 gal. 3'-4' h.	33	
MF	Myrsine fragrans	1 gal. 3'-4' h.	35	#
PM	Picea microcarpa	3 gal. 24" o.c.	60	
HP	Hamelia patens	3 gal. 24" h.	62	#
PN	Psychotria nervosa	3 gal. 24" h.	115	#
PL	Psychotria ligustrifolia	3 gal. 16"-18" h.	534	#
COO	Cordia alliodora	3 gal. 18" h. x 18" spr. 18" o.c.	24	
JAS	Jasminum volubilis	3 gal. 18" h. x 18" spr. 24" o.c.	261	
VIB	Viburnum suspensum	3 gal. 24" h. x 18" spr. 24" o.c.	259	
SOD	Scaevola taccada	full fresh sod	as req'd	

## CODE COMPLIANCE DATA - NEW PARKING LOT

### PERIMETER BUFFER

1 Tree / 20' x Johnson Street	12 trees required
225' / 20' x 1125'	15 trees provided
East Property Line Not Applicable	
South Property Line 225' / 20' x 1125'	12 trees required
West Property Line 133' / 20' x 6.65'	1 trees required

(1) Tree / 1000 sq. ft. of pervious area (new area) 18546 / 1000 = 18.5

TOTAL TREES	50 total trees required
New Parking Lot	55 total trees provided
49 new trees, relocated	4 pigeon plum trees and 2 alexander palms

NATIVE TREES REQUIRED (50 x 60%) = 30 native required

REQUIRED SHRUBS OR PERIMETER SCREENING

NATIVE SHRUBS REQUIRED 40% REQUIRED SHRUBS 135 x 40% = 54 native shrubs required

STREET TREES

1 tree / 50' along Johnson Street 225' / 50' = 4.5

EXISTING TREES TO BE REMOVED

EXISTING TREES TO REMAIN

EXISTING TREES/PALMS RELOCATED

NEW TREES IN NEW LOT

TOTAL TREE COUNT

EXISTING TREES TO BE REMOVED

EXISTING TREES TO REMAIN

EXISTING TREES/PALMS RELOCATED

NEW TREES IN NEW LOT

TOTAL TREE COUNT

Charles Michelson AR0009976

Project No.:

2015-195

Drawn By:

MF

Checked By:

CM

DATE:

9-8-16

REVISIONS

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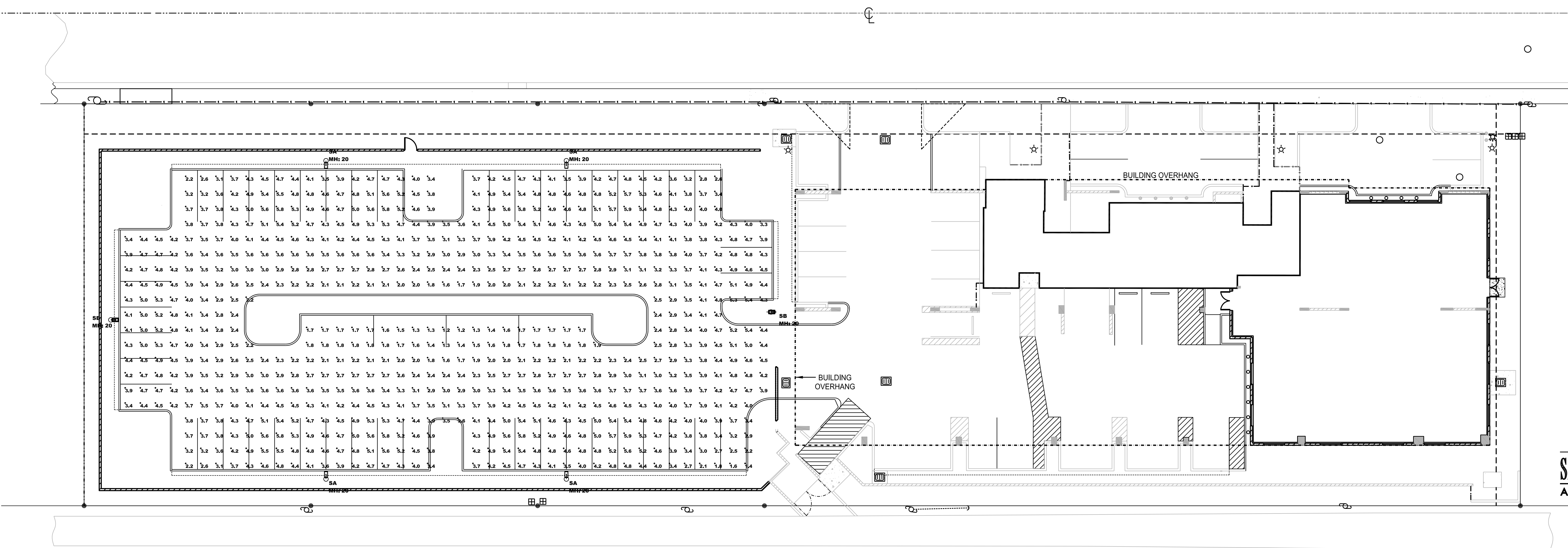
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

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Luminaire Schedule								
Project: MEDICAL OFFICE BUILDING - PARKING LOT (PROPOSED), REV 1    HOLLYWOOD, FL    05/06/2016								
Symbol	Qty	Label	Arrangement	Manufacturer	Description	Lum. Lumens	LLF	Lum. Watts
	4	SA	SINGLE	U.S. ARCHITECTURAL LIGHTING	VLL/PLED-IV/80PLED-1050mA/NW/1/HS-PLED    MH: 20' POLE MOUNT A.F.G.	16584	0.855	266
	2	SB	SINGLE	U.S. ARCHITECTURAL LIGHTING	VLL/PLED-III/80PLED-1050mA/NW/1/HS-PLED    MH: 20' POLE MOUNT A.F.G.	15975	0.855	266

Calculation Summary							
Project: MEDICAL OFFICE BUILDING - PARKING LOT (PROPOSED), REV 1    HOLLYWOOD, FL    05/06/2016							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	3.76	5.9	1.2	3.13	4.92

PARKING LOT PHOTOMETRIC PLAN

SCALE: 1/16" = 1'-0"

N



MEDICAL OFFICE BUILDING  
3800 JOHNSON STREET  
HOLLYWOOD, FLORIDA

SALTZ MICHELSON  
ARCHITECTS

3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700    Fx: (954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Charles Michelson AR0009976

Project No.:  
2015-195  
Drawn By:  
MF  
Checked By:  
CM  
DATE:  
9-8-16

REVISIONS

PLANNING AND DEVELOPMENT  
BOARD MEETING  
SEPTEMBER 8, 2016

ES1





3800

R. E. DONOWAY, M.D.

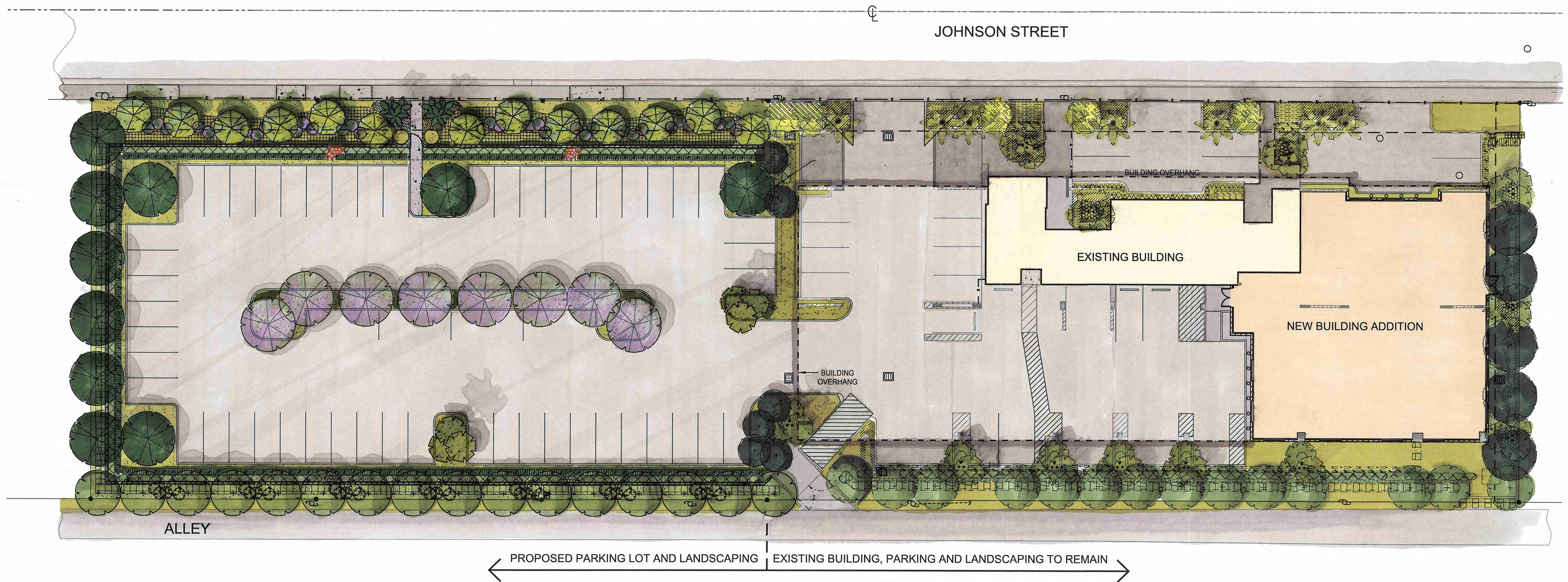
JUBRAN A. HOCHÉ, M.Sc., M.D.

Street View of Building Infill



Overall Street View of Building Infill at East Driveway





# 3800 JOHNSON STREET SITE PLAN







3800 Johnson Street – Existing Office Building



West side of property along Johnson Street



Single family residences at West side of property



Commercial building at East side of property





Alley behind West side of property



West access drive to be main access driveway



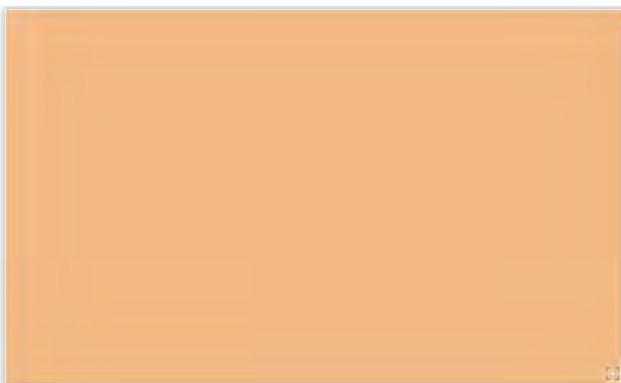
East drive to remain for parking, building to be infilled



East parking lot under building to be new addition



Color A: Ivory Tower  
Benjamin Moore 2157-70



Color B: Beeswax  
Benjamin Moore 2157-40



Color C: Lighthouse  
Benjamin Moore 2018-60



# ATTACHMENT B

## Land Use and Zoning Map






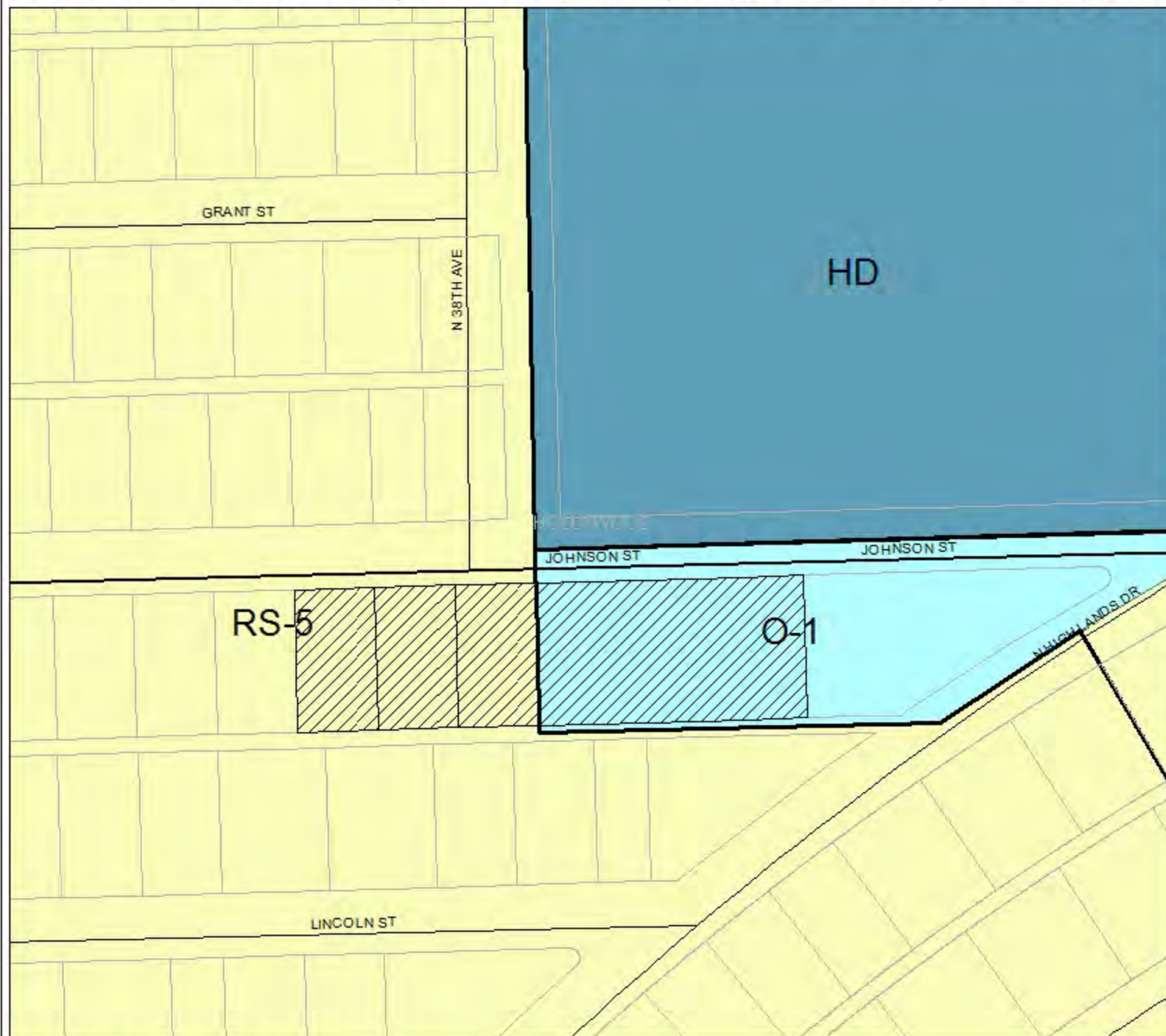
DEVELOPMENT SERVICES  
PLANNING

**Legend**

-  Subject Property
-  Streets
-  Major Roads
-  LRES
-  OFF
-  COMFAC

**ZONING**

-  RS-5
-  O-1
-  HD



0 30 60 120 Feet

