OM RESIDENTIAL MIXED USE

HOLLYWOOD BEACH FLORIDA

P.A.C.O. - JULY 17, 2023
PRELIMINARY TAC - SEPTEMBER 5, 2023

PROJECT TEAM

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PROJECT DATA

CODES:
FLORIDA BUILDING CODE 2020 ED.
FLORIDA FIRE PREVENTION CODE 7TH ED.
N.F.P.A. 101 2018 ED.
N.F.P.A. 1 2018 ED.

JURISDICTION:
CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

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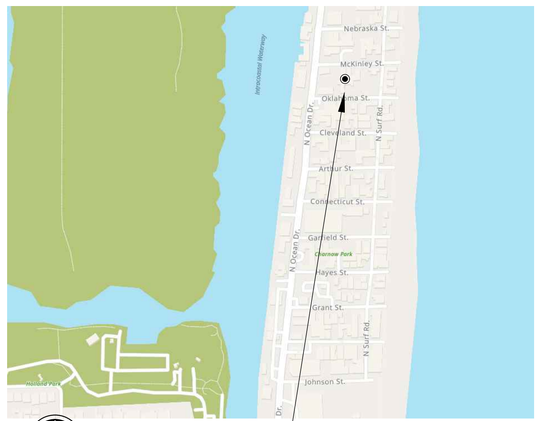
LOCATION MAP



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SEAL

STATE OF FLORIDA
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0009239
REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

OM RESIDENTIAL
MIXED USE
2007 &2115 N. OCEAN DR. 309, 333 &341 OKLAHOMA ST.
2012 S. SURF RD. 320 &324 McKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.
HOLLYWOOD FL 33019

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SHEET TITLE

ROOF PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	-	-
2	-	-
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DATE: 2-27-23
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CHECKED BY: JBK

SHEET

T-1

SHEET 1 OF 1

Bidders shall use complete sets of Bidding Documents in preparing bids; neither the Owner nor Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Bidding Documents. The review of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

PROPERTY ADDRESSES

SITE 1 – 2007 N. OCEAN DRIVE; 309, 333 & 341 OKLAHOMA ST.; 320 & 324 McKINLEY ST.
SITE 2 – 2115 N. OCEAN DRIVE; 320, 322, 324 & 326 NEBRASKA ST. AND
SITE 3 – 2012 N. SURF ROAD
HOLLYWOOD, FL 33019

SITE INFORMATION

EXISTING ZONING: BRT–25–C (BEACH RESORT COMMERCIAL DISTRICT)
BWK–25–HD–C (BROADWALK HISTORIC DISTRICT COMMERCIAL)

LAND USE DESIGNATION: GENERAL BUSINESS

NET LOT AREA:
SITE 1 – 60,905.0 SQUARE FEET (1.398 ac)
SITE 2 – 31,767.0 SQUARE FEET (0.729 ac)
SITE 3 – 13,276.0 SQUARE FEET (0.3047 ac)
TOTAL – 105,948.0 SQUARE FEET (2.432 ac)

GROSS LOT AREA: SITE 1, 2 AND 3 – 145268.0 S.F. (3.3348 ac)

SETBACKS:

SITE 1 – MIXED USE RESIDENTIAL

		REQUIRED BASE	REQUIRED TOWER	PROPOSED BASE	PROPOSED TOWER
A1A		10'–0"	20'–0"	10'–0"	34'–9"
CROSS STREET	(OKLAHOMA)	20'–0"	25'–0"	23'–2"	43'–2"
	RETAIL	5'–0"		13'–2"	
	40%	10'–0"		11'–2"	
	(MCKINLEY)	20'–0"	25'–0"	20'–0"	43'–2"
	RETAIL	5'–0"		13'–2"	
	40%	10'–0"		16'–2"	
SURF ROAD		10'–0"	15'–0"	10'–10"	15'–7"

SITE 2 – RETAIL/ GARAGE

		REQUIRED BASE	REQUIRED TOWER	PROPOSED BASE	PROPOSED TOWER
A1A		10'–0"	20'–0"	10'–6"	25'–11"
CROSS STREET	(MCKINLEY)	20'–0"	25'–0"	25'–0"	25'–0"
	RETAIL	5'–0"		NA	
	40%	10'–0"		NA	
	(NEBRASKA)	20'–0"	25'–0"	NA	17'–8"
	RETAIL	5'–0"		10'–2"	
	40%	10'–0"		16'–2"	
INTERIOR		5'–0"	15'–0"	5'–0"	5'–0"

SITE 3 – BROADWALK RESTAURANT AND BAR

		REQUIRED BASE	REQUIRED TOWER	PROPOSED BASE	PROPOSED TOWER
BROADWALK		10'–0"	15'–0"	10'–0"	NA
CROSS STREET	(OKLAHOMA)	10'–0"	20'–0"	20'–0"	NA
	RETAIL	5'–0"		NA	
	40%	10'–0"		NA	
	(NEBRASKA)	10'–0"	20'–0"	20'–0"	NA
	RETAIL	5'–0"		NA	
	40%	10'–0"		NA	
SURF ROAD		5'–0"	15'–0"	10'–1"	NA

REQUIRED PARKING:

RETAIL	14,488 SF /1000 SF	15 SPACES
EVENT SPACE	1/ 60 SF SEATING AREA 3312 SF/ 60 SF	55 SPACES
RESIDENCES		
CONDO UNITS	137 UNITS x 1 (MIN.)	137 SPACES
RENTAL UNITS	91 UNITS x 1 (MIN.)	91 SPACES
ACCESSORY USES (RESIDENTS ONLY)		0 SPACES
RESTAURANT AND BAR (BRT)	60% X 11421 SF = 6853 SF 6853 SF / 60 =	114 SPACES
RESTAURANT AND BAR (BWK)		0 SPACES
TOTAL		412 SPACES

PROVIDED PARKING:

PARKING REDUCTION BASE ON .....

SHARED PARKING

USE	WEEKDAYS NIGHT (%) SPACES	WEEKDAYS DAY (%) SPACES	WEEKDAYS EVENING (%) SPACES	WEEKENDS DAY (%) SPACES	WEEKENDS NIGHT & EVENING (%) SPACES
RESIDENTIAL	(100) 228	(60) 137	(90) 205	(80) 182	(90) 205
COMMERIAL	(5) 6	(90) 116	(70) 90	(100) 129	(70) 90
EVENT SPACE	(10) 6	(50) 28	(100) 55	(50) 28	(100) 55
	240	281	350	339	350

PROVIDED 352 SPACES

LOADING:

		REQUIRED	PROPOSED
COMMERCIAL AREA	1 SPACES (14,488 SF)	1 SPACES	
MULTIFAMILY	2 SPACES (228 UNITS)	2 SPACES	
EVENT SPACE	1 SPACES (3,312 SF)	1 SPACES	
TOTAL		4 SPACES	4 SPACES

DENSITY:

ALLOWED	PROPOSED
BASED ON SENATE BILL 102 DENSITY WITHIN THE MUNICIPALITY	68.4 UNITS PER ACRE

SIAN OCEAN RESIDENCES C–1
4000 S. OCEAN DR.

221 CONDO UNITS
GROSS LOT AREA APPROX. – 103,924.4 SF (2.38 AC)
APPROX. DENSITY – 93 UNITS /AC

BUILDING SUMMARY

	ALLOWED	PROPOSED
BUILDING HEIGHT:		
SITE 1	MAX HEIGHT WITHIN A MILE RADIUS – MAGARITAVILLE 188'–0"	187'–0" (18 stories)
SITE 2	MAX HEIGHT WITHIN A MILE RADIUS – MAGARITAVILLE 188'–0"	99'–6" (9 stories)
SITE 3	40'–0"	25'–0" (2 stories)

DWELLING UNIT SIZE:

	MIN. REQ.	MIN. PROV.	CUM. AVG. REQ.	CUM. AVG. PROV.
RENTAL UNITS	500 SF	519 SF	335 SF	617 SF
CONDO UNITS	500 SF	1133 SF	750 SF	1404 SF

VARIANCES:

SITE 2 – GARAGE

	REQUIRED	PROVIDED
CROSS STREET SETBACK	TOWER 25'–0"	TOWER 17'–8"
INTERIOR SETBACK	TOWER 15'–0"	TOWER 5'–0"

BUILDING AREA: SEE SHEET SP–3 FOR BUILDING AREA DATA

BUILDING AREA:

SITE 1 – MIXED USE RESIDENTIAL

		interior	garage	deck/ bal.	total
restaurant/ retail/ lobby	1ST FLOOR	34087	–	4765	
restaurant/ rental units	2ND FLOOR	22225		9576	
rental units	3RD FLOOR	22668		5783	
rental units	4TH FLOOR	22668		2611	
condo	5TH FLOOR	16540		15057	
condo	6TH FLOOR	15878		4128	
condo	7TH FLOOR	15878		4074	
condo	8TH FLOOR	15878		4128	
condo	9TH FLOOR	15878		4074	
condo	10TH FLOOR	15878		4128	
condo	11TH FLOOR	15878		4074	
condo	12TH FLOOR	15878		4128	
condo	13TH FLOOR	15878		4074	
condo	14TH FLOOR	15878		4128	
condo	15TH FLOOR	15878		4074	
condo	16TH FLOOR	15878		4128	
condo	15TH FLOOR	15878		4074	
condo	16TH FLOOR	15878		4128	
	TOTAL AREA	324,602 SF	–	91,132 SF	415,734 SF

SITE 2 – GARAGE AND EVENT SPACE

		interior	garage	deck/ bal./ st.	total
garage/ retail	1ST FLOOR	7041	16696	1554	
garage	2ND FLOOR	586	20012	424	
garage	3RD FLOOR	298	19965	424	
garage	4TH FLOOR	298	19965	424	
garage	5TH FLOOR	298	19965	424	
garage	6TH FLOOR	298	19965	424	
garage	7TH FLOOR	298	19965	424	
garage	8TH FLOOR	298	19965	424	
garage	9TH FLOOR	6154	–	12296	
	TOTAL AREA	15,567 SF	156,498 SF	16,818 SF	188,885 SF

SITE 3 – BEACH CLUB

		interior	garage	deck/ bal.	total
bar	1ST FLOOR	5244	–	2885	
restaurant/ lounge	2ND FLOOR	5820		2235	
lobby/ pool/ pool deck	ROOF DECK	972		6416	
	TOTAL AREA	12,036 SF	–	11,536 SF	23,572 SF

TOTAL GROSS AREA: 628,191 SF

1 **SITE DATA**

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SHEET TITLE
SITE AND BUILDING DATA

REVISIONS
No. DATE DESCRIPTION
1

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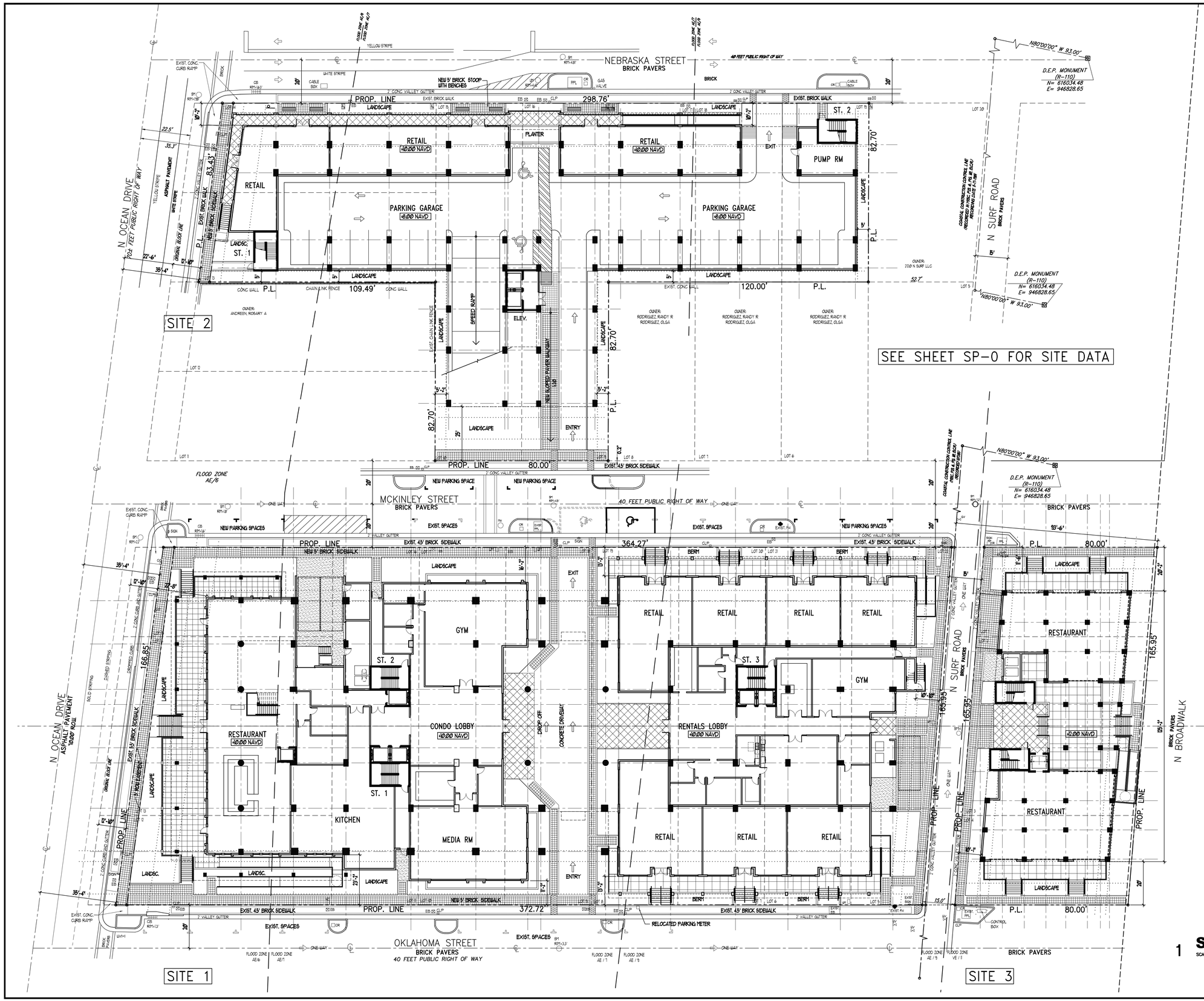
SHEET
SP-0
SHEET 1 OF 8



1 **SITE PLAN**
SCALE: 1"= 20'-0"

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C AND BUK-25-HD-C ZONING DISTRICTS.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

NOTE:
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 9.0' AND 11.0' N.A.V.D.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ALL PROPERTY LINES.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER F.F.P.C. 2018 NFPA 101 SECTION 11.8.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

GREEN CERTIFICATION:
NATIONAL GREEN BUILDING STANDARD CERTIFICATION

NOTE:
ALL CHANGES TO THE DESIGN REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

NFPA 1 (2018 ed) CHAPTER 12.3.2
A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALLE BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FRO THE DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1. AND 12.3.2.2

GREEN BUILDING AND ENVIRONMENTAL SUSTAINABILITY NOTE:

1. INSTALL ENERGY EFFICIENT LIGHT FIXTURES, ENERGY STAR OR WATER SENSE CERTIFIED APPLIANCES AND PROGRAMMABLE THERMOSTATS.
2. ENSURE THAT KITCHENS HAVE SPACE FOR RECYCLING BINS AND WHEREVER RASH BINS ARE PROVIDED.
3. USE SUSTAINABLE BUILDING AND FENCING MATERIALS.
4. USE LOW VOC MATERIALS.

ORDINANACE 2016-02
The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle-charging station within be included in such project. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate or a fully functional electric vehicle-charging station.

NOTE:
BDA system is required per NFPA 1, 11.10. Broward County Building code Amendment 18.2 also applies. BDA Plans to be submitted and approved by Broward County and the City of Hollywood. Contractor for the BDA System to have a RF license.

UNITY OF TITLE:
A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DARK SKY COMPLIANCE:
EXTERIOR LIGHTING TO BE FULLY SHEILDED ABOVE.

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SHEET TITLE
SITE PLAN

REVISIONS

No.	DATE	DESCRIPTION
1		

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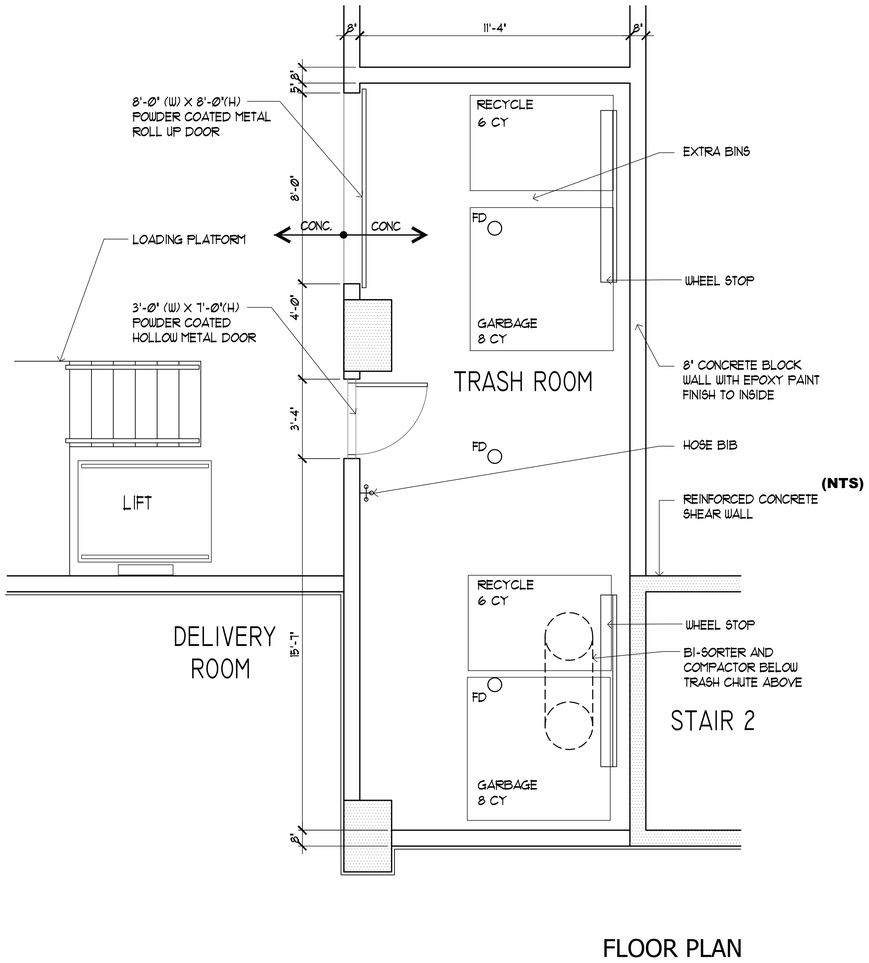
SHEET
SP-1
SHEET 2 OF 8



(NTS)

FLOOR PLAN

1 REFUSE ENCLOSURE DETAIL 3/8" =1'-0"

ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH FOLLOWING:

SLOPE AND RISE –
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN.

CLEAR WIDTH –
1. MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44" CLEAR.
2. RAMPS THAT ARE PART OF A REQUIRED MEANS OF EGRESS SHALL BE NOT LESS THAN 44 INCHES CLEAR.

LANDINGS –
RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL HAVE THE FOLLOWING FEATURES.
1. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
2. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES
3. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY FBC ACCESSIBILITY 2010

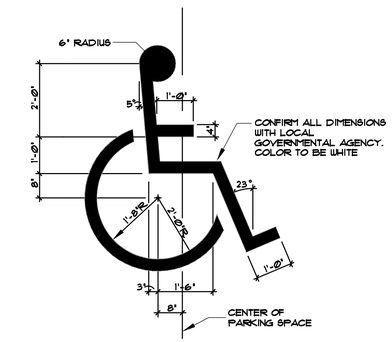
HANDRAILS –
IF A RAMP RUN HAS A RISE GREATER THAN 6 IN OR A HORIZONTAL PROJECTION GREATER THAN 72 IN THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS OR ADJACENT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 4.26 OF THE ADA CODE AND SHALL HAVE THE FOLLOWING FEATURES.
1. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.
2. HANDRAILS ON RAMPS WHICH ARE NOT CONTINUOUS SHALL EXTEND NOT LESS THAN 18" BEYOND THE SLOPED SEGMENT AT BOTH THE TOP AND BOTTOM, AND SHALL BE PARALLEL TO THE FLOOR OR GROUND SURFACE.
3. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2 INCH
4. GRIPPING SURFACES SHALL BE CONTINUOUS.
5. TOP OF HANDRAIL GRIPPING SURFACES SHALL BE MOUNTED BETWEEN 34 IN AND 38 IN ABOVE RAMP SURFACES.
6. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST
7. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

CROSS SLOPE SURFACES –
THE CROSS SLOPE OR RAMP SURFACES SHALL BE NO GREATER THAN 1:50. RAMP SURFACES SHALL COMPLY W/ CHAPTER 4 OF FBC 2010 ACCESSIBILITY CODE.

EDGE PROTECTION –
RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OF THE RAMP. CURBS SHALL BE A MINIMUM OF 2 IN HIGH

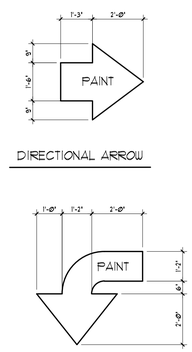
OUTDOOR CONDITIONS –
OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.

2 SITE ACCESSIBILITY NOTES



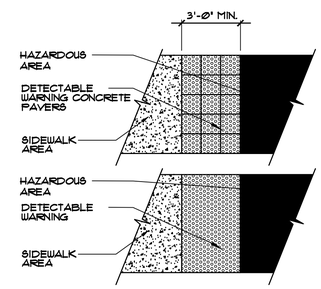
(NTS)

3 PAINTED H.C. SPACE SYMBOL



NOTE: SEE CIVIL ENGINEER'S DRAWINGS FOR ADDITIONAL "DIRECTIONAL" DRIVEWAY PAVING DETAILS

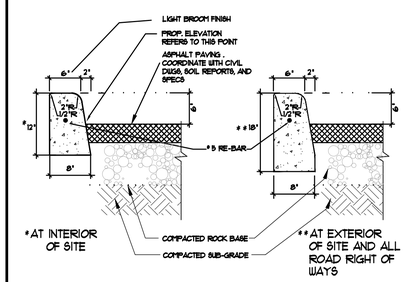
5 NOT USED (NTS)



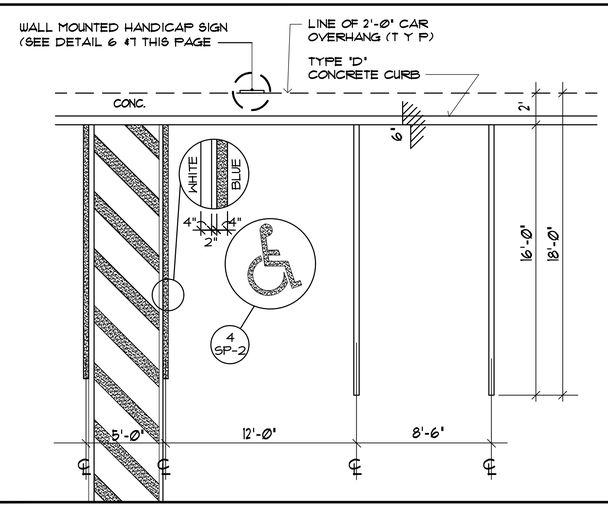
A- IF A WALKWAY CROSSES OR ADJOINS A VEHICULAR WAY AND THE WALKING SURFACES ARE NOT SEPERATED BY CURBS, RAILNG AND OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND THE VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS "DETECTABLE WARNING" WHICH IS 36" WIDE, AS PER F.B.C. ACCESSIBILITY 2011 SECTION 705

B- "DETECTABLE WARNING" ON EXTERIOR WALKING SURFACES SHALL BE "TRUNCATED CONES"

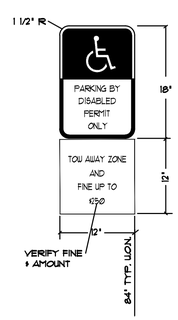
6 DETECTABLE WARNING



7 TYP. TYPE D CONCRETE CURB



8 TYP. PARKING SPACE DETAILS (NTS)



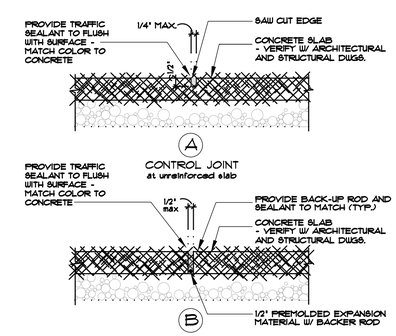
NOTES:

1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6' FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 3'-0" CLEAR IF MOUNTED ON POST. WHERE SIGN IS MOUNTED ON BLDG. SIGN SHALL BE MOUNTED ON BUILDING WALL AT LOCATIONS DEPICTED ON SITE PLAN.

EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY" OR BEARING BOTH SYMBOL AND CAPTION. SUCH SYMBOL SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE GOVERNING AGENCY.

(NTS)

9 HANDICAPPED SIGNAGE DETAIL



(NTS)

10 TYP. CONC. SLAB JOINTS

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SEAL

STATE OF FLORIDA
JOSEPH B. KALLER
R. A.
9239
REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

OM RESIDENTIAL

MIXED USE
2007 NORTH OCEAN DRIVE
HOLLYWOOD FL 33019

SHEET TITLE

SITE DETAILS

REVISIONS

No.	DATE	DESCRIPTION
1	7-27-20	PRELIM TAC
2	10-4-21	FINAL TAC

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PROJECT No.: 22107
DATE: 5-15-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

SP-2

SHEET 3 OF 4

Bidders are just as responsible for errors or misrepresentations resulting from the use of incomplete or preliminary part of Building Documents. The scope of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and what is required by one item is binding as if required by all. Contractor to Owner / Architect assume responsibility for errors or misrepresentations resulting from the use of incomplete or preliminary part of Building Documents. The scope of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and what is required by one item is binding as if required by all. Contractor to Owner / Architect assume responsibility for errors or misrepresentations resulting from the use of incomplete or preliminary part of Building Documents.

SITE 1

	SPACE	AREA		GROSS AREA	
		AC	NON AC	AC	NON AC
1ST FL	CONDO LOBBY AND AMENITIES	7452		31521	7331
	RENTAL LOBBY AND AMENITIES	5159			
	RETAIL AREA	9126			
	RESTAURANT	7871			
	STAIRWELLS		1423		
	ELEVATORS		402		
	UTILITY AND STORAGE		741		
	LEASING OFFICE	1017			
	MAINTENANCE	509			
	TRASH ROOMS	387			
	PATIO/ DECKS AND BALCONIES		4765		
2ND FL	RESTAURANT	3496		21221	10580
	RENTAL UNITS	15499			
	STAIRWELL		602		
	ELEVATORS		402		
	CORRIDOR AND UTILITIES	2226			
	PATIO/ DECKS AND BALCONIES		9576		
3RD FL	RENTAL UNITS	19300		21664	6787
	STAIRWELL		602		
	ELEVATORS		402		
	CORRIDOR AND UTILITIES	2364			
	PATIO/ DECKS AND BALCONIES		5783		
4TH FL	RENTAL UNITS	19300		21664	3615
	STAIRWELL		602		
	ELEVATORS		402		
	CORRIDOR AND UTILITIES	2364			
	PATIO/ DECKS AND BALCONIES		2611		
5TH FL	CONDO UNITS	9000		15227	16370
	STAIRWELL		615		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1207			
	LOUNGE/ AMENITIES	5020			
	POOL BATHS		308		
	PUMP ROOM		142		
	PATIO/ DECKS AND BALCONIES		15057		
6TH FL	CONDO UNITS	14090		15227	4779
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4128		
7TH FL	CONDO UNITS	14090		15227	4725
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4074		
8TH FL	CONDO UNITS	14090		15227	4779
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4128		
9TH FL	CONDO UNITS	14090		15227	4725
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4074		
10TH FL	CONDO UNITS	14090		15227	4779
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4128		
11TH FL	CONDO UNITS	14090		15227	4725
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4074		
12TH FL	CONDO UNITS	14090		15227	4779
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4128		
13TH FL	CONDO UNITS	14090		15227	4725
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4074		
14TH FL	CONDO UNITS	14090		15227	4779
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4128		
15TH FL	CONDO UNITS	14090		15227	4725
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4074		
16TH FL	CONDO UNITS	14090		15227	4779
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4128		
17TH FL	CONDO UNITS	14090		15227	4725
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4074		
18TH FL	CONDO UNITS	14090		15227	4779
	STAIRWELL		403		
	ELEVATORS		248		
	CORRIDOR AND UTILITIES	1137			
	PATIO/ DECKS AND BALCONIES		4128		
				309,248	106,486
TOTAL GROSS AREA				415,734 SF	

SITE 2

	SPACE	AREA		GROSS AREA	
		AC	NON AC	AC	NON AC
1ST FL	RETAIL	6255		6396	18895
	ELEVATOR LOBBY	141			
	GARAGE		16696		
	STAIRWELLS		424		
	ELEVATORS		157		
	UTILITY AND STORAGE		488		
	PATIO/ DECKS AND BALCONIES		1130		
2ND FL	ELEVATOR LOBBY	141		141	20881
	GARAGE		20012		
	STAIRWELLS		424		
	ELEVATORS		157		
	UTILITY AND STORAGE		288		
3RD FL	ELEVATOR LOBBY	141		141	20546
	GARAGE		19965		
	STAIRWELLS		424		
	ELEVATORS		157		
4TH FL	ELEVATOR LOBBY	141		141	20546
	GARAGE		19965		
	STAIRWELLS		424		
	ELEVATORS		157		
5TH FL	ELEVATOR LOBBY	141		141	20546
	GARAGE		19965		
	STAIRWELLS		424		
	ELEVATORS		157		
6TH FL	ELEVATOR LOBBY	141		141	20546
	GARAGE		19965		
	STAIRWELLS		424		
	ELEVATORS		157		
7TH FL	ELEVATOR LOBBY	141		141	20546
	GARAGE		19965		
	STAIRWELLS		424		
	ELEVATORS		157		
8TH FL	ELEVATOR LOBBY	141		141	20546
	GARAGE		19965		
	STAIRWELLS		424		
	ELEVATORS		157		
9TH FL	EVENT SPACE	5614		5995	12455
	ELEVATOR LOBBY	381			
	STAIRWELL		424		
	ELEVATORS		159		
	PATIO/ DECKS AND BALCONIES		11872		
				13,378	175,507
				188,885 SF	

SITE 3

	SPACE	AREA		GROSS AREA	
		AC	NON AC	AC	NON AC
1ST FL	RESTAURANT	4660		4778	3352
	STAIRWELLS		381		
	ELEVATORS		86		
	TRASH ROOM	118			
	PATIO/ DECKS AND BALCONIES		2885		
2ND FL	RESTAURANT	5034		5354	2702
	STAIRWELLS		381		
	ELEVATORS		86		
	RESTROOMS	320			
	PATIO/ DECKS AND BALCONIES		2235		
3RD FL	ELEVATOR LOBBY/ RESTROOMS	505		505	6881
	STAIRWELLS		381		
	ELEVATORS		86		
	POOL/ POOL DECK		6414		
				10,637	12,935
				23,572 SF	

1 **BUILDING DATA**
SCALE: NTS

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SEAL

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REGISTERED ARCHITECT

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FLORIDA R.A. # 0009239

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MIXED USE
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2012 S. SURF RD. 320 &324 McKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.
HOLLYWOOD FL 33019

SHEET TITLE
BUILDING DATA

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.: 22107
DATE: 5-15-23
DRAWN BY: TMS
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SHEET
SP-3
SHEET 4 OF 8

RENTAL UNITS

LOCATION	UNIT #	UNIT TYPE HOTEL RM	AREA AC	AREA TERRACE/ BALCONY	NET AREA AC	NET AREA BALCONY
	201	STUDIO	522			
	202	1 BED	795			
	203	STUDIO	524	43.5		
2ND FLOOR RENTAL UNITS	204	STUDIO	524	43.5	15499	471
	205	1 BED	795			
	206	STUDIO	519			
	207	1 BED	717			
	208	STUDIO	562			
	209	STUDIO	560			
	210	STUDIO	560			
	211	STUDIO	510			
	212	STUDIO	583	96		
	213	STUDIO	583	96		
	214	STUDIO	510			
	215	STUDIO	560			
	216	STUDIO	560			
	217	STUDIO	563			
	218	STUDIO	563			
	219	STUDIO	560			
	220	STUDIO	560			
	221	STUDIO	510			
	222	STUDIO	583	96		
	223	STUDIO	583	96		
	224	STUDIO	510			
	225	STUDIO	560			
	224	STUDIO	560			
	225	STUDIO	563			
	301	STUDIO	522			
	302	1 BED	795	129		
	303	STUDIO	524	43.5		
	304	STUDIO	524	43.5		
3RD FLOOR	305	1 BED	795	129	19300	1800
	306	STUDIO	519			
	307	1 BED	717	133		
	308	STUDIO	562	84		
	309	STUDIO	560	84		
	310	STUDIO	560			
	311	STUDIO	510			
	312	STUDIO	587	46		
	313	STUDIO	587	46		
	314	STUDIO	510			
	315	STUDIO	560			
	316	STUDIO	560	98		
	317	STUDIO	563	200		
	318	STUDIO	661			
	319	1 BED	795			
	320	STUDIO	524			
	321	STUDIO	524			
	322	1 BED	795			
	323	STUDIO	661			
	324	STUDIO	563	200		
	325	STUDIO	560	98		
	326	STUDIO	560			
	327	STUDIO	522			
	328	2 BED	975	168		
	329	STUDIO	522			
	330	STUDIO	560			
	331	STUDIO	560	98		
	332	STUDIO	563	200		
	401	STUDIO	522			
	402	1 BED	795	129		
	403	STUDIO	524	43.5		
	404	STUDIO	524	43.5		
4TH FLOOR	405	1 BED	795	129	19300	2511
	406	STUDIO	519			
	407	1 BED	717	133		
	408	STUDIO	562	84		
	409	STUDIO	560	84		
	410	STUDIO	560			
	411	STUDIO	510			
	412	STUDIO	587	46		
	413	STUDIO	587	46		
	414	STUDIO	510			
	415	STUDIO	560			
	416	STUDIO	560	98		
	417	STUDIO	563	200		
	418	STUDIO	661	183		
	419	1 BED	795	129		
	420	STUDIO	524	43.5		
	421	STUDIO	524	43.5		
	422	1 BED	795	129		
	423	STUDIO	661	183		
	424	STUDIO	563	200		
	425	STUDIO	560	98		
	426	STUDIO	560			
	427	STUDIO	522			
	428	2 BED	975	168		
	429	STUDIO	522			
	430	STUDIO	560			
	431	STUDIO	560	98		
	432	STUDIO	563	200		
TOTAL NET AREA					54,099	4,782

CONDO UNITS

LOCATION	UNIT #	UNIT TYPE HOTEL RM	AREA AC	AREA TERRACE/ BALCONY	NET AREA AC	NET AREA BALCONY
	501	1 BED-DEN	1430	240		
	502	1 BED	1133	240		
	503	2 BED	1202	463		
5TH FLOOR CONDO UNITS	504	3 BED	1419	2188	9000	4074
	505	2 BED	1253	463		
	506	1 BED	1133	240		
	507	1 BED-DEN	1430	240		
	601	2 BED	1620	504		
	602	1 BED-DEN	1430	240		
	603	1 BED	1133	240		
	604	2 BED	1202	552		
6TH FLOOR	605	3 BED	1419	528	14090	4128
	606	2 BED	1253	552		
	607	1 BED	1133	240		
	608	1 BED-DEN	1430	240		
	609	2 BED	1620	504		
	610	3 BED	1850	528		
	701	2 BED	1620	504		
	702	1 BED-DEN	1430	240		
	703	1 BED	1133	240		
	704	2 BED	1202	525		
7TH FLOOR	705	3 BED	1419	528	14090	4074
	706	2 BED	1253	525		
	707	1 BED	1133	240		
	708	1 BED-DEN	1430	240		
	709	2 BED	1620	504		
	710	3 BED	1850	528		
	801	2 BED	1620	504		
	802	1 BED-DEN	1430	240		
	803	1 BED	1133	240		
	804	2 BED	1202	552		
8TH FLOOR	805	3 BED	1419	528	14090	4128
	806	2 BED	1253	552		
	807	1 BED	1133	240		
	808	1 BED-DEN	1430	240		
	809	2 BED	1620	504		
	810	3 BED	1850	528		
	901	2 BED	1620	504		
	902	1 BED-DEN	1430	240		
	903	1 BED	1133	240		
	904	2 BED	1202	525		
9TH FLOOR	905	3 BED	1419	528	14090	4074
	906	2 BED	1253	525		
	907	1 BED	1133	240		
	908	1 BED-DEN	1430	240		
	909	2 BED	1620	504		
	910	3 BED	1850	528		
	1001	2 BED	1620	504		
	1002	1 BED-DEN	1430	240		
	1003	1 BED	1133	240		
	1004	2 BED	1202	552		
10TH FLOOR	1005	3 BED	1419	528	14090	4128
	1006	2 BED	1253	552		
	1007	1 BED	1133	240		
	1008	1 BED-DEN	1430	240		
	1009	2 BED	1620	504		
	1010	3 BED	1850	528		
	1101	2 BED	1620	504		
	1102	1 BED-DEN	1430	240		
	1103	1 BED	1133	240		
	1104	2 BED	1202	525		
11TH FLOOR	1105	3 BED	1419	528	14090	4074
	1106	2 BED	1253	525		
	1107	1 BED	1133	240		
	1108	1 BED-DEN	1430	240		
	1109	2 BED	1620	504		
	1110	3 BED	1850	528		
	1201	2 BED	1620	504		
	1202	1 BED-DEN	1430	240		
	1203	1 BED	1133	240		
	1204	2 BED	1202	552		
12TH FLOOR	1205	3 BED	1419	528	14090	4128
	1206	2 BED	1253	552		
	1207	1 BED	1133	240		
	1208	1 BED-DEN	1430	240		
	1209	2 BED	1620	504		
	1210	3 BED	1850	528		
	1301	2 BED	1620	504		
	1302	1 BED-DEN	1430	240		
	1303	1 BED	1133	240		
	1304	2 BED	1202	525		
13TH FLOOR	1305	3 BED	1419	528	14090	4074
	1306	2 BED	1253	525		
	1307	1 BED	1133	240		
	1308	1 BED-DEN	1430	240		
	1309	2 BED	1620	504		
	1310	3 BED	1850	528		

CONDO UNITS cont'd.

LOCATION	UNIT #	UNIT TYPE HOTEL RM	AREA AC	AREA TERRACE/ BALCONY	NET AREA AC	NET AREA BALCONY
	1401	2 BED	1620	504		
	1402	1 BED-DEN	1430	240		
	1403	1 BED	1133	240		
	1404	2 BED	1202	552		
14TH FLOOR	1405	3 BED	1419	528	14090	4128
	1406	2 BED	1253	552		
	1407	1 BED	1133	240		
	1408	1 BED-DEN	1430	240		
	1409	2 BED	1620	504		
	1410	3 BED	1850	528		
	1501	2 BED	1620	504		
	1502	1 BED-DEN	1430	240		
	1503	1 BED	1133	240		
	1504	2 BED	1202	525		
15TH FLOOR	1505	3 BED	1419	528	14090	4074
	1506	2 BED	1253	525		
	1507	1 BED	1133	240		
	1508	1 BED-DEN	1430	240		
	1509	2 BED	1620	504		
	1510	3 BED	1850	528		
	1601	2 BED	1620	504		
	1602	1 BED-DEN	1430	240		
	1603	1 BED	1133	240		
	1604	2 BED	1202	552		
16TH FLOOR	1605	3 BED	1419	528	14090	4128
	1606	2 BED	1253	552		
	1607	1 BED	1133	240		
	1608	1 BED-DEN	1430	240		
	1609	2 BED	1620	504		
	1610	3 BED	1850	528		
	1701	2 BED	1620	504		
	1702	1 BED-DEN	1430	240		
	1703	1 BED	1133	240		
	1704	2 BED	1202	525		
17TH FLOOR	1705	3 BED	1419	528	14090	4074
	1706	2 BED	1253	525		
	1707	1 BED	1133	240		
	1708	1 BED-DEN	1430	240		
	1709	2 BED	1620	504		
	1710	3 BED	1850	528		
	1801	2 BED	1620	504		
	1802	1 BED-DEN	1430	240		
	1803	1 BED	1133	240		
	1804	2 BED	1202	552		
18TH FLOOR	1805	3 BED	1419	528	14090	4128
	1806	2 BED	1253	552		
	1807	1 BED	1133	240		
	1808	1 BED-DEN	1430	240		
	1809	2 BED	1620	504		
	1810	3 BED	1850	528		
TOTAL NET AREA					192,170	57,204

1 **UNIT DATA**
SCALE: NTS

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SHEET TITLE
UNIT DATA

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.: 22107
DATE: 5-15-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
SP-4
SHEET 5 OF 8

Bidders shall use complete sets of Bidding Documents in preparing bids; neither the Owner nor Architect assumes responsibility for errors or misinterretations resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complimentary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

BENJAMIN MOORE

shark skin

babies breath

black

aqua grey

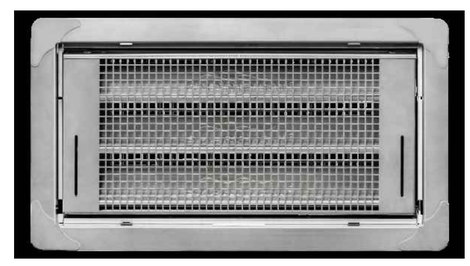
pikes peak

turquoise mist

wythe tan

embossed conc.
wall panels

ivy wall finish



stainless steel
flood vent
smart vent 1540-510

1 **SAMPLES**
SCALE: NTS

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SEAL

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0009239
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PROJECT TITLE
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MIXED USE
2007 &2115 N. OCEAN DR. 309, 333 &341 OKLAHOMA ST.
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SHEET TITLE
SAMPLES

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.: 22107
DATE: 5-15-23
DRAWN BY: TMS
CHECKED BY: JBK

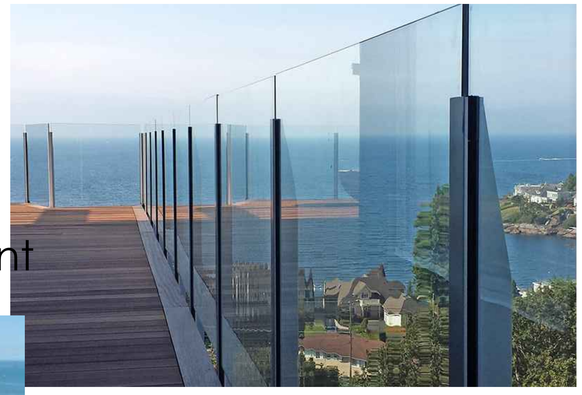
SHEET
SP-5
SHEET 6 OF 8

wood trellis

signage

screen overhang

retail/ restaurant storefront



wind barrier

glass garage doors

glass railing

folding doors

garage screen

roll up grill

1 **SAMPLES**
SCALE: NTS

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SHEET TITLE
SAMPLES

REVISIONS

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SHEET
SP-6
SHEET 7 OF 8

ALL WALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

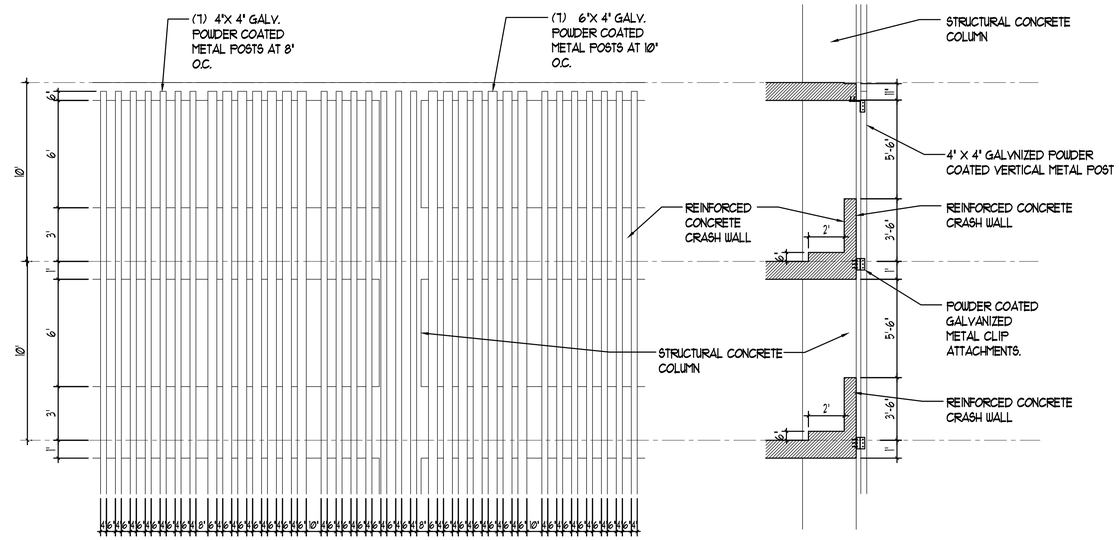
MONUMENT SIGNAGE TO BE SOLID CHROME LETTERS UP LIT FROM FOUNTAIN

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C AND BWK-23-HD-C ZONING DISTRICTS.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

signage

1 **SIGNAGE**
SCALE: 1/4"= 1'-0"



2 **GARAGE SCREEN**
SCALE: 1/4"= 1'-0"

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SHEET TITLE
SIGNAGE AND GARAGE SCREEN

REVISIONS

No.	DATE	DESCRIPTION
1		

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DATE: 5-15-23
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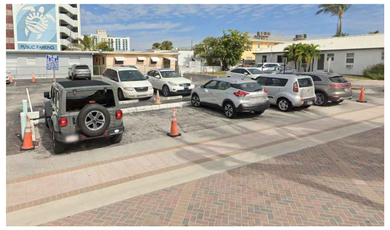
SHEET
SP-7
SHEET 8 OF 8

2115 N. OCEAN DR.

326 NEBRASKA ST.

322-324 NEBRASKA ST.

320 NEBRASKA ST.



320 McKINLEY ST. PARKING

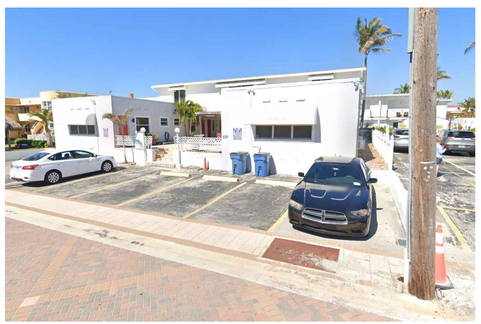
2007 N. OCEAN DR.

324 McKINLEY ST.

320 McKINLEY ST.

341 OKLAHOMA ST.

333 OKLAHOMA ST.



309 OKLAHOMA ST.

2012 S. SURF RD.

1 **SITE PICTURES**
SCALE: NTS

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SHEET TITLE
SITE PICTURES
SITES 1, 2 AND 3

REVISIONS
No. DATE DESCRIPTION
1

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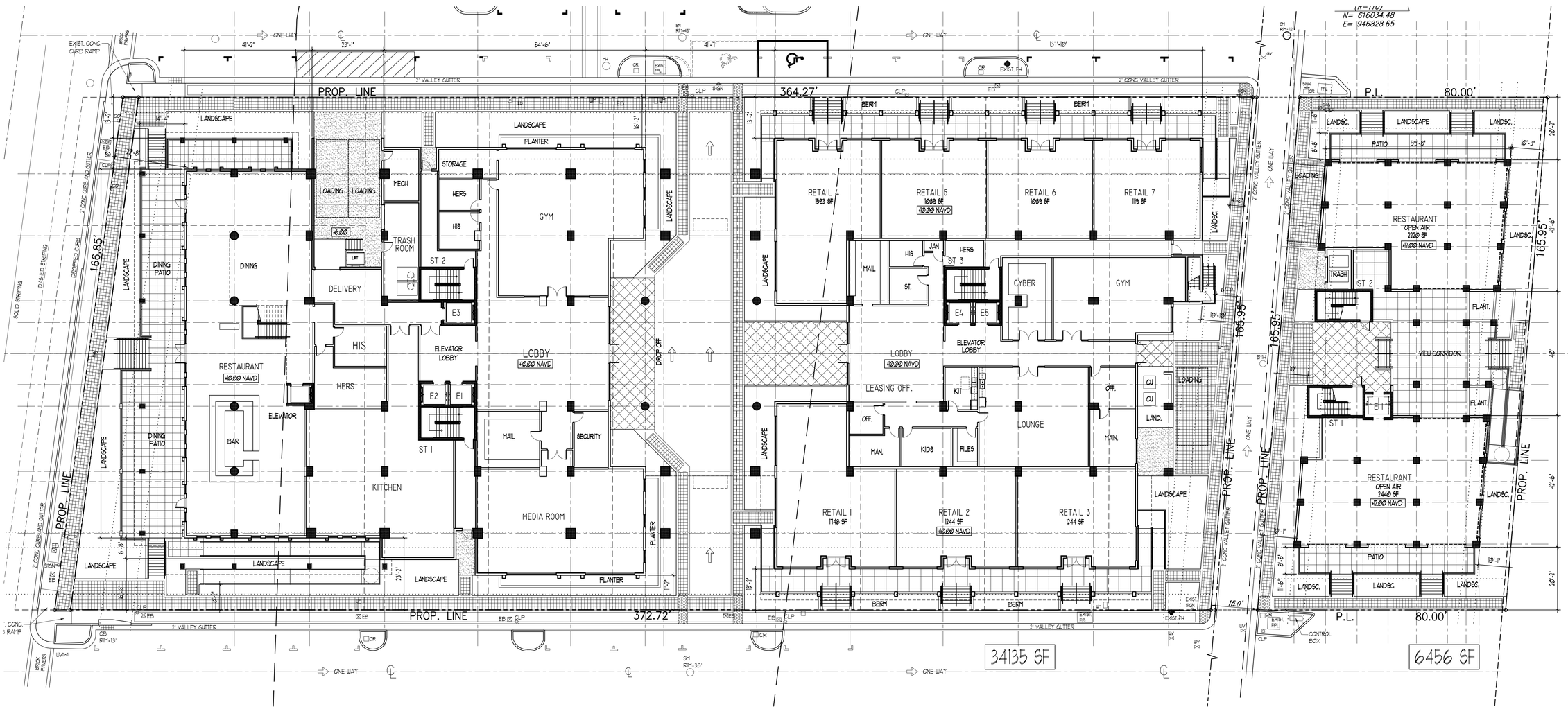
DATE: 2-27-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
A-0
SHEET 1 OF 36



1 **FIRST FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
FIRST FLOOR PLAN
SITE 1 AND 3

REVISIONS

No.	DATE	DESCRIPTION
1		

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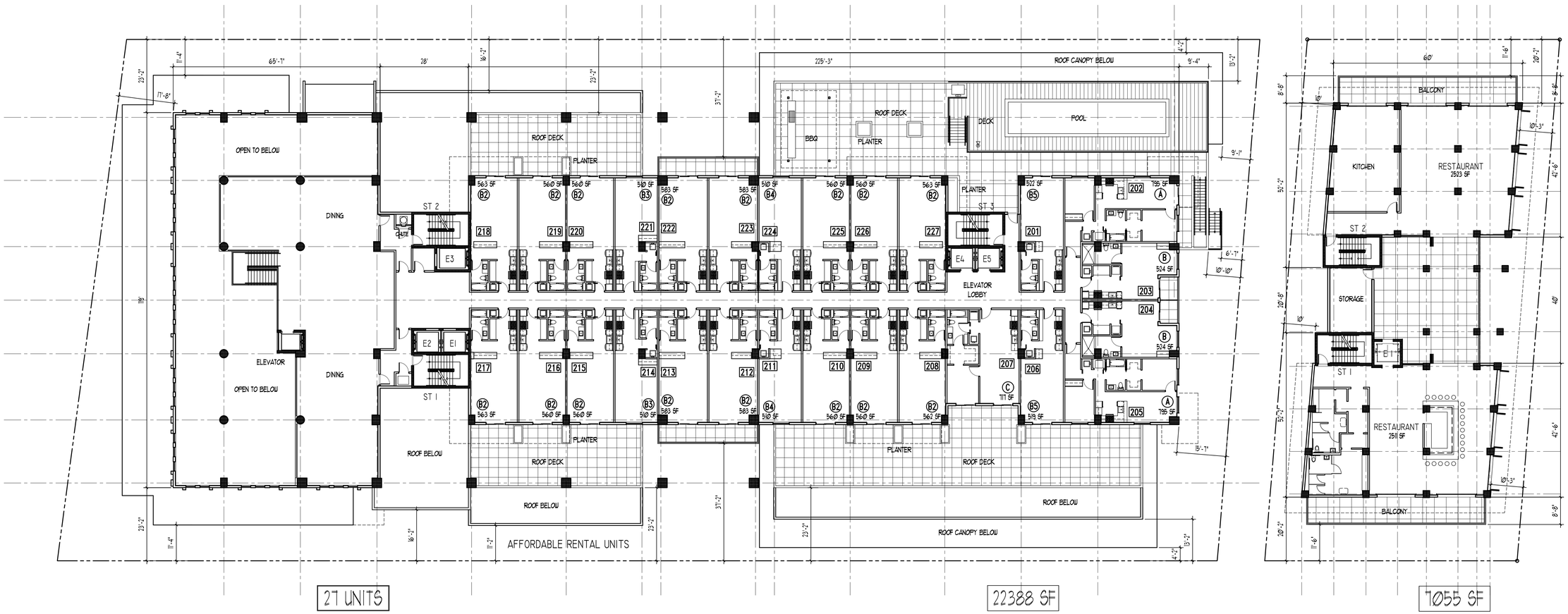
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET
A-1
SHEET 2 OF 36

Before start of construction of the work by the Contractor, The Contractor Documents are proprietary, and shall be imparted by one bidder or publicly or if required by all performance bids. If Existing Documents, The intent of the contract documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are proprietary, and shall be imparted by one bidder or publicly or if required by all performance bids. If Existing Documents, The intent of the contract documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor shall be responsible for errors or omissions resulting from the use of incomplete or preliminary sets of Existing Documents.



1 **SECOND FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
SECOND FLOOR PLAN
SITE 1 AND 3

REVISIONS

No.	DATE	DESCRIPTION
1		

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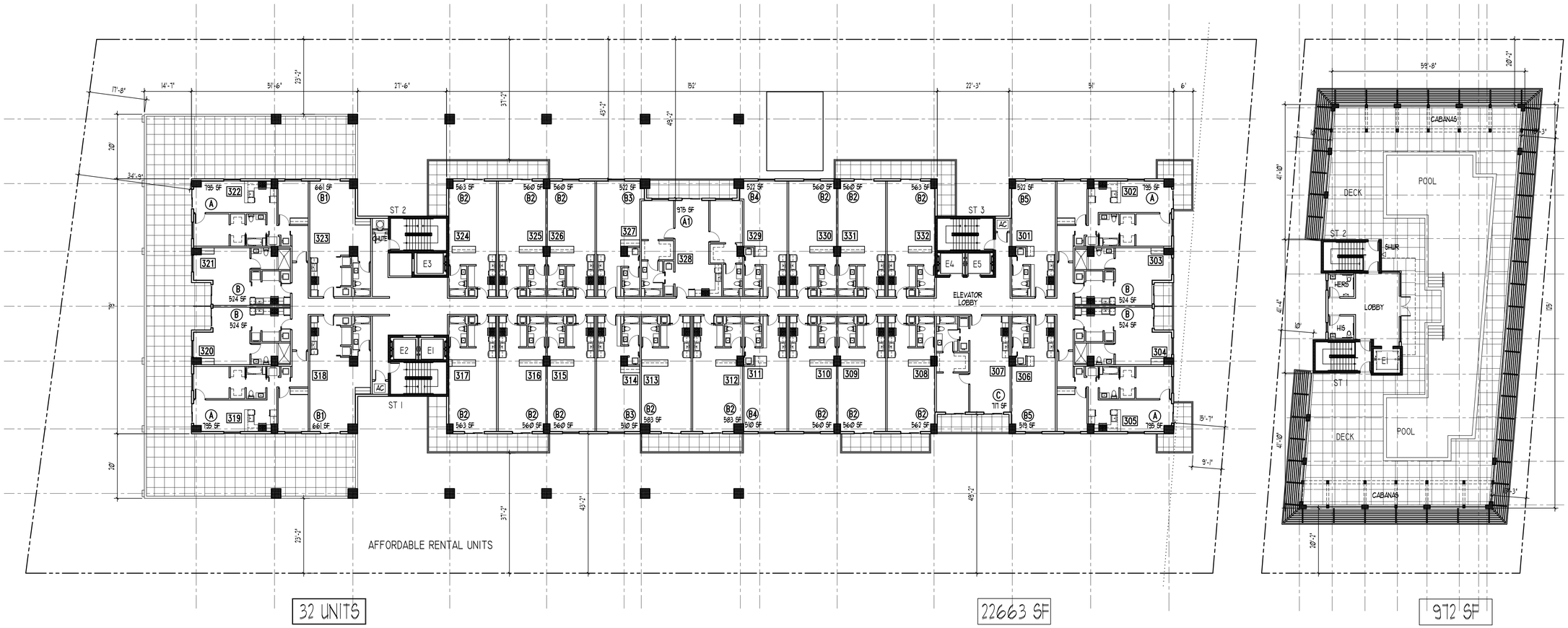
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET
A-2
SHEET 1 OF 1

Before you start, compare sets of Building Documents in preparing bids, notify the Owner/Architect assume responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The sole of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contract Documents are complementary, and what is required by one item is as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **THIRD FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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PROJECT TITLE

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SHEET TITLE

THIRD FLOOR PLAN
SITE 1 AND 3

REVISIONS

No.	DATE	DESCRIPTION
1		

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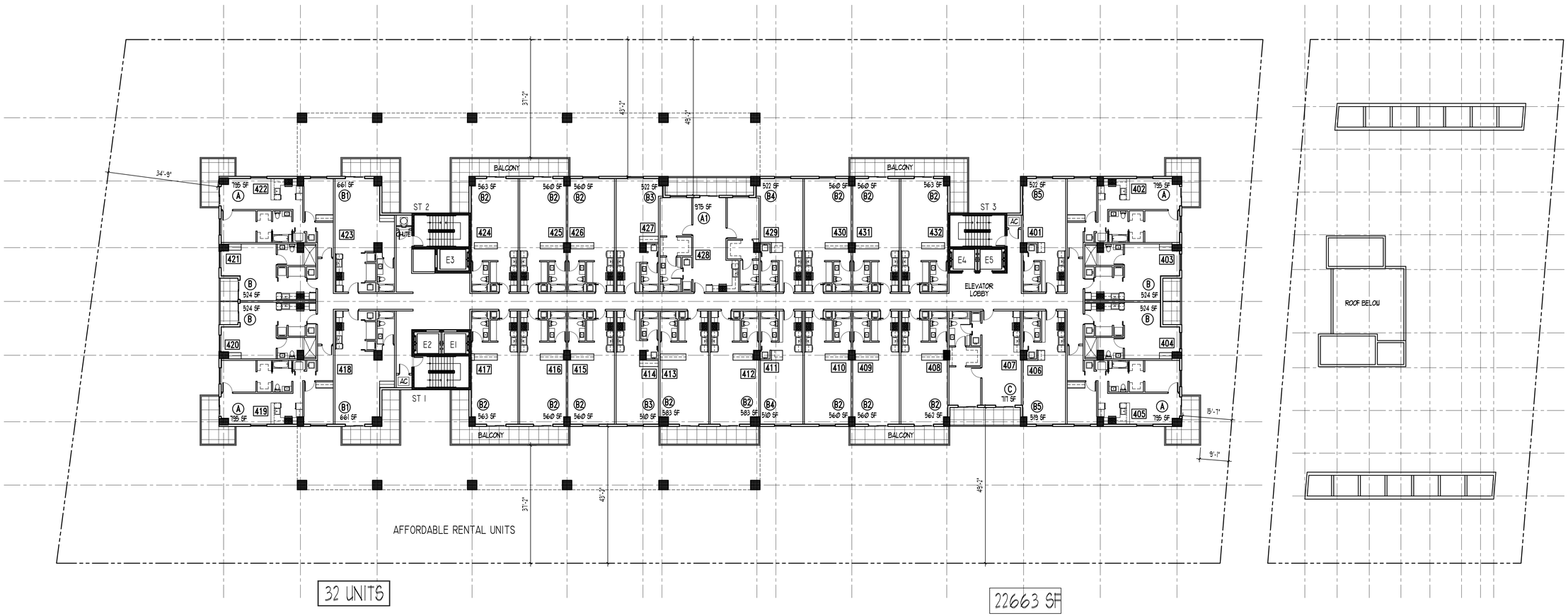
SHEET

A-3

SHEET 4 OF 36

Before bid set (permit set) Bidding Documents or pricing bids, verify the Owner or Architect presents responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Bidding Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and what is required by one item as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **FOURTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE

FOURTH FLOOR PLAN
SITE 1 AND 3

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.:	22107
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DRAWN BY:	TMS
CHECKED BY:	JBK

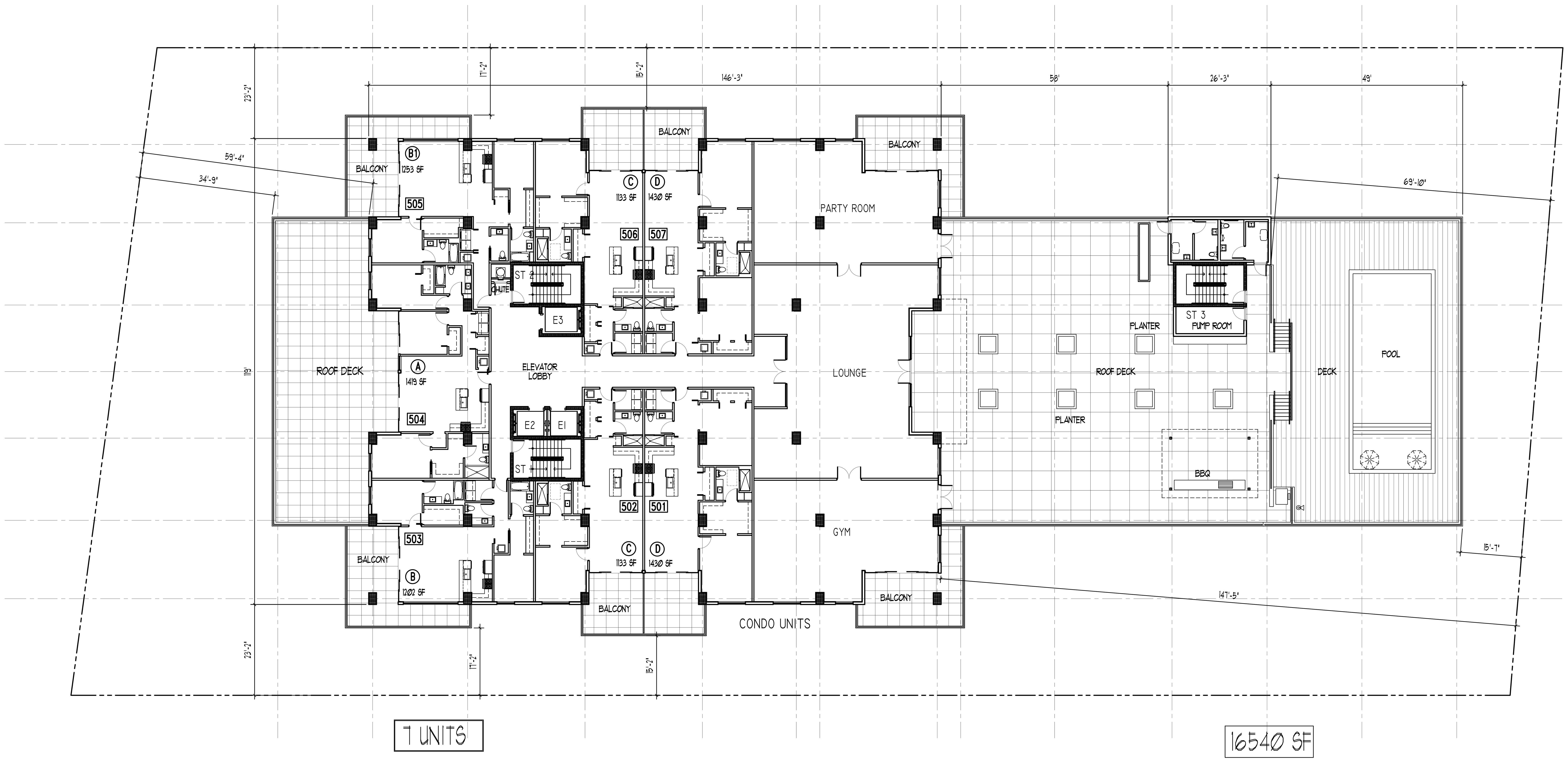
SHEET

A-4

SHEET 5 OF 36

Bidder shall ascertain and compare all the work by the Contractor. The Contractor Documents are preliminary, and which is required by one bidder is required by all, performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

Bidder shall ascertain and compare all Bidding Documents is prepared by Mr. Kaller the Owner or Architect assumes no responsibility for errors or inconsistencies resulting from the use of incomplete or preliminary sets of Bidding Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor.



1 **FIFTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
FIFTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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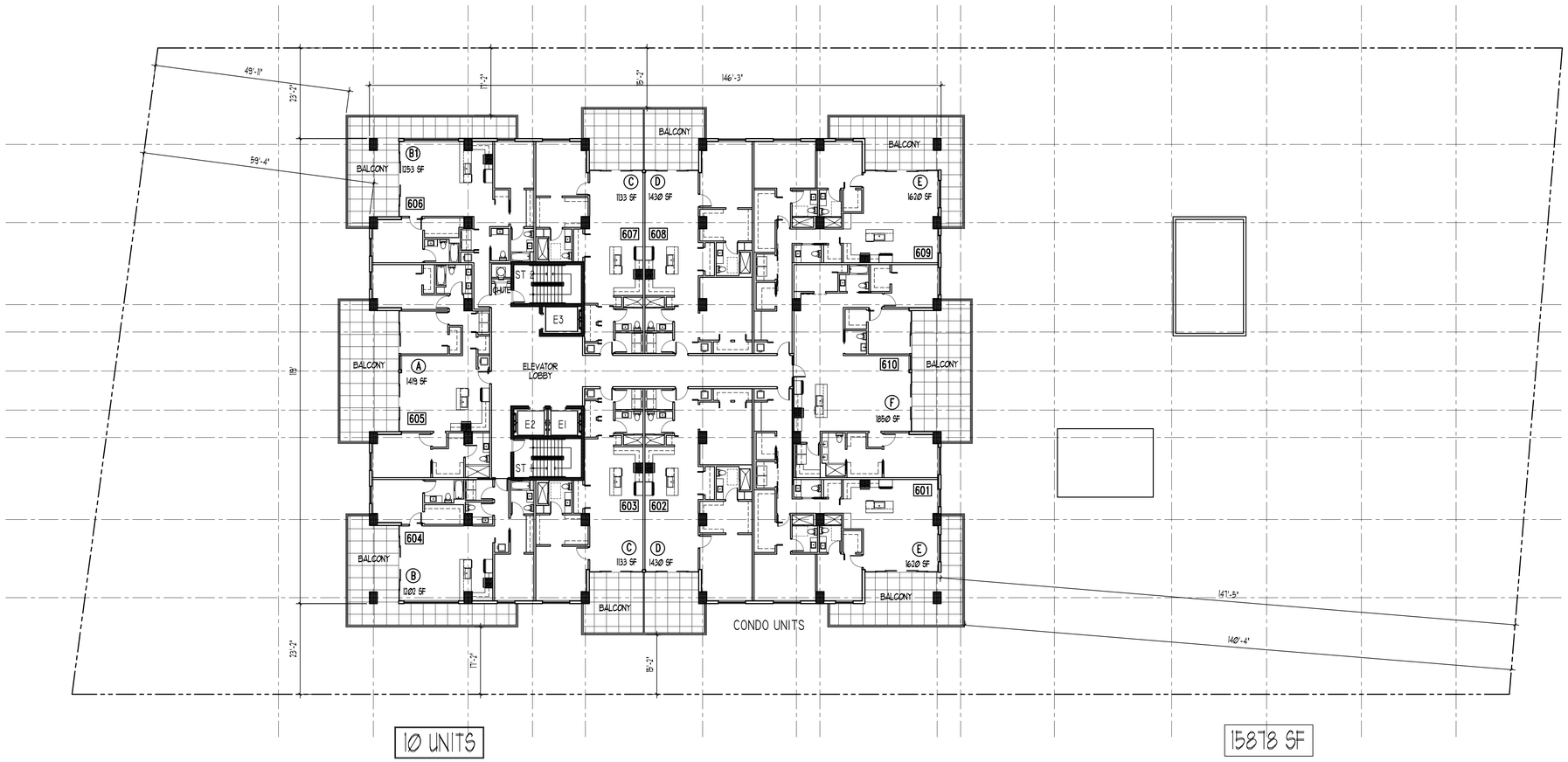
DATE: 2-27-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
A-5
SHEET 6 OF 36

Bidders shall use complete sets of Bidding Documents in preparing bids; neither the Owner nor Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complimentary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **SIXTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE

SIXTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.:	22107
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

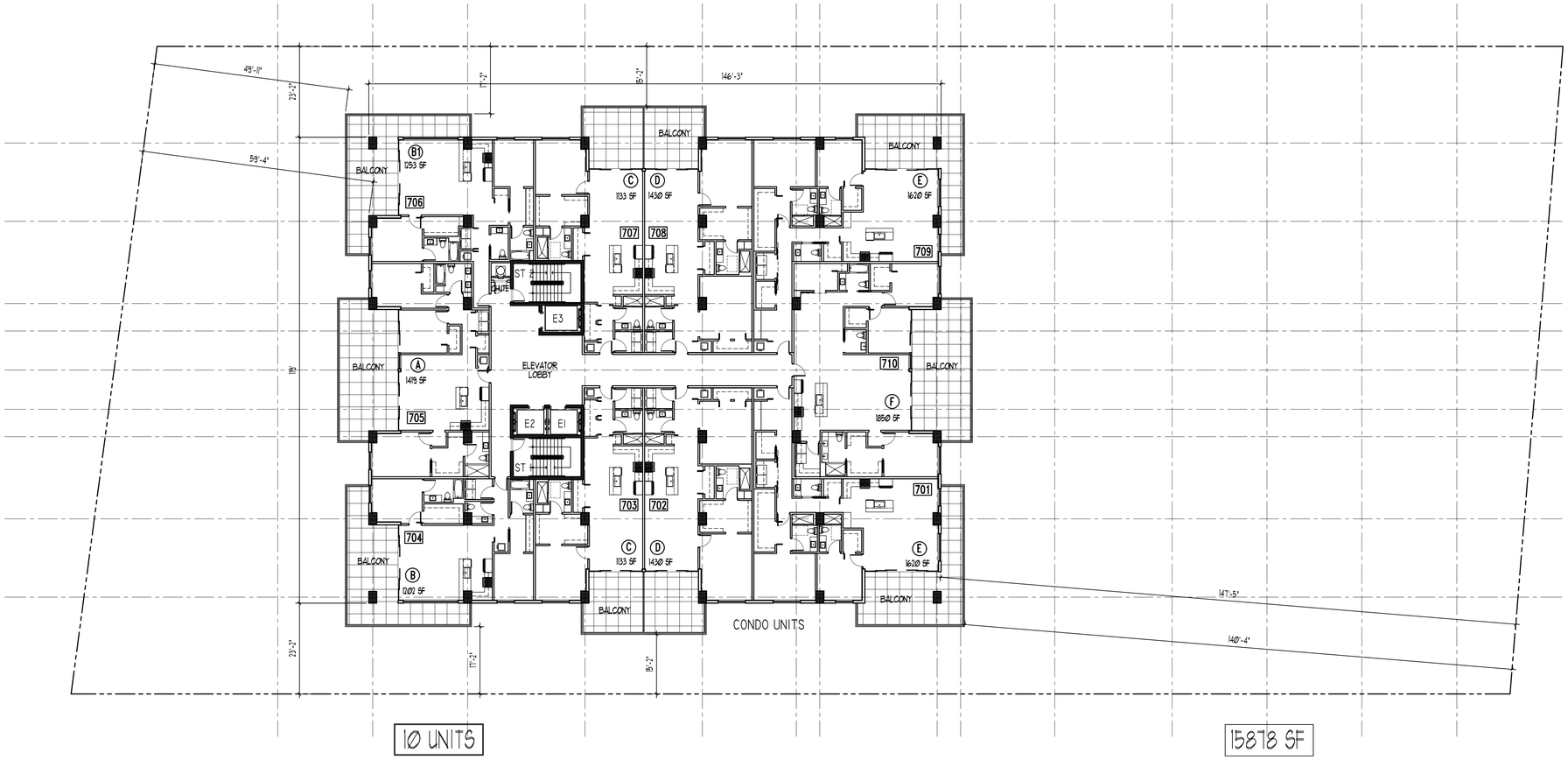
SHEET

A-6

SHEET 7 OF 36

Bidders shall visit and compare sets of Bidding Documents in properly DS, verify the Owner or Architect has been in responsibility, and which is inspected by one bidder as a bidding or as if required by all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

Before start of the work by the Contractor, The Contractor Documents are preliminary, and which is inspected by one bidder as a bidding or as if required by all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **SEVENTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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SHEET TITLE

SEVENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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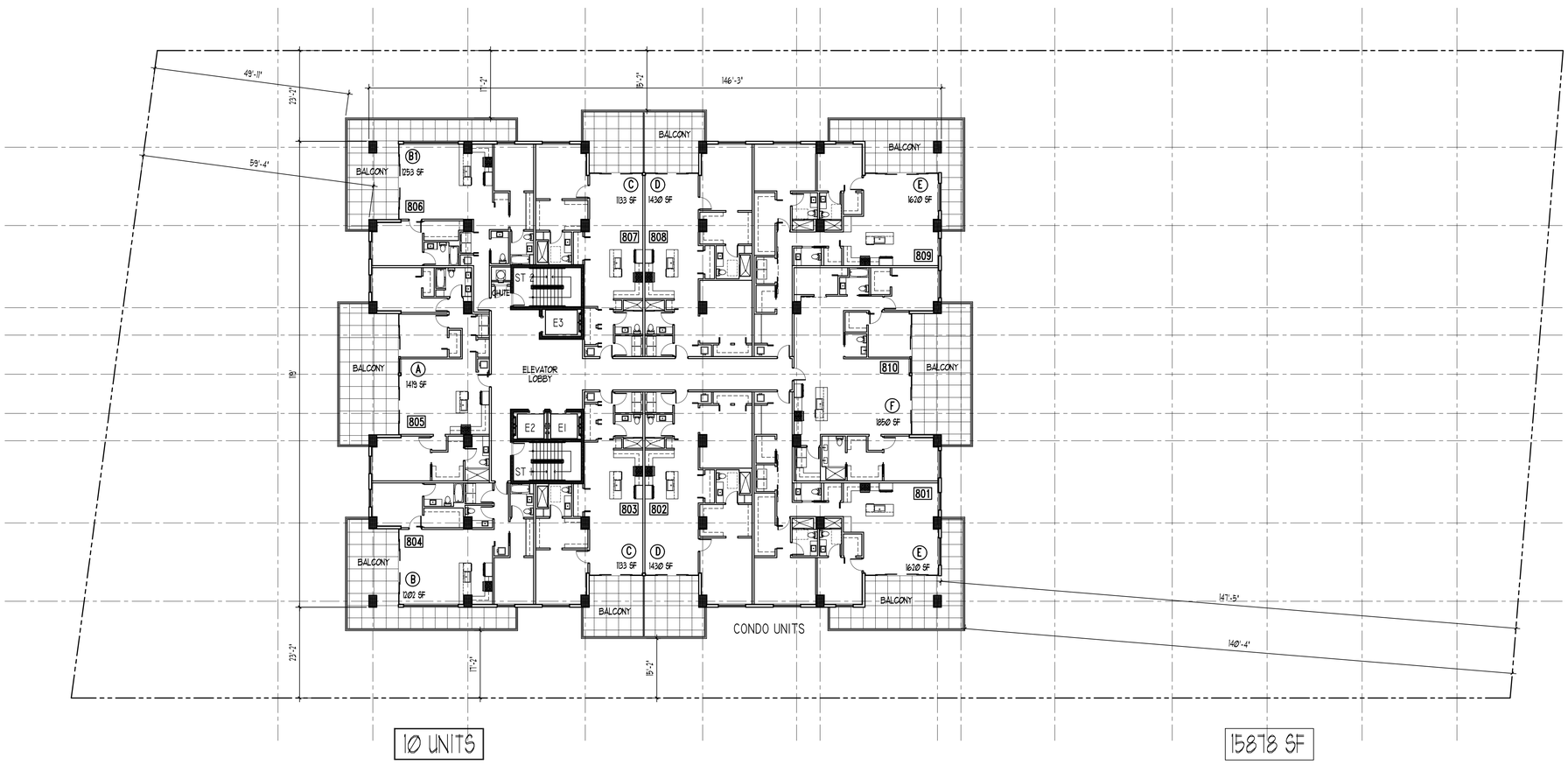
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET

A-7

Contractor shall use copies and/or Building Documents in preparing bids, relative to Owner or Architect shall be responsible for any errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor shall be required to verify the Contract Documents and is responsible prior to bid to bring necessary to produce the intended results.



1 **EIGHTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
EIGHTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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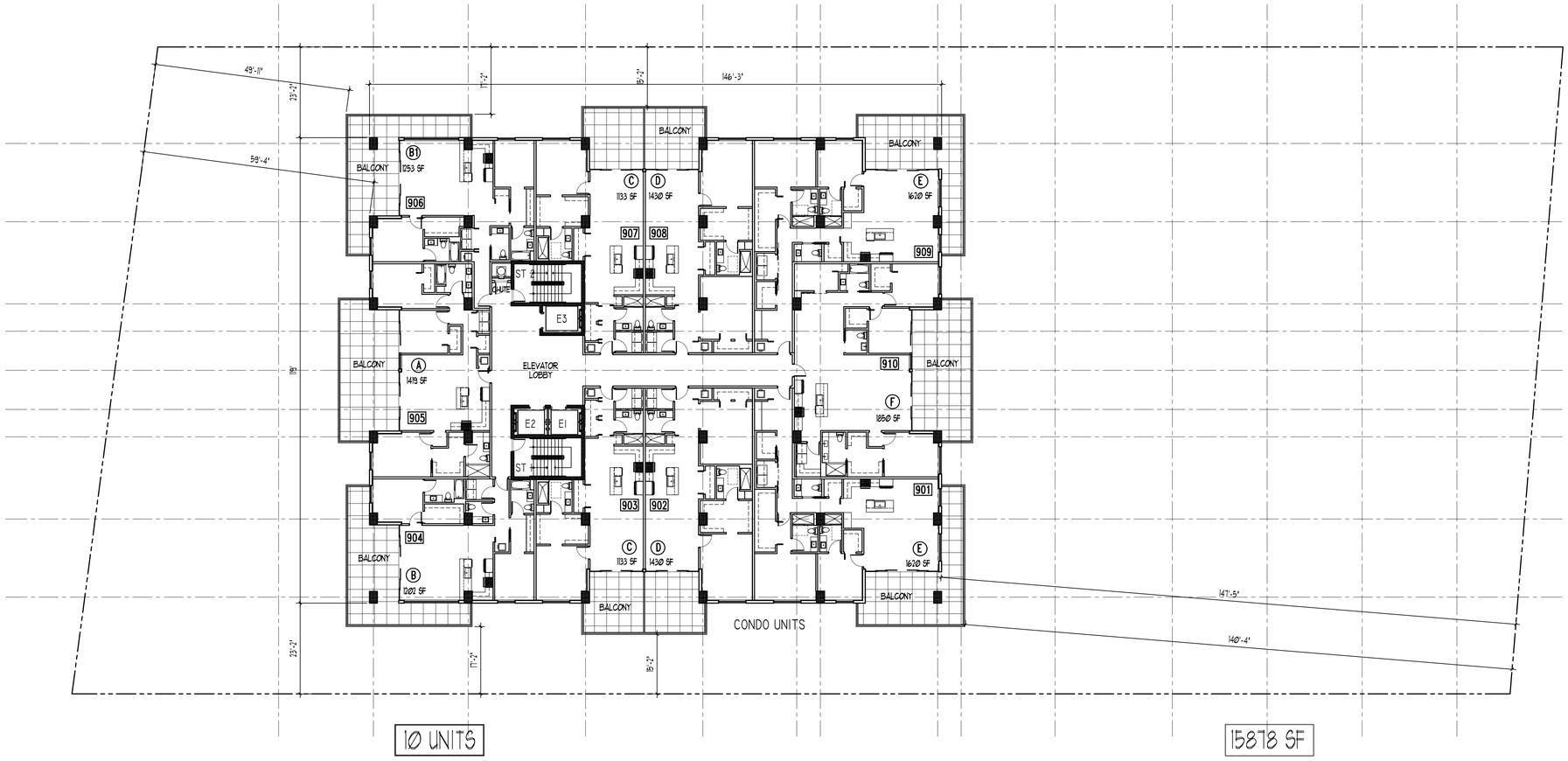
SHEET
A-8
SHEET 9 OF 36



1 **NINETH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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SHEET TITLE

NINETH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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DRAWN BY:	TMS
CHECKED BY:	JBK

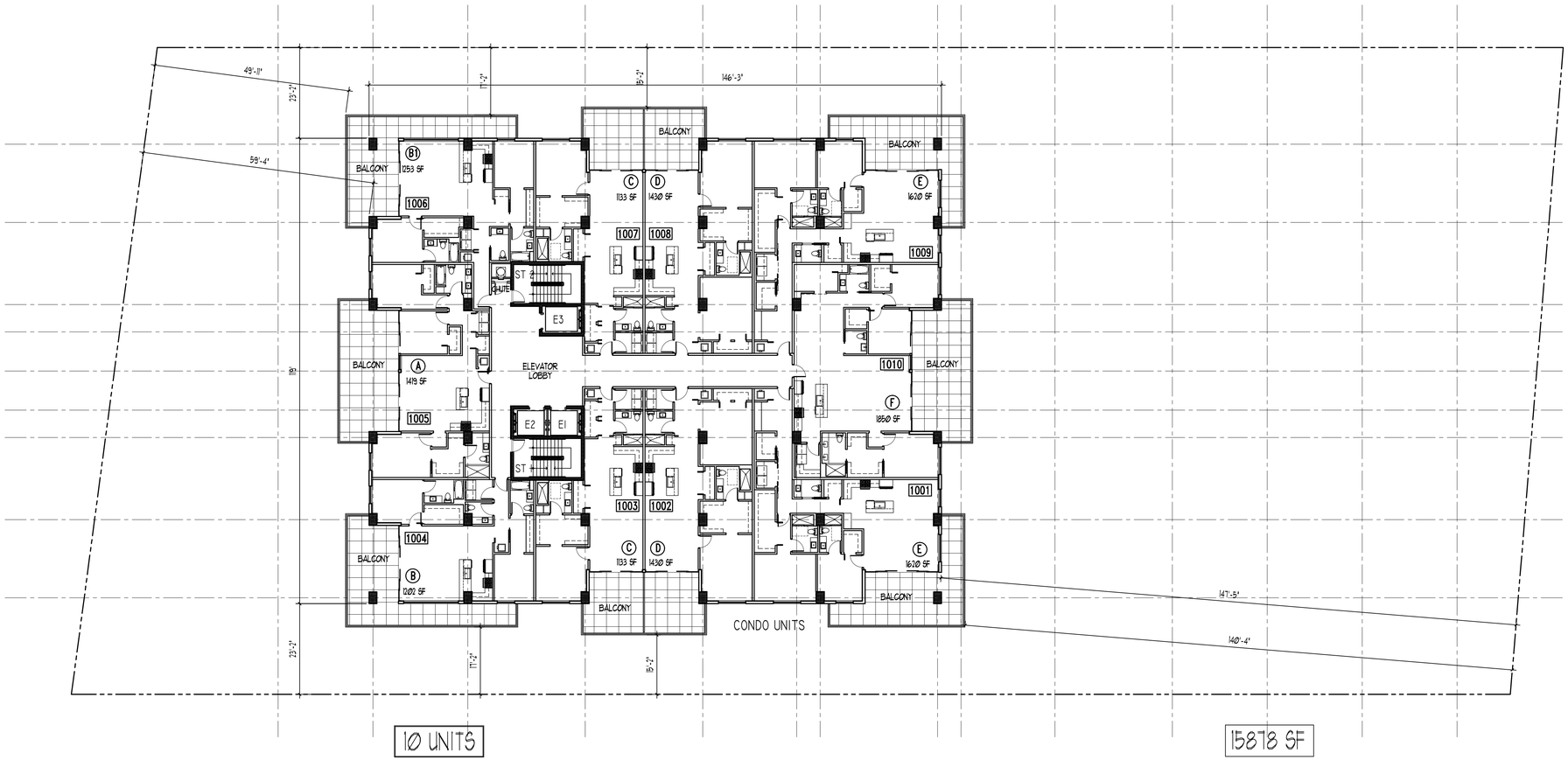
SHEET

A-9

SHEET 10 OF 36

Contractor to be responsible for the accuracy of the Contract Documents. The Contractor shall be required to notify the Architect of any errors, omissions or discrepancies in the Contract Documents and necessarily perform such work as may necessary to produce the intended results.

Contractor shall not proceed with the Contract Documents in preparing bids, whether the Owner or Architect presents incorrectly for errors or omissions relating to the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor shall be required to perform all work and furnish all materials necessary to complete the Building in a first class workmanlike manner.



1 **TENTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

KallerArchitecture

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SEAL

STATE OF FLORIDA
JOSEPH B. KALLER
R. A.
0009239
REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

OM RESIDENTIAL

MIXED USE

2007 &2115 N. OCEAN DR. 309, 333 &341 OKLAHOMA ST.
2012 S. SURF RD. 320 &324 McKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.
HOLLYWOOD FL 33019

SHEET TITLE

TENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.:	22107
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

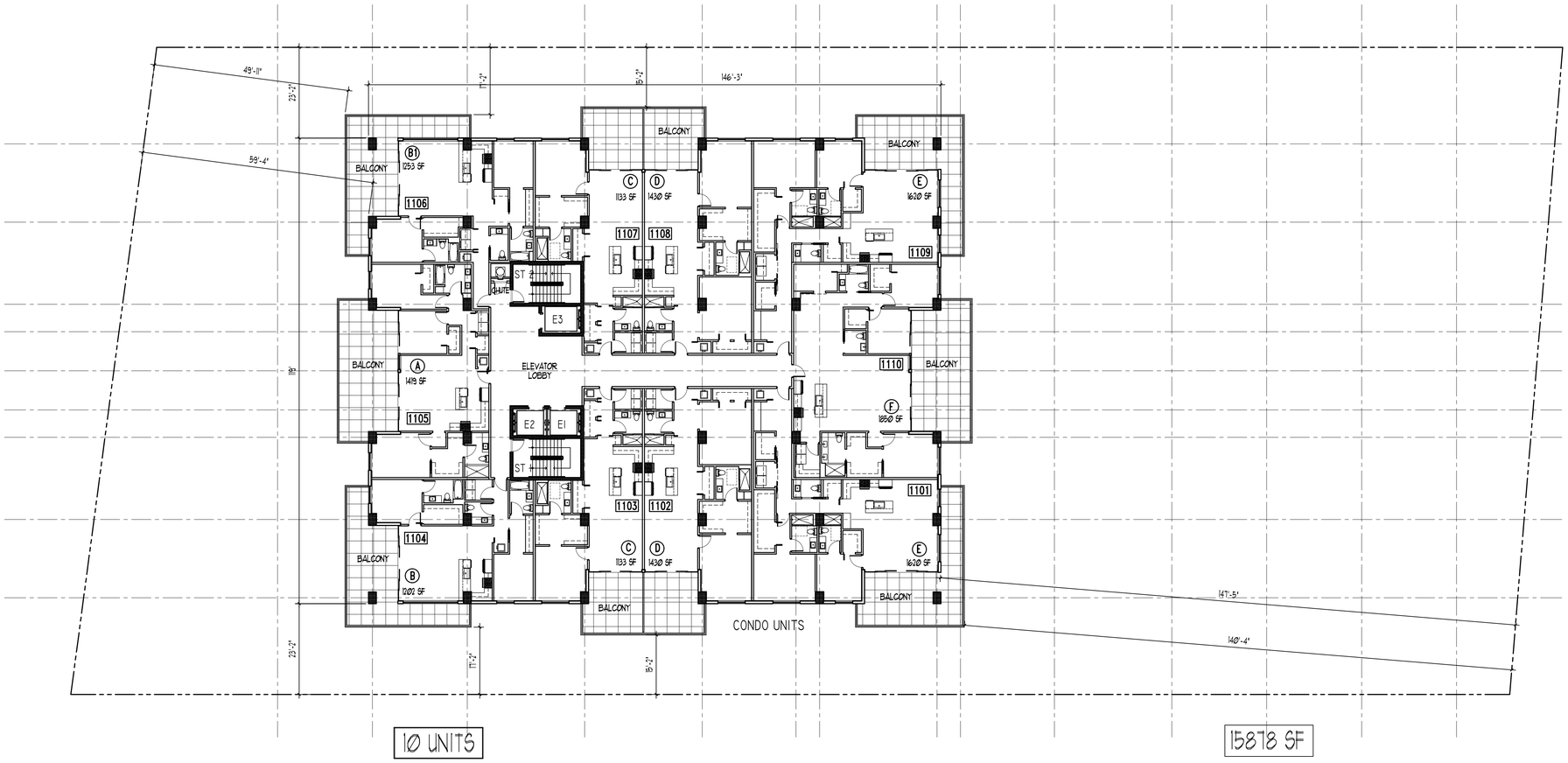
SHEET

A-10

SHEET 11 OF 36

Contractor shall be responsible for the work by the Contractor. The Contractor Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

Contractor shall use dimensions and Contract Documents in preparing Shop Drawings, Product Data and Samples for submittal to the Owner or Architect pursuant to the Contract Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **ELEVENTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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320, 322, 324 & 326 NEBRASKA ST.
HOLLYWOOD FL 33019

SHEET TITLE

ELEVENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1	-	-
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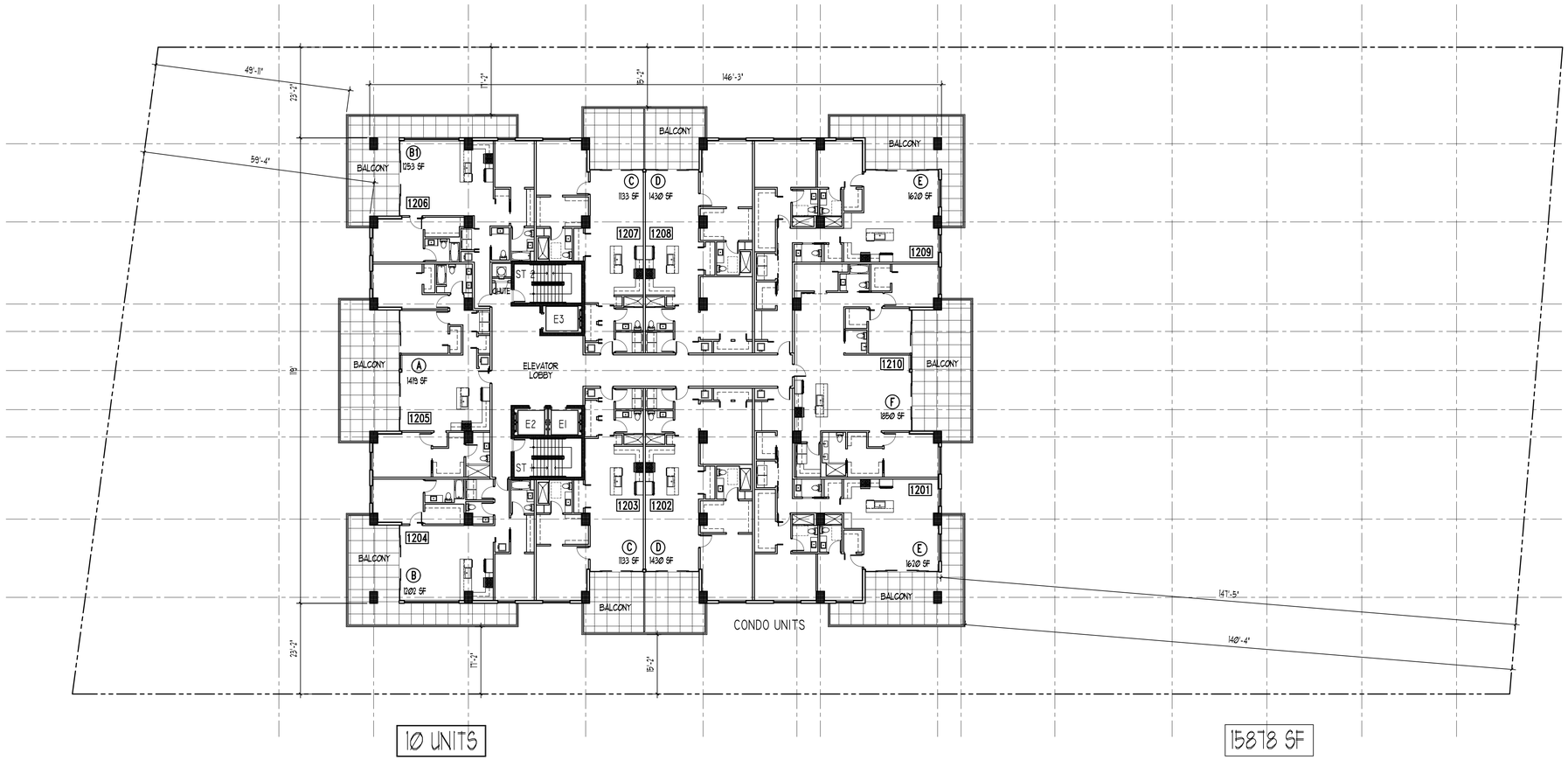
SHEET

A-11

SHEET 12 OF 36



1 **TWELVETH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

KA

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2012 S. SURF RD. 320 &324 McKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.
HOLLYWOOD FL 33019

SHEET TITLE

TWELVETH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1	-	-
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DATE:	2-27-23
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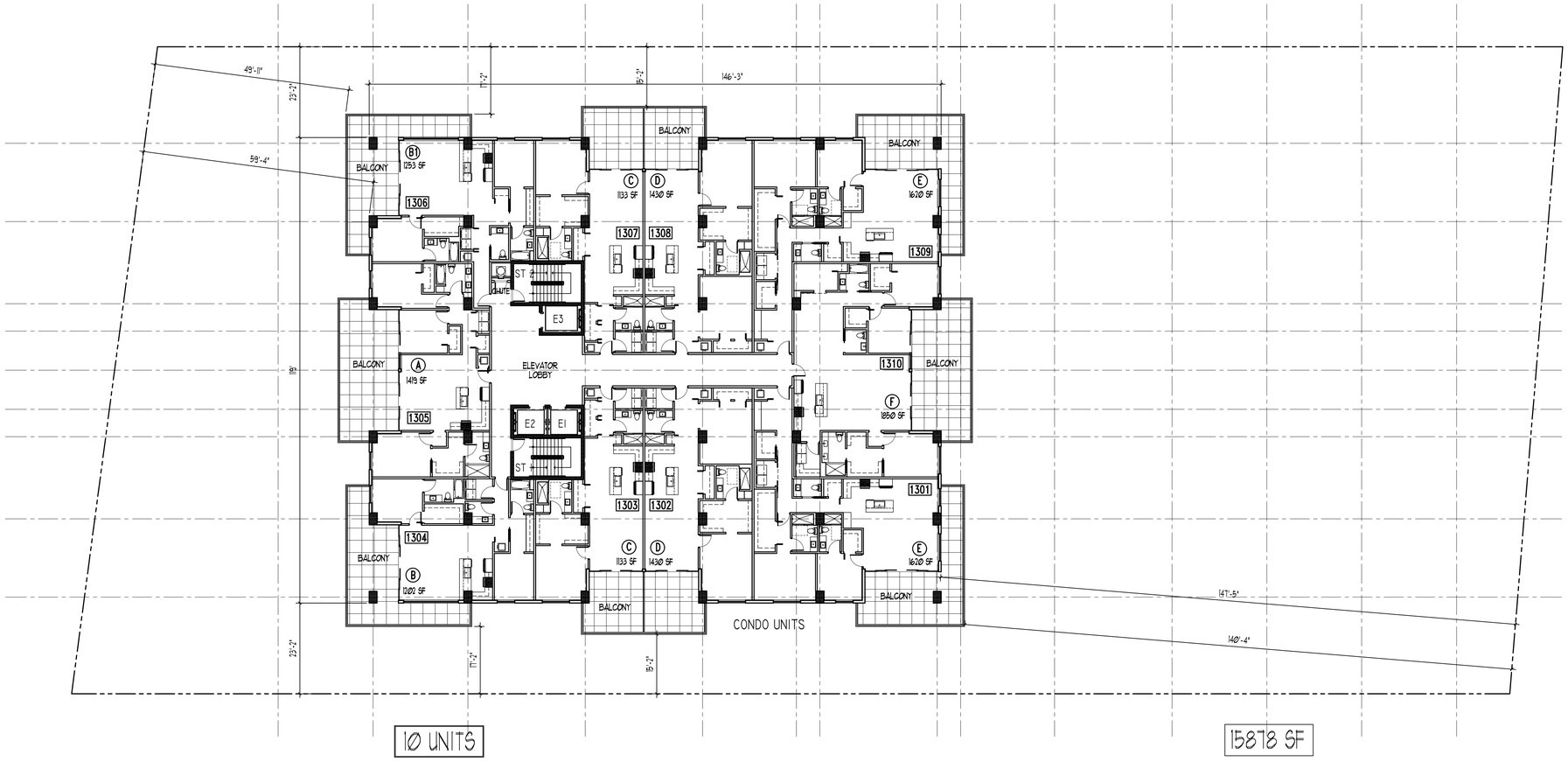
CHECKED BY:	JBK

SHEET

A-12

SHEET 13 OF 36

Before bid date provide sets of Bidding Documents to planning bids, include the Owner (or Architect) assume responsibility for errors or omissions resulting from the use of incomplete or preliminary sets of Bidding Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contract Documents are complementary, and what is required by one item is binding as if required by all. performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



10 UNITS

15878 SF

1 **THIRTEENTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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SHEET TITLE

THIRTEENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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DATE:	2-27-23
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CHECKED BY:	JBK

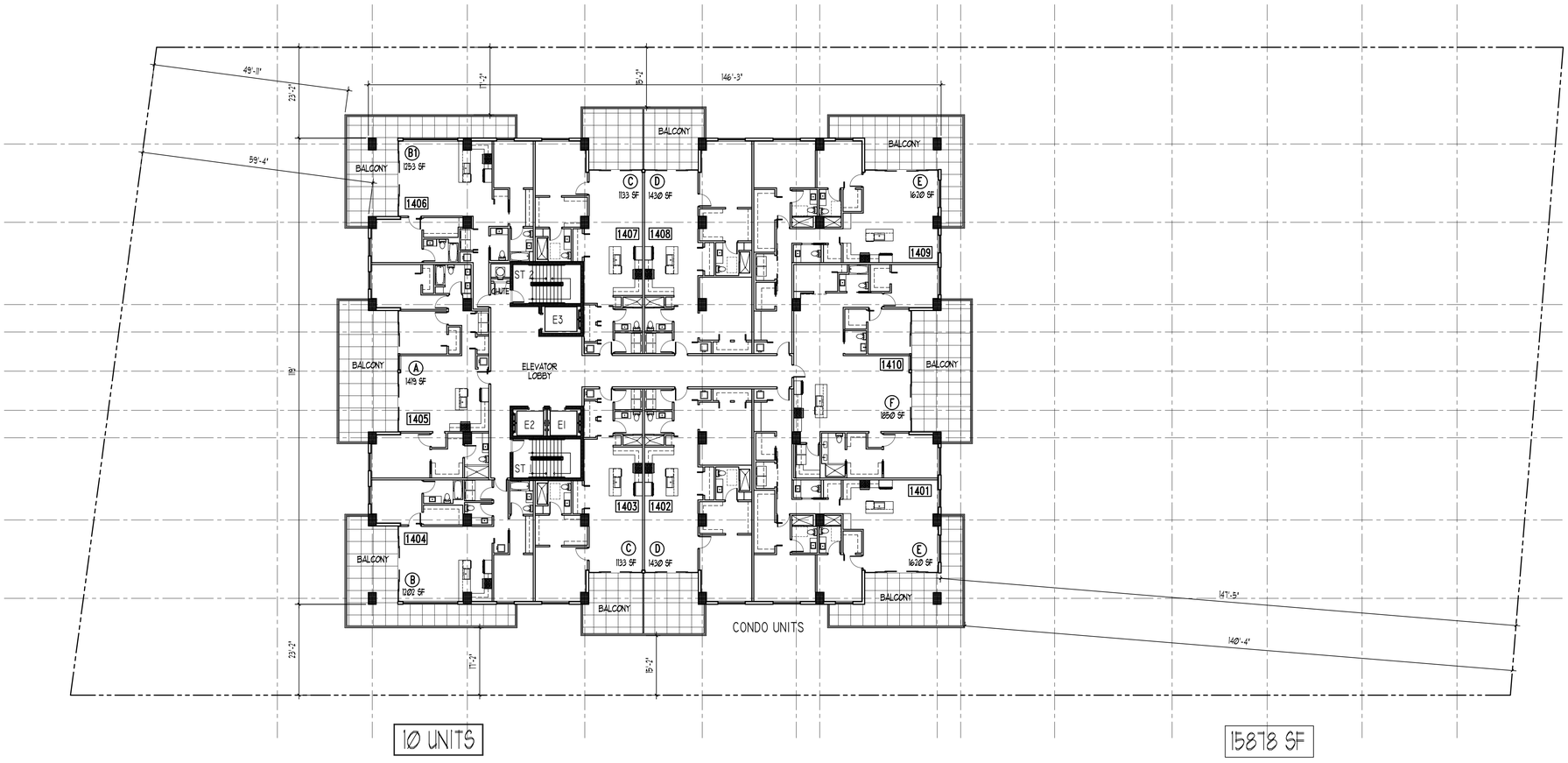
SHEET

A-13

SHEET 14 OF 36

Bidders shall use possible part of Bidding Documents prepared by Owner for Contract purposes, and shall be impacted by one bidder as bidding and if required by all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

Bidders shall not be responsible for errors or inconsistencies resulting from the use of incomplete or preliminary sets of Bidding Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor.



1 **FOURTEENTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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FOURTEENTH FLOOR PLAN
SITE 1

REVISIONS

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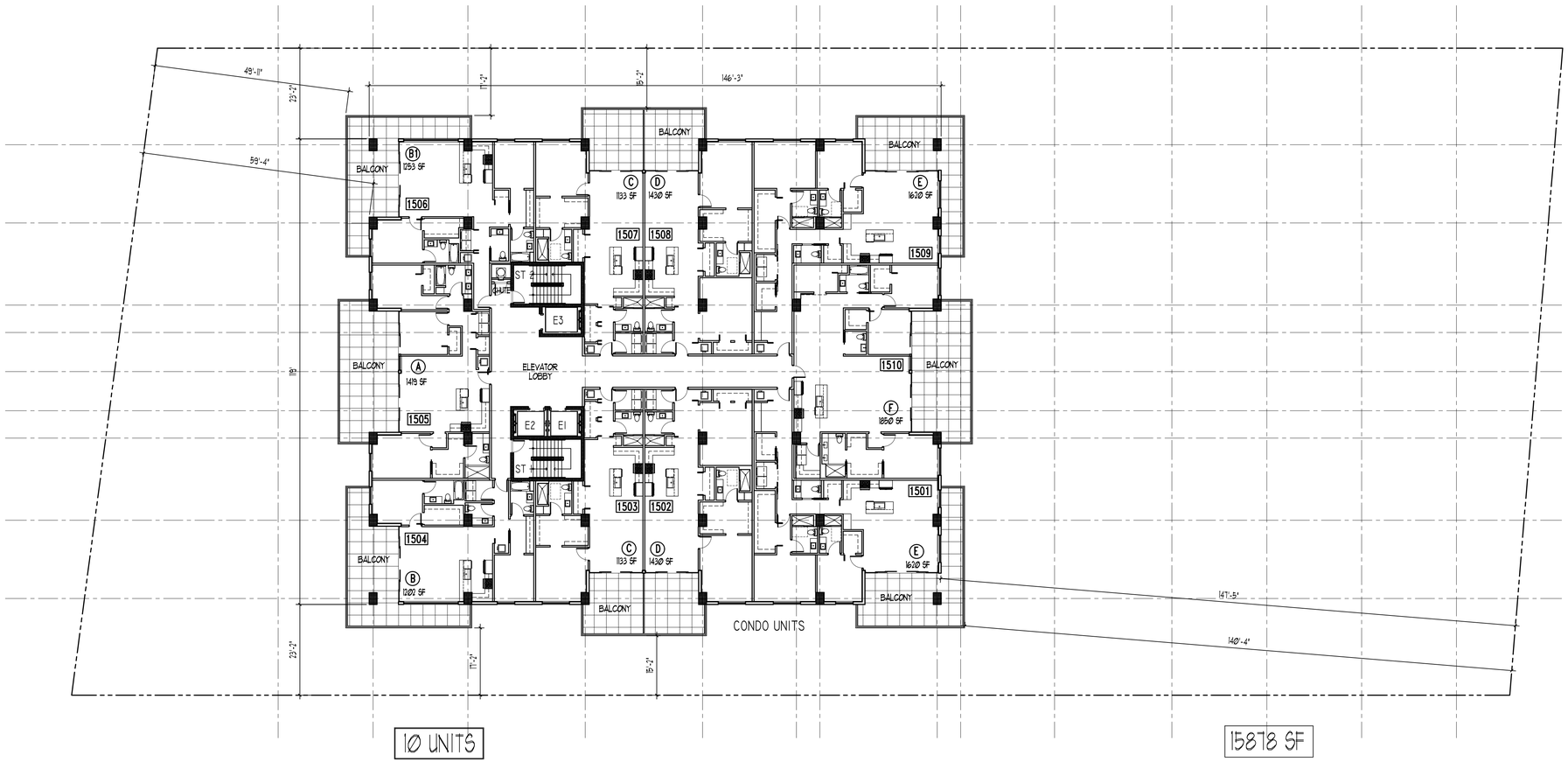
CHECKED BY:	JBK

SHEET

A-14

SHEET 15 OF 36

Notice shall be provided within 5 Working Documents of property to DS, Owner to Owner and Architect assuming responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The Intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and what is required by one item is binding as if required by all. Performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



10 UNITS

15878 SF

1 **FIFTEENTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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FLORIDA R.A. # 0009239

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SHEET TITLE

FIFTEENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

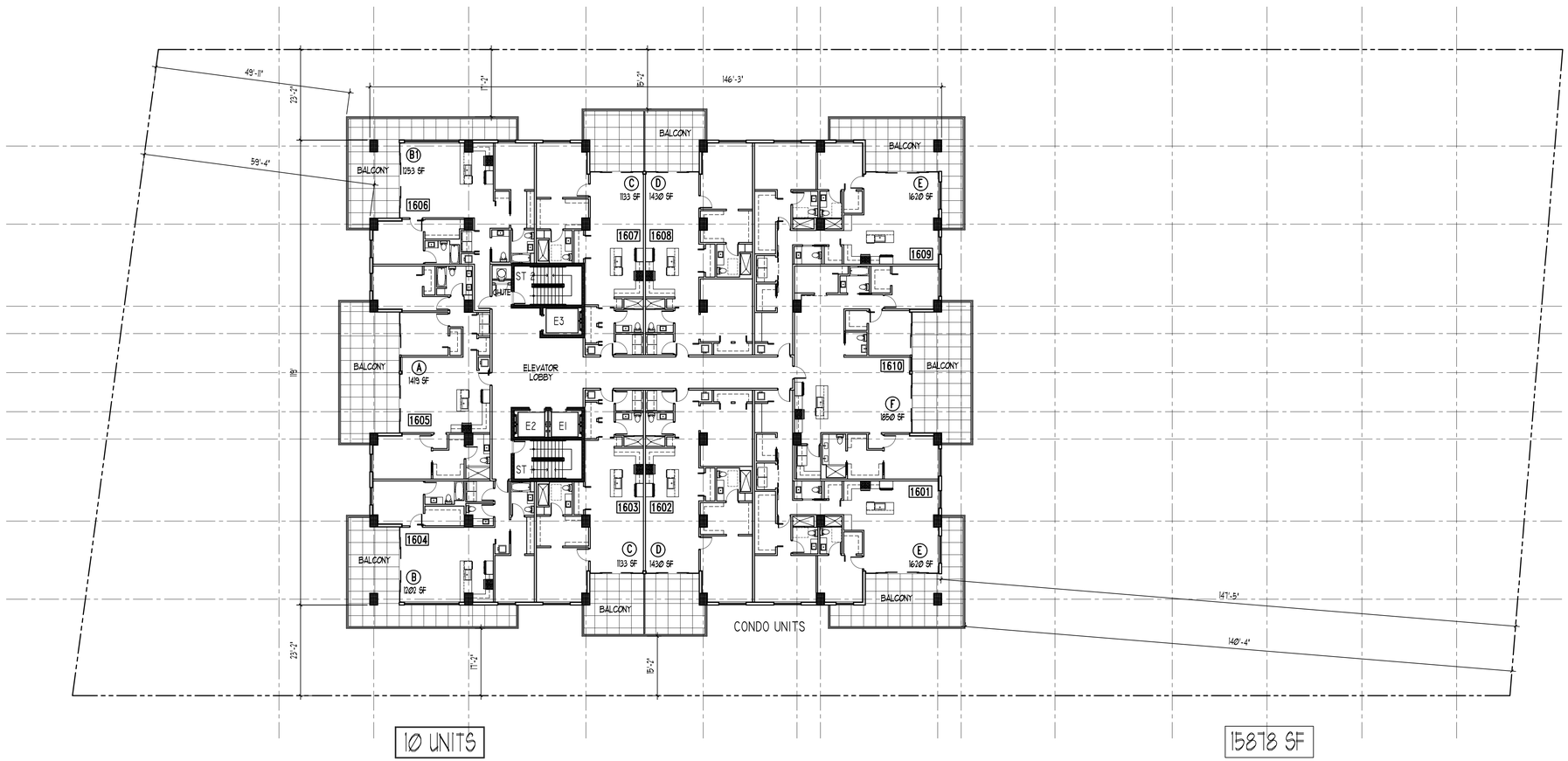
SHEET

A-15

SHEET 16 OF 36

Contractor is solely responsible for the work by the Contractor. The Contractor Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

Contract and other documents prepared by Kaller Architecture, hereinafter the Contract Documents, for the use of the Owner for Architect's services to the Owner under the Contract Documents are instruments of service in respect of the Architect's profession. The Contract Documents include drawings and specifications that are instruments of service in respect of the architectural profession. The Contract Documents are the property of the Architect regardless of the status of the project. The Owner and Contractor may use the Contract Documents for the execution and completion of the work by the Contractor and others as may be required to perform work on the project. The Contract Documents may not be used for other projects or extensions to the project except by agreement in writing between the Owner and Architect. Written dimensions should take precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. Any discrepancies should be reported to the Architect before proceeding with the work.



1 **SIXTEENTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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R. A. 0009239
REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
OM RESIDENTIAL
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SHEET TITLE
SIXTEENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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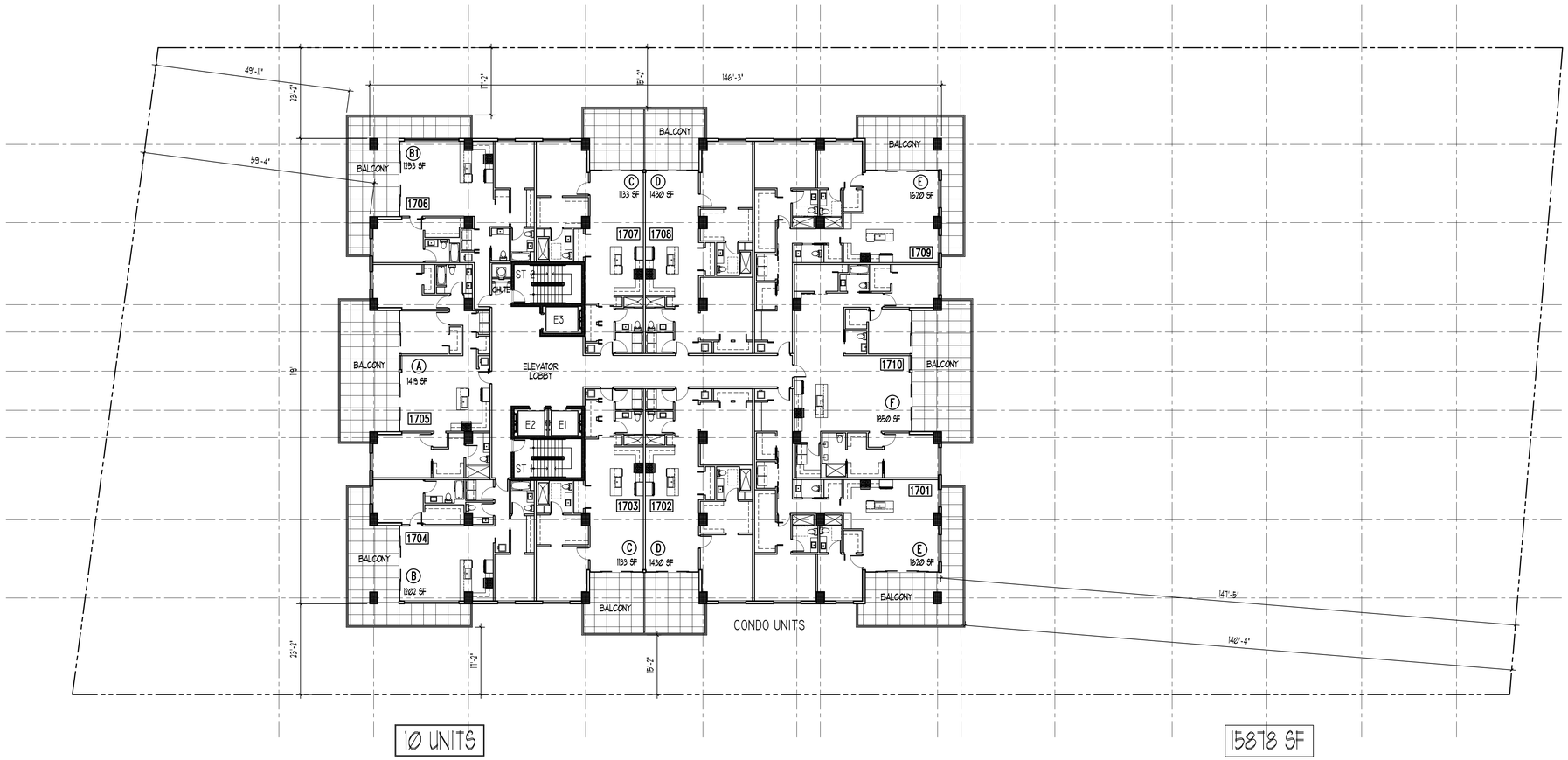
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET

A-16

SHEET 17 OF 36

Bidders shall visit jobsite and if Bidding Documents is a drawing set, shall be the Owner's or Architect's responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Bidding Documents. The sole of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and what is required by one shall be as binding as if required by all. performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **SEVENTEENTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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JOSEPH B. KALLER
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0009239
REGISTERED ARCHITECT

JOSEPH B. KALLER
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PROJECT TITLE

OM RESIDENTIAL

MIXED USE

2007 &2115 N. OCEAN DR. 309, 333 &341 OKLAHOMA ST.
2012 S. SURF RD. 320 &324 McKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.
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SHEET TITLE

SEVENTEENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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DATE:	2-27-23
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CHECKED BY:	JBK

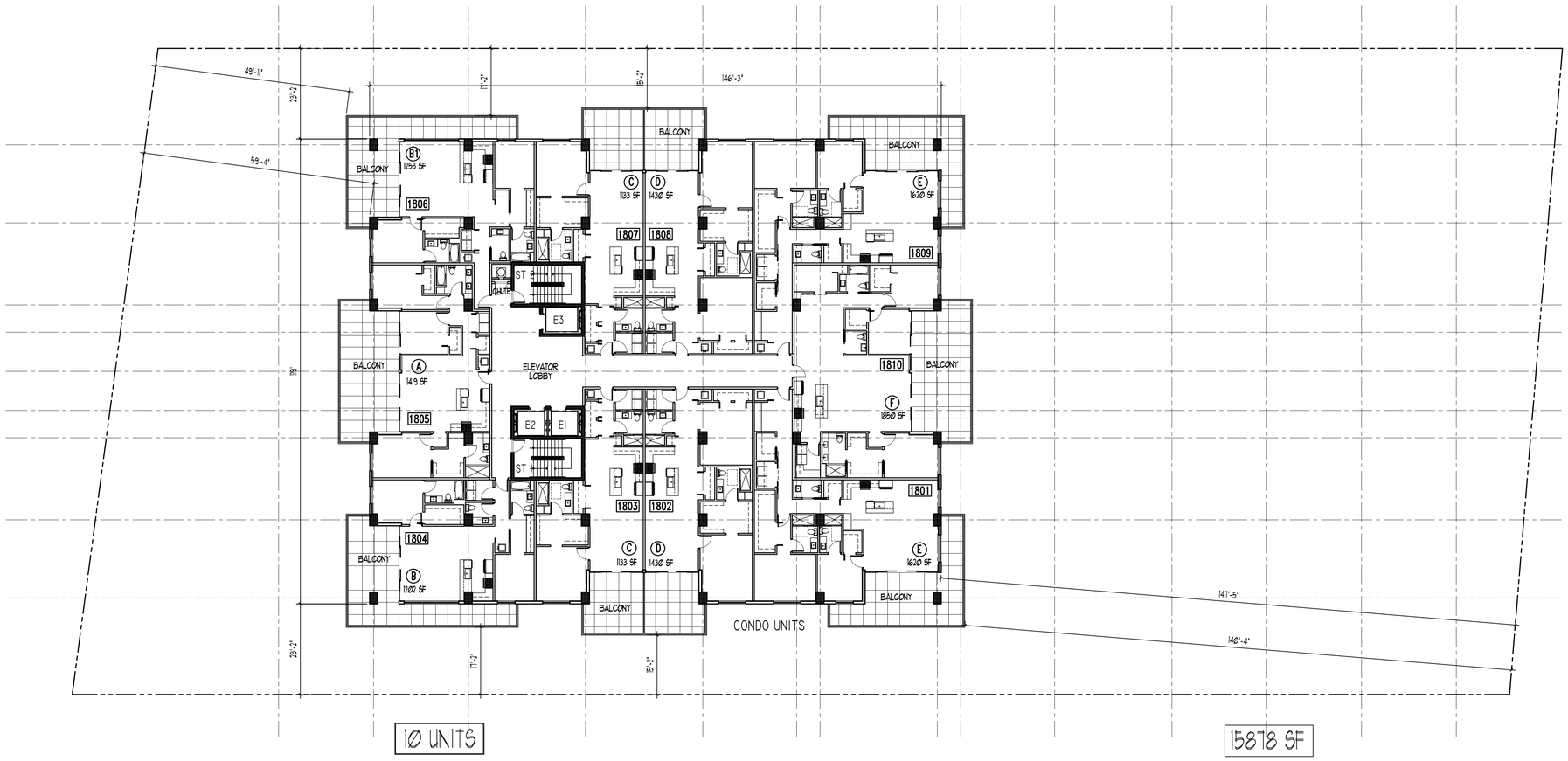
SHEET

A-17

SHEET 18 OF 36

Contractor shall verify all dimensions and conditions of the work to the Contract Documents to include all items necessary for the proper execution and completion of the work to the Contract Documents. The intent of the Contract Documents is to include all labor, materials, equipment and incidentally reasonably inferable from them as being necessary to produce the intended results.

Contractor shall use dimensions and/or Building Documents in preparing bids, refer to Owner or Architect for clarification regarding form the use of incomplete or preliminary sets of Building Documents. The Contractor shall be required to be responsible for all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **EIGHTEENTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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FLORIDA R.A. # 0009239

PROJECT TITLE

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SHEET TITLE

EIGHTEENTH FLOOR PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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DATE:	2-27-23
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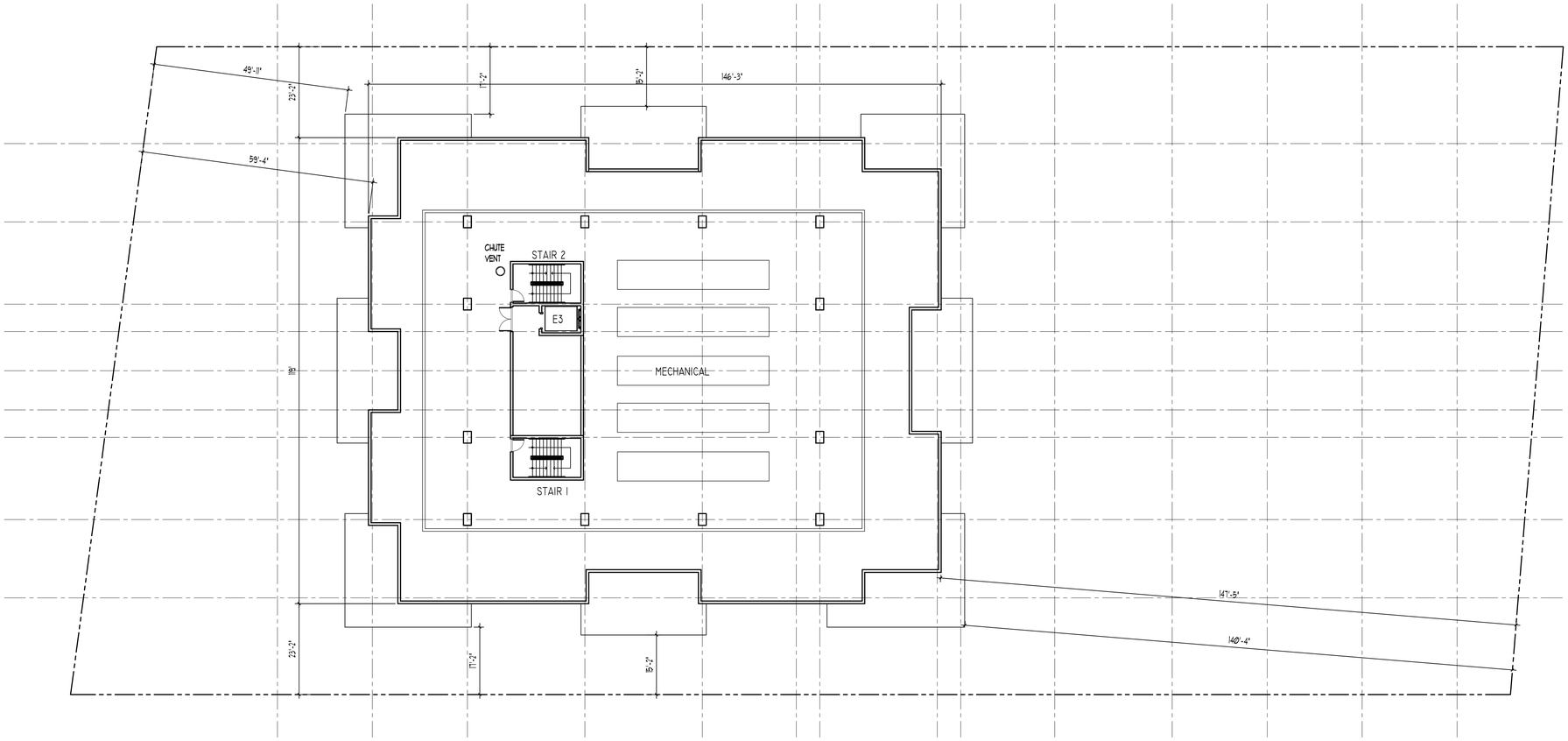
SHEET

A-18

SHEET 19 OF 36

Before start job contractor shall verify Existing Documents & property line. Neither the Owner nor Architect assume responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The Contractor shall be required to be in full compliance with the Contract Documents and responsible for the proper execution and completion of the work to the satisfaction of the owner. The Contractor Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to produce the intended results.



1 **ROOF PLAN**
SCALE: 1/16"= 1'-0"

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STATE OF FLORIDA
JOSEPH B. KALLER
R. A.
0009239
REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

OM RESIDENTIAL

MIXED USE

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SHEET TITLE

ROOF PLAN
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.:	22107
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET

A-19

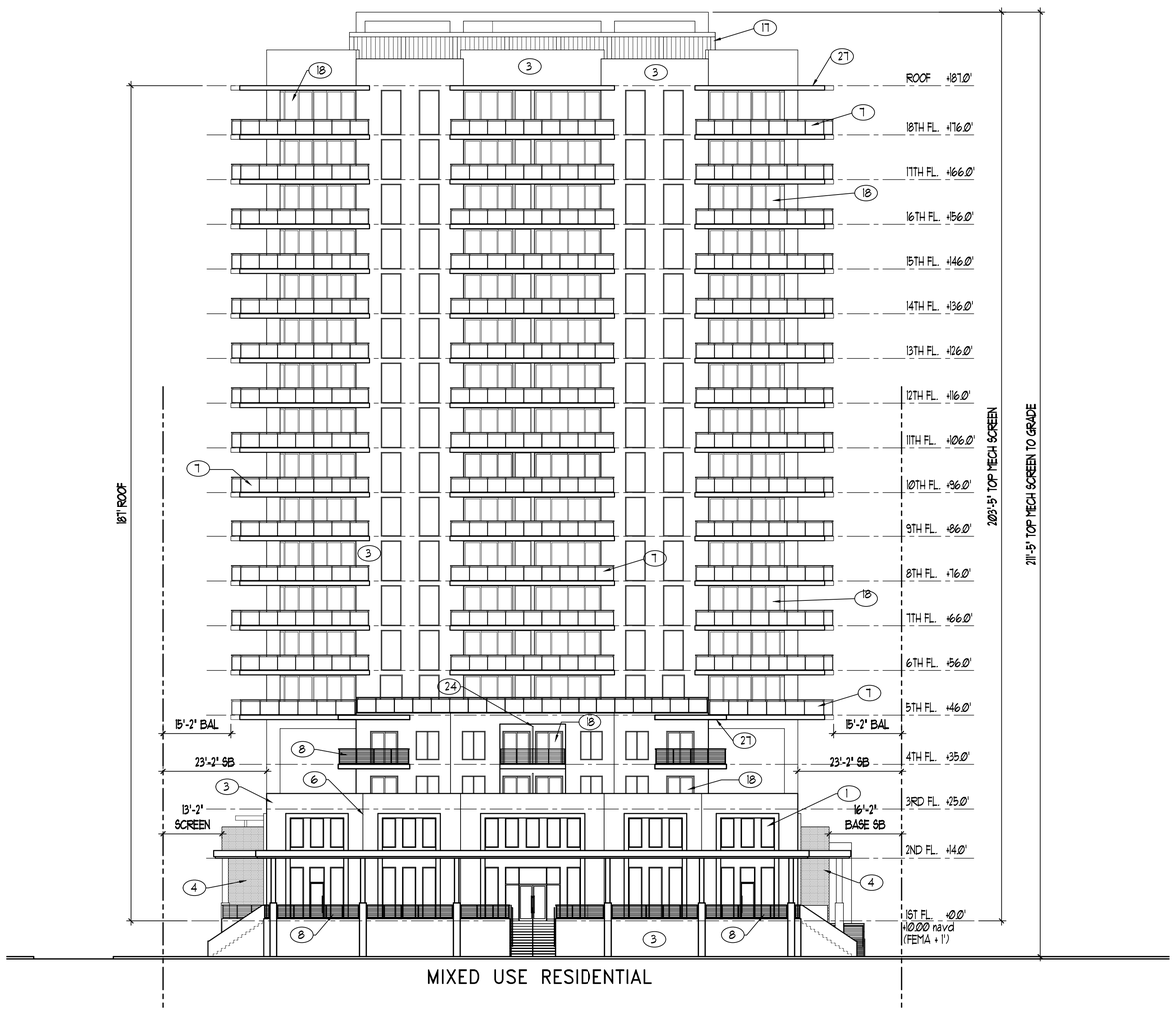
SHEET 20 OF 36

Contractor and subcontractors of the work by the Contractor. The Contractor Documents are proprietary, and what is required by one bidder is binding on it. Required by all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

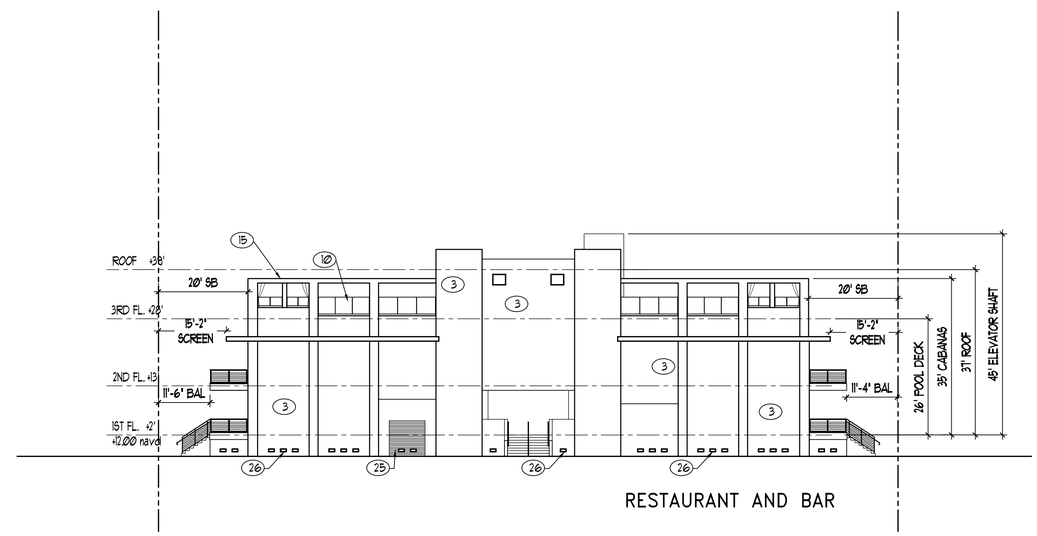
Contract plans and specifications (Contract Documents) or Bidding Documents, whether the Owner or Architect prepares them, are instruments of service in respect of the project. They remain the property of the Architect. They are to be used only with respect to this project and are not to be used by the Owner or others on extensions of the project or on any other project without written agreement specifically covering such use or reuse and providing for appropriate compensation to the Architect.

NOTE:
PROPERTY LINES ARE NOT SHOWN ON THE NORTH AND SOUTH ELEVATION DRAWINGS BECAUSE THE LINES ARE NOT PERPENDICULAR TO THE R.O.W. AND THEREFORE CANNOT BE ACURATELY REPRESENTED IN THE ILLUSTRATION.

1. TURTLE FRIENDLY IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. WALL IVY ON TEXTURE STUCCO WALL FINISH
5. PRECAST CONCRETE EMBOSSED PANEL
6. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
7. 42" HIGH MIN. POWDER COATED GLASS AND ALUMINUM GUARD RAILING
8. 42" HIGH MIN. POWDER COATED ALUMINUM PICKET GUARD RAIL
9. 42" HIGH MIN. POWDER COATED METAL GUARD RAIL
10. 48" HIGH MIN. FRAMELESS IMPACT RESISTANT GLASS WIND SCREEN
11. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
12. POWDER COATED VERTICAL METAL SLAT SCREEN
13. CONCRETE COLUMN
14. POWDER COATED GALVANIZED STEEL COLUMN
15. CONCRETE COLUMNS WITH POWDER COATED GALVANIZED METAL TRELLIS
16. APPROVED MECHANICAL EQUIPTMENT SCREEN
17. PIN MOUNTED METAL SIGN
18. TURTLE FRIENDLY IMPACT RESISTANT WINDOWS AND SLIDING DOORS
19. TURTLE FRIENDLY IMPACT RESISTANT GLASS AND METAL SECTIONAL RAIL AND STILE DOOR
20. TURTLE FRIENDLY IMPACT RESISTANT FOLDING GLASS DOORS
21. POWDER COATED GALVANIZED ROLL UP GRILLE GATE
22. EXTERIOR TURTLE LIGHTING
23. LANDSCAPE BERM
24. APPROVED BALCONY DIVIDERS
25. POWDER COATED GALVANIZED METAL ROLL UP DOOR
26. FLOOD VENTS
27. POWDER COATED GALVANIZED METAL GATE
28. IMPACT RESISTANT POWDER COATED METAL ROLL UP DOOR



N. OCEAN DRIVE



N. SURF ROAD

1 **WEST ELEVATIONS**
SCALE: 1/16"= 1'-0"

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HOLLYWOOD FL 33019

SHEET TITLE
ELEVATIONS
SITE 1

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.: 22107
DATE: 2-27-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
A-20

Bidders shall use complete set of Bidding Documents in preparing bids. Neither the Owner nor Architect assumes responsibility for errors or omissions resulting from the use of incomplete or preliminary sets of Bidding Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor is responsible for all dimensions and conditions at the job site and is responsible for all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

NOTE:
PROPERTY LINES ARE NOT SHOWN ON THE NORTH AND SOUTH ELEVATION DRAWINGS BECAUSE THE LINES ARE NOT PERPENDICULAR TO THE R.O.W. AND THEREFORE CANNOT BE ACURATELY REPRESENTED IN THE ILLUSTRATION.

1. TURTLE FRIENDLY IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. WALL IVY ON TEXTURE STUCCO WALL FINISH
5. PRECAST CONCRETE EMBOSSED PANEL
6. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
7. 42" HIGH MIN. POWDER COATED GLASS AND ALUMINUM GUARD RAILING
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14. POWDER COATED GALVANIZED STEEL COLUMN
15. CONCRETE COLUMNS WITH POWDER COATED GALVANIZED METAL TRELLIS
16. APPROVED MECHANICAL EQUIPTMENT SCREEN
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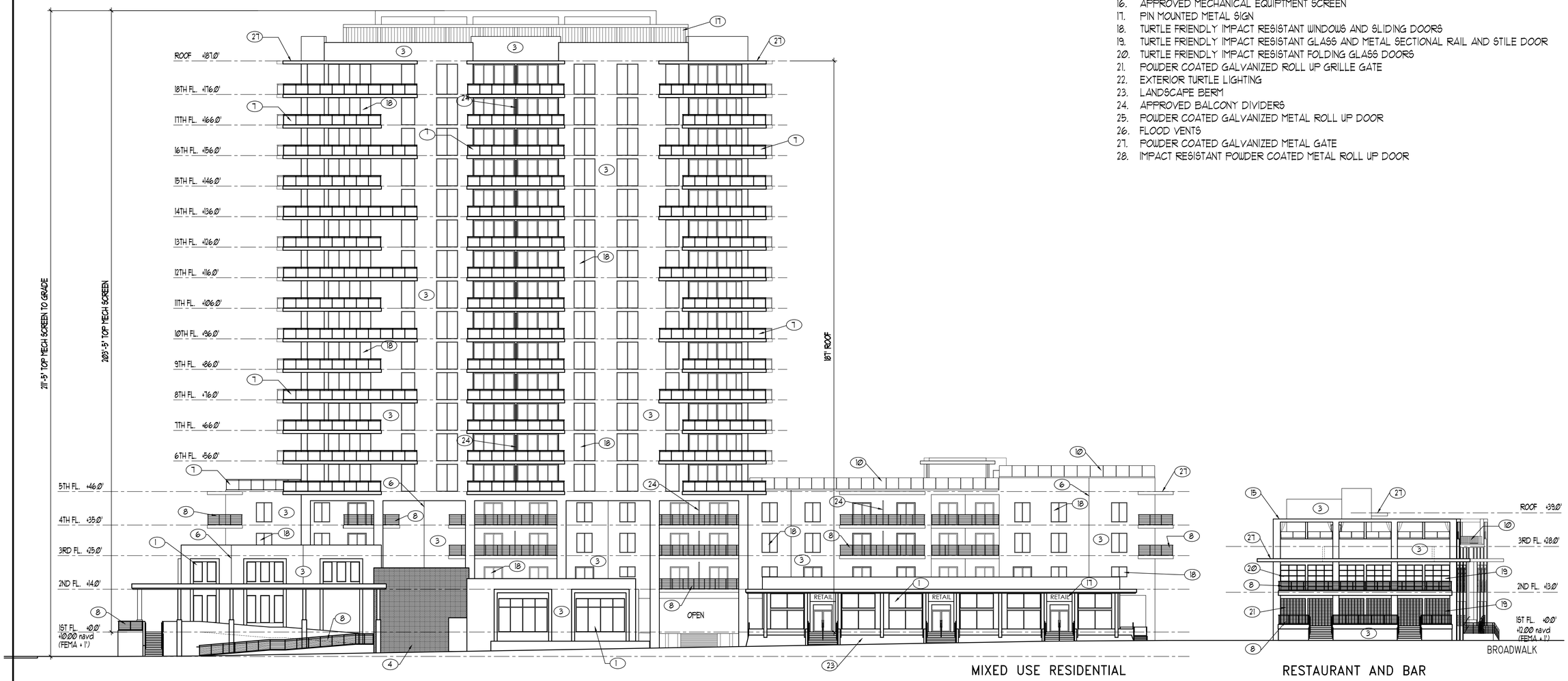

OKLAHOMA ST

1 **SOUTH ELEVATION**
SCALE: 1/16"= 1'-0"

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PROJECT TITLE
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MIXED USE
2007 &2115 N. OCEAN DR. 309, 333 &341 OKLAHOMA ST.
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320, 322, 324 & 326 NEBRASKA ST.
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SHEET TITLE
ELEVATIONS
SITE 1 AND 3

REVISIONS
No. DATE DESCRIPTION
1

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DATE: 2-27-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
A-21
SHEET 22 OF 36

Bidders shall use complete sets of Bidding Documents in preparing bids. Neither the Owner nor Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Bidding Documents. The Contractor shall be responsible for the proper association and coordination of the work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

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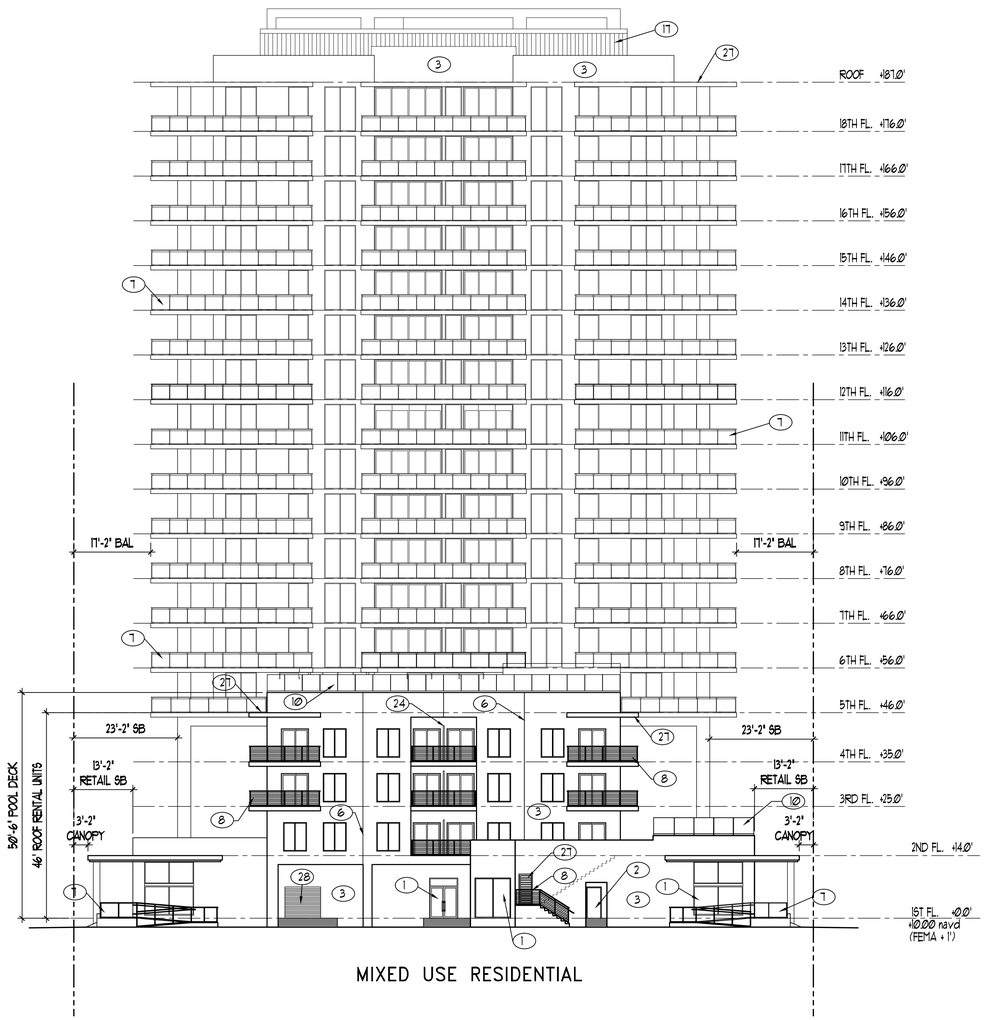

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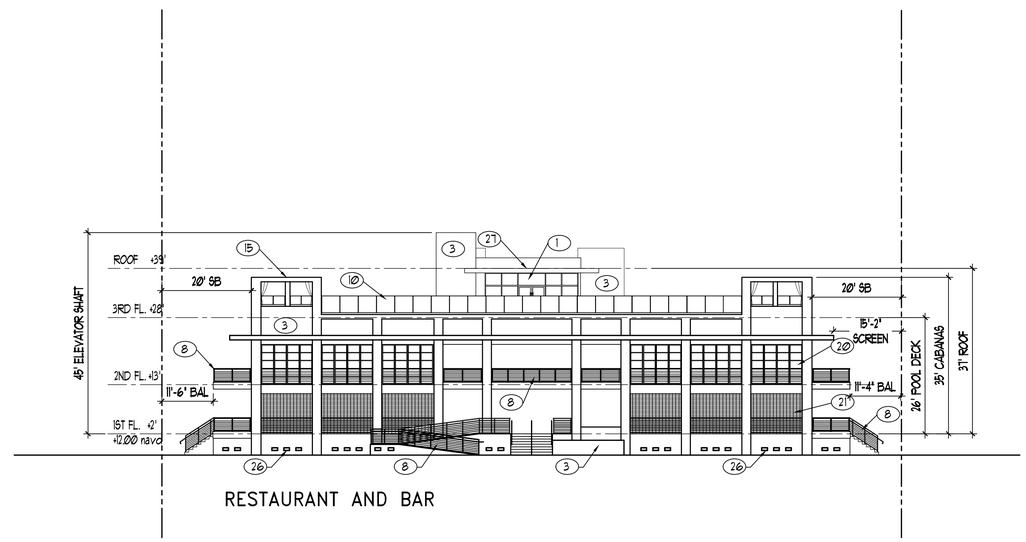
N. SURF ROAD



RESTAURANT AND BAR

BROADWALK

1 **EAST ELEVATIONS**
SCALE: 1/16"= 1'-0"

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PROJECT TITLE
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2012 S. SURF RD. 320 &324 McKINLEY ST.
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SHEET TITLE
ELEVATIONS
SITE 1 AND 3

REVISIONS

No.	DATE	DESCRIPTION
1		

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DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET
A-22
SHEET 23 OF 36

Bidders shall ask questions and if Building Documents or property is sold, refer it to Owner or Architect prior to preparing bids. Contractor is responsible, and when is required by one item be a building or if required by job performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.
Bidders shall ask questions and if Building Documents are ambiguous, and when is required by one item be a building or if required by job performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.
Contractor is responsible for errors or misinterpretations resulting from the use of incomplete or preliminary data. If Building Documents, the intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and what is required by one item be a building or if required by job performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

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McKINLEY ST

1 **NORTH ELEVATIONS**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
ELEVATIONS
SITE 1 AND 3

REVISIONS
No. DATE DESCRIPTION
1

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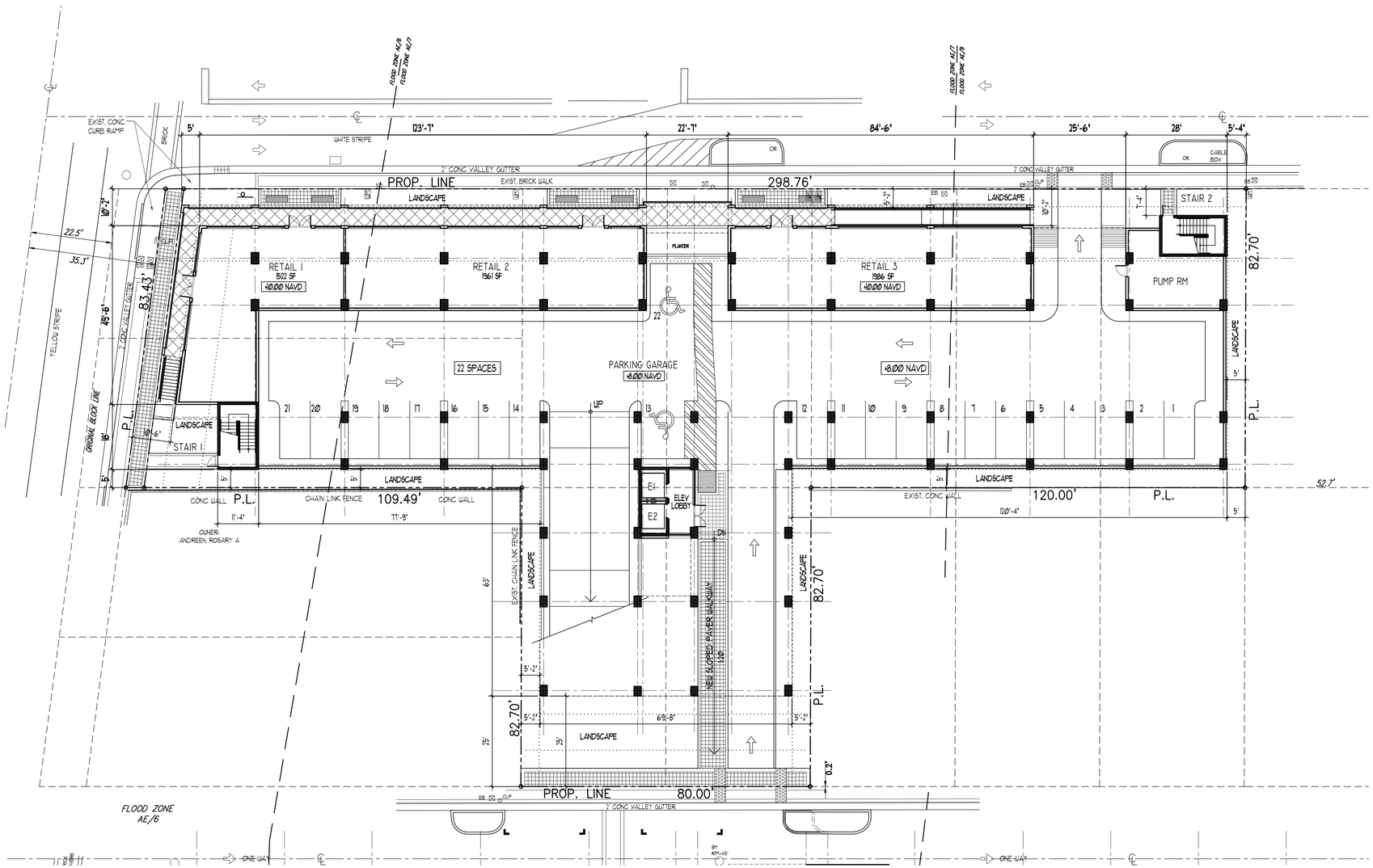
SHEET
A-23



1 **FIRST FLOOR PLAN**

SCALE: 1/16"= 1'-0"

KA

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SHEET TITLE

FIRST FLOOR PLAN
SITE 2 - GARAGE/ RETAIL

REVISIONS

No.	DATE	DESCRIPTION
1		

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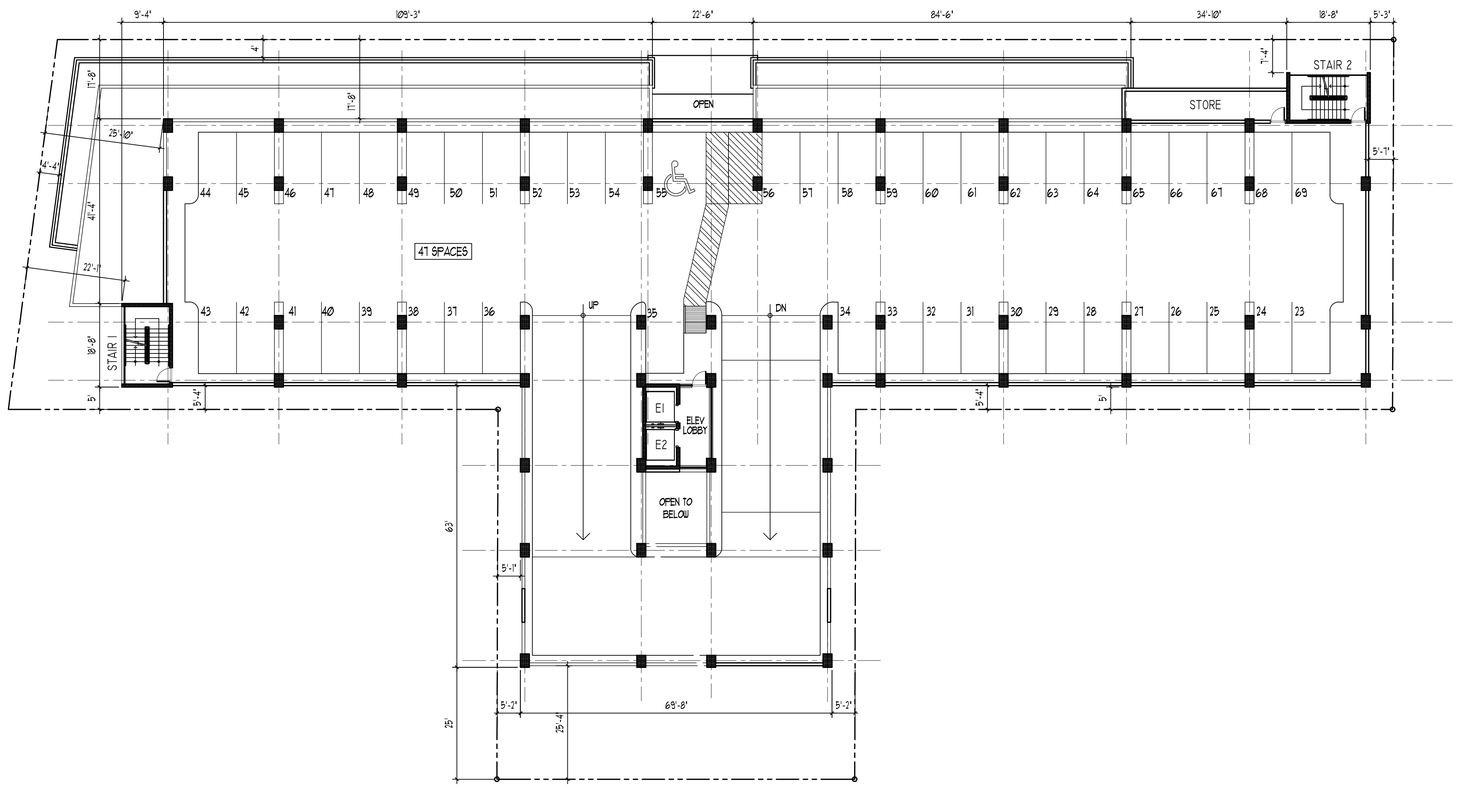
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET

A-24

SHEET 25 OF 36

Before bids are prepared and if Building Documents in preparing bids, verify the Owner or Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete or previously used or Building Documents. The seal of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor shall be required to perform all work indicated by one item on a building as if required by all performance by the Contractor shall be required to provide the complete results.



1 **SECOND FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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HOLLYWOOD FL 33019

SHEET TITLE

SECOND FLOOR PLAN
SITE 2

REVISIONS

No.	DATE	DESCRIPTION
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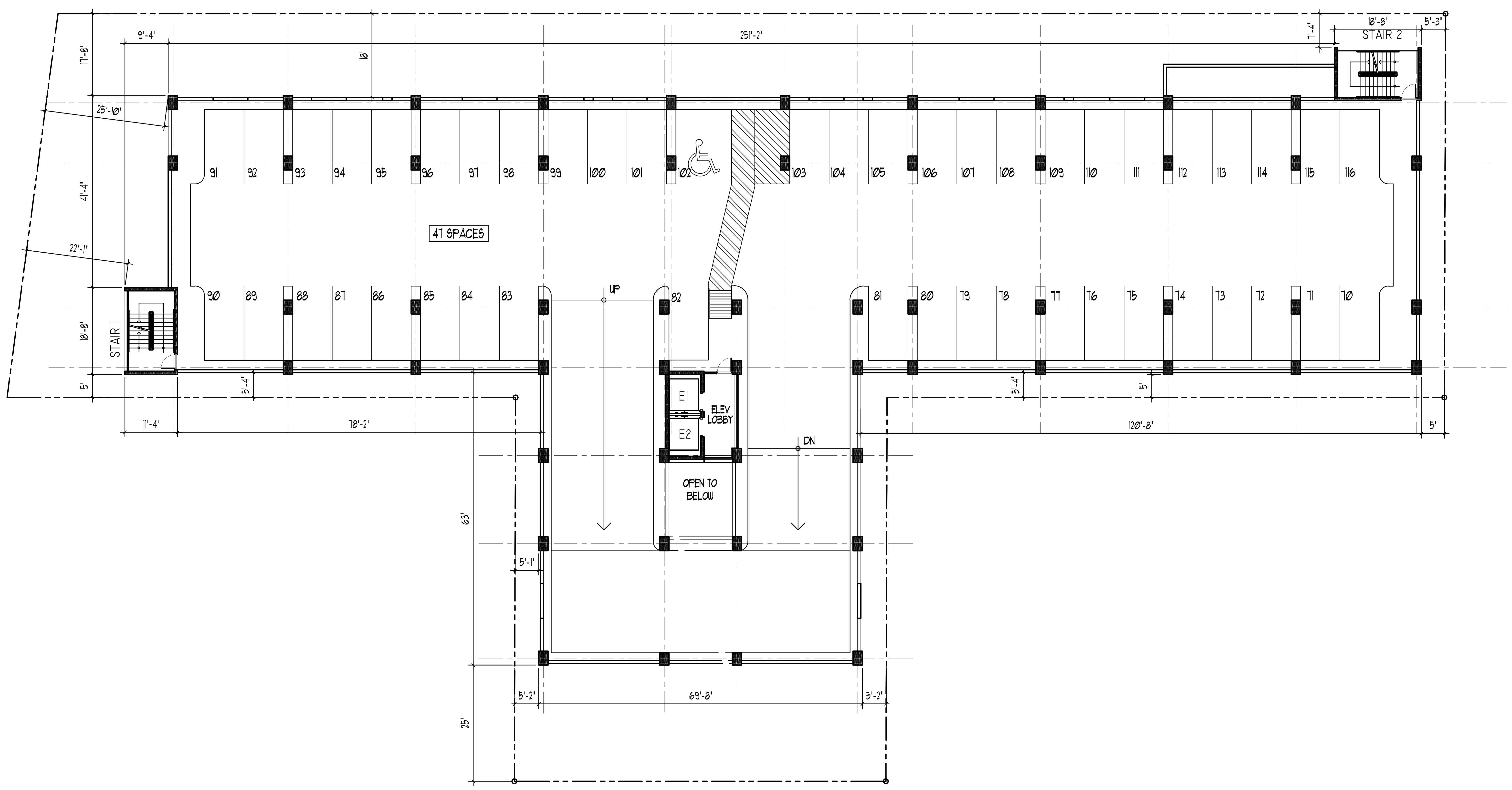
PROJECT No.:	22107
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET

A-25

SHEET 26 OF 36

Sellers shall an complete set of Building Documents to a licensing Lab, whether the Owner or Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The sets of the Contract Documents is to include all items necessary to the proper execution and completion of the work by the Contractor. The Contract Documents are complementary, and what is required by one item is binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **THIRD FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
THIRD FLOOR PLAN
SITE 2

REVISIONS

No.	DATE	DESCRIPTION
1		

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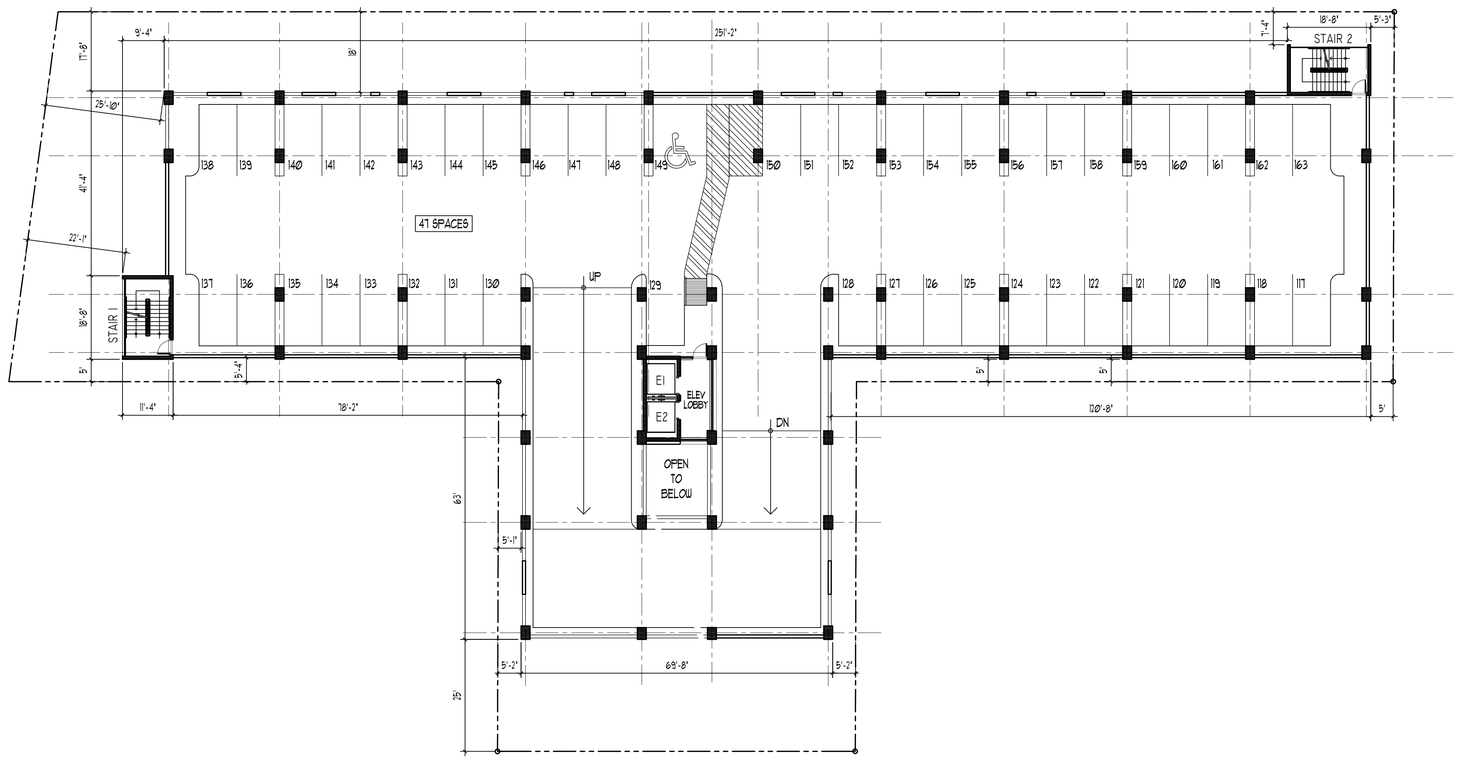
DATE: 2-27-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
A-26
SHEET 27 OF 36

Bidders shall use complete sets of Bidding Documents in preparing bids; neither the Owner nor Architect assumes responsibility for errors or misinterretations resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper excecution and completion of the work by the Contractor. The Contractor Documents are complimentary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



1 **FOURTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE

FOURTH FLOOR PLAN
SITE 2

REVISIONS

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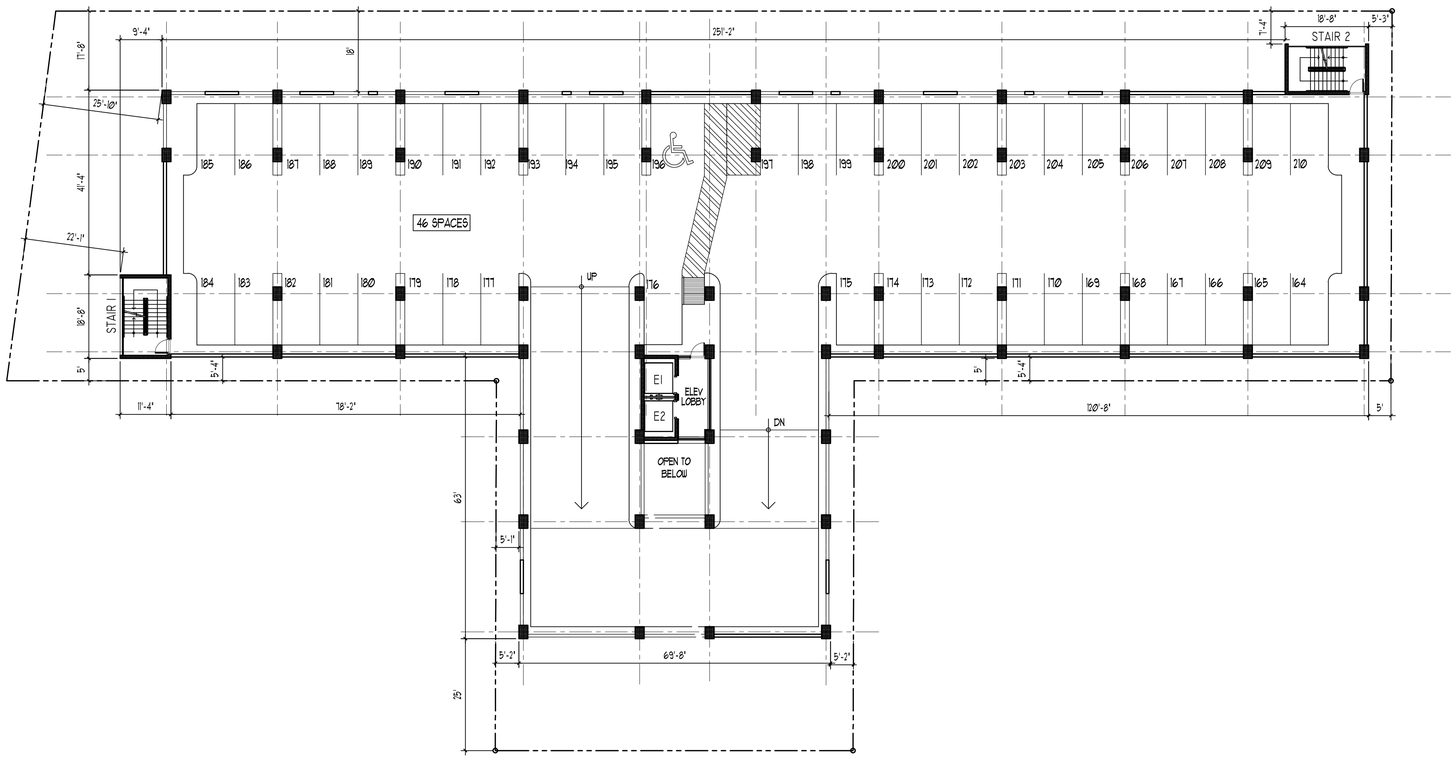
SHEET

A-27

SHEET 28 OF 36

Before a bid can complete and / or Building Documents is properly bid, above the Owner or Architect assumes no responsibility for errors or omissions resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. Contractor and subsidiary vendors from time to time necessary to produce the intended results.



1 **FIFTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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SHEET TITLE

FIFTH FLOOR PLAN
SITE 2

REVISIONS

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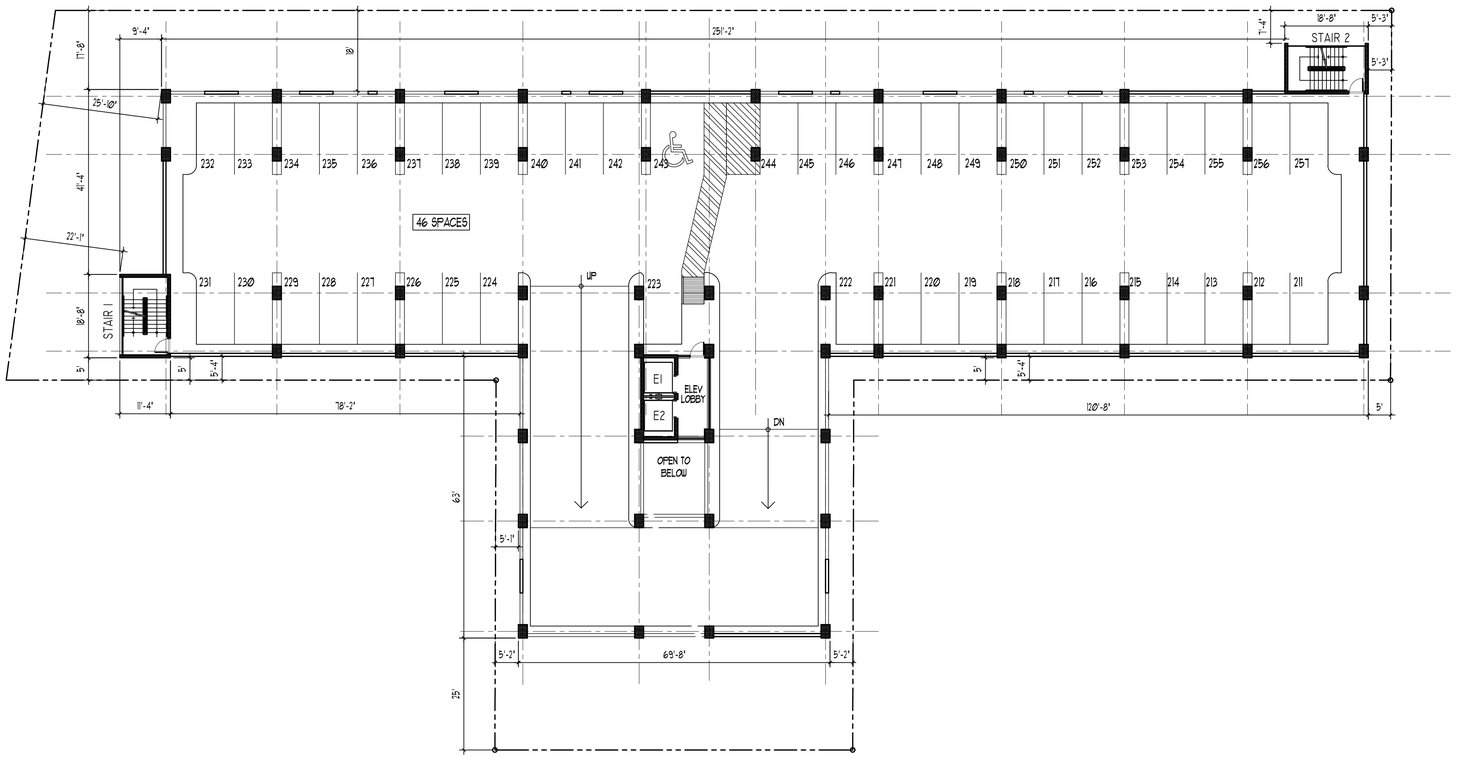
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET

A-28

SHEET 29 OF 36

Contractor shall use proceeds and Building Documents in preparing bids, review the Owner or Architect promptly of discrepancies, and shall be responsible for all performance by the Contractor and subcontractors. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor shall be required to furnish all materials as may reasonably be inferred from the Contract Documents as customarily furnished in the trade or as required by all performance by the Contractor shall be required to furnish all materials as may reasonably be inferred from the Contract Documents as customarily furnished in the trade or as required by any code or ordinance or preliminary set of Building Documents. The Contractor shall be responsible for all dimensions and conditions at the job site and shall report any discrepancies to the Owner or Architect promptly of discrepancies, and shall be responsible for all performance by the Contractor and subcontractors.



1 **SIXTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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SHEET TITLE

SIXTH FLOOR PLAN
SITE 2

REVISIONS

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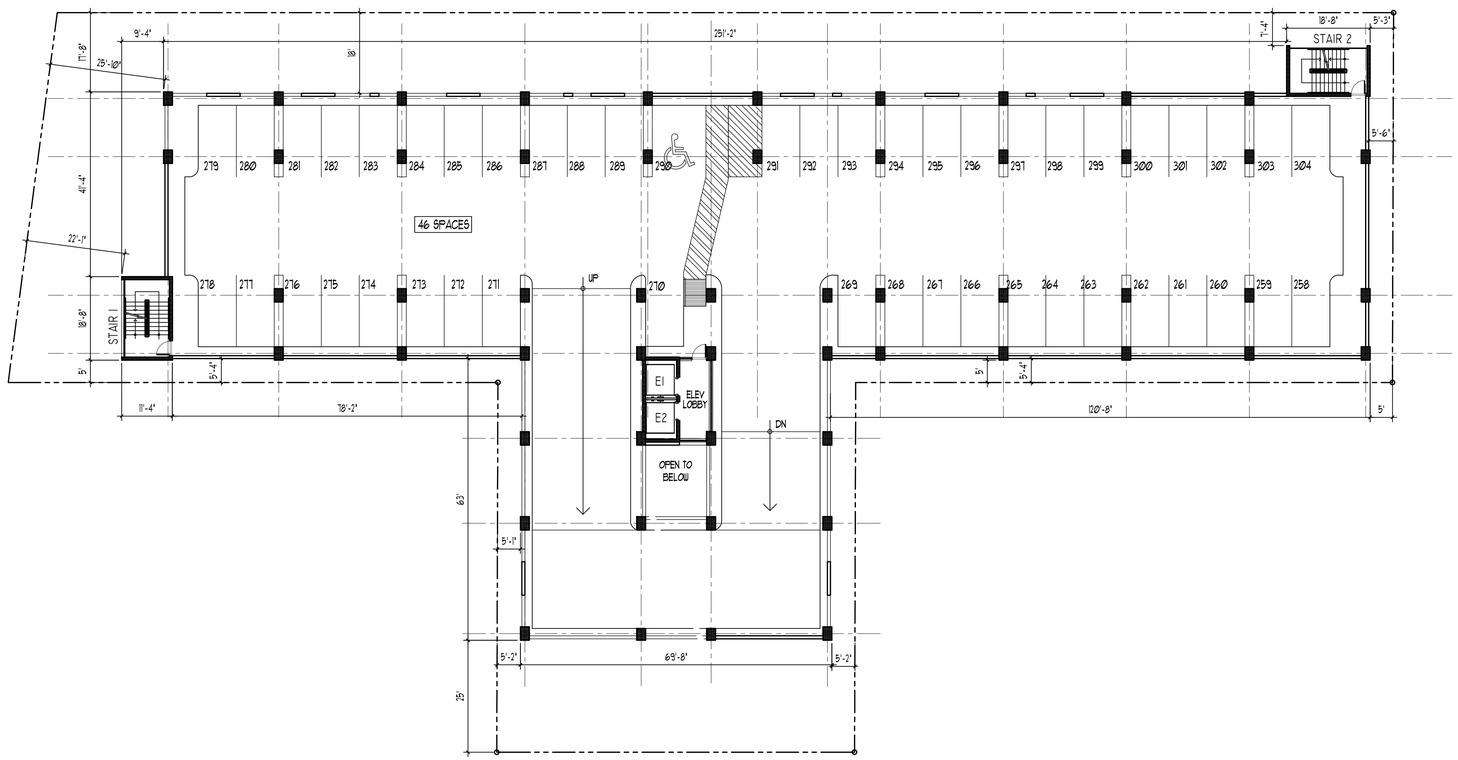
SHEET

A-29

SHEET 30 OF 36

Contractor shall use properly sealed Building Documents in preparing bids, review the Owner or Architect preferred specifications, and shall be responsible for all performance by the Contractor and subcontractor(s) whether bid or not. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor shall be responsible for all performance by the Contractor and subcontractor(s) whether bid or not. Contractor shall use properly sealed Building Documents in preparing bids, review the Owner or Architect preferred specifications, and shall be responsible for all performance by the Contractor and subcontractor(s) whether bid or not. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor.



1 **SEVENTH FLOOR PLAN**

SCALE: 1/16"= 1'-0"

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2007 &2115 N. OCEAN DR. 309, 333 &341 OKLAHOMA ST.
2012 S. SURF RD. 320 &324 NEBRASKA ST.
320, 322, 324 & 326 McKINLEY ST.
HOLLYWOOD FL 33019

SHEET TITLE

SEVENTH FLOOR PLAN
SITE 2

REVISIONS

No.	DATE	DESCRIPTION
1		

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PROJECT No.:	22107
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

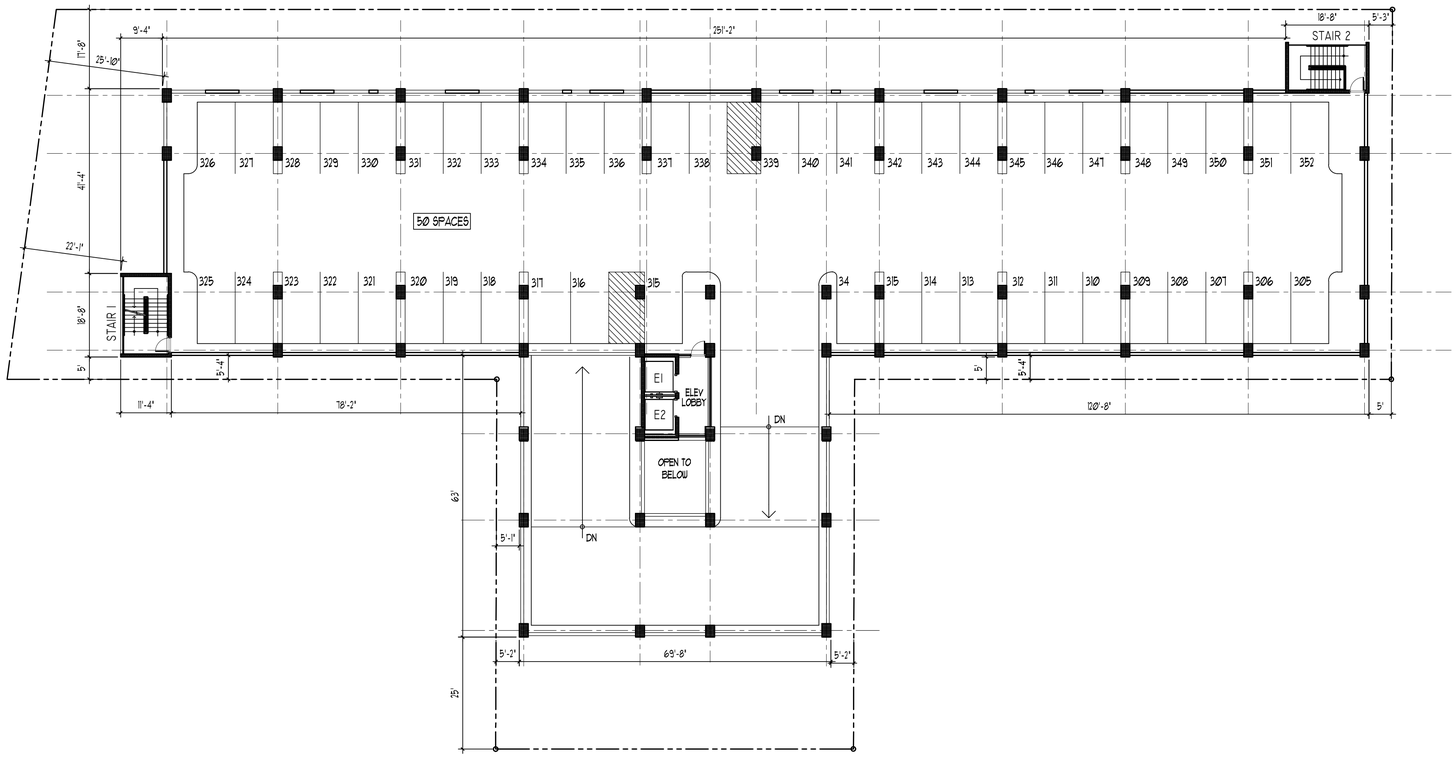
SHEET

A-30

SHEET 31 OF 36

Contractor and all other parties shall be responsible for the accuracy of the work by the Contractor. The Contractor Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

Contractor shall verify and coordinate all Building Documents in preparing bids, whether the Owner or Architect prepares the bid documents or not. Contractor is responsible for any and all misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor.



1 **EIGHTH FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SEAL

STATE OF FLORIDA
JOSEPH B. KALLER
R. A. 0009239
REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

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EIGHTH FLOOR PLAN
SITE 2

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SHEET

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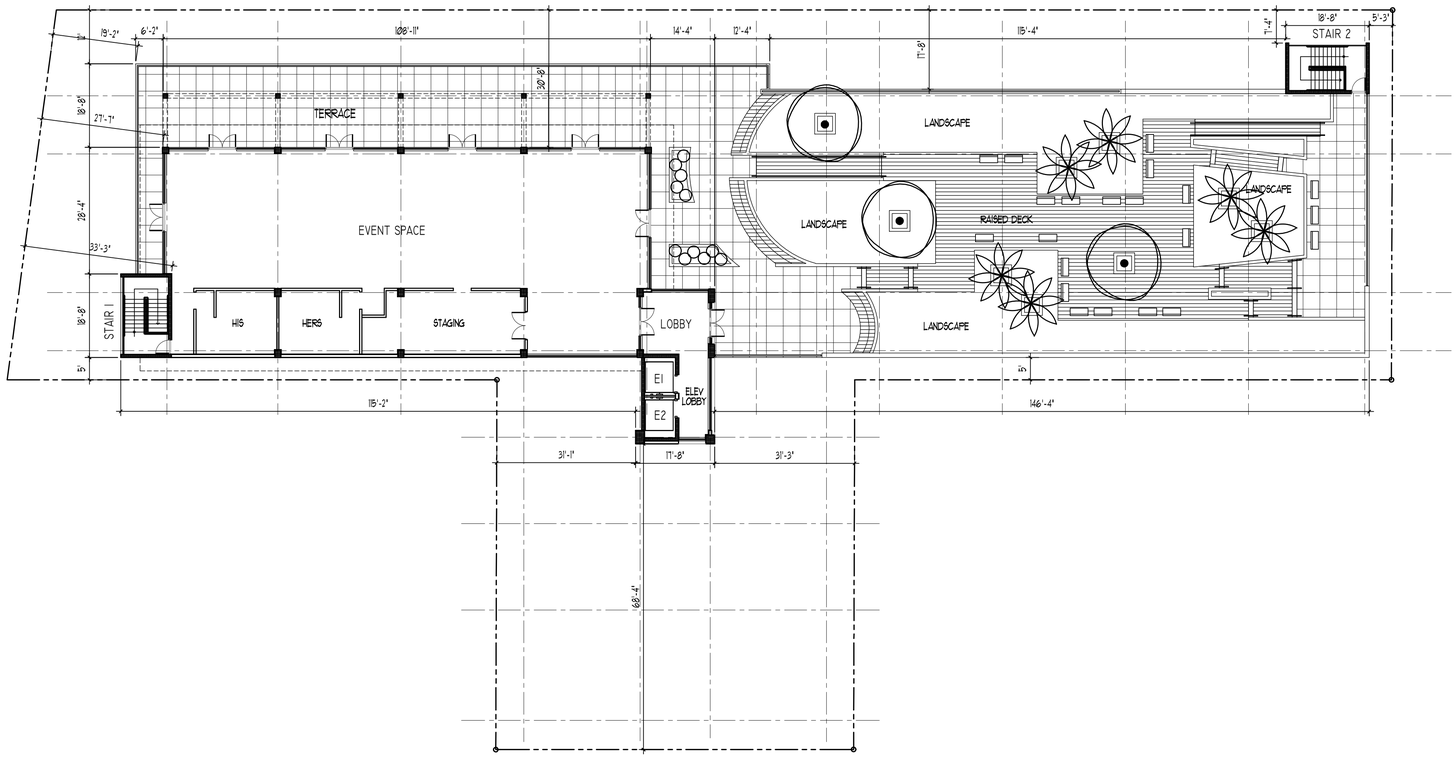
SHEET 32 OF 36

Before start of work the Contractor shall verify all dimensions and conditions of the work to the Contractor. The Contractor Documents are complementary, and what is required by one shall be as binding as if required by all. Performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.

Notice to all plan and specification Building Documents is hereby made, stating that the Owner or Architect assumes no responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor.



1 **ROOF AMENITY FLOOR PLAN**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
ROOF AMENITY PLAN
SITE 2

REVISIONS

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DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET
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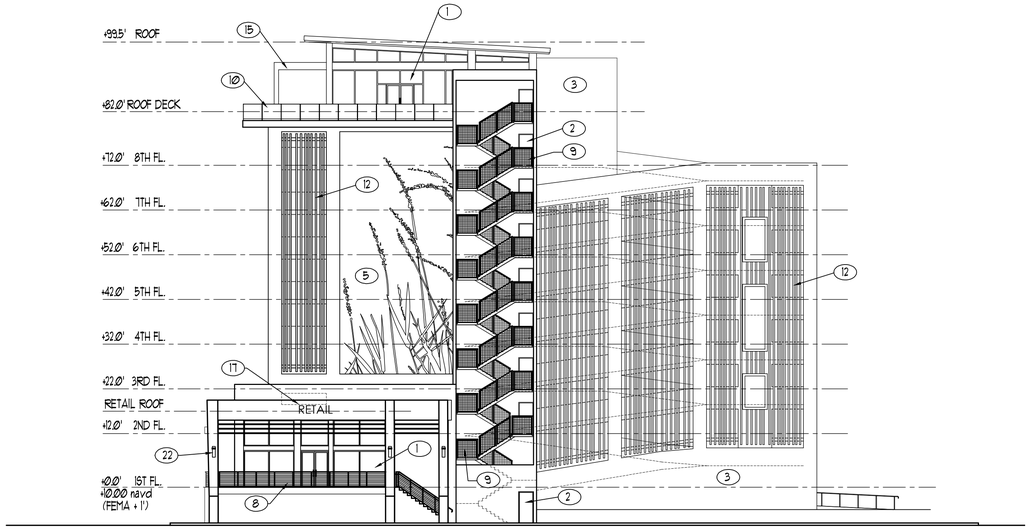
SHEET 33 OF 36

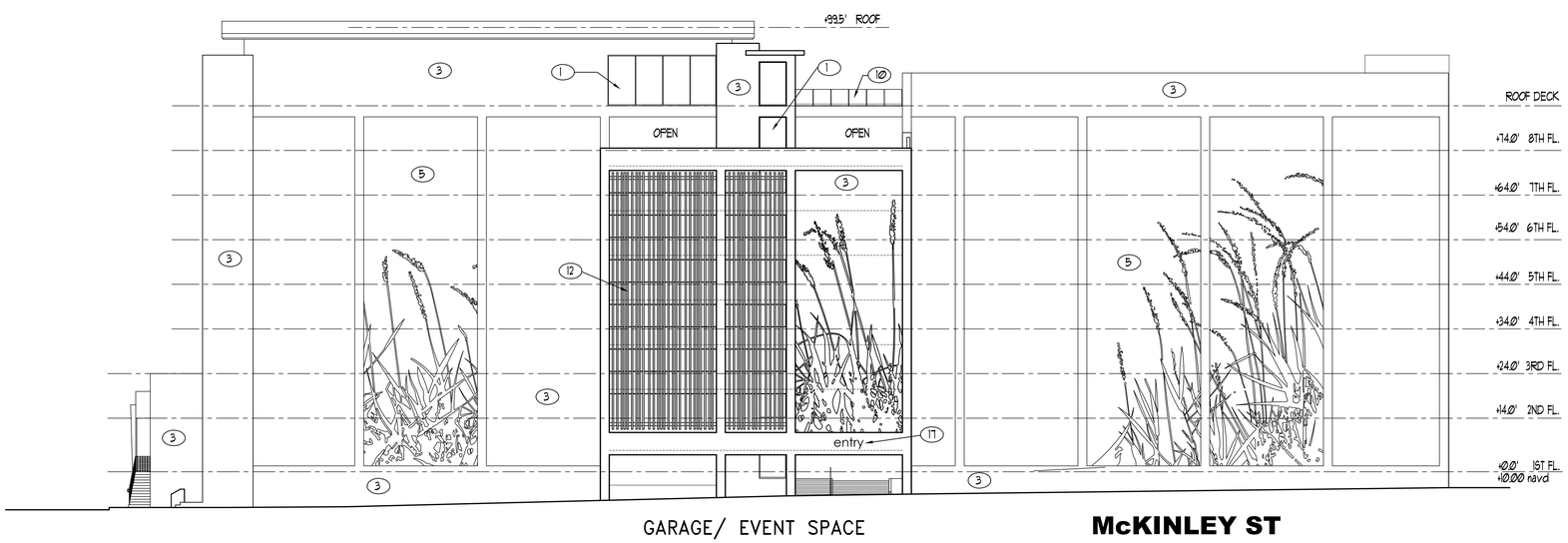
Bidders shall ask prospective bidders if Bidding Documents are properly in hand, whether the Owner or Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Bidding Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contract Documents are complementary, and what is required by one item is binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



N. OCEAN DR.

1 **WEST ELEVATION**
SCALE: 1/16"= 1'-0"

1. TURTLE FRIENDLY IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. WALL IVY ON TEXTURE STUCCO WALL FINISH
5. PRECAST CONCRETE EMBOSSED PANEL
6. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
7. 42" HIGH MIN. POWDER COATED GLASS AND ALUMINUM GUARD RAILING
8. 42" HIGH MIN. POWDER COATED ALUMINUM PICKET GUARD RAIL
9. 42" HIGH MIN. POWDER COATED METAL GUARD RAIL
10. 48" HIGH MIN. FRAMELESS IMPACT RESISTANT GLASS WIND SCREEN
11. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
12. POWDER COATED VERTICAL METAL SLAT SCREEN
13. CONCRETE COLUMN
14. POWDER COATED GALVANIZED STEEL COLUMN
15. CONCRETE COLUMNS WITH POWDER COATED GALVANIZED METAL TRELLIS
16. APPROVED MECHANICAL EQUIPTMENT SCREEN
17. PIN MOUNTED METAL SIGN
18. TURTLE FRIENDLY IMPACT RESISTANT WINDOWS AND SLIDING DOORS
19. TURTLE FRIENDLY IMPACT RESISTANT GLASS AND METAL SECTIONAL RAIL AND STILE DOOR
20. TURTLE FRIENDLY IMPACT RESISTANT FOLDING GLASS DOORS
21. POWDER COATED GALVANIZED ROLL UP GRILLE GATE
22. EXTERIOR TURTLE LIGHTING
23. LANDSCAPE BERM
24. APPROVED BALCONY DIVIDERS
25. POWDER COATED GALVANIZED METAL ROLL UP DOOR
26. FLOOD VENTS



McKINLEY ST

1 **SOUTH ELEVATION**
SCALE: 1/16"= 1'-0"

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SHEET TITLE
ELEVATIONS
SITE 2

REVISIONS

No.	DATE	DESCRIPTION
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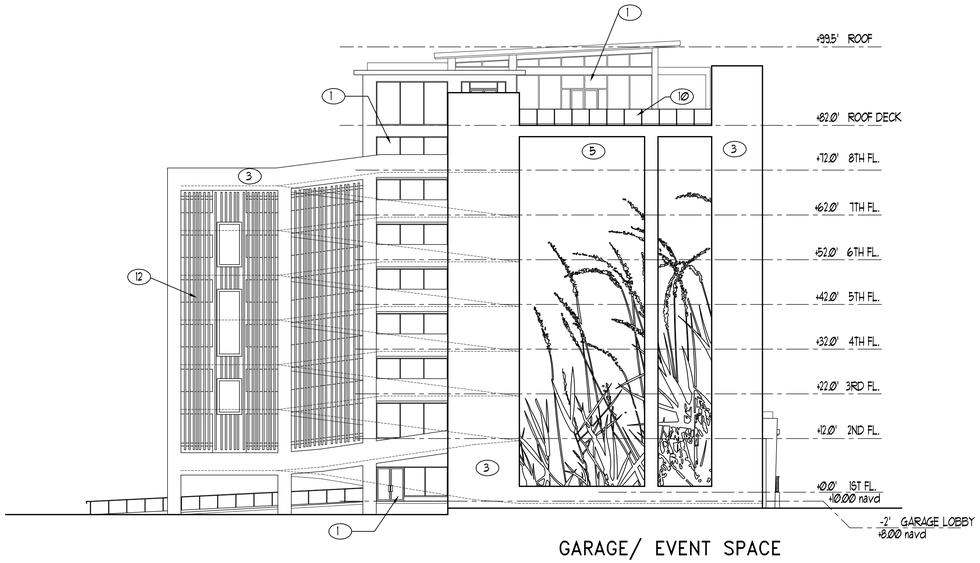
PROJECT No.:	22107
DATE:	2-27-23
DRAWN BY:	TMS
CHECKED BY:	JBK

SHEET
A-33
SHEET 34 OF 36



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2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
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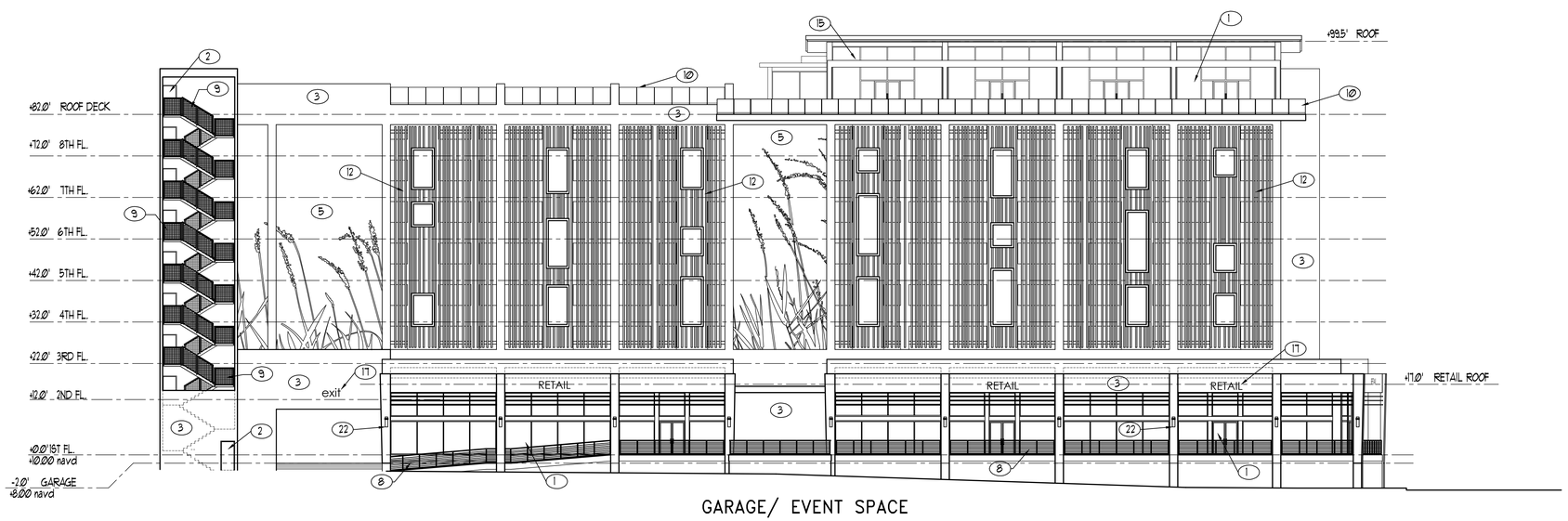
24. APPROVED BALCONY DIVIDERS
25. POWDER COATED GALVANIZED METAL ROLL UP DOOR
26. FLOOD VENTS

1 EAST ELEVSTION

SCALE: 1/16"= 1'-0"



NEBRASKA ST.

2 NORTH ELEVATION

SCALE: 1/16"= 1'-0"

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ELEVATIONS
SITE 2

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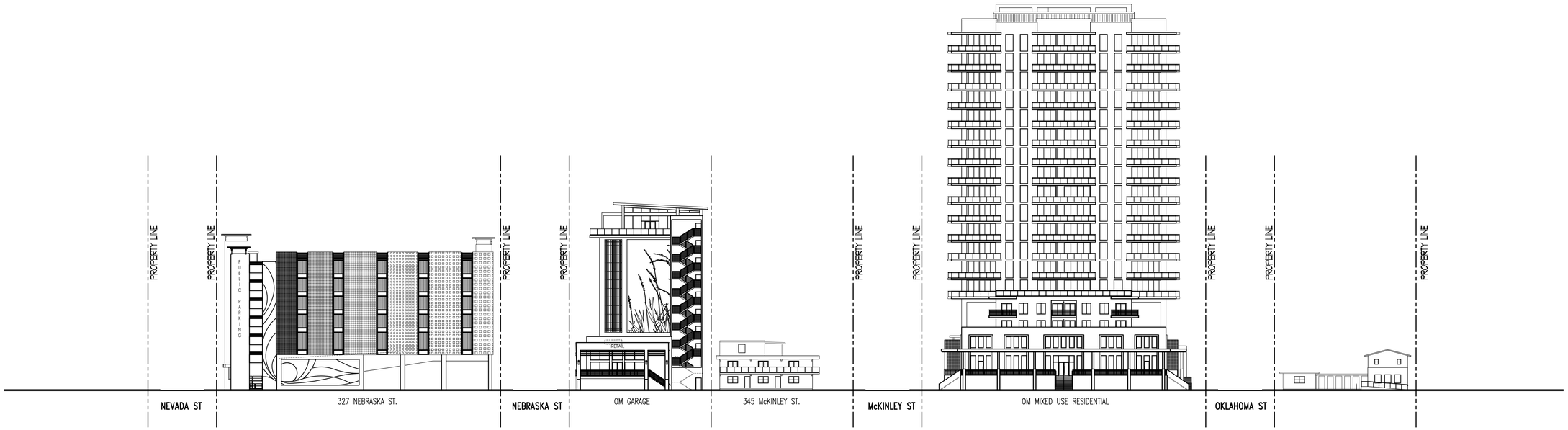
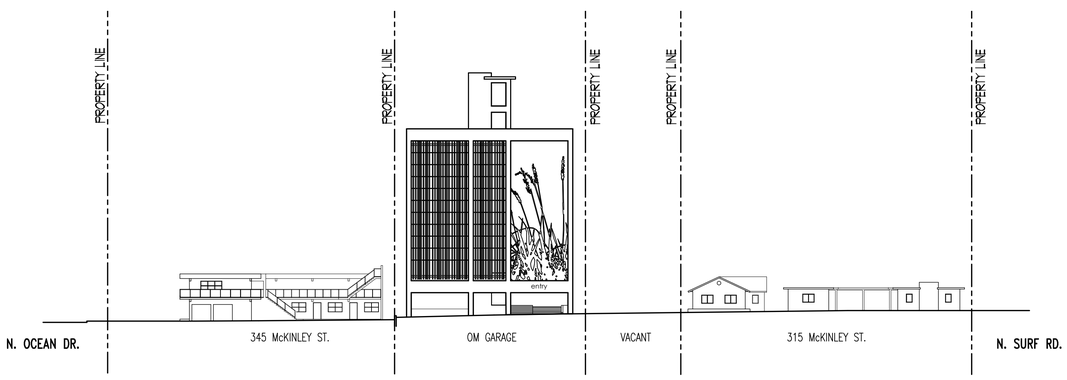
SHEET

A-34

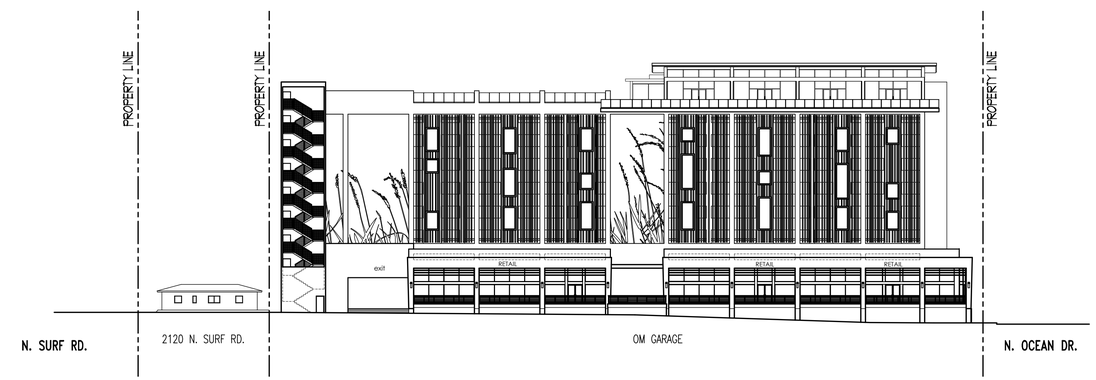
SHEET 35 OF 36



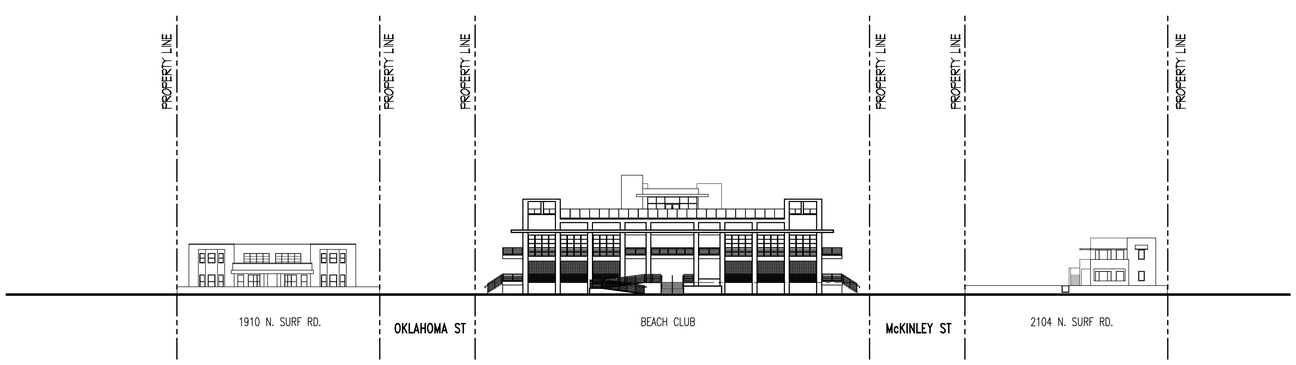
ON NORTH OCEAN DRIVE LOOKING EAST



ON McKINLEY ST. LOOKING NORTH



ON NEBRASKA ST. LOOKING SOUTH



ON THE BROADWALK LOOKING WEST

1 **CONTEXUAL STREET ELEVATIONS**
SCALE: 1"= 30'-0"

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SHEET TITLE

CONTEXTUAL STREET ELEVATIONS

REVISIONS

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SHEET

A-35

SHEET 36 OF 36

Bidders shall use complete sets of Bidding Documents in preparing bids; neither the Owner nor Architect assume responsibility for errors or omissions resulting from the use of incomplete or preliminary sets of Bidding Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The contractor is responsible for all dimensions to be confirmed and correlated at the job site; for all performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.