

DEPARTMENT OF PLANNING



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: _____

Location Address: 333 State Road 7, Hollywood Florida

Lot(s) Parcel B, Plat Book 181, Page 12 Block(s): _____ Subdivision: *SEE ATTACHED SURVEY

Folio Number(s): 514113370021

Zoning Classification: SR7 CCD-CC, C-2 Land Use Classification: 71: Transit Oriented Corridor

Existing Property Use: Commercial Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☒ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: 4,500 sf retail addition to out parcel development

Number of units/rooms: N/A Sq Ft: 4,500 S.F.

Value of Improvement: \$450,000 (est) Estimated Date of Completion: 8/1/2017

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Palm Beach 2000, Inc. and Vestmazz, Inc.

Address of Property Owner: 336 E. Dania Beach Boulevard

Telephone: 954-927-4885 Fax: _____ Email Address: amicha@dacarmanagement.net

Name of Consultant/Representative/Tenant (circle one): Kimley-Horn and Associates, Inc.

Address: 445 24th Street, Suite, 200 Vero Beach, FL 32960 Telephone: 772.794.4100

Fax: _____ Email Address: Greg.Wilfong@Kimley-Horn.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING & DEVELOPMENT SERVICES



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 8.10.16

PRINT NAME: Alberto Micha Buzali Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Retail addition to my property, which is hereby made by me or I am hereby authorizing (name of the representative) _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 10 day of August, 2016

SIGNATURE OF CURRENT OWNER

Notary Public State of Florida



By: Alberto Micha Buzali, Vice President

My Commission Expires: 2/8/20 (Check One) _____ Personally known to me; OR _____

AGENT AUTHORIZATION FORM

DATE: Aug 9, 2016

RE: Applications for Permits and Approvals
Project Name: Phase 6 at The Place at Hollywood

TO: City of Hollywood, South Florida Water Management District,
Florida Department of Transportation, Broward County and
other required agencies.

PALM BEACH 2000, INC and VESTMAZ, INC. ("The Companies") are in the process of re-developing that particular parcel of land and the improvements thereon (the "Site") located in the state of Florida, Broward County, City of Hollywood, Florida. On behalf of the Companies, I hereby authorize Kimley-Horn and Associates, Inc. (the "Engineer"), to act as the Companies' agent for the express purpose of obtaining permits and approvals related to the re-development of the Site.

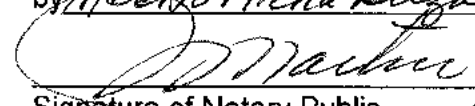
In such capacity, the Engineer's authority is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Site, advancing nominal funds as may be required to file such applications and to represent the interests of the Companies at meetings and hearings for the applications. The Engineer is not authorized to negotiate on the Companies' behalf or to bind or obligate the Companies in any manner whatsoever, including without limitation accruing any obligations on the Companies' behalf to pay for or construct improvements without additional authorization in writing from the Companies.

Sincerely,
PALM BEACH 2000, INC and VESTMAZ, INC.

By 
Alberto Michal Buzali, Vice President

State of FLORIDA
County of BROWARD

This instrument was acknowledged before me on the 10 (date) of August, 2016 (Month)
by Alberto Michal Buzali (name of person acknowledging).


Signature of Notary Public

My Commission Expires: 2/8/20





The Place at Hollywood Phase VI

Legal Description

- A portion of parcel "B" of "Hollywood Plaza" according to the plat thereof as recorded in plat book 181, page 12, of the public records of Broward County, Florida, being more particularly described as follows:

commence at the most southerly southwest corner of said parcel "B"; thence on the westerly boundary of said parcel "B", also being the east right-of-way line of State Road no. 7 (U.S. highway no. 441) the following 4 courses and distances: 1) north 01°47'16" west 48.66 feet to the point of beginning; 2) continue north 01°47'16" west 9.34 feet; 3) north 45°59'46" west 35.35 feet; 4) north 00°59'46" west 84.82 feet; thence north 87°22'36" east 238.28 feet; thence south 02°37'24" east 100.49 feet to a point of curvature of a circular curve, concave northwesterly; thence southwesterly on the arc of said curve, with a radius of 19.33 feet, a central angle of 90°00'00", for an arc distance of 30.36 feet to a point of tangency; thence south 87°22'36" west 197.22 feet to the point of beginning,

Project Information

Project Description

- The proposed Place at Hollywood Phase VI is a 0.65 acre outparcel development consisting of one retail buildings totaling 4,500 square feet, located within The Place at Hollywood development. Improvements include parking lots, landscaping, stormwater system and utilities.

Location

- Section 13, Township 51 S, Range 41 E

Address

- 333 S. State Road 7, Hollywood, FL 33023

Zoning

- SR7 CCD-CC: Commercial Corridor District- Commercial Core Sub-area
- C-2: Low/Medium Intensity Commercial District

Land Use

- 71: Transit Oriented Corridor

Sewer Demand Calculations

Prepared by: Kinan Husainy

| Proposed Use | Area (s.f.) | Conversion (gpd/s.f.) | Total Flow (gpd) |
|-------------------------------|-------------|-----------------------|------------------|
| TD Bank | 2,967 | 0.1 | 297 |
| Pollo Tropical | 73 seats | 50 gpd/seat | 3,650 |
| Taco Bell | 54 seats | 50 gpd/seat | 2,700 |
| Walmart | 182,322 | 0.1 | 18,232 |
| Local Shops | 5,600 | 0.1 | 560 |
| RaceTrac | 5,707 | 0.1 | 571 |
| Future Development 1 | 20,000 | 0.1 | 2,000 |
| Future Development 2 | 35,000 | 0.1 | 3,500 |
| Future Fast Food Restaurant 1 | 60 seats | 50 gpd/seat | 3,000 |
| Future Fast Food Restaurant 2 | 60 seats | 50 gpd/seat | 3,000 |
| Existing Gordon Food Stores | 150,000 | 0.1 | 15,000 |
| Total | | | 52,510 |

| Existing Use | Area (s.f.) | Conversion (gpd/s.f.) | Total Flow (gpd) |
|-----------------|-------------|-----------------------|------------------|
| Existing Retail | 905,919 | 0.1 | 90,592 |
| Total | | | 90,592 |



DRAINAGE STATEMENT

August 11, 2016

SUBJECT:

5810-5860 Hollywood Blvd.
Hollywood, FL 33317
Broward County, Florida
KHA File No. 147506002

INTRODUCTION:

Our Client, respectfully request a letter modification to the current Surface Water Management License (SWM 2014-035-0). This drainage statement is intended to provide a summary of the proposed changes related to the Future Development 4 of exhibit 13 in permit SWM 2014-035-0. The proposed development consist of retail shops in parcel "B".

EXISTING CONDITIONS:

The 1.40 acre site was previously developed as a Mall but recently has been demolished and is currently under construction. The site was included in the design of the overall development as Future Development 3 and was given design criteria based on the master plan.

PROPOSED DESIGN:

The proposed design consist of a local retail building, parking lot, landscaping and exfiltration trench. A table of the design criteria from exhibit 13 in permit SWM 2014-035-0 and proposed improvements is shown below. The proposed design conforms to the conditions of the master stormwater plan. See conditions below.

| Future Development 4 | Required | Provided |
|-------------------------|---------------------|--------------------|
| Impervious area | Max 50% or 0.33 ac | 49.72 % or 0.33 ac |
| Pervious area | Min. 15% or 0.10 ac | 34.27% or 0.22 ac |
| Building area | Max. 35% or 0.23 ac | 16.00% or 0.10 ac |
| Exfiltration Trench | 100 | 100 |
| F.F.E. | 11.0 | 11.0 |

KIMLEY-HORN AND ASSOCIATES, INC.

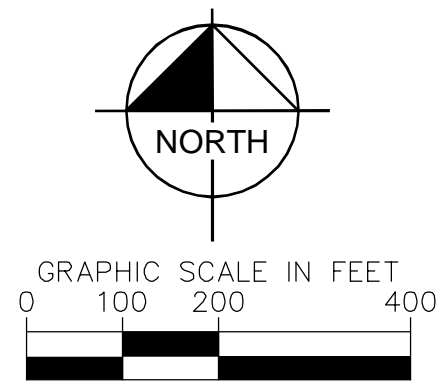
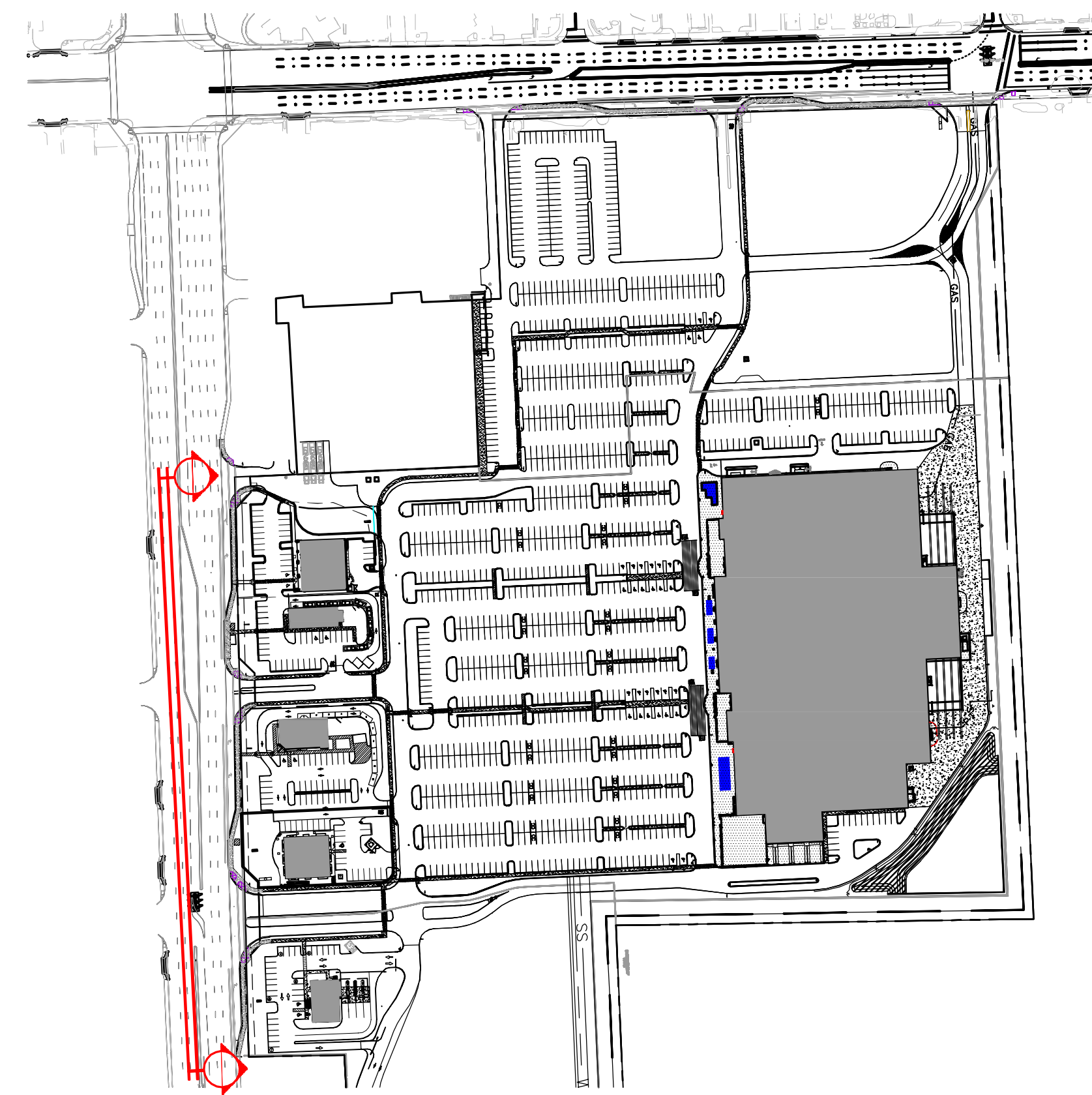
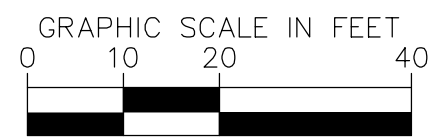
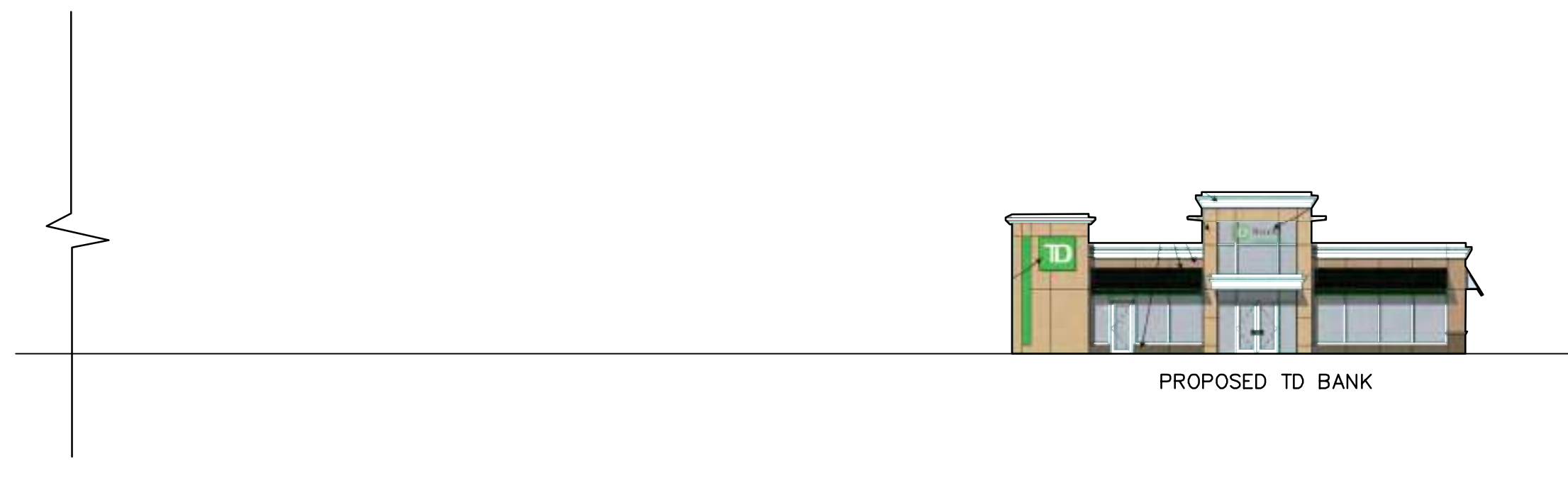
Greg D. Wilfong , P.E.
Florida Registration No. 61366

THE PLACE AT HOLLYWOOD

SR7 STREET VIEW RENDERING

Kimley»Horn

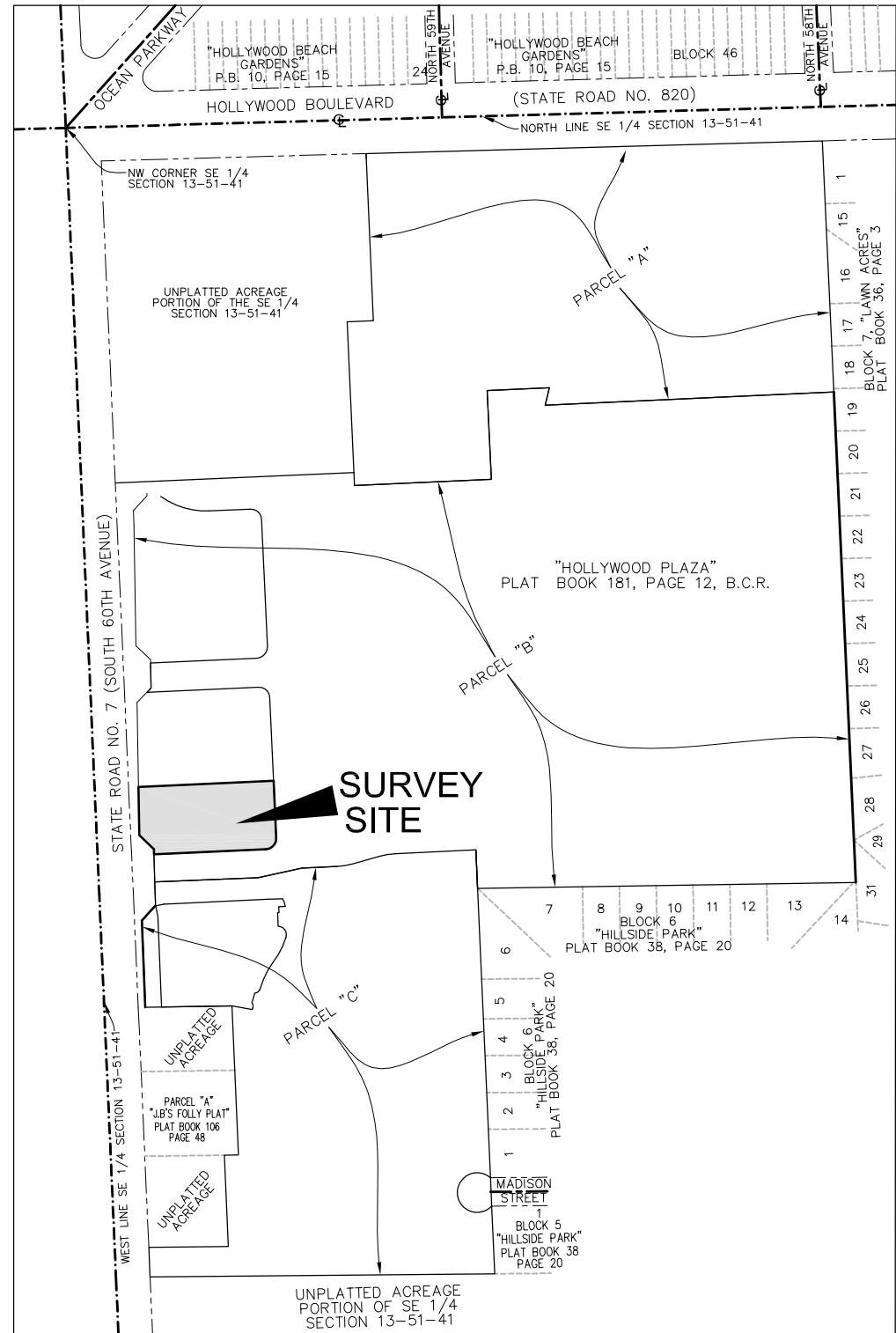
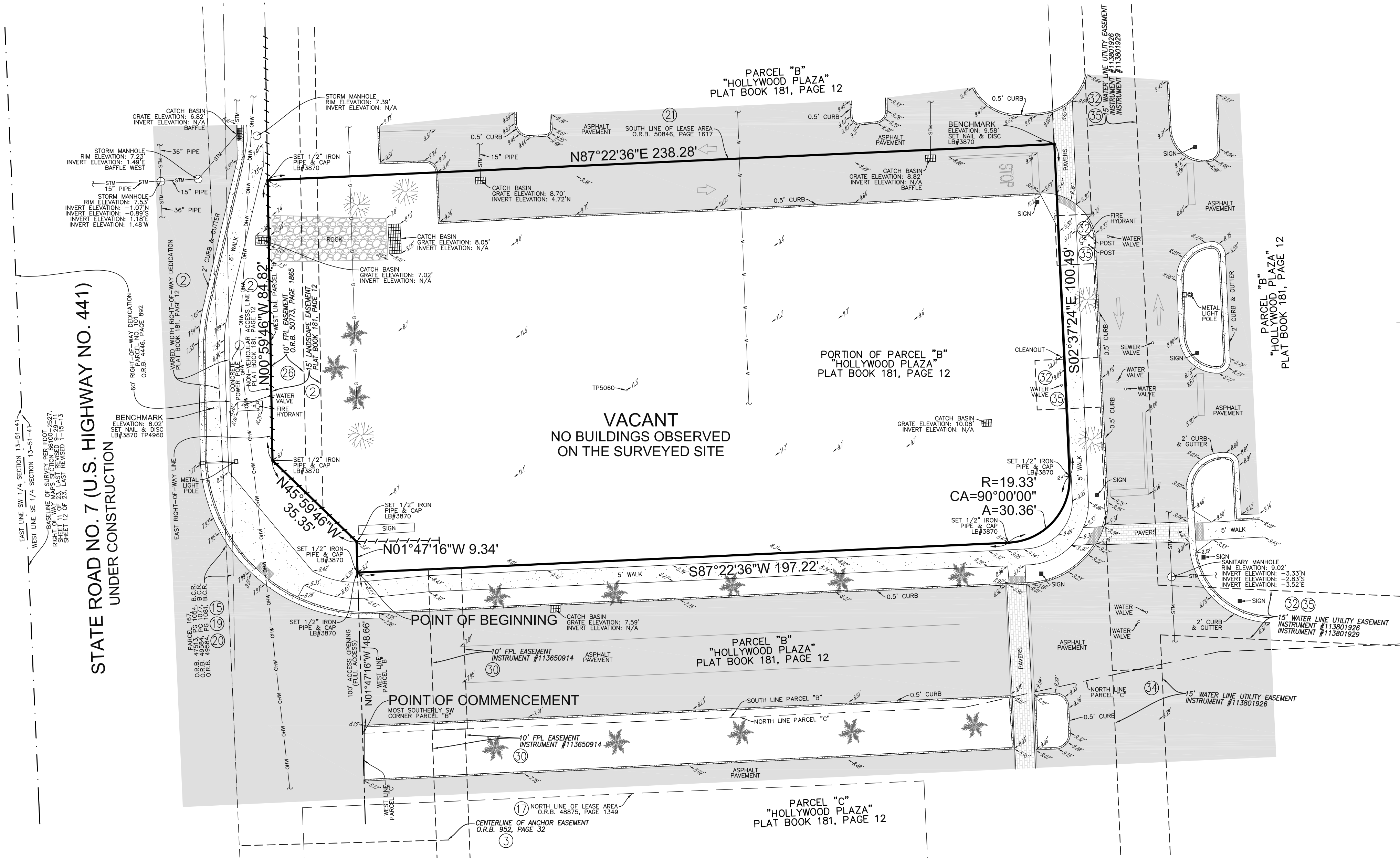
© 2013 KIMLEY-HORN AND ASSOCIATES, INC.
5200 NW 33rd AVENUE, SUITE 109, FT. LAUDERDALE, FL 33309
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM CA 00000696



KEY PLAN

LEGEND

- CONCRETE
ASPHALT PAVEMENT
PAVERS
ELEVATION
OVERHEAD WIRES
UNDERGROUND STORM SEWER LINE
UNDERGROUND SANITARY SEWER LINE
UNDERGROUND WATER LINE
UNDERGROUND GAS LINE
CENTERLINE
O.R.B. OFFICIAL RECORDS BOOK
B.C.R. BROWARD COUNTY RECORDS
TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
FPL FLORIDA POWER & LIGHT COMPANY
R RADIUS
CA CENTRAL ANGLE
A ARC LENGTH
PALM TREE
OAK TREE
PAGE



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

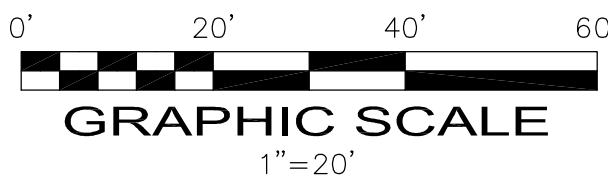
A PORTION OF PARCEL "B" OF "HOLLYWOOD PLAZA" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID PARCEL "B"; THENCE ON THE WESTERLY BOUNDARY OF SAID PARCEL "B", ALSO BEING THE EAST RIGHT-OF-WAY LINE OF STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) THE FOLLOWING 4 COURSES AND DISTANCES: 1) NORTH 01°47'16" WEST 48.66 FEET TO THE POINT OF BEGINNING; 2) CONTINUE NORTH 01°47'16" WEST 9.34 FEET; 3) NORTH 45°59'46" WEST 35.35 FEET; 4) NORTH 00°59'46" WEST 84.82 FEET; THENCE NORTH 87°22'36" EAST 238.28 FEET; THENCE SOUTH 02°37'24" EAST 100.49 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 19.33 FEET, A CENTRAL ANGLE OF 90°00'00", FOR AN ARC DISTANCE OF 30.36 FEET TO A POINT OF TANGENCY; THENCE SOUTH 87°22'36" WEST 197.22 TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 28,120 SQUARE FEET, 0.6456 ACRES.

NOTES:

- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #S2062; ELEVATION: 8.50 FEET.
- FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #125113 0564H; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE WEST LINE OF PARCEL "B" BEING N00°59'46"W.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A CERTIFICATE OF SEARCH OWNERSHIP AND ENCUMBRANCE, FILE NUMBER 5915465, PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED THROUGH JULY 24, 2016 AT 6:00 A.M. THE FOLLOWING ITEMS ARE EXCEPTIONS LISTED IN SAID REPORT:
 - ITEM 1 - NOTICE OF COMMENCEMENT IN INSTRUMENT #113428163 DOES NOT AFFECT THIS SITE.
 - ITEM 2 - PLAT IN PLAT BOOK 181, PAGE 12 AFFECTS THIS SITE AS DEPICTED HEREON.
 - ITEM 3 - EASEMENT IN O.R.B. 952, PAGE 32 DOES NOT AFFECT THIS SITE AS PARTIALLY DEPICTED HEREON.
 - ITEM 4 - EASEMENT IN O.R.B. 952, PAGE 33 DOES NOT AFFECT THIS SITE.
 - ITEM 5 - WARRANTY DEED IN O.R.B. 4225, PAGE 829 DOES NOT AFFECT THIS SITE.
 - ITEM 6 - ORDINANCE NO. 0-71-29 IN O.R.B. 4443, PAGE 805 DOES NOT AFFECT THIS SITE.
 - ITEM 7 - EASEMENT IN O.R.B. 4628, PAGE 196 DOES NOT AFFECT THIS SITE.
 - ITEM 8 - ELECTRIC EASEMENT IN O.R.B. 5058, PAGE 899 DOES NOT AFFECT THIS SITE.
 - ITEM 9 - MUTUAL ACCESS EASEMENT IN O.R.B. 32158, PAGE 1423 DOES NOT AFFECT THIS SITE.
 - ITEM 10 - GRANT OF EASEMENT IN O.R.B. 32158, PAGE 1430 DOES NOT AFFECT THIS SITE.
 - ITEM 11 - GRANT OF EASEMENT IN O.R.B. 32158, PAGE 1434 AFFECTS THIS SITE BUT IS NOT DEPICTED HEREON.
 - ITEM 12 - MEMORANDUM OF LEASE IN O.R.B. 35077, PAGE 850 DOES NOT AFFECT THIS SITE.
 - ITEM 13 - AMENDED AND RESTATED MEMORANDUM OF LEASE IN O.R.B. 39344, PAGE 1377 AFFECTS THIS SITE BUT IS NOT PLOTTED.
 - ITEM 14 - MEMORANDUM OF OPTIONEE'S EXERCISE OF PURCHASE OPTION IN O.R.B. 39521, PAGE 200 AFFECTS THIS SITE BUT IS NOT PLOTTED.
 - ITEM 15 - SUBORDINATION OF CITY UTILITY INTERESTS IN O.R.B. 47513, PAGE 1054 LIES WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167) AS DEPICTED HEREON.
 - ITEM 16 - DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS IN O.R.B. 48703, PAGE 462 AFFECTS THIS SITE, BUT THE LOADING AREA EASEMENT DOES NOT FALL WITHIN THE BOUNDARY OF THIS PROPERTY AND IS NOT DEPICTED.
 - ITEM 17 - MEMORANDUM OF LEASE IN O.R.B. 48875, PAGE 1349 DOES NOT AFFECT THIS SITE WITH NORTH LINE OF LEASE AREA DEPICTED HEREON.
 - ITEM 18 - MEMORANDUM OF LEASE IN O.R.B. 49331, PAGE 207 AFFECTS THIS SITE BUT LEASE AREA EXHIBIT C NOT ATTACHED TO DOCUMENT.
 - ITEM 19 - SPECIAL WARRANTY DEED IN O.R.B. 49584, PAGE 1077 FALLS WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167.1R) AS DEPICTED HEREON.
 - ITEM 20 - QUITCLAIM DEED IN O.R.B. 49584, PAGE 1081 FALLS WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167.1R) AS DEPICTED HEREON.
 - ITEM 21 - AMENDED AND RESTATED MEMORANDUM OF LEASE IN O.R.B. 50846, PAGE 1617 LIES NORTH OF AND ADJACENT TO THIS SITE AS DEPICTED HEREON.
 - ITEM 22 - SECURITY/LIEN AGREEMENT INSTALLATION OF REQUIRED IMPROVEMENTS IN O.R.B. 50295, PAGE 1021 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 23 - RESOLUTION NO. 12-DPV-93 IN O.R.B. 50597, PAGE 1160 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 24 - TREE MITIGATION AGREEMENT FOR "THE PLACE OF HOLLYWOOD" IN O.R.B. 50597, PAGE 1180 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 25 - SEWER USE AGREEMENT IN O.R.B. 50688, PAGE 396 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 26 - EASEMENT IN O.R.B. 50773, PAGE 1865 AFFECTS THIS SITE AS DEPICTED HEREON.
 - ITEM 27 - EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND (ECR) IN O.R.B. 51033, PAGE 1417 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 28 - AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT IN INSTRUMENT #113456377 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 29 - AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND IN INSTRUMENT #113598569 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
 - ITEM 30 - EASEMENT IN INSTRUMENT #113650914 DOES NOT LIE WITHIN THIS SITE BUT A PORTION ADJOINS THE SOUTH LINE OF THIS PROPERTY PROVIDING TIE IN SERVICE TO THIS SITE AS DEPICTED HEREON.
 - ITEM 31 - EASEMENT IN INSTRUMENT #113650915 DOES NOT AFFECT THIS SITE.
 - ITEM 32 - WATER LINE UTILITY EASEMENT IN INSTRUMENT #113801926 AFFECTS THIS SITE AS DEPICTED HEREON.
 - ITEM 33 - WATER LINE UTILITY EASEMENT IN INSTRUMENT #113801927 DOES NOT AFFECT THIS SITE BUT TIES INTO THE WATER LINE EASEMENT RECORDED IN ITEM 32, AND IS NOT DEPICTED HEREON.
 - ITEM 34 - BILL OF SALE ABSOLUTE IN INSTRUMENT #113801928 DOES NOT AFFECT THIS SITE BUT TIES INTO THE WATER LINE EASEMENT RECORDED IN ITEM 32, AS PARTIALLY DEPICTED HEREON.
 - ITEM 35 - BILL OF SALE ABSOLUTE IN INSTRUMENT #113801929 AFFECTS THIS SITE AS DEPICTED HEREON.



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CERTIFICATION:

TO DACAR MANAGEMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY; PALM BEACH 2000, INC., A FLORIDA CORPORATION; VESTMAZ, INC., A FLORIDA CORPORATION; COMMONWEALTH LAND TITLE INSURANCE COMPANY; DUNAY MISKEL AND BACKMAN, LLP;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 8, & 11 OF TABLE A THEREOF.

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
STATE OF FLORIDA

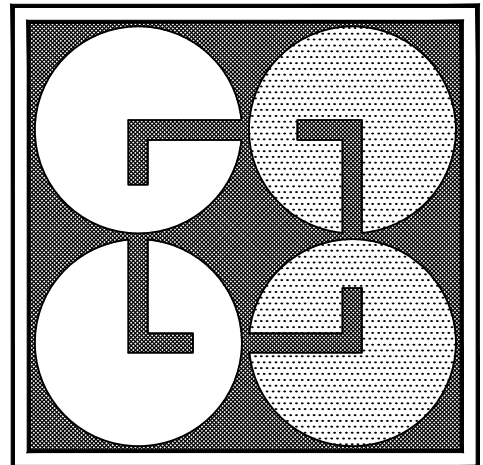
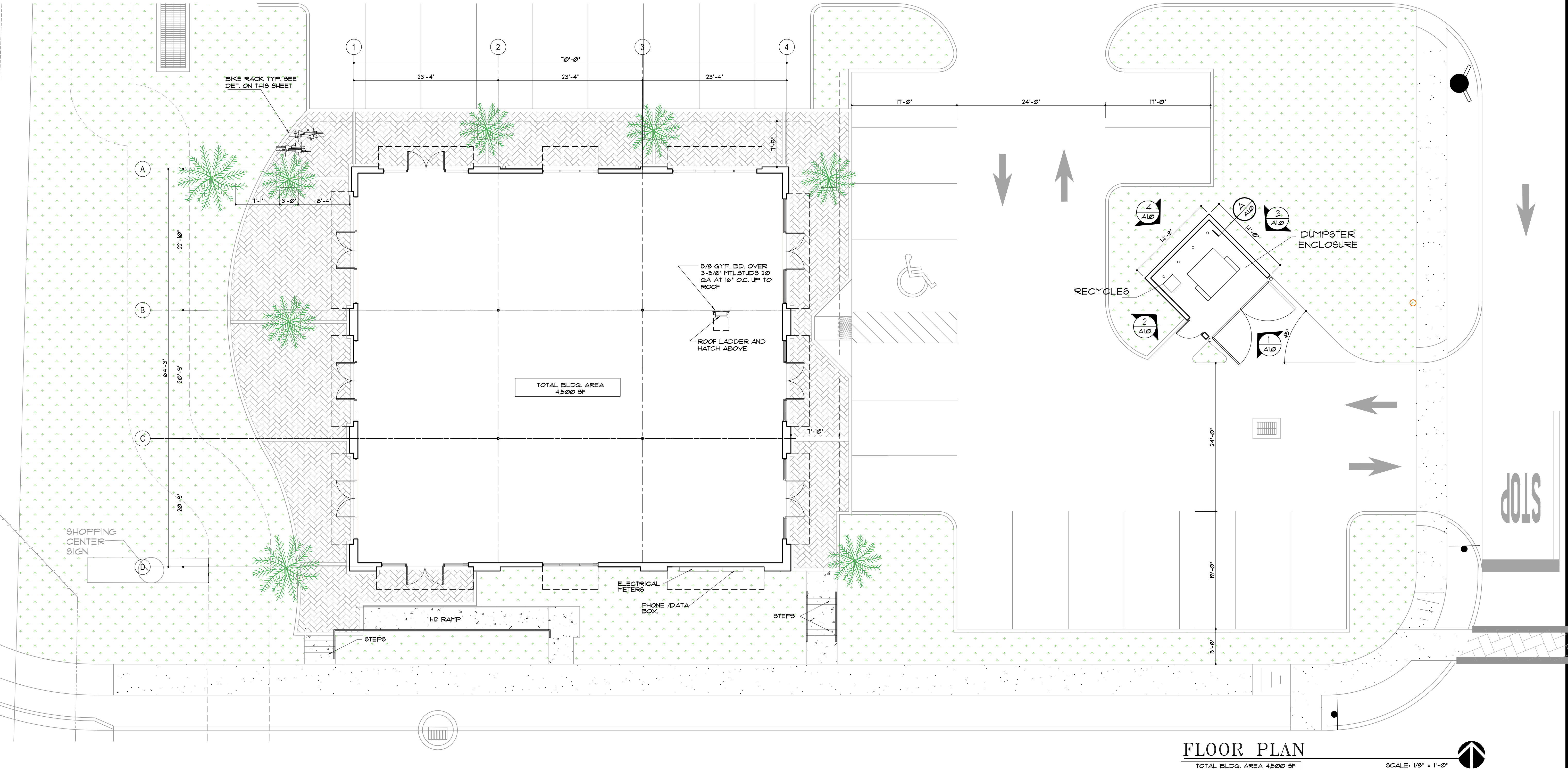
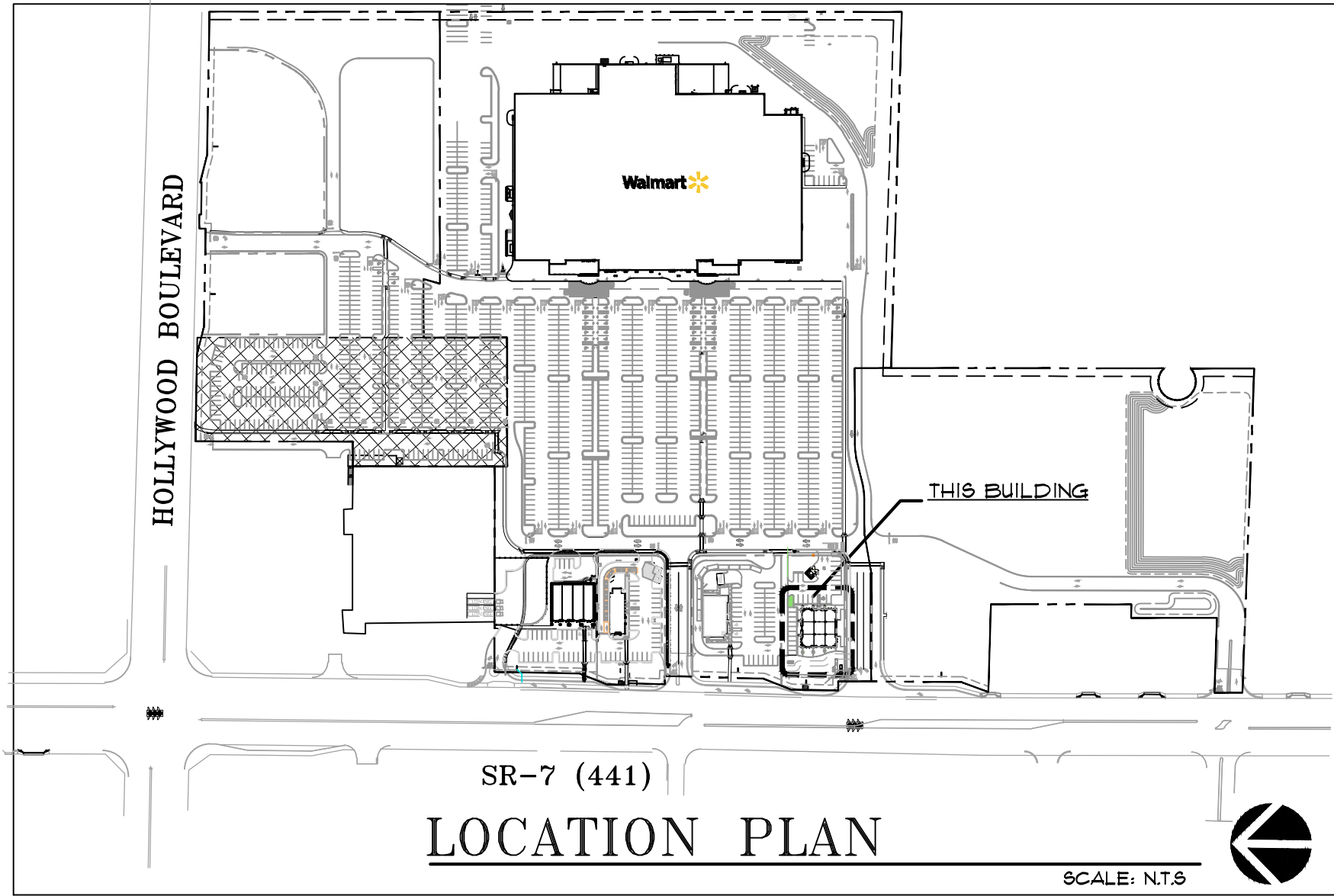
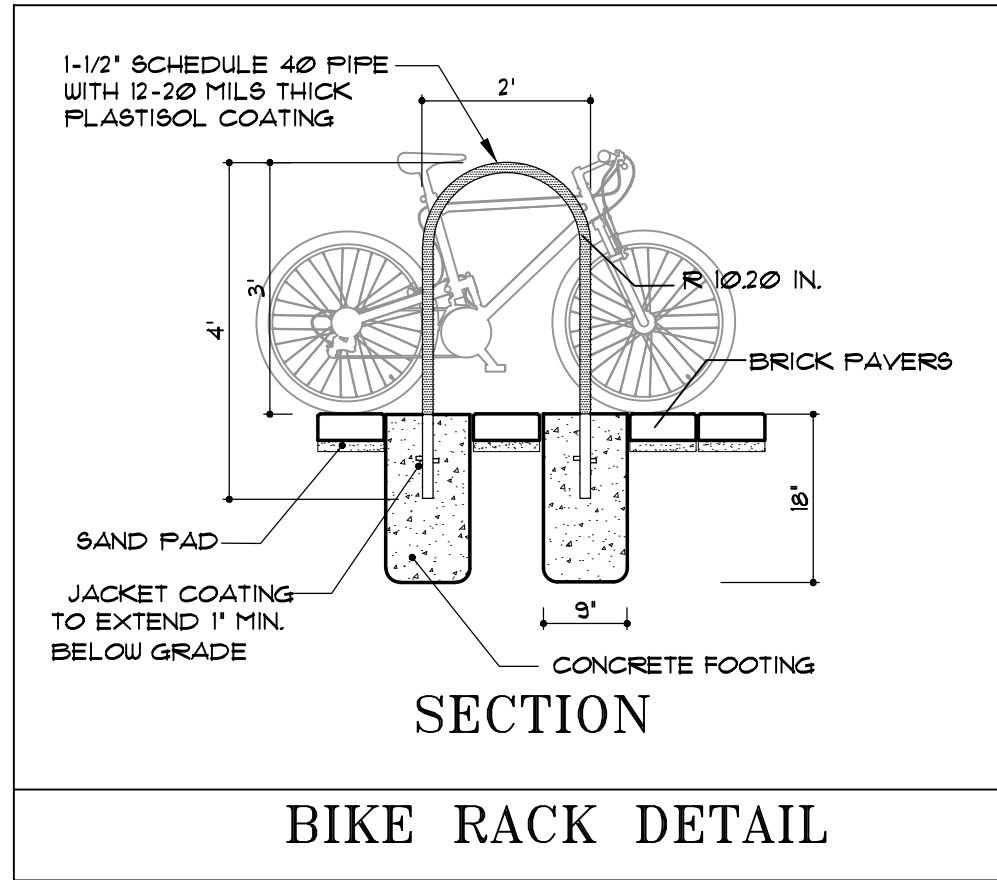
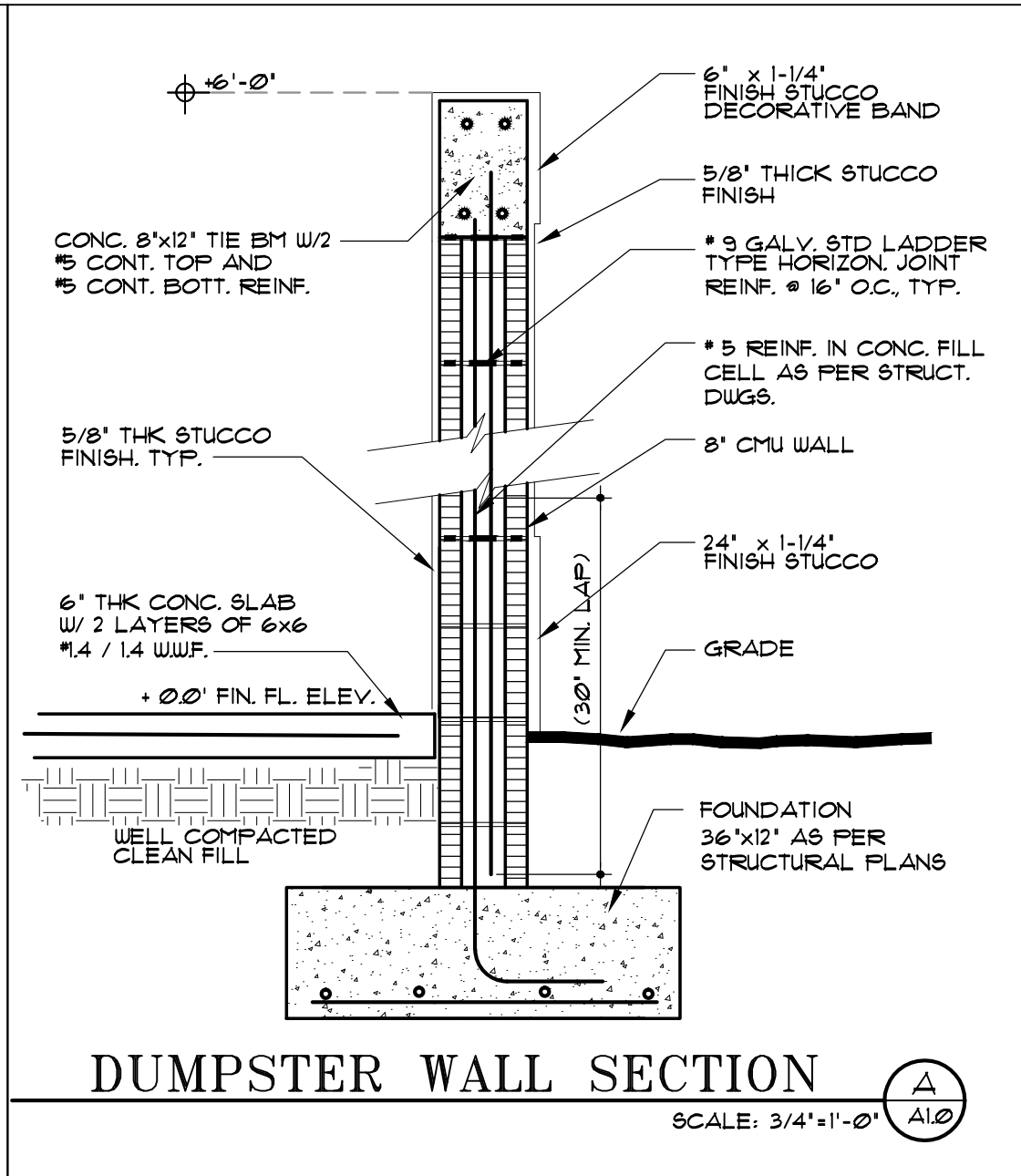
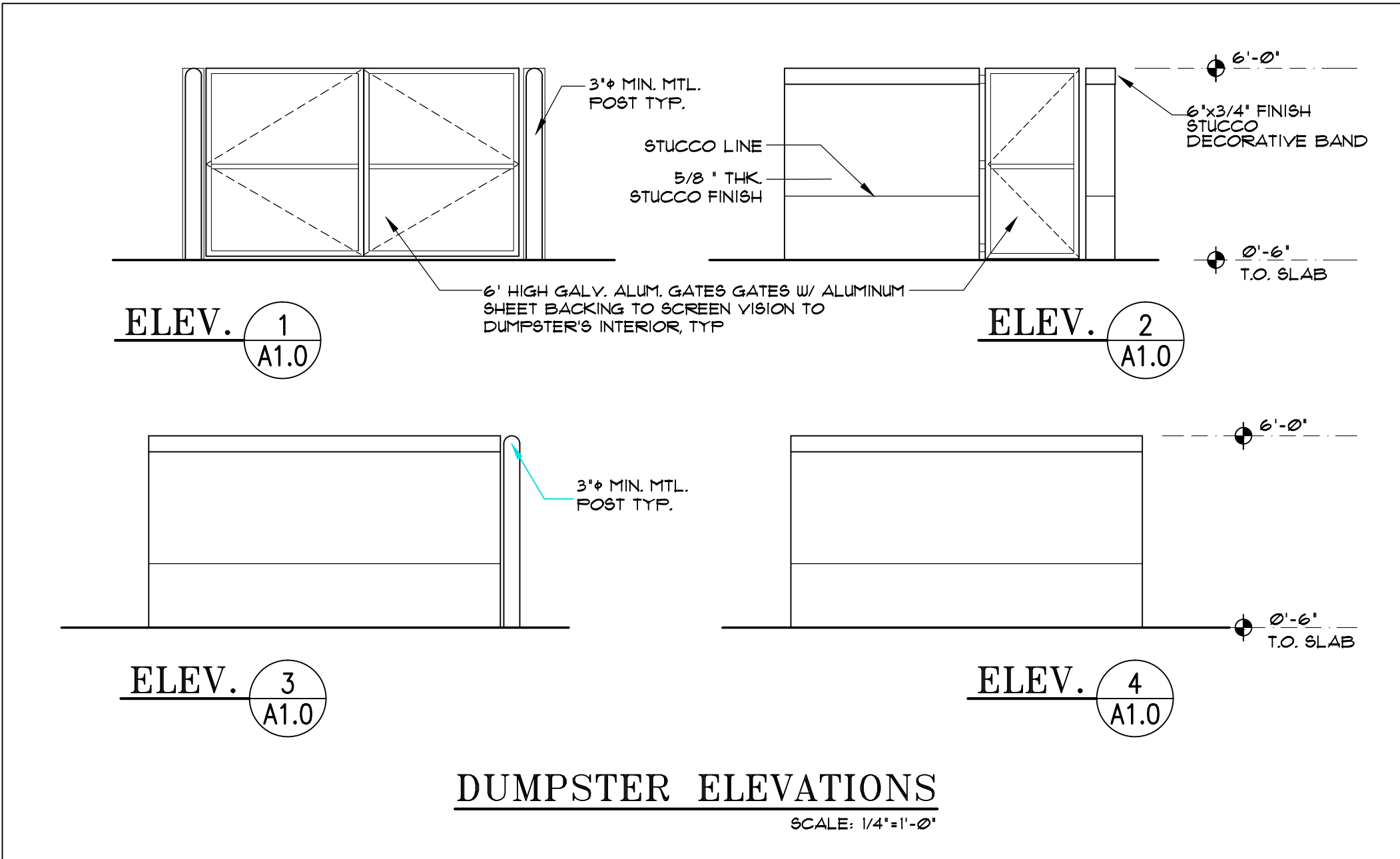
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| 5 | | | |
| 4 | | | |
| 3 | | | |
| 2 | REVIEW REVIEW OWNERSHIP & ENCUMBRANCE REPORT 8/2/16 | R.R. | |
| 1 | #1261 ORIGINAL SURVEY 5/24/16 | B.E. | |
| NO. | REVISIONS | BY | |

| | |
|---|--|
| THE PLACE AT HOLLYWOOD PHASE 6 HOLLYWOOD PLAZA STATE ROAD NO. 7 SOUTH OF HOLLYWOOD BOULEVARD HOLLYWOOD, BROWARD COUNTY FLORIDA 33065 | |
|---|--|

| | |
|--|--|
| BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY | |
|--|--|

| | | |
|--|---|--|
| | PULICE LAND SURVEYORS, INC. 5381 NOB HILL ROAD SUNRISE, FLORIDA 33351 TELEPHONE: (954) 572-1777 FAX: (954) 572-1778 E-MAIL: surveys@pulicelandsurveyors.com CERTIFICATE OF AUTHORIZATION LB93870 | |
|--|---|--|

| | | |
|--------------------|-----------------------|------------------------------|
| DRAWN BY: B.E. | SCALE: 1" = 20' | FILE: DACAR MANAGEMENT, LLC. |
| CHECKED BY: J.F.P. | SURVEY DATE: 05/24/16 | ORDER NO.: 61628 |



GUTIERREZ & LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117
FT. LAUDERDALE, FL. 33312
PHONE: (954) 321-3442
FAX: (954) 321-3864
WWW.GUTIERREZLOZANO.COM

| REVISIONS |
|-----------|
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MANUEL GUTIERREZ ☐
STATE OF FLA. REG. No. 8253

SEAL

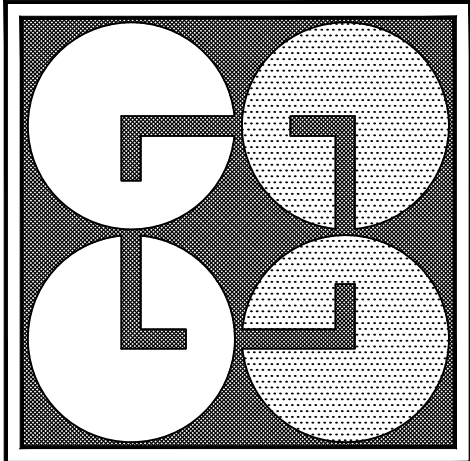
CARLOS LOZANO ☐
STATE OF FLA. REG. No. 0014722

PHASE VI FOR :
THE PLACE AT HOLLYWOOD
AT:
333 S. SR-7
HOLLYWOOD, FLORIDA

SHEET TITLE :
FLOOR PLAN
SCALE: 1" = 1/8"

JOB No.:
DATE: 08/04/16
SHEET
A1.0
OF

DACAR HOLLYWOOD/ LocalShops



GUTIERREZ
& LOZANO
ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117
FT. LAUDERDALE, FL. 33312
PHONE: (954) 321-3442
FAX: (954) 321-3864
WWW.GUTIERREZLOZANO.COM

| REVISIONS |
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MANUEL GUTIERREZ ☐
STATE OF FLA. REG. No. 8253

SEAL

CARLOS LOZANO ☐
STATE OF FLA. REG. No. 0014722

PHASE VI FOR :
THE PLACE AT HOLLYWOOD
AT:
333 S. SR-7
HOLLYWOOD,
FLORIDA

SHEET TITLE :

ELEVATIONS

SCALE: 1"=1/8"

JOB No.:

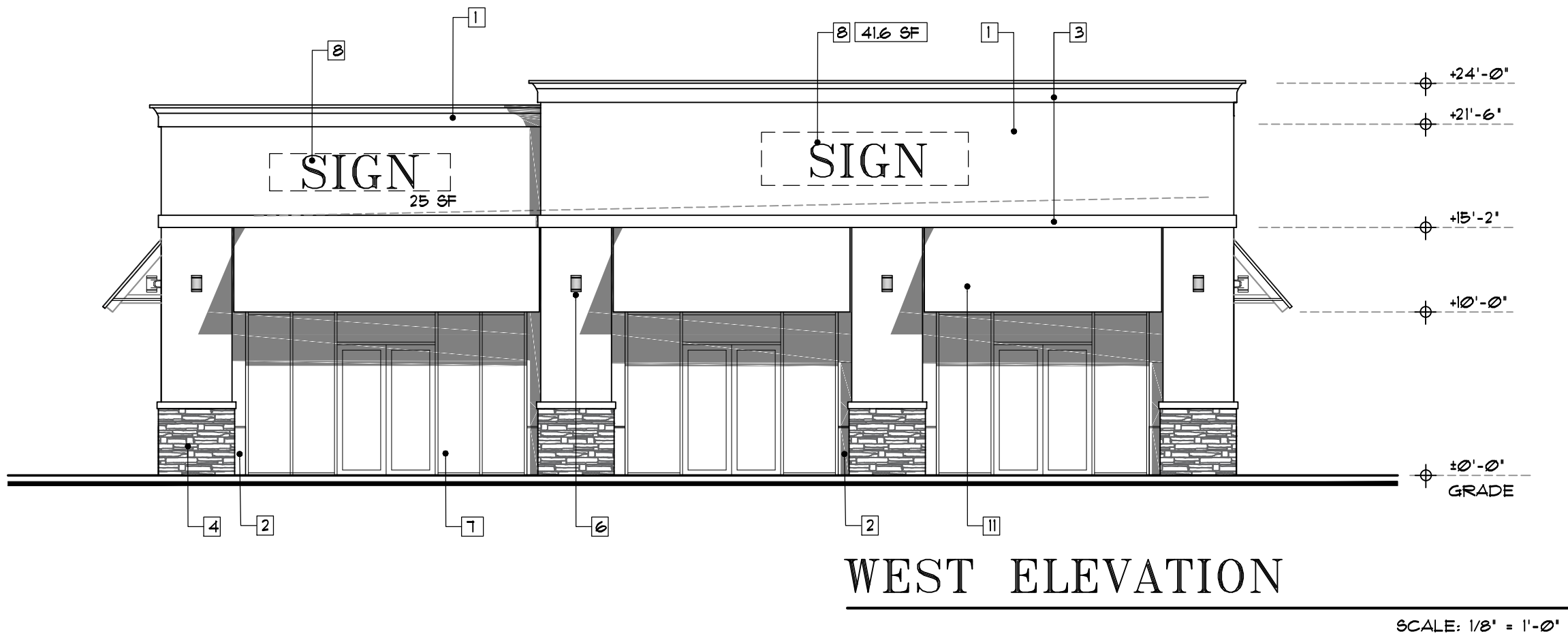
DATE: 08/04/16

SHEET

A2.0

OF

DACAR HOLLYWOOD/ LocalShops



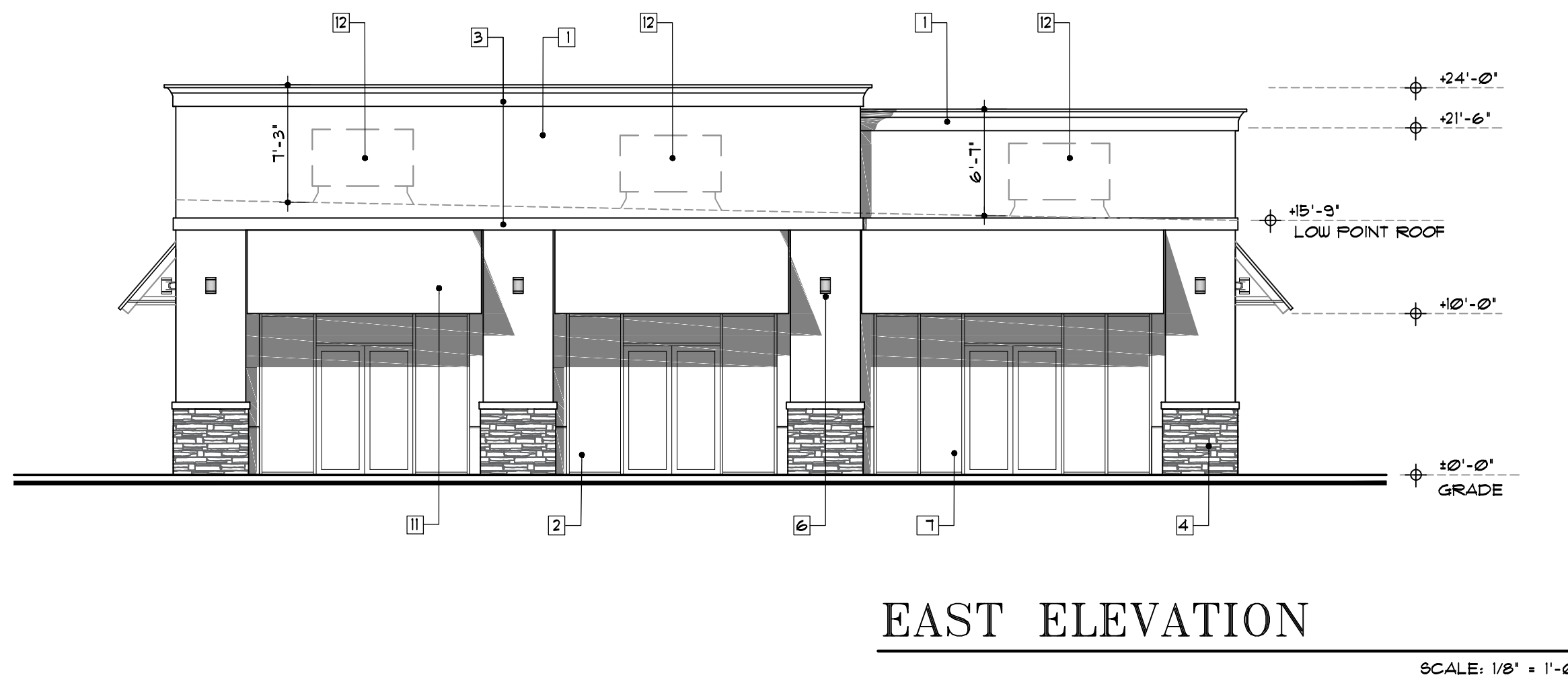
WEST ELEVATION

SCALE: 1/8" = 1'-0"



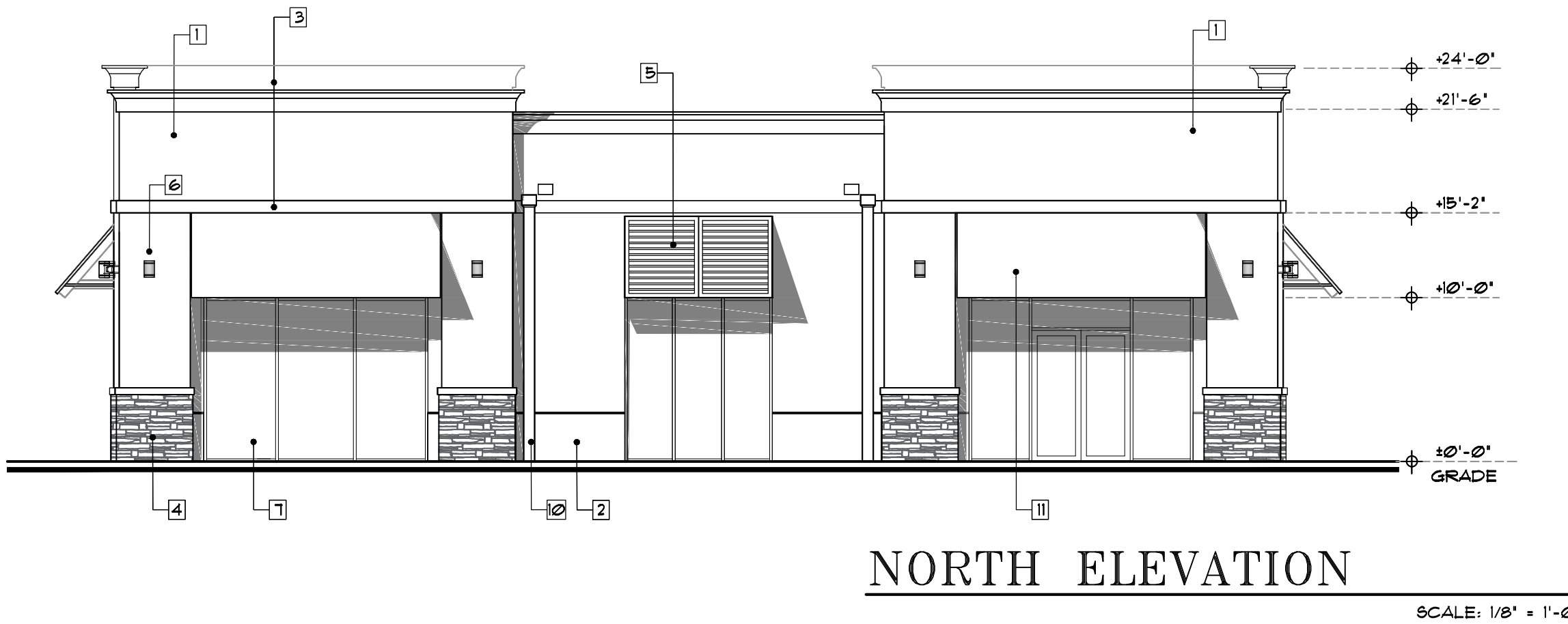
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

LEGEND

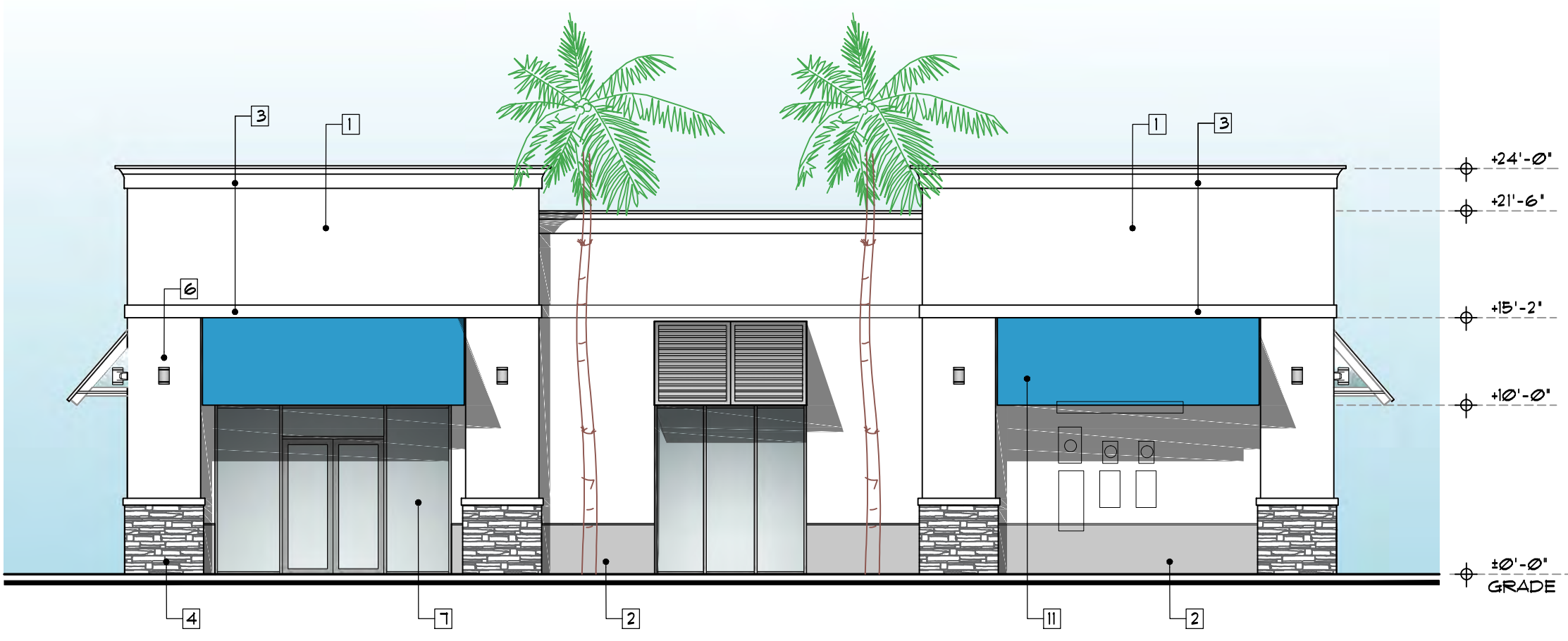
- 1 STUCCO FINISH WALL
DECORATOR'S WHITE FM-3 BENJAMIN MOORE
- 2 STUCCO FINISH WALL
DELRAY GRAY 1614 BENJAMIN MOORE
- 3 STUCCO WALL TRIM
SUPER WHITE FM-1 BENJAMIN MOORE
- 4 STONE VENEER: LEDGESTONE "PRO-LEDGE "BLACK FOREST" BY
CORONADO STONE PRODUCTS.
- 5 DECORATIVE MTL. SHUTTER
ALUMINUM COLOR
- 6 EXTERIOR FIXTURE LIGHTS
GARDCO LIGHTING, MODEL: CYLINDERS 301 LINE UP/DN
CODE: 301-E-W-L-50MH-120-NP (NATURAL ALUMINUM COLOR)
- 7 IMPACT RESISTANT STOREFRONT.
MTL. FINISH: ALUMINUM COLOR
- 8 LOCATION FOR SIGNAGE BY TENANTS. ALL SIGNAGE
SHALL COMPLY WITH CITY CODES AND ORDINANCES
AND SHALL BE SUBMITTED TO LANDLORD FOR
APPROVAL.
SIGNAGE WILL BE REVISED AND APPROVED BY THE
CITY UNDER SEPARATE PERMIT.
- 9 TUBULAR FIXED LADDER WITH CAGE PROVIDE SHOP DWGS.
- 10 MTL. DOWNSPOUT, PAINT TO MATCH ADJACENT WALL
- 11 CANVAS AILING:
COLOR: BLUE SELECTED BY ARCHITECT
- 12 RTU BY TENANT.

NOTE:
INSTALL COLOR PAINT SAMPLES IN AN AREA OF 100 SF, APPROX.
AND CALL ARCHITECT/ OWNER FOR SITE APPROVAL BEFORE
PROCEEDING WITH PAINT JOB.



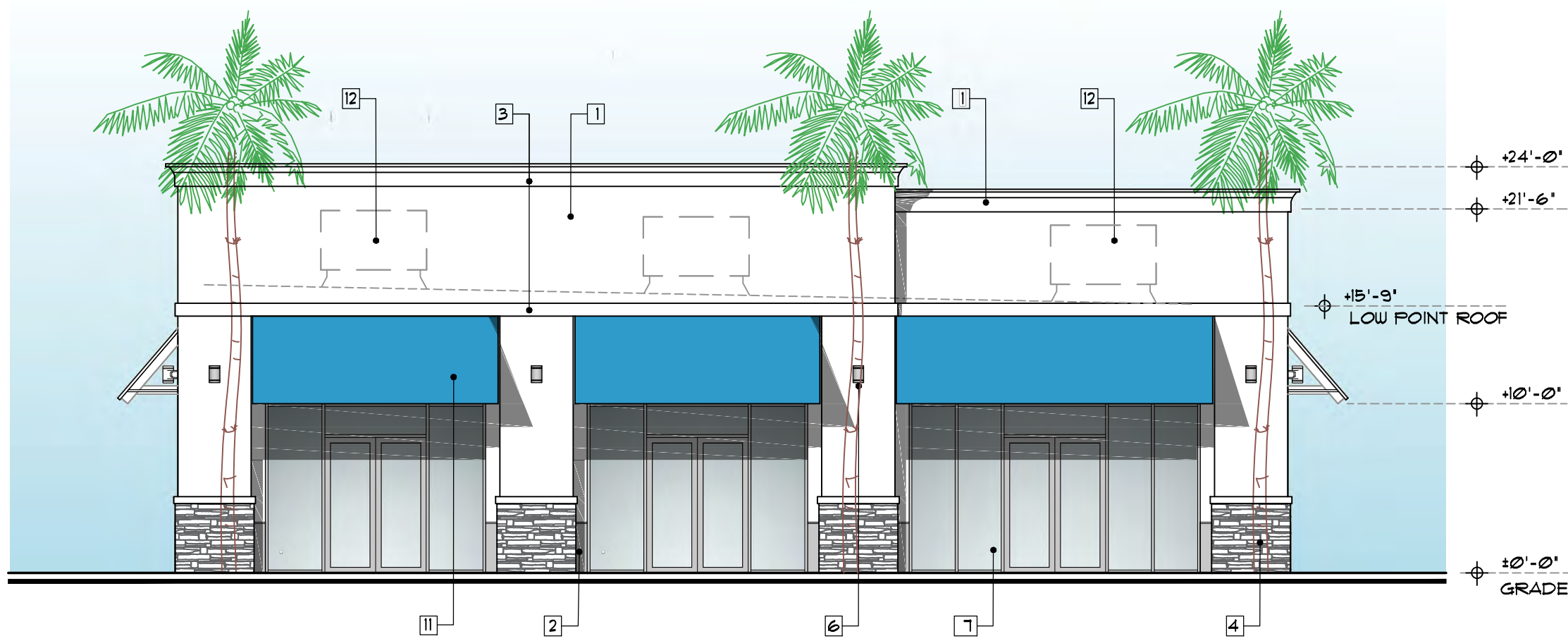
WEST ELEVATION

SCALE: 1/8" = 1'-0"



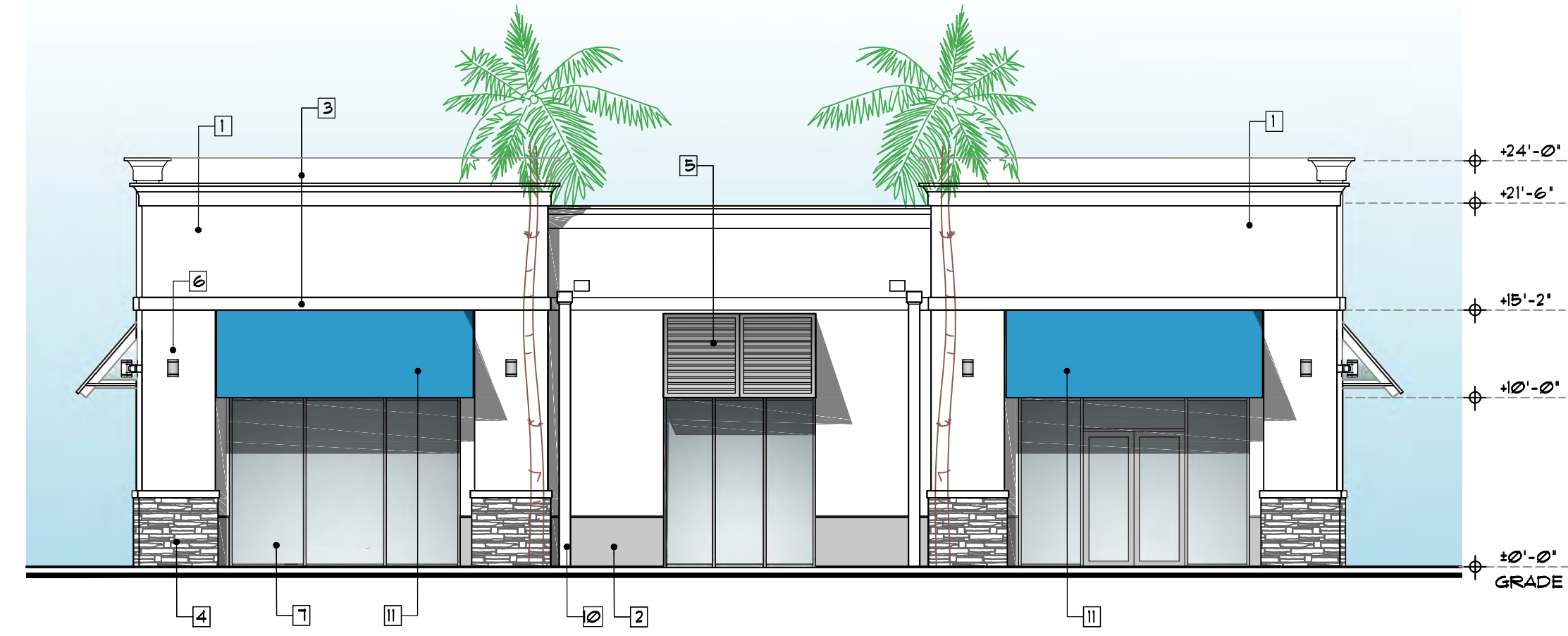
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

COLOR CHART

DECORATOR'S WHITE PM-3
BENJAMIN MOORE

SUPER WHITE PM-1
BENJAMIN MOORE

DELRAY GRAY 1614
BENJAMIN MOORE

CANVAS AWNING:
COLOR: BLUE SELECTED
BY ARCHITECT
BY SUNBRELLA (SUBMIT
SHOP DWGS.)

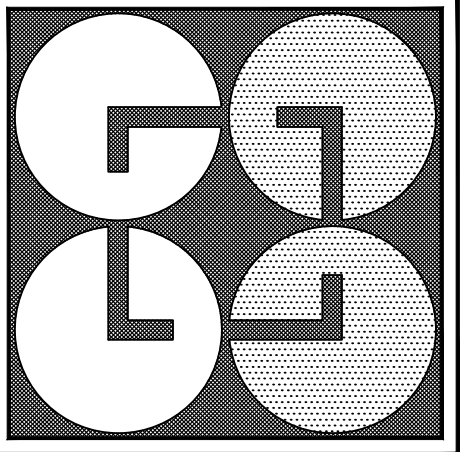
STONE VENEER:
LEDGESTONE 'PRO-LEDGE 'BLACK FOREST' BY CORONADO
STONE PRODUCTS.

DECORATIVE MTL. BAHAMA
SHUTTERS',
COLOR: METALLIC ALUMINUM

LEGEND

- 1 STUCCO FINISH WALL
DECORATOR'S WHITE PM-3 BENJAMIN MOORE
- 2 STUCCO FINISH WALL
DELRAY GRAY 1614 BENJAMIN MOORE
- 3 STUCCO WALL TRIM
SUPER WHITE PM-1 BENJAMIN MOORE
- 4 STONE VENEER: LEDGESTONE 'PRO-LEDGE 'BLACK FOREST' BY CORONADO STONE PRODUCTS.
- 5 DECORATIVE MTL. SHUTTER
ALUMINUM COLOR
- 6 EXTERIOR FIXTURE LIGHTS
GARCO LIGHTING MODEL: CYLINDERS 301 LINE UP/DN
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INSTALL COLOR PAINT SAMPLES IN AN AREA OF 100 SF. APPROX.
AND CALL ARCHITECT/ OWNER FOR SITE APPROVAL BEFORE
PROCEEDING WITH PAINT JOB.



GUTIERREZ
& LOZANO
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PHONE: (954) 321-3442
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| REVISIONS |
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MANUEL GUTIERREZ ☐
STATE OF FLA. REG. No. 8253

SEAL

CARLOS LOZANO ☐
STATE OF FLA. REG. No. 0014722

PHASE VI FOR :
THE PLACE AT HOLLYWOOD
AT: 333 S. SR-7
HOLLYWOOD, FLORIDA

SHEET TITLE :
COLOR ELEVATIONS
SCALE: 1"=1/8"

JOB No.:
DATE: 08/04/16

SHEET
A2.1
OF

DACAR HOLLYWOOD/ LocalShops

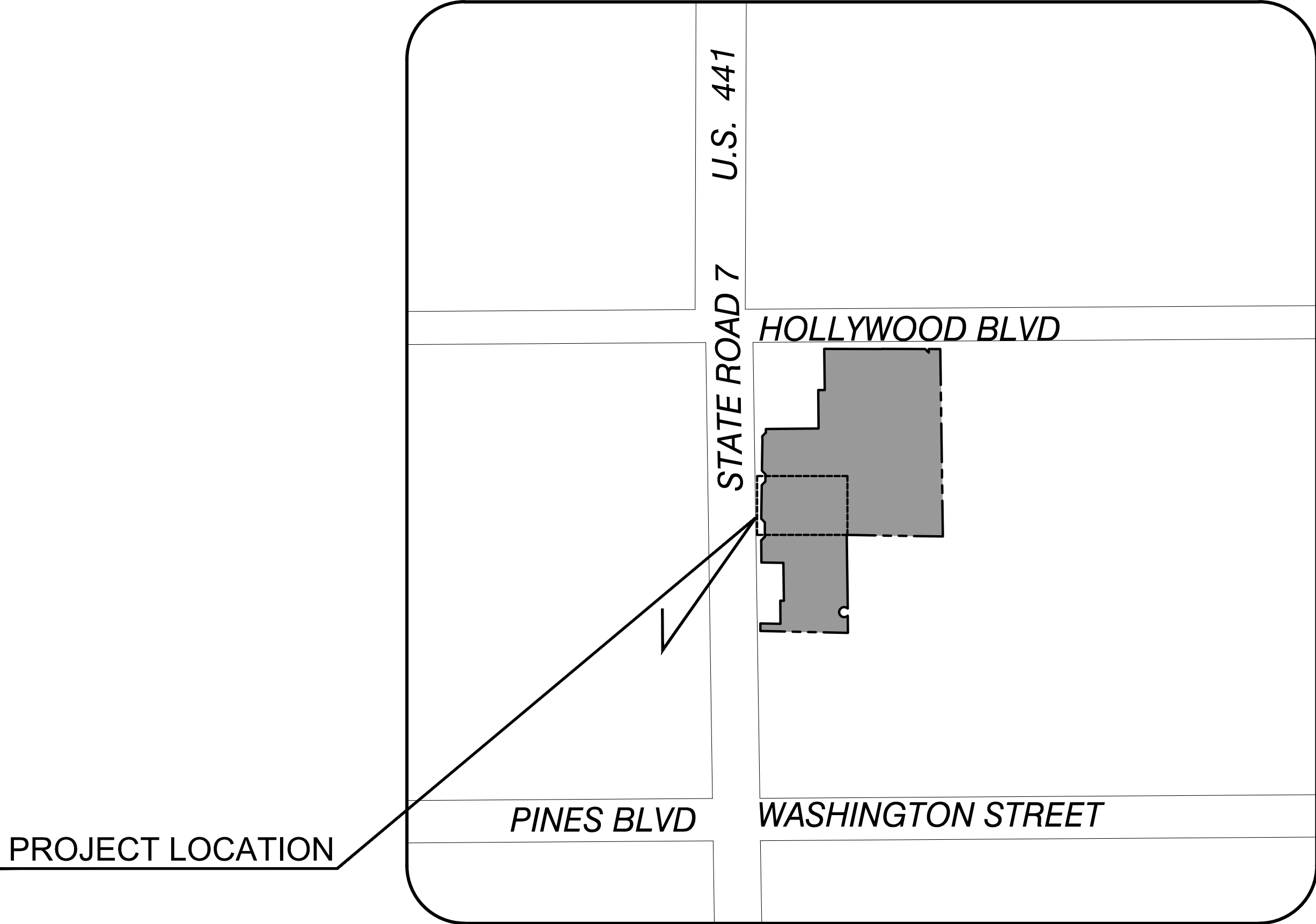
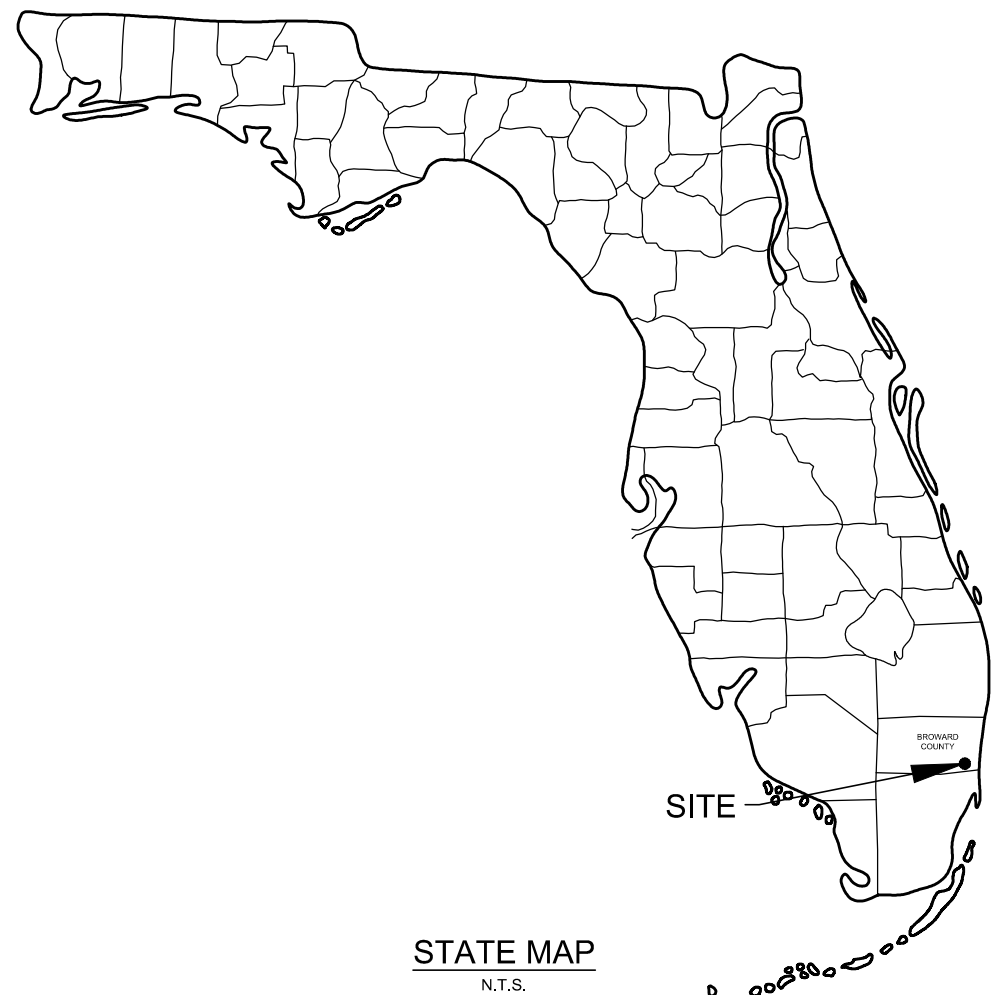
Plotted By: Schulz, Ryan Sheet Set: PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD LAYOUT: C-000 COVER SHEET August 11, 2016 06:46:53pm K:\VRB-LDEV\147506002 - Phase 6 Retail\CAD\PlanSheets\C-000 COVER SHEET.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SITE CONSTRUCTION PLANS

THE PLACE AT HOLLYWOOD PHASE VI

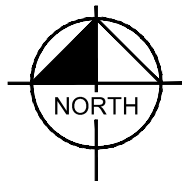
333 SOUTH STATE ROAD 7

HOLLYWOOD, BROWARD COUNTY, FL



VICINITY AND KEY MAP

N.T.S.



PROJECT DESIGN TEAM

CIVIL

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DOUG HOFFMAN
15779 W. DIXIE HIGHWAY
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SHEET NUMBER

C-000

1 OF 1

C-001

C-100

C-101

C-200

C-300

C-301

C-302

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L-300

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CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS

CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS

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LANDSCAPE DETAILS

LANDSCAPE SPECIFICATIONS

ARCHITECT

(PREPARED BY GUTIERREZ & LOZANO ARCHITECTS)

SHEET NUMBER

A-1.0

A-2.0

A-2.1

SHEET TITLE

FLOOR PLAN

ELEVATIONS

COLOR ELEVATIONS

MEETINGS

DATE

PRELIMINARY TAC

09/06/16

FINAL TAC

PLANNING DEV. BOARD

CITY COMMISSION

THE PRESENCE OF ROCK SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig

Sunshine811.com

ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE, WHEN PERFORMING GRADING OPERATIONS. DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

Kimley»Horn

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LICENSED PROFESSIONAL

GREG D. WILFONG, P.E.

FL LICENSE NUMBER

63166

KHA PROJECT

123456789

DATE

08/11/16

SCALE AS SHOWN

DESIGNED BY

GDW

DRAWN BY

RS

CHECKED BY

GDW

COVER SHEET

PHASE VI RETAIL
AT THE PLACE AT
HOLLYWOOD

CITY OF HOLLYWOOD FL

SHEET NUMBER

C-000

BY

DATE

Plotted By: Schulz, Ryan Sheet Set: PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD Lovelock-C-001 GENERAL NOTES August 11, 2016 06:55:19pm K:\VRB\LOVELACK\147506002 - Phase 6 Retail CAD\PlanSheets\C-101 GENERAL NOTES.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL):1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

RECORD DRAWINGS

1. CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 10 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, AS WELL AS BOTH IN AUTOCAD 2012 OR LATER, BOTH PREPARED BY A FLORIDA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

EROSION CONTROL NOTES (CONT.)

13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE FOOT STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING
- SUBGRADE PREPARATION
- BASE INSTALLATION
- ASPHALT INSTALLATION
- UNDERGROUND PIPING AND UTILITIES INSTALLATION
- INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC.
- SIDEWALK INSTALLATION
- CONNECTIONS TO WATER AND SEWER MAINS
- TESTS OF UTILITIES

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY

THE PRESENCE OF ROCK SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

PHASE VI RETAIL
AT THE PLACE AT
HOLLYWOOD

CITY OF HOLLYWOOD

SHEET NUMBER
C-001

FL

Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
123456789

DATE
08/11/16

SCALE AS SHOWN
DESIGNED BY GDW
DRAWN BY RS
CHECKED BY GDW

GREG D. WILFONG, P.E.

FL LICENSE NUMBER
63166

DATE: _____

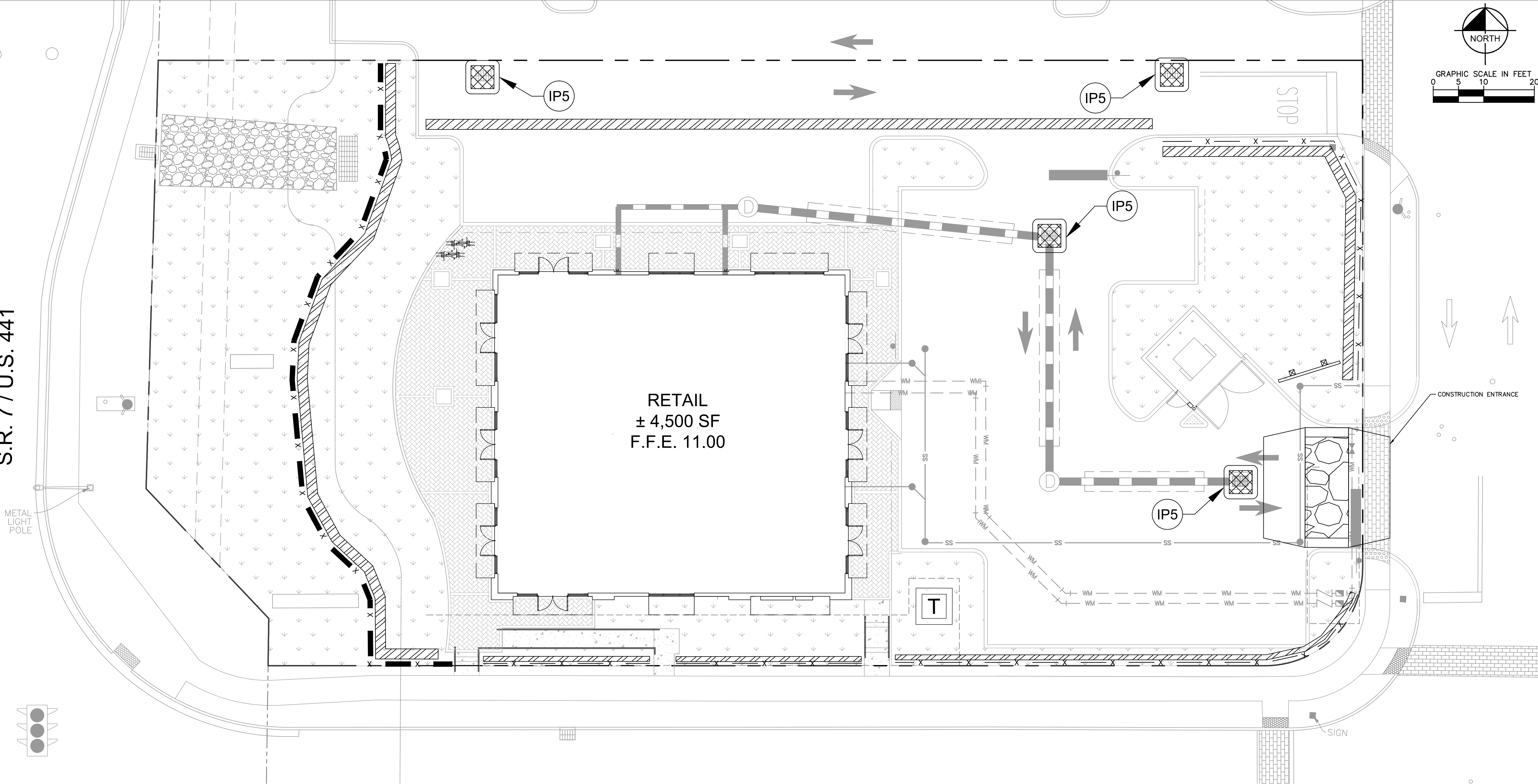
REVISIONS

DATE

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Plotted By:Schulz, Ryan Sheet Set:PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD L09041C-100 EROSION AND SEDIMENT CONTROL PLAN August 11, 2016 06:48:37pm K:\VRB-LDEV\147506002 - Phase 6 Retail\CAD\PlanSheets\C-100 SWPPP.dwg
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NOTES

1. ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. PORTABLE TOILETS MUST BE LOCATED AT LEAST 30 FEET FROM INLETS, CHANNELS, SWALES, OR PERMITTED LIMITS OF DISTURBANCE, AND MUST BE LOCATED AT LEAST 50 FEET FROM WATERS OF THE STATE, OR WATERS OF THE U.S. PORTABLE TOILETS MUST BE SECURELY ANCHORED AND/OR TIED DOWN. SECONDARY CONTAINMENT SHALL BE PROVIDED AND FULL CAPACITY SHALL BE RESTORED IMMEDIATELY UPON DISCOVERY OF ITS DIMINISHMENT. THE LOCATION OF SANITARY FACILITIES SHALL BE SHOWN ON THE SITE MAPS.
2. LARGE AREAS OF SOIL THAT ARE DENUDE OF VEGETATION AND HAVE NO PROTECTION FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHERING PRODUCTS TO PREVENT SOIL PARTICLES FROM BECOMING AIRBORNE, AND FROM EXITING THE SITE PERIMETER.
3. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATED ON THE SITE. TACKIFIERS MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST. MANUFACTURER RECOMMENDATIONS FOR APPLICATION LOCATIONS AND RATES MUST BE USED FOR DUST CONTROL APPLICATIONS. ONLY SWPPP-SPECIFIED TACKIFIERS MAY BE USED ON THE PROJECT SITE; ANY CHEMICAL APPLICATION NOT INCLUDED IN THE SWPPP MUST BE APPROVED, IN WRITING, BY THE CIVIL ENGINEER.
4. DUST CONTROL MUST BE PROVIDED BY THE GC TO A DEGREE THAT IS IN COMPLIANCE WITH APPLICABLE FEDERAL, LOCAL AND STATE DUST CONTROL REGULATIONS.
5. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
6. IN ADDITION TO BMP'S, GC SHALL PERFORM PER PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING.
7. STORM DRAIN INLET PROTECTION MEASURES SHALL PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS.
8. TEMPORARY CONTROLS SHALL BE CONSTRUCTED BEFORE THE SURROUNDING AREA IS DISTURBED.
9. TO PREVENT CLOGGING, STORM DRAIN CONTROL STRUCTURES MUST BE MAINTAINED FREQUENTLY.
10. CHECK ALL TEMPORARY CONTROL MEASURES DAILY, AND AFTER EACH STORM EVENT.
11. CONTROL MEASURES MUST BE BUILT PER DETAIL AND PLANS, AND MUST BE IN GOOD WORKING CONDITION AT ALL TIMES.
12. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
13. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
14. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
15. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP IMPLEMENTATION SEQUENCING, OR AS REQUIRED BY THE APPLICABLE GENERIC PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
16. ALL DENUDE/BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 7 DAYS.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE APPLIED PER ABOVE REQUIREMENTS.
19. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
20. ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE SITE PLANS.
21. STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT BENEFITS AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE-SPECIFIC POST CONSTRUCTION STORM WATER OPERATION AND MAINTENANCE (O&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.
22. ALL CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- PARCEL LINES
- X- CHAIN LINK FENCE
- /// FILTEREXX SEDIMENT CONTROL
- - - STORM SEWER PIPE
- SS SWPPP INFORMATION SIGN
- IP5 INLET PROTECTION FILTER SACK
- CONSTRUCTION EXIT
- PERMANENT SODDING

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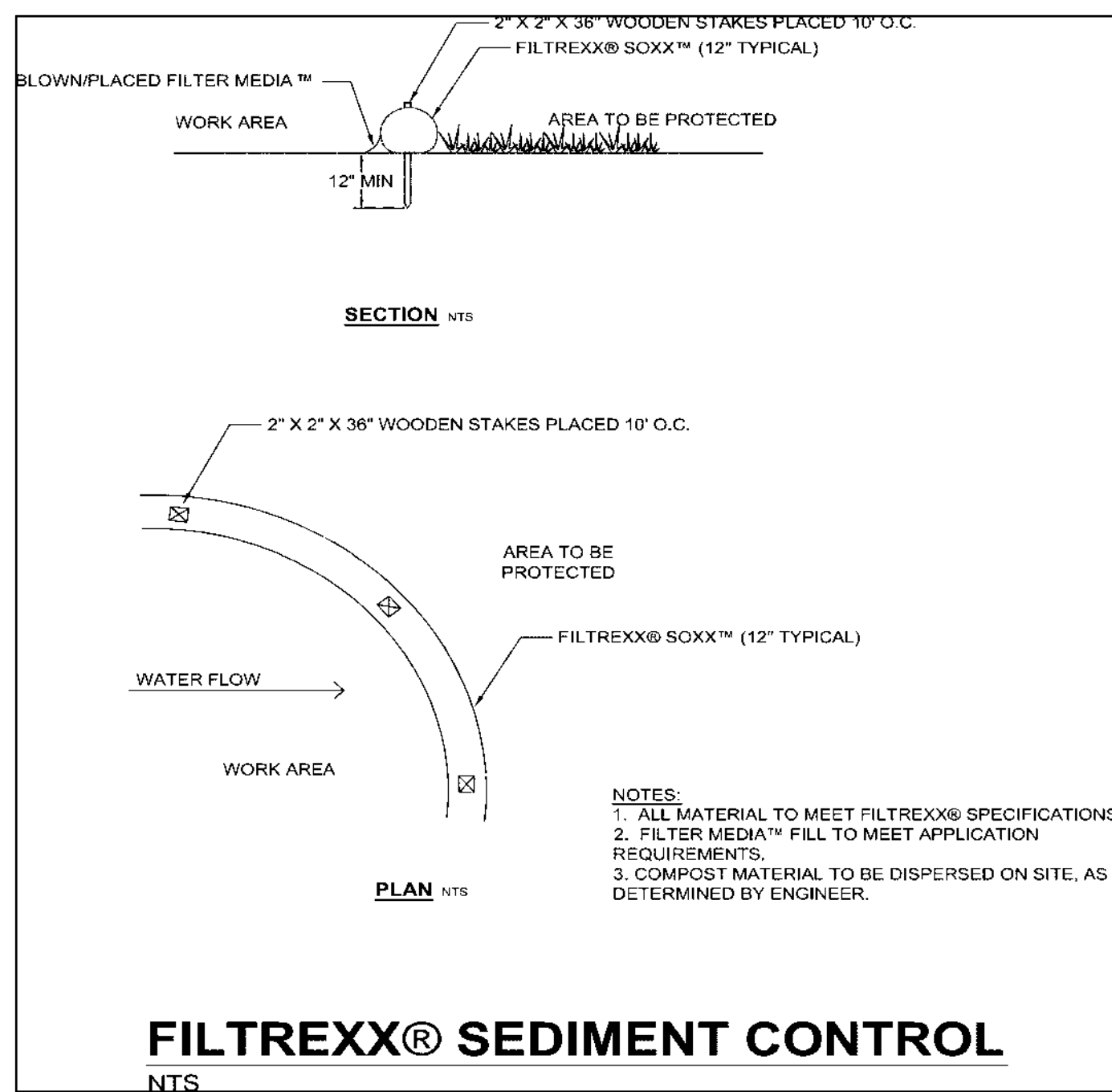
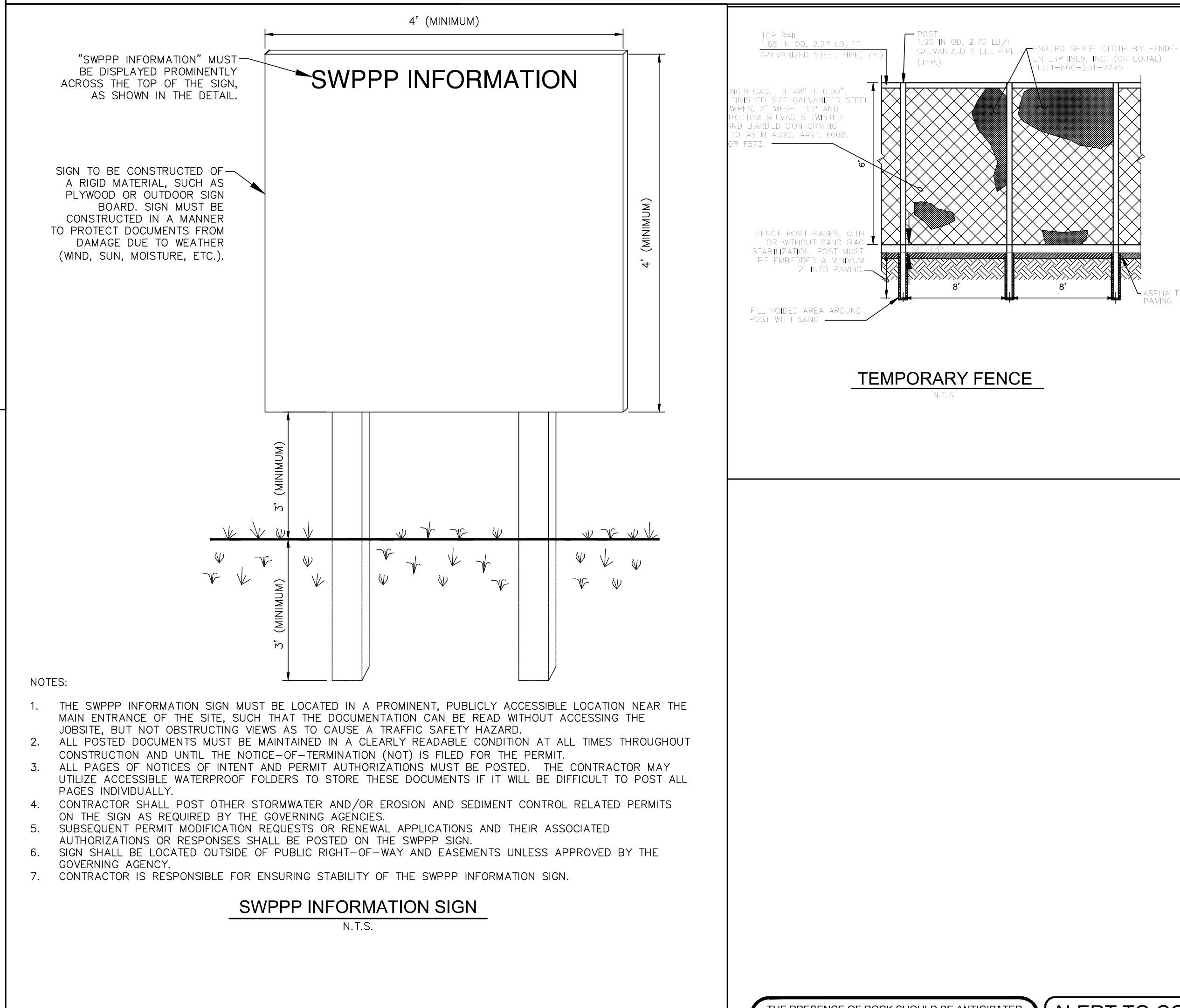
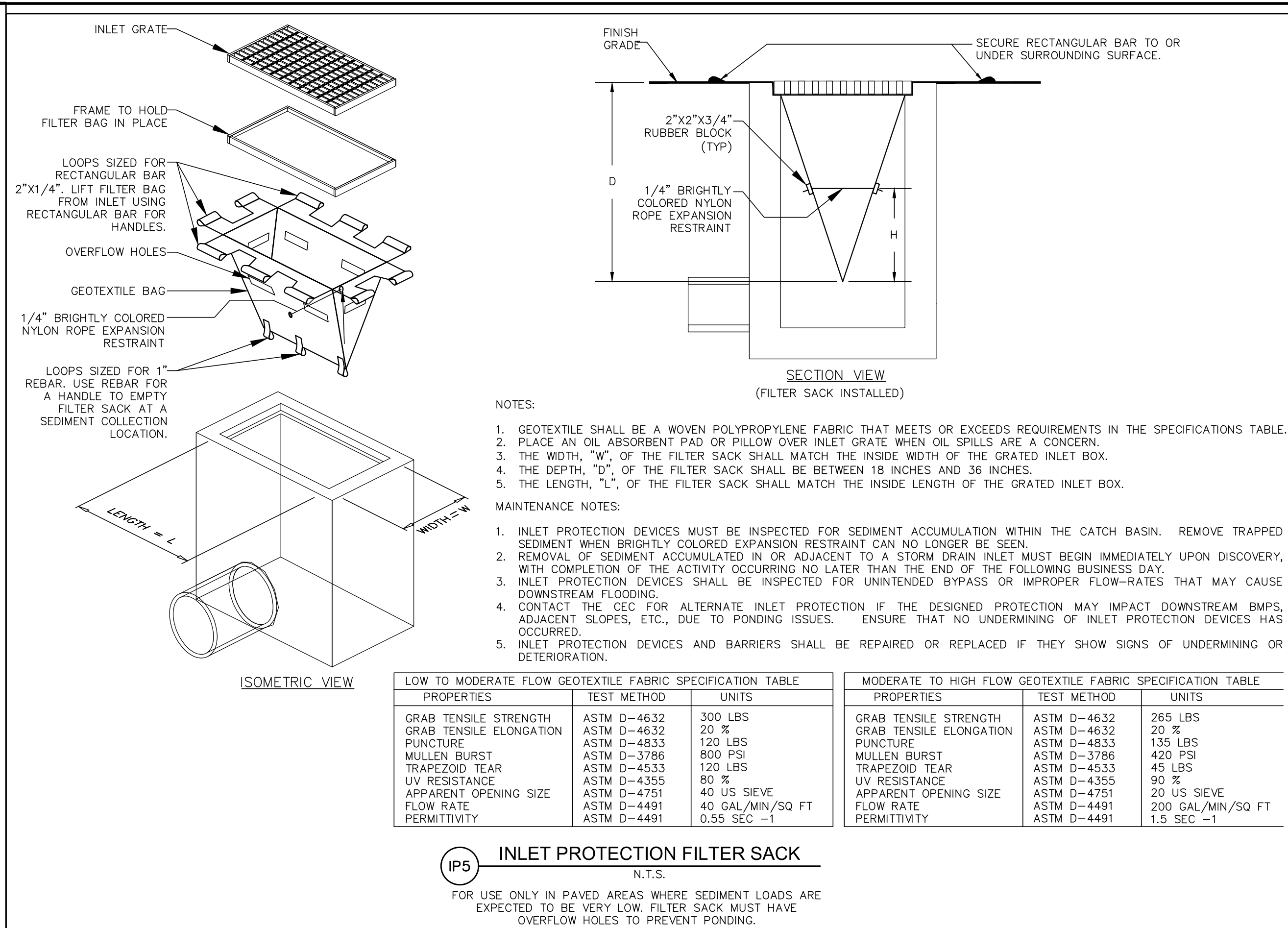
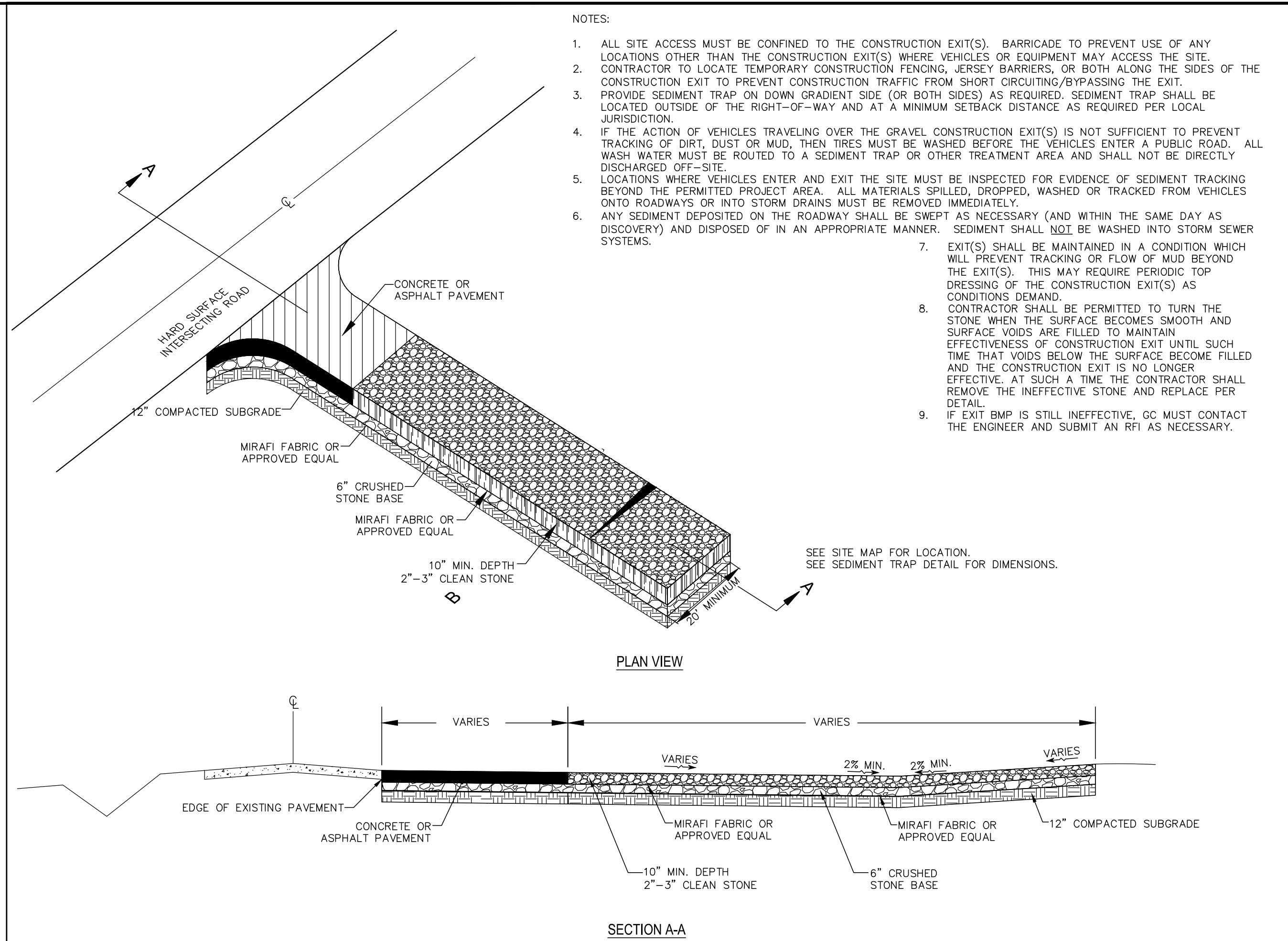
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2. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

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| DATE 08/11/16 | | GREG D. WILFONG, P.E. | | © 2016 KIMLEY-HORN AND ASSOCIATES, INC. | |
| SCALE AS SHOWN | | FL LICENSE NUMBER 63166 | | 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 | |
| DESIGNED BY GDW | | RS | | PHONE: 772-794-4100 | |
| DRAWN BY | | CHECKED BY | | WWW.KIMLEY-HORN.COM CA 00000696 | |
| CITY OF HOLLYWOOD | | FL | | NO. _____ | |
| PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD | | EROSION AND SEDIMENT CONTROL PLAN | | REVISIONS | |
| SHEET NUMBER C-100 | | DATE | | BY | |



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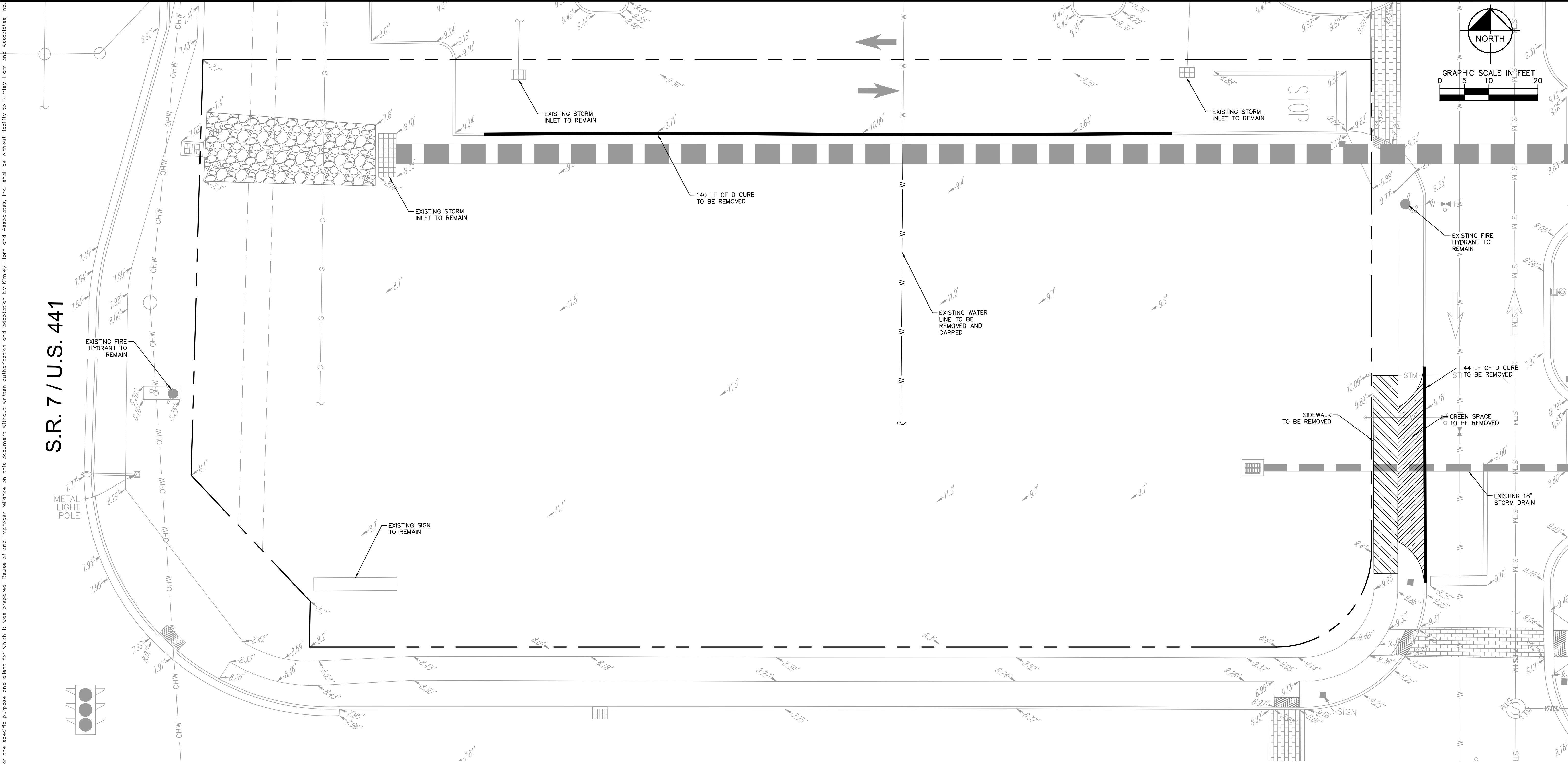
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ALERT TO CONTRACTOR:

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- 2 ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL PAVING) PRIOR TO THE MILESTONE DATE FOR THE OUTLET CONTRACTOR TO BEGIN WORK. THE MILESTONE DATE FOR JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLET. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLET CONTRACTOR TO THE SPECIFIC LOCATION, TIME AND DATE OF THE START OF THE OUTLET CONTRACTOR'S WORK. SEE ATTACHED DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

Plotted By: Schurz, Ryan Sheet Set: PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD -LOYOLA C-200 DEMOLITION PLAN August 11, 2016 06:49:08pm K:\VRB_LDEV\147506002 - Phase 6 Retail\CAD\PlanSheets\C-200 DEMOLITION PLAN.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, ASPHALT PAVEMENT, CONCRETE PAVEMENT, LIGHT POLES, FOUNDATIONS, DRAINAGE, STRUCTURES, UTILITIES, LANDSCAPING MATERIALS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED BY OWNER.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
10. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY OF HOLLYWOOD UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF HOLLYWOOD DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
11. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
12. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
13. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS REQUIRED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THE THIS DEMOLITION PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBONE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.

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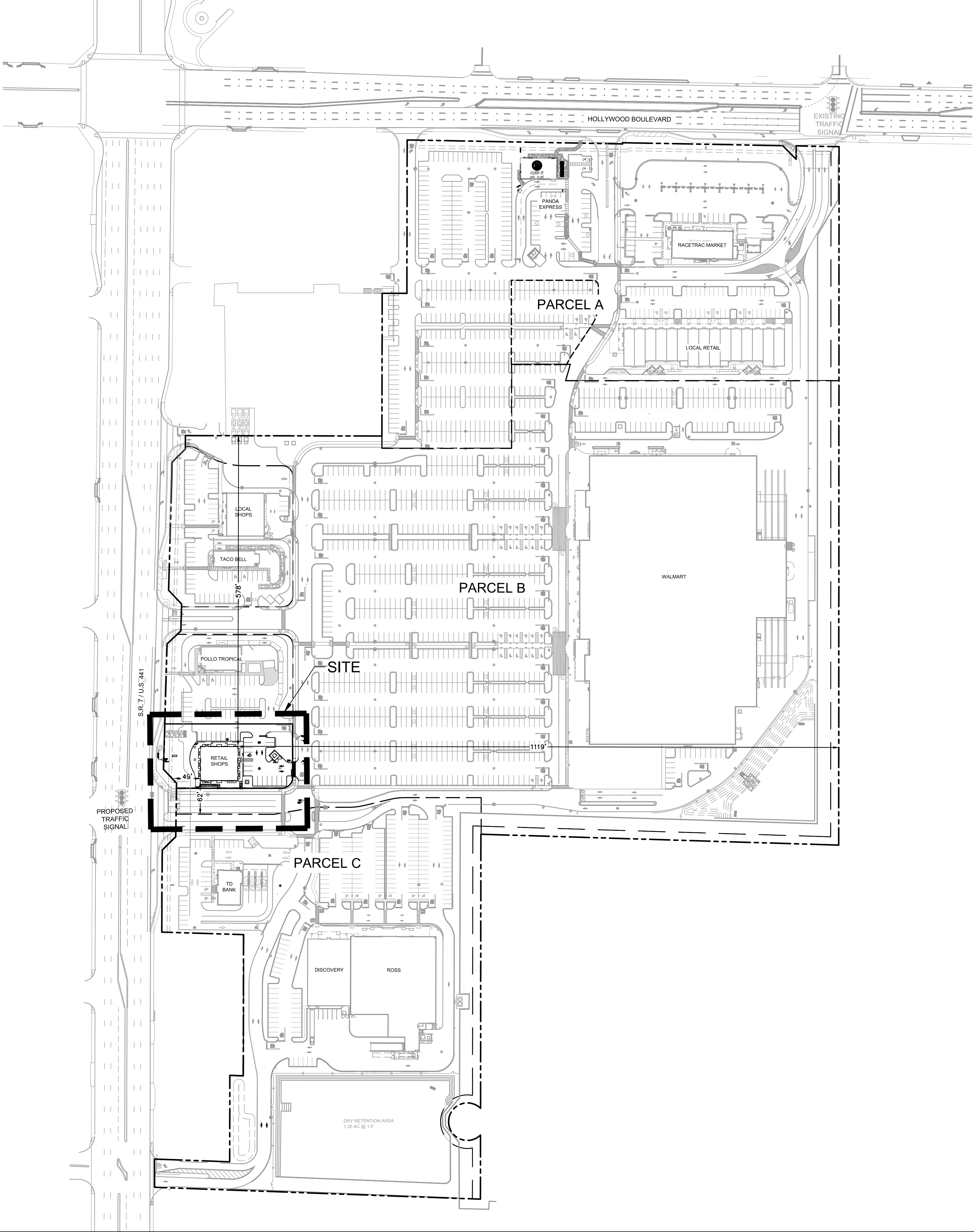
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| | | | | | | | | | | | | | |
|---|--|-----------------------|--|----------------------------|--|---------------------|--|----------------|--|-------------------|--|-------------------|--|
| KHA PROJECT 123456789 | | DATE 08/11/16 | | SCALE AS SHOWN | | DESIGNED BY GDW | | DRAWN BY RS | | CHECKED BY GDW | | DATE ---- | |
| LISCENSED PROFESSIONAL | | GREG D. WILFONG, P.E. | | FL LICENSE NUMBER 63166 | | WWW.KIMLEY-HORN.COM | | CA 00000696 | | REVISIONS | | BY DATE | |
| PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD | | | | | | | | | | | | CITY OF HOLLYWOOD | |
| DEMOLITION PLAN | | | | | | | | | | | | FL | |
| SHEET NUMBER C-200 | | | | | | | | | | | | | |

Plotted By: Schulz, Ryan Sheet Set: PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD LAYOUT: C-300 OVERALL SITE PLAN August 11, 2016 06:54:55pm K:\VRB-LDEV\147506002 - Phase 6 Retail\CAD\PlanSheets\C-300-SITE PLAN.dwg

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LEGEND

- PROPOSED STAMPED COLOR CONCRETE
- PROPOSED CONCRETE
- PROPERTY LINE
- SETBACK LINE
- LIMIT OF SCOPE OF WORK
- PARCEL LINES

OVERALL SITE DATA

LEGAL DESCRIPTION: PARCELS 'A', 'B' AND 'C', 'HOLLYWOOD PLAZA' ACCORDING TO THE PLAT THEREFORE, AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOCATION: SECTION 13, TOWNSHIP 51 S, RANGE 41 E

ADDRESS: 333 S. STATE ROAD 7, HOLLYWOOD, FL 33023

ZONING: SR7 CCD-C2: COMMERCIAL CORRIDOR DISTRICT - COMMERCIAL CORE SUB-AREA
C-2: LOW/MEDIUM INTENSITY COMMERCIAL DISTRICT
C-3: MEDIUM INTENSITY COMMERCIAL DISTRICT

LAND USE: 71: TRANSIT ORIENTED CORRIDOR

NET AREA: 1,747,214 SF OR 40.11 AC

NOTES: THE MAXIMUM FOOT-CANDLE LEVEL AT PROPERTY LINES (MAXIMUM 0.5 ADJACENT TO RESIDENTIAL).

SITE DATA: (PHASE VI RETAIL SHOPS)

| | | | |
|---------------------------|-----------|---------|---------|
| LOT COVERAGE: | | | |
| BUILDING AREA: | 4,500 SF | 0.10 AC | 16.00% |
| PERVIOUS AREA: | 9,637 SF | 0.22 AC | 34.27% |
| VEHICULAR USE AREA: | 10,897 SF | 0.25 AC | 38.75% |
| WALKWAYS/IMPERVIOUS AREA: | 3,086 SF | 0.08 AC | 10.97% |
| | 28,120 SF | 0.65 AC | 100.00% |

VEHICULAR USE AREA: 10,897 SF

REQUIRED LANDSCAPING FOR VEHICULAR USE AREA: 25% OF 2,724 SF

PROVIDED: 19.90% OR 2,169 SF

| | | |
|--------------------|----------|----------|
| BUILDING SETBACKS: | REQUIRED | PROVIDED |
| FRONT | 15' | 49' |
| REAR | 15' | 1119' |
| SIDE (NORTH) | 15' | 578' |
| SIDE (SOUTH) | 15' | 62' |

DEVELOPMENT SUMMARY (PHASE VI)

| | | |
|-----------------------|---|-----------------|
| SITE AREA: | 0.65 AC | |
| ZONING DISTRICT: | C-2 | |
| MAX. BUILDING HEIGHT: | REQUIRED MAX. HEIGHT: 60'(5 STORIES) | PROVIDED 24' |

BUILDING DATA FOR SHOPPING CENTER:

| | |
|-------------------------------|------------|
| EXISTING | |
| PARCEL A | |
| PANDA EXPRESS | 2,600 SF |
| LOCAL RETAIL | 19,720 SF |
| RACETRAC | 5,928 SF |
| TOTAL PARCEL A | 28,248 SF |
| PARCEL B | |
| WALMART (GROSS LEASABLE AREA) | 186,316 SF |
| LOCAL SHOPS | 5,600 SF |
| TACO BELL | 2,556 SF |
| POLLO TROPICAL | 3,505 SF |
| RETAIL SHOPS (PHASE VI) | 4,500 SF |
| TOTAL PARCEL B | 202,476 SF |
| PARCEL C | |
| ROSS | 27,250 SF |
| DISCOVERY | 10,042 SF |
| TD BANK | 2,967 SF |
| TOTAL PARCEL C | 40,259 SF |
| GRAND TOTAL | 270,263 SF |

| | | | | |
|--------------------------------------|------------------------------|------------------------------|---------------|---|
| VARIANCE BOX | | | | |
| PROPOSED SIGNAGE VARIANCE | ALLOWED | PROPOSED | SIGN LOCATION | SUMMARY |
| PARCEL "B" | 1 MONUMENT SIGN PER FRONTAGE | 1 MONUMENT SIGN ON WEST SIDE | | VARIANCE FOR ADDITIONAL MONUMENT SIGN (24 SF PER SIDE, 4' HEIGHT) |
| PROPOSED VEHICULAR USE AREA VARIANCE | | | | |
| VEHICULAR USE AREA | 25% OR 27,224 SF | 19.90% OR 2,169 SF | | VEHICULAR USE AREA NOT MET DUE TO SITE RESTRAINTS |

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PHASE VI RETAIL
AT THE PLACE AT
HOLLYWOOD

CITY OF HOLLYWOOD

SHEET NUMBER
C-300

OVERALL SITE PLAN

LICENSED PROFESSIONAL
123456789
DATE
08/11/16
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

GREG D. WILFONG, P.E.
FL LICENSE NUMBER
63166
RS
GDM
DATE: _____

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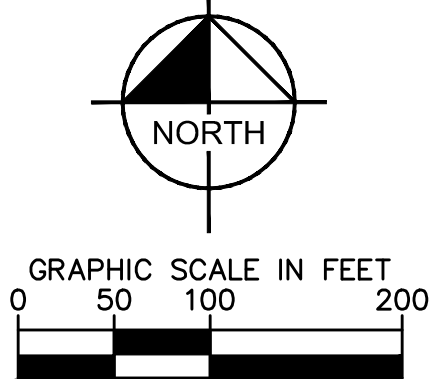
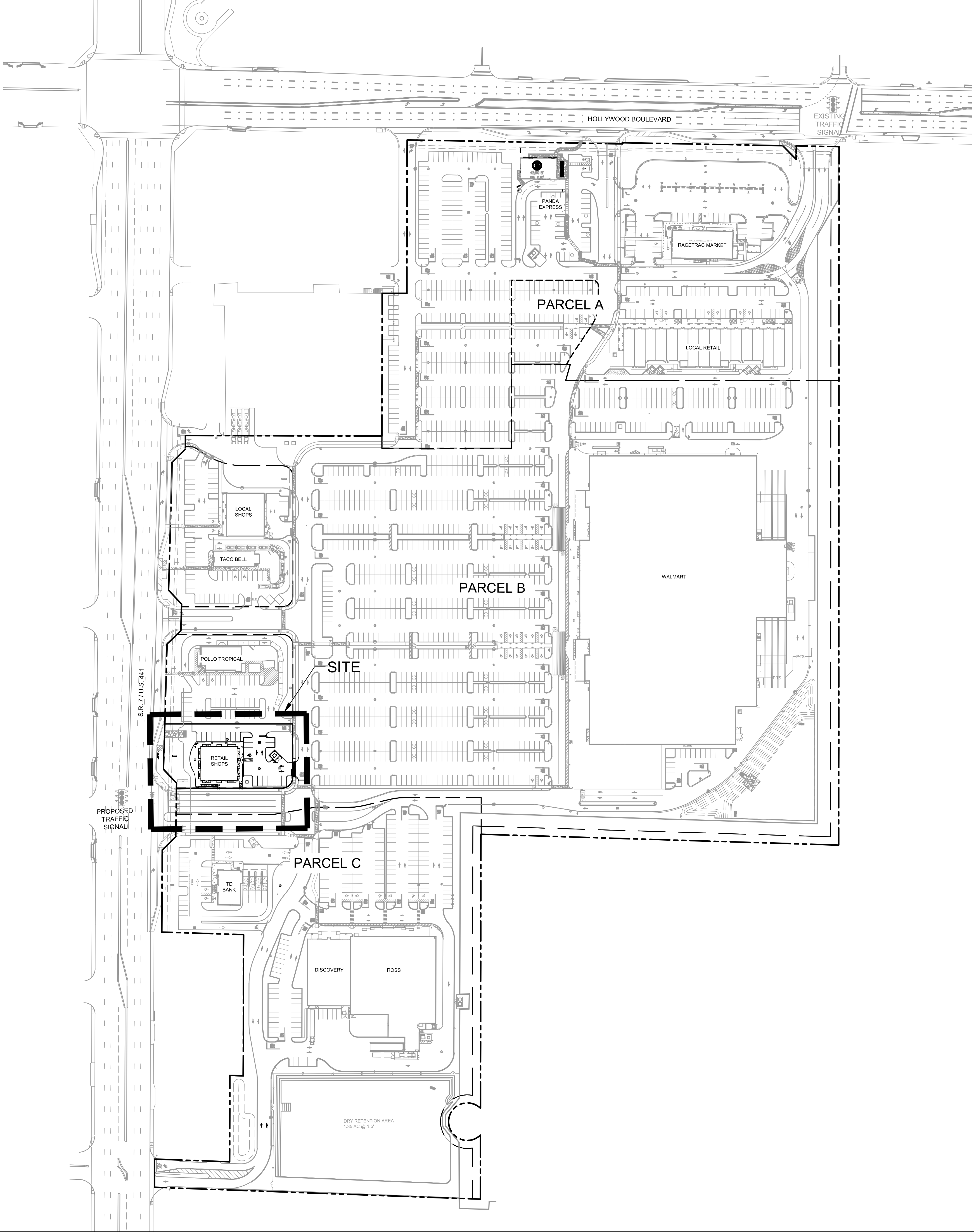
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PHONE: 772-794-4100
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REVISIONS

BY
DATE

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| PARKING SUMMARY | REQUIRED | PROVIDED |
|--------------------|---------------------------------|-------------------|
| PARCEL A | | |
| RACETRAC | | |
| STANDARD | 27 | 27 |
| ACCESSIBLE PER ADA | 2 | 2 |
| TOTAL | 29 | 29 |
| PARKING RATIO | 4.89 SP/ 1000 SF | 4.89 SP/ 1000 SF |
| LOCAL RETAIL | | |
| STANDARD | 104 | 112 |
| ACCESSIBLE PER ADA | 5 | 10 |
| LOADING SPACES | 1 | 1 |
| TOTAL | 110 | 122 |
| PARKING RATIO | 5.58 SP/ 1000 SF | 6.19 SP/ 1000 SF |
| PANDA EXPRESS | | |
| STANDARD | 18 | 33 |
| ACCESSIBLE PER ADA | 2 | 2 |
| LOADING SPACES | 0 | 0 |
| TOTAL | 20 | 35 |
| PARKING RATIO | 7.43 SP/ 1000 SF | 13.01 SP/ 1000 SF |
| STANDARD | 300* | 303 |
| ACCESSIBLE PER ADA | 0 | 0 |
| TOTAL | 300 PER CROSS PARKING AGREEMENT | 489 |

| | | |
|--------------------|-----------------|----------------------------|
| PARCEL B | | |
| WALMART | | |
| STANDARD | 828 | 826 |
| ACCESSIBLE PER ADA | 19 | 26 |
| CART CORRALS | N/A | 29 (NOT INCLUDED IN TOTAL) |
| TOTAL | 847 | 852 |
| PARKING RATIO | 4.55 SP/1000 SF | 4.56SP/1000 SF |
| LOADING SPACES | 4 (10' X 25') | 6 (10' X 130') |

| | | |
|--------------------|-----------------|----------------|
| LOCAL SHOPS | | |
| STANDARD | 24 | 27 |
| ACCESSIBLE PER ADA | 2 | 2 |
| TOTAL | 26 | 29 |
| PARKING RATIO | 4.55 SP/1000 SF | 5.18SP/1000 SF |

| | | |
|--------------------|-----------------|------------------|
| TACO BELL | | |
| STANDARD | 11 | 26 |
| ACCESSIBLE PER ADA | 1 | 2 |
| TOTAL | 12 | 28 |
| PARKING RATIO | 4.55 SP/1000 SF | 10.95 SP/1000 SF |

| | | |
|-----------------------|-----------------|------------------|
| POLLO TROPICAL | | |
| STANDARD | 15 | 35 |
| ACCESSIBLE PER ADA | 1 | 2 |
| TOTAL | 16 | 37 |
| PARKING RATIO | 4.55 SP/1000 SF | 10.66 SP/1000 SF |

| | | |
|--------------------|-----------------|-----------------|
| PHASE VI | | |
| STANDARD | 20 | 24 |
| ACCESSIBLE PER ADA | 1 | 1 |
| TOTAL | 21 | 25 |
| PARKING RATIO | 4.55 SP/1000 SF | 5.55 SP/1000 SF |

| | | |
|--------------------|------------------|-------------------|
| PARCEL C | | |
| TD BANK | | |
| STANDARD | 13 | 28 |
| ACCESSIBLE PER ADA | 1 | 2 |
| LOADING SPACES | 0 | 0 |
| TOTAL | 14 | 30 |
| PARKING RATIO | 4.55 SP/ 1000 SF | 10.11 SP/ 1000 SF |

| | | |
|-------------------------|------------------|------------------|
| RETAIL A & B | | |
| STANDARD | 164 | 164 |
| ACCESSIBLE PER ADA | 6 | 6 |
| TOTAL | 170 | 170 |
| PARKING RATIO | 4.56 SP/ 1000 SF | 4.56 SP/ 1000 SF |
| LOADING SPACES | 3 | 3 |

NOTE: REQUIRED PARKING SPACES FOR ALL BUILDING USES WERE CALCULATED BASED ON SHOPPING CENTER REQUIREMENT OF 1SP/220SF.

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PHASE VI RETAIL
AT THE PLACE AT
HOLLYWOOD

CITY OF HOLLYWOOD

FL

OVERALL PARKING
PLAN

LICENSED PROFESSIONAL

GREG D. WILFONG, P.E.

FL LICENSE NUMBER
63166

KHA PROJECT
123456789

DATE
08/11/16

SCALE AS SHOWN

DESIGNED BY
GDW

DRAWN BY
RS

CHECKED BY

DATE: _____

REVISIONS

| No. | DATE | BY |
|-----|------|----|
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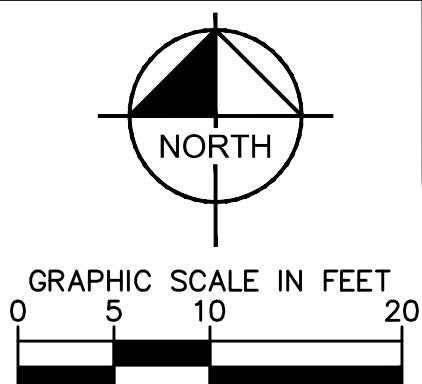
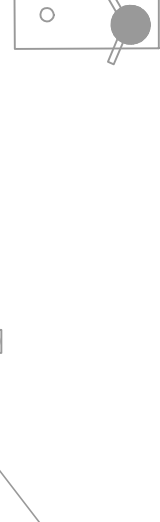
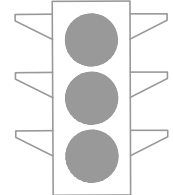
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SHEET NUMBER
C-301

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LEGEND

- PROPOSED STAMPED COLOR ASPHALT
- PROPOSED GREEN SPACE
- PROPOSED PAVERS
- PROPOSED LEASE LINE
- EXISTING FIRE HYDRANT
- PROPOSED TYPE "D" CURB
- PROPOSED PARKING SPACES

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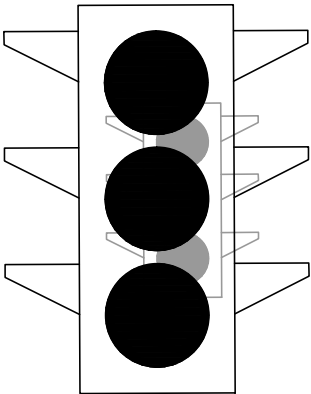
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|--|--|------------------------------|--|----------------------------|
| PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD | | CITY OF HOLLYWOOD | | FL |
| | | SHEET NUMBER C-302 | | |
| SITE PLAN | | KHA PROJECT 123456789 | | LICENSED PROFESSIONAL |
| | | DATE 08/11/16 | | GREG D. WILFONG, P.E. |
| | | SCALE AS SHOWN | | FL LICENSE NUMBER 63166 |
| | | DESIGNED BY GDW | | |
| | | DRAWN BY RS | | |
| | | CHECKED BY GDW | | DATE: ---- |
| | | No. | | REVISIONS |
| | | BY | | DATE |

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DRAINAGE STRUCTURE TABLE

| | |
|------|---|
| EX-1 | FDOT TYPE C INLET RIM EL. 8.70' INV. EL. 8.70' (N) |
| EX-2 | FDOT TYPE C INLET RIM EL. 8.82 |
| EX-3 | FDOT TYPE C INLET ADJUST RIM FROM 9.91' TO 9.35' INV. EL. 0.45' (E) INV. EL. 0.50' (W) |
| D-1 | STORM MANHOLE RIM EL. 10.25 INV. EL. 0.50' (E) INV. EL. 4.00' (W) |
| D-2 | FDOT TYPE C INLET RIM EL. 9.74 INV. EL. 0.50' (W) INV. EL. 0.50' (S) |
| D-3 | STORM MANHOLE RIM EL. 9.95 INV. EL. 0.50' (N) INV. EL. 0.50' (E) |

NOTES:

- CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX'S 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED, CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
- ALL CLEANOUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
- ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
- SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION, IN CASES OF SIDEWALK AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH, 6" RISE, AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- SPOT ELEVATIONS ARE AT FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING GRADES AND DRAINAGE HAVE BEEN TAKEN FROM A SURVEY PREPARED BY PULICE LAND SURVEYORS, INC. DATED MAY 24TH, 2016. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. BROWARD COUNTY BENCHMARK NO. S2062; ELEV. = 8.50'.
- HDPE STORM PIPE-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE STORM DRAINAGE PIPE INSTALLATION MANUAL AND SPECIFICATIONS AND COMPLYING WITH ALL MANUFACTURER'S INSTALLATION PROCEDURES AND REQUIREMENTS. TESTING OF BACKFILL MATERIAL AND COMPACTION OF BACKFILL MATERIAL IS THE CONTRACTOR'S RESPONSIBILITY.
- ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
A. FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-24" DIAMETER.
B. FOR RCP DRAINAGE PIPE MAKE CONNECTION PER FDOT INDEX 280, CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND STUB PIPE DETAIL.
C. NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
- ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT INDEX #280. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.
- EXISTING STORM INLETS AND PIPES ON PROPERTY TO BE JETTED AND CLEANED PRIOR TO ENGINEER'S ACCEPTANCE OF SYSTEM.
- CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION ACTIVITY.
- CONTRACTOR TO ENSURE POSITIVE RUNOFF FROM THE BUILDING. PAVING SHALL BE FREE OF PONDING AND MAINTAIN POSITIVE OUTFALL TO THE DRAINAGE SYSTEM. CONTRACTOR SHALL FIELD VERIFY EXISTING DRAINAGE PATTERNS AND TIE-IN GRADES AND ALERT OWNER AND ENGINEER SHOULD ANY CONFLICTS ARISE.
- DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- ALL SLOPES STEEPER THAN 6:1 SHALL BE SODDED.

LEGEND

| | |
|--|--------------------------------|
| | PROPOSED STAMPED COLOR ASPHALT |
| | PROPOSED PAVERS |
| | PROPOSED STANDARD DUTY ASPHALT |
| | PROPOSED HEAVY DUTY ASPHALT |
| | PROPOSED CONCRETE |

--- PROPOSED LEASE LINE
--- PROPOSED STORM PIPE

| | |
|--|-----------------------|
| | STORMWATER INLET |
| | STORMWATER MANHOLE |
| | EXISTING FIRE HYDRANT |

BROWARD COUNTY DRAINAGE REQUIREMENTS

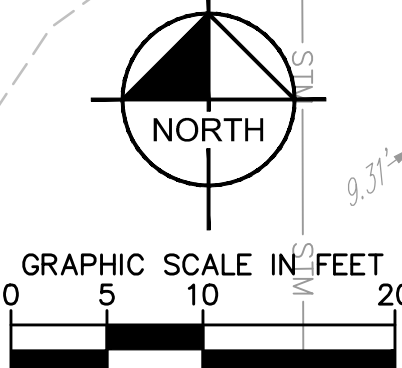
| SITE DATA | REQUIRED | PROVIDED |
|----------------|-------------------|----------------------|
| MAX IMPERVIOUS | 50% OR 0.32 ACRES | 49.72% OR 0.33 ACRES |
| MAX BUILDING | 35% OR 0.23 ACRES | 16.00% OR 0.10 ACRES |
| MIN PERVIOUS | 15% OR 0.10 ACRES | 34.27% OR 0.22 ACRES |
| EXFIL. TRENCH | 100 LF | 100 LF |
| F.F.E. | 11.00' | 11.00' |

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PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
GREG D. WILFONG, P.E.
FL LICENSE NUMBER
63166

KHA PROJECT
123456789
DATE
08/11/16
SCALE AS SHOWN
DESIGNED BY GDW
DRAWN BY RS
CHECKED BY GDW
DATE: ---

PAVING, GRADING
AND DRAINAGE PLAN

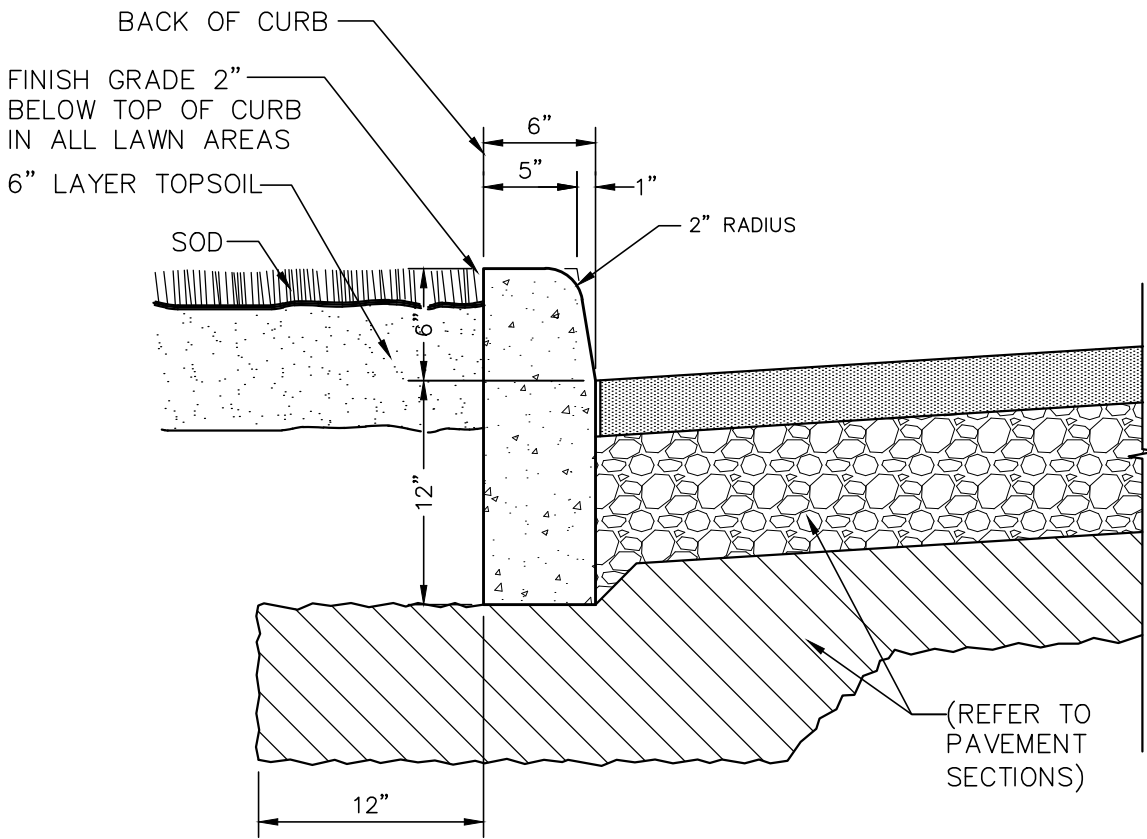
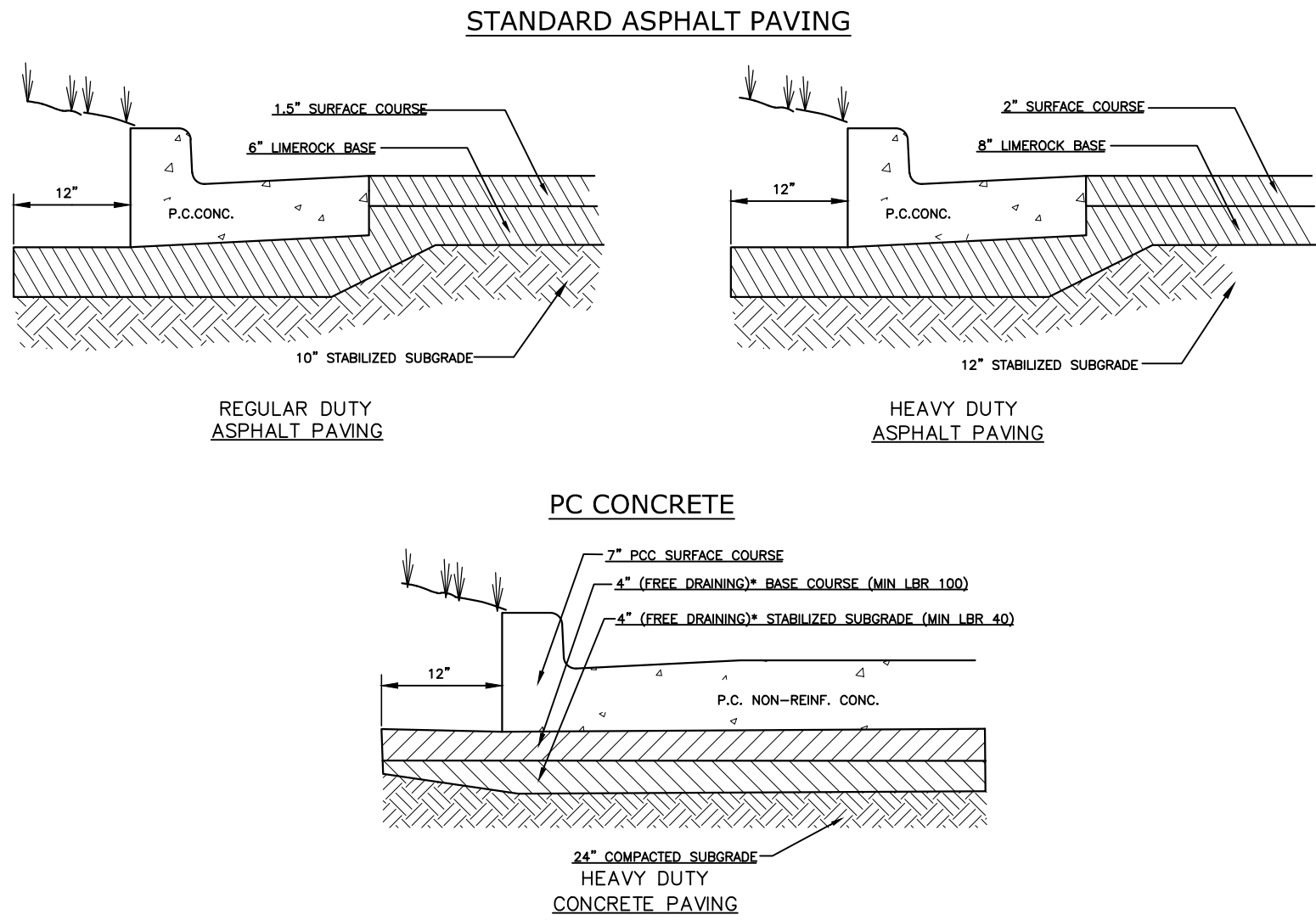
PHASE VI RETAIL
AT THE PLACE AT
HOLLYWOOD

SHEET NUMBER
C-400

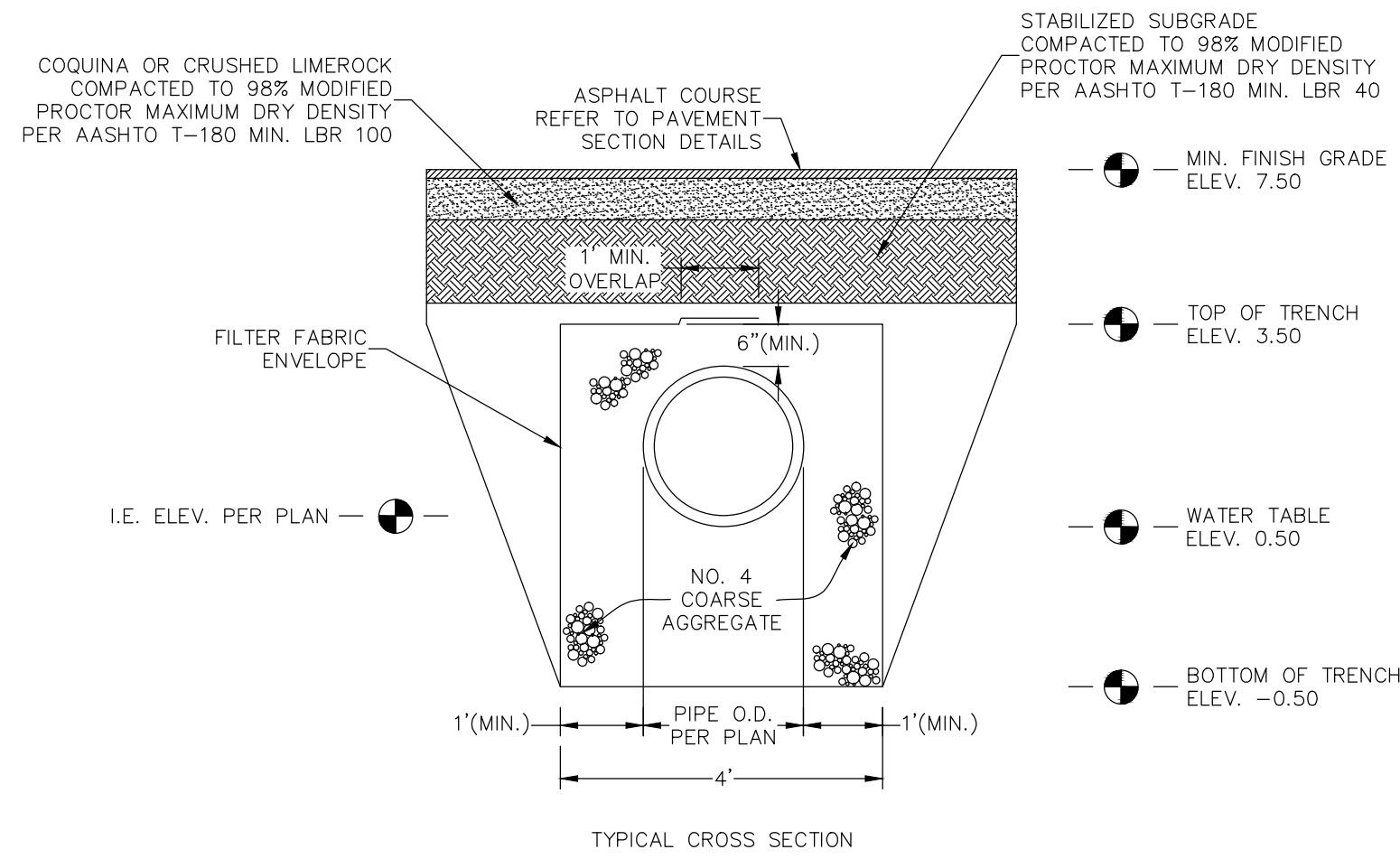
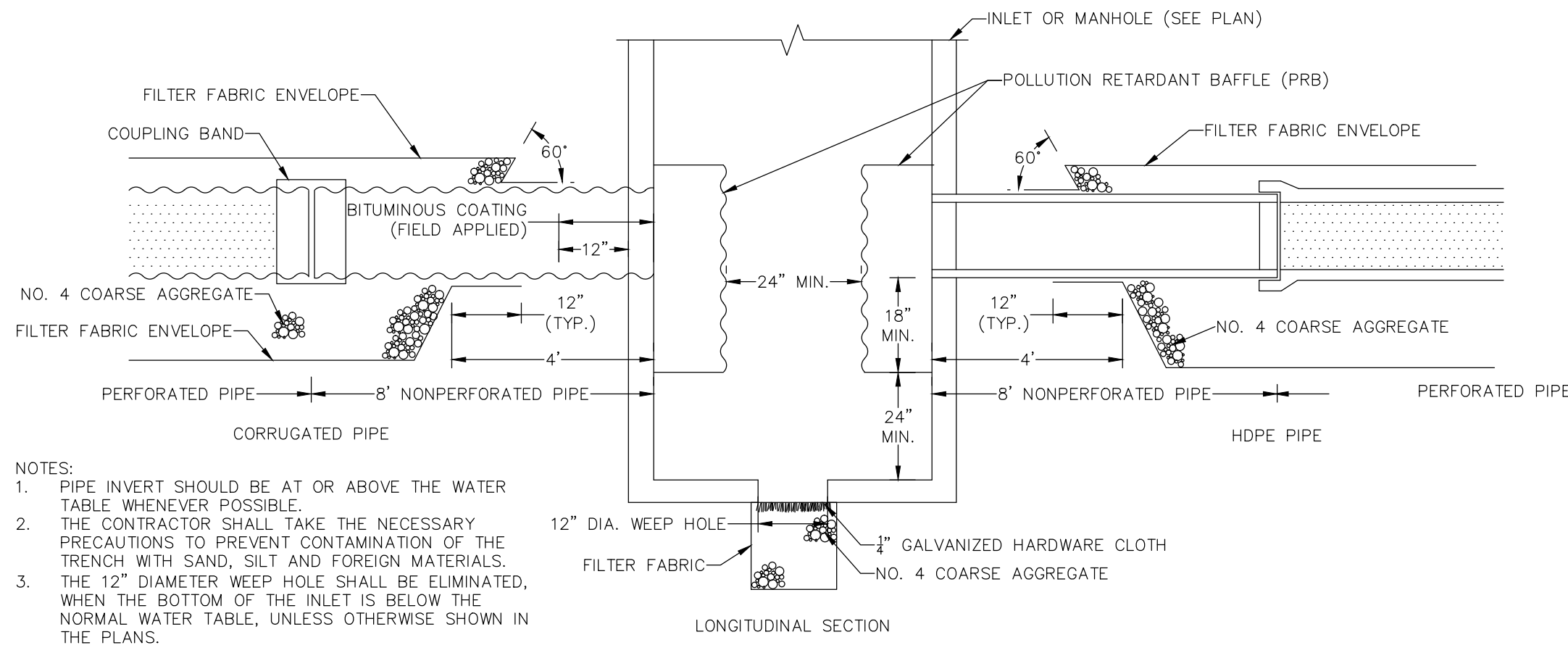
CITY OF HOLLYWOOD

REVISIONS
No. DATE BY

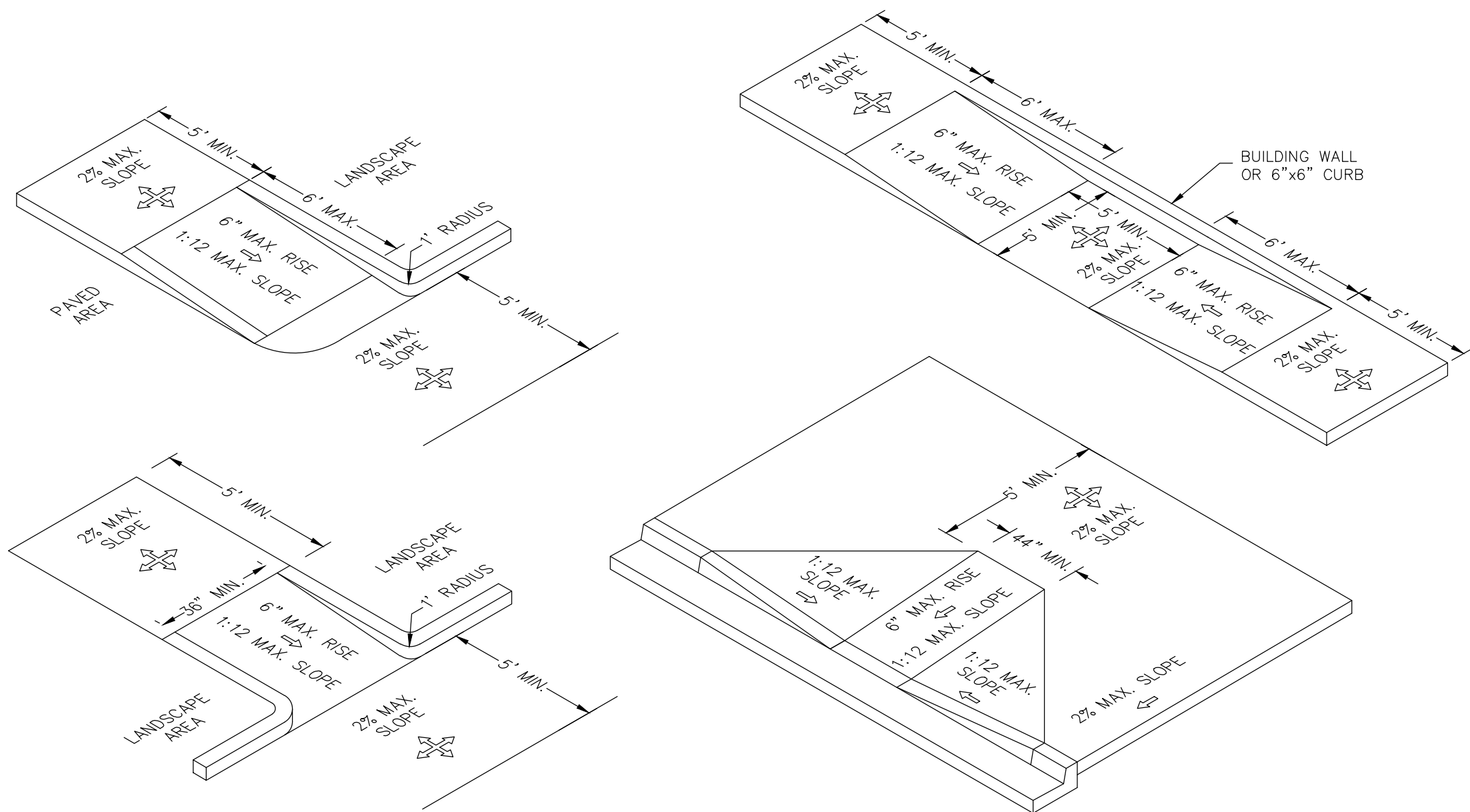
Plotted By: Schulz, Ryan Sheet Set: PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD LAYOUT: C-401 PAVING, GRADING AND DRAINAGE DETAILS August 11, 2016 06:51:04pm K:\VRB-LEVA\47506002 - Phase 6 Retail\CAD\PlanSheets\C-401 PGD DETAILS.dwg
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N.T.S.
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EXFILTRATION TRENCH
N.T.S.



NOTE:
CURB RAMPS IN RIGHT-OF-WAY SHALL PROVIDE
DETECTABLE WARNING AND COMPLY WITH FDOT INDEX 304.

N.T.S.

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| KHA PROJECT | | DATE | | SCALE | | DESIGNED BY | | DRAWN BY | | CHECKED BY | | CITY OF HOLLYWOOD | | SHEET NUMBER | |
|---|----------|----------|-----|-------|-----|-------------|--|----------|--|------------|--|-------------------|--|--|--|
| 123456789 | 08/11/16 | AS SHOWN | GDW | RS | GDW | FL | | | | | | C-401 | | | |
| PAVING, GRADING AND DRAINAGE DETAILS | | | | | | | | | | | | | | PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD | |
| Kimley»Horn | | | | | | | | | | | | | | C-401 | |
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| No. | | | | | | | | | | | | | | DATE | |
| BY | | | | | | | | | | | | | | | |

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S.R. 7 / U.S. 441

MATCHLINE (SEE BELOW)

RETAIL
± 4,500 SF
F.F.E. 11.00

UTILITY NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS:
8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
6" PVC SCHEDULE 40
DUCTILE IRON PIPE PER AWWA C150
4. WATER LINES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS:
6" AND LARGER, PVC C-900 PER ASTM D 2241
CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
5. MINIMUM FRENCH WIDTH SHALL BE 72 FEET.
6. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
7. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 36" COVER ON ALL WATER LINES.
9. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
10. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
11. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
12. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
13. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
14. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
15. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF HOLLYWOOD) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
16. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
17. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO STORE POSSESSION.
18. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
19. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
20. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 FAC.

NOTE:

GAS SERVICE AND METER WILL
BE PROVIDED BY TECO GAS.

NOTE:

CONTRACTOR TO VERIFY ALL STUB LOCATIONS AND INVERTS
PRIOR TO STARTING UTILITY CONSTRUCTION

UTILITY CROSSING SCHEDULE

| # | BOTTOM PIPE | BOTTOM PIPE T.O.P. ELEV. | TOP PIPE | TOP PIPE INV. | PIPE SEPARATION (FT) |
|---|-------------|-----------------------------|----------|---------------|-------------------------|
| 1 | WATER | 7.21 | SANITARY | 3.30 | 3.91 |
| 2 | WATER | 7.16 | SANITARY | 3.19 | 3.97 |
| 3 | WATER | 6.97 | SANITARY | 0.97 | 6.00 |
| 4 | WATER | 6.99 | SANITARY | 0.24 | 6.74 |
| 5 | SANITARY | -2.24 | STORM | 0.50 | 1.74 |
| 6 | STORM | 0.50 | WATER | 6.45 | 5.95 |

WATER AND SEWER DEMAND

| | | |
|------------------|----------------------------|----------------------------|
| SHOPPING CENTERS | WATER @ 0.1 GAL./DAY-SF | SEWER @ 0.1 GAL./DAY-SF |
| RETAIL SHOPS | 450 | 450 |

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LEGEND

- PROPOSED STAMPED COLOR CONCRETE
- PROPERTY LINE
- UTILITY EASEMENT
- WATER LINE
- SANITARY SEWER LINE
- BURIED ELECTRIC LINE
- TELEPHONE/CABLE LINE
- STORM SEWER LINE

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PHASE VI RETAIL
AT THE PLACE AT
HOLLYWOOD

SHEET NUMBER
C-500

LICENSED PROFESSIONAL

KHA PROJECT
123456789

DATE
08/11/16

SCALE AS SHOWN

DESIGNED BY GDW

DRAWN BY RS

CHECKED BY GDW

GREG D. WILFONG, P.E.

FL LICENSE NUMBER
63166

Kimley»Horn

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REVISIONS

No.

DATE

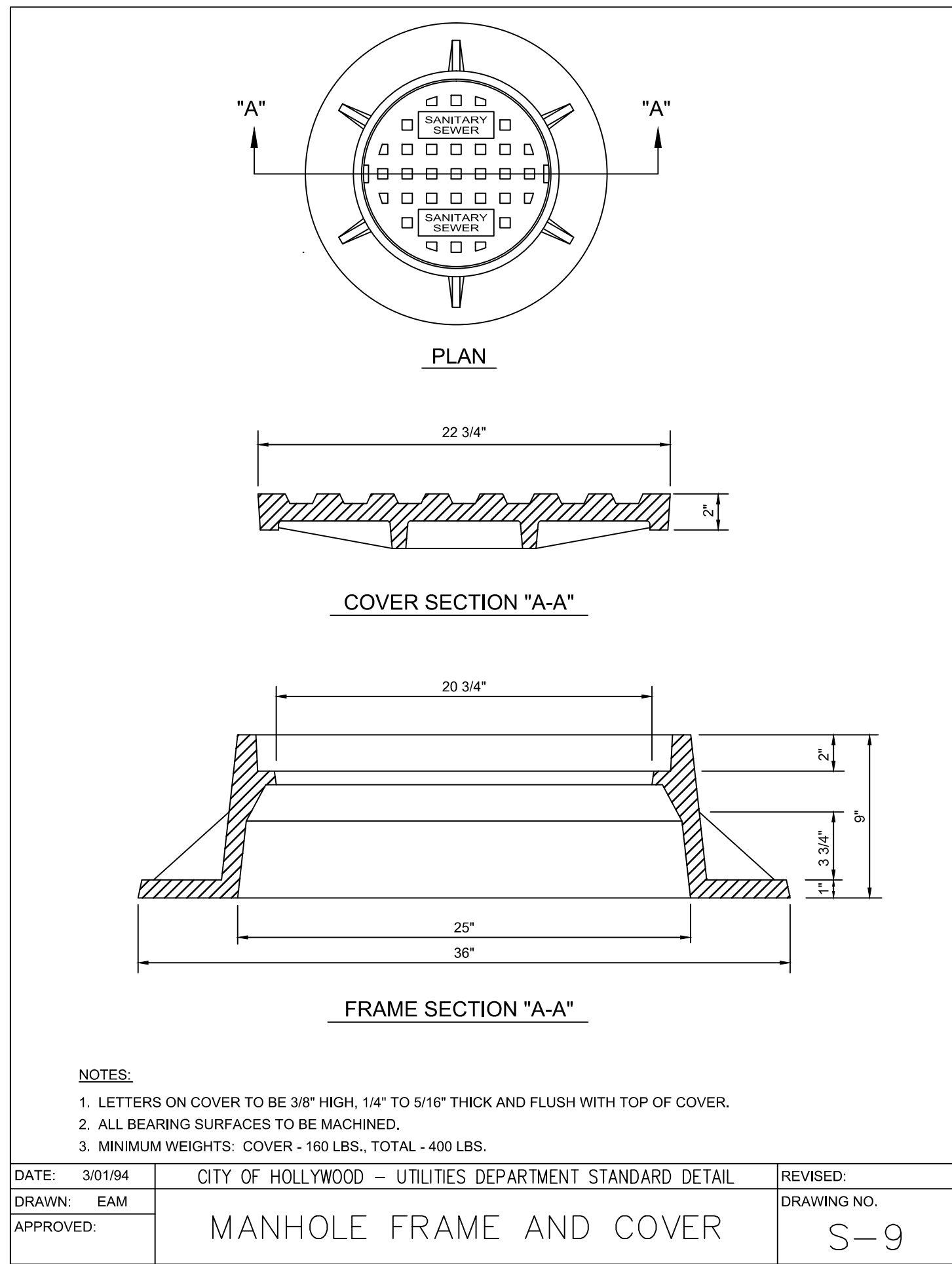
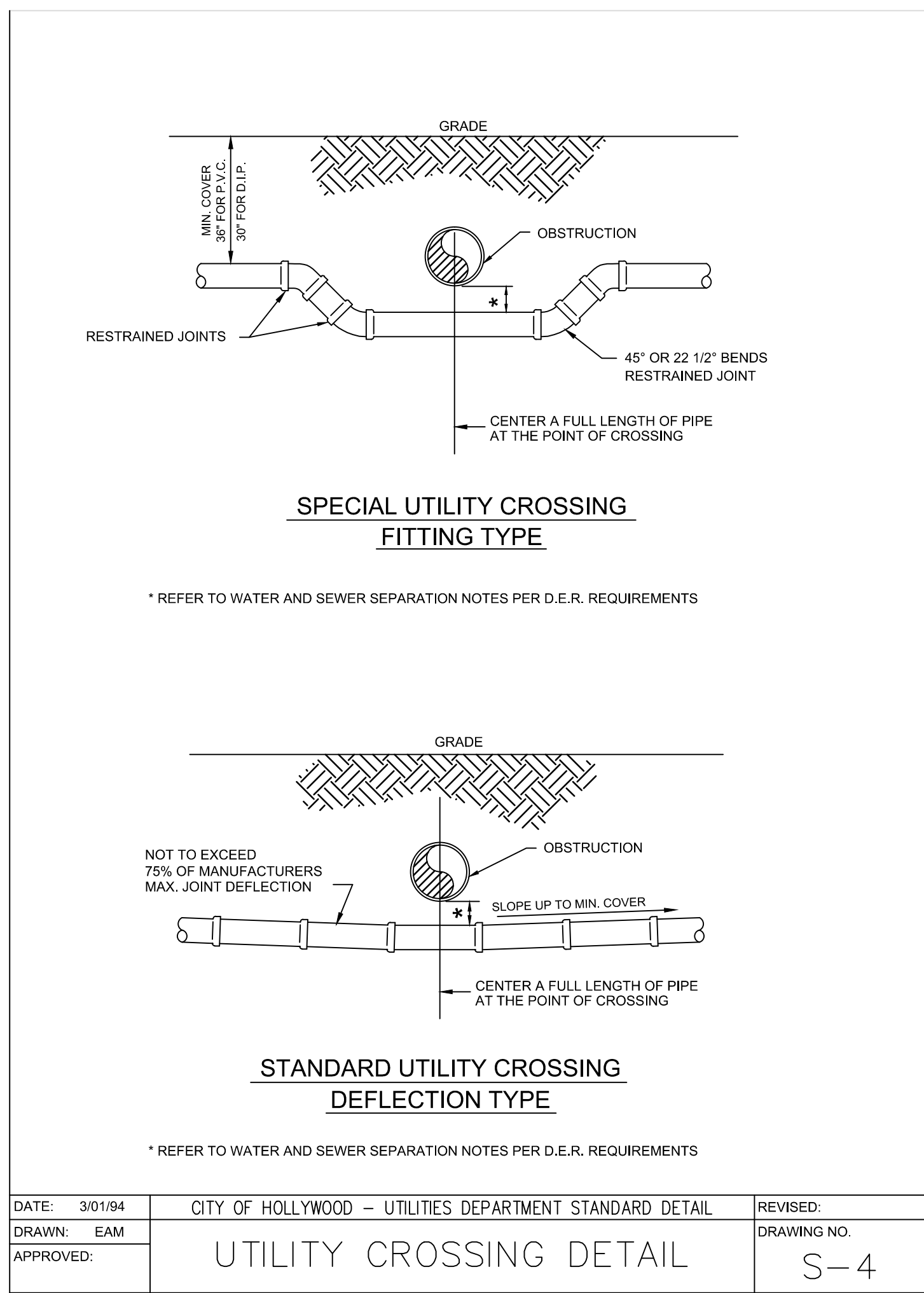
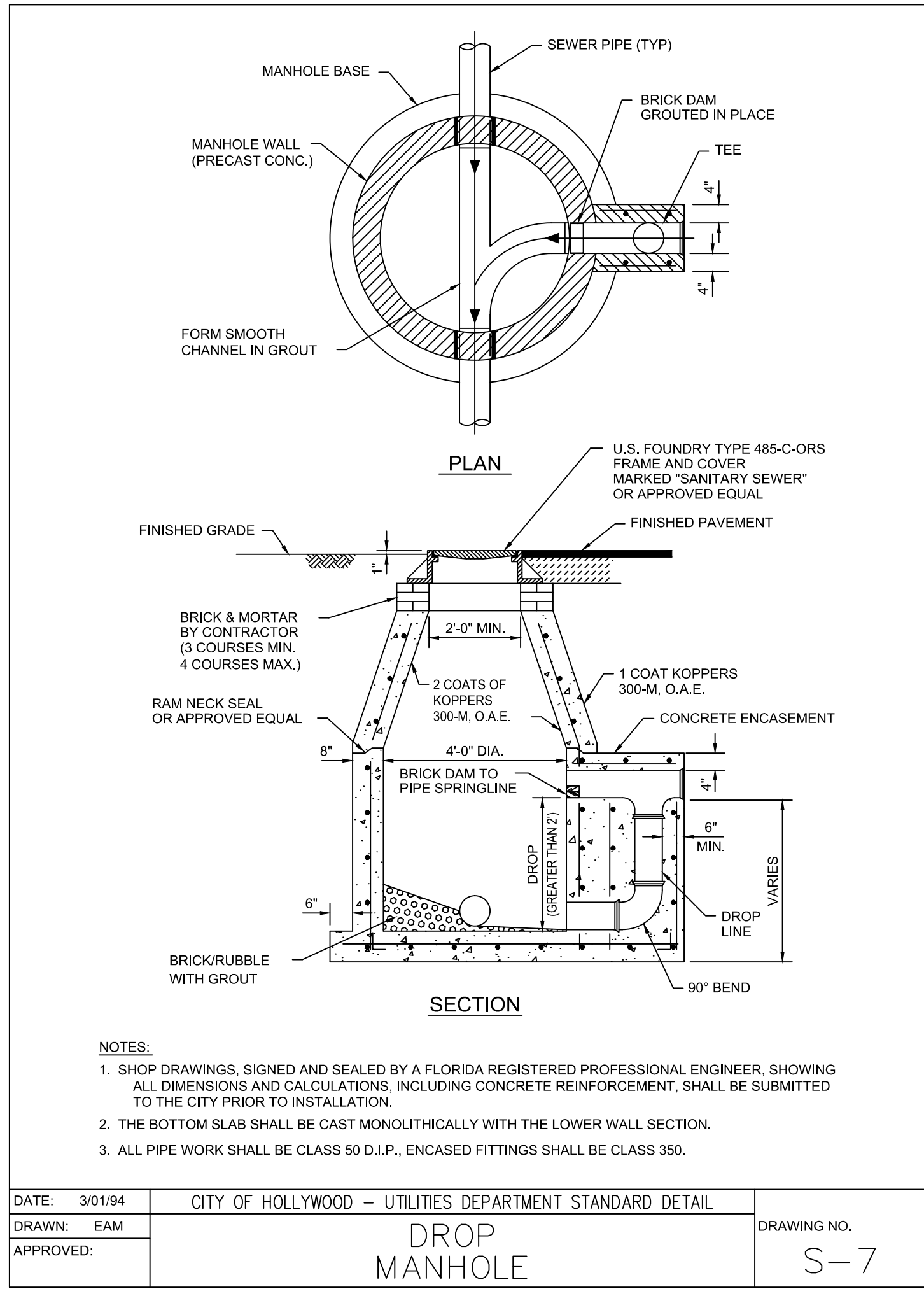
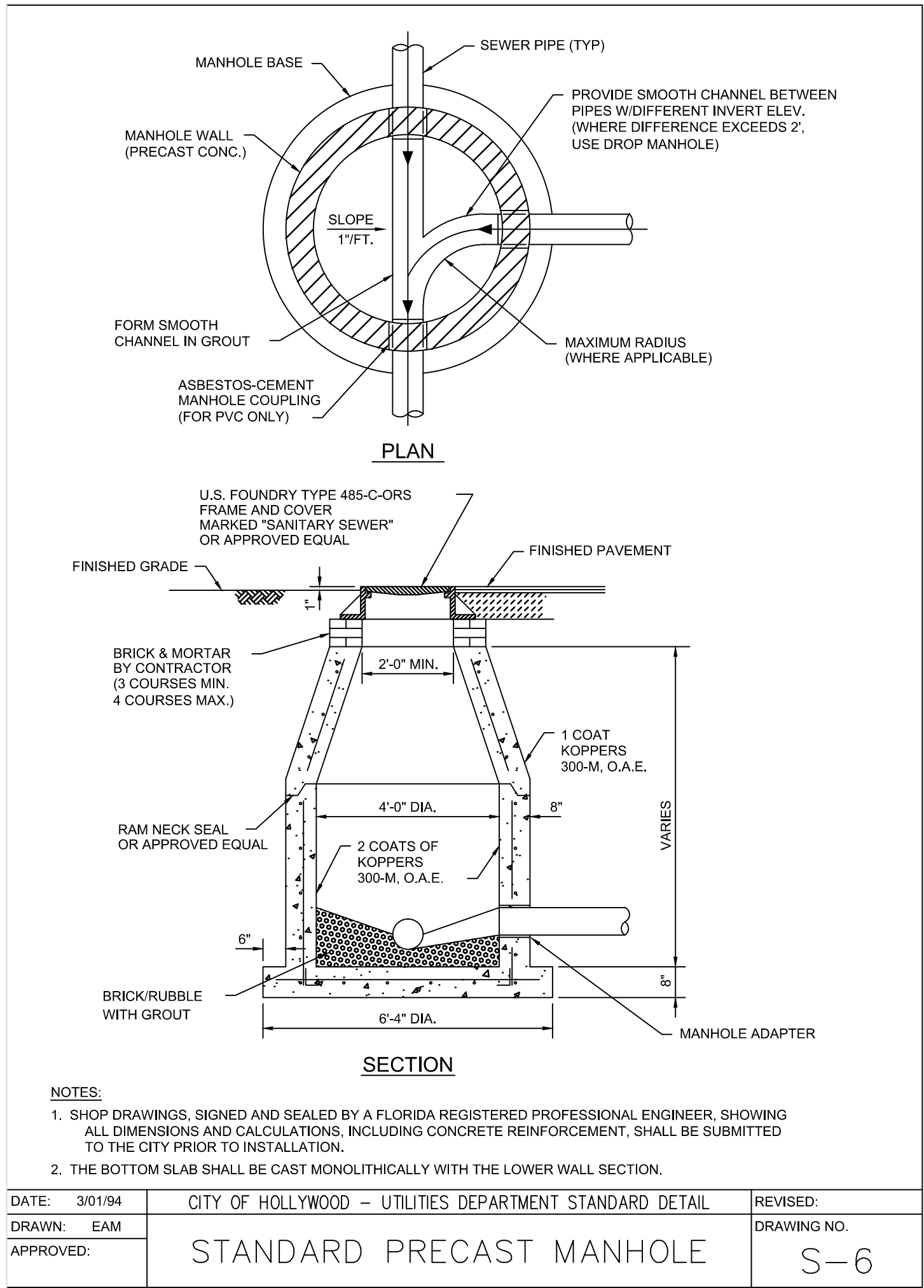
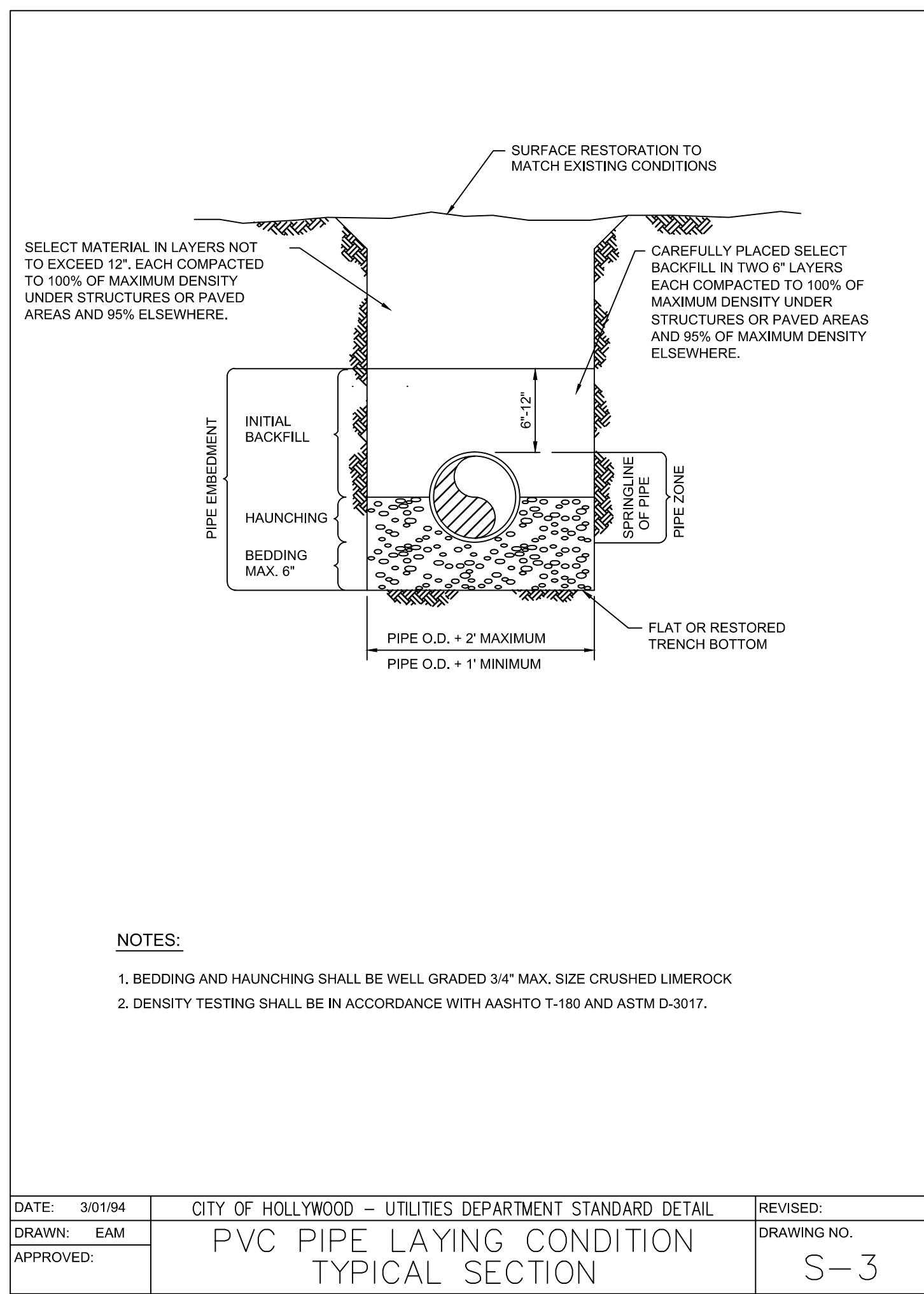
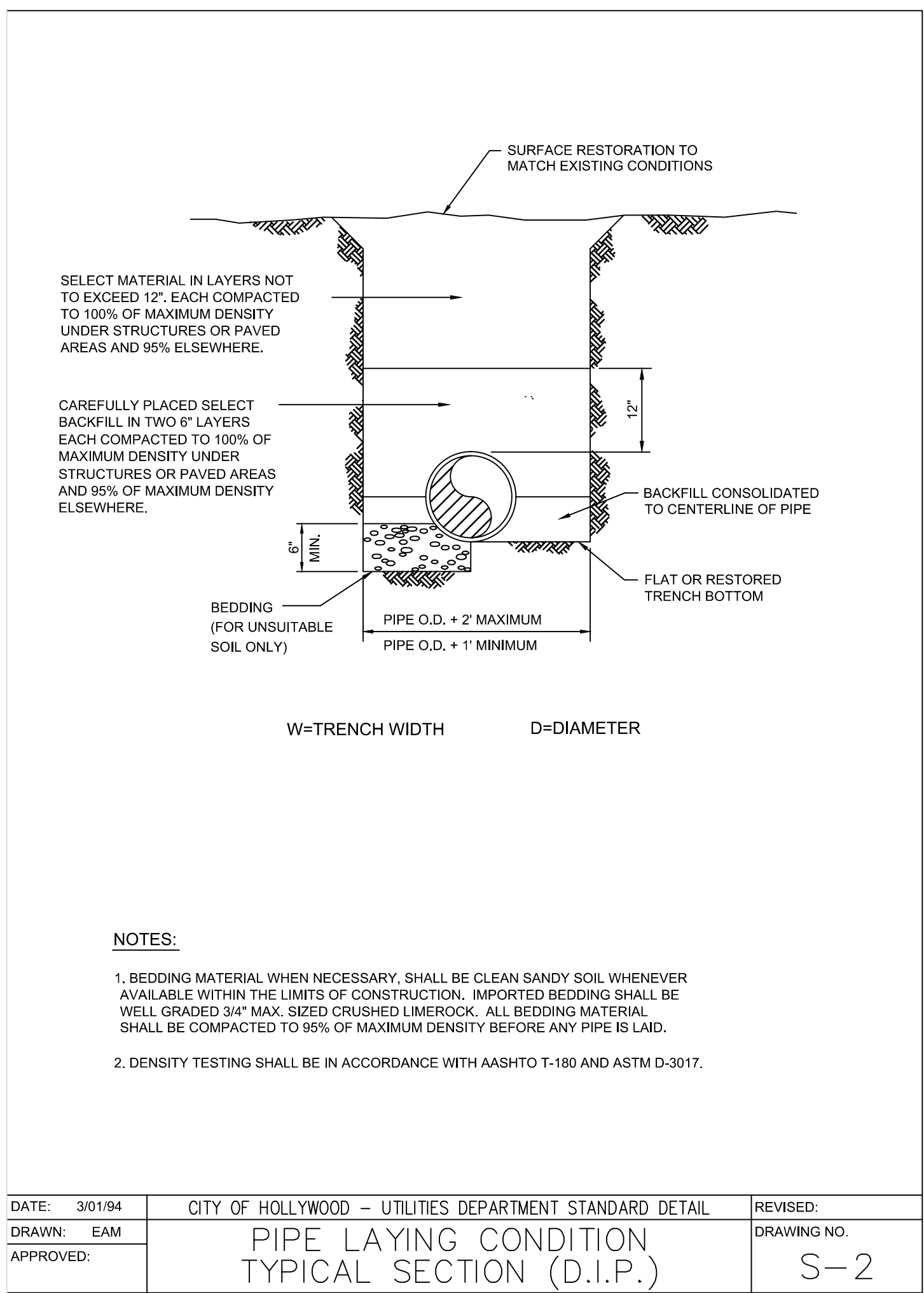
BY

DATE

BY

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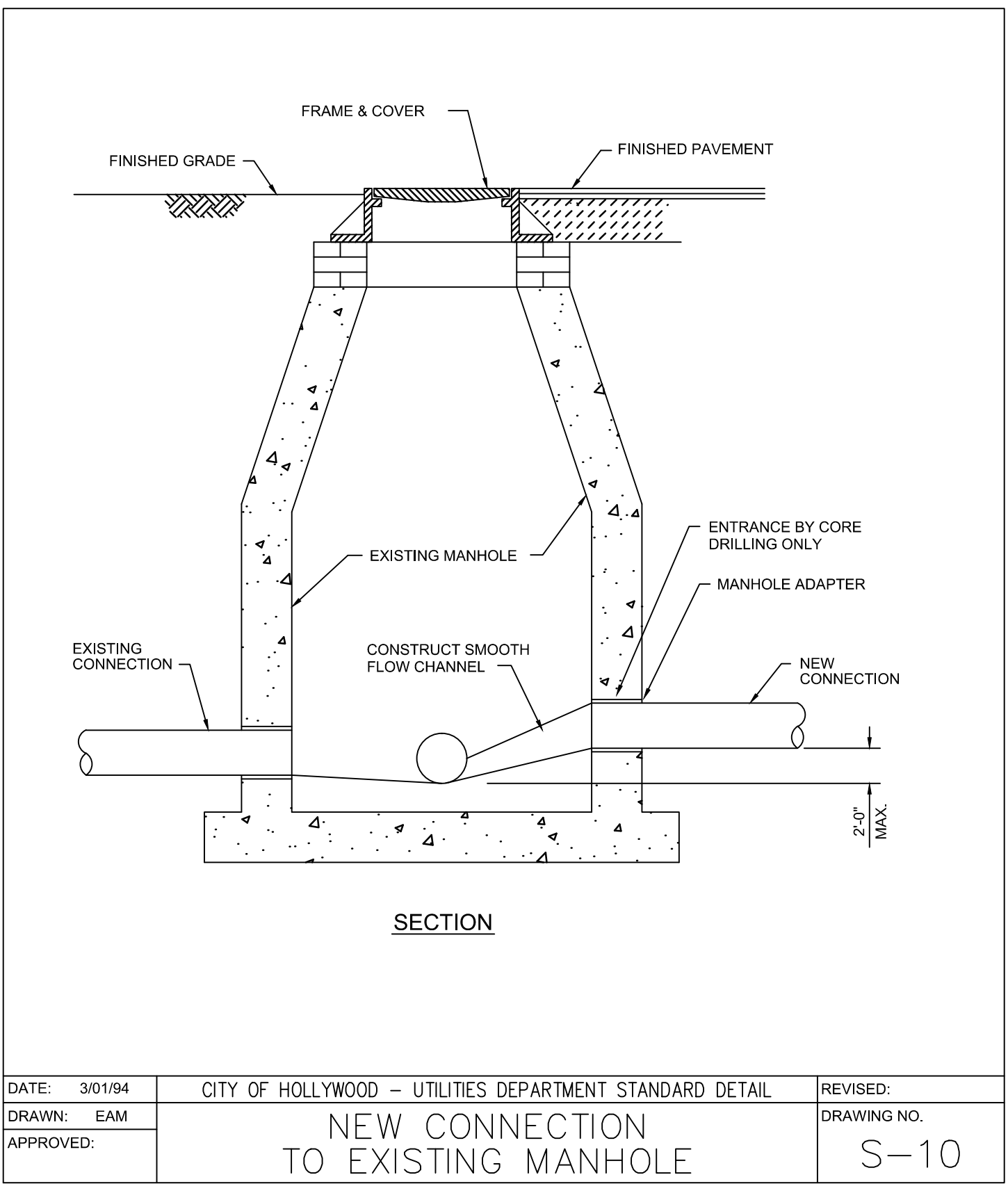
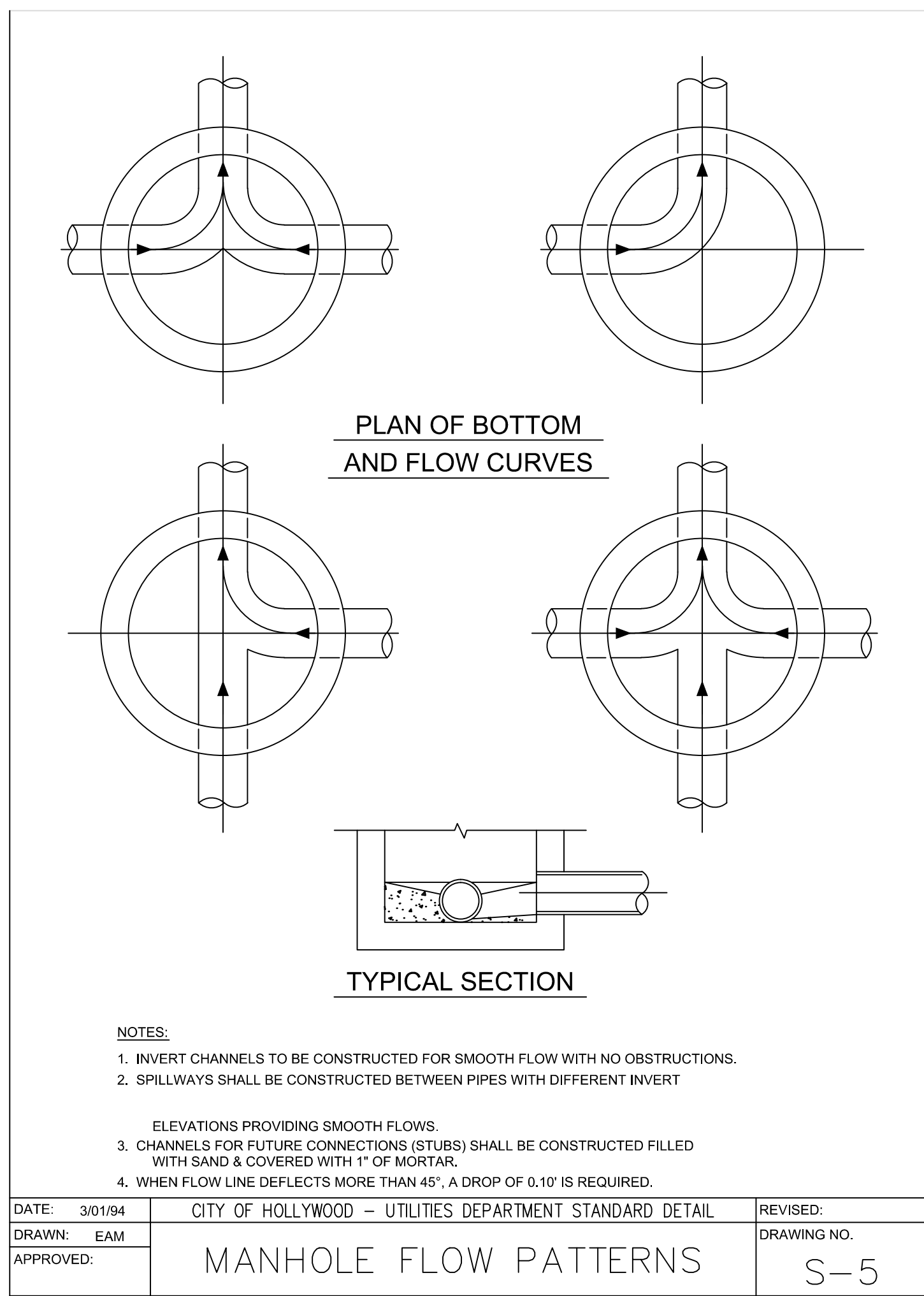
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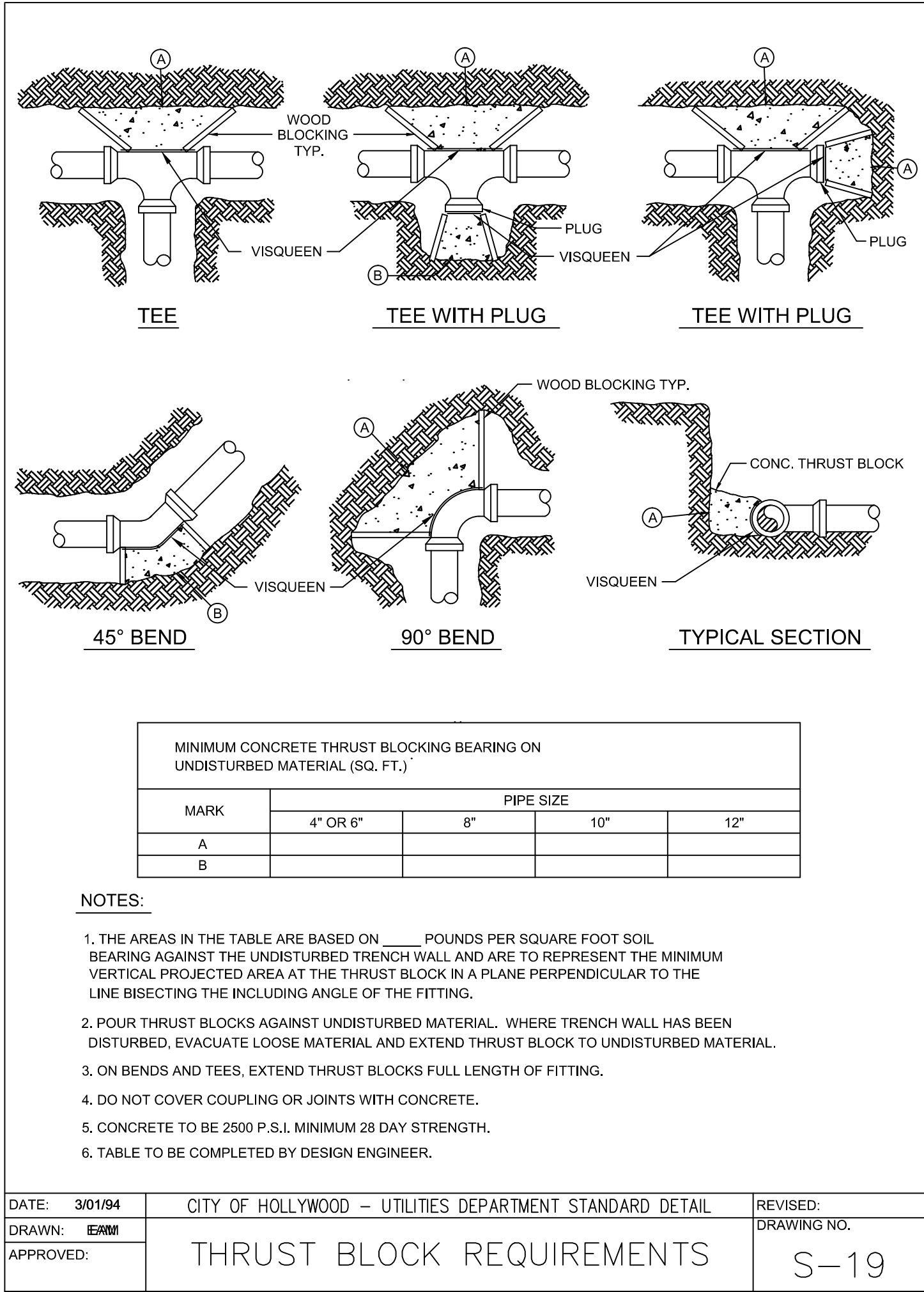
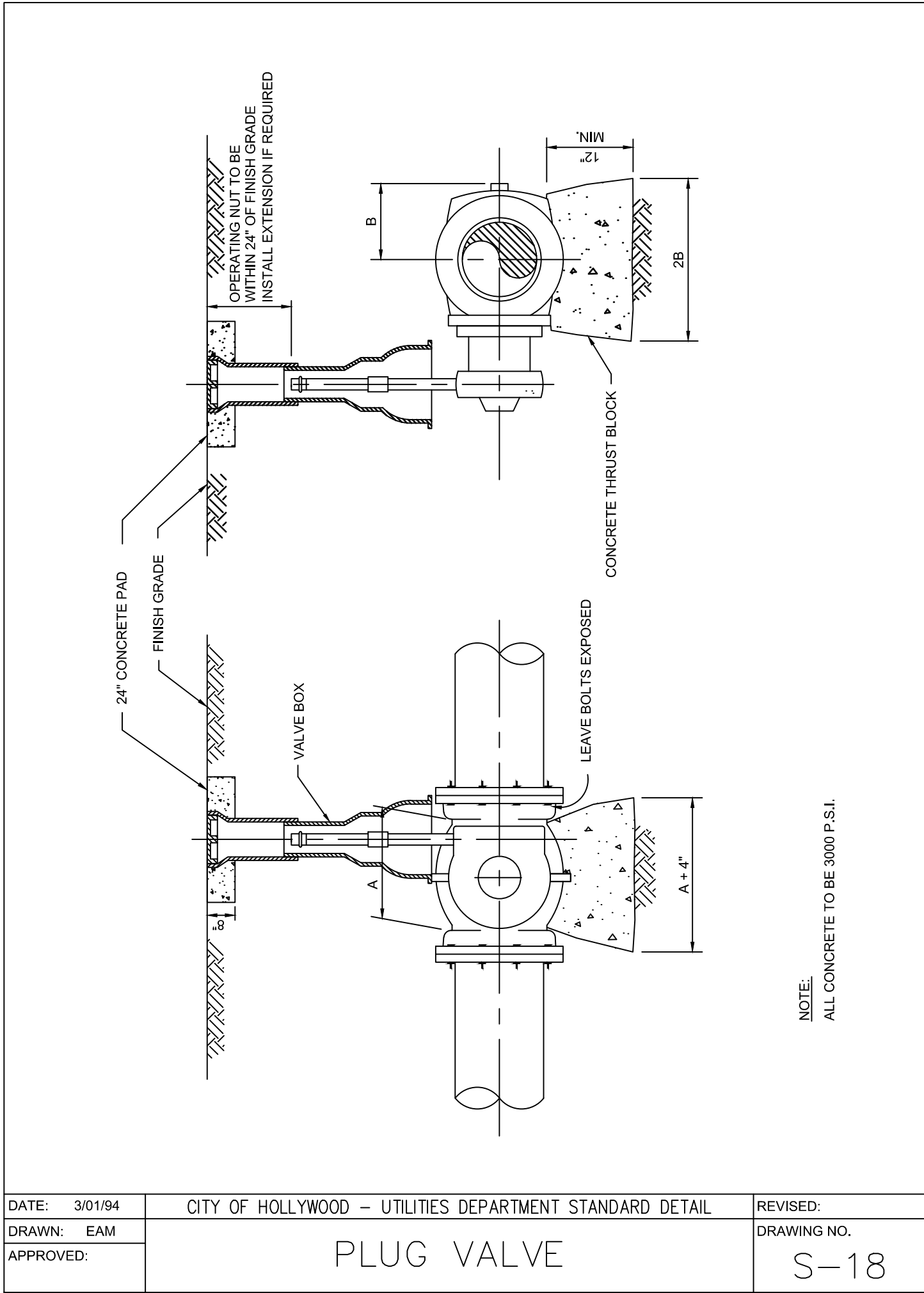
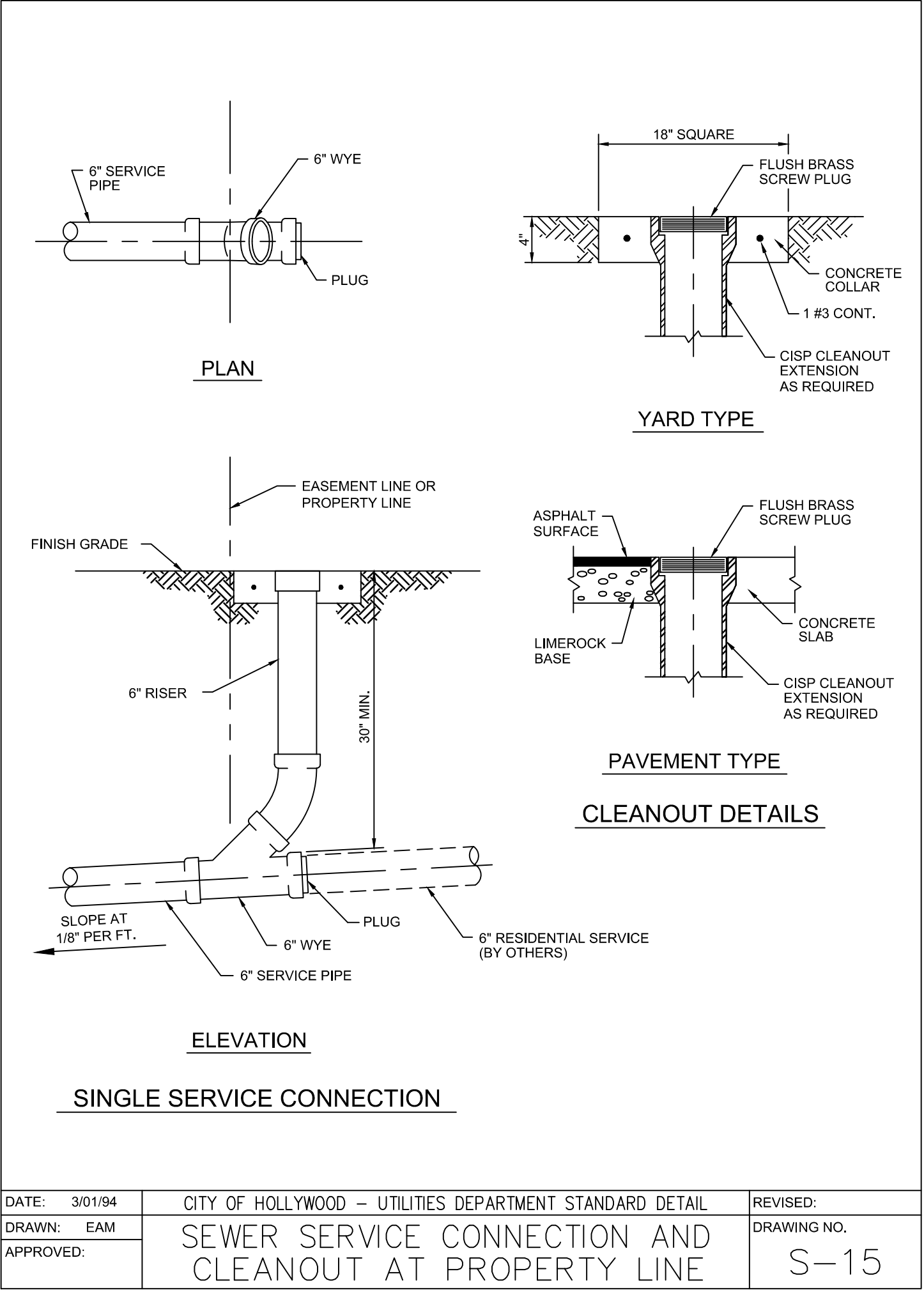
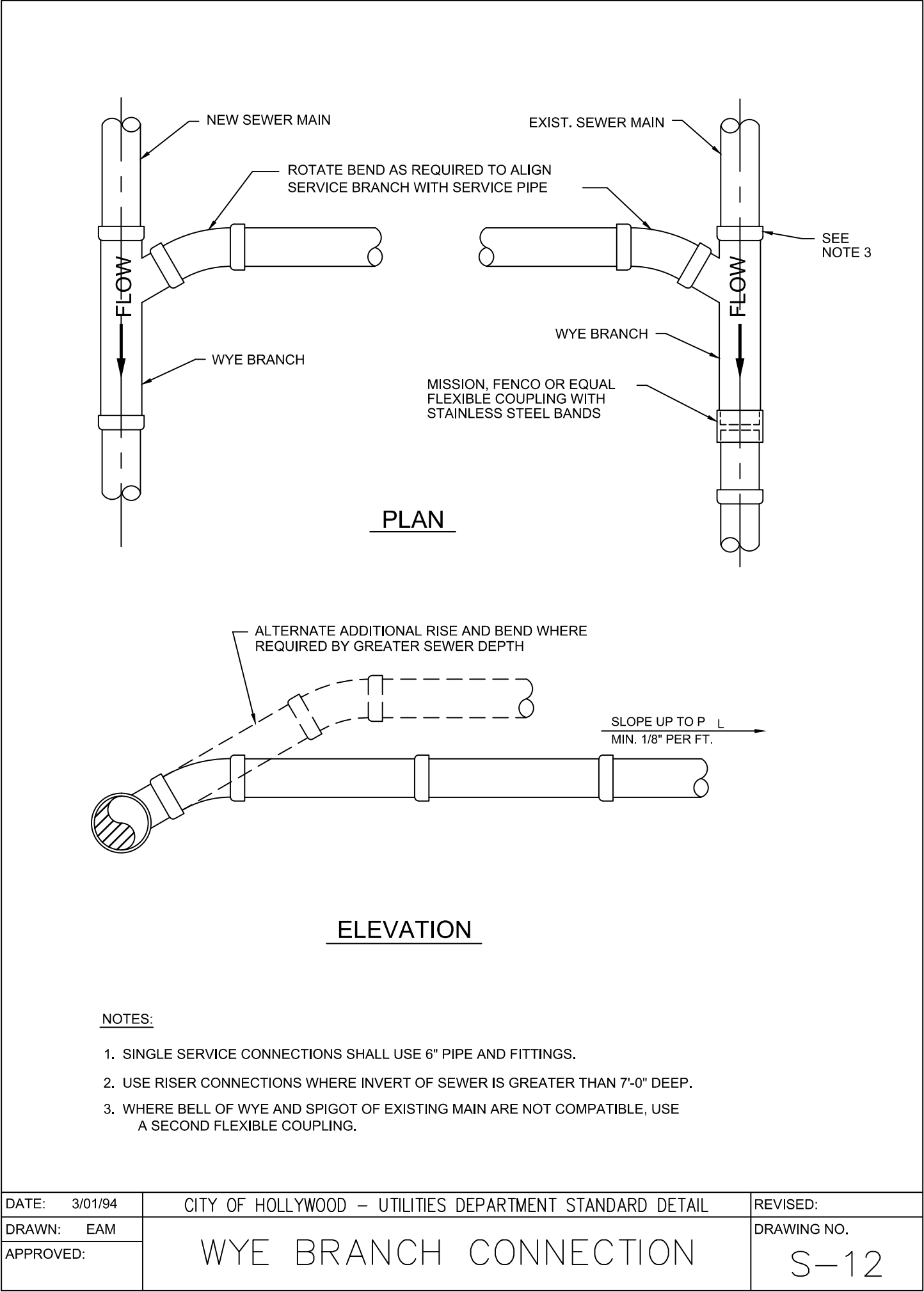


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|--|--|--|--|--|--|
| CITY OF HOLLYWOOD | | CITY OF HOLLYWOOD | | CITY OF HOLLYWOOD | |
| PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD | | STANDARD WASTEWATER DETAILS | | SHEET NUMBER C-503 | |
| KIMLEY-HORN & ASSOCIATES, INC. | | KIMLEY-HORN & ASSOCIATES, INC. | | KIMLEY-HORN & ASSOCIATES, INC. | |
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| PHONE: 772-794-4100 | | PHONE: 772-794-4100 | | PHONE: 772-794-4100 | |
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| GREG D. WILFONG, P.E. | | GREG D. WILFONG, P.E. | | GREG D. WILFONG, P.E. | |
| FL LICENSE NUMBER 63166 | | FL LICENSE NUMBER 63166 | | FL LICENSE NUMBER 63166 | |
| DESIGNED BY GOW | | DESIGNED BY GOW | | DESIGNED BY GOW | |
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| DATE: 08/11/16 | | DATE: 08/11/16 | | DATE: 08/11/16 | |
| BY | | BY | | BY | |
| DATE | | DATE | | DATE | |
| REVISIONS | | REVISIONS | | REVISIONS | |
| No. | | No. | | No. | |

Plotted By: Schulz, Ryan Sheet Set: PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD LAYOUT: C-504 CITY OF HOLLYWOOD - STANDARD WASTEWATER DETAILS August 11, 2016 06:52:44pm K:\VRBL\DE\A\47506002 - Phase 6 Retail\CAD\PlanSheets\C-501 UTILITY DETAILS.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



THE PRESENCE OF ROCK SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

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| CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS | KHA PROJECT 123456789 DATE 08/11/16 SCALE AS SHOWN DESIGNED BY GDW DRAWN BY RS CHECKED BY | LICENCED PROFESSIONAL GREG D. WILFONG, P.E. FL LICENSE NUMBER 63166 | © 2016 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 WWW.KIMLEY-HORN.COM CA 00000696 | Kimley»Horn | BY DATE | | | | | | | |
| | | | | | | CITY OF HOLLYWOOD | SHEET NUMBER C-504 | REVISIONS | No. | | | |
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