

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: _____

Location Address: 6015 Washington Street Hollywood FL 33023

Lot(s): Parcel "A" and Parcel "B" Block(s): _____ Subdivision: First Union West

Folio Number(s): 51-41-13-32-0010 & 51-41-13-32-0020

Zoning Classification: S-MU Land Use Classification: TOC

Existing Property Use: Vacant (bank/office to remain) Sq Ft/Number of Units: 229,384 sf / 115 units

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Yes *Resolution R-2022-368) 12/1/22 / PACO (2/6/23) / PTAC (2/21/23)

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☒ City Commission ☐ Planning and Development

Explanation of Request: Request for site plan approval for the construction of 115 multifamily residential units & 750 square feet of retail space within a new 10-story building & related site improvements. Existing bank and office building to remain.

Number of units/rooms: 115 units Sq Ft: 229,384 sf

Value of Improvement: \$25,000,000 Estimated Date of Completion: Late 2024

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: 6015 WASHINGTON LLC

Address of Property Owner: 2999 NE 191 ST STE 907 MIAMI, FL 33180

Telephone: 305.833.3303 ext. 3 Fax: _____ Email Address: nick@verarealty.com

Name of Consultant/Representative/Tenant (circle one): Robby D. Block (representative)

Address: 9200 Belvedere Rd. #209 Royal Palm Beach, FL 33412 Telephone: 561.756.0329

Fax: 561.735.8656 Email Address: rblock@nurock.com

Date of Purchase: 5/12/2021 Is there an option to purchase the Property? Yes (x) No ()
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 03/07/23

PRINT NAME: Nikolay Polyushkin

Date: _____

Signature of Consultant/Representative: _____

Date: 3/6/2023

PRINT NAME: Robby D. Block

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

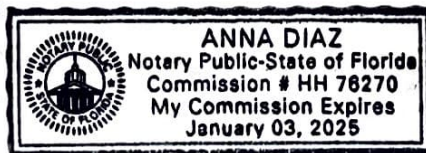
Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan approval to my property, which is hereby made by me or I am hereby authorizing Robby D. Block to be my legal representative before the Committee (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 7 day of March, 2023

Notary Public
State of Florida



My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

Signature of Current Owner

Print Name

COMMENT RESPONSES

FTAC SUBMITTAL – MARCH 6, 2023

(note: Engineering, Utilities, and Fire responses provided in separate attachment in this submittal)

A. APPLICATION SUBMITTAL

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Application Form:

- a. Provide Articles of Organization or other corporate filing for 6015 Washington LLC. Company is not registered with FL Division of Corporations.

Response: Please see Attachment - 6015 Washington LLC Certificate of Formation provided herein.

- b. Provide evidence signatory on page 2 is authorized to sign for the Owner.

Response: Please see Attachment - Owner Authorization for Signatory provided herein.

2. Ownership & Encumbrance Report (O&E):

- a. Shall indicate it was searched from 1953 or time of platting (earliest of the two);
- b. Must be dated within 30 days of submittal packet.
- c. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.
- d. Ensure O&E addresses the requirements on the TAC submittal checklist: <http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

Response: Acknowledged, see title commitment provided with this submittal.

3. Alta Survey:

- a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.
- b. Include net and gross acreage.
- c. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Response: Please see Survey provided with this submittal herein.

4. Cover Sheet

- a. Ensure Cover Sheet addresses the requirements on the TAC submittal checklist:

<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

Response: Acknowledged, Cover Sheet has been revised to address TAC submittal checklist.

5. Site Plan

- a. Ensure Site Plan addresses the requirements on the TAC submittal checklist:
<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>. Multiple items are missing.

Response: Acknowledged, Site Plan revised to address the requirements on the TAC submittal checklist.

6. Site Data / Tabular Information

- a. Ensure Site Data / Tabular Information addresses the requirements on the TAC submittal checklist:
<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>. Multiple items are missing.

Response: Acknowledged, Tabular Data revised to address the requirements on the TAC submittal checklist.

7. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

Response: Applicant has retained Dunay, Miskel & Backman, LLP and initiated the determination letter from Broward County. Applicant to supply determination letter upon receipt.

8. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:
<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

Response: Applicant has initiated the Affordable Housing Certification process with Broward County. Pursuant to Sec. 27.237, Broward County Administrative Code, school impact fees will be waived for affordable housing developments certified by Broward County.

9. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Acknowledged, meeting dates have been added to Cover Sheet, specifically:

- City Commission Meeting for approval of Local Government Area of Opportunity (LGAO) funding: 12/7/2022
- Pre-Application Conceptual Overview Meeting (PACO): 2/6/2023
- Preliminary Technical Advisory Committee Meeting (PTAC): 2/21/2023
- Final Technical Advisory Committee Meeting (FTAC): 3/20/2023 (scheduled)
- Planning & Development Board Meeting: 4/3/2023 or 5/9/2023

10. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

Response: Acknowledged, Applicant has retained Cutro and Associates and will comply with all public notice, advertising and posting requirements.

11. Additional comments may be forthcoming.

Response: Acknowledged.

12. Provide written responses to all comments with next submittal.

Response: Acknowledged.

B. ZONING

(Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471)

1. Per the S-MU permitted use table, multi-family residential uses are not permitted on the ground floor adjacent to Washington Street

RE: Comment addressed on this revision. Unit on the ground floor adjacent to Washington Street was removed and changed to commercial space (retail). Refer to Site Plan, sheet SP-100.

2. There does not appear to be a vertical mixed use component to the design. In order to qualify for the maximum 50 du/ac density and additional height allowance, demonstrate how the project meets the requirement as a vertical mixed use.

RE: Ground Floor Retail space has been added to the Ground Floor of the Washington Street frontage within the proposed 115-unit multifamily residential building meeting the vertical integration and mixed use component as required.

3. Required setback to the street frontage for the residential use is 15 feet. The site plan demonstrates a 10 ft setback to the street.

RE: 15' Setback provided on Washington Street on this submittal. Refer to Site Plan, sheet SP-100.

4. Per Sec. 3.15, demonstrate on the site plan compliance with the minimum 40 ft base building line requirement on Washington Street.

RE: Comment addressed on this revision. 40' dimension from the building base line to Washington Street shown on the site plan.

5. Ensure all site data on the site plan is reflective of all existing and proposed development. As submitted, the site data is only for the proposed residential development. This includes all required property development regulations, setbacks, parking requirements etc.

RE: All existing and proposed site data provided on plans and zoning table. Refer to sheet SP-100 and SP-101.

6. What is the purpose of the "proposed new property line" on the site plan? As a mixed-use development, the site is required to operate as one unified site plan. Staff will recommend a condition of approval requiring a Unity of Title or Unity of Control requiring the site to operate as a single unified development.

RE: Understood. Applicant to record a Unity of Control.

7. The site plan labels an existing two-way access to the commercial building on Washington Street, however this is in a different location on the Survey. If this is a new access, label and dimension the access accordingly.

RE: The existing driveway to the property along Washington Street will be moved approximately 50 feet to the east. A new driveway will be constructed toward the southwestern frontage of the site along Washington Street. The Applicant has coordinated the location with Engineering to comply with dimensional criteria and separation distance requirements. Refer to site plan for dimensions, sheet SP-100.

8. Review any plat limitations for access restrictions along Washington Street. If platted access restrictions or non-vehicular access lines (NVAL) exist along this frontage, demonstrate how this will be addressed to accommodate the proposed access arrangements.

RE: Understood. Applicant has reviewed the plat and determined there are no access restrictions or non-vehicular access lines along the Washington Street frontage.

9. Per Sec. 4.6.D: a. The finished floor of ground floor commercial and retail uses shall be generally flush with the sidewalk elevation. (See Appendix 1: Diagram 7). b. Ground floor residential uses shall be raised a minimum of 18 inches above the sidewalk elevation.

RE: Retail and units are placed all at 10.00' NAVD, 18" above the crown of the road elevation. (8.49' NAVD)

10. Per Sec. 4.6.D.3.a.(7), include the minimum required and provided dwelling unit sizes and cumulative averages on the site data and typical unit layouts.

RE: Unit information provided in the zoning table on sheet SP-101.

11. The unit mix on the site data and floor plans do not match. For example, on the ground floor the number of 1, 2 and 3 bedrooms do not match and on the 2nd – 5th floor, a B-1 (3 bedroom) unit type is referenced but not included on the site data. Additionally, a typical is provided for a C-1 unit type, but this could not be located on the floor plans or in the site data.

RE: Unit mix on floor plans has been coordinated to match the unit matrix. Refer to Unit and Building Matrix on sheet SP-101.

12. It is difficult to determine the location of the property line, building footprint and setbacks. Suggest using a heavier line weight / type for the property line and building location.

RE: Comment addressed on this revision. Refer to site plan and floor plans for annotations, sheet SP-100, A-100 thru A-107.

13. Show two-way vehicular circulation arrows within the parking garage.

RE: Comment addressed. Circulation arrows included on all levels of the parking.

14. Sheet A-101 is for the 2nd - 5th floor, but the label in the middle of the garage is for the 3rd – 5th floor.

RE: Comment addressed on this revision.

15. Identify the use of the area on the 6th floor (sheet A-102) and label all rooftop amenities. The upper floors also show a similar layout, however if this is meant to be “open to below”, state same on the floor plans.

RE: Amenities have been labeled. “Open to below” is shown on all pertaining plans from 8th floor through roof.

16. Label the usage of all rooms on the site plan and ground floor plan. Further detail is required as to the use of the “common areas”.

RE: All rooms on the ground floor have been labeled. Refer to Site Plan.

17. Site data parking calculations (required and proposed) do not add up correctly.

RE: Parking calculations provided in this revision. Refer to sheet SP-101.

18. Ensure the total number of proposed parking spaces matches the number of spaces provided on the floor plans.

RE: All parking spaces on the floor plans have been numbered for reference. Refer to A-100 thru A-103.

19. Include the number of required and proposed ADA spaces on the site data.

RE: Required and proposed ADA spaces are provided in this revision. Refer to sheet SP-101.

20. Provide required guest parking (1 space per 5 units) and label guest space locations on the site plan.

RE: Required guest parking spaces are provided in this revision. Refer to sheet SP-101.

21. Provide loading spaces as follows: Multiple Family or Apt./Hotel Bldg: 50-100 Units - 1 space + 1 space for each additional 100 units or major fraction.

RE: Items 19-21. Information regarding parking provided in this revision, refer to SP-101.

22. The site data states parking will be reduced by 10%. State the applicable Code section to be applied for the proposed reduction (Sec. 4.6.D.3.c.(6) and demonstrate compliance with the Code requirement on the site data.

RE: Applicant will apply a 5% reduction pursuant to (4.6.D.3.6.b) (1 bike rack space per 20 required spaces) and a 5% reduction pursuant to (4.6.D.3.6.d) 1 Dedicated Ride-Share Spaces per 25 required spaces. The site data has been updated accordingly as well as the site plan showing bike rack spaces, located within the bike storage room in the ground floor.

23. Include a list of the selected parking reduction strategies and identify these on the site plan. The incorporation of a public bus shelter is encouraged.

RE: Applicant will apply a 5% reduction pursuant to (4.6.D.3.6.b) (1 bike rack space per 20 required spaces) and a 5% reduction pursuant to (4.6.D.3.6.d) 1 Dedicated Ride-Share Spaces per 25 required spaces. The site data has been updated accordingly as well as the site plan showing bike rack spaces, located within the bike storage room in the ground floor.

24. Multiple parking stalls adjacent to walls need to be wider. In those cases where the side of any parking stall is adjacent to a wall, fence, building, or other physical obstruction, the stall widths shall be increased by one (1) foot. Where there is an obstruction on both sides of the stall, the stall widths shall be increased by two (2) feet.

RE: Understood.

25. Number each parking space on the site / floor plans.

RE: Comment addressed in this revision.

26. Provide an overall vehicular circulation plan for the property. There is concern with a two way access to the commercial building, yet there is only one-way access on the side of the drive through area.

RE: Vehicular circulation shown on plans with radii. Refer to floor plans.

28. Identify where trash collection will occur on site (for existing and proposed development).

RE: Trash room provided on the ground floor at the East side of the building.

29. Provide further detail for the proposed utility room.

RE: All utility rooms now labeled. These rooms will be used for MEP purposes.

30. It is unclear on the floor plans and site plan how the units on each floor will be access from the parking garage. Where are the doors for access?

RE: Doors have been included on all floors to access the Units corridor from the parking garage.

31. Per Sec. . 4.6.D.3.c.(1)d), multiple family buildings shall provide secure bicycle racks and/or storage shall, at a ratio of one (1) bike rack space per every 20 required parking spaces. The bicycle racks shall be located on-site and shall not encroach into the right-of-way.

RE: Bike storage provided in the ground floor of the proposed development as per code requirement.

32. Provide and label internal sidewalks and pedestrian connections to the right-of-way on the site plan.

RE: Internal sidewalks and pedestrian connections shown in this revision.

33. Dimension all balcony setbacks to all property lines. Per Sec. 4.6.D.3.a.(9)(i), balconies may encroach a maximum of 75% into the required setback.

RE: Comment addressed in this revision. Balconies are dimensioned and in compliance per code.

34. Include the net and gross site area on the site data, consistent with the survey.

RE: Comment addressed in this revision. Net and gross site area shown on the zoning table on sheet SP-

101.

35. Identify and label all landscaped areas.

RE: All landscape areas now shown and labeled. Refer to Site Plan, sheet SP-100

36. Identify the proposed bike storage location.

RE: Bike storage provided on the West of the ground floor.

37. Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval.

RE: Understood. Note included on the Site Plan.

38. Provide a detail for the proposed bike rack.

RE: Comment addressed in this revision. Bike rack detail provided in the Site Plan Details, sheet SP-102

39. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

RE: Landscape plans provided in this revision.

C. ARCHITECTURE AND URBAN DESIGN

1. Show the entire building on the north elevation. Part of the building is shaded in blue.

RE: North elevation shown on this revision. Refer to sheet A-300.

3. Include the property lines and setbacks to the building, balconies and all other projections on the floor plans and elevations.

RE: Property Lines and setbacks provided on all floor plans and elevations. Refer to A-100 thru A-107 and A-30 to A-301

5. Include the dimensions for all recesses and projections on the elevations.

RE: Refer to building elevations for dimensions., sheet A-300 and A-301.

6. Provide renderings for all four sides of the building and ensure the renderings match the proposed elevations and landscaping plan, as well as identify any fencing and gates. Work with the City's Landscape Architect to ensure species proposed are appropriate.

RE: Renderings for all sides provided in this revision. Refer to sheets A-500 thru A-503.

9. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

RE: Understood.

D. SIGNAGE

1. For review, full signage package shall be provided.

RE: Understood.

2. Include note on Site Plan indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

RE: Note included on Site Plan, sheet SP-100.

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

RE: Understood.

E. LIGHTING

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

RE: Lighting note included on Site Plan, sheet SP-100.

F. GREEN BUILDING AND ENVIRONMENTAL SUSTAINABILITY

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

RE: Understood. The project will be certified by the Florida Green Building Coalition (FGBC).

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

RE: Electric vehicle charging equipment included in this proposal. Parking spaces shown in the floor plans. Refer to sheet A-100 thru A-103.

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

RE: Understood. The project will be certified by the Florida Green Building Coalition (FGBC).

*****UTILITIES, FIRE, AND ENGINEERING RESPONSES PROVIDED IN SEPARATE ATTACHMENT PROVIDED WITH THIS SUBMITTAL *****

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. See attached Memorandum containing Engineering's comments dated February 15, 2023.

RE: Civil drawings provided in this revision. Refer to attached civil set and Engineering Comment Responses.

2. Additional comments may be forthcoming.

RE: Understood.

I. UTILITIES

RE: Utility response sheet provided by the civil engineer and attached to the submittal.

K. FIRE

Chris Clinton, Deputy Fire Marshal /Assistant Division Chief (cclinton@hollywoodfl.org) 954-967-4404

RE: Fire response sheet provided by the civil engineer and attached to the submittal.

L. PUBLIC WORKS

Annalie Homles, Interim Public Works Director (aholmes@hollywoodfl.org) 954-967-4207

1. No comments received.

RE: Understood.

2. Planning staff will follow up with Public Works.

RE: Understood.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park impact fee application required. Contact Department to submit application.

RE: Applicant to contact.

N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. Are units rental, purchase, or mixture?

RE: All units will be rentals and will be 100% affordable.

2. Refer to Planning comments to ensure compliance with Public Participation requirements .

RE: Understood.

O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

Tekisha Jordan, Principal Planner (tjordan@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

RE: Understood.

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. Application is substantially complaint.

RE: Understood.

2. See Attached CPTED Blueprint Review/Recommendations memorandum from the Police Department dated February 8, 2023.

RE: Understood.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

3. No comments received.

RE: Understood.

4. Planning staff will follow up with CRA.

RE: Understood.

R. PARKING

Jovan Douglas, Parking Administrator (jdouglas@hollywoodfl.org) 954-921-3548

5. No comments received.
RE: Understood.
6. Planning staff will follow up with Parking.
RE: Understood

S. ADDITIONAL COMMENTS

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.
RE: Understood.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,



Mawusi Khadija Watson
Planning Administrator

C: 6015 Washington LLC via email nick@verarealty.com
Robby D. Block via email rblock@nurock.com

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
INTEROFFICE MEMORANDUM**

DATE: February 15, 2023 **FILE NO.:** EN-23-075

TO: Mawusi Watson
Planning and Urban Design Division

FROM: Clarissa Ip
Engineering, Transportation & Mobility Division

SUBJECT: TAC Preliminary Review 23-DP-15
6015 Washington Street
115 Affordable Multi-Family Units

COMMENTS:

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, bubble/cloud number and a narrative describing each change or how a comment is being addressed.

- 1) Provide plat determination letter from the Broward County Planning Council.
Response: Applicant has retained Dunay, Miskel & Backman, LLP and initiated the determination letter from Broward County. Applicant to supply determination letter upon receipt.
- 2) Clearly show and label site's property on plans. Sheet A-100 shows for a "new property line" along the east side of the parcel. It appears such property line currently exists, please clarify.
Response: The north-south boundary line between Parcel A and Parcel B will be moved approximately 19.92 ft. to the east of its current location. See Sheet SP-100 for revision.
- 3) Show all existing easements on plans and indicate any easements that will be required to be vacated. Please note that easement vacation may require a separate application process though the Engineering, Transportation & Mobility Division.
Response: Sheet SP-100 has been revised to show any easements, specifically the 12 ft. FPL easement along the site's frontage along Washington Street. Said easement will remain due to location of FPL overhead wires on this frontage.
- 4) A driveway opening is being proposed along the east side of the site. Provide and show legal mechanism, (i.e. easement, agreement, etc.) on plans for the connection.
Response: The existing driveway to the property along Washington Street will be moved approximately 50 feet to the east. A new driveway will be constructed toward the southwestern frontage of the site along Washington Street. The driveways have been designed to comply with dimensional criteria and separation distance requirements. Refer to site plan for dimensions, sheet SP-100 and Civil Plan, sheet C-1.

- 5) Show all surrounding elements of the site on plans, including adjacent alley, road and properties.
Response: See sheet SP-100 indicating surrounding elements of adjacent Right of Way and elements, additionally see sheet A-002 which displays the surrounding context and features.
- 6) In the Parking Tabulation Table:
a. Identify code for the 10% parking reduction.
b. Provide columns to show number of spaces required and number of spaces provided.
c. 1.5 parking spaces per unit is being used, please confirm if 1 parking stall is required for 1 bedroom units.
d. Remove the Club House line if no information is being provided.
e. 2% of the parking is being used as Visitor spaces, please confirm requirement with code.
Response: Parking Tabulation table has been revised to address each; see revised sheet SP-101 with the relevant information.
- 7) Please number all parking spaces.
Response: See sheet SP-100 indicating numbered spaces
- 8) On garage floor plan sheets, label all drive aisle and ramp widths and indicate parking stall widths and depths as Typical.
Response: Revised plan sheets A-100, A-101, A-102, and A-103 now show this information.
- 9) Sheet A-101, provide dimensions for all parking stalls, no dimension were provided for the tandem spaces.
Response: Sheet A-101 has been revised to show dimensions for parking stalls. No tandem spaces are proposed.
- 10) For parking stalls that are adjacent to obstruction (i.e. wall) on one side, minimum stall width is 9.5' and 10.5' for stalls adjacent to obstructions on both sides.
Response: Understood, plan sheets revised to comply.
- 11) Indicate location of building columns and interior walls on plans.
Response: Column locations shown on this submittal.
- 12) Parking Tabulation Table shows eight ADA stalls are being provided, nine is shown on plans.
Response: Parking Tabulation Table and plans have been revised to show the same number of ADA stalls provided.
- 13) Applicant is required to provide a minimum of eight ADA parking stalls. Please identify on plans with the proper pavement markings and signage per code. In addition, ADA accessible routes are required between accessibility parking and building's Lobby access as well as an accessible route to the sidewalk in the public rights-of-way. For the accessible route, identify any change in elevation or slopes. If there is no change in elevation, indicate on plans the transition is flush. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements.

Response: Parking Tabulation Table and plans have been revised to show a total of seven ADA parking stalls based on the required amount of parking with reductions pursuant to 4.6.D.3.6.b and 4.6.D.3.6.d.

- 14) On garage floor plans, please clarify ramp direction. The two-way ramp shown on the Ground Floor does not work with the one-way ramps on the upper floors. Please clearly show direction of vehicular traffic circulation on plans.

Response: Plans have been revised to clarify ramp direction and vehicular traffic circulation.

- 15) Pavement marking plans will be required for each floor of the garage. Be sure to provide pavement markings in areas of non-vehicular access.

Response: Acknowledged. Plans have been revised to show proposed pavement markings, and standard details are included in Sheet SP-102.

- 16) On the floor plans, please show locations of all building access and doorways.

Response: Plans have been revised to show locations of all building access and doorways.

- 17) Provide trash chute.

Response: Sheets A-101, A-102, A-103, A-104, A-105 & A-106 have been revised to show locations of the trash chute.

- 18) Label location of elevators.

Response: Sheets SP-101, A-101, A-102, A-103, A-104, A-105 & A-106 have been revised to show locations of the elevators.

- 19) Label location of dumpster. Dumpsters shall meet City Code Chapter 50.02.

Response: Ground Floor Plan has been revised to show location of Trash Room.

- 20) On all sheets, label and number stairwells.

Response: Ground

- 21) Indicate location of mailboxes / mail services on plan.

Response: Ground Floor Plan has been revised to show location of mail services.

- 22) Provide Loading Spaces as per Article 7 of the Zoning and Land Development Code. Minimum loading space dimension shall be 10'x25' with 14' vertical clearance.

Response: Two loading spaces have been added to the Ground Floor Plan, Sheet A-100.



March 6, 2023

6015 Washington LLC
2999 NE 191 St, Suite 907
Miami, FL 33180
FILE NUMBER: 23-DP-15

SUBJECT: Preliminary Site Plan review for a 115 Unit residential development and existing bank /
office
building (Residences at Beverly Park)

Engineering, Fire and Utilities Response:

23) Provide sight visibility triangle for all driveway access per Chapter 155.12 of City Codes on plans. Be sure to label distance between the edge of pavement and the property line.

Response: See attached civil plans with the distance shown

25) Provide vehicular turning radii at driveway access locations as well as throughout garage.

Response: See attached civil plans and architectural plans with the turning radii shown.

26) Indicate for all existing sidewalks along the site to be replaced, minimum width is 5'. Sidewalks shall be flushed through driveways. Provide ADA detectable warning as required and include details in plans.

Response: See attached civil plan with notes added.

27) Provide civil plans for the proposed project. Indicate items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details. Show location of existing water and sewer mains on plans and show the project is planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width asphalt pavement mill and resurface is required for all adjacent road / alley to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

Response: See attached civil plans with the information provided.

- 23) Provide sight visibility triangle for all driveway access per Chapter 155.12 of City Codes on plans. Be sure to label distance between the edge of pavement and the property line.
- 24) Indicate if there will be any security gate at the driveway openings. If so, please indicate type of gate and how it operates (remote, sensor, card reader, etc.). Be sure to provide space required for gate's operation and provide sufficient vehicle queueing. All vehicle queueing shall be within private property. If entry is not gated, minimum of one vehicle queueing space is required (8.5'x19' minimum).
- 25) Provide vehicular turning radii at driveway access locations as well as throughout garage.
- 26) Indicate for all existing sidewalks along the site to be replaced, minimum width is 5'. Sidewalks shall be flushed through driveways. Provide ADA detectable warning as required and include details in plans.
- 27) Provide civil plans for the proposed project. Indicate items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details. Show location of existing water and sewer mains on plans and show the project is planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width asphalt pavement mill and resurface is required for all adjacent road / alley to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.
-

28) Provide trip generation calculation for the proposed development to determine if a traffic impact study will be required. Please note that traffic study reviews are done on a cost recovery basis by a City's consultant.

Response: Please see Attachment – Trip Generation Calculation provided herein, prepared by Karl Peterson, P.E. (KBP Consulting), March 2023.

29) MOT plans will be required at the time of City Building Permit review.

Response: Acknowledged.

30) All outside agency permits must be obtained prior to issuance of City building permit.

Response: Acknowledged.

31) This project will be subject to the impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022.

Response: Applicant has initiated the Affordable Housing Certification process with Broward County. Pursuant to Sec. 27.237, Broward County Administrative Code, school impact fees will be waived for affordable housing developments certified by Broward County.

32) More comments may follow upon review of the requested information.

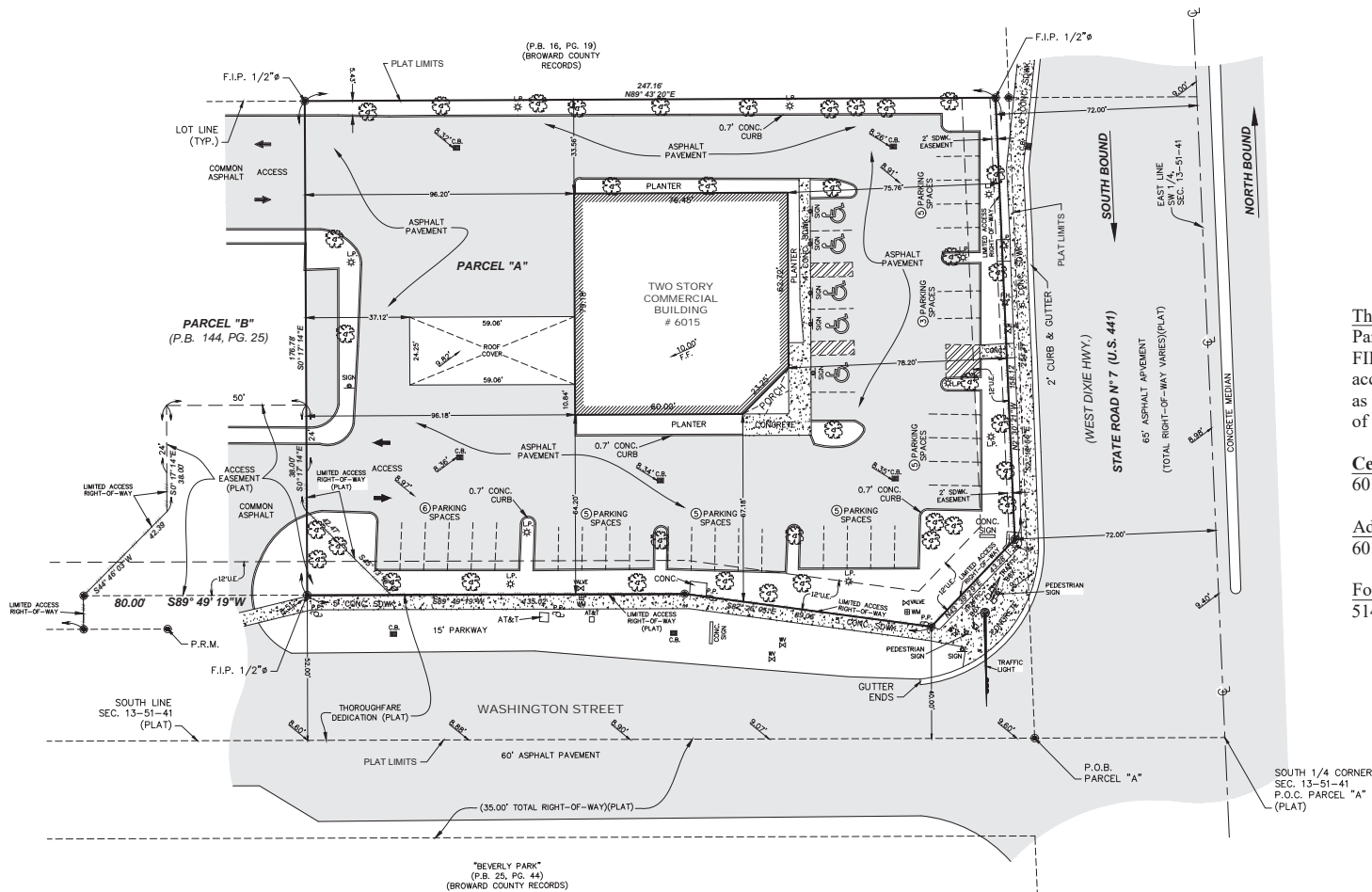
Response: Acknowledged.

cc: Azita Behmardi, P.E., City Engineer
Rick Mitinger, P.E., Transportation Engineer
File

LEGEND
A = Arc
ASPH = Asphalt
BM = Bench Mark
BKG = Bearing
CB = Catch basin
CBS = Concrete Block
C = Center
CH = Chisel
Chatta = Chatahoochee
CL = Center Line
CLF = Chain Link Fence
CL = Clear
CONC = Concrete
D = Delta
Ø = Diameter
DH = Drill Hole
DME = Drainage & Maintenance
E = Easement
E.B. = Electric Box
Enc = Encroachment
F.F. = Finish Floor
F.H. = Fire Hydrant
F.I.R. = Found Iron Rebar
FPL = Florida Power & Light
F.I.P. = Found Iron Pipe
FD = Found
L.P. = Light Pole
M = Measured
M.F. = Metal Fence
M.H. = Manhole
M = Monument Line
MON. = Monument
N/A = Not Applicable
ND = Nail & Disc
NTS = Not to Scale
OIS = Offset
O.U.L. = Overhead Utility Lines
OH = Overhang
P = Plat
PB = Plat Book
PC = Point of Curvature
PCP = Permanent Control Point
PG = Page
PI = Point of Intersection
PL = Property Line
PL = Planter
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
P.R.M. = Permanent Reference
P.R.C. = Point of Reverse
Curvature
PT = Point of Tangency
R = Radius
R.R. = Railroad
PSM = Professional Surveyor
Mapper
RW = Right-of-Way
SWK = Sidewalk
Sec. = Section
(TYP) = Typical
T = Tangent
U.E. = Utility Easement
W.F. = Wood Fence
W.M. = Water Meter
W.V. = Water Valve
± = Denotes Spot
Elevations Taken

(b) All rights shown herein are public unless otherwise noted.
(c) No limitation can be placed on the use of this survey for any purpose other than that for which it was made.
(d) The graphic portion of this document is intended to be displayed as a single unit and should be considered when used in conjunction with the written portion.
(e) Accuracy: The accuracy of the survey is as stated in the minimum technical standards for land surveying in Florida, which are based on the National Standard for Accuracy of Land Surveying.
(f) The accuracy of the survey is as stated in the minimum technical standards for land surveying in Florida, which are based on the National Standard for Accuracy of Land Surveying.
(g) The accuracy of the survey is as stated in the minimum technical standards for land surveying in Florida, which are based on the National Standard for Accuracy of Land Surveying.
(h) The accuracy of the survey is as stated in the minimum technical standards for land surveying in Florida, which are based on the National Standard for Accuracy of Land Surveying.

NOTE:
(a) Surveyors and/or encroachments shown herein are of the apparent nature, known legal ownership not determined.
(b) The survey is for the exclusive and specific use of those persons, parties or institutions in the jurisdiction.
(c) Code restrictions and site restrictions are not indicated in this survey.
(d) The flood information shown herein does not imply that the subject property will or will not be flooded.
(e) The flood information shown herein does not imply that the subject property will or will not be flooded.
(f) The flood information shown herein does not imply that the subject property will or will not be flooded.
(g) The flood information shown herein does not imply that the subject property will or will not be flooded.
(h) The flood information shown herein does not imply that the subject property will or will not be flooded.



Notes:
Elevations shown refer to N.A.V.D. 1988
B.M.# 0086 (Broward County)
Elevation = 9.445 (NGVD29)

This property described as:
Parcel "A",
FIRST UNION WEST,
according to the Plat thereof,
as recorded in Plat Book 144, Page 25,
of the Public Records of Broward County, Florida.

Certified to:
6015 WASHINGTON LLC

Address:
6015 WASHINGTON ST HOLLYWOOD FL 33023

Folio #
5141 13 32 0010

"THIS SURVEY DECLARATION IS MADE ON THE
FIELD DATE INDICATED, TO THE OWNER(S) LISTED.
IT IS NOT TRANSFERABLE TO ADDITIONAL
INSTITUTIONS OR SUBSEQUENT OWNERS."

Bearing, if any, shown based on _Plat meridian (reference) SOUTH ϵ S89° 49' 19"W

REVISIONS:				TOPOGRAPHIC SURVEY:			
FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX:	I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5-12 Florida Administrative Code, pursuant to Section 402.022 Florida Statutes.			
AH	125113	0564	H	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.			
F.I.R.M. DATE	F.I.R.M. INDEX	BASE ELEV.		RENE AGUESVIVES 08/11/21 PROFESSIONAL SURVEYOR AND MAPPER No. 4327, State of Florida.			
08 / 18 / 14	08 / 18 / 14	+ 10FT N.G.V.D.		Alvarez, Aguesvives and Associates, Inc. Surveyors, Mappers and Land Planners 9789 Sunset Drive, Miami, FL 33173 Phone 305.220.2424 Fax 305.552.8181 L.B. No. 6867 / E-mail: aaasurvey@aol.com			
Field Date	Scale:	Drawn by:	Drwg. No.				
08/10/21	1"=30'	J.A.	21-23233				

(P.B. 16, PG. 19)
(BROWARD COUNTY
RECORDS)



Folio #:
5141 13 32 0020

Bearing, if any, shown based on Plat meridian (reference) XXXXXX

REVISIONS:				TOPOGRAPHIC SURVEY: I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in chapter 53-17 Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.		Alvarez, Aguiavesives and Associates, Inc. Surveyors, Mappers and Land Planners 9789 Sunset Drive, Miami, FL 33173 Phone 305.220.2424 Fax 305.552.8181 L.B. No. 6867 / E-mail: aaasurvey@aol.com			
FLOOD ZONE XX		COMM. NO. XXXXXX		PANEL NO. XXXX		SUFFIX X		Not valid unless it bears the signature and the original sealed seal of Florida licensed Surveyor and Mapper.	
F.I.R.M. DATE 08/11/09		F.I.R.M. INDEX 08/11/09		BASE LEVEL + XXXX N.G.V.D.		RE: RENE AGUIAVESIVES 08/11/21 PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.		Field Date 08/10/21	
								Scale: 1"=20' Drawn by: J.A. Dwg. No. 21-230	

MEETING DATES:
City Commission Meeting for approval of Local Government Area of Opportunity (LGAO) funding: 12/7/2022
Pre-Application Conceptual Overview Meeting (PACO): 2/6/2023
Preliminary Technical Advisory Committee Meeting (PTAC): 2/21/2023
Final Technical Advisory Committee Meeting (FTAC): 3/20/2023 (scheduled)
Planning & Development Board Meeting: 4/3/2023 or 5/9/2023



RESIDENCES AT BEVERLY PARK

PROPOSED RESIDENTIAL DEVELOPMENT

6015 WASHINGTON ST.

HOLLYWOOD, FL 33023

MARCH 2023



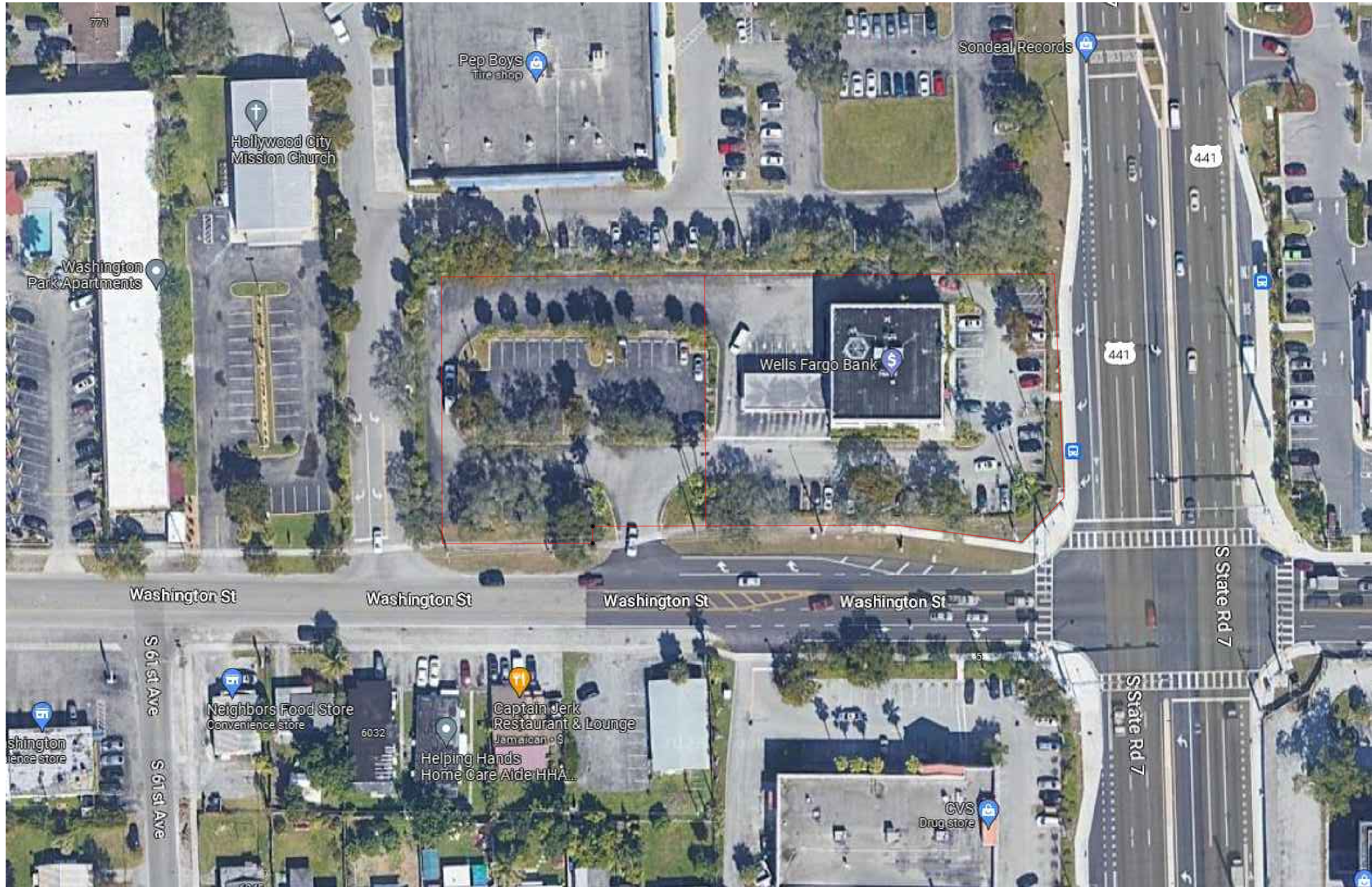
CRISTINA FANDINO, AIA CFM ARCHITECTS

4453 SW 72ND AVENUE MIAMI, FL 33155

T.: 786 502 4384

CRISTINA FANDINO A.R. No. 0014682

cristina@cfmarchitects.com



SEAL:

PALMS AT PARKER
202 UNITS BUILDING APARTMENT
14201-14259 HENDERSON ST
NARANJA, FI 33032

CLIENT INFORMATION:
NOVEL PALMS LLC
8333 NW 53 STREET
SUITE 450
DORAL, 33166

DATE: _____

REV1 08.09.2022 _____

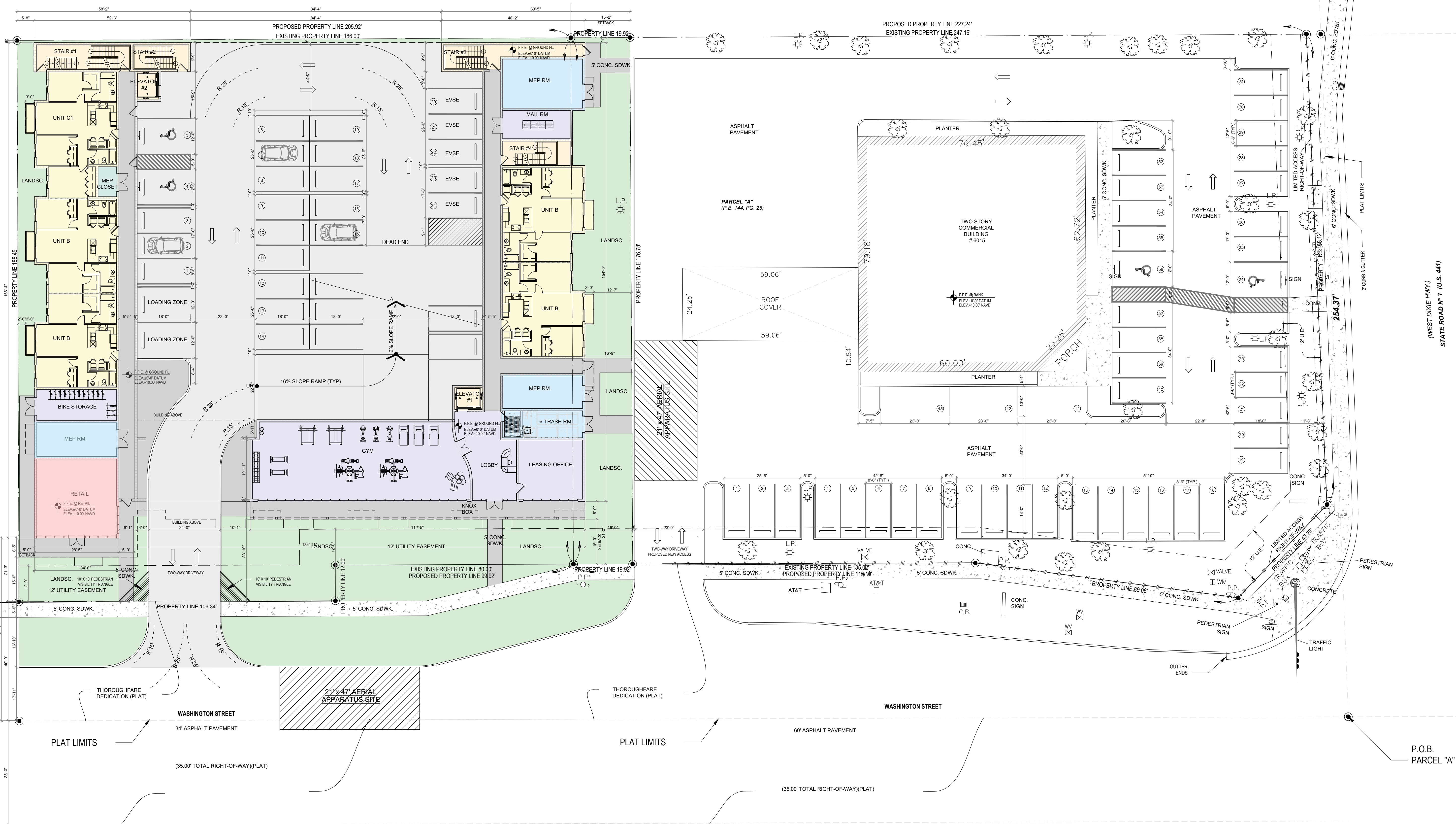
REV2 12.14.2022 _____

NOTICE: THE ARCHITECT'S SIGNED AND/OR STAMPED HARD COPY OF THIS AGREEMENT IS REQUIRED FOR THE ARCHITECT TO BE ELIGIBLE TO PARTICIPATE IN THE BIDDING PROCESS. THE ARCHITECT'S SIGNED AND/OR STAMPED HARD COPY OF THIS AGREEMENT IS REQUIRED FOR THE ARCHITECT TO BE ELIGIBLE TO PARTICIPATE IN THE BIDDING PROCESS.

PROJECT No.	202201
DRAWN BY:	JL - AD
CHECKED BY:	CF
LOCATION MAP	

FILE LOCATION: Z:\2022\2022225 6015 WASHINGTON ST. HOLLYWOOD - ROBBY BLOCKCAD\02-27-2023\2022225 SP-100 TO SP-103.DWG
PRINTED ON 03.06.2023

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.
NO COPIES, REPRODUCTIONS, TRANSMISSIONS OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS ARE TO BE MADE WITHOUT THE WRITTEN PERMISSION OF CFM ARCHITECTS. ALL DESIGN INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF CFM ARCHITECTS. ALL COPYRIGHTS RESERVED © 2023. THESE PLANS ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.



NOTES:

1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS..
3. 0.5 MAXIMUM FOOT CANDLE LEVEL ALLOWED AT ALL PROPERTY LINES.

cfm
ARCHITECTS

CERTIFICATION No. AR0014682

4253 S.W. 72nd Ave.
MIAMI, FL 33155
TEL: (786)502-4384

E-MAIL:
mariagabriela@cfmarchitects.com

CFM ARCHITECTS
THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THIS ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.



CONSULTANT:

**RESIDENCES AT
BEVERLY PARK**
6015 WASHINGTON ST
HOLLYWOOD, FL 33023

CLIENT INFORMATION:

DATE:
PRELIMINARY 02.23.2023
SUBMITTAL 03.06.2023

PROJECT No. 2022225
DRAWN BY:
CHECKED BY: CF
SITE PLAN

SP-100

FILE LOCATION: Z:\2022\202225 015 WASHINGTON ST. HOLLYWOOD - ROBBY BLOCK\CA\02-27-2023\202225 SP-100 TO SP-103.DWG
PRINTED ON 03.06.2023

THIS DRAWING FOR REVIEWING DEPARTMENT ONLY. THEY ARE NOT TO BE CONSIDERED AS CONTRACT DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.
NO COPIES, REPRODUCTIONS, TRANSMISSIONS OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF CFM ARCHITECTS. ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF CFM ARCHITECTS. ANY VIOLATION OF THESE TERMS WILL BE CONSIDERED A BREACH OF CONTRACT AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.
DUE TO THE COMPLEXITY OF THE PROJECT, THE CONTRACTOR SHALL CLARIFY THE DESIGN AND CONSTRUCTION OF THE PROJECT TO THE ARCHITECT'S SATISFACTION.
NO COPIES, REPRODUCTIONS, TRANSMISSIONS OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF CFM ARCHITECTS. ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF CFM ARCHITECTS. ANY VIOLATION OF THESE TERMS WILL BE CONSIDERED A BREACH OF CONTRACT AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

ZONING INFORMATION			
PROJECT NAME	Residences at Beverly Park		
ADDRESS	6015 Washington Street Hollywood, Florida 33023		
FOLIO'S NO	5141-13-32-0010 / 5141-13-32-0020		
ZONING	S-MU (South Mixed Use District)		
NET LOT AREA	78,843 SF (1.81 acres)		
GROSS LOT AREA (TO CENTER LINE OF THE STREET)	117,612 SF (2.7 acres)		
	REQUIRED/ALLOWED	PROVIDED	REMARKS
LOT COVERAGE			
BUILDING	N/A	29,975 SF	
DENSITY (50 UNITS/ ACRE)	2.7 acres x 50 Units per acre =135 Units	115 Units	
BUILDING SETBACK			
EAST SIDE - INTERIOR SIDE (FACING WEST DIXIE HIGHWAY)	0'-0"	15'-2"	
WEST SETBACK - SIDE	0'-0"	5'-0"	
NORTH SETBACK - INTERIOR SIDE (REAR)	0'-0"	0'-9"	
SOUTH SETBACK - SECONDARY FRONT (WASHINGTON ST)	10'-0"	15'-0"	
BUILDING HEIGHT			
MAX HEIGHT	175'-0"	10 STORIES / 101'-6"	
BUILDING FRONTAGE			
TOTAL BUILDING FRONTAGE		184'-11" (89.6%)	
OPEN SPACE		7,685 SF	
LANDSCAPE	N/A	6,383 SF	
***PARKING	220 PS	245 PS	INCLUDING PARKING GARAGE AND EXIST. BANK

***PARKING TABULATION		
PARKING GARAGE		
PARKING REQUIREMENTS TABULATION - 1.5 PARKING SPACES / UNIT		
UNIT A, A1	17 UNITS - 1 BEDROOM	26 PARKING SPACES
UNIT B, B1	69 UNITS - 2 BEDROOM UNITS	104 PARKING SPACES
UNIT C, C1	29 UNITS - 3 BEDROOM UNITS	44 PARKING SPACES
SUBTOTAL		174 PARKING SPACES
VISITORS	1 PS PER 5 UNITS - 115 / 5 = 23 PS	23 PARKING SPACES
RETAIL	1 PS PER 250 SF - 750 SF / 3250 SF = 3 PS	3 PARKING SPACES
**10% REDUCTION (SECTION 4.6.D.3.6.b & 4.6.D.3.6.d)	200 PS X 0.1 = 20 PS	-20 PARKING SPACES
TOTAL SPACES REQUIRED		180 PARKING SPACES
TOTAL SPACES PROVIDED		202 PARKING SPACES
HANDICAPPED	201 PS - 300 PS = 7 HC	7 HC
LOADING SPACES	1 LOADING SPACE EVERY 50 - 100 UNITS	2 LOADING SPACES
BIKE RACKS	1 SPACE PER 20 PS - 202 PS / 20 = 10 BIKE SPACES	15 BIKE SPACES
EXISTING BANK PARKING		
BANK AND OFFICE (EXISTING)	1 PS PER 250 SF - 11,317 SF / 250 SF = 45 PS	45 PARKING SPACES
**10% REDUCTION (SECTION 4.6.D.3.6.b & 4.6.D.3.6.d)	45 PS X 0.1 = 5 PS	-5 PARKING SPACES
TOTAL SPACES REQUIRED		40 PARKING SPACES
TOTAL SPACES PROVIDED		43 PARKING SPACES
HANDICAPPED	26 PS - 50 PS = 2 HC	2HC
**REDUCTIONS		
5% REDUCTION (4.6.D.3.6.b)	1 BIKE RACK SPACE PER 20 REQUIRED SPACES	
5% REDUCTION (4.6.D.3.6.d)	1 DEDICATED RIDE-SHARE SPACE PER 25 REQUIRED SPACES	

This property described as:
Parcel "A" & Parcel "B"
FIRST UNION WEST,
according to the Plat thereof,
as recorded in Plat Book 144, Page 25,
of the Public Records of Broward County, Florida.

UNIT MATRIX				
FLOOR	1 BD / 1 BTH	2 BD / 2 BTH	3 BD / 2 BTH	TOTAL
GROUND FLOOR	0	4	1	5
SECOND FLOOR	2	8	3	13
THIRD FLOOR	2	8	3	13
FOURTH FLOOR	2	8	3	13
FIFTH FLOOR	2	8	3	13
SIXTH FLOOR	2	8	3	13
SEVENTH FLOOR	2	8	3	13
EIGHTH FLOOR	2	6	3	11
NINETH FLOOR	2	6	3	11
TENTH FLOOR	1	5	4	10
SUBTOTAL	17	69	29	115

BUILDING MATRIX																										
BUILDING																										
FLOORS	AC SPACE SF																		NON AC SPACE SF					BUILDING TOTAL SF	BUILDING TOTAL SF (WITH BALCONIES)	
	UNIT A (637 SF)		UNIT A1 (666 SF)		UNIT B (875 SF)		UNIT B1 (946 SF)		UNIT C (1,010 SF)		UNIT C1 (1,035 SF)		UNIT C2 (1,106 SF)		MEP RM.	LOBBY, MAIL RM, GYM, LEASING OFFICE & BIKE ST.	CHUTE & TRASH RM	RETAIL	TOTAL AC SF	CORRIDOR	STAIRS #1 & #4	ELEVATOR #1	BALCONIES (30 SF TYP.) (100 SF - C2)			TOTAL NON AC SF
	# OF UNITS	SF	# OF UNITS	SF	# OF UNITS	SF	# OF UNITS	SF	# OF UNITS	SF	# OF UNITS	SF	# OF UNITS	SF						SF	SF	SF	SF			
GROUND FLOOR	0	0	0	0	4	3500	0	0	1	1010	0	0	0	0	1,216	3,491	282	750	10,249	859	527	80	150	1616	11715	11865
SECOND FLOOR	1	637	1	732	5	4375	3	2838	1	1010	1	1035	1	1106	132	0	95	0	11,960	2,269	482	80	460	3291	14791	15251
THIRD FLOOR	1	637	1	666	5	4375	3	2838	1	1010	1	1035	1	1106	132	0	95	0	11,894	2,269	482	80	460	3291	14725	15185
FOURTH FLOOR	1	637	1	666	5	4375	3	2838	1	1010	1	1035	1	1106	132	0	95	0	11,894	2,269	482	80	460	3291	14725	15185
FIFTH FLOOR	1	637	1	666	5	4375	3	2838	1	1010	1	1035	1	1106	132	0	95	0	11,894	2,269	482	80	460	3291	14725	15185
SIXTH FLOOR	1	637	1	666	5	4375	3	2838	1	1010	1	1035	1	1106	132	0	95	0	11,894	2,269	482	80	460	3291	14725	15185
SEVENTH FLOOR	1	637	1	666	5	4375	3	2838	1	1010	1	1035	1	1106	132	0	95	0	11,894	2,269	482	80	460	3291	14725	15185
EIGHTH FLOOR	1	637	1	666	4	3500	2	1892	1	1010	1	1035	1	1106	132	0	102	0	10,080	2,135	495	80	400	3110	12790	13190
NINETH FLOOR	1	637	1	666	4	3500	2	1892	1	1010	1	1035	1	1106	132	0	102	0	10,080	2,135	495	80	400	3110	12790	13190
TENTH FLOOR	1	637	0	0	3	2625	2	1892	1	1010	2	2070	1	1106	200	375	102	0	10,017	2,135	495	80	370	3080	12727	13097
SUBTOTAL	9	5096	8	5394	45	36750	24	20812	10	9090	10	8280	9	8848	2472	3866	1158	750	111856	20878	4904	800	4080	30662	138438	142518
TOTAL																							138438	142518		

PARKING GARAGE			
FLOORS	NON AC SPACE SF		
	ELEVATOR #2	STAIR #2 & #3	PARKING
FIRST FLOOR	80	525	15327
SECOND FLOOR	80	191	14303
THIRD FLOOR	80	191	14303
FOURTH FLOOR	80	191	14303
FIFTH FLOOR	80	191	14303
SIXTH FLOOR	80	191	11228
SUBTOTAL	400	1146	83767
TOTAL			85727

COMMON AREAS		
	AC SPACE SF	NON AC SPACE SF
POOL DECK		4247
POOL		614
BATH HOUSE		358
SUBTOTAL		5219
TOTAL SF OF BUILDING AREA		229384
TOTAL SF OF BUILDING AREA WITH BALCONIES		233464

cfm

ARCHITECTS

CERTIFICATION No. AR0014682

4253 S.W. 72nd Ave.
M I A M I , F L 3 3 1 5 5
T E L : (7 8 6) 5 0 2 - 4 3 8 4

E-MAIL:
mariagabriela@cfmarchitects.com

C F M A R C H I T E C T S
THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THIS ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.



CONSULTANT:

RESIDENCES AT
BEVERLY PARK
6015 WASHINGTON ST
HOLLYWOOD, FL 33023

CLIENT INFORMATION:

DATE:
PRELIMINARY 02.23.2023
SUBMITTAL 03.06.2023

PROJECT No. 202225
DRAWN BY:
CHECKED BY: CF

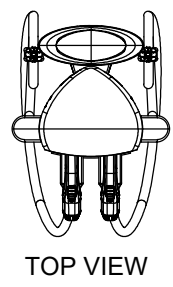
ZONING TABLE AND
BUILDING MATRIX

SP-101

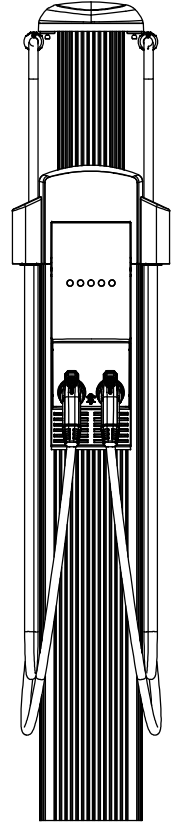
FILE LOCATION: 39700 WASHINGTON ST. HOLLYWOOD - ROBBY BLOCKCAD002-27-202202223 SP-102.DWG
Z:\2022\202225 6015 WASHINGTON ST. HOLLYWOOD - ROBBY BLOCKCAD002-27-202202223 SP-102.DWG
PRINTED ON 03.06.2023

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.
NO COPIES, REPRODUCTIONS, TRANSMISSIONS OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF CF M ARCHITECTS. ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF CF M ARCHITECTS. ALL COPYRIGHTS RESERVED © 2016. THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

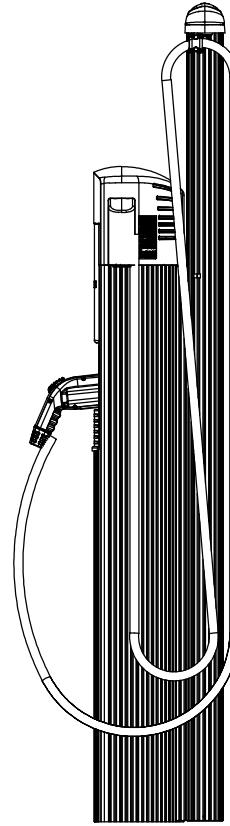
CHARGEPOINT
MODEL#CT4021-GW1,CT4001-CCM
(STANDARD POWER SHARE)



TOP VIEW



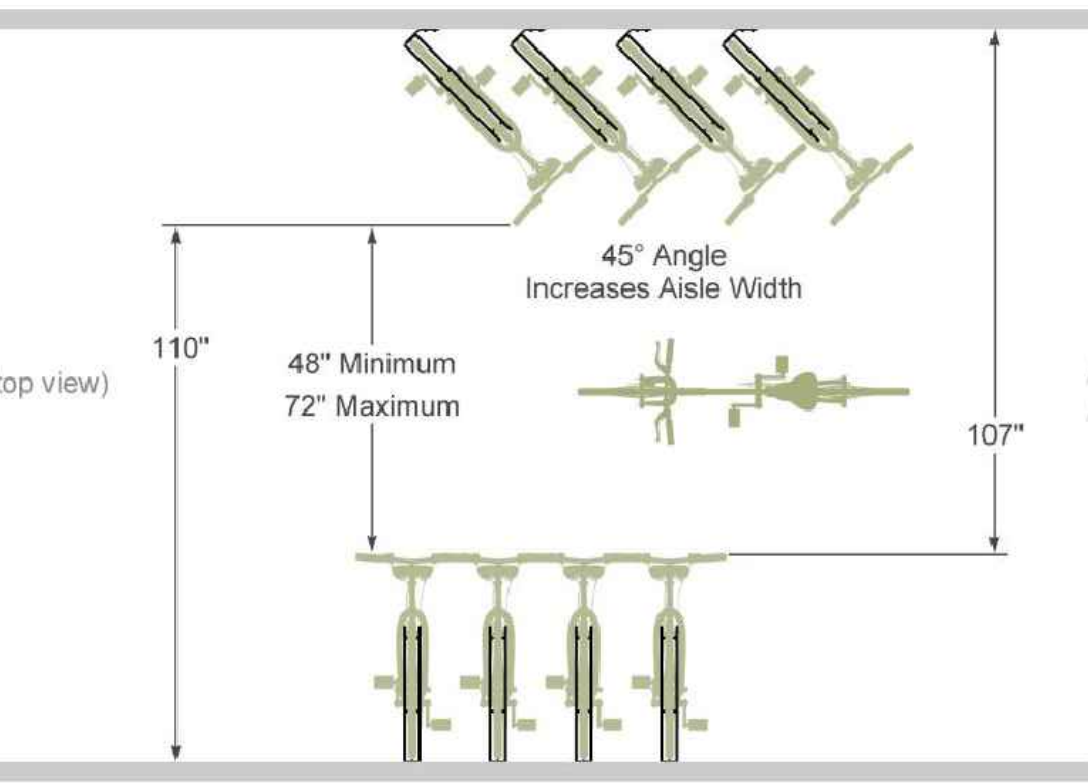
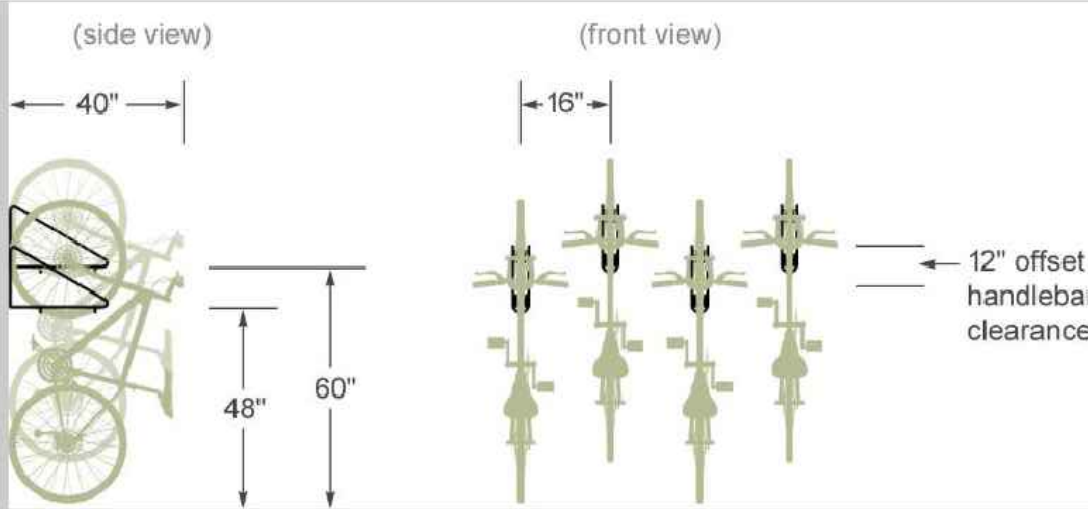
FRONT VIEW



SIDE VIEW

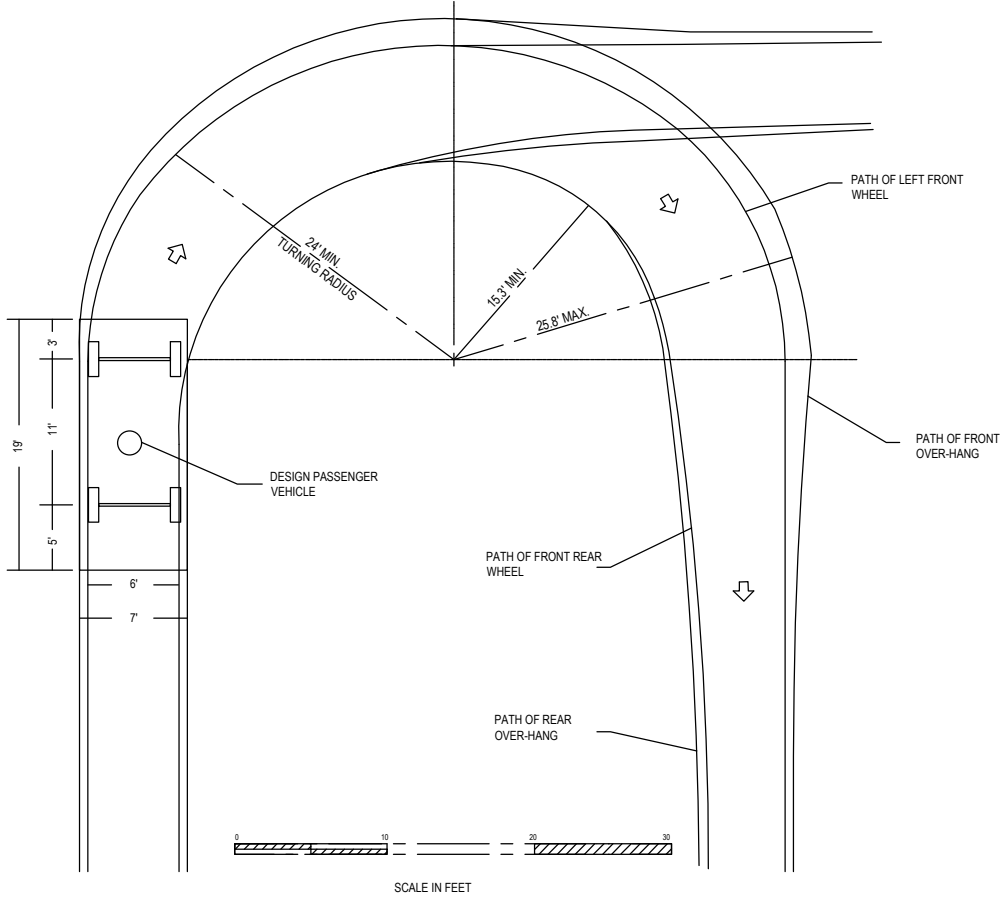
12 TYPICAL DUAL-PORT CHARGING STATION

SCALE:N.T.S.



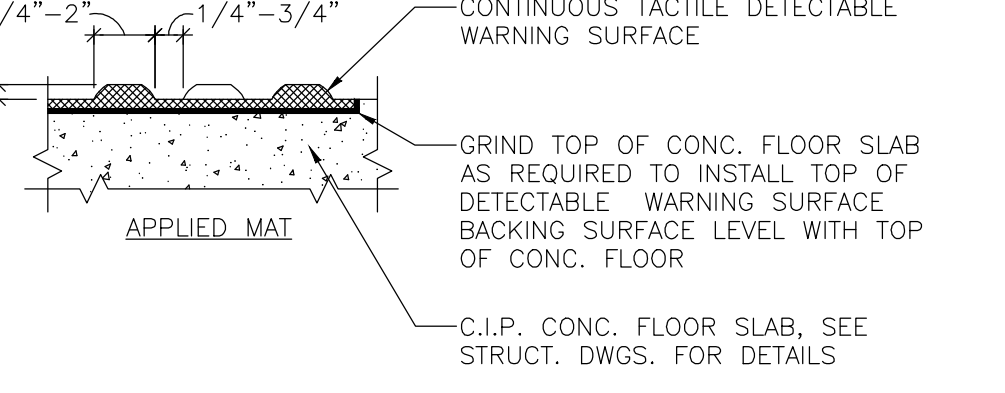
13 BIKE WALL RACK VERTICAL STORAGE

SCALE:N.T.S.



11 MIN. PARKING STANDARDS

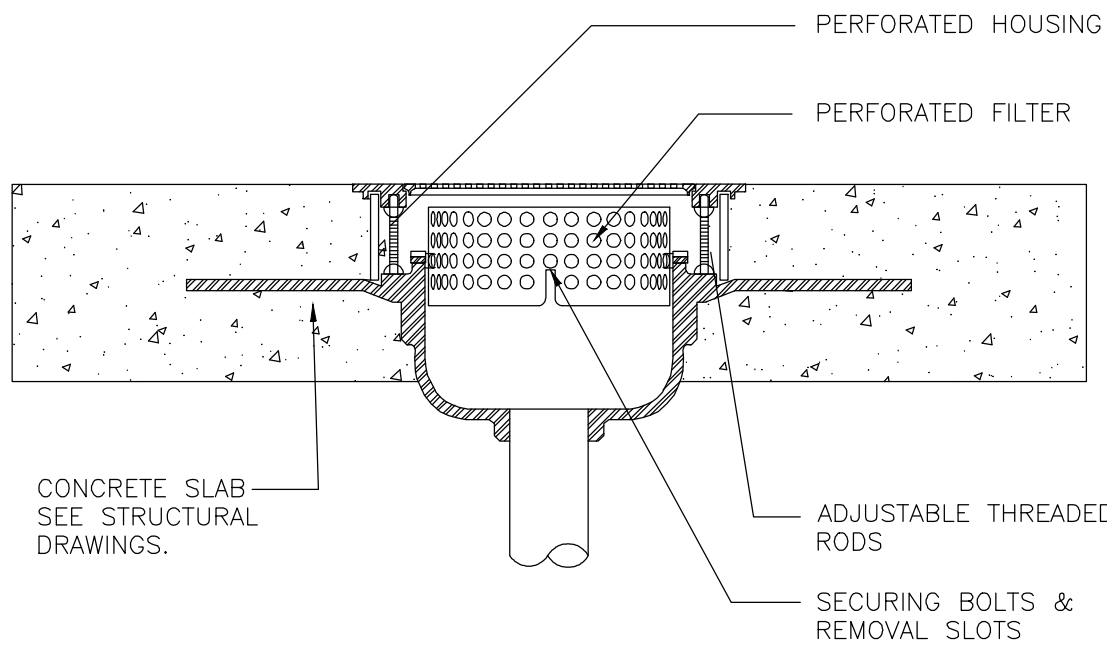
SCALE:N.T.S.



- DETECTABLE WARNINGS ON WALKING SURFACES :
(FBC SECTION 11-4.29)
1. ALL DETECTABLE WARNING SURFACES REQUIRED BY THE CODE SHALL BE GOVERNED BY THE REQUIREMENTS OF ANSI A117.1-1986.
 2. DETECTABLE WARNING TEXTURES ON WALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, CUSHIONED SURFACES MADE OF RUBBER OR PLASTIC, RAISED STRIPS, OR GROOVES. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE. RAISED STRIPS OR GROOVES SHALL COMPLY WITH FIGURE 40(A) AND FIGURE 40(B). GROOVES MAY BE USED INDOORS ONLY.

10 DETECTABLE WARNINGS ON WALKING SURFACES

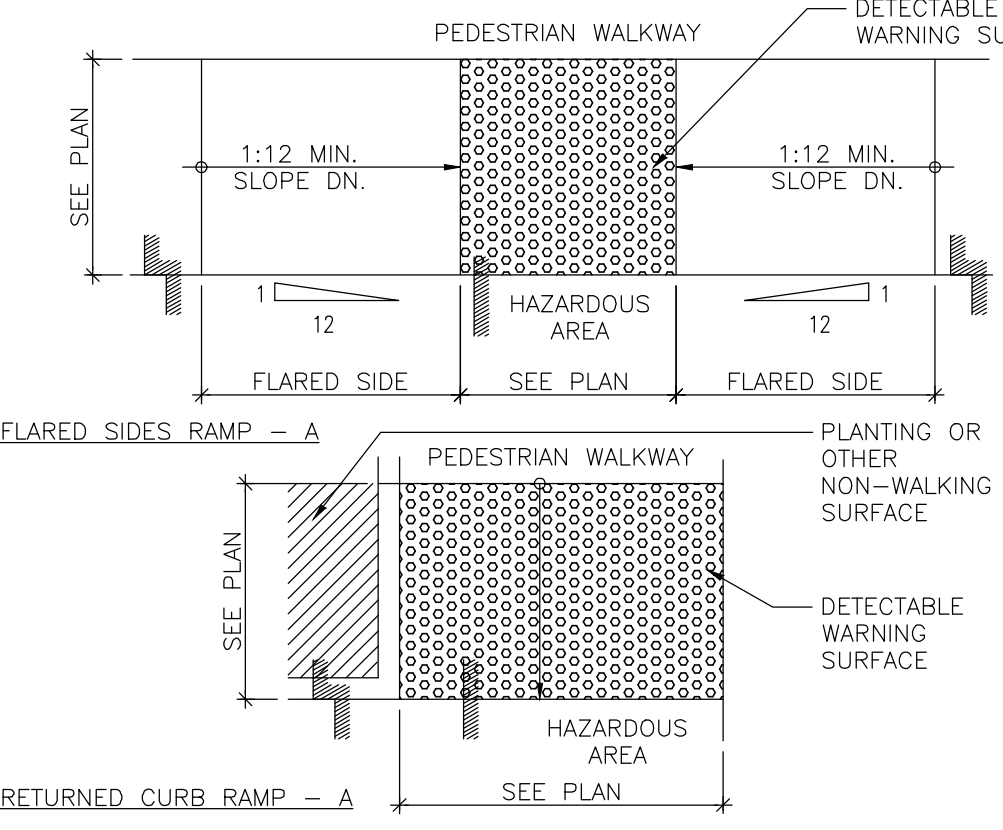
SCALE:N.T.S.



NOTE:
DRAIN DETAIL IS SCHEMATIC IN NATURE. FINAL DRAIN DETAIL PER PLUMBING ENGINEER AND SHOP DRAWINGS SUBMITTED BY GENERAL CONTRACTOR

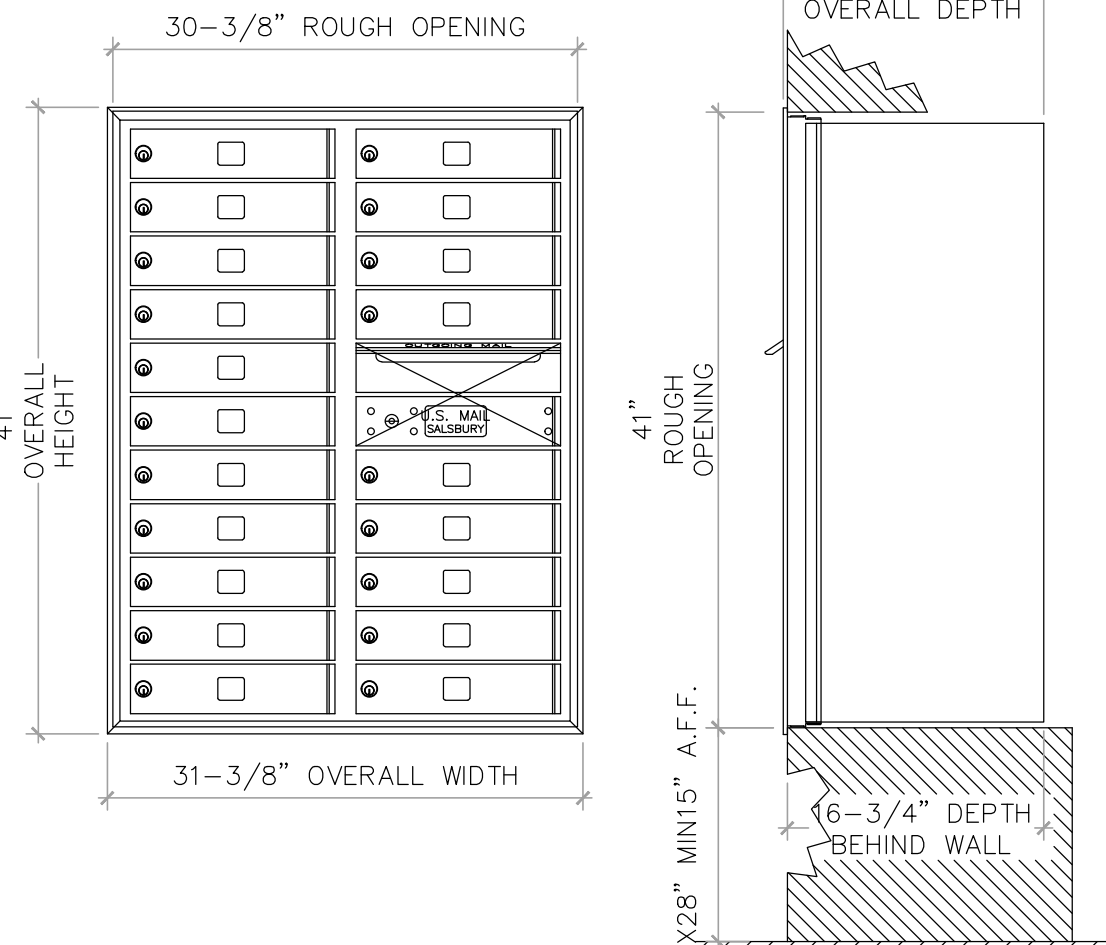
09 TYPICAL DRAIN DETAIL

SCALE:N.T.S.



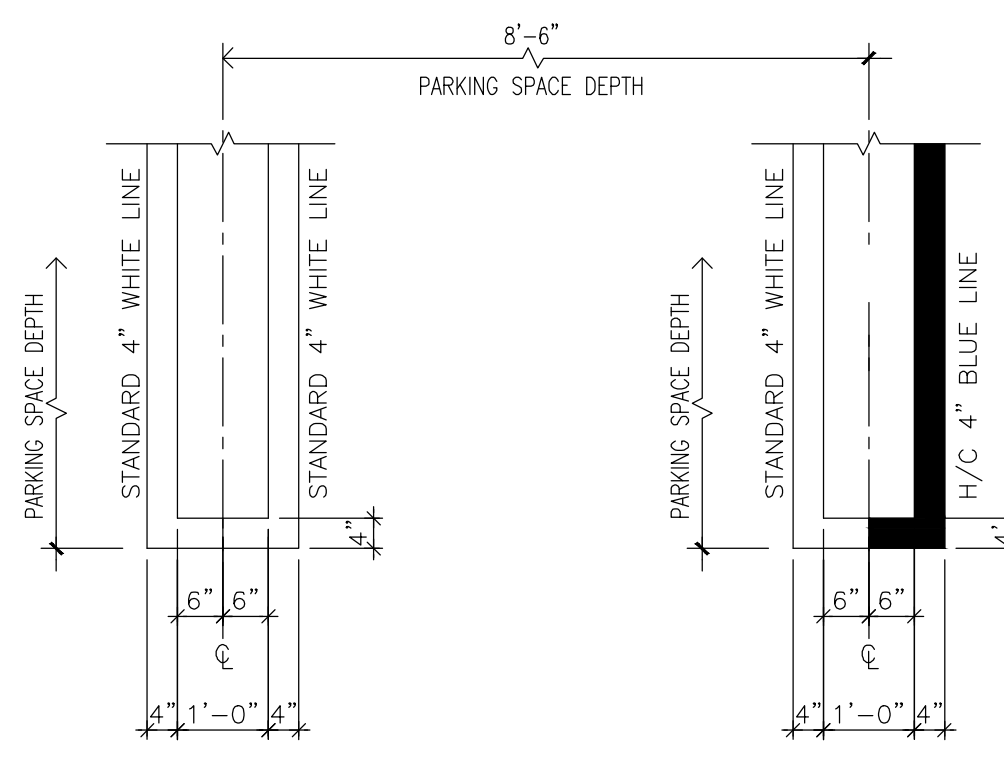
08 ACCESIBLE CURB DETAIL

SCALE:N.T.S.



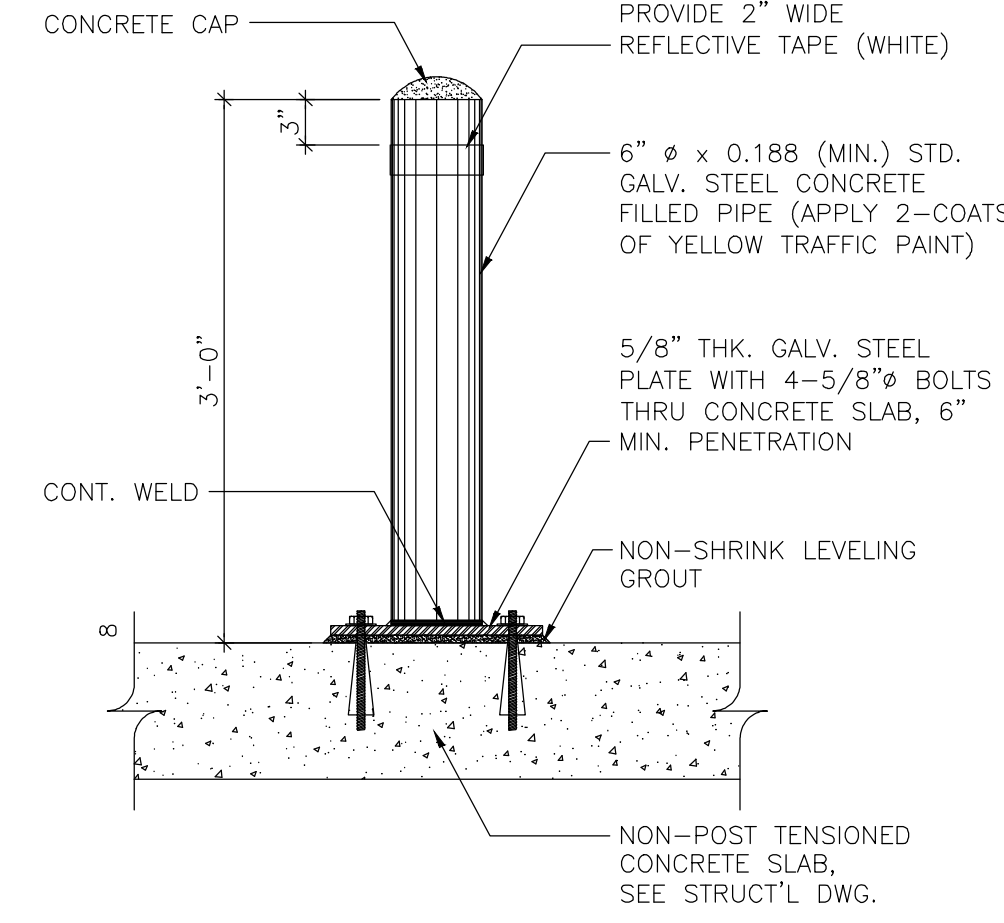
05 TYP. 4C MAILBOX DETAIL

SCALE:N.T.S.



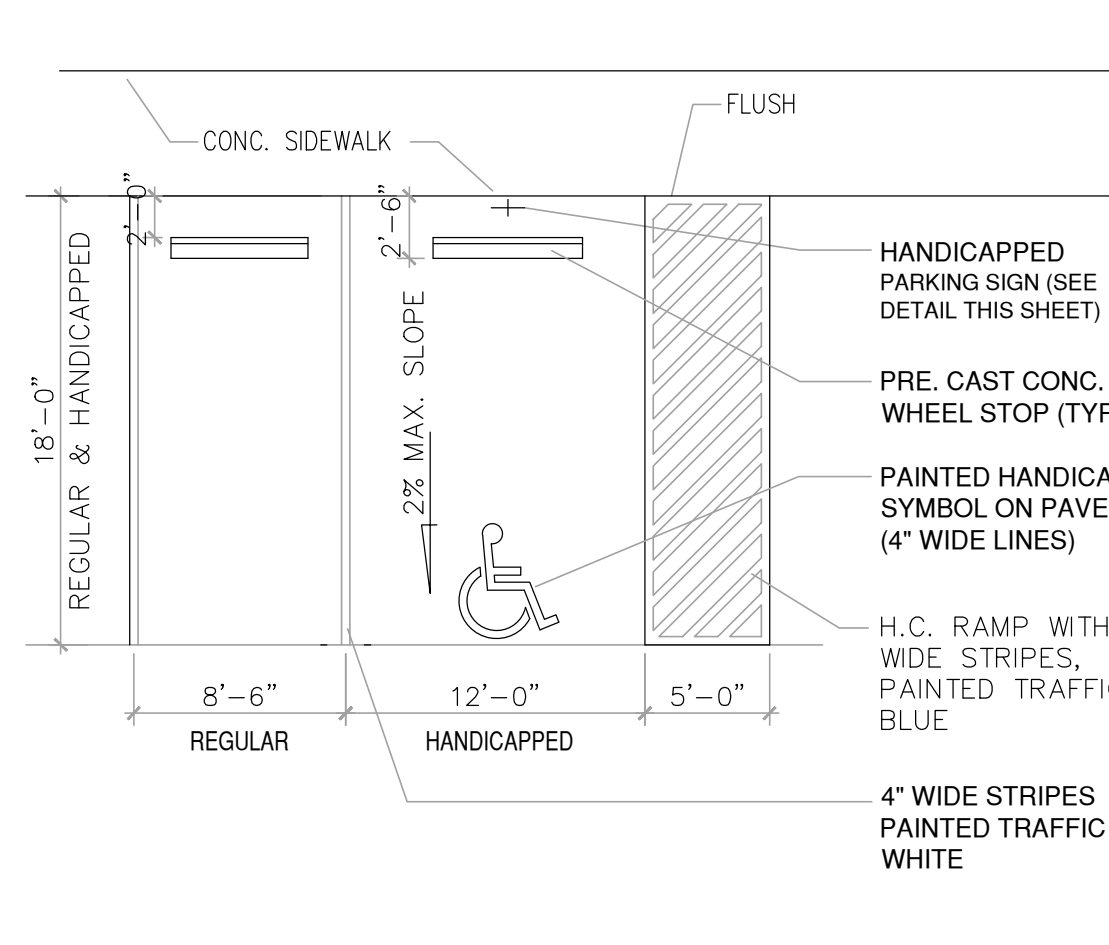
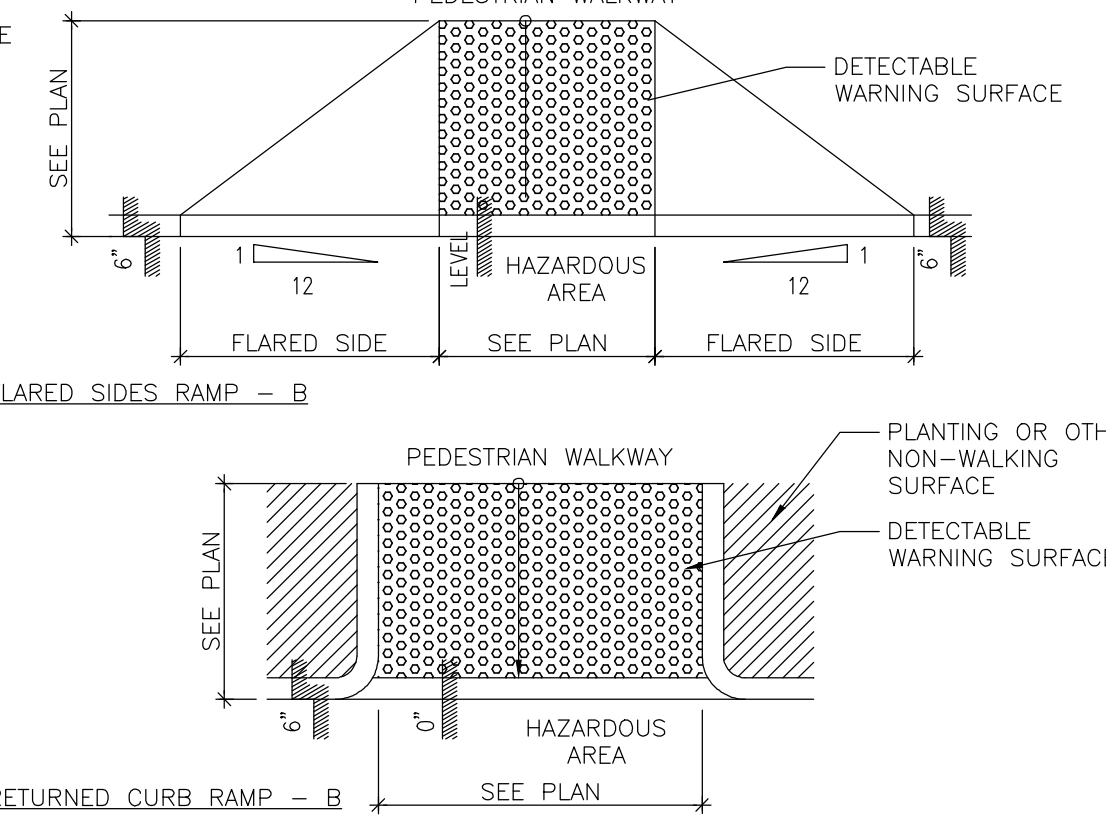
06 PARKING STALL STRIPPING

SCALE:N.T.S.



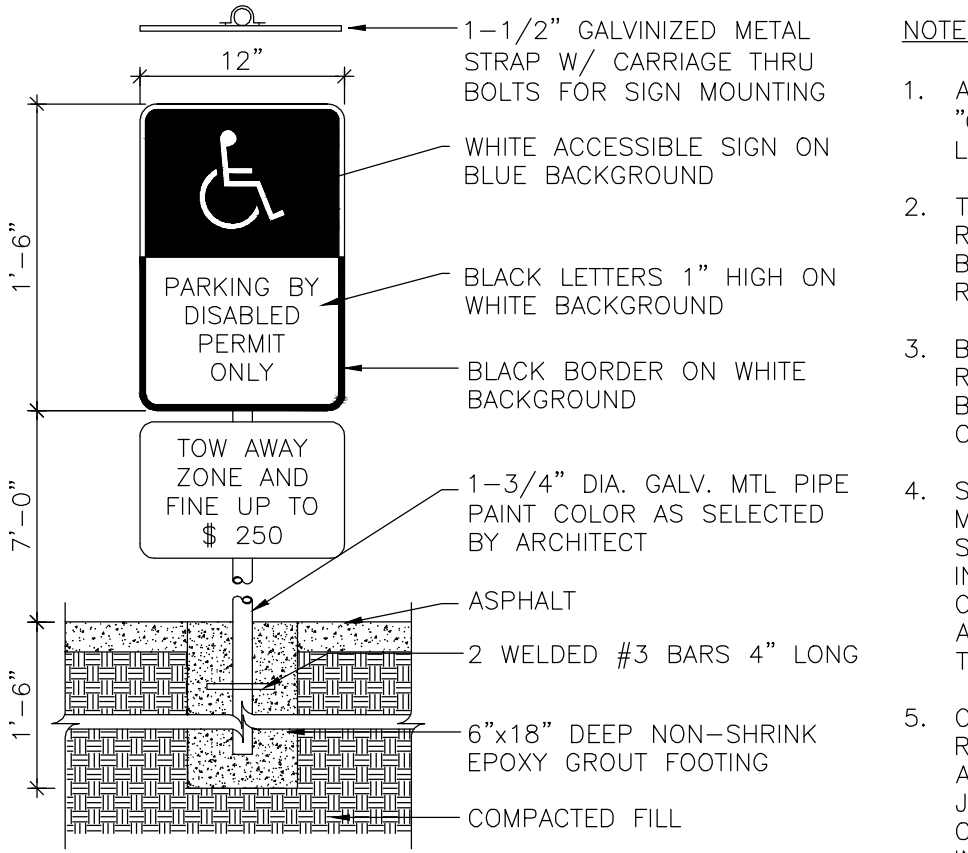
07 BOLLARD DETAIL

SCALE:N.T.S.

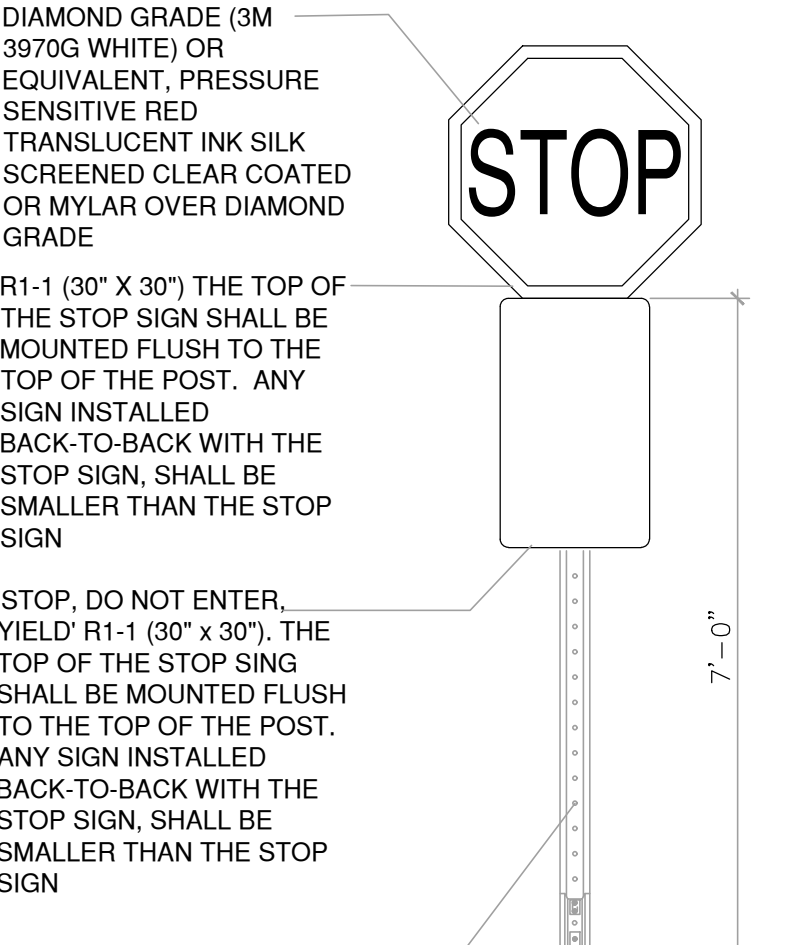


01 TYP. ACCESIBLE PARKING SIGN DETAIL

SCALE:N.T.S.

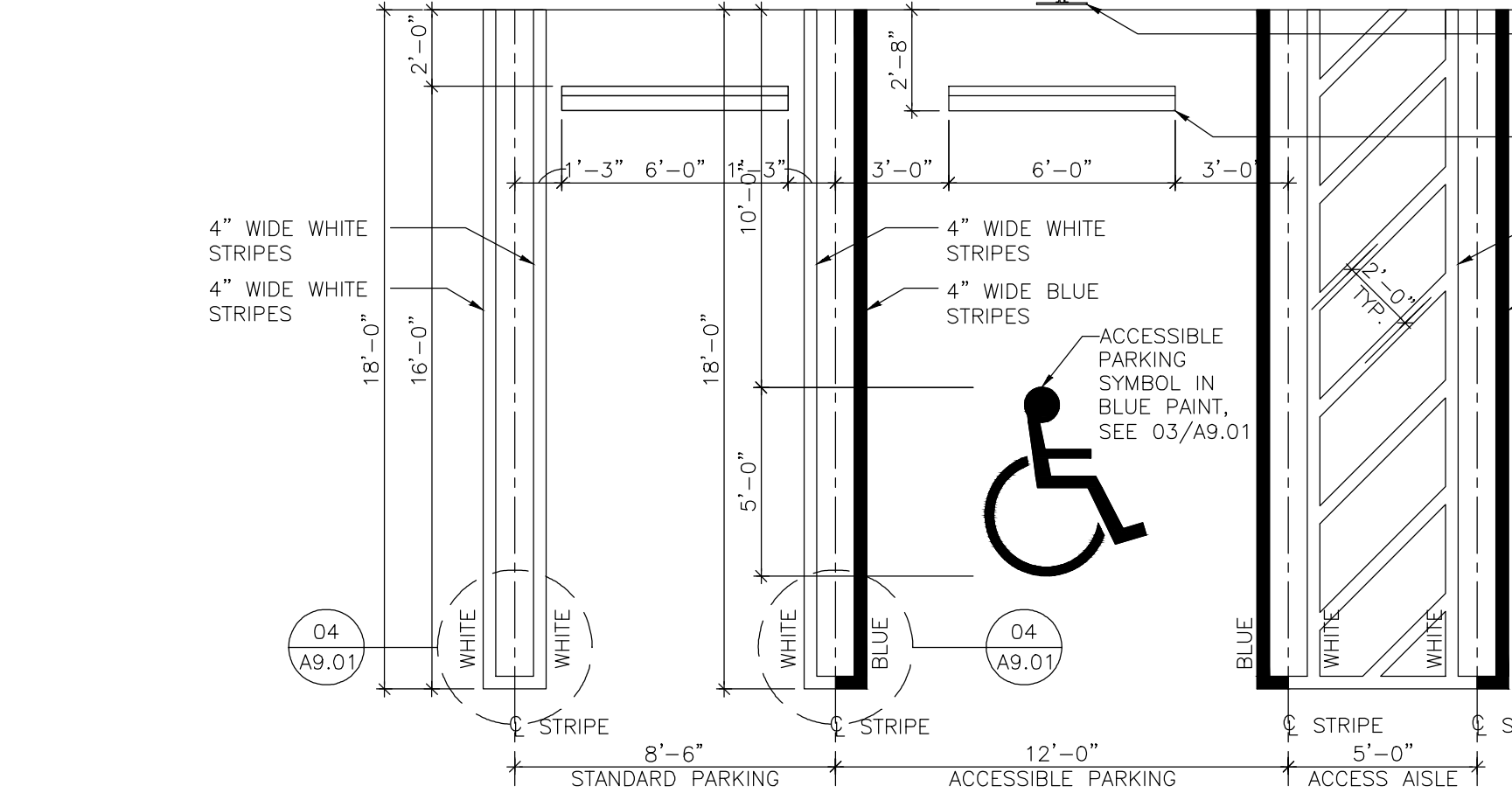


- NOTES:
1. ALL LETTERS TO BE 1" SERIES "C" SPACED 1" BETWEEN TEXT LINES.
 2. TOP SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED H.C. SIGN.
 3. BOTTOM SIGNS SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LETTERS AND BORDER.
 4. SIGN SHALL BE LOCATED IN A MANNER THAT THE LOWEST SIGN DOES NOT PROTRUDE INTO THE REQUIRED HEADROOM CLEARANCE ALONG THE ACCESSIBLE ROUTE SERVING THE PARKING AREAS.
 5. COORDINATE SPECIFIC SIGNAGE REQUIREMENTS WITH LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING, FABRICATION AND INSTALLATION OF SIGNS.



02 STANDARD AND HDCP. ACCESIBLE PARKING STALL DETAILS

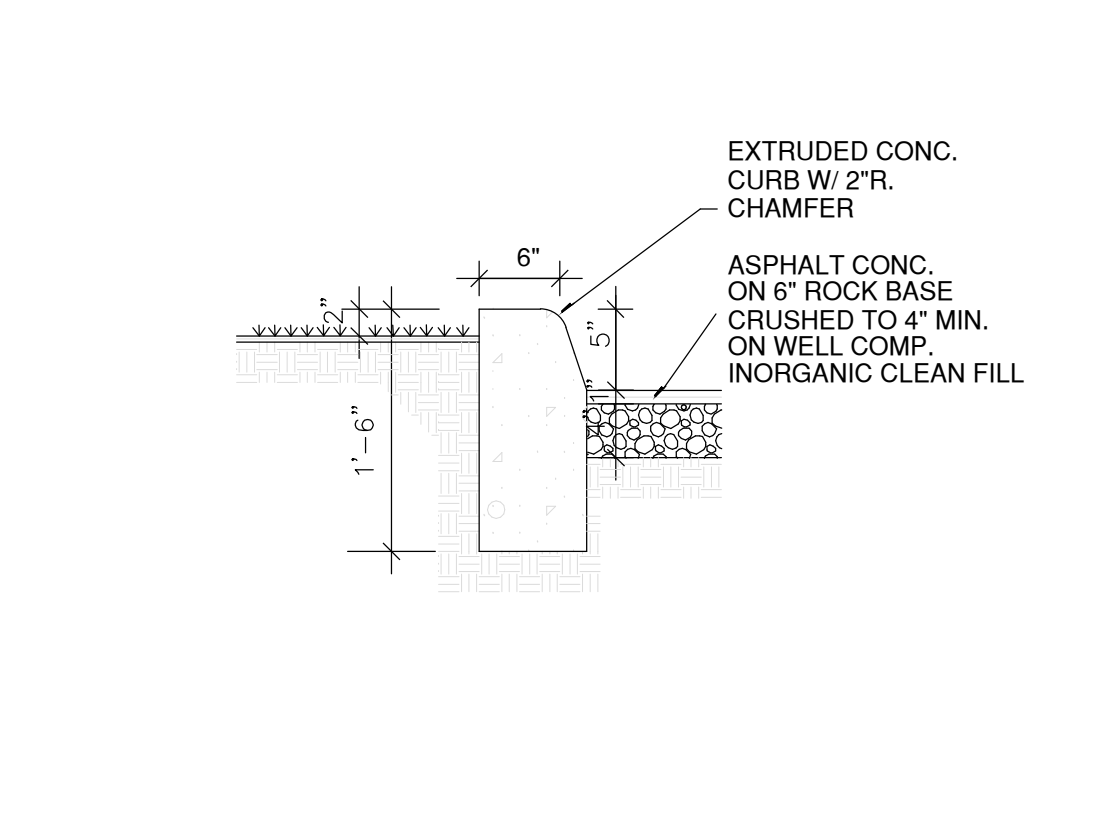
SCALE:N.T.S.



- NOTES :
1. PROVIDE SOLID 4" WIDE ACCESSIBLE PARKING SPACE STRIPPING AND SYMBOL - THERMOPLASTIC TRAFFIC COATING (COLOR BLUE TO BE PROVIDED).
 2. SLOPE SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
 3. ACCESSIBLE PARKING SPACE TO MEET SFBC, METRO-DADE DPR, FS 553 & ADAAG

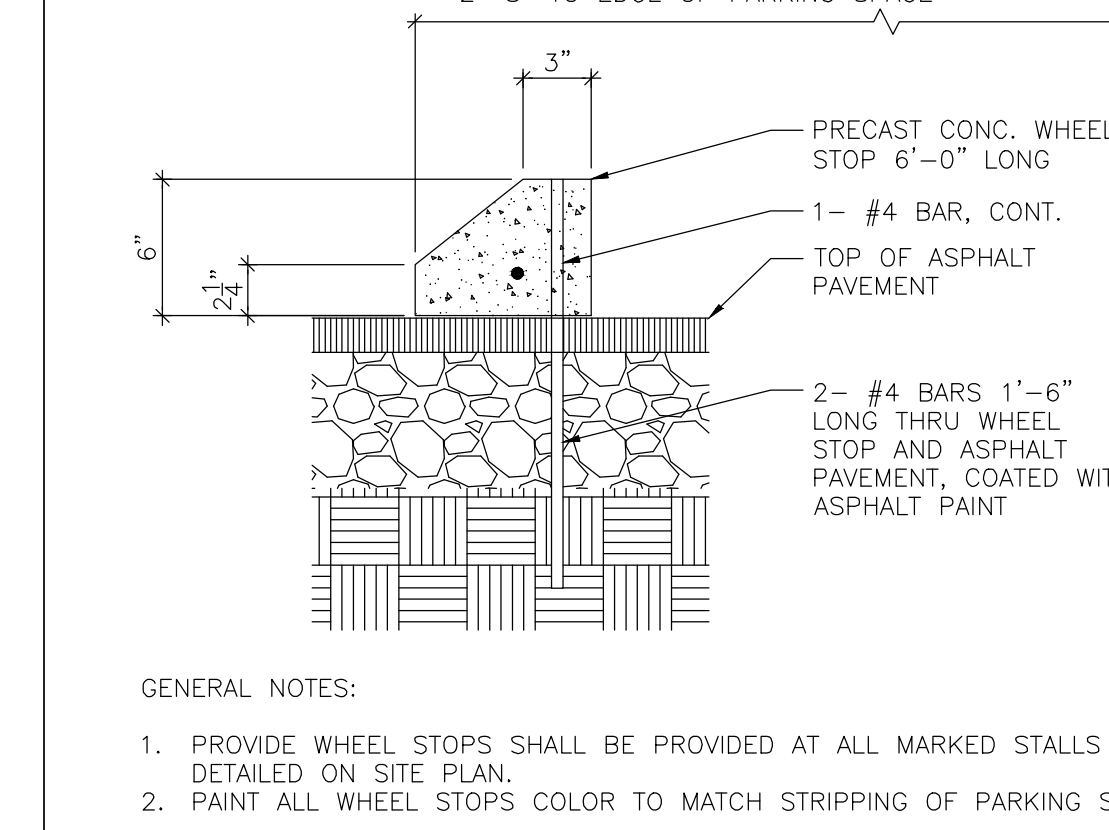
02 STANDARD AND HDCP. ACCESIBLE PARKING STALL DETAILS

SCALE:N.T.S.



04 CONCRETE CURB

SCALE:N.T.S.



03 TYP. WHEEL STOP DETAIL

SCALE:N.T.S.

- GENERAL NOTES:
1. PROVIDE WHEEL STOPS SHALL BE PROVIDED AT ALL MARKED STALLS AS DETAILED ON SITE PLAN.
 2. PAINT ALL WHEEL STOPS COLOR TO MATCH STRIPPING OF PARKING STALLS





SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. DUE TO THE COMPLEXITY OF THE PROJECT, THE CONTRACTOR SHALL CARRY A 3% CONTINGENCY OF HARD COSTS ON THE PROJECT. THE BUILDING DEPARTMENT HAS REVIEWED THE PLANS AND FOUND THEM TO BE IN SUBSTANTIAL COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF CITY ORDINANCES. ANY REVISIONS REQUESTED IN THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. ALL COPYRIGHTS RESERVED © 2011. THESE PLANS HAVE BEEN REVIEWED ONLY BY ONE CITY DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.



THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THIS ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.

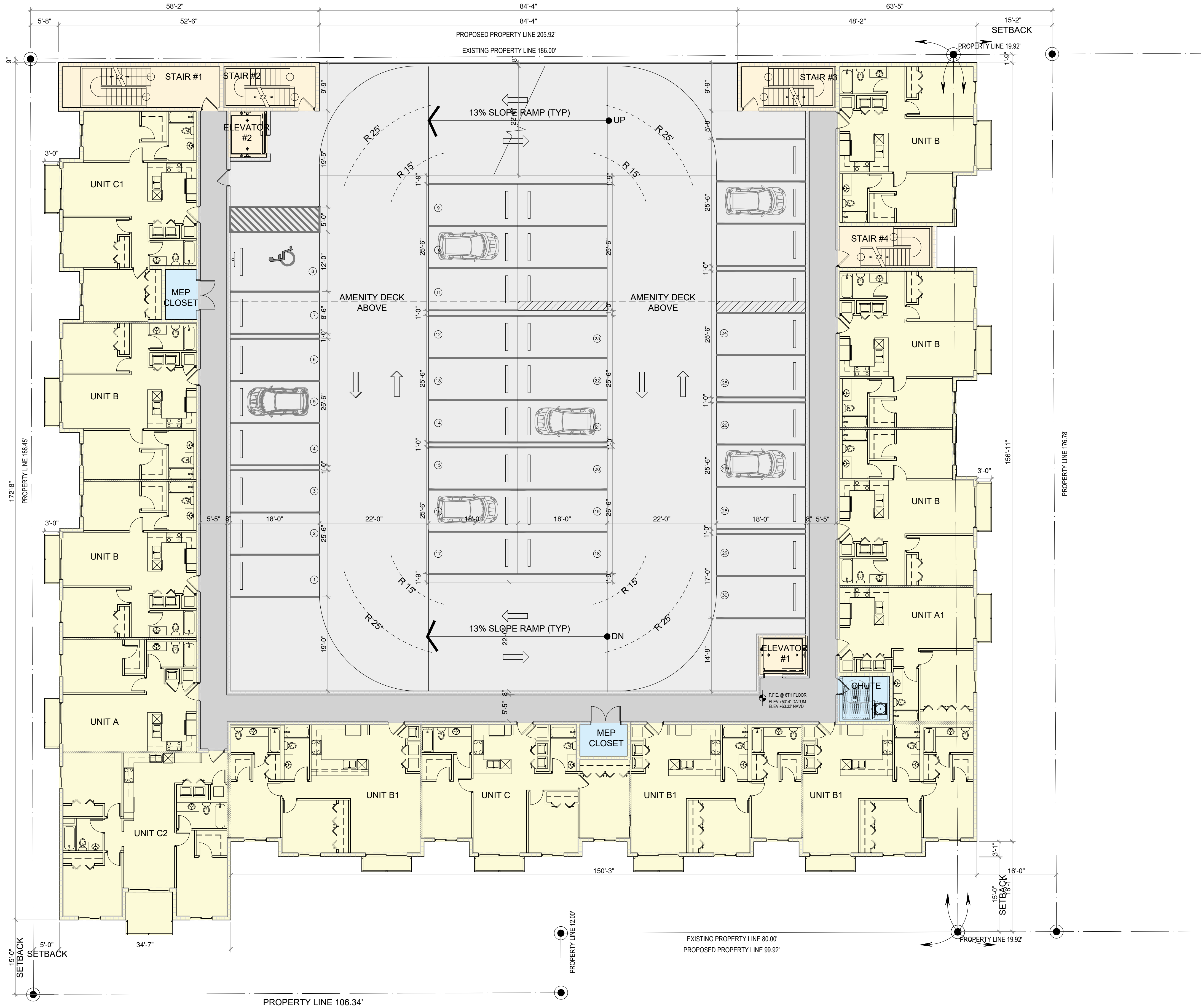


**RESIDENCES AT
BEVERLY PARK**
6015 WASHINGTON ST
HOLLYWOOD, FL 33023

CLIENT INFORMATION:

DATE:
RELIMINARY 02.23.2023
SUBMITTAL 03.06.2023

PROJECT No. 202225
DRAWN BY:
CHECKED BY: CF
THIRD THRU FIFTH
FLOOR PLAN



NORTH

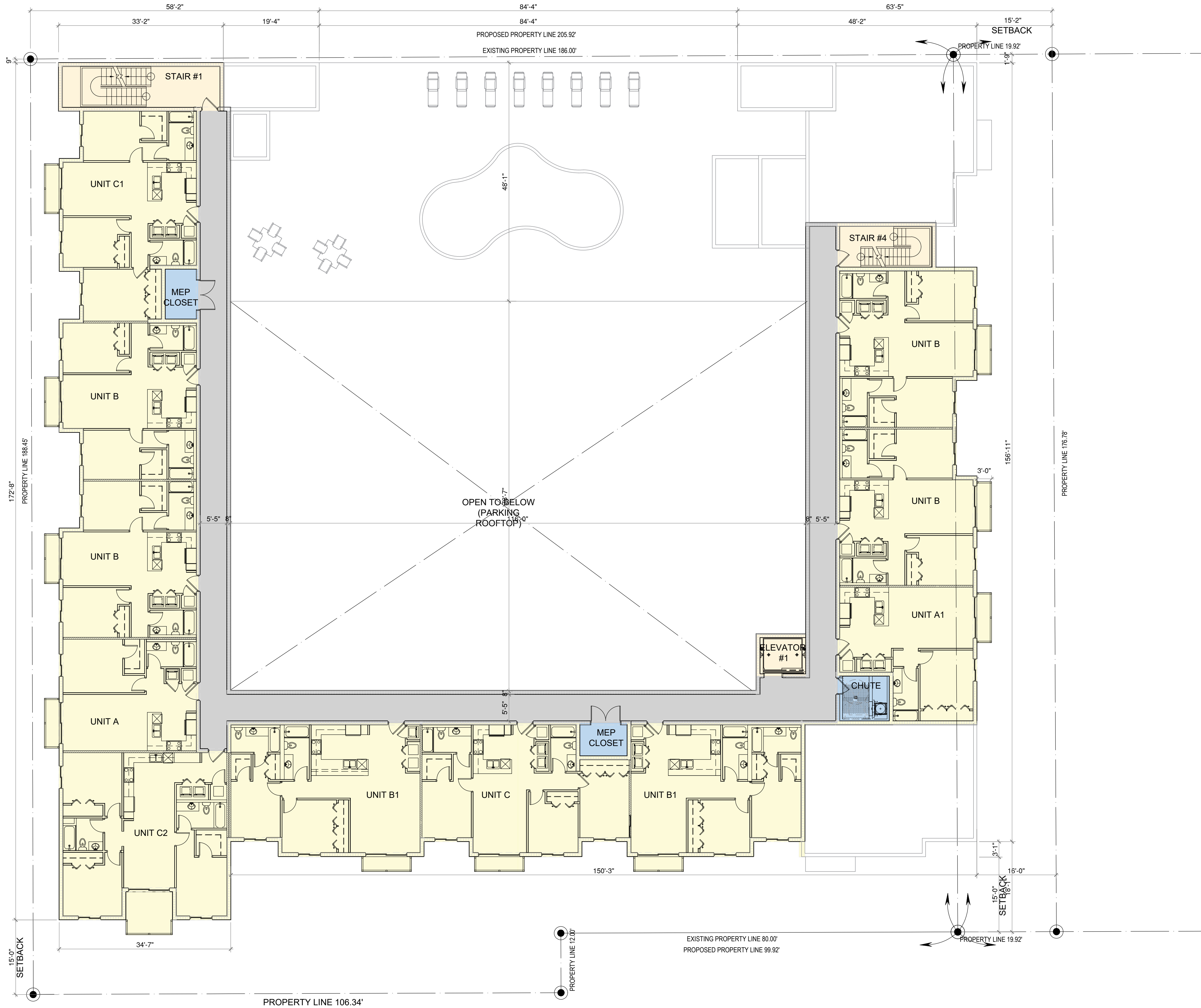
SIXTH FLOOR PLAN
SCALE: 3/32"=1'-0"

[illegible]

**RESIDENCES AT
BEVERLY PARK**
6015 WASHINGTON ST
HOLLYWOOD, FL 33023

DATE:
PRELIMINARY 02.23.2023
SUBMITTAL 03.06.2023

A-104



EIGHTH AND NINTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



CONSULTANT:

RESIDENCES AT BEVERLY PARK
6015 WASHINGTON ST
HOLLYWOOD, FL 33023

CLIENT INFORMATION:

DATE:
PRELIMINARY 02.23.2023
SUBMITTAL 03.06.2023

PROJECT No. 202225
DRAWN BY:
CHECKED BY: CF
EIGHTH THRU NINTH FLOOR

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. DUE TO THE COMPLEXITY OF THE PROJECT, THE CONTRACTORS SHALL CARRY A % CONTINGENCY OF HARD COST ON THE PROJECT.

THIS SET OF DRAWINGS IS PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. ANY CHANGES WILL BE INDICATED BY REVISIONS OR FIELD NOTES. THESE DRAWINGS ARE THE PROPERTY OF CHA ARCHITECTS. ALL COPYRIGHTS RESERVED © 2018. IF YOU HAVE BEEN GRANTED A REVIEW ONLY, THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.



PROJECT No. 2022
DRAWN BY:
CHECKED BY:
TENTH FLOOR PLAN

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. DUE TO THE COMPLEXITY OF THE PROJECT, THE CONTRACTOR SHALL CARRY A % CONTINGENCY OF HARD COST ON THE PROJECT. THE BUILDING DEPARTMENT'S REVIEW OF THE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE BUILDING DEPARTMENT'S REVIEW ONLY THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. THE PROPERTY OF CHA ARCHITECTS, ALL COPYRIGHTS RESERVED © 2018. THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

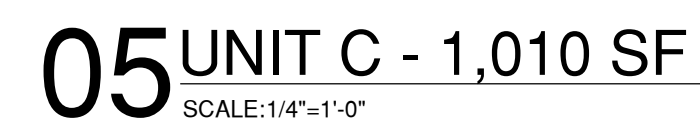
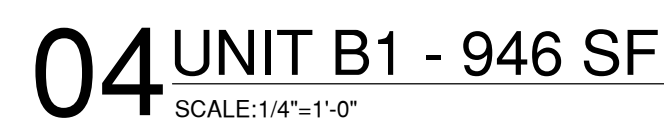
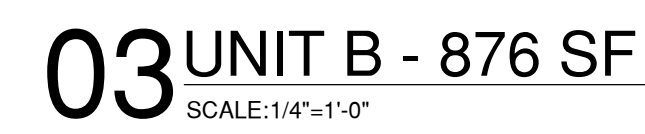
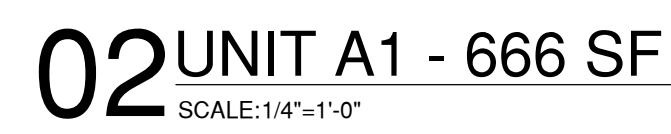
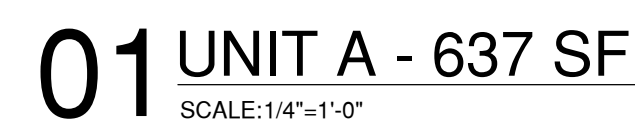


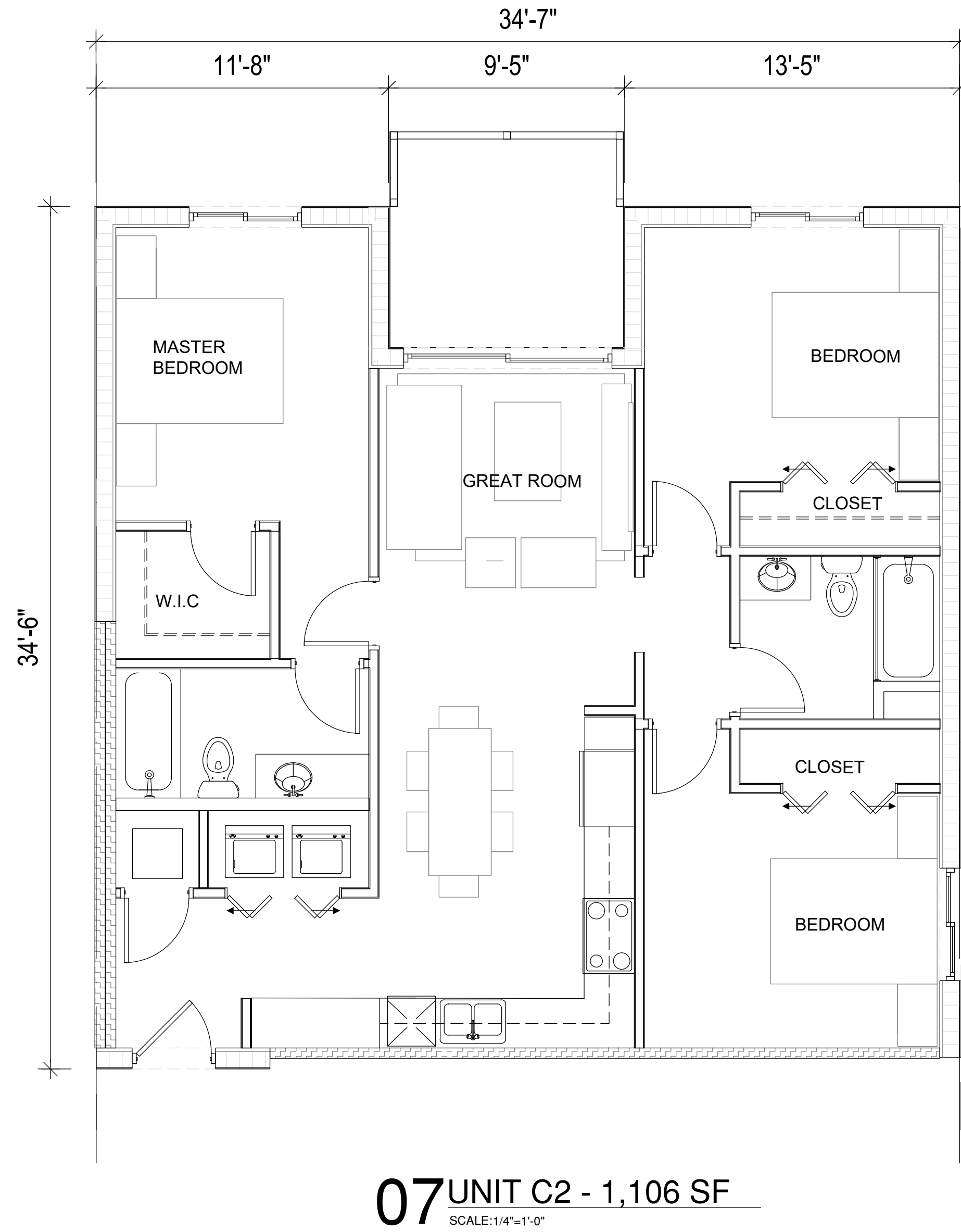
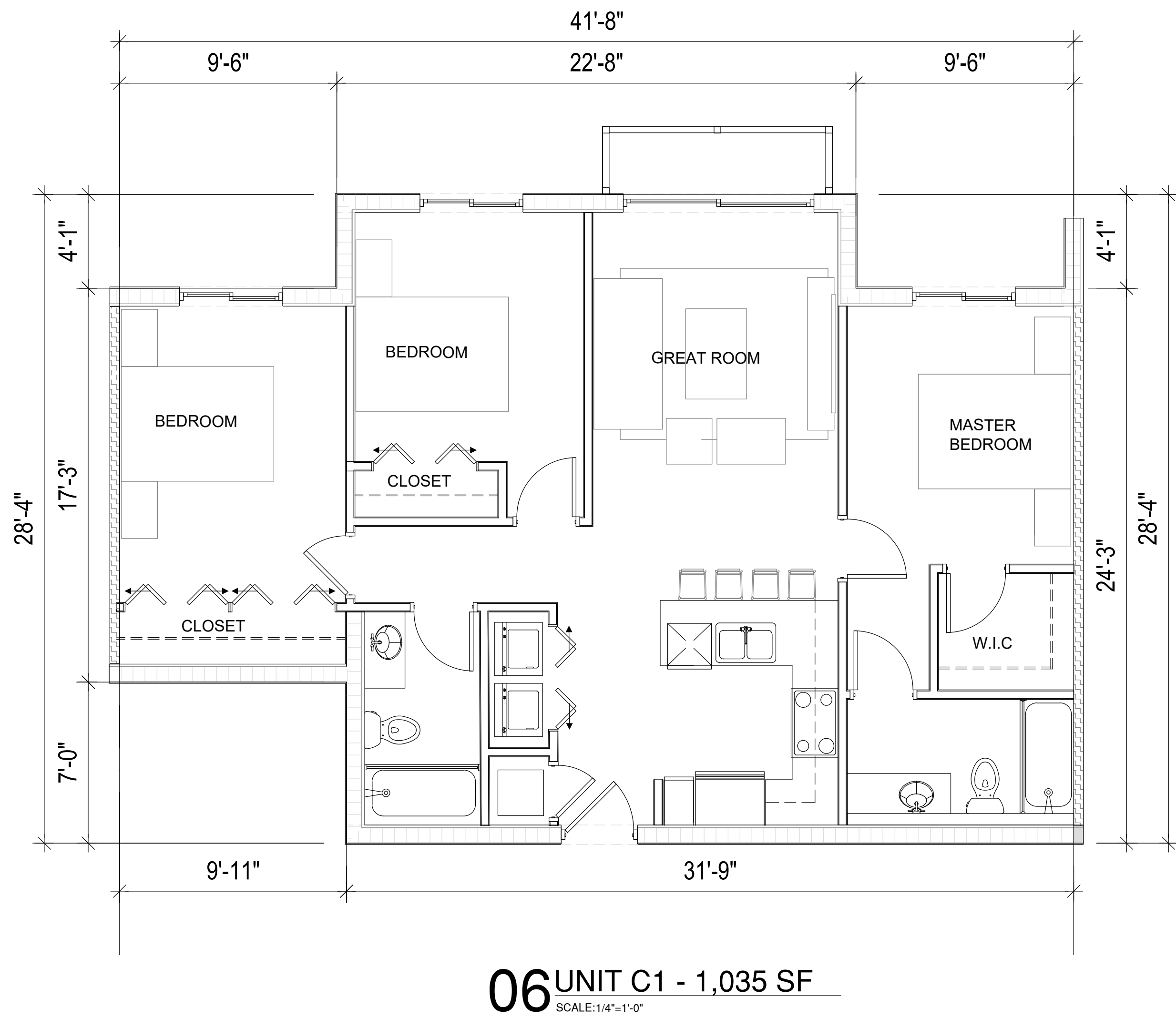
STATE OF FLORIDA
CRISTINA FANDINO
— ★ —
AR0016682
REGISTERED ARCHITECT

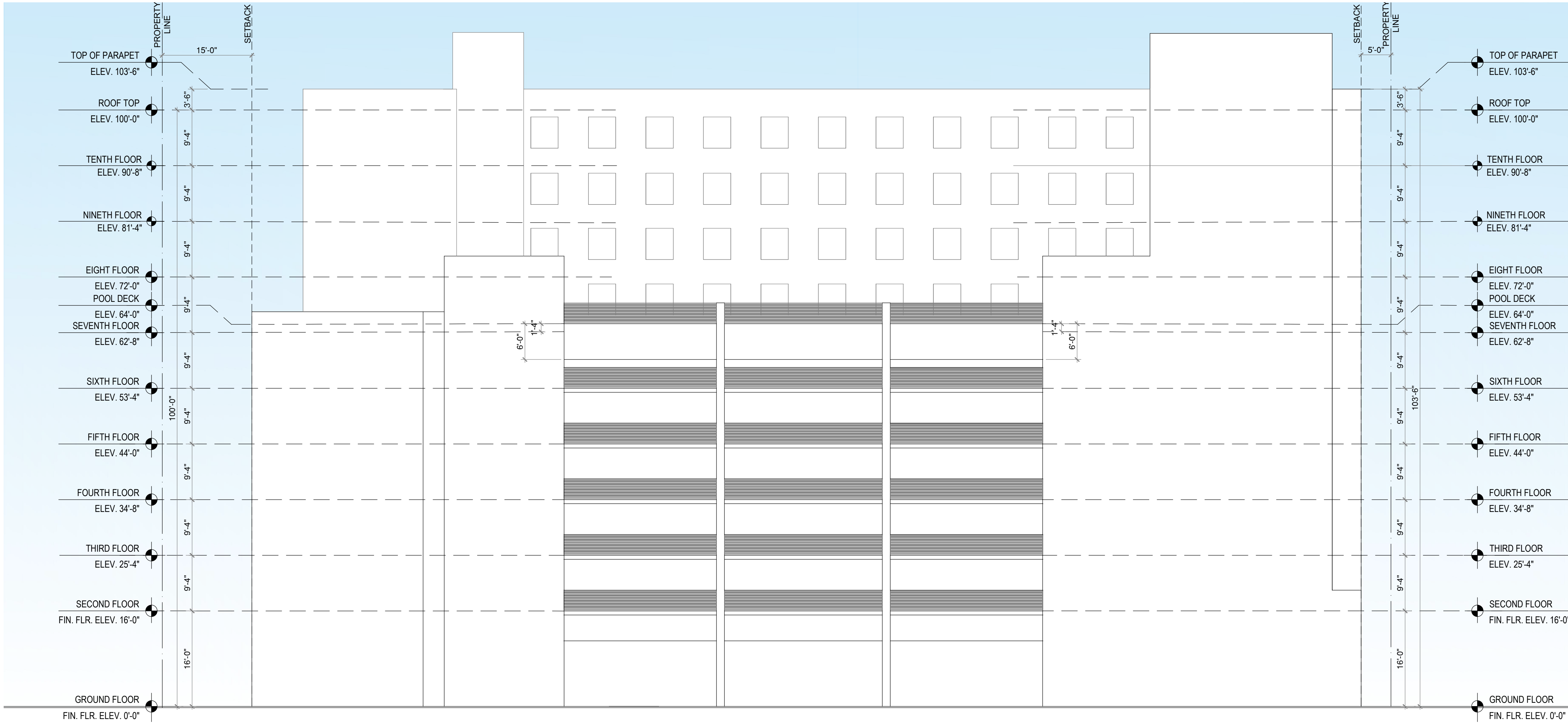
**RESIDENCES AT
BEVERLY PARK**
6015 WASHINGTON ST
HOUSTON, TX 77030

DATE: _____
PRELIMINARY 02.23.2023
SUBMITTAL 03.06.2023

A-107











EAST FACADE
PERSPECTIVE
SCALE: N.T.S

FILE LOCATION: 2\2022\202225 6015 WASHINGTON ST. HOLLYWOOD - ROBBY BLOCK\CAD\02-27-2023\202225 A-500 TO A-503.DWG
PRINTED ON 03.05.2023

THESE DRAWINGS ARE FOR PRELIMINARY REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONTRACT DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. THESE DRAWINGS ARE THE PROPERTY OF CFM ARCHITECTS. NO PART OF THESE DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CFM ARCHITECTS. ALL RIGHTS ARE RESERVED. NO COPIES, REPRODUCTIONS, TRANSMISSIONS OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF CFM ARCHITECTS. ALL RIGHTS ARE RESERVED. THESE DRAWINGS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONTRACT DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.



WASHINGTON STREET
FRONT FACADE PERSPECTIVE

SCALE: N.T.S.



ARCHITECTS

CERTIFICATION No. AR0014682

4253 S.W. 72nd Ave.
MIAMI, FL 33155
TEL: (786)502-4384

E-MAIL:
mariagabriela@cfmarchitects.com

CFM ARCHITECTS
THE DESIGN AND DRAWINGS FOR THIS
PROJECT ARE THE PROPERTY OF THIS
ARCHITECT AND ARE PROTECTED UNDER
THE COPYRIGHT PROTECTION ACT.



CONSULTANT:

RESIDENCES AT
BEVERLY PARK
6015 WASHINGTON ST
HOLLYWOOD, FL 33023

CLIENT INFORMATION:

DATE:

PRELIMINARY 02.23.2023

SUBMITTAL 03.06.2023

PROJECT No. 202225

DRAWN BY:

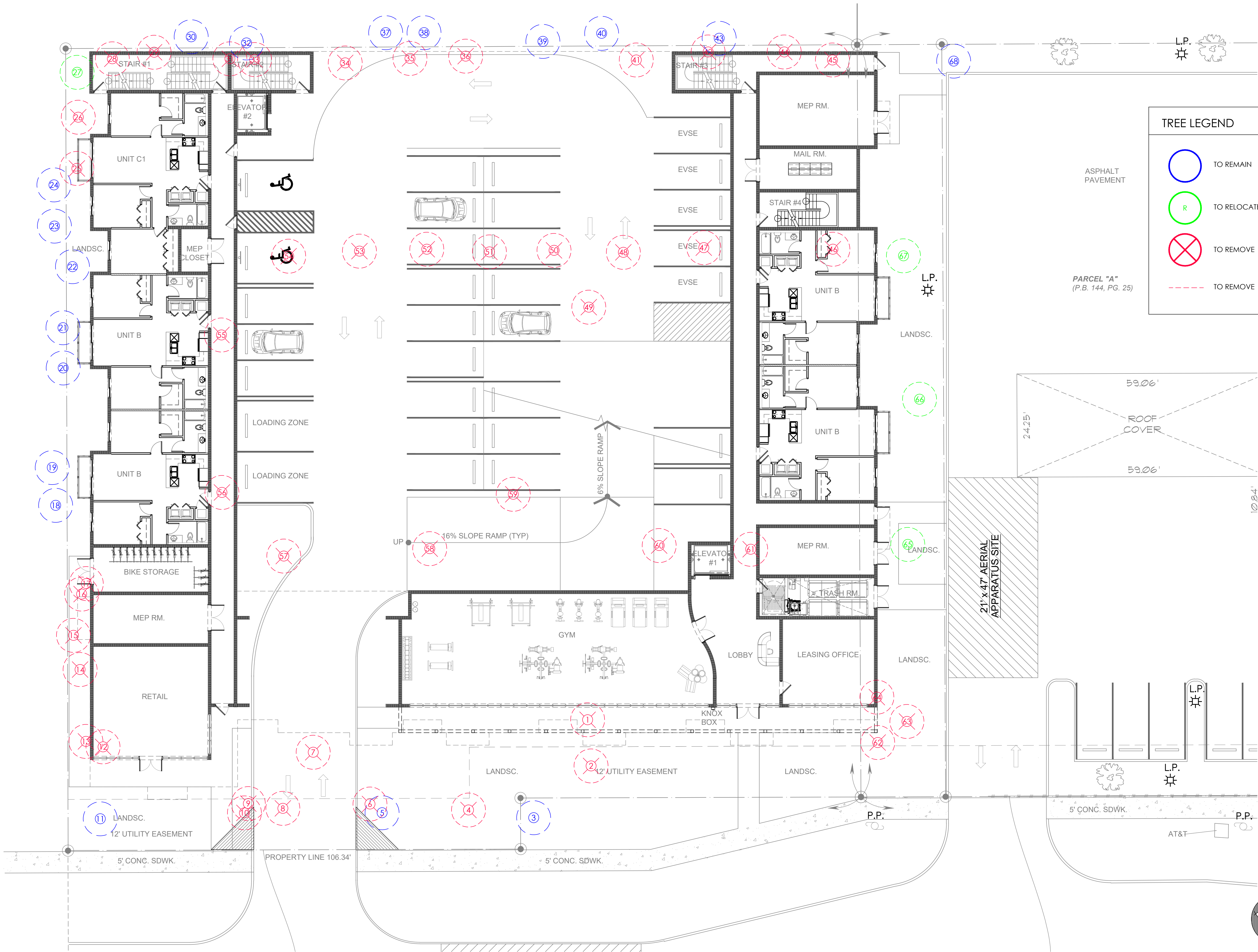
CHECKED BY: CF



WEST FACADE
PERSPECTIVE
SCALE: 1/8" = 1'-0"



REAR FACADE
PERSPECTIVE
SCALE: N.T.S



TREE LEGEND

- TO REMAIN
- TO RELOCATE
- TO REMOVE
- TO REMOVE

ROOT PRUNING SPECIFICATIONS

ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 2-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

EACH TREE AND PALM MUST THEN BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN, DURING THE ENTIRE ROOT PRUNING PROCESS EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24 HOUR PERIOD.

ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN, SHARP TOOLS. MACHINERY COULD BE USED ON LARGER TREES AS LONG AS ROOTS ARE FINALIZED BY HAND PRUNING. DO NOT PAINT ROOTS WITH PAINT OR ANY KIND OF SEALANT.

MYCORRHIZA (ROOTS TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURERS RECOMMENDATIONS.

AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH A BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY ADDED SUPPLEMENTS DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.

ONCE THE TREE RING IS CONSTRUCTED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THORUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.

PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.

MINIMUM ROOTBALL DIAMETER CALCULATION BASED ON A FACTOR OF 10 OR ALLOWING A MINIMUM OF 9"-12" OF ROOTBALL FOR EVERY 1" OF CALIPER. WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.

MINIMUM ROOTBALL DEPTH MUST BE 24"-36" FOR ALL TREES TO BE RELOCATED, WITH THE ACTUAL DEPTH TO BE DETERMINED ONLY AFTER A THOROUGH EXAMINATION OF ALL ROOTS DURING THE INITIAL ROOT INSPECTION AND BASED ON THE ABSENCE OF MAJOR ROOTS AT THE BOTTOM OF THE ROOTBALL. ROOTBALLS DEEPER THAN 36" MAY BE REQUIRED FOR LARGE SPECIMEN TREES, DEPENDING ON THE RELATIVE LOCATIONS AND DEPTHS OF THE MAJOR ROOTS AS OBSERVED DURING THE INITIAL ROOT INSPECTION.

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10" IS 12 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER 2 SIDES DONE A MINIMUM OF 6 WEEKS LATER, AND THIRD ROOT PRUNE ON THE LAST SIDE A MINIMUM OF 3 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNED IS EVIDENT.

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10" OR GREATER IS 24 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER 2 SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND THIRD ROOT PRUNE ON THE LAST SIDE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNED IS EVIDENT.

MAINTENANCE SPECIFICATIONS

ALL NEW AND RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.

WHENEVER POSSIBLE, EACH TREE AND PALM MUST BE WATERED BY A PERMANENT AUTOMATIC IRRIGATION SYSTEM FOLLOWING RELOCATION. EACH WATERING MUST THORUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH; THIS WILL REQUIRE 25-50 GALLONS OF WATER FOR SMALL TREES AND PALMS, DEPENDING ON ROOTBALL SIZE, WHILE LARGE TREES WILL REQUIRE A MINIMUM OF 10 GALLONS PER FOOT OF ROOTBALL DIAMETER. WATERING FREQUENCY MUST BE EVERYDAY FOR THE FIRST TWO WEEKS, EVERY OTHER DAY FOR THE NEXT TREE WEEKS, AND EVERY THIRD DAY FOR THE NEXT 6-8 WEEKS.

WHEN AN AUTOMATIC IRRIGATION SYSTEM IS NOT POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR HAND WATERING RELOCATED TREES AND PALMS THORUGHLY THE MAINTENANCE PERIOD AND UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A CONTACT ROOT ROT FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS INITIAL PREVENTATIVE MAINTENANCE.

EVERY THREE MONTHS THEREAFTER, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A BROAD-SPECTRUM SYSTEMIC FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS CONTINUING PREVENTATIVE MAINTENANCE.

IRRIGATION AND BRACING MUST BE CHECKED AND EACH TREE OR PALM THORUGHLY INSPECTED FOR SIGNS OF STRESS, DISEASE, OR PEST PROBLEMS ON A MONTHLY BASIS.

SHADE TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED FOUR TIMES PER YEAR.

FLOWERING TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW RELEASE 5-10-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

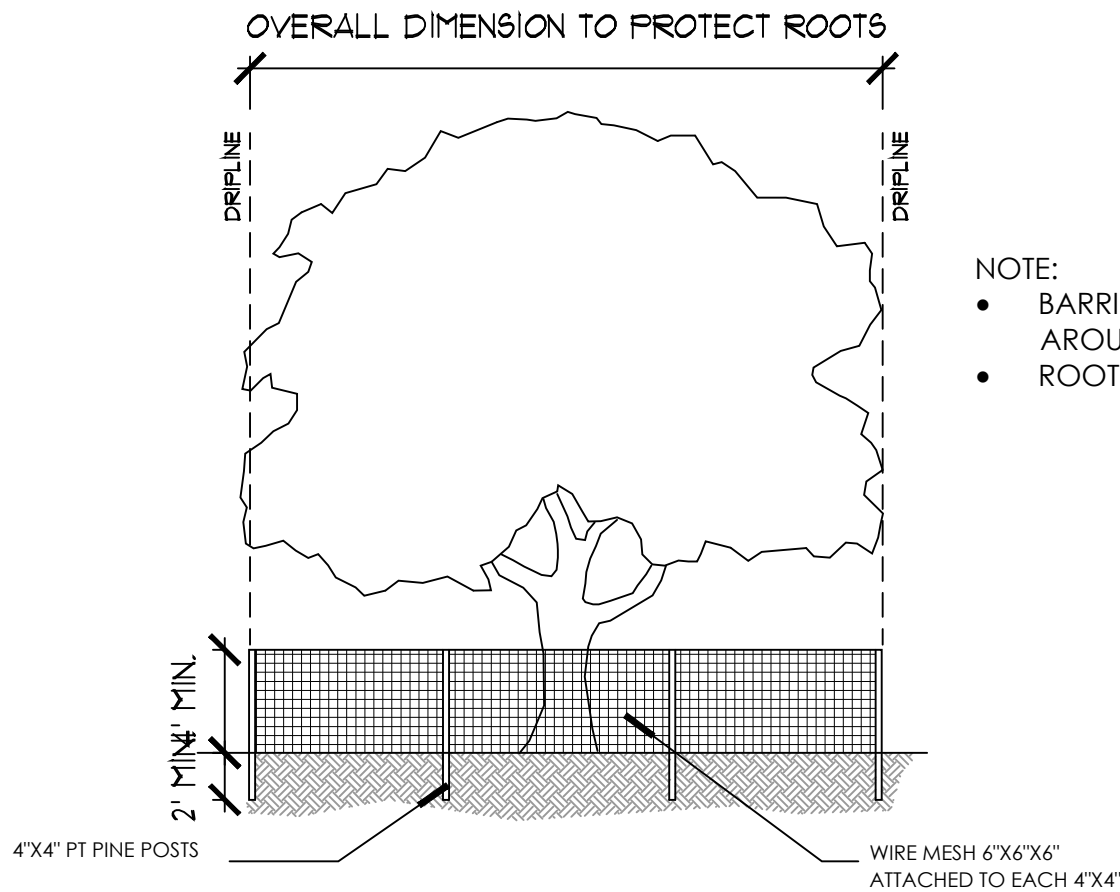
FOLIAR FEED FOUR TIMES PER YEAR.

PALMS

STRING MUST BE REMOVED FROM THE TIED UP LEAVES IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION IF THE PALM WAS ROOT PRUNED OR WITHIN 30-45 DAYS AFTER RELOCATION ON THE OCCASION THE LANDSCAPE ARCHITECT APPROVED RELOCATION WITHOUT ROOT PRUNING DUE TO TIME CONSTRAINTS.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW RELEASE 8-14-12 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

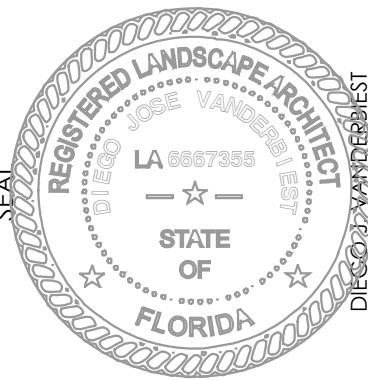
FOLIAR FEED SIX TIMES PER YEAR.



TREE BARRIER DETAIL

N.T.S.

Tree Disposition								
No	Botanical Name	Common Name	DBH (in)	Height (ft)	Spread (ft)	Condition	Disposition	Remarks
1	Washingtonia robusta	Washington Palm	11.5	55+	10	Fair	Remove	
2	Washingtonia robusta	Washington Palm	10	55+	10	Fair	Remove	
3	Quercus virginiana	Live Oak	23	45	30	Good	Remain	
4	Schefflera actinophylla	Umbrella Tree	6	15	13	Poor	Remove	Invasive
5	Quercus virginiana	Live Oak	18	45	33	Poor	Remain	Defoliated
6	Bursera simaruba	Gumbo Limbo	2.5	12	6	Fair	Remove	Central leader leaning
7	Quercus virginiana	Live Oak	17.5	48	38	Fair	Remove	Deadwood
8	Bursera simaruba	Gumbo Limbo	6	10	8	Fair	Remove	
9	Schefflera actinophylla	Umbrella Tree	10	21	18	Fair	Remove	Invasive
10	Quercus virginiana	Live Oak	11	30	25	Good	Remove	
11	Quercus virginiana	Live Oak	16.5	30	30	Good	Remain	
12	Bursera simaruba	Gumbo Limbo	4.5	22	18	Fair	Remove	
13	Quercus virginiana	Live Oak	11.5	30	28	Good	Remove	
14	Sabal palmetto	Sabal	12	26	10	Good	Remove	
15	Sabal palmetto	Sabal	12	23	10	Good	Remove	
16	Quercus virginiana	Live Oak	5	21	10	Fair	Remove	Tip dieback. Intertwined with #17
17	Bursera simaruba	Gumbo Limbo	3	19	8	Fair	Remove	Intertwined with #16
18	Quercus virginiana	Live Oak	6.5	22	12	Fair	Remain	
19	Quercus virginiana	Live Oak	14	30	30	Good	Remain	
20	Quercus virginiana	Live Oak	13	30	27	Fair	Remain	Defoliated
21	Quercus virginiana	Live Oak	9.5	28	21	Good	Remain	
22	Sabal palmetto	Sabal	12	26	10	Good	Remain	
23	Sabal palmetto	Sabal	12	20	10	Good	Remain	
24	Sabal palmetto	Sabal	12	32	10	Good	Remain	
25	Quercus virginiana	Live Oak	8	20	12	Poor	Remove	
26	Tabebuia heterophylla	Pink Tabebuia	5.5	25	12	Good	Remove	
27	Sabal palmetto	Sabal	12	26	10	Good	Relocate	
28	Quercus virginiana	Live Oak	13	32	26	Fair	Remove	
29	Sabal palmetto	Sabal	12	28	10	Good	Remove	
30	Pinus ellioti	Pine	9	33	15	Good	Remain	
31	Sabal palmetto	Sabal	12	26	10	Good	Remove	
32	Sabal palmetto	Sabal	12	18	10	Good	Remain	
33	Swietenia mahagoni	Mahogany	35	33	38	Good	Remove	
34	Tabebuia heterophylla	Pink Tabebuia	5.5	16	10	Poor	Remove	Tip dieback.
35	Quercus virginiana	Live Oak	13	28	30	Good	Remove	
36	Quercus virginiana	Live Oak	3	21	12	Fair	Remove	Tip dieback.
37	Sabal palmetto	Sabal	12	25	10	Good	Remain	
38	Sabal palmetto	Sabal	12	27	10	Good	Remain	
39	Quercus virginiana	Live Oak	13	28	27	Good	Remain	
40	Sabal palmetto	Sabal	12	21	10	Good	Remain	
41	Tabebuia heterophylla	Pink Tabebuia	9	17	18	Fair	Remove	
42	Quercus virginiana	Live Oak	14	30	30	Fair	Remove	
43	Sabal palmetto	Sabal	12	26	10	Good	Remain	
44	Sabal palmetto	Sabal	12	28	10	Good	Remove	
45	Tabebuia heterophylla	Pink Tabebuia	6	15	10	Poor	Remove	Tip dieback.
46	Sabal palmetto	Sabal	12	16	10	Good	Remove	
47	Sabal palmetto	Sabal	12	25	10	Good	Remove	
48	Sabal palmetto	Sabal	12	18	10	Good	Remove	
49	Swietenia mahagoni	Mahogany	16.5	34	30	Poor	Remove	Large Cavity. Decay.
50	Sabal palmetto	Sabal	12	21	10	Good	Remove	
51	Sabal palmetto	Sabal	12	16	10	Good	Remove	
52	Sabal palmetto	Sabal	12	20	10	Good	Remove	
53	Sabal palmetto	Sabal	12	20	10	Good	Remove	
54	Sabal palmetto	Sabal	12	18	10	Good	Remove	
55	Stump	Same	18	--	--	Dead	Remove	
56	Swietenia mahagoni	Mahogany	15.5	36	32	Fair	Remove	
57	Quercus virginiana	Live Oak	14	33	29	Fair	Remove	
58	Quercus virginiana	Live Oak	17	38	40	Fair	Remove	
59	Swietenia mahagoni	Mahogany	17	38	40	Fair	Remove	
60	Quercus virginiana	Live Oak	14.5	32	30	Fair	Remove	
61	Quercus virginiana	Live Oak	15.5	35	34	Fair	Remove	
62	Washingtonia robusta	Washington Palm	10	55	10	Fair	Remove	
63	Washingtonia robusta	Washington Palm	10	55	10	Fair	Remove	
64	Washingtonia robusta	Washington Palm	10	55	10	Fair	Remove	
65	Sabal palmetto	Sabal	12	8	10	Good	Relocate	
66	Sabal palmetto	Sabal	12	8	10	Good	Relocate	
67	Sabal palmetto	Sabal	12	15	10	Good	Relocate	
68	Quercus virginiana	Live Oak		28	26	Good	Remain	



RESIDENCES AT BEVERLY PARK
6015 WASHINGTON STREET
HOLLYWOOD, FLORIDA

REVISIONS

DRAWN BY

DV

DATE

3/4/23

SCALE

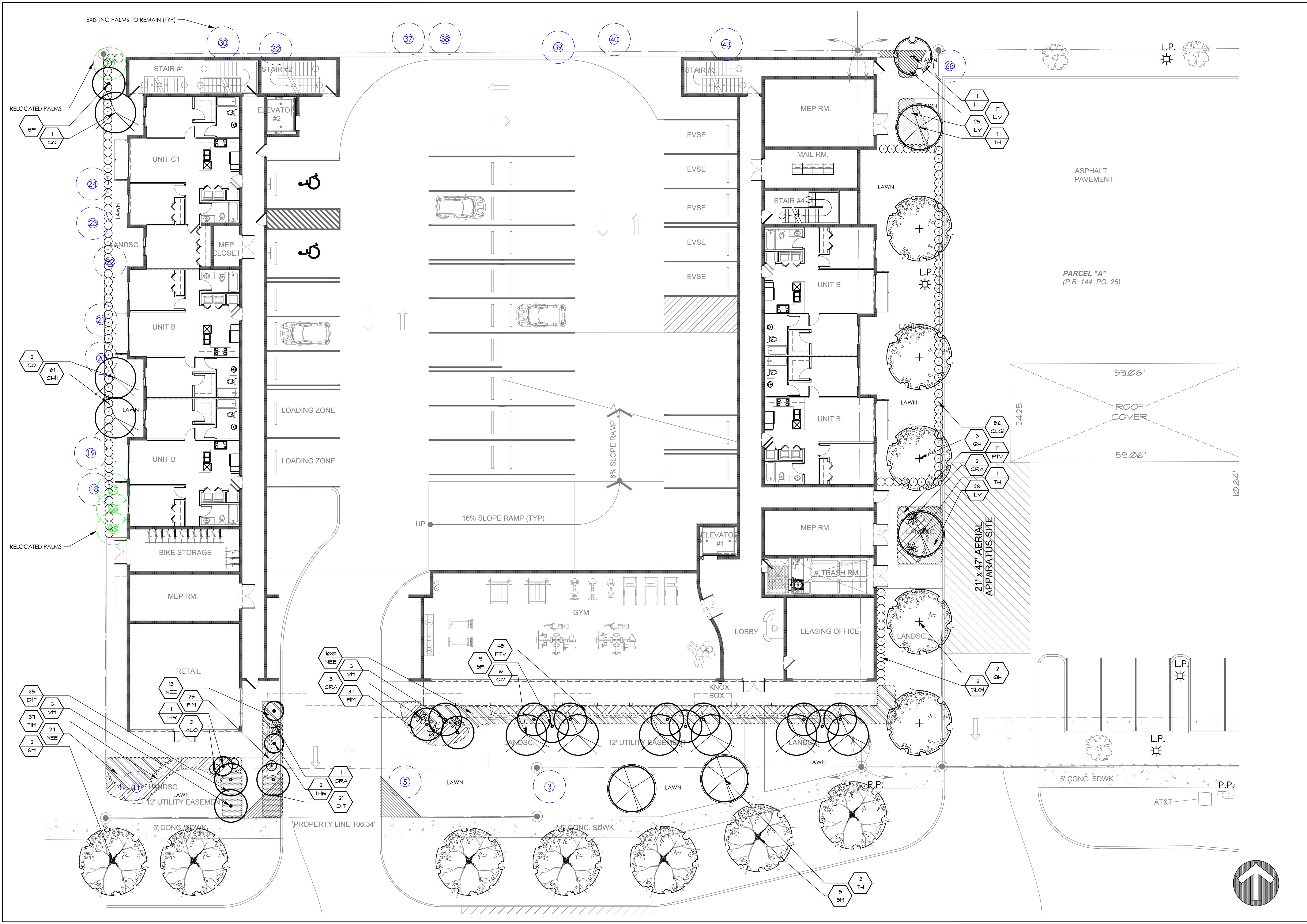
N.T.S.

DRAWING TITLE

TREE DISPOSITION
PLAN

SHEET

L102



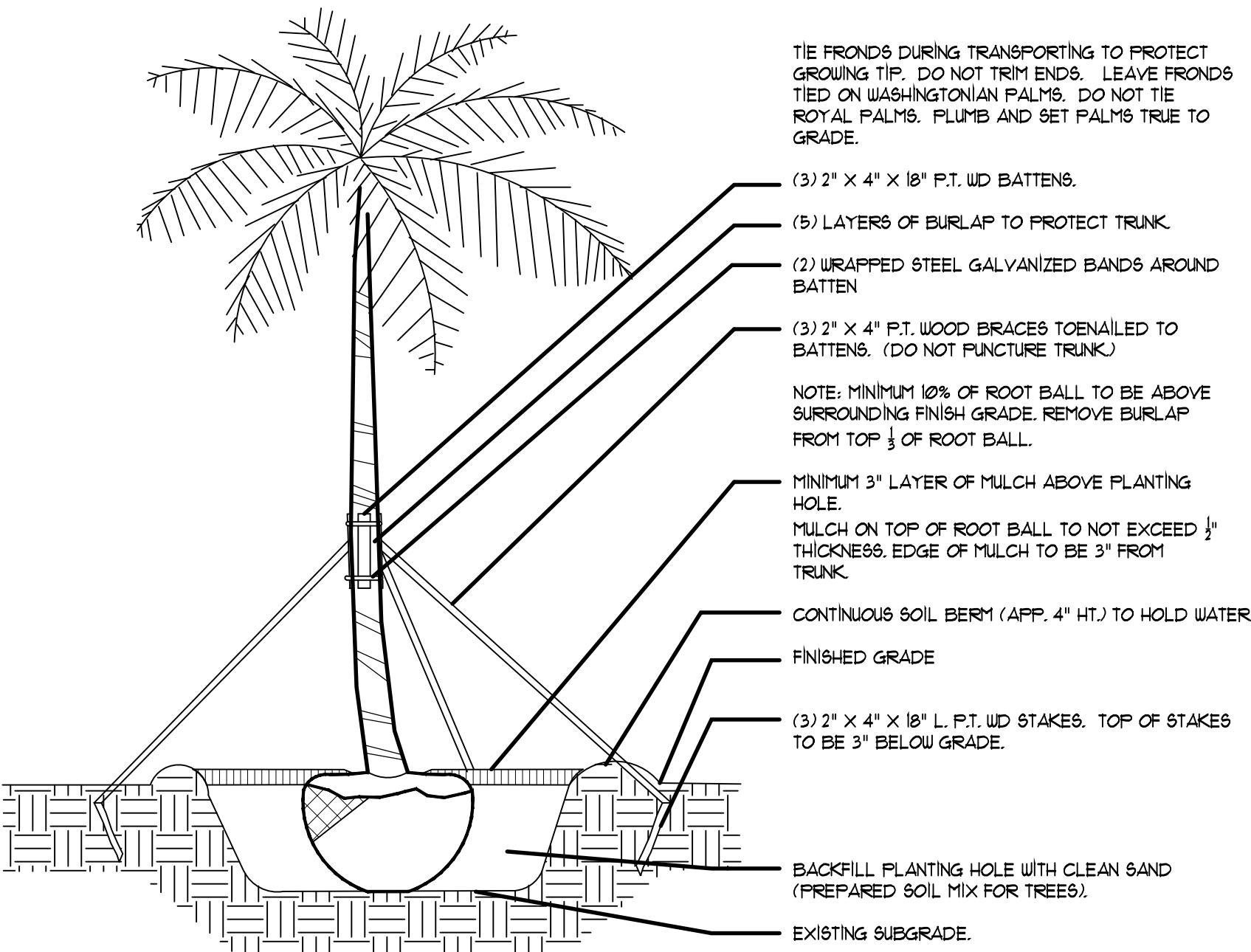
vdb
LANDSCAPE ARCHITECTURE
DIEGO J. VANDERBIEST
305-528-4001 DIEGOJV@COMAIL.COM

SEAL
REGISTERED LANDSCAPE ARCHITECT
LA 156673355
STATE OF FLORIDA
DIEGO J. VANDERBIEST
FLA #156673355

RESIDENCES AT BEVERLY PARK
6015 WASHINGTON STREET
HOLLYWOOD, FLORIDA

REVISIONS

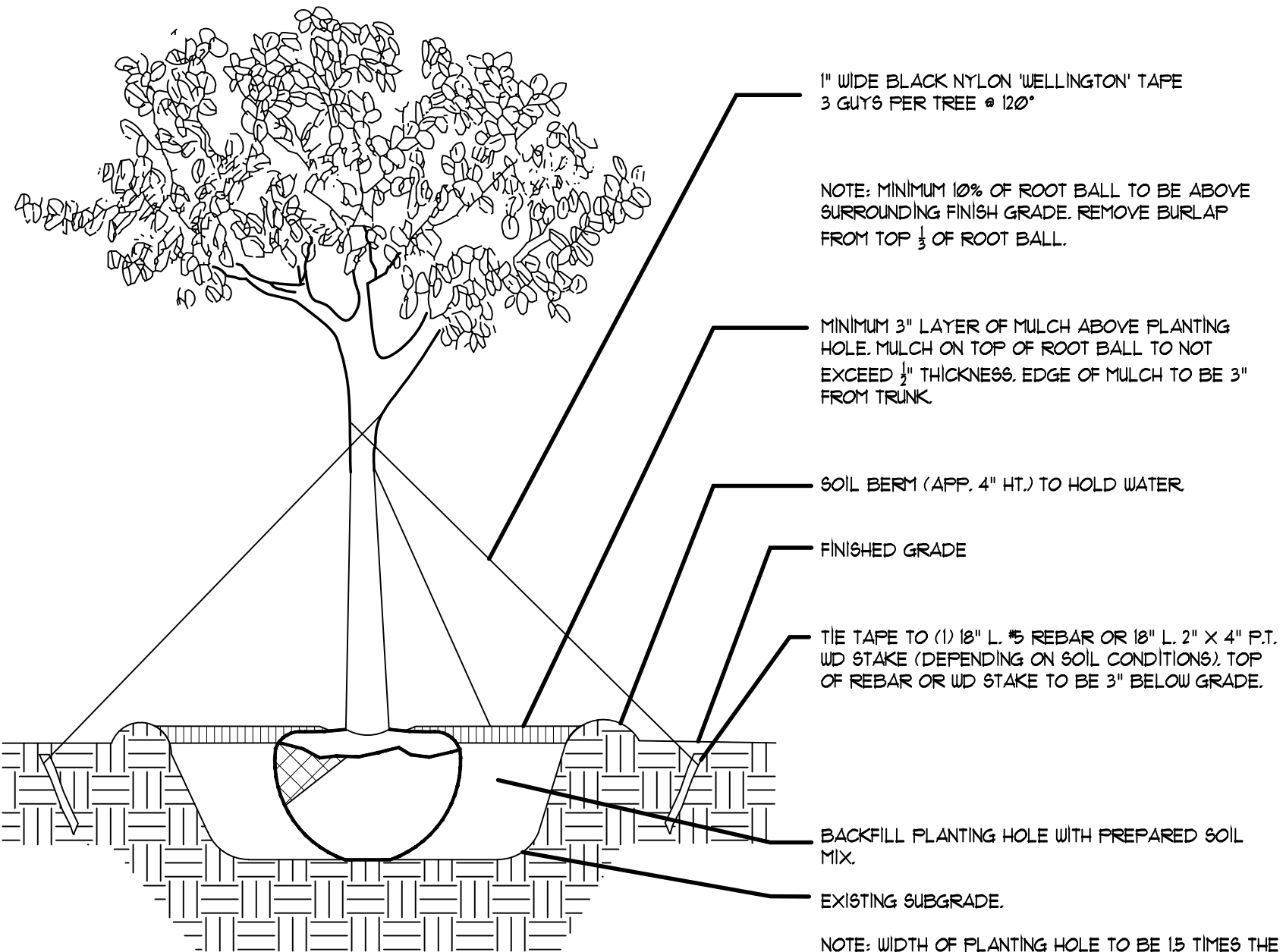
DRAWN BY
DV
DATE
3/4/23
SCALE
1"=10'-0"
DRAWING TITLE
LANDSCAPE PLAN
SHEET
L201



PALM PLANTING DETAIL

LARGE TREE PLANTING DETAIL SIMILAR

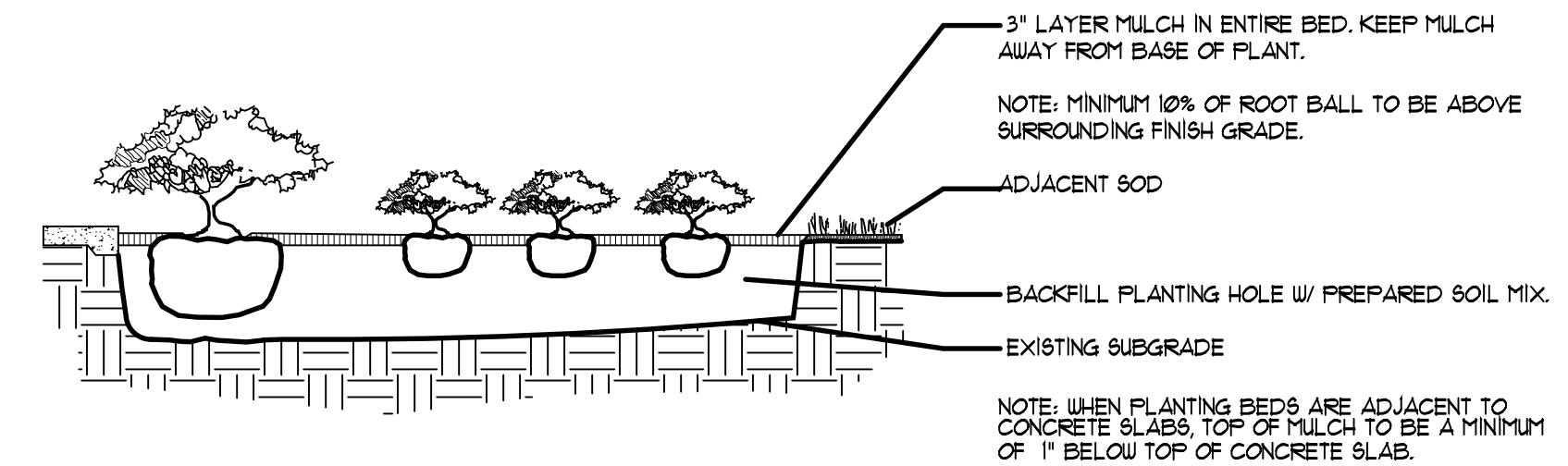
N.T.S.



TREE PLANTING DETAIL

TREES WITH 3" CALIPER OR LESS

N.T.S.



SHRUB/GROUND COVER DETAIL

N.T.S.

PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I AND II, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL.)
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONE'S OWN QUANTITY COUNTS/ PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

Plantlist

TREES & PALMS

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
9	CO	Cordia sebestena	Orange Geiger	10' ht
1	LL	Ligustrum japonucum	Ligustrum	12' ht, multi, 4' ct
5	QH	Quercus 'highrise	Highrise Live Oak	12' ht, 2" cal
10	SP	Sabal palmetto	Sabal Palm	21'-28' oa ht, slick
7	SM	Swietenia mahagoni	Mahogany	12' ht, 2" cal
4	TH	Tabebuia heterophylla	Pink Tabebuia	12' ht, 2" cal
3	THR	Thrinax radiata	Thatch Palm	10'-14' oa ht.
6	VM	Veitchia montgomeryana	Montgomery Palm	12'-16' oa ht

SHRUBS & GROUNDCOVERS

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
3	ALO	Alcantarea odorata	Odorata Bromeliad	7 gal, 36" ht
61	CHI1	Chrysobalanus icaco	Cocoplum	7 gal, 36" ht
68	CLG1	Clusia guttifera	Clusia	3 gal, 24" ht
6	CRA	Crinum 'red lead'	Red Leaf Crinum	7 gal, 36" ht
46	DIT	Dianella tasmanica	Flax Lily	3 gal, 12" ht
99	FIM	Ficus microcarpa 'green island'	Green Island Ficus	3 gal, 18" ht
70	ILV	Ilex vomitoria 'nana'	Dwarf Yaupon Holly	3 gal, 12" ht
140	NEE	Nephrolepis exaltata	Sword Fern	3 gal, 18" ht
62	PTV	Pittosporum tobira 'variegata'	Variegated Pittosporum	3 gal, 24" ht

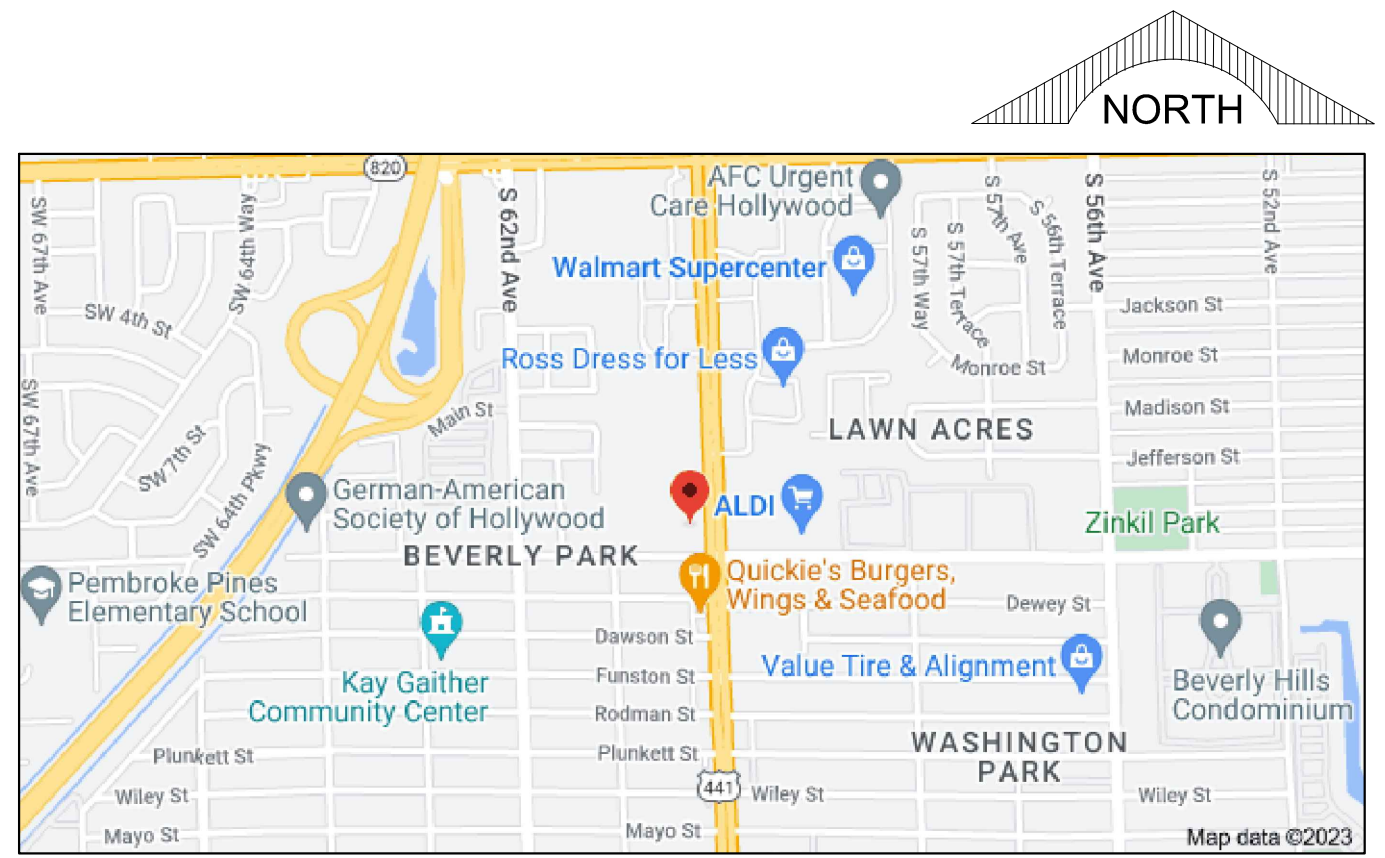
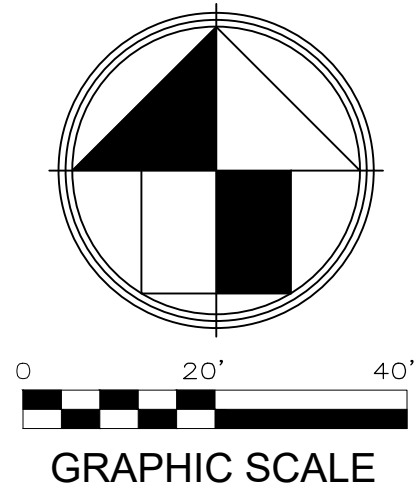
GENERAL NOTES:
1. SEE ARCHITECTURAL PLAN FOR ALL SITE DIMENSIONS AND SET-BACKS.
2. SEE ARCHITECTURAL SITE PLAN FOR SITE PAVEMENT MARKINGS.
3. SEE PLUMBING PLANS FOR SANITARY, DOMESTIC WATER & FIRE SERVICE.
4. EX ASPHALT TO BE SEAL COATED AND RESTRIP

NOTE:
ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS I,II, OR V LICENSE PER FS 633.102.

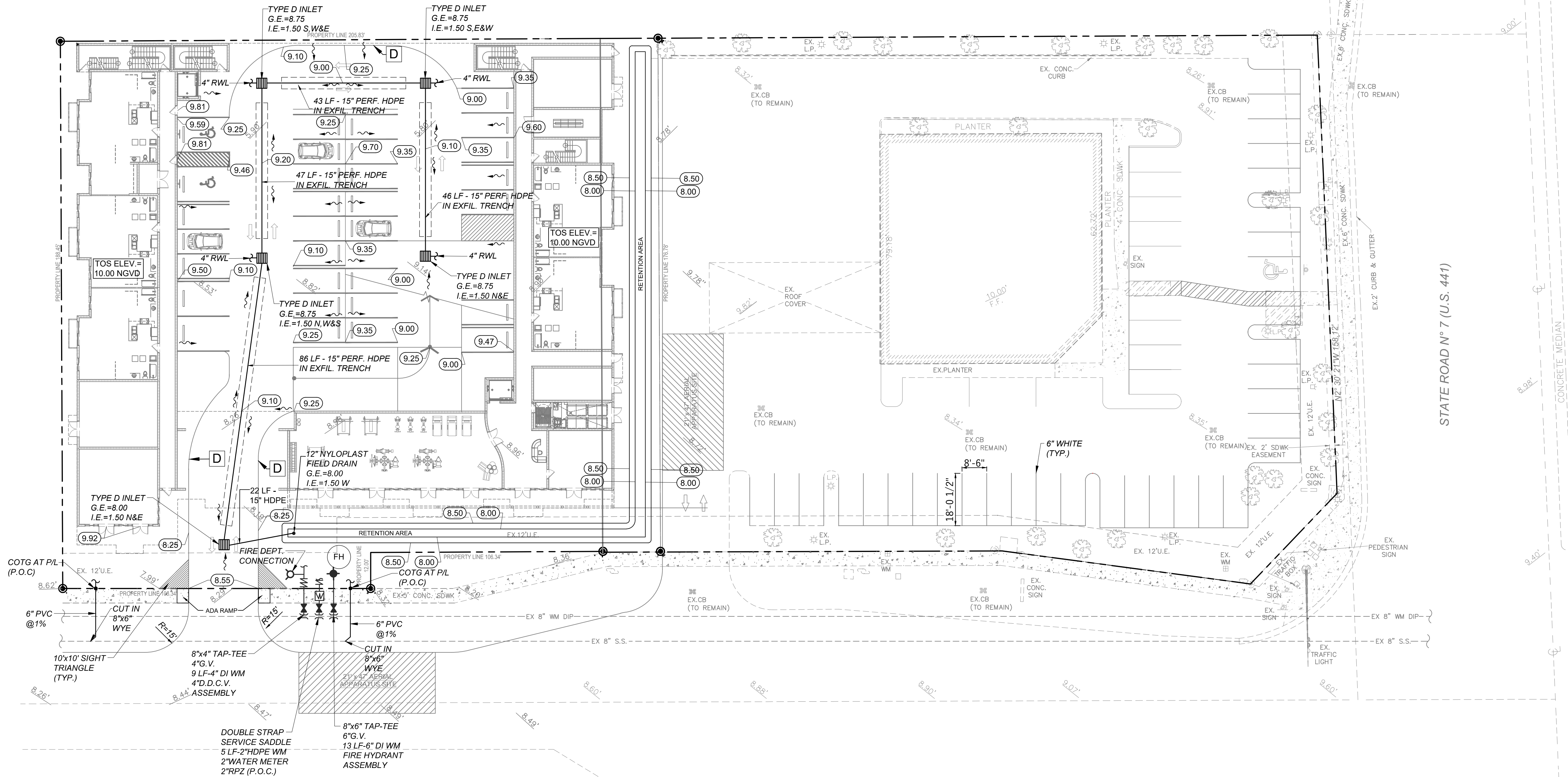
NOTE:
FOR ALL SITE DIMENSIONS REFER TO ARCHITECTURAL SITE PLANS

NOTE:
ALL EXISTING SIDEWALKS ALONG THE SITE TO BE REPLACED, MINIMUM WIDTH IS 5'. SIDEWALKS SHALL BE FLUSHED THROUGH DRIVEWAYS. PROVIDE ADA DETECTABLE WARNING AS REQUIRED AND INCLUDE DETAILS IN PLANS.

LEGEND	
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
→	DIRECTION OF OVERLAND FLOW
TOS=	TOP OF SLAB ELEVATION
9.01'	EXISTING ELEVATIONS
W	EXISTING WATER METER
W	EXISTING WATER METER
5.50	PROPOSED ELEVATION
7.10	PROPOSED CONCRETE ELEVATION
D	TYPE "D" CURB
FH	FIRE HYDRANT



LOCATION MAP
N.T.S.



REVISIONS	
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CFM ARCHITECTS
4253 S.W. 72ND AVE.
MIAMI, FLORIDA 33155

CLIENT:

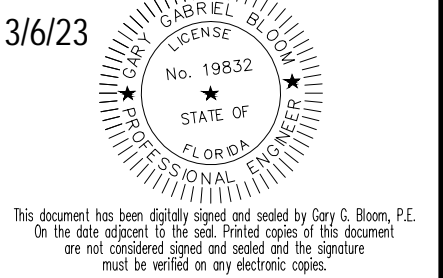
PROJECT: RESIDENCES AT BEVERLY PARK
6015 WASHINGTON ST.
HOLLYWOOD FLORIDA

TASK:
CIVIL ENGINEERING PLAN

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899

DATE: 03/06/23
DESIGNED BY: G.G.B.
SCALE: 1"=20'
DRAWN BY: J.A.

PROJECT NO.
SHEET
C-1



This document has been digitally signed and sealed by Gary G. Breen, P.E.
On the date adjacent to the seal. Printed copies of this document
are not considered signed and sealed until the signature
must be verified on any electronic copies.

GENERAL NOTES

1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
2. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES:

FLORIDA POWER AND LIGHT COMPANY
BELL SOUTH
COMCAST CATV
CITY OF HOLLYWOOD

4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

5. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO CITY OF HOLLYWOOD FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.

7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FP&L, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.

8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.

9. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.

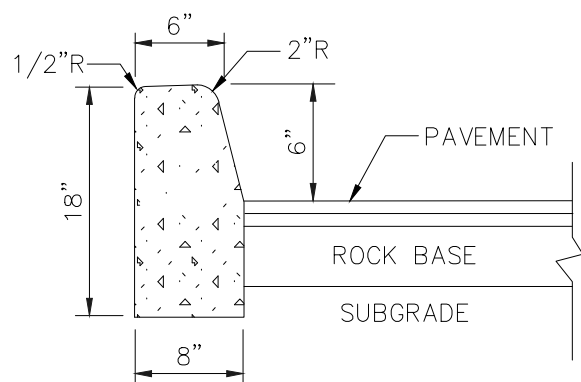
10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK.

11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.

12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.

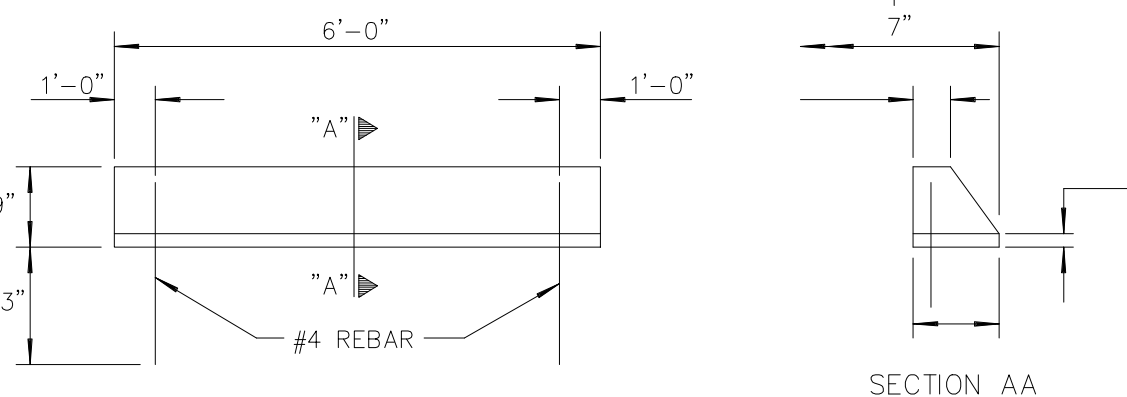
PAVEMENT MARKING AND SIGNING NOTES

1. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 711-MINIMUM THICKNESS 90 MILS (ALKYD ONLY).
2. ALL MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
3. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT.
4. THESE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
5. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF HOLLYWOOD BEFORE INSTALLATION.
6. REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART.
7. THREE BLUE REFLECTORS SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS.



TYPE "D" CURB

NOTE: PLACES WHERE TYPE "D" CURB ARE UTILIZED IN LIEU OF WHEELSTOPS, THE STANDARD VERTICAL HEIGHT OF 6" SHALL BE MODIFIED TO 5"



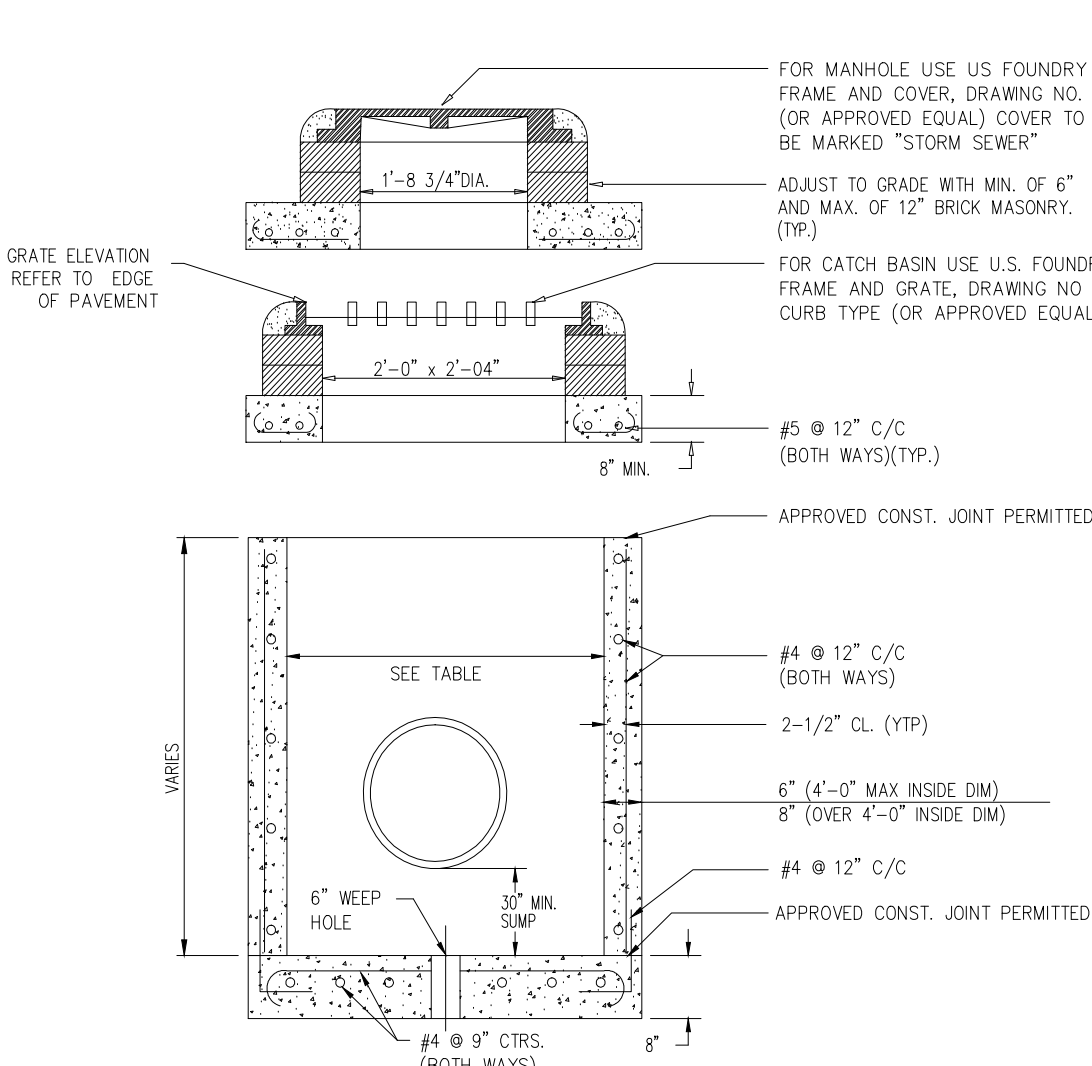
CONCRETE WHEEL STOP DETAIL

PAVING, GRADING AND DRAINAGE NOTES

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD AND PARKING LOT AREA SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL, IN MAXIMUM 1' LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIME/ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
5. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEARED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
8. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1 FOOT OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40, UNLESS OTHERWISE NOTED, AND SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIME/ROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM AND MAGNESIUM, UNLESS OTHERWISE DESIGNATED. ALL LIME/ROCK SHALL BE PRIMED.
11. ASPHALT SHALL BE OF THE TYPE DESIGNATED ON THE DRAWINGS.
12. CONCRETE SIDEWALK SHALL BE 4 INCHES THICK ON COMPACTED SUBGRADE, WITH 1/2 INCH EXPANSION JOINTS PLACED AT A MAXIMUM OF 75 FEET. CRACK CONTROL JOINTS SHALL BE 5 FEET ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS OTHERWISE SPECIFIED BY LOCAL CODES, OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6 INCHES THICK WITH 6" X 6" (10G) WELDED WIRE MESH REINFORCEMENT.
13. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:

- RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76, CLASS III, WALL THICKNESS "B", LATEST EDITION
CMP = CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196
CMP (SMOOTH LINED) = CORRUGATED METAL, ALUMINUM PIPE (SMOOTH LINES), ASTM DESIGNATION M-196
SCP = SLOTTED CONCRETE PIPE, FOOT SECTIONS 941 AND 942
PVC = POLYVINYLCHLORIDE PIPE
POMP = PERFORATED CMP, FOOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = SMOOTH LINED HIGH DENSITY POLYETHYLENE, AASHTO M 294 TYPE S

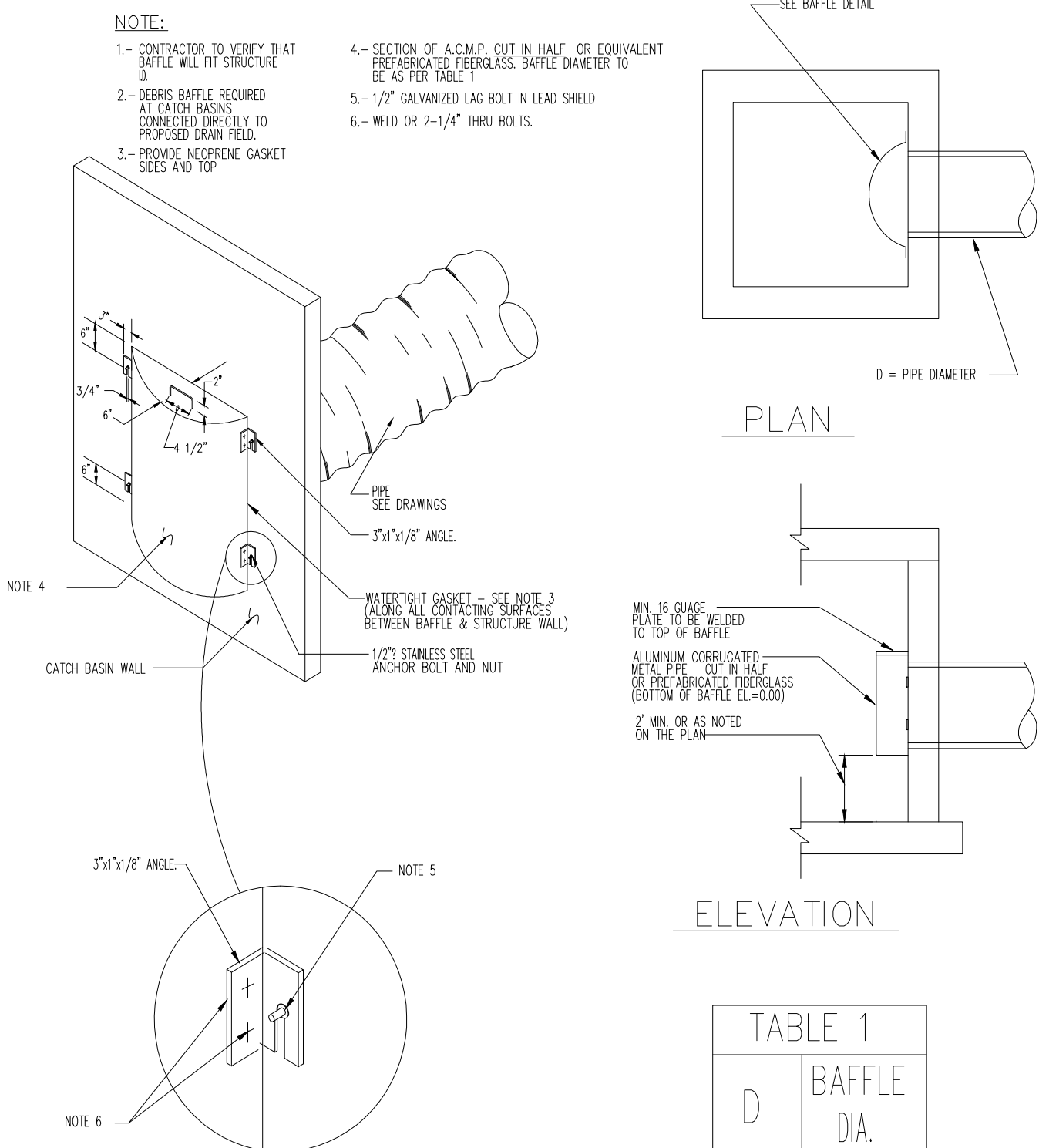
14. ASPHALTIC CONCRETE TYPE S-III SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF F.O.D.T. STANDARD SPECIFICATIONS. ASPHALTIC CONCRETE TYPE S-I SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF F.O.D.T. STANDARD SPECIFICATIONS.
15. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
16. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
17. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM SPECIFICATION A-615 AND A-305, LATEST REVISION.
18. ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
19. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
20. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 CEMENT MORTAR.
21. JOINTS IN CORRUGATED ALUMINUM PIPE SHALL EMPLOY CORRUGATED METAL BANDS OF SIMILAR METAL AND CORRUGATIONS WITH NEOPRENE, RAM-HOK, OR BITUMASTIC GASKETS INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
22. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 OF THE FLORIDA DOT STANDARD SPECIFICATIONS, LATEST REVISION.
23. ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
24. JOINTS IN HDPE PIPE SHALL BE ADS PRO LINK ST. HANCOX SURF-DR 2000 OR EQUIVALENT EQUAL.



DRAINAGE STRUCTURES

TABLE OF INSIDE DIMENSIONS FOR RECTANGULAR STRUCTURES		
STRUCTURE TYPE	INLET	MANHOLE
B	3'-0" X 3'-0"	3'-0" X 3'-0"
C	3'-0" X 4'-0"	3'-0" X 4'-0"
D	3'-0" X 5'-0"	3'-0" X 5'-0"
F	4'-0" X 4'-0"	4'-0" X 4'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
H	5'-0" X 6'-0"	5'-0" X 6'-0"
J	6'-0" X 6'-0"	6'-0" X 6'-0"
K	4'-0" X 6'-0"	4'-0" X 6'-0"
L	3'-0" X 6'-0"	3'-0" X 6'-0"
M	5'-0" X 5'-0"	5'-0" X 5'-0"

DRAINAGE STRUCTURES SECTION DETAILS

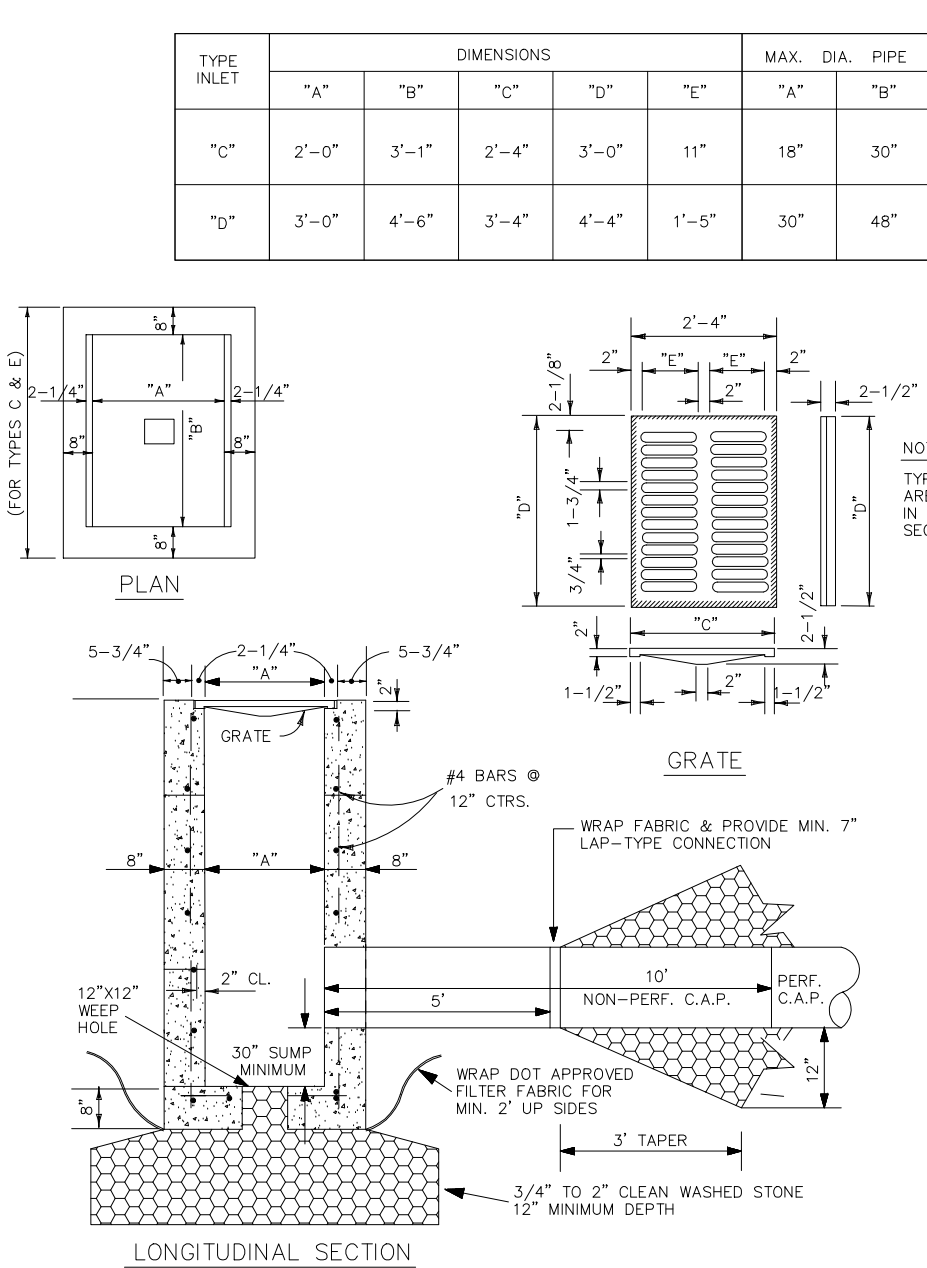


BRACKET DETAIL

ELEVATION

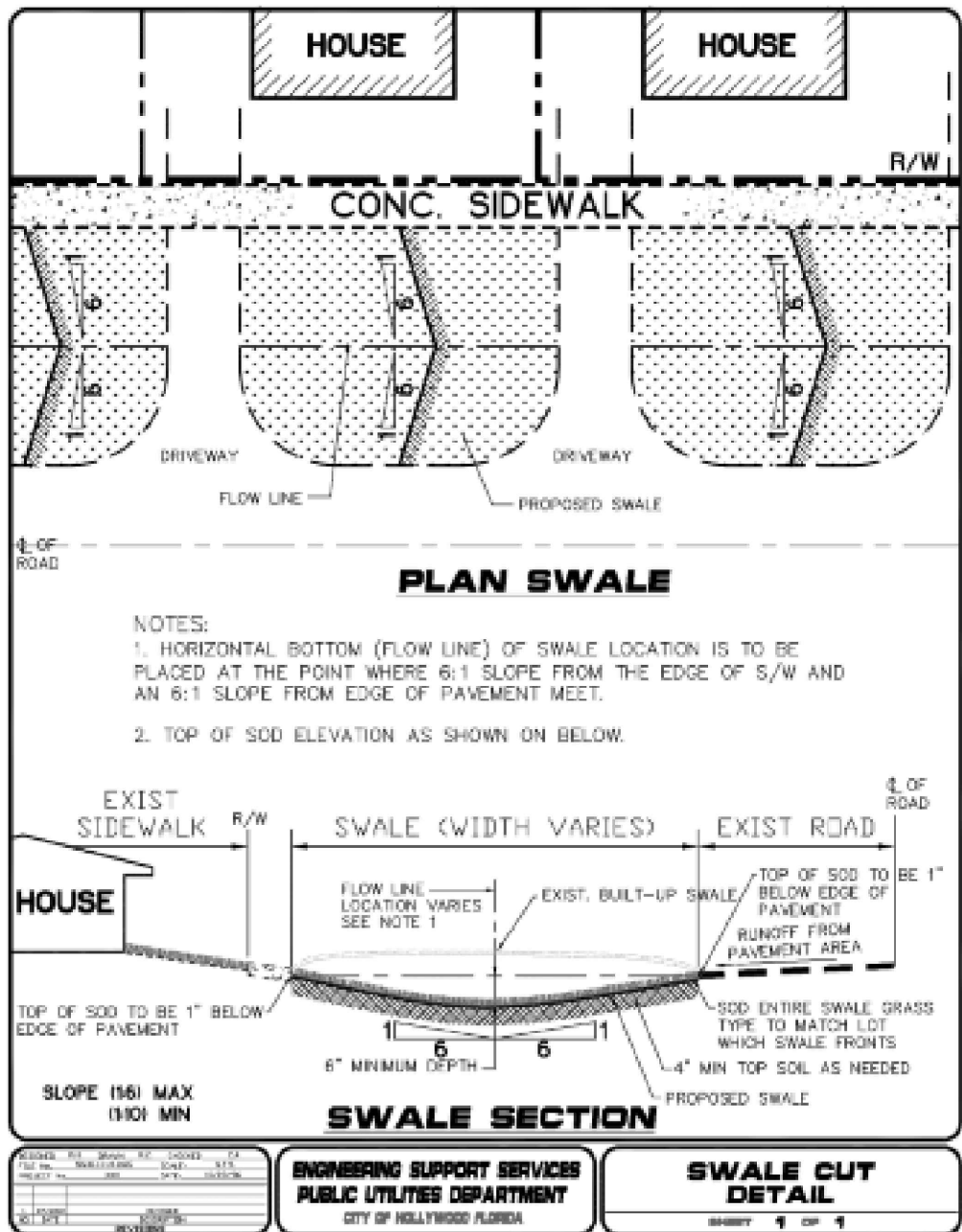
D	BAFFLE DIA.
10"	15"
15"	24"
18"	30"
24"	36"
30"	48"
36"	54"

POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL



LONGITUDINAL SECTION

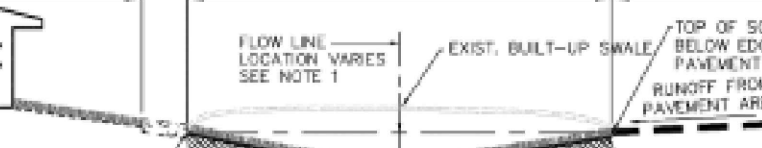
EXFILTRATION TRENCH



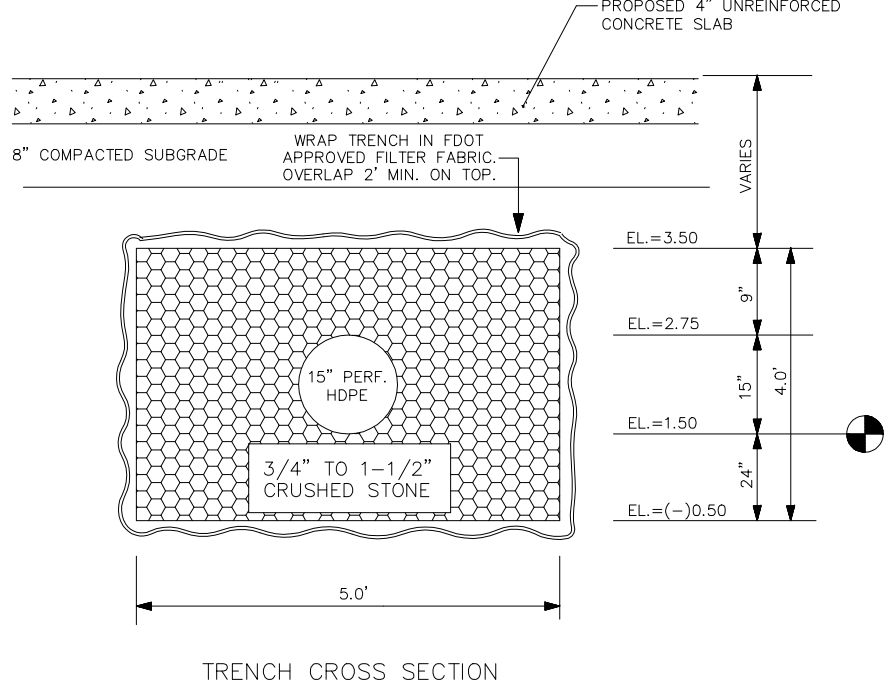
PLAN SWALE

- NOTES:
1. HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE 6:1 SLOPE FROM THE EDGE OF S/W AND AN 8:1 SLOPE FROM EDGE OF PAVEMENT MEET.
2. TOP OF SOD ELEVATION AS SHOWN ON BELOW.

SWALE SECTION



SWALE CUT DETAIL



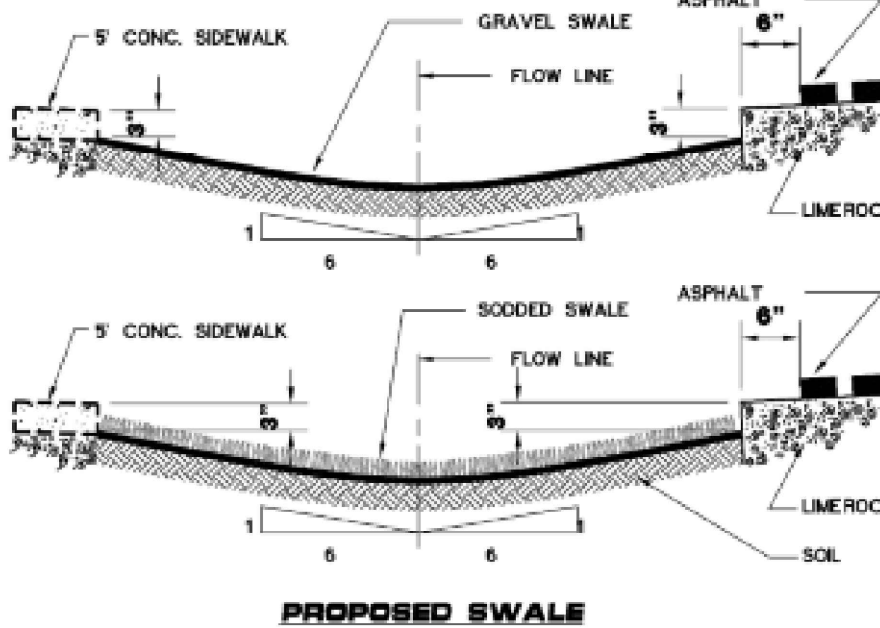
TRENCH CROSS SECTION

INLET NOTES

- BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
GRATES: CAST IRON IN ACCORDANCE WITH F.O.D.T. SPECIFICATIONS.
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. TYPE "E" MANHOLE IS A TYPE "E" TURNED 90° TO RESERVE E.C.P. JOINT TO 48 INCHES. INLETS RECEIVING PIPE LARGER THAN 6" DIAMETER SHALL BE IN ACCORDANCE WITH F.O.D.T. STANDARDS. SEE F.O.D.T. STANDARD INDEXES 200, 201, & 232.
MATERIAL: INLET WALLS AND BASES MAY BE EITHER CAST-IN-PLACE CLASS I, 2000 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 P.S.I. CONCRETE.
POLLUTION CONTROL DEVICES: "SPECIAL" INLETS SHALL HAVE POLLUTION CONTROL DEVICE INSTALLED, CONSISTING OF HALF-ROUND GALVANIZED STEEL PLATE, OPEN AT THE BOTTOM, WELDED CLOSED AT TOP (OPTIONAL).
LOCKDOWN: PROVIDE EYEBOIT PER F.O.D.T. STANDARD INDEX 201.
BACKFILL NOTES
COMPACT TRENCH BACKFILL AND SOD WITHIN MIN. 5' OF TRENCH TO MIN. 95% OF MAX. DRY DENSITY PER ASTM D-1557.

SWALE GRADING SPECIFICATIONS:

- GRASS REPLACEMENT TO MATCH LOT WHICH SWALE FRONTS.
SOIL AND GRASS TO BE HAULED OFF TO DUMP SITE.
SPRINKLER SYSTEM TO BE REMOVED, LOWERED, AND RECONNECTED WHERE APPLICABLE.
UNDERGROUND LOCATIONS AND ALL OTHER SAFETY FACTORS, ARE THE CONTRACTORS RESPONSIBILITIES.



PROPOSED SWALE



SWALE GRADING SPECIFICATIONS

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CFM ARCHITECTS
4253 S.W. 72ND AVE.
MIAMI, FLORIDA 33155

CLIENT:

PROJECT: RESIDENCES AT BEVERLY PARK
6015 WASHINGTON ST.
HOLLYWOOD
FLORIDA

TASK:

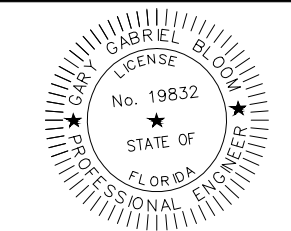
CONSTRUCTION DETAILS

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899

DATE:	SCALE:
03/06/23	N.T.S.
DESIGNED BY:	DRAWN BY:
G.G.B.	J.A.

PROJECT NO.

SHEET
C-2



This document has been digitally signed and sealed by Gary C. Brown, P.E.
On the data adjacent to the seal. Printed copies of this document
are not considered signed and sealed and the signature
must be verified on any electronic copies.

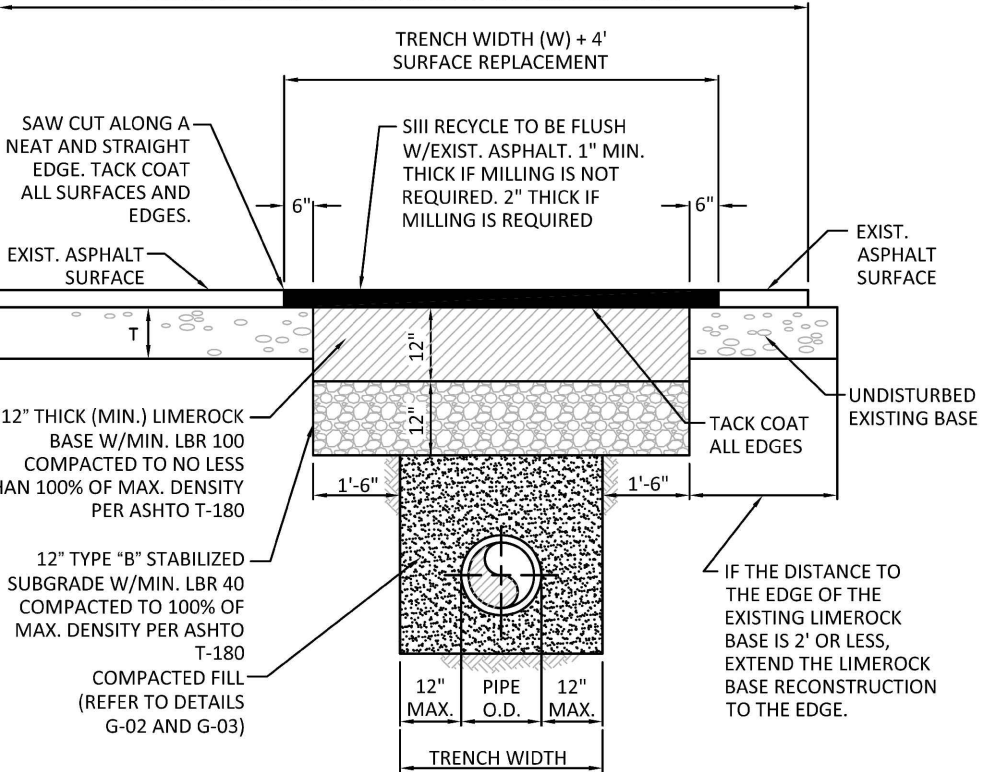
FLEXIBLE PAVEMENT RESTORATION NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FOOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
- BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FOOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- MILL AND BUTT JOINT TO EXISTING PAVEMENT.
- IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
- REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAIN USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

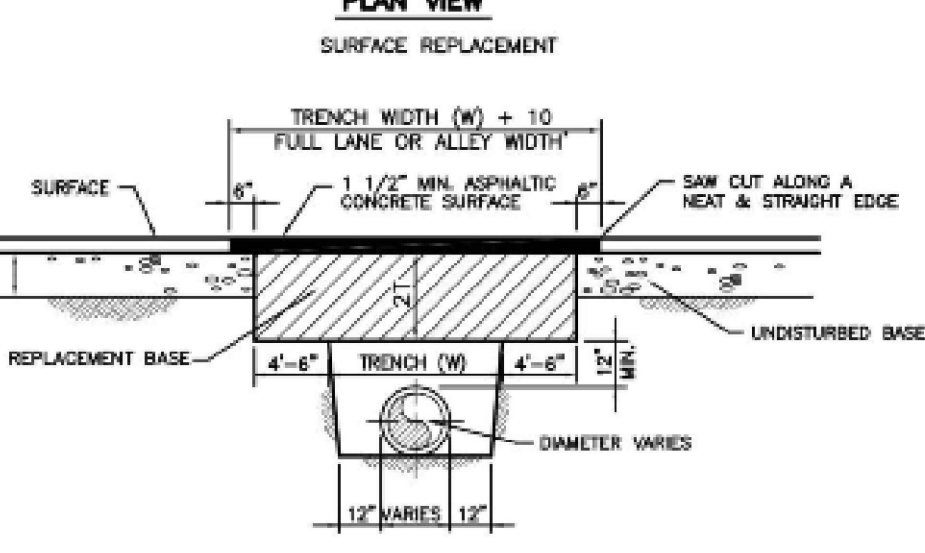
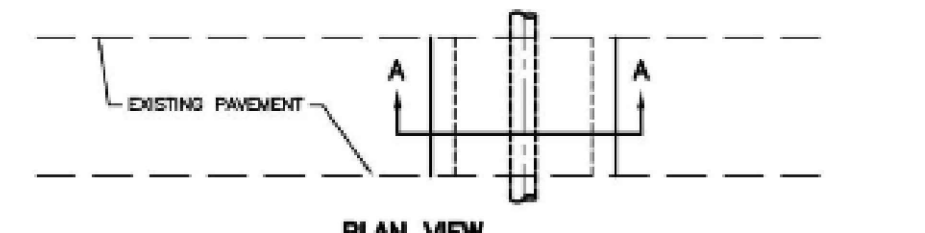


ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
DRAWN: EAM
APPROVED: XXX
FLEXIBLE PAVEMENT RESTORATION NOTES
DRAWING NO. G-12

TACK COAT ALL SURFACES, AND PROVIDE 1" SP 9.5 MIN. SUPERPAVE ASPHALTIC CONC. OVERLAY AS SHOWN ON THE PAVEMENT RESTORATION PLANS



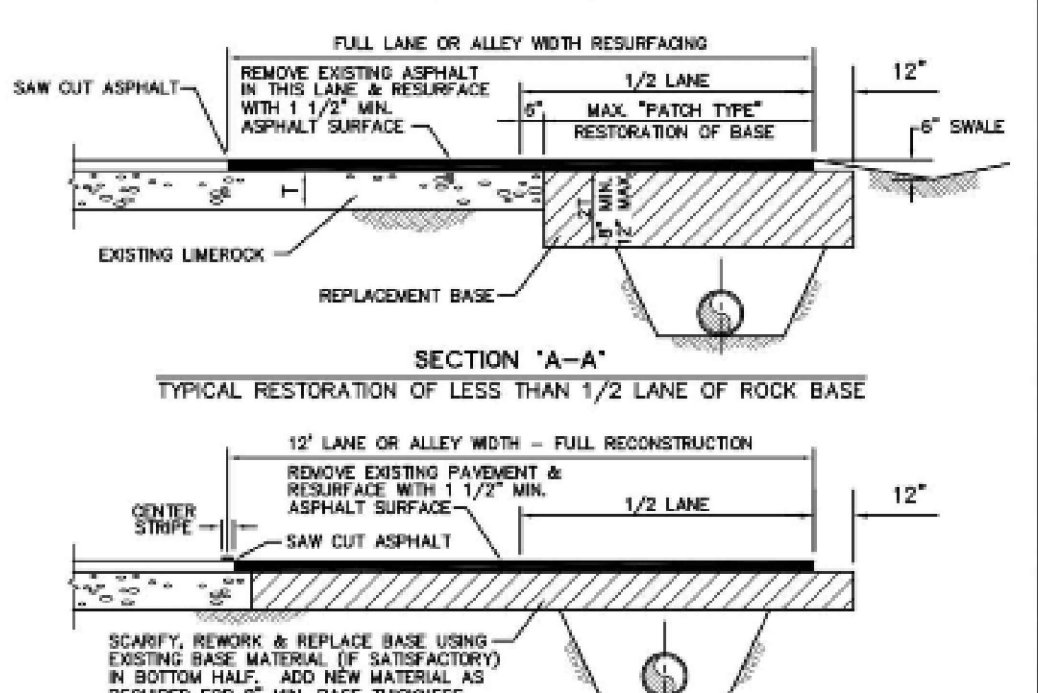
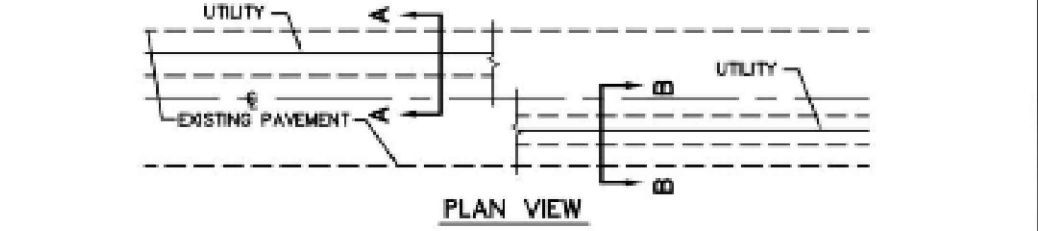
ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
DRAWN: EAM
APPROVED: XXX
FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY
DRAWING NO. G-12.1



FLEXIBLE PAVEMENT RESTORATION PERPENDICULAR UTILITY INSTALLATION (CITY STREETS AND ALLEYS ONLY)

- NOTES:
- REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
 - BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180.
 - ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
 - SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPED AND FEATHERED.
 - SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
 - BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
 - IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
 - BACKFILL SHALL BE IN ACCORDANCE WITH DETAIL OF PIPE LAYING CONDITION TYPICAL SECTION, EXCEPT AS SHOWN ABOVE.

CITY OF HOLLYWOOD
DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION AND MOBILITY
PAVEMENT RESTORATION DETAIL



FLEXIBLE PAVEMENT RESTORATION PARALLEL UTILITY INSTALLATION (CITY STREETS AND ALLEYS ONLY)

- NOTES:
- BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
 - BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM THICKNESS LAYERS WITH EACH LAYER COMPACTED AS REQUIRED AND TESTED PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
 - SURFACE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
 - BACKFILL SHALL BE PLACED AND COMPACTED IN 6" LAYERS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
 - ALL EDGES OF EXISTING ASPHALT PAVEMENT WHERE RESURFACING WILL ABUT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
 - RESURFACING MATERIAL SHALL BE OF THE SAME MIX AS THE EXISTING SURFACE, AND SHALL BE APPLIED A MINIMUM OF ONE AND ONE-HALF INCHES AND A MAXIMUM OF TWO INCHES IN THICKNESS.
 - REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.

CITY OF HOLLYWOOD
DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION AND MOBILITY
PAVEMENT RESTORATION DETAIL

REVISIONS							
1.							
2.							
3.							
4.							
5.							
6.							
7.							
8.							

CFM ARCHITECTS
4253 S.W. 72ND AVE.
MIAMI, FLORIDA 33155

CLIENT:

PROJECT: RESIDENCES AT BEVERLY PARK
6015 WASHINGTON ST.

HOLLYWOOD FLORIDA

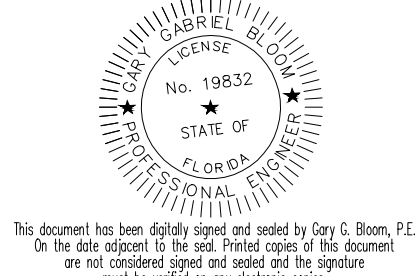
TASK: CONSTRUCTION DETAILS

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899

DATE: 03/06/23
DESIGNED BY: G.G.B.
SCALE: N.T.S.
DRAWN BY: J.A.

PROJECT NO.

SHEET C-3



This document has been digitally signed and sealed by Gary G. Breen, P.E.
On the date adjacent to the seal. Printed copies of this document
are not considered signed and sealed until the signature
must be verified in any electronic copies.

WATER SYSTEM:

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO STANDARDS OF THE LOCAL MUNICIPALITY AND APPLICABLE REQUIREMENTS OF DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES STANDARDS. NO PHYSICAL CONNECTION OF NEW WATER MAINS TO EXISTING WATER MAINS SHALL BE MADE UNTIL SUCH TIME THAT THE NEW MAINS ARE CONFIRMED TO BE BACTERIOLOGICALLY SAFE AND THE HEALTH DEPARTMENT RELEASE HAS BEEN OBTAINED. TEMPORARY CONNECTIONS OF NEW MAINS TO EXISTING MAINS FOR THE PURPOSE OF FILLING AND FLUSHING SHALL BE MADE BY A METHOD DEEMED ACCEPTABLE TO THE UTILITY PROVIDING SERVICE.

ALL WATER MAINS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI AND HAVE COMPRESSION TYPE BELL AND SPIGOT JOINTS.

THE WATER SYSTEM SHALL BE HYDROSTATICALLY PRESSURE TESTED AND DISINFECTED PER AWWA / ANSI C901/05 AND TESTED FOR A PERIOD OF HOURS AT NOT LESS THAN 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C600-05 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA:

$$L = S D P^{0.5} / 148,000 \quad \text{WHERE:}$$

L = ALLOWABLE LEAKAGE IN GALLONS / HOUR
 S = PIPE LENGTH IN FEET
 D = NOMINAL DIAMETER OF PIPE IN INCHES
 P = AVERAGE TEST PRESSURE IN PSI

TEST PRESSURE SHALL NOT VARY MORE THAN 5 PSI THROUGHOUT THE TEST. THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE BASED ON A MAXIMUM 2000 FEET WHEN THE LENGTH OF PIPE TESTED EXCEEDS 2000 FEET. THRUST BLOCKS AS SHOWN ON THE DETAIL SHEETS SHALL BE PROVIDED AT ALL BENDS UNLESS NOTED OTHERWISE ON PLANS. IF RESTRAINT JOINT PIPE, ISSPECIFIED ON THE PLANS, SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF THE PIPE MANUFACTURER AND THE UTILITY DEPARTMENT. NO CONCRETE THRUST BLOCKS WILL BE ALLOWED EXCEPT FOR FIRE HYDRANTS.

BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH AWWA / ANSI C651-05 LATEST REVISION.

PVC WATER MAIN PIPE (BLUE) SHALL MEET THE REQUIREMENTS OF AWWA C-900/87 POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, CLASS 150 PIPE SHALL CONFORM TO REQUIREMENTS OF ASTM F-477 STANDARD.

ALL PVC PIPE SHALL BE SUITABLE FOR USE AS A PRESSURE CONDUIT. PROVISIONS MUST BE MADE FOR EXPANSION AND CONTRACTION AT EACH JOINT WITH AN ELASTOMERIC RING. THE BELL SHALL CONSIST OF AN INTEGRAL WALL SECTION WITH AN ELASTOMERIC RING WHICH MEETS THE REQUIREMENTS OF ASTM F-477 STANDARD SPECIFICATIONS FOR ELASTOMERIC SEALS (GASKETS FOR JOINTING PLASTIC PIPE). THE WALL THICKNESS IN THE BELL SECTION SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-3139.

PVC PIPE SHALL BE DELIVERED TO THE JOB SITE FROM THE FACTORY AND STORED AT THE JOB SITE IN PALLETIZED UNITS OR BUNDLES TO PREVENT UNNECESSARY DEFLECTION PRIOR TO INSTALLATION. EACH PALLETIZED UNIT SHALL BE SIZED TO LIMIT THE STACKING OF PIPE NOT MORE THAN SIXTY (60) INCHES HIGH OR AS APPROVED BY THE ENGINEER.

CARE SHALL BE TAKEN DURING THE TRANSPORTING OF THE PIPE TO INSURE THAT THE BINDING AND THE DOWN METHODS DO NOT DAMAGE OR DEFLECT THE PIPE IN ANY MANNER. PIPE BENT, DEFLECTED, OR OTHERWISE DAMAGED DURING SHIPPING WILL BE REJECTED.

PVC MAINS SHALL BE LAID WITH A MINIMUM OF 36" CLEAR COVER.

FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON PRESSURE CLASS 350 THROUGH 12". ALL FITTINGS SHALL BE CEMENT MORTAR LINED AND SEALED THE SAME AS PIPE IN ACCORDANCE WITH AWWA/ANSI C110/A21.10-03.

PVC AND D.I.P. PIPE SHALL BE DEFLECTED NO MORE THAN ONE HALF(1/2) THE MANUFACTURERS RECOMMENDATION.

JOINTS FOR BELL AND SPIGOT PVC/DIP PIPE AND FITTINGS SHALL BE MECHANICAL OR RUBBER GASKET EITHER OR SPIGOT OR IN BELL COMPRESSION TYPE AS SPECIFIED IN ACCORDANCE WITH AWWA/ANSI STANDARD C111/A21.11-00. SPECIAL FITTINGS AND JOINTS SHALL BE CONSIDERED FOR SPECIFIC INSTALLATION.

ALL WATER MAINS SHALL HAVE CONTINUOUS DETECTOR TAPE 18 INCHES BELOW GRADE. ALL WATER MAINS DETECTOR TAPE SHALL HAVE BLUE SIDE-UP. A 14 GAUGE MULTI STRAND WIRE SHALL BE ATTACHED TO A NON-CONDUCTIVE WATER MAIN TO FACILITATE FUTURE LOCATION. AN EXTRA 4" OF WIRE SHALL BE PROVIDED AT BLOWOFFS, FIRE HYDRANTS, ETC.

POLYETHYLENE ENCASEMENT/WRAP SHALL BE INSTALLED ON ALL IRON PIPE INCLUDING VALVES, FITTINGS, SLEEVES, HYDRANTS, ETC. POLYWRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM ANS/AWWA C105/A21.5-05 STANDARDS.

DUCTILE IRON WATER MAIN SEALCOAT SHALL BE COAL TAR EPOXY OR ASPHALT.

DUCTILE IRON PIPE JOINTS SHALL BE PUSH-ON TYPE AND RESTRAINED. A MINIMUM DISTANCE AS SPECIFIED IN RESTRAINED DETAIL ON APPLICABLE DETAIL SHEET, USING MEGA-LOG OR APPROVED EQUAL USING TR-FLEX U.S. PIPE OR FLEX RING BY AMERICAN PIPE.

WATER MAIN STUBS FOR FUTURE EXTENSION INCLUDING ALL FITTINGS BACK TO TEE (IF STUB LENGTHS IS LESS THAN 10 FEET) SHALL BE INSTALLED. THEY WILL BE RESTRAINT JOINT PIPE FOR THE LAST TWO LENGTHS. (AS REQUIRED BY ENGINEER OR UTILITY DEPT.)

DUCTILE IRON PIPE SHALL BE CLASS 350 AND SHALL BE CEMENT LINED AND SEALCOATED IN ACCORDANCE WITH AWWA ANSI STANDARD C105/A21.5-02. WATER MAINS SHALL BE LAID WITH A MINIMUM OF 36" CLEAR COVER. DUCTILE IRON FITTINGS SHALL BE CLASS 350 THROUGH 12" AND CLASS 250 IN SIZES 16" AND LARGER. ALL FITTINGS SHALL BE CEMENT LINED AND SEALCOATED THE SAME AS PIPE IN ACCORDANCE WITH AWWA / ANSI STANDARDS C104/A21.4-03 AND C153/A21.53-00. NEOPRENE GASKETS SHALL BE USED.

ALL WATER MAINS SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAILS.

CONTRACTOR IS RESPONSIBLE FOR THE EXISTING ON-SITE WATER SYSTEM UNTIL FINAL INSPECTION, CERTIFICATION AND APPROVAL BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE WHETHER, OR NOT NOTED ON PLANS FOR RAISING OR LOWERING OF EXISTING GATE VALVE BOXES, METER BOXES, ETC. THAT MAY NEED ADJUSTMENT TO MEET PROPOSED FINISH GRADES.

ALL EXISTING WATER MAINS AND COMPONENTS DESIGNATED FOR REMOVAL ARE THE PROPERTY OF THE UTILITY. MATERIALS SHALL BE REMOVED FROM THE GROUND AS CAREFULLY AS POSSIBLE AND SALVAGED FOR UTILITY SHOULD UTILITY REFUSE SAID WATER COMPONENTS, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR OFF-SITE DISPOSAL.

CONTRACTOR TO REFER TO ARCHITECTURAL (PLUMBING) PLANS TO CONFIRM LOCATIONS AND ELEVATIONS OF ALL WATER FIRE AND SEWER BUILDING CONNECTIONS.

DEVELOPER IS RESPONSIBLE TO DEDICATE UTILITY EASEMENTS TO THE UTILITY FOR ALL PUBLIC WATER MAINS THAT ARE TO BE ULTIMATELY OWNED AND MAINTAINED BY THE UTILITY. EASEMENTS TO BE GRANTED UPON THE CONCLUSION OF THE WORK FROM AS-BUILT PIPE LOCATIONS, UNLESS OTHERWISE REQUIRED BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE TO DELIVER AS-BUILT WATER PLANS, MYLAR, AND COMPUTER DISK TO THE ENGINEER OF RECORD PRIOR TO FINAL CERTIFICATION TO THE UTILITY. AS-BUILTS SHALL BE SIGNED AND SEALED BY A REGISTERED FLORIDA SURVEYOR.

MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS.

LANDSCAPING SHALL NOT BE INSTALLED WITHIN 6' OF ALL WATER MAINS AND SERVICES OR WITHIN A 5' RADIUS OF ALL FIRE HYDRANTS, UNLESS APPROVED BY THE ENGINEER.

WATER MAINS SHALL BE DEFLECTED OVER DRAINAGE AT ALL CONFLICTS.

ALL WATER SERVICES SHALL TERMINATE A MINIMUM OF 5' FROM BUILDING.

UNDERGROUND WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO BUILDING CONSTRUCTION AS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND THE SOUTH FLORIDA BUILDING CODE, LATEST REVISION.

ALL WATER MAIN INSTALLATION SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

WATER SERVICE LINES:

WATER SERVICES SHALL BE POLYETHYLENE TUBING (PE 3408) COMPLYING WITH APPLICABLE REQUIREMENTS OF PE, AWWA C302-02 HIGH MOLECULAR WEIGHT PLASTIC MATERIAL ASTM D-2666, 250 PSI RATING (CTS-00) SDR 9. SERVICE PIPE SHALL BE INSTALLED AS A SINGLE RUN WITHOUT UNIONS.

JOINTS FOR TUBING SHALL BE OF THE COMPRESSION TYPE UTILIZING A TOTALLY CONFINED GRIIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERTS SHALL ALSO BE USED FOR TUBING SERVICES.

SERVICE LINES SHALL BE MARKED WITH 2" X 4" POST PAINTED BLUE.

ALL WATER SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

PIPE DEFLECTION SHALL BE NO MORE THAN ONE HALF OF THE MANUFACTURER'S RECOMMENDATION.

MINIMUM COVER SHALL BE 24".

ALL WATER SERVICE LINES UNDER PAVED AREAS SHALL BE SLEEVED IN SCHEDULE 40 PVC AND SHALL BE OF ONE SINGLE LENGTH WITHOUT UNIONS.

FORD STAINLESS INSERTS ARE REQUIRED FOR PLASTIC PIPE.

GATE VALVES:

GATE VALVES 4" AND LARGER SHALL BE MECHANICAL JOINT TYPE AND COMPLY WITH AWWA / ANSI STANDARD C509-01.

MECHANICAL JOINTS SHALL CONFORM TO AWWA / ANSI C111/A21.11-00.

ALL GATE VALVES ARE TO BE IRON BODY, BRONZE MOUNTED, DOUBLE DISK, NON-RISING STEM, RESILIENT SEAT TYPE, OPENING LEFT (COUNTER CLOCKWISE). THE INTERIOR LINING SHALL BE FUSION BONDED EPOXY ACCORDING TO AWWA 550-90 AND AN EXTERIOR EPOXY COAT (BOTH 40 MILLS DFT).

GATE VALVES 4" TO 12" SHALL HAVE A MAXIMUM WORKING PRESSURE OF 200 PSI AND BE TESTED AT 400 PSI. GATE VALVES SHALL BE RESILIENT SEATED, MUELLER, LOW RESILIENT WEDGE, M & H, OR APPROVED, EQUAL, WITH RESTRAINT JOINTS.

GATE VALVES UNDER 4" IN SIZE SHALL BE BRONZE GATE VALVES CONFORMING TO MSS STANDARD PRACTICE SP-37. THEY SHALL BE DOUBLE DISK, NON-RISING STEM, OPENING LEFT (COUNTER CLOCKWISE) WITH OPERATING WHEEL PEWTER AND POT METAL OPERATING WHEELS SHALL NOT BE PERMITTED. GATE VALVES SHALL MEET AWWA C500-02 STANDARDS.

VALVE BOXES SHALL BE CAST IRON EXTENSION TYPE WITH NOT LESS THAN 5-1/4" DIAMETER SHAFT AND WITH COVERS MARKED "WATER", PAINTED BLUE, USE 7500 OR APPROVED EQUAL.

GATE VALVES 18" AND LARGER WILL BE SUBSTITUTED WITH BUTTERFLY VALVES AS MANUFACTURED BY PRATT, DEZURIK, CLOW, OR APPROVED EQUAL.

BUTTERFLY VALVES ARE TO BE CAST OR DUCTILE IRON BODY, ALLOY CAST IRON OR DUCTILE IRON DISK, BODY MOUNTED ADJUSTABLE SEAT, ONE-PIECE STAINLESS STEEL SHAFT, SHORT OR LONG BODY TYPE, WITH THE VALVE CLASS, SHAFT SIZE AND OTHER SPECIAL REQUIREMENTS SELECTED IN ACCORDANCE WITH THE SPECIFIC DESIGN; AND ARE TO COMPLY WITH THE PROVISIONS OF AWWA C504-00, "RUBBER SEATED BUTTERFLY VALVES."

VALVE OPERATION IS TO BE APPROVED GEAR ACTUATORS, WITH SEALED ENCLOSURES FOR BURIED OR SUBMERGED SERVICE. POSITION INDICATORS WILL BE FURNISHED AS REQUIRED. UNITS ARE TO BE EQUIPPED WITH 2" ACTUATING NUTS, CAST IRON HANDWHEELS, OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION. APPURTENANCES ARE TO BE FURNISHED BY THE VALVE MANUFACTURER.

WATER SERVICE FITTINGS:

METER VALVES (ASTM B-62 LATEST) SHALL BE FORD ANGLE STOPS, MODEL #A4V43-342W FOR SINGLE SERVICES AND FORD MODEL #A4V63-42W FOR DOUBLE SERVICES OR APPROVED EQUAL.

CURB STOPS SHALL BE OF THE INVERTED KEY TYPE WITH TEE-HEAD SHUT OFF. CURB STOPS SHALL BE MADE OF BRASS ALLOY IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A.

METER VALVES AND CORPORATION STOPS (FORD BALL CORP. NO. FC 202) SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A WITH EPOXY COATED DUCTILE IRON BODY STAINLESS STEEL SERVICE SADDLES BY FORD.

INLET THREAD FOR METER VALVES AND CURB STOPS SHALL BE AWWA TAPER THREAD IN ALL SIZES IN ACCORDANCE WITH ANSI / AWWA STANDARD C800-03. CUTLET CONNECTIONS SHALL HAVE A COMPRESSION TYPE FITTING SAME AS VALVES.

CONTRACTOR TO REVIEW WATER DETAILS TO DETERMINE EXTENT OF JURISDICTION OF WATER SERVICE AND METER MATERIALS (METERS, ETC.) SUPPLIED AND INSTALLED BY UTILITY.

FIRE HYDRANTS:

ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA / ANSI STANDARD C502-05 AND THE FOLLOWING DESIGN STANDARDS:

THE FIRE HYDRANTS SHALL BE OF THE COMPRESSION TYPE, OPENING AGAINST THE PRESSURE AND CLOSING WITH THE LINE PRESSURE WITH (1)-5", VALVE OPENING, THE HYDRANT SHALL BE EQUIPPED WITH (2)-2" HOSE NOZZLES AND (1)-5" PUMPER NOZZLE.

FIRE HYDRANTS SHALL BE FURNISHED WITH A SEALED OIL OR GREASE RESERVOIR LOCATED IN THE BONNET SO THAT ALL THREADED AND BEARING SURFACES ARE AUTOMATICALLY LUBRICATED WHEN THE HYDRANT IS OPERATED. THE HYDRANT WILL BE DESIGNED FOR DISASSEMBLY BY USE OF A SPECIFIC DISASSEMBLY WRENCH OR THE HYDRANT SHOE SHALL HAVE INTEGRAL CAST BE BACK LUGS ON THE MAIN VALVE TO PERMIT THE MAIN VALVE ASSEMBLY AND VALVE SEAT TO BE REMOVED WITHOUT DIGGING EARTH OR DISASSEMBLING THE HYDRANT BARREL.

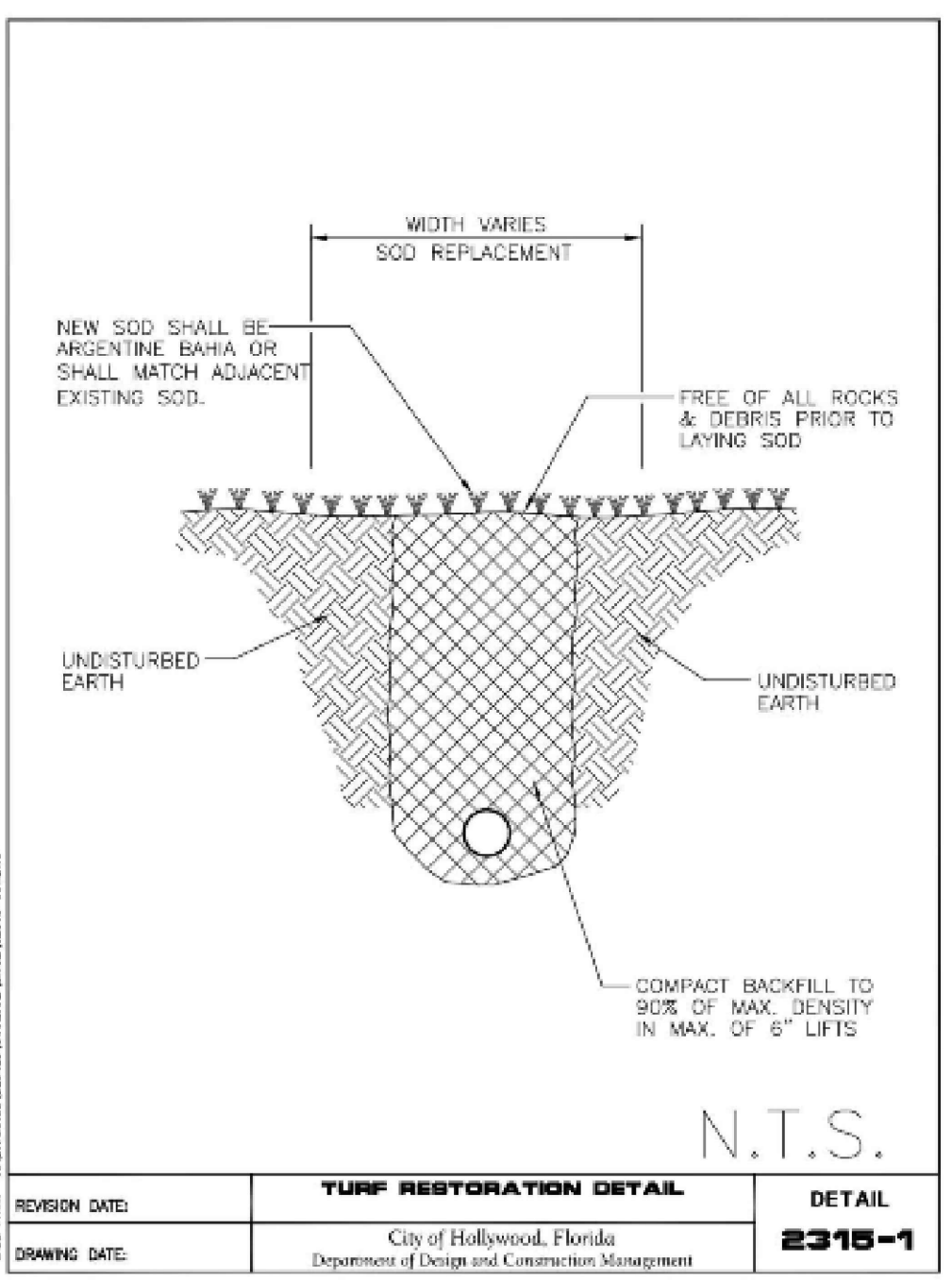
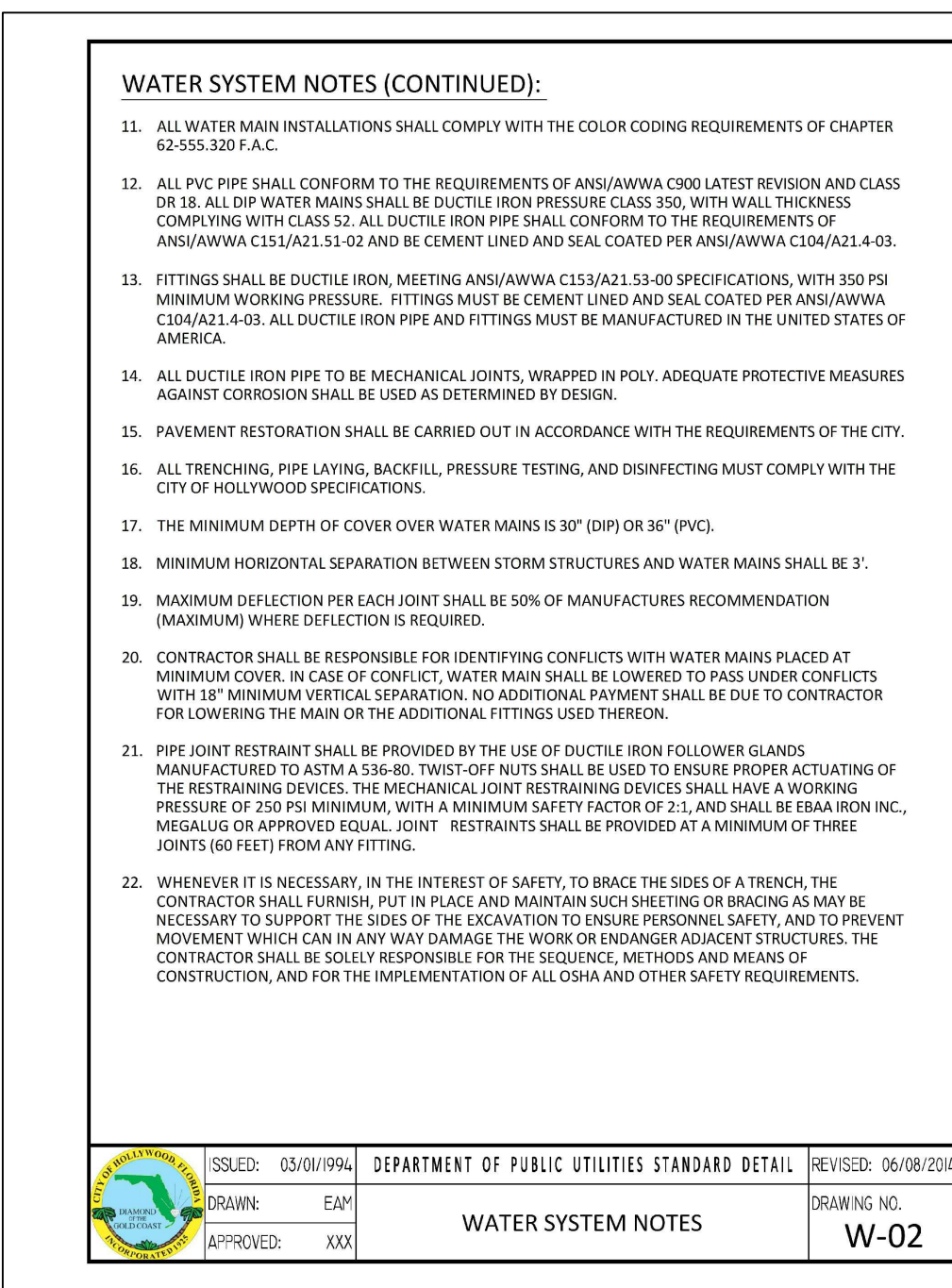
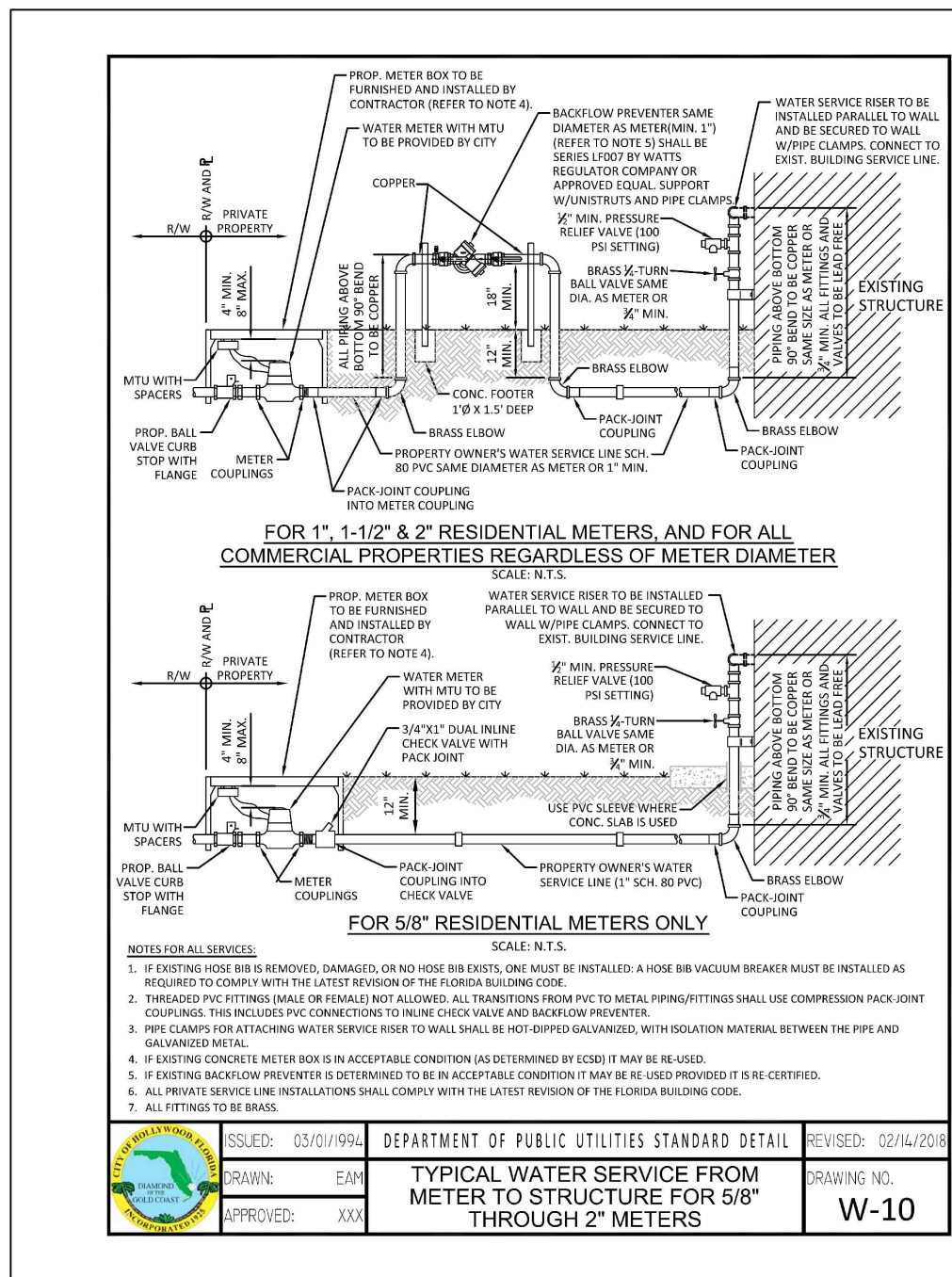
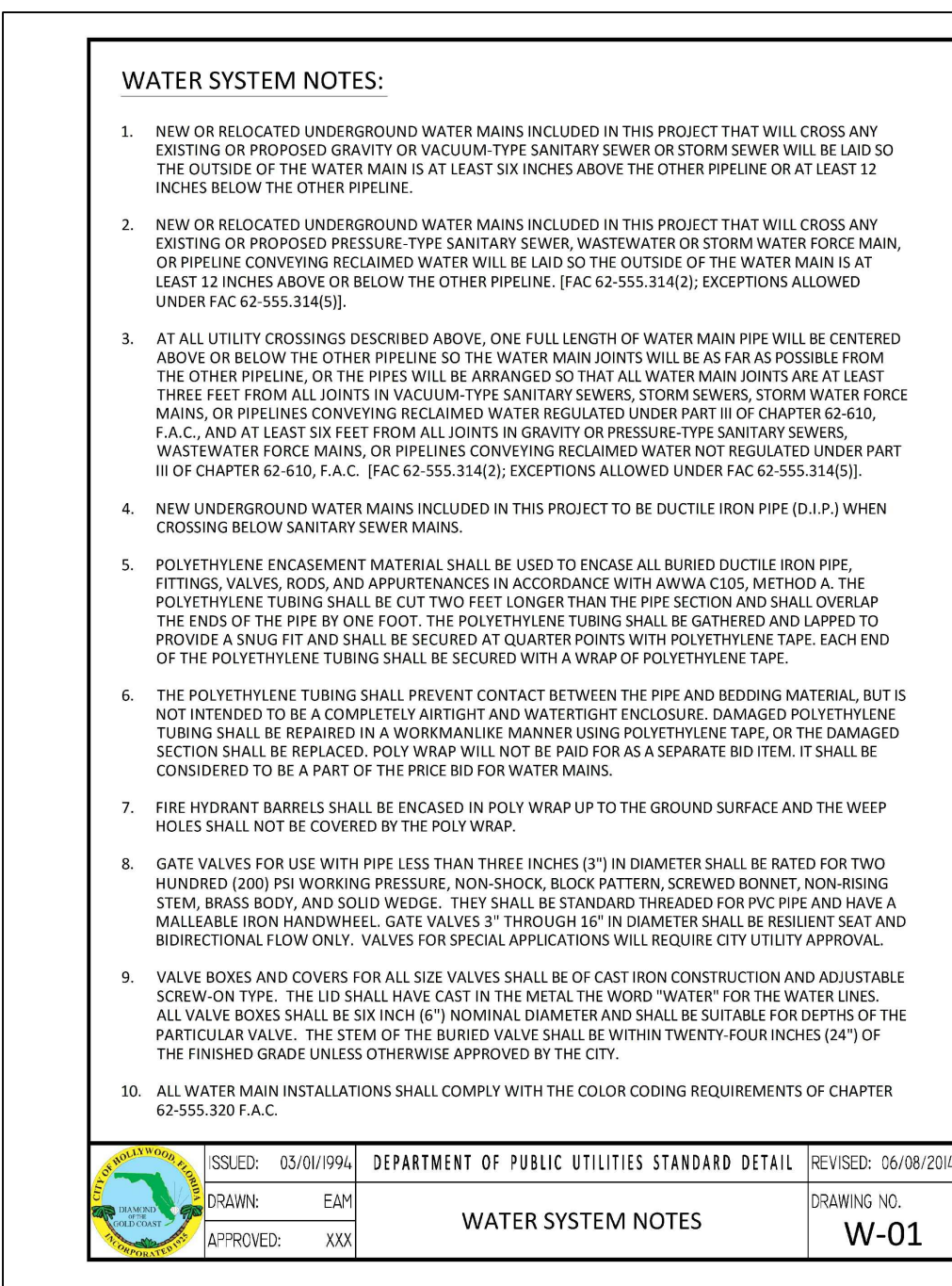
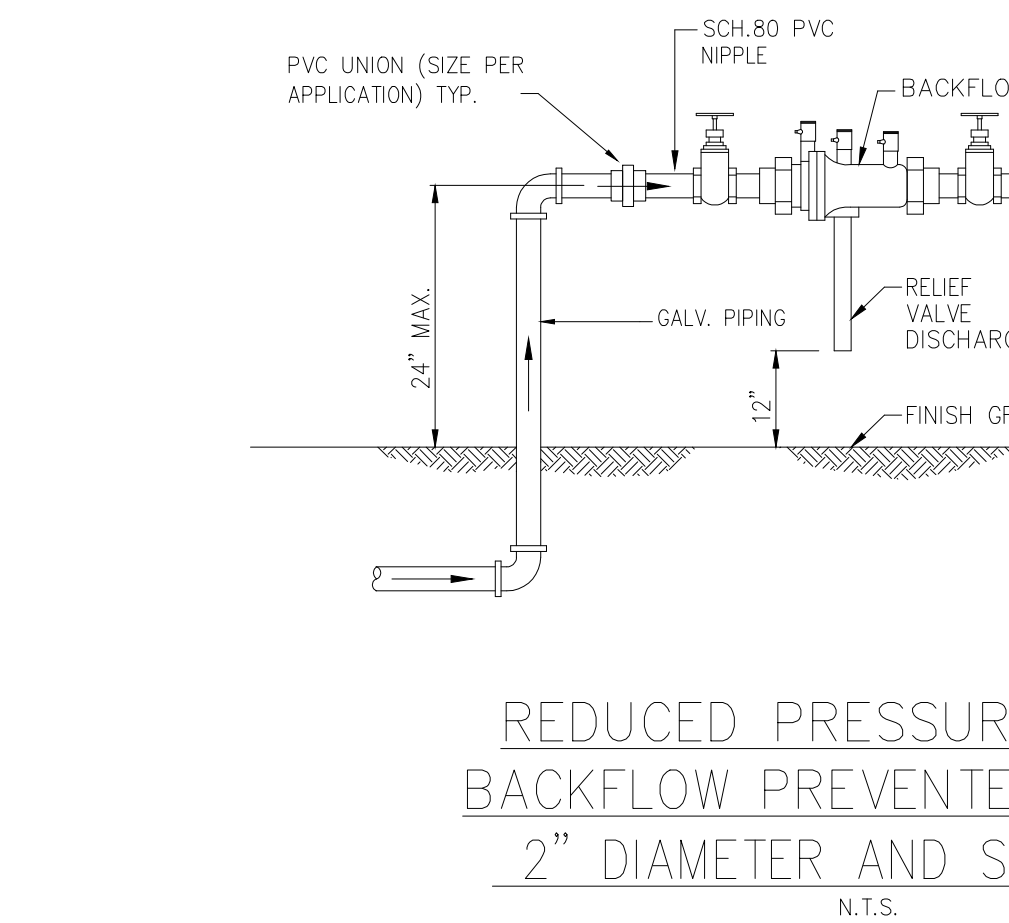
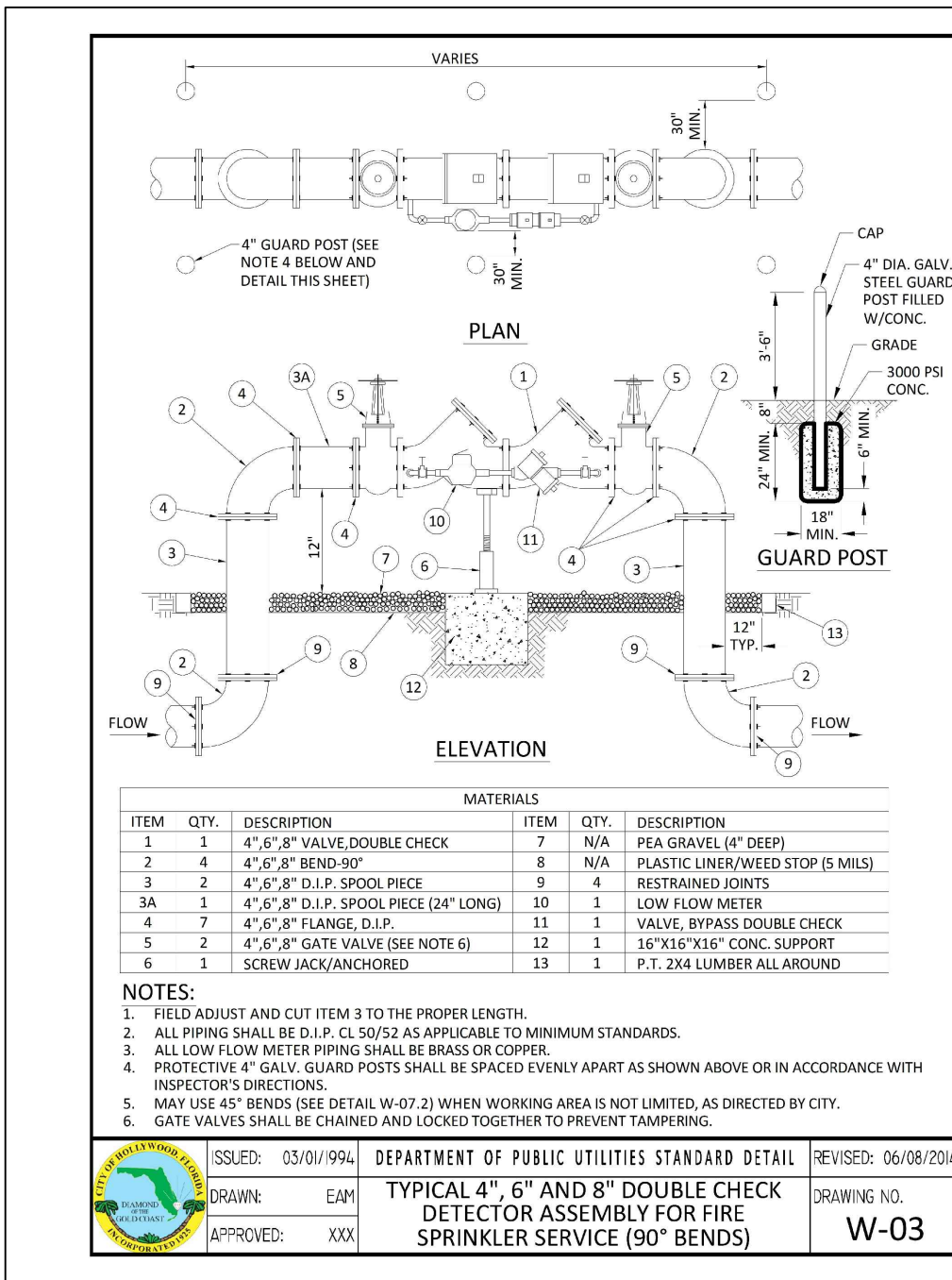
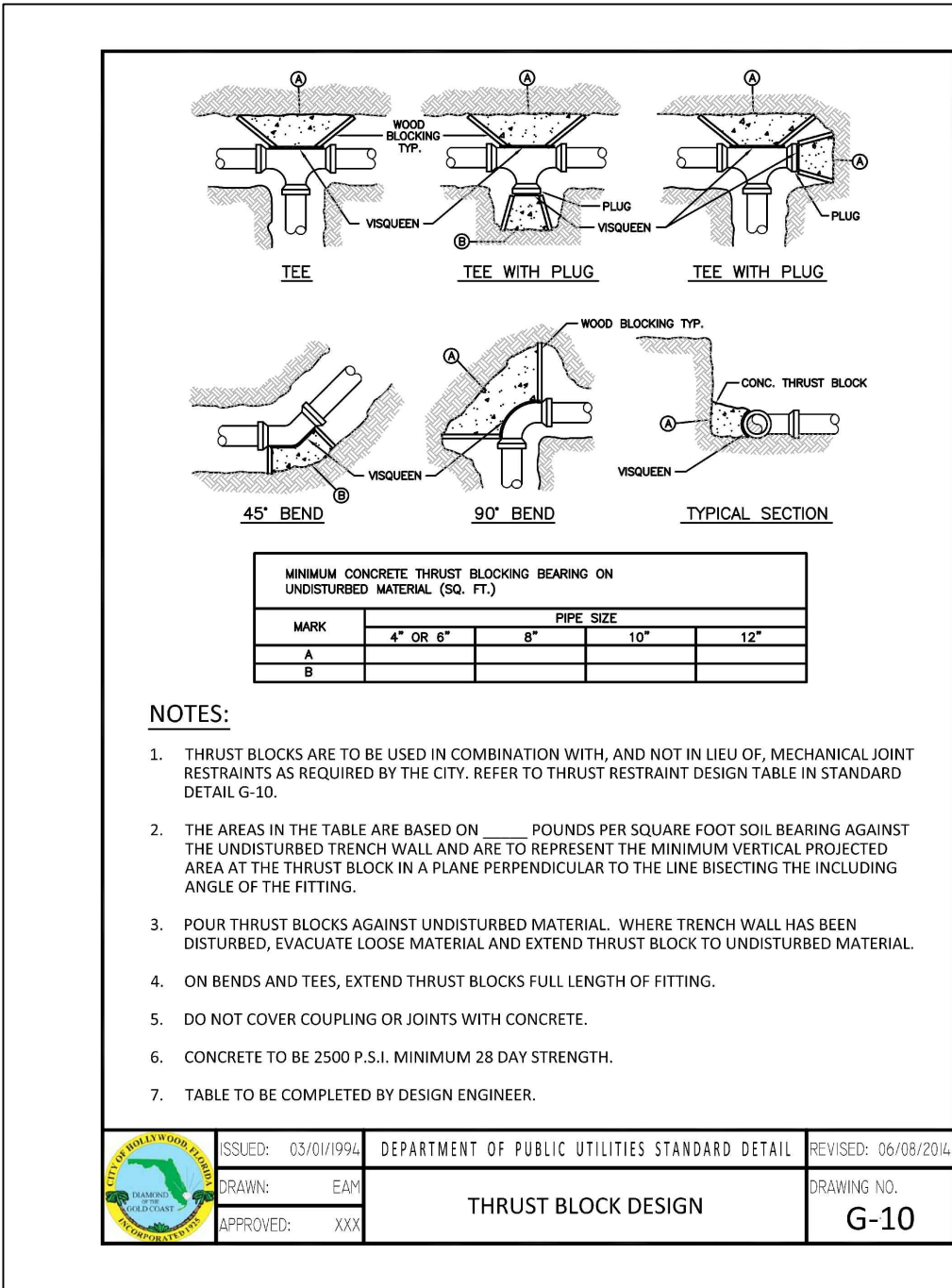
FIRE HYDRANTS SHALL BE FURNISHED WITH A BREAKABLE FEATURE THAT WILL BREAK CLEANLY UPON IMPACT. THIS SHALL CONSIST OF A TWO PART BREAKABLE SAFETY FLANGE WITH A BREAKABLE STEM COUPLING. THE UPPER AND LOWER BARRELS SHALL BE FLUTED AND RIBBED ABOVE AND BELOW THE SAFETY FLANGE OR HAVE AN EXTRA STRENGTH LOWER BARREL.

THE FIRE HYDRANT INTERNAL VALVE SHALL BE 5", MINIMUM. THE PENTAGONAL OPERATING NUTS AND THE CAP NUTS SHALL BE 1" POINT TO FLAT. DRAIN VALVE OUTLETS FOR THE HYDRANTS SHALL BE PLUGGED OR OMITTED. THE HYDRANTS SHALL OPEN COUNTER CLOCKWISE AND THE DIRECTION OF OPENING SHALL BE CAST ON THE TOP. THE BURY LENGTH MEASURED FROM THE BOTTOM OF THE CONNECTING PIPE TO THE GROUND LINE. AT THE HYDRANT SHALL BE THREE FEET SIX INCHES (42") MINIMUM OR AS REQUIRED BY PLAN.

THE HYDRANT SHALL BE EQUIPPED WITH A 6" MINIMUM MECHANICAL JOINT BASE INLET UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.

FIRE HYDRANTS SHALL BE MUELLER PAINTED, TRAFFIC RED OR AS OTHERWISE SPECIFIED ON PLANS, OR AS REQUIRED BY THE LOCAL UTILITY COMPANY.

REFER TO WATER DETAILS FOR OTHER REQUIREMENTS / INFORMATION RELATED TO FIRE HYDRANTS.



REVISIONS

1.	2.	3.	4.	5.	6.	7.	8.
----	----	----	----	----	----	----	----

CLIENT:

CFM ARCHITECTS
4253 S.W. 72ND AVE.
MIAMI, FLORIDA 33155

PROJECT:

RESIDENCES AT BEVERLY PARK
6015 WASHINGTON ST.
HOLLYWOOD FLORIDA

TASK:

CONSTRUCTION DETAILS

GGB Engineering, Inc.

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-6655
Fax: (954) 986-9899

DATE:

03/06/23

SCALE:

N.T.S.

DESIGNED BY:

G.G.B.

DRAWN BY:

J.A.

PROJECT NO.

SHEET

C-4

THIS DOCUMENT IS THE PROPERTY OF GGB ENGINEERING, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GGB ENGINEERING, INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

NO. 19832
STATE OF
FLORIDA
PROFESSIONAL
ENGINEER

This document has been digitally signed and sealed by Gary G. Barry, P.E.
On the date adjacent to the seal. Printed copies of this document
are not considered signed and sealed and the signature
must be verified in any electronic copies.

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)			
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER			
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.

2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

4. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.

5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).

8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
SEPARATION REQUIREMENTS OF F.D.E.P.

REVISED: 11/06/2017
DRAWING NO. G-01.1

WATER MAIN TESTING AND DISINFECTION NOTES:

1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.

2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:
$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.

4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".

5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.

6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.

7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
WATER MAIN TESTING AND DISINFECTION NOTES

REVISED: 06/08/2014
DRAWING NO. W-14

METER BY CITY
VALVE
UNION
BACKFLOW PREVENTER (RP2A OR RPDA)
VALVE
FLOW
FILLING ASSEMBLY FITTINGS AND EQUIPMENT SHALL BE 2" MAX.
DETAIL 'A'

CORPORATION STOP
GATE VALVE
EXIST. WATER MAIN
NEW WATER MAIN INSTALLED WITH THRUST & THRUST BLOCK
CONNECTION TO BE COMPLETED AFTER SATISFACTORY TEST RESULTS HAVE BEEN OBTAINED
SEE DETAIL 'A' FOR FILLING ASSEMBLY
METHOD "A"

THRUST BLOCK
C.I. SCREW TYPE VALVE BOX
VENT TO ATMOSPHERE
CORPORATION STOP
FILL & FLUSH HERE
NEW WATER MAIN
NEW GATE VALVE
LIMITS OF TEST
METHOD "B"

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
FILLING AND FLUSHING DETAILS

REVISED: 06/08/2014
DRAWING NO. W-15

HORIZONTAL BENDS

PIPE DIA. (INCHES)	BEND (ANGLE)	RESTRAINED LENGTH (RL) (FT)
24	11 1/2	-
	22 1/2	-
	45	-
	90	-
	11 1/2	-
16	22 1/2	-
	45	-
	90	-
	11 1/2	-
	22 1/2	-
12	45	-
	90	-
	11 1/2	-
	22 1/2	-
	45	-
8	45	-
	90	-
	11 1/2	-
	22 1/2	-
	45	-
6	45	-
	90	-
	11 1/2	-
	22 1/2	-
	45	-
4	45	-
	90	-
	11 1/2	-
	22 1/2	-
	45	-

TEES AND TAPPING SLEEVES

RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MINIMUM RESTRAINED LENGTH ALONG RUN (FT.)		MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)	MINIMUM RESTRAINED LENGTH ALONG RUN (FT.)		MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)
		PVC	*DIP		PVC	*DIP	
24"	24"	-	-	-	-	-	
	16"	-	-	-	-	-	
	12"	-	-	-	-	-	
	8"	-	-	-	-	-	
	6"	-	-	-	-	-	
16"	16"	-	-	-	-	-	
	12"	-	-	-	-	-	
	8"	-	-	-	-	-	
	6"	-	-	-	-	-	
	4"	-	-	-	-	-	

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
JOINT RESTRAINT DESIGN FOR PVC AND DIP HORIZONTAL BENDS AND TEES

REVISED: 06/08/2014
DRAWING NO. G-11.1

1" COPPER TUBING

180° BEND

1" G.V.

30" MIN. FOR D.I.P. 36" MIN. FOR P.V.C.

30" MIN.

GRADE

CORP. STOP (TO BE CLOSED AND PLUGGED AFTER TEST APPROVAL)

PROPOSED WATER MAIN

DOUBLE STRAP SERVICE SADDLE

NOTES:
SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY HEALTH DEPARTMENT.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
SAMPLING POINT DETAIL

REVISED: 06/08/2014
DRAWING NO. W-16

0.65" MIN.

1.6" - 2.4"

1.6" - 2.4"

TRUNCATED DOME DETECTABLE WARNING

50% - 65% BASE DIAMETER

0.2"

0.9" - 1.4"

TRUNCATED DOME SIZE AND SPACING

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CLIENT:

CFM ARCHITECTS
4253 S.W. 72ND AVE.
MIAMI, FLORIDA 33155

PROJECT: RESIDENCES AT BEVERLY PARK
6015 WASHINGTON ST.
HOLLYWOOD
FLORIDA

TASK:
CONSTRUCTION DETAILS

GGB Engineering, Inc.

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-6655

DATE:
03/06/23

SCALE:
N.T.S.

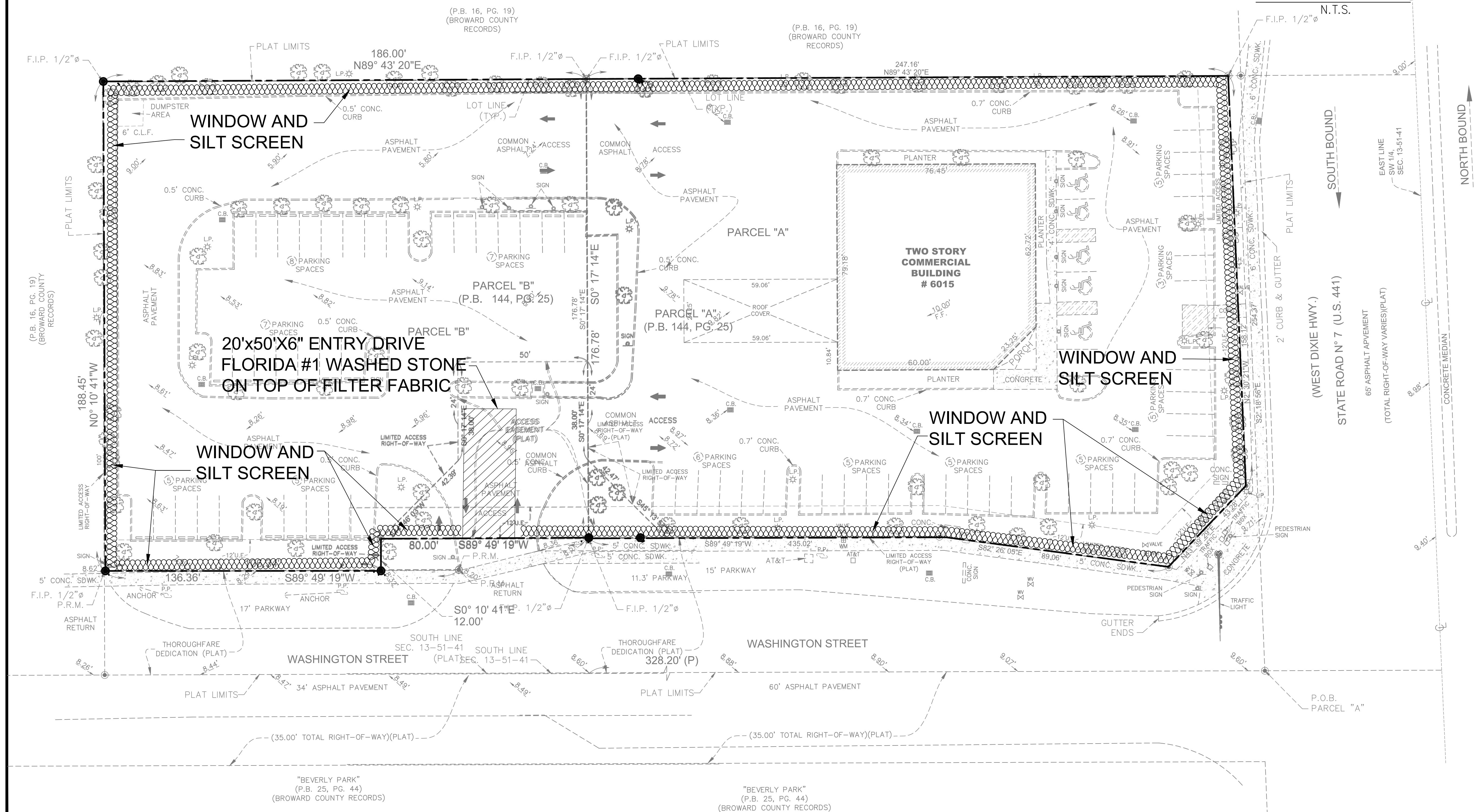
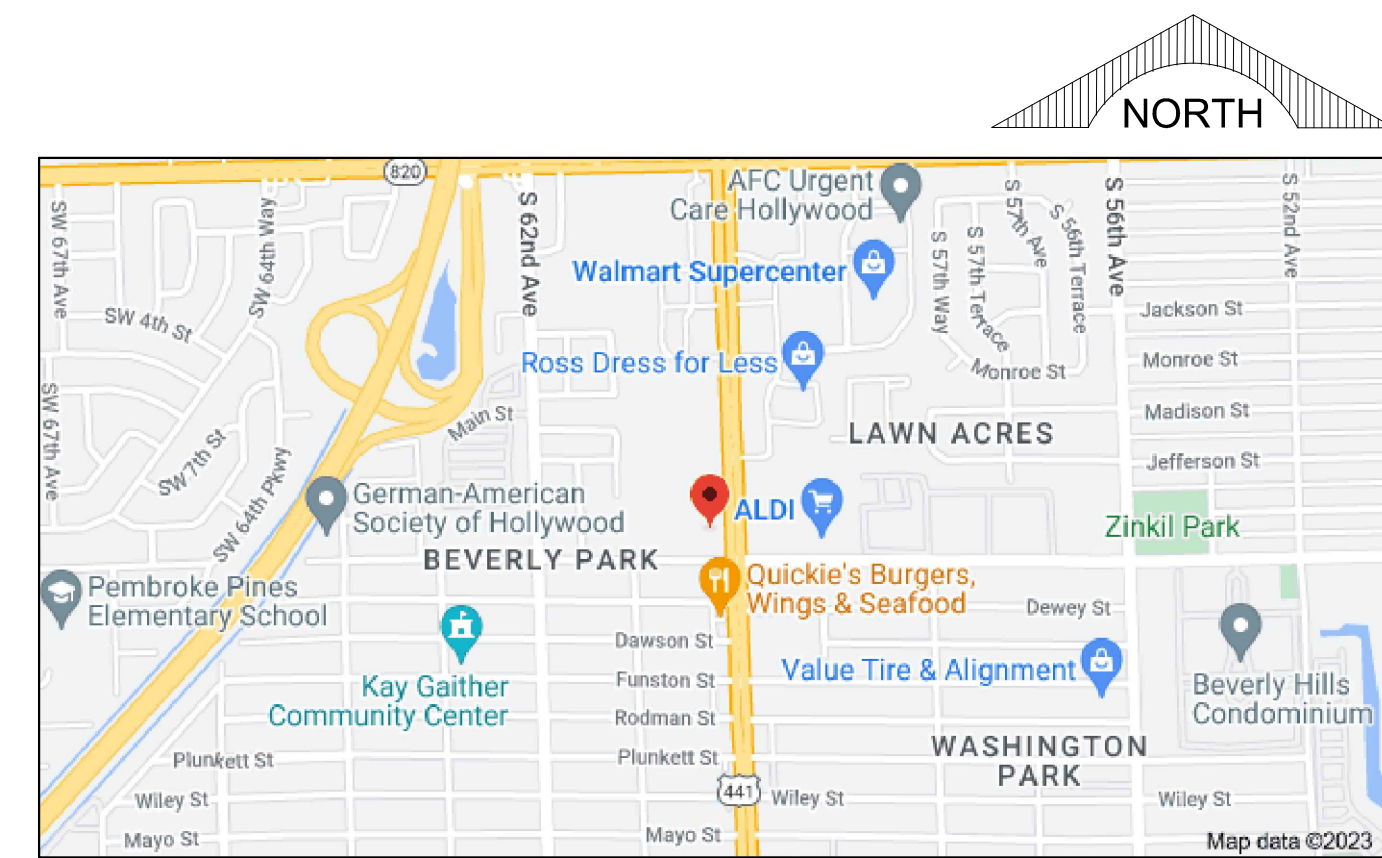
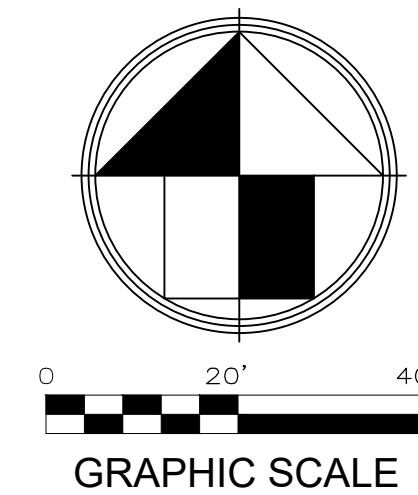
DESIGNED BY:
G.G.B.

DRAWN BY:
J.A.

PROJECT NO.

SHEET
C-5

This document has been digitally signed and sealed by Gary G. B. B. B., P.E.
On the date adjacent to the seal. Printed copies of this document
are not considered signed and sealed until the signature
must be verified on any electronic copies.



REVIEWS
1.
2.
3.
4.
5.
6.
7.
8.

CFM ARCHITECTS
4253 S.W. 72ND AVE.
MIAMI, FLORIDA 33155

CLIENT:

PROJECT: **RESIDENCES AT BEVERLY PARK**

HOLLYWOOD

TASK:

STORMWATER POLLUTION PREVENTION PLAN

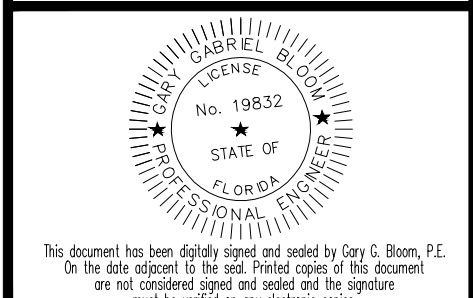
GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS

•CONSTRUCTION MANAGERS
 FLORIDA REGISTRATION No. 8118
 2699 Stirling Road, Suite C-202 Fax: (954) 986-6655
 Fort Lauderdale, Florida 33312 Phone: (954) 986-9818

DATE: 03/06/23	SCALE: 1"=20'
DESIGNED BY: G.G.B.	DRAWN BY: J.A.


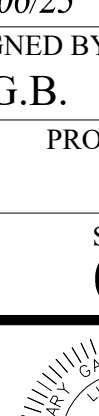
PROJECT NO.

SHEET
C-6

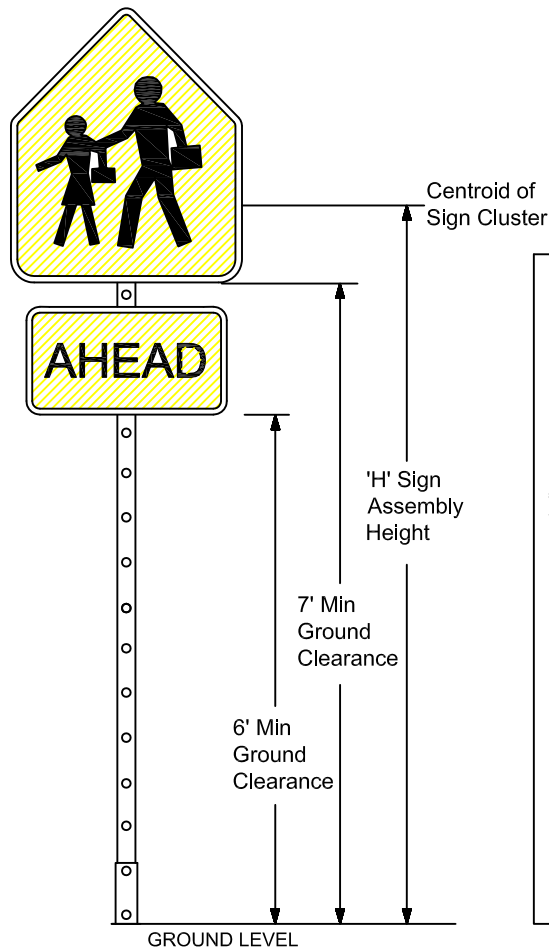


This document has been digitally signed and sealed by Gary G. Bloom, P.E.
On the date adjacent to the seal. Printed copies of this document
are not considered signed and sealed and the signature

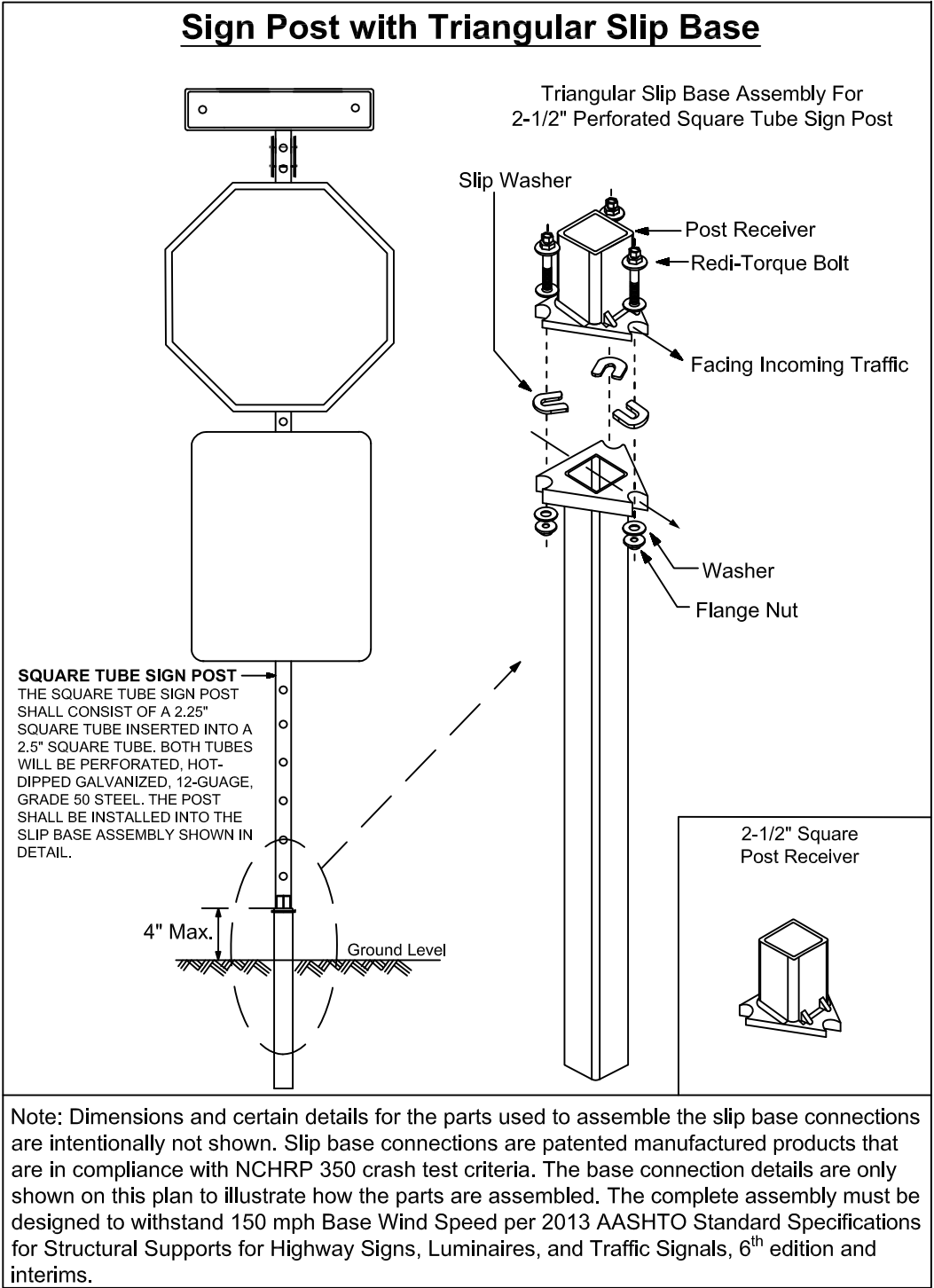
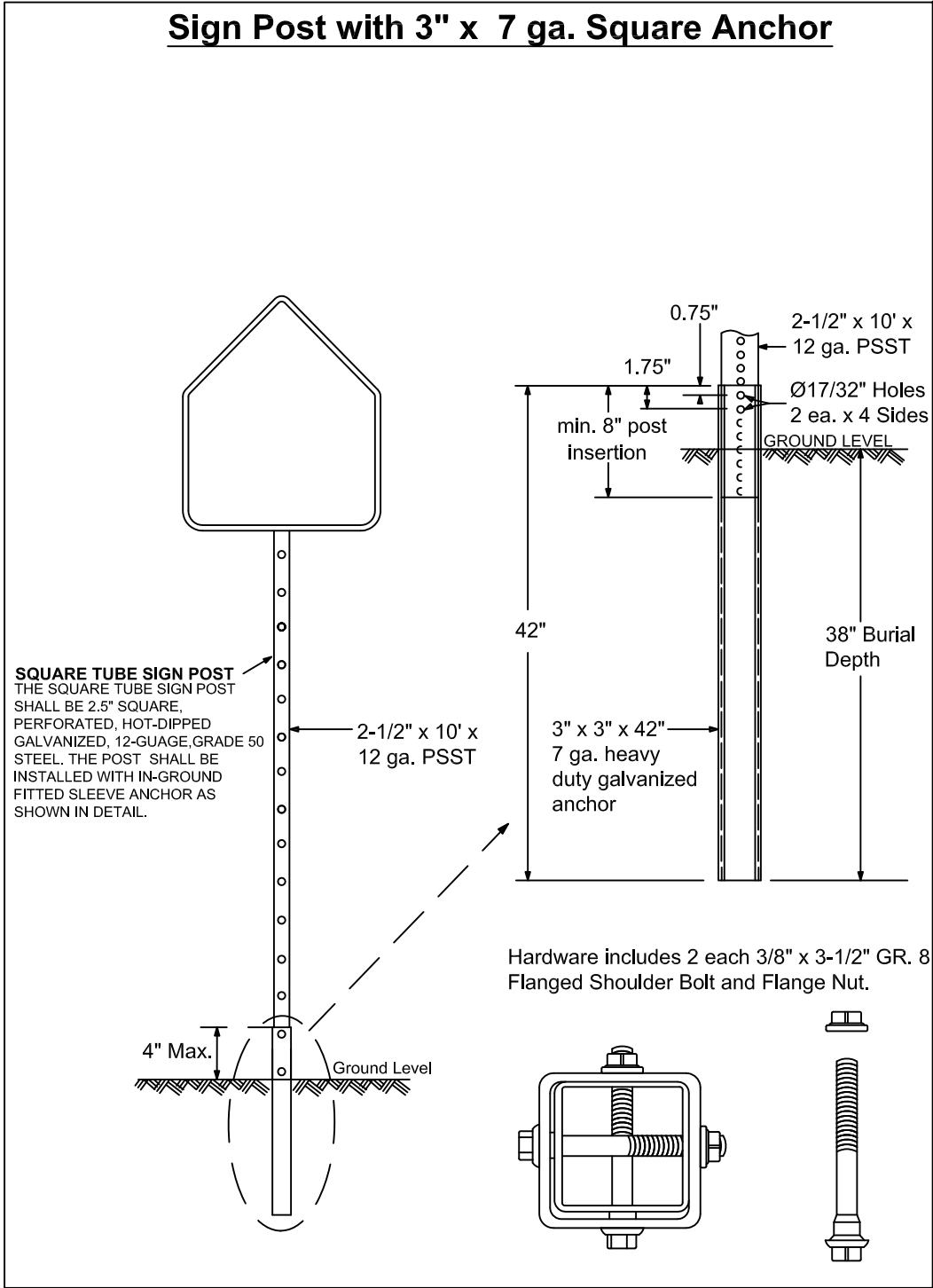
[illegible]

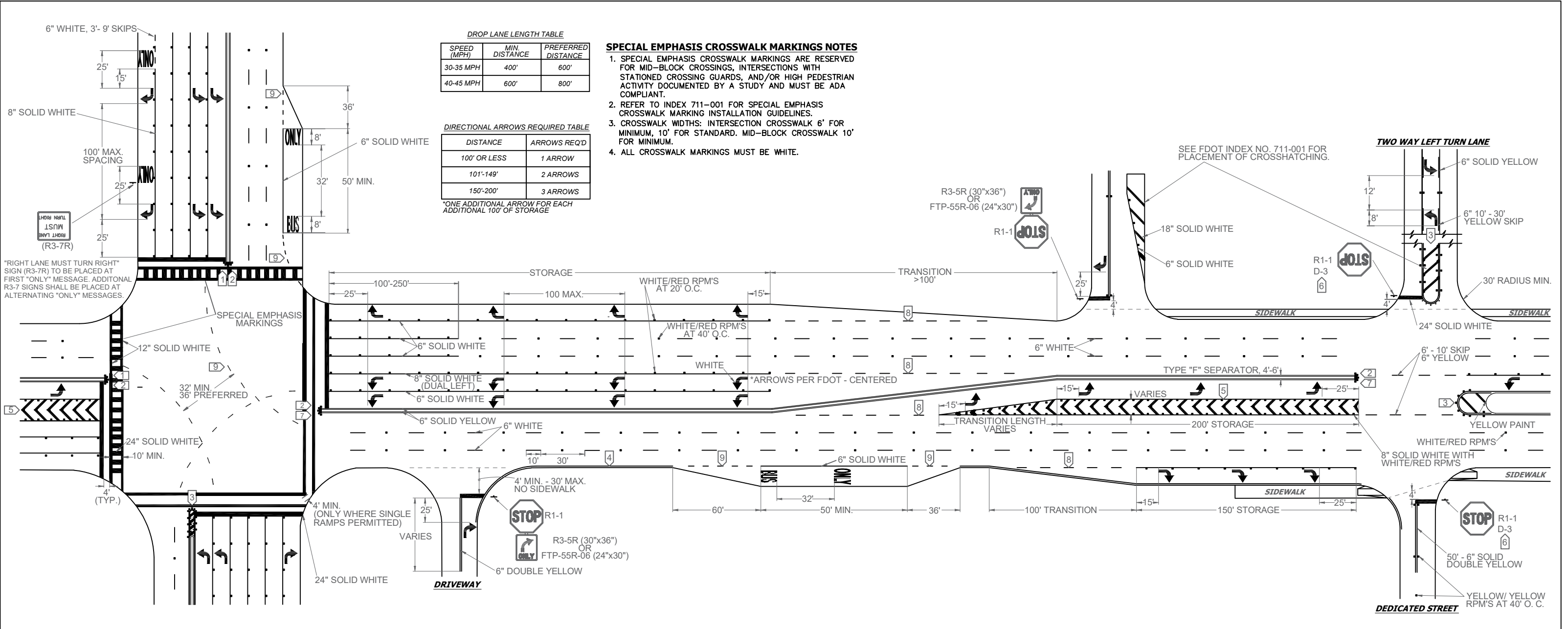
 <p>GGB Engineering, Inc. CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS FLORIDA REGISTRATION NO. 8118 2639 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Fax: (954) 986-6655 Phone: (954) 986-9899</p>		<p>PROJECT: RESIDENCES AT BEVERLY PARK 6015 WASHINGTON ST. HOLLYWOOD FLORIDA</p> <p>TASK: STORMWATER POLLUTION PREVENTION PLAN</p>		<p>CLIENT:</p> <p>CFM ARCHITECTS 4253 S.W. 72ND AVE. MIAMI, FLORIDA 33155</p>		<p>REVISIONS</p> <ol style="list-style-type: none"> 1. _____ 2. _____ 3. _____ 4. _____ 5. _____ 6. _____ 7. _____ 8. _____ 	
<p>DATE: 03/06/23</p> <p>DESIGNED BY: G.G.B.</p>		<p>SCALE: N.T.S.</p> <p>DRAWN BY: J.A.</p>		<p>PROJECT NO.</p>		<p>SHEET C-8</p>	
<div style="text-align: center;">  <p><small>This document has been digitally signed and sealed by Corey G. Blanton, P.E. on the date adjacent to his seal. Printed copies of this document are not considered signed and sealed and the signatures need be affixed to any electronic copy.</small></p> </div>							

- GUIDE TO USE THIS STANDARD:**
1. Calculate the Total Panel Area and the centroid 'C' for an individual sign or a sign cluster.
 2. Determine the height 'H' from the groundline for the individual sign or the cluster.
 3. Consult the Post Size Table and find the intersection point.
 4. Design the post and the foundation according to the required Post Size and Assembly Details.



Post Size Table	
Total Panel Area (sf)	'H' Sign Assembly Height (ft) (measure from ground)
	8 8.5 9 9.5 10
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20+	





NOTES

- 1. ALL PAVEMENT MARKINGS SHALL BE ALKYD BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
- 2. ALL PAVEMENT MARKINGS ON PAVER SYSTEMS SHALL BE 3M 380/381 SERIES TAPE OR EQUIVALENT AND APPLIED WITH P60 ADHESIVE AS PER MANUFACTURERS SPECIFICATIONS.
- 3. ALL PAVEMENT MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", BCTD STANDARDS, AND FDOT DESIGN STANDARDS.
- 4. SEE FDOT INDEX NO 706-001 FOR PLACEMENT OF RPM's (FOR BULLNOSE RPM TREATMENT, SEE LEGEND NO. 1)
- 5. RPM's SHALL BE CLASS "B" OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
- 6. FDOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
- 7. FOR BIKE LANE DETAILS SEE FDOT INDEX NO. 711-002.
- 8. EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SAND BLASTING.
- 9. ALL STOP LINES TO BE 4' BEHIND CROSSWALK OR SIDEWALK.
- 10. PAVEMENT MARKING REFLECTIVITY SHALL BE UNIFORM ACROSS THE ENTIRE STRIPE AND SHALL HAVE A MINIMUM REFLECTIVITY READING OF 250 MILLICANDELAS FOR WHITE AND 175 MILLICANDELAS FOR YELLOW.
- 11. ALL PRODUCTS MUST BE ON FDOT'S APPROVED PRODUCTS LIST (APL).
- 12. RPMS SHALL NOT BE INSTALLED ADJACENT TO BIKE LANES.
- 13. LONGITUDINAL CROSSWALK MARKINGS SHALL BE INSTALLED AT ALL CROSS STREETS ON COUNTY ROADS THAT ARE FOUR LANES OR GREATER.

LEGEND

1 YELLOW/YELLOW RPM DETAILS

2 MEDIAN NOSE PAINT DETAILS

3 PAINTED MEDIAN DETAILS

4 EDGE LINE DETAILS

5 CHEVRON DETAILS - CROSSWALK AREAS AND IN FRONT OF CURB RAMPS

6 STREET NAME BLADE DETAILS

7 TYPE IV SEPARATOR DETAILS

8 6'-10' SKIP DETAILS

9 2'-4' SKIP DETAILS

STOP SIGN NOTE

WHERE SIDE ROADS INTERSECT A MULTI LANE STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 45 MPH OR HIGHER, THE MINIMUM SIZE OF THE STOP SIGNS FACING THE SIDE ROAD APPROACHES, EVEN IF THE SIDE ROAD ONLY HAS ONE APPROACH LANE, SHALL BE 36"x36".

WHERE SIDE ROADS INTERSECT A MULTI-LANE (INCLUDING TURN LANE) STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 40 MPH OR LOWER, THE MINIMUM SIZE OF THE STOP SIGN FACING THE SIDE ROAD APPROACHES SHALL BE 36"x36".

FOR SIGN ASSEMBLIES WITH MAXIMUM 8.75
SQUARE FOOT PANEL AREA

FOR SIGN ASSEMBLIES WITH GREATER THAN 8.75
SQUARE FOOT PANEL AREA WITH SUPPLEMENTAL SIGN

Typical Details

Typical Details

STREET ID (D3-1)



2-CROSS STREET
BLADES

THE ENDS OF THE STREET
ID SIGNS MUST BE BOLTED
TOGETHER :

BOLTS - #18 HEX HEAD STAINLESS
STEEL 5/16" x 3/4"

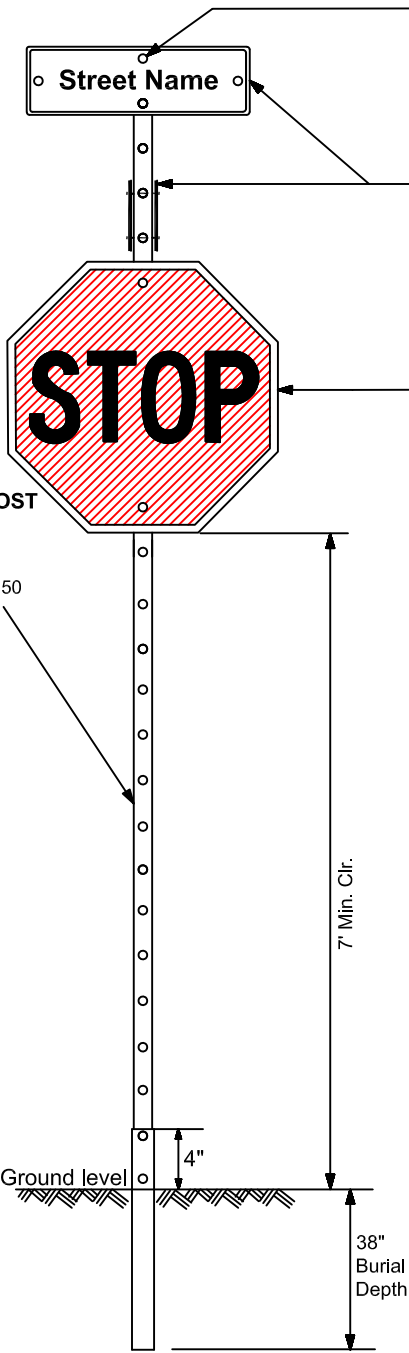
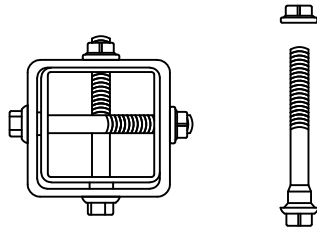
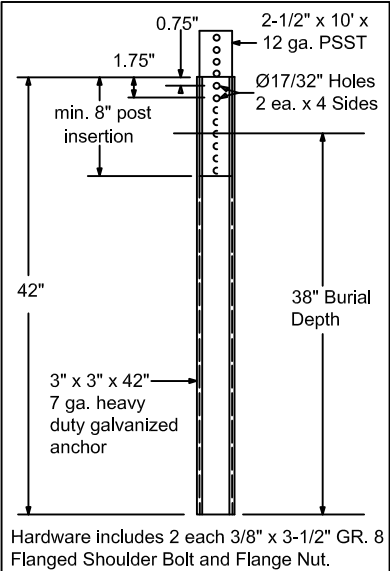
NUTS - 5/16" HEX HEAD STAINLESS
STEEL W/ 3/8"NYLON WASHERS

Isometric
View

SQUARE TUBE SIGN POST

The Square Tube Sign Post
shall be 2.5" square,
perforated, hot-dipped
galvanized, 12-guage, grade 50
steel. The post shall be
installed with in-ground
fitted sleeve anchor as
shown in detail "A" below.

DETAIL "A"



STREET ID (D3-1) MATERIALS:

LETTERS

WHITE TYPE XI SHEETING
LETTERING OF STREET NAME SIGNS SHALL BE
COMPOSED OF A COMBINATION OF LOWERCASE
LETTERS WITH INITIAL UPPERCASE LETTERS

BORDER

BORDER WIDTHS WILL VARY BASED ON LETTER HEIGHTS

LETTER HEIGHTS - BORDER WIDTHS

4 INCH LETTER = 0.375 INCH BORDER WIDTH
6 INCH LETTER = 0.500 INCH BORDER WIDTH
8 INCH LETTER = 0.750 INCH BORDER WIDTH

GREEN BACKGROUND

GREEN TRANSLUSCENT INK SILK-SCREENED
CLEAR-COATED OR ELECTRO-CUT (EC) FILM
OR EQUIVALENT

LETTER SIZES

SEE MUTCD TABLE 2D-2 (PG 163)
FOR MINIMUM LETTER HEIGHTS
LENGTH VARIES BY STREET NAME

HARDWARE

BOLTS - #18 HEX HEAD STAINLESS STEEL 5/16" x 3"
NUTS - 5/16" STAINLESS STEEL W/ NYLON WASHERS.

REGULATORY SIGN

WHEN NO STREET ID IS PRESENT
THE STOP SIGN SHALL BE MOUNTED FLUSH
TO THE TOP OF THE POST WHILE MAINTAINING
7 FEET MIN. CLEARANCE BETWEEN BOTTOM OF
SIGN AND GROUND LEVEL. ANY SIGN
INSTALLED BACK TO BACK WITH THE
STOP SIGN SHALL BE SMALLER THAN
THE STOP SIGN.

STOP, DO NOT ENTER OR YIELD

WHITE TYPE XI SHEETING
PRESSURE-SENSITIVE RED TRANSLUCENT
INK SILK-SCREENED CLEAR-COATED OR
ELECTRO-CUT (EC) FILM OR EQUIVALENT.

HARDWARE

FRONT: #18 HEX HEAD STAINLESS STEEL 5/16" x 3" BOLT
W/ 3/8" NYLON WASHER
BACK: 5/16" HEX HEAD STAINLESS STEEL NUT
W/ 3/8" STAINLESS STEEL WASHER.

- NOTES: 1. ALL TYPE XI SHEETING UTILIZED
MUST BE ON THE FDOT APL LIST.
2. SEE BCTED TECHNICAL POLICY
MEMO #TPM - 16-001 - SPECIFICATIONS
FOR RETROFLECTIVE TRAFFIC SIGN MATERIALS.

SQUARE TUBE SIGN POST

The Square Tube Sign Post
shall consist of a 2.5"
square tube inserted into a
2.5" square post receiver. Both
tubes will be perforated, hot-dipped
galvanized, 12-guage,
grade 50 steel. The post
shall be installed into the
slip base assembly shown in detail
"B".

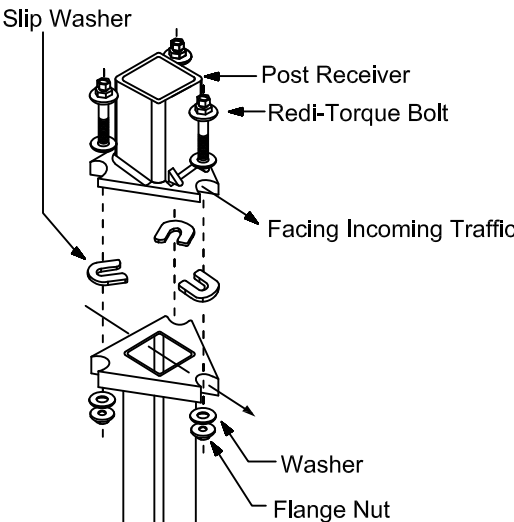
Notes:

1. Dimensions and certain details for the parts used to assemble the slip base connections are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and interims.

2. For standard ground sign installation, see detail entitled " Ground Sign Assembly Details".

DETAIL "B"

Triangular Slip Base Assembly For
2-1/2" Perforated Square Tube Sign Post



2-1/2" Square
Post Receiver



REVISIONS

DATE	DESCRIPTION
04-09-2019	UPDATED MATERIAL NOTES
02-28-2020	ADDED ISOMETRIC VIEW
02-05-2021	UPDATED POST BASE HEIGHT



PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION

DESIGN BY: CARMELO CARATOZZOLO, P.E.

SCALE: NTS

DRAWN BY: STEPHON RAMOUTAR

CHECKED BY: ANDREW SEBO, P.E., PTOE

STOP SIGN AND STREET
IDENTIFICATION ASSEMBLY
TYPICAL DETAILS

SHEET
NO.

1 OF 1

PROJECT NAME: 6015 WASHINGTON STREET, HOLLYWOOD, FL
STORM DRAINAGE CALCULATIONS

Date: 003/06/2023

POST-DEVELOPMENT

SITE CHARACTERISTICS AND AREAS

BUILDING/ROOF AREA	29975.0	SF	0.69	Acre	38.02%
IMPERVIOUS PAVED AREAS	34186.00	SF	0.78	Acre	43.36%
POOL	614.00	SF	0.01	Acre	0.78%
PERVIOUS SITE AREA	14068.00	SF	0.32	Acre	17.84%
TOTAL SITE AREA	78843.0	SF	1.81	Acre	100.00%

Wet Season Water Table El. =	1.50	NAVD
Average grade in green areas =	8.00	NAVD
Soil storage: 8.18 x percent pervious =	1.21	Inches

WATER QUALITY REQUIREMENT

2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

First inch runoff (Total site area x 1/12)	0.15	Ac-inches
Site area for water quality (Total site area-Bldg+Pool)	1.11	Ac.
Impervious area for water quality	0.78	Ac
Percent Impervious	70.85	%
2.5 Inches x % Impervious	1.77	Inches
Volume required for water quality	3.21	Ac-inches

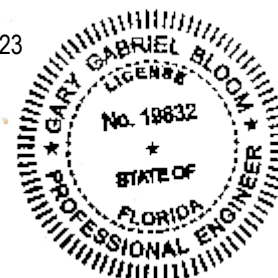
Volume required for water quality 3.21 Ac-inches

EXFILTRATION TRENCH CALCULATION

$$L = \frac{FS[(\%WQ) \times (V_{wq}) + V_{add}]}{K(HW + 2H \times Du - Du \times Du + 2HDs) + 1.39 \times 10^{(-4)} \times W \times du}$$

V _{wq} = Volume of water quality	3.21	Ac-inches
A = Drainage Area	1.81	Ac
V _{add} = Additional volume of storage	0.00	Av-inches
FS = Factor of safety	2.00	
%WQ Percent reduction for water quality	0.50	%
W = Trench Width	5.00	ft
K = Hydraulic Conductivity	1.50E-03	cfs/ft^2 per ft of head
H ₂ = Depth to water table	6.50	ft
Du = Non Saturated trench depth	2.00	ft

3/6/23



This document has been digitally signed and sealed by Gary G. Bloom, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



Ds = Saturated trench depth 2.00 ft

Trench Required 26.28 LF

Trench Provided 221 LF

$$V = L \times (K(HW + 2HDu - Du^2 + 2HDs) + (1.39 \times 10^{-4})Wdu) - Vadd$$

V = 26.99 Ac-inches 2.25 Ac-ft 1.12 Acre

PROJECT NAME: 6015 WASHINGTON STREET RESIDENCES

WATER AND SEWER DEMAND CALCULATIONS

Date: 3/6/2023

The estimated flows were calculated using the Broward County WWS ERU Factors
 Equivalent Residential Unit Factors (ERU) for Condominium/Apartments and Merchandising
 Condominium/Apartments: 0.707 ERU per Unit (Ref. Code R03)
 Merchandising: 0.185 ERU per 1000 SF

NUMBER OF CONDOMINIUM/APARTMENTS UNITS = 115

Total ERU = 115 X 0.707 = 81.31

	<u>Demand</u>	<u>Units</u>	<u>Total</u>
81.31 ERU	300	GPD	24393.0
Total Average Daily Flow			24393.0 GPD

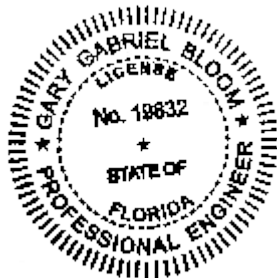
Total Average Flow Per Hour 24393.0 /24 Hrs. = 1016.38 GPH

Max. Flow Per Hour = 1016.38 x 4.0 = 4065.50 GPH

NUMBER OF SF For MERCHANDISING = 750.00 SF

Total ERU = 750.00/1000 X 0.185 = 0.14

	<u>Demand</u>	<u>Units</u>	<u>Total</u>
0.14 ERU	300	GPD	42.0
Total Average Daily Flow			42.0 GPD



This document has been digitally signed and sealed by Gary G. Bloom, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.