

Bank of America



BAC/GU WASHINGTON PARK

GENSLER PROJECT NUMBER: 69.6191.100

BAC SERIAL NUM.: FLW-C66

DESIGNATION: SIGNATURE

TAC SUBMISSION

08.15.2016

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HOLLYWOOD, FL 33023

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EXTERIOR FINISH SCHEDULE

STUCCO/ PLASTER (BASED ON PAREX STUCCO)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ST-1	10409 "TUNDRA," SAND FINE FIN.
ST-2	10432 "WARM SAND," SAND FINE FIN.
ST-3	10447 "MOSS," SMOOTH FIN.

ALUMINUM COMPOSITE METAL PANEL (BASED ON ALPOLIC)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

ACM-1	"BRITE RED" #4MMBTR REFER TO SECTION 07 42 43
ACM-2	"RVW WHITE" #3MM4RVW REFER TO SECTION 07 42 43
ACM-3	"MATCH STOREFRONT" REFER TO SECTION 08 41 13

ALUMINUM GLAZING FRAMES
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED

STUCCO ACCESSORIES (ALL PAINTED EXPT-3)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

SA-1	WIDE CHANNEL SCREED AS SPECIFIED
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METAL COPING (BAC PERFORMANCE)

MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3
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EXTERIOR PAINT (BASED ON BENJAMIN MOORE)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)

EXPT-1	[N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS
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EXTERIOR SEALANT COLOR [BAC PERFORMANCE]

GLAZING AT EXTERIOR STOREFRONT	BLACK
(ACM, RED AND WHITE) METAL PANEL TO METAL PANEL	MATCH METAL CLIP COLOR
WINDOW FRAME/ STOREFRONT TO STUCCO	MATCH METAL FRAME
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GLAZING SCHEDULE

GLAZING (BAC PERFORMANCE)

GL-1	1" HEAT STRENGTHENED CLEAR LOW-E INSULATING GLAZING AS SPECIFIED
GL-2	1" TEMPERED CLEAR LOW-E INSULATING GLAZING AS SPECIFIED
GL-3	1/2" TEMPERED MONOLITHIC GLASS

ABBREVIATIONS

A	ACCESSORY	J	JANITOR
ACCUS	ACOUSTIC(AL)	K	KITCHEN
AFF	ABOVE FINISHED FLOOR	L	LAVATORY
AL	ALUMINUM	LB	POUND
ALT	ALTERNATE	LOUVER	LOUVER
ANNUNC	ANNUNCIATOR	LT	LIGHT
ANOD	ANODIZED	LVLG	LEVELING
APPL	APPLIANCE	M	
AUTO	AUTOMATIC	M.E.	MATCH EXISTING
AVG	AVERAGE	MAX	MAXIMUM
B		MECH	MECHANICAL
BD	BOARD	MEMB	MEMBRANE
BLDG	BUILDING	MET	METAL
BLKG	BLOCKING	MEZZ	MEZZANINE
BOLL	BOLLARD	MFD	MANUFACTURED
BRDLM	BROADLOOM	MFR	MANUFACTURER
BU	BUILT UP	MIN	MINIMUM
C		MISC	MISCELLANEOUS
CAB	CABINET	MLWK	MILLWORK
CEM	CEMENT(ITIOUS)	MOIST	MOISTURE
CER	CERAMIC	MOT	MOTORIZED)
CLG	CEILING	MTD	MOUNTED
CMU	CONCRETE MASONRY UNIT	N	
COATG	COATING	NIC	NOT IN CONTRACT
COILG	COILING	NO	NUMBER
CONC	CONCRETE	NTS	NOT TO SCALE
CONSTR	CONSTRUCTION	O	
CONT	CONTINUOUS(ATION)	OH	OPPOSITE HAND
CONTR	CONTRACT(OR)	OPNG	OPENING(S)
COV	COVER	OPP	OPPOSITE
CPT	CARPET	OPR	OPERABLE
D		ORNA	ORNAMENTAL
DBL	DOUBLE	OS	OCCUPANCY SENSOR
DEPT	DEPARTMENT	OVFL	OVERFLOW
DES	DESIGN(ED)	OVHD	OVERHEAD
DET	DETAIL	P	
DF	DRINKING FOUNTAIN	PBD	PARTICLE BOARD
DIA	DIAMETER	PEDTR	PEDESTRIAN
DIFF	DIFFUSER	PLAM	PLASTIC LAMINATE
DIM	DIMENSION	PLAS	PLASTER
DISP	DISPENSER	PLSTC	PLASTIC
DIV	DIVISION	PLYWD	PLYWOOD
DN	DOWN	PNL	PANEL
DR	DOOR	POLYST	POLYSTYRENE
DSCON	DISCONNECT	PORT	PORTABLE
DWR	DRAWER	PREFAB	PREFABRICATED
E		PREFIN	PREFINISHED
ELAST	ELASTOMERIC	PRTECN	PROTECTION
ELEC	ELECTRICAL	PTN	PARTITION
EMBED	EMBEDD(ED)(ING)	R	
ENGR	ENGINEER(ED)	RDR	READER
ENTR	ENTRANCE	RECES	RECESS(ED)
EQ	EQUAL	RECPT	RECEPTACLE
EQUIP	EQUIPMENT	REF	REFERENCE
EX	EXISTING	REFL	REFLECTED
EXP JT	EXPANSION JOINT	REFR	REFRIGERATOR
EXPS	EXPOSE(D)	REQD	REQUIRED
EXT	EXTERIOR	RESIS	RESIST(ANT)(IVE)
F		RFG	ROOFING
FAB	FABRICATION	RM	ROOM
FD	FLOOR DRAIN	RO	ROUGH OPENING
FE	FIRE EXTINGUISHER	S	
FE&C	FIRE EXTINGUISHER AND CABINET	SCR	SCRIBE
FHC	FIRE HOSE CABINET	SECUR	SECURITY
FIN	FINISH	SF	SQUARE FEET
FLOG	FOLDING	SGL	SINGLE
FLR	FLOORING	SHORG	SHORING
FLPC	FIREPLACE	SIM	SIMILAR
FR	FIRE RAT(ING)(ED)	SST	STAINLESS STEEL
FRMG	FRAMING	STD	STANDARD
FURN	FURNITURE	STL	STEEL
FWC	FABRIC WALL COVERING	STRFR	STOREFRONT
FXD	FIXED	STRUCT	STRUCTURAL
FXTR	FIXTURE	SURF	SURFACE
G		SUSP	SUSPENDED
GA	GAUGE	SYS	SYSTEM(S)
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	T	
GFRC	GLASS FIBER REINFORCED CONCRETE	T&G	TONGUE AND GROOVE
GFRG	GLASS FIBER REINFORCED GYPSUM	TG	TEMPERED GLASS
GFRP	GLASS FIBER REINFORCED PLASTER	THK	THICK
GL	GLASS	TLT	TOILET
GR	GRAD(E)(ING)	TRAF	TRAFFIC
GYP	GYPSUM	TRANS	TRANSPARENT
H		TRTD	TREATED
HD	HEAD	TYP	TYPICAL
HDWD	HARDWOOD	U	
HDWE	HARDWARE	UNDRLAY	UNDERLAYMENT
HM	HOLLOW METAL	UON	UNLESS OTHERWISE NOTED
HORIZ	HORIZONTAL	UTIL	UTILITY
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	V	
I		VEH	VEHICLE
INFILTR	INFILTRATION	VERT	VERTICLE
INFO	INFORMATION	VIF	VERIFY IN FIELD
INSTRUM	INSTRUMENT(ATION)	W	
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INTLK	INTERLOCK(ING)	WC	WATER CLOSET
		WD	WOOD
		WOW	WINDOW
		WT	WEIGHT
		WTRPRF	WATERPROOFING

DRAWING INDEX

SHEET NUMBER	SHEET NAME	LATEST	REVISIONS	
			DATE	DESCRIPTION
A000	COVER		08.15.2016	ISSUE FOR TAC SUBMISSION
A001	DRAWING INDEX		08.15.2016	ISSUE FOR TAC SUBMISSION

CIVIL

SHEET NUMBER	SHEET NAME	LATEST	REVISIONS	
			DATE	DESCRIPTION
C02.01	SITE PLAN		08.15.2016	ISSUE FOR TAC SUBMISSION
C03.01	GRADING AND DRAINAGE PLAN		08.15.2016	ISSUE FOR TAC SUBMISSION
C04.01	UTILITY PLAN		08.15.2016	ISSUE FOR TAC SUBMISSION
C12.01	SITE DETAILS		08.15.2016	ISSUE FOR TAC SUBMISSION
C12.02	SITE DETAILS		08.15.2016	ISSUE FOR TAC SUBMISSION
C12.03	CITY OF HOLLYWOOD DETAILS		08.15.2016	ISSUE FOR TAC SUBMISSION
L01.01	LANDSCAPE PLAN		08.15.2016	ISSUE FOR TAC SUBMISSION
L02.01	LANDSCAPE PLANTING DETAILS		08.15.2016	ISSUE FOR TAC SUBMISSION
1 OF 1	ALTANSPS LAND TITLE SURVEY		08.15.2016	ISSUE FOR TAC SUBMISSION

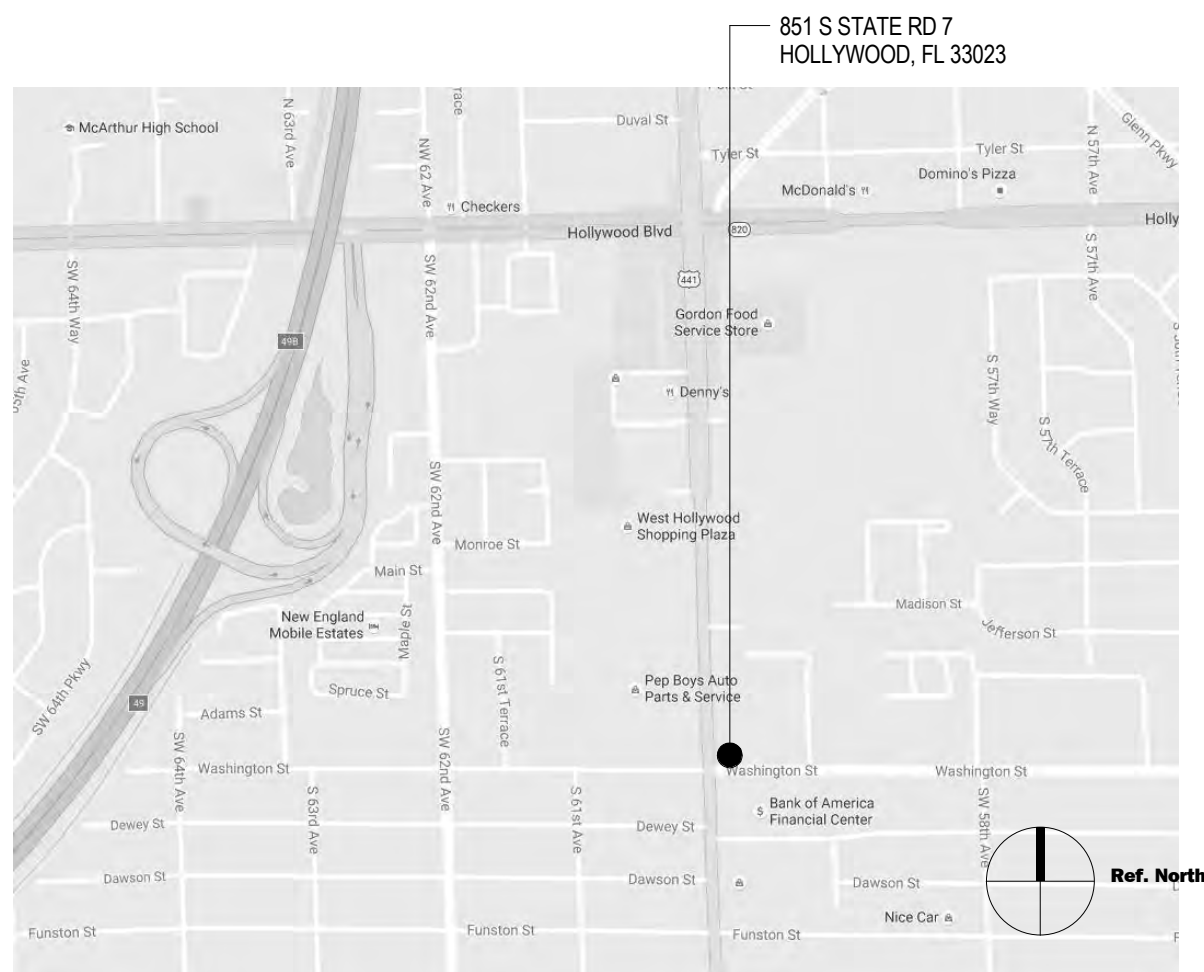
ARCHITECTURAL

SHEET NUMBER	SHEET NAME	LATEST	REVISIONS	
			DATE	DESCRIPTION
A101	CONSTRUCTION PLAN		08.15.2016	ISSUE FOR TAC SUBMISSION
A102	ELEVATIONS		08.15.2016	ISSUE FOR TAC SUBMISSION
A103	ELEVATIONS		08.15.2016	ISSUE FOR TAC SUBMISSION
A104	DUMPSTER ENCLOSURE		08.15.2016	ISSUE FOR TAC SUBMISSION
A105	COLOR ELEVATIONS		08.15.2016	ISSUE FOR TAC SUBMISSION
A106	COLOR ELEVATIONS		08.15.2016	ISSUE FOR TAC SUBMISSION

VICINITY MAP



LOCATION MAP



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LIC. NO. AA0002837

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△	Date	Description
	08.15.16	ISSUE FOR TAC SUBMISSION

Seal / Signature
DANA MULLER, AIA REG. FL. NO. AR92911

08.15.2016

Project Name
BAC/GU WASHINGTON PARK

Project Number
69.6191.100

Scale
12" = 1'-0"

Description
DRAWING INDEX

A001

SHEET NOTES

- 01 FIRE PROTECTION EQUIPMENT. REFER TO ELECTRICAL DRAWINGS
02 PROVIDE FIRE RATED 3/4" PLYWOOD BACKBOARD ON ALL WALLS, H=8'-0"
03 PROVIDE HEAVY DUTY FLOOR PER SPEC - COORDINATE LOCATION WITH CASH VAULT DOOR
04 LADDER TO ROOF HATCH - SEE DETAIL 12/A09.32
05 ROOF HATCH ABOVE - SEE DETAIL 8/A09.32
06 ALIGN EDGE OF D.T. ISLAND WITH LINE OF DRIVE THRU SOFFIT ABOVE
07 HEADER CURB
08 LOCATION OF TRASH CONTAINER
09 LOCATION OF MOP SINK
10 ACCESSIBLE ATM SHALL COMPLY WITH AMERICAN DISABILITY ACT 2010
11 CANOPY ABOVE
12 BLOCKING TO BE PROVIDED FOR FUTURE RVS EQUIPMENT.
13 BIKE RACK



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GENERAL NOTES

- A. ALL PARTITIONS TO BE TYPE "A3B," UNLESS NOTED OTHERWISE. REFER TO WALL PARTITION TYPES.
B. FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFER TO SHEETS A00.00 AND A00.10.
C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
D. VERIFY ALL EQUIPMENT WITH VENDOR.
E. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT AND ACCESSORIES.

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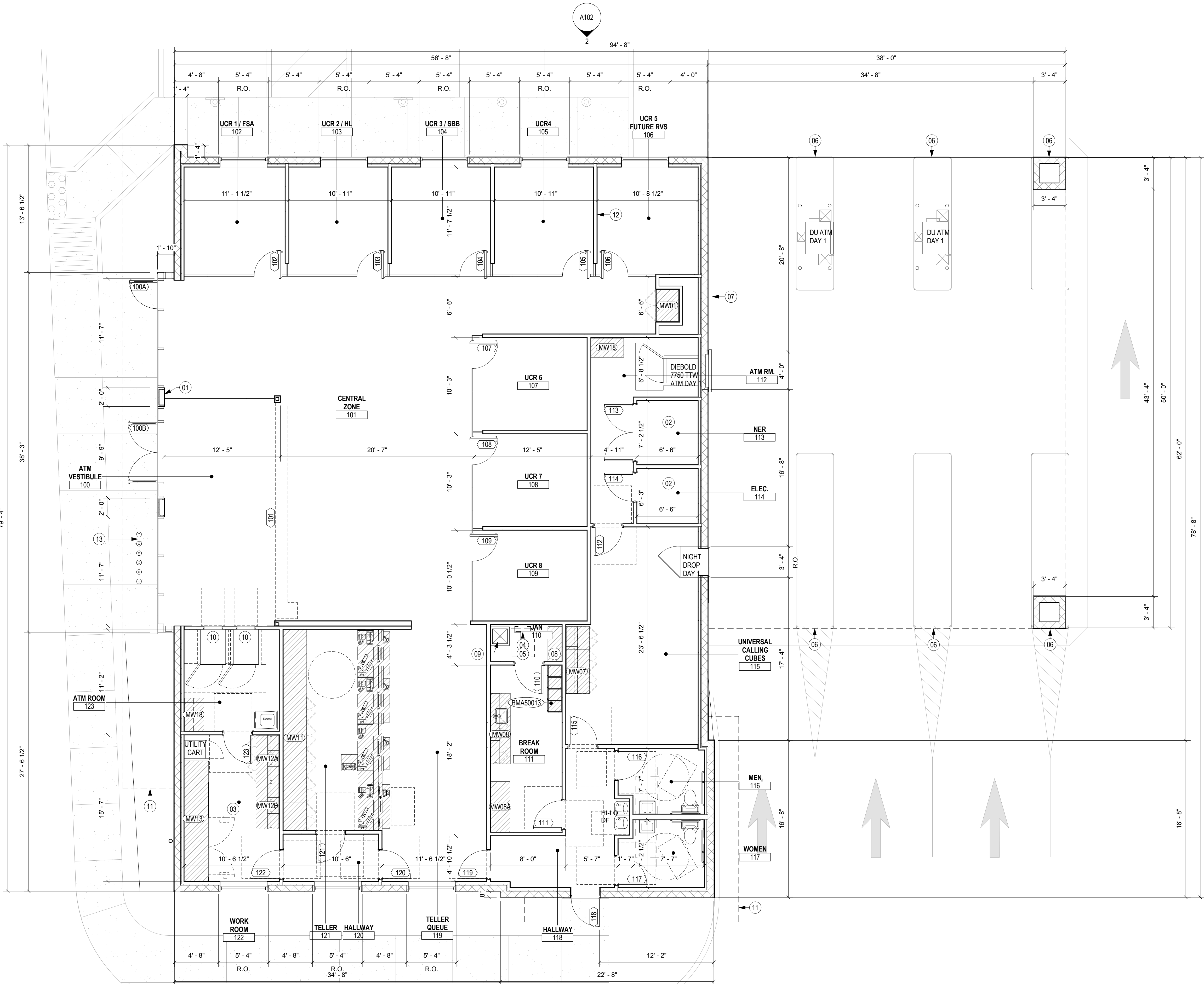
Project Number
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Scale
3/16" = 1'-0"

Description
CONSTRUCTION PLAN

A101

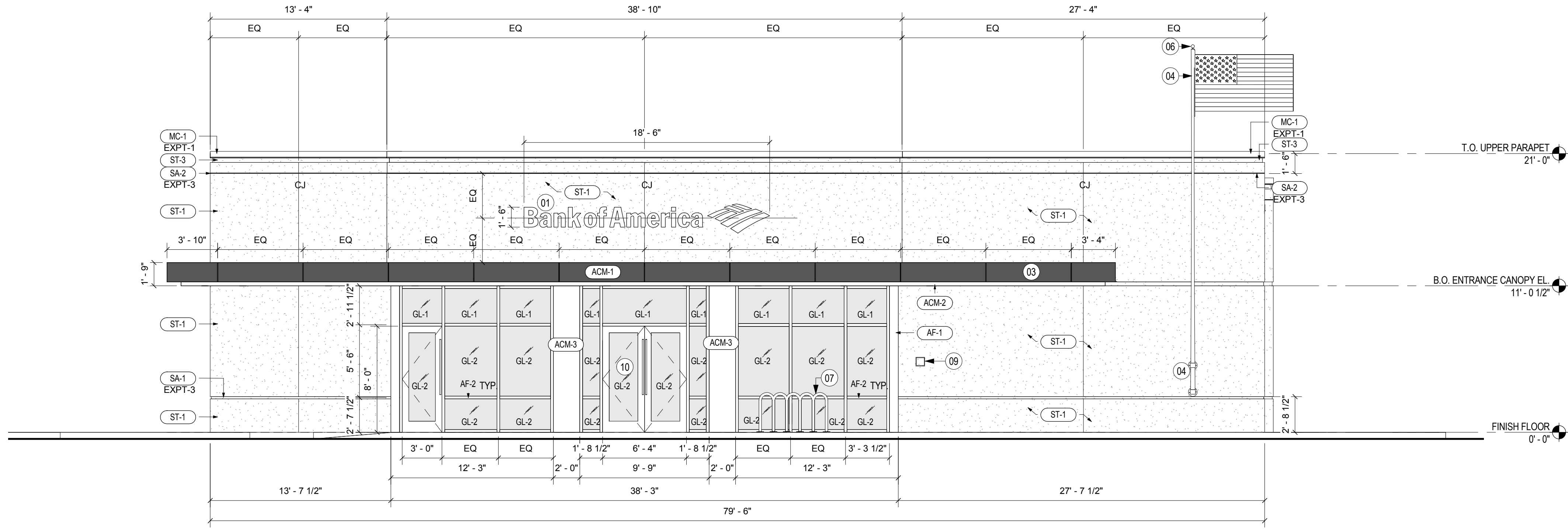
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WEST ELEVATION Copy 1

SCALE: 3/16" = 1'-0"

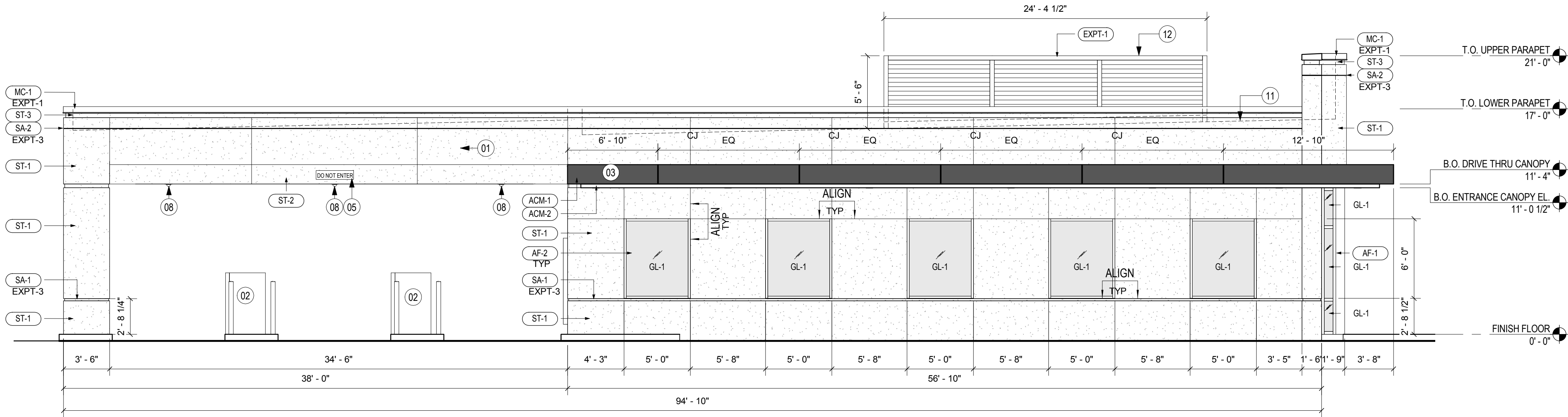
1



NORTH ELEVATION Copy 1

SCALE: 3/16" = 1'-0"

2



STUCCO/ PLASTER (BASED ON PAREX STUCCO)
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"

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ALUMINUM GLAZING FRAMES
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STUCCO ACCESSORIES (ALL PAINTED EXPT-3)
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MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3
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EXTERIOR PAINT (BASED ON BENJAMIN MOORE)
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SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
- 02 DRIVE THRU ATM BY OWNER
- 03 METAL PANEL SYSTEM
- 04 31 - FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 S - TYPE REGULATORY DIRECTIONAL/ INFORMATIONAL MCHIGLE SIGNAGE PROVIDED BY OWNER. CENTER OF SIGN = CENTER OF LANE.
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELEC. DWG. FOR FIXTURE TYPE
- 07 BIKE RACK
- 08 EXTERIOR SECURITY CAMERA
- 09 KNOX BOX. COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR INSTALLATION.
- 10 SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER
- 11 LINE OF ROOF BEYOND
- 12 MECHANICAL EQUIPMENT SCREENING.



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Scale
As indicated

Description
ELEVATIONS

A102

SHEET NOTES

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08 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN= CENTERLINE OF LANE.
09 EXTERIOR SECURITY CAMERA
10 DRIVE UP TTW ATM BY OWNER
11 LINE OF ROOF BEYOND
12 MECHANICAL EQUIPMENT SCREENING.



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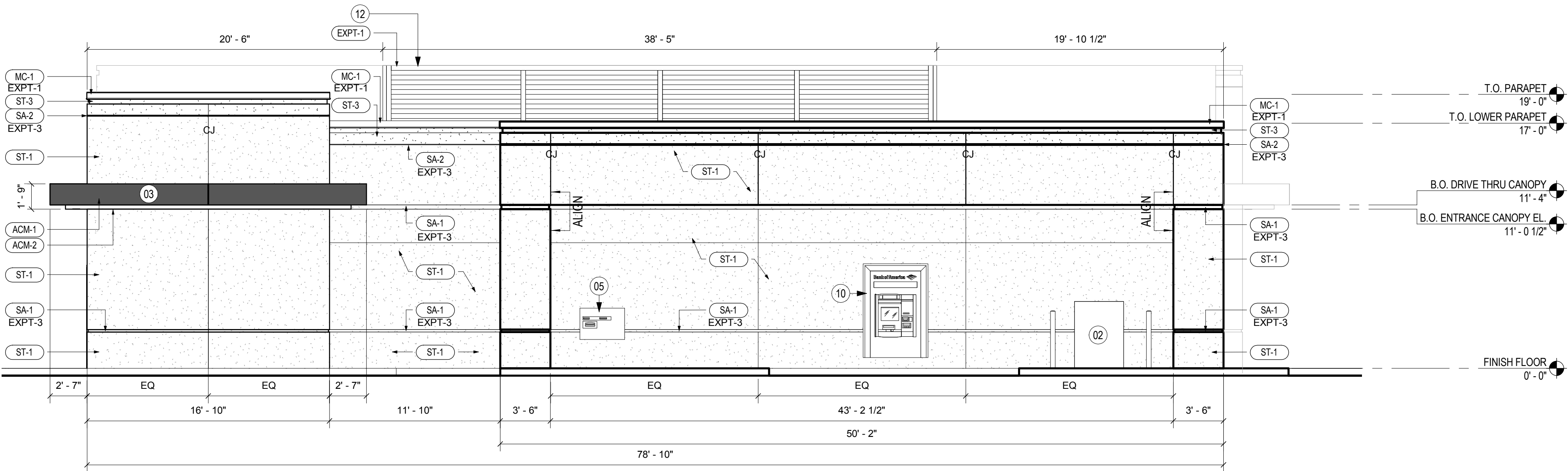
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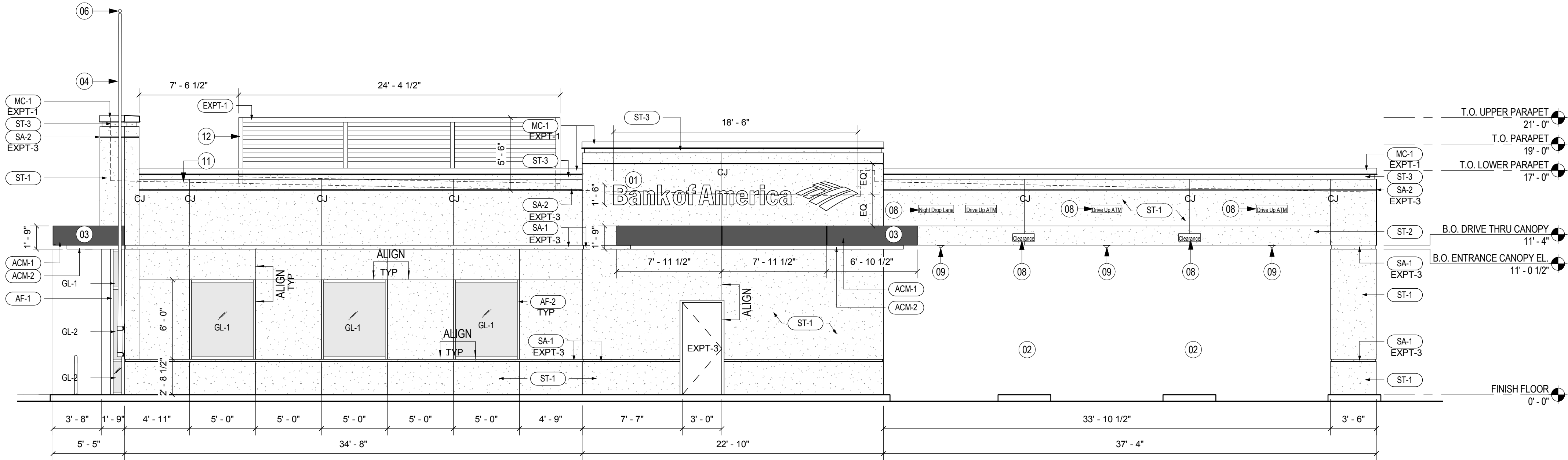
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EAST ELEVATION Copy 1

SCALE: 3/16" = 1'-0"

1



SOUTH ELEVATION Copy 1

SCALE: 3/16" = 1'-0"

2

STUCCO/ PLASTER (BASED ON PAREX STUCCO)
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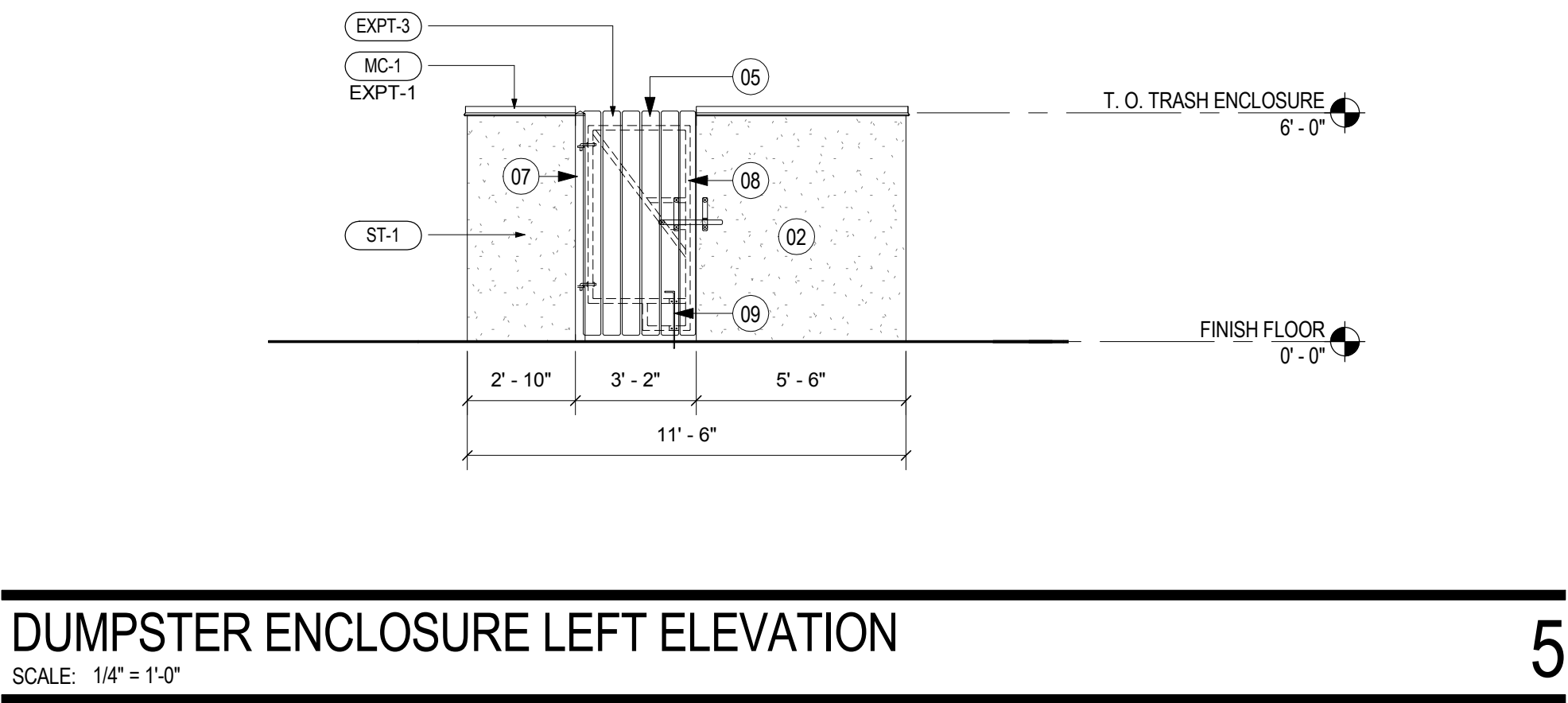
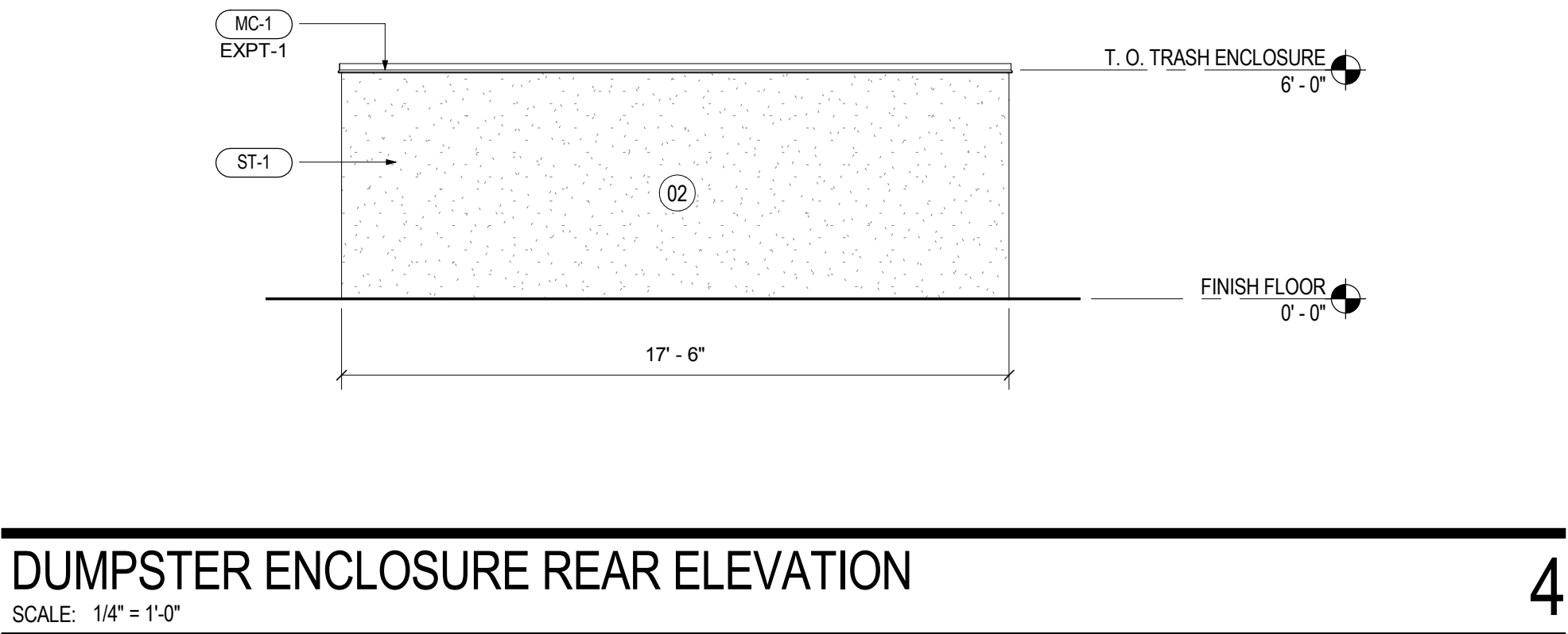
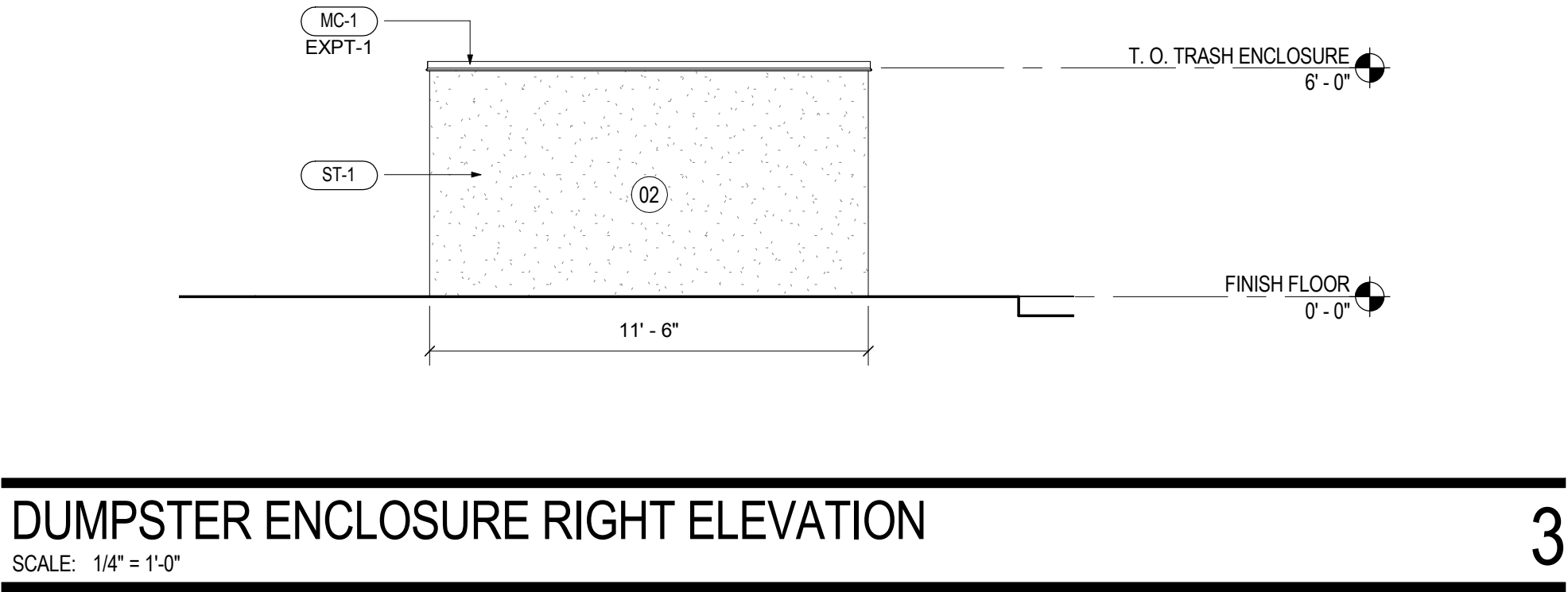
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MATCH METAL CLIP COLOR
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MATCH STOREFRONT FRAME

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A103

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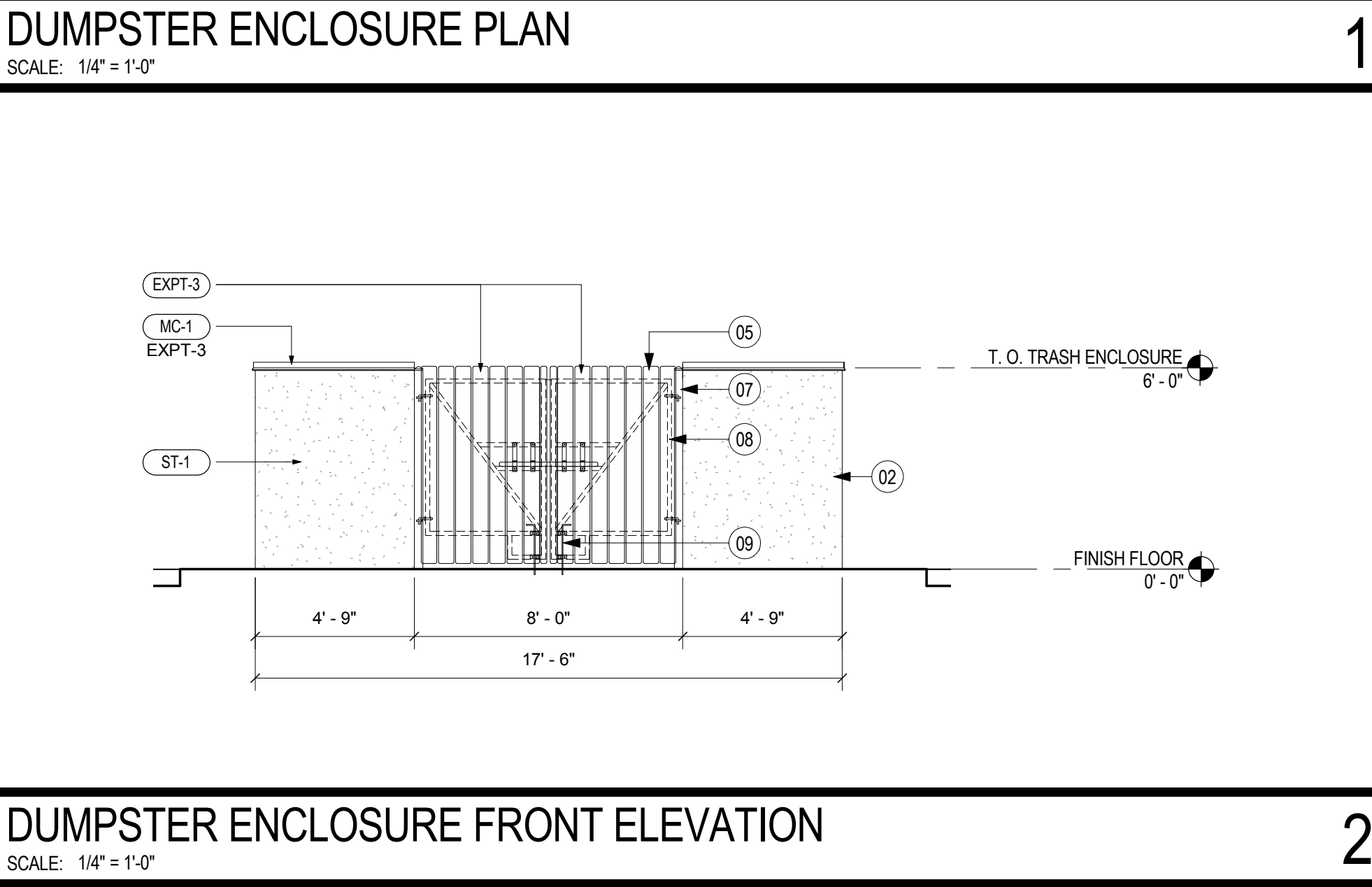
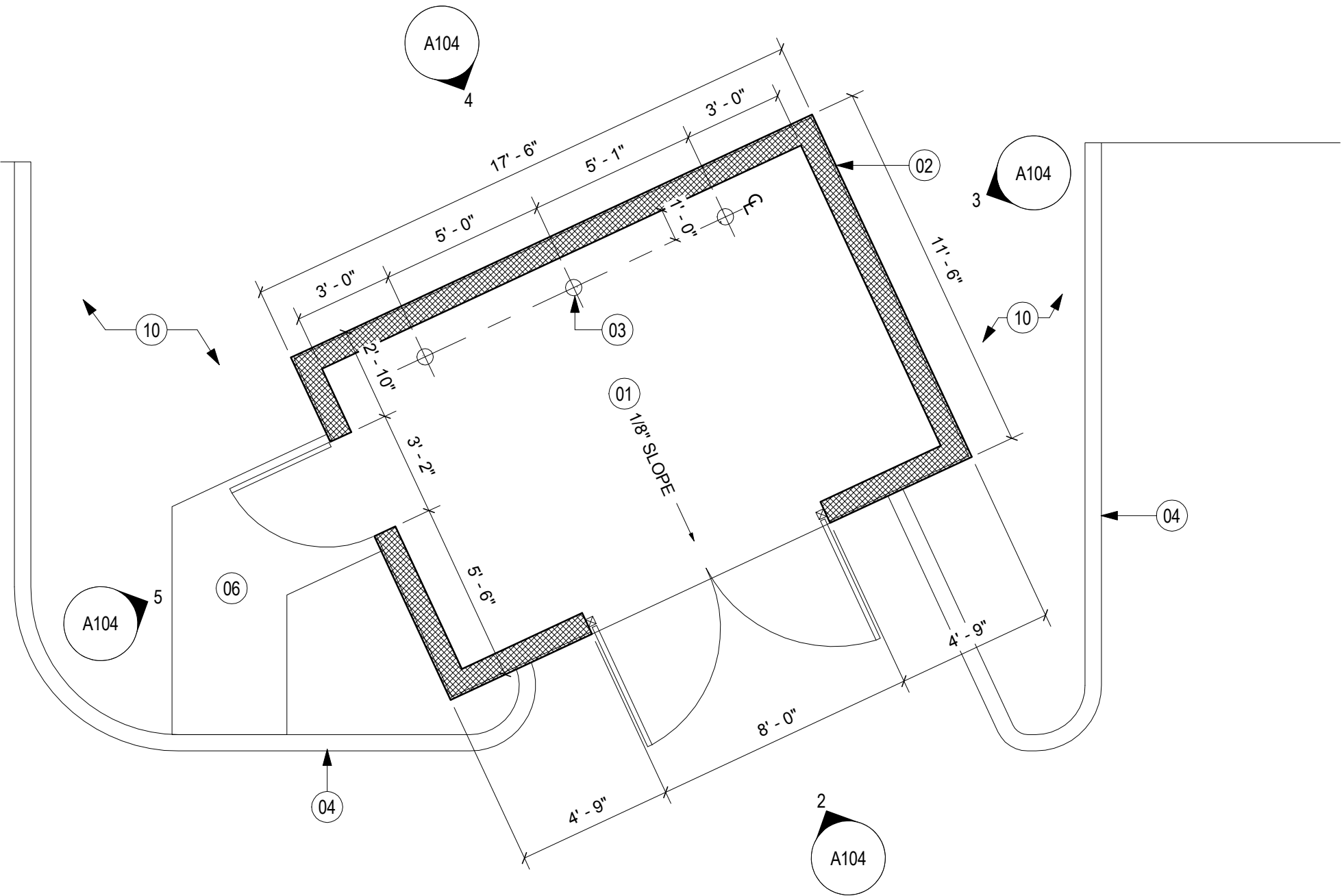
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[BAC PRESCRIPTIVE] / "BASIS OF DESIGN"	
SA-1	WIDE CHANNEL SCREED AS SPECIFIED
SA-2	NARROW CHANNEL SCREED AS SPECIFIED
SA-3	MODIFIED CHANNEL SCREED AS SPECIFIED

METAL COPING (BAC PERFORMANCE)	
MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH ST-3



EXTERIOR PAINT (BASED ON BENJAMIN MOORE)	
[BAC PRESCRIPTIVE] / "BASIS OF DESIGN" (BASED ON FRY REGLET)	
EXPT-1	[N185] COLOR: HC-102 "CLARKSVILLE GRAY," MATCHES ST-3: MOSS
EXPT-2	[N185] COLOR: HC-80 "BLEEKER BEIGE," MATCHES ST-2: WARM SAND
EXPT-3	[N185] COLOR: CLASSIC #1039 "STONE HOUSE," MATCHES ST-1: TUNDRA

EXTERIOR SEALANT COLOR [BAC PERFORMANCE]	
GLAZING AT EXTERIOR STOREFRONT (ACM, RED AND WHITE) METAL PANEL TO METAL PANEL WINDOW FRAME/ STOREFRONT TO STUCCO (ACM, RED AND WHITE) METAL PANEL TO STUCCO (ACM, RED AND WHITE) METAL PANEL TO STOREFRONT	BLACK MATCH METAL CLIP COLOR MATCH METAL FRAME MATCH ADJACENT STUCCO FINISH MATCH STOREFRONT FRAME

SHEET NOTES

- 01 CONC. SLAB. REFER TO STRUCTURAL DRAWINGS
- 02 MASONRY BLOCK WALL W/ DIRECT BOND STUCCO FINISH, TYP
- 03 48" HIGH, 4" DIA, PAINTED STEEL PIPE BOLLARD FILLED WITH CONCRETE
- 04 CONCRETE CURB. REFER TO CIVIL DRAWINGS
- 05 NOM. 1" X 6" RECYCLED PLASTIC LUMBER, WITH 5/8" GAP BETWEEN BOARDS.
- 06 CONCRETE SIDEWALK. REFER TO CIVIL DRAWINGS
- 07 3" X 3" SQUARE STEEL TUBE W/ DRIVE ON CAPS. PAINT TO MATCH ADJACENT WALL.
- 08 1 1/2" X 1 1/2" SQUARE STEEL TUBE. SHOP WELD ALL JOINTS.
- 09 21" L (MIN.) 3/8" DIA RODS W/ MIN 3" HOOK. DRILL HOLES IN CONCRETE TO LOCK GATES OPEN AND CLOSED POSITIONS.
- 10 LANDSCAPING. REFER TO CIVIL DRAWINGS



851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
DESIGNATION: SIGNATURE
NRSP VERSION: 2.0
BULLETIN: 2-2016

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△	Date	Description
	08.15.16	ISSUE FOR TAC SUBMISSION

Seal / Signature
DANA MULLER, AIA REG. FL. NO. AR92911

08.15.2016

Project Name
BAC/GU WASHINGTON PARK

Project Number
69.6191.100

Scale
As indicated

Description
DUMPSTER ENCLOSURE

A104

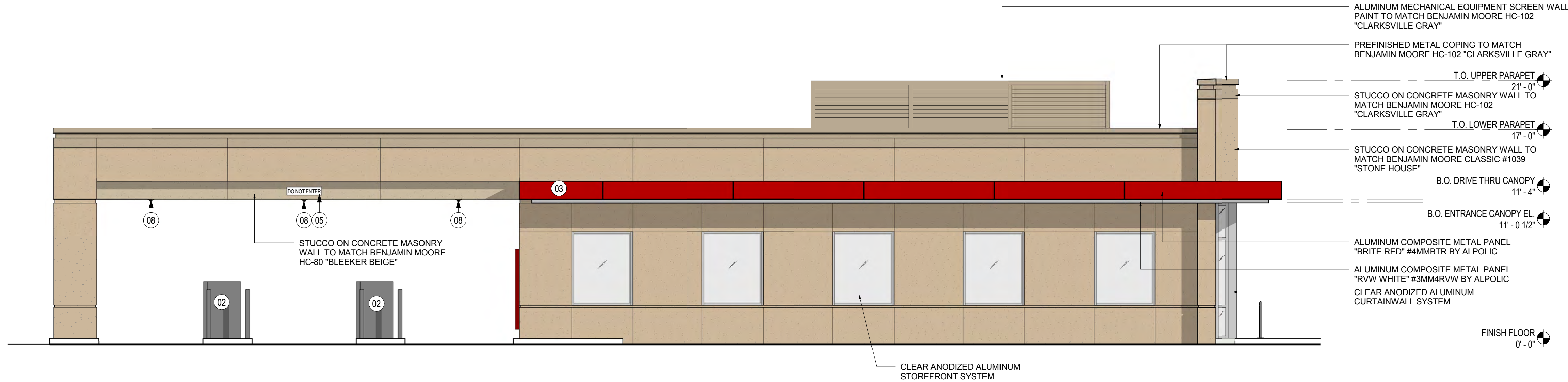
\\gensler-ar01\projects\Revit\BAC\GU\Washington Park_2347.rvt



WEST ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

1



NORTH ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

2



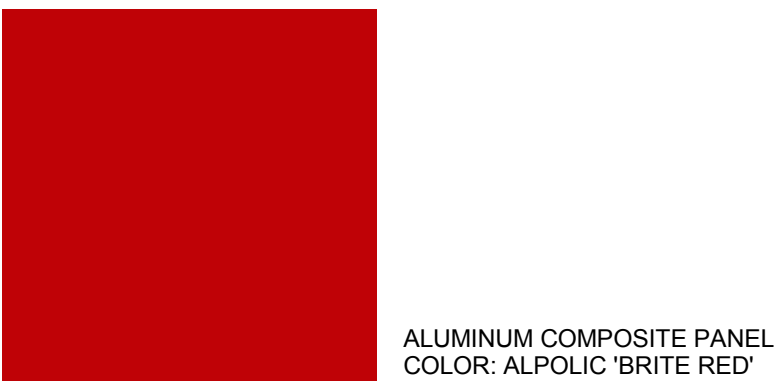
STUCCO WALL FINISH
COLOR: TUNDRA
TO MATCH BENJAMIN MOORE
#1039 'STONE HOUSE'



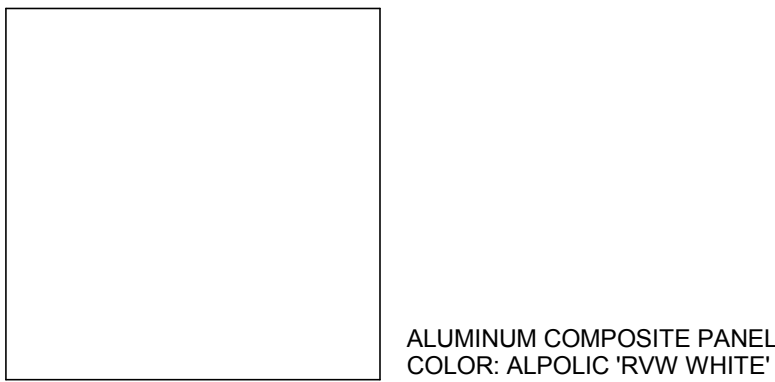
STUCCO WALL FINISH
COLOR: WARM SAND
TO MATCH BENJAMIN MOORE
HC-80 'BLEEKER BEIGE'



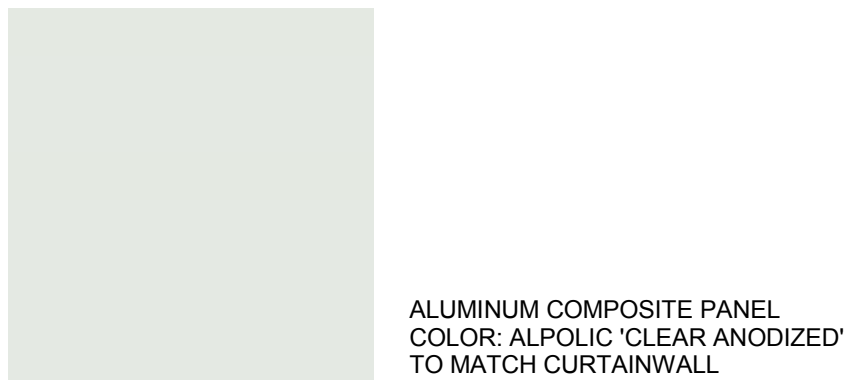
STUCCO WALL FINISH
COLOR: MOSS
TO MATCH BENJAMIN MOORE
HC-102 'CLARKSVILLE GRAY'



ALUMINUM COMPOSITE PANEL
COLOR: ALPOLIC 'BRITE RED'



ALUMINUM COMPOSITE PANEL
COLOR: ALPOLIC 'RVW WHITE'



ALUMINUM COMPOSITE PANEL
COLOR: ALPOLIC 'CLEAR ANODIZED'
TO MATCH CURTAINWALL

EXTERIOR FINISH LEGEND

SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
- 02 DRIVE THRU ATM BY OWNER
- 03 METAL PANEL SYSTEM
- 04 31' - FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 S - TYPE REGULATORY DIRECTIONAL/ INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER, CENTER OF SIGN = CENTER OF LANE
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE
- 07 BIKE RACK
- 08 EXTERIOR SECURITY CAMERA
- 09 KNOX BOX. COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR INSTALLATION
- 10 SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER
- 11 LINE OF ROOF BEYOND
- 12 MECHANICAL EQUIPMENT SCREENING.

Bank of America

851 S STATE RD 7
HOLLYWOOD, FL 33023

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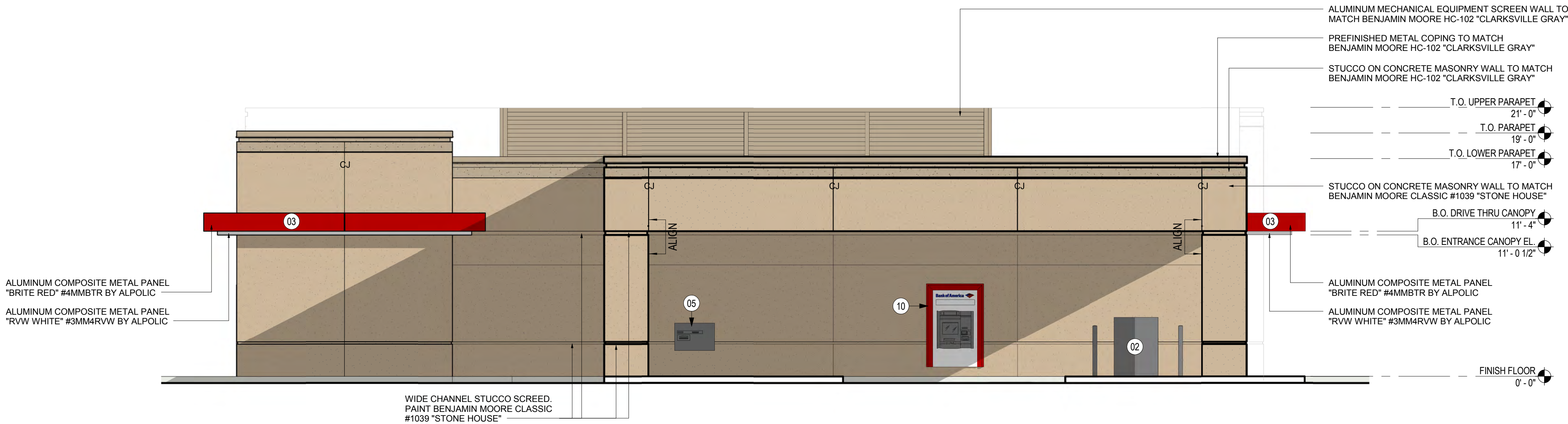
Project Name
BAC/GU WASHINGTON PARK

Project Number
69.6191.100

Scale
As indicated

Description
COLOR ELEVATIONS

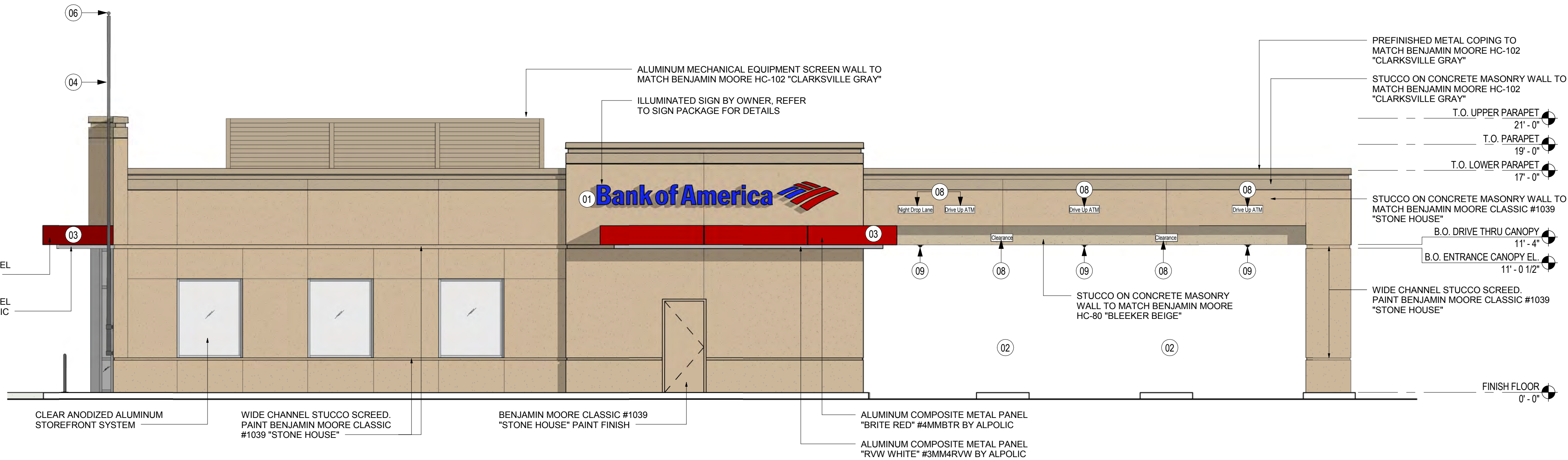
A105



EAST ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

1



SOUTH ELEVATION - COLOR

SCALE: 3/16" = 1'-0"

2



EXTERIOR FINISH SCHEDULE

SHEET NOTES

- 01 BANK OF AMERICA SIGN BY OWNER
- 02 DRIVE THRU ATM BY OWNER
- 03 METAL PANEL SYSTEM
- 04 31' - FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 05 NIGHT DEPOSITORY
- 06 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE
- 08 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONILE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN= CENTERLINE OF LANE
- 09 EXTERIOR SECURITY CAMERA
- 10 DRIVE UP TTW ATM BY OWNER
- 11 LINE OF ROOF BEYOND
- 12 MECHANICAL EQUIPMENT SCREENING.



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Scale
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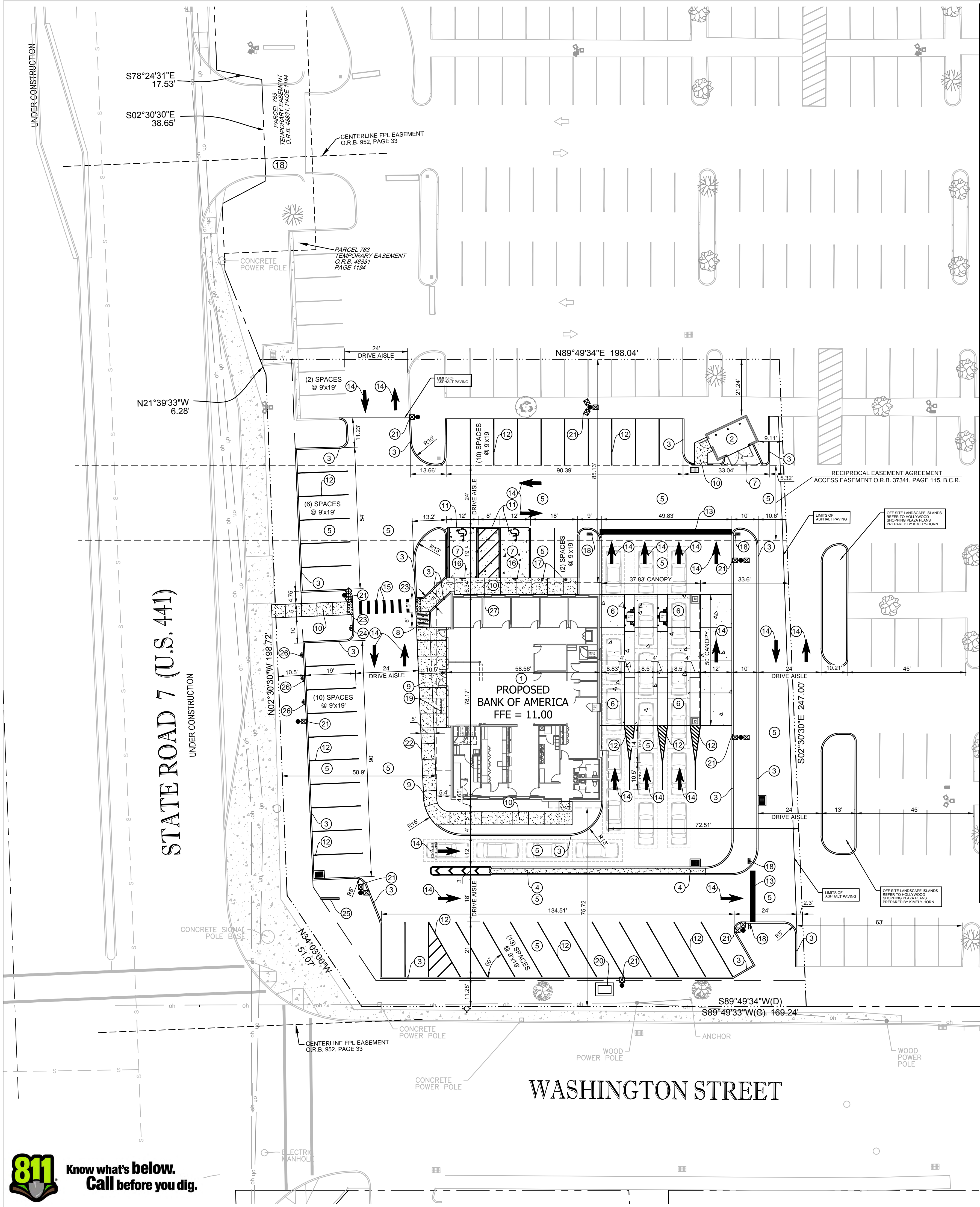
Description
COLOR ELEVATIONS

A106

Plot Date: 8/11/2016 2:59:43 PM Filename: T:\0 Bank Of America\10-460-00 - G - Washington Park -NEC SR 7 And Washington Street, Hollywood, FL\CADD\Civil\10-460-00 ED.dwg User: Victor Chapman Device: None PerTable: ----



Know what's below.
Call before you dig.



SITE DATA

SITE ADDRESS: NEC SR 7 AND WASHINGTON STREET
HOLLYWOOD, FLORIDA 33023

PROPERTY OWNER: HOLLYWOOD STATE ROAD 7 LLC

FOLIO NUMBER: 5141-13-00-0162

SITE AREA: 47,805 SF (1.0975 ACRES)

BUILDING AREA: 4,520 SF

EXISTING ZONING: C-3 (MEDIUM INTENSITY COMMERCIAL)

EXISTING USE: PARKING LOT

DEVELOPED USE: BANK W/ DRIVE THRU

SITE AREAS

	AREA (SF)	AREA (AC)	PERCENT
SITE AREA	47,805	1.10	100.0%
BUILDING AREA	4,520	0.10	9.5%
TRASH ENCLOSURE	195	0.004	0.4%
VEHICULAR USE AREA	41,655	0.96	87.1%
SIDEWALK AREA	1,435	0.03	3.00%
PERVIOUS AREA:	9,074	0.21	19.0%
IMPERVIOUS AREA:	38,731	0.89	81%

PARKING DATA

PARKING REQUIRED:

TOTAL PARKING REQUIRED: = 21 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING = 41 SPACES
HANDICAP PARKING = 2 SPACES
TOTAL PARKING PROVIDED = 43 SPACES

LANDSCAPE BUFFERS:

	REQUIRED	PROPOSED
LANDSCAPE BUFFER - WEST	= 10'	= 10'
LANDSCAPE BUFFER - SOUTH	= 10'	= 10'
LANDSCAPE BUFFER - NORTH	= NONE SPECIFIED	= 11.28'
LANDSCAPE BUFFER - EAST	= NONE SPECIFIED	= 11.28'

BUILDING SETBACKS:

	REQUIRED	PROPOSED
BUILDING SETBACK - WEST	= 0'	= 58.9'
BUILDING SETBACK - SOUTH	= 0	= 75.72'
BUILDING SETBACK - NORTH	= 0'	= 85.13'
BUILDING SETBACK - EAST	= 0'	= 33.76'
MAXIMUM BUILDING HEIGHT	= 60'	= 21'

FLOOD ZONE:

FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #125113 0564H; MAP DATE: 8/18/14.

LEGAL DESCRIPTION:

THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 13; TOWNSHIP 51 SOUTH, RANGE 41 EAST, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 13; THENCE NORTH 02°30'30" WEST ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 A DISTANCE OF 35.03 FEET; THENCE NORTH 89°49'34" EAST, 100.80 FEET TO THE POINT OF BEGINNING; THENCE NORTH 34°03'00" WEST, 51.07 FEET ALONG THE EAST RIGHT-OF-WAY OF STATE ROAD NO. 7 (U.S. HIGHWAY 441) AS DESCRIBED IN THAT CERTAIN STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 48998, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 02°30'30" WEST, 198.72 FEET; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 21°39'33" WEST, 6.28 FEET; THENCE NORTH 89°49'34" EAST, 198.04 FEET; THENCE SOUTH 02°30'30" EAST, 247.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET (70 FOOT RIGHT-OF-WAY); THENCE SOUTH 89°49'34" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, 169.24 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

SITE PLAN LEGEND

	DIRECTIONAL ARROW
	HANDICAP PARKING
	PROPOSED CURB
	PROPOSED CONCRETE LESS THAN 6"
	PROPOSED CONCRETE 6" OR GREATER
	NEW 2.5" ASPHALT PAVEMENT
	EXISTING CONCRETE
	UTILITY EASEMENT
	PROPERTY LINE
	SETBACK/BUFFER
	PROPOSED IMPROVEMENTS
	19' x 8.5' STACK

SITE PLAN GENERAL NOTES

- OVERALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
- ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED.
- SITE WILL BE CONSTRUCTED IN A SINGLE PHASE.
- SITE LIGHTING WILL COMPLY WITH CITY OF HOLLYWOOD LAND DEVELOPMENT CODE.
- VEHICLE STACKING COMPLIES WITH CITY OF HOLLYWOOD LAND DEVELOPMENT CODE.

SITE PLAN KEYED NOTES

ITEM	DESCRIPTION
1	NEW "BANK OF AMERICA" BUILDING (4,520 SF) & DRIVE THRU CANOPY(3 LANES: 1 BY-PASS LANE) (SEE ARCHITECTURAL PLAN)
2	NEW TRASH ENCLOSURE HEIGHT: 6-FOOT STRUCTURE: MASONRY GATES: RECYCLED PLASTIC LUMBER (SEE ARCHITECTURAL PLANS)
3	NEW "TYPE D" CONCRETE CURB, PER FDOT STANDARD, INDEX 300
4	NEW "TYPE I" CONCRETE TRAFFIC SEPARATOR - OPTION I. PER FDOT, INDEX 302.
5	NEW 1 1/2" ASPHALT PAVEMENT (SEE DETAIL SHEET)
6	NEW 6" CONCRETE PAVEMENT (SEE DETAIL SHEET)
7	NEW 6" BLACK TINTED CONCRETE PAVEMENT (SEE DETAIL SHEET)
8	NEW HANDICAP RAMP (SEE DETAIL SHEET)
9	NEW 4" INTEGRAL CONCRETE SIDEWALK, SEE PLAN FOR WIDTH (SEE DETAIL SHEET)
10	NEW 4" CONCRETE SIDEWALK, SEE PLAN FOR WIDTH (SEE DETAIL SHEET)
11	NEW ADA ACCESSIBLE PARKING AND AISLE WITH SLOPES NOT TO EXCEED 2.00% IN ALL DIRECTIONS (SEE DETAIL SHEET)
12	NEW 4-INCH "WHITE" THERMOPLASTIC PARKING STRIPE
13	NEW 24-INCH "WHITE" THERMOPLASTIC STOP BAR(S)
14	NEW "WHITE" THERMOPLASTIC DIRECTIONAL ARROW (S) (TYPICAL). 8" HEIGHT LETTERING @ DRIVE THRU TO READ "DRIVE THRU ENTRANCE."
15	5-FOOT WIDE CROSS WALK. STRIPE 12" WHITE THERMOPLASTIC STRIPING @ 36" O.C.
16	NEW HANDICAP PARKING SIGNS WITHIN BOLLARD PER BANK GUIDELINES (TYPICAL OF 2) (SEE DETAIL SHEET)
17	NEW BOLLARD (TYPICAL OF 2) (SEE DETAIL SHEET)
18	NEW 30" R1-1 "STOP" SIGN & R5-1 "DO NOT ENTER" SIGN. (SEE DETAIL SHEET)
19	NEW BICYCLE RACK (SEE DETAIL SHEET)
20	NEW PAD MOUNTED TRANSFORMER (SEE UTILITY PLAN)
21	NEW AREA LIGHT (SEE PHOTOMETRIC PLAN)
22	ELEVATED SIDEWALK IS TO BE PAINTED (2-COATS) "SAFETY YELLOW" 4-INCHES ON TOP AND COMPLETE FACE OF SIDEWALK
23	NEW DETECTABLE WARNING. (SEE DETAIL SHEET)
24	NEW WOOD POST MAILBOX
25	MONUMENT SIGN. (SEE THOMAS SIGN PACKAGE)
26	NEW "LOW EMITTING/FUEL EFFICIENT VEHICLES" SIGN WITHIN BOLLARD PER BANK GUIDELINES (TYPICAL OF 3) (SEE THOMAS SIGN PACKAGE)
27	WALL MOUNTED "ACCESSIBLE PATHWAY" SIGN.(SEE DETAIL SHEET)

Bank of America

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Date	Description
1 08.15.16	ISSUE FOR TAC SUBMISSION

Seal / Signature

NISIT SAPPAKHAO, P.E.
FL REG. NO. 64085

DATE

Project Name
BACGU WASHINGTON PARK

Project Number
10-460.00

Scale
1" = 20'

Description
SITE PLAN

C02.01

Plot Date: 8/11/2016 3:20:33 PM Filename: T:\10 Bank Of America\10-460.00 - G - Washington Park -NEC SR 7 and Washington Street, Hollywood, FL\CADD\Civil\10-460.00 ED.dwg User: Victor Chapman Device: None PenTable: ----



EXISTING STORM STRUCTURE/PIPING DATA

EX-1
existing catch basin
grate elevation: 7.86'
invert elevation: 2.71'n
IE (S) = 2.71

PROPOSED STORM STRUCTURE/PIPING DATA

ST-1
TYPE "C" INLET
FDOIT INDEX NO. 232
GRATE = 7.95
IE (E) = 3.30

ST-2
140 LF OF 15" HDPE
@ 0.29% MIN. SLOPE

ST-3
TYPE "C" INLET
FDOIT INDEX NO. 232
GRATE = 8.50
IE (N) = 5.50
IE (E,W) = 2.90

ST-4
35 LF OF 15" HDPE
@ 0.29% MIN. SLOPE

ST-5
TYPE "C" INLET
FDOIT INDEX NO. 232
GRATE = 7.40
IE (N,W) = 2.80 (N,SW)

ST-6
125 LF OF 15" HDPE
@ 0.07% MIN. SLOPE

GRADING PLAN LEGEND

- T.O.I TOP OF ISLAND
- EL ELEVATION
- TYP TYPICAL
- CO CLEANOUT
- IE INVERT ELEVATION
- SE SUMP ELEVATION
- EXISTING ELEVATION
- PROPOSED PAVEMENT ELEVATION
- DITCH BOTTOM INLET
- CURB INLET
- FFE FINISH FLOOR ELEVATION
- RCP REINFORCED CONCRETE PIPE
- ST-23 STORM SEWER STRUCTURE NUMBER
- EROSION CONTROL
- HP HIGH POINT
- MEG MATCH EXISTING GRADE
- DS BUILDING DOWN SPOUT
- 12" OR GREATER STORMWATER PIPE
- LESS THAN 12" STORMWATER PIPE
- PROPOSED SURFACE STORMWATER FLOW
- DIRECTION OF PIPE FLOW
- TOP OF SIDEWALK/CURB
- EDGE OF PAVEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR

PAVING AND GRADING GENERAL NOTES

- SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
- SEE SITE PLAN SHEET FOR SITE DATA.
- SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
- THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
- ALL DISTURBED AREAS WITHIN RIGHTS-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
- ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
- CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.
- BUILDING AND PEDESTRIAN SIDEWALKS AND PEDESTRIAN CROSSING TO HAVE A MAXIMUM OF 2.00% CROSS SLOPE AND 5.00% RUNNING SLOPE.
- ALL FINISHED LANDSCAPING TO HAVE A SLOPE NO MORE THAN 33.33% (1 TO 3) UNLESS OTHERWISE SPECIFIED.

CONTROL BENCHMARKS

PROJECT BENCHMARK: ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. NATIONAL GEODETIC SURVEY BENCHMARK NO. S 312; ELEVATION: 8.60'.

EROSION CONTROL MEASURE NOTES

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.



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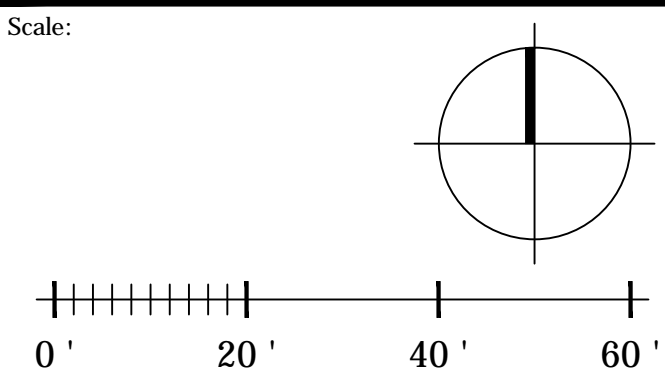
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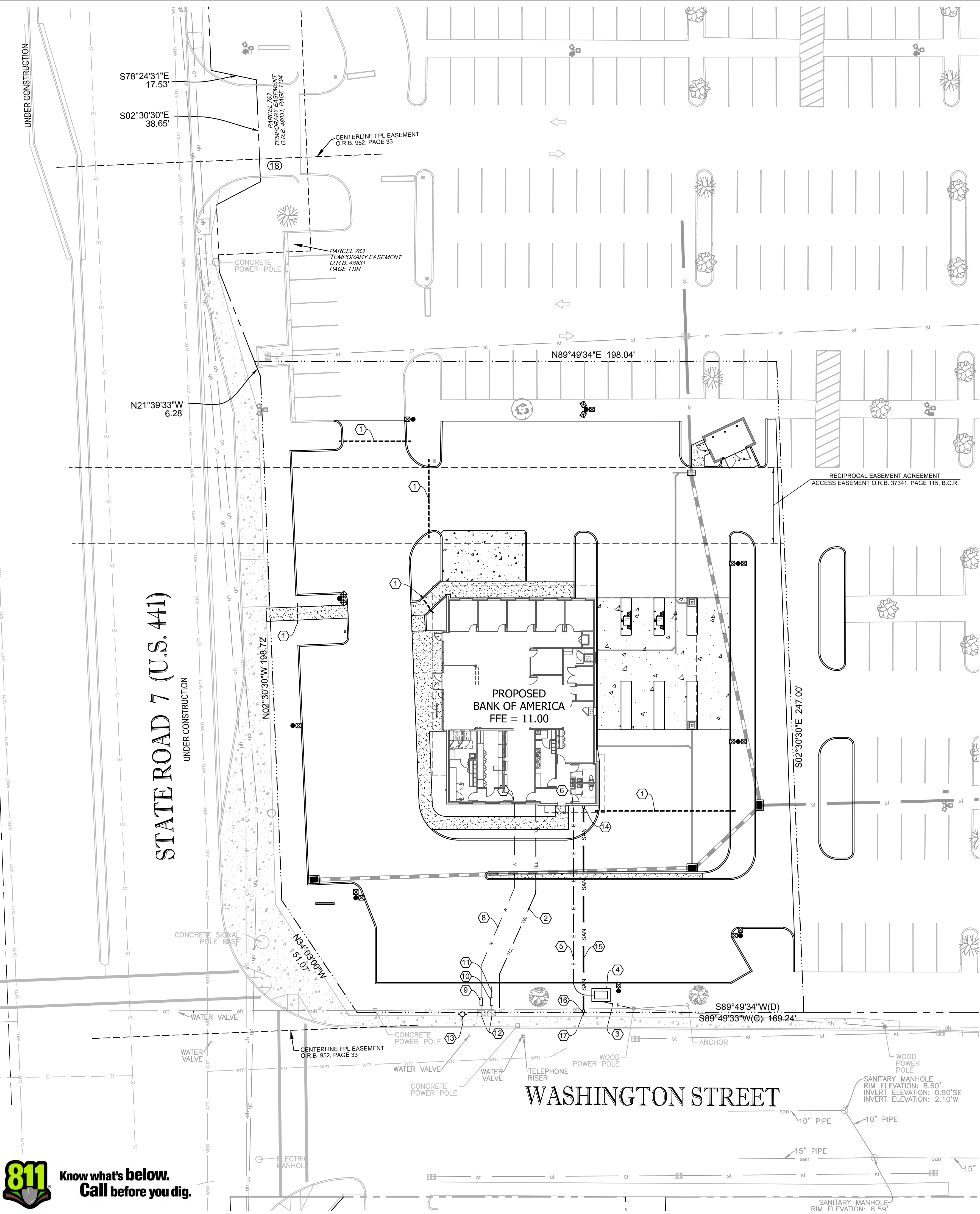
Scale
1" = 20'

Description
GRADING PLAN

C03.01



Plot Date: 8/11/2016 2:59:52 PM Filename: T:\10 Bank Of America\10-460.00 - G - Washington Park -NEC SR 7 And Washington Street, Hollywood, FL\CADD\Civil\10-460.00 ED.dwg User: Victor Chapman Device: None PenTable: ----

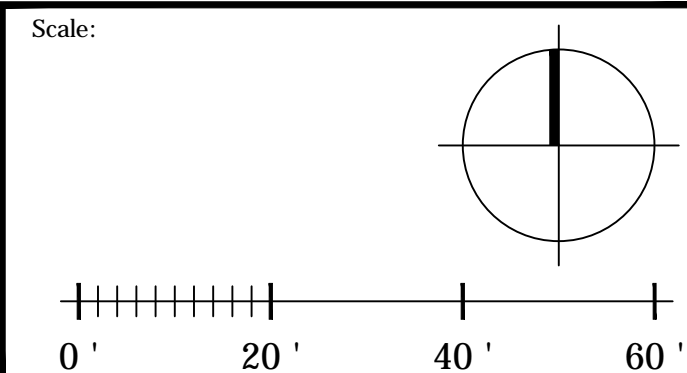


GENERAL	
1	6" PVC - SPARE CONDUITS
TELEPHONE	
2	GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO (2) 4-INCH CONDUITS. UTILIZE WIDE SWEEPS AND A MINIMUM 24-INCH COVER IS REQUIRED TO CENTER LINE OF CONDUITS. TELEPHONE CONDUIT WITH STRING. STUB UP 6" @ ALL ENDS AND CAP FOR FUTURE CONNECTION.
ELECTRIC	
3	UNDERGROUND PRIMARY FEEDER WITH HAND HOLE. CONDUITS AND CONDUCTOR PROVIDED AND INSTALLED BY GULF POWER. COORDINATE WITH POWER COMPANY FOR MINIMUM BURIAL DEPTH.
4	CONCRETE TRANSFORMER PAD, CONTRACTOR TO COORDINATE WITH POWER PROVIDER
5	SERVICE ENTRANCE CONDUCTORS, CONTRACTOR TO COORDINATE WITH POWER PROVIDER
6	MAIN ELECTRIC SERVICE DISCONNECT (SEE ARCHITECTURAL PLANS)
WATER	
7	BUILDING CONNECTION (SEE ARCHITECTURAL PLANS)
8	80 LF - 1.5-INCH SCH 80 PVC OR POLY PIPE
9	1½-INCH POTABLE WATER BACKFLOW PREVENTER
10	1-INCH IRRIGATION BACKFLOW PREVENTER
11	IRRIGATION POINT OF CONNECTION
12	WATER METERS AND LATERALS EXTEND TO PROPERTY LINE. REFER TO HOLLYWOOD SHOPPING PLAZA PLANS PREPARED BY KIMLEY HORN.
13	NEW FIRE HYDRANT. REFER TO HOLLYWOOD SHOPPING PLAZA PLANS PREPARED BY KIMLEY HORN.
SANITARY	
14	4-INCH SEWER STUBOUT FROM BUILDING (BY PLUMBING CONTRACTOR). REFER TO BUILDING PLUMBING PLAN FOR EXACT LOCATION. CONSTRUCT SEWER CLEANOUTS. CLEANOUT TOP ELEVATION SHALL MATCH PROPOSED GRADE ELEVATION. INV. EL 8.00
15	80 LF - 4" SDR26 @ 1.0% MIN. SLOPE
16	CONSTRUCT SEWER CLEAN OUT - IE. 7.20 BY KIMLEY-HORN
17	SANITARY SERVICE EXTEND TO PROPERTY LINE. REFER TO HOLLYWOOD SHOPPING PLAZA PLANS PREPARED BY KIMLEY HORN.
ESTIMATED DEMANDS	
SEWER = 0.1(BLDG. SQ FT) = 0.1(4520) = 452 GPD	
WATER = 0.1(BLDG. SQ FT) = 0.1(4520) = 452 GPD	

LEGEND	
TYP	TYPICAL
H/C	HANDICAP
R	RADIUS
R/W	RIGHT-OF-WAY
	DIRECTIONAL ARROW
	HANDICAP PARKING
	PROPOSED CONCRETE 6" OR LESS
	PROPOSED CONCRETE GREATER THAN 6"
	NEW ASPHALT PAVEMENT
	UTILITY EASEMENT
	PROPERTY/LEASE LINE
	PROPOSED SANITARY SERVICE
	PROPOSED GREASE WASTE
	PROPOSED FORCE MAIN
	PROPOSED WATER
	PROPOSED ELECTRIC SERVICE
	PROPOSED GAS SERVICE
	PROPOSED TELEPHONE SERVICE
	EXISTING SANITARY PIPE
	EXISTING WATER PIPE
	EXISTING UNDERGROUND POWER
	EXISTING OVERHEAD WIRE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING CLEANOUT

UTILITY AUTHORITIES	
STORM SEWER PROVIDED BY:	ELECTRIC & GAS PROVIDED BY:
BROWARD COUNTY EPD, 1 N. UNIVERSITY DRIVE HOLLYWOOD, FL 33301 (954) 321-3302 CONTACT: JAMES RESTA	FLORIDA POWER & LIGHT 4000 DAVIE ROAD EXTENSION HOLLYWOOD, FL 33024 (954) 442-6347 CONTACT: JAMES TALLEY
SANITARY SEWER PROVIDED BY:	TELEPHONE PROVIDED BY:
CITY OF HOLLYWOOD 2600 HOLLYWOOD BLVD. HOLLYWOOD, FL 33022 (954) 321-3302 CONTACT: JAMES RUSNAK	AT&T 8601 W. SURPRISE BLVD., ROOM 2106 PLANTATION, FL 33322 (954) 476-6125 CONTACT: BILL SERPE
WATER PROVIDED BY:	CABLE PROVIDED BY:
CITY OF HOLLYWOOD 2600 HOLLYWOOD BLVD. HOLLYWOOD, FL 33022 (954) 321-3302 CONTACT: JAMES RUSNAK	COMCAST CABLE 2601 SW 145TH AVENUE MIRAMAR, FL 33027 (954) 447-8405 CONTACT: LEONARD MAXWELL-NEWBOLD

UTILITY NOTES	
1.	CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.
2.	CONTRACTOR SHALL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
3.	CONTRACTOR SHALL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
4.	CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
5.	CONTRACTOR TO INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO PROPERTY LINE) AND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OPERATIONS.
6.	SEE SITE BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.
7.	SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL UTILITY NOTES. SEE GREENMOUNT PLAZA CONSTRUCTION PLANS (MASS GRADING AND UTILITY PLANS) FOR INFORMATION RELATED TO OVERALL UTILITY PLAN.
8.	ALL CROSSINGS OF WATER AND SEWER LINES MUST MAINTAIN PROPER CLEARANCE (SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS).
9.	CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY/TOWNS STANDARD CONSTRUCTION AND UTILITY REQUIREMENTS.
10.	TREES SHALL NOT BE PLANTED WITHIN 10 FEET FROM THE WATER MAIN.
11.	ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.



Bank of America

851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.:
DESIGNATION:
NRSP VERSION:
BULLETIN:

FLW-C66
SIGNATURE
2.0
2-2016

M. Arthur Gensler Jr. &
Associates Inc.

Gensler
LIC. NO. AA0002837

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Tel 415.433.3700
Fax 415.836.4599

Infinity Engineering Group, LLC.
Attn: Brett Nevard
1208 E. Kennedy Blvd. Suite 230
Tampa, FL 33602
Tel 813.434.4770
Fax 813.445.4211

△	Date	Description
1	08.15.16	ISSUE FOR TAC SUBMISSION

Seal / Signature

NISIT SAPPAKHAO, P.E.
FL REG. NO. 64085

DATE

Project Name

BAC/GU WASHINGTON PARK

Project Number

10-460.00

Scale

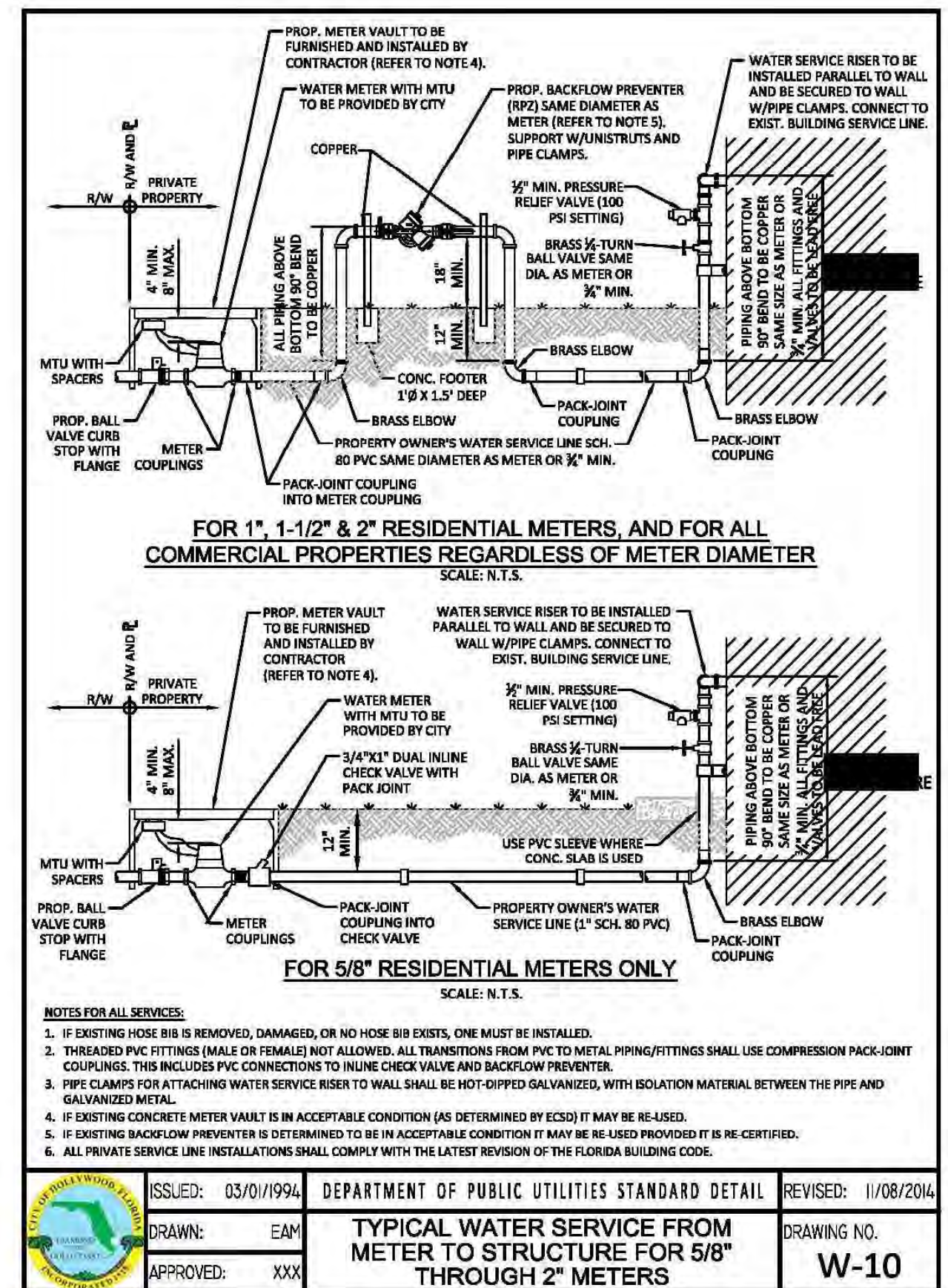
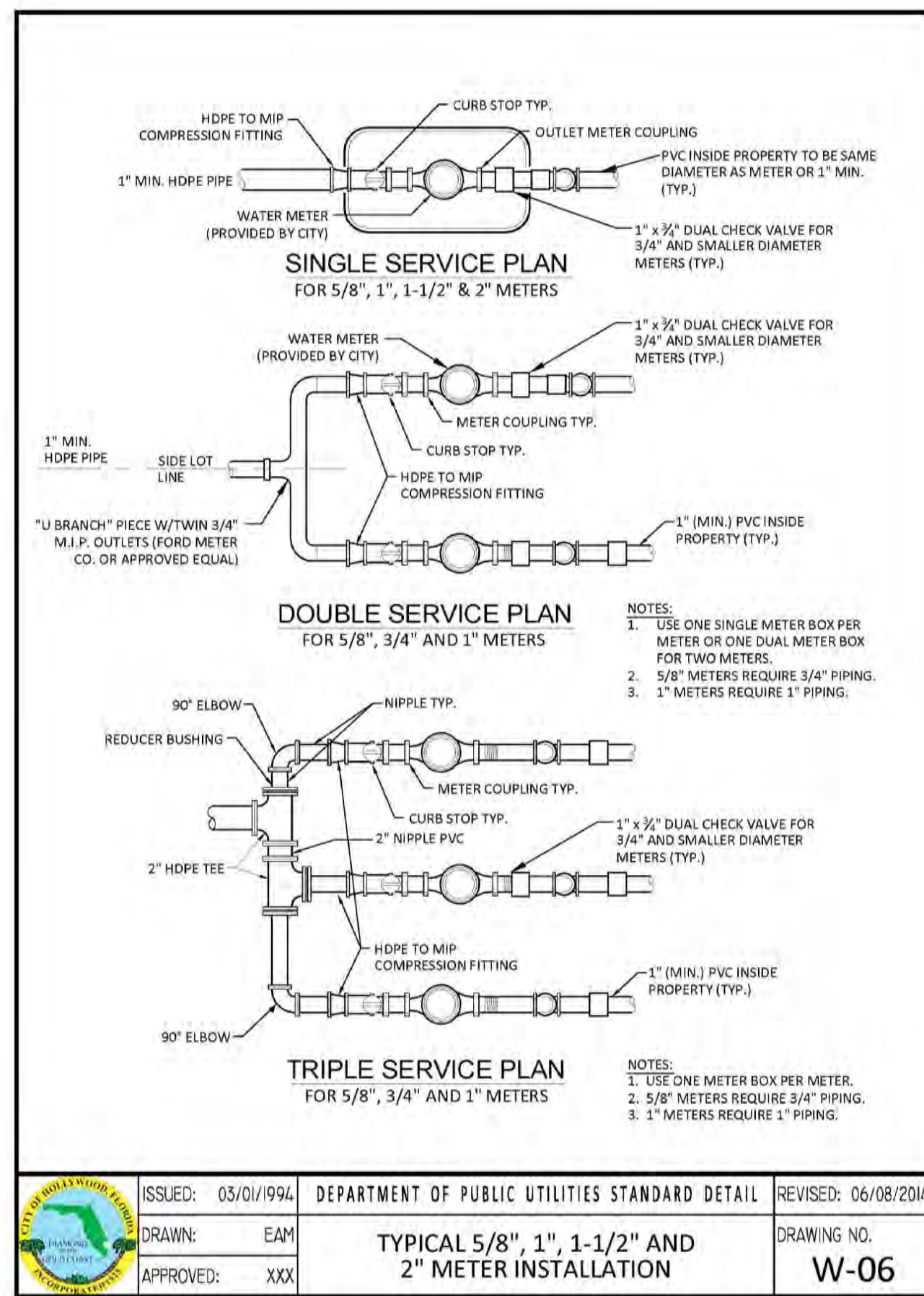
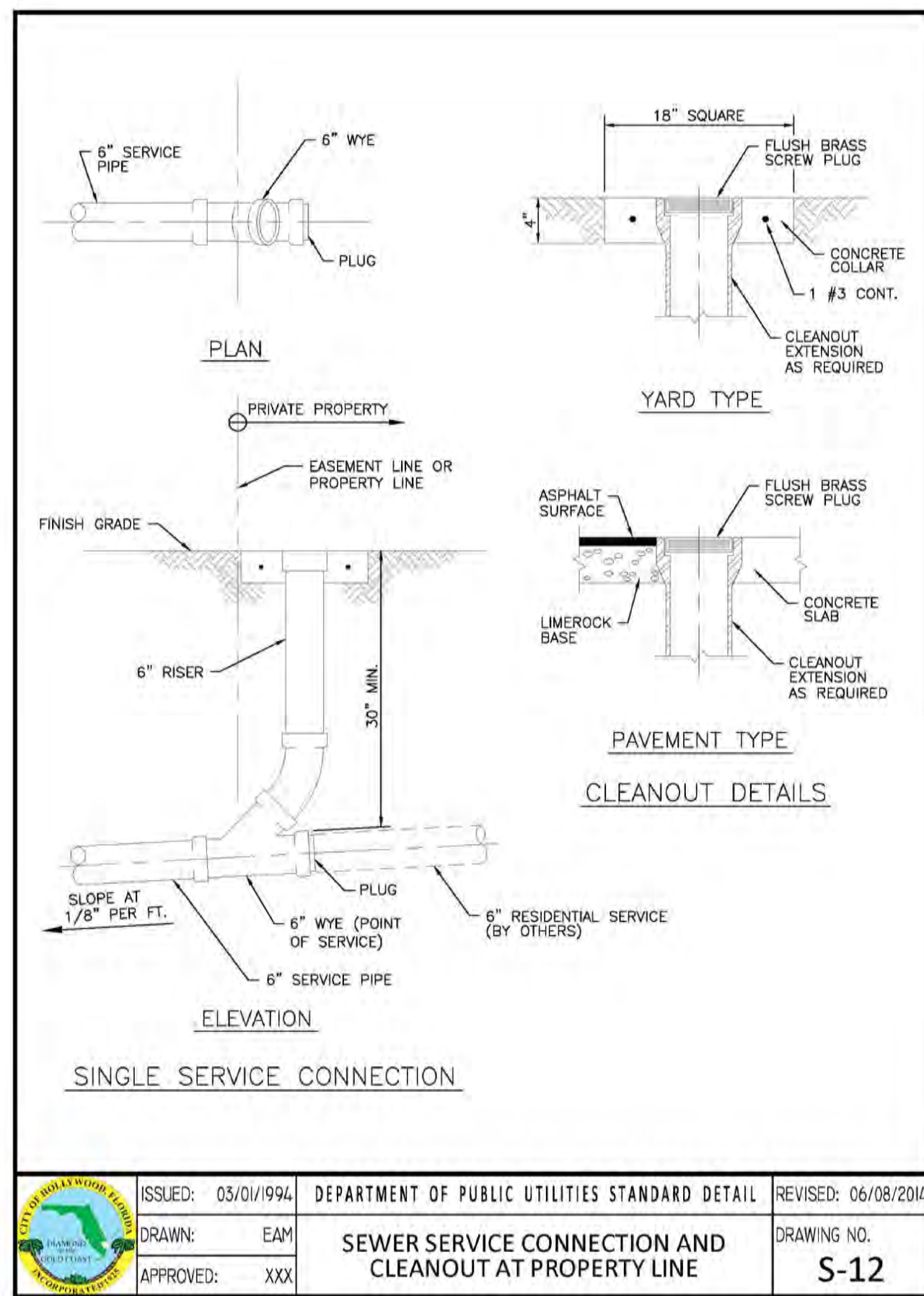
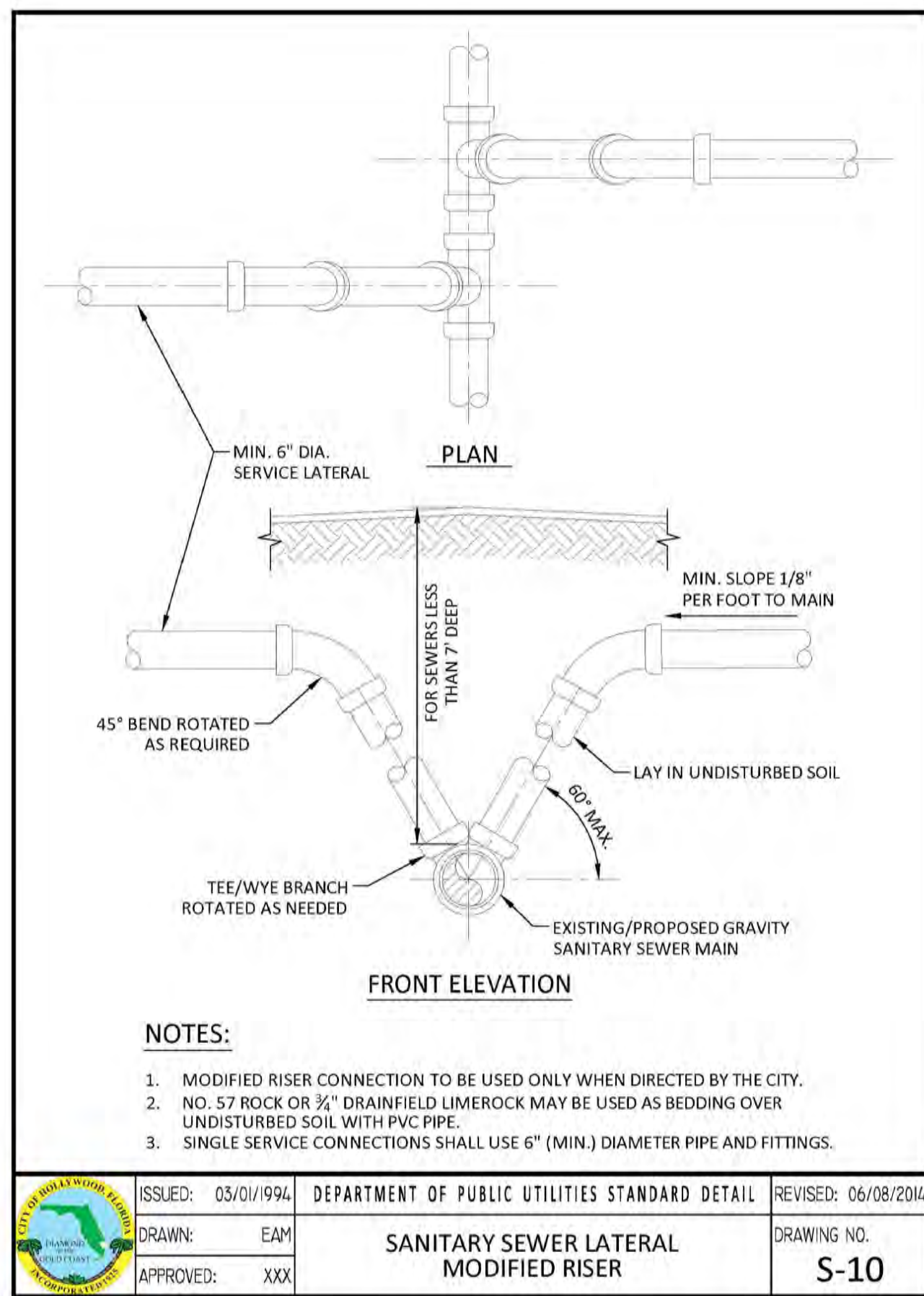
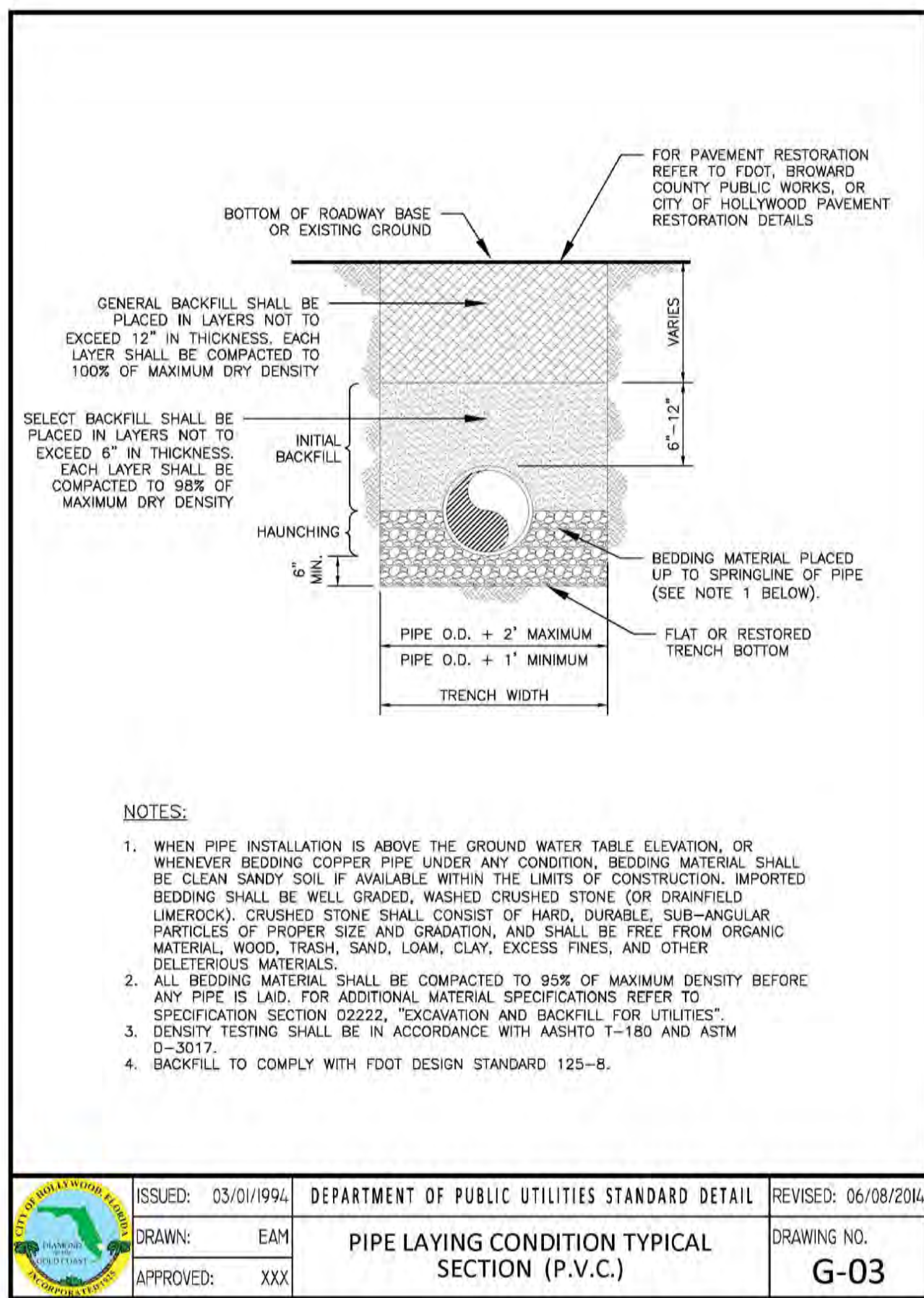
1" = 20'



Description

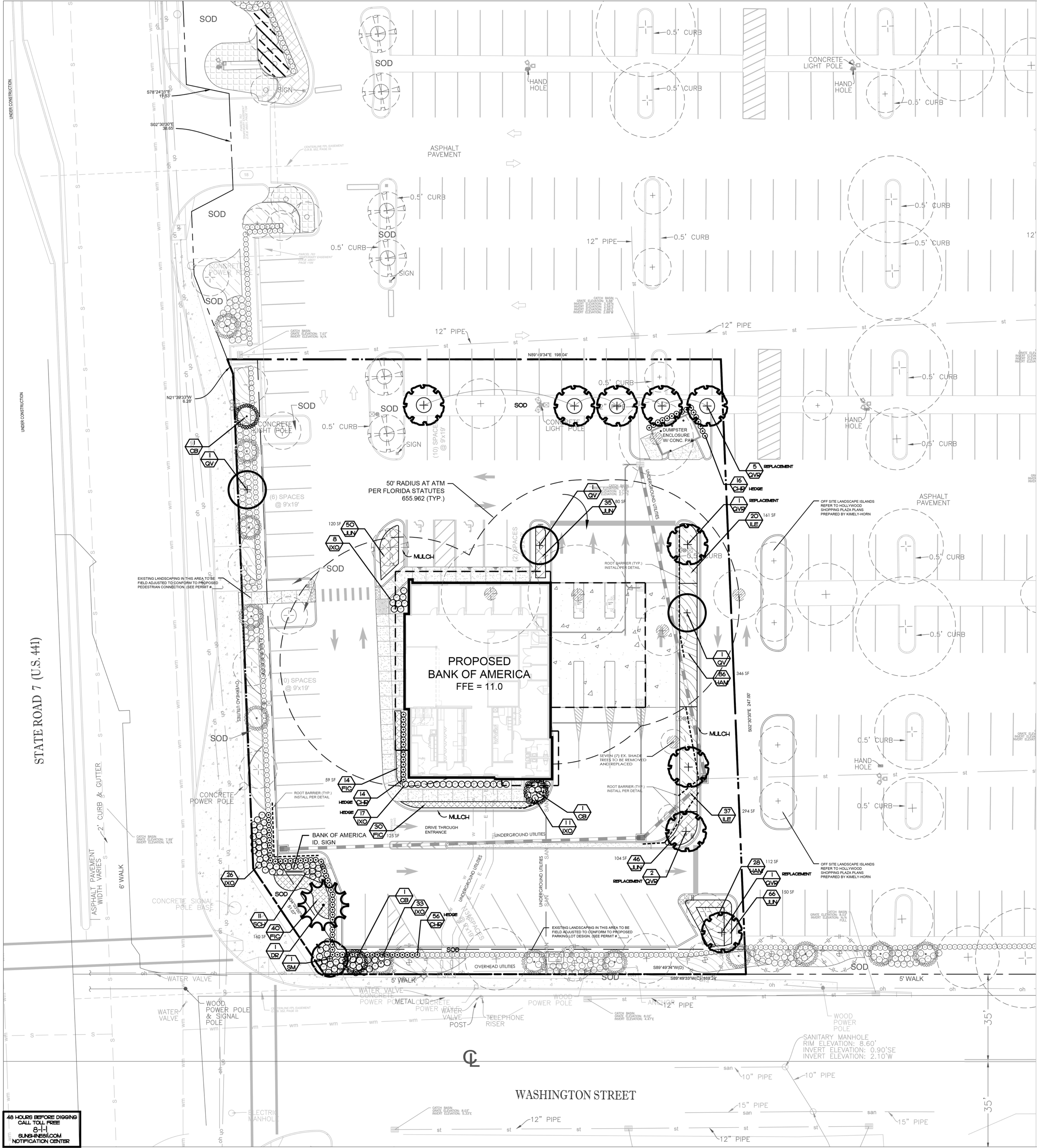
UTILITY PLAN

C04.01

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 Bank of America		
851 S STATE RD 7 HOLLYWOOD, FL 33023		
SERIAL NUM.: DESIGNATION: NRSP VERSION: BULLETIN:	FLW-C66 SIGNATURE 2.0 2-2016	
M. Arthur Gensler Jr. & Associates Inc.		
Gensler		
LIC. NO. AA0002837		
<u>Main Office</u> 2 Harrison Street Suite 400 San Francisco CA 94105		
Tel 415.433.3700 Fax 415.836.4599		
 INFINITY		
Infinity Engineering Group, LLC. Attn: Brett Nevard 1208 E. Kennedy Blvd. Suite 230 Tampa, FL 33602 Tel 813.434.4770 Fax 813.445.4211		
△	Date	Description
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Seal / Signature		
NISIT SAPPARKHAO, P.E. FL REG. NO. 64085		
_____ DATE		
Project Name		
BAC/GU WASHINGTON PARK		
Project Number		
10-460.00		
Scale		
Description		
CITY OF HOLLYWOOD DETAILS		
C12.03		



Landscape Requirements (OUTPARCEL ONLY)

TOTAL PARCEL AREA	47,805 SF	1.10 ACRES
VEHICLE USE AREA (VUA)	20,025 SF	0.46 ACRES
	REQUIRED	PROVIDED
LANDSCAPE BUFFERS 8' WIDE + SOUTH PROPERTY LINE - 11,986 LF		
TREES + 1 TREE PER 50 LF	4 TREES	6 TREES
14' TALL SHRUBS	N/A	271 SHRUBS
WEST PROPERTY LINE - 246 LF		
TREES + 1 TREE PER 50 LF	5 TREES	6 TREES
24' TALL SHRUBS	N/A	394 SHRUBS
NORTH BUFFER EAST BUFFER	N/A	N/A
INTERIOR PARKING		
INTERIOR ISLANDS	1 90 SF/ISLAND	1 90 SF/ISLAND MIN.
1 TREE / ISLAND	1,000 SF	1,000 SF
VUA - 20,025 SF X 0.25 = 5,256 SF	6 TREES	6 TREES
1 TREE / 1,000 SF PERVIOUS	25 TREES	32 TREES
TOTAL ON-SITE TREES		
NATIVE SPECIES REQUIREMENT		
60% NATIVE TREES		
PROPOSED X OAO + REQUIRED	20 TREES	32 TREES (100%)
12 TREES X OAO = 20 TREES REQUIRED		
40% NATIVE SHRUBS		
PROPOSED X OAO + REQUIRED	474 SHRUBS	600 SHRUBS (15%)
183 SHRUBS X OAO = 474 SHRUBS REQ.		
SPECIES MIX		
25 TREES REQUIRED - MINIMUM 4 SPECIES	4 SPECIES	4 SPECIES
*** PLEASE NOTE THE REQUIRED TREES CALCULATIONS ABOVE DO NOT INCLUDE PROPOSED UNDERSTORY TREES.		
THE LANDSCAPE CALCULATIONS INCLUDE EXISTING PLANT MATERIAL INSTALLED UNDER A SEPARATE PERMIT.		

Plant List

SYM	BOTANICAL NAME/COMMON NAME	HEIGHT/SPREAD	SPECIFICATION	NATIVE	SITE CLASS	TOTAL
CB	CALOPHYLLUM BRASILIENSE BRAZILIAN BEAUTYLEAF	8' - 10' HT, 6' SPR.	15 GALL. MIN, 15' CAL. SINGLE TRUNK, TREE FORM	N	Y	3
DR	DELONIX REGIA ROYAL POINCIANA	12' - 14' HT, 6' SPR.	STRAIGHT TRUNK, FG. BDB, 2' CAL, 5' CT, MIN.	Y	Y	1
QV	QUERCUS VIRGINIANA LIVE OAK	12' - 14' HT, 6' SPR.	FIELD GROWN, BDB, 2' CAL, 5' CT, MIN.	Y	Y	3
QVR	QUERCUS VIRGINIANA REPLACEMENT LIVE OAK	18' - 8' HT, 6' SPR.	FIELD GROWN, BDB, 5' CAL, 8' CT, MIN.	Y	Y	9
SM	SWITENIA MAHAGONI MAHOGANY	12' - 14' HT, 6' SPR.	2' CAL. STRAIGHT SINGLE TRUNK, FULL.	Y	Y	1
CHR	CHRYSOBALANUS ICACO COCOPLUM	24' X 20'	3 GALL, 24' O.C. FULL TO BASE	Y	Y	86
FIC	FICUS MICROCARPA 'GREEN ISLAND' GREEN ISLAND FICUS	14' X 14'	3 GALL, 24' O.C. FULL TO BASE	N	N	84
HAM	HAMELIA PATENS 'COMPACTA' DWARF FIREBUSH	16' X 16'	3 GALL, 24' O.C. FULL TO BASE	Y	Y	114
IIE	ILEX VOMITORIA 'SHILLINGS' YALPON HOLLY	30' X 30'	7 GALL, 36' O.C. FULL TO BASE	Y	Y	57
IKO	IKORA 'NORA GRANT' NORA GRANT IKORA	20' X 20'	3 GALL, 30' O.C. FULL TO BASE	N	Y	94
JUN	JUNIPERUS HORIZONTALIS 'PARSONS' PARSONS JUNIPER	10' X 10'	1 GALL, 18' O.C. FULL TO BASE	N	Y	197
SOH	SCHEFFLERA ABOICOLA 'TRINETTE' VARIEGATED ARBICOLA	20' X 20'	3 GALL, 24' O.C. FULL TO BASE	N	Y	11
SOD	STENOTAPHRUM SECUNDATUM ST. AUGUSTINE FLORITAM GRASS	BAG - 2 CU. FT.	DISEASE FREE, LAID TIGHTLY EVEN UNIFORM	N	M	TO BE EST.

General Notes

- PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II AS PREPARED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL UTILITIES THAT ARE KNOWN TO THE LANDSCAPE ARCHITECT ARE LOCATED ON THE PLAN FOR EXISTING OR PROPOSED UTILITIES:
 - NO TREE SHALL BE PLANTED WHERE IT COULD CONFLICT WITH OVERHEAD POWER LINES AT MATURE HEIGHT.
 - NO TREE, SHRUB, HEDGE OR VINE SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER.
 - LARGE TREES (HEIGHT AT MATURITY OF MORE THAN 30 FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF 30 FEET FROM THE NEAREST OVERHEAD POWERLINE.
 - MEDIUM HEIGHT TREES (HEIGHT AT MATURITY BETWEEN 20 AND 30 FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET.
 - SMALL TREES (HEIGHT AT MATURITY OF LESS THAN 20 FEET) REQUIRE NO OFFSET.
 - PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FROND LENGTH PLUS 2 FEET FROM POWER LINES.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24 INCHES PRIOR TO LANDSCAPE INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL. BEFORE INSTALLATION BEGINS, EXISTING DRAINAGE PATTERN SHALL NOT BE ALTERED OR EFFECTED BY NEW LANDSCAPING.
- PLANT ALL TREES AND PALMS 2 INCH - 4 INCH ABOVE FINISHED GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP ONE-THIRD (1/3) OF THE WIDE BAGGERS ON ALL B & B MATERIAL.
- ALL HEDGES AND GROUNDCOVERS TO BE PLANTED LEAVING SPACE BETWEEN PLANTS AND BUILDINGS, WALLS AND FENCES.
- ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH A 3 INCH DEEP LAYER OF COMMERCIAL GRADE NON-CITYRUS MULCH. CONTRACTOR SHALL INSTALL A WOVEN WEED BARRIER FABRIC IN ALL SHRUB AND GROUNDCOVER BEDS.
- HAND DIGGING HOLES FOR INSTALLING PROPOSED TREES IN CLOSE PROXIMITY TO UTILITIES IS REQUIRED TO AVOID CONFLICTS.
- NEW SOD SHALL BE ARGENTINE BAHIA. THE QUANTITY SHOWN ON THE PLANT LIST IS AN ESTIMATE AND CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS TO BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- EXISTING AND PROPOSED LANDSCAPING IS TO BE MAINTAINED PER POLK COUNTY CLEAR SIGHT TRIANGLE REGULATIONS.
- THE LANDSCAPE ARCHITECT MAY INSPECT TREES AND SHRUBS WHETHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING. FOR COMPLIANCE WITH THE REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY, LANDSCAPE ARCHITECT RETAINS RIGHT TO FURTHER INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BULBS AND ROOT SYSTEMS, INSPECT INJURIES AND LATENT DEFECTS AND TO SELECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- NO SUBSTITUTIONS WILL BE ACCEPTABLE. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT AND POLK COUNTY TOGETHER WITH THE PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- IN THE EVENT OF DISCREPANCY, THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
- TREES TO BE STAKED ONLY IF REQUIRED AS DEEMED NECESSARY BY OWNER AND LANDSCAPE ARCHITECT TO ASSURE HEALTH, SAFETY AND WELFARE. STAKES BUT NOT LIMITED TO ALL CURVED CARBIDE, TALL ROTALS, CURVED AND LEANING SPECIMENS. ALL WOOD STAKES TO BE PAINTED FOREST GREEN. STAKING PROCEDURES SHALL BE STANDARD CONTRACTOR PRACTICES CREATING NO TRUNK DAMAGE OR FUTURE STRANGULATION OF TREES.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH "TERRA-SORB AG" OR AN APPROVED EQUAL, IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR THE RATE OF APPLICATION.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED WHICH MEETS OR EXCEEDS THE FULL REQUIREMENTS OF THE LAND DEVELOPMENT REGULATIONS. THE OWNER WILL SUPPLY ALL PROPOSED PLANT MATERIAL WITH 100% IRRIGATION AUTOMATIC COVERAGE (WITH 50% OVERLAP MINIMUM) WITHIN TEN DAYS OF INITIAL INSTALLATION.
- CONTRACTOR TO VERIFY, REPAIR, UPDATE AND INSTALL THE EXISTING IRRIGATION SYSTEM PER POLK COUNTY REGULATIONS TO CONFORM TO THE NEW LANDSCAPE DESIGN.

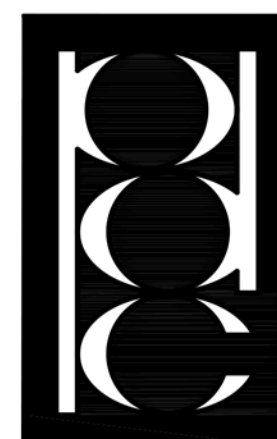
851 S STATE RD 7
HOLLYWOOD, FL 33023

SERIAL NUM.: FLW-C66
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LIC. NO. AA0002837

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Date	Description
1 08.15.16	ISSUE FOR TAC SUBMISSION

Seal / Signature

PATRICK D. CUNNINGHAM
FL REG. NO. LA0001669



Project Name

BAC/GU WASHINGTON PARK

Project Number

10-460.00

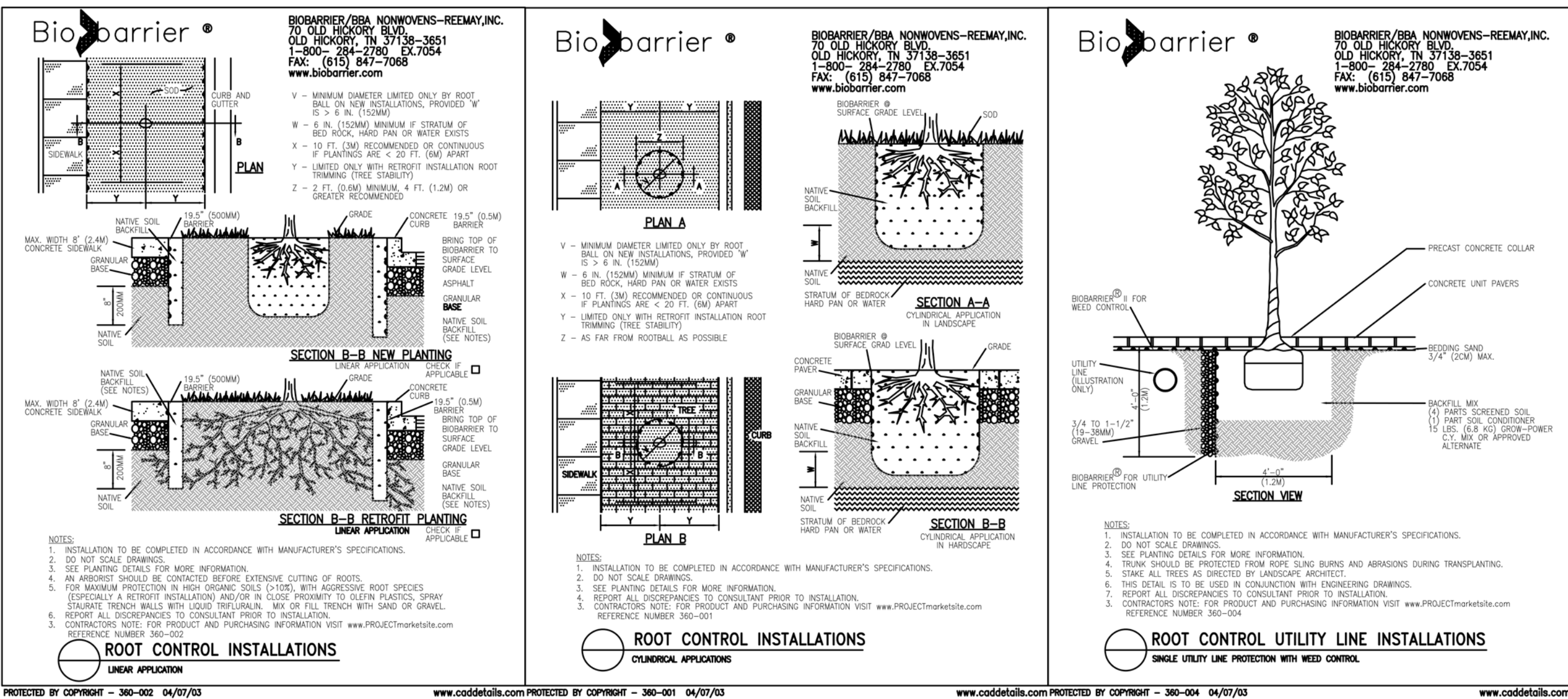
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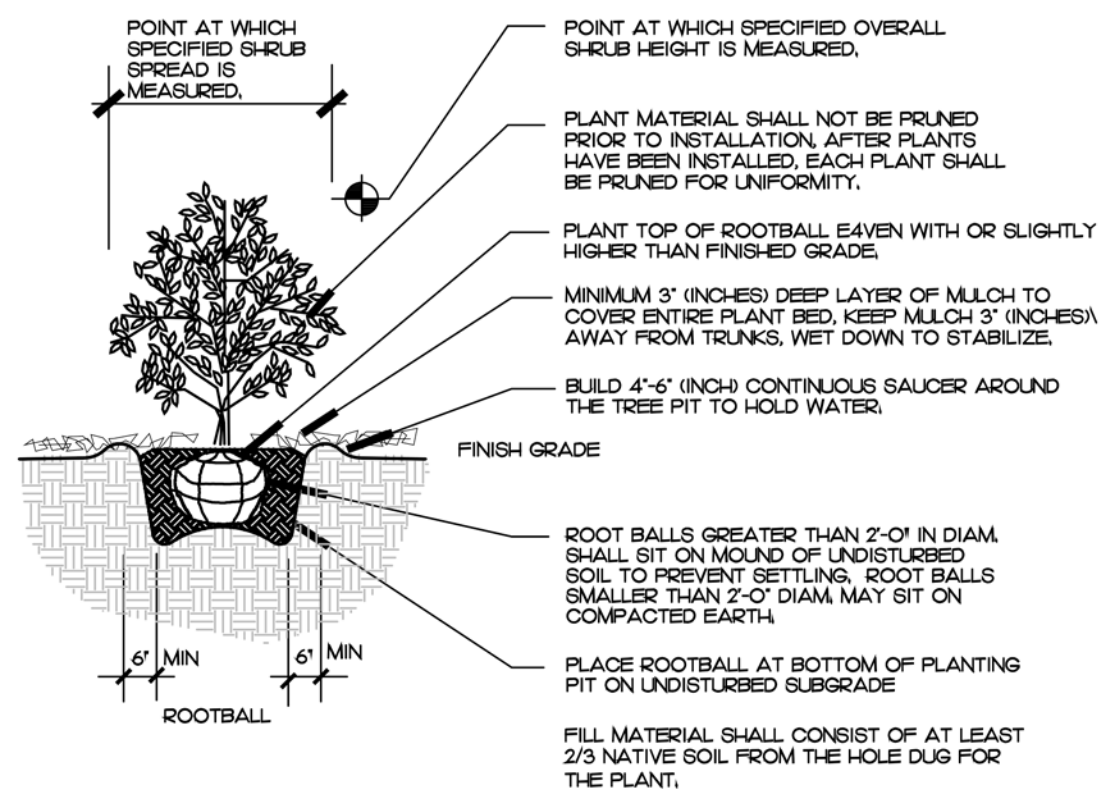
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LANDSCAPE PLAN

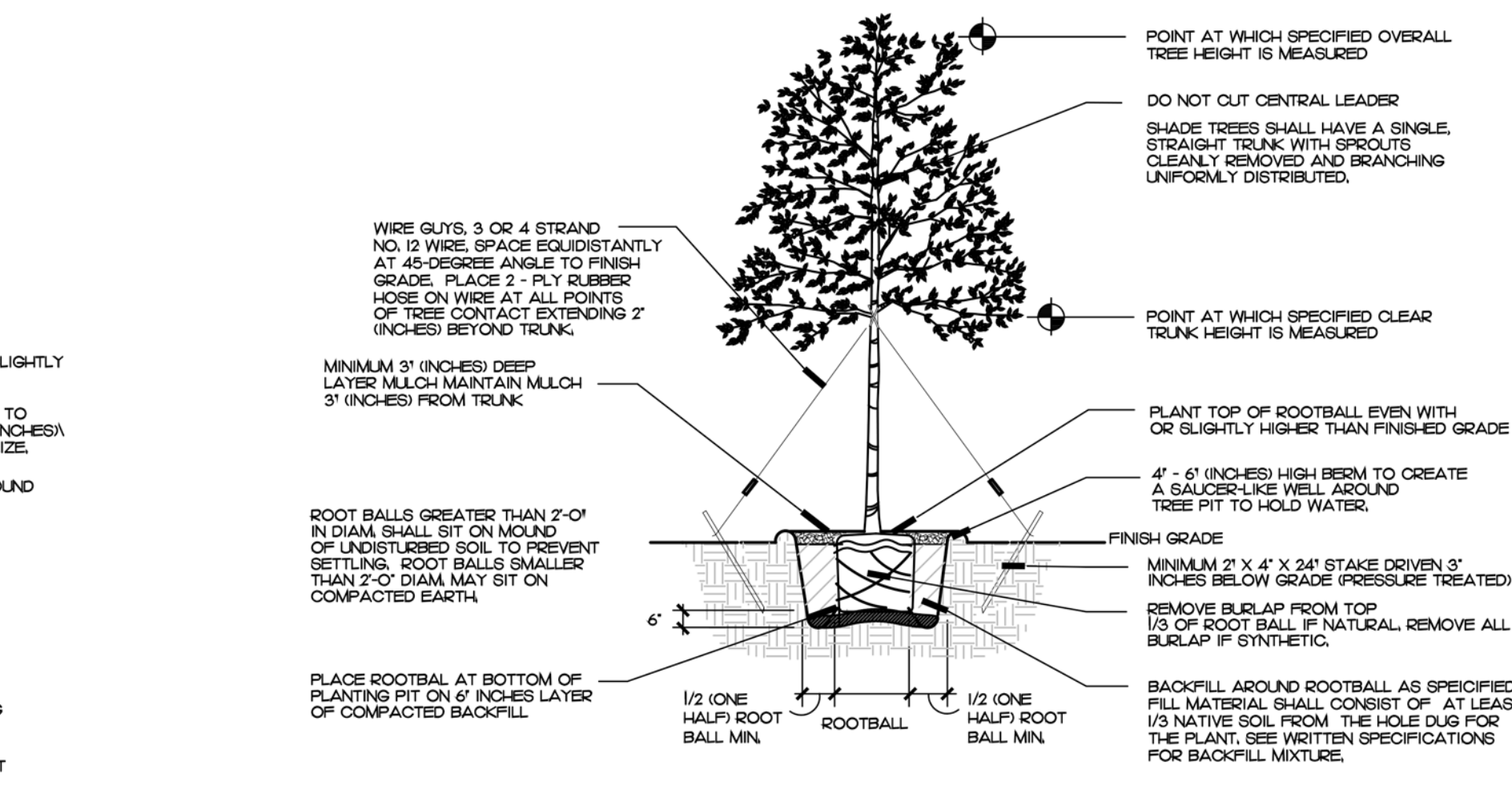
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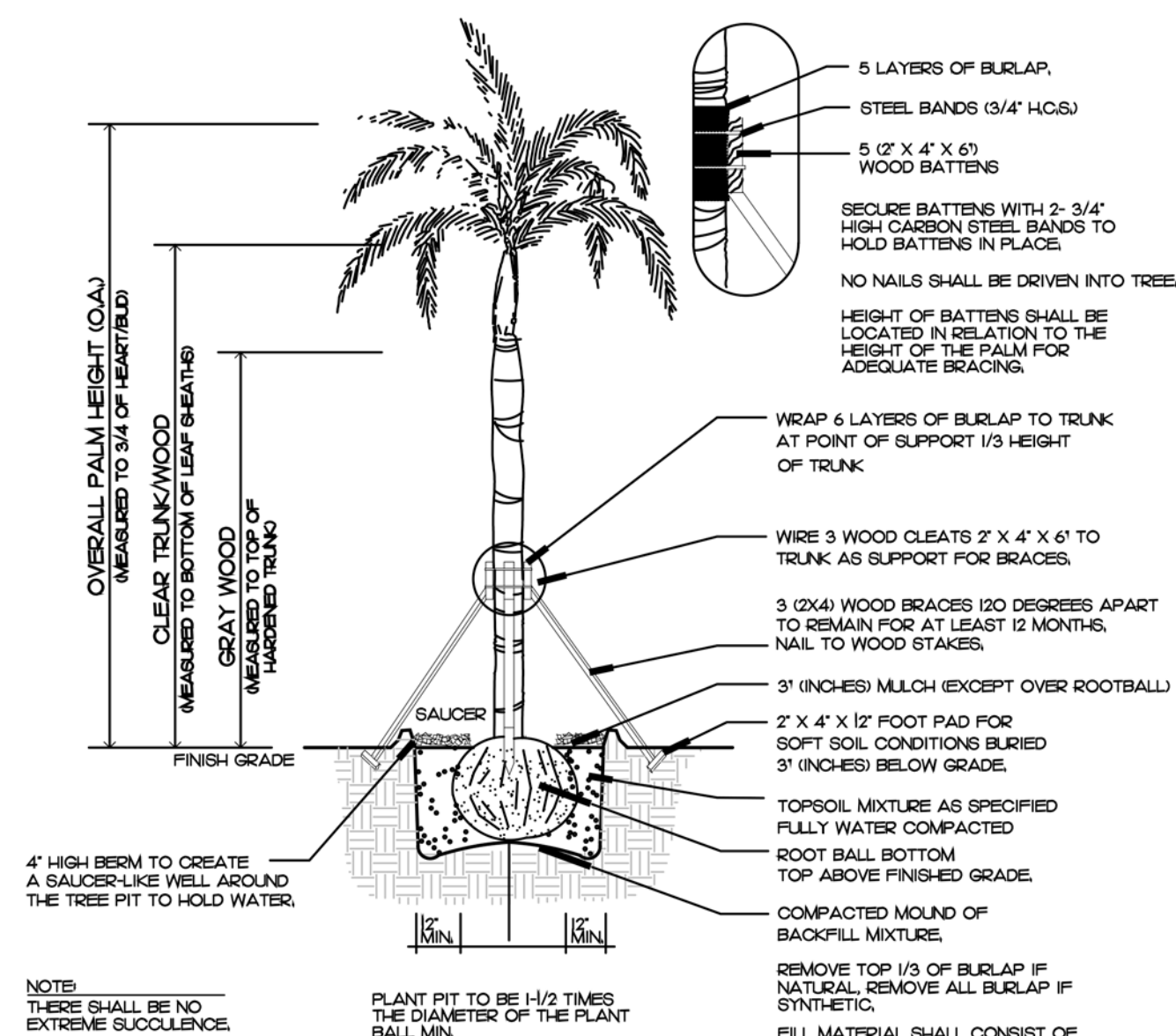
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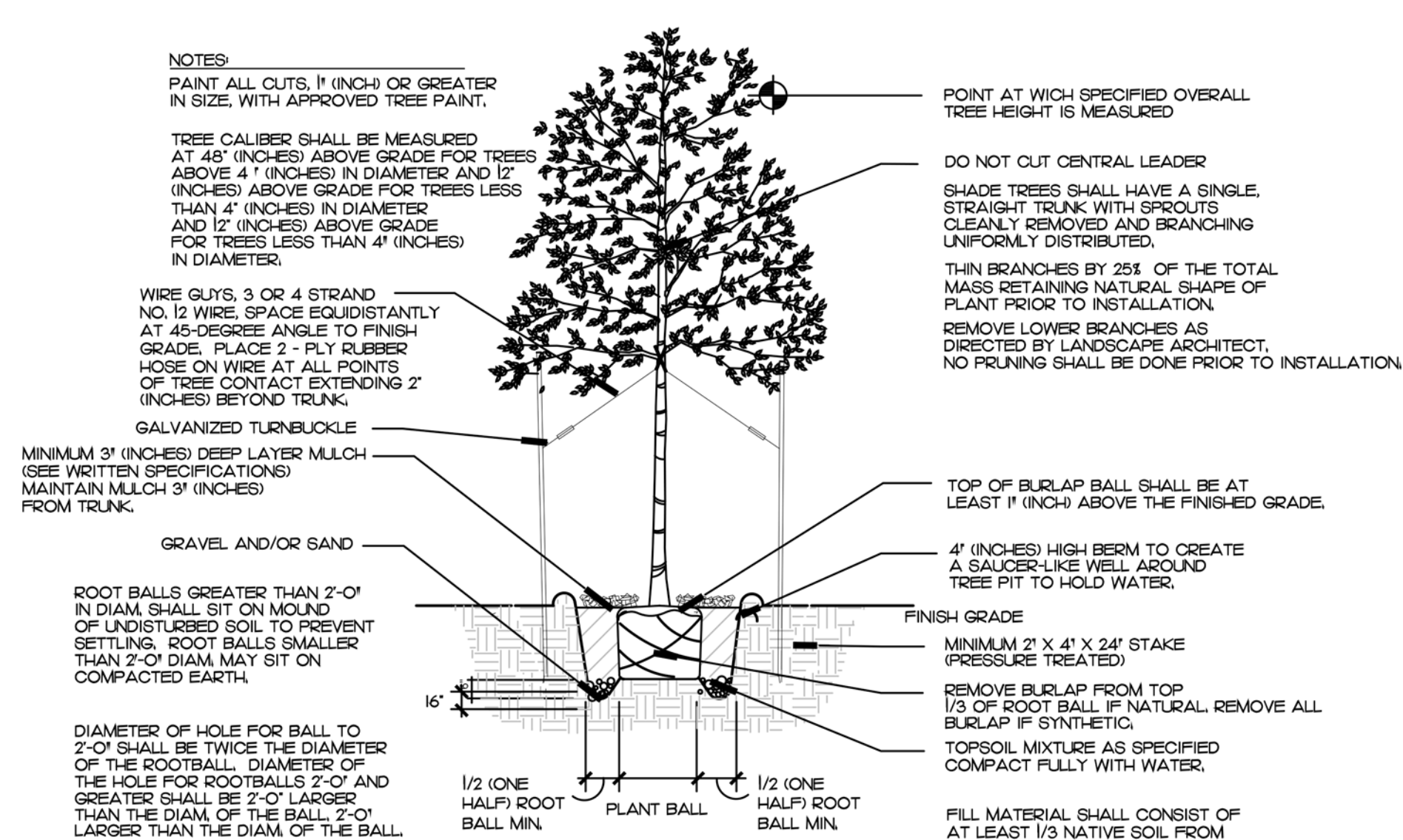
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NOT TO SCALE



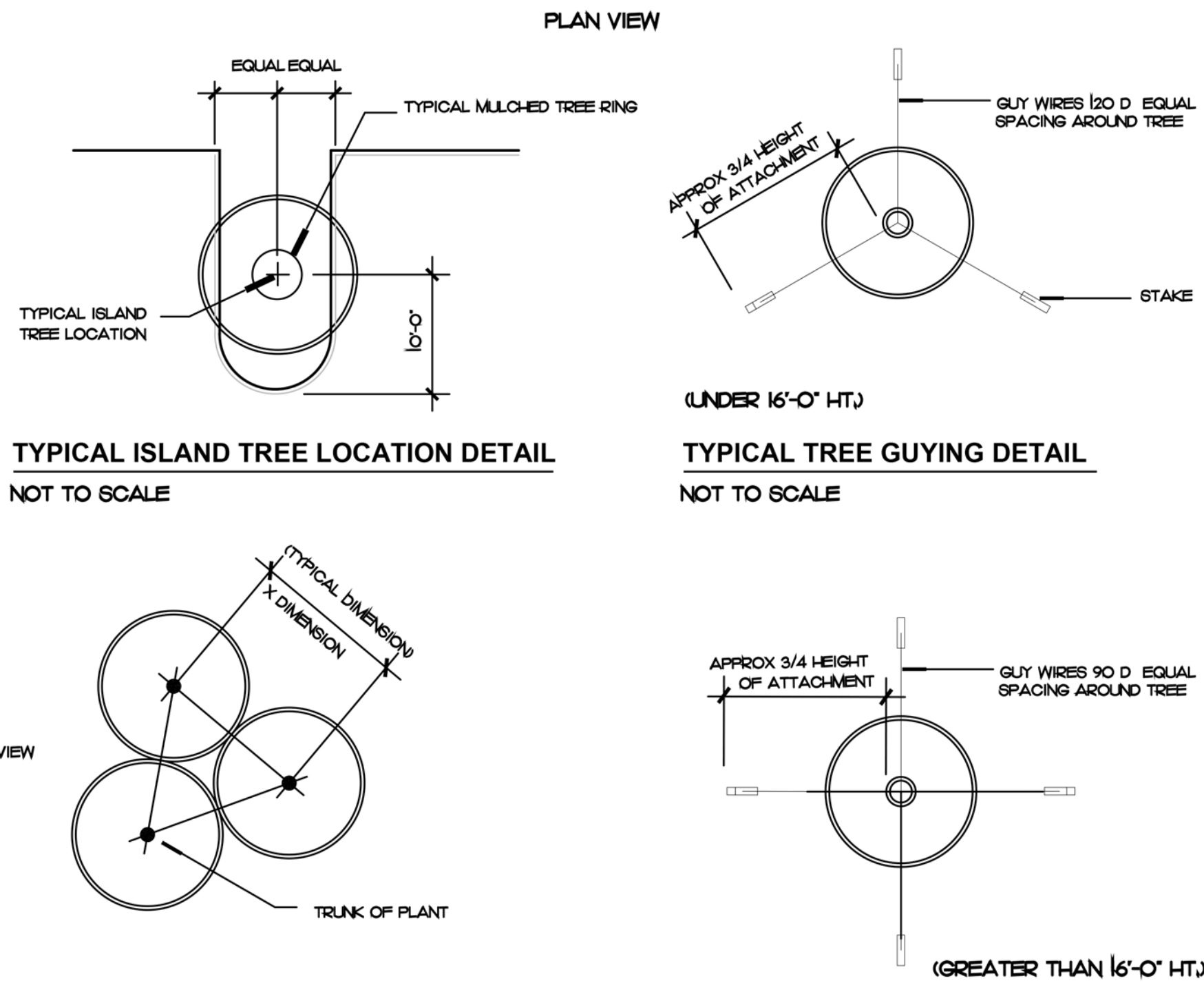
TYPICAL TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL PALM PLANTING DETAIL
NOT TO SCALE

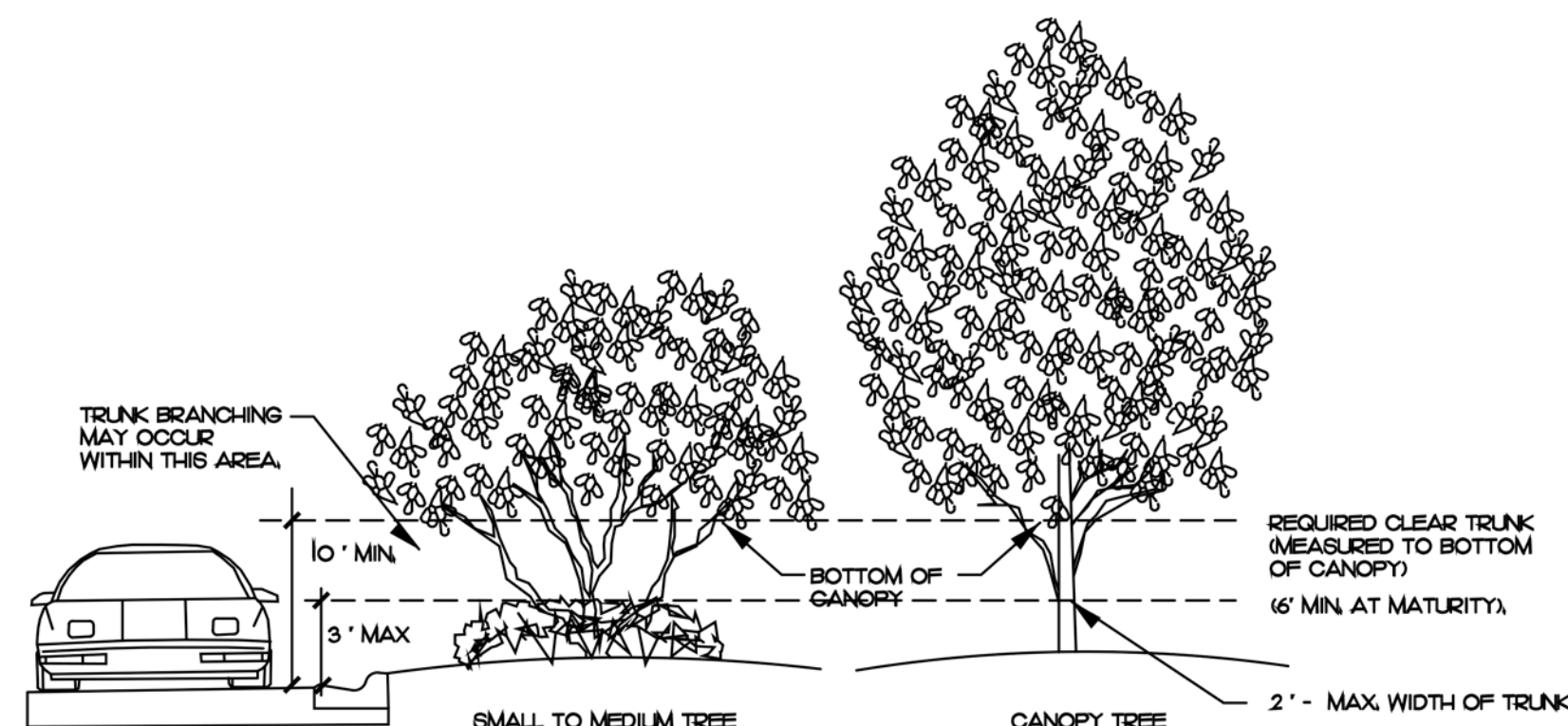


ALTERNATE LARGE TREE PLANTING DETAIL
NOT TO SCALE




TYPICAL PLANT SPACING DETAIL
NOT TO SCALE

TYPICAL TREE GUYING DETAIL
NOT TO SCALE STAKE

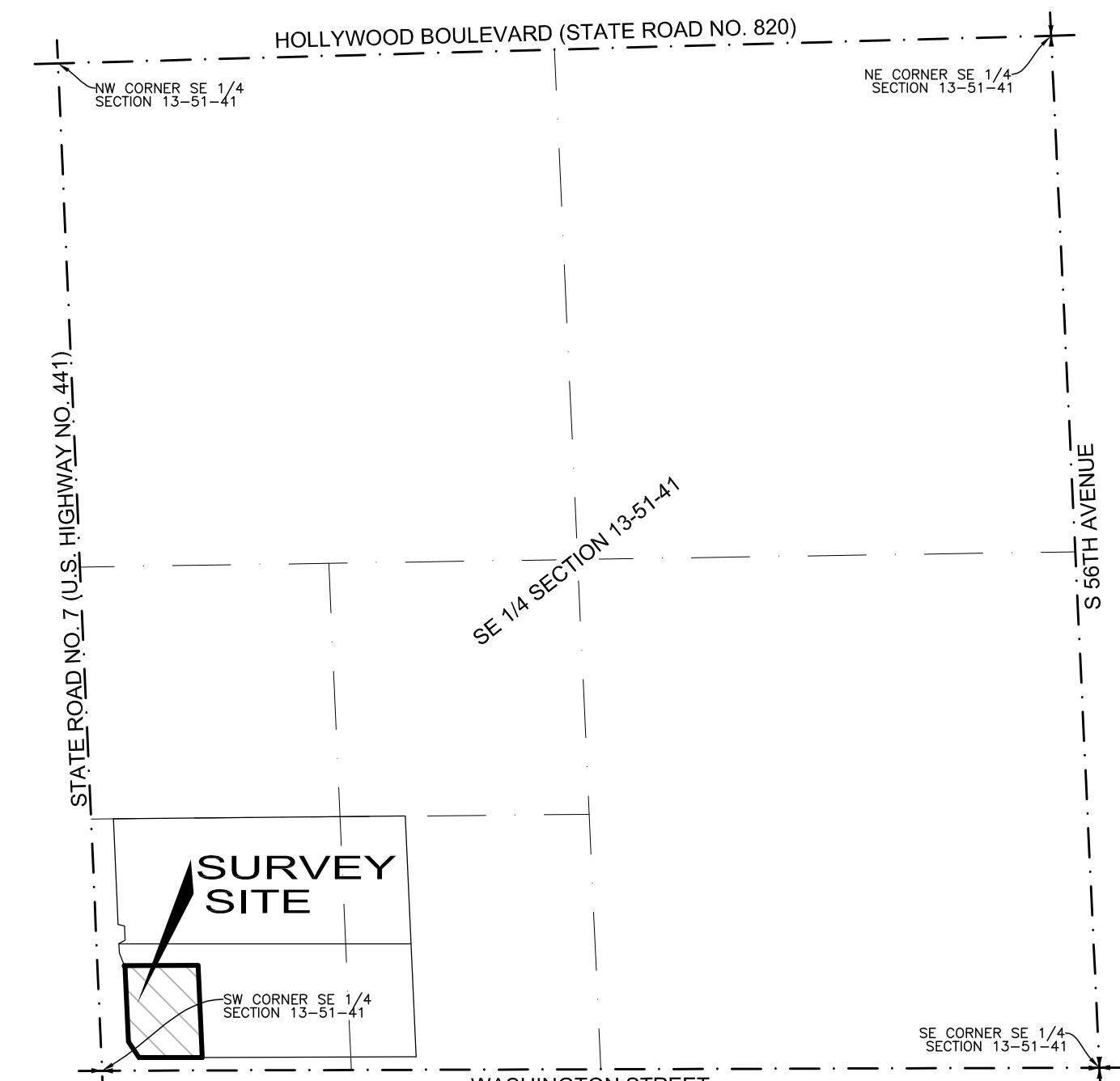


SITE CLEARANCE AT ATM
NOT TO SCALE

851 S STATE RD 7 HOLLYWOOD, FL 33023		
SERIAL NUM.: DESIGNATION: NRSP VERSION: BULLETIN:	FLW-C66 SIGNATURE 2.0 2-2016	
M. Arthur Gensler Jr. & Associates Inc.		
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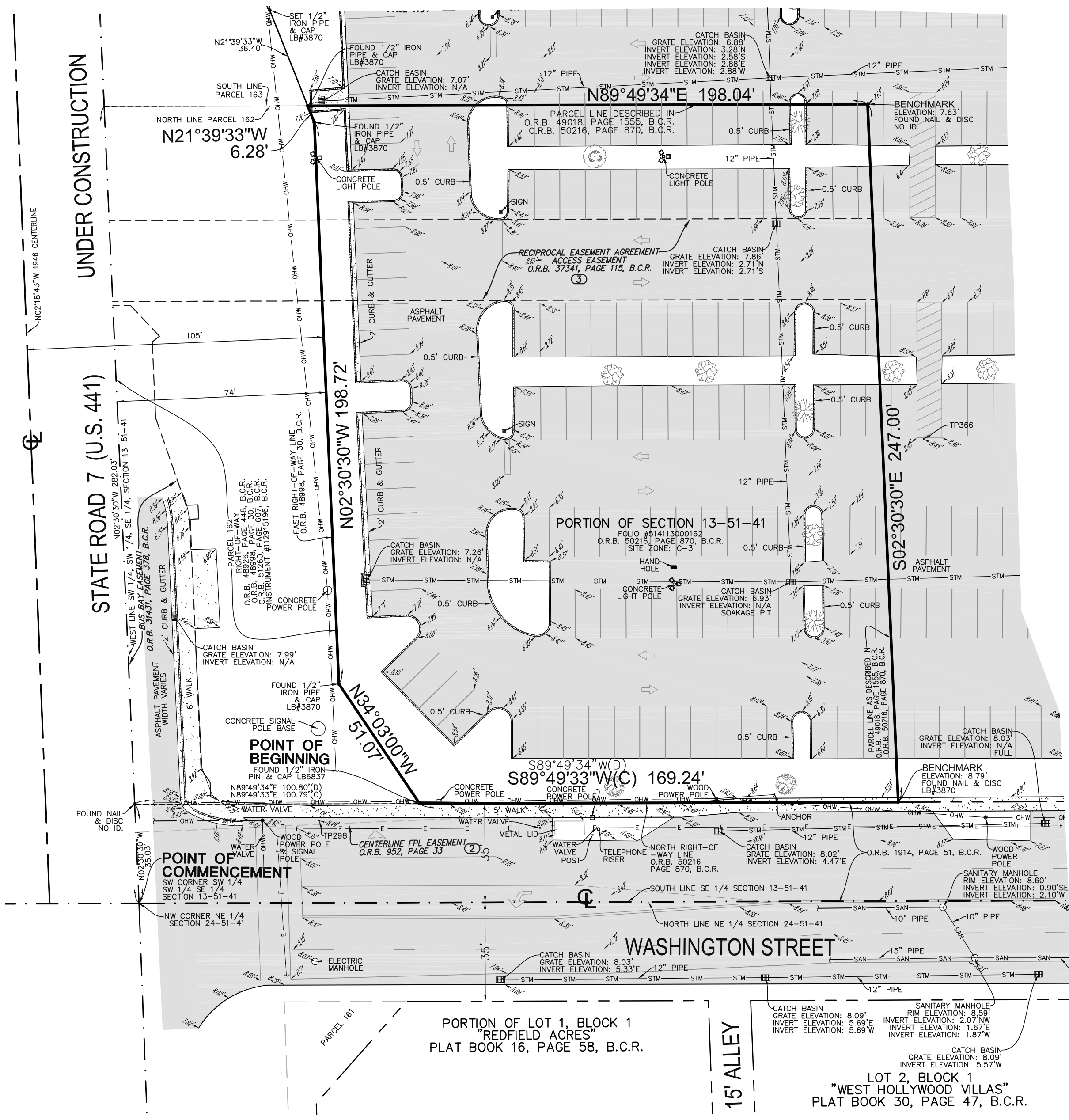
Seal / Signature	
<p>PATRICK D. CUNNINGHAM, FL REG. NO. LA0001669</p> 	
Project Name	
BACIGU WASHINGTON PARK	
Project Number	
10-460.00	
Scale	
NOT TO SCALE	
Description	
LANDSCAPE PLAN DETAILS	



VICINITY MAP
NOT TO SCALE

LEGEND

- CONCRETE
- ASPHALT PAVEMENT
- ELEVATION
- OVERHEAD WIRES
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- NON-VEHICULAR ACCESS LINE
- CENTERLINE
- O.R.B. OFFICIAL RECORDS BOOK
- B.C.R. BROWARD COUNTY RECORDS
- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
- FPL FLORIDA POWER & LIGHT COMPANY
- PALM TREE
- OAK TREE
- MAHOGANY TREE
- BLACK OLIVE TREE
- GUMBO LIMBO TREE
- UNIDENTIFIED TREE
- TITLE EXCEPTION



LEGAL DESCRIPTION:

THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 13; THENCE NORTH 02°30'30" WEST ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 A DISTANCE OF 35.03 FEET; THENCE NORTH 89°49'34" EAST, 100.80 FEET TO THE POINT OF BEGINNING; THENCE NORTH 34°03'00" WEST, 51.07 FEET ALONG THE EAST RIGHT-OF-WAY OF STATE ROAD NO. 7 (U.S. HIGHWAY 441) AS DESCRIBED IN THAT CERTAIN STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 48998, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 02°30'30" WEST, 198.72 FEET; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 21°39'33" WEST, 6.28 FEET; THENCE NORTH 89°49'34" EAST, 198.04 FEET; THENCE SOUTH 02°30'30" EAST, 247.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET (70 FOOT RIGHT-OF-WAY); THENCE SOUTH 89°49'34" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, 169.24 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

FOLIO NO. 5141-13-00-0162

NOTES:

- THIS SITE CONTAINS 47,805 SQUARE FEET (1.0975 ACRES) MORE OR LESS.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. NATIONAL GEODETIC SURVEY BENCHMARK NO. S 312; ELEVATION: 8.60'.
- FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #125113 0564H; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON STREET BEING S89°49'33"W.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION, BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- THIS SITE CONTAINS 99 FULL PARKING SPACES AND 21 PARTIAL PARKING SPACES (120 REGULAR AND 0 DISABLED).
- THIS SURVEY WAS PREPARED WITH BENEFIT OF CERTIFICATE OF SEARCH OWNERSHIP & ENCUMBRANCE REPORT FILE NUMBER: 5932811, PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED THROUGH JULY 25, 2016 AT 6:00 A.M. THE FOLLOWING ITEMS ARE EASEMENTS, RIGHTS OF WAY AND OTHER MATTERS LISTED IN SAID REPORT:
ITEM 1-NOTICE OF COMMENCEMENT IN INSTRUMENT NO. 113401650, DOES NOT AFFECT THIS SITE.
ITEM 2-EASEMENT IN O.R.B. 952, PAGE 33, DOES NOT AFFECT THIS SITE AS DEPICTED HEREON.
ITEM 3-RECIPROCAL EASEMENT AGREEMENT IN O.R.B. 37341, PAGE 115 AFFECTS THIS SITE BY PROVIDING ACCESS TO STATE ROAD 7, AS DEPICTED HEREON.
ITEM 4-ASSIGNMENT OF EASEMENT AGREEMENT RIGHTS IN INSTRUMENT NO. 112752723 AFFECTS THIS SITE BUT CANNOT BE PLOTTED.
ITEM 5-MEMORANDUM OF LEASE IN INSTRUMENT NO. 112975159, AFFECTS THIS SITE BUT CANNOT BE PLOTTED.
- THE LEGAL DESCRIPTION SHOWN HEREON HAS BEEN REVISED TO CORRECT AN ERROR IN THE ABOVE MENTIONED SEARCH OWNERSHIP & ENCUMBRANCE REPORT.

CERTIFICATION

TO INFINITY ENGINEERING GROUP, LLC; COMMONWEALTH LAND TITLE INSURANCE COMPANY; DUNAY, MISKELE AND BACKMAN, LLP; BANK OF AMERICA, N.A.: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 8, 9, & 11 OF TABLE A THEREOF.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

John F. Pulice

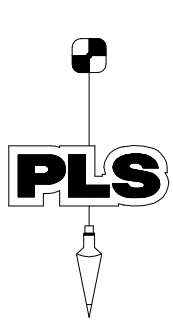
- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- BETH E. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS6136
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274

STATE OF FLORIDA

5		
4		
3		
2		
1		
NO.	REVISIONS	BY

BANK OF AMERICA SITE AT HOLLYWOOD SHOPPING PLAZA
STATE ROAD NO. 7 AND WASHINGTON STREET
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33023

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E./B.B.	SCALE: 1"=30'	FILE: INFINITY ENGINEERING GROUP, LLC
CHECKED BY: J.F.P.	SURVEY DATE: 07/29/16	ORDER NO.: 61545