

CITY OF HOLLYWOOD, FLORIDA MEMORANDUM DEVELOPMENT SERVICES

DATE:

April 14, 2016

FILE: 16-DPSZ-12

TO:

Planning and Development Board

VIA:

Andria Wingett, Assistant Director MK

FROM:

Karina da Luz, Planning Administrator

SUBJECT:

City of Hollywood requests change in zoning designation from Multiple Family District (RM-9) to Government Use (GU), Design, Special Exception and recommendation to the City Commission for Site Plan approval for a fire station located at 1810 North 64th

Avenue (Fire Station 45).

REQUEST:

Change in Zoning Designation from Low-Medium Multiple Family (RM-9) to Government Use (GU), Special Exception, Design, and Site Plan approval for a fire station (Fire Station 45).

RECOMMENDATION:

Forward a recommendation to the City Commission as follows:

Rezoning:

Approval.

Special Exception:

Approval, if the Rezoning is granted.

Design:

Approval, if the Rezoning and Special Exception are granted.

Site Plan:

Approval, if the Rezoning, Special Exception, and Design are granted.

REQUEST

Located south of Sheridan Street on North 64th Avenue, the property is on the outskirts of the Driftwood neighborhood. The existing fire station on-site is the oldest fire station (Fire Station 45) in the City of Hollywood, originally constructed in 1965 (based on Broward County records) on a 0.69 acre lot located at 1810 North 64th Avenue. The City of Hollywood, is proposing to demolish the existing fire station to construct a new 7,224 square foot facility. The updated facility will accommodate current technology allowing the Hollywood Fire Rescue to better serve area residents.

The property has a Community Facility Land Use which allows for uses such as, governmental administration, police and fire protection facilities, as well as office uses. However, the property is zoned as Multiple-Family District (RM-9) which does not allow for such uses. As such, the request is for a rezoning to Government Use District (GU), which is consistent with the land use and will allow for government buildings and uses. Furthermore, the proposed rezoning will allow for greater flexibility by removing some of the detailed restrictions of conventional zoning.

The Zoning and Land Development Regulations for Government Use requires a special exception for *Any building or Use adjacent to or within a single family, RM-9, RM-18 or RM-25 district.* Therefore, the Special Exception is also required due to the subject property is adjacent to Multiple-Family (RM-9) zoning.

The proposed building is compatible with surrounding structures by providing a height of 27 feet and providing a design with clean lines by incorporating architectural featured canopies, clerestories, and materials such as brushed aluminum panels and glass. Additionally, fencing/walls will be provided to ensure privacy to adjacent properties due to the proximity of residential areas.

As determined by the Zoning and Land Development Regulations, the Planning and Development Board makes a recommendation to the City Commission for the Residential to Government Use Rezoning, Special Exception, Design, and Site Plan.

SITE INFORMATION

Owner/Applicant: Address/Location:

Net Area of Property: **Gross Area of Property**

Land Use: **Existing Zoning:**

Proposed Zoning

Existing Use of Land:

City of Hollywood

1810 North 64th Avenue 30,192 sq. ft. (0.69 acres) 42,089 sq. ft. (0.97 acres)

Community Facility (COMFAC) Multiple Family District (RM-9) Government Use District (GU)

Fire Station

ADJACENT LAND USE

North:

Low Residential (LRES)

South:

Low Medium Residential (LMRES)

East: West:

General Business (GBUS) Medium Residential (MRES)

ADJACENT ZONING

North:

Single-Family District (RS-6)

South:

Medium Intensity Commercial District (C-3)

East:

Multiple Family District (RM-12)

West:

Multiple Family District (RM-9)

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan is a compilation of policy priorities and recommendations designed to improve the appearance, appeal, and economic tax base of the City. It establishes a format for future direction and vision for the City.

The subject property is located in Sub-Area 8, which is geographically defined by 64th Avenue to the west, Turnpike to the west, Sheridan Street to the south and Indian Reservation areas to the north, This area includes the residential neighborhoods of Driftwood and Carriage Hills.

The proposed request is consistent with City-Wide Master Plan based upon the following:

Guiding Principle: Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

Guiding Principle: Increase participation and promote the expansion of cultural and educational programs.

Guiding Principle: Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.

The proposed development and use are consistent with the above policies by promoting the best use of land, while taking into consideration the surrounding properties and making the necessary improvements in order to help mitigate any possible impacts which may occur.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Land Use Element

This project is located in the Community Facility Land Use area which is characterized by educational, uses, hospitals, fire stations, libraries, etc. The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property. The surrounding community has a mix of residential, office and other commercial uses.

Policy 4.5: Maintain the City of Hollywood Zoning Map and Zoning and Development Regulations that provide for compatibility of adjacent land uses by rezoning or strengthening buffering requirements between land uses.

The goal of the Capital Improvement Element is to undertake actions necessary to adequately provide needed public facilities to all residents within the jurisdiction of the City of Hollywood in a manner which protects investments in existing facilities, and promotes orderly compact urban growth.

Policy 2.3: The City shall continue to expend funds to maintain existing facilities and services at their existing capacity and level-of-service.

The proposed project achieves the Goals and Objectives outlined in the Land Use Element by redeveloping parcels in order to provide a state-of-the-art safety facility. Furthermore, as stated in the Capital Improvements Element, the proposed project will allow for a needed facility to serve the entire community within the City of Hollywood. Once completed, the Fire Station 45 will enhance the quality of life along the neighborhood by potentially improving response time.

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Rezoning as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERIA 1:

That the petition for a change of zoning district will not result in spot zoning or contract zoning.

ANALYSIS:

One of the purposes of the Government Use (GU) Zoning District is that, Any land acquired, owned or leased by the city or any other governmental entity/agency may be given a zoning designation of GU by initiating the rezoning process set forth in F.S. §166.041, Article 5 of the Zoning and Land Development Regulations, and this section. Additionally, the current use has been established at the subject property since 1965, where it complements its current land use, Community Facility (COMFAC). The fire station was established before modifications to the Zoning and Land Use Regulations were made, therefore, the adjustment is required in order to ensure compatibility with the land use. Additionally, the proposal for a new fire station will not only serve the community but will also provide modern technology for faster response.

FINDING:

Consistent

CRITERIA 2:

The proposed change is consistent with and in furtherance of the Goals, Objectives and Policies of the Comprehensive Plan.

ANALYSIS:

Rezoning the property will promote consistency with the Goals, Objectives and Policies of City of Hollywood Comprehensive Plan, whereas today the current zoning would not allow for the already established use. The rezoning will be in furtherance of the Comprehensive Plan, as it Maintain[s] the City of Hollywood Zoning Map and Zoning and Development Regulations that provide for

compatibility of adjacent land uses by rezoning or strengthening buffering requirements between land uses. If approved, the rezoning will allow for a renewed and up-to-date facility that will only benefit the community.

FINDING:

Consistent

CRITERIA 3:

That conditions have substantially changed from the date the present zoning district classification was placed on the property which make the passage of the proposed change necessary.

ANALYSIS:

The proposed rezoning request does fall within the existing land use designation and will be consistent with similar zoning districts. The property has a Community Facility Land Use which allows for community facilities, such as governmental administration, police, and fire protection facilities.

FINDING:

Consistent

CRITERIA 4:

The proposed change will not adversely influence living conditions in the neighborhood.

ANALYSIS:

This property has existed, with the current improvements for approximately 50 years without negatively impacting the surrounding area. Additionally, the fire station, will serve to buffer some of the adjacent residential properties from the commercial uses locate on the south of Mosley Street. Landscaping will also serve as a buffer to the substantial improvements while improving the neighborhood.

FINDING:

Consistent

CRITERIA 5:

That the proposed change is compatible with the development(s) within the same district/neighborhood.

ANALYSIS:

This facility will provide a necessary service to the City of Hollywood. The surrounding area is a combination of residential, commercial, and office uses. The proposed zoning of the property will allow for a fire station which will provide a higher level of service to these areas. As such the proposed change is compatible with the development in the neighborhood.

FINDING:

Consistent

Analysis of Criteria and Findings for Special Exception as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERIA 1:

The proposed use must be consistent with the principles of the City's Comprehensive Plan.

ANALYSIS:

The Comprehensive Plan's Land Use element intent is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property. Approval for the Special Exception will permit the Applicant to better meet the needs of the fire station, improving the quality of service to its community. Furthermore, the Special Exception is required due to the rezoning which will appropriately define the property as a Government Use as previously stated.

FINDING:

Consistent.

CRITERIA 2:

The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.

ANALYSIS:

The proposed development is consistent with the existing and Future Land Use. The Community Facility Land Use allows for uses such as governmental administration, police and fire stations. Surrounding land uses consist of low to medium residential areas which necessitate facilities as the fire station being rebuilt. As such, the requested Special Exception is compatible with the surrounding land use pattern.

FINDING:

Consistent.

CRITERIA 3:

That there will be provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.

ANALYSIS:

The proposed facility is designed with pedestrian access along the perimeter of the building (north and east) to better accommodate pedestrian access to the residential and commercial uses. Additionally, the new facility will accommodate the site by providing ADA parking and a ramp on the east façade of the building.

FINDING:

Consistent.

CRITERIA 4:

That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.

ANALYSIS:

There are no required setbacks except those imposed by the City Commission upon recommendation of the PDB and the Florida Building Code (as it is amended). If approved the development will have perimeter landscaping, pedestrian connectivity, and the proposed use should not generate any additional noise, light, dust; or other nuisances; or adversely impact buffering properties.

FINDING:

Consistent

CRITERION 5:

The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.

ANALYSIS:

The use of the facility will not be detrimental to the health, safety, or appearance of the neighborhood. The intent of this facility is to provide better service to the community by utilizing modern technology to better serve the public. Therefore, a renovation is required in order to accommodate the new equipment. According to the Applicant, "The specific use is that of a fire station that supports the welfare and well-being of the citizen of the City of Hollywood. The location of the station is determined by the area of coverage and response times to calls." Therefore, the new fire station will bring positive outcomes to the neighborhood.

CRITERIA 6:

The subject parcel must be adequate in shape and size to accommodate the proposed use.

ANALYSIS:

The scope of work falls within an approximate 0.7 acre property which allows the new facility to have ingress and egress off of N. 64th Avenue and Mosley Street as the previous site plan. The new fire station floor plan utilizes better the lot by eliminating two buildings and proving one that functions in a manner that can benefit response times while encouraging a cleaner architectural design.

Therefore, the subject site and building will provide ample space to accommodate the proposed use.

FINDING:

Consistent

CRITERION 7:

The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.

ANALYSIS:

A Special Exception is defined as a use that is not generally appropriate in a district, but would be appropriate if it is consistent with the review criteria. The Government Use District (GU) Purpose states, any land acquired, owned or leased by the city or any other government entity/agency...has greater flexibility by removing some of the detailed restrictions of conventional zoning. A fire station is listed as a Special Exception in the GU District; and due to the rezoning a Special Exception is required if the building or use is adjacent to a single family, RM-9, RM-18 or RM-25 district; which in this case the property is adjacent to an RM-9 district requirering the Special Exception.

FINDING:

Consistent.

Analysis of Criteria and Findings for Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERIA 1:

Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS:

The Design Manual encourages new construction to be compatible with the neighborhood and not attempt to replicate past architectural styles. The new facility is designed to fit the neighborhood atmosphere, the Applicant states, "The new Fire Station shall be designed to reflect its function and be sensible to its surroundings/context. This Government Building archetype shall have a tower element which shall be kept at 27'-0" high and within scale of its neighbor's roof heights. The massing shall have the building grow higher away from the property lines and be set back further from residential properties." The Government Use District (GU) allows for flexibility in the design to develop a facility compatible with characteristics of the neighborhood. Furthermore, a Special Exception is requested to allow the use due to its proximity to the Multi-Family District (RM-9).

FINDING:

Consistent.

CRITERIA 2:

Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS:

The Design Guidelines states that new construction should differentiate itself from neighboring buildings in terms of architectural style while the scale, rhythm, height and setbacks as well as the location of windows, doors and balconies bear some relationship to neighboring buildings and maintain some resemblance of compatibility. As stated by the Applicant, "the new fire station shall be design to

accent the neighborhood and add to its environment. The station has been designed to be setback from its residential neighbors along its adjacent properties and use that space for landscaping and architectural fencing/walls. This building's archetype lends itself to a presents that is both one of authority and protector."

FINDING:

Consistent.

CRITERIA 3:

Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding molding, and fenestration.

ANALYSIS:

There are no height limits with GU Zoning; however, the new fire station is consistent with surrounding buildings and will keep the similar architectural style while providing more privacy by protecting the adjacent residential district. The design of the building consist of a grid like pattern which gives an open feel to the scale/massing of the building which creates visual appeal both from a pedestrian and vehicular standpoint. According to the Applicant, "The new Fire Station shall be designed to have its higher areas away from the low adjacent residential properties. In addition the building will be setback to create landscaping opportunities throughout the site plan's design."

FINDING:

Consistent.

CRITERIA 4:

Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS:

The proposed landscape helps articulate the property and enhance the design of the buildings. A variety of native plants and trees are proposed, along with an architectural feature of vertical hanging plants and a roof garden. The Applicant states, "The property along residential areas are specifically handled using decorative fencing, walls, and shrubs/hedges to create a buffer. The landscaping plan will evaluate and survey the existing trees and incorporate them as best into the new design."

FINDING:

Consistent.

SITE PLAN

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article five of the Hollywood Zoning and Land Development Regulations on February 16, 2016. Therefore, staff recommends approval, if Rezoning, Special Exception and Design are granted.

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ATTACHMENTS

Attachment A:

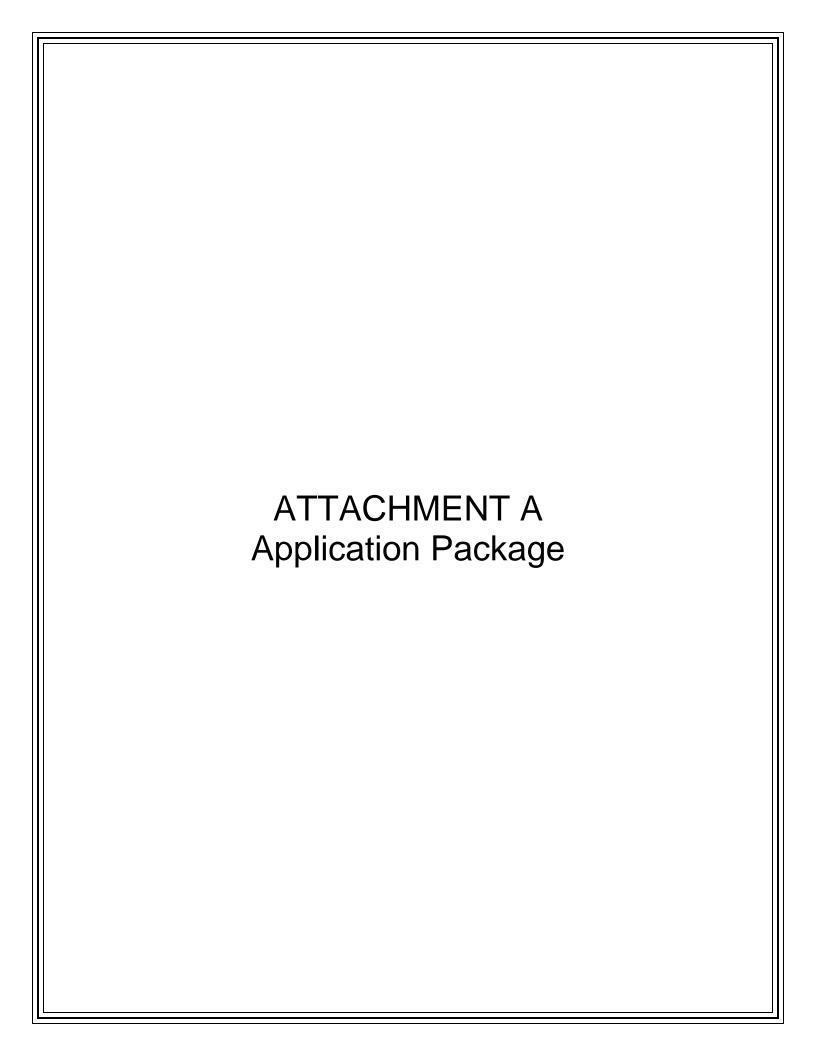
Application Package

Attachment B:

Land Use and Zoning Map

Attachment C: Attachment D:

Existing Zoning Regulations
Proposed Zoning Regulations



DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):____

GENERAL APPLICATION



Tel: (954) 921-3471 Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website

http://www.hollywoodfl.org/ DocumentCenter/Home/ View/21



APPLICATION TYPE (CHECK ONE):
☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board
Date of Application: 2/19/16
Location Address: 1810 N 64th Avenue
Lot(s): Block(s): Subdivision: Folio Number(s):
Zoning Classification: RM-9 Change to "GU" Land Use Classification: COMFAC
Existing Property Use: Existing Fire Station 45 (Government) Sq Ft/Number of Units: N/A
Is the request the result of a violation notice? () Yes (/) No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): Yes - PACO and TAC (both approved)
☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development ☐ PACO
Explanation of Request: City required PACO and TAC sign-off before P&D Board submittal.
City is requesting Rezoning, design and site plan review for fire station 45 of approximately 7,200 square feet.
Number of units/rooms: N/A (Fire Station Facility) Sq Ft: 7,224 SF
Value of Improvement: \$2,000,000 Estimated Date of Completion: Beginning of 2018
Will Project be Phased? () Yes (√)No If Phased, Estimated Completion of Each Phase
Name of Current Property Owner: City of Hollywood Dept. of Community & Economic Develop.
Address of Property Owner: 2600 Hollywood Blvd., #206, Hollywood, FL 33020
Telephone: (954) 921-3900 Fax: (954) 921-3416 Email Address: TComiskey@HollywoodFL.org
Name of Consultant/Representative/Tenant (circle one): Mark Saltz / Saltz Michelson Architects
Address: 3501 Griffin Road
Fax: (954) 266-2701 Email Address: MSaltz@SaltzMichelson.com
Date of Purchase: N/A Is there an option to purchase the Property? Yes () No (🗸
If Yes, Attach Copy of the Contract.
List Anyone Else Who Should Receive Notice of the Hearing: Walter Wernecke
Address: 2600 Hollywood Blvd, #206 Hollywood, FL 33020 Email Address: WWernecke@HollywoodFL.org
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DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

GENERAL APPLICATION

Expires Jun 4, 2018

mmission # FF 129287

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We)

further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable. Signature of Current Owner: PRINT NAME: Dr. WaziNA. Ishmael Signature of Consultant/Representative: Mark L. Saltz, AIA, LEED AP Date: Signature of Tenant: Date: Date: PRINT NAME: **CURRENT OWNER POWER OF ATTORNEY** I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) FIRE STATION No. 45 to my property, which is hereby made by me or I am hereby authorizing (name of the representative) MARIC L. SALTZ to be my legal representative before the Person (Board and/or Committee Velative to all matters concerning this application. Sworn to and subscribed before me this 1st day of March 2016 SIGNATURE OF CURRENT OWNER WAZIR A. ISHMAEL CITY MAHAGER PRINT NAME Notary Public State of Florida My Commission Expires: 6-4-2018 (Check One) Personally known to me; OR ______ MABEL CARDOSO ... c - State of Florida Notary Public - State of Florida

My Comm. Expires Jun 4, 2018

Commission # FF 129287



February 19, 2016

City of Hollywood

Planning & Development Board Criteria Statement

RE: Fire Station 45

(Owner: City of Hollywood)

1810 N 64th Ave (16-DPZ-12)

LEGAL DESCRIPTION:

THE EAST 300 FEET OF THE NORTH 100.64 FEET OF TRACT 'B' OF "DRIFTWOOD PLAZA", ACCORDING TO PLAT

THEREOF AS RECORDED IN PLAT BOOK 49, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA. CONTAINING 0.69 ACRES (30,192 S.F.) MORE OR LESS.

<u>DESIGN CRITERIA</u>. The Board and the Director shall review plans based upon the criteria below. If the Board or the Director (as applicable) determines that an application is not consistent with the criteria, reasons shall be set forth in writing substantiating the finding.

- a. General Criteria. All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:
- (1) Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

RESPONSE: The new Fire Station shall be designed to reflect its function and be sensible to its surroundings/context. This Government Building architype shall have a tower element which shall be kept at 27'-0" high and within scale of its neighbor's roof heights. The massing shall have the building grow higher away from the property lines and be set back further from residential properties. All colors and textures will be selected to blend into the context of the neighborhood as well as using scored stucco

and paint. Windows and storefronts will be kept to a minimum and be located at key architectural points (i.e. entry ways, building corners, and clerestories)

(2) Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

RESPONSE: The new Fire Station shall be design to accent the neighborhood and add to its environment. The station has been designed to be setback from its residential neighbors along it adjacent properties and use that space for landscaping and architectural fencing/walls. This building's architype lends itself to a presents that is both one of authority and protector. The colors and materials used will be one that matches and works within the context of area. Using architectural features such as canopies, storefronts and windows help give it a personable scale while tying the overall project together.

- (3) Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.
- RESPONSE: The new Fire Station's massing and scale will be sensitive to its surrounding residential properties. The new Fire Station shall be designed to have its higher areas away from the low adjacent residential properties. In addition the building will be setback to create landscaping opportunities throughout the site plan's design. The architectural style will be that of "modern/contemporary" with clean lines and forms including architectural featured canopies, clerestories, and color/textures tying the design together.
- (4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

RESPONSE: Proposed project uses heavy use of native and neighborhood specific landscaping material. This includes clustering of trees and integrating them into the overall site landscaping and building's design. The property along residential areas are specifically handled using decorative fencing, walls, and shrubs/hedges to create a buffer. The landscaping plan will evaluate and survey the existing trees and incorporate them as best into the new design.



REVIEW OF APPLICATIONS FOR SPECIAL EXCEPTIONS. All applications for Special Exceptions, except for those within a Historic Overlay District or Historic Site which are reviewed by the Historic Preservation Board or those relating to nonconforming uses and structures shall be reviewed by the Planning and Development Board. The Board shall review applications for Special Exceptions relating to nonconforming uses and structures based upon the criteria set forth in § 3.12 of the Zoning and Land Development Regulations. All other applications for Special Exceptions considered by the Board shall be based upon the following criteria:

a. The proposed use must be consistent with the principles of the City's Comprehensive Plan:

RESPONSE: Proposed use of this project is a replacement Fire Station for the existing one which will be demolished. This use is consistent with the City's Comprehensive Plan. Changing the zoning to "GU" is consistent to the use and function of the project.

b. The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity;

RESPONSE: This new project is replacing the older Fire Station on the same property. Its use is compatible with its existing land use. Changing the zoning to "GU" is consistent to the use and function of the past project, this new project, and any future project that is for City Government use.

c. That there will be provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use;

RESPONSE: This new Fire Station is designed to provide safe traffic flow and movement to and from the site. All crossings at drives will have ADA detectible surfaces and be well marked and defined with signage. All traffic patterns will be kept to already established traffic patterns. Entry and exit from the site will be from 2 points one on N 64th Avenue and one on Moseley Street. The main egress from the site for Fire Trucks is on N 64th Avenue.

d. That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances;

RESPONSE: This project is designed with the surrounding neighborhood in mind. The building is set back from the property to provide and allow heavy landscaping along the perimeters of the property adjacent to residential areas. In addition there are architectural fencing and a concrete wall to control noise and visual separation. All site lighting shall use "cut off" shielding and specific placement to avoid and protect against adverse light affects.



e. The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses;

RESPONSE: The specific use is that of a Fire Station that supports the welfare and well-being of the citizen of the City of Hollywood. The location of the station is determined by the area of coverage and response times to calls. Changing the zoning to "GU" is consistent to the use and function of the project.

f. The subject parcel must be adequate in shape and size to accommodate the proposed use;

RESPONSE: The subject parcel is adequate in shape and size to accommodate the proposed replacement Fire Station. The existing property shall have both the existing Fire Station and Fire support building removed and the site cleared for this new Station.

g. The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.

RESPONSE: This new project's use is consistent as its replacing the older Fire Station on the same property. Its use is compatible with the definition of a Special Exception and will meet the standards and criteria of the zoning classification "GU". Changing the zoning to "GU" is consistent to the use and function of the past Fire Station and its City Government use.



PLANNING AND DEVELOPMENT BOARD SUBMITTAL 04.14.2016

CITY OF HOLLYWOOD FIRE STATION NO. 45

1810 N 64TH AVENUE, HOLLYWOOD, FLORIDA

CITY OF HOLLYWOOD DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT

2600 HOLLYWOOD BLVD. SUITE #206 HOLLYWOOD, FLORIDA 33020 TELEPHONE: (954) 921-3900

ARCHITECT

SALTZ MICHELSON ARCHITECTS 3501 GRIFFIN ROAD FORT LAUDERDALE, FLORIDA 33312 TELEPHONE: (954) 266-2700

PROJECT TEAM

ENGINEERS (STRUCTURAL, CIVIL, MEP)

DEROSE DESIGN CONSULTANTS 470 SW 12TH AVE #206, POMPANO BEACH, FL 33069

LANDSCAPE

DAVE BODKER LANDSCAPE PLANNING 601 N CONGRESS AVE, DELRAY BEACH, FL 33445

COUNTY LOCATION MAP

LEED CONSULTANTS
THE SPINNAKER GROUP, INC. 3236 HUNTINGTON, WESTON, FL 33332

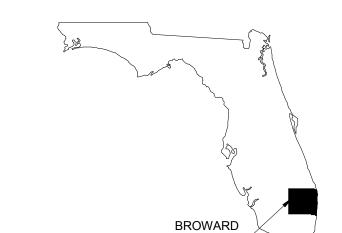
RENDERINGS



RENDERING EAST



RENDERING NORTH

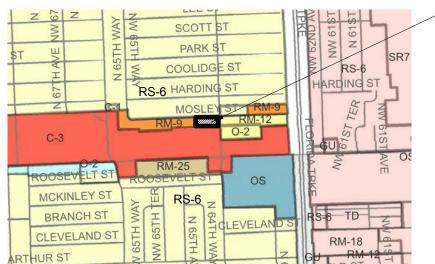


ZONING MAP/ LOCATION MAP/ AERIAL MAP

COUNTY







PROJECT LOCATION "GU" ZONING

LEGEND

MEDIUM INTENSITY COMMERCIAL DISTRICT GOVERNMENT USE DISTRICT MEDIUM INTENSITY OFFICE DISTRICT OPEN SPACE DISTRICT RM-9 TO RM-25 MULTIPLE FAMILY DISTRICT SINGLE FAMILY DISTRICT TRAILER PARK DISTRICT

LEGAL DESCRIPTION

THE EAST 300 FEET OF THE NORTH 100.64 FEET OF TRACT 'B' OF "DRIFTWOOD PLAZA", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 49, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA. CONTAINING 0.69 ACRES (30,192 S.F.) MORE OR LESS.

GROSS AREA

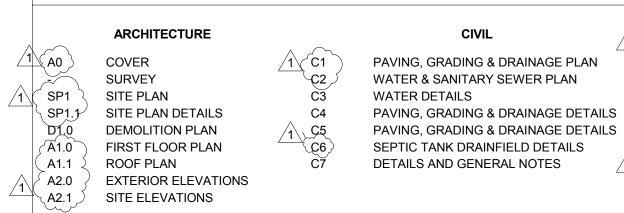
(TO CENTERLINE) = 0.97 ACRES +/- 42,089 S.F. +/-= 0.69 ACRES +/- 30,192 S.F. +/-

FEMA INFORMATION:

FLOOD ZONE: 8/18/14 FIRM DATE: BASE ELEVATION: MAP PANEL NO.

BUILDING ELEVATION 9.0' NAVD '88 = 0'-0" A.F.F.

INDEX OF DRAWINGS



LANDSCAPE

EXISTING TREE PLAN PLANTING PLAN LANDSCAPE DETAILSAND NOTES

ELECTRICAL PHOTOMETRIC

SALTZ MICHELSON

3501 Griffin Road (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

Mark L. Saltz AR007171

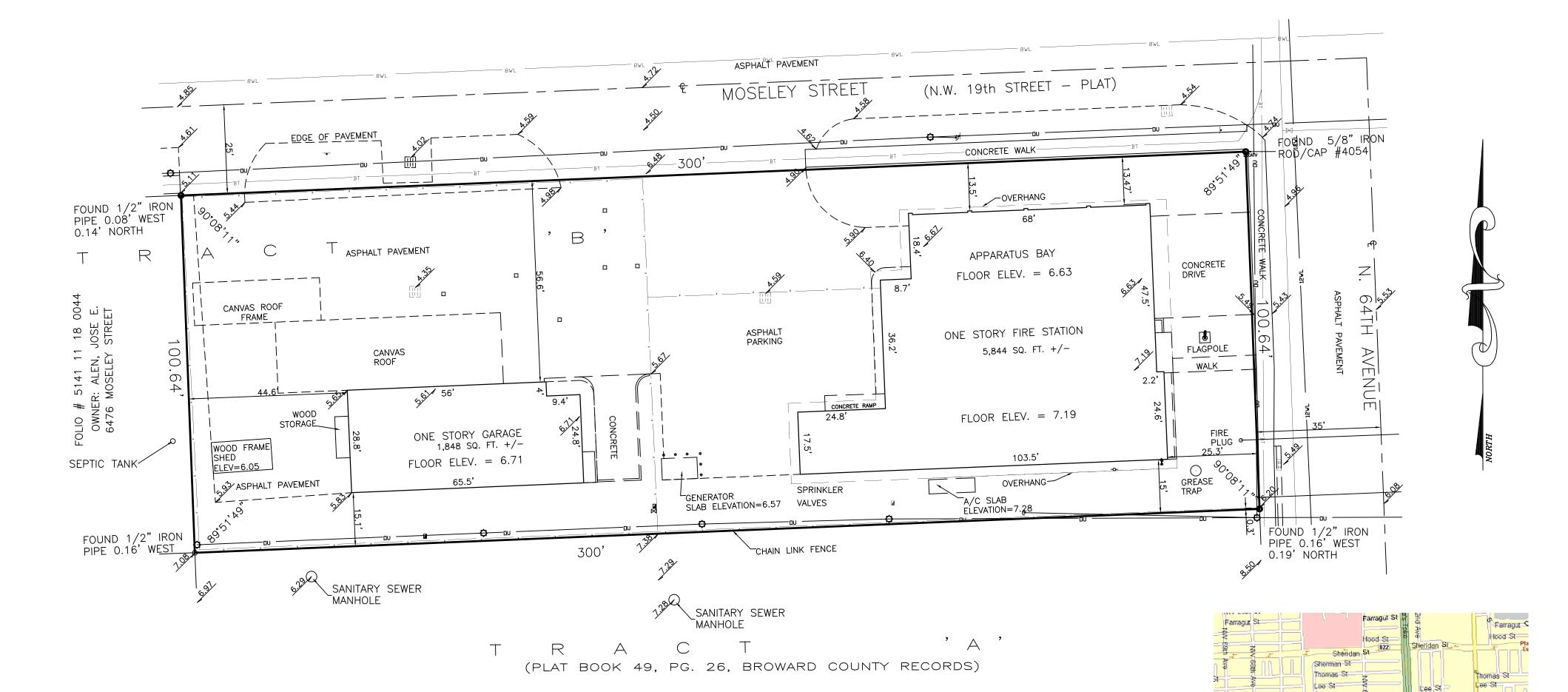
Project No. 2015-167 Drawn By: AAChecked By

NS Date:

REVISIONS

01-15-2016

1\ 02-16-16 FINAL TAC COMM. RESPONSE



SURVEYOR'S REPORT:

THIS BOUNDARY SURVEY BENEFITS FROM TITLE SEARCH REPORT PREPARED BY ATTORNEY'S TITLE FUND SERVICES, LLC, FUND FILE NUMBER 256935, DATED DECEMBER 22, 2015:

I) THE PROPERTY HEREIN DESCRIBED HAS LEGAL ACCESS FROM MOSELEY STREET AND N. 64 AVENUE, PUBLIC ROADWAYS OPEN AND IN USE.

2) NO ATTEMPT WAS MADE TO DETERMINE EXISTANCE OF ANY WETLANDS

3) NO ATTEMPT WAS MADE TO DETERMINE EXISTANCE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS, ON OR NEAR THE DESCRIBED PROPERTY, EXCEPT FOR ABOVE-GROUND EVIDENCE AND AS-BUILT RECORDS OF UTILITIES SHOWN HEREON.

4) ALL MATTERS CONTAINED ON THE PLAT OF DRIFTWOOD PLAZA, AS RECORDED IN PLAT BOOK 49, PAGE 26, BROWARD COUNTY RECORDS, ARE SHOWN HEREON.

5) THIS PROPERTY MAY BE SUBJECT TO AN EASEMENT IN FAVOR OF FLORIDA POWER \$ LIGHT COMPANY, RECORDED IN O.R.B. 967, PAGE 543, BROWARD COUNTY RECORDS, THE EXACT LOCATION OF WHICH CANNOT BE DETERMINED FROM AN ILLEGIBLE PHOTO COPY.

6) OVERHEAD UTILITIES ON OR ADJACENT TO THE SOUTH AND EAST PROPERTY LINES, RECORD DOCUMENTATION UNKONWN TO THE UNDERSIGNED.

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS, 1, 2, 3, 4, 8, 11(a), 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 9, 2015.

- LEGEND AND NOTES INDICATES WATER METER
- □™ INDICATES TELEPHONE BOX -O- INDICATES CLEAN-OUT
- -> INDICATES CONCRETE POLE WITH LIGHTING

6411 TAFT STREET

FOLIO # 5141 11 18 0010

PROPERY OWNER: LUCANUS DEVELOPMENTAL CENTER, INC.

- INDICATES MONITORING WELLS
- INDICATES BOLLARD
- □→ INDICATES WOODEN POLE & ANCHOR ⋈ INDICATES WATER VALVE
- INDICATES SIGN INDICATES FENCE (CHAIN LINK OR WOODEN)
- INDICATES OVERHEAD UTILITIES
- INDICATES EXISTING ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM of 1988
- III INDICATES CATCH BASIN

AH 8/18/14

McKinley-St Branch St Cleveland St. Cleveland St. Cleveland St Arthur St Garfield St Garfield St 2 Garfield St Hayes St ≵ Hayes St Call St Grant Ct Grant St

LOCATION SKETCH (NO SCALE)

DESCRIPTION: THE EAST 300 FEET OF THE NORTH 100.64 FEET OF TRACT 'B' OF "DRIFTWOOD PLAZA", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 49, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA. CONTAINING 0.69 ACRES, (30,192 SQUARE FEET) MORE OR LESS

GROSS AREA (TO CENTERLINE) = 0.97 ACRES +/- 42,089 SQ. FT. +/-NET AREA = 0.69 ACRES +/- 30,192 SQ. FT. +/-

CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

CITY OF HOLLYWOOD - FIRE STATION NO. 45

STEPHEN K. SEELEY, FOR THE FIRM

THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE

- BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM. THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF MOSLEY STREET.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

FEMA FLOOD INSURANCE RATE MAP COMMUNI REVISION ALTA/ACSM LAND TITLE SURVEY CITY OF HOLLYWOOD

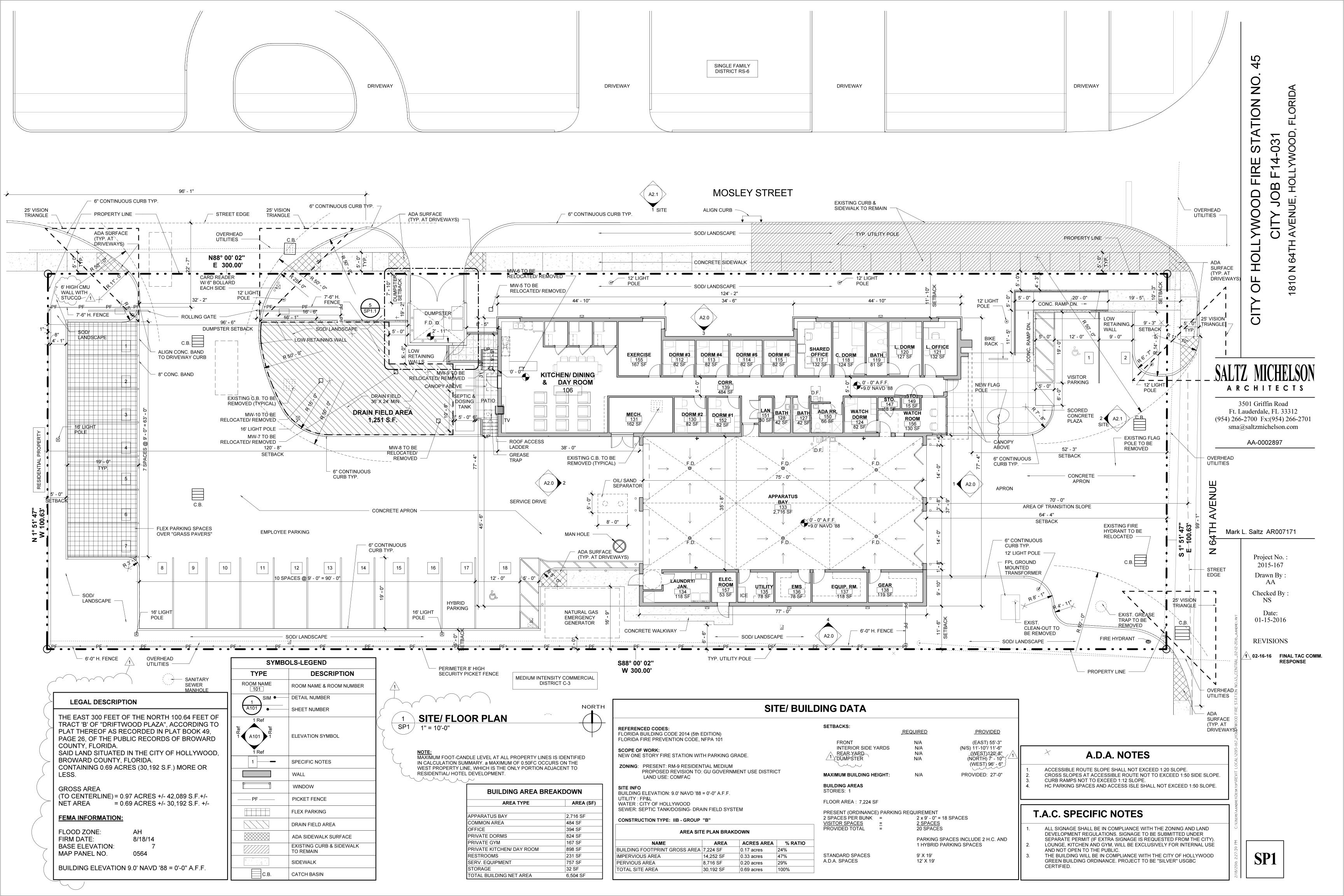
BROWARD COUNTY, FLORIDA UPDATE SURVEY NAVD 88 3-24-15 CM 125113 ALTA SURVEY & TITLE REVIEW 12-09-15 SKS SUFFIX ZONE PROFESSIONAL SURVEYOR & MAPPER DATE JOB #: RN3299 DATE: 3-24-15 DRAWN BY: SHG FLORIDA REGISTRATION NO. 4574

SCALE: | "= 20'

FILE No.:

GIBBS LAND SURVEYORS 2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666

LICENSED BUSINESS NO. 7018







3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No. : 2015-167 Drawn By AA

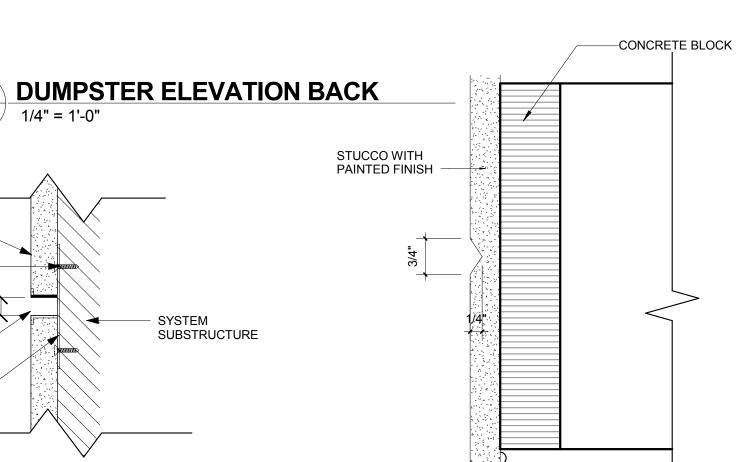
> NS Date:

01-15-2016

Checked By

REVISIONS

1\ 02-16-16 FINAL TAC COMM. RESPONSE



3'-0"

FINISH SPECIFICATIONS

DOORS, WINDOWS/ STOREFRONT FRAMES, SHADING BROWS, ACCENT COLOR SW 6868 REAL RED PAINT

ACCENT COLOR PANELS SW 7641 COLONADE GREY (OR BENJAMIN MORE BRUSHED ALUMINUM 1485)

DESCRIPTION

CORRUGATED METAL PANEL ACCENT COLOR SHALL BE BRUSHED ALUMINUM AND OR MATCH (SW 7641 COLONADE

UPPER ENTRY CANOPY ACCENT COLOR OR MATCH PAINT COLOR CANOPY PAINT SW 7641 COLONADE GREY OR

FIN. GRADE -

FLAG POLE DETAIL

GREY OR BENJAMIN MORE BRUSHED ALUMINUM 1485)

FIELD COLOR SW 6673 BANANA CREAM FIELD PAINT

ACCENT COLOR SW 6144 DAPPER TAN

BENJAMIN MORE BRUSHED ALUMINUM 1485

GLASS-IMPACT PRODUCT APPROVED LOW-E W/ GREY TINT

25' TAPERED FLAGPOLE

PACK WITH SEALANT

16 GA. STEEL TUBE

SLOPE TOP

W.P. CEMENT

GONC.BASE

#3 TIES

SCREENED DRY TAMPED SAND

11 #4 VERT. RODS EVENLY SPACED

4 STEEL WEDGES -WEL⊅EÐ---

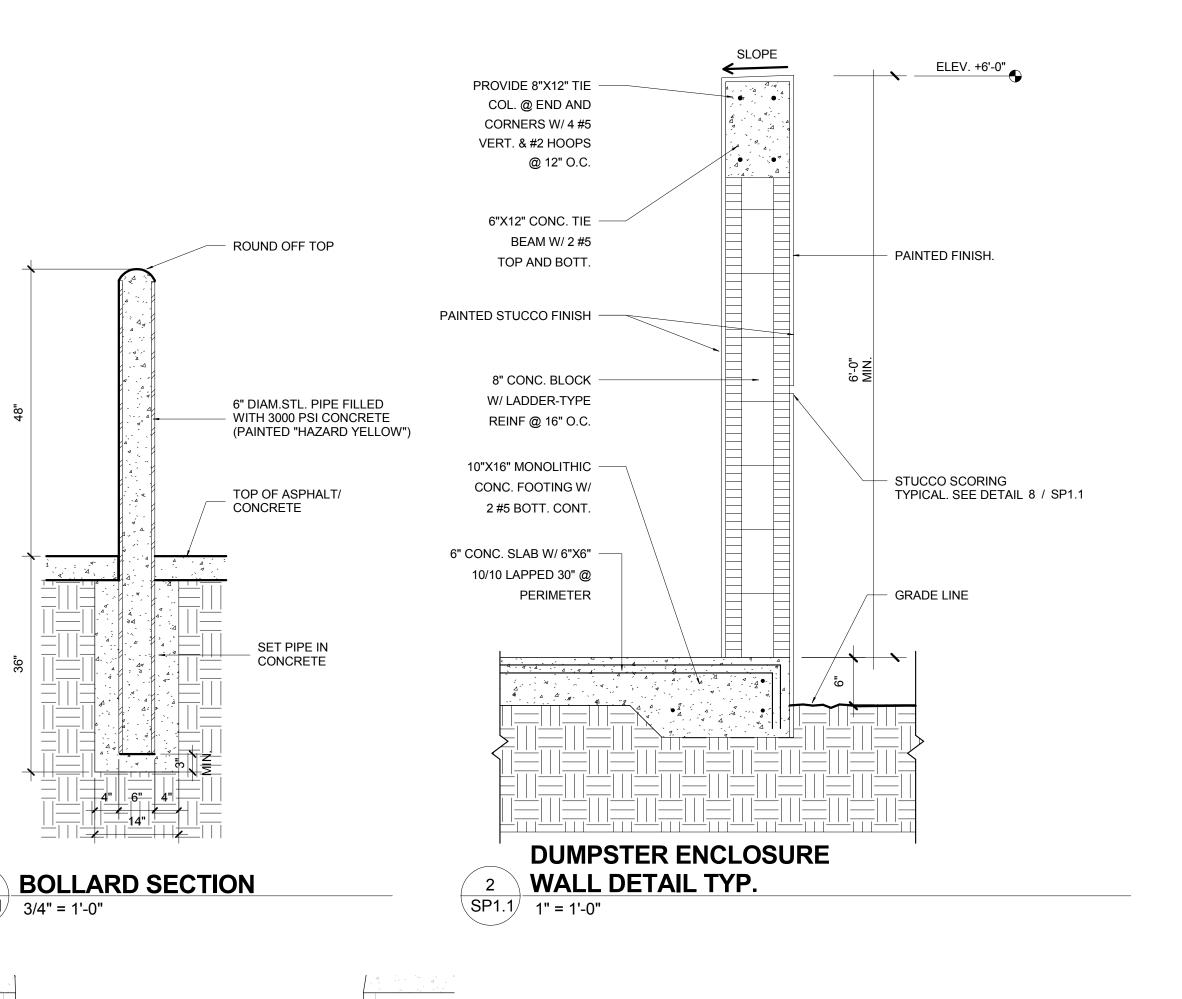
| 16" X 16" X 1/4" GALV.

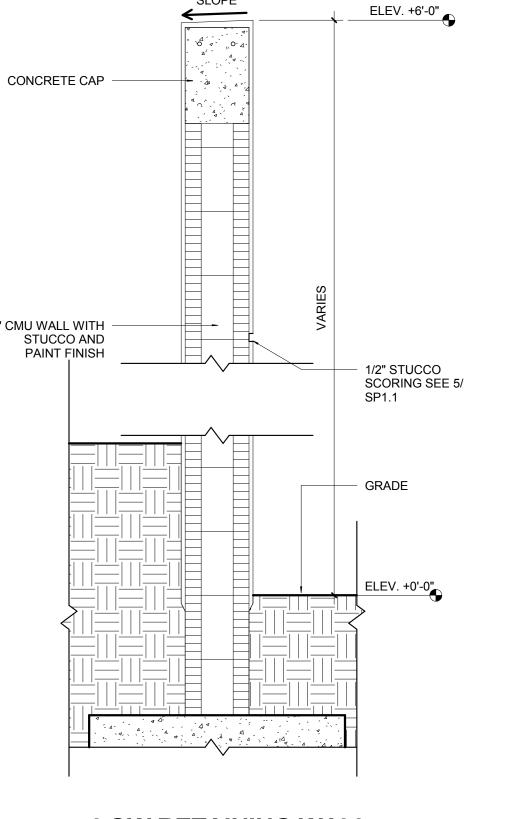
3/4" DIA. GROUND ROD 5 LONG WELDED TO

ALUM. FLASHING COLLAR

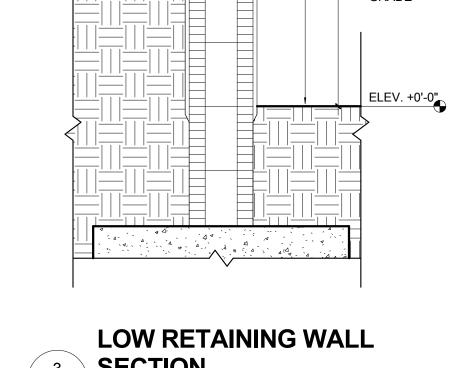
LOOSE UPPER WOOD WEDGES

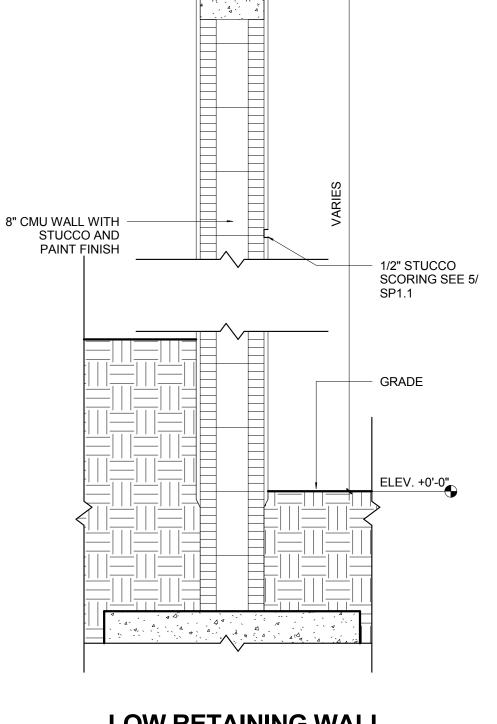






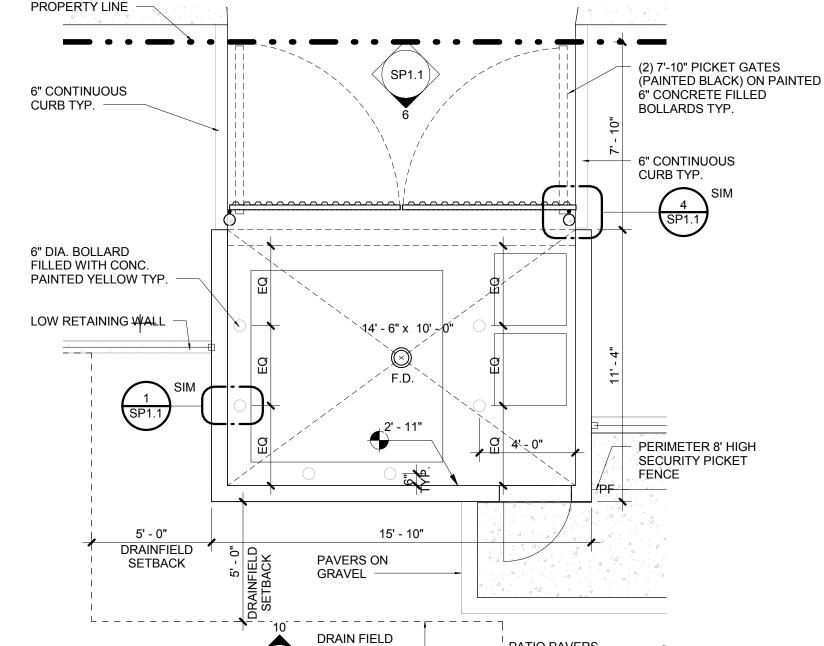






SLOPE





PERIMETER

DUMPSTER ENLARGED PLAN

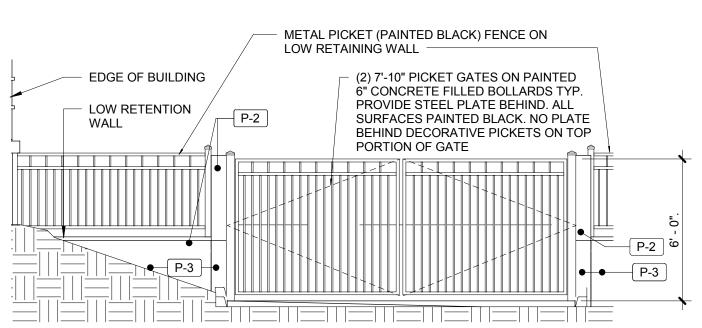
SP1.1

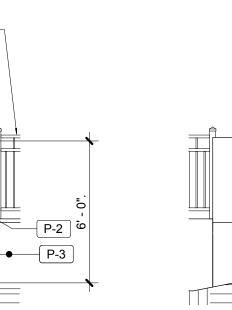
1/4" = 1'-0"

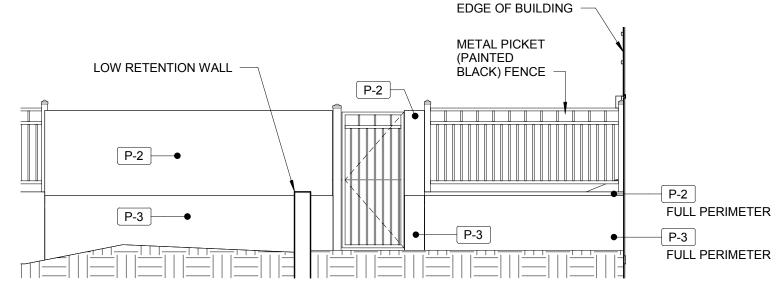
PATIO PAVERS ———

SEPTIC

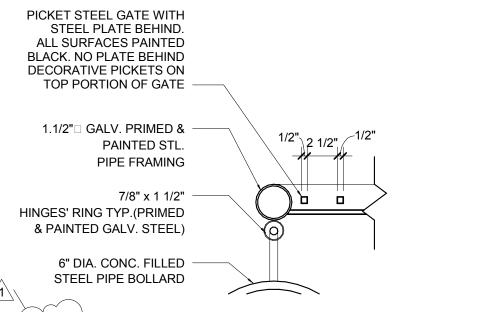
TANK AREA





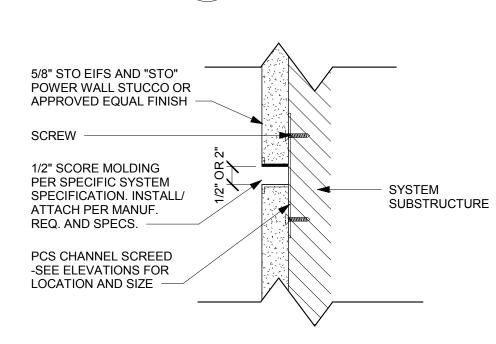


DUMPSTER ELEVATION FRONT



SP1.1 1/4" = 1'-0"





1/4" = 1'-0"

10



LEGEND AND NOTES INDICATES WATER METER

□ INDICATES TELEPHONE BOX

-O- INDICATES CLEAN—OUT

-> INDICATES CONCRETE POLE WITH LIGHTING

□ INDICATES MONITORING WELLS INDICATES BOLLARD O→ INDICATES WOODEN POLE & ANCHOR
INDICATES WATER VALVE
INDICATES SIGN

_____ INDICATES FENCE (CHAIN LINK OR WOODEN) _____ INDICATES OVERHEAD UTILITIES

y indicates existing elevation based on north American vertical datum III indicates catch basin

SHERIDAN ST. SHERIDAN SI MOSELEY ST.

45

STATION NO.

OD

HOLL

OF

CITY

ARCHITECTS

3501 Griffin Road

Ft. Lauderdale, FL 33312

(954) 266-2700 Fx:(954) 266-2701

sma@saltzmichelson.com

AA-0002897

Project No.:

36 - FS#45

Drawn By:

JRL Checked By

TMcC

Date: 01-05-2016

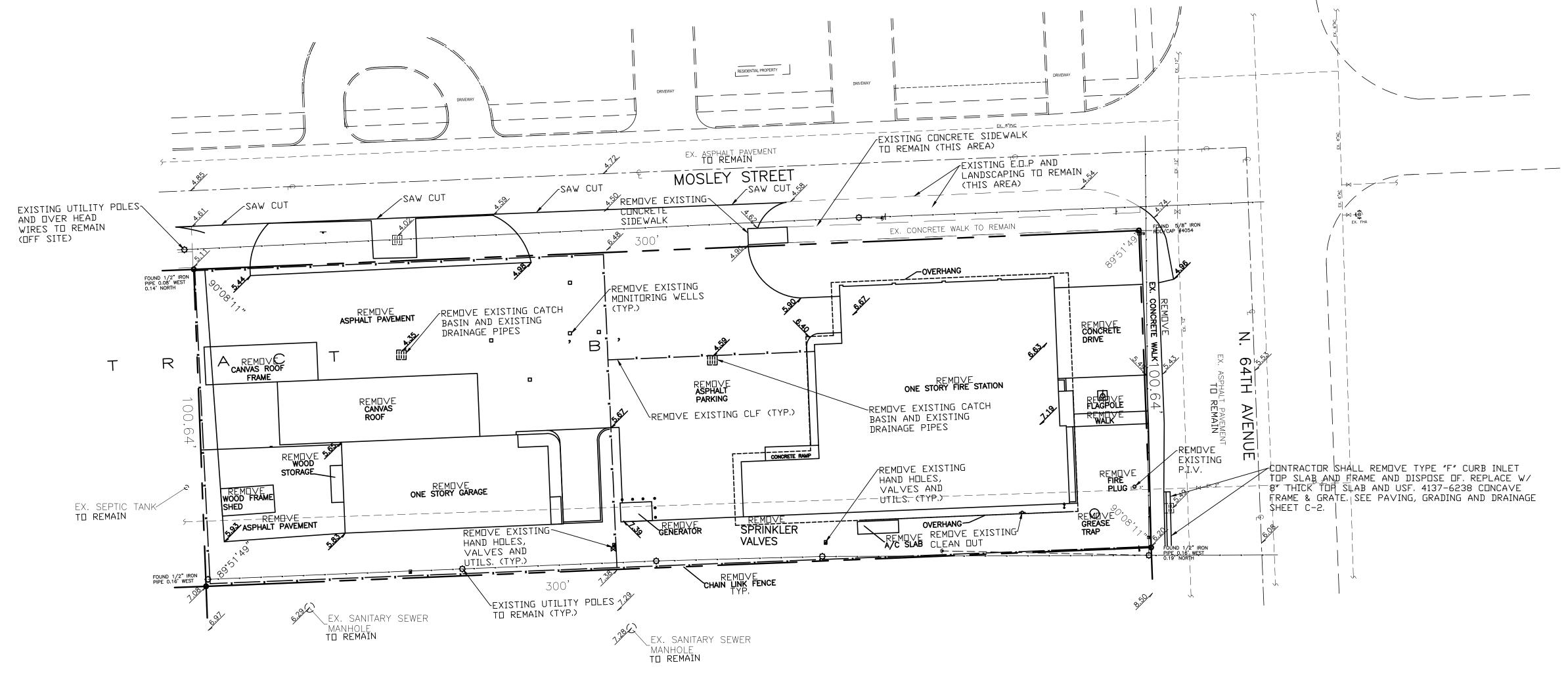
REVISIONS

01-15-2016 TAC

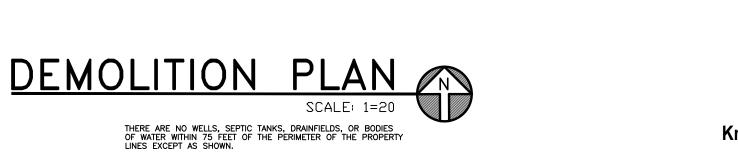
JOB



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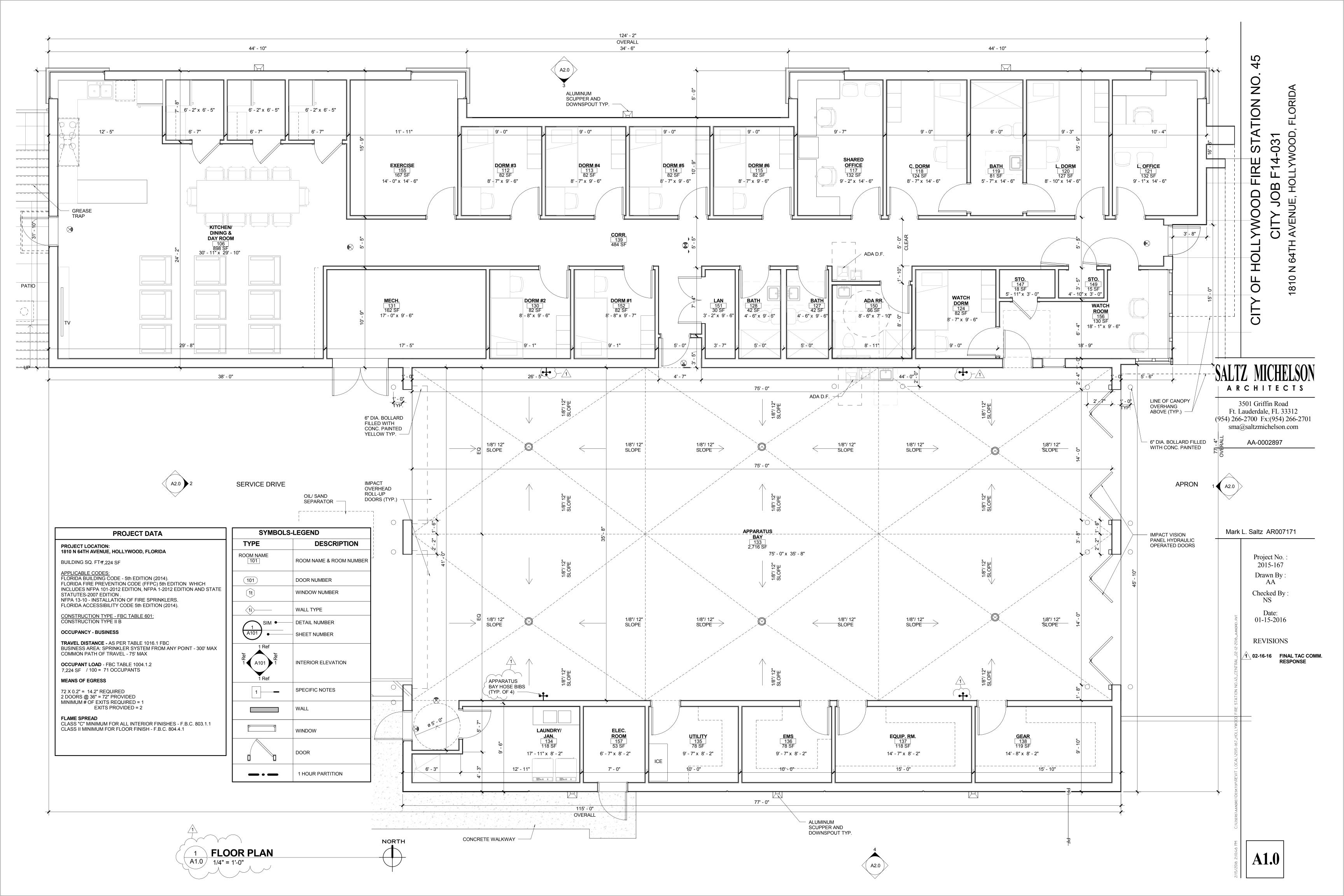
(PLAT BOOK 49, PG. 26, BROWARD COUNTY RECORDS)

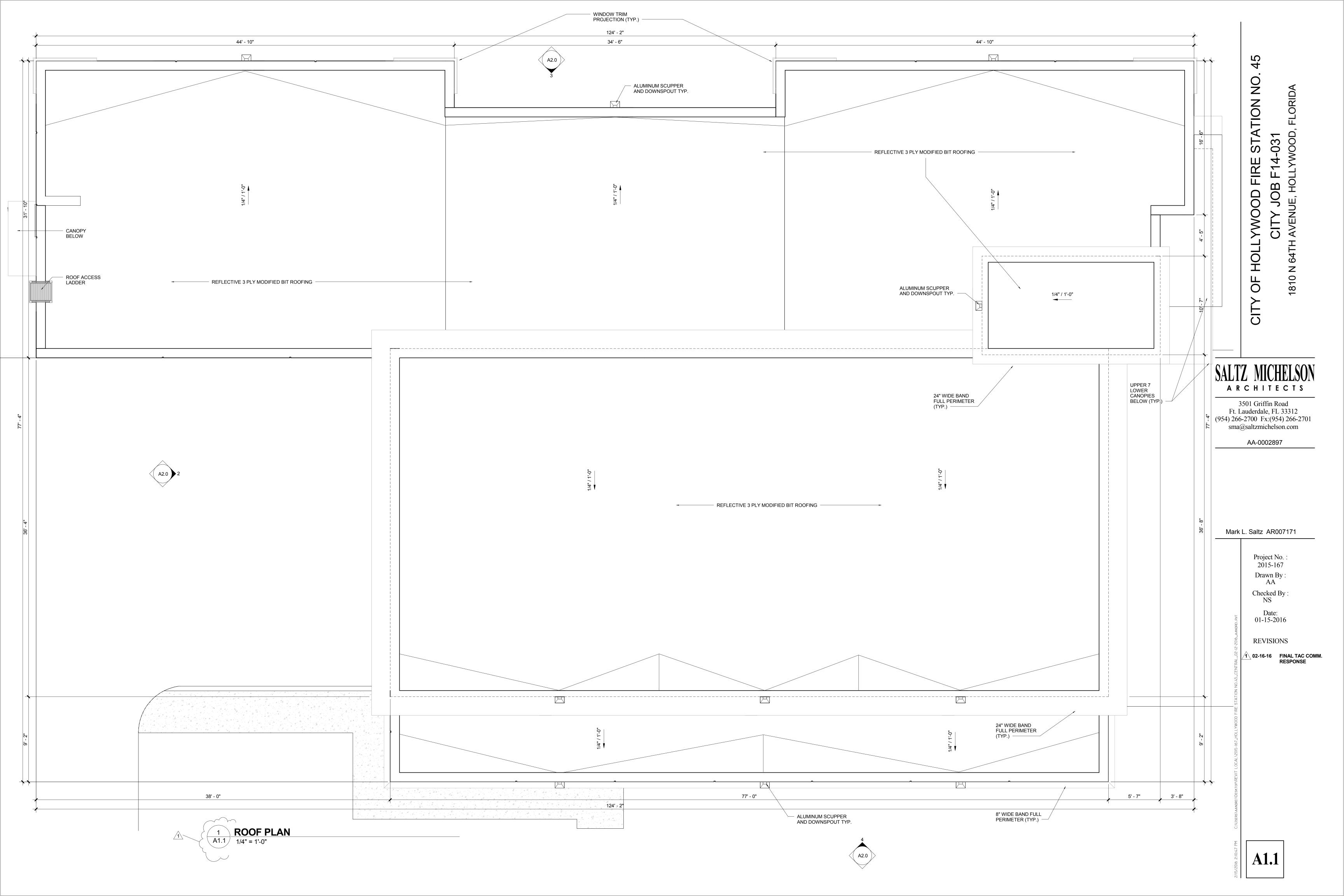












ARCHITECTS

3501 Griffin Road

Ft. Lauderdale, FL 33312

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sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No. :

2015-167

Drawn By AA

Checked By NS

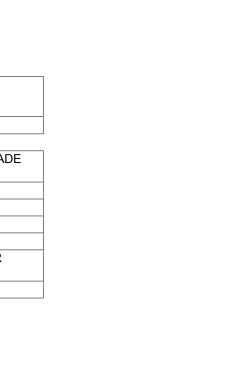
Date:

01-15-2016

REVISIONS

1 02-16-16 FINAL TAC COMM.

RESPONSE



FINISH SPECIFICATIONS DESCRIPTION CORRUGATED METAL PANEL ACCENT COLOR SHALL BE BRUSHED ALUMINUM AND OR MATCH (SW 7641 COLONADE GREY OR BENJAMIN MORE BRUSHED ALUMINUM 1485) GLASS-IMPACT PRODUCT APPROVED LOW-E W/ GREY TINT DOORS, WINDOWS/ STOREFRONT FRAMES, SHADING BROWS, ACCENT COLOR SW 6868 REAL RED PAINT FIELD COLOR SW 6673 BANANA CREAM FIELD PAINT ACCENT COLOR SW 6144 DAPPER TAN UPPER ENTRY CANOPY ACCENT COLOR OR MATCH PAINT COLOR CANOPY PAINT SW 7641 COLONADE GREY OR BENJAMIN MORE BRUSHED ALUMINUM 1485

ACCENT COLOR PANELS SW 7641 COLONADE GREY (OR BENJAMIN MORE BRUSHED ALUMINUM 1485)

OPERATED DOORS P-1 -STREET LEVEL PAINTED YELLOW TYP. **STOREFRONT** STOREFRONT DOOR 11' - 6" 14' - 0" 31' - 10" 14' - 0" 77' - 4" **EAST ELEVATION** A2.0 1/8" = 1'-0"

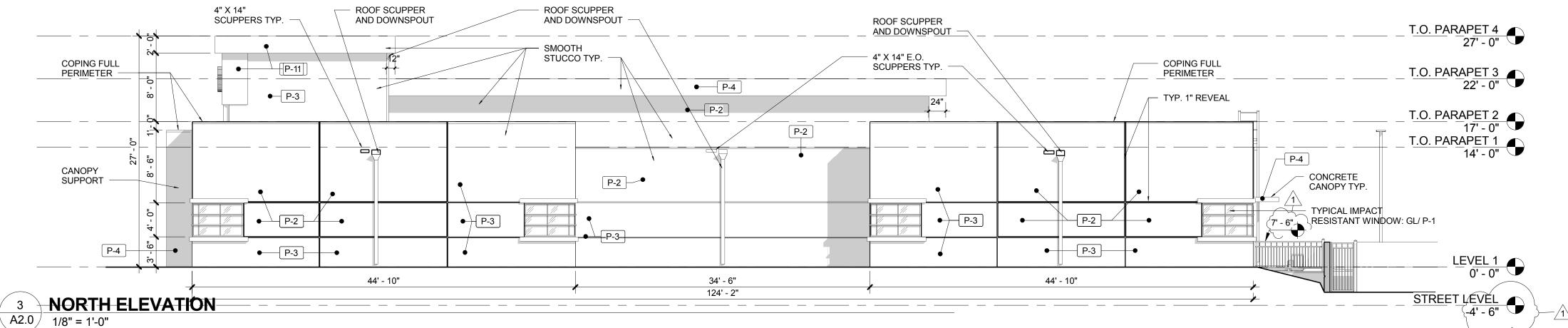
6" DIA. BOLLARD

FILLED WITH CONC.

GL

SMOOTH STUCCO

P-2 GL 7 P-2 7



RAISE METAL PANEL ARCHITECTURAL

RAISED EXTRUDED 18" HIGH ALUM. NUMBERS. STUD MOUNTED AND

P-2

CONCRETE CANOPY TYP.

BACK LIGHTED (ARIAL FONT)

AREA: 7 S.F.

IMPACT RATED

P-4

• P-3

RESISTANT

FEATURE WITH RAISED EXTRUDED 36" HIGH 4

T.O. PARAPET 4 27' - 0"

T.O. PARAPET 3 22' - 0"

T.O. PARAPET 2 17' - 0"

T.O. PARAPET 1 14' - 0"

LEVEL 1

STREET/LEVEL

COPPING FULL PERIMETER

ROOF SCUPPER AND

RESISTANT WINDOW

DUMPSTER BEYOND

DOWNSPOUT

TYP. IMPACT

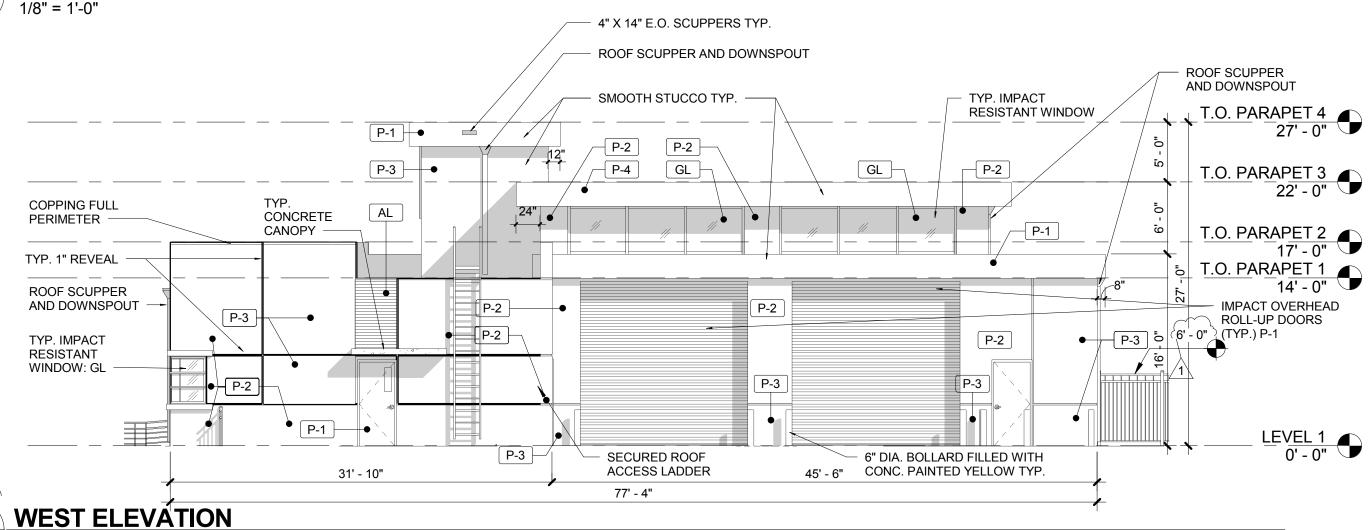
CANOPY

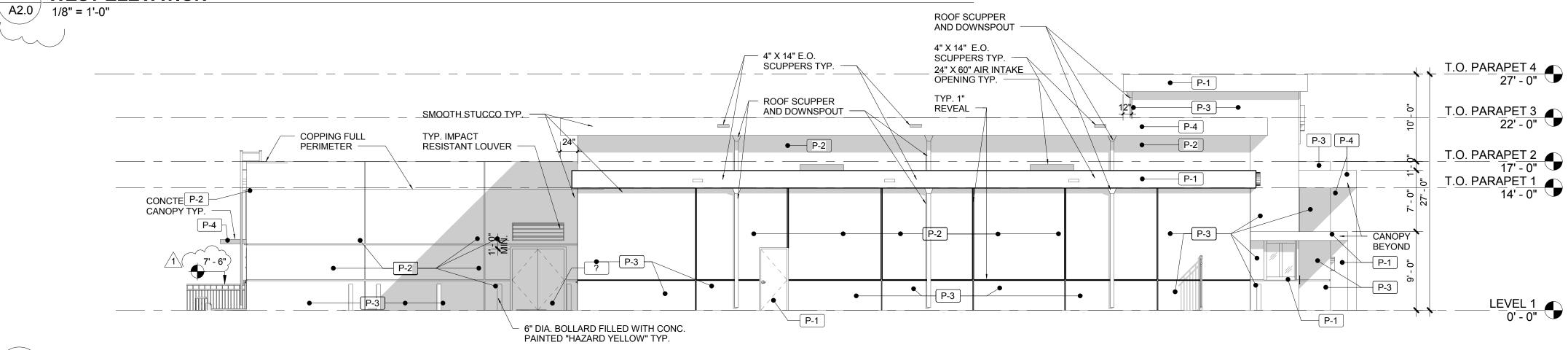
SUPPORT

ALUMINUM NUMBERS. STUD MOUNTED AND

BACK LIGHTED (ARIAL FONT)

AREA: 9 S.F.





4 SOUTH ELEVATION 1/8" = 1'-0"

RAISED EXTRUDED 18" HIGH ALUMINUM

P-3 P-2

• P-3

HYDRAULIC IMPACT

NUMBERS. STUD MOUNTED AND BACK

TYP. IMPACT RESISTANT WINDOW

LIGHTED (ARIAL FONT)

AREA: 33 S.F. -

ROOF

SCUPPER AND

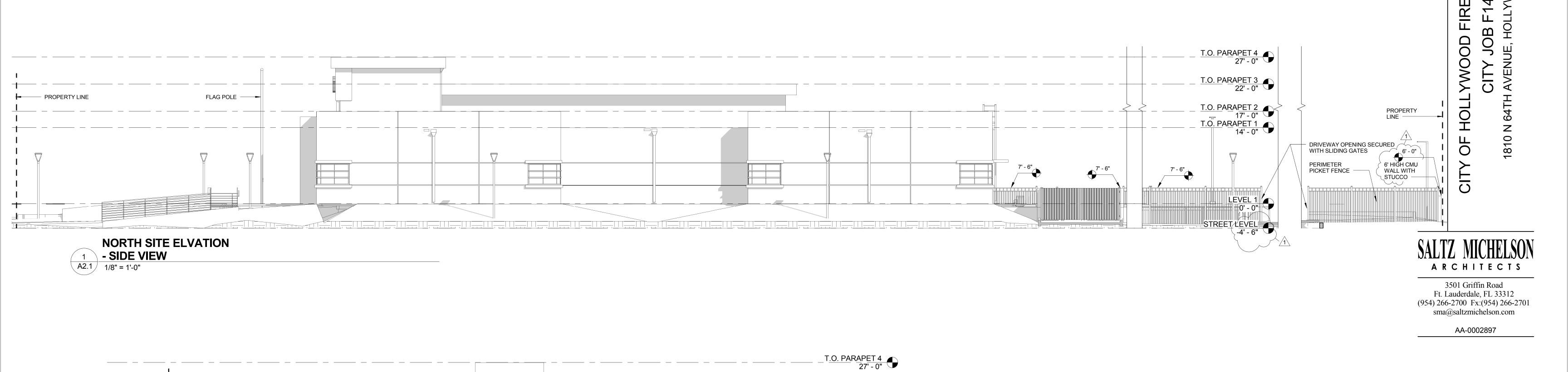
DOWNSPOUT

SMOOTH

STUCCO TYP.

TYP. 1" REVEAL

A2.0



_T.O. PARAPET 3 22' - 0"

T.O. PARAPET 2 17' - 0"

T.O. PARAPET 1 14' - 0"

STREET LEVEL -4' - 6"

PROPERTY LINE

- PROPERTY LINE

PERIMETER
PICKET FENCE

EAST SITE ELEVATION

2 - FRONT VIEW A2.1 1/8" = 1'-0" Mark L. Saltz AR007171

15' - 0" VARIES

RESIDENTIAL HOMES

STATION NO.

Project No. : 2015-167
Drawn By :

Checked By : NS

Date: 01-15-2016

REVISIONS

1 02-16-16 FINAL TAC COMM. RESPONSE

45

ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

36 - FS#45 Drawn By: JRL

Project No.:

Checked By: TMcC Date:

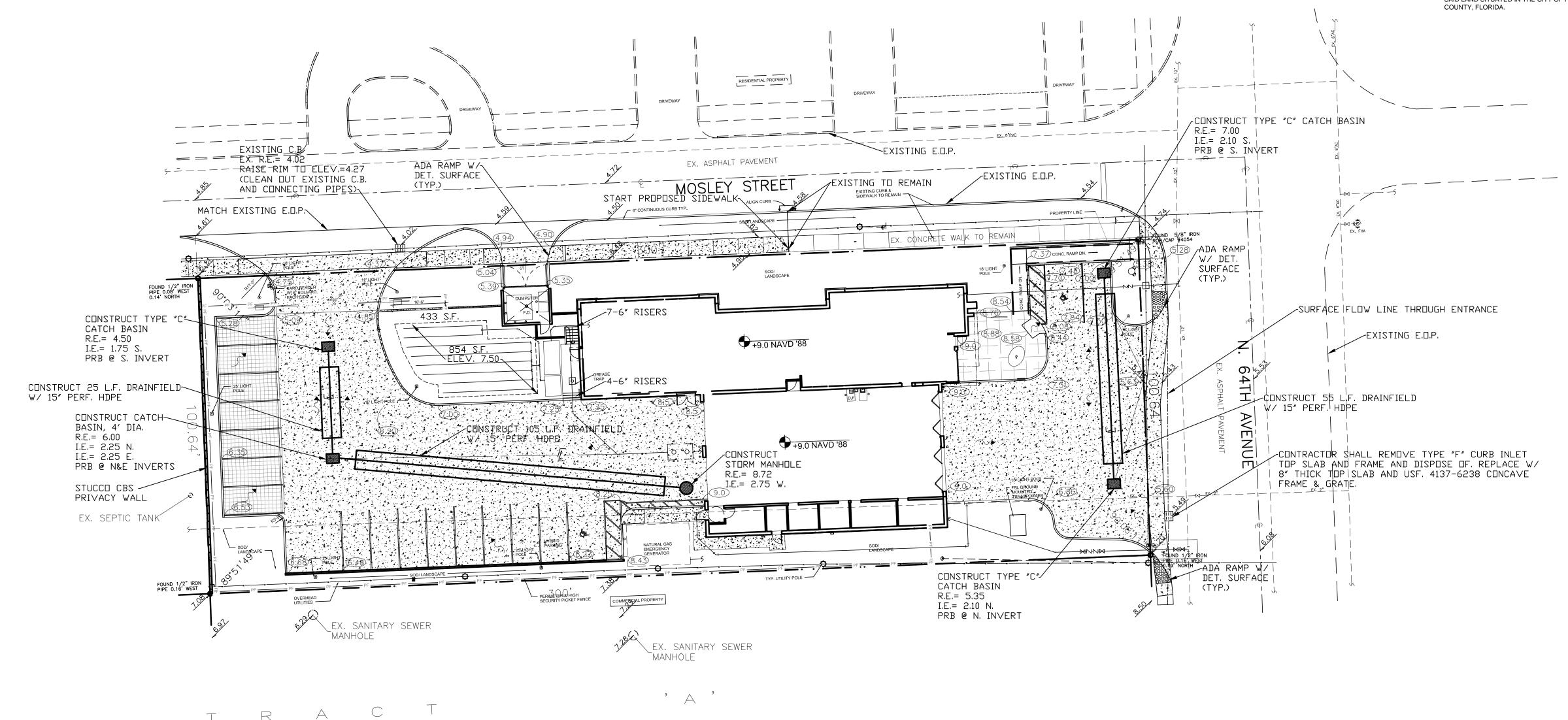
01-05-2016 **REVISIONS** 01-15-2016 TAC

⚠ 02-16-2016 TAC Comments Response

SHERIDAN S SHERIDAN ST. MOSELEY ST. TAFT ST.



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(PLAT BOOK 49, PG. 26, BROWARD COUNTY RECORDS)

LEGEND AND NOTES

INDICATES WATER METER

INDICATES ELEPHONE BOX

INDICATES CLEAN—OUT

INDICATES CONCRETE POLE WITH LIGHTING

INDICATES MONITORING WELLS

_____ INDICATES OVERHEAD UTILITIES

_____ INDICATES FENCE (CHAIN LINK OR WOODEN)

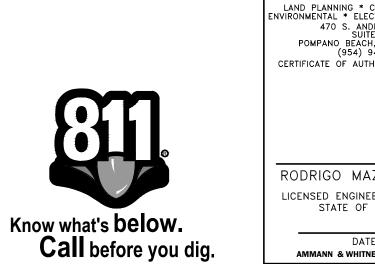
INDICATES EXISTING ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM

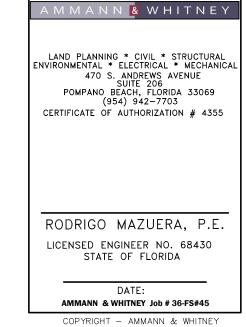
•--- INDICATES WOODEN POLE & ANCHOR

■ INDICATES WATER METER

INDICATES BOLLARD

III INDICATES CATCH BASIN





SALTZ MICHELSON ARCHITECTS 3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

STATION NO

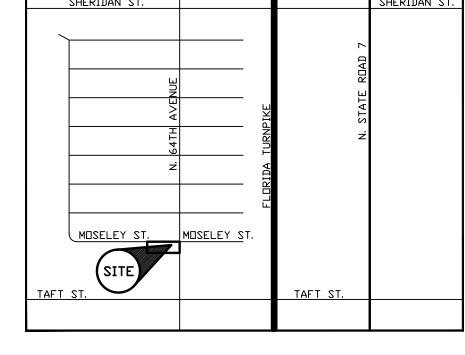
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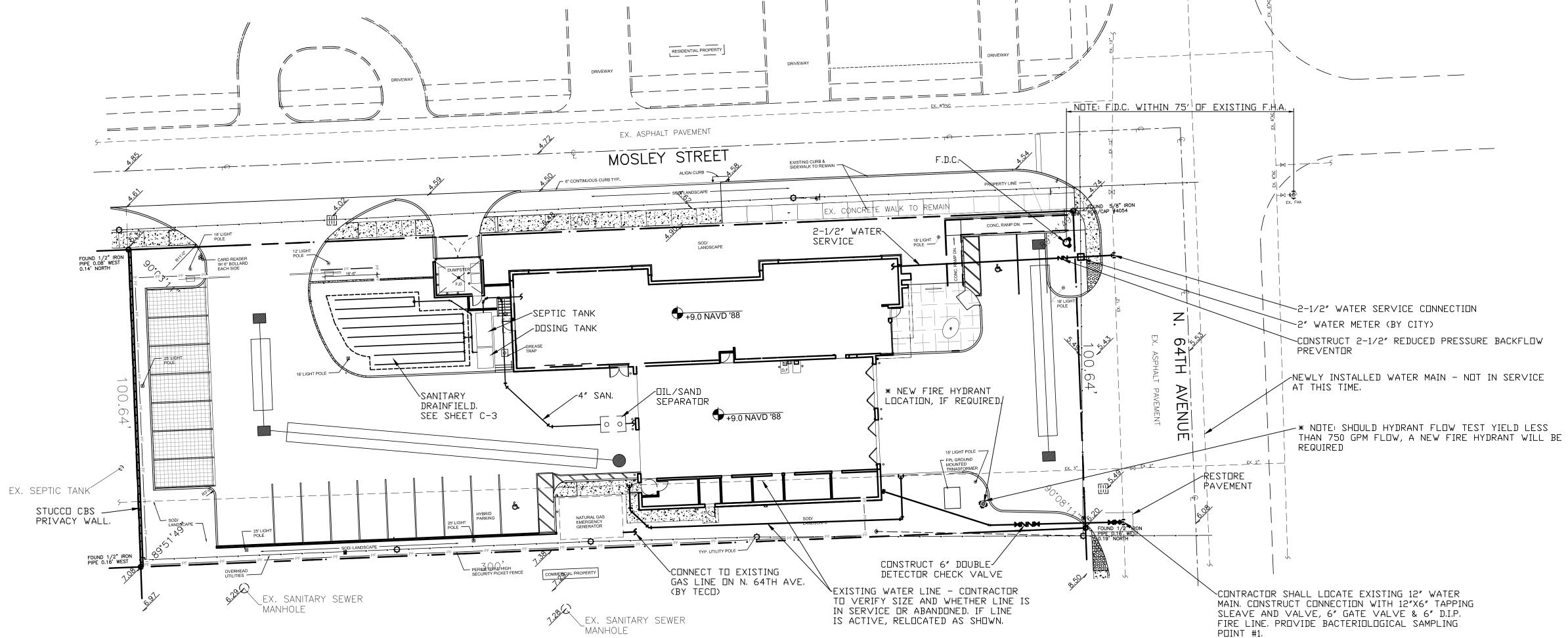
36 - FS#45 Drawn By: JRL

Checked By TMcC Date:

01-05-2016 **REVISIONS** 01-15-2016 TAC

⚠ 02-16-2016 TAC Comments Response





(PLAT BOOK 49, PG. 26, BROWARD COUNTY RECORDS)

LEGEND AND NOTES

INDICATES TELEPHONE BOX
ON INDICATES CLEAN—OUT
ON INDICATES CONCRETE POLE WITH LIGHTING INDICATES MONITORING WELLS INDICATES BOLLARD

_____x ____ INDICATES FENCE (CHAIN LINK OR WOODEN)

MINDICATES EXISTING ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM

O → INDICATES WOODEN POLE & ANCHOR
INDICATES WATER VALVE
INDICATES SIGN

_____ INDICATES OVERHEAD UTILITIES

■ INDICATES WATER METER

1. REQUIRED FIRE FLOW PER ISO GUIDE=750 G.P.M. FLOW 2. WATER USE= 9 BEDS X 50 G.P.D./BED + 390 S.F. DFFICE X 0.15 G.P.D./S.F. = 510 G.P.D. AVERAGE DAILY FLOW

THERE ARE NO WELLS, SEPTIC TANKS, DRAINFIELDS, OR BODIES OF WATER WITHIN 75 FEET OF THE PERIMETER OF THE PROPERTY LINES EXCEPT AS SHOWN.

Know what's below. Call before you dig. LAND PLANNING * CIVIL * STRUCTURAL ENVIRONMENTAL * ELECTRICAL * MECHANICAL 470 S. ANDREWS AVENUE SUITE 206
POMPANO BEACH, FLORIDA 33069
(954) 942-7703
CERTIFICATE OF AUTHORIZATION # 4355 RODRIGO MAZUERA, P.E. LICENSED ENGINEER NO. 68430 STATE OF FLORIDA AMMANN & WHITNEY Job # 36-FS#45 COPYRIGHT - AMMANN & WHITNEY

MMANN & WHITNEY

C-2

SHEET (3) OF (7)

0

MUTUAL SYSTEM APPROVED. THE MEGALUG IS INSTALLED SIMPLY AND EASILY WITH COMMON ASSEMBLY TOOLS. THE TWIST-OFF NUTS MAKE SETTING THE WEDGES A "SNAP". IT REQUIRES NO BEVELING, GRODVING, WELDING, OR OTHER SPECIAL ASSEMBLY TECHNIQUES. EASE OF ASSEMBLY, COUPLED WITH USE WITH THE STANDARDIZED MECHANICAL JOINT, MAKES THE MEGALUG

THE MEGALUG IS RESILIENT. IN ADDITION TO THE ABILITY OF THE MEGALUG TO DEFLECT AS MUCH AS THE MECHANICAL JOINT ALLOWS DURING ASSEMBLY, IT ALSO DEFLECTS AFTER ASSEMBLY. SIZES 12' AND BELOW ARE CAPABLE OF UP TO 3° OF DEFLECTION AFTER BURIAL DEPENDING ON THE PRESENT DEFLECTION. THIS IS POSSIBLE BECAUSE OF "THE EBAA EXTRA", RCM (RESERVED CONTROLLED MOVEMENT) MECHANICAL JOINT RESTRAINT SHALL BE INCORPORATED IN THE DESIGN OF THE FOLLOWER GLAND AND SHALL INCLUDE A RESTRAINING MECHANISM WHICH, WHEN ACTUATED, IMPARTS MULTIPLE WEDGING ACTION AGAINST THE PIPE, INCREASING ITS RESISTANCE AS THE PRESSURE INCREASES. FLEXIBILITY OF THE JOINT SHALL BE MAINTAINED AFTER BURIAL. GLANDS SHALL BE MANUFACTURED OF DUCTILE IRON CONFORMING TO ASTM A 536-80. RESTRAINING DEVICES SHALL BE OF DUCTILE IRON HEAT TREATED TO A MINIMUM HARDNESS OF 370 BHN. DIMENSIONS OF THE GLAND SHALL BE SUCH THAT IT CAN BE USED WITH THE STANDARDIZED MECHANICAL JOINT BELL AND TEE-HEAD BOLTS CONFORMING TO ANSI/AWWA A21.11 AND ANSI/AWWA C153/A21.53 OF LATEST REVISION. TWIST-OFF NUTS SHALL BE USED TO INSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINT DEVICE SHALL HAVE A WORKING PRESSURE OF AT LEAST 250 PSI WITH A MINIMUM SAFETY FACTOR OF 2:1 AND SHALL BE EBAA IRON, INC., MEGALUG OR EQUAL. AND SHALL BE EBAA IRON, INC., MEGALUG OR EQUAL.

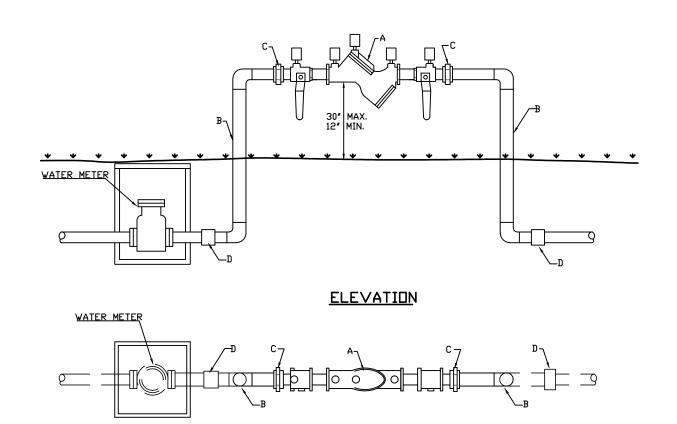
FOR TEST PRESSURES ABOVE THE RATED PRESSURES SHOWN, CONSULT THE ENGINEERING DEPARTMENT OF EBAA IRON, INC., FOR RECOMMENDATIONS. EBAA-SEAL GASKETS ARE PROVIDED WITH THE 30' THROUGH 48' MEGALUGS. ALSO PROVIDED WITH THE 42' AND 48' SIZES ARE EXTRA LENGTH T-BOLTS. THE GASKETS AND BOLTS ARE PROVIDED TO FACILITATE EASIER ASSEMBLY OF THE MECHANICAL JOINT AND ARE REQUIRED ON THE ABOVE REFERENCED SIZES TO OBTAIN THE PRESSURE RATINGS AND SAFETY FACTORS SHOWN. FOR PROJECTS USING LARGE DIAMETER RESTRAINTS, PLEASE CONTACT THIS OFFICE FOR OUR DESIGN RECOMMENDATIONS.

SHOULDER BO

SERIES	С	D	F	J	М	x	NO. OF WEDGES	NO. OF BOLTS	P	P W/NUTS TWISTED OFF
1103	4.84	2.27	4.06	6.19	0.62	s	2	4	9.36	9.06
1104	5.92	2.27	4.90	7.50	0.75	f	lel	4	10.20	9.90
1106	8.02	2.27	7.00	9.50	0.88	f	2	6	12.30	12.00
1108	10.17	2.31	9.15	11.75	1.00	f	4	6	14.45	14.15
1110	12.22	2.37	11.20	14.00	1.00	f	6	8	16.50	16.20
1112	14.32	2.37	13.30	16.25	1.00	f	8	8	18.60	18.30
1114	16.40	2.69	15.44	18.75	1.50	f	10	10	20.64	20.94
1116	18.50	2.69	17.54	21.00	1.56	f	12	12	22.60	22.90
1118	20.60	2.69	19.64	23.25	1.63	f	12	12	24.70	25.00
1120	22.70	2.69	21.74	25.50	1.69	f	14	14	26.80	27.10
1124	26.90	2.72	25.94	30.00	1.81	f	16	16	32.94	32.64
1130	33.29	3.38	32.17	36.88	2.25	1w	20	20	39.17	38.87
1136	39.59	3.38	38.47	43.75	2.25	1w	24	24	45.47	
1142	45.79	4.56	44.67	50.62	3.88	1y	28	28	55.87	55.57
1148	52.09	4.56	50.97	57.50	3.88	1y	32	32	62.17	61.87

MEGA LUG DETAILS

3 SPACER



FRONT VIEW

SECTION B-B

MEGALUG SPECIFICATIONS AND DATA

SIZES 3' THROUGH 24' ARE LISTED BY UNDERWRITER'S LABORATORIES, INC., CATEGORY HJKF 'FITTINGS, RETAINER TYPE," WITH A DEFLECTION ANGLE OF 5°. THE LISTING FILE NUMBER IS EX2836. SIZES 3' THROUGH 12' ARE FACTORY MUTUAL APPROVED.

REAR VIEW

SECTION A-A

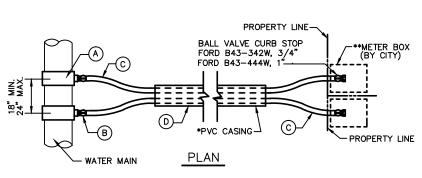
LISTINGS AND APPROVALS FOR SERIES 1100 MEGALUG

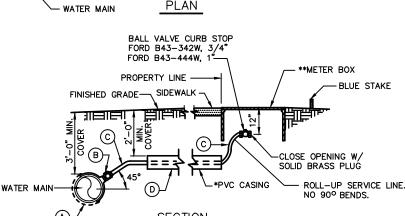
REDUCED PRESSURE PRINCIPLE ASSEMBLY 1 1/2" TO 2"

A. REDUCED PRESSURE PRINCIPLE OR DOUBLE-CHECK VALVE BACK-FLOW PREVENTION ASSEMBLY, WITH BALL VALVES, AS PROVIDED BY MANUFACTURER.

B. RISER SHALL BE COPPER PIPE, TYPE K - HARD TEMPER, OF APPROPRI-ATE SIZE.
C. COPPER PIPING WILL BE JOINED TO THE ASSEMBLY WITH APPROPRIATE UNIONS.

D. COPPER RISER SHALL BE JOINED TO THE WATER LINE ON THE HORIZON-TAL RUN. IF THE WATER LINE IS OTHER THAN PVC, A DIELECTRIC COUPLING WILL BE USED TO PREVENT ELECTROLYSIS.





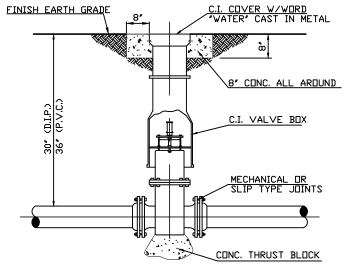
SINGLE SERVICE DOUBLE SERVICE (A) 2" TAPPING SADDLE FORD F202 A 2" TAPPING SADDLE (2) FORD F202 B 2" CORPORATION STOP FORD TYPE F1000 B 2" CORPORATION STOP (2) FORD TYPE F1000 © 2" POLYETHYLENE DRISCO PIPE © 2" POLYETHYLENE (2) DRISCO PIPE

D 1 1/2" SCH. 40 FOR 1" SERVICE 2 1/2" SCH. 40 FOR 2" SERVICE

TYPICAL 2" WATER SERVICE

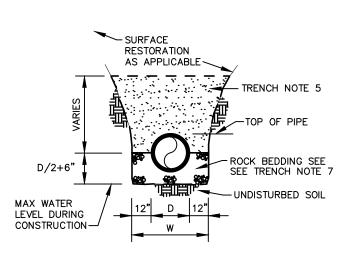
D 2 1/2" SCH. 40 FOR 1" SERVICE 6" SCH. 40 FOR 2" SERVICE

ALL METERS 2-INCH AND SMALLER PLUMBER SHALL INSTALL A BRASS NIPPLE ON THE DUTLET SIDE OF THE METER. NIPPLE SHALL BE MINIMUM TWELVE INCHES IN LENGTH. THIS WILL ALLOW METER BOX TO BE PROPERLY INSTALLED.

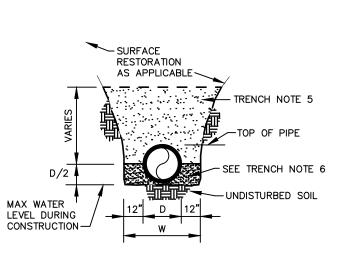


TYPICAL BURIED GATE VALVE SETTING DETAIL

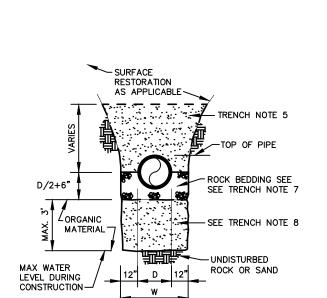
1. VALVE OPERATING NUT SHALL EXTEND TO WITHIN 12-18 INCHES OF FINAL GRADE. VALVE OPERATING EXTENSION KITS SHALL BE RESTRAINED TO THE VALVE OPERATION NUT WITH STAINLESS STEEL BOLTS OR SET SCREWS. 2. THE WORD "WATER" SHALL BE CAST INTO THE COVER OF VALVE BOXES USED ON WATER MAINS. THE WORD "SEWER" SHALL BE CAST INTO THE COVER OF VALVE BOXES USED ON FORCE MAINS. THE WORD "FIRE" SHALL BE CAST INTO THE COVER OF VALVE BOXES USED ON FIRE LINES AND FIRE HYDRANTS. THE WORD "SERVICE" SHALL BE CAST INTO THE COVER OF VALVE BOXES USED ON SERVICE LINES.



BACKFILL / BEDDING CLASS



BACKFILL BEDDING **CLASS**



TYPICAL LOCATION WHICH REQUIRE CONCRETE REACTION (THRUST) BLOCKS, FOR PRESSURE

CONTRACTOR SHALL CONSTRUCT ALL REQUIRED THRUST BLOCKS AND INCLUDE COST IN UNIT PRICE OF

PIPELINE OR FITTINGS.

NOTE: FOR OTHER FITTING, USE FOLLOWING FACTORS.
TEE 100%
45° BEND 76%

BEND 76% BEND 39% BEND 20% BEND 100%

CONCRETE THRUST BLOCKS

GRADE

GUARD POST DETAIL

(BOLLARD)

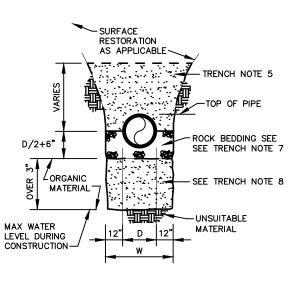
MAINS 4" SIZE AND GREATER. CONCRETE SHALL HAVE 2500 PSI MIN. STRENGTH AT 28 DAYS AND BEAR AGAINST UNDISTURBED STABLE SUILS. AREA OF CONTACT SHALL BE GOVERNED BY PIPE SIZE, MAX. PRESSURE IN PIPE AND BEARING CAPACITY OF SUIL.

| THRUST BLK. | PIPE | AREA REQ'D | AREA REQ'D | AREA REQ'D | 4" | 2.0 SQ.FT. | 18" | 30.0 SQ.FT. | VALUES ARE FOR 90" BEND, 6" | 4.0 SQ.FT. | 20" | 37.0 SQ.FT. | BASED ON 2000 PSF SAFE | 8" | 6.6 SQ.FT. | 24" | 53.0 SQ.FT. | BEARING LOAD AND PIPE | 10" | 10.0 SQ.FT. | 27" | 80.0 SQ.FT. | PRESURE OF 150PSI PLUS | 12" | 14.0 SQ.FT. | 30" | 98.0 SQ.FT. | 33", SAFETY FACTOR FOR 14" | 18.0 SQ.FT. | 36" | 127.0 SQ.FT. | OTHER SOILS & PRESSURES | THE AREA REQ'D IS IN DIRECT PROPERTION

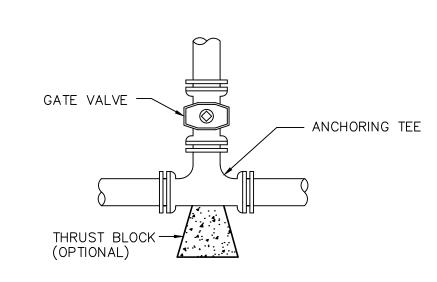
6" Ø GALV. PIPE

(6" CONC. FILLED PAINTED YELLOW)

BACKFILL BEDDING **CLASS**



BEDDING BACKFILL **CLASS**



<u>3/4" GATE VAL</u>VE

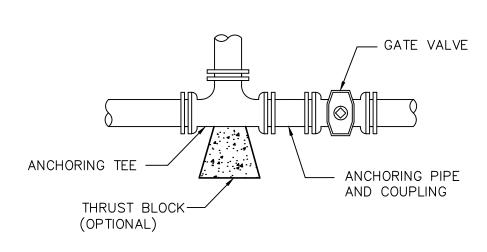
CORPORATION STOP

TYPICAL BACTERIOLOGICAL SAMPLING

POINT AT INTERMEDIATE POINTS

<u>4″ DIA. MIN. TYPE "K″ COPPE</u>R □R APPROVED EQUAL

RESTRAINED VALVE AT TEE **BRANCH**



RESTRAINED VALVE AT TEE

(IN LINE

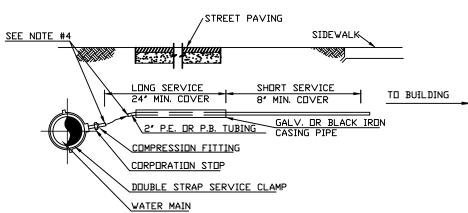
WATER DETAILS

VENT TO ATMOSPHERE FILL & FLUSH HERE CORPORATION STOP SEE DETAIL "A" NEW WATER MAIN NEW GATE VALVE CORPORATION STOP RESULTS HAVE BEEN OBTAINED. LIMITS OF TEST METHOD "B" METER AS REQ'D METHOD "A"

CORPORATION STOP

COMPLETE FILLING & FLUSHING CONNECTION DETAIL

NOTES: 1. REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON EXIST. MAIN AFTER FILLING & FLUSHING OF NEW LINE 2. DD NOT REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON NEW MAIN UNTIL ALL TESTING HAS BEEN COMPLETED.



TYPICAL SERVICE CONNECTION

PROVIDE NECESSARY FITTINGS AND COUPLINGS.

NOTE:

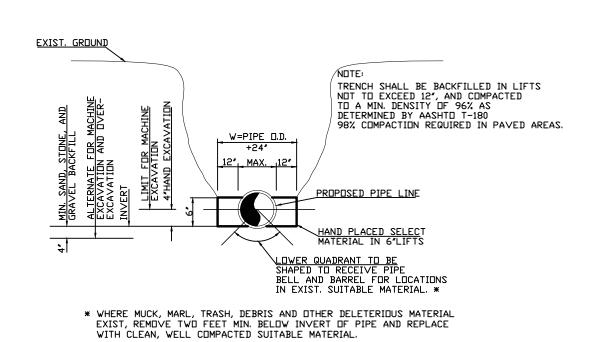
1. SUCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" DN CENTER.

2. 1"&1-1/2" LONG SERVICES REQUIRE A 2" MIN. I.D. CASING PIPE, 2" SERVICES REQUIRE A 3" MIN. I.D. CASING PIPE.

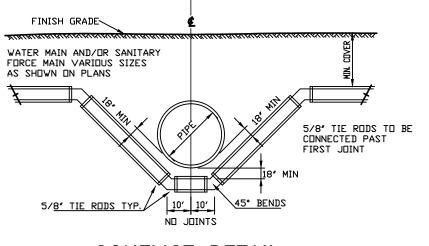
3. ALL CASING PIPE SHALL EXTEND A MIN. OF 2" BEYOND THE EDGE OF PAVED STREET

4. FOR 1" SERVICE LINES THE MINIMUM RADIUS SHALL BE 14" FOR 2-1/2" AND 2" SERVICES THE MINMUM RADIUS SHALL BE 21".

5. SCH. 40. SOLVENT WELD BLYCE MAY BE SURSTITUTED FOR POLY TURING. 5. SCH. 40, SOLVENT WELD P.V.C. MAY BE SUBSTITUTED FOR POLY TUBING SHOWN.



STANDARD TRENCHING DETAIL



CONFLICT DETAIL



SHEET (3) OF (7)

SALTZ MICHELSON ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

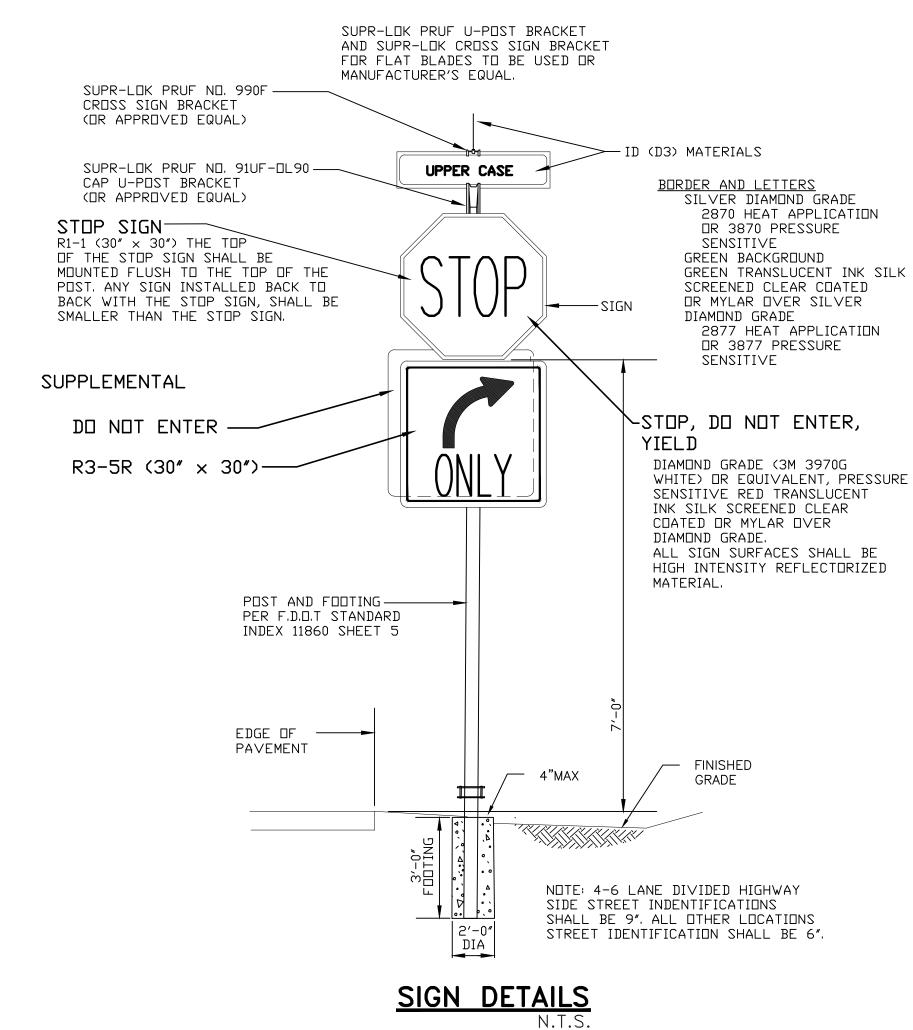
Project No. 36 - FS#45 Drawn By ADP Checked By TMcC

01-05-2016 REVISIONS 01-15-2016 TAC

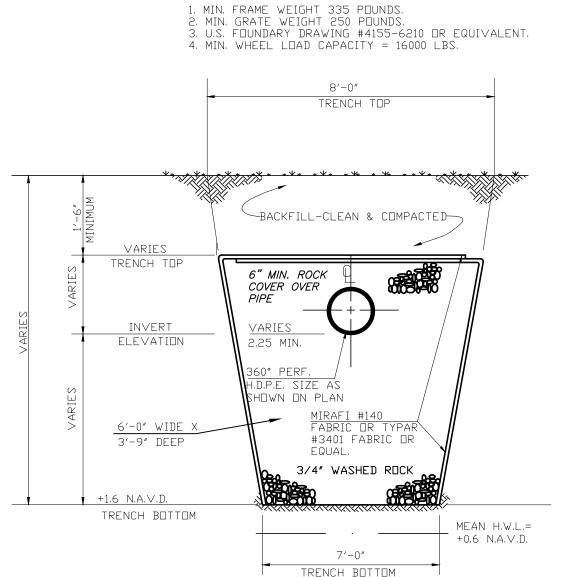
Date:

Project No. 36 - FS#45 Drawn By ADP Checked By: TMcC

Date: 01-05-2016 REVISIONS 01-15-2016 TAC



FRAME CATCH BASIN FRAME & GRATE

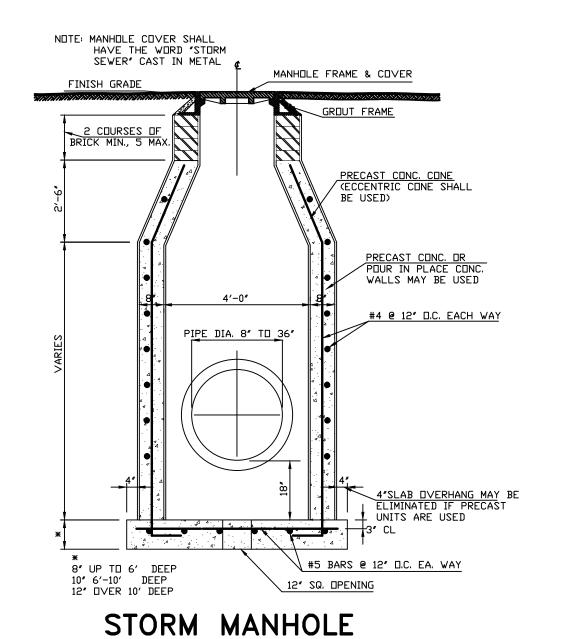


1 1/2"

GRATE

TRENCH BOTTOM

SECTION B-B



2'-0" | 8"

FRAME AND GRATE

GROUT

D.O.T. TYPE "C" C.B.

POLLUTION —

BAFFLES REQUIRED AT ALL PIPE INVERTS LEADING

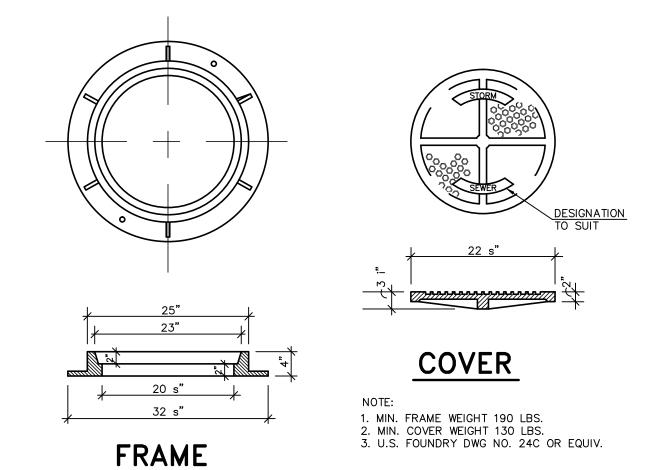
TO DRAINFIELDS

RECOMMENDED MINIMUM 5'-0"

SOLID PIPE TO BE USED IN THIS AREA.
DIMENSIONS AS SHOWN ON PLAN.

DETAIL THI SHEET

PROVIDE 4'X4'-8"X2'
3/4" WASHED D.F.
ROCK LAYER BELOW
PROP. CATCH BASIN



DRAINFIELD

DRAINFIELD (SEE PLAN FOR DIMENSION)
SLOTTED PIPE TO BE USED.

END OF PIPE TO BE PLUGGED W/MASONR BRICK & GROUTED WATER TIGHT

TYPICAL CATCH BASIN WITH DRAINFIELD

മ—

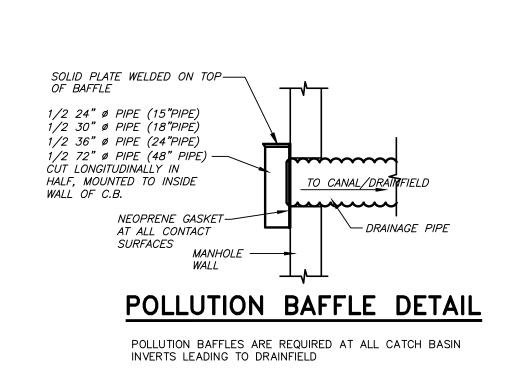
6" MIN. ROCK COVER OVER PIPE 6" MIN. ROCK COVER OVER PIPE

SECTION A-A

-BACKFILL

─3/4″ WASHED ROCK

SEE PLAN FOR PIPE SIZE AND LENGTH



MANHOLE FRAME & COVER

PAVING, GRADING AND DRAINAGE DETAILS

MMANN & WHITNEY LAND PLANNING * CIVIL * STRUCTURAL ENVIRONMENTAL * ELECTRICAL * MECHANICAL 470 S. ANDREWS AVENUE SUITE 206 POMPANO BEACH, FLORIDA 33069 (954) 942-7703 CERTIFICATE OF AUTHORIZATION # 4355 RODRIGO MAZUERA, P.E. LICENSED ENGINEER NO. 68430 STATE OF FLORIDA AMMANN & WHITNEY Job # 36-FS#45 COPYRIGHT - AMMANN & WHITNEY

C-4

SHEET (4) OF (7)





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AA-0002897

Project No. 36 - FS#45 Drawn By ADP Checked By: TMcC Date: 01-05-2016 REVISIONS 01-15-2016 TAC

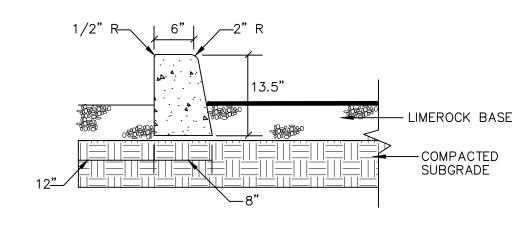
EXPANSION JOINT (SEE NOTE LINE (U.N.O.)

12" DEEP X 8" WIDE CONC.
THICKENED EDGE WHEN
ABUTTING ASPHALT DRIVE

SECTION A-A SECTION B-B

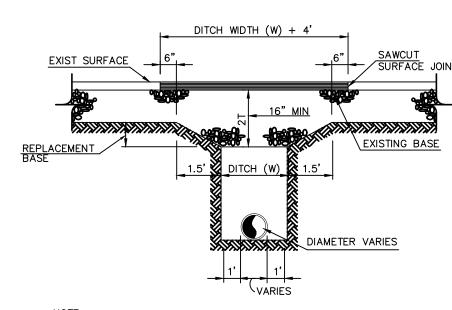
SIDEWALK DETAILS N.T.S.

- 1. EXPANSION JOINT SHALL BE 1/2" WITH NON RISING PRE-MOLDED MASTIC TO RUN THE FULL DEPTH OF SLAB, 30'-0" O.C.(MAX.) AND AT EXISTING CONCRETE.
- 2. CONCRETE IS TO HAVE TRANSVERSE BROOM FINISH.
- 3. 2500 P.S.I., 28 DAY MINIMUM CONCRETE TO BE USED.
- 4. TOP OF EXPANSION JOINT SHALL BE DEPRESSED 1/2" FROM GRADE OF ABUTTING CONCRETE.
- 5. SIDEWALK TO BE 6" THICK AT DRIVEWAYS.



TYPE 'D' CURB DETAIL

1. ALL CURBING SHALL BE D.O.T. TYPE 'D' INDEX 300 WITH 10" O.C. CONTROL JOINTS & 3000 P.S.I. CONCRETE.

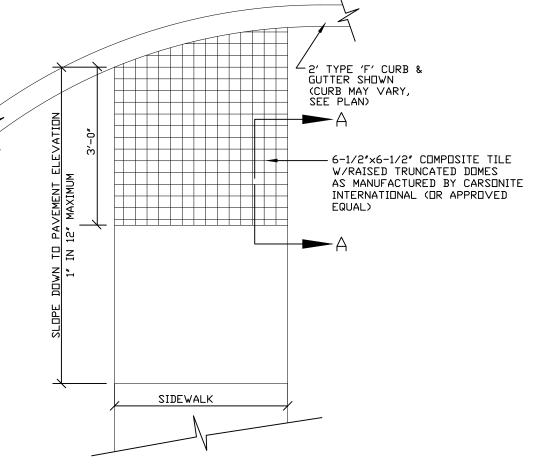


- 1. REPLACED BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE. 2. BASE MATERAL SHALL BE PLACED IN TWO OR THREE LAYERS.
- 3. EACH LAYER THOROUGHLY ROLLED OR TAMPED TO MAXIMUM DENSITY OF 98% BY A.A.S.H.O. T-180 SPEC. 4. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED. 5. SURFACE MATERIAL WILL BE CONSISTENT WITH THE EXISTING SURFACE.

6. ALL ROADWAY REPLACEMENT SHALL BE IN COMPLIANCE WITH GOVERNING

AUTHORITY WHERE CUT IS MADE. 7. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED & FEATHERED. 8. WHERE TRAFFIC SIGNALIZATION EXISTS IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPLACE THE SYSTEM DISTURBED IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S REQUIREMENTS.

RESTORATION OF PAVEMENT



DETECTABLE WARNING DEVICE DETAIL

SET TILE ON MODIFIED EPOXY—ADHESIVE MEETING THE REQUIREMENTS
OF CALIFORNIA SPECIFICATION 8040—21M-09 FOR STANDARD SET EPOXY
ADHESIVE FOR PAVEMENT MARKING.

TROWELLED SMOOTH CONCRETE SURFACE
TO BE THOROUGHLY CLEANED PRIOR TO
TILE INSTALLATION. CONCRETE SHALL
CURE 28 FOR DAYS PRIOR TO TILE.

\[\tag{1"\phi RAISED DOME \\ (w") @ 2i" O.C. \] \ STAGGERED

NOTES:

1. TILE TO BE D.O.T. STYLE AND MANUFACTURE YELLOW IN COLOR.

2. CONTRACTOR SHALL FOLLOW MANUFACTURERS GUIDE LINES FOR INSTALLATION.

3. TILE SHALL BE A FIBER REINFORCED POLYMER BONDED COMPOSIT CAPABLE OF

H.C. DETECTABLE WARNING SIDEWALK DETAIL

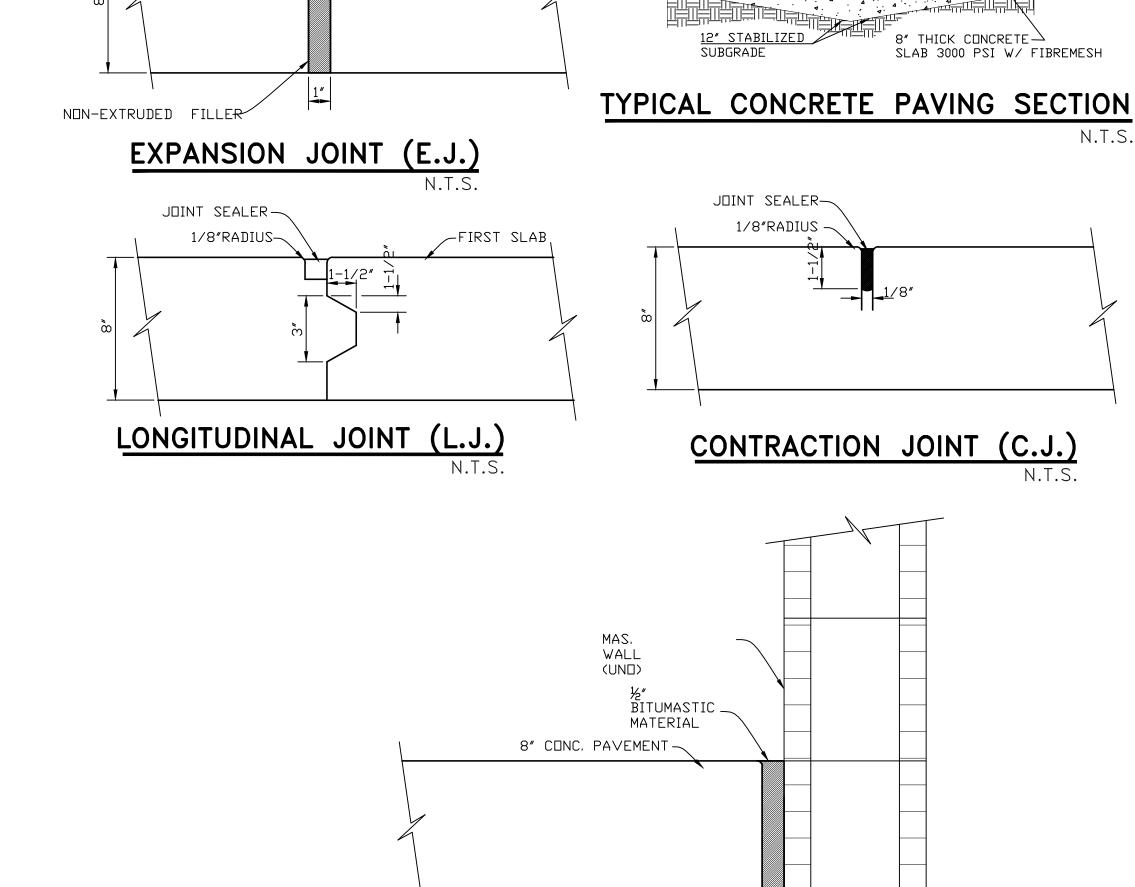
> MMANN & WHITNEY LAND PLANNING * CIVIL * STRUCTURAL
> ENVIRONMENTAL * ELECTRICAL * MECHANICAL
> 470 S. ANDREWS AVENUE
> SUITE 206
> POMPANO BEACH, FLORIDA 33069
> (954) 942-7703
> CERTIFICATE OF AUTHORIZATION # 4355 RODRIGO MAZUERA, P.E. LICENSED ENGINEER NO. 68430 STATE OF FLORIDA

> > AMMANN & WHITNEY Job # 36-FS#45 COPYRIGHT - AMMANN & WHITNEY

C-5

SHEET (5) OF (7)

PAVING, GRADING AND DRAINAGE DETAILS



BUTT JOINT (B.J.)

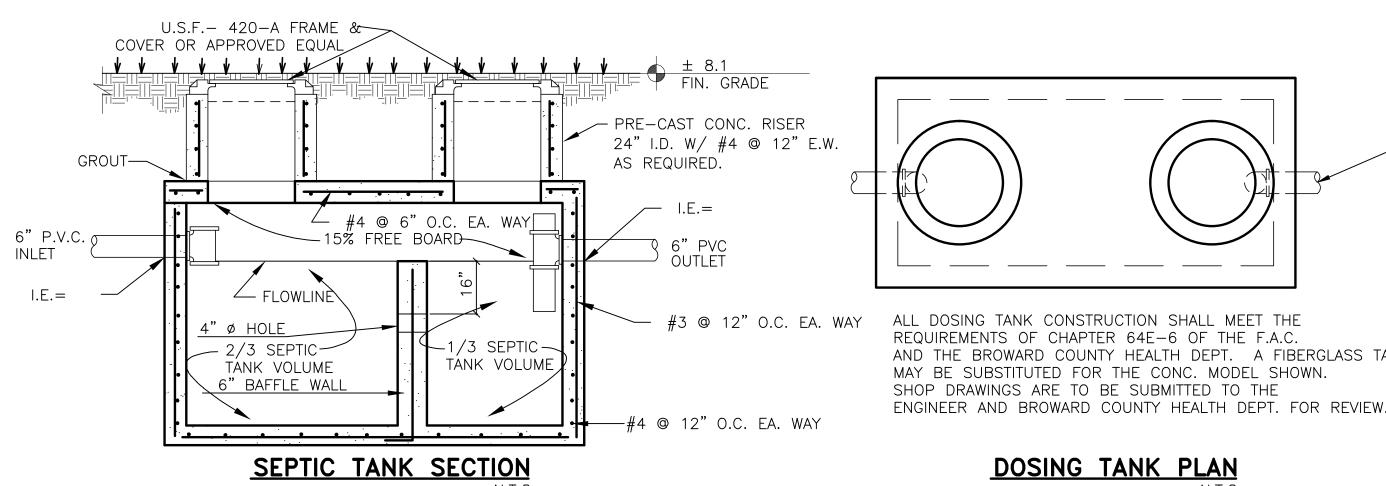
JOINT SEALER -

1/8"RADIUS —

LOW PRESSURE DOSING DRAINFIELD DETAIL

DRAINFIELD CALCULATIONS

9 DORMITORY ROOMS X 50 G.P.D./ROOM = 450 G.P.D. 290 S.F. DFFICE X 0.15 G.P.D./S.F. = 60 G.P.D. TOTAL FLOW = 450 + 60 = 510 G.P.D. FLOW 510 G.P.D. / 0.60 GAL/SF = 850 S.F. DRAINFIELD REQUIRED

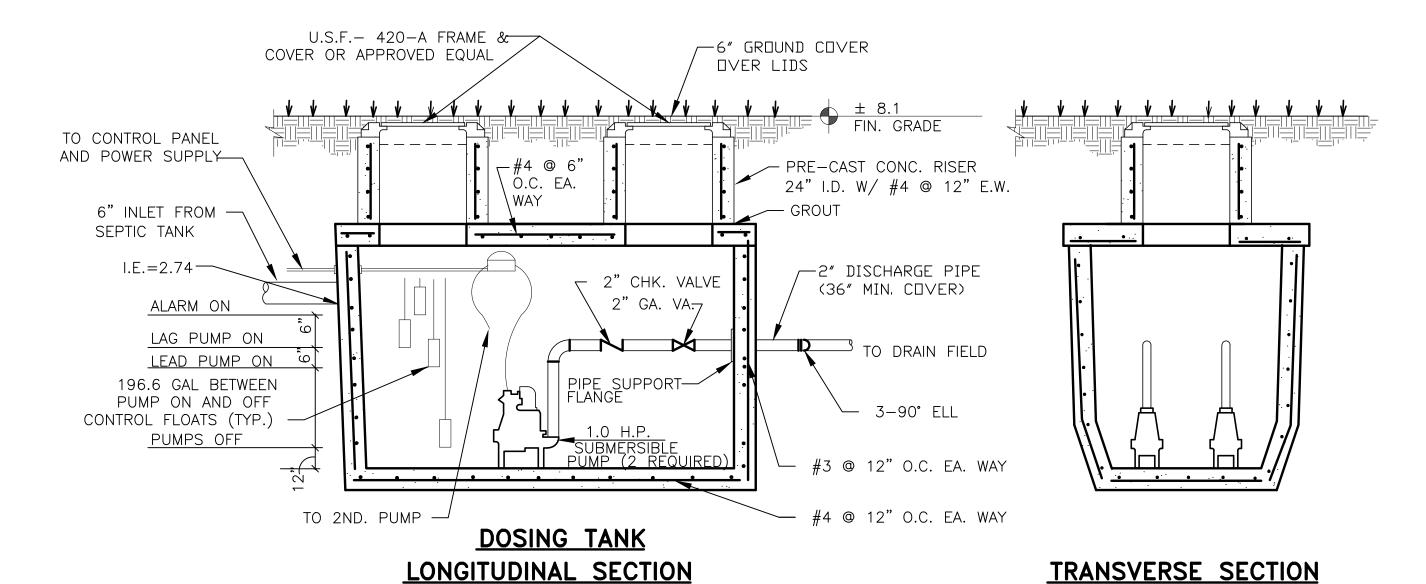


ALL DOSING TANK CONSTRUCTION SHALL MEET THE REQUIREMENTS OF CHAPTER 64E-6 OF THE F.A.C. AND THE BROWARD COUNTY HEALTH DEPT. A FIBERGLASS TANK MAY BE SUBSTITUTED FOR THE CONC. MODEL SHOWN.

DOSING TANK PLAN

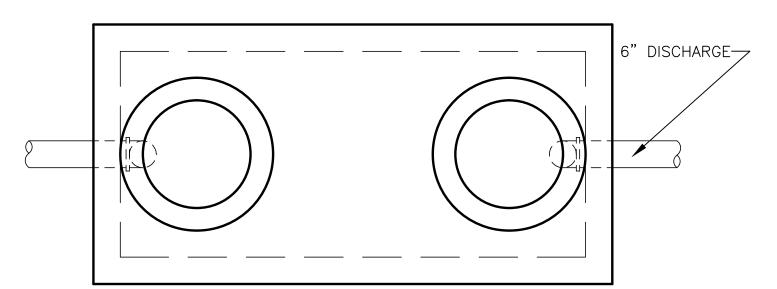
1350 GALLON CAPACITY SEPTIC TANK REQUIRED

SEPTIC SYSTEM DETAILS



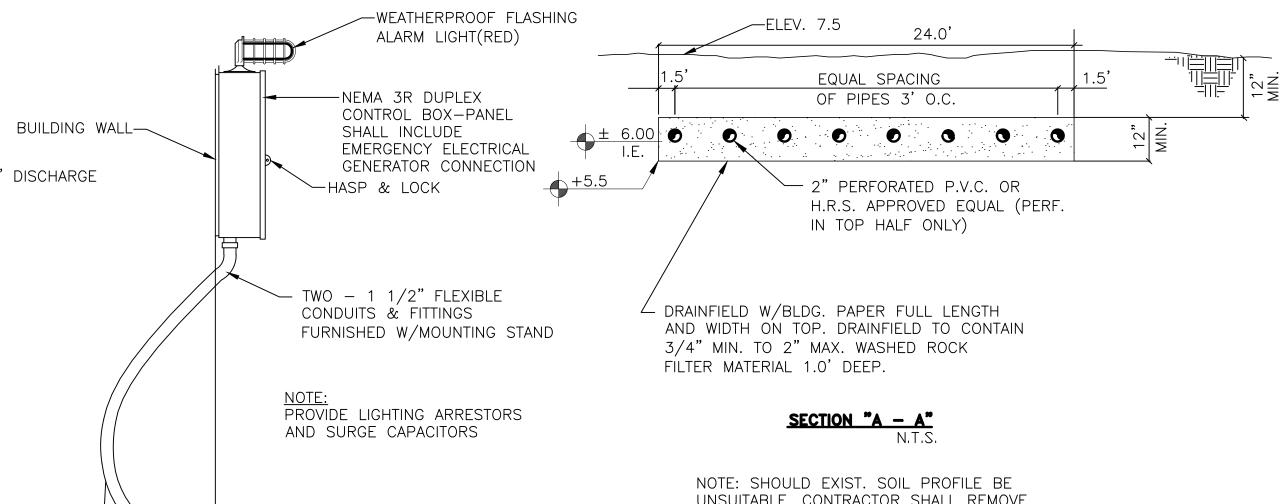
DOSING TANK DETAILS

1. MIN. 600 GALLON PRECAST SEPTIC TANK MAY BE USED FOR DOSING TANK. 2. PROVIDE 127.5 GALLONS STORAGE BETWEEN PUMPS ON AND PUMPS OFF. BASED ON 510 G.P.D. FLOW / 4 DOSES PER DAY = 127.5



SEPTIC TANK PLAN

ALL SEPTIC TANK CONSTRUCTION SHALL MEET THE REQUIREMENTS OF CHAPTER 64E-6 OF THE F.A.C. AND THE BROWARD COUNTY HEALTH DEPARTMENT. A FIBERGLASS TANK MAY BE SUBSTITUTED FOR THE CONC. MODEL SHOWN. SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEER AND BROWARD COUNTY HEALTH DEPARTMENT FOR REVIEW.



UNSUITABLE, CONTRACTOR SHALL REMOVE EXIST. FILL TO 42" BELOW DRAINFIELD INVERT AND REPLACE WITH CLEAN, SUITABLE DRAINFIELD SAND PER F.A.C. 64E-6 CRITERIA. SAND TO BE TESTED BY INDEPENDENT TESTING LAB FOR CONTENT AND UNIFORMITY.

CONTROL PANEL DETAIL

POWER SUPPLY CONDUIT

NOTES:

583-3303.

1. ALL CONSTRUCTION SHALL CONFORM TO THE SOUTH FLORIDA BUILDING CODE AND CHAPTER 64E-6 F.A.C. (LATEST REVISION).

TO DOSING TANK PUMPS

2. ALL UNSUITABLE MATERIAL SUCH AS MUCK, MARL AND DEBRIS SHALL BE REMOVED FROM THE LIMITS OF CONSTRUCTION.

3. IF A CONCRETE WETWELL IS SELECTED, WETWELL BASE SHALL BE CAST MONOLITHICALLY WITH BOTTOM PIPE SECTION. ALL HOLES REQUIRED FOR PIPING SHALL BE CAST AT TIME OF MANUFACTURE.

4. ANY PROPOSED DOSING SYSTEM CHANGES FROM THE PLANS ON THE INSTALLATION OF PUMP STATION COMPONENTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW. 5. SIX COPIES OF SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE

SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO FABRICATION. 6. CONTROL PANEL SHALL INCLUDE ALTERNATING PUMP OPERATION, H.O.A. SWITCH, RUN LIGHTS, MOTOR SEAL LEAK LIGHT, AUDIBLE ALARM AND

HIGH WATER ALARM LIGHT. 7. FURNISH AND INSTALL 2 TOTALLY SUBMERSIBLE PUMPS 1 H.P., 3,450 RPM., 208 VOLTS, 3 PHASE, 60 HERTZ MOTORS, CAPABLE OF DELIVERING 49 G.P.M. AGAINST 20 T.D.H. F.E. MYERS WHR10, OR APPROVED EQUAL. 8. ALL DOSING SYSTEM EQUIPMENT AND CONTROL PANEL MAY BE FURNISHED

9. CONTRACTOR SHALL TEST THE DOSING SYSTEM AS REQUIRED BY THE EQUIPMENT SUPPLIER AND NOTIFY THE ENGINEER AND BROWARD COUNTY HEALTH DEPARTMENT 48 HOURS IN ADVANCE SO THAT THEY ARE PRESENT TO OBSERVE.

BY F.E. MEYERS CO. (OR EQUIVALENT) DISTRIBUTOR. TELEPHONE (305)

10. RECORD DRAWINGS OF THIS INSTALLATION SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO FINAL ACCEPTANCE. COST OF THESE DRAWINGS TO BE PAID FOR BY THE CONTRACTOR.

11. MINIMUM 600 GAL. REINFORCED CONCRETE DOSING TANK SHALL CONFORM TO CHAPTER 64E, F.A.C., AND BROWARD COUNTY HEALTH DEPARTMENT.

12. CONCRETE SHALL NOT HAVE LESS THAN 3,500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.

13. REINFORCING STEEL SHALL CONFORM TO A.S.T.M. SPEC. A-615, AND SHALL BE DEFORMED TO CONFORM TO A.S.T.M. A-615 LATEST REVISION.

14. THE CONTRACTOR SHALL VERIFY ELECTRICAL SERVICE TO THE PUMP STATION FOR COMPLIANCE WITH VOLTAGE REQUIREMENTS, PRIOR TO ORDERING PUMPS OR CONTROL PANEL.

15. COVER FOR REINFORCING BARS SHALL BE 2".

16. ALL BENDS, UNLESS OTHERWISE SHOWN, SHALL BE A 90 DEGREE STANDARD HOOK AS DEFINED IN THE LATEST EDITION OF ACI 318.

17. NON-SHRINK GROUT FOR ALL OPENINGS.

18. WET WELL LINER TO COVER ALL VERTICAL SURFACES AND BOTTOM OF TOP SLAB AS REQUIRED.

19. HATCH COVERS MUST ALLOW FOR UNRESTRICTED VERTICAL REMOVAL OF THE PUMPS AND VALVES AS INDICATED BY THE OUTLINE SHOWN.

STATION NO 03 FIRE JOB YWOOD HOLL 0 CH

810

4

ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx:(954) 266-2701 sma@saltzmichelson.com

AA-0002897

Project No. 36 - FS#45 Drawn By ADP Checked By TMcC Date: 01-05-2016 REVISIONS 01-15-2016 TAC ⚠ 02-16-2016 TAC

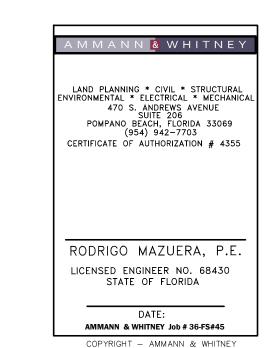
Comments Response

DOSING TANK NOTES

SEPTIC SYSTEM DETAILS

INVERT AND FINISH GRADE ELEVATIONS SHALL BE IN ACCORDANCE WITH F.A.C. 64E-6 AND REFERENCED TO THE TOP OF GROUND GRADES AS SET FORTH IN THE PERMIT, NGVD

SEPTIC TANK AND DRAINFIELD DETAILS



C-6

SHEET (6) OF (7)

Date: 01-05-2016 01-15-2016 TAC

IMANN & WHITNEY LAND PLANNING * CIVIL * STRUCTURAL VIRONMENTAL * ELECTRICAL * MECHANIC POMPANO BEACH, FLORIDA 33069 (954) 942-7703

LICENSED ENGINEER NO. 68430 STATE OF FLORIDA

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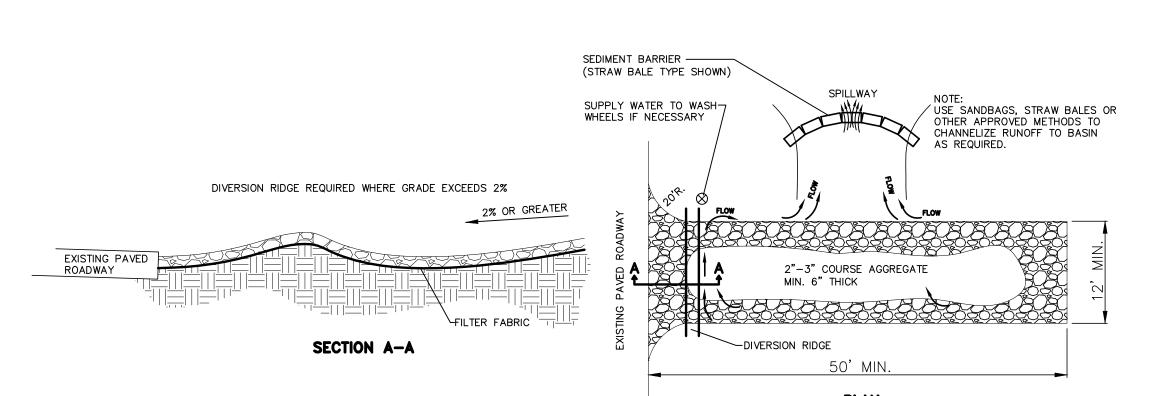
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REVISIONS

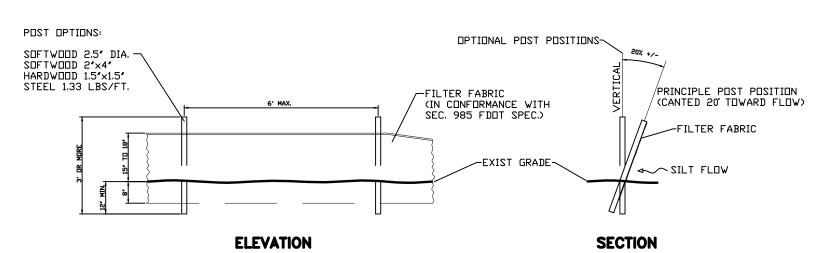
470 S. ANDREWS AVENUE

RODRIGO MAZUERA, P.E



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE



THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TYPE III SILT FENCE

ALL EXISTING C.B. TO REMAIN SHALL HAVE FILTER FABRIC INSTALLED AND SECURELY FASTENED UNDER THE EXISTING GRATE TO PREVENT EROSION DEBRI FROM ENTERING SYSTEM. FABRIC SHALL BE CHECKED DAILY FOR RIPS OR TEARS AND REPLACED AS NECESSARY

WATER MAIN DISTRIBUTION

- 1. ALL WATER MAINS 4" DR LARGER SHALL BE POLYVINYL CHLORIDE PIPE, SDR 18, CLASS 150, WITH GASKET JOINTS, IN CONFORMANCE WITH A.N.S.I./A.W.W.A. C-900-97, AND A.S.T.M. D2241 AND D1869, LATEST REVISIONS. ALL WATER MAINS NOTED D.I.P. SHALL BE DUCTILE IRON PIPE IN COMPLIANCE WITH A.N.S.I./A.W.W.A. C151-02
- 2. ALL FITTINGS AND VALVES SHALL BE CLASS 150 CAST IRON WITH MECHANICAL JOINTS IN CONFORMANCE WITH A.N.S.I./A.W.W.A. C110-03/ A21.10-03, C111/A21.11-00, C500-02, C104-03/A21.4-03, C502-05, C504-00, C506-93, C509-01.
- 3. THE CONTRACTOR SHALL DEFLECT PIPE JOINTS AS REQUIRED FOR PROPER ALIGNMENT AS SHOWN ON PLANS, BUT SHALL NOT EXCEED 75% OF THE PIPE MANUFACTURER'S RECOMMENDATIONS ON MAXIMUM
- 4. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- 5. ALL PROPOSED WATER MAINS SHALL NOT BE PLACED INTO SERVICE UNTIL TESTED AND APPROVED BY THE BROWARD COUNTY HEALTH DEPARTMENT WITH RESPECT TO BACTERIOLOGICAL ANALYSIS. THE CONTRACTOR SHALL PRESSURE TEST ALL WATER MAINS FOR CONFORMANCE WITH CITY OF HOLLYWOOD UTILITIES STANDARDS. IN THE PRESENCE OF THIS ENGINEER, A REPRESENTATIVE FROM TOWN OF DAVIE UTILITIES & ENGINEERING DEPARTMENT, WHO WILL DBSERVE THE TEST. THIS ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE. TESTING SHALL BE IN CONFORMANCE WITH ANSI/A.W.W.A. C600-05. ALLOWABLE LEAKAGE FORMULA =
- $Q = S \times D \times \sqrt{P/148,000}$
- Q = ALLOWABLE LEAKAGE IN GPH S = LENGTH DF LINE IN FEET D = DIAMETER OF LINE IN INCHESP = AVERAGE TEST PRESSURE (PSI)
- AFTER SUCCESSFUL PRESSURE TEST, THE MAIN SHALL BE FLUSHED AND DISINFECTED PER A.N.S.I./A.W.W.A. C651-05. MINIMUM TEST PRESSURE = 150 P.S.I. FOR ALL PRESSURE PIPE FOR TWO HOURS.
- 6. THE CONTRACTOR SHALL PERFORM THE TEST PRIOR TO CONSTRUCTION OF THE BASE IN PAVED LOCATIONS.
- 7. DURING CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE A REGISTERED LAND SURVEYOR DEVELOP RECORD DRAWINGS OF ALL INSTALLATIONS AND UPON COMPLETION SAID DRAWINGS SHALL BE SUBMITTED TO THIS ENGINEER. RECORD INFORMATION TO BE PAID FOR BY THE CONTRACTOR.
- 8. ALL INSTALLATIONS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE STANDARDS OF THE CITY OF HOLLYWOOD, AND A.N.S.I./A.W.W.A. C600-05. LATEST REVISIONS.
- 9. THE CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DISTURBING SURVEY MARKERS DURING CONSTRUCTION.
- 10. ALL UNSUITABLE MATERIAL SUCH AS MUCK, MARL, AND DEBRIS SHALL BE REMOVED FROM THE LIMITS OF CONSTRUCTION, AND DISPOSED OF AT A LOCATION TO BE SELECTED BY THE ARCHITECT.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. CONTRACTOR SHALL CALL CITY OF HOLLYWOOD ENGINEERING & UTILITIES DEPARTMENT, F.P.&L., S.B.T.&T., ALL UTILITIES INVOLVED PRIOR TO THE START OF CONSTRUCTION. ALL ADDITIONAL UTILITIES LOCATED SHALL BE SHOWN ON RECORD DRAWINGS.
- 12. A PRE-CONSTRUCTION MEETING SHALL BE ARRANGED BY THE CONTRACTOR PRIOR TO STARTING ANY WORK; THIS ENGINEER, AND THE CITY OF HOLLYWOOD ENGINEERING REPRESENTATIVE PRESENT.
- 13. THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATION OF ANY KIND THAT WILL COME UNDER HE PAVEMENT OR WITHIN 10 FEET OF ITS EDGES WILL I INSTALLED AND ACCEPTED PRIOR TO CONSTRUCTION OF THE BASE. SUBMIT DENSITY TESTS OF COMPLETED BACKFILL MATERIAL WHERE WATER MAINS ARE LOCATED UNDER PAVEMENT. THE TEST SHALL COMMENCE AT THE TOP OF THE CONDUIT EVERY 12 INCHES TO THE BOTTOM OF THE BASE, BACKFILL SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO-T180. TESTS SHALL BE TAKEN AT 200 FEET INCREMENTS.
- 14. SIX COPIES OF SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO THIS ENGINEER PRIOR TO INSTALLATION OR
- 15. POTABLE WATER SERVICE WILL BE PROVIDED BY CITY OF HOLLYWOOD UTILITIES, CONTRACTOR TO SUPPLY DRINKING WATER DURING
- 16. POLYETHYLENE (P.E.) PRESSURE PIPE TUBING SHALL MEET THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C901-02.

MAINS AS WELL

- 17. SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE, SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE. WHERE SANITARY SEWER FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROS-SING, SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPERATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED, A MINIMUM VERTICAL CLEARANCE OF 12 INCHES MUST BE
- MAINTAINED AT ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
- 18. A MINIMUM 10 FOOT HORIZONTAL SEPERATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHEN-EVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPERATION, THE WATER MAIN MUST BE LAID IN A SEPERATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUC-TED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUC-TED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER, JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- 19. ALL DIP SHALL BE CEMENT LINED CLASS 50 DR HIGHER, ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN. 20. CLEARANCE REQUIREMENTS NOTED ABOVE APPLY TO STORM DRAINAGE AND WATER
- 21. ALL WATER MAIN ISTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320, F.A.C.

RECORD INFORMATION - WATER

- THE FOLLOWING RECORD INFORMATION SHALL BE PROVIDED BY THE CONTRACTOR AND PREPARED BY A REGISTERED LAND SURVEYOR:
- 1. "AS BUILT" DISTANCE OF WATER MAIN FROM PROPERTY LINE, BASE LINE, OR OTHER EASILY IDENTIFIABLE ITEM.
- 2. DISTANCE BETWEEN ALL FITTINGS AND VALVES, SERVICE LINES, BLOW-OFFS, FIRE HYDRANTS, SERVICE LINE TAP & END, ETC.
- ELEVATION TOP OF PIPE AT 50 FOOT INTERVALS, AND AT ALL FITTINGS AND VALVES, AND FINISHED GRADE ELEVATIONS AT THE SAME POINTS ABOVE THE MAIN.
- 4. TYPE OF MATERIALS INSTALLED, INCLUDING LOCATIONS OF CHANGE OF MATERIAL DUE TO CONFLICTS, ETC.
- "AS BUILT" SKETCHES OF ALL CONFLICTS INCLUDING, BUT NOT LIMITED TO, WATER MAIN CROSSING SEWER MAIN AND WATER MAIN CROSSING STORM DRAINAGE PIPES.
- PROVIDE 1 SET OF MYLARS, 1 SET OF PAPER PRINTS AND 1 CERTIFIED VIRUS FREE ELECTRONIC VERSION ON CD.
- PROVIDE LEGAL DESCRIPTION AND SKETCH OF ALL NEW UTILITY

FIELD OBSERVATIONS - WATER

. AS REQUIRED BY PERMIT CONDITIONS AND/OR THE OWNER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD 48 HOURS IN ADVANCE TO OBSERVE THE FOLLOWING:

- 1. WATER MAIN TRENCH PRIOR TO BACKFILL.
- 2. PIPE JOINTS PRIOR TO BACKFILL.
- THRUST BLOCK LOCATIONS PRIOR TO BACKFILL.
- CONNECTIONS TO EXISTING WATER MAINS. CONFLICTS WITH OTHER UNDERGROUND UTILITIES PRIOR TO
- 6. REMOVAL OF EXISTING WATERMAINS.
- 7. WATER MAIN PRESSURE TEST.
- 8. FINAL OBSERVATION AT JOB COMPLETION.

PERFORMANCE OF THE DESIGN.

A MINIMUM OF ONE FIELD OBSERVATION BY THE ENGINEER OF RECORD IS REQUIRED NEAR THE COMPLETION OF THE WATER SYSTEM AND PRIOR TO OCCUPANCY, FOR DETERMINING GENERAL

PAVING, GRADING AND DRAINAGE

- 1. SUBGRADE SHALL BE COMPACTED AND STABILIZED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO-T180, WITH A MIN. L.B. OF 40. DENSITY TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO PLACING THE LIMEROCK. A MINIMUM OF 8 TESTS ARE REQUIRED AS DIRECTED
- 2. LIMEROCK SHALL MEET THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ENGINEERING DEPARTMENT
- 3. LIMEROCK BASE SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. CONTRACTOR SHALL SUBMIT DENSITY TEST RESULTS PRIOR TO ASPHALT PLACEMENT. PROVIDE ONE TEST FOR EVERY 400 SQUARE FEET OF AREA TO BE PAVED, 8 TESTS MINIMUM.
- 4. TYPE S-3 ASPHALTIC CONCRETE SURFACE COURSE SHALL MEET THE REQUIREMENT OF SECTION 333 OF THE 1996 D.O.T. STANDARD
- 5. ALL CONCRETE SHALL DEVELOP A MINIMUM OF 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES WHETHER SHOWN OR NOT ON PLANS, CONTRACTOR SHALL CALL CITY OF HOLLYWOOD UTILITIES DEPARTMENT, F.P.&L., S.B.T.&T., AND NOTIFY ALL UTILITIES INVOLVED PRIOR TO CONSTRUCTION. ANY ADDITIONAL UTILITIES FOUND SHALL BE SHOWN ON RECORD
- 7. THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF ANY KIND THAT WILL COME UNDER THE PAVEMENT OR WITHIN 10 FEET OF ITS EDGES SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO CONSTRUCTION OF THE
- 8. CITY OF HOLLYWOOD REGULATIONS SHALL GOVERN CONSTRUCTION. WHERE APPLICABLE, CURRENT STATE STANDARDS
- 9. ALL ELEVATIONS REFER TO N.A.V.D. DATUM.

SHALL BE IN FORCE.

- 10. IF MUCK IS ENCOUNTERED, IT MUST BE COMPLETELY REMOVED FROM THE LIMITS OF THE PAVING, AND FULL WIDTH AND DEPTH OF ALL DRAINFIELDS, TO TWO FEET BELOW SUBGRADE/DRAINFIELD BOTTOM ELEVATION.
- 11. PRIME COAT SHALL BE APPLIED AT A MINIMUM RATE OF 0.25 GAL./SQ. YD. USING AN RC-70, MC-30 GRADE MATERIAL.
- 12. BEFORE CONSTRUCTION OF THE LIMEROCK BASE MAY COMMENCE, IT WILL BE NECESSARY FOR A CHEMICAL AND SIEVE ANALYSIS OF THE STOCK PILES FROM WHICH THE LIMEROCK IS TO BE SUPPLIED. ANALYSIS RESULTS SHALL BE SUBMITTED TO THE ENGINEER OF
- 13. ALL LOCATIONS WHERE UNDERGROUND UTILITIES HAVE BEEN BACKFILLED UNDER PAVEMENT, DENSITY TESTS OF THE COMPLETED BACKFILL MATERIAL WILL BE REQUIRED PRIOR TO BASE COURSE INSTALLATION. A COPY OF THE TESTS SHALL BE SENT TO THE ENGINEER OF RECORD. TEST SHALL COMMENCE AT THE TOP OF CONDUIT, EVERY 12 INCHES TO BOTTOM OF BASE. BACKFILL SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO - T180. TEST TO BE SUPPLIED AT 50 FEET INCREMENTS.
- 14. A PRE-CONSTRUCTION MEETING WILL BE REQUIRED TO PLAN TESTING, AND DISCUSS IN GENERAL ALL REQUIREMENTS RELATED TO CONSTRUCTION. THE CONTRACTOR SHALL PREPARE ANY JOB RELATED QUESTIONS FOR THIS MEETING.
- 15. RECORD INFORMATION CERTIFIED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO FINAL ACCEPTANCE OF THE SYSTEM. RECORD INFORMATION TO BE PAID FOR BY THE CONTRACTOR.
- 16. SIX COPIES OF SHOP DRAWINGS OF ALL MATERIAL BEING USED SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO
- 17. "AS-BUILT" DRAWINGS OF TOP OF ROCK ELEVATIONS SHALL BE SUBMITTED TO THIS ENGINEER AND THE CITY OF HOLLYWOOD PRIOR TO ASPHALT PLACEMENT
- 18. THE FINISHED SURFACE OF THE BASE COURSE AND THE WEARING COURSE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED PRIOR TO PROCEEDING TO THE NEXT CONSTRUCTION STEP.

RECORD INFORMATION - PAVING, GRADING & DRAINAGE

- THE FOLLOWING RECORD INFORMATION SHALL BE PROVIDED BY THE
- CONTRACTOR AND PREPARED BY A REGISTERED LAND SURVEYOR.
- 1. "AS BUILT" RIM ELEVATIONS OF ALL DRAINAGE STRUCTURES.
- 2. "AS BUILT" INVERT ELEVATIONS OF ALL DRAINAGE PIPE.
- 3. "AS BUILT" ELEVATION OF TOP OF ROCK IN PAVED LOCATIONS. 4. "AS BUILT" LENGTH OF DRAINFIELD INSTALLATIONS.

FIELD OBSERVATION - PAVING, GRADING & DRAINAGE

- AS REQUIRED BY PERMIT CONDITIONS AND/OR THE OWNER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD 48 HOURS IN ADVANCE TO OBSERVE THE FOLLOWING:
- 1. DRAINFIELD INSTALLATIONS PRIOR TO BACKFILL.
- DRAINAGE TRENCHES PRIOR TO BACKFILL.
- 3. PIPE JOINTS PRIOR TO BACKFILL.
- INLETS PRIOR TO BACKFILL.
- CONFLICTS WITH OTHER UNDERGROUND UTILITIES PRIOR TO
- COMPACTED SUBGRADE. COMPACTED BASE COURSE.
- 8. PRIME COAT PRIOR TO PAVEMENT.
- 9. FINISHED ASPHALT OR CONCRETE.
- FINAL OBSERVATION AT JOB COMPLETION. A MINIMUM OF ONE FIELD OBSERVATION BY THE ENGINEER OF RECORD IS REQUIRED NEAR THE COMPLETION OF THE PAVING, GRADING AND DRAINAGE SYSTEM AND PRIOR TO OCCUPANCY, FOR

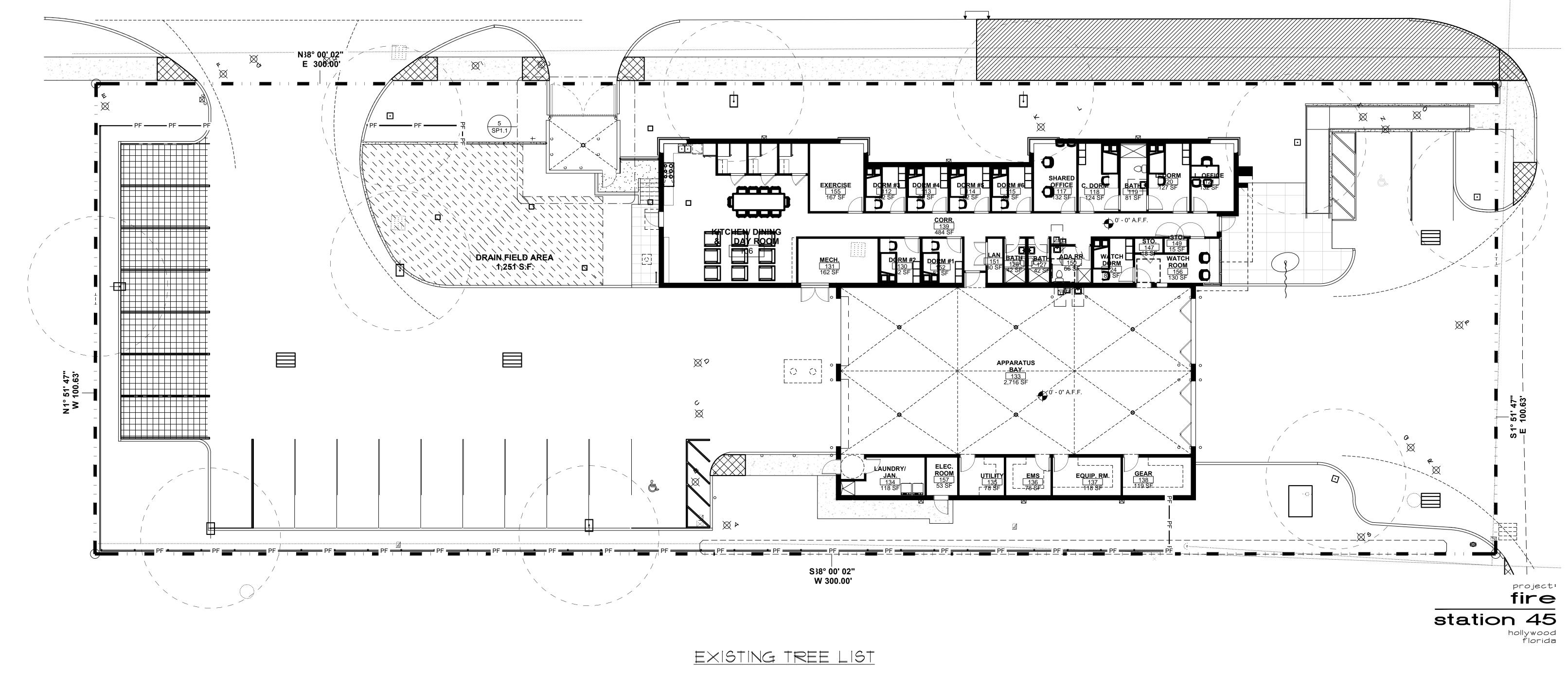
DETERMINING GENERAL PERFORMANCE OF THE DESIGN.

CERTIFICATE OF AUTHORIZATION # 4355

AMMANN & WHITNEY Job # 36-FS#

SHEET (7) OF (7)

GENERAL NOTES AND DETAILS



A Carrotwood 20' ht. x 18' spr., 10" cal. Remo B Live oak 30' ht. x 35' spr., 18" cal. Remo C Avocado 26' ht. x 30' spr., 12" cal. Remo D Sabal palm 16' ht., booted, 18" cal. Remo E Live oak 12' ht. x 14' spr., double trunk, poor Remo F Live oak 12' ht. x 5' spr., 2" cal. Remo G Ligustrum tree 10' ht. x 8' spr., multi Remo H Ligustrum tree 8' ht. x 8' spr., multi Remo I Spindle palm 12' ht. Remo K Sabal palm 20' ht., 12" cal. Remo	<u>us</u>
L Sabal palm 20' ht., 14" cal. Remo M Sabal palm 20' ht., 12" cal. Remo N Sabal palm 20' ht., 12" cal. Remo O Sabal palm 20' ht., 12" cal. Remo P Pugmy date palm 10' oa. ht. Remo	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\
P Pygmy date palm 10' oa. ht. Remo	
O Sabal palm 20' ht., 12" cal. Remo	ve
Q Sabai palm 20' ht., 12" cal. Remo	
R Sabal palm 25' ht., 14" cal., bent trunk Remo S Carrotwood 20' h.t x 8' spr., 8" cal., poor Remo	

LEGEND

- EXISTING TREES TO BE REMOVED
- PROPOSED PALMS
- +) PROPOSED TREES

dave bodker landscape architecture/planning inc.

601 n. congress ave.. suite 105-a delray beach. florida 33445 561-276-6311

561-276-6311 #LAOOOO999

sheet title:
existing

tree plan

project number:

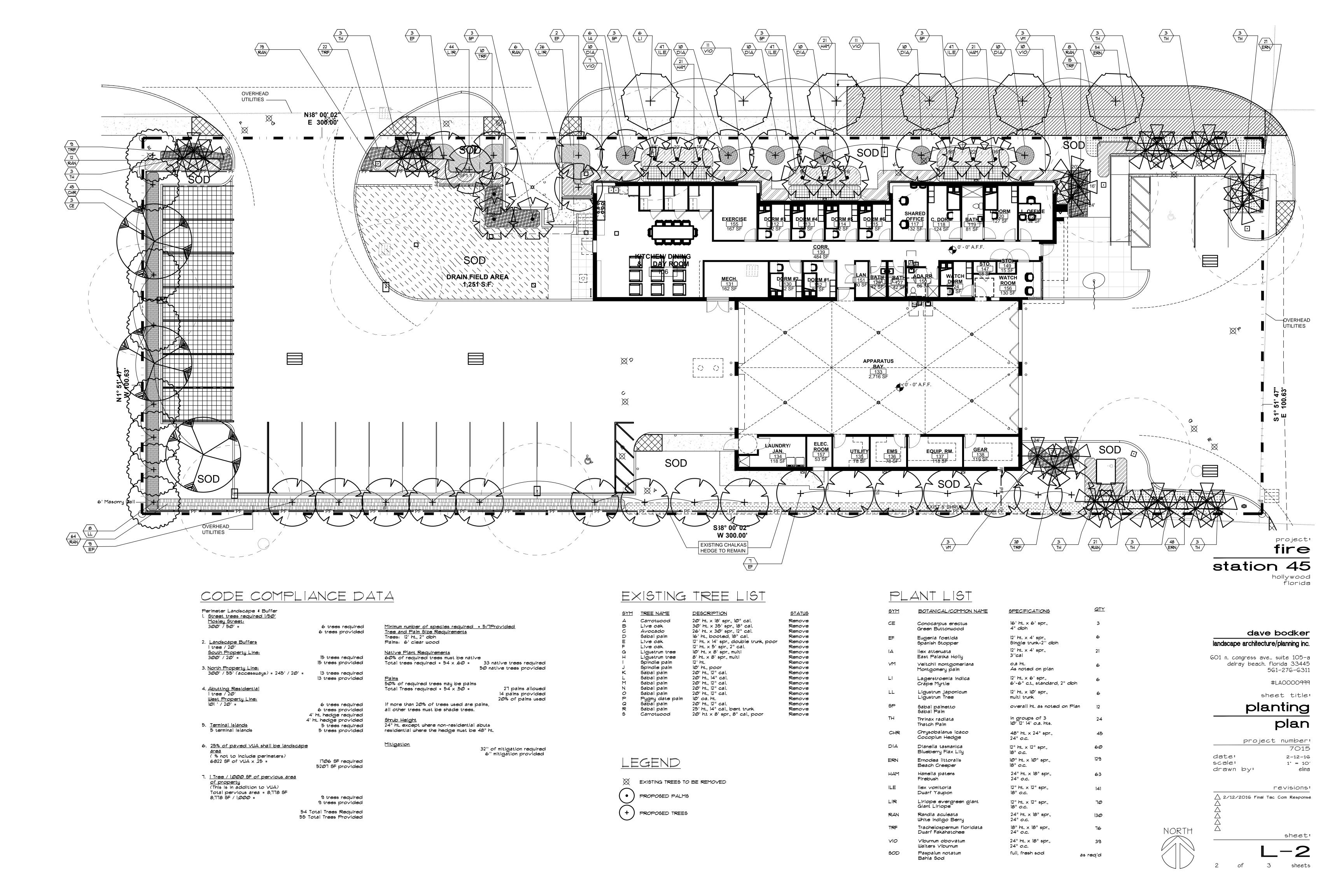
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date: 2/12/2016
scale: 1' = 10'
drawn by: elina

7 7 7

NORTH





- A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessaru to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident
- B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, grading fertilizing, mulching, staking and guying where required watering, pruning where required, sod installation, weeding,
- C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary.
- D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive separate, additional compensation for this.
- E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for paument. The contractor's unit prices shall be the basis for said paymen The final amount of payment may or may not be the total sum
- F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance.
- G. The Landscape Contractor will coordinate his work with all
- (2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying paims Palm fronds to accommodate an owners "grand opening The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an additional cost to the owner.
- (4) Palms with mechanical damage, such as from cables,
- chains, equipment and nails, shall be rejected. . Chlorosis: The allowable level of Chlorosis in foliage shall
- of Agriculture's "Grades and Standards for Nursery Plants" J. Plant material shall not be accepted when the ball of earth
- K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.
- A. Sod shall be solid sod and shall be standard quality grade quality grades (premium, standard or commercial) as Inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root broad leaf weeds. Sod shall not accepted if it contains of the section. Sod shall not be harvested or transplanted affect its survival. Sod shall be relatively free of thatch up to one half inch allowable (uncompressed). the soil embedded in the sod shall be a clean, earth, free of
- within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted.

Quality Assurance:

- A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architec retains the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and latent defects, and tru to reject unsatisfactory o defective material at any time during the progress of work The Landscape Contractor shall remove rejected trees or
- (1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting
- operations. Plan and Specification interpretation coordination with other contracts or service in the project area and coordination between the nursery and the project.
- (2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material
- (3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape
- Grade Standards
- (1) Plant material shall be Florida #1 or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants
- (2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. Plant materials which have been cut back from larger grades to meet certain specification requirements will be
- (3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, burns disfiguring roots, sun-scald injuries, abrasion of the bark, plant diseases, insec pest eggs, barers, and all forms of infestations or objectionable disfigurements

A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand, and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (55 to 65 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition.

A. Potable, from municipal water supplies or other sources which

A. Mulch shall be:

- (1) "Floramulch"
- A New and existing Trees and Palms: Fertilize with 8-2-12 palm fertilizer with micronutrients per manufacturer's recommendations

are approved by a public health department.

- B. New and existing Shrubs, and Groundcover: Fertilize with 8-2-12 palm fertilizer with micronutrients at a rate of ½ lb. per 1000 SF of area.
- C. Annuals: Fertilize with Osmocote Sierra blend 14-14-14 or approved equal.
- D. Composition and Quality: All fertilizer shall be uniform in flowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's
- E. All fertilizer shall comply with the State of Florida fertilizer laws.

Delivery, Handling and Storage:

- A. Delivery and Handling: (1) Movement of nursery stock shall comply with all Federal State, and local laws, regulations, ordinances, codes, etc.
- (2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and
- (3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be overed to prevent wind damage during transit.

Staking and Guying:

EXECUTION

Inspection:

- (1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting.
- A. Written request for approval to substitute a plant species o a plants designation (B&B, WB&B, CG etc.), type, grade, quality, size, quantity, etc. due to the non-availability of the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide
- B. Any request for the approval of an equal shall be in writing. proval shall be given by the Landscape Architect before the material is delivered and installed on the project.
- C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.
- D. if requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different item showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.

A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be

requirement of staking or guying.

jurisdiction the project is located in.

A. Utilities (Above Ground and Underground):

have been indicated on the Plans.

attached directly to the plant material with nails. Also,

the plant material with nails. Any method of staking and

battens used in staking and guying shall not be attached to

installation. Under no circumstances will approval be given

B. The Contractor is responsible for performing all staking and

ordinances and code requirements from the appropriate local

guying in accordance with all applicable regulations,

(1) The work area may have existing utilities, such as, but

not limited to, irrigation, phone, electrical and storm

sewer. The location of some of these existing utilities

to allow the plunging, burying, or planting of trees or palms

so that the top of the grade, in order to eliminate the need or

guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their

E. if requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered and installed on the project.

- sample and analysis of the mulch for approval by the Landscape H. If requested by the Owner or Landscape Architect, submit a Architect before the material is delivered and installed on
- Submit three prints of shop drawing for all staking and guying methods to be used if the ones indicated in these specifications and on the Plans are not to be implemented. staking and quying methods before they are implemented in the The Landscape Architect will approve all shop drawings of
- J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth, or survival, that would affect the
- $\ensuremath{\mathsf{K}}.$ Submit in writing any hindrance to the timely completion of

quarantee of plant material.

- . Submit and Certificate of inspection of plant material as may be required by, State, local or Federal Authorities Substitutions
- A. When the specifies plant designation (B\$B, WB\$B, CG etc.) type, grade, quality, size, quantity, etc. of a material is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along wit written, documented proof that the plant designation (B&B, WB\$B, CG, etc.), type grade, quality, size, quantity, etc. of material is not available. The Landscape Architect shall approve all substitutions before they are delivered and installed. Do not deliver and install any material, which is anticipated to be a substitute, before it has been submitted in writing and approved as a substitute by the Landscape Architect. Also, ant changes, if any, to the contract amoun because of an approved substitute, shall be established in writing between the Owner and the Contractor before the material substitute is delivered and installed on the

However, no quarantee is implied that the Plans are

utilities, structures, etc., by hand excavation or other

could result in damage or injury to persons, utilities,

structures or property. The Contractor shall make a

thorough search of the site for utilities, structures,

etc., before work is commenced in any particular

(2) The Contractor shall take immediate steps to repair

replace, or restore all services to any utilities or

to maintain uninterrupted use of the facilities. All

other facilities which are disrupted due to his or her

prosecute repairs on a continuous "around the clock"

additional outside services which may be necessary to

basis until services are restored. He or she shall also

costs involved in the repairs and restoring disrupted

service resulting from negligence on the part of the

she shall be fully responsible for any and all claims

Should utilities, structures, etc., be encountered which

obstruction, if the obstruction cannot be relocated

Architect Requests for disconnection must be in

A. Its shall be the responsibility of the Contractor to provide

with relation to walks, paving, drain structures and other

site conditions, unless indicated otherwise on the plans.

pavement areas, such as, but not limited to, curbs, roads,

drives, walks, terraces, decks and slabs shall be set so that

the TOP OF THE MULCH IS ! INCH BELOW THE TOP OF THE

PAVEMENT AREA or as indicated otherwise on the plans.

the final grading so the final level for planting areas

B. Plant Area Next to Pavement: All planting areas next to

A. Staking Plant Locations: Stake or mark plant material

information from the plans.

locations prior to plant hole excavation based on

(4) The Contractor shall not purposefully disrupt of

interfere with the work, the Landscape Architect shall

be consulted immediately in order for a decision to be

made on the relocation of the work so it will clear the

disconnect any type of utility whatsoever without first

writing and received by the Landscape Architect at least

72 hours prior to the time of the requested interruption.

conforms to surrounding grades and is at the proper elevation

resulting from the damage.

Contractor shall be borne by the Contractor and he or

provide and operate any supplemental temporary service

appropriate measures before performing any work that

the Contractor to verify the location of all such

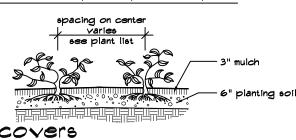
accurate or complete. It shall be the responsibility of

- A. The guarantee shall not begin until the day final written
- B. All plant material, except sod, trees and palms, shall be guaranteed for a minimum of I year from the time of final eptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final
- C. The quarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these "Acts of God".
- D. At the option of the Owner, and inspections may be made at the end of the quarantee period, but prior to the last day of the guarantee period.
- A. The quaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material within 3 calendar days if it is:
- (1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the
- (2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in the Specifications.
- The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.
- C. Size, Quality, and Grade:
- (1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original specified plant at its initial planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined

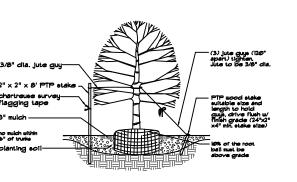
B. Spacing of Groundcover & Shrubs: The location of a planting bed (shrub or groundcover) next to another bed, walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly without growing into the other bed, walkway, structure, etc

- C. The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting
- D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limerocl which may interfere with adequate vertical drainage and/o proper plant survival and growth and therefore removal of this material is part of the scope of work for the project. The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, drilling rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant survival
- E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals a recommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered.
- F. Excavation of Plant Holes: (1) General:
- cylindrical in shape with the sides approximatel vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.
- o. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the Landscape Architect.
- and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting.

PLANTING DETAILS



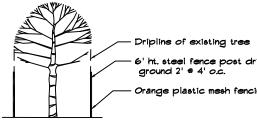
Groundcovers



NOTE: Stake all trees up to 2" cal. • 2 per tree. Guy all trees larger than 2" cal.

Trees

PROTECTION BARRIER DETAIL



However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally

- (2) Replacements shall be guaranteed for a period equal to the originally specifies quarantee. This quarantee period shall begin at time of acceptable replacement.
- (3) Final baument to the Contractor shall not relieve he or she of the quarantee obligations.
- A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision. n resolving conflicts between the Plans and Specifications THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem ecessary for the proper fulfillment of the intent of the

Permits and Codes: A. The Contractor shall procure all necessary permits to

- B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal jurisdiction the project is located in.
- Changes and Additional Work:

"Job Site, "Project Site Etc.":

Plans and Specifications.

accomplish all of the work

Plan and Specification Interpretation:

- A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for
- A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in
- Safety On and Off the Job Site: A. In performing the scope of work, all safety on of off the job site shall be the sole responsibility of the Contractor. The

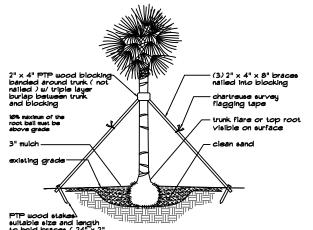
Landscape Architect shall not be responsible for safety on or

B. Setting of Plants:

off the job site.

- (1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prio to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tapped in place When partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the rootst the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and tapped to grade. Subsoil removed from tree pit shall not be mixed or used in any way with the topsoil
- (2) All sabal and queen palms shall be backfilled with clear thoroughly washed in during the planting operation. (3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or palm bit and maintained in blace.
- (4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large for hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks Girdling, bark slippage, limb breakage and any other damage that might occur by improper handling or negligence.
- (5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected. (6) Container grown plant material shall be carefully
- removed from the container so as not to disturb the root system. C. Sod:
- (1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner:
- a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1,000 square feet. b. Remove stones and foreign matter over two inches in
- diameter from the top two inches of soil
- c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping.

3" mulch — finished grade



Straight Trunk Palms

B. If an inspection is related to completion and final

writing, if directed by the Landscape Architect.

safety on or off the job site.

On Site Observations and Inspections

acceptance, the request shall be made in writing 48 hours in

The Landscape Architect's on site observations or inspections

shall be only for the purpose of verifying that the Plans and

Architect's on site observations or inspections are not for

A. The Contractor shall make requests for on site observations

or inspections 48 hours in advance and they shall be in

Specifications are being implemented properly. The Landscape

- C. An inspections at the growing site does not preclude the right of rejection at the project site.
- D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or work omitted, or work performed which is not in accordance with the contract requirements, shall not bar the Landscape Architect from subsequently rejecting such work at a later
- E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

Plant Material

from this requirement.

A. Plant material shall be nursery grown except: (1) Where specified as collected material

from sources such as residences

(2) Where approved by the Landscape Architect for such plant material which is only available as a collected item

plant material to remain or to be relocated shall be excluded

- B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida #1, or better, at the time of installation and final acceptance. Existing
- C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, healthy, vigorous and free from insects, plant diseases and

(2) Placing Sod:

- a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.
- b. Water sod every day for a period of three weeks.
- c. Fertilize sod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1,000 square feet of lawn. d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is

of clearance from pest control officials of either State

brought to the site, furnish a written certification

or Federal Department of Agriculture. (3) Maintenance of Sod:

- a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.
- b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as necessary.

- (1) Spread six inches of topsoil mixture uniformly over the entire planting area.
- (2) Spread 50% organic fertilizer at a rate of 4 pounds be 1,000 square feet uniformly over the groundcover area.
- (3) Rotor mix, or by other approved method, to a depth of twelve inches.
- (4) Fine grade to remove all trash, rocks, and debris to
- (5) Regrade to finish grade before adding two inches mulch.
- (6) Thoroughly water and firm the plants into the soil mixture. E. Mulch:
- (1) Areas to be mulched shall have existing weeds and regetation removed, including root systems, before
- applying mulch. (2) Grades are to be uniform. Grade areas which are rough and
- uneven. Fill in voids and holes with planting soil or other approved fill material.

approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as indicated on the plans.

(3) The mulch shall be uniformly applied to a depth of

to facilitate transporting and handling

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

a. Rootball: Requirements for the measurement of

MIN. BALL DIA.

b. Height: The height of plant material shall be

parts of the plant, such as leaves, shoots,

the main mass of the plant

planting on the project

the main mass of the plant uniformly ends. The

height shall not include any singular or isolated

E. Die-Back and Leaf Drop: plant material showing signs of die-

Architect. Therefore, any plant material with tendencies

measured from finish grade and continue up to where

branches, limbs or fronds, which extend out beyond

back of leaf-drop will not be accepted and must be removed

from the project immediately if so directed by the Landscape

to provide a sound network of hair roots prior to relocation

project. Loss of foliage caused by seasonal change will be

F. Mechanical Destruction of Foliage: Mechanical destruction of

foliage resulting from root pruning shall not effect more

on plant material, it shall be completely removed prior to

(1) Remove a minimum of fronds from the crown of the palme

than 10% of the total foliage prior to planting on the

G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists

toward leaf-drop or die-back must be root pruned early enough

minimum rootball diameter and depth shall comply

and Standards for Nursery Plants, Part I and Part

with the Florida Department of Agriculture's "Grades

MIN. BALL DEPTH

65% of dia.

65% of dia.

65% of dia

60% of dia.

60% of dia.

60% of dia.

60% of dia.

then decrease in

size diameter.

proportion for larger

up to 48",

(1) Trees, Shrubs, and Groundcover

2" as follows:

CALIPER

1.5 - 1.75'

4 - 45"

5.5" or more

F. Watering:

- (1) Initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of the root zone. Avoid erosion, puddling, and washing soil away from the roots.
- (2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as necessary and the amount of water and frequency o watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task it cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the irrigation system, if there is one hand water
- (3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such means as a water truck or tank

G. Pruning and Thinning:

during this period.

(1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations.

Pruning and thinning shall be done in such a manner as

not to change the natural habit or shape of a plant. (2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during

any pruning and thinning.

(1) in the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply unt final acceptance.

station 45

GENERAL NOTES

- 1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
- 3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A 4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN

ON PLANTING PLANS, WHEN DISCREPANCIES OCCUR BETWEEN PLAN

LIST IN ALL CASES. SOD QUANTITY IS TO BE DETERMINED BY 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE.

6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS,

- TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS GROUNDCOVERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE.
- 9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH", TO A DEPTH OF 3". 10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE.

II. GROUNDCOYER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND

8. ALL TREES AND PALMS TO BE STAKED AND GUYED.

- THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATION BEGINS. THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.
- LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' ABOVE FINISHED GRADE.
- INCLUDES BUT IS NOT LIMITED TO MELALEUCA. BRAZILIAN PEPPER
- ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO IS. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN
- 20. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROUTH, OR OF REPLACEMENT SOIL (50% MUCK, 50% SAND, NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS.

dave bodker

landscape architecture/planning inc

601 n. congress ave.. suite 105-a delray beach, florida 33445

sheet title:

fire

specifications

project number 7015 2-12-16 scale:

revisions:

n.t.s. drawn by: elina

 \bigwedge 2/12/2016 Final Tac Com Response

- shrubs within I days from the project site. Responsibility for Assuring Quality Work:

- of the contract depending on the number of units installed
- shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to until
- (3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.
- surrounding its roots has been cracked, broken or otherwise

be set forth in the latest edition of the Florida Departme

Note: Quality grade shall be based on the standards of sod established by the Turf grass Producers Association of Florida development. Sod shall be free of objectionable grassy and Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% when moisture content (excessively dry or wet) may adversely

- stones and debris. The sod shall have been mowed at leas three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The soc shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted

I. Removal of Plant Material: (1) All plant material to be removed shall be removed completely, including the rootball, from the job or as directed by the Landscape Architect. The remaining hole shall be filled with suitable material or planting soi as directed by the Landscape Architect.

J. Existing Plant Material to be Relocated:

(1) All existing plant material to be relocated shall be root bruned a minimum of 4 weeks or for a period as determined by the Landscape Architect prior to (2) Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with

requirements as set forth in the latest edition of

Standards for Nursery Plants, Part I and Part 2", as

the Florida Department of Agriculture's "Grades and

CALIPER MIN. BALL DIA. MIN. BALL DEPTH 75% of dia. 1.5 - 1.75" 65% of dia. 65% of dia. 1.75 - 2" 2 - 2.5" 65% of dia. 2.5 - 3.5" 65% of dia. 65% of dia. 4 - 4.5" 60% of dia 4.5 - 5" 60% of dia. 60% of dia increase in 60% of dia. 5.5" or more up to 48",

(3) Root pruning shall be accomplished by digging a trench

completely around the plant about 18 inches deep. All

(4) A mixture of good organic fertilizer and planting soil

exposed roots shall be cut off smoothly.

(5) Plant material which is in soil of a loose texture,

which does not readily adhere to the root system

especially in the case of large plants or trees, shall

have the rootball wrapped in burlap and then wire, if

directed by the Landscape Architect. For wire, hog wire

shall be used and it shall be placed around the rootbal

the tightened wire netting formed by the hog wire, so as

before before the plant is removed from the hole for

relocation. The wire shall be looped and tensioned

until the burlapped ball is substantially packaged by

to prevent disturbance of the loose soil around the

roots during handling.

- A. Disposal of Trash: All debris and other objectionable material created through planting operation and landscape construction shall be removed completely on a daily basis from the job or as directed by the Landscape Architect. Any paved areas including curbs and sidewalks which have been
- be thoroughly swept. B. Excess Fill: All excess fill which results from the installation of the project shall remain the property of the Owner and remain on the project at the option of the Owner. All excess fill which the Owner does not want shall be removed and disposed of from the project at no additional cost. No excess fill shall be removed or disposed of from

strewn with soil, sod waste, fertilizer or other debris shall

A. Responsibility for Protection and Restoration of Property: The Contractor shall be responsible for all damage or injury to person or property.

then decrease is

proportion for larger

- Completion and Final Acceptance: A. Upon written notice from the Contractor of the presumptive completion as defined below, of the entire project, the and scape Architect, along with other appropriate parties will make an inspection within 48 hours after the written notice. If all construction provided for and compensated by the contract is found to be completed in accordance with the contract Plans and Specifications, such inspection shall constitute the final inspection. The Contractor shall be

C. Completion of the work shall mean the full and exact corrective action.

- the site until approved by the Owner or Landscape Architect. Excess fill shall be disposed of as directed. Protection:
- B. Protection Against Mechanical Damage: The Contractor's responsibility for protection against mechanical damage shall include providing protection from vehicles and providing warning signs and barricades as might be necessary and he or she shall repair, restore and replace all property which becomes damaged as a result of any negligence of the

Contractor or his or her employees in complying with these

notified in writing of final acceptance as of the date of the

B. If however, the inspection mentioned in paragraph A. above

unsatisfactory, final acceptance shall not be given and the

constitute the final inspection, provided the work has been

satisfactorily completed. In such event, the Owner or their

representative shall make the final acceptance and notifu the

Contractor in writing of this final acceptance as of the sate

necessary instructions or "bunch lists". Ubon correction

of work, another inspection will be made which shall

Owner and/or Landscape Architect will give the Contractor the

discloses any work, in whole or in part, as being

- compliance and conformity with the provisions expressed or implied in the Plans and Specifications including any and all "punch lists" which may be issued outlining certain items of work which were found unsatisfactory or required completion or
 - and found to be completed in accordance with contract Plans and Specifications
 - Certain responsibilities prior to Final Acceptance: The following
 - to written acceptance. The Contractor is responsible for safety on and off the job
 - 1) Maintenance shall begin immediately after each plant is planted and continue until final acceptance. (2) Plant maintenance shall include watering, mowing edging, pruning, weeding, cultivating, repair of erosion, mulching, tightening and repairing of guys stakes, braces, etc., replacement of sick or dead plants, replacement of sod areas which do not become established, resetting plants to proper grades or upright position, maintenance of the watering saucer
 - litter removal, and all other care needed for proper arowth of the plants. (3) immediately after planting, each plant shall be watered and the watering period shall continue until final acceptance. Refer to the heading "Watering", which is in Part 3 of these Specifications, for additional

event that weeds or other undesirable vegetation becomes

material, the weeds shall be removed as directed by the

(4) All plant material shall be weeded once a week in the

prevalent to such as extent that they threaten plant

Landscape Architect, If necessary, the plant material,

mulch, sand and/or planting soil shall be replaced as

the expense of the Contractor.

needed to eliminate weeds or undesirable vegetation a

- (5) Edge and mow sod once a week
- D. Final acceptance shall not be given until all construction provided for and contemplated by the contract is inspected
- E. Final acceptance shall not be official until acknowledged in writing by the Owner or their representative. F. The guarantee shall not begin until the day final acceptance
- is a partial list of certain responsibilities. It is not a complete list, but only a summary of certain responsibilities. The Contractor is responsible for the entire project prior
- C. Maintenance Prior to Final Acceptance

- (6) Edge and weed all shrubs, groundcover and flower bed 7) Remove all litter once a week.
 - complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation, (9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly

(8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for

satisfactory lawn. Damage resulting from erosion, dullies, washouts, or other causes shall be repaired by filling with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense. (10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no

additional cost. No work shall be done within or over

planting areas or adjacent to plants without proper

(11) Keep sidewalks, curbs and gutters, driveways, parking

afequards and protection

installed until final acceptance.

final acceptance.

if necessary, until all sodded areas are covered with a

areas, streets, terraces, decks, and pavers free of plant cuttings, debris and stains. D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled.

E. Survival and Conditions: The Contractor shall be responsible

all landscape items from the time a landscape item is

Replacement: Replacement of plant material shall be the responsibility of the Contractor including the possible

or the proper maintenance and the survival and condition of

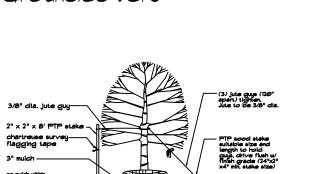
or vandalism or acts of negligence on the part of others. All plant material shall be alive and in good growing condition for each specific kind of plant at the time of final acceptance. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called

for on the Plans and in these Specifications at the time of

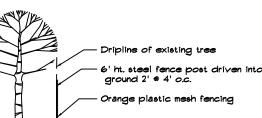
replacement of plant material resulting from removal by theft

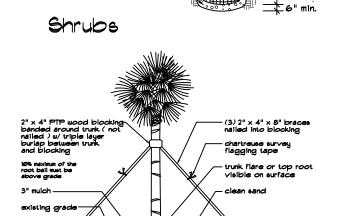
a. Excavation of plant holes shall be roughly

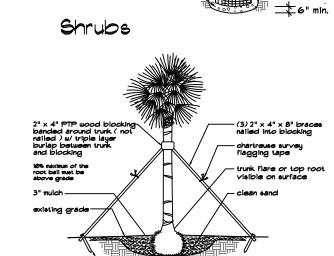
A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted



EXISTING TREE







PTP wood stakes suitable size and length to hold braces (24" x 2" x 4" min.) drive flush w/ finish grade, stake nailed to brace.

- 12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR
- 13. TREES AND PALMS TO BE GUARANTEED FOR ONE (1) YEAR, SHRUBS AND GROUNDCOVERS TO BE GUARANTEED FOR NINETY (90) DAYS AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE.
- IB. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS
- REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED. 19. ALL PLANTING BEDS THAT ARE ADJACENT TO PAVING ARE TO BE LOWER THAN THE ADJACENT PAVING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAVING.

561-276-6311 #LA0000999

date:

sheet:

AA-0002897

Project No. :

36 - FS#45

Drawn By

Checked By MK

Date:

01-05-2016

REVISIONS

01-15-2016 TAC

⚠ 02-16-2016 TAC

Comments Response

PROPERTY LINE —

 $\stackrel{+}{4}.1$ $\stackrel{+}{3}.3$ $\stackrel{+}{2}.5$ $\stackrel{+}{2}.1$

4.7 5.2 5.3 6.3 6.7

 $^{+}4.2$ $^{+}4.7$ $^{+}4.5$ $^{+}5.7$ $^{+}6.4$ $^{+}6.4$

[†]3.6 [†]3.8 [†]3.7 [†]3.9 [†]4.3 [†]4.[‡]1

[†]2.8 [†]3.1 [†]2.8 [†]2.6 [†]2.4 [†]2.**§**

 $\sqrt{3}.4$ $\sqrt{3}.9$ $\sqrt{3}.4$ $\sqrt{2}.4$ $\sqrt{1}.8$ $\sqrt{1}.6$ $\sqrt{1}.1$

3.5 2.8 2.2 1.8 1.5 1.6

| 3.5 ⁺4.7 ⁺4.9

 \mathbf{D}^{\dagger} 6.7 $\mathbf{5}$.3 $\mathbf{3}$.3 $\mathbf{2}$.2 $\mathbf{1}$.7 $\mathbf{1}$.5 $\mathbf{1}$.8 $\mathbf{2}$.4 $\mathbf{2}$.5 $\mathbf{2}$.3 $\mathbf{2}$.2 $\mathbf{2}$.0 $\mathbf{1}$.9

 $|\mathbf{l^0}$ 5.1 6.6 3.9 2.5 1.8 1.6 1.5 1.6 1.6 1.5 1.4 1.3 1.1

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 $^{\circ}$ $^{\circ}$

8.1 3.4 2.7 2.7

MOUNTED TRNASFORMER



NOT TO SCALE

TYPE "SA" TYPICAL NOT TO SCALE

- CONCRETE POLE DIRECT BURIAL TYPE. LIGHTING MANUFACTURER TO PROVIDE CERTIFICATION BY FLORIDA P.E. SHOWING ENTIRE ASSEMBLY COMPLIES WITH FBC CHAPTER 16. - WP JUNCTION BOX WITH SPLICES. BOND COVERPLATE TO CIRCUIT EQUIPMENT GROUNDING CONDUCTOR. EDGE OF PAVEMENT (TYP FOR PARKING LOT LOCATIONS)

 $\frac{1}{3}.3$ $\frac{1}{1}.1$ $\frac{1}{1}.8$ $\frac{1}{3}.2$ $\frac{4}{4}.6$ MH: 12)

SITE ELECTRICAL PLAN
SCALE: 1=20

NATURAL GAS **EMERGENCY**

RECOMMENDATION

DEPTH ACCORDING V 3/4" PVC CONDUIT MIN. (TYP). TO MANUFACTURERS

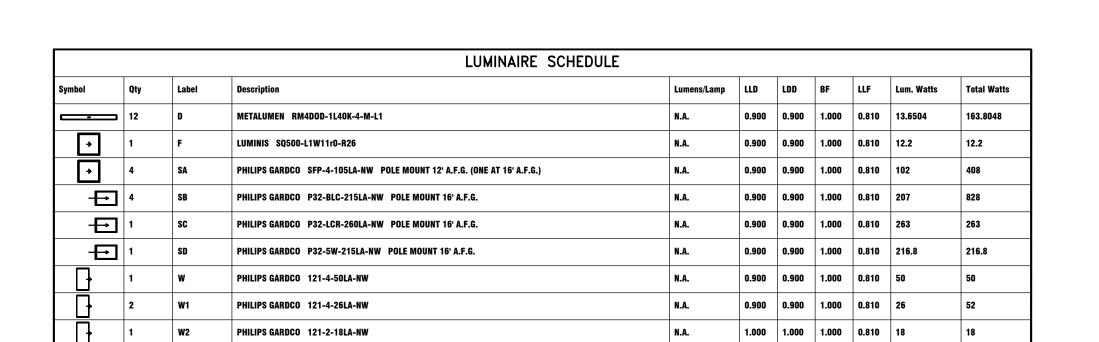
LAND PLANNING * CIVIL * STRUCTURAL NVIRONMENTAL * ELECTRICAL * MECHANICAL 470 S. ANDREWS AVENUE
SUITE 206
POMPANO BEACH, FLORIDA 33069
(954) 942-7703
CERTIFICATE OF AUTHORIZATION # 4355 MILTON KRAMER, P.E. LICENSED ENGINEER NO. 58657 STATE OF FLORIDA

AMMANN & WHITNEY Job # 36-FS#45

COPYRIGHT - AMMANN & WHITNEY

M A N N 🧶 W H I T N E Y

SHEET (1) OF (1)



 $-\frac{1}{4}$ $\frac{4}{1}$ $\frac{7}{1}$ $\frac{7}{2}$ $\frac{7}{2}$ $\frac{1}{6}$ $\frac{7}{3}$ $\frac{1}{4}$ $\frac{3}{6}$ $\frac{1}{6}$ $\frac{1}{8}$

 $\stackrel{+}{2}.9$ $\stackrel{+}{3}.0$ $\stackrel{+}{4}.4$ $\stackrel{+}{5}.3$ $\stackrel{+}{5}.9$ $\stackrel{+}{7}$

 $\frac{1}{3.4}$ $\frac{1}{4.2}$ $\frac{1}{4.4}$ $\frac{1}{4.1}$ $\frac{1}{3.8}$ $\frac{1}{3.8}$ $\frac{1}{4.7}$ $\frac{1}{5.4}$ $\frac{1}{5.8}$ $\frac{1}{7.0}$

4.5 5.5 5.5 5.0 4.6 4.4 4.8 5.3 5.8 6.4

5.8 6.8 6.4 5 8 5.2 4.6 4.8 5.4 5.9 6.4

3 5 3 8 9 8 8 8 7 0 5 . 7 4 . 9 4 . 6 4 . 8 5 . 2 5 . 9 7 . 3 7 . 9

SOD/

_ STUCCO CBS

PRIVACY WALL

LANDSCAPE -

<u>6.2 9.0 8.6 6</u> 7 5.4 4.7 4.6 5.0 5.5 6.3 7.7 8

- SANITARY SEWER MANHOLE

CALCULATI	ON SUMMARY				
Label	Avg	Max	Min	Avg/Min	Max/Min
BLDG NORTH SIDE	5.06	8.6	1.2	4.22	7.17
DUMPSTER DRIVE	1.67	2.1	1.3	1.28	1.62
DUMPSTER WALKWAY	1.70	1.8	1.5	1.13	1.20
PLAZA	3.61	11.5	2.0	1.81	5.75
RAMP	3.66	7.0	1.0	3.66	7.00
SPILL OVERALL (SEE PHOTOMETRIC NOTES 7 & 8)	1.15	7.0	0.0	N.A.	N.A.
SPILL - WEST PROPERTY LINE	0.30	0.5	0.0	N.A.	N.A.
WALKWAY TO ELEC ROOM & GENERATOR	2.59	5.1	1.1	2.35	4.64
PARK & DRIVE	4.54	10.3	1.0	4.54	10.30

GENERAL PHOTOMETRIC NOTES . THE LIGHT LEVELS INDICATED ON THIS DRAWING REPRESENT THE PHOTOMETRIC CALCULATIONS AS PREPARED AND SUBMITTED BY THE LIGHTING VENDOR FOR THE SPECIFIED LUMINAIRES. THIS SIGNED AND SEALED PHOTOMETRIC PLAN ONLY SERVES AS PERFORMANCE CRITERIA AND TO VERIFY THAT THE LIGHT LEVELS AS SHOWN COMPLY WITH KNOWN LOCAL REQUIREMENTS. IT DOES NOT GUARANTEE THE PERFORMANCE OF THE LUMINAIRES NOR THE ACTUAL ILLUMINATION LEVELS.

PERIMETER 8' HIGH SECURITY PICKET FENCE

6.0 $\begin{picture}(4.8, 0.5) \put(0.5, 0.5)$

SOD/ LANDSCAPE ·

- THE CONTRACTOR SHALL RETAIN AN INDEPENDENT PARTY TO SUBMIT & CERTIFY FIELD MEASURED ILLUMINATION LEVELS AS A PHOTOMETRIC AS BUILT. THIS CERTIFICATION SHALL BE DONE BY A PROFESSIONAL ENGINEER. CROSS OFF LEVELS SHOWN AND WRITE MEASURED LEVELS ADJACENT THERETO.
- BASES OF DESIGN PREDICATED ON PERFORMANCE, POWER CONSUMPTION, LIFE EXPECTANCY, AESTHETICS AND WARRANTY. SUBSTITUTION TO OTHER LIGHTING MANUFACTURER LUMINAIRES SHALL MEET OR EXCEED THIS CRITERIA. SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT NEW PHOTOMETRIC DRAWINGS. DRAWING FORMATS & INFORMATION
- SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT NEW PHOTOMETRIC DRAWINGS. DRAWING FORMATS & INCOMPLIES SHALL INCLUDE:
 4.1. FULL SIZE HARD COPY OF MATCHING SCALE TO PROJECT.
 4.2. AUTOCAD FILE WITH COMPLETE THREE DIMENSIONAL MODELING DATA OF ALL COMPONENTS AFFECTING DISTRIBUTION (E.G. OBSTRUCTIONS, REFLECTANCES, ETC.).
 4.3. COMPLETE PHOTOMETRIC CALCULATIONS REPRESENTING PERFORMANCE AND POWER DENSITIES.
 4.3. ALL ADDITIONAL INFORMATION REPRESENTED ON PROJECT DRAWINGS PERTAINING TO LIGHTING.
 4.4. ADDITIONAL DOCUMENTATION (E.G. LM-79 & 80 REPORTS), CORD & PLUG TABLE TOP SAMPLES, ETC. MAY BE REQUIRED FOR REVIEW.
- ALL THE SPECIFICATIONS FOR THIS PROJECT SHALL APPLY TO ALL LUMINAIRES PROVIDED BY THE CONTRACTOR. ITEMS 3, 4 & 5 ABOVE APPLY TO ALL INTERIOR AND EXTERIOR LUMINAIRES FOR THIS PROJECT.
- EXCEPTION TO SPILL REQUIREMENTS ARE TAKEN WHERE NECESSARY HIGHER ILLUMINATION LEVELS FOR PARKING/DRIVES MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES IS IDENTIFIED IN CALCULATION SUMMARY. A MAXIMUM OF 0.5FC OCCURS ON THE WEST PROPERTY LINE, WHICH IS THE ONLY PORTION ADJACENT TO RESIDENTIAL/HOTEL DEVELOPMENT.

LIGHT POLE DETAIL

MOSLEY STREET

SOD/ LANDSCAPE

[†]3.2 [†]5.4 [†]6.2 [†]7.5 [†]8.6 [†]8.6

+8.5' NAVD '88

2.4 2.8 1.3 1.5 1.5

EXISTING CURB & SIDEWALK TO REMAIN —

TYPE "W, W1 & W2"

TYPE "SB, SC & SD" NOT TO SCALE





February 18, 2016

City of Hollywood

Planning & Development Board Color Photos

Existing Property & Adjacent Structures

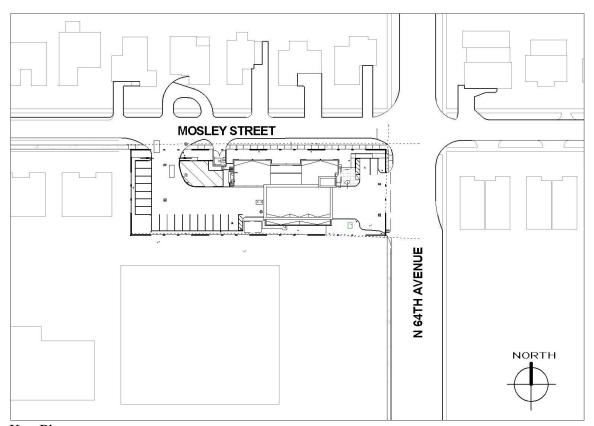
Planning Manager: Leslie A. Del Monte

RE: CITY OF HOLLYWOOD FIRE STATION NO. 45

(OWNER: CITY OF HOLLYWOOD)

1810 N 64TH AVENUE, HOLLYWOOD, FLORIDA

(CITY JOB F14-031)



Key Plan



Adjacent Structure across N 64th Avenue, Looking East



Adjacent Structure across N 64th Avenue, Looking North-East



Adjacent Structure across Mosley Street, Looking North





Adjacent Structure across Mosley Street, Looking North



Adjacent Structure along Mosley Street, Looking West



View of Property and Adjacent Structures along Mosley Street, Looking East





View of Property and Adjacent Structures, Looking South-West



View of Property and Adjacent Structure, Looking West

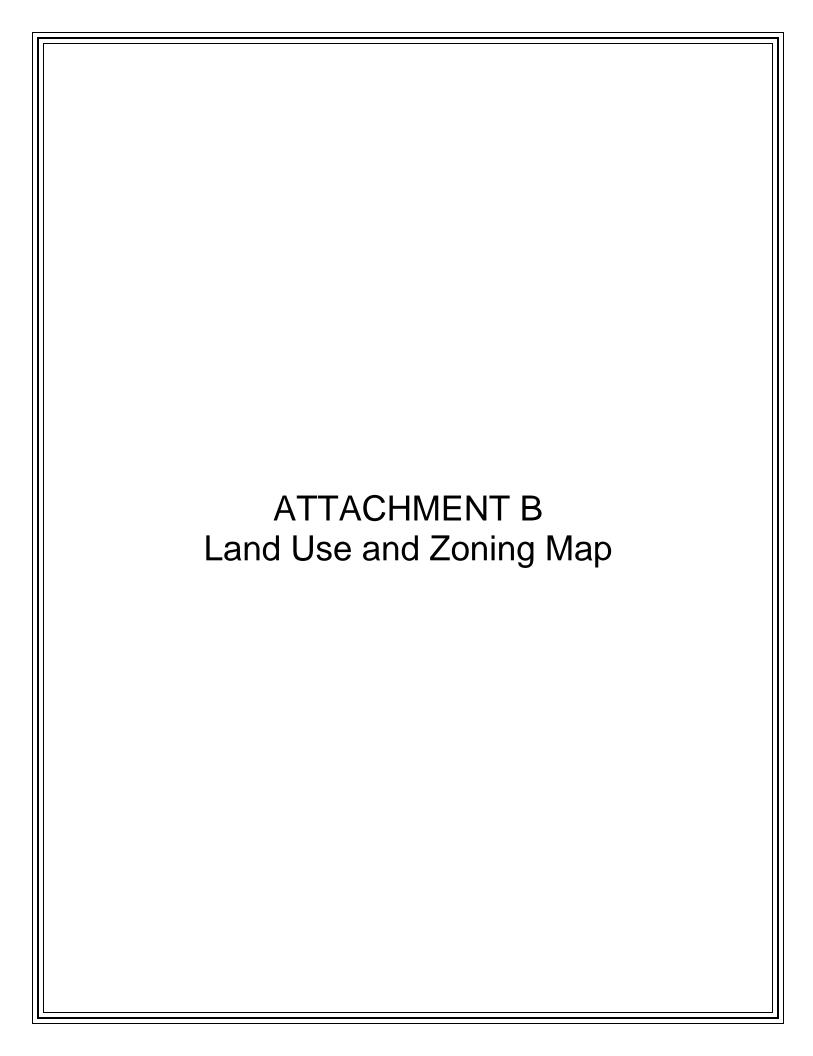


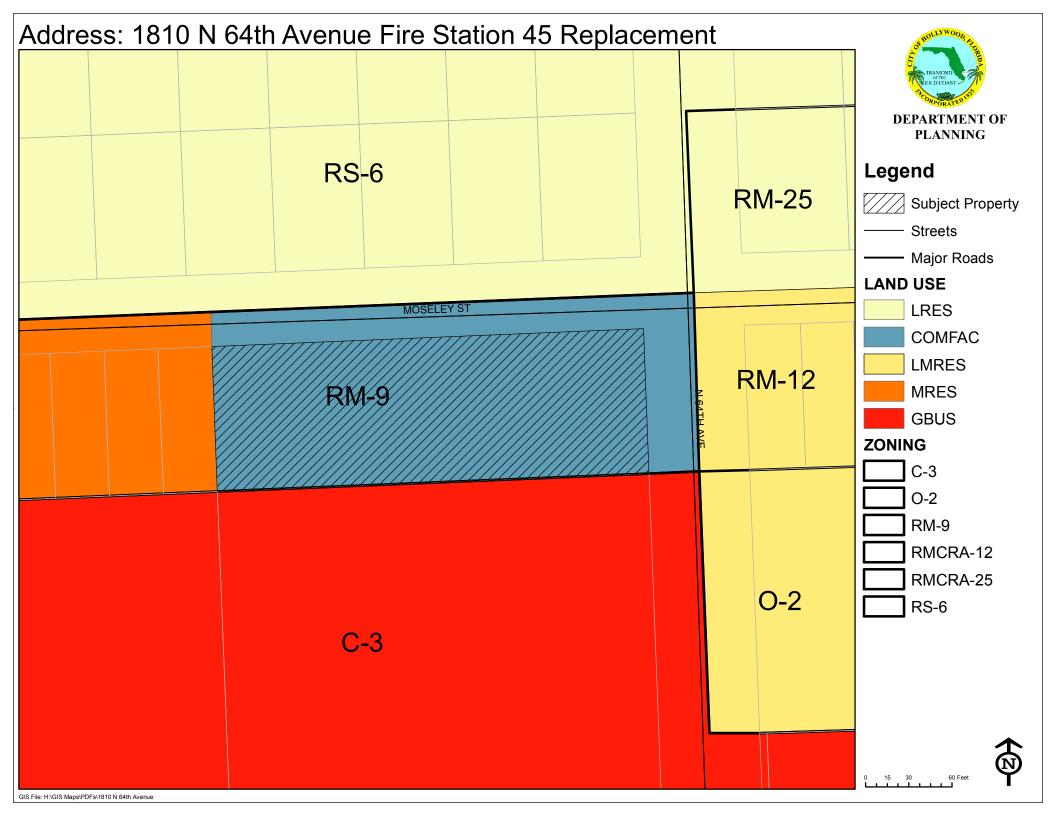
View of Property and Adjacent Structure along N64th Avenue, Looking North

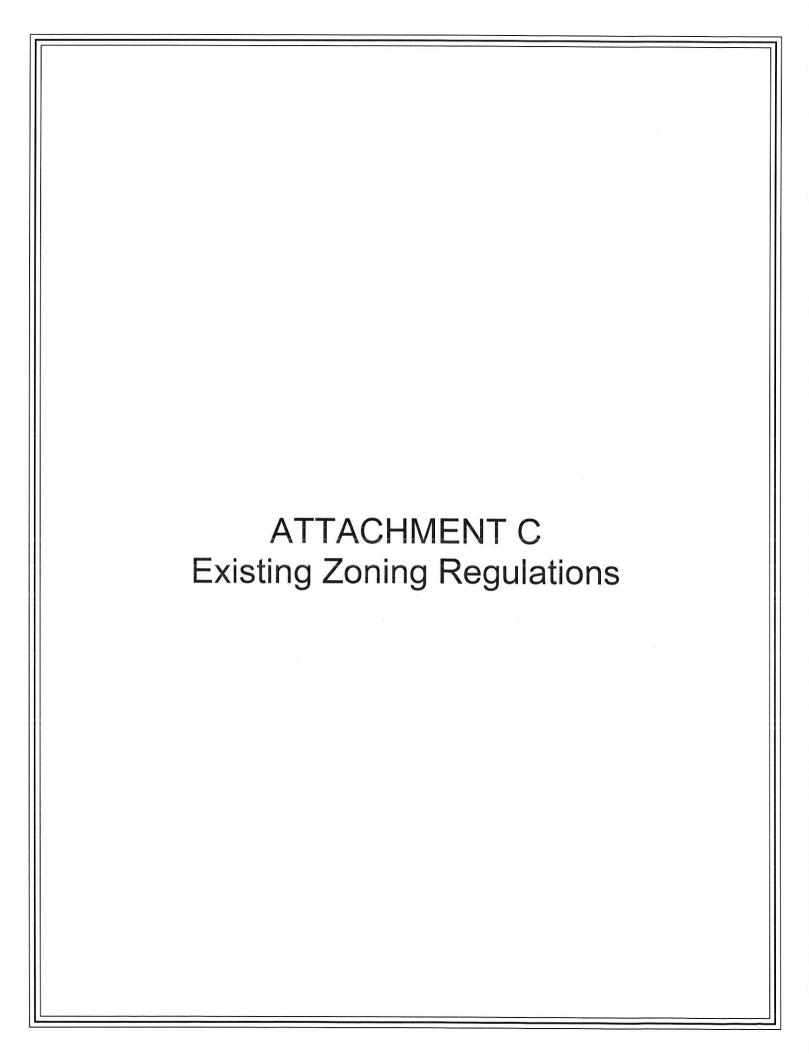


P-4 & P-5 **CANOPY PAINT & ACCENT PANELS** SW 7641 SW 7641 COLONADE GREY OR BM 1485 ACCENT COLOR SW 6868 REAL RED PAINT BRUSHED ALUMINUM PANELS OR MATCH SW 7641/BM 1485 5W 6673 P-2 FIELD COLOR SW 6673 BANANA CREAM ACCENT COLOR SW 6144 DAPPER TAN **GLASS SYSTEM** LOW E IMPACT RESISTANT - GREY TINT EXTERIOR FINISHES

ARCHITECTS PROJECT NO. 2015-167







§ 4.2 Multiple Family Districts.

A. Purpose and uses.

District Purpose	Main Permitted Uses	Special Exceptions	Accessory Uses
These districts are designed to provide standards for the development and maintenance of multiple family residential buildings and hotels, where such uses are permitted (See no. 2 below).	See chart on next page.	Places of worship, meeting halls, social halls, institutional uses, day care facilities, commercial and non- commercial parking lots, and educational facilities. (See chart below)	Those uses which are customarily associated with one of the main permitted uses (See § 4.20).

	Main Permitted Uses						
District (Multiple Family MF)	Maximum Density, units per acre*	Single Family	Duplex	Town house	Apt. Bldg.	Hotel	Commercial
(1) RM-9 (Low -Med MF)	9	Yes	Yes	Yes	Yes	No	No
(2) RM-12 (Med MF)	12	Yes	Yes	Yes	Yes	No	No
(3) RM-18 (Med-High MF)	18	Yes	Yes	Yes	Yes	No, except east of I- 95 permitte d.	No
(4) RM-25 (High MF)	25 for Apt. Bldg.; 50 for Hotel, except if Comprehensiv e Plan land Use designation is Commercial**	Yes	Yes	Yes	Yes	Yes	No
(5) BRT-25 (Beach Resort MF)	25 for Apt. Bldg. 50 for Hotel, except if Comprehensiv e Plan land Use designation is Commercial **	Yes	Yes	Yes	Yes	Yes	Special Exception for eating and drinking uses if east of AIA, otherwise they are a Permitted Use; pawn, thrift, consignment shops, psychic help uses, tattoo



	shops and office are prohibited; all other commercial uses are permitted.
--	---

- (6) See § 4.2.D for RM-WET Multiple Family Wetlands District Regulations.
- (7) See § 4.2.E for NBDD North Beach Development District Regulations.
- * When residential uses are permitted, at least two units per platted lot are permitted regardless of the maximum permitted density.
- **Maximum density for parcels with Comprehensive Plan designation of General Business is outlined under "Permitted Uses in Areas Designated General Business" in Future Land Use Element of the Comprehensive Plan.

MF = Multiple Family

B. Development regulations.

					Minimum Unit Size (Sq. Ft.)				
District	Min. Lot Area (sq. ft.)*	Min. Lot Width* (ft.)	Max. Height (ft.)	Land- scape, open space**	Single Family (SF)	Duplex (Dup)	Townhse.	Apt.	Hotel
(1) RM- 9	6000	60	2 stories not to exceed 30 ft.	40%	1000	500	800	500 Min 750 Avg	Not Allowed
(2) RM- 12	6000	60	3 stories not to exceed 35 ft.	40%	1000	500	800	500 Min 750 Avg	Not Allowed
(3) RM- 18	6000	60	4 stories not to exceed 45 ft., except if adjacent to sing. fam. district, then height 30 ft for first 100 ft of lot.	40%	1000	500	800	500 Min 750 Avg	Not Allowed
(4) RM- 25	6000	60	Oceanfront - 80% of the distance from Erosion Control Line. Non- Oceanfront 65 ft or 6 stories. Development east of A-1-A, south of	40%	1000	500	800	500 Min 750 Avg	15% of units 300- 335; 85% of units 335+



Harrison Street: no greater than 50 feet where there is already an existing high density multi- family residential project developed east of A-1-A and whose oceanfront views would otherwise be severely restricted and/or blocked by any such proposed development to be located east of the existing building and on the same block.			
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					Minimum Unit Size (Sq. Ft.)				
District	Min. Lot Area (sq. ft.)*	Min. Lot Width* (ft.)	Max. Height (ft.)	Land- scape, open space**	Single Family (SF)	Duplex (Dup)	Townhse.	Apt.	Hotel
(5)BRT- 25	6000	60	North of Tyler to Sherman Street - 50 feet. South of Harrison St 65 ft. and North of Balboa Street - 150 ft.	40%	1000	500	800	500 Min 750 Avg	15% of units 300- 335; 85% of units 335+

- (6) See Section 4.2.D for RM-WET Wetlands District Regulations.
- (7) See Section 4.2.E for NBDD North Beach Development District Regulations.
- * Platted lots or lots of record which contain less than the minimums are considered as legal nonconforming and may be developed consistent with these regulations.
- ** Includes landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks and similar uses.



Front	Side/Interior	Side/Street	Rear
20 ft. for structures; 5 ft. for at-grade parking lots.	The sum of the side yard setbacks shall be at least 20% of the lot width, but not to exceed 50 ft. with no side yard less than 7.5 ft.; except, platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback. When an existing Building has a 5 ft. side yard setback, the setback of new construction may also be 5 ft. This applies to the linear or vertical extension of a single story building.	15 ft.; except at- grade lot 5 ft.	1 story bldg 20 ft. 2 story bldg. or higher - 15% of the lot depth; 20 ft. min.

Cross-reference:

For parking lots, see § 4.22

(2) Setback requirements main structure: RM-25, BRT-25.

From	Side/Interior	Side/Street	Rear	Front				
(1) Pedestal	25 ft.; except Retail uses shall provide 0 ft. setback.	The sum of the side yard setbacks shall be at least 25% of the lot width, but not to exceed 50 ft. with no side yard less than 10 ft., whichever is greater. Retail use shall provide 0 ft. setback	15 ft. minimum; except retail uses shall provide 0 ft. setback.	1 story bldg 20 ft. 2 story bldg. or higher - 15% of the lot depth; 20 ft. min. 50 ft. maximum.				
(2) Tower	25 ft. + 1 ft. increase for each ft. of height above 50 ft. Setback not to exceed 50 ft.	The required pedest, I setback plus 20% of the height of the tower portion of the bldg. The total required tower setback shall not exceed 50 ft.	The required pedestal setback plus 15% of the height of the tower portion of the body. The total required tower setback shall not exceed 50 ft.	Oceanfront lots* - 25% of lot depth. Non-oceanfront lots - 15% of lot depth. No setback less than pedestal setback.				
(3) Setbac	(3) Setbacks are measured from the base building line pursuant to Article 3.							
(4) See §	(4) See § 4.2.D for RM-WET Multiple Family Wetlands District Regulations.							

(5) See § 4.2.E for NBDD North Beach Development District Regulations.

* Oceanfront Lots are properties that have the erosion control line as a property line.

* * *

(Ord. O-94-14, passed 4-16-94; Am. Ord. O-97-28, passed 6-25-97; Am. Ord. O-99-26, passed 9-8-99; Am. Ord. O-2000-10, passed 2-2-2000; Am. Ord. O-2001-16, passed 5-16-2001; Am. Ord. O-2002-20, passed 4-10-2002; Am. Ord. O-2003-01, passed 1-22-2003; Am. Ord. O-2005-10, passed 6-15-2005; Am. Ord. O-2007-34, passed 12-18-2007; Am. Ord. O-2012-05, passed 3-7-12)



§ 4.9 GU Government Use District.

A. Purpose and uses:

District Purpose	Main Permitted	Special	Accessory
	Uses	Exception	Uses
Any land acquired, owned or leased by the city or any other governmental entity/agency may be given a zoning designation of GU by initiating the rezoning process set forth in F.S. § 166.041, Art. 5 of the Zoning and Land Development Regulations, and this section. To permit residential, non-residential, and/or any combination of each on tracts of land that are owned or leased by the city or any other governmental entity or agency to be planned and developed as a whole, as a single operation or in phases with a greater amount of flexibility by removing some of the detailed restrictions of conventional zoning; except for land in Port Everglades.	Government Buildings and Uses (such as but not limited to Federal, State, County and city buildings; schools, offices, parks, public golf courses etc.) Any Use approved by the City Commission for the private development (lease, air-rights etc.) of governmentally owned property. All Uses must be consistent with the Comprehensive Plan and zoned according to state law. Those properties located within a designated Music District are permitted to engage in any activity, use, restriction, or exemption listed in the Code of Hollywood, § 100.06(K), § 113.03(A)(2) and City Commission Resolution No. 95- 272(A).	Any building or Use adjacent to or within a single family, RM- 9, RM-18 or RM-25 district. Parking garages.	Any Use that is customarily associated with the Main Permitted Use. See § 4.21.

- B. General development regulations for property within GU Government Use District.
 - 1. Procedures and requirements for rezoning to a GU Development.
- a. Application. An application for rezoning to GU Development shall be made only by the governmental entity or agency that owns or leases the subject property and processed in the same manner as other applications for change of zoning of land in accordance with state law and pursuant to <u>Article 5</u>.

- b. Zoning designation. Upon the sale of public property that is currently zoned GU, the governmental entity or agency shall initiate a zoning designation change pursuant to F.S. Chapter 166.041, as amended from time to time, and in accordance with the procedures set forth in Article 5 of the Zoning and Land Development Regulations. If a governmental entity or agency acquires property to be utilized for a public purpose or desires to develop property it owns or leases for the purposes set forth in § 4.9.A. above, then the rezoning procedures set forth below shall be followed.
- c. Consideration by the City Commission. Upon receiving the recommendation of the Planning and Development Board, the City Commission shall conduct a public hearing to consider the rezoning petition in accordance with the rezoning procedures set forth in Article 5 and the Site Plan pursuant to Article 6. The City Commission shall evaluate the proposed development in the same manner as required of the Planning and Development Board.
- C. Development regulations for GU property requiring Site Plan Review. When the city or any other governmental entity/agency owning or leasing public property within a GU District desires to develop the property, Site Plan Review in accordance with Article 6 and other applicable Articles of the Zoning and Land Development Regulations is required and the following development regulations shall be followed:
- 1. Unified control. All land included for the purpose of development within a GU District shall be under the control of the city, any other governmental entity or agency. The city or other governmental entity/agency shall present satisfactory legal documents to constitute evidence of the unified control of the entire area within the proposed GU District, which shall be reviewed by the Department and the City Attorney's Office.
 - 2. Land use and design regulations.
 - a. Maximum density.
- 1. Density. The maximum permitted density shall be determined by the City Commission, but in no event shall it exceed the limits set forth in the Comprehensive Plan.
- 2. For purposes of this section. Community Residential Facility and hotel units shall equal one-half of one dwelling unit, and any residential unit shall be equal to one dwelling unit.
 - b. Minimum plot size, distance between structures, frontage and setbacks.
 - 1. No minimum plot size shall be required with a GU Development.
- 2. No minimum distance between structures shall be required within a GU District, except as required by the Florida Building Code. The appropriate distance between structures shall be evaluated on an individual development basis by the City Commission, upon recommendation of the Planning and Development Board, after considering the type and character of the building types within a development.
- 3. Setbacks. There are no required setbacks or yards except for those imposed by the City Commission, upon recommendation of the Planning and Development Board, and the Florida Building Code, as amended from time to time.

- c. Maximum height of structures. No maximum height of structures shall be required within a GU District. The City Commission upon recommendation of the Planning and Development Board shall determine the appropriate height limitations on an individual development basis after considering the character of the surrounding area, the character of the proposed development, and the goals for community development as stated in the Hollywood Comprehensive Plan, City-Wide Master Plan and relevant Neighborhood Plan.
- d. Total site coverage. The City Commission, upon recommendation of the Planning and Development Board, shall determine the appropriate site coverage on an individual development basis after considering the character and intensity of the proposed development.
- 3. GU District Site Plan. The Site Plan petition shall be submitted to the Department pursuant to <u>Article 6</u>. The Development Review Coordinator shall review the GU Site Plan in accordance with the procedures set forth in <u>Article 6</u> and shall forward his or her recommendation to the Planning and Development Board.
- 4. Consideration by the Planning and Development Board. The Planning and Development Board shall evaluate the Site Plan in accordance with the requirements set forth in Article 6. In addition, the Board shall evaluate the suitability of the proposed development with the Design Review Criteria set forth in § 5.3. J.4., the City's Comprehensive Plan, the City-Wide Master Plan and the relevant Neighborhood Plan. The Planning and Development Board may recommend reasonable conditions, safeguards and stipulations be attached to the approval of the Site Plan. Upon reviewing the Site Plan, the Planning and Development Board shall forward its recommendation to the City Commission.
 - 5. Conformance to the approved GU District Site Plan.
- a. Permits. After rezoning to GU Development District, no permits shall be issued by the city and no development shall commence unless in conformance with the approved GU Development Site Plan approved by the City Commission. The GU Development may be developed in phases; however, such phases shall be an element of the Site Plan approved by the City Commission.
 - b. Major and minor changes to the Site Plan shall be made pursuant to Article 6.
- c. Transfer of ownership. No land within an approved GU District may be transferred in ownership or in any other way removed from unified control without a written agreement between the city and the parties to which such transfer is made, stipulating their understanding and agreement to a condition that such transferred land shall continue under the full terms and provisions of the GU Development approval.

(Ord. O-94-14, passed 4-6-94; Am. Ord. O-96-44, passed 9-25-96; Am. Ord. O-2001-16, passed 5-16-2001; Am. Ord. O-2002-13, passed 3-6-2002; Am. Ord. O-2011-14, passed 5-4-11; Am. Ord. O-2012-05, passed 3-7-12)