

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 01/23/2023

Location Address: 2022 & 206 Fletcher Street

Lot(s): 1 & 2 Block(s): 4 Subdivision: South Side

Folio Number(s): 5142 22 23 0320 & 5142 22 23 0310

Zoning Classification: PR Land Use Classification: R.A.C.

Existing Property Use: Single-Family Sq Ft/Number of Units: 6,499 / 1 & 6,499 / 1

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 42 / 52 Sq Ft: 35,281 s.f.

Value of Improvement: \$3,500,000 Estimated Date of Completion: 12/2024

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: 2026 Fletcher LLC

Address of Property Owner: 5200 S University DR #A-103 Davie, FL 33328

Telephone: _____ Fax: _____ Email Address: cornertwenty@gmail.com

Name of Consultant/Representative/Tenant (circle one): Luis La Rosa

Address: 9000 Sheridan Street Suite 158 Telephone: 786-543-0851

Fax: _____ Email Address: llarosa@larosaarchitects.com

Date of Purchase: 12/22/2020 Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: riosales@aol.com

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CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 1/23/23

PRINT NAME: TERI ROSA

Date: _____

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: LUIS LA ROSA

Date: 1/23/2023

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

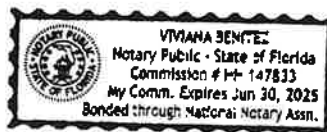
Sworn to and subscribed before me

this 23 day of January 2023

Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

TERI ROSA

Print Name



LLR Architects Inc.

March 6, 2023

City of Hollywood
2600 Hollywood Boulevard
Hollywood, FL 33020-4807

**RE: 2026 Fletcher LLC
2022-2026 Fletcher St
23-DP-02**

A. APPLICATION SUBMITTAL

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Application Form:

- a. Application form states 42 units are proposed and 52 rooms. State number of units only.

Response: Revised accordingly.

- b. Complete the “explanation of request” section for the proposed development.

Response: Revised Accordingly.

- c. Name of Property Owner – correct name per Warranty Deeds. BCPA indicates there are multiple owners. The name of the owner on the form does not match BCPA (Fletcher LLC is not listed as an owner).

Response: 2022 Fletcher is owned by Bromeliad Estates LLC & the agent/owner is Florida Luxury Builders which is owned by Teresa Rios. 2026 Fletcher is owned by 2026 Fletcher LLC which is owner by Teresa Rios. Back up documentation is being provided.

- d. List the name and address of any others who should receive notice of the hearing.

Response: OK

- e. Provide evidence Teri Rios is authorized to sign on behalf of the Owner(s) / Applicant.

Response: Provided

- f. If there are multiple owners, provide a signed and notarized Certification of Compliance with Applicable Regulations form for all owners, include proof the signatory is authorized to sign for the owner.

Response: One owner- Teresa Rios

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2. Ownership & Encumbrance Report (O&E):

- a. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.

Response: OK

- b. Ensure O&E addresses the requirements on the TAC submittal checklist:

<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

Response: Provided

3. Alta Survey:

- a. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Response: All have been provided.

4. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

Response: Plat Determination Letter provided

5. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

Response: Application and payment have been submitted, pending SCAD letter

6. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Provided on Cover Sheet.

7. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter

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certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s). Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

Response: Response: Public participation will be held in early April.

8. Additional comments may be forthcoming.
9. Provide written responses to all comments with next submittal.

B. ZONING

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. A portion of the property is within 100 feet of property zoned PS-1. Graphically depict on the site plan and floor plans the portion of the property within a 100 ft radius to property zoned PS-1. Based on the submitted elevations, it appears that the north-eastern corner of the building exceeds the maximum permitted height of 55 feet for property within 100 feet of a PS-1 zoned property. The height of the building may need to be reduced to comply.
Response: Refer to Note 1 on SP-1.1
2. Site Plan:
 - a. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.
Response: Revised Accordingly
 - b. The front setback dimensions of the site plan and site data shall be revised match.
Response: Revised Accordingly
 - c. Dimension all balcony setbacks to all property lines. Per Sec. 4.6.B.3.a.(9)(i), balconies may encroach a maximum of 75% into the required setback.
Response: Setback are 0' at side.
 - d. Provide visibility triangles at all driveway accesses.
Response: Revised Accordingly
 - e. Specify the purpose of Detail 6 on the plan. It is unclear what this detail is referencing.
Response: Removed not applicable
3. Site Tabular Data:
 - a. Legal description shall be revised to match survey.
Response: Revised to match survey

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- b. Include the required and proposed height for the portion of the property within 100 feet of property zoned PS-1.
Response: added diagram showing adjacent PS-1 zoning and 100' radius. Also, added note to Height calculations on Sheet SP-1.1.
- c. Include the ratio of required guest spaces per unit (min. 1 per 10).
Response: Provided in Parking calculation
- d. Include the number of required and proposed ADA spaces.
Response: Provided in Parking calculation
- e. Include the net and gross site area, consistent with the survey. The site data includes net site area only.
Response: Revised Accordingly
- f. Include the provided FAR as a ratio, not just the overall provided square footage.
Response: Provided on SP-1.1
- g. Per Sec. 4.6.B.3.a.(7), include the minimum required and provided dwelling unit sizes and cumulative averages.
Response: Provided on SP-1.1
- 4. Identify location of guest parking spaces on the site plan.
Response: Revised Accordingly
- 5. Add a note to the site plan that the parking lift system shall not be for the use of guests.
Response: Refer to note 5 on SP-1.1.
- 6. Lifts or tandem parking spaces shall be assigned to one unit only and not be used for guest parking. Provide a note on the Site Plan.
Response: Revised Accordingly, Added Note 6 on SP-1.1
- 7. There are 10 lifts and 35 single spaces; however, there are 10 (2-bedroom) units, 32 (1-bedroom) units and the project requires 5 guest parking spaces. The project is missing 3 single parking spaces.
Response: Revised to meet parking requirements.
- 8. The curb cuts are exceeding the curb cut allowed which is 30% of the lot width. Lot width $100' \times 30\% = 30'$ max. cur cut.
Response: Variance to be requested. Spoke with CRA and they have no objections since lot is a dead-end lot on Fletcher Street.

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9. Provide a detail (plan view and elevation) for the proposed parking lift system which demonstrates adequate vertical clearance is available when both cars are parked on the lift.

Response: Specification Sheet provided.

10. Provide a spec sheet for the proposed parking lift system which demonstrates how the lifts will operate. Do these operate as individual vertical tandem lifts? Per Code a vertical tandem space is to be assigned to and for the sole use of a single unit, not including required guest spaces.

Response: Specification Sheet provided.

11. Provide a letter from the parking lift manufacturer prior to receiving TAC sign-off confirming that the proposed site plan/floor plan/elevations can sufficiently accommodate the proposed lift system. The letter should also provide confirmation that the type of generator to be utilized in the event of power failure will be adequate to operate the proposed lift system.

Response: To be provided.

12. Staff will be recommending a condition of approval requiring a covenant running with the land that holds the city harmless against any claims arising from accidents as a result of the use of mechanical parking lifts, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Public Records of Broward County by the city prior to the issuance of a certificate of occupancy or certificate of completion.

Response: Owner will provide hold-harmless letter.

13. Demonstrate how a dumpster will be rolled out through the proposed 5' wide gate. The gate does not appear to be wide enough for the dumpster to pass through.

Response: Dumpster will be wheeled to rear alley. Concrete slab and gate will be provided.

14. Provide a detail for the proposed bike rack.

Response: Refer to SP-1.3

15. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

Response: OK

C. ARCHITECTURE AND URBAN DESIGN

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. The proposed streetscape includes extensive paved areas, with two driveways and paving at entrance the lobby are proposed. Consider reducing the paved area at the lobby entrance to provide additional landscaping. Also consider making the stair access through the lobby rather than directly to the street, which will provide additional opportunity for landscaping along the front of the building and provide one single point of ingress / egress.

Response: Revised accordingly.

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2. Per Sec. 4.6.B.3.a.(11), building articulation is required to reduce visual mass. Other than balcony projections, there is no articulation to the building façade. Consider adding articulation to all four sides of the building.

Response: Revised accordingly.

3. To reduce the extent of blank walls, add treatment / architectural features to the front façade between the balconies and on the east façade between first and third floor.

Response: Revised accordingly.

4. Include the property lines and setbacks to the building and balconies on the floor plans and elevations.

Response: Revised accordingly.

5. Include the dimension to the top of parapet on the 6th floor on the elevations.

Response: Revised accordingly.

6. The elevations appear to incorrectly label the top of the elevator shaft as a parapet.

Response: Revised accordingly.

7. No color schedule was provided, however the proposed color scheme on the renderings only uses a single color. Consider adding additional colors and finishes for the building, rather than a single color over what appears to be stucco.

Response: Revised accordingly.

8. Provide color, finish and materials legend for all elevations. This should not be limited to paint colors and shall include all finishes / materials.

Response: To be provided.

9. Provide renderings for all four sides of the building and ensure the renderings match the proposed elevations and landscaping plan, as well as identify any fencing and gates. Work with the City's Landscape Architect to ensure species proposed are appropriate.

Response: To be provided.

10. Provide a detail for the fence and all gates. Ensure the design is compatible with the building.

Response: refer to SP-1.3

11. Provide a detail for the screening of the garage.

Response: Provided

12. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.

Response: OK

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13. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

Response: OK

D. SIGNAGE

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Application is substantially compliant.

E. LIGHTING

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Application is substantially compliant.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards.

Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

Response: OK

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

Response: provided on SP-1.1

2. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

Response: OK

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. Unity of Title or similar will be required.

Response: Owner will provide Unity of Title and follow City of Hollywood Standards.

2. Provide plat determination letter from the Broward County Planning Council.

Response: Plat Determination Letter Provided.

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3. Survey is not signed and sealed.

Response: Revised accordingly

4. Show all surrounding elements of the site on plans, including adjacent alley, road and properties.

Response: provided on SP-1.1 & C-1.1A which shows front neighbor

5. Sheet SP-1.1, in the Parking Calculations table, indicate the rate used to calculate the number of Guest parking stalls being provided.

Response: Revised plan shows full compliance with parking requirements.

6. Indicate distances between the two proposed curb cut openings on Fletcher Street. The width of the openings exceeds the allowable per code Chapter 155.08.

Response: Variance to be requested. Spoke with CRA and they have no objections since lot is a dead-end lot on Fletcher Street.

7. For parking lifts, please provide specifications and details with size and dimensions of the lifts.

Response: Specification Sheet Provided.

8. Parking Stall 34 is adjacent to an obstruction on one side, minimum width is 9.5'.

Response: Revised accordingly

9. Indicate width of the paver area connecting to the city rights-of-way.

Response: Revised accordingly

10. Indicate distance between edge of pavement to the property line.

Response: Revised accordingly

11. Provide trash chute.

Response: Provided

12. Provide dimension of the concrete apron along the alley.

Response: Response: Revised accordingly

13. Ramp slope of 18% is steep, typical is no more than 12%, down slopes greater than 15% generally creates a psychological barrier; slope is suggested to be reduced.

Response: Revised to 16%

14. Only architectural floor plan of the first/ground floor was provided. Provide architectural floor plan for each floor of the building.

Response: Revised accordingly

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15. Sheet SP-1.1, indicate concrete sidewalk on Johnson Street to be new and provide width, minimum is 5'.

Response: Revised accordingly

16. Provide civil plans to show full right-of-way width and the extent of the proposed work within the rights-of-way. Show all restoration required to restore all rights-of-way conditions to equal or better.

Response: Revised accordingly

17. Provide pavement marking and signage plans.

Response: Refer to C-1.4

18. Provide sidewalk details and detectable warning details at the time building permit.

Response: OK

19. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Rights-of-way improvements are to be determined and will be required. Continued coordination will be necessary.

Response: Ok

20. MOT plans required at the time of City Building Permit review.

Response: OK

21. All outside agency permits must be obtained prior to issuance of City building permit.

Response: OK

22. Impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022, to be paid prior to building permit issuance.

Response: OK

More comments may follow upon review of the requested information.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900
Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

1. Provide updated survey with existing tree locations.

Response: Provided

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2. Provide tree disposition plan.

Response: Provided

3. Provide sod species on plant schedule.

Response: Provided

4. Label all sides of property whether there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines.

Response: Provided

5. Tree removal Disclaimer: Write this statement on ALL sheets for existing/proposed landscape: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'

Response: Provided

6. Provide information requested for further review.

Response: Provided

Additional comments may follow upon further review of requested items and information provided.

We encourage you to reach out for any questions or clarification at fperez@hollywoodfl.org or 954-9213900.

I. UTILITIES

Alicia Vereas-Feria, Floodplain Development Review Administrator (avereas-feria@hollywoodfl.org) 954-921-3302

1. Sheet C-1.1 - Include the name of the street.

Response: Revised accordingly

2. Please verify size of fire line. If 4-inch line is acceptable, then proposed fire line can tap into the existing 4-inch water main within the alley to the south of Fletcher Street.

Response: Neighbor to the North is providing a water main extension to 20th ave. We have coordinated with him and are connecting to their extension. Refer to C-1.1A

3. There are two (2) existing water service lines with meters along the south side of the property. Please address if to remain or remove.

Response: New water meters are shown on North Side of property.

4. Consider proposing the 2-inch potable water service and meter to connect to the existing 4-inch water main within the alley.

Response: Providing new water meter on North, see previous comment.

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5. This site resides currently within FEMA Flood Zone X. The proposed FFE = 9.5' NAVD888 is acceptable.

Response: Ok

6. Indicate FFE for all enclosed areas on the ground floor.

Response: Provided

7. Provide dimensions, elevations of swale areas, and existing grades to match along property lines on plan view.

Response:

8. Revise cross sections to indicate realistic grades to match at property line. Per survey the average existing grade along the property lines is approximately 7' NAVD88. Consider proposing a retaining wall.

Response:

9. Ensure all stormwater is retained onsite.

Response: OK

10. Indicate how roof drainage will be collected and connected to the on-site drainage system.

Response:

11. Provide preliminary drainage calculations.

Response: provided

12. Submit Erosion Control Plan and details.

Response: refer to C-1.5

13. Permit approval from outside agencies will be required.

Response: OK

14. Landscape plans shall coordinate with civil plans to accommodate for drainage features.

Response: OK

15. Additional comments may follow upon further review of requested items.

J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. No comments received.

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K. FIRE

Jorge Castano, Fire Marshal / Battalion Chief (jcastano@hollywoodfl.org) 954-967-4404
Chris Clinton, Deputy Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department.

Response: OK

2. At time of submittal, water supply must meet NFPA 1, 18.4.5.3. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921- 3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2 showing that the project meets the minimum fire flow requirements for the building.

Response: OK

3. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

Response: Provided

4. At time of submittal civil drawings must be provided for the underground fire main. Providing location of fire department connection, fire hydrants, DDCV, and size of fire line from water supply, etc. Check with our water department engineer for city requirements in addition to fire. Ensure plans show that there is a fire hydrant within 100 feet of fire department connections.

Response: Provided

5. Be advised that NFPA 1 (2018 edition) Chapter 11.10.1 requires that minimum radio signal strength for fire department communications be maintained at a level determined by the AHJ for all new and existing buildings including complying with NFPA 72 (2016 edition). BDA system may be required.

Response: Provided

6. Per NFPA 1, 12.3.2* a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the registered design professional responsible for design. Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. Provide a note on the plan regarding NFPA 1, 12.3.2*.

Response: Provided

7. It was noted on the plan, there may be stacked car parking. Be advised, the fire sprinkler system will need to be designed as Extra Hazard, Group II. Provide a note on the plan as such.

Response: Ok

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L. PUBLIC WORKS

Charles Lassiter, Public Works Director (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Application is substantially compliant.

N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-

4500 Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. No comments received.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. No comments received.

R. PARKING

Jovan Douglas, Parking Administrator (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received.

S. ADDITIONAL COMMENTS

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

LLR Architects Inc.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471. Sincerely,

Carmen Diaz
Planning Administrator

C: Luis LaRosa LLarosa@larosaarchitects.com

LLR Architects Inc.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



March 6, 2023

via email: epermits@hollywoodfl.org

Favio Perez, ASLA
City of Hollywood
Department of Development Services
P.O. Box 229045
Hollywood, FL 33022-9045
fperez@hollywoodfl.org
954-921-3900

**RE: 2022-2026 Fletcher Street
Response to Landscape Comments Received**

Mr. Perez,

We are in receipt of the comments in regard to the landscape plans submitted for the project located at 2022-2026 Fletcher Street. Please see below for individual responses to comments along with the landscape plans for review.

Landscape Comments:

1. Provide tree disposition plan.
RESPONSE: Disposition plan and mitigation calculations are included in revised plans attached.
2. Provide sod species on plant schedule.
RESPONSE: Acknowledged. Sod species added to plant schedule.
3. Label all sides of property whether there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'.
Provide FPL approved trees for planting under powerlines.
RESPONSE: Acknowledged. Notes added to plans.
4. Tree removal Disclaimer: Write this statement on ALL sheets for existing/proposed landscape: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'
RESPONSE: Acknowledged. Note added to plans.

If you need any clarification on the revisions or responses received, please do not hesitate to reach out directly.

Regards,

Brandon M. White
Landscape Architectural Services, LLC



March 6, 2023

via email: epermits@hollywoodfl.org

Favio Perez, ASLA
City of Hollywood
Department of Development Services
P.O. Box 229045
Hollywood, FL 33022-9045
fperez@hollywoodfl.org
954-921-3900

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Regards,

Brandon M. White
Landscape Architectural Services, LLC



February 28, 2023

Luis La Rosa, A.I.A., President
LLR Architects, Inc.
9000 Sheridan Street, Suite 158
Pembroke Pines, Florida 33024

Via Email Only

Dear Mr. La Rosa:

Re: Platting requirements for a parcel legally described as Lots 1 and 2, Block 4, "South Side Park," according to the Plat thereof, as recorded in Plat Book 22, Page 18, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Fletcher Street, west of South 20 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.3 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above

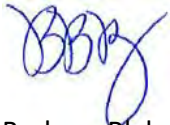
Luis La Rosa
February 28, 2023
Page Two

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Julie M. Bernal at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:JMB

cc/email: Dr. Wazir Ishmael, City Manager
City of Hollywood

Shiv Newaldass, Director, Development Services
City of Hollywood





LLR Architects Inc.

March 6, 2023

2026 Fletcher LLC 5200
University Dr. #A-103
Davie, FL 33328

FILE NUMBER: 23-DP-02

SUBJECT: Preliminary Site Plan review for a 42- Unit residential development.

SITE DATA

Owner/Applicant:	2026 Fletcher LLC
Address/Location:	2022-2026 Fletcher Street
Net Size of Property:	12,998 s.f. (0.30 acres)
Land Use:	Regional Activity Center (RAC)
Zoning:	Federal Highway Medium-High Intensity Mixed-Use District P(R)
Present Use of Land:	Residential
Year Built:	1949/1951 (Broward County Property Appraiser)

ADJACENT LAND USE

North:	Regional Activity Center (RAC)
South:	Regional Activity Center (RAC)
East:	Regional Activity Center (RAC)
West:	Regional Activity Center (RAC)

ADJACENT ZONING

North:	Park Side (PS-1)
South:	Pembroke Road (PR)
East:	Pembroke Road (PR)
West:	Pembroke Road (PR)

LLR Architects Inc.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 9564-862-2248
e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

Dear Board Members,

It's with great pleasure we are presenting a 42-unit, 6-story, multi-family residential building. This project was designed with the intention to enhance the property and the surrounding neighborhood.

1. Design Criteria:

The architectural style for this 42-unit 7-story, +/-35,500 SF multi-family residential building embodies a truly modern style. The use of various materials like wood, raised bands and irregular scoring and paint at the façade as well as the large glass panels provide a contemporary look and feel as well as natural light on every floor. The design is all about consideration of aesthetics maintaining the residential functionality.

2. Compatibility:

The existing neighborhood consists of single and multi-family residential. This new development will be compatible with the residential neighborhoods and the new look of the RAC district. The 7-story scale is designed for the West Side of the lot. The center feature is reduced to a 6-story height and the Eastern most part has a roof top terrace on 5th floor. This creates a step-down affect which balances the view. Architecturally this movement in the facade works with the neighborhood and enhancing the street and pedestrian areas.

3. Landscaping:

The landscaping has been integrated with the building design to emphasize the architectural features and help screen the parking areas from the street.

4. Site Massing: The 7-story project is located on the west dead-end of Fletcher Street. The front setback is 15 feet thus stepping the building back to allow for pedestrian friendly experience. The massing of the front elevation differentiates in height and along the setback line. The Lobby has a pronounced cantilevered marquis over the entry and the upper floor step back with large windows and wood siding. The balance of the front façade has cantilevered balconies and recessed balconies. Material changes on the wall softens the balconies bold look. This varied element prevents the front façade from being flat. The side façade along are setback from neighbors 5' even though) feet is allowed. The 7-story scale is designed for the West Side of the lot. The center feature is reduced to a 6-story height and the Eastern most part has a roof top terrace on 5th floor. This creates a step-down affect which balances the view. Architecturally this movement in the facade works with the neighborhood and enhancing the street and pedestrian areas. The side facades carry out similar features as emphasized on front facades. All of the parapets on all elevations vary in height.

This new 42- unit development will help the improvement of the surrounding neighborhood on Fletcher St. We hope to have your support and acceptance of this new project.

LLR Architects Inc.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 9564-862-2248
e-mail: llarosa@larosaarchitects.com





PROPOSED 42-UNITS MULTI FAMILY DEVELOPMENT FOR:
FLETCHER TWENTY LLC
2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020



LOCATION MAP

SHEET INDEX

COVER SHEET	
SURVEY	
SP-11	LOCATION PLAN GENERAL NOTES LEGAL DESCRIPTION SITE DATA SITE PLAN BUILDING CALCULATION DETAIL SCREEN
SP-12	DUMPSTER DETAIL TYP. HANDICAP DETAIL TYP. PARKING DETAIL DIAGRAM FAR CALCULATION DIAGRAM PERVIOUS & IMPERVIOUS.
C-11	FIRST FLOOR CIVIL PLANS
C-12	SECOND FLOOR CIVIL PLANS
C-13	GENERAL DETAILS
C-14	PAVEMENT MARKINGS PLAN
C-15	EROSION CONTROL PLAN
L-1	GROUND FLOOR LANDSCAPE PLAN
L-2	ROOF TOP GARDEN PLAN
L-3	LANDSCAPE DETAILS
A-11	FIRST FLOOR PLAN
A-12	SECOND FLOOR PLAN
A-13	TYPICAL 3RD, 4TH & 5TH FLOOR PLAN
A-14	6TH FLOOR PLAN
A-15	7TH FLOOR PLAN
A-16	ENLARGED UNITS
A-17	ENLARGED UNITS
A-21	ELEVATIONS
A-22	ELEVATIONS
A-23	ELEVATIONS
A-24	ELEVATIONS

PACO MEETING DATE: NOVEMBER 2021
TAC-1 MEETING DATE: FEB. 06 2023
TAC-2 MEETING DATE: MARCH 20 2023



LLR Architects, Inc.

ARCHITECTURE & PLANNING

12980 SW 52 STREET
MIRAMAR, FLORIDA 33027

(O)- 305-403-7926
(F)- 305-403-7928
E-MAIL: LLAROSA@LAROSAARCHITECTS.COM

AYLWARD ENGINEERING
CIVIL ENGINEERING

3222 RIDGE TRACE
DAVIE, FLORIDA 33328

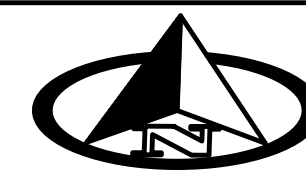
(O)- 954-424-5852
E-MAIL: AYLWARDENGINEER@GMAIL.COM

BRANDON M. WHITE- ASLA
LANDSCAPE ARCHITECTURE

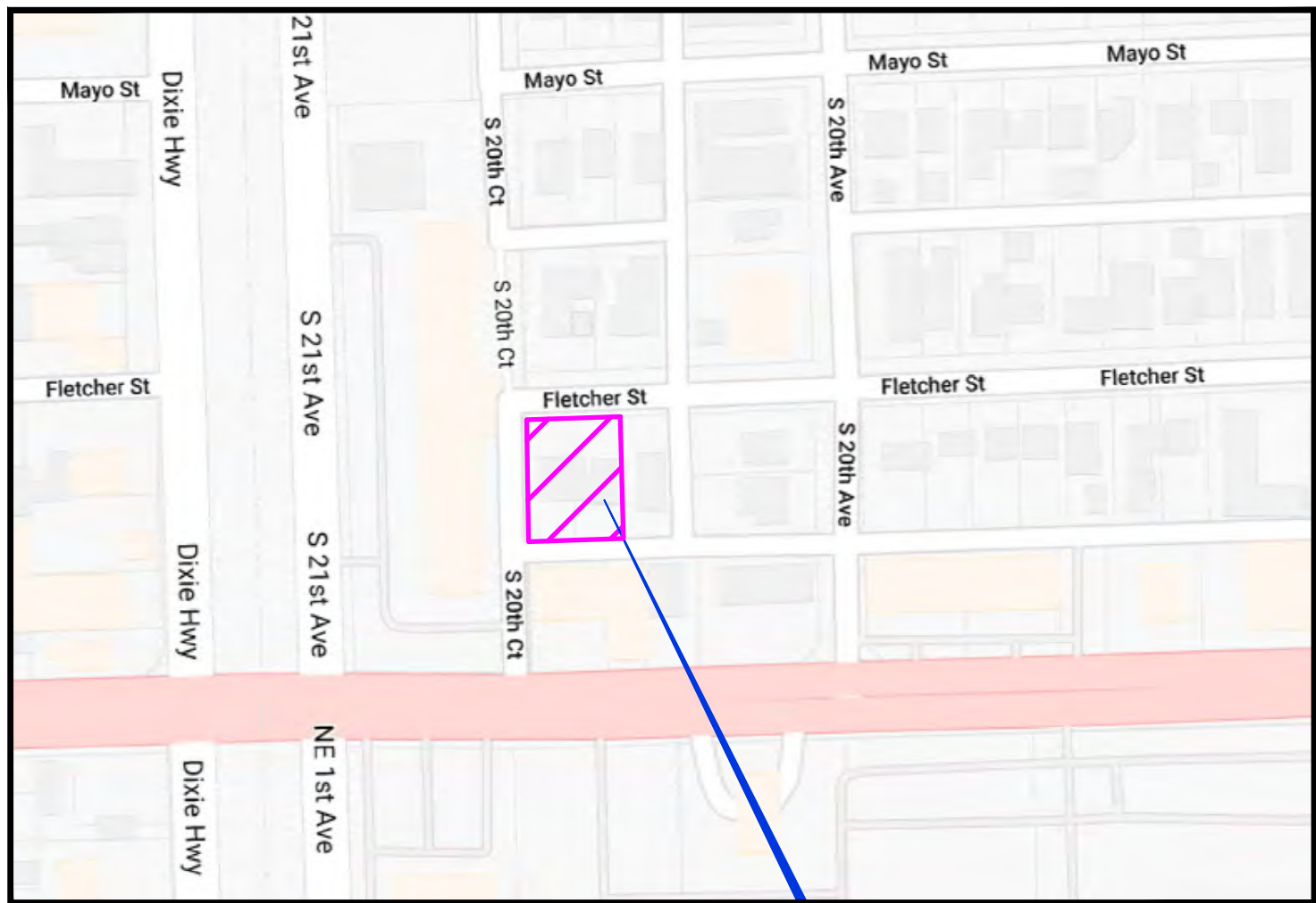
1708 SW JOY HAVEN ST
PORT ST. LUCIE, FL 34983
(O)-772-834-1357

ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.



SCALE: 1" = 20'



1 VICINITY MAP

Not to Scale

Subject Property

3 LEGAL DESCRIPTION

Lots 1 and 2 Block 4, **SOUTH SIDE PARK**, according to the plat thereof, as recorded in Plat Book 22, Page 18, of the Public Records of Broward County, Florida.

4 ZONING INFORMATION

Zoning District: PR - PEMBROKE ROAD DISTRICT
(as per Hollywood Zoning Map)

5 AREA TABULATION

Net Area of subject parcel: 12,998.19 SqFt (+/-0.30 Acres)
Gross Area of subject parcel: 15,498.19 SqFt (+/-0.35 Acres)

6 SURVEYOR'S REPORT

- This ALTA/NSPS Survey has been made on the ground on June 25th, 2021 and updated on January 19th, 2023 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of an ALTA Survey has been prepared in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23, 2021.
- This ALTA Survey correctly depicts the lands contained within the subject property as herein described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities and any other relevant matters affecting these lands. Underground utilities and footings have not been located. Existing trees have not been located. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered and traversed during the field site work are in consistency with distances and directions from records.
- Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways. Excavation and/or a private utility locate request might be necessary for a detailed location of underground utilities.
- There is no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from a duly dedicated and accepted public Right of Way: Fletcher Street - along the North property line, and an 20' Alley - along the East and South property line. The undersigned has no knowledge of proposed changes in street right of way lines for these roadways.
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- No evidence of wetland field designations were present at the time of the survey.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 125113 (City of Hollywood), Panel 0732, Suffix H, revised on August 18th, 2014, this real property falls in Zone "X"
- HORIZONTAL ACCURACY:** Accuracy obtained thru measurements and calculations meets and exceeds the minimum horizontal feature accuracy for a Suburban area being equal to 1 foot in 7, 500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988). Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.51 feet or (minus) 1.51 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: Broward County Engineering Division Bench Mark 1135, Elevation = 10.77 feet (NGVD29)
Description: "Square" cut in South edge of concrete sidewalk and at center of sidewalk leading to Stevens funeral home, residence #315 Pembroke road, Hollywood, 100' East of N.W. 4th Ave, 38' South of centerline of asphalt Pembroke Road, 60' East of a power pole.
Bench Mark # 2: Broward County Engineering Division Bench Mark 1080, Elevation = 9.13 feet (NGVD29)
Description: "Square" cut in Northeast corner of concrete stoop in front of residence #405 Northwest Dixie Highway, Hallandale, 23' West of centerline of Dixie Highway, 23' North of a power pole 3' East of building.
- This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1": 20'. Data is expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Commitment for Title Insurance provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Broward County, unless otherwise shown.
- North arrow direction is based on an assumed Meridian. The bearing structure depicted herein is based on the assumed bearing along the South Right of Way Line of Fletcher Street being N87°22'44"E.
- This survey has been updated based on and upon an examination of a OWNERSHIP AND ENCUMBRANCE REPORT (O&E) issued by CARUSI LAW, with a search between January 1, 1949 @ 11:00 PM, to January 6, 2023 @ 11:00 PM. Upon review and examination of said report, the following applies:
Address: **2026 Fletcher Street, Hollywood, FL 33020**
Date of Request: January 16, 2023
Owner of Record as per Warranty Deed recorded under Instrument No. 115907940 is 2026 Fletch, LLC, a Florida limited liability.
AND
A OWNERSHIP AND ENCUMBRANCE REPORT (O&E) issued by CARUSI LAW, with a search between January 1, 1949 @ 11:00 PM, to January 5, 2023 @ 11:00 PM. Upon review and examination of said report, the following applies:
Address: **2022 Fletcher Street, Hollywood, FL 33020**
Date of Request: January 16, 2023
Owner of Record as per Warranty Deed recorded under Instrument No. 116949409 is Bromeliad Estates, LLC, a Florida limited liability company.

7 CERTIFICATIONS

I hereby certify to: BROMELIAD ESTATES LLC, a Florida limited liability; 2026 Fletch, LLC, a Florida limited liability.
That this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 5, 6 (as per City Website, no zoning report letter provided), 7 (a) (1), 8, 9, 11 (utilities by observed aboveground visible evidence), 13, 14, 17, 18 and 19 of Table A thereof.

Date of Plat or Map: June 25th, 2021
Date of Plat or Map: January 19th, 2023

Odalys C. Bello-Iznaga
Professional Surveyor & Mapper # 6169
State of Florida

LEGEND & ABBREVIATIONS

	= CONCRETE (CONC.)
	= CONCRETE BLOCK WALL
	= WOOD DECK
	= COVERED AREA
	= ASPHALT
	= TILE
	= PAVERS
	= STONE
	= CHAIN LINK FENCE (CLF)
	= WOOD FENCE (WF)
	= IRON METAL BARS FENCE (IF)
	= OVERHEAD WIRES
	= WATER VALVE (WV)
	= POWER POLE (PP)
	= GUY ANCHOR
	= WATER METER (WM)
	= CONC. LIGHT POLE (LP)
	= WELL
	= STREET SIGN
	= SANITARY MANHOLE
	= DRAINAGE MANHOLE
	= MANHOLE
	= FIRE HYDRANT
	= CABLE BOX (CATV)
	= FPL TRANSFORMER
	= CATCH BASIN OR INLET
	= EXISTING ELEVATION
	= PERMANENT REFERENCE MONUMENT (PRM)
	= PROPERTY CORNER
	= PERMANENT CONTROL POINT (PCP)
PT	= POINT OF TANGENCY
PC	= POINT OF CURVATURE
PCC	= POINT OF COMPOUND CURVE
PRC	= POINT OF REVERSE CURVE
BM	= BENCH MARK
BR	= BEARING REFERENCE
TBM	= TEMPORARY BENCH MARK
R	= PROPERTY LINE
CL	= CENTER LINE
M	= MONUMENT LINE
CALC	= CALCULATED
MEAS	= FIELD MEASURED
P	= PER PLAT
FSM	= PROFESSIONAL SURVEYOR AND MAPPER
A/C	= AIR CONDITIONER PAD
ENCR	= ENCROACHMENT
FF ELEV	= FINISHED FLOOR ELEVATION
(XX-XX)	= DENOTES PLAT BOOK XX - PAGE XX
ORB	= OFFICIAL RECORD BOOK
CBS	= CONCRETE BLOCK STRUCTURE
R/W	= RIGHT OF WAY
ELEV	= ELEVATION
SEC	= SECTION
T	= TOWNSHIP
R	= RANGE
(R)	= RECORD

LEGEND, SYMBOLS & ABBREVIATIONS

	= CONCRETE (CONC.)
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	= COVERED AREA
	= ASPHALT
	= TILE
	= PAVERS
	= STONE
	= CHAIN LINK FENCE (CLF)
	= WOOD FENCE (WF)
	= IRON METAL BARS FENCE (IF)
	= PLASTIC FENCE (PF)
	= METAL FENCE (MF)
	= OVERHEAD UTILITY LINES
	= WATER VALVE
	= GUY ANCHOR
	= WATER METER
	= CONC. LIGHT POLE
	= WELL
	= ELECTRIC BOX
	= STREET SIGN
	= SANITARY MANHOLE
	= DRAINAGE MANHOLE
	= MANHOLE
	= FIRE HYDRANT
	= CABLE BOX (CATV)
	= FPL TRANSFORMER
	= CATCH BASIN OR INLET
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SEC	= SECTION
T	= TOWNSHIP
R	= RANGE
(R)	= RECORD

2 PROPERTY ADDRESS

2022 - 2026 Fletcher Street, Hollywood, Florida 33020

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authorized electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

QA/QC BY: OCBI

DRAWN BY: HF

FIELD DATE: 06/25/2021

UPDATED: 01/19/2023

8 PROJECT NUMBER: 22797

Page 1 of 1

BELLO & BELLO LAND SURVEYING

12230 SW 131 AVENUE • SUITE 207 • MIAMI FL 33186

LBH7262 • Phone: 305.251.9606 • Fax: 305.251.6057

e-mail: info@belloland.com • www.bellolandsurveying.com





1 LOCATION PLAN

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017, (6TH EDITION), FLORIDA FIRE PREVENTION CODE 2017-6TH EDITION AND ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK, THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE, THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER. SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL DESCRIPTION

LOT 1 AND 2 BLOCK 4, SOUTH SIDE PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

3 LEGAL DESCRIPTION

4 SITE DATA

5 BUILDING CALCULATION

6 UNITS CALCULATION

7 PROPOSED SITE PLAN

8 BUILDING CALCULATION

9 UNITS CALCULATION

SITE CALCULATIONS:	
TOTAL NET AREA:	12,998.9 SF. (+/- .30 ACRES)
TOTAL GROSS AREA:	15,498.9 SF. (+/- .35 ACRES)
BUILDING FOOTPRINT AREA	10,220 SF.
DRIVEWAY	605 SF.
CONC. SLAB	381 SF.
TOTAL IMPERVIOUS AREA:	11,206 SF. (86.2%)
TOTAL PERVIOUS AREA:	1,792 SF. (13.8%)

F.A.R. CALCULATIONS:	
12,998 SF. x 3.0 =	38,994 SF.
1ST. FLOOR (NOT ELECTRICAL ROOM + DUMPSTER ROOM)	531 SF.
2ND. FLOOR (NOT STORAGE ROOM + TRASH CHUTE)	566 SF.
3RD. FLOOR (NOT TRASH CHUTE + BALCONY)	9,692 SF.
4TH. FLOOR (NOT TRASH CHUTE + BALCONY)	9,692 SF.
5TH. FLOOR (NOT TRASH CHUTE + BALCONY)	9,692 SF.
6TH. FLOOR (NOT TRASH CHUTE, SUN DECK + BALCONY)	5,418 SF.
F.A.R. PROVIDED (2.13)	35,591 SF.
F.A.R. ALLOWED x (3.0)	38,994 SF.

- OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE 02016-02.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATION.
- OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
- MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
- A BIDIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEFENDING PER NFPA 1, 1110 AND BROWARD AMENDMENT 1182
- GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
- BIKE RACK TO BE INSTALLED AS SHOWN
- WHITE ROOF TO REFLECT LIGHT.

4 SITE DATA

5 BUILDING CALCULATION

6 UNITS CALCULATION

7 PROPOSED SITE PLAN

8 BUILDING CALCULATION

9 UNITS CALCULATION

10 BUILDING CALCULATION

11 UNITS CALCULATION

12 BUILDING CALCULATION

PARKING CALCULATIONS:	
32-(1) BEDROOM + 32X1 = 32 PARKING SPACE	32
10-(2) BEDROOMS + 10X1.5 = 15 PARKING SPACE	15
1 GUEST FOR EVERY 10 UNITS = 42 UNITS	5
= 5 REQ. GUEST SPACES	2
ADA SPACES	
TOTAL PARKING SPACES	54
	58

SETBACK CALCULATIONS:	
FRONT	15'
ALLEY	5'
SIDE	0'
	15'-0"
	5'-1"
	5'-0"

HEIGHT CALCULATIONS:	
MAX. HEIGHT ALLOWED:	10 STORIES OR 140'
	6'-4"
	TOP OF ROOF

LAND. USE DESIGNATION: PS-1

ZONING DESIGNATION: PR

PORTION OF LOT IS GREATER THAN 100 FROM PS-1 IS ALLOWED TO BE 10 STORIES ALL OTHER PORTIONS OF LOT IS 55' MAX.

- GREEN BUILDING PRACTICE
- (E) ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.
- (H) PROGRAMMABLE THERMOSTATS.
- (N) DUAL FLUSH TOILETS.
- (P) AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION).
- (Q) ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
- (R) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THAN STANDARD ESTABLISHED BY ASHRAE (LATEST EDITION)
- (T) ALL HOT WATER PIPES INSULATED.
- (U) MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT.
- (V) TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER.
- (W) ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE.

4 SITE DATA

5 BUILDING CALCULATION

6 UNITS CALCULATION

7 PROPOSED SITE PLAN

8 BUILDING CALCULATION

9 UNITS CALCULATION

10 BUILDING CALCULATION

11 UNITS CALCULATION

12 BUILDING CALCULATION

BUILDING CALCULATION														
	LOBBY	UNIT # 1 (ONE BED.)	UNIT # 2 (ONE BED.)	UNIT # 3 (ONE BED.)	UNIT # 4 (ONE BED.)	UNIT # 5 (TWO BED.)	UNIT # 6 (ONE BED.)	UNIT # 6A (TWO BED.)	UNIT # 7 (ONE BED.)	UNIT # 8 (TWO BED.)	UNIT # 9 (ONE BED.)	UNIT # 10 (ONE BED.)	UNIT # 11 (ONE BED.)	UNIT # 12 (TWO BED.)
1ST. FLOOR COMMON AREA=	852 SF.	-	-	-	-	-	-	-	-	-	-	-	-	852 SF.
2ND. FLOOR COMMON AREA=	654 SF.	-	-	-	-	-	-	-	-	-	-	-	-	654 SF.
3RD. FLOOR LIVING AREA=	-	626 SF.	610 SF.	610 SF.	610 SF.	792 SF.	558 SF.	-	558 SF.	826 SF.	712 SF.	708 SF.	708 SF.	1062 SF.
BALCONY AREA=	-	84 SF.	30 SF.	30 SF.	30 SF.	30 SF.	30 SF.	-	30 SF.	30 SF.	30 SF.	30 SF.	30 SF.	86 SF.
TOTAL UNIT AREA=	-	710 SF.	640 SF.	640 SF.	640 SF.	822 SF.	588 SF.	-	588 SF.	856 SF.	742 SF.	738 SF.	738 SF.	1148 SF.
COMMON AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	1310 SF.
TOTAL GROSS AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	10,220 SF.
4TH. FLOOR LIVING AREA=	-	626 SF.	610 SF.	610 SF.	610 SF.	792 SF.	558 SF.	-	558 SF.	826 SF.	712 SF.	708 SF.	708 SF.	1062 SF.
BALCONY AREA=	-	84 SF.	30 SF.	30 SF.	30 SF.	30 SF.	30 SF.	-	30 SF.	30 SF.	30 SF.	30 SF.	30 SF.	86 SF.
TOTAL UNIT AREA=	-	710 SF.	640 SF.	640 SF.	640 SF.	822 SF.	588 SF.	-	588 SF.	856 SF.	742 SF.	738 SF.	738 SF.	1148 SF.
COMMON AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	1310 SF.
TOTAL GROSS AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	10,220 SF.
5TH. FLOOR LIVING AREA=	-	626 SF.	610 SF.	610 SF.	610 SF.	792 SF.	558 SF.	-	558 SF.	826 SF.	712 SF.	708 SF.	708 SF.	1062 SF.
BALCONY AREA=	-	84 SF.	30 SF.	30 SF.	30 SF.	30 SF.	30 SF.	-	30 SF.	30 SF.	30 SF.	30 SF.	30 SF.	86 SF.
TOTAL UNIT AREA=	-	710 SF.	640 SF.	640 SF.	640 SF.	822 SF.	588 SF.	-	588 SF.	856 SF.	742 SF.	738 SF.	738 SF.	1148 SF.
COMMON AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	1310 SF.
TOTAL GROSS AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	10,220 SF.
6TH. FLOOR LIVING AREA=	-	626 SF.	610 SF.	610 SF.	610 SF.	792 SF.	-	885 SF.	-	-	-	-	-	-
BALCONY AREA=	-	84 SF.	30 SF.	30 SF.	30 SF.	30 SF.	-	30 SF.	-	-	-	-	-	-
TOTAL UNIT AREA=	-	710 SF.	640 SF.	640 SF.	640 SF.	822 SF.	-	915 SF.	-	-	-	-	-	-
COMMON AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	-
TOTAL GROSS AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	-
TOTAL GROSS AREA=	31,816 SF.													

5 BUILDING CALCULATION

UNITS CALCULATION		
	1 BED.	2 BED.
3RD. FLOOR	9-UNITS	3-UNITS
4TH. FLOOR	9-UNITS	3-UNITS
5TH. FLOOR	9-UNITS	3-UNITS
6TH. FLOOR	5-UNITS	1-UNITS
TOTAL	32-UNITS	10-UNITS
		42-UNITS

NOTE:
1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

MINIMUM & AVERAGE DWELLING UNIT SIZE TABLE		
MIN. DWELLING UNIT SIZE	REQUIRED	PROVIDED
MIN. CUMULATIVE AVERAGE/ UNIT SIZE	400 SF.	558 SF.
	650 SF.	636.97 SF.

NOTE:
1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW & MAY BE SUBJECT TO BOARD APPROVAL.

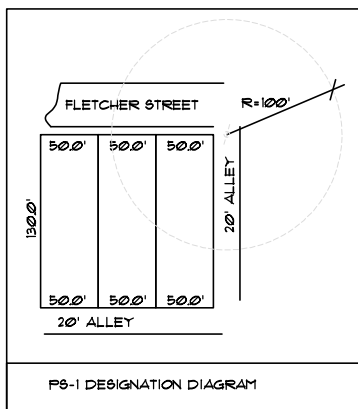
2. THE MAX LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.

3. REFER TO DETAIL 2 ON SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM 50.V.-BEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.

4. MAX. FOOT CANDLE LEVEL @ ALL PROPERTY LINES (MAX. 5" ALLOWED).

5. UFB SHALL NOT BE USED FOR GUEST PARKING.

6. UFB SHALL BE ASSIGNED TO ONE UNIT ONLY.



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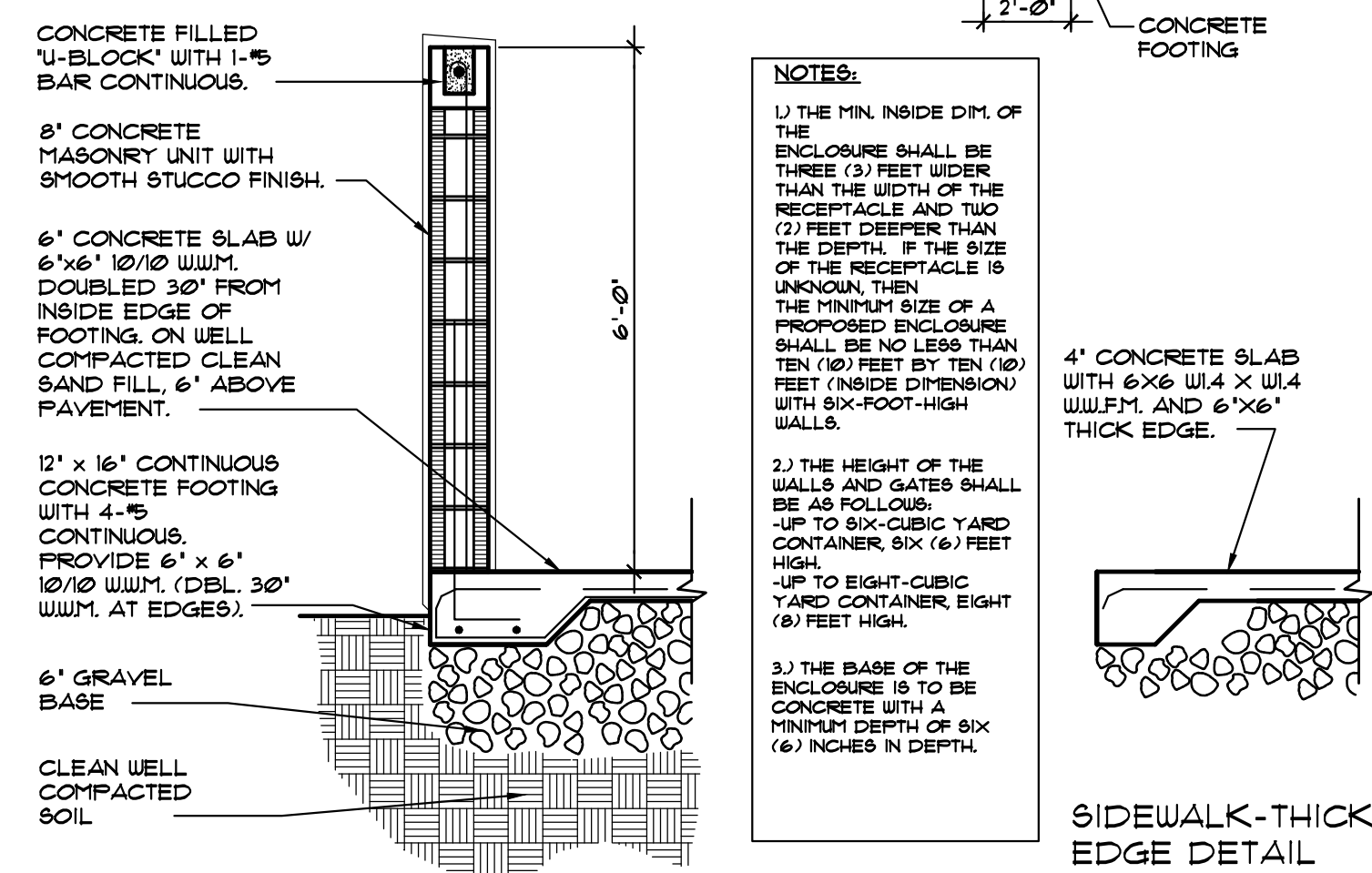
Luis La Rosa-Registered
Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

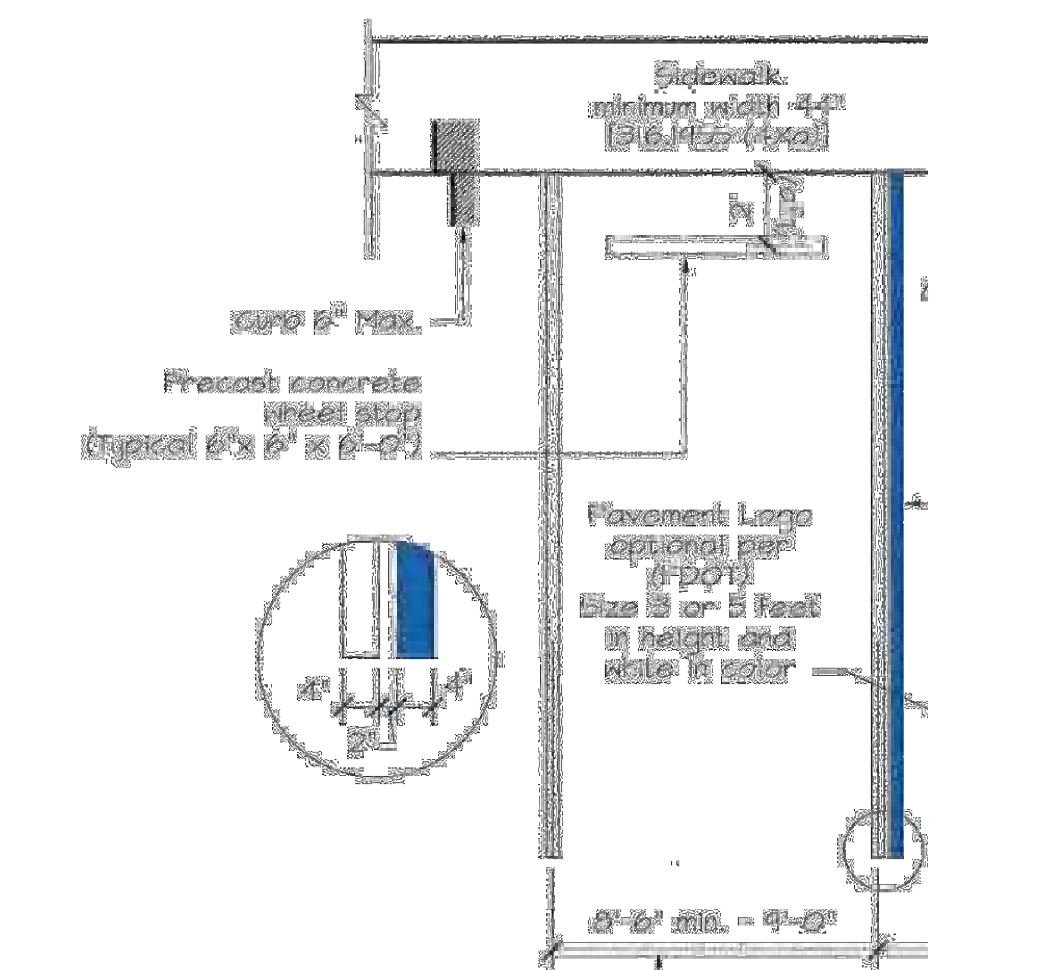
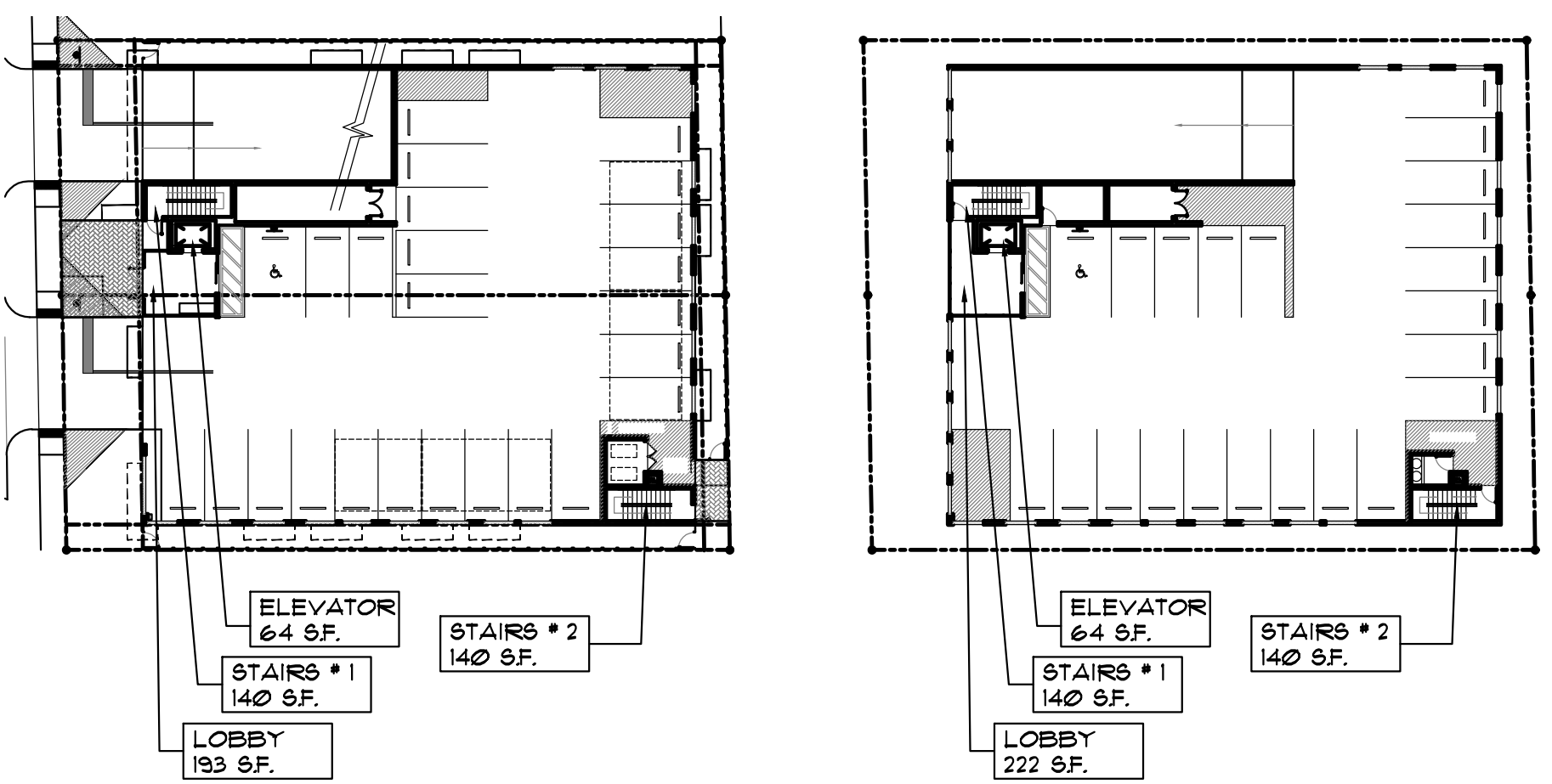
PROPOSED 42-UNITS MULTI FAMILY DEVELOPMENT FOR:
FLETCHER TWENTY LLC
2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

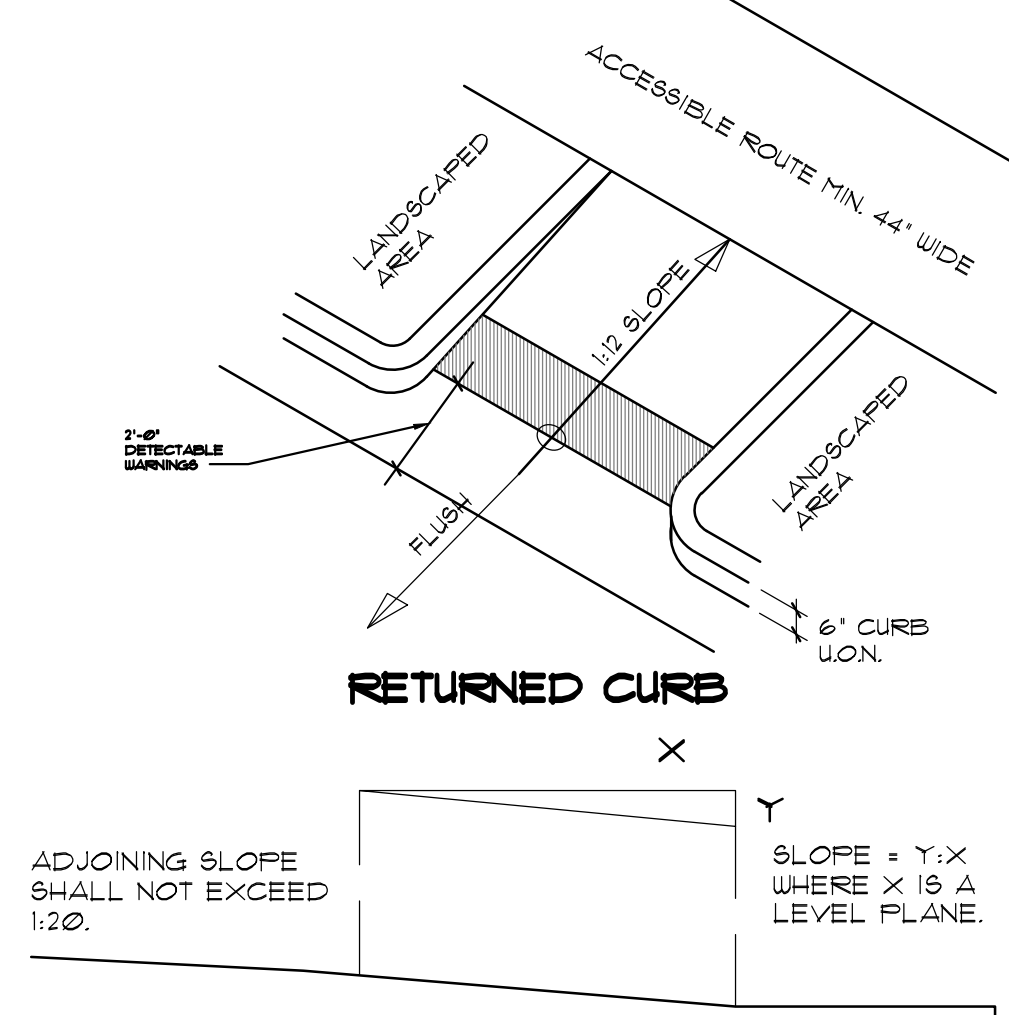
DRAWN	C.C.
CHECKED	LLR
DATE	11/08/21
SCALE	AS NOTED
JOB. NO.	021-0210
SHEET	
	SP-1.1
OF	SHEETS



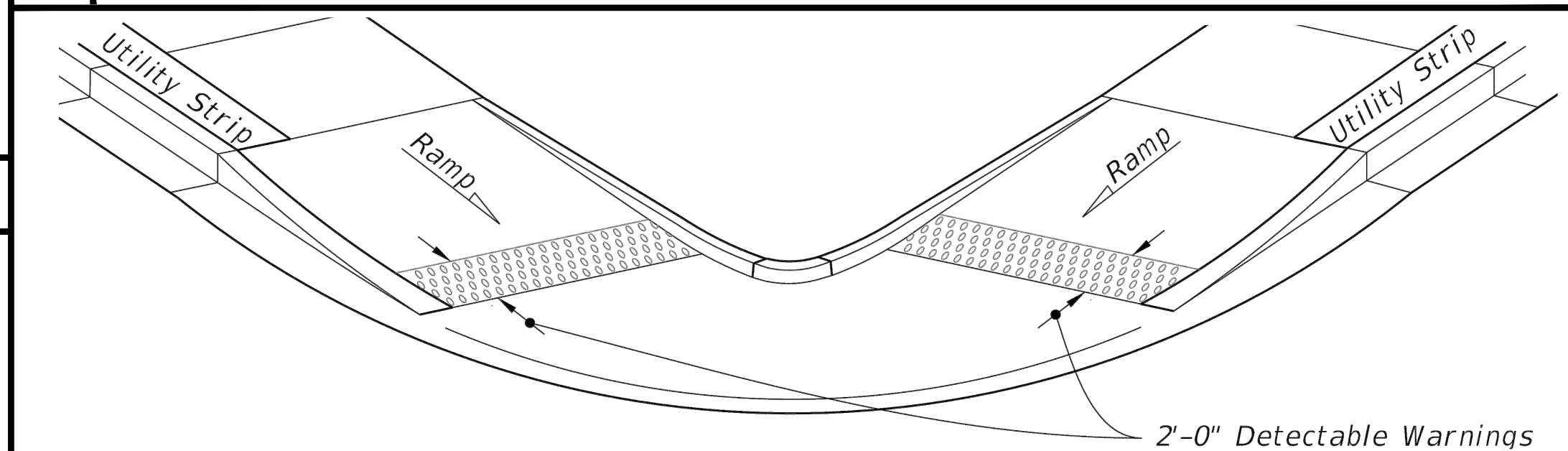
FIRST FLOOR		SECOND FLOOR	
(NOT DUMPSTER)	537 SF.	(NOT STORAGE & TRASH ROOM)	566 SF.



	3RD- 4TH & 5TH FLOOR	
566 SF.	(NOT TRASH ROOM & BALCONY)	9,692 SF. (EACH FLOOR)



	6TH FLOOR	
	(NOT TRASH ROOM, SUN DECK, FITNESS CENTER & BALCONY)	5,410 SF.



PROPOSED PAVERS.

6" THICK CAST IN PLACE PAD. AT VEHICULAR AREAS AND 4" AT WALKWAYS.

REINFORCED MESH.

ASPHALT DRIVEWAY. REFER TO CIVIL PLANS FOR DETAILS.

WELL COMPACTED 8'-12" GRANULAR BASE

WELL COMPACTED FILL SOIL. (95% COMPACTION)

DECORATIVE PAVERS

5,418 SF.	

EACH ACCESSIBLE
PARKING SPACE MUST
BE PROMINENTLY
OUTLINED WITH BLUE
PAINT AND REPAINTED
AS NECESSARY TO BE
CLEARLY
DISTINGUISHABLE AND
MUST BE POSTED WITH A
PERMANENT ABOVE
GRADE SIGN BEARING
INTERNATIONAL SYMBOL
OF ACCESSIBILITY
MEETING COLORS AND
DESIGNS APPROVED BY
THE DEPARTMENT OF
TRANSPORTATION
CAPTIONED "PARKING
BY DISABLED PERMIT
ONLY" AND COMPLYING
WITH THE CITY OF
PLANTATION
ENGINEERING
DEPARTMENT
HANDICAPPED
MARKINGS AND DETAILS.

PROPOSED 42-UNITS MULTI FAMILY DEVELOPMENT FOR:
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SEAL: AR 0017852
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DRAWN	C.C.
CHECKED	LLR
DATE	11/08/21
SCALE	AS NOTED
JOB. NO.	021-020
SHEET	

SP-1.2

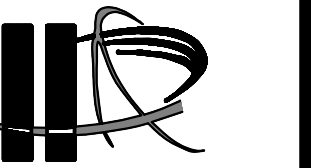
OF SHEETS



1 PROPOSED NORTH ELEVATION/SITE ELEVATION
SCALE: 3/32"=1'-0"



2 PROPOSED WEST ELEVATION/SITE ELEVATION
SCALE: 3/32"=1'-0"



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Luis LaRosa-Registered
Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

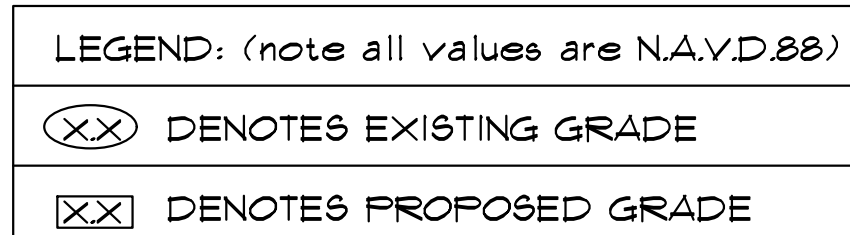
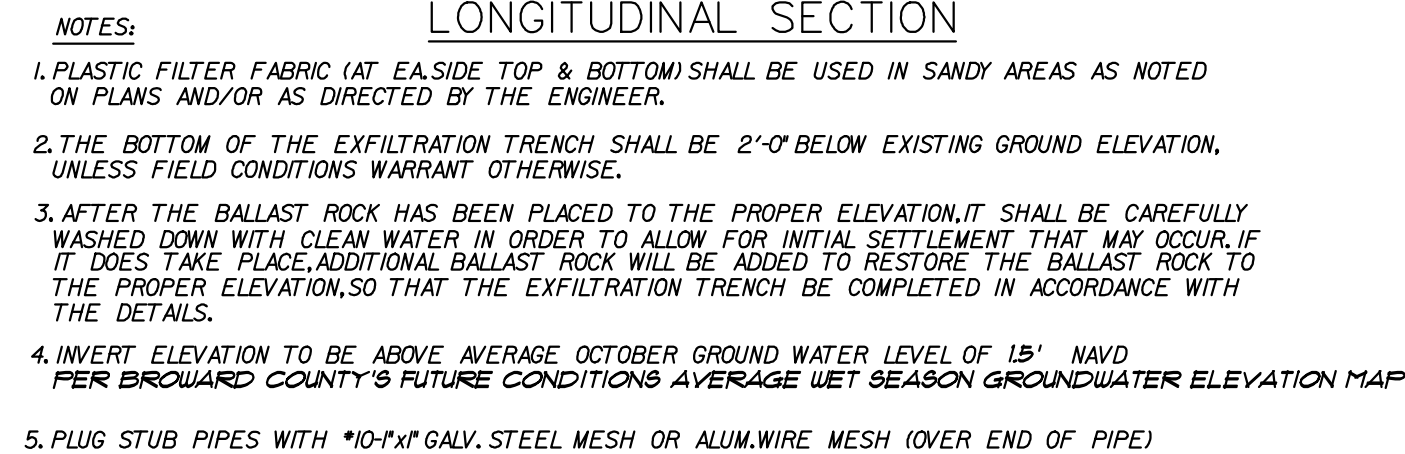
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2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

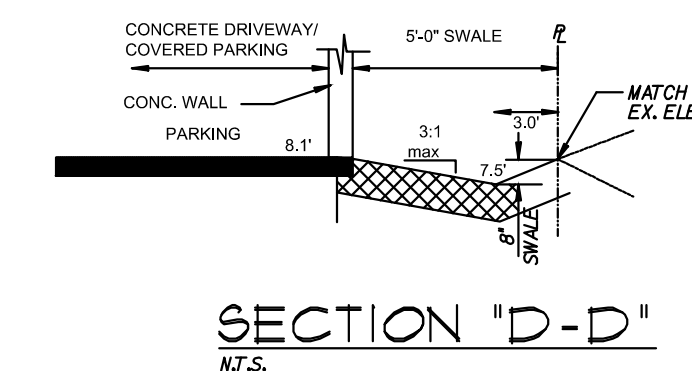
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DATE	11/08/21
SCALE	AS NOTED
JOB. NO.	021-020
SHEET	

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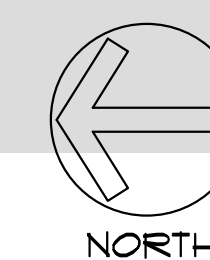
OF SHEETS



TOTAL FLOW= 1,060 + 920 GPM= 1,980 GPM

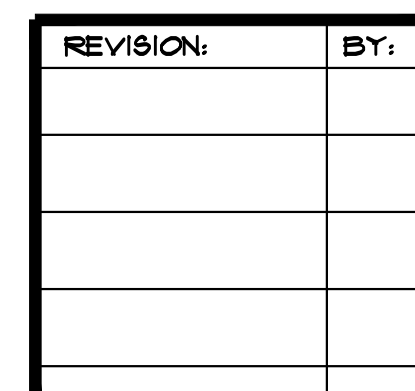


3. REFER TO DETAIL 2 ON SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.



EB/LB No. 5183

1 PROPOSED PAVING, GRADING, WATER & SEWER PLAN



PROPOSED 42-UNITS MULTI FAMILY DEVELOPMENT FOR:
FLETCHER TWENTY LLC
2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA


DRAWN	C.C.
CHECKED	L.L.R.
DATE	11/08/21
SCALE	AS NOTED
JOB. NO.	021-020

$$C=1.$$

OF SHEETS


GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION. OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES	REVISED: 06/08/2014 DRAWING NO. G-00
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GENERAL NOTES (CONTINUED):

12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCRoACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.1
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GENERAL NOTES (CONTINUED):

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.2
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GENERAL NOTES (CONTINUED):

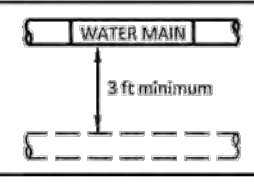
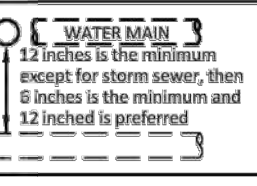
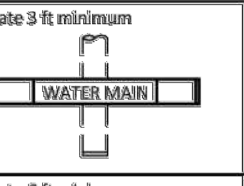
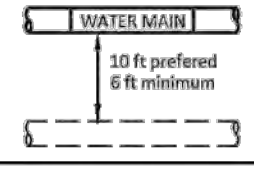
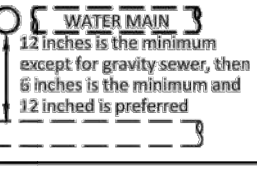
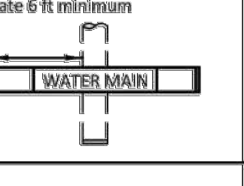
40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).




41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CADD DRAWING STANDARDS"

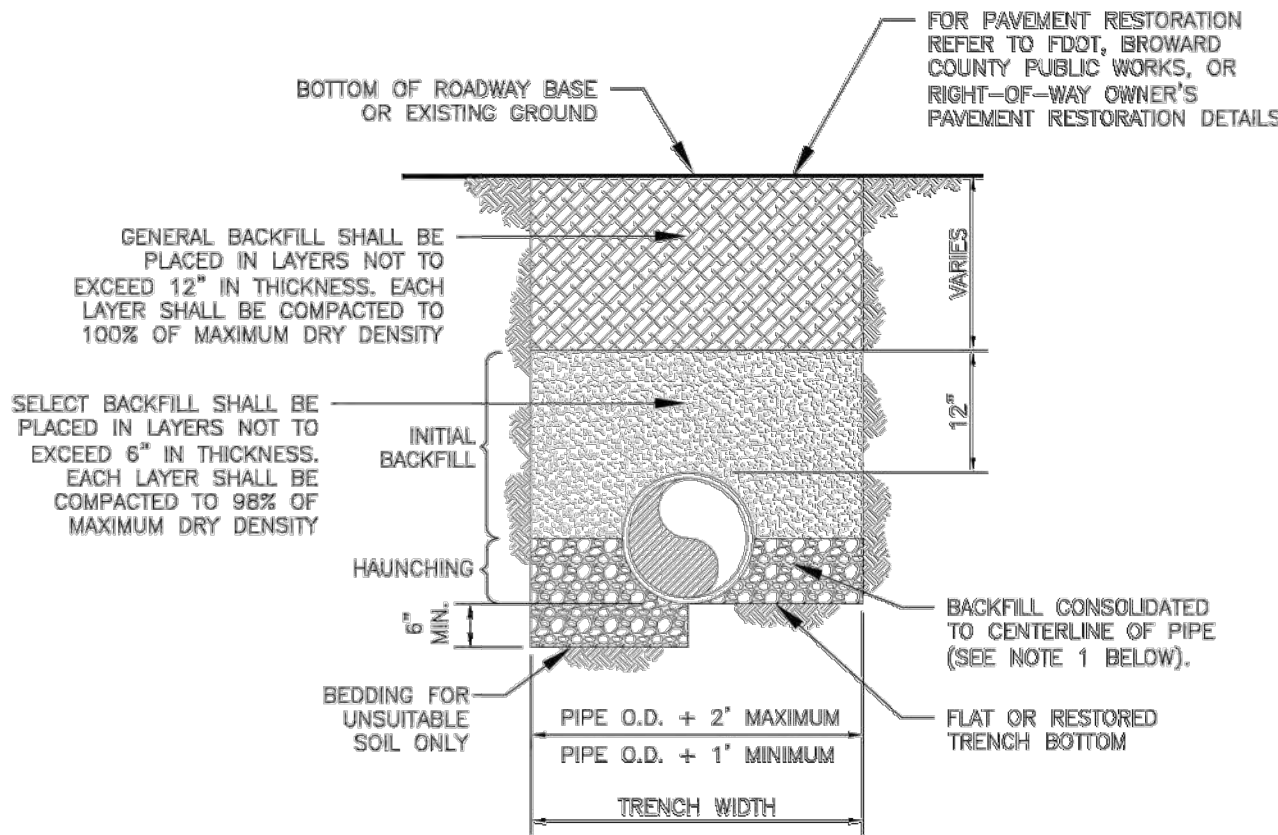
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WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)			Alternate 3 ft minimum 
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER			Alternate 6 ft minimum 
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		


1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

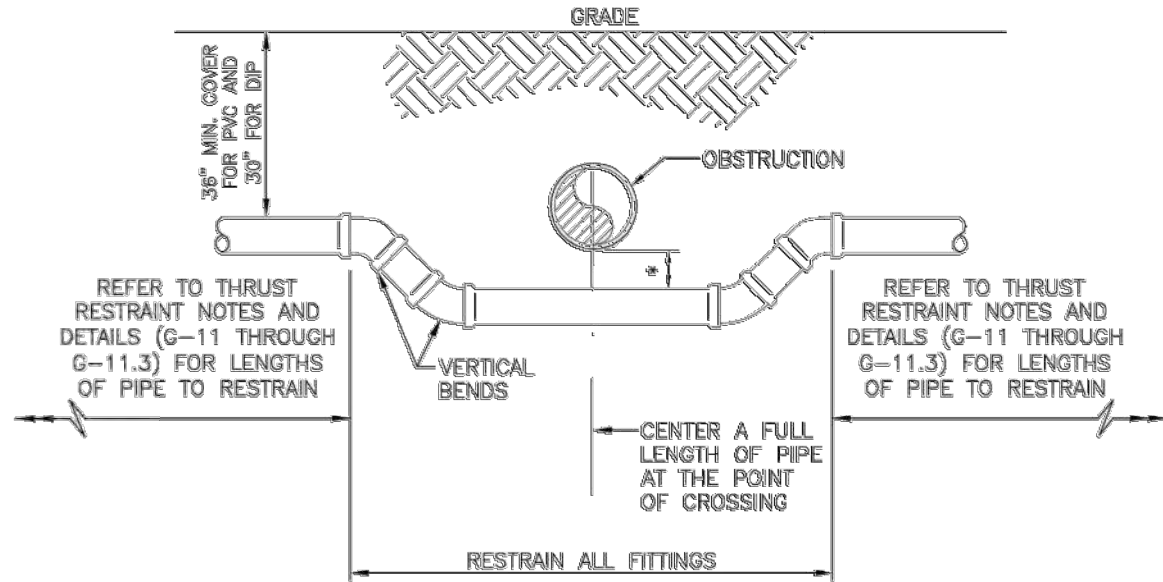
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NOTES:

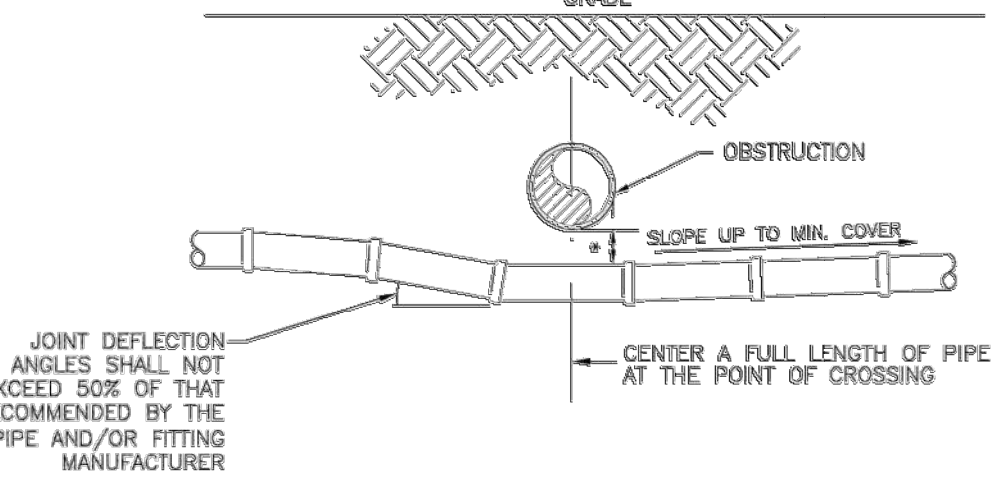
1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 123-8.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)	REVISED: 06/08/2014 DRAWING NO. G-02
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UTILITY CROSSING USING FITTINGS

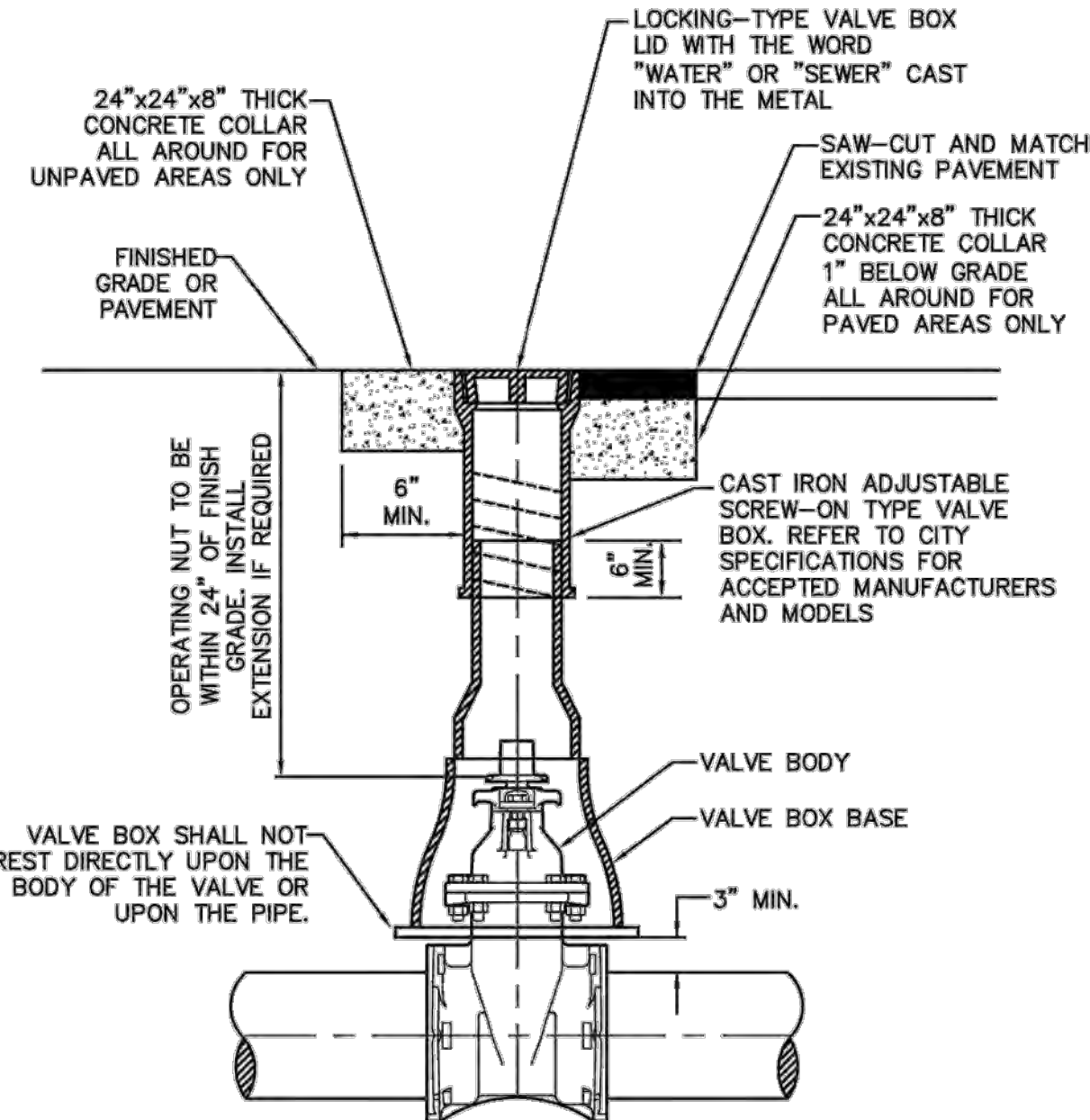
* REFER TO STANDARD DETAIL, G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.




UTILITY CROSSING USING JOINT DEFLECTIONS

* REFER TO STANDARD DETAIL, G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL UTILITY CROSSING DETAIL	REVISED: 06/08/2014 DRAWING NO. G-04
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AA#-26003693

REVISION:	BY:

PROPOSED 42-UNITS MULTI FAMILY DEVELOPMENT FOR:
FLETCHER TWENTY LLC

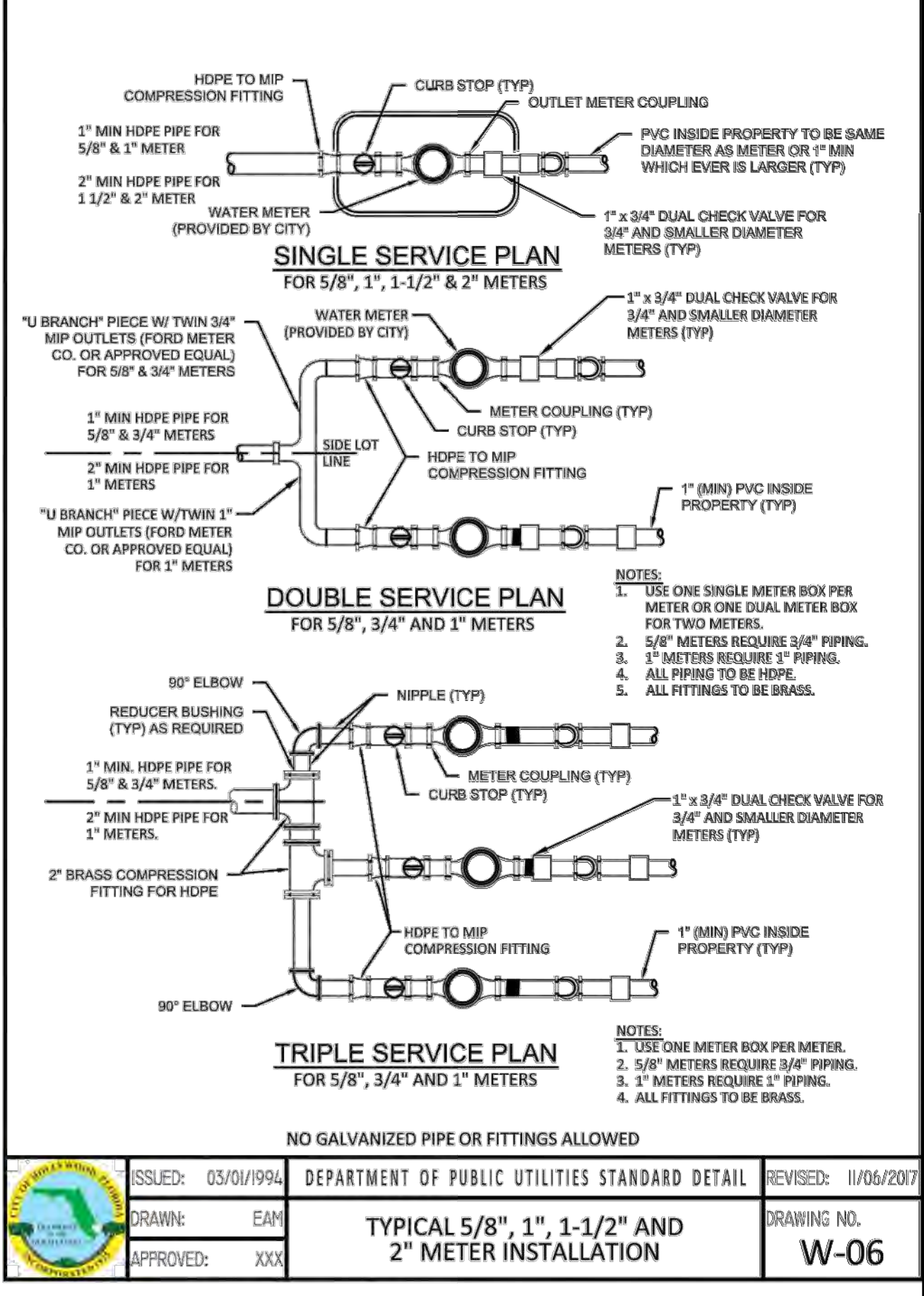
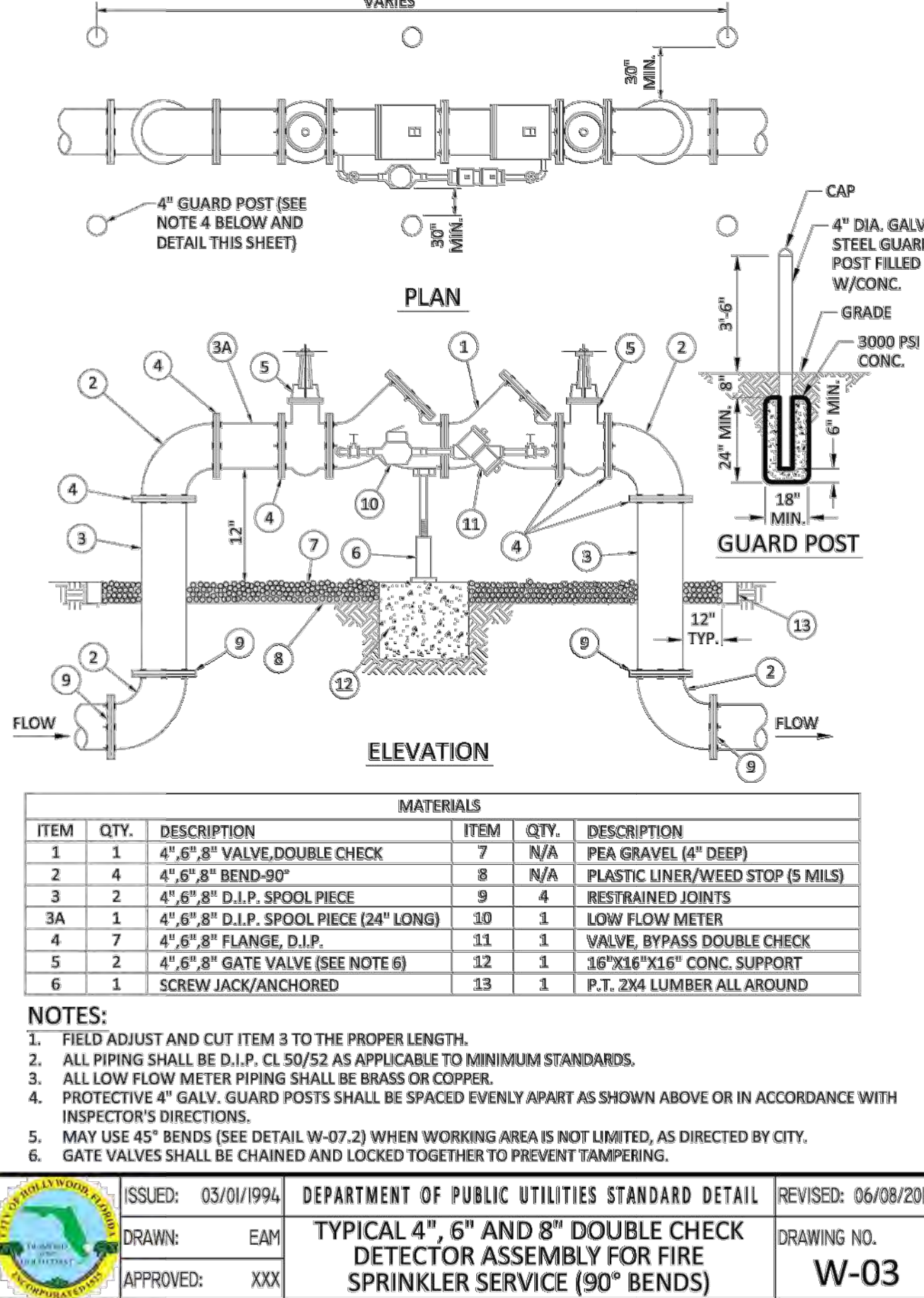
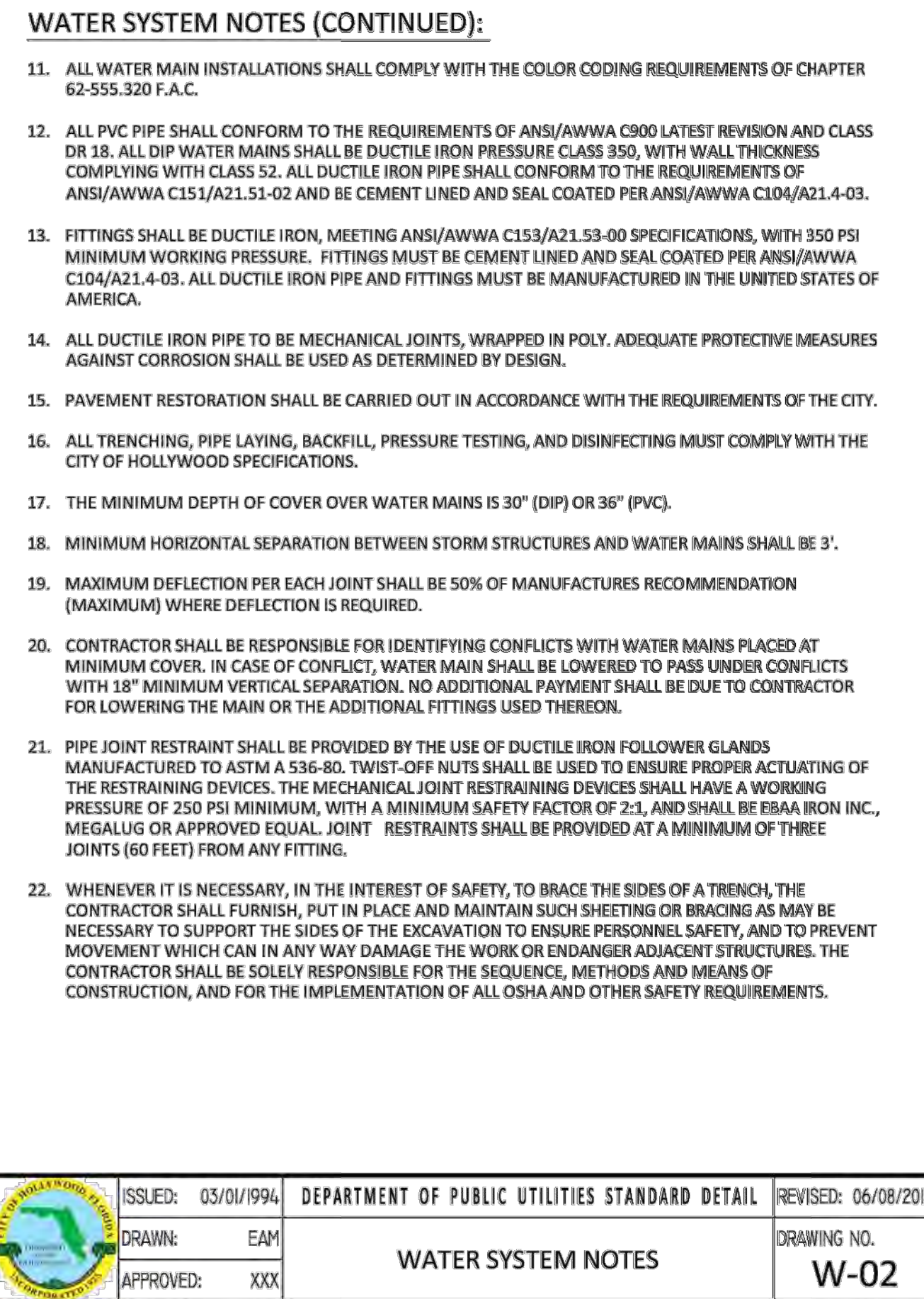
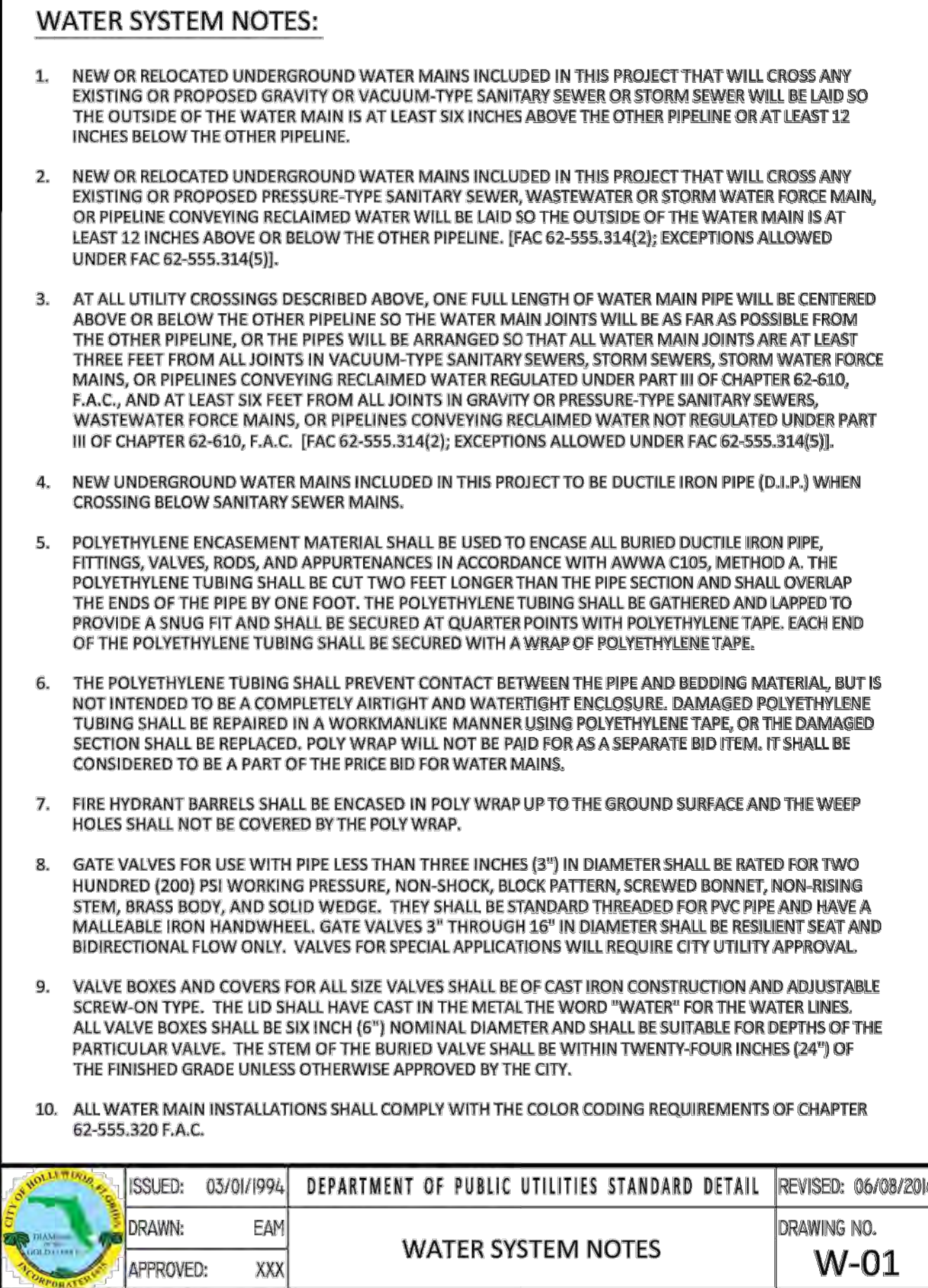
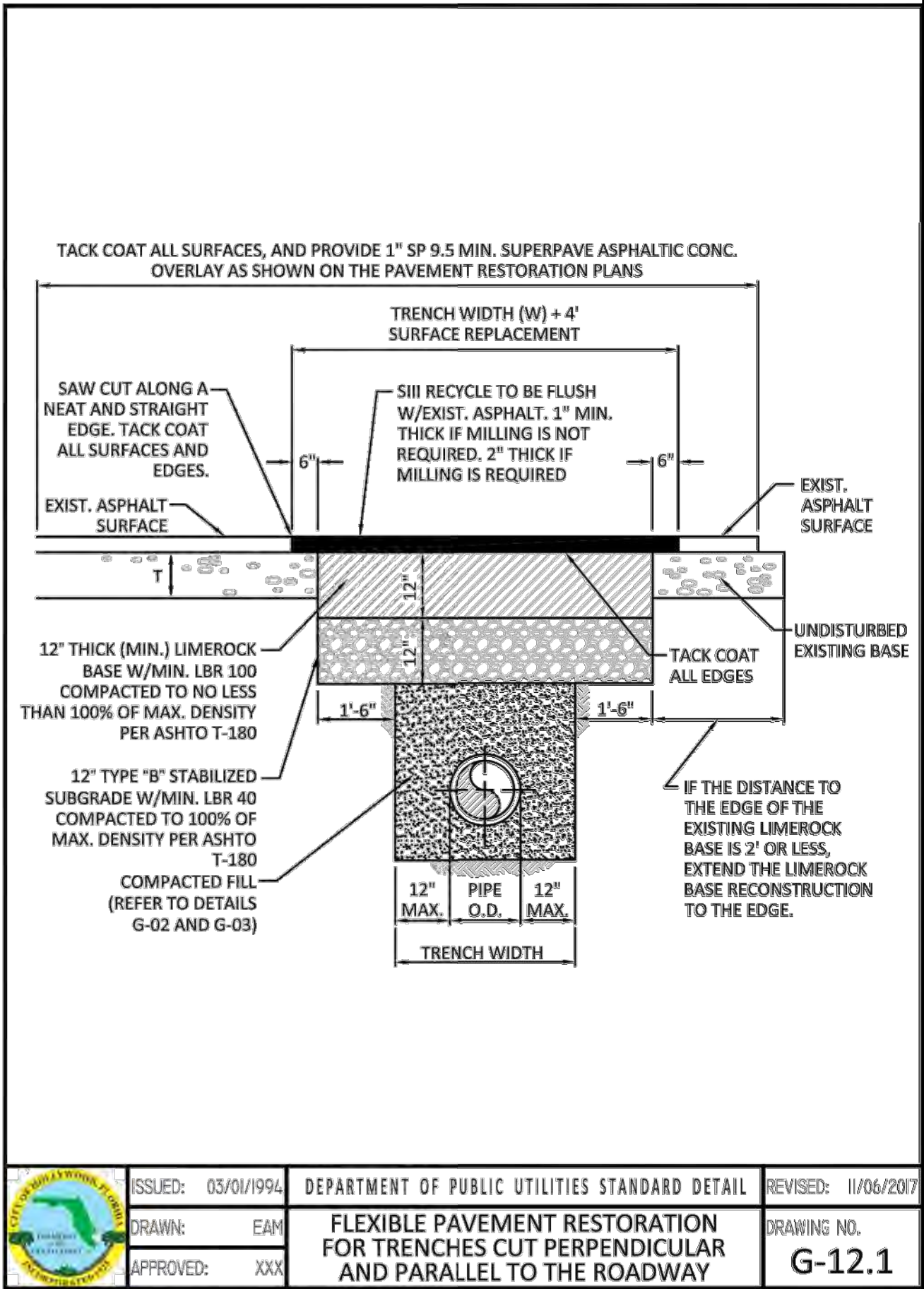
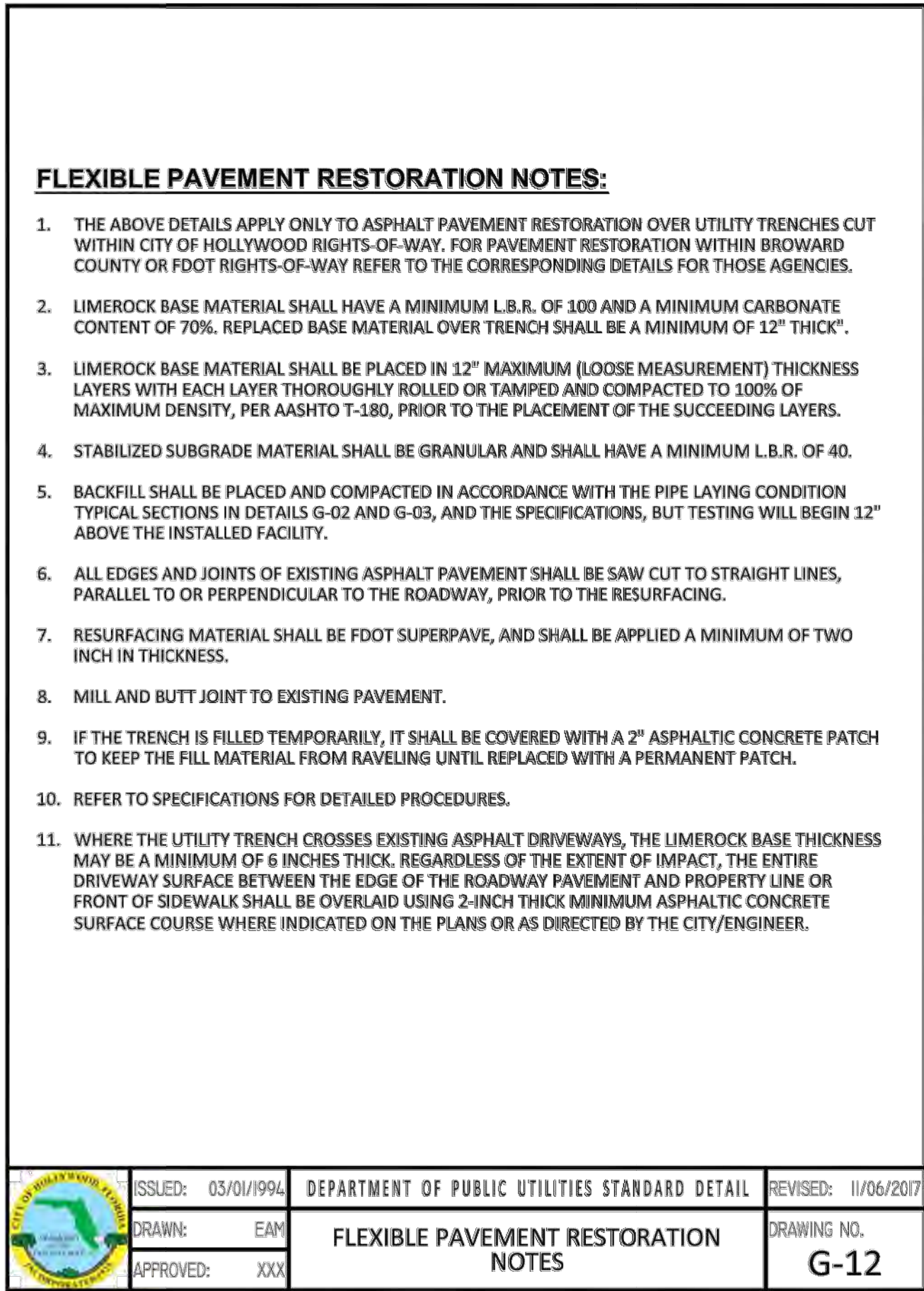
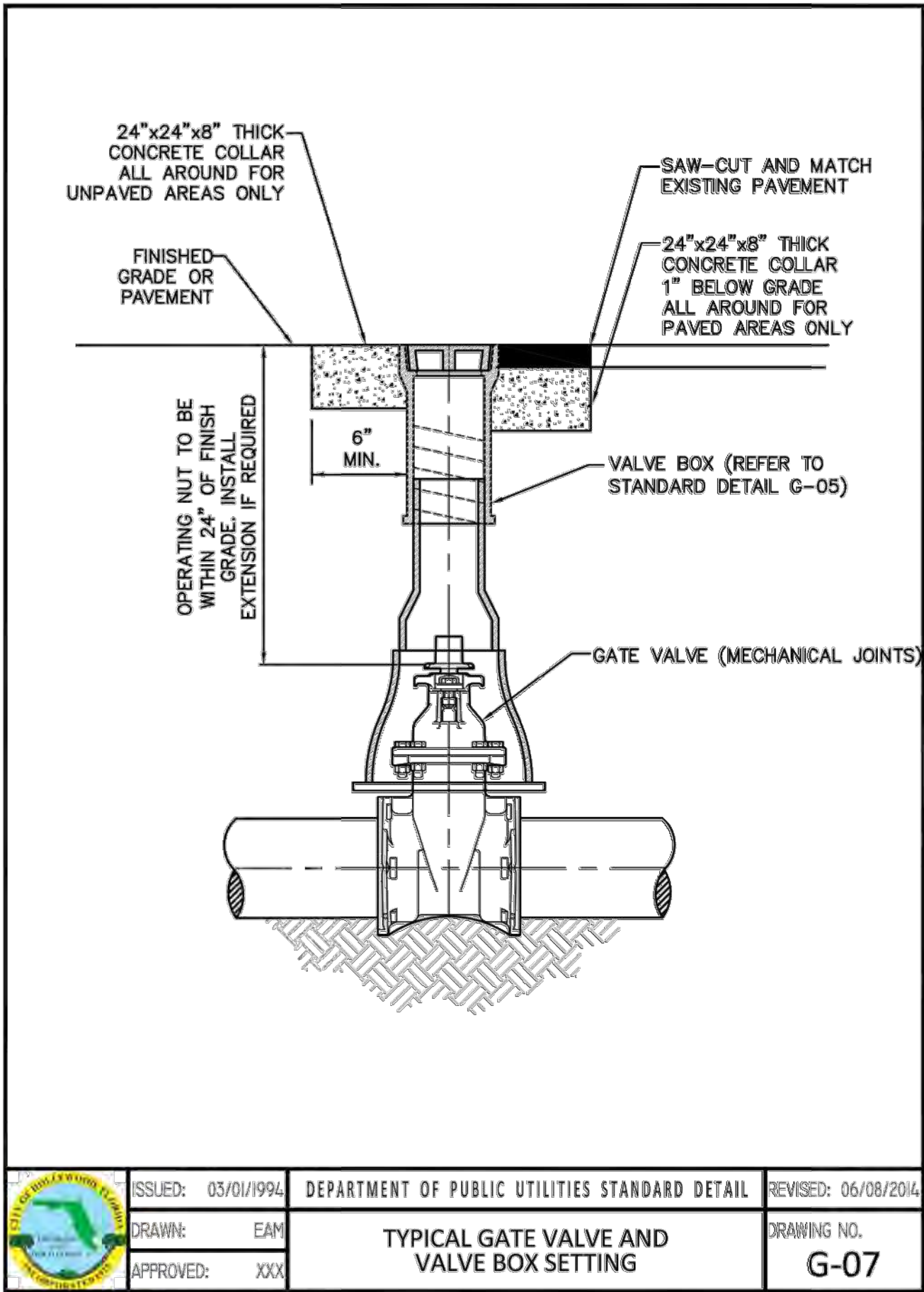
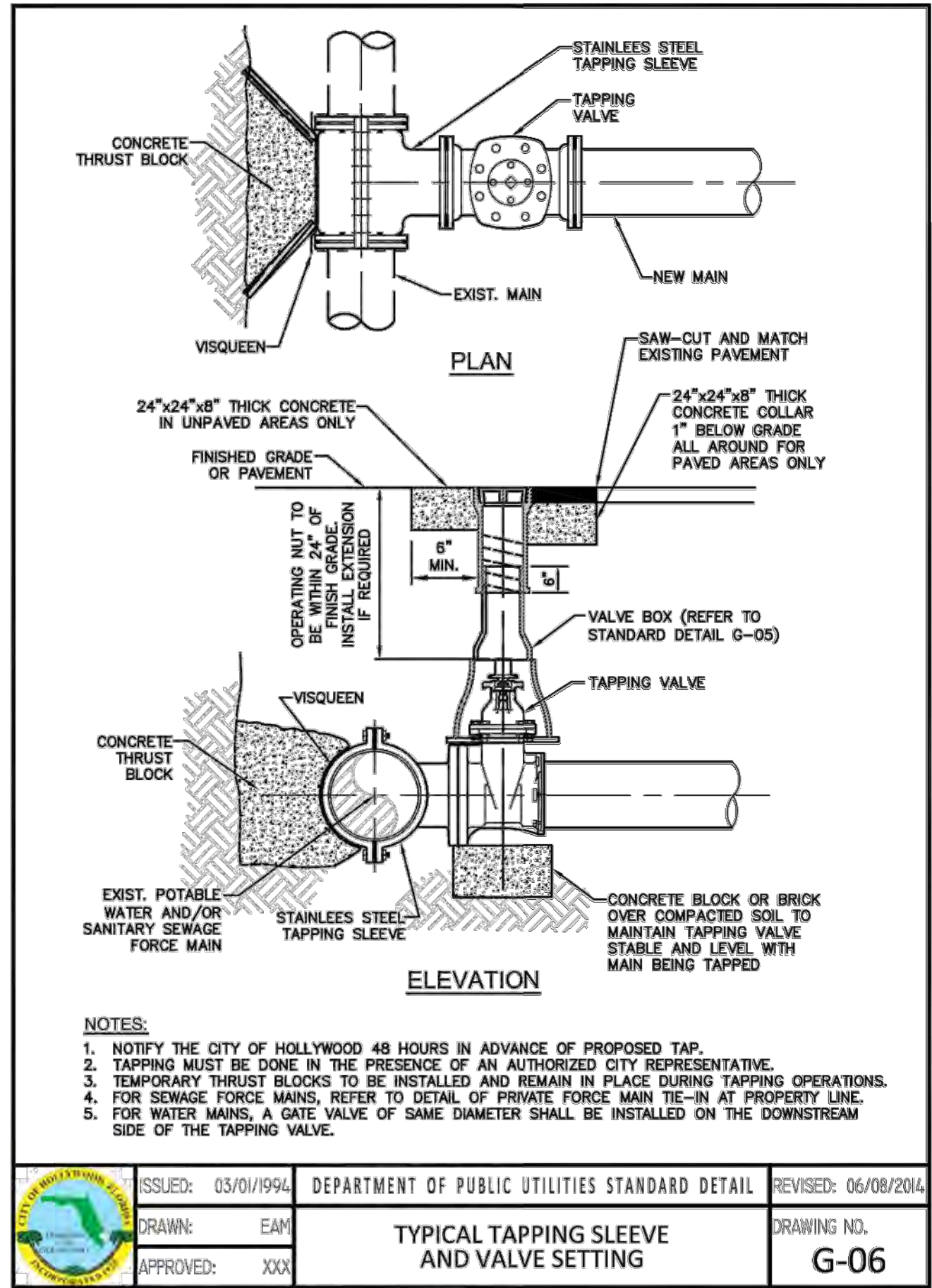
2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	11/08/21
SCALE	AS NOTED
JOB. NO.	021-020
SHEET	

C-1.2

OF SHEETS



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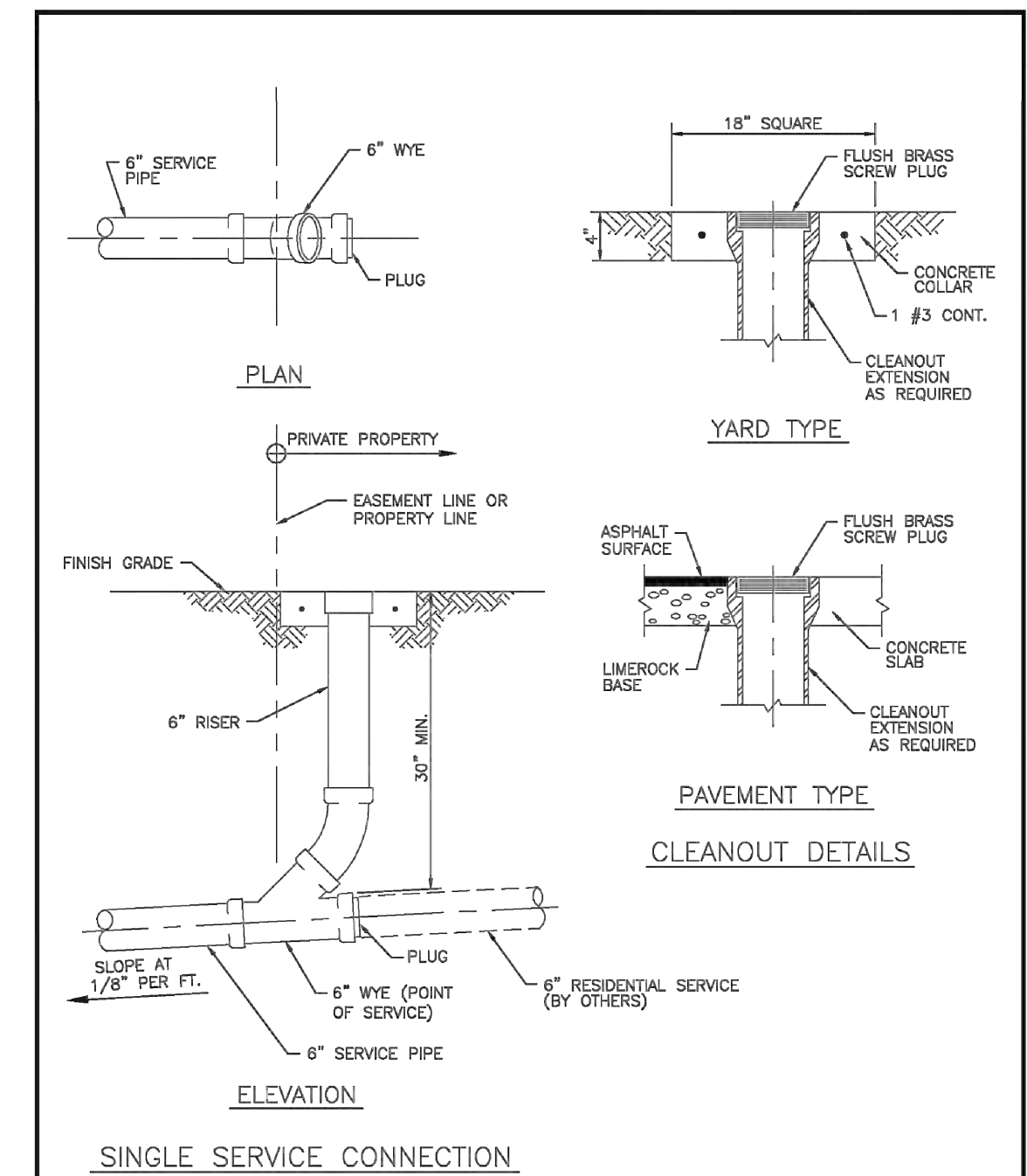
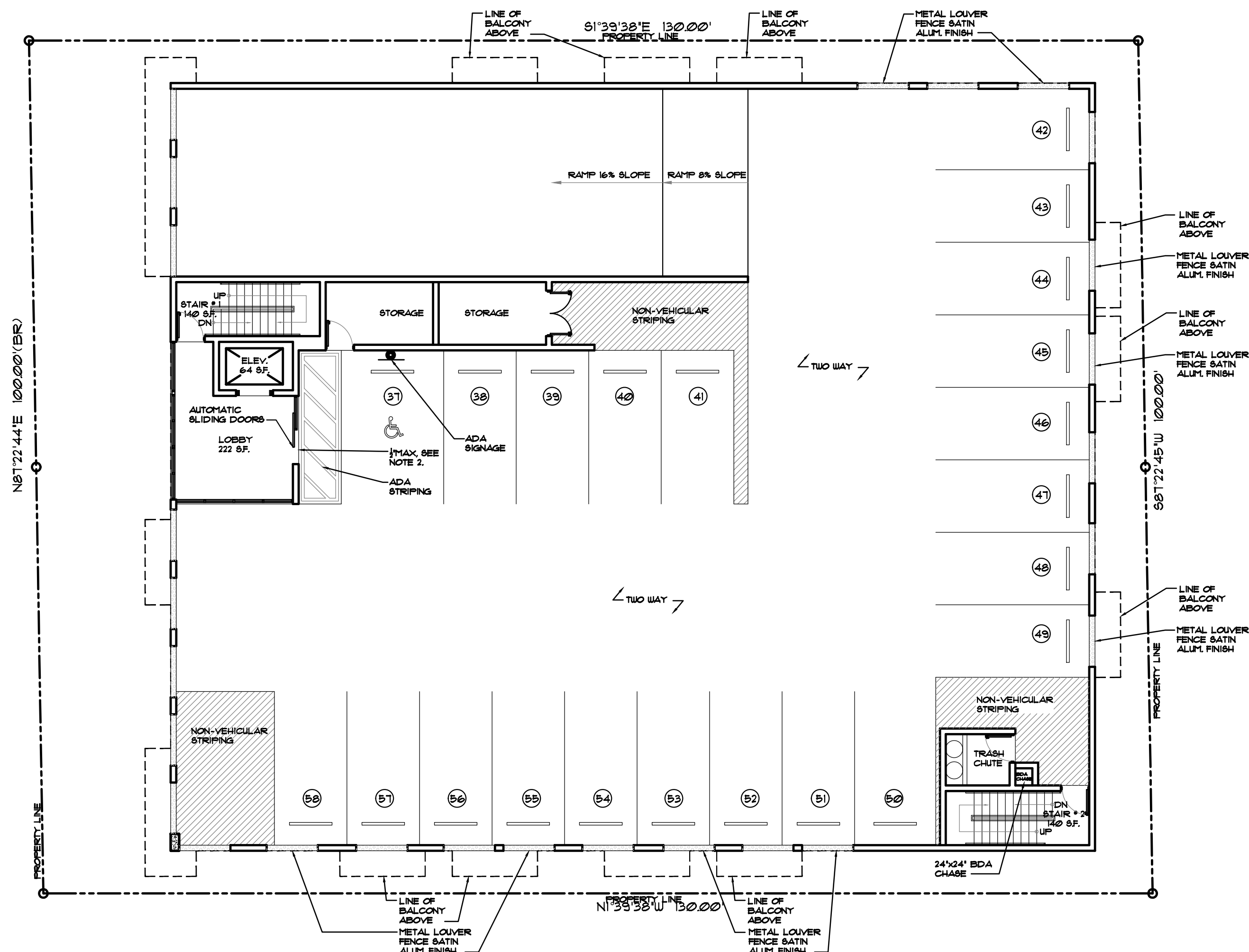
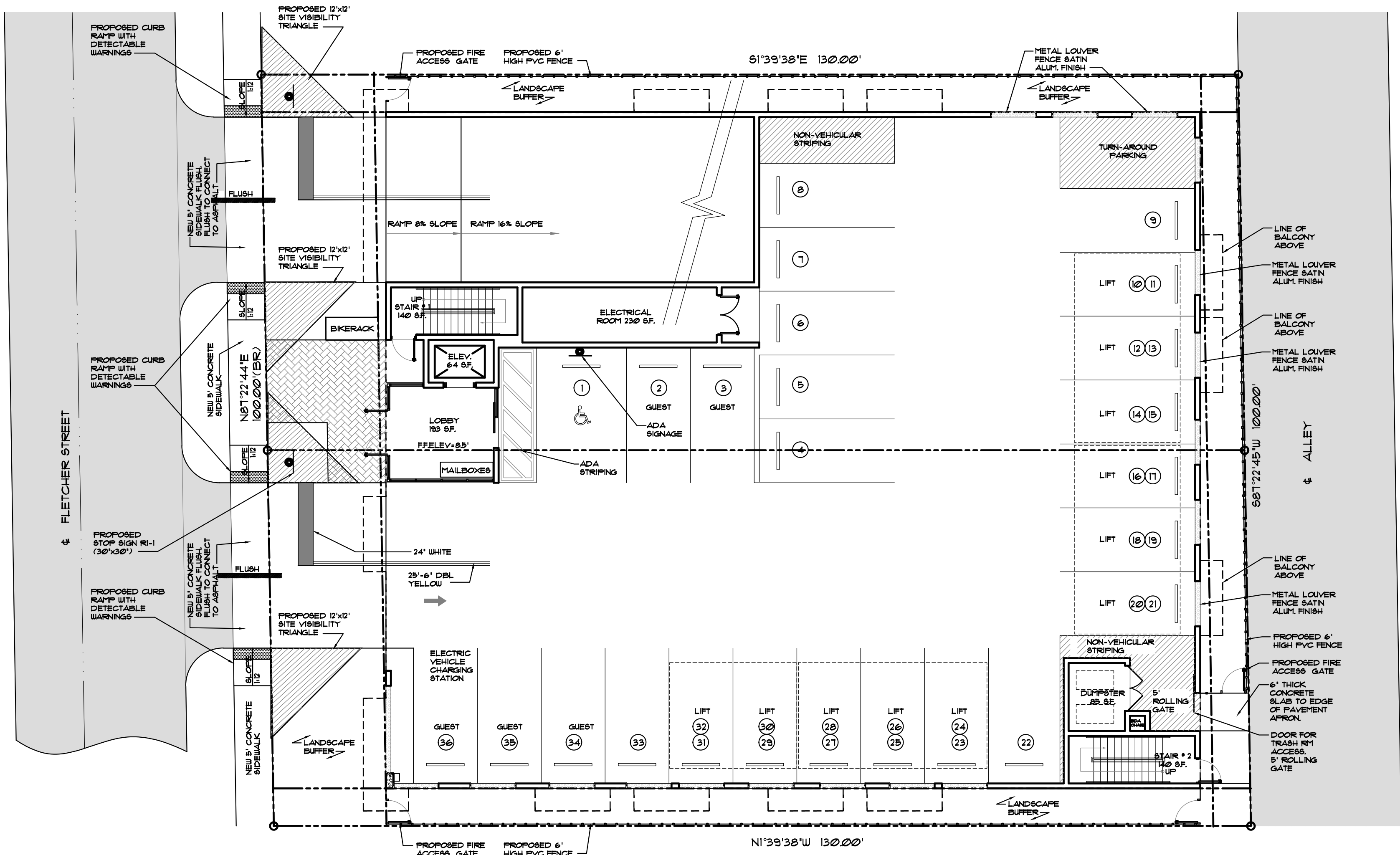
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HOLLYWOOD, FLORIDA 33020

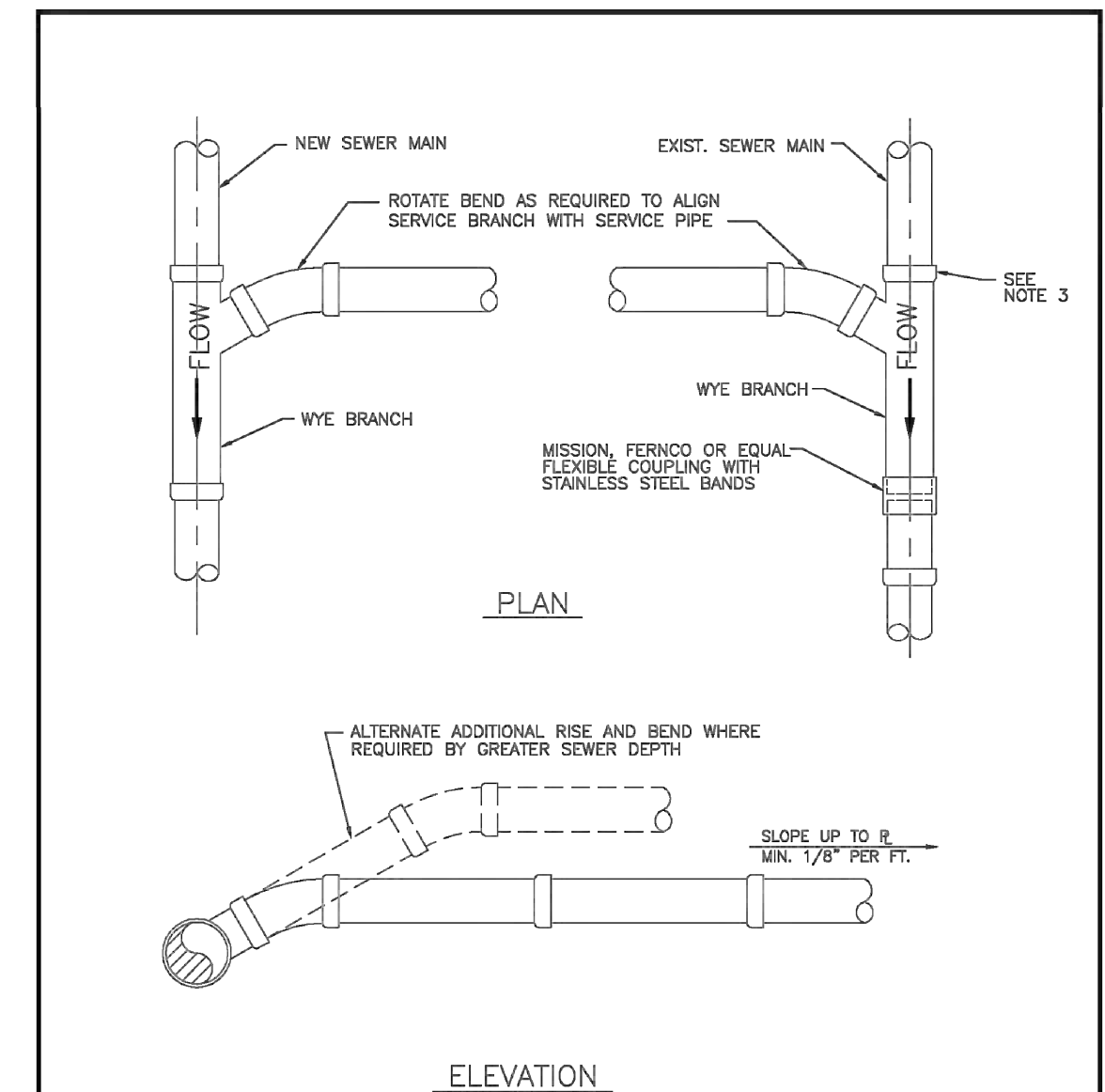
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DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO. S-09
APPROVED: XXX		


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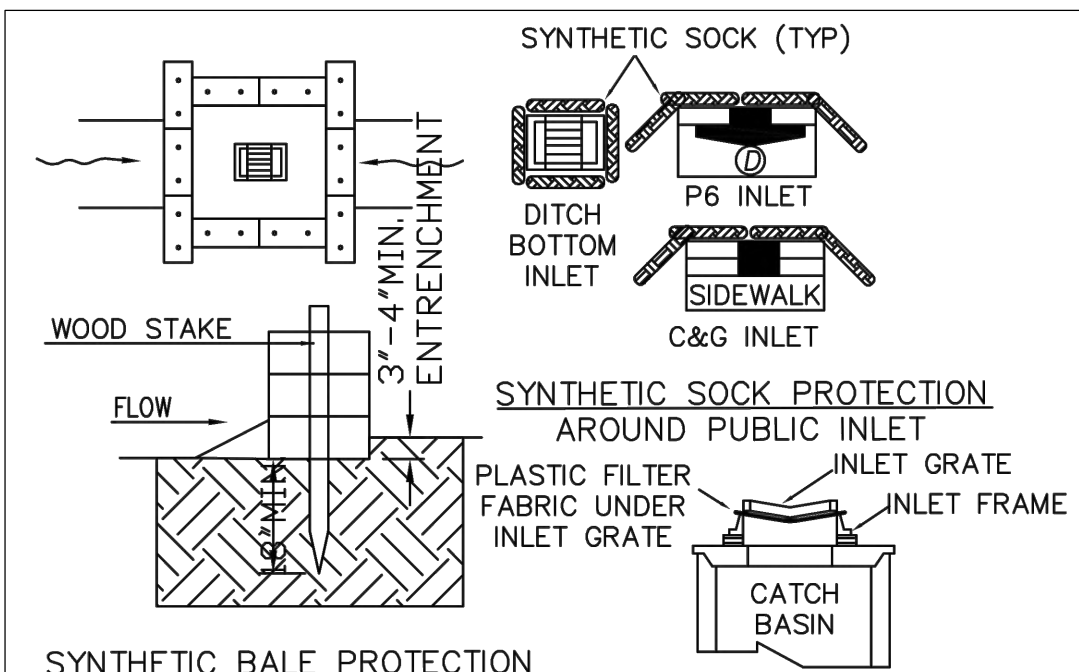
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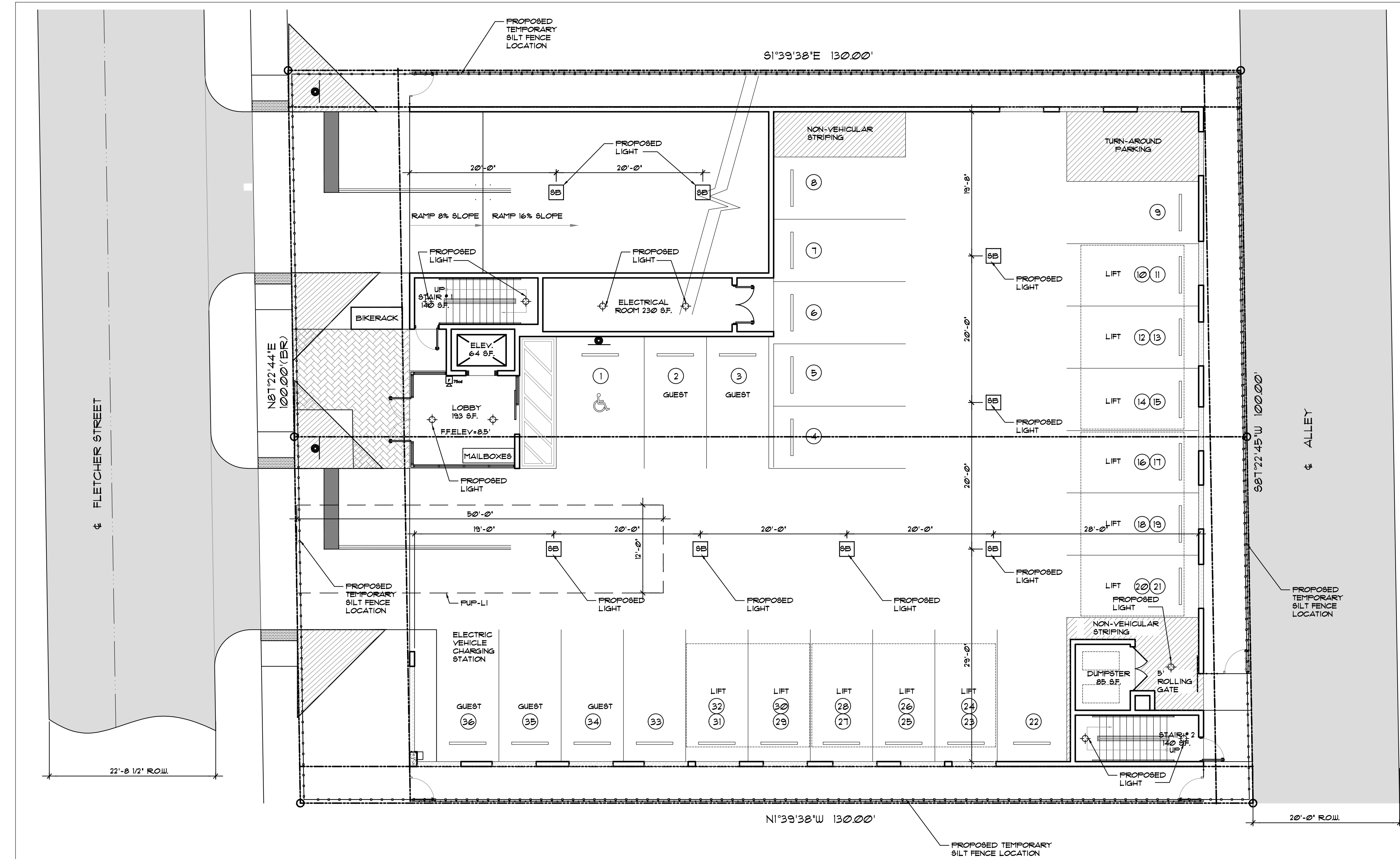
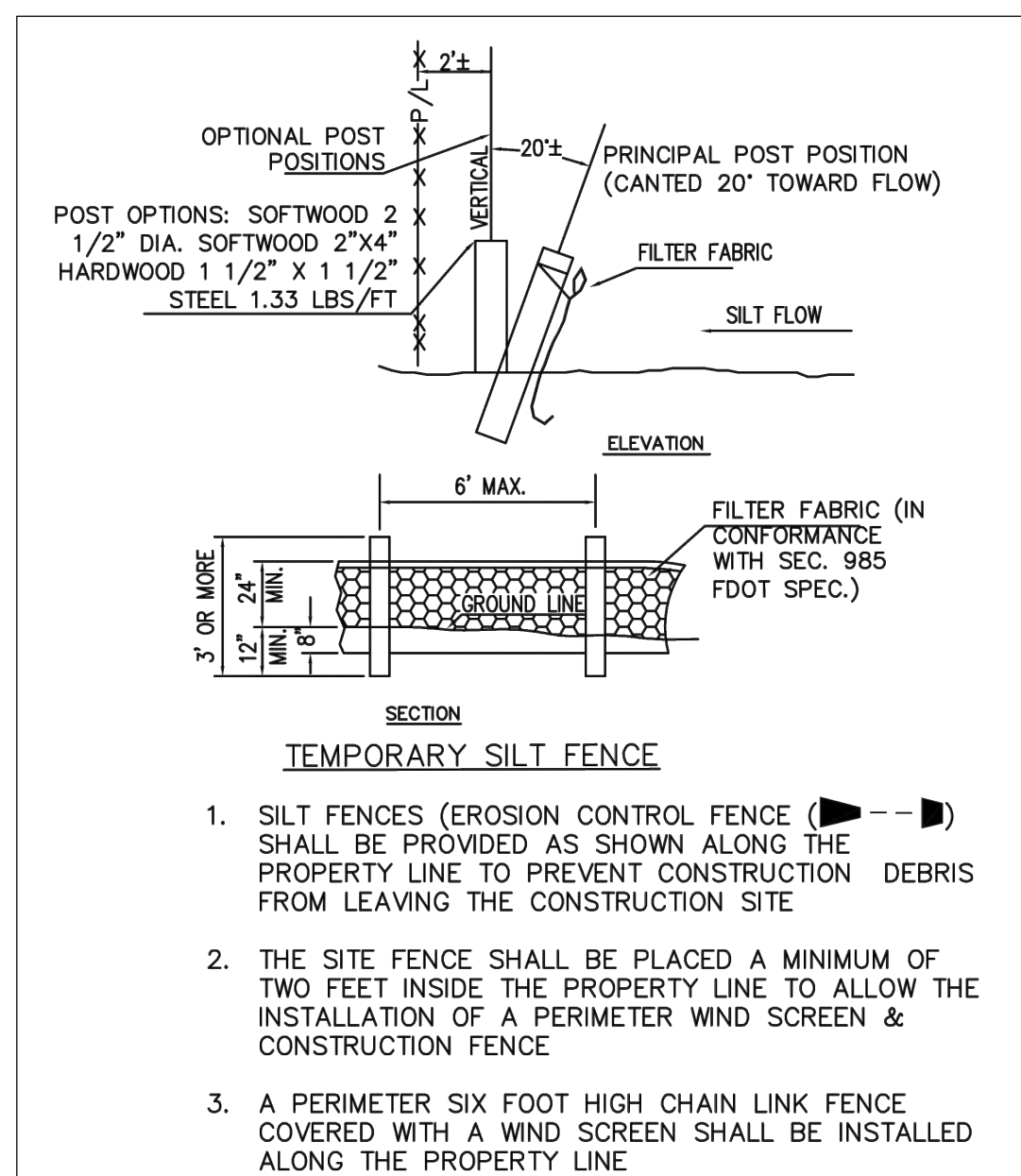
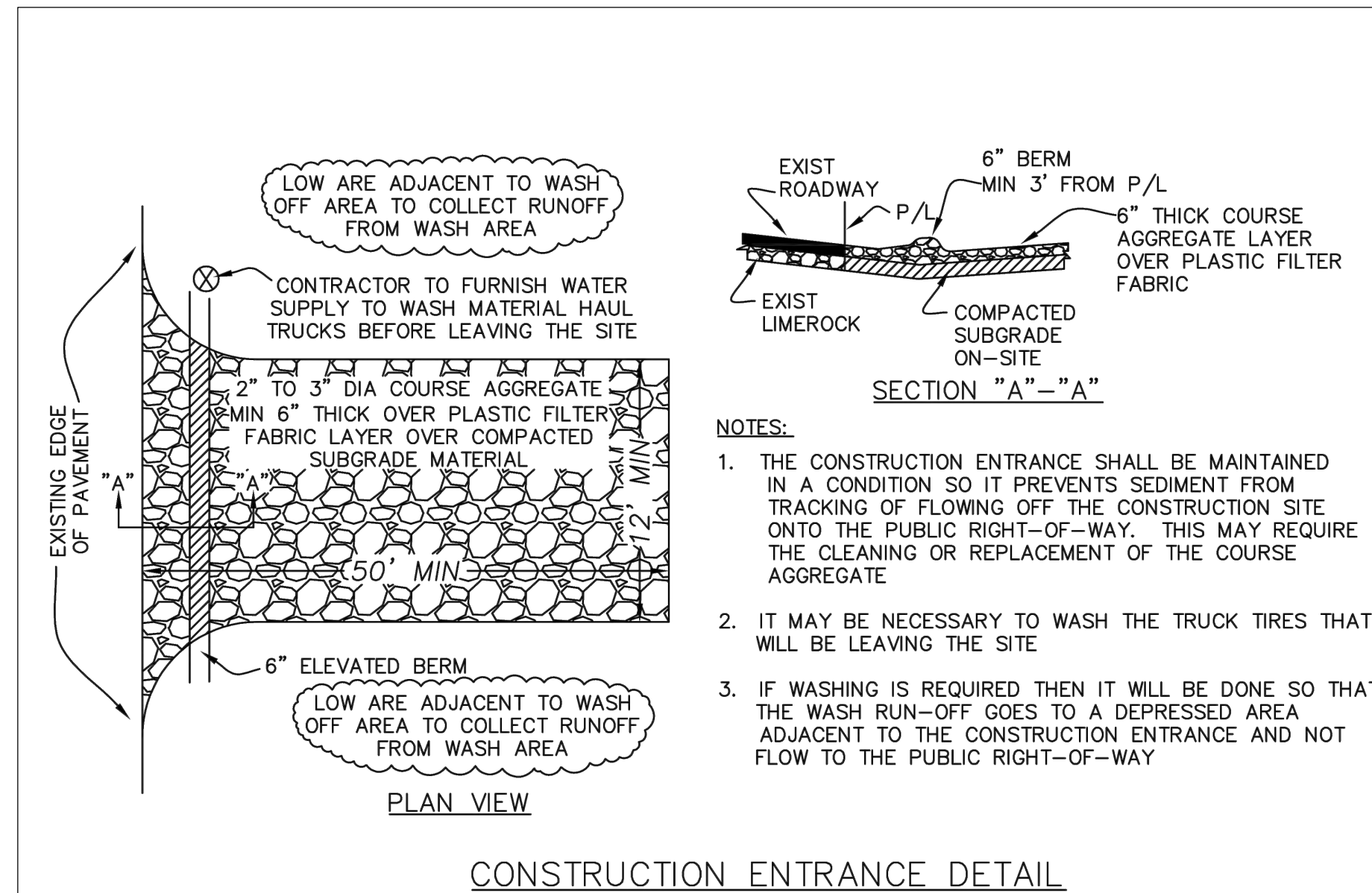
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C-1.4
 OF SHEETS



- SYNTHETIC BALE PROTECTION AROUND PRIVATE INLET**
- NOTES:
1. SYNTHETIC BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2 - 1" X 2" (OR 1" DIA.) X 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER
 2. ADJACENT SYNTHETIC BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING
 3. SYNTHETIC BALES SHALL BE INSTALLED AT ALL NEW INLETS ON PRIVATE PROPERTY AND SYNTHETIC "SOCKS" ON EXISTING INLETS IN THE PUBLIC RIGHT OF WAY DURING CONSTRUCTION
 4. CONTRACTOR TO INSTALL PLASTIC FILTER FABRIC UNDER INLET GRATE ON ALL NEW INLETS AND IT SHALL REMAIN THERE FOR THE DURATION OF THE CONSTRUCTION



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2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

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C-1.5
OF SHEETS

This item has been digitally signed and sealed by Sharon Aylward Cox, P.E. on the date adjacent to the seal.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Landscape Data:

RAC Zoning - PR (Pembroke Road Mixed-Use District)	Required	Provided
Perimeter Landscape One 12' street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	3 Trees (100/30)	3 Trees (See Schedule)
Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.	18 Trees (360/20)	18 Trees (See Schedule)
Minimum Open Space All pervious areas must be landscaped with grass, ground cover, and/or shrubbery. Minimum of one tree per 1,000 sq. ft. of pervious area. Ground Floor: 2,170 sf Sixth (6th) Floor: 587 sf	2 Trees	2 Trees (See Schedule)
Total Required:	1 Trees 3 Trees (2,757 SF)	1 Trees 3 Trees (See Schedule)
Minimum Tree Sizes Shade trees: 2" DBH/ 12' height. Palm trees: 8' of GW or CT. (One Palm = 1 Tree Credit)		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	14 Trees 60 Shrubs	23 Trees 119 Shrubs

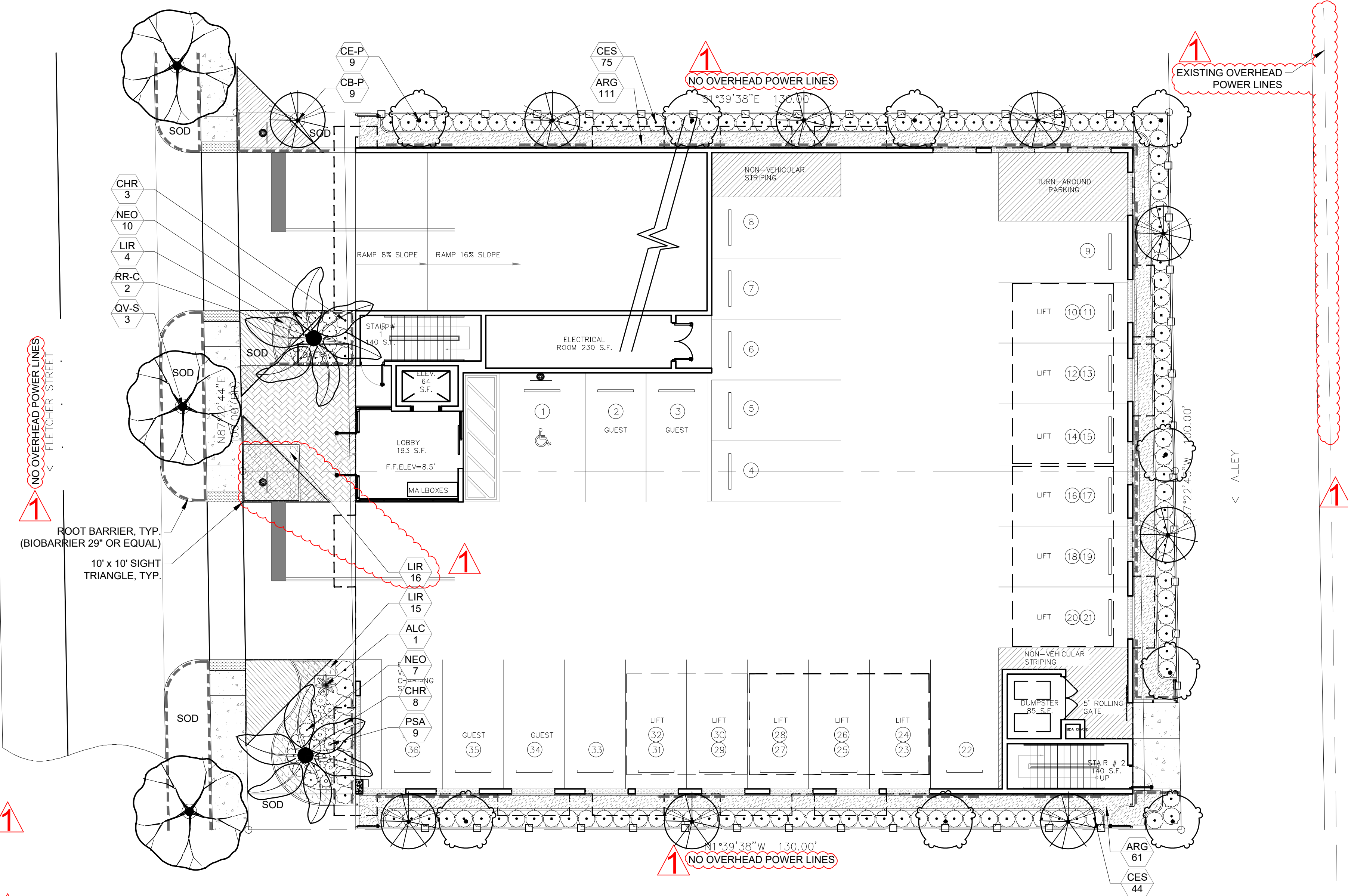
Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- Landscape adjacent to vehicular traffic to be maintained to preserve site line visibility.
- Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.
- Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Plant Schedule:

PERIMETER TREES	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	QTY	
CE-P	Conocarpus erectus 'sericeus'	Silver Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	9	
CB-P	Cordia sebestena	Orange Geiger Tree	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	9	
CODE TREES	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	QTY	
RR-C	Roystonea regia	Royal Palm	FG, 8' CT, SGL, SP	Yes	2	
PALM TREES	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	QTY	
PE	Ptychosperma elegans	Alexander Palm	FG, 8' CT, SGL, SP	No	3	
STREET TREES	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	QTY	
QV-S	Quercus virginiana	Southern Live Oak	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	3	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	QTY	
ALC	Alcantarea odorata	Giant Silver Bromeliad	7G, 36" OA, F, SP, AS	No	1	
CHR	Chrysobalanus icaco `Redtip`	Red Tip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC	Yes	11	
CVP	Codiaeum variegatum `Petra`	Bravo Croton	3G, 24" OA, F,	No	15	
CES	Conocarpus erectus sericeus	Silver Buttonwood	3G, 30" HT x 24" SPR, FTB, 30" OC	Yes	119	
CAL	Cordyline fruticosa `Auntie Lou`	Ti Plant	7G, 4' HT x 3' SPR, 3PP, SP, AS	No	2	
NEO	Nerium Oleander `Ice Pink`	Ice Pink Oleander	3G, 24"X18", F, 24" OC	No	17	
PSA	Pennisetum setaceum `Alba`	White Leaved Fountain Grass	3G, 18" OA, F,	No	9	
PHX	Philodendron `Xanadu`	Xanadu Philodendron	3G, 24" OA, F, 30" OC	No	30	
STN	Strelitzia nicolai	White Bird of Paradise	15G, 5'-6' HT, 5PP, F, SP	No	1	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	SPACING	QTY
ARG	Arachis glabrata `Ecoturf`	Perennial Peanut	FG, Sod	No	24" o.c.	172
LIR	Liriope muscari `Big Blue`	Big Blue Liriope	1G, 12" OA, F,	No	24" o.c.	122
SOD	Stenotaphrum secundatum	St. Augustine grass	Sod, Free of Weeds, Pests, & Debris	No		

*Note: Plant schedule includes roof gardens; see sheet two for roof garden details.



Disclaimer: Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

Project Team

Landscape Architect:

LAS

LANDSCAPE ARCHITECTURAL SERVICES, LLC

1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1357 | brandon@las-fl.com

Architect:

LIR Architects, Inc.

ARCHITECTURE & PLANNING

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PROPOSED 47-UNIT MIXED USE DEVELOPMENT FOR:
2022-2026 FLETCHER STREET
2022-2026 Fletcher Street, Hollywood, FL 33020
Landscape Plan

Revisions		
Date	Init.	Description
01.20.23	DC	Initial Submittal
03.06.23	DC	Revised per Comments

REGISTERED LANDSCAPE ARCHITECT

PAUL A. GOULAS

LA 6666807

STATE OF FLORIDA

PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: DC

Checked By: PG

Municipal Project:

Scale:

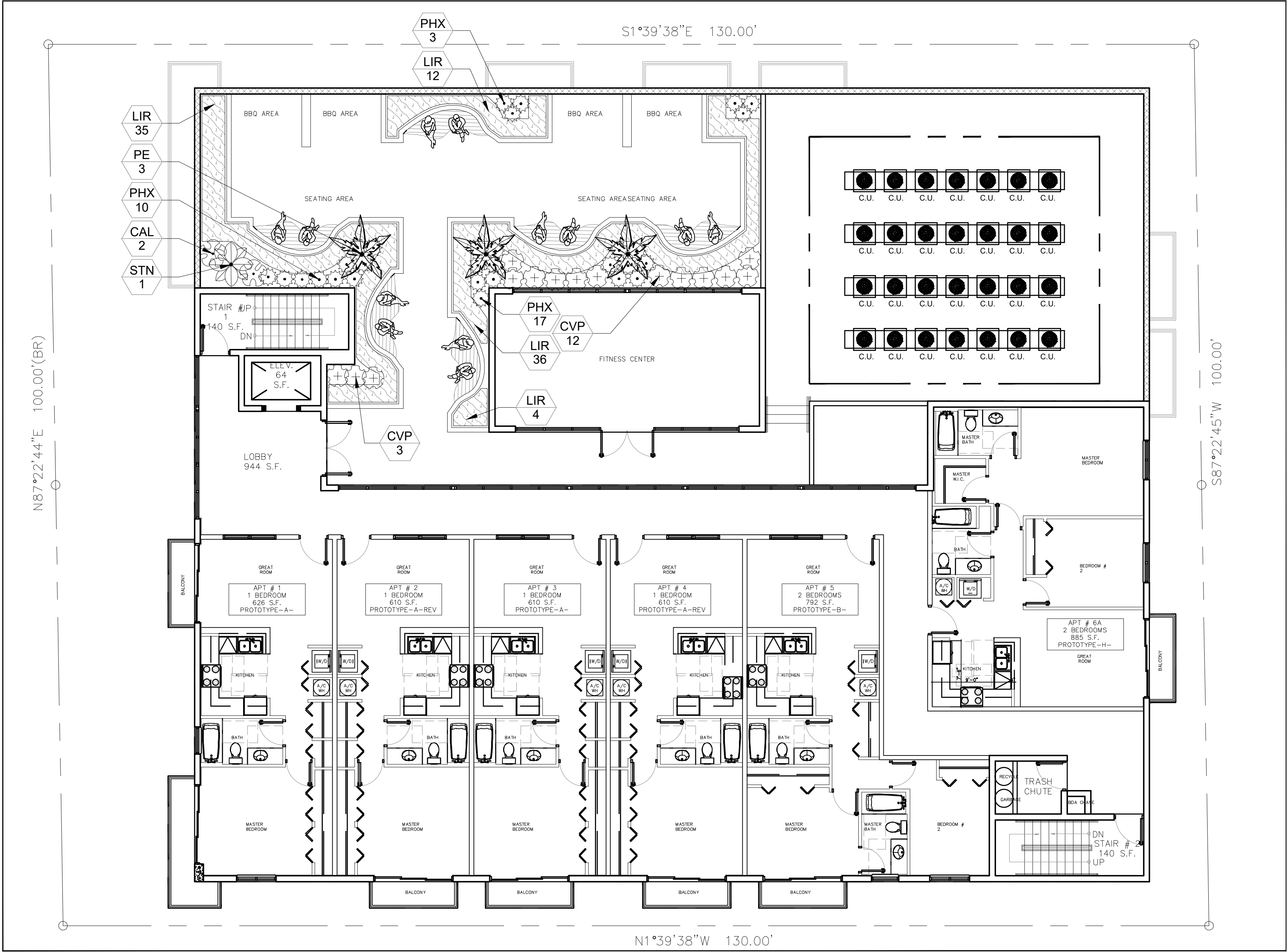
NORTH

SCALE: 1" = 8'

0 4' 8' 16'

LS-01





6th Floor Roof Garden

⚠ Disclaimer: Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

6th Floor Roof Garden Plant Schedule:

PALM TREES		BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	QTY	
PE		Ptychosperma elegans	Alexander Palm	FG, 8` CT, SGL, SP	No	3	
SHRUBS		BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	QTY	
CVP		Codiaeum variegatum `Petra`	Bravo Croton	3G, 24" OA, F,	No	15	
CAL		Cordyline fruticosa `Auntie Lou`	Ti Plant	7G, 4` HT x 3` SPR, 3PP, SP, AS	No	2	
PHX		Philodendron `Xanadu`	Xanadu Philodendron	3G, 24" OA, F, 30" OC	No	30	
STN		Strelitzia nicolai	White Bird of Paradise	15G, 5`-6` HT, 5PP, F, SP	No	1	
GROUND COVERS		BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	SPACING	QTY
LIR		Liriope muscari `Big Blue`	Big Blue Liriope	1G, 12" OA, F,	No	24" o.c.	87

Roof Garden Notes:

- All structural & waterproofing details by others.
- All roof garden planters to be filled with potting soils suitable for plant health & growth; all soils to be approved by structural engineer & landscape architect prior to installation.

Project Team

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LAS

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Roof Garden Landscape Plan

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LA 6666807

STATE OF FLORIDA

PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: DC
Checked By: PG
Municipal Project:
Scale:

NORTH

SCALE: 1" = 8'

0 4' 8' 16'

LS-02

Landscape Specifications:

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE:
- A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02 AGENCY STANDARDS:
- A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
- 1.03 SITE EXAMINATION:
- A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.
- 1.04 ERRORS AND OMISSIONS:
- A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
- B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
- C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
- 1.05 EXECUTION OF THE WORK:
- A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
- B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
- C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.
- 1.06 PROTECTION OF PUBLIC AND PROPERTY:
- A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.
- 1.07 CHANGES AND EXTRAS:
- A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.
- 1.08 GUARANTEE:
- A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.
- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.
- 1.09 CARE AND MAINTENANCE:
- A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
- B. The Owner agrees to execute the instructions for such care and maintenance.
- 1.10 SAFETY:
- A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).
- 1.11 CONTRACTOR QUALIFICATION:
- A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
 2. A listing of not less than (3) completed projects of similar scope and nature.
 3. Permanent name and address of place of business.
 4. The number of regular employees of the organization and length of time the organization has been in business under the present name.
- 1.12 INSURANCE AND BONDING:
- A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.
- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.
- 1.13 PERMITS AND CERTIFICATES:
- A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

- 2.01 PLANT MATERIALS:
- A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
- B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
- C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
- D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
- E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
- F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

- 2.02 INSPECTION
- A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.
- 2.03 PROTECTION OF PLANT MATERIALS:
- A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
- B. Plants with broken, damaged or insufficient rootballs will be rejected.
- C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.
- D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.
- 2.04 STORAGE:
- A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
- B. No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
- C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
- D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.
- 2.05 PROTECTION DURING PLANTING:
- A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.

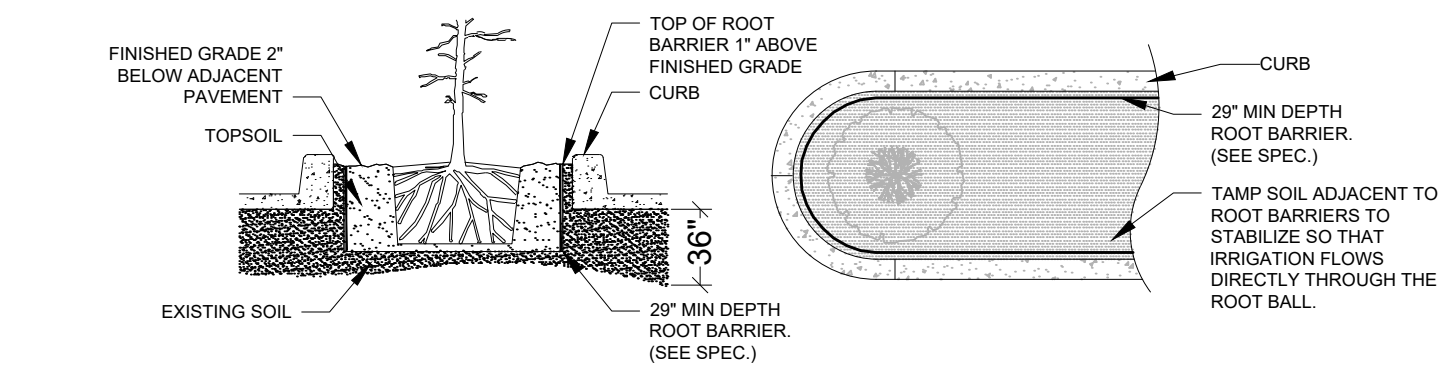
- 2.06 PLANTING SOIL:
- A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.
- 2.07 FERTILIZER:
- A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
- B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.
- C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:
- | | |
|--------------------|-----------|
| 1 gallon container | 1 tablet |
| 3 gallon container | 2 tablets |
| 5 gallon container | 3 tablets |
| 7 gallon | 5 tablets |
- Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material.
- The Landscape Architect reserves the right to inspect and review the application of fertilizer.

- 2.08 MULCH:
- A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.
- B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks or as required by local jurisdiction.

PART 3: EXECUTION

- 3.01 DIGGING:
- A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be responsible and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.
- 3.02 GRADING:
- A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
- B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drainage, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.
- 3.03 PLANTING:
- A. Planting shall take place during favorable weather conditions.
- B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.
- C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been subgraded on the ground by the Contractor.
- D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".
- E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.
- F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil:
- 1 Gallon material (1 gal.): 12" x 12" x 12" min.
- 3 Gallon material (3 gal.): 20" x 20" x 18" min.
- Liner material (7 gal.): 30" x 30" x 24" min.
- Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.
- G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.
- H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
- I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.
- J. All flagging ribbon shall be removed from trees and shrubs before planting.
- K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
- L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2) inches deep with topsoil raked and left in a neat, clean manner.

- 3.04 PRUNING:
- A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
- B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.
- C. Trees shall not be poled or topped.
- D. Remove all trimmings from site.



NOTES:
1- ROOT BARRIER SHALL BE 29" BARRIER 29" DEPTH OR APPROVED EQUAL
2- ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

- 3.05 GUYING:
- A. All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.
- B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.
- D. Stake & Brace all trees larger than 12" oa. See detail.
- Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.
- E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
- 3.06 WATER:
- A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
- B. See General Notes of Landscape Plan for water source.

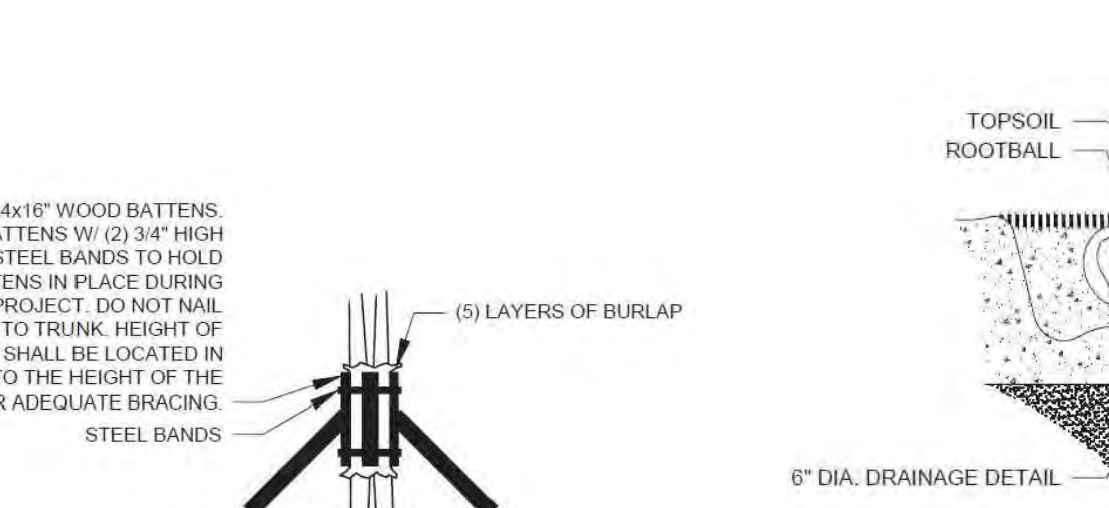
- 3.07 SOD:
- A. The Landscape Contractor shall sod all areas indicated on the drawings.
- B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.
- C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.
- D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- E. 6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
- F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
- G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.
- H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.
- 3.08 SEEDING:
- A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
- B. Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.
- C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
- D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.
- 3.09 CLEANING UP:
- A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.
- 3.10 MAINTENANCE:
- A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.
- B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.
- D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.
- 3.11 COMPLETION, INSPECTION AND ACCEPTANCE:
- A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
- B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
- C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
- D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER

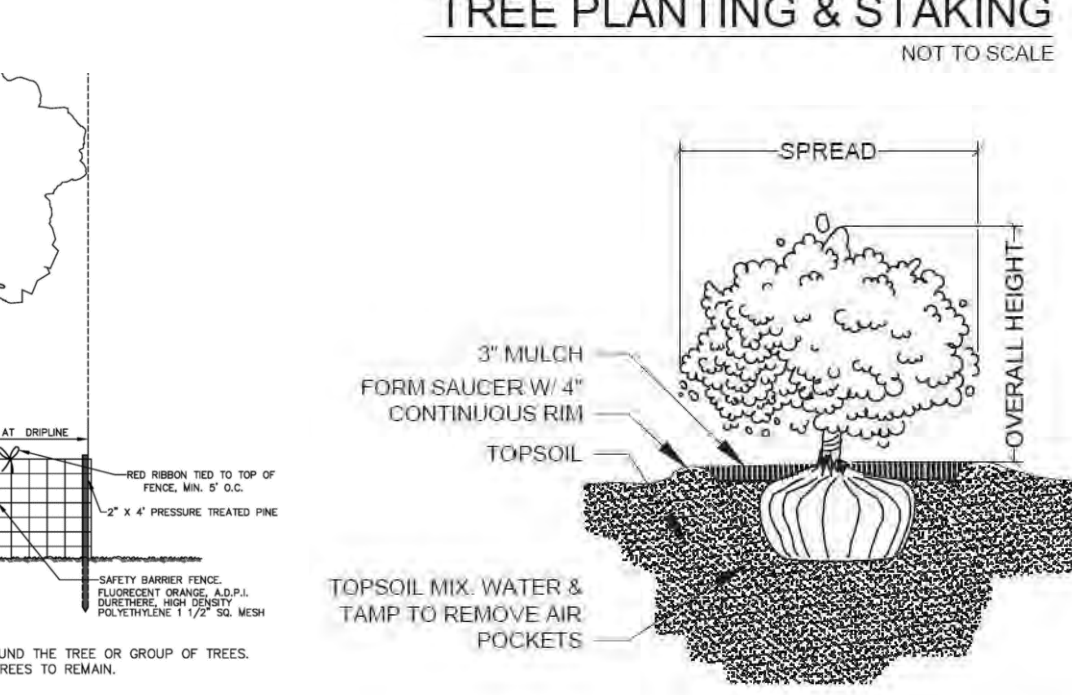
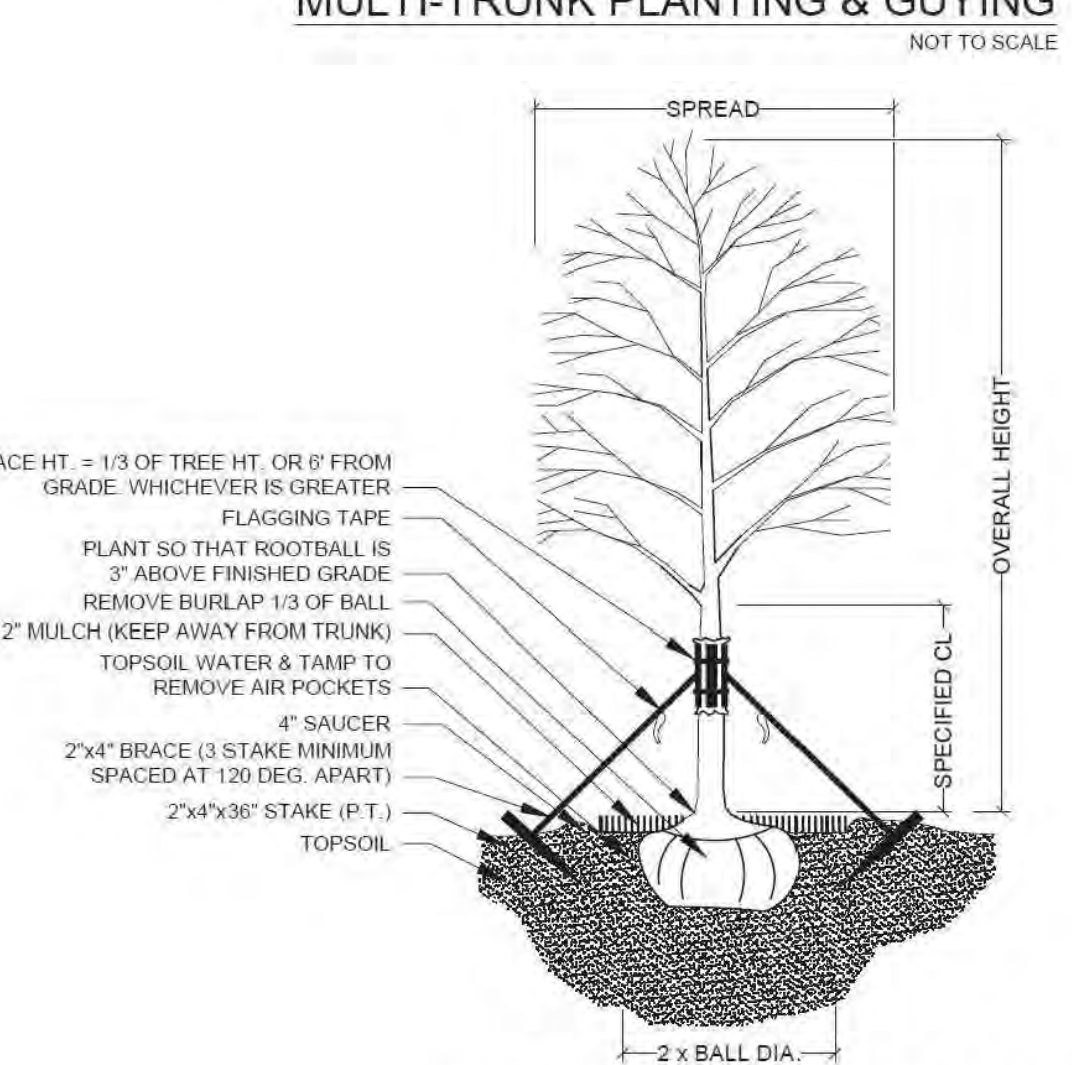
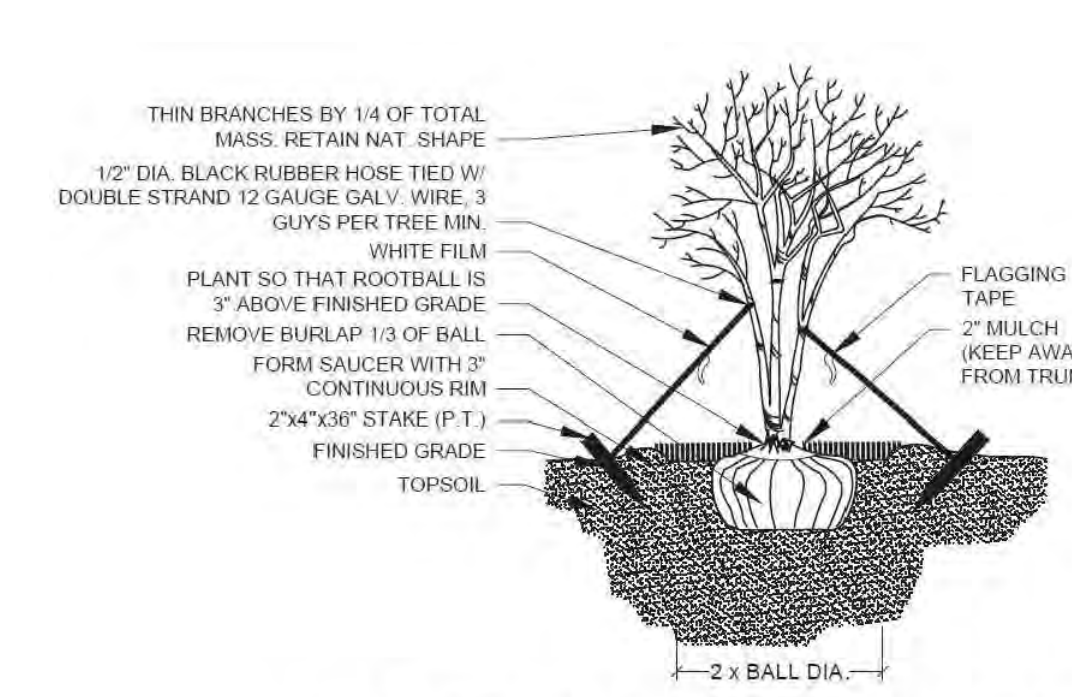
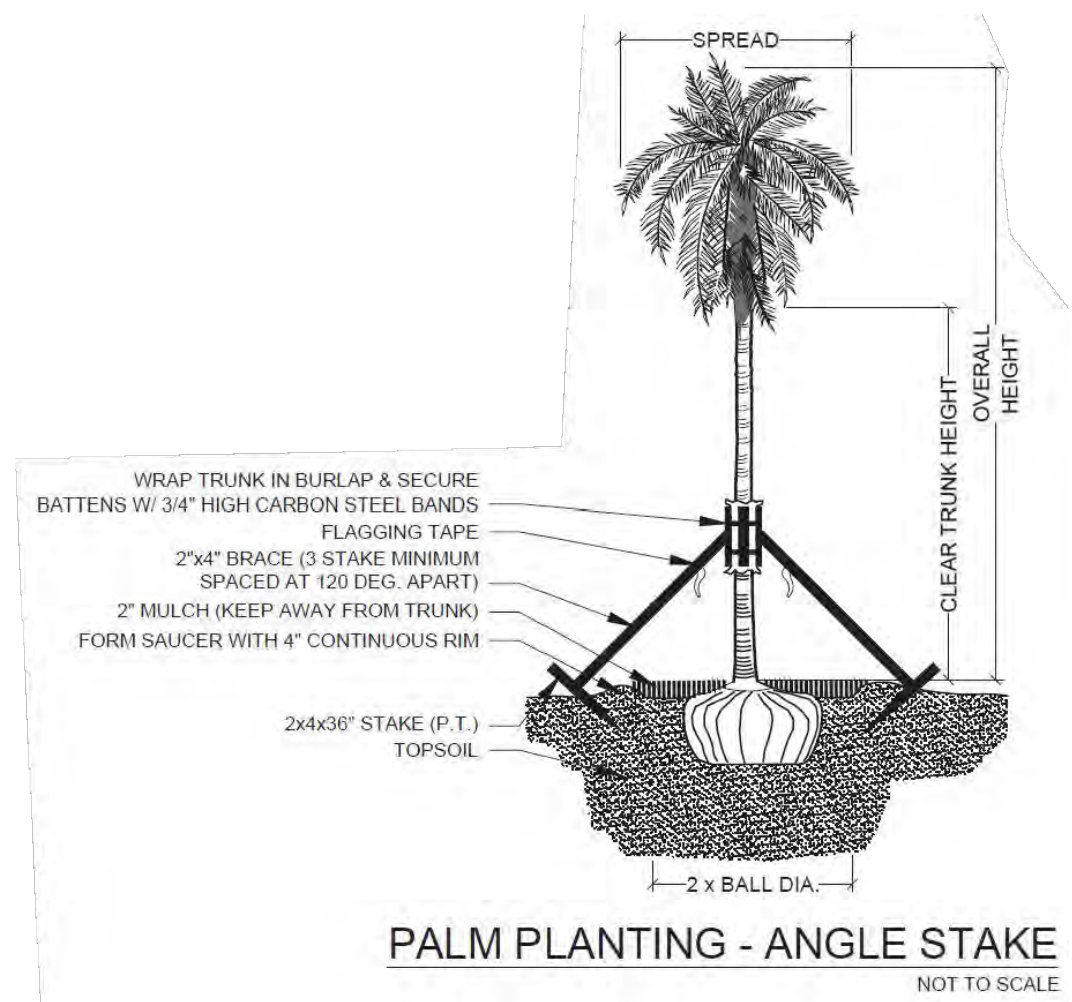
- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
- B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
- C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
- D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.

TREE PROTECTION DETAIL
NOT TO SCALE

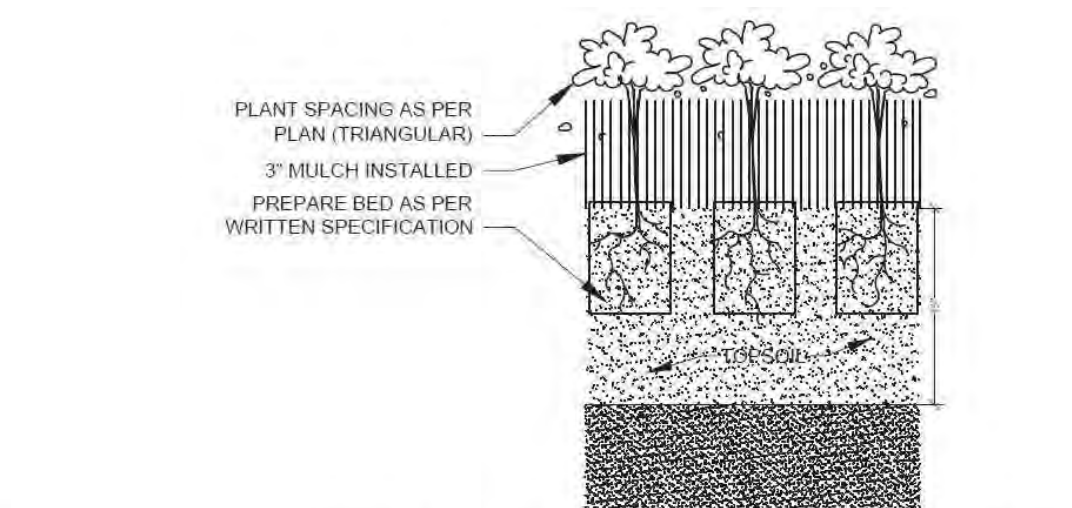


BRACING DETAIL
NOT TO SCALE

DRAINAGE TESTING DETAIL
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

Project Team

Landscape Architect:

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2022-2026 FLETCHER STREET
2022-2026 Fletcher Street, Hollywood, FL 33020
Landscape Details & Specifications

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REGISTERED LANDSCAPE ARCHITECT

LA 6666807

STATE OF FLORIDA

PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: DC

Checked By: PG

Municipal Project:

Scale:

NORTH

SCALE: 1" = N.T.S.

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LS-03



REVISION:	BY:

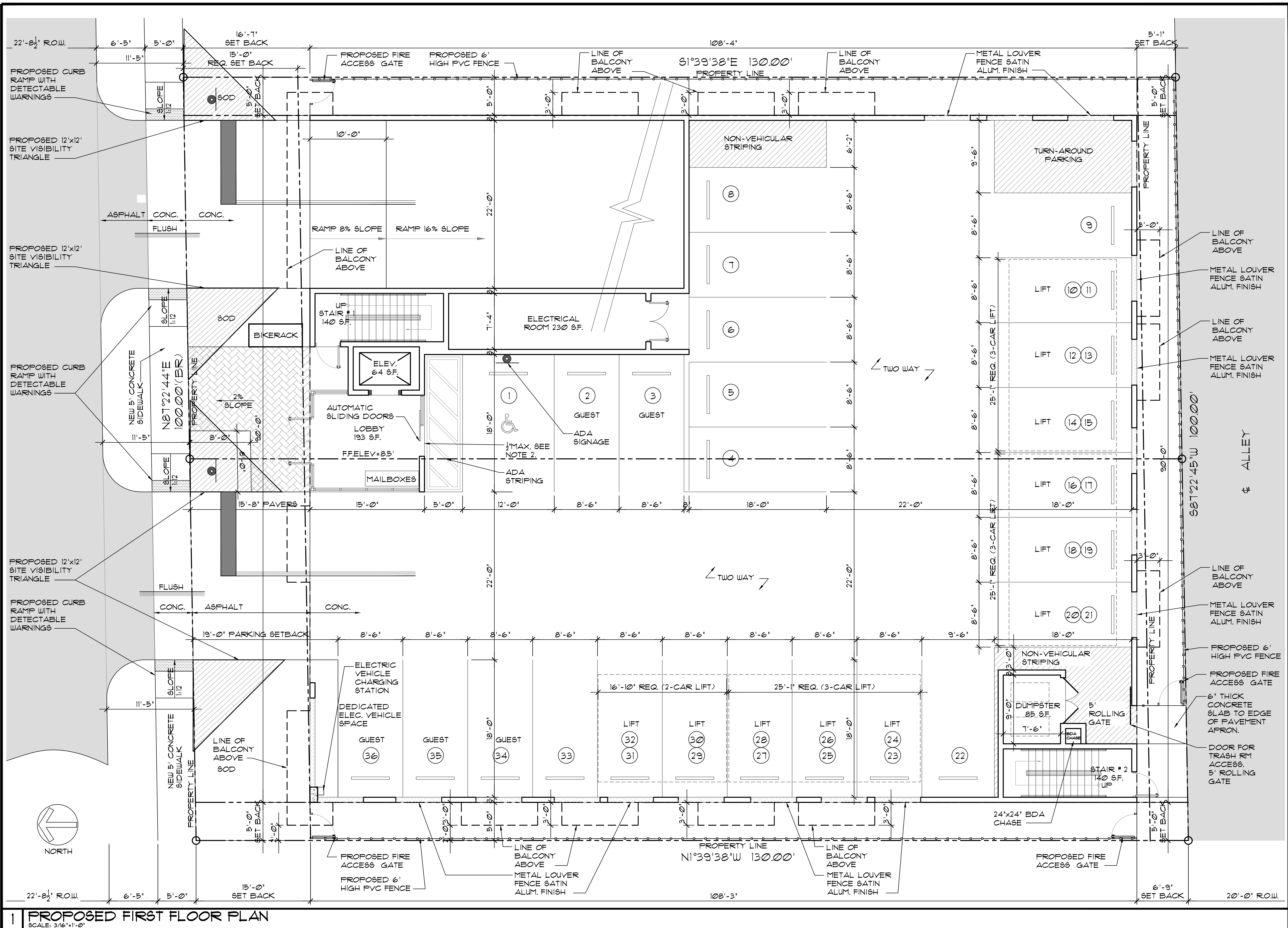
PROPOSED 42-UNITS MULTI FAMILY DEVELOPMENT FOR:
FLETCHER TWENTY LLC
2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	L.L.R.
DATE	11/08/21
SCALE	AS NOTED
JOB. NO.	021-020
SHEET	

$$\underline{A} = \begin{pmatrix} 1 & 1 \\ 1 & 1 \end{pmatrix}$$

OF SHEETS



REVISION:	BY:

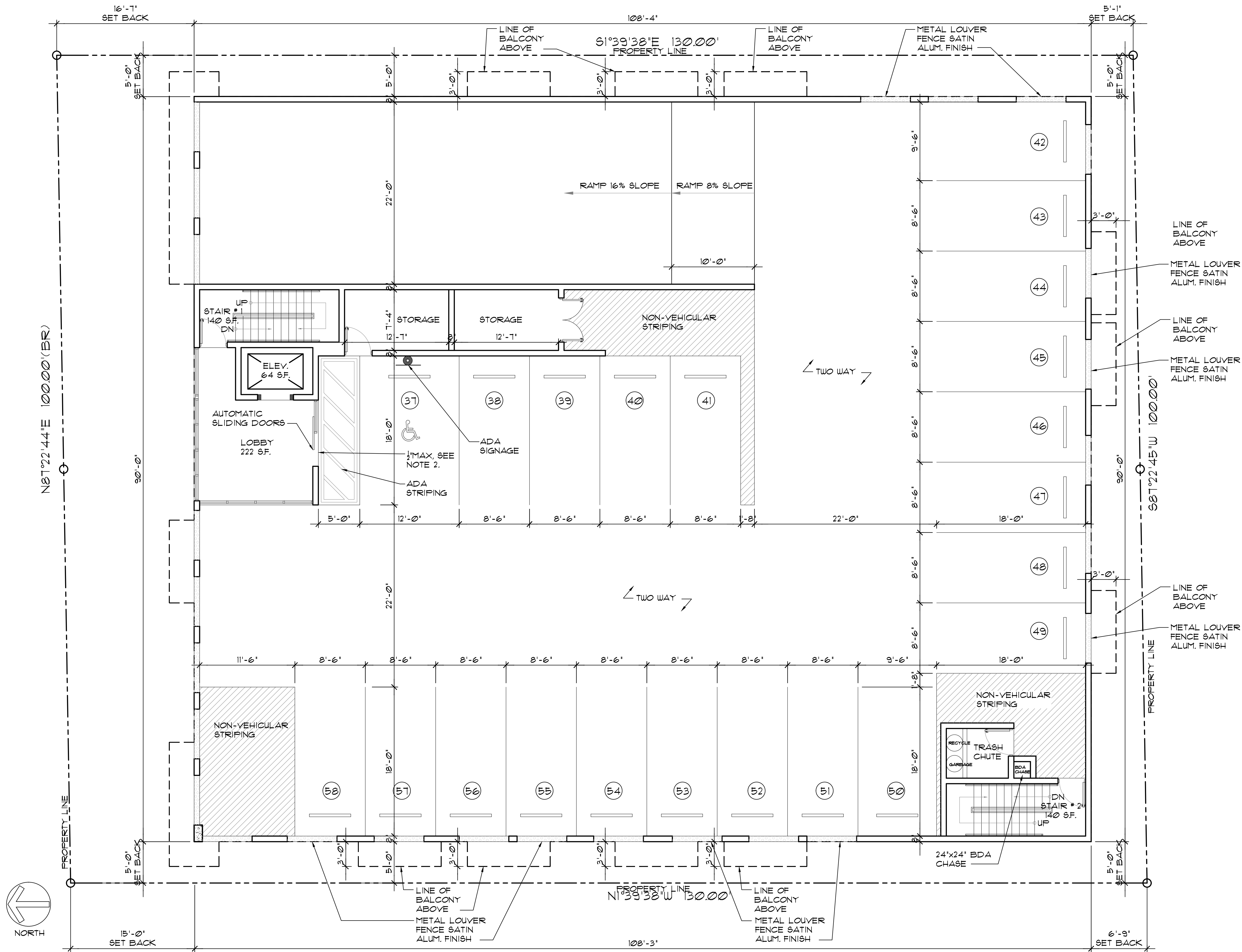
PROPOSED 42-UNITS MULTI FAMILY DEVELOPMENT FOR:
FLETCHER TWENTY LLC
2022-2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

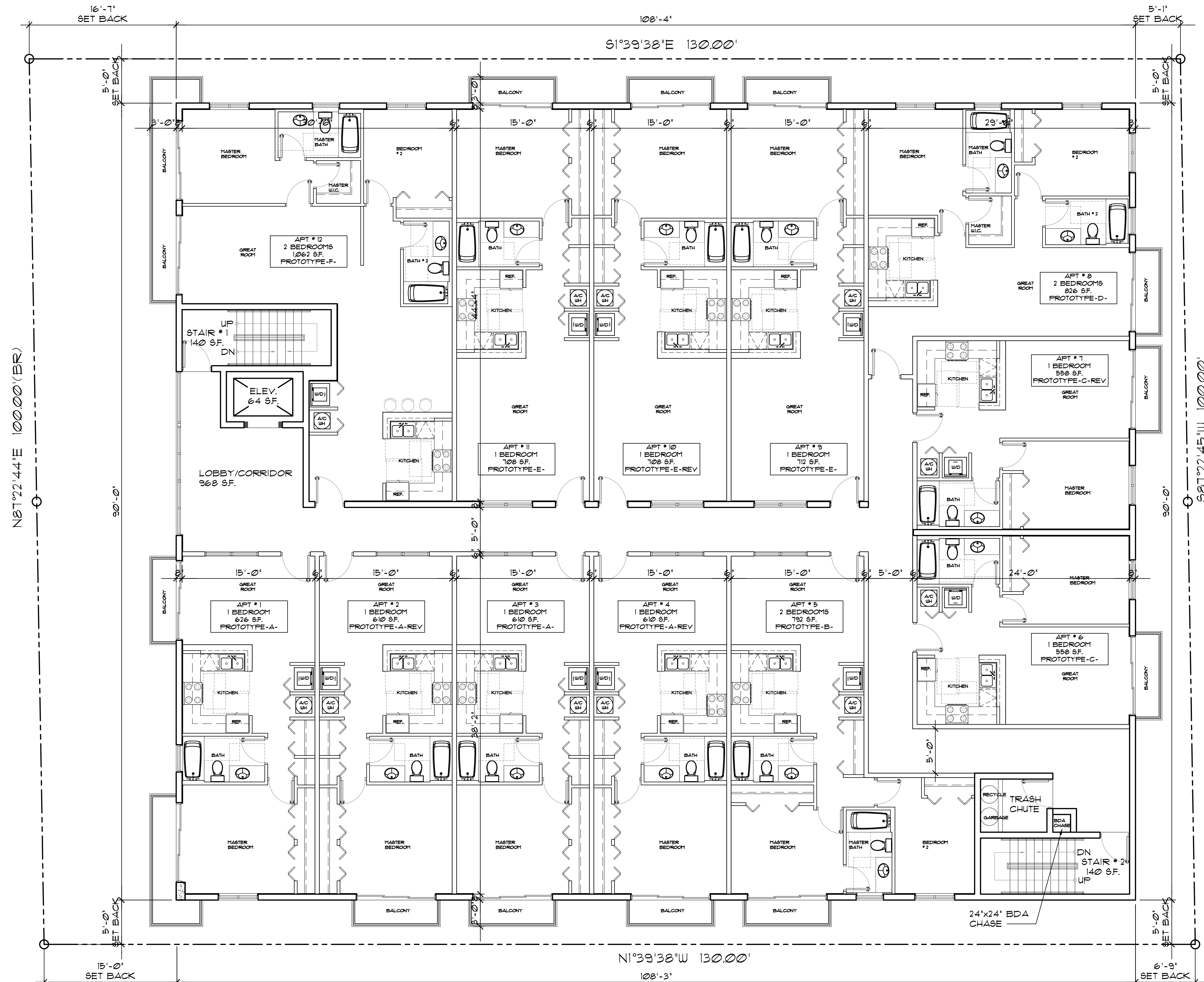
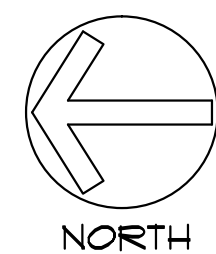
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DATE	11/08/21
SCALE	AS NOTED
JOB. NO.	021-020
SHEET	

A-1.2

OF SHEETS



1 PROPOSED SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



NOTE:
REFER TO SHEET A-1.6 & A-1.7
FOR ENLARGED PROTOTYPES

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Luis LaRosa-Registered
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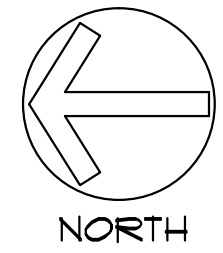
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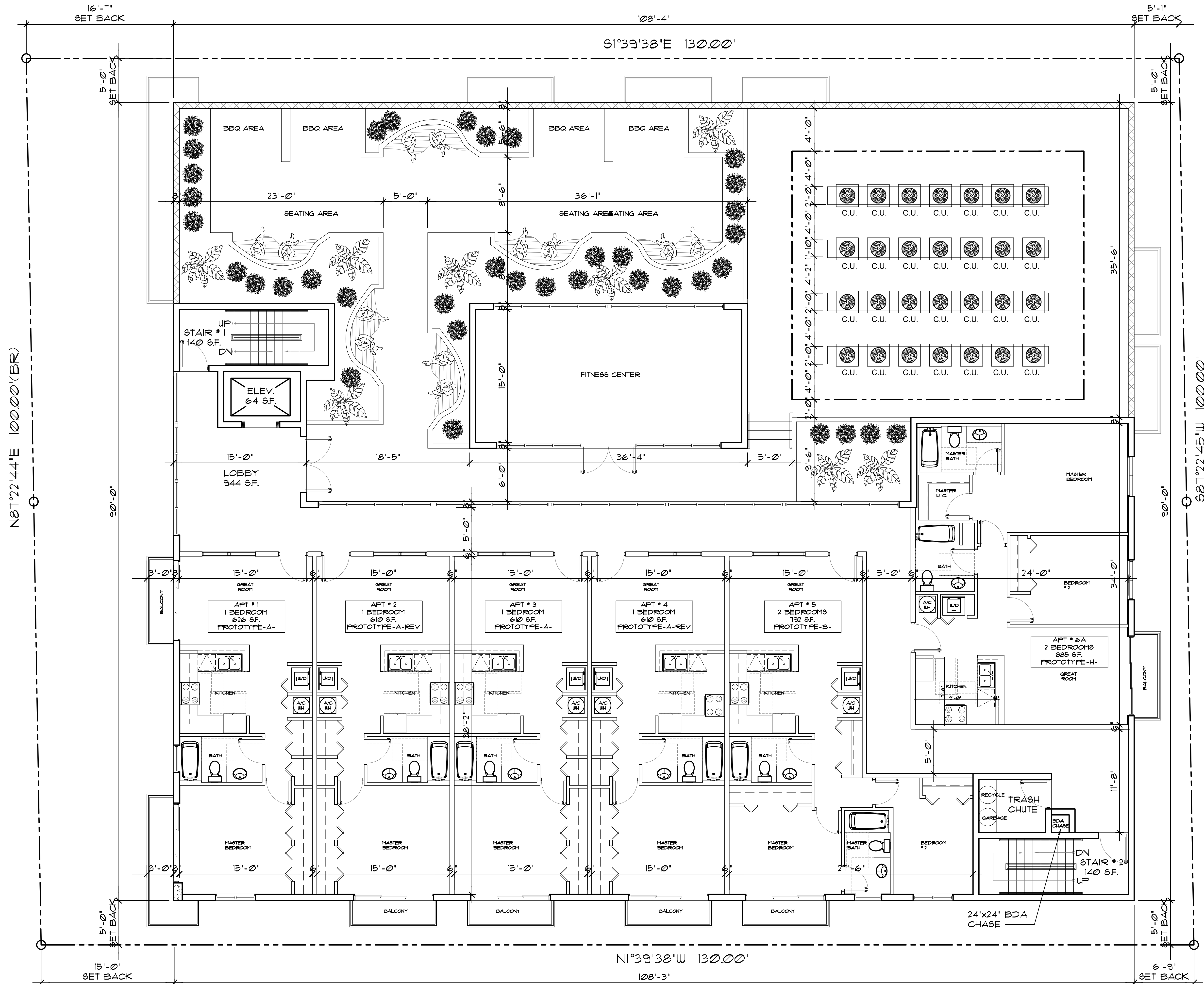
A-1.4

OF SHEETS



1 PROPOSED 6TH. FLOOR/ROOF PLAN

SCALE: 3/16"=1'-0"



NOTE:
REFER TO SHEET A-1.6 & A-1.7
FOR ENLARGED PROTOTYPES



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$$\Delta = 1.5$$

OF SHEETS



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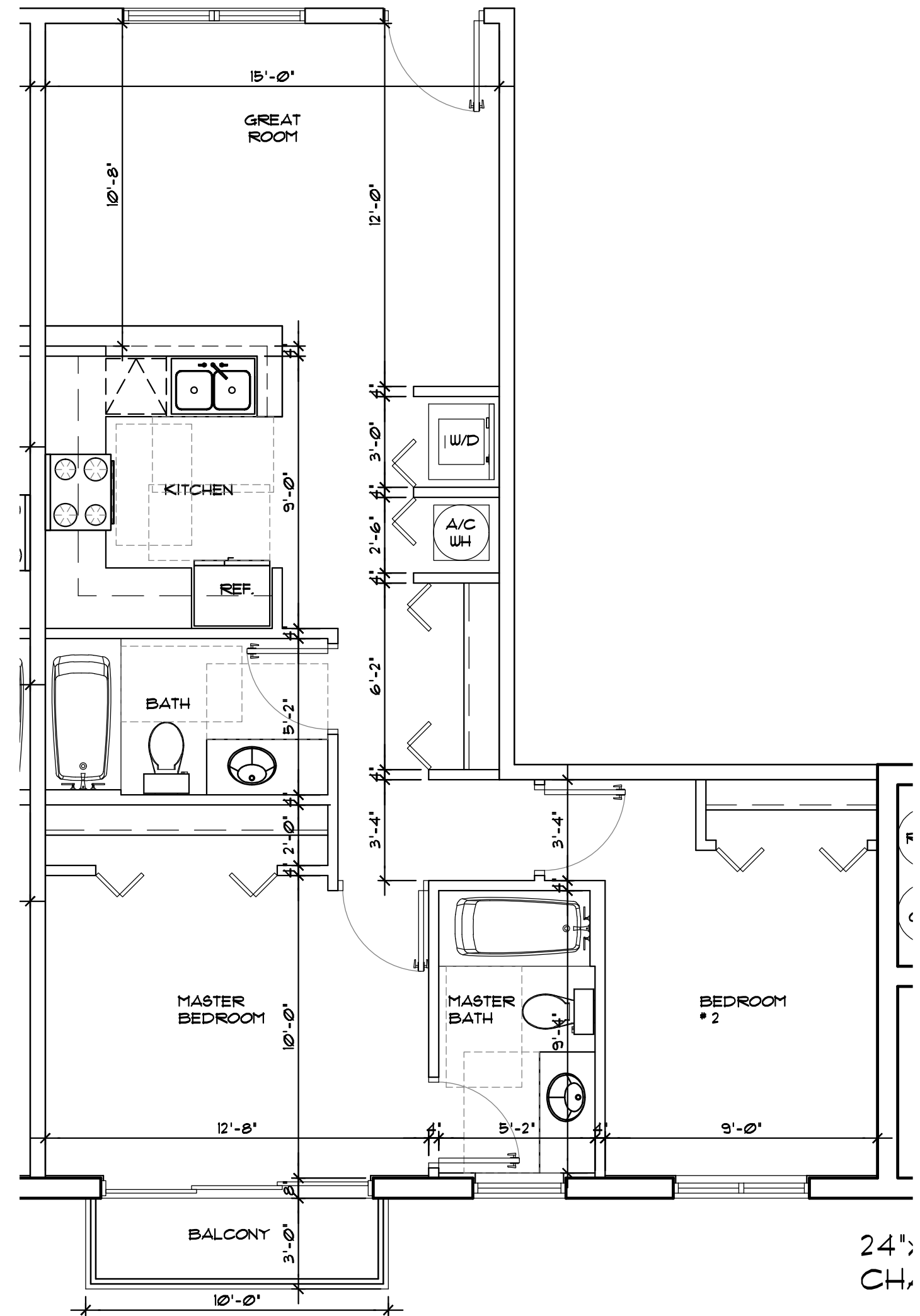
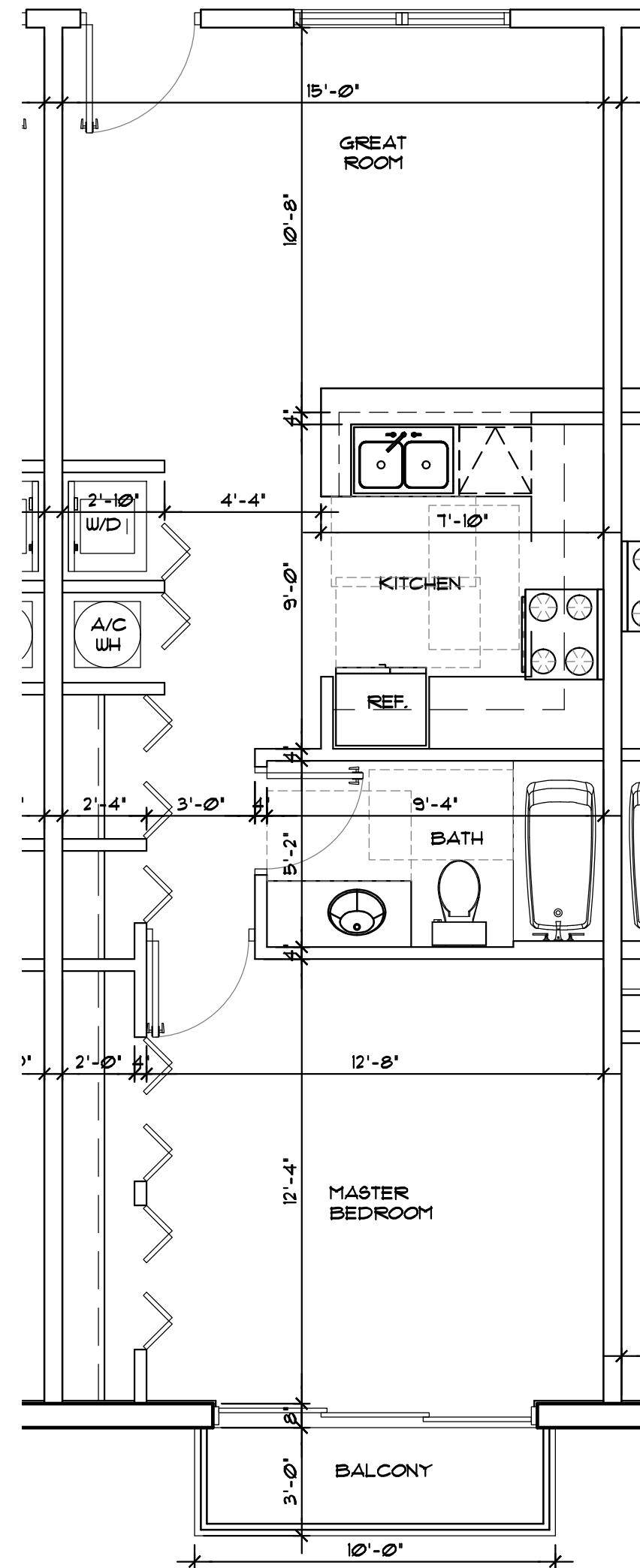
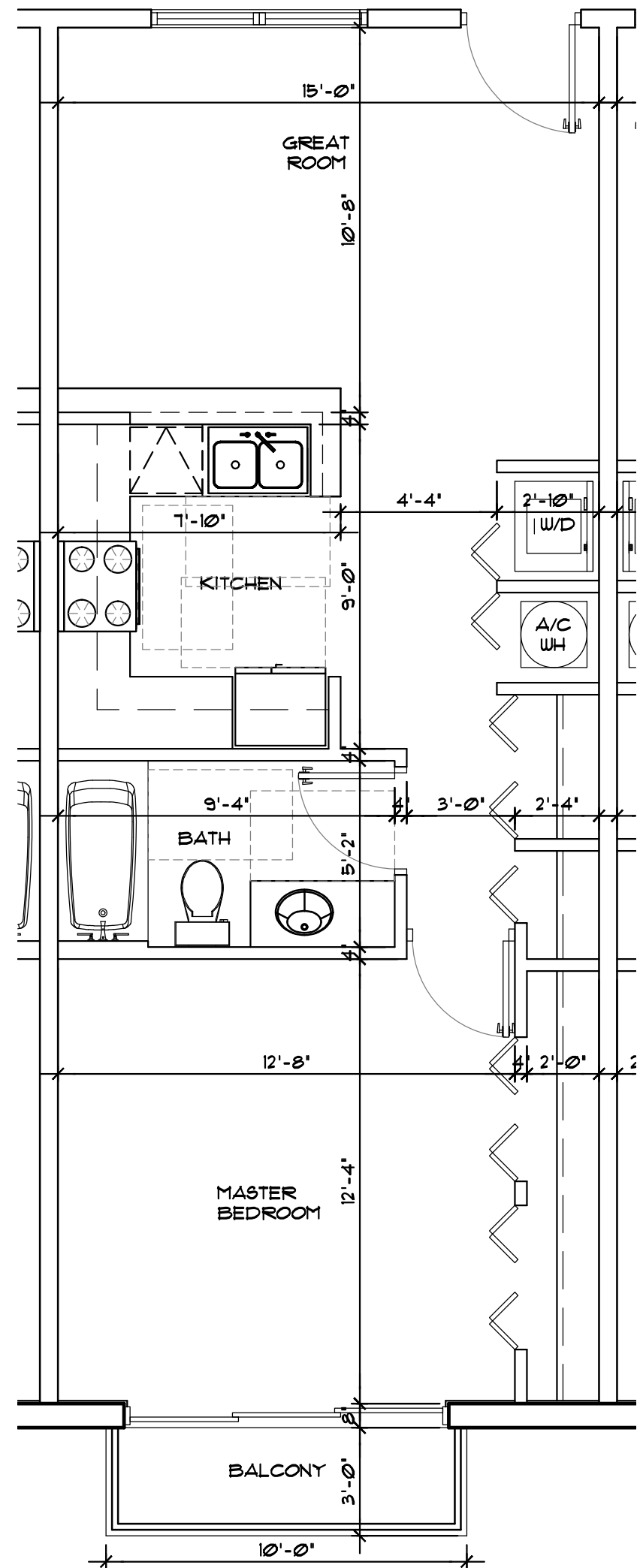
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A-1.6

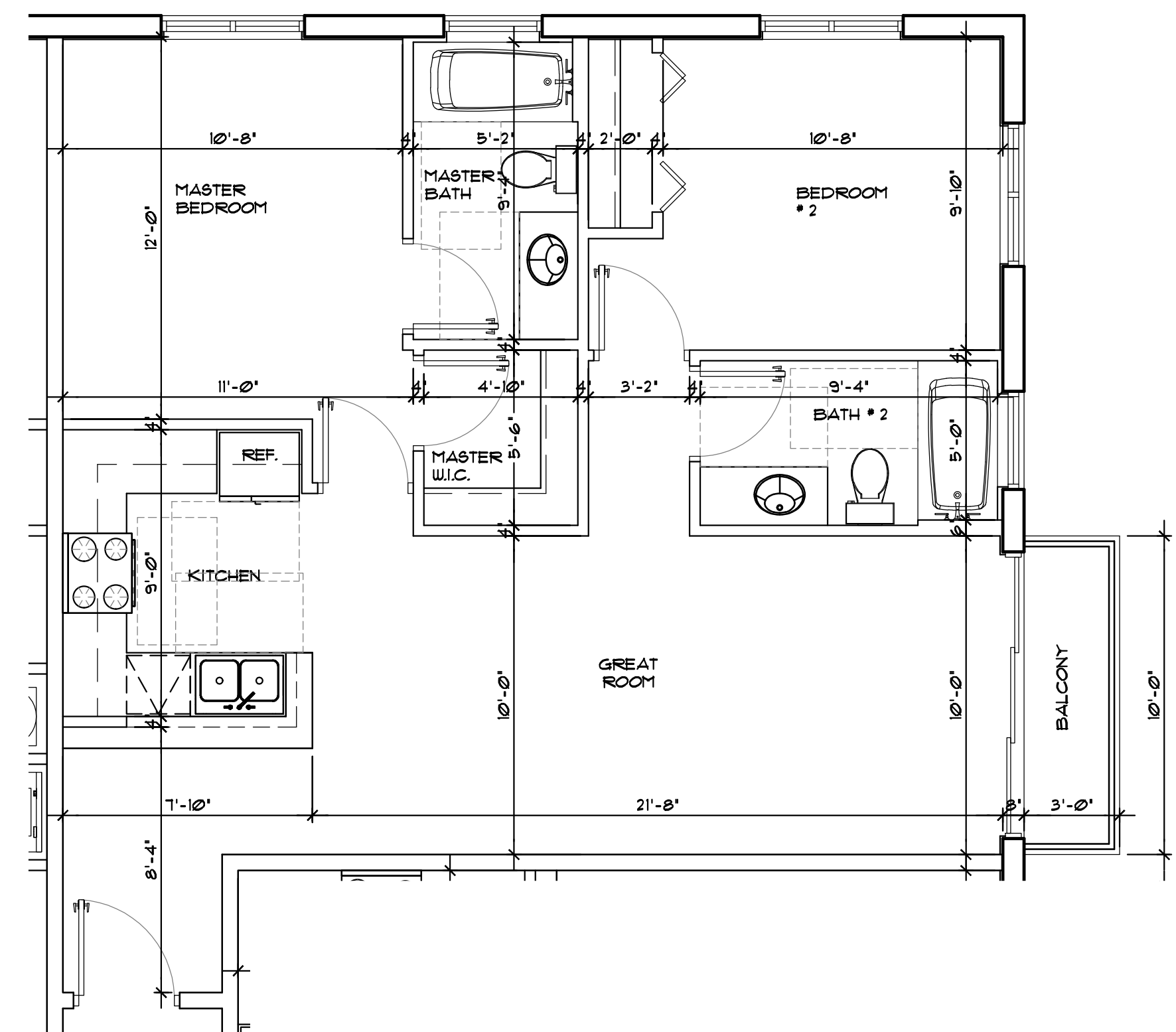
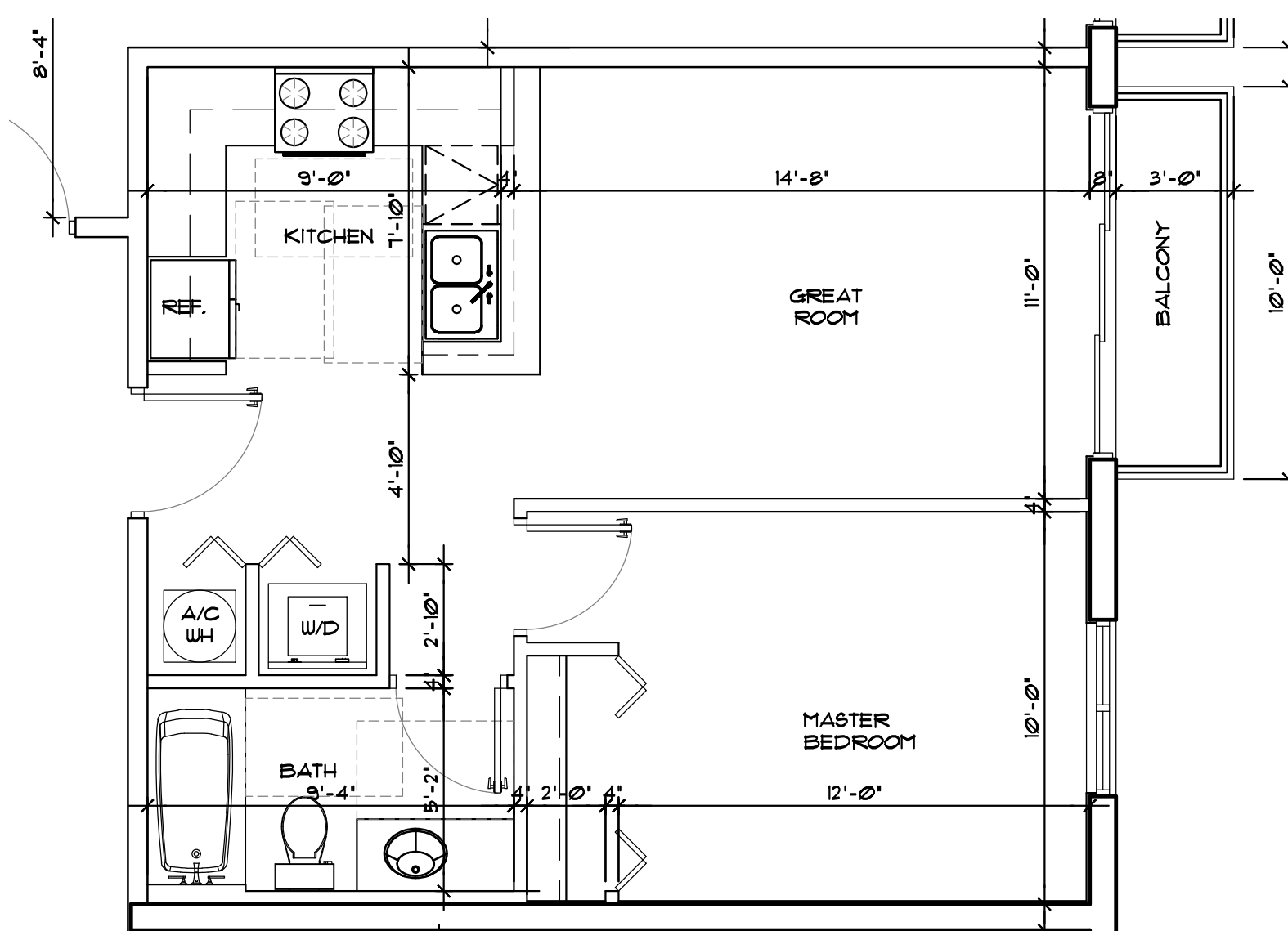
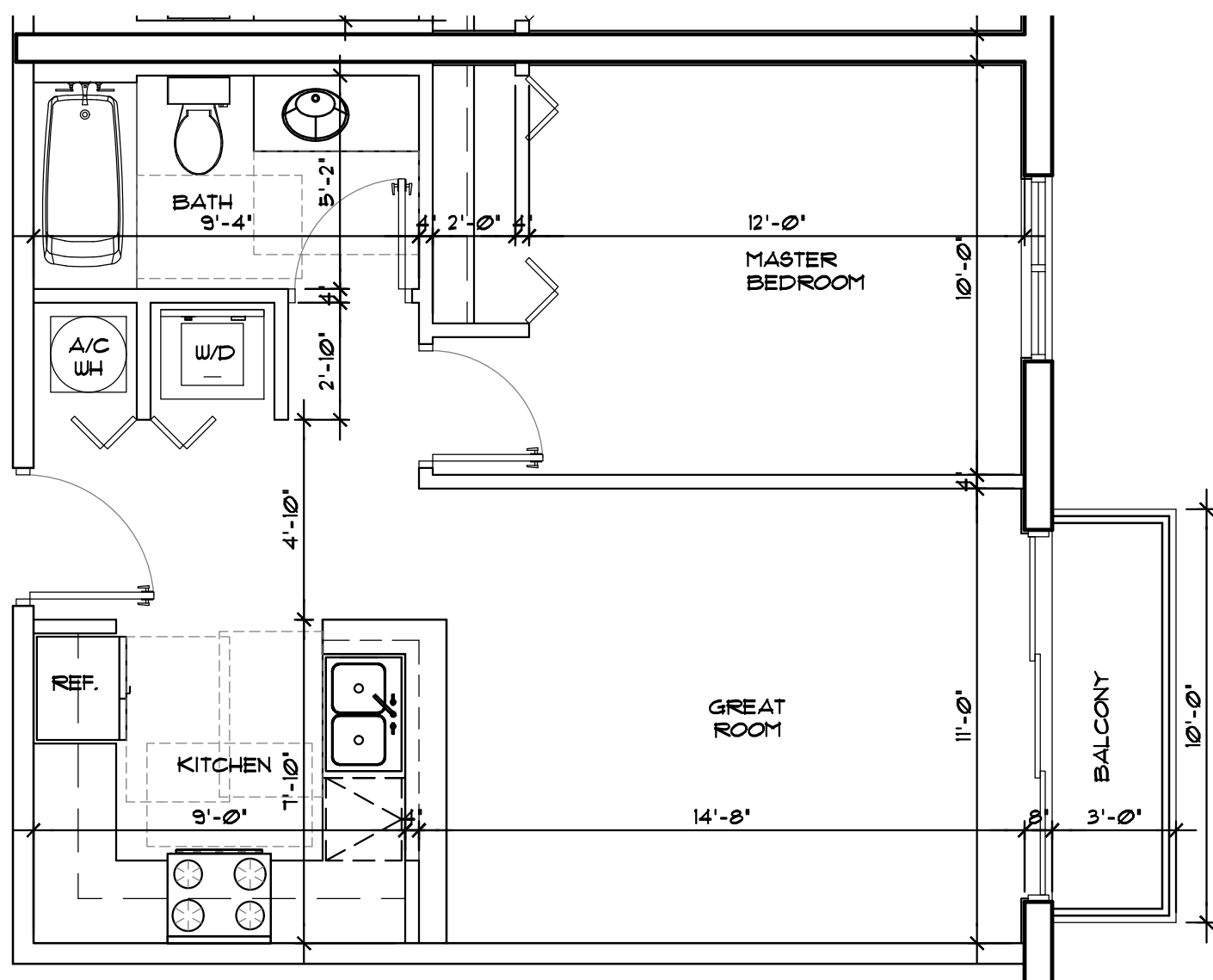
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SCALE: 1/4"=1'-0"

2 | PROTOTYPE-A-REV
SCALE: 1/4"=1'-0"

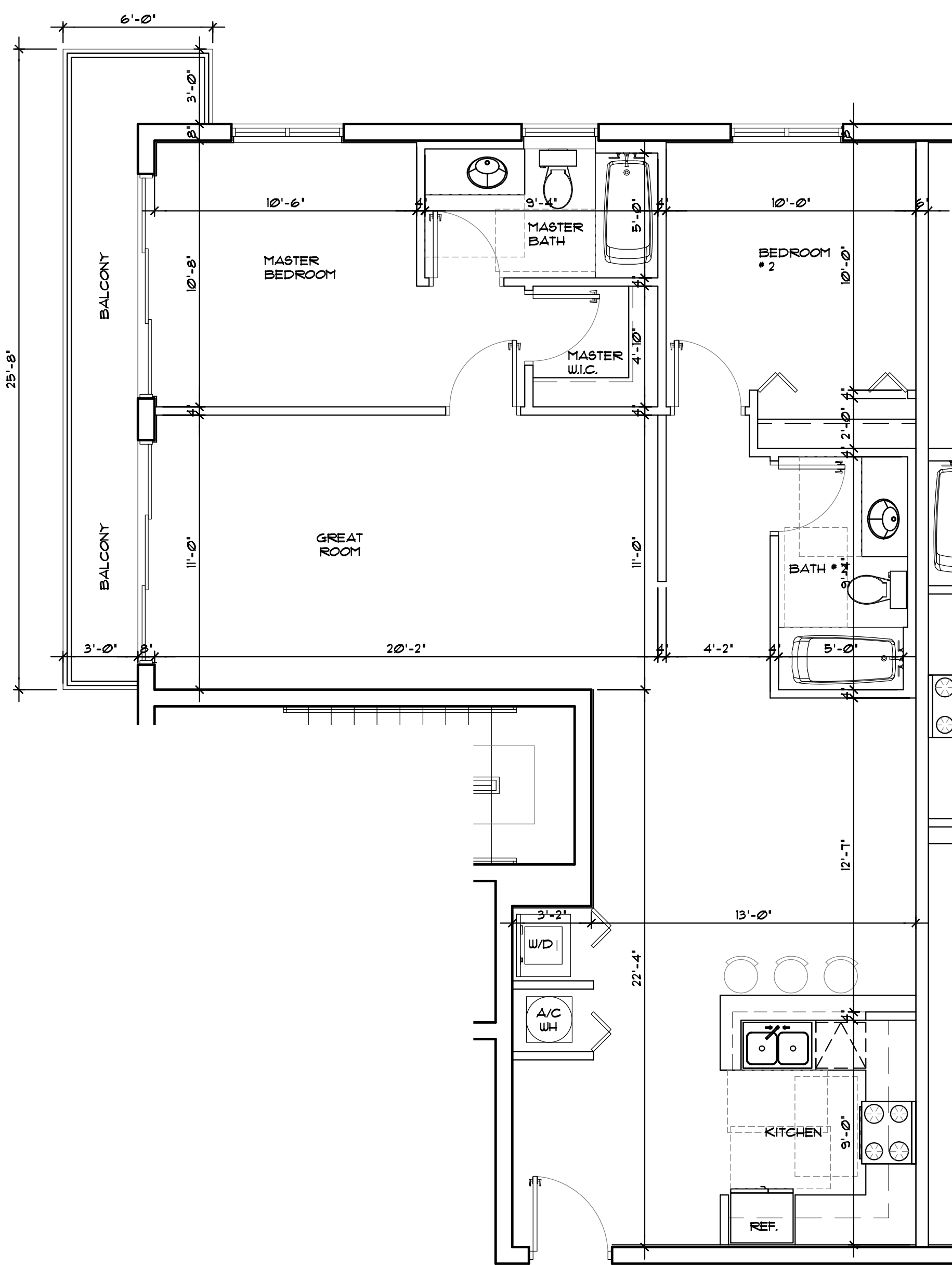
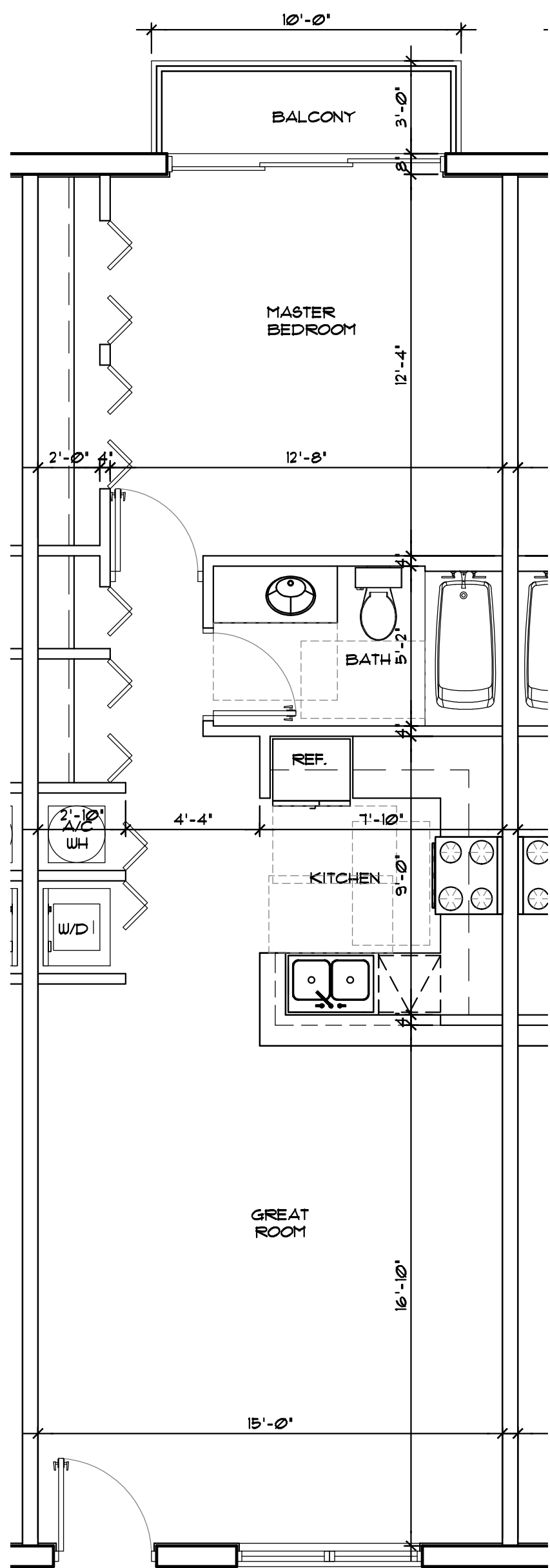
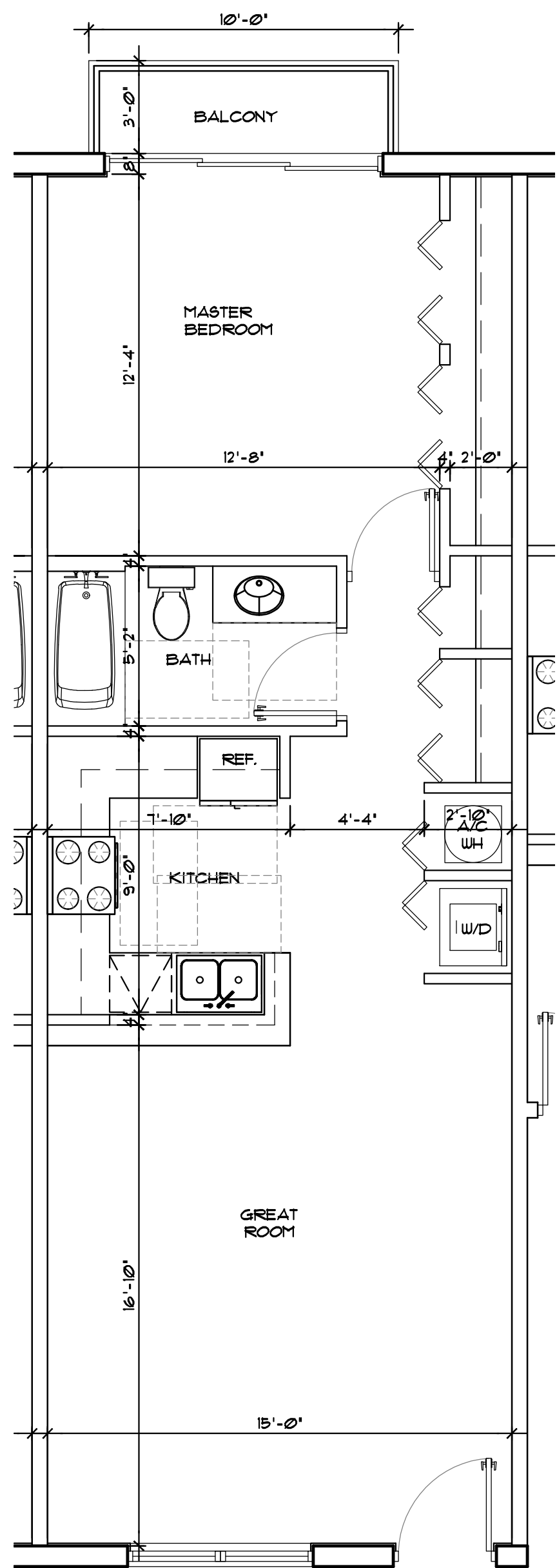
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SCALE: 1/4"=1'-0"



4 | PROTOTYPE-C-
SCALE: 1/4"=1'-0"

5 | PROTOTYPE-C-REV
SCALE: 1/4"=1'-0"

6 | PROTOTYPE-D-
SCALE: 1/4"=1'-0"



1 **PROTOTYPE-E-**
SCALE: 1/4"=1'-0"

2 **PROTOTYPE-E-REV**
SCALE: 1/4"=1'-0"

3 **PROTOTYPE-F-**
SCALE: 1/4"=1'-0"



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A-1.7

OF SHEETS



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A-2.1

OF SHEETS





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OF SHEETS





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SHEET	

A-2.3

OF SHEETS

PROPERTY LINE

TOP OF ELEVATOR SHAFT
ELEV. = 79'-10"

TOP OF PARAPET
ELEV. = 72'-4"

ROOF PLAN
ELEV. = 68'-4"

SIXTH FLOOR
ELEV. = 51'-4"

FIFTH FLOOR
ELEV. = 46'-4"

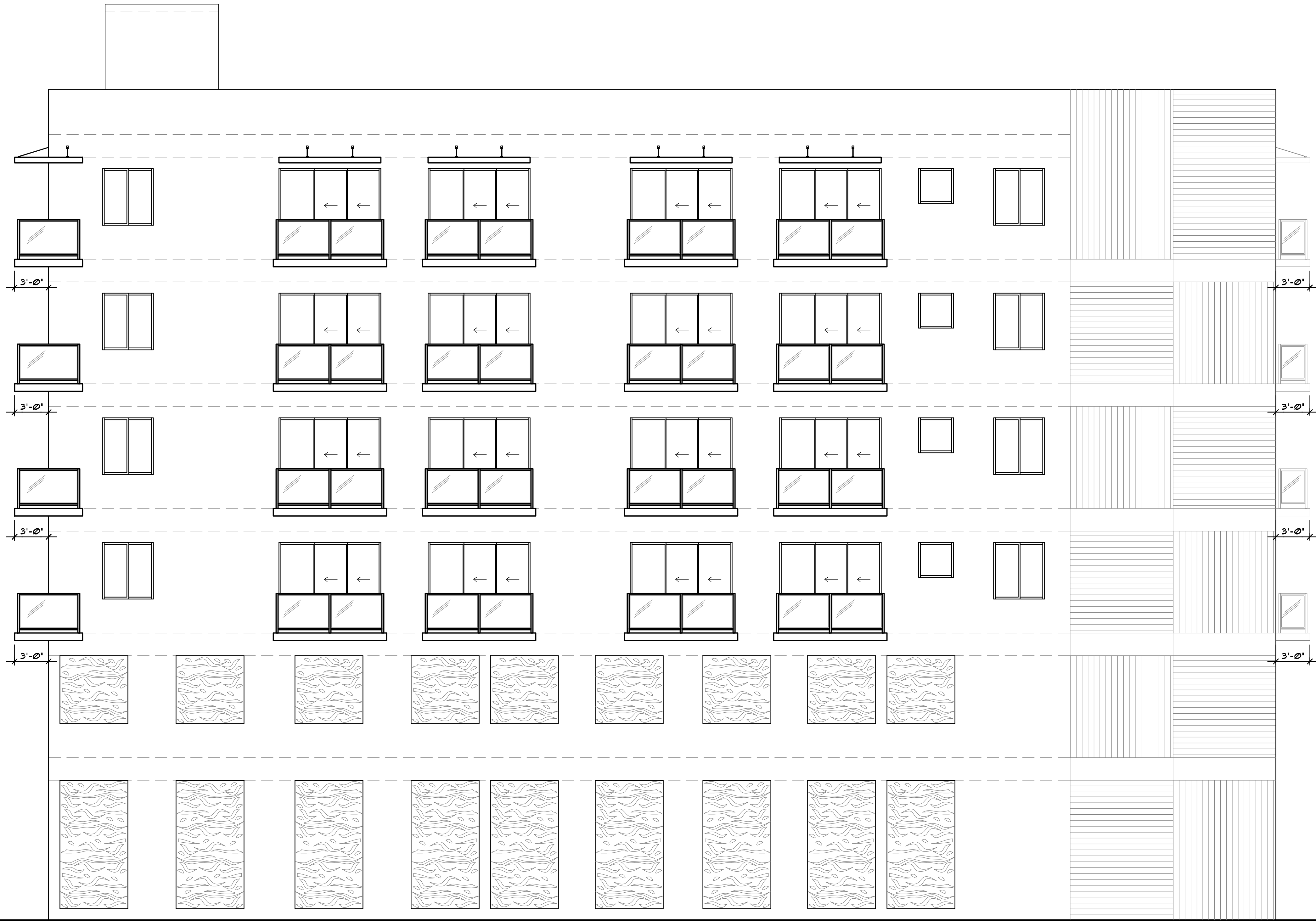
FOURTH FLOOR
ELEV. = 35'-4"

THIRD FLOOR
ELEV. = 24'-4"

SECOND FLOOR
ELEV. = 13'-4"

FIRST FLOOR LOBBY
ELEV. = 0'-0"

FF GARAGE
ELEV. = (-) 1'-0"



PROPERTY LINE

TOP OF PARAPET
ELEV. = 72'-4"

ROOF PLAN
ELEV. = 68'-4"

SIXTH FLOOR
ELEV. = 51'-4"

FIFTH FLOOR
ELEV. = 46'-4"

FOURTH FLOOR
ELEV. = 35'-4"

THIRD FLOOR
ELEV. = 24'-4"

SECOND FLOOR
ELEV. = 13'-4"

FIRST FLOOR LOBBY
ELEV. = 0'-0"

FF GARAGE
ELEV. = (-) 1'-0"





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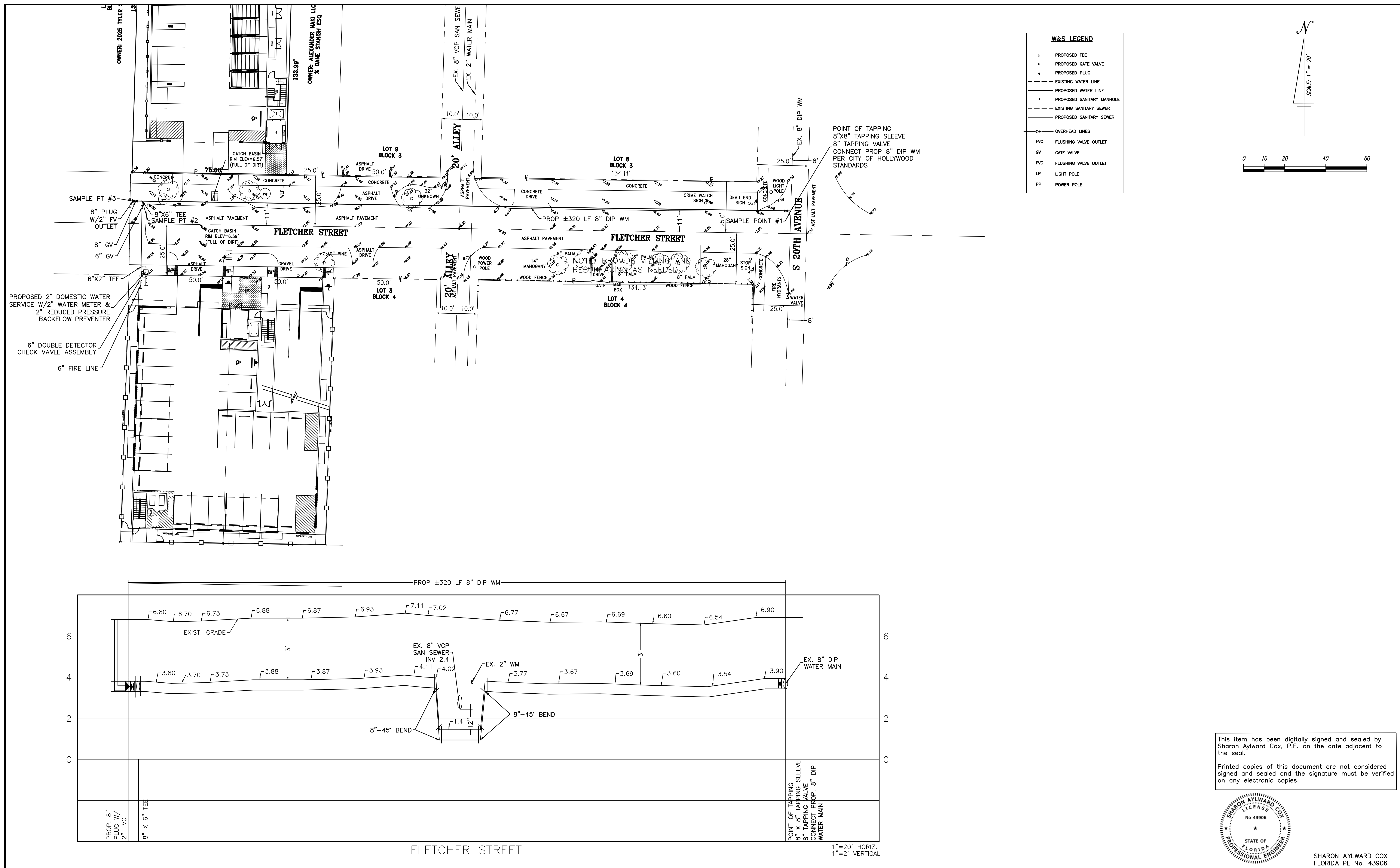
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SHEET	
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OF	SHEETS



			DRAWN <u> </u> CAD <u> </u>	PROJECT NAME:	SHEET TITLE	<div><i>Aylward Engineering & Surveying, Inc.</i> <i>EB No. 5183</i> <i>465 Archaic Drive, Winter Haven, Florida 33880</i> <i>954-424-5852 or 305-827-2216</i> <i>aylwardengineer@gmail.com</i></div>	CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING W/WORK	SHEET
			CHECKED <u> </u> SAC <u> </u>	2022-2026 FLETCHER STREET	WATER & SEWER		DATE: <u> 3/3/2023 </u>	1
			APPROVED <u> </u> SAC <u> </u>				SCALE : <u> 1"=20' </u>	OF
							PROJ. NO. : <u> 23-104 </u>	4
NO.	REVISION	DATE						


GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENTS REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES	REVISED: 06/08/2014 DRAWING NO. G-00
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GENERAL NOTES (CONTINUED):

12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCR OACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION, ANY CONFLICTS BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.1
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GENERAL NOTES (CONTINUED):

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

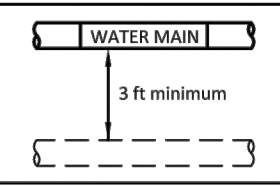
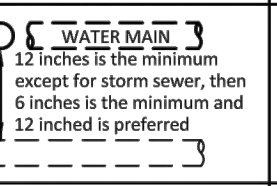

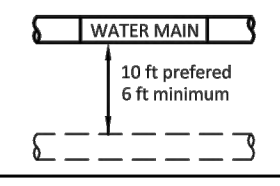
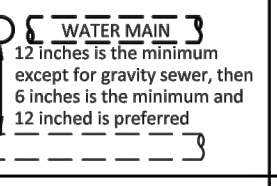
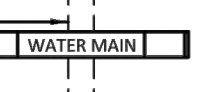
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GENERAL NOTES (CONTINUED):


40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).
-
41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
 42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
 43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

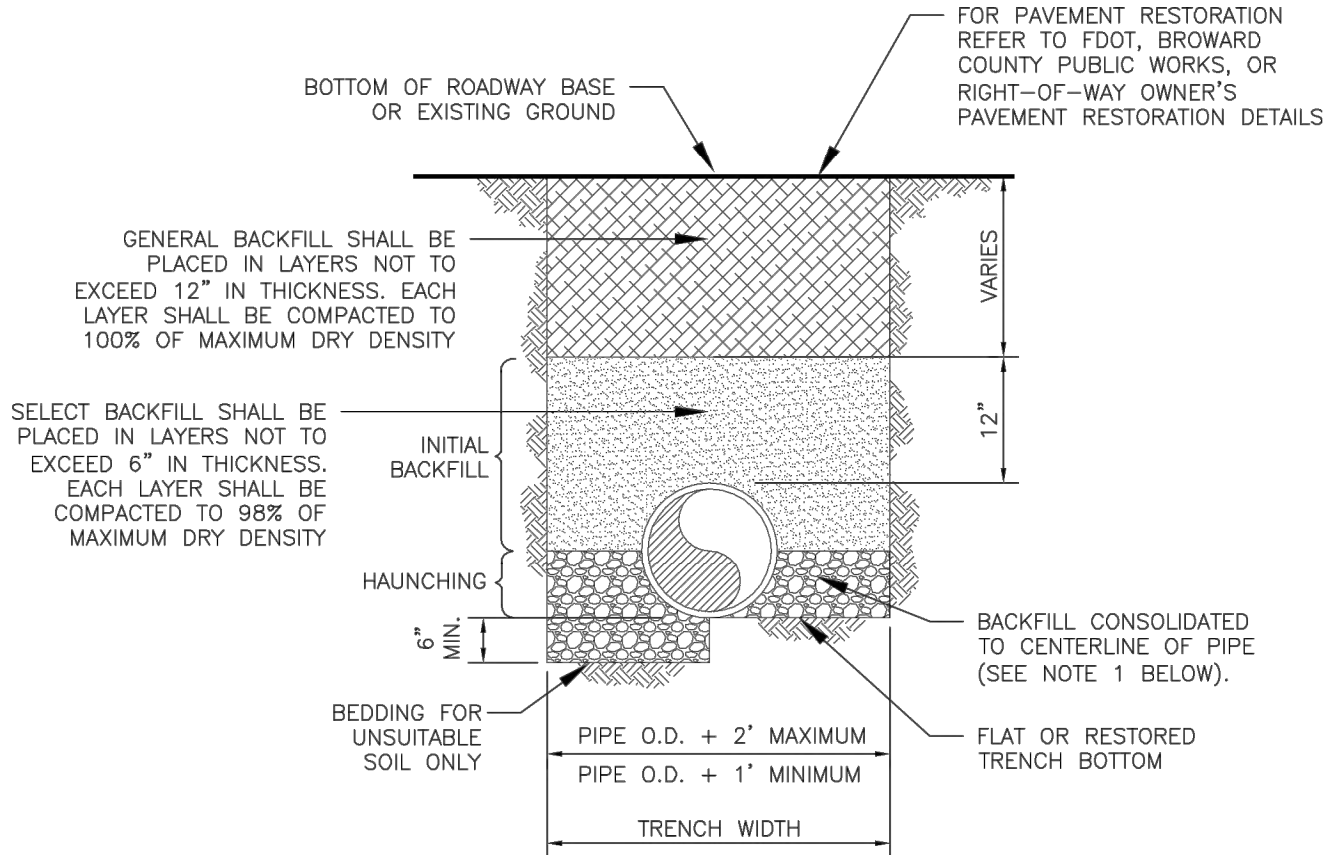
	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.3
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WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)			Alternate 3 ft minimum 
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER			Alternate 6 ft minimum 
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum	—	—


1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

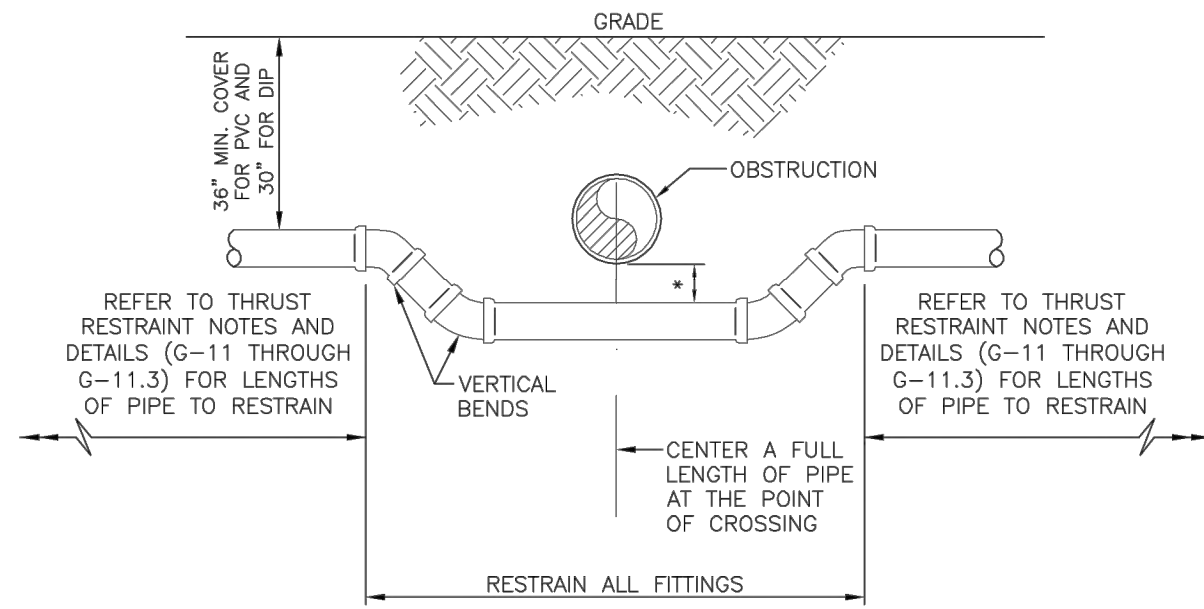
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NOTES:

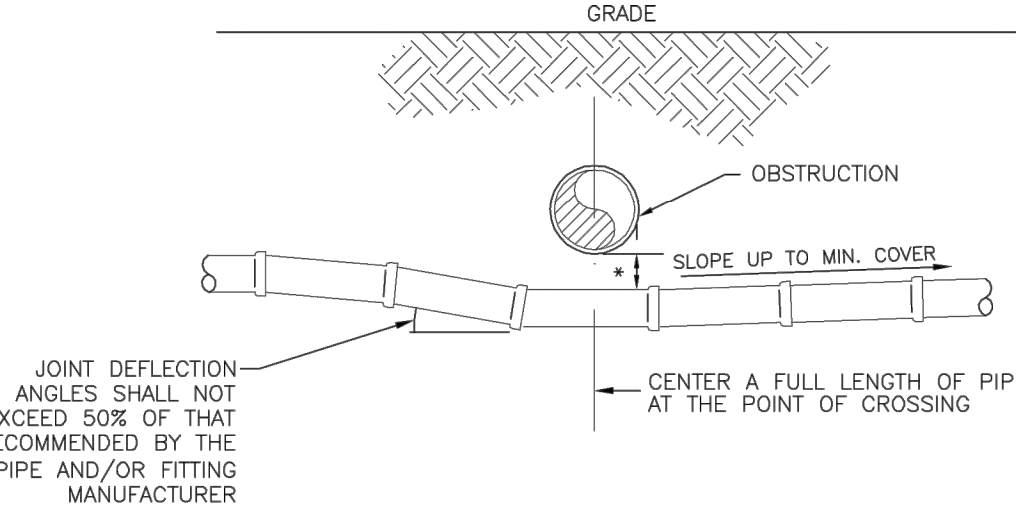
1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH ASTM T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)	REVISED: 06/08/2014 DRAWING NO. G-02
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UTILITY CROSSING USING FITTINGS

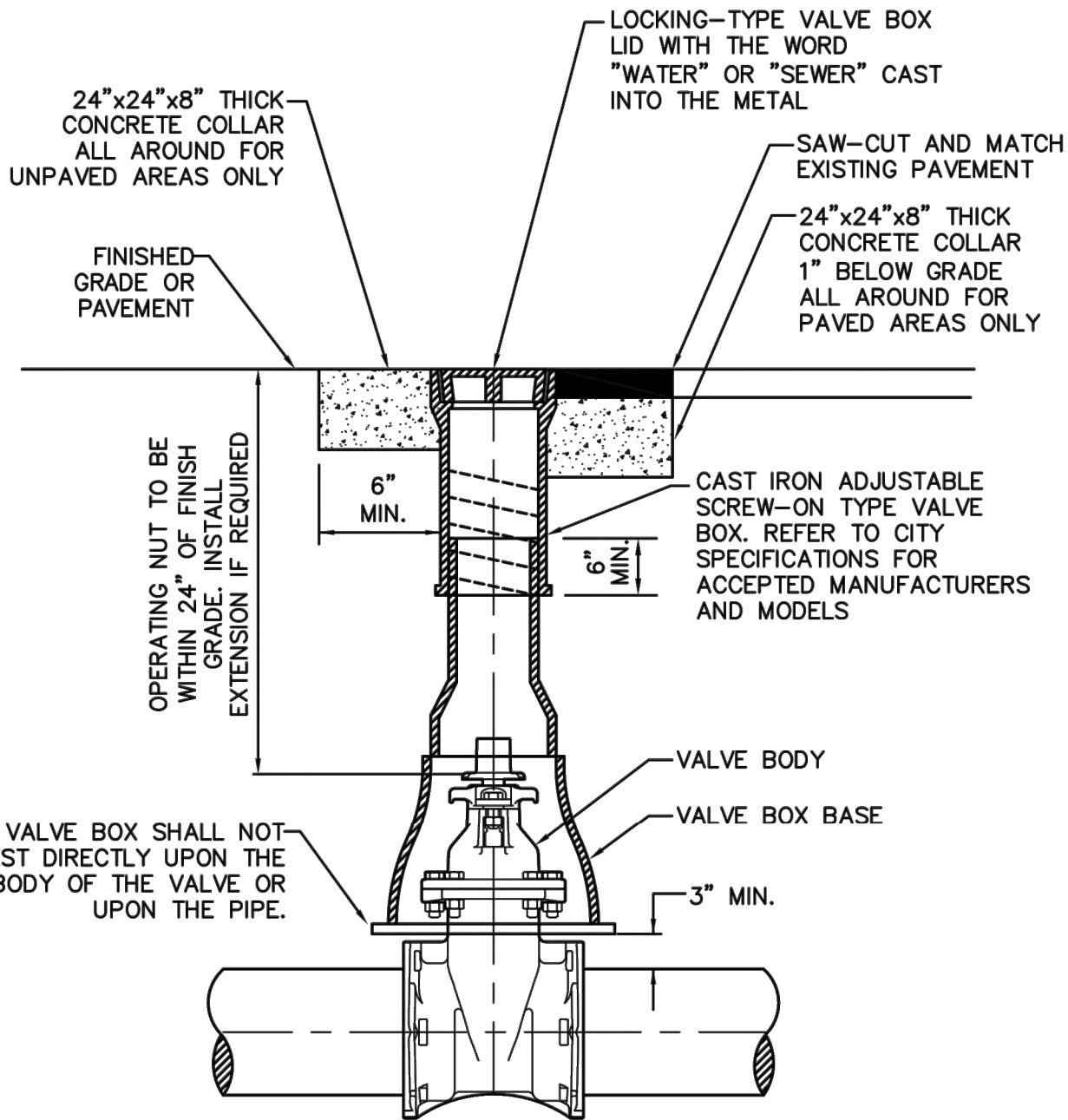
- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.




UTILITY CROSSING USING JOINT DEFLECTIONS

- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL UTILITY CROSSING DETAIL	REVISED: 06/08/2014 DRAWING NO. G-04
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	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL VALVE BOX SETTING	REVISED: 06/08/2014 DRAWING NO. G-05
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DRAWN	CAD
CHECKED	SAC
APPROVED	SAC

PROJECT NAME:

2022-2026 FLETCHER STREET

SHEET TITLE

WATER & SEWER
DETAILS

Aylward Engineering & Surveying, Inc.

EB No. 5183

465 Archaic Drive, Winter Haven, Florida 33880

954-424-5852 or 305-827-2216

aylwardengineer@gmail.com

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING W/WORK

DATE: 3/3/2023

SCALE : 1"=20'

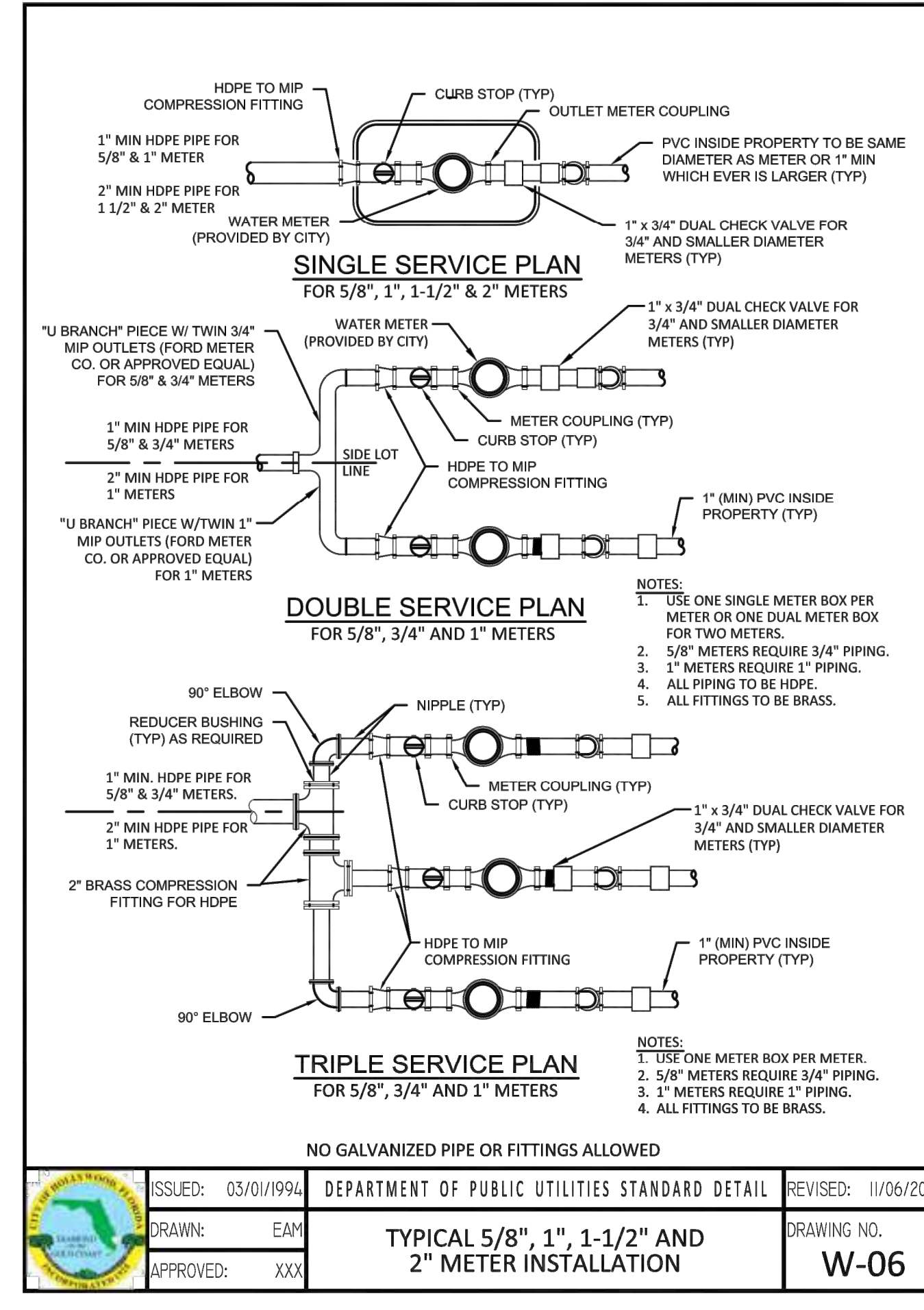
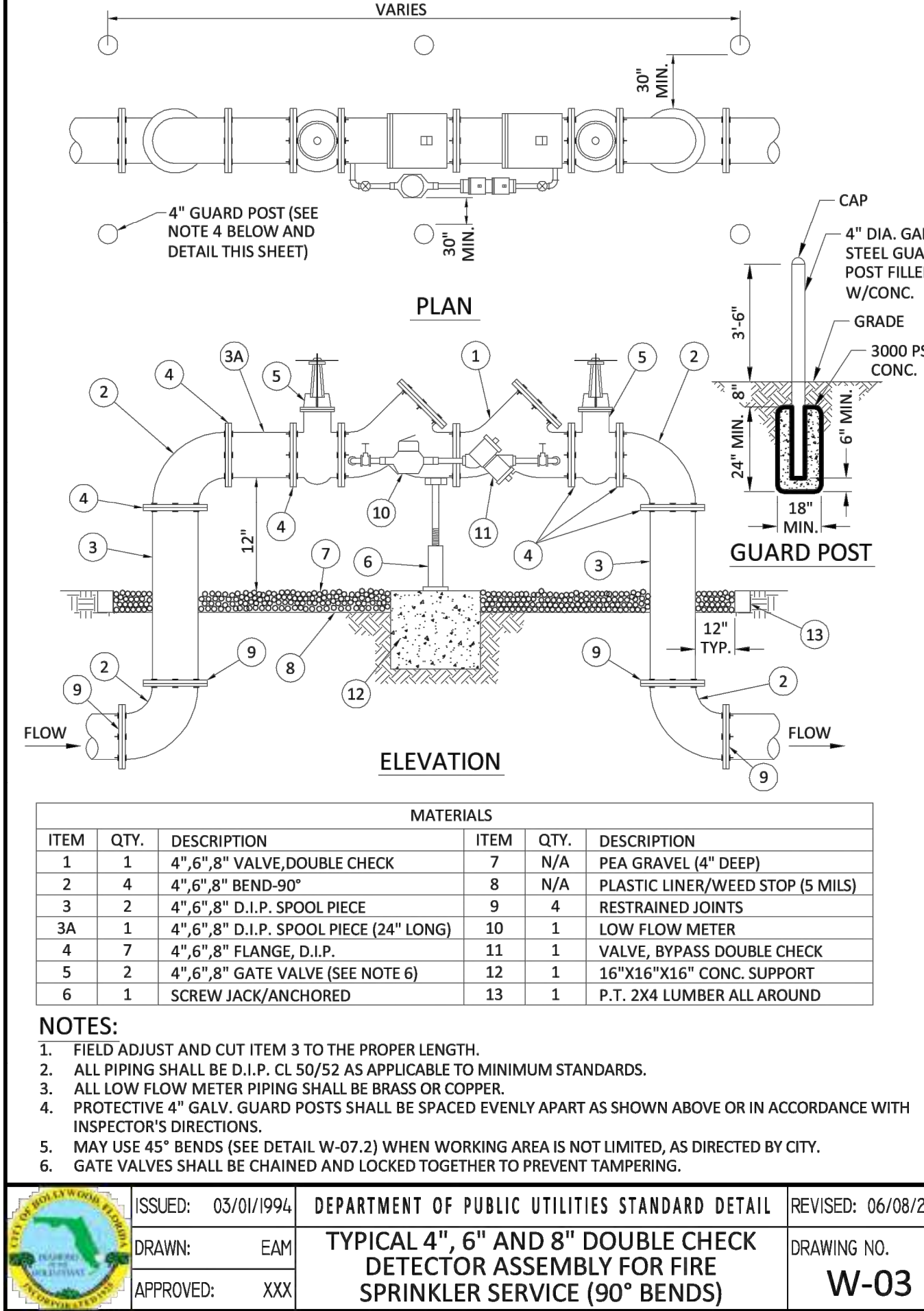
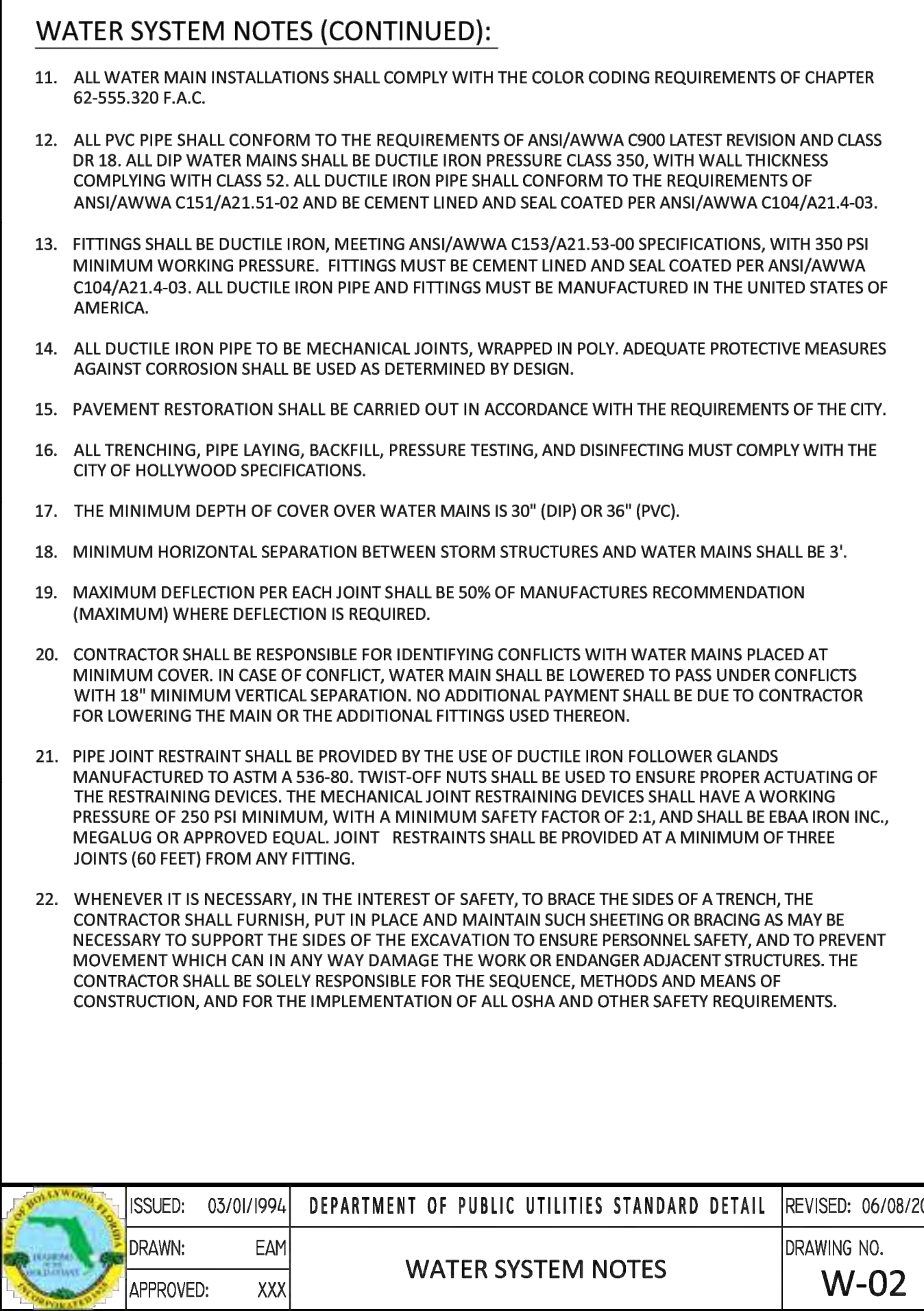
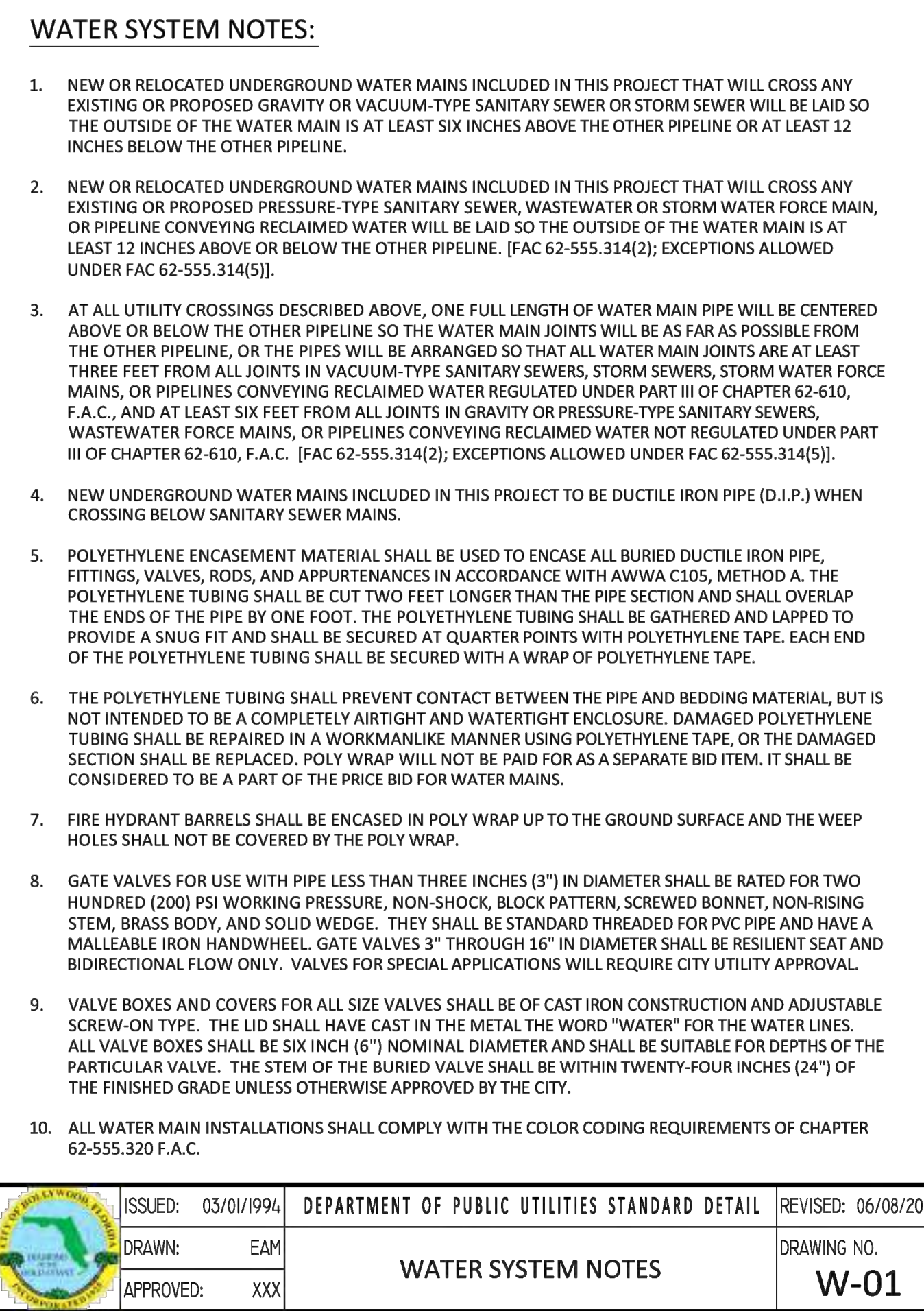
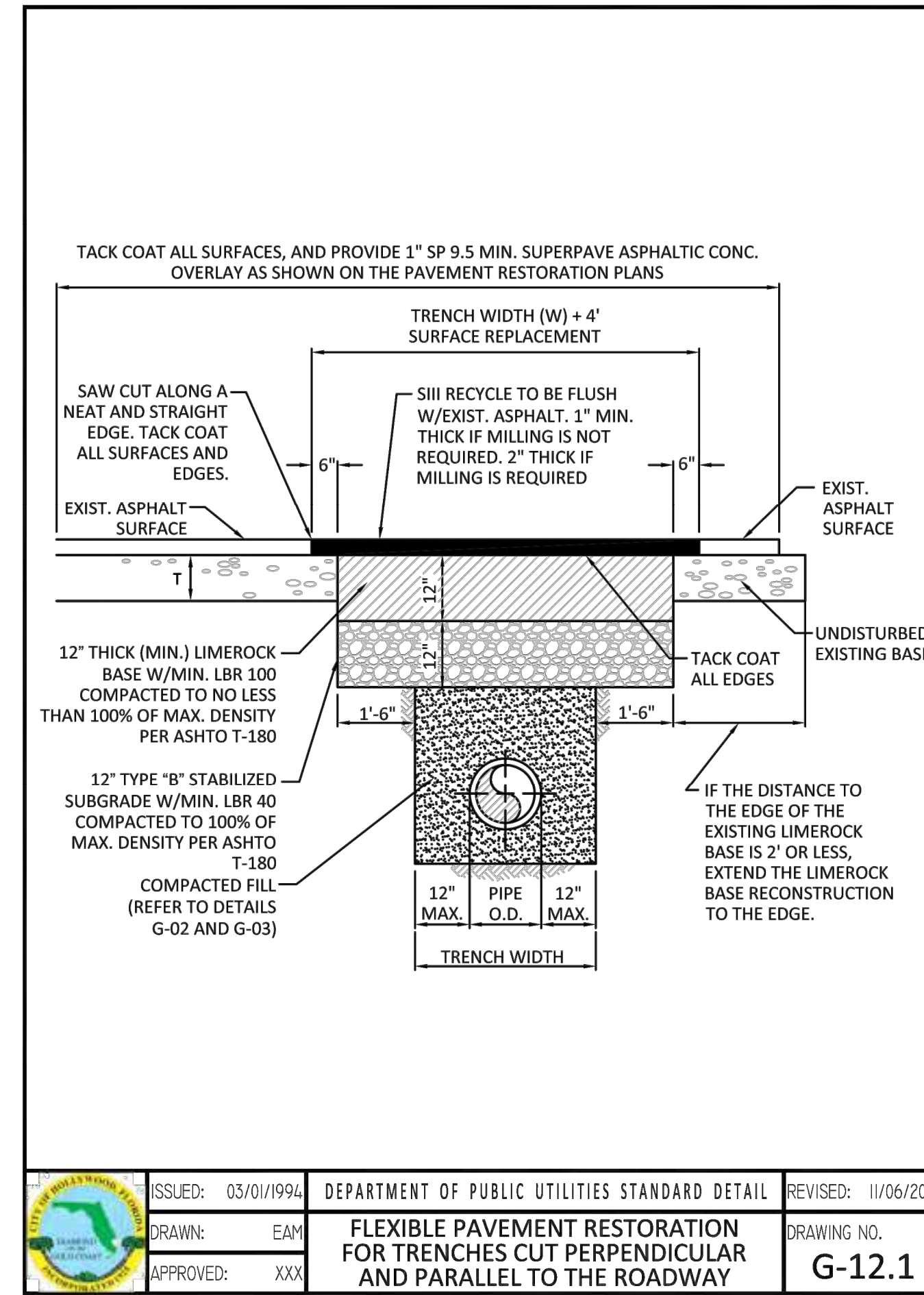
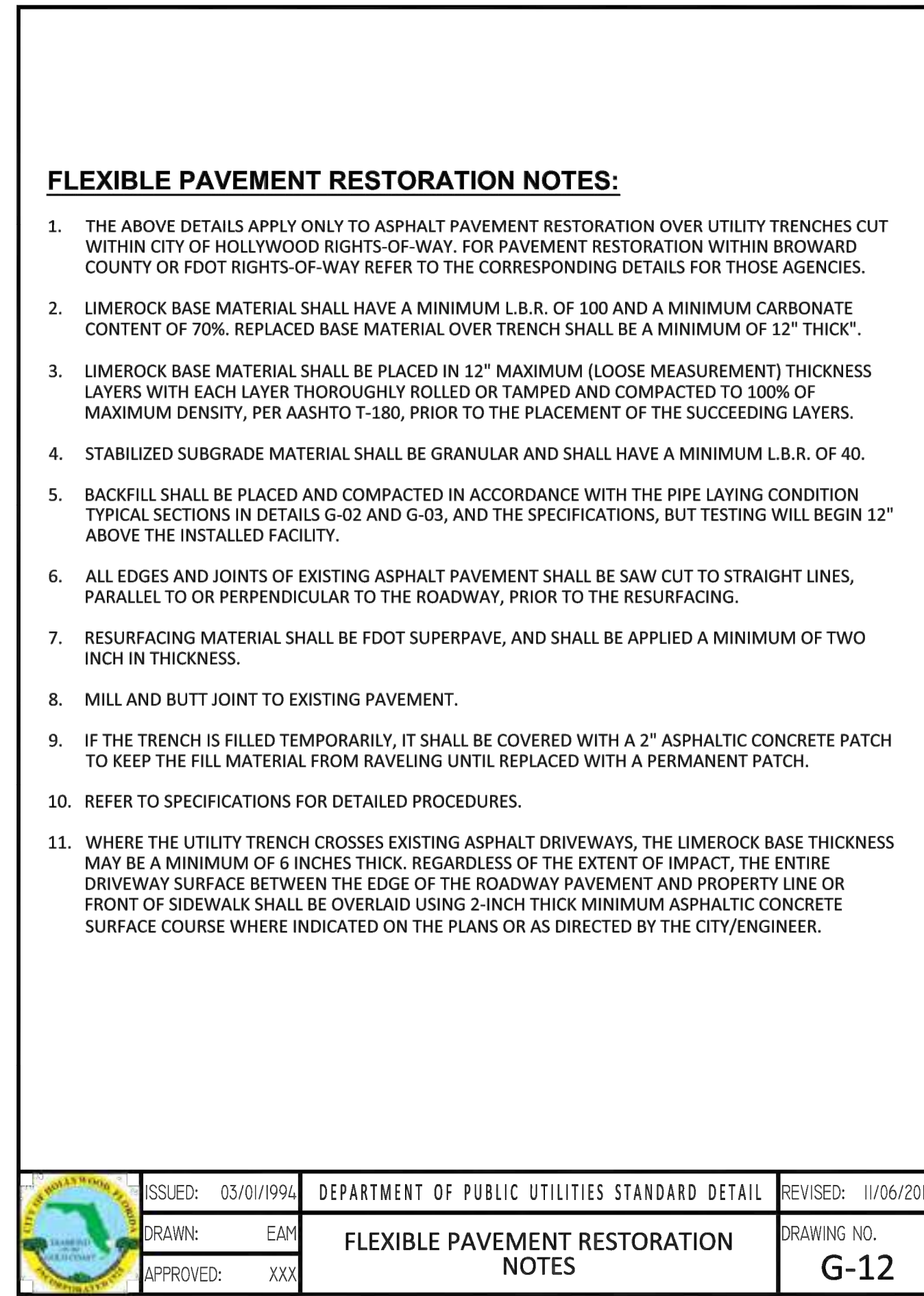
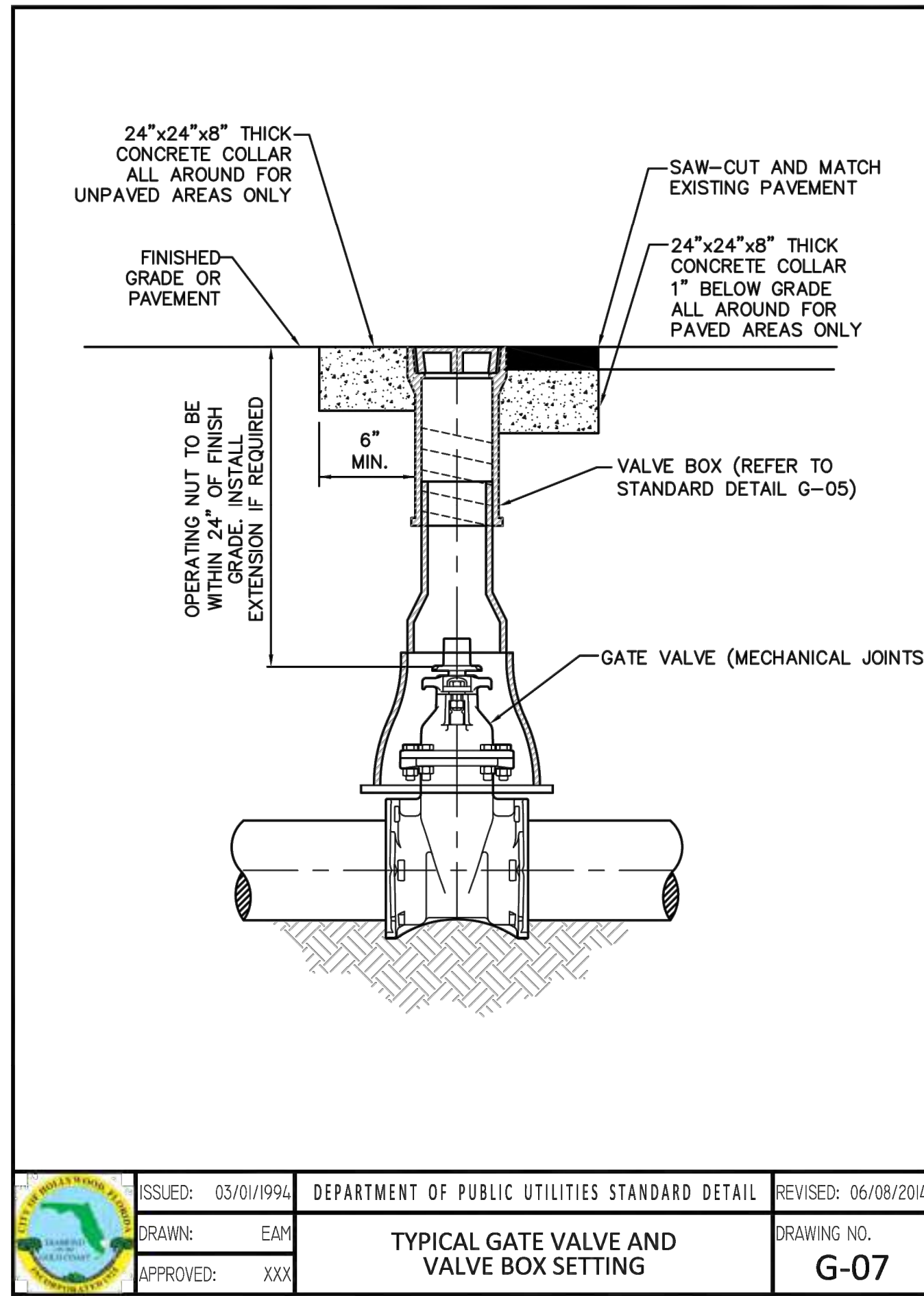
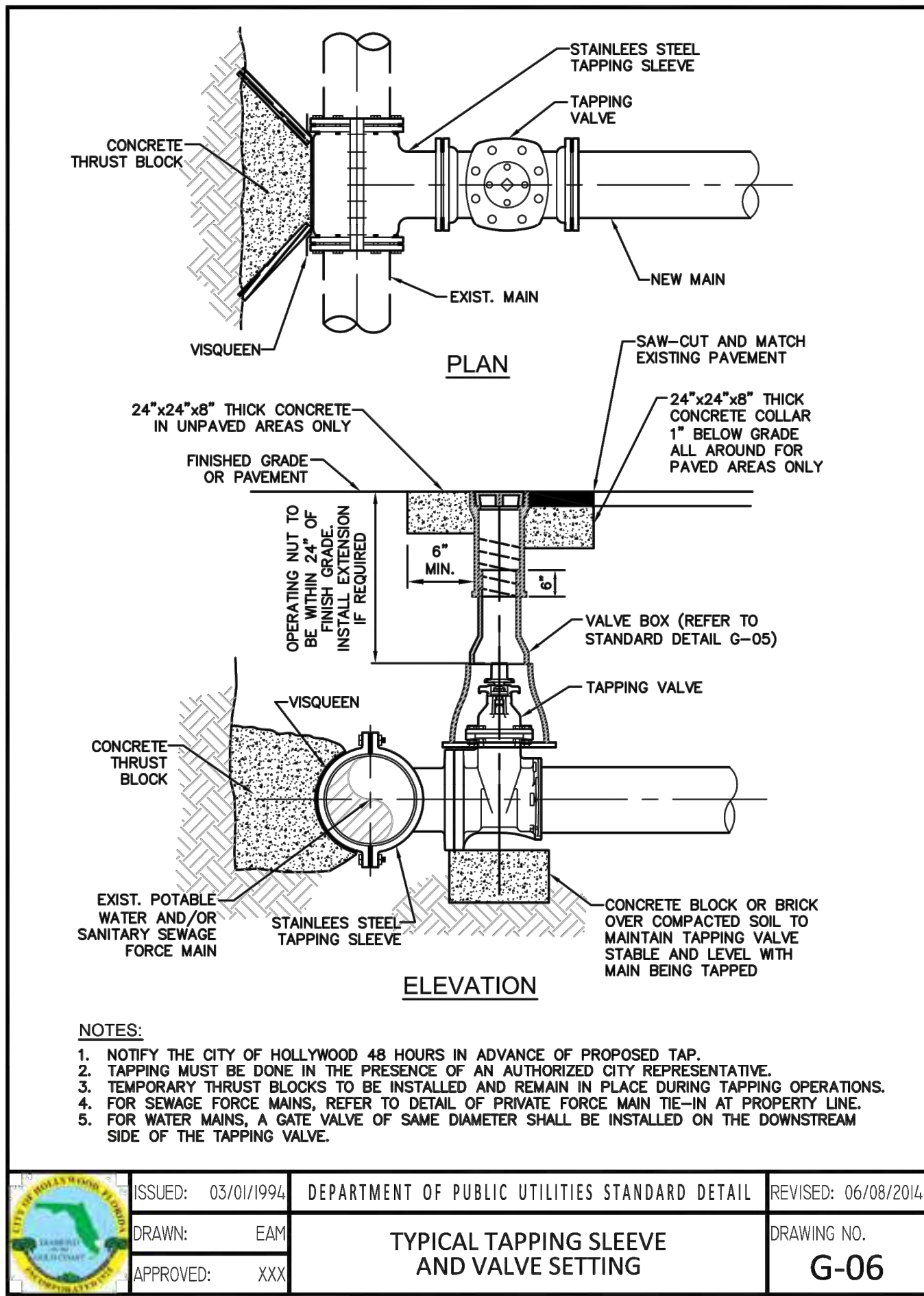
PROJ. NO. : 23-104

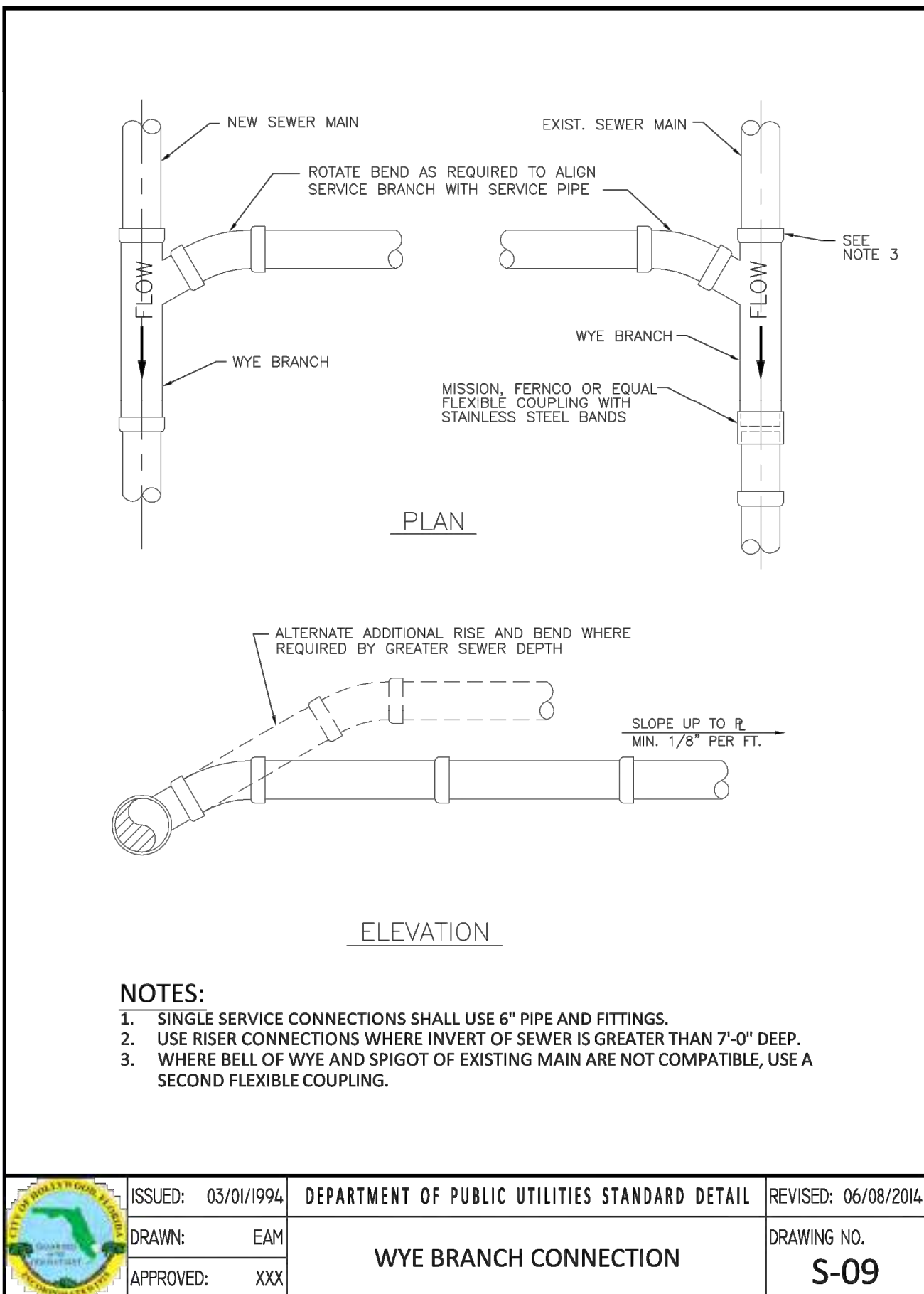
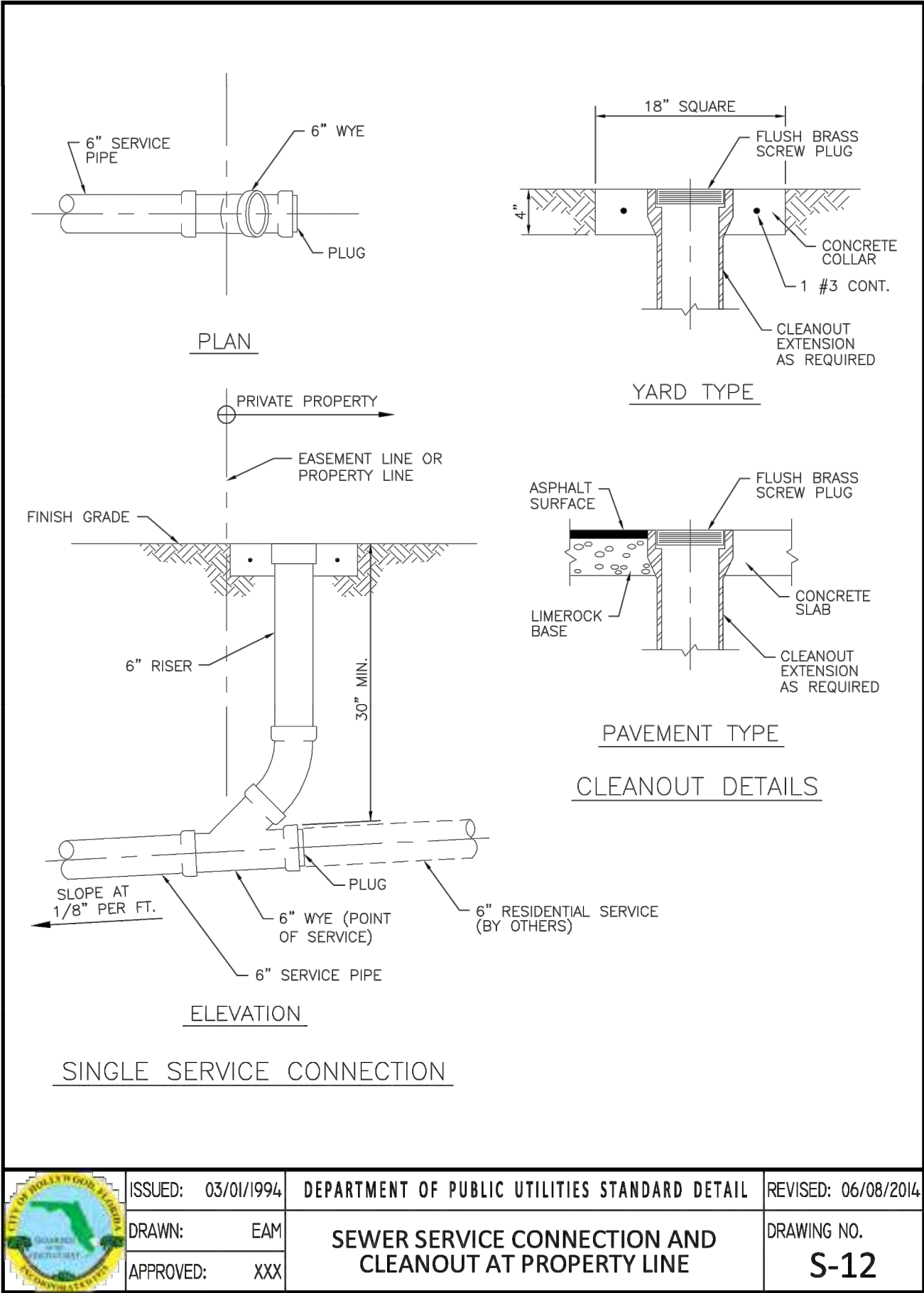
SHEET

2

OF

4





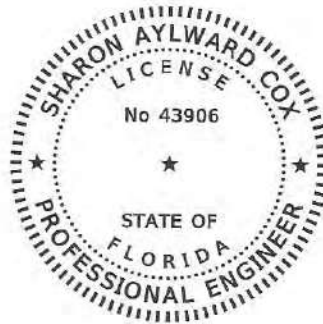
STORM WATER CALCULATIONS

FOR

**PROPOSED 42 UNIT MULTI-FAMILY DEVELOPMENT
FLETCHER TWENTY LLC
2022 - 2026 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020**

PREPARED BY:

**AYLWARD ENGINEERING & SURVEYING, INC. (EB 5183)
465 ARCHAIC DRIVE
WINTER HAVEN, FLORIDA 33880**



This item has been digitally signed and sealed by Sharon Aylward Cox, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

February 28, 2023

2022 - 2026 FLETCHER STREET
Drainage and Water Management Calculations
February 28, 2023

I. Acreage

1. Total		0.30 Acres
2. Impervious	Existing (to be demo)	Proposed
Buildings	0.059	0.012(Ground Floor)
Walkways/Drives	<u>0.068</u>	<u>0.247</u>
Total Impervious	0.127	0.259
3. Pervious		
Pervious Ground	0.173(57.67%)	0.041(13.71%)

Minimum Elevations

Crown of Road	10 year 1 day
Finish Floors	18" above Crown

Allowable discharge	25 year 3 day storm
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Water Elevations

Wet Season Water Table	1.50
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Design Rainfall

Parking Garage – 5yr 1 hr	3.2 inches
Roads – 10 yr 24 hr	8.3 inches
Design – 25 yr 1 day	7.88 in
(Note: (10.3 in x 1.359)=13.99 in – 3.28 = 10.71/1.359 = 7.88)	
Floors - 100 yr 1 day	10.09 in
(Note: (12.5 in x 1.359)=16.99 in – 3.28 = 13.71/1.359 = 10.09)	

II. Design Criteria – Water Quality

Retention

- a) 1 inch of Runoff
- b) 2 ½ times % Impervious

Water Quality

1 inch x 0.30 Ac = 0.30 Ac-in = 0.025 Ac-ft

Check 2.5 x % impervious

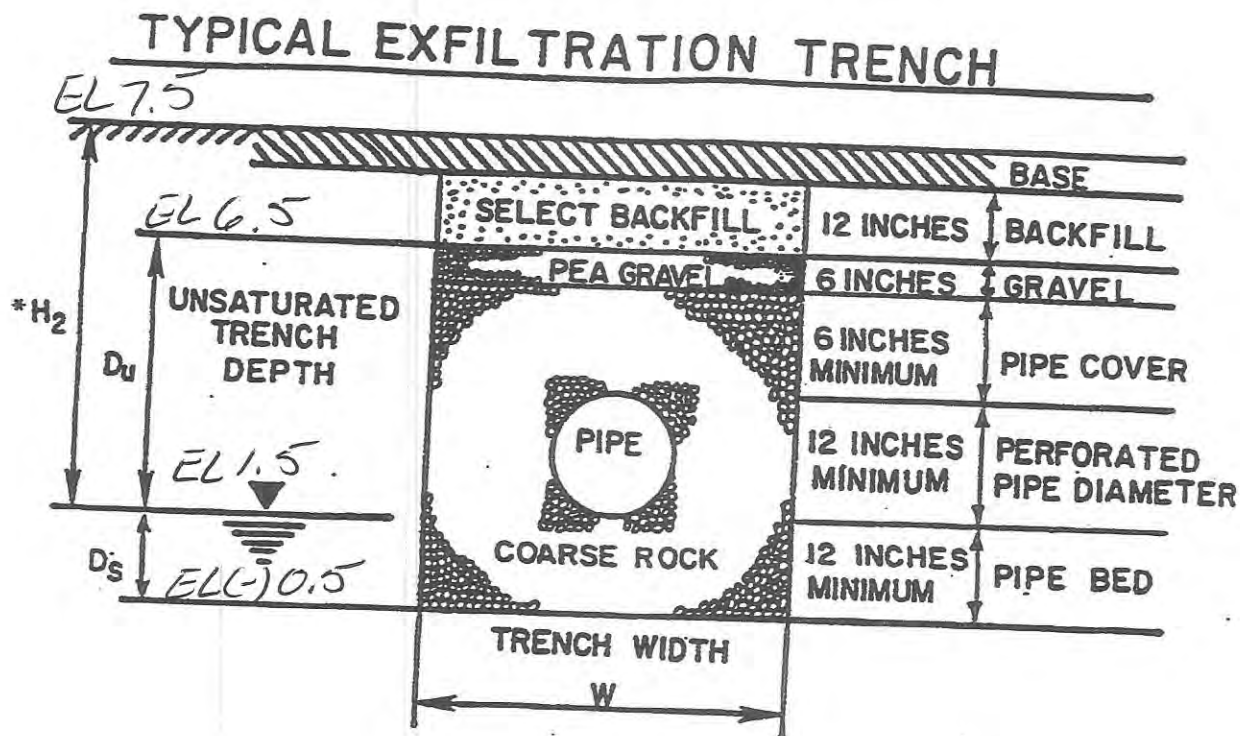
2.5 x 0.8629 x 0.30 = 0.647 Ac-in = 0.054Ac-ft

Water Quantity

One hour storm over site = 0.30 Acres x 3.28" = 0.984 ac-in = 0.082 ac-ft

therefore: 0.094 Ac-in

IV. Provide 0.647 Acre inches of dry pre-treatment in exfiltration trench for water quality.



$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

L = LENGTH OF TRENCH REQUIRED (FEET)

V = VOLUME TREATED (ACRE-INCHES)

W = TRENCH WIDTH (FEET)

K = HYDRAULIC CONDUCTIVITY (CFS/FT.²-FT.HEAD)

*H₂ = DEPTH TO WATER TABLE (FEET)

D_u = NON-SATURATED TRENCH DEPTH (FEET)

D_s = SATURATED TRENCH DEPTH (FEET)

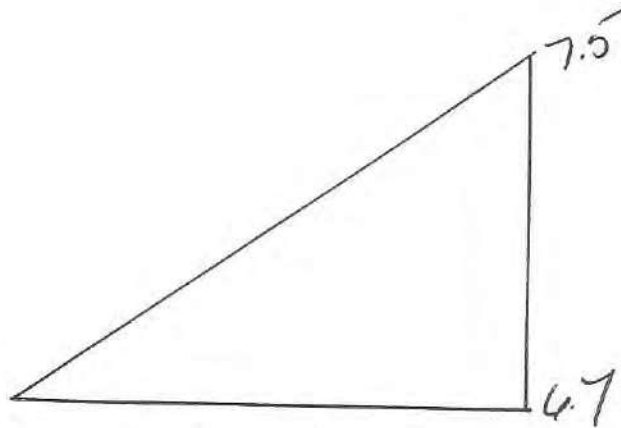
*The value of H₂ to be used in the equation is the effective head on the saturated surface. In most cases it will be less than the distance between the water table and the pavement elevation. For purposes of this example, the diagram above assumes no outfall from the exfiltration trench system.

2022 - 2026 FLETCHER STREET
PRE DEVELOPMENT
STAGE-STORAGE CALCULATIONS

Total Site Area	0.30 Acres
Total Building Area	0.059 Acres

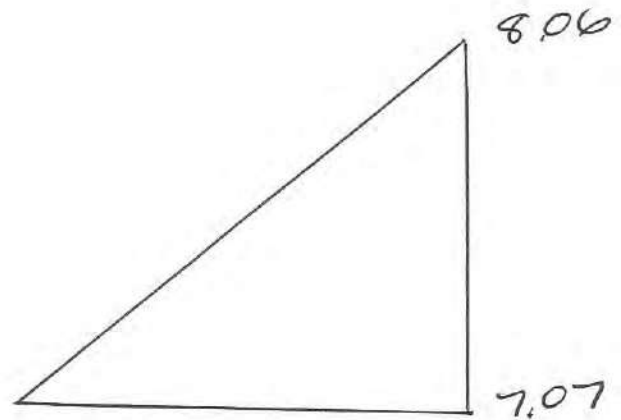
Net Surface Area Less Buildings = $0.30 \text{ Ac} - 0.059 \text{ Ac} = \underline{0.241 \text{ Ac.}}$

Stage-Storage



0.173 Ac.

PREVIOUS AREA



0.068 Ac.

WALK / DRIVES

2022-2026 Fletcher Street - Pre Development

[illegible]

Project Name: 2022-2026 Fletcher Street Pre Devel

Reviewer:

Project Number:

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.2 hr, Iterations: 10

Basin 1: site

Method: Generalized Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 25 year

1 Day Rainfall: 10.3 inches

Area: 0.3 acres

Ground Storage: 3.41 inches

Time of Concentration: 0.17 hours

Peak Rate Factor: 0

Initial Stage: 0 ft *DAVID*

Stage (ft NGVD)	Storage (acre-ft)
6.70	0.00
7.00	0.01
7.07	0.01
7.50	0.08
8.00	0.19
8.06	0.20
8.50	0.31
9.00	0.43
10.00	0.67
11.00	0.91
12.00	1.15

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
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BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
site	8.33	72.00	0.00	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
site	0.26	0.00	0.00	0.00	0.26	0.00

Project Name: 2022-2026 Fletcher Street Pre Devel

Reviewer:

Project Number:

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.2 hr, Iterations: 10

Basin 1: site

Method: Generalized Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 100 year

1 Day Rainfall: 12.5 inches

Area: 0.3 acres

Ground Storage: 3.41 inches

Time of Concentration: 0.17 hours

Peak Rate Factor: 0

Initial Stage: 0 ft *NAVD*

Stage (ft NGVD)	Storage (acre-ft)
6.70	0.00
7.00	0.01
7.07	0.01
7.50	0.08
8.00	0.19
8.06	0.20
8.50	0.31
9.00	0.43
10.00	0.67
11.00	0.91
12.00	1.15

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
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BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
site	8.63	72.00	0.00	0.00

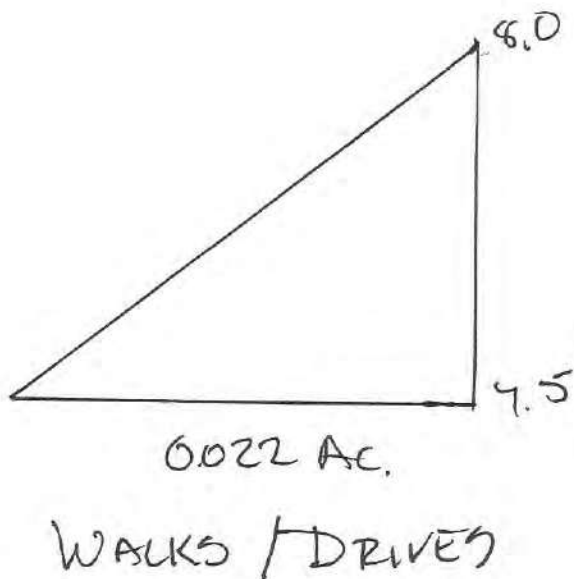
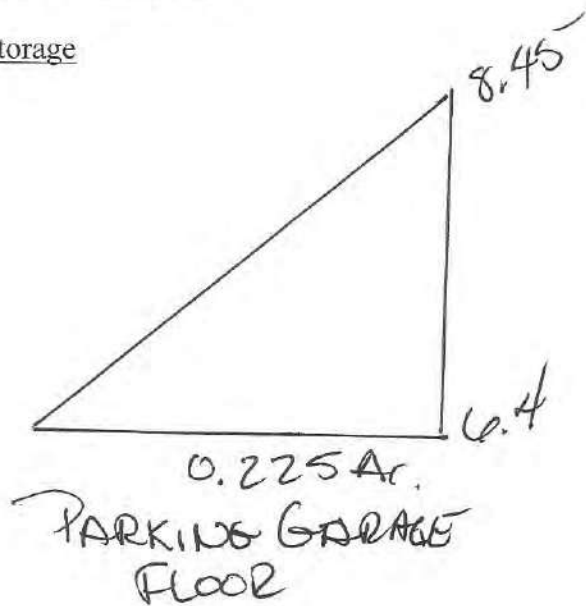
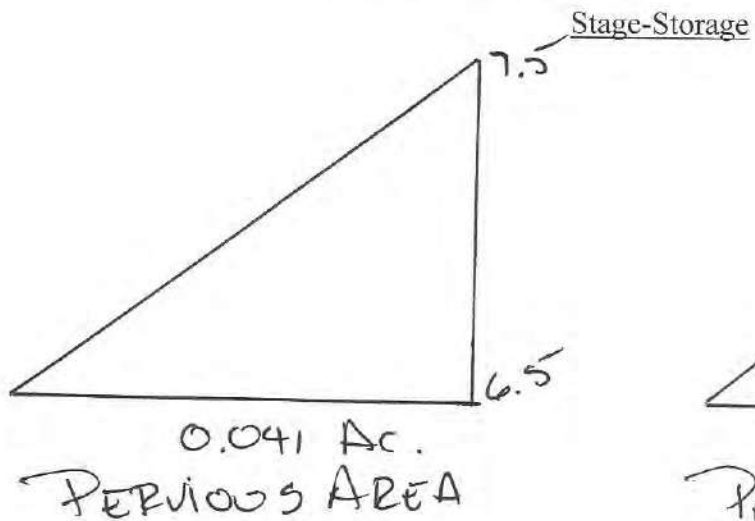
BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
site	0.34	0.00	0.00	0.00	0.34	0.00

2022 - 2026 FLETCHER STREET
POST DEVELOPMENT
STAGE-STORAGE CALCULATIONS

Total Site Area 0.30 Acres
Total Building Area 0.012 Acres

Net Surface Area Less Buildings = $0.30 \text{ Ac} - 0.012 \text{ Ac} = 0.288 \text{ Ac.}$



2022-2026 Fletcher Street - Post Development

[illegible]

Project Name: 2022-2026 Fletcher Street Post Devel

Reviewer:

Project Number:

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.2 hr, Iterations: 10

Basin 1: site

Method: Generalized Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 25 year

1 Day Rainfall: 7.88 inches

Area: 0.3 acres

Ground Storage: 0.81 inches

Time of Concentration: 0.17 hours

Peak Rate Factor: 0

Initial Stage: 0 ft *NAVD*

Stage (ft NGVD)	Storage (acre-ft)
6.40	0.00
6.50	0.00
6.95	0.02
7.00	0.03
7.50	0.09
7.70	0.12
8.00	0.19
8.45	0.31
8.50	0.32
9.00	0.46
9.50	0.61

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
-------	-----------	-----------	-----------	-----------

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
site	8.20	72.00	0.00	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
site	0.24	0.00	0.00	0.00	0.24	0.00

Project Name: 2022-2026 Fletcher Street Post Devel

Reviewer:

Project Number:

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.2 hr, Iterations: 10

Basin 1: site

Method: Generalized Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 100 year

1 Day Rainfall: 10.09 inches

Area: 0.3 acres

Ground Storage: 0.81 inches

Time of Concentration: 0.17 hours

Peak Rate Factor: 0

Initial Stage: 0 ft *NAVD*

Stage (ft NGVD)	Storage (acre-ft)
6.40	0.00
6.50	0.00
6.95	0.02
7.00	0.03
7.50	0.09
7.70	0.12
8.00	0.19
8.45	0.31
8.50	0.32
9.00	0.46
9.50	0.61

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
-------	-----------	-----------	-----------	-----------

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
site	8.49	72.00	0.00	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
site	0.32	0.00	0.00	0.00	0.32	0.00