

**ATTACHMENT A**  
**Application Package**

# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 12-6-2022

Location Address: 727 N Northlake Drive, Hollywood, FL, 33019

Lot(s): 6 E 15 Block(s): 7, 84 Subdivision: \_\_\_\_\_

Folio Number(s): 514214025910

Zoning Classification: \_\_\_\_\_ Land Use Classification: \_\_\_\_\_

Existing Property Use: 01-01 Single family Sq Ft/Number of Units: 3718

Is the request the result of a violation notice? ( ) Yes ( ) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: Demolition of house to built a new house

Number of units/rooms: \_\_\_\_\_ Sq Ft: \_\_\_\_\_

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes ( ) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Richard Zegebone

Address of Property Owner: 818 Spinnaker Dr E Hollywood, FL, 33019

Telephone: 954-261-2163 Fax: \_\_\_\_\_ Email Address: Richardzegebone@msn.com

Name of Consultant/Representative/Tenant (circle one): \_\_\_\_\_

Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (Internal use only): \_\_\_\_\_

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 12-6-2022

PRINT NAME: \_\_\_\_\_

Richard Zegebone

Date: 12-6-2022

Signature of Consultant/Representative: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Signature of Current Owner

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Print Name

State of Florida

My Commission Expires: \_\_\_\_\_ (Check One) \_\_\_\_\_ Personally known to me; OR \_\_\_\_\_ Produced Identification \_\_\_\_\_



AA0009686

**Date:** December 6th, 2022

**To:** City of Hollywood

**From:** Chris O'Farrell, Pasquale Kuritzky Architecture, Inc.

**Project:** **Mr. Richard Zegelbone Home**  
727 North Lake Dive, Hollywood, FL

**Legal description:** The east 15 feet of lot 6 and all of lot 7, block 84, Hollywood Lakes section, according to the plat thereof, as recorded in plat book 1, page 32, of the public records of Broward County, Florida.

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**The existing house:**

1. House was built in 1988.  
It is less than 50 years old. It is not "historic". This is a non-contributing building. It does not add to the historic architectural qualities. It was not present during a period of significance. (Per city of Hollywood design guidelines for historic properties and districts, p. 37 and 116)

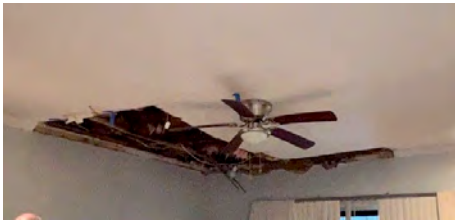


Lake side



Alley side

2. House is in a state of disrepair and neglect and is structurally damaged. Retention of this home is not technically nor economically feasible. Please see structural inspection report attached with this submission.



Second floor ceiling showing water damage to structure

3. The only access to the second floor and rooftop is a spiral staircase and current skylight are requiring structural change for overall safety of owner and building.



Spiral staircase and skylight above

### **The new home:**

#### **This new home is going to be Richard Zegelbone primary home.**

Mr. Zegelbone has been a resident of City of Hollywood for over 40 years and his recently sold company was all about sustainability and compliant building materials. Mr. Zegelbone new home will be an example of his reputation.

Mr. Zegelbone understand the regulations and will ensure the design will follow the City of Hollywood design guidelines to create an exemplary home for the neighborhood.

The new home design will follow the city guidelines of p.67 & 68. Streamline / Art Moderne.

#### **Major Features:**

**“Massing:** Usually asymmetrical with few vertical elements if any. Horizontal emphasis to windows, overhangs, and decoration. Graphic alignment of elements was a strong characteristic.”

**Material and Wall Treatment:** Surface treatments were smooth with little projecting decoration. Surfaces were broken into large masses with horizontal grooves or lines in walls and horizontal balustrade elements to give horizontal emphasis. Occasionally, one or more corners of the building would be curved, windows frequently continued around corners. Glass block is often used as sections of walls or large windows. Small round windows are common.

**Roof Treatment:** Flat roofs with unadorned parapets. In some cases, parapets stepped up or projected over entrances to break up the façade.

**Openings:** Rectangular metal casement windows placed in horizontal bands. Recessed doors with graphic reference to the overall design. Natural stone slabs (Keystone) were used to articulate doorways and more openings in otherwise severely stark facades.

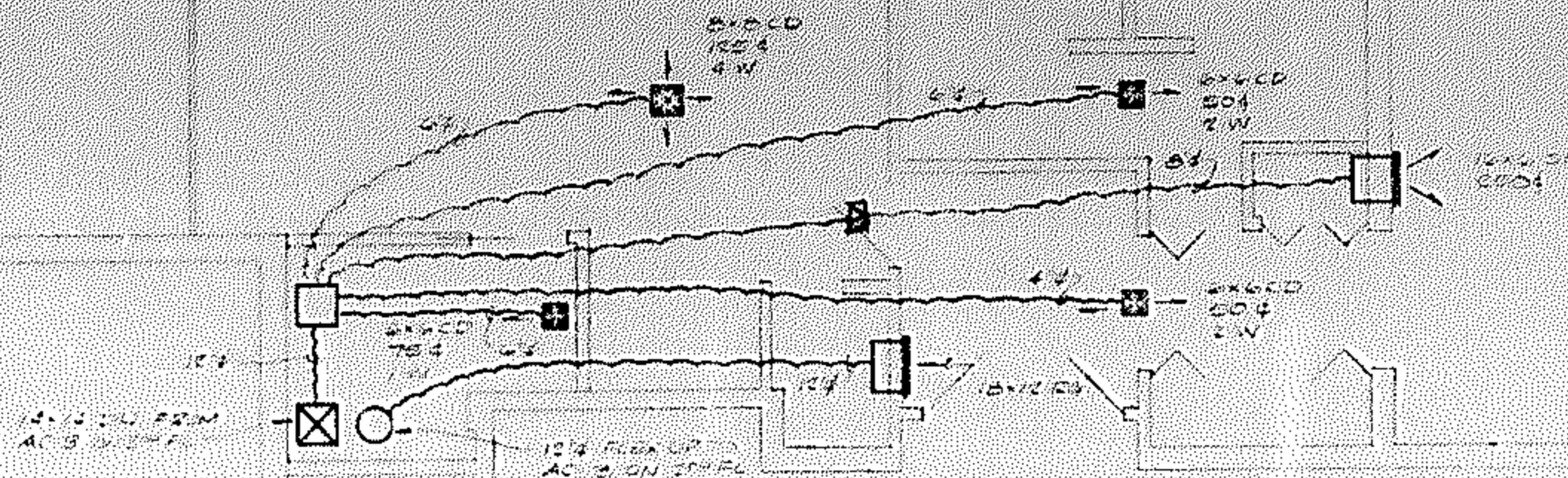
**Ornamentation:** Little or no ornamentation. The colors and textures of materials such as structural glass, glass block, terrazzo, and stainless steel was the expression of the modern. Functional elements such as sun shades (eyebrows) served to decorate as well.



PERMIT #.

87-559

-----  
ADDRESS  
  
\_\_\_\_\_



THOMAS JOSEPH SHAW, AIA  
ARCHITECTS & PLANNERS, INC.

Project No. MAVER RES.

Specification Book

☐ Approved:  
☒ Approved: Subject to Notations and Corrections  
Shown, Submit Corrected Copy

☐ Not Approved: Review as Indicated and Resubmit.  
Checking of Shop Drawings is limited to conformance with general design concept and general arrangements of the project and compliance with information given in the Contract Documents. Approval shall not relieve the Contractor from responsibility of complying with details of design, requirements of Specifications, correct dimensions for proper fitting, capacity, performance, construction or any other requirements of the Contract Documents. The Contractor is responsible for coordination of the work of all trades.

By [Signature] Date May 2, 1987

SHAW  
2004



10-1/2 IN FROM  
FLOOR

# NOTES:

1. AC EQUIPMENT SUPPLIED BY OTHERS  
MARK MODIFIED

AC1: 12-1/2 TON FURN  
CAP: 5-1/2 HP

AC2: 10-1/4 TON FURN  
CAP: 5-1/2 HP

AC3: 8-1/2 TON FURN  
CAP: 4-1/2 HP

AC4: 6-1/2 TON FURN  
CAP: 3-1/2 HP

AC5: 4-1/2 TON FURN  
CAP: 2-1/2 HP

AC6: 2-1/2 TON FURN  
CAP: 1-1/2 HP

2. CONTINUED TO BE FINGERGLASS AND FLEX

TYPE	FAN HP	W	L	H	W	W
12-1/2	14	13	24-0	24-0	100	
10-1/4	13	12	11-0	24-0	90	
8-1/2	14	13	18-4	24-0	80	
6-1/2	14	13	11-0	24-0	70	

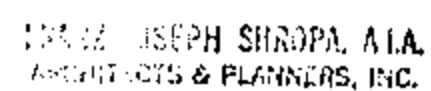
FIRST FLOOR PLAN  
1/2" = 1'-0"

APPROVED

JUN 5 1987

City of Richmond, Va.  
AC Dept.

DESIGNED FOR DR. SMITH SHELTON MAVER			
PROJECT NO. <u>MAVER RES.</u>			
DATE 1/4/87	APPROVED BY [Signature]	REVISIONS	
AAA MODERN AIR			



☒ Approved:  
Reviewed Subject to Notations and Corrections  
Below, Signing Corrected Copy

☐ Not Approved: Revise as Indicated and Resubmit.

Completion of Shop Drawings is limited to conformance with approved design concept and general arrangements of the project and conformance with information given in the final bid documents. Approval shall not relieve the Contractor from responsibility of complying with details of design, requirements of Specifications, correct dimensions for proper fitting, capacity, performance, and any or any other requirements of the Contract Documents. The Contractor is responsible for coordination of the work of all trades.

By 21 June Date MAY 25 1967

**A** **B** **C** **D** **E** **F** **G** **H** **I** **J** **K** **L** **M** **N** **O** **P** **Q** **R** **S** **T** **U** **V** **W** **X** **Y** **Z**

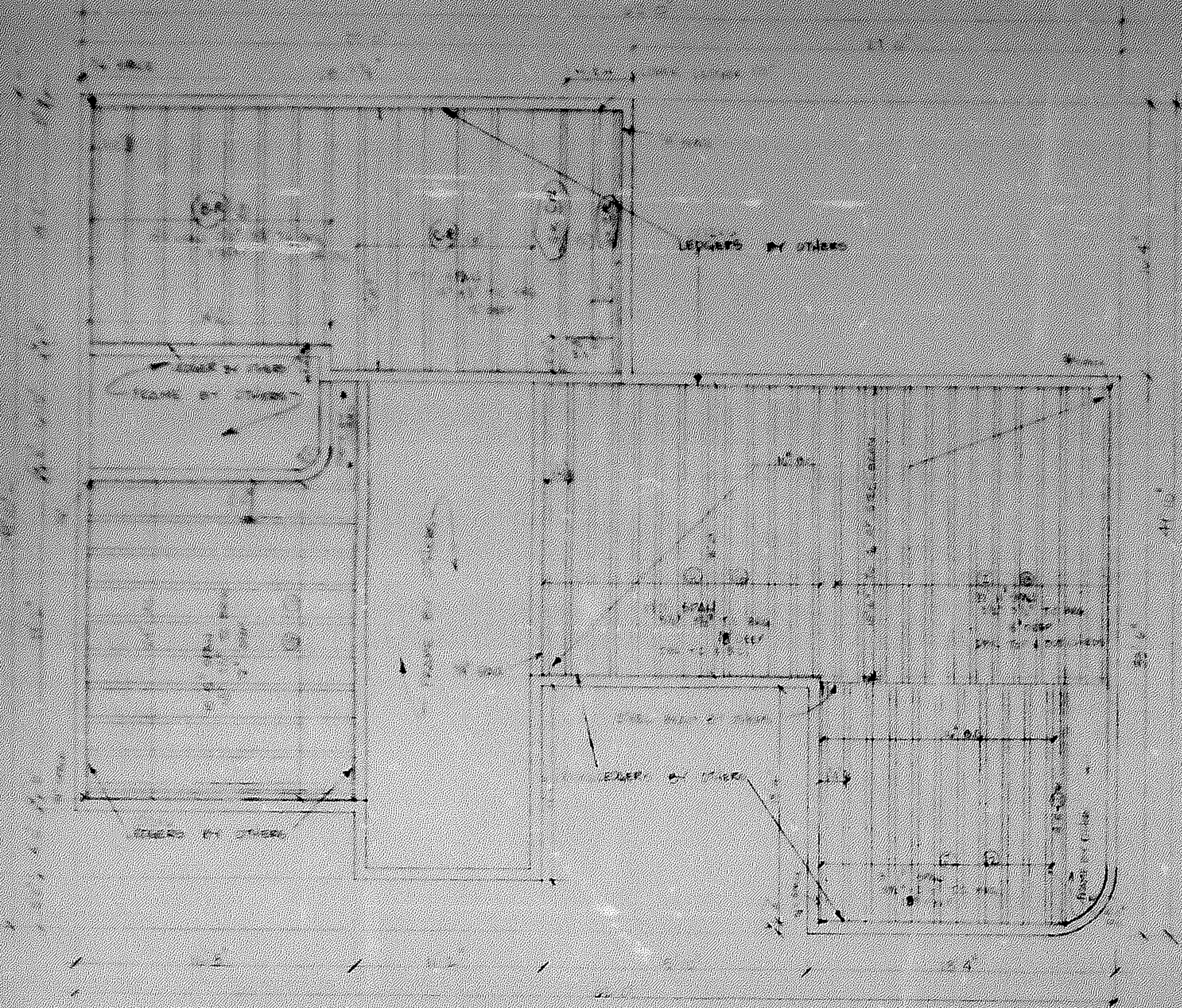
2005 年 5 月

City of Hollywood, Fla.  
A.C. Douglass

RESIDENCE FOR		
DR SMRS SHELLDON MAIER		
MILWAUKEE		FLORIDA
CLASS	VA	APPROVED BY
DATE		
AAA MODERN AIR		REMARKS

5/29/89

1884



UPPER LEVEL TRUSS PLACEMENT DIAGRAM DATE 4-1-87

PROJECT NO. 84-457 NIA 123 245

DATE 2-5-87

APPROVED: [Signature]

DATE 2-5-87

DEAD LOAD BREAKDOWN FOR ROOFING	
FLOOR & PARADEY	
	PSF
3/4" RYHARD	5
CRUSHED STONE	10
MEASUR	19
TILE	8
TRUSS HT	3
TOTAL	45 PSF

**DO NOT CUT OR ALTER TRUSSES**  
 MACK INDUSTRIES WILL NOT HONOR BACK  
 CHARGES UNLESS INTRODUCED BY THIS OFFICE  
 ALL DAMAGE MUST BE REPORTED  
 WITHIN 48 HOURS AFTER DELIVERY

**MACK INDUSTRIES, INC.**

123 456 789 1011 1213 1415 1617 1819 2021 2223 2425 2627 2829 3031 3233 3435 3637 3839 4041 4243 4445 4647 4849 5051 5253 5455 5657 5859 6061 6263 6465 6667 6869 7071 7273 7475 7677 7879 8081 8283 8485 8687 8889 9091 9293 9495 9697 9899 10000

DATE 2-5-87

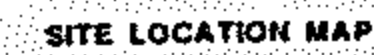
BY [Signature]



THE FIRST PART OF THE BOOK IS A HISTORY OF THE  
THEORY OF THE EARTH, FROM THE BEGINNING OF  
THE WORLD TO THE PRESENT TIME, AND THE SECOND PART  
IS A HISTORY OF THE EARTH, FROM THE PRESENT TIME TO THE  
FUTURE.

**ZONING:** RA-10  
**SETRACKS**  
**front:** 25'  
**rear:** 5'  
**side:** 7.5'

MAXIMUM ALLOWABLE LOT COVERAGE: 40%  
ACTUAL LOT COVERAGE: 3245.33 SQ. FT.  
38.88 %



SCALE 100-1-0

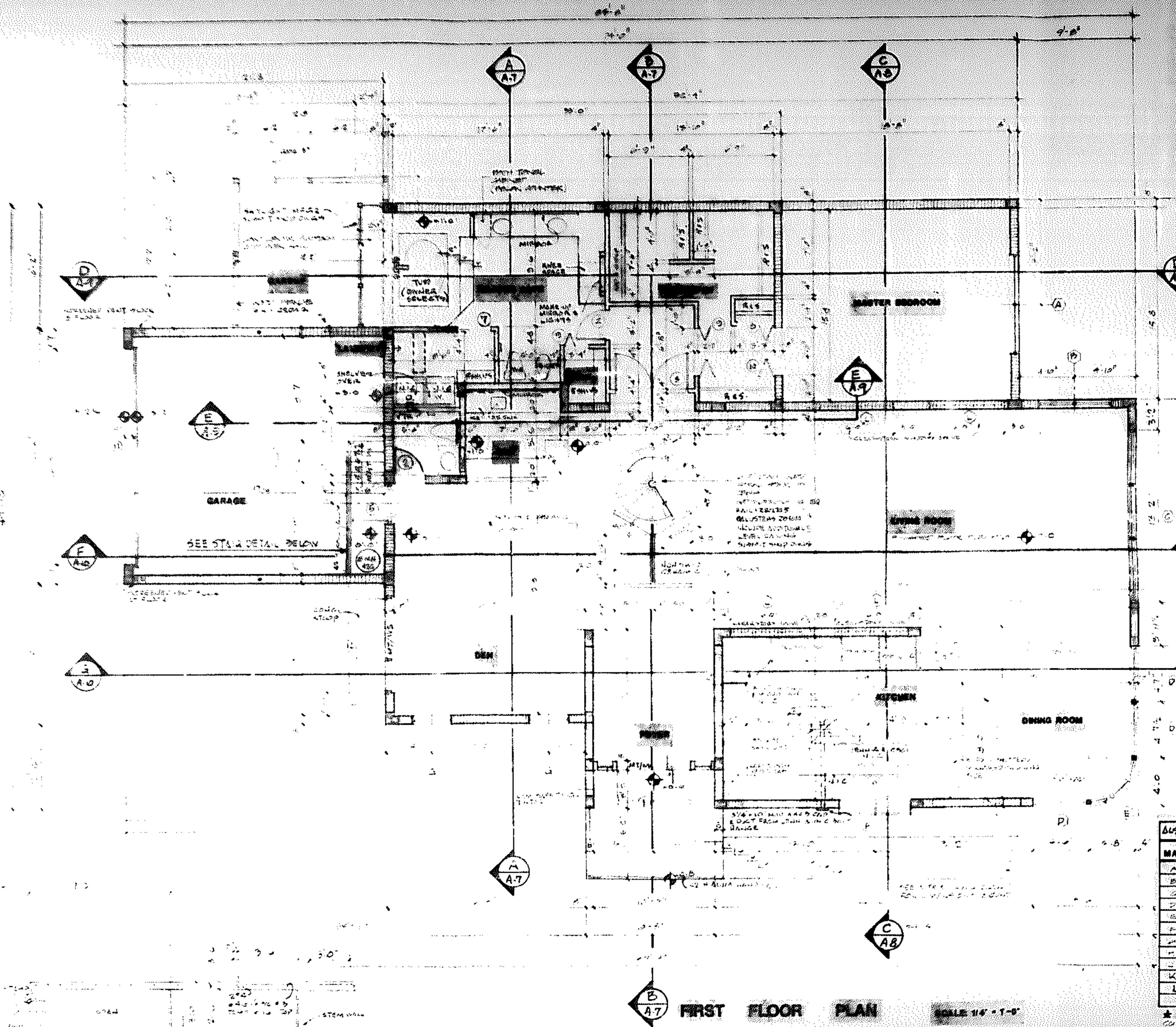
1925 \* 224 AND PARK BLVD  
1925 224 - 2223  
1925 224 - 2223

FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

RESIDENCE FOR  
DR. & MRS. SHELDON MAYER  
HOLLYWOOD  
FLORIDA

DATE AUG. 8, 1986  
DRAWN BY ERM  
COMMISSION #3 63-407

本所定章  
 A-1  
 日期 年 月 日



DOOR SCHEDULE									
MARK	NO.	SIZE	TYPE	FINISH	LOCATION	REMARKS	DATE	BY	CHKD.
1	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
2	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
3	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
4	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
5	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
6	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
7	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
8	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
9	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
10	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
11	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
12	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
13	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
14	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
15	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			

**GENERAL FINISH SCHEDULE**

FLOORS: 1st FLOOR: SWATH CONCRETE TO EXISTING CARPET THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET. 2nd FLOOR: CARPET OVER EXISTING CARPET THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET. GARAGE: CARPET OVER EXISTING CARPET.

WALLS: 1st & 2nd: PAINTED 1/2" DRYWALL THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET. 2nd FLOOR: 1/2" DRYWALL THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET.

CEILING: 1st & 2nd: 1/2" DRYWALL WITH TEXTURE THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET. 2nd FLOOR: 1/2" DRYWALL THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET.

BASE: 1st & 2nd: 1/2" DRYWALL THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET. 2nd FLOOR: 1/2" DRYWALL THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET.

SKIN: 1st & 2nd: 1/2" DRYWALL THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET. 2nd FLOOR: 1/2" DRYWALL THROUGHOUT EXCEPT DEN, KITCHEN AND PORCH TO EXISTING CARPET.

**GENERAL NOTES:**

1. VERIFY ALL DIMENSIONS AT THE SITE.

2. ALL WORK AND MATERIAL SHALL CONFORM TO THE "MINIMUM STANDARD BUILDING CODE" AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MINIMUM STANDARD BUILDING CODE" AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS.

4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MINIMUM STANDARD BUILDING CODE" AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS.

WINDOW SCHEDULE									
MARK	NO.	SIZE	TYPE	FINISH	LOCATION	REMARKS	DATE	BY	CHKD.
A	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
B	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
C	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
D	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
E	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
F	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
G	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
H	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
I	2	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
J	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
K	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			
L	1	3'-0" x 7'-0"	SW	MTL	ENTRANCE	FRONT ENTRY			

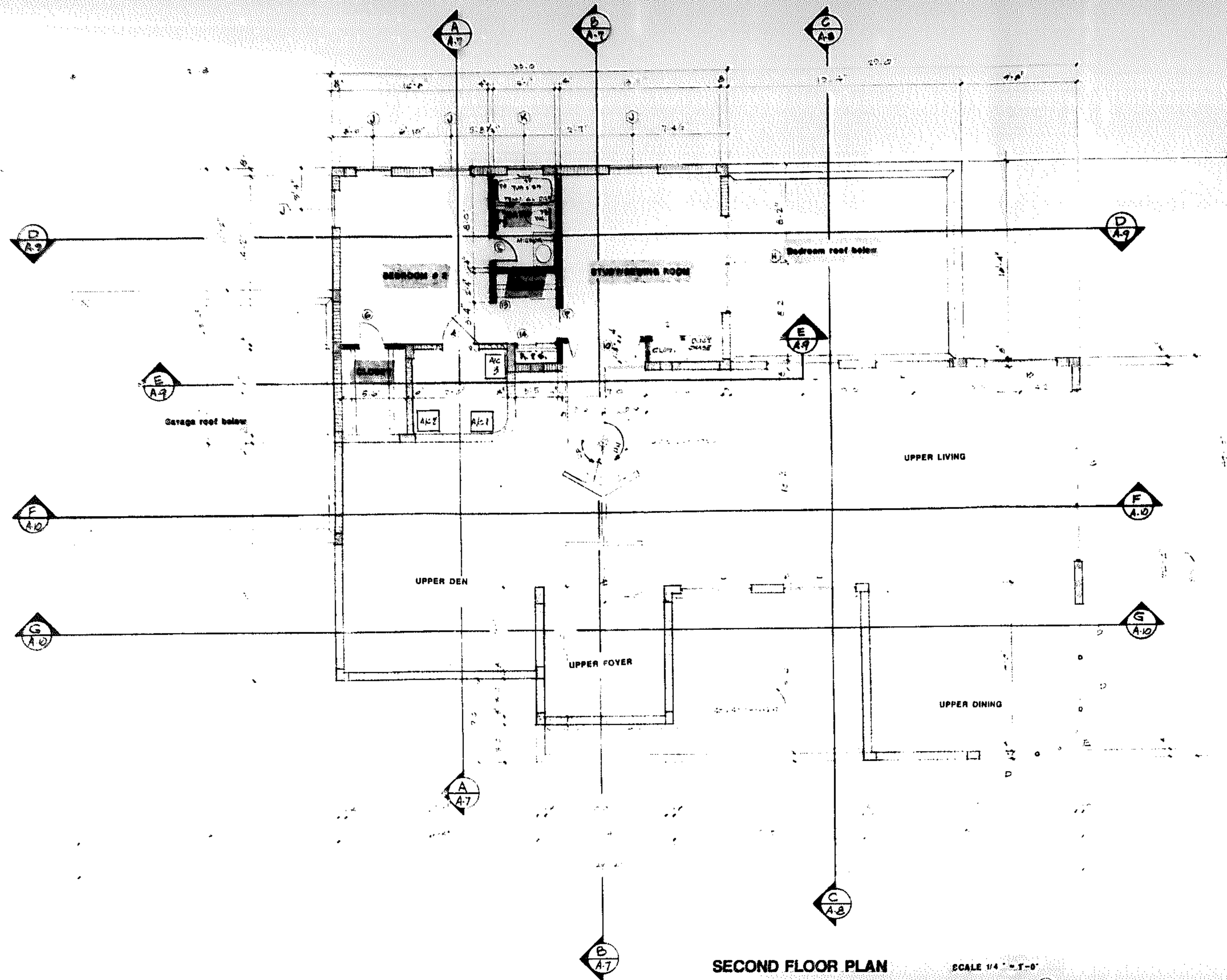
STAIR DETAILS IN GARAGE 3/8"=1'-0"

ALL DIMENSIONS AND MATERIALS APPEARING HEREIN SHALL BE IN ACCORDANCE WITH THE "MINIMUM STANDARD BUILDING CODE" AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS.

FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

3525 W. OAKLAND PARK BLVD.  
SUITE 100  
FORT LAUDERDALE, FLORIDA 33309

DATE: AUG. 6, 1988  
DRAWN BY: J. SHROPA  
CHECKED BY: J. SHROPA  
REVISION NO. 01  
SHEET A-2



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

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FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

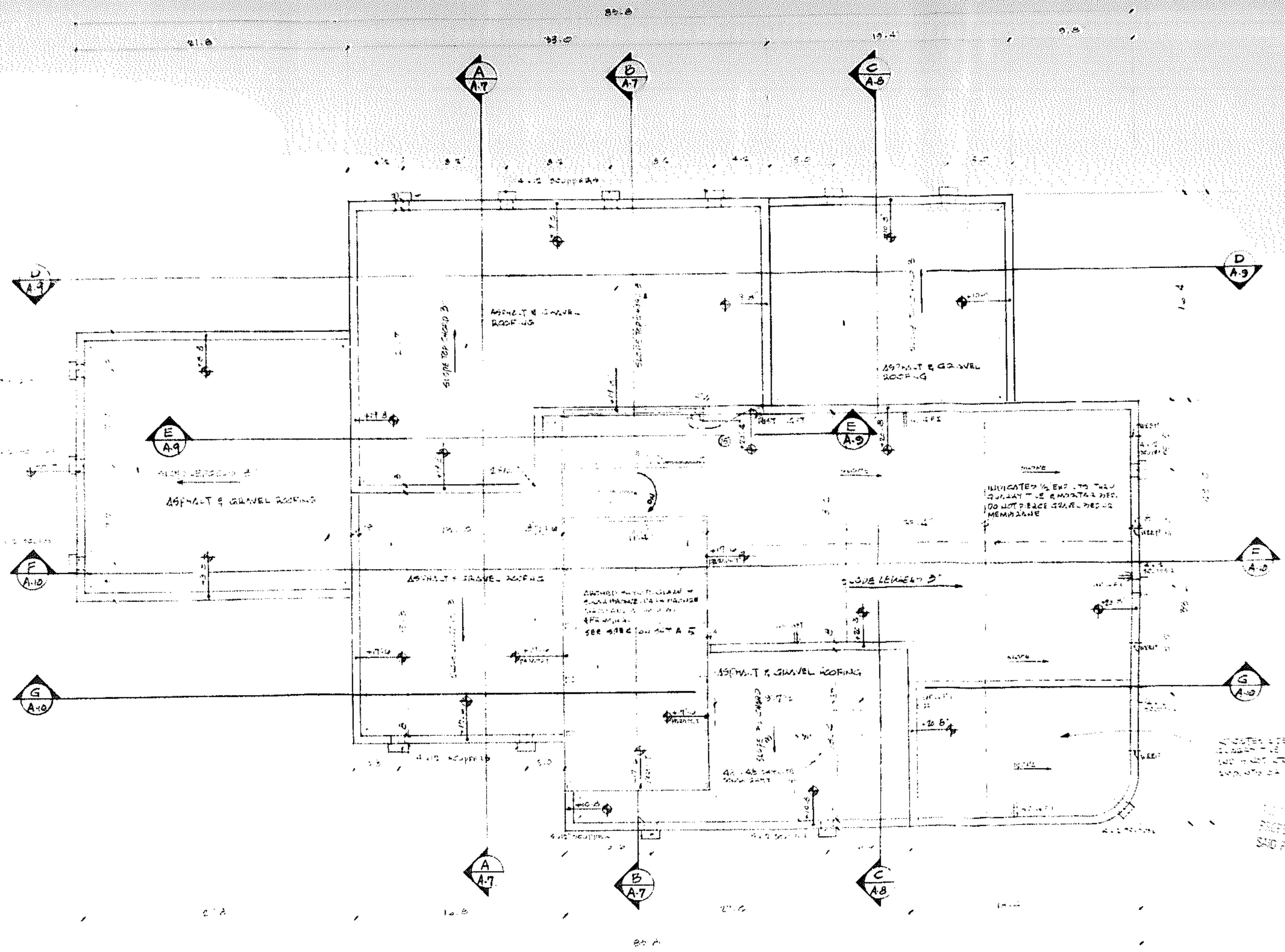
5525 W. OAKLAND PARK BLVD  
SUITE 100  
SUNRISE, FLORIDA 33321

SHEET  
A-3  
OF 10

RESIDENCE FOR  
DR. & MRS. SHELDON MAYER  
HOLLYWOOD, FLORIDA

ALL INFORMATION CONTAINED HEREIN  
PROPERTY WILL BE RETAINED BY  
SAID PROPERTY.

DATE AUG 6, 1988  
DRAWN BY JCS, AIA  
SUBMISSION NO. 88-001



INDICATES HEIGHT TO TOP OF PARAPET FROM 0'-0" (1st FLOOR)

ROOF PLAN SCALE: 1/4" = 1'-0"

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND PLANNERS, INC. AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTS AND PLANNERS, INC.

**FRANZ JOSEPH SHROPA, A.I.A.**  
**ARCHITECTS & PLANNERS, INC.**

300 NW 70th AVENUE SUITE 205  
 (305) 548-7700  
 PLANTATION, FLORIDA 33317

DATE: AUG. 6, 1986  
 DRAWN BY: JCS  
 COMMISSION NO. 88-207  
 SHEET A-4  
 OF 20

RESIDENCE FOR  
**DR. & MRS. SHELDON MAYER**  
 HOLLYWOOD, FLORIDA

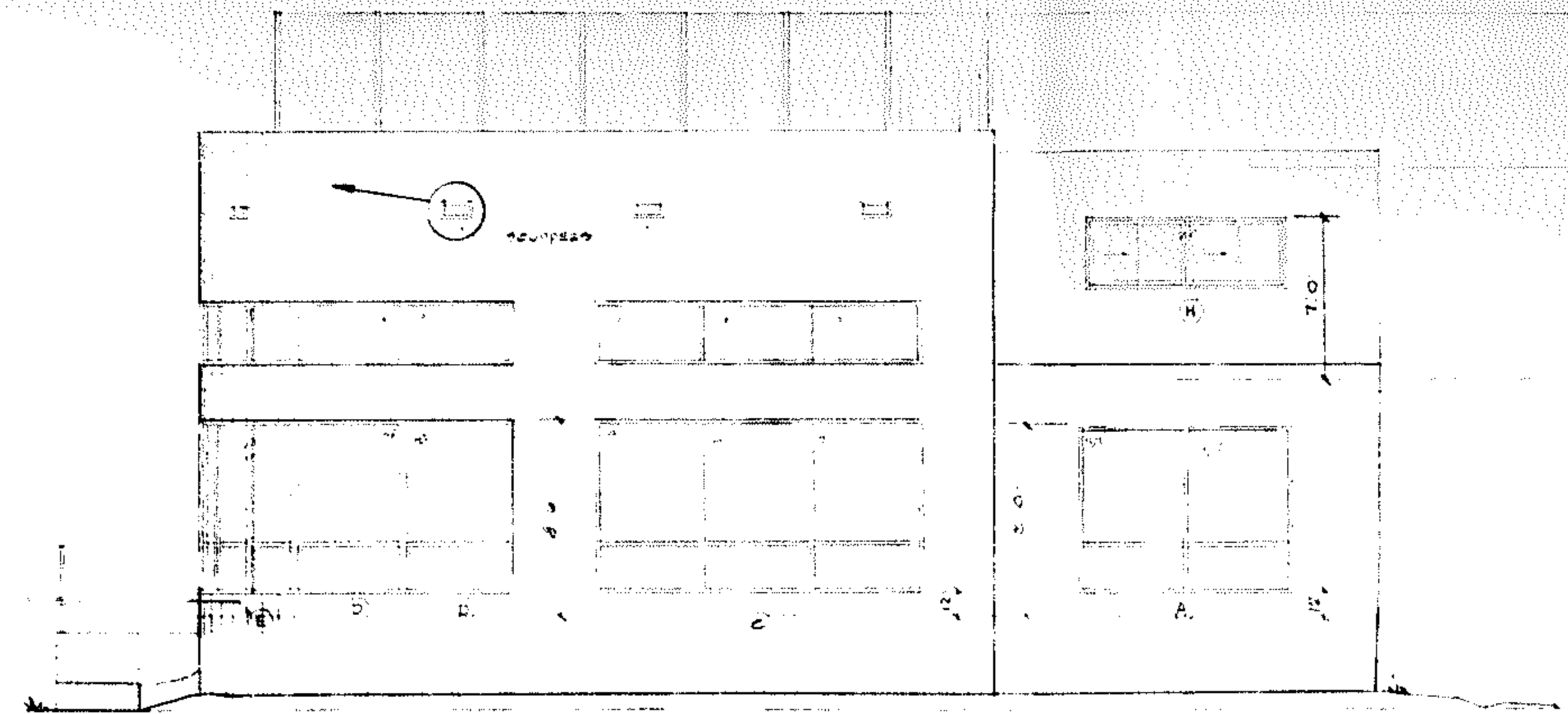


SECTION

ELEVATION

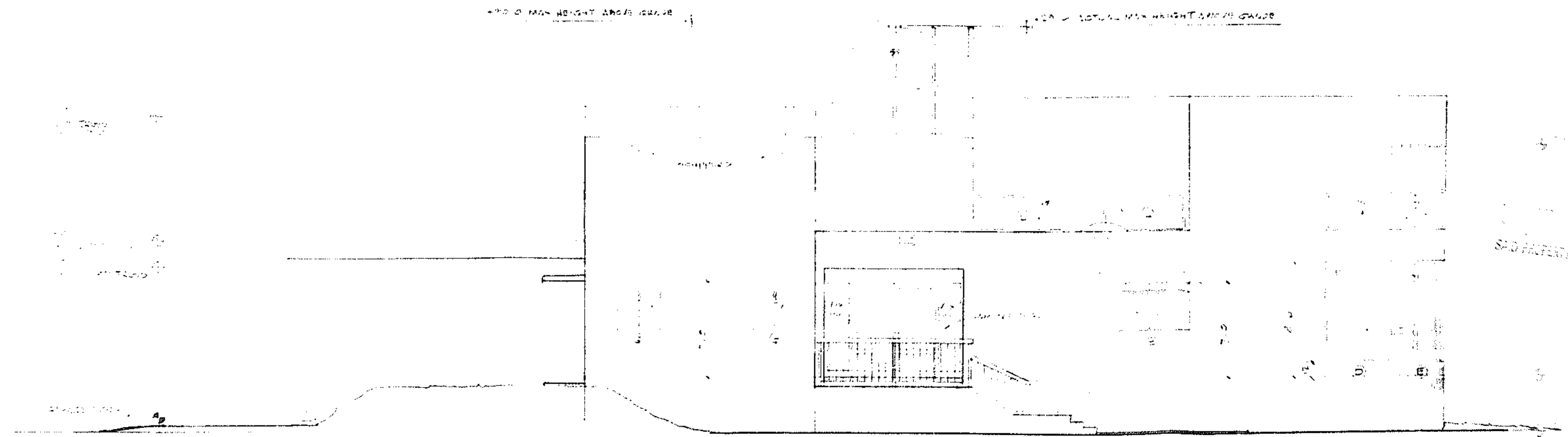
SCUPPER DETAILS

SCALE 1 1/2"=1'-0"



SOUTH ELEVATION

SCALE 1/4"=1'-0"



WEST ELEVATION

SCALE 1/4"=1'-0"

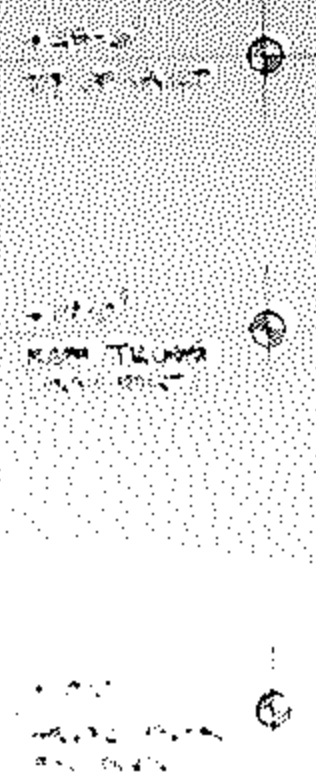
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FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

3325 N. OAKLAND PARK BLVD.  
SUITE 100  
SUNRISE, FLORIDA 33321  
(305) 742-3301

DATE: AUG. 6, 1988  
DRAWN BY: JES  
COMMISSION NO. 88-487  
RESIDENCE FOR  
DR. & MRS. SHELDON MAYER  
HOLLYWOOD, FLORIDA

SHEET  
A-5  
OF 12

[illegible]

Architectural drawing showing a cross-section of a building. The drawing includes a trellis structure on the right side, labeled "SEE TRELLIS DETAIL THIS SHEET". The structure is supported by a sloped roofline. Various dimensions and structural details are indicated with lines and text. A note on the right side reads: "ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE".

ALL WATER GENERATED ON  
PROPERTY WILL BE RECLAIMED  
SAID PROPERTY.

SEE TRELLIS DETAIL THIS SHEET

ALL WATER GENERATED ON  
PROPERTY WILL BE RECLAIMED  
SAID PROPERTY.

RESIDENCE FOR  
DR. & MRS. SHELDON MAYER  
FLORIDA

NOTICE AND ADVICE

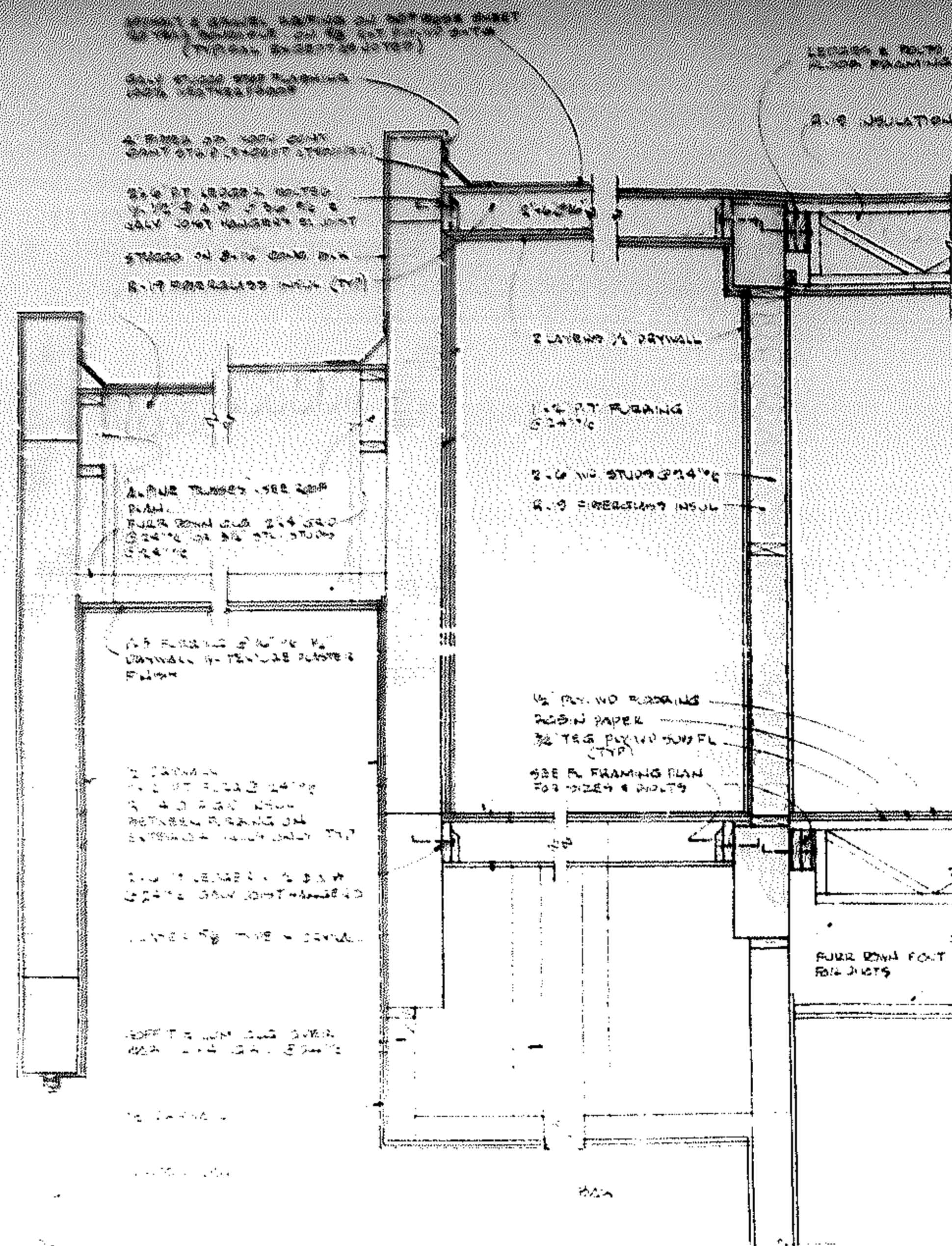
UNAWH BY 3 77

5-10-20-2  
 A-6  
 20-20

[illegible]

FRANZ JOSEPH SHROPA, A.I.A.  
 ARCHITECTS & PLANNERS, INC.

300 NW 70th Avenue Suite 205  
 (305) 542-7700  
 PLANTATION, FLORIDA 33357

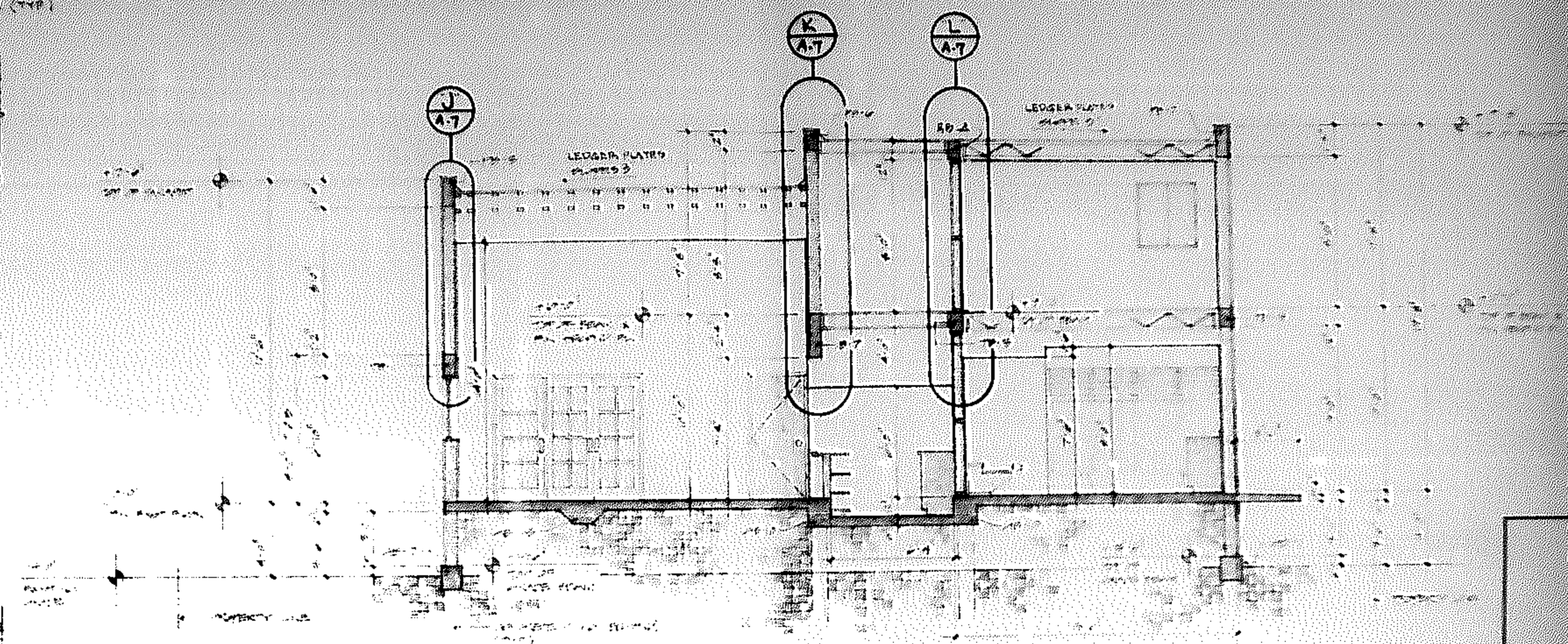


DETAIL "J"  
A-7

DETAIL "K"  
A-7

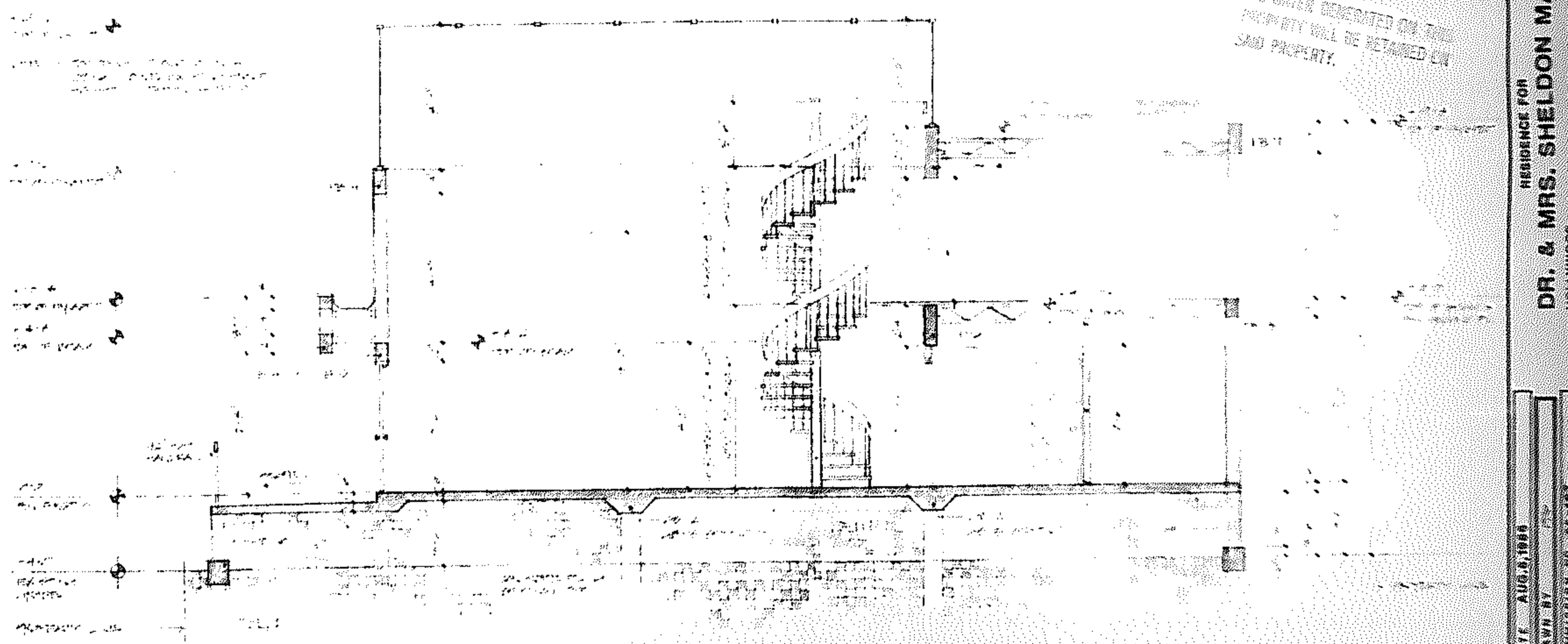
DETAIL "L"  
A-7

all scale 1"=1'-0"



Section A-A

SCALE: 1/4" = 1'-0"



Section B-B

SCALE: 1/4" = 1'-0"

ALL WATER GENERATED ON THIS  
PROPERTY WILL BE RETAINED ON  
SAID PROPERTY.

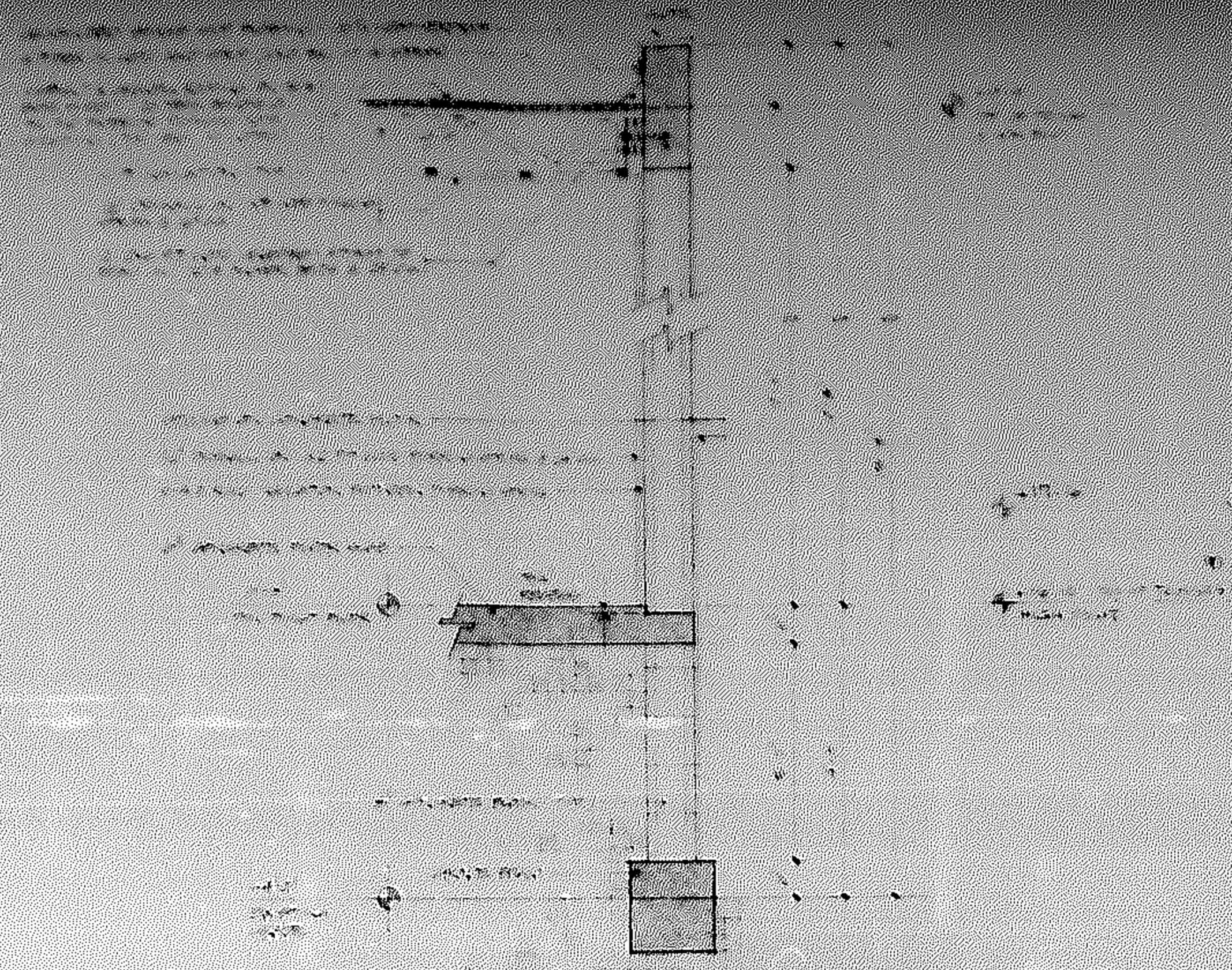
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AND UNPUBLISHED WORK OF FRANZ JOSEPH SHROPA, AIA ARCHITECTS AND PLANNERS, INC.  
AND ANY THE SAME MAY NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE  
WRITTEN CONSENT OF FRANZ JOSEPH SHROPA, AIA ARCHITECTS AND PLANNERS, INC.

**FRANZ JOSEPH SHROPA, A.I.A.**  
**ARCHITECTS & PLANNERS, INC.**

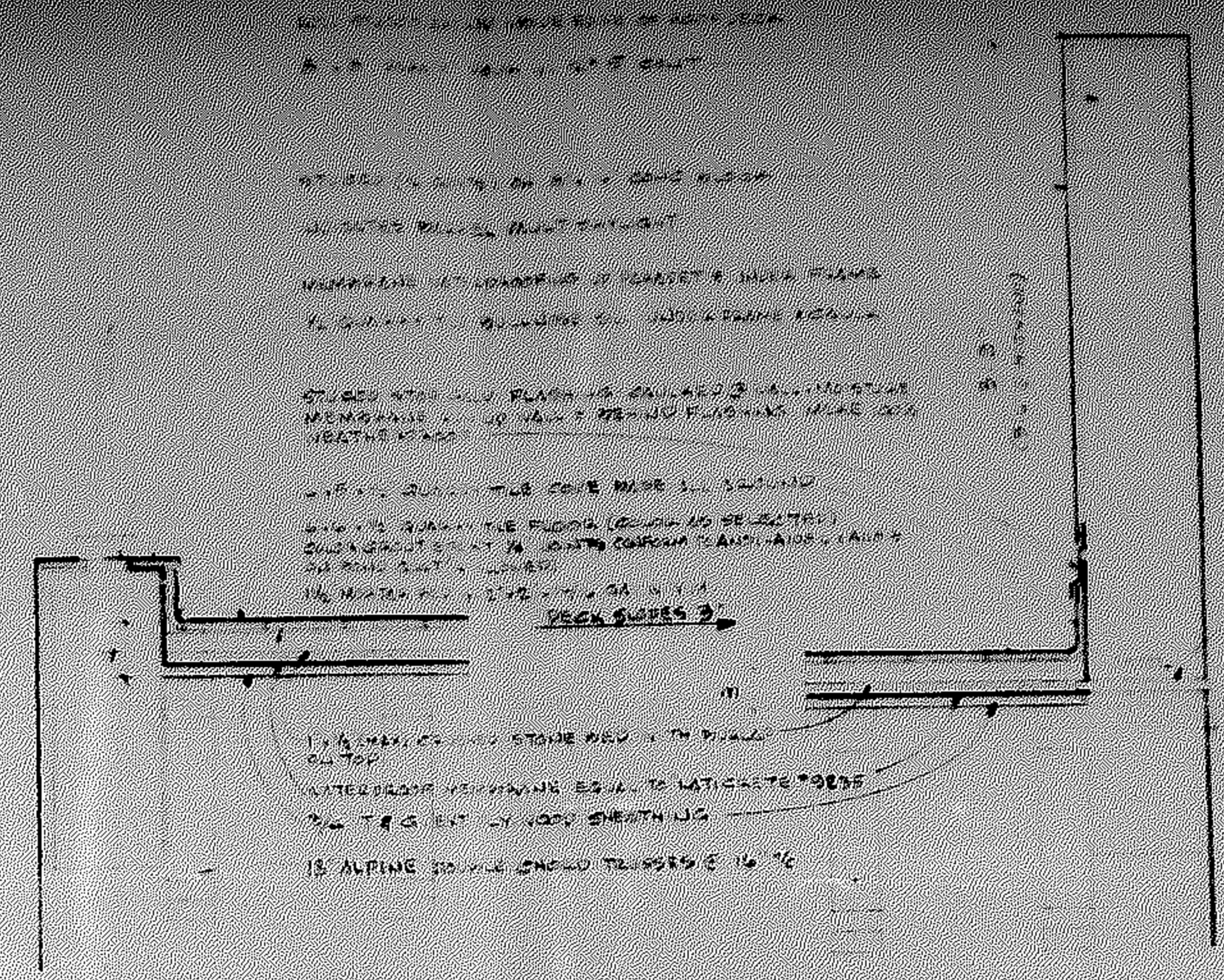
300 N.W. 70TH AVENUE SUITE 203  
PLANTATION, FLORIDA 33322  
(305) 548-7700

DATE AUGUST 1988  
DRAWN BY  
COMMISSION NO. 84-457  
RESIDENCE FOR  
**DR. & MRS. SHELDON MAYER**  
FLORIDA

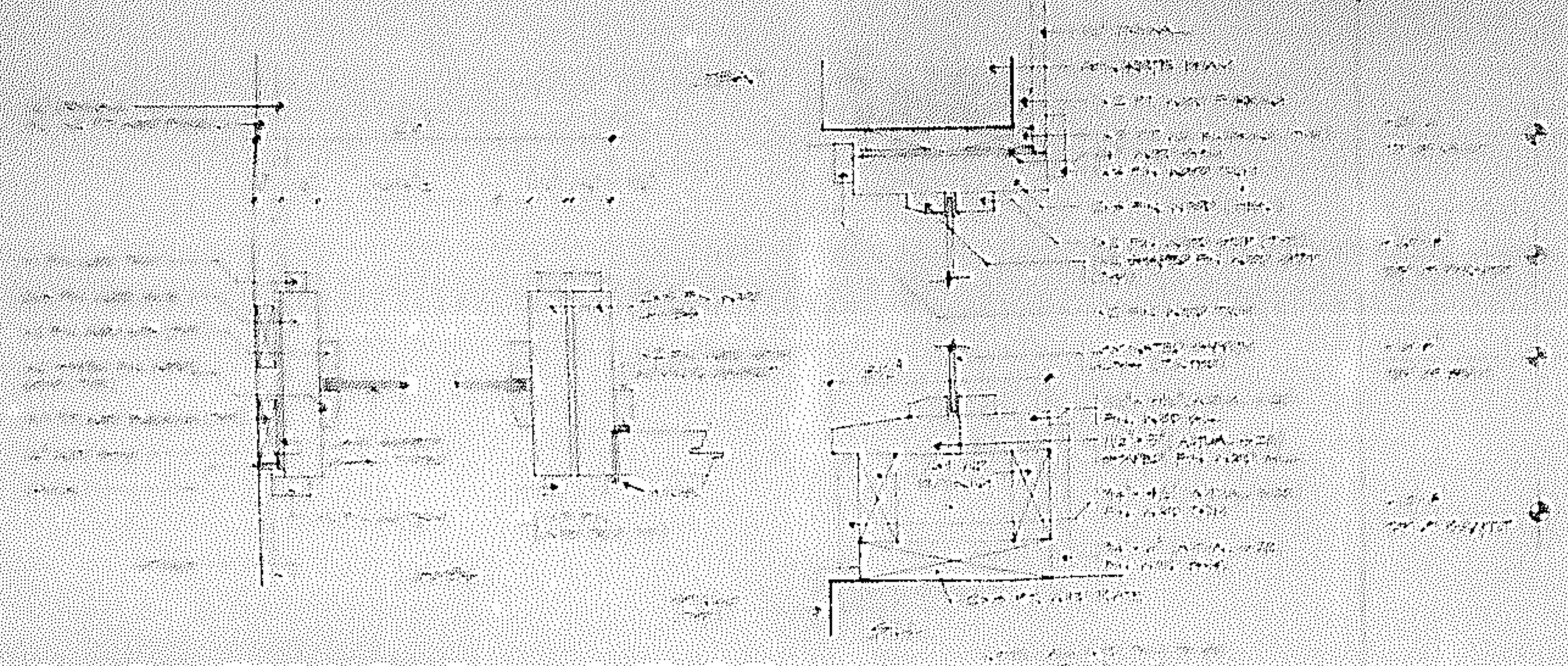
SHEET  
**A-7**  
OF 10



**WALL SECTION**  
SCALE: 3/4" = 1'-0"



**ROOF DECK FLOOR and PARAPET DETAIL** Scale 1 1/2" = 1'-0"



**Entry Door Sidelight Details** scale: 3" = 1'-0"

**BARREL ARCH SPEC;**

BARREL ARCH SKYLIGHT, AS SUPPLIED BY BOWEN MANUFACTURING CO., INC. OR EQUAL AND CONSTRUCTION SHALL COMPLY TO PERTINENT STANDARDS OF AIAA, NASSI & A. ALL WORK SHALL BE DONE BY QUALIFIED AND EXPERIENCED FRAMERS APPROVED BY "BOWEN" AND ARCHITECT.

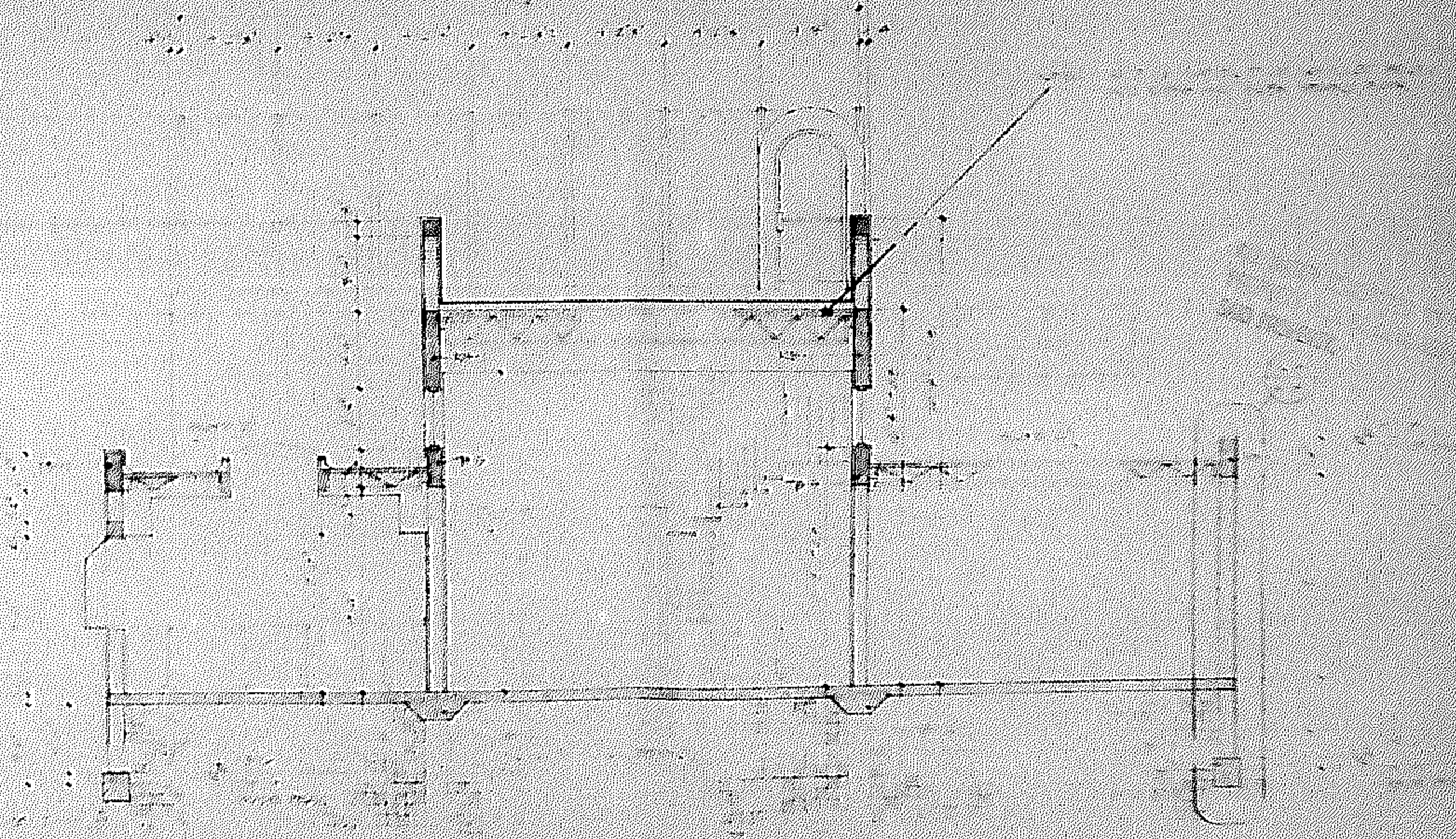
SUBMIT COMPLETE ENGINEERED SHOP DRAWINGS AND SHIMPS FOR ARCHITECT'S APPROVAL.

A WRITTEN WARRANTY SHALL BE FURNISHED RELATING TO REPAIR OR REPLACE SKYLIGHTS WHICH LEAKS OR EXHIBITS DEFECTS IN DESIGN, MATERIALS, WORKMANSHIP OR DEFECTS WITHIN 2 YEARS OF FINAL ACCEPTANCE. MATERIALS, DESIGN & WORKMANSHIP SHALL COMPLY TO THE LATEST PROVISIONS OF THE SOUTH FLORIDA BUILDING CODE.

THE SKYLIGHT SHALL BE DESIGNED TO PROVIDE EXPANSION AND CONTRACTION OF COMPONENT MATERIALS CAUSED BY TEMPERATURE VARIATIONS.

AN INTERNAL OUTTERING SYSTEM SHALL BE PROVIDED TO CONTROL AND DRAIN WATER INFILTRATION AND CONDENSATION TO THE EXTERIOR. DRAINAGE, ALL WEATHER AND WEATHERED FRAMES, AND DRAINAGE, FASTENERS, FLASHING, GASKETS, SEALANTS, GLAZING, ETC. GLAZING SHALL BE RUBBER GASKETS OR GASKET.

INSTALL AS PER TYPICAL SPECIFICATIONS.



**Section C-C**

SCALE: 1/4" = 1'-0"

FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

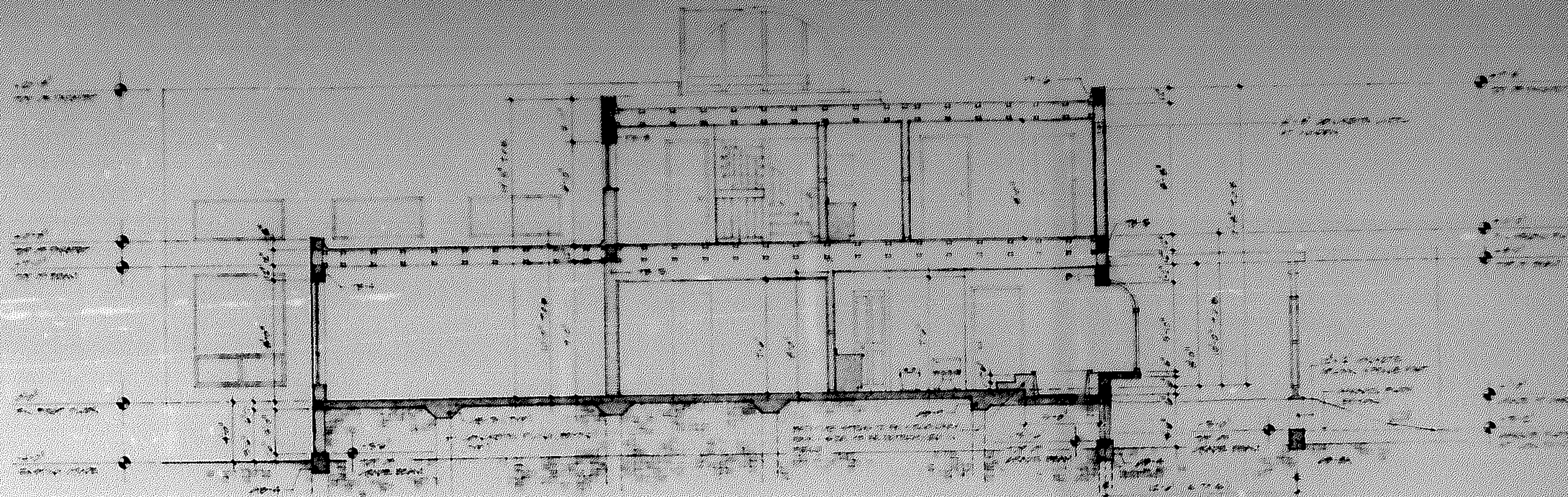
FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

513 NW 10TH AVENUE SUITE 202  
MIAMI, FL 33136  
PHONE: 305-546-7700  
FAX: 305-546-7701

RENDERED FOR  
**DR. & MRS. SHELDON MAYER**  
HOLLYWOOD, FLORIDA

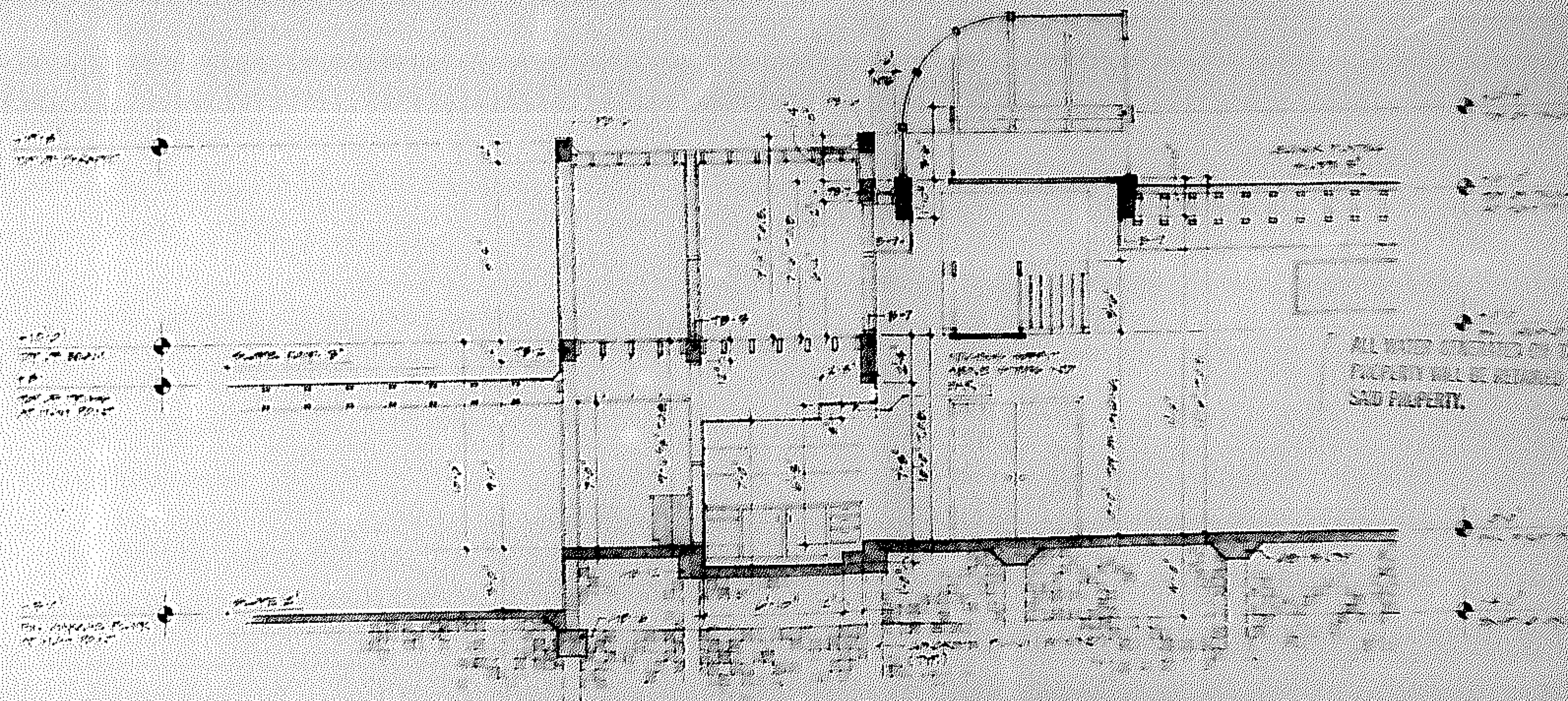
DATE: AUG 6, 1998  
DRAWN BY: [Signature]  
COMMISSION NO.: 88-107

SHEET  
**A-8**



Section D-D

SCALE: 1/4" = 1'-0"



Section E-E

SCALE: 1/4" = 1'-0"


ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF FRANZ JOSEPH SHROPA, A.I.A. ARCHITECTS AND PLANNERS, INC. AND THE SAME MAY NOT BE COPIED, REPRODUCED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF FRANZ JOSEPH SHROPA, A.I.A. ARCHITECTS AND PLANNERS, INC.

**FRANZ JOSEPH SHROPA, A.I.A.**  
*Shropa*  
**ARCHITECTS & PLANNERS, INC.**

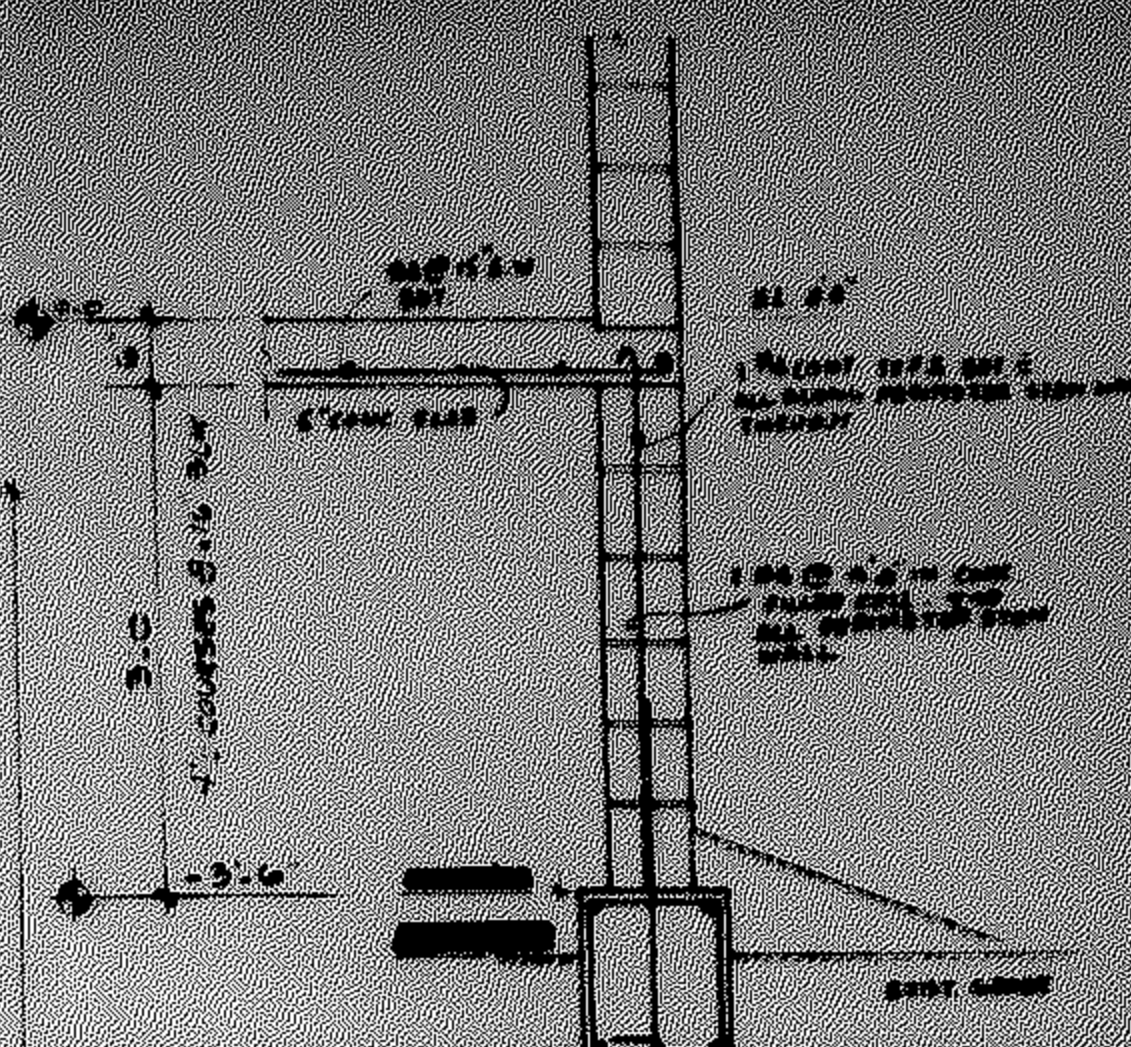
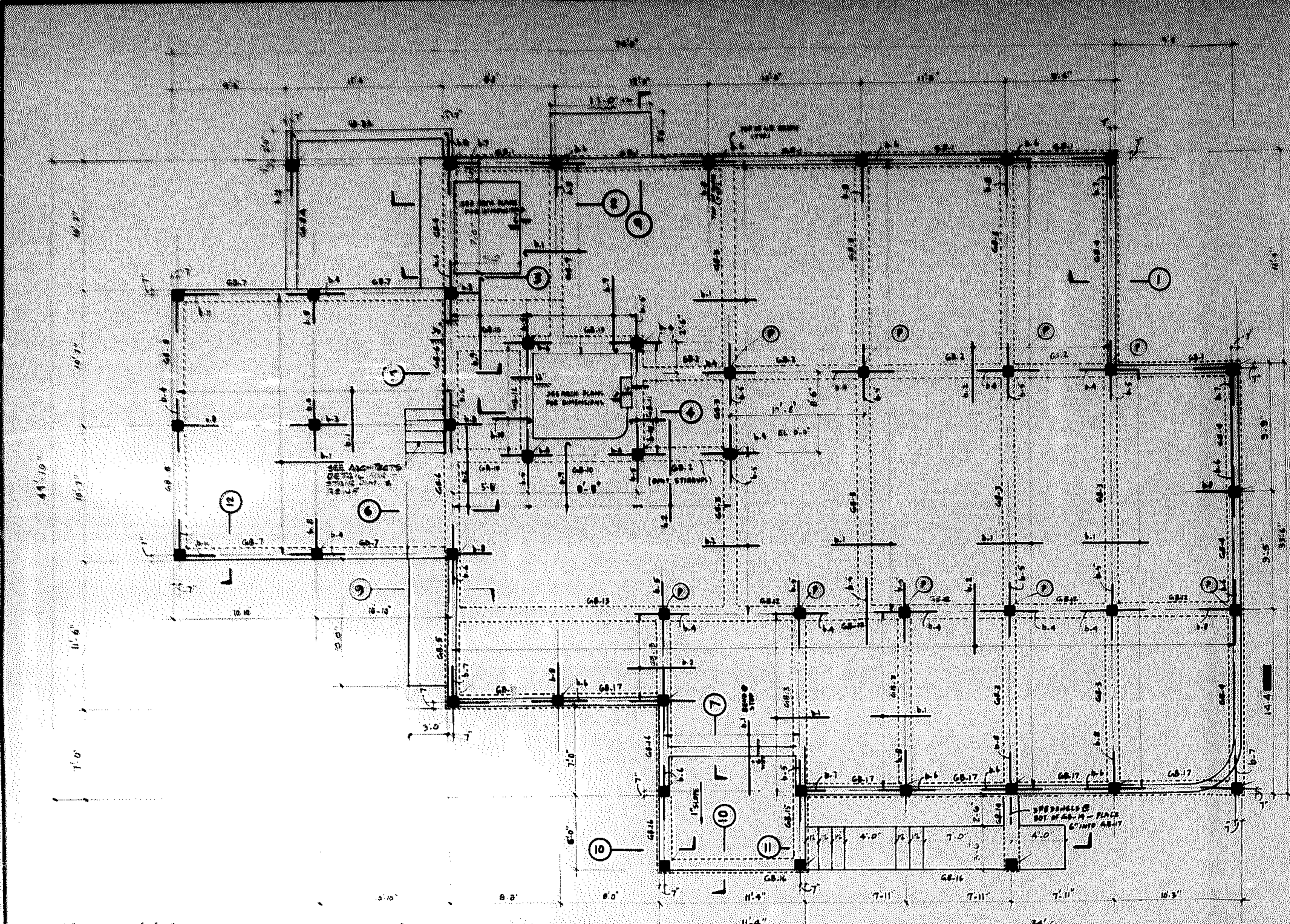
300 NW 10TH AVENUE SUITE 202  
 MIAMI, FLORIDA 33137  
 (305) 548-7700

PREPARED FOR  
**DR. & MRS. SHELDON MAYER**  
 HOLLYWOOD, FLORIDA  
 DATE: AUGUST 1961  
 DRAWN BY: [Signature]  
 EXAMINED BY: [Signature]

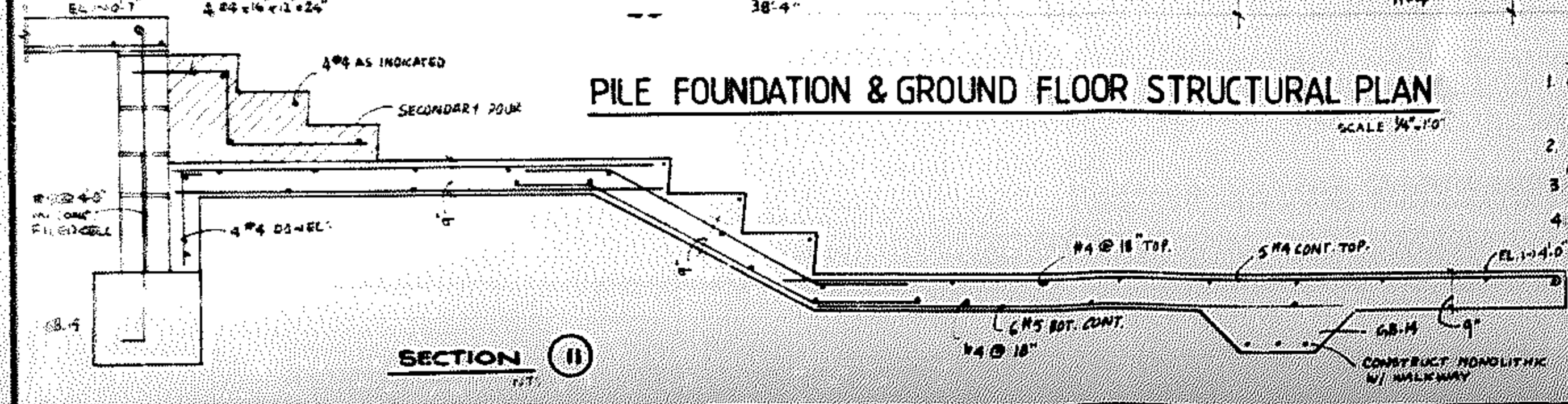
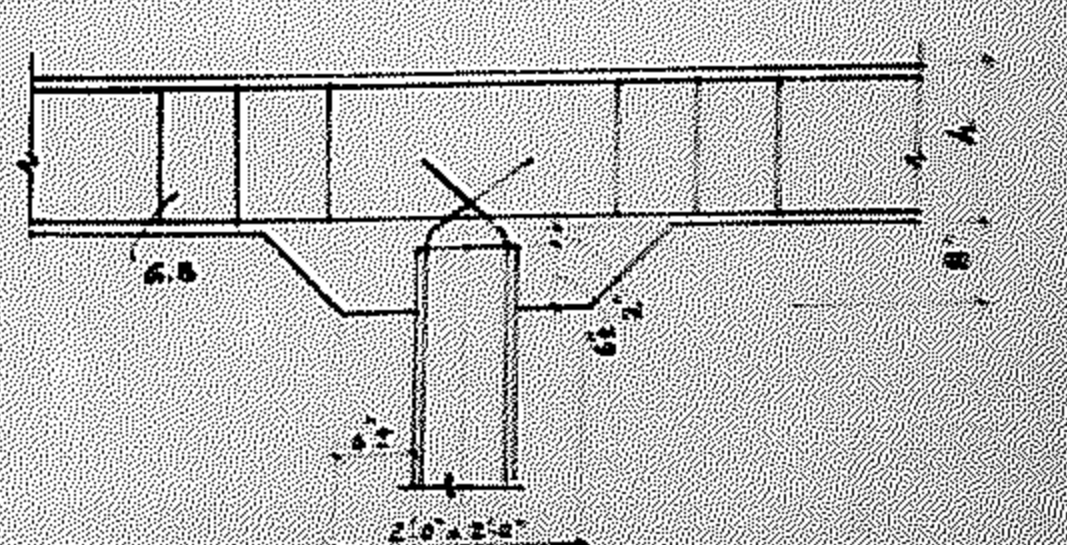
SHEET  
**A-9**  
 OF 10



FREE  
A-10  
25¢



SYMBOL	DESCRIPTION	REMARKS
b.0	#4 @ 12" E-W. BOT. THRUOUT EXCEPT WHERE GARAGE AREA SHOWN	EXCEPT IN GARAGE AREA
b.0.1	#4 @ 12" E-W. BOT. IN GARAGE AREA & KITCHEN AREA	DO-
b.1	#4 @ 12" @ 16" TOP	PROVIDE CORNER BARS
b.2	#4 @ 12" @ 16" TOP	DO-
b.3	7 #4 @ 7" @ 1" TOP. CENTERED ON FILE	
b.4	3 #4 @ 7" @ 1" TOP. CENTERED ON FILE	
b.5	3 #4 @ 12" @ 1" TOP. CENTERED ON FILE	
b.6	3 #4 @ 7" @ 1" TOP. PLACED IN TOP OF ALL EXTERIOR WALLS & CORNERS	
b.7	2 #4 @ 7" @ 1" TOP. TOP STOP WALLS	
b.8	#4 @ 7" @ 1" TOP	
b.9	#4 @ 7" @ 1" TOP	
b.10	#4 @ 7" @ 1" TOP	
b.11	2 #4 @ 4" @ 1" CORNER BARS	
b.12	2 #4 @ 4" @ 1" TOP	
b.13		
b.14		



- NOTES**
- GROUND FLOOR SLAB THICKNESS = 6" THRUOUT, PROVIDE 4 MIL V. BARRIER THRUOUT UNDER THE SLAB & PROVIDE 1" CLEAR COVER ON ALL BOT. REBARS IN SLAB. ALL TOP REBARS SHALL HAVE 7/8" CLEAR COVER.
  - PROVIDE 1 #4 TOP & BOT EA. CONTINUOUS ALL ALONG THE PERIMETER OF SLAB. (NOT SHOWN IN PLAN)
  - ALL PILES MARKED (P) SHALL BE 12" DIA. PRECAST CONG. PILES DRIVEN TO 25 TON CAPACITY MIN. ALL OTHER PILES SHALL BE 10" DIA. DRIVEN TO 17 TON MIN. CAPACITY.
  - LOCATE THE C.O.L.S. AS PER ARCH. PLANS & PROVIDE CON. DOWELS.

**ALL AMERICAN ENGINEERING ASSOC.**  
**CONSULTING ENGINEERS & PLANNERS**  
 5010 S.W. 108 AVENUE COOPER CITY, FLA. 33328 PH. 305 434-0304

FRANZ JOSEPH SIKORA, A.I.A.  
 ARCHITECT & PLANNERS, INC.

ENGINEER FOR  
 DR. & MRS. SHELDON MAYER  
 HOLLYWOOD

CHECKED BY  
 DESIGNED BY  
 DATE  
 T-24-86  
 CONSTRUCTION NO.  
 86-107  
 SHEET  
 S-1



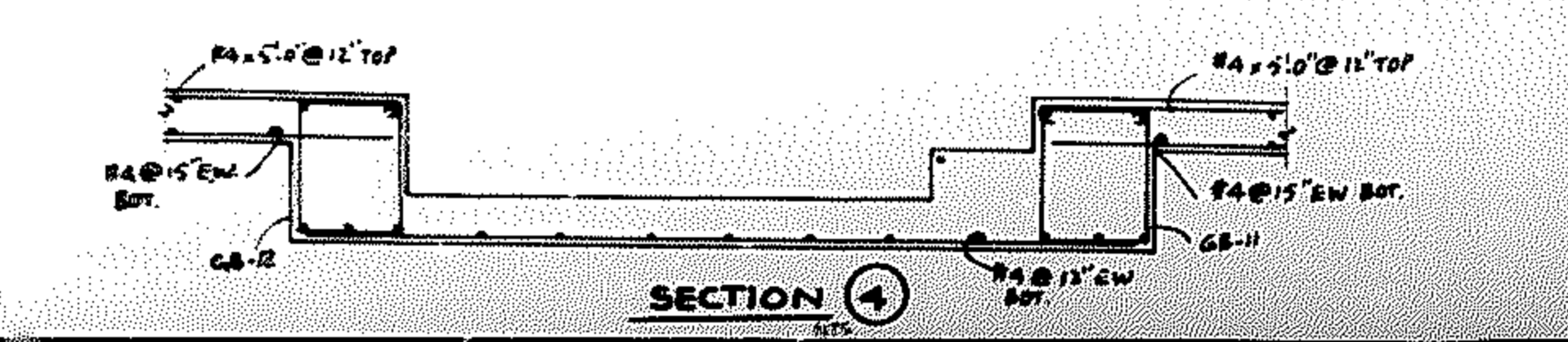
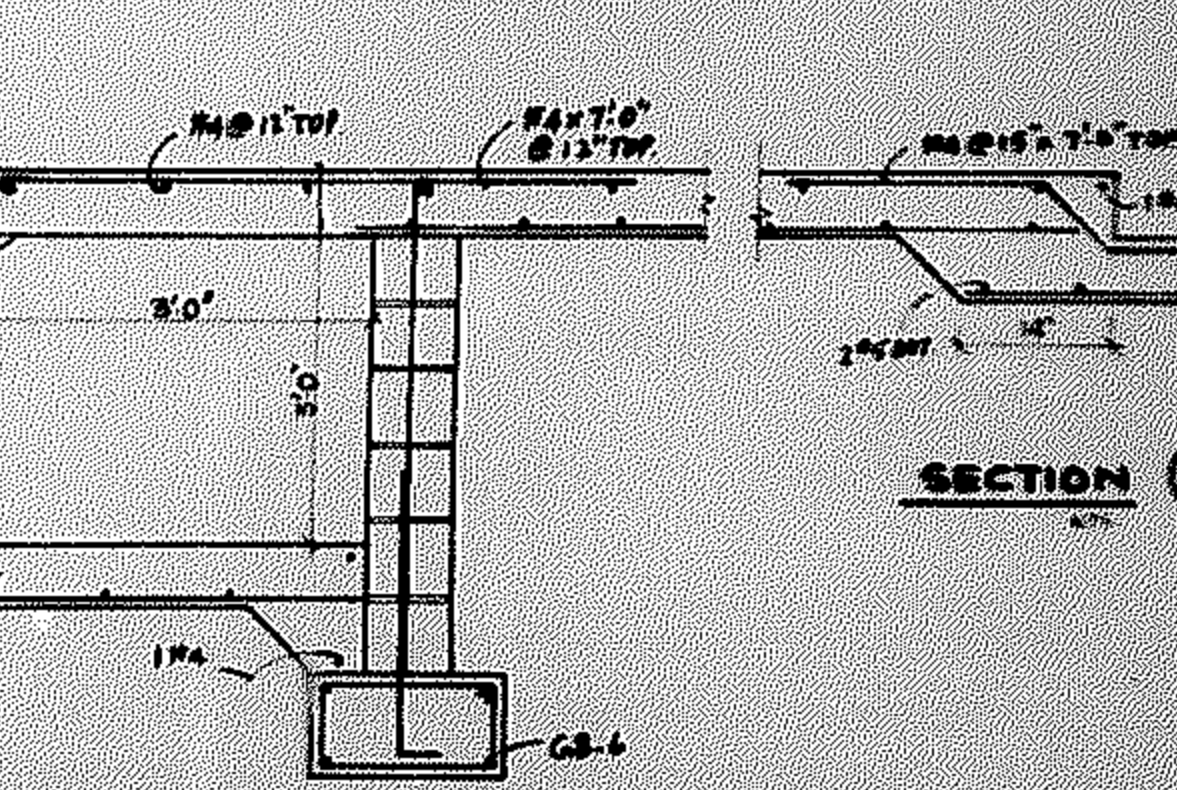
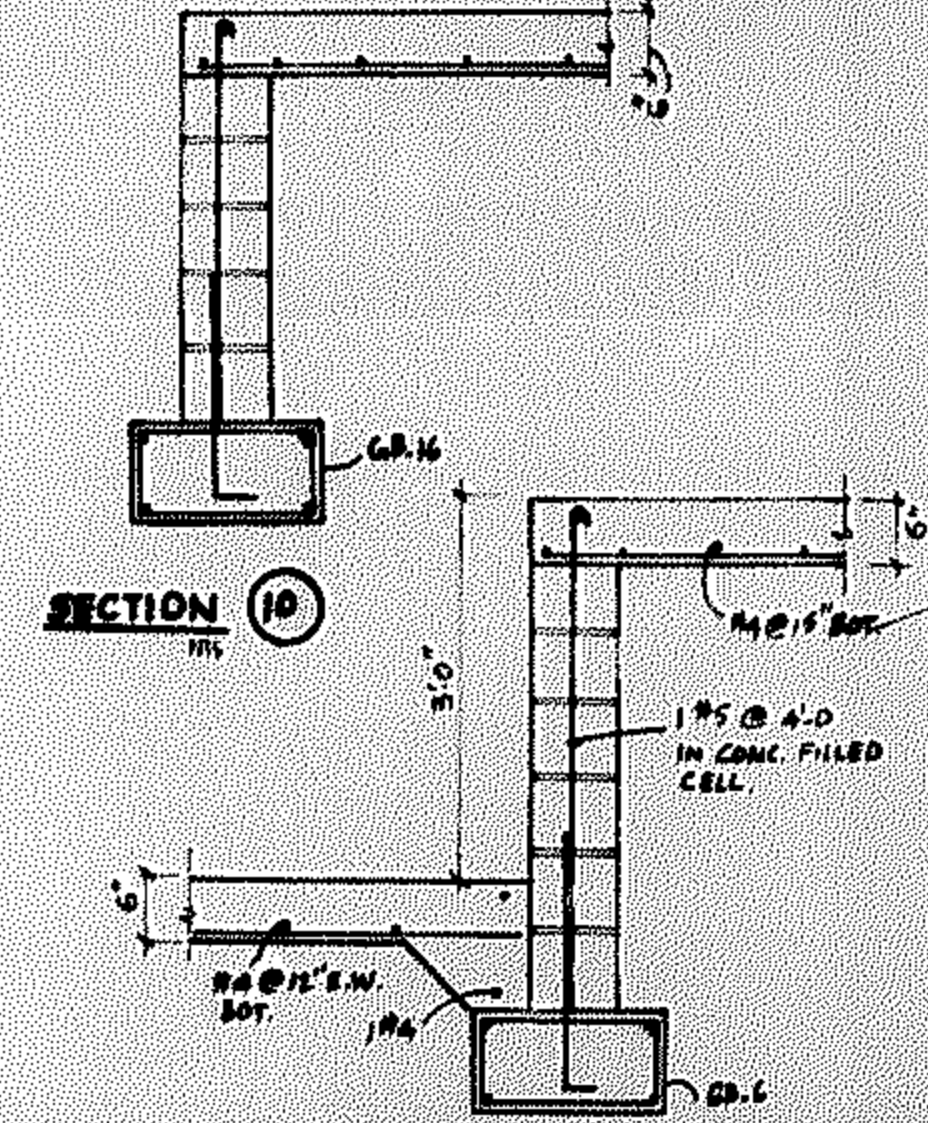
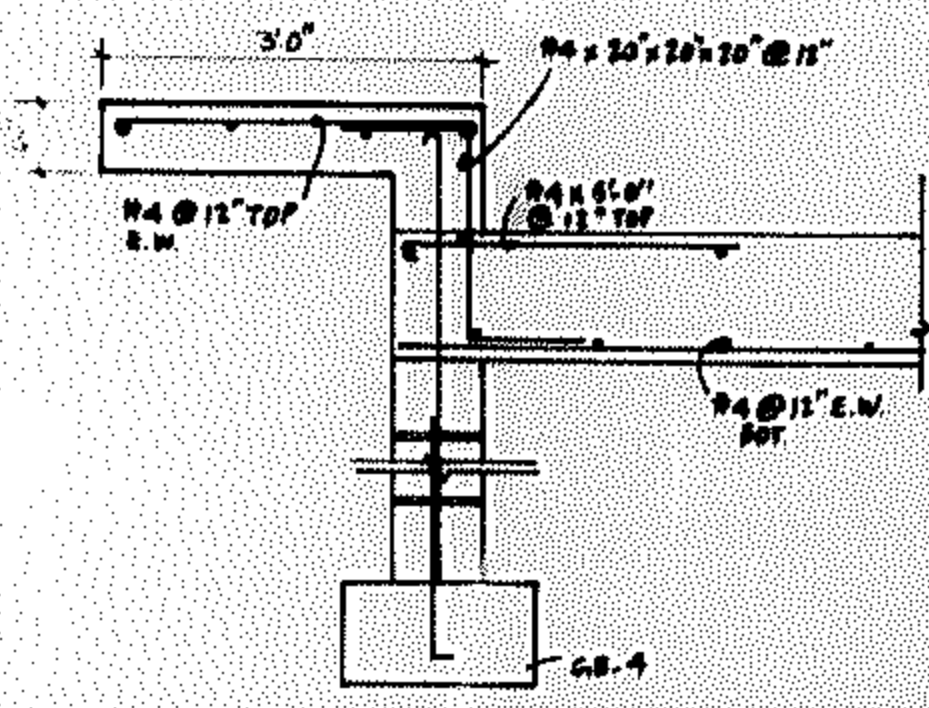
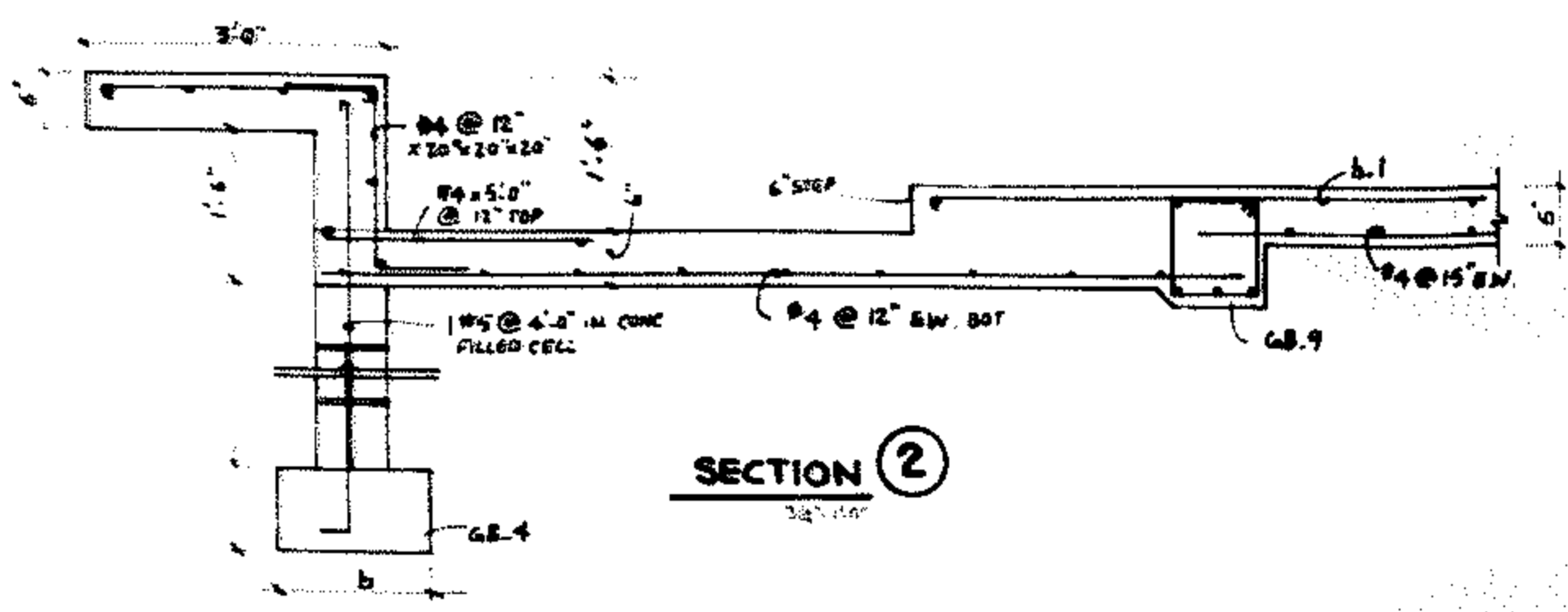
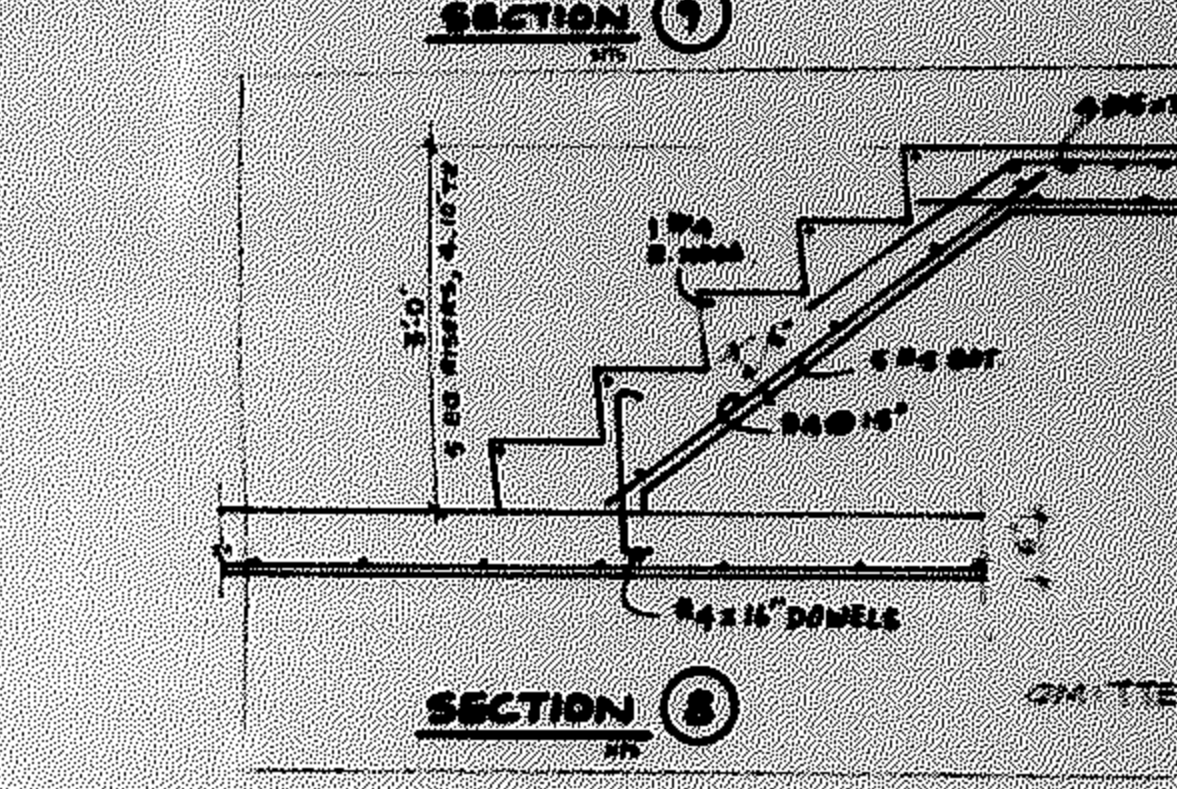
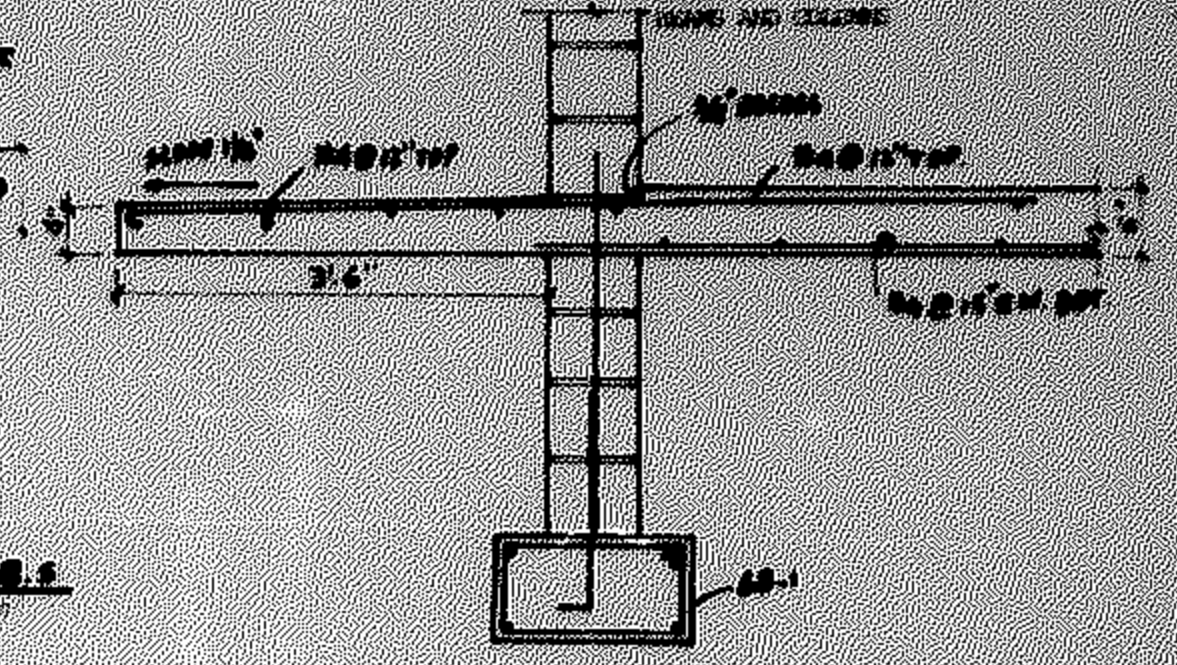
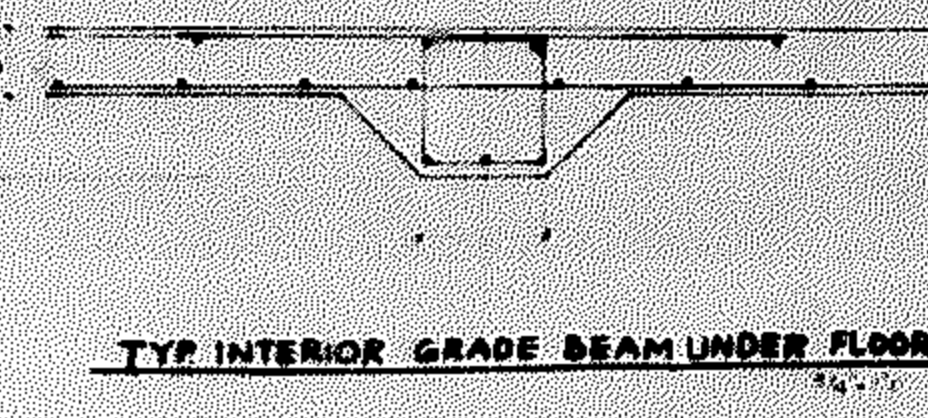
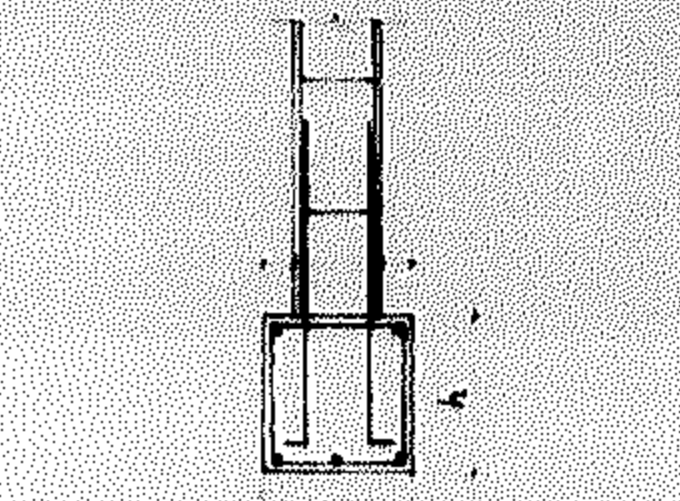
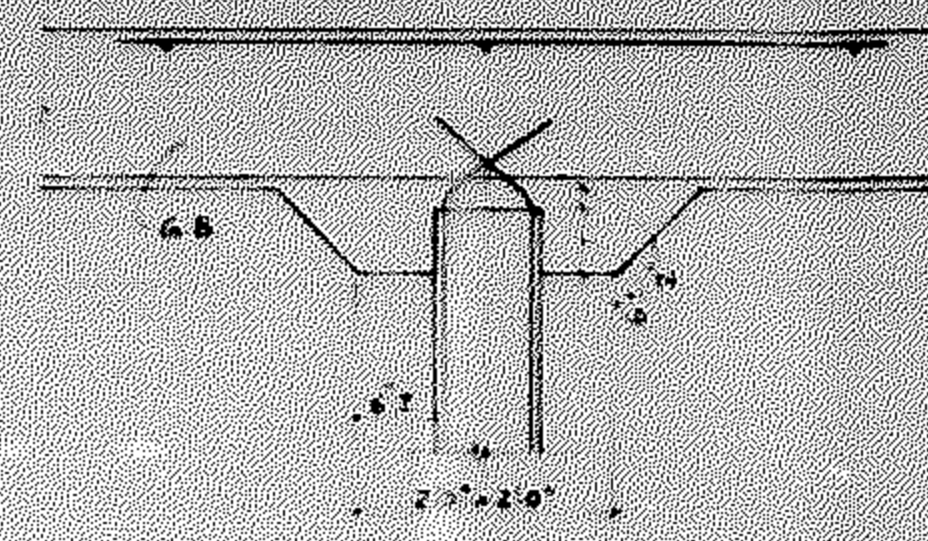
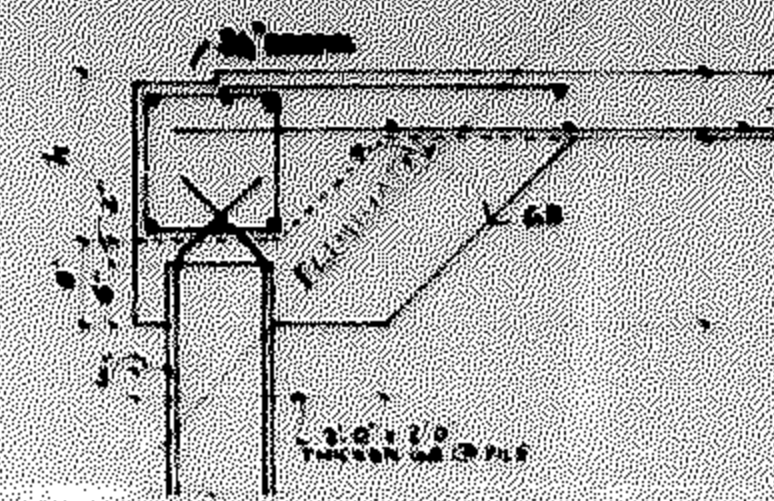
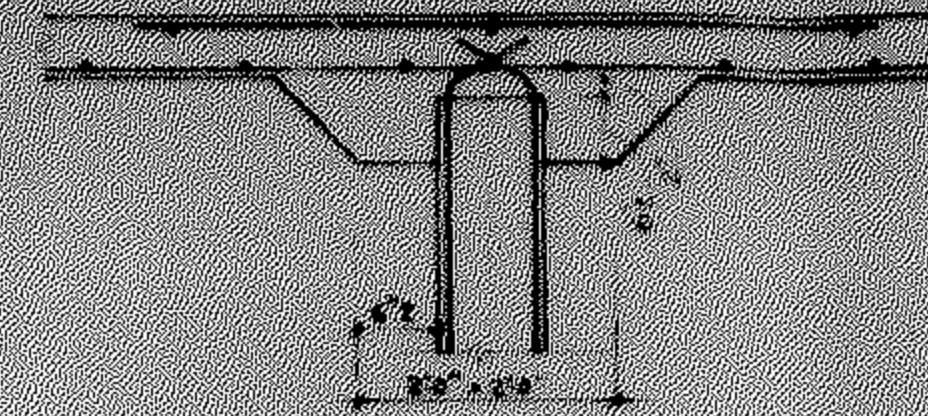
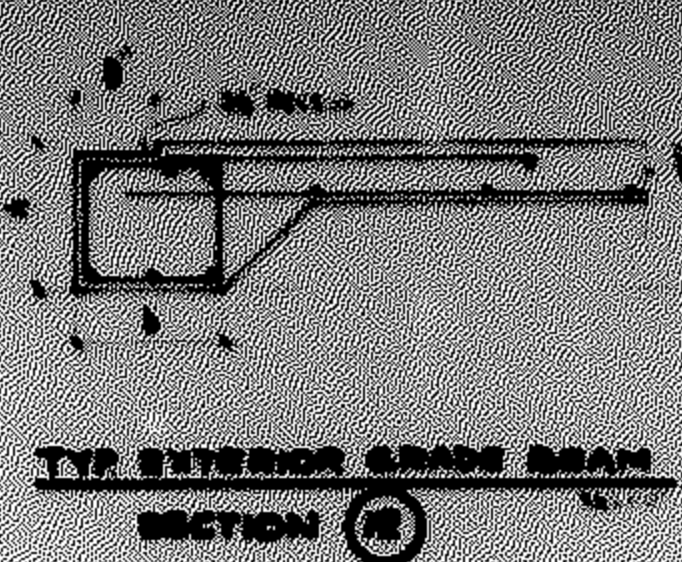
### TYPICAL BAR REPLACEMENT DETAIL IN GRADE BEAMS

NOTE: 'N' THESE G.B.'S ARE UNDER PERIMETER STEM WALL. REBAR 2-2 INDICATED IN PLAN SHALL BE PLACED IN THESE G.B.'S IN ADDITION TO REBARS SHOWN IN SCHEDULE. PROVIDE ADDITIONAL 2#5 @ 12" C.O. CORNER BARS @ ALL EXT. CORNERS OF THESE G.B.'S.

NOTE: 'M' THESE G.B.'S ARE NONLOADING G.B.'S. PROVIDE ADDITIONAL TOP REBARS AS SHOWN IN PLAN.

### GRADE BEAM SCHEDULE

SYMBOL	SIZE	TOP ELEV.	BOT REINFT. CONT. CENTER	TOP REINFORCEMENT C	E	STIRRUPS	REMARKS
GB-1	16x16	6'-11"	3#5	2#5	-	7#3 @ 6" E.E.	-N- (SEE NOTE ABOVE)
GB-2	12x15	6'-0"	3#5	2#5	-	1#3 @ 6" E.E.	-N-
GB-3	12x15	6'-0"	4#5	2#5	-	7#3 @ 6" E.E.	-M- (SEE NOTE ABOVE)
GB-4	12x15	6'-11"	2#5	2#5	-	4#3 @ 6" E.E.	-N-
GB-5	12x15	6'-11"	3#5	2#5	-	4#3 @ 6" E.E.	-N-
GB-6	16x15	6'-11"	3#5	2#5	-	4#3 @ 6" E.E.	-N-
GB-7	12x15	FLUSH W/ F.F.	2#5	2#5	-	4#3 @ 6" E.E.	-M-
GB-8	12x15	FLUSH W/ F.F.	2#5	2#5	-	4#3 @ 6" E.E.	-M-
GB-9	12x15	6'-0"	4#5	2#5	-	7#3 @ 6" E.E.	-M-
GB-10	18x15	6'-0"	3#5	2#5	-	4#3 @ 6" E.E.	-M-
GB-11	14x15	6'-0"	3#5	2#5	-	4#3 @ 6" E.E.	-M-
GB-12	14x15	6'-0"	3#5	2#5	-	4#3 @ 6" E.E.	-M-
GB-13	14x15	6'-0"	5#5	2#5	-	10#3 @ 6" E.E.	-M-
GB-14	14x15	6'-0"	3#5	-	-	-	-M-
GB-15	14x15	6'-0"	2#5	2#5	-	4#3 @ 6" E.E.	-N-
GB-16	14x15	6'-0"	2#5	2#5	-	4#3 @ 6" E.E.	-N-
GB-17	14x15	6'-0"	2#5	2#5	-	4#3 @ 6" E.E.	-N-
GB-18	16x16	6'-0"	2#5	2#5	-	4#3 @ 6" E.E.	-N-



### SECTION 3

### SECTION 5

### SECTION 6

**AA ALL AMERICAN ENGINEERING ASSOC.**  
CONSULTING ENGINEERS & PLANNERS

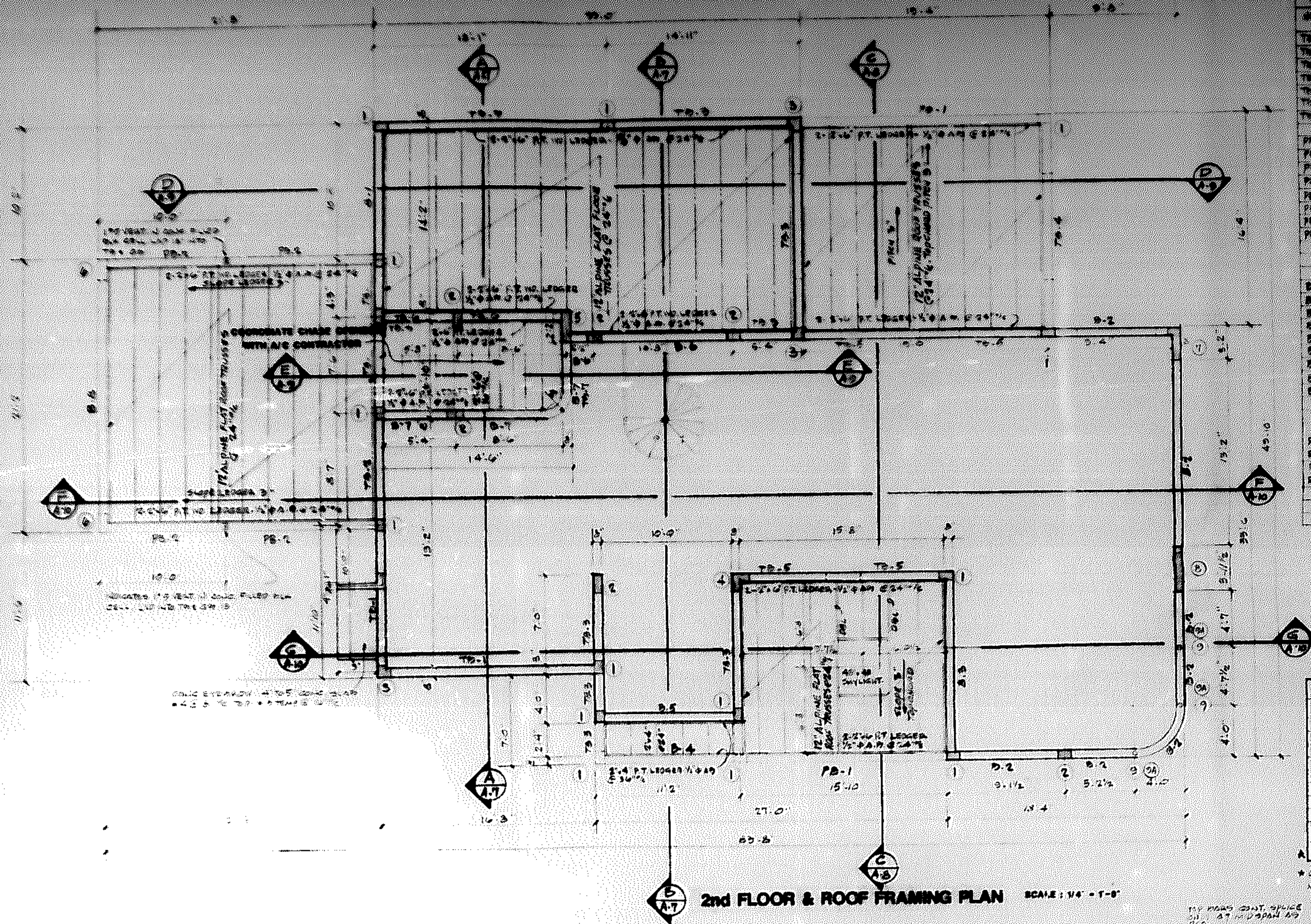
5010 SW 106 AVENUE COOPER CITY, FLA. 33320 PH. 305 434-0304

FRANZ JOSEPH SHRODA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

RESIDENCE FOR  
DR. & MRS. SHELDON MAYER  
HOLLYWOOD

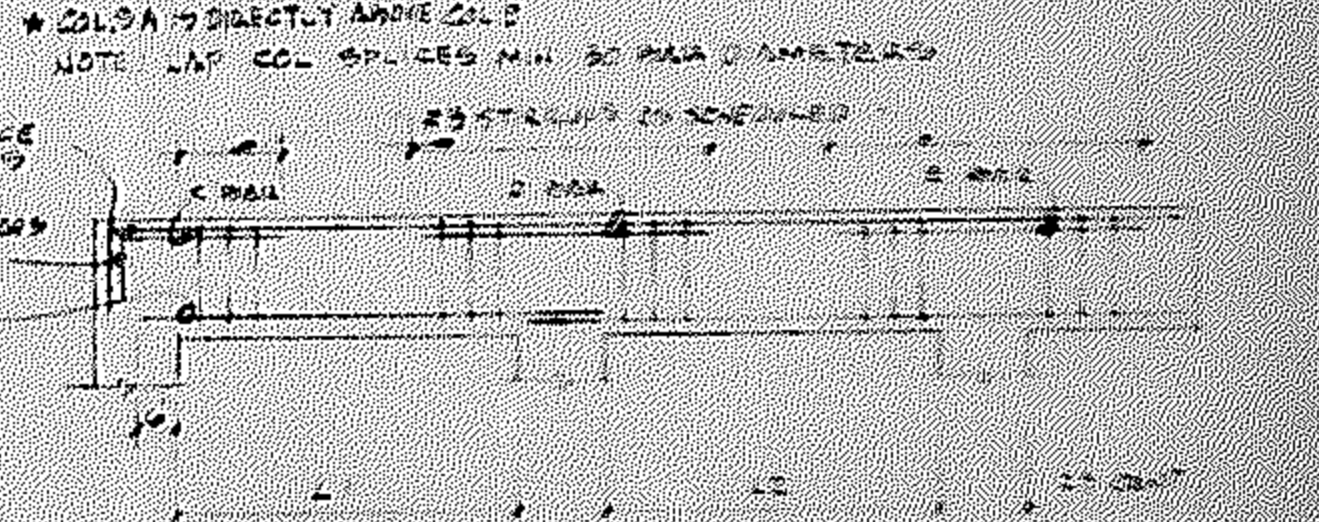
DATE: 7.24.84  
COMMISSION NO.: 84-407

DATE: 8.2.84



BEAM SCHEDULE						
NO.	SIZE	SPACING	REINFORCING	WALL	WALL	WALL
1	8" x 12"	12"	3"	12"	12"	12"
2	8" x 12"	12"	3"	12"	12"	12"
3	8" x 12"	12"	3"	12"	12"	12"
4	8" x 12"	12"	3"	12"	12"	12"
5	8" x 12"	12"	3"	12"	12"	12"
6	8" x 12"	12"	3"	12"	12"	12"
7	8" x 12"	12"	3"	12"	12"	12"
8	8" x 12"	12"	3"	12"	12"	12"
9	8" x 12"	12"	3"	12"	12"	12"
10	8" x 12"	12"	3"	12"	12"	12"
11	8" x 12"	12"	3"	12"	12"	12"
12	8" x 12"	12"	3"	12"	12"	12"
13	8" x 12"	12"	3"	12"	12"	12"
14	8" x 12"	12"	3"	12"	12"	12"
15	8" x 12"	12"	3"	12"	12"	12"
16	8" x 12"	12"	3"	12"	12"	12"
17	8" x 12"	12"	3"	12"	12"	12"
18	8" x 12"	12"	3"	12"	12"	12"
19	8" x 12"	12"	3"	12"	12"	12"
20	8" x 12"	12"	3"	12"	12"	12"
21	8" x 12"	12"	3"	12"	12"	12"
22	8" x 12"	12"	3"	12"	12"	12"
23	8" x 12"	12"	3"	12"	12"	12"
24	8" x 12"	12"	3"	12"	12"	12"
25	8" x 12"	12"	3"	12"	12"	12"
26	8" x 12"	12"	3"	12"	12"	12"
27	8" x 12"	12"	3"	12"	12"	12"
28	8" x 12"	12"	3"	12"	12"	12"
29	8" x 12"	12"	3"	12"	12"	12"
30	8" x 12"	12"	3"	12"	12"	12"
31	8" x 12"	12"	3"	12"	12"	12"
32	8" x 12"	12"	3"	12"	12"	12"
33	8" x 12"	12"	3"	12"	12"	12"
34	8" x 12"	12"	3"	12"	12"	12"
35	8" x 12"	12"	3"	12"	12"	12"
36	8" x 12"	12"	3"	12"	12"	12"
37	8" x 12"	12"	3"	12"	12"	12"
38	8" x 12"	12"	3"	12"	12"	12"
39	8" x 12"	12"	3"	12"	12"	12"
40	8" x 12"	12"	3"	12"	12"	12"
41	8" x 12"	12"	3"	12"	12"	12"
42	8" x 12"	12"	3"	12"	12"	12"
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59	8" x 12"	12"	3"	12"	12"	12"
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74	8" x 12"	12"	3"	12"	12"	12"
75	8" x 12"	12"	3"	12"	12"	12"
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77	8" x 12"	12"	3"	12"	12"	12"
78	8" x 12"	12"	3"	12"	12"	12"
79	8" x 12"	12"	3"	12"	12"	12"
80	8" x 12"	12"	3"	12"	12"	12"
81	8" x 12"	12"	3"	12"	12"	12"
82	8" x 12"	12"	3"	12"	12"	12"
83	8" x 12"	12"	3"	12"	12"	12"
84	8" x 12"	12"	3"	12"	12"	12"
85	8" x 12"	12"	3"	12"	12"	12"
86	8" x 12"	12"	3"	12"	12"	12"
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88	8" x 12"	12"	3"	12"	12"	12"
89	8" x 12"	12"	3"	12"	12"	12"
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91	8" x 12"	12"	3"	12"	12"	12"
92	8" x 12"	12"	3"	12"	12"	12"
93	8" x 12"	12"	3"	12"	12"	12"
94	8" x 12"	12"	3"	12"	12"	12"
95	8" x 12"	12"	3"	12"	12"	12"
96	8" x 12"	12"	3"	12"	12"	12"
97	8" x 12"	12"	3"	12"	12"	12"
98	8" x 12"	12"	3"	12"	12"	12"
99	8" x 12"	12"	3"	12"	12"	12"
100	8" x 12"	12"	3"	12"	12"	12"

COLUMN SCHEDULE				
NO.	SIZE	VERT. REIN.	WALL	WALL
1	8" x 12"	12"	12"	12"
2	8" x 12"	12"	12"	12"
3	8" x 12"	12"	12"	12"
4	8" x 12"	12"	12"	12"
5	8" x 12"	12"	12"	12"
6	8" x 12"	12"	12"	12"
7	8" x 12"	12"	12"	12"
8	8" x 12"	12"	12"	12"
9	8" x 12"	12"	12"	12"
10	8" x 12"	12"	12"	12"
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12	8" x 12"	12"	12"	12"
13	8" x 12"	12"	12"	12"
14	8" x 12"	12"	12"	12"
15	8" x 12"	12"	12"	12"
16	8" x 12"	12"	12"	12"
17	8" x 12"	12"	12"	12"
18	8" x 12"	12"	12"	12"
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27	8" x 12"	12"	12"	12"
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29	8" x 12"	12"	12"	12"
30	8" x 12"	12"	12"	12"
31	8" x 12"	12"	12"	12"
32	8" x 12"	12"	12"	12"
33	8" x 12"	12"	12"	12"
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35	8" x 12"	12"	12"	12"
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37	8" x 12"	12"	12"	12"
38	8" x 12"	12"	12"	12"
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42	8" x 12"	12"	12"	12"
43	8" x 12"	12"	12"	12"
44	8" x 12"	12"	12"	12"
45	8" x 12"	12"	12"	12"
46	8" x 12"	12"	12"	12"
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53	8" x 12"	12"	12"	12"
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61	8" x 12"	12"	12"	12"
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89	8" x 12"	12"	12"	12"
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91	8" x 12"	12"	12"	12"
92	8" x 12"	12"	12"	12"
93	8" x 12"	12"	12"	12"
94	8" x 12"	12"	12"	12"
95	8" x 12"	12"	12"	12"
96	8" x 12"	12"	12"	12"
97	8" x 12"	12"	12"	12"
98	8" x 12"	12"	12"	12"
99	8" x 12"	12"	12"	12"
100	8" x 12"	12"	12"	12"



2nd FLOOR & ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

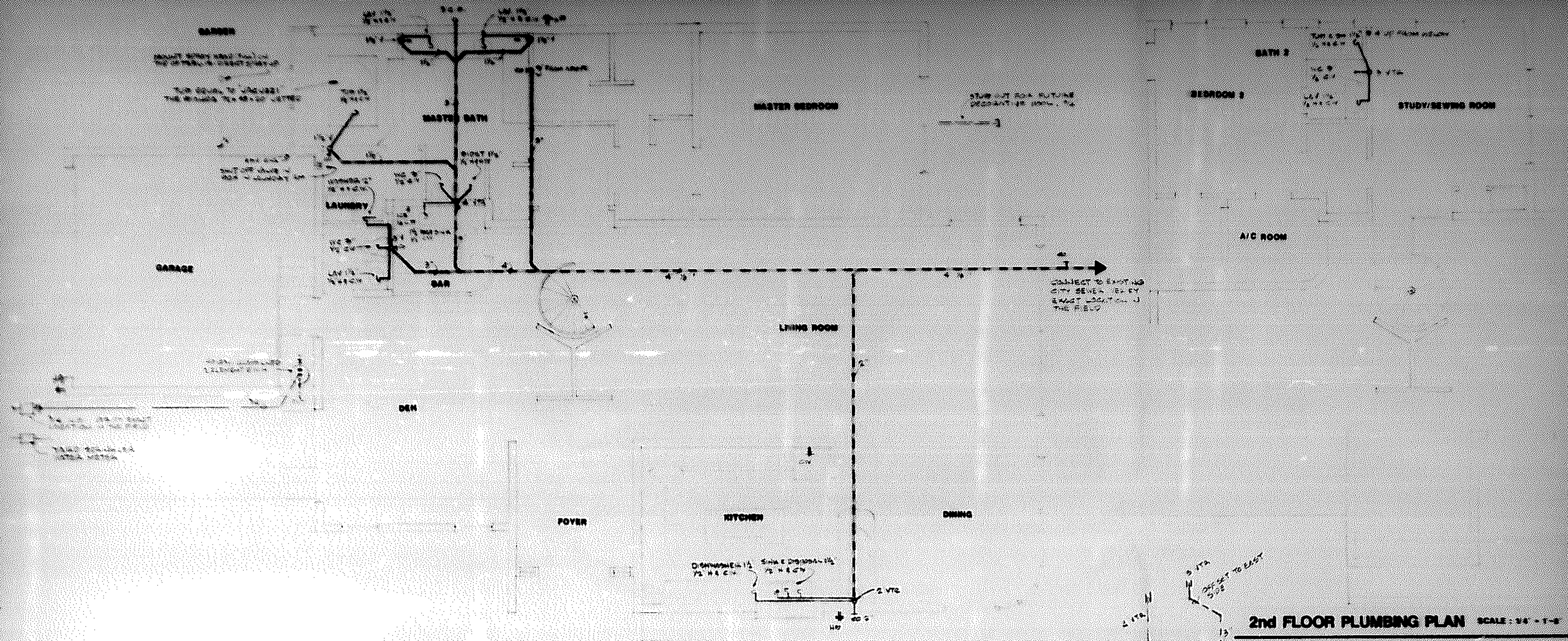
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FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

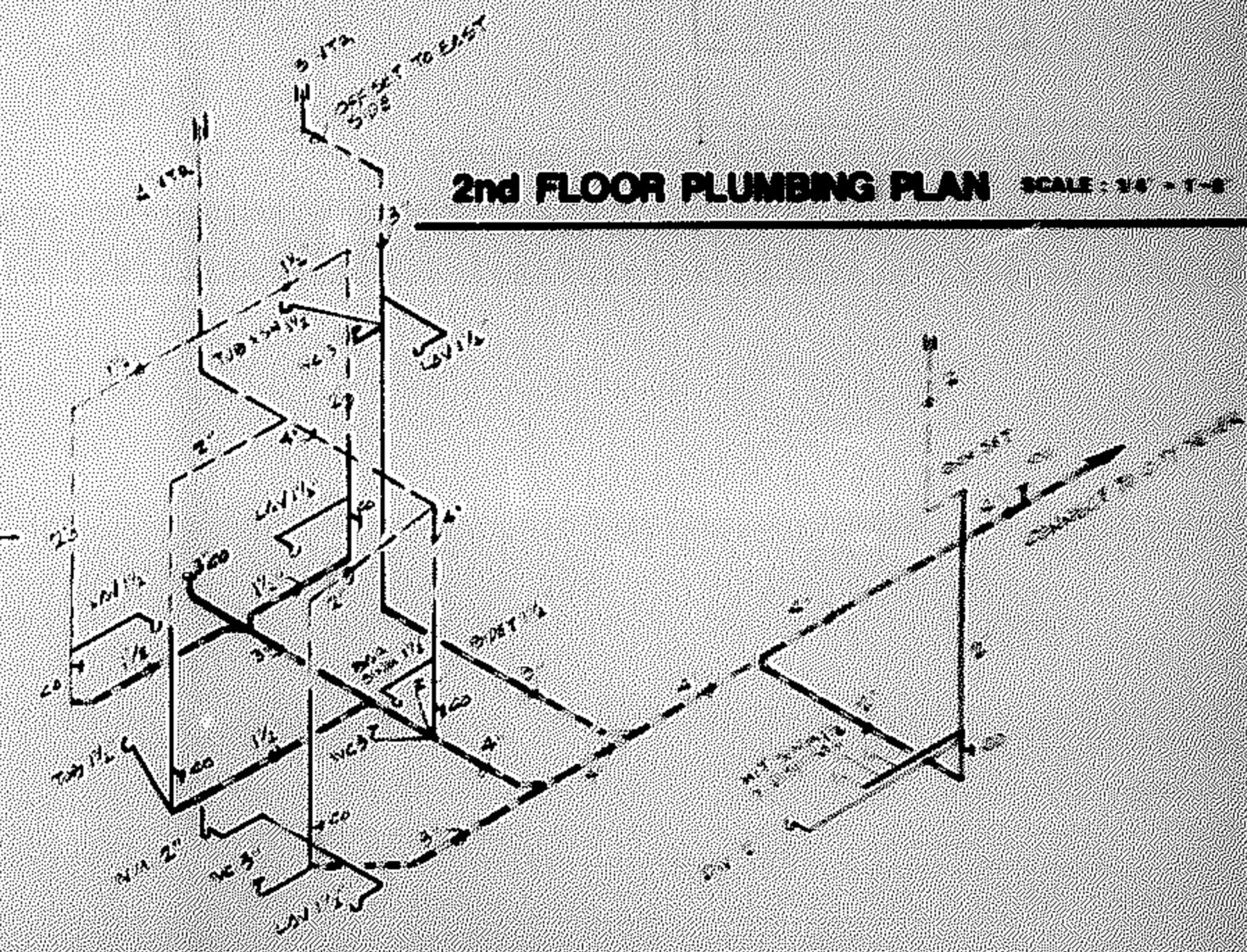
300 NEW 70TH AVENUE SUITE 200  
PLANTATION, FLORIDA 33324

DATE: AUG. 8, 1984  
DRAWN BY: J. J. 2  
CHECKED BY: J. J. 2  
COMMISSIONED BY: J. J. 2  
SHEET S-3





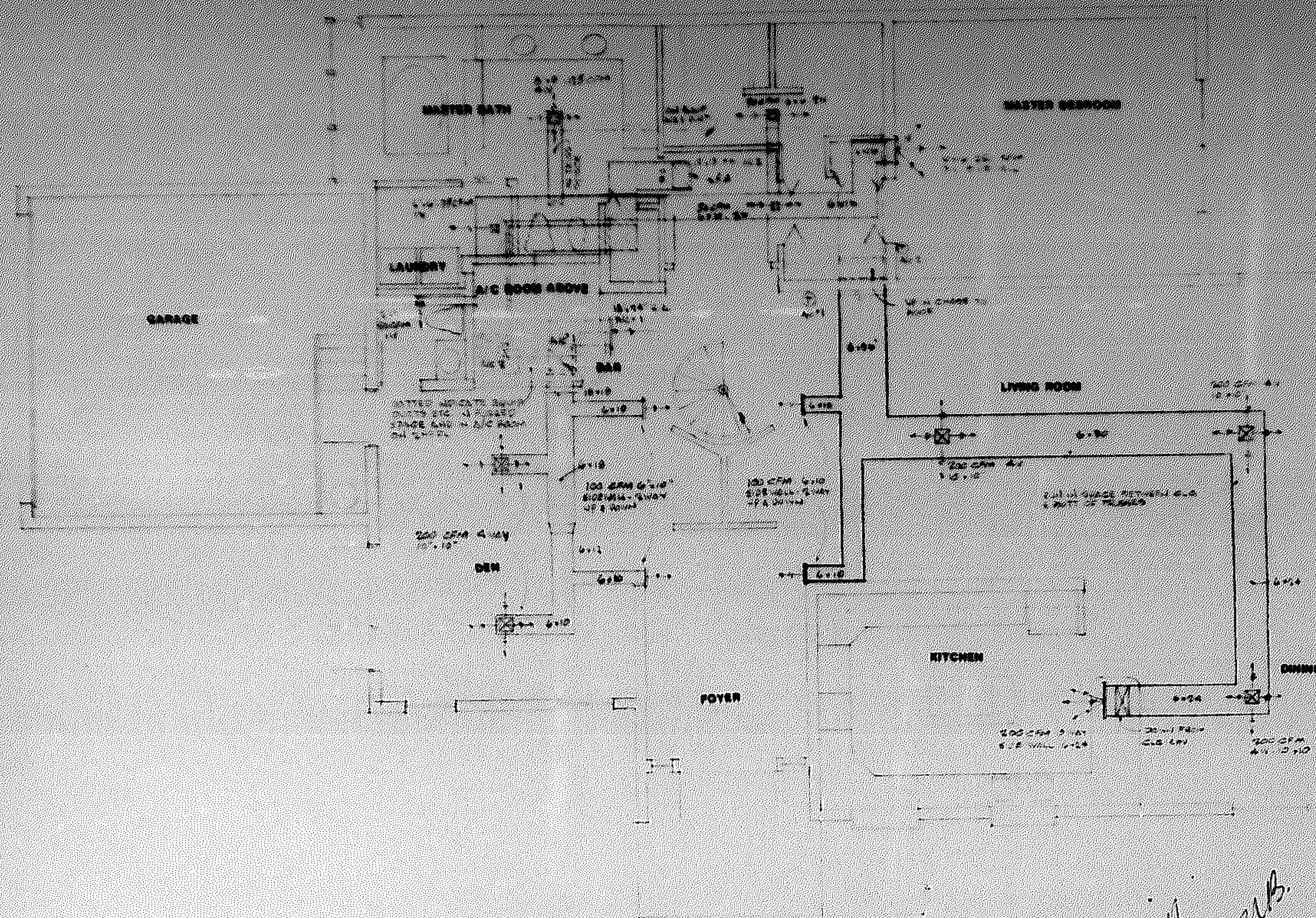
- PLUMBING NOTES**
1. ALL WORK AND MATERIALS SHALL CONFORM TO THE SOUTH FLORIDA BUILDING CODE
  2. PROVIDE EXTENDED 1/2" CHAMFER
  3. INSULATE HOT WATER PIPING
  4. SHOWER FHP LIMITED TO 3 GPM
  5. SHUT-OFF VALVES ON SINKS & LAVS.
  6. PLUMBING CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD & BEFORE DIGGING EXISTING WORK



**PLUMBING RISER DIAGRAM** N.T.S.

PREPARED FOR  
**DR. & MRS. SHELDON MAYER**  
HOLLYWOOD, FLORIDA

DATE: 10/1/78  
DRAWN BY: J.S.  
CHECKED BY: J.S.



FIRST FLOOR A/C PLAN SCALE: 1/4" = 1'-0"

*John  
5/29/87 MB.*

# GENERAL A/C NOTES and INSTRUCTIONS

- A/C #1 SERVES - DEN, MAIN UTILITY HALL, LIVING ROOM, DINING ROOM, & KITCHEN  
BY THERMOSTAT CONTROLLER UNIT  
MAX TONAGE 1500 CFM AIR  
STRIP HEAT 8.5 KW  
SEER - 10
- A/C #2 SERVES - MASTER BEDROOM, CLOSET, MASTER BATH, LAUNDRY & STERILE ROOM  
BY THERMOSTAT CONTROLLER UNIT  
MAX TONAGE 1000 CFM AIR  
STRIP HEAT 4.5 KW  
SEER - 10.5
- A/C #3 SERVES - BEDROOM #1 & CLOSET, BATH #1 AND STUDY/READING ROOM  
BY THERMOSTAT CONTROLLER UNIT  
MAX TONAGE 1000 CFM AIR  
STRIP HEAT 4.5 KW  
SEER - 10.5

## GENERAL NOTES & INSTRUCTIONS:

1. INCLUDE ALL LABOR, MATERIAL, EQUIPMENT, CONTROLS, ETC., TO PROVIDE A COMPLETE, BALANCED AND OPERATING AIR CONDITIONING AND HEATING SYSTEM.
2. THE SYSTEM SHALL MAINTAIN THE FOLLOWING PERFORMANCE CONDITIONS: INDOOR TEMP. OF 74° DB 55° WB, WITH AN OUTDOOR DESIGN OF 91° F, 79° F DB.
3. EQUIPMENT SHALL BE FRAME, BAKEN, CARRIER OR EQUAL.
4. REFRIGERANT PIPING SHALL BE HARD DRAWN SEAMLESS COPPER, ASTM SPEC. A.C. TYPE 1, FACTORY SEALED WITH 99.99% NITROGEN. JOINTS: SWEAT-TYPE WITH 95% GALVANIZED. FITTINGS: SWEAT-TYPE COPPER AS PER ANSI-A16.22.
5. AIR HANDLING UNITS AS SHOWN ON PLANS. FILTERS SHALL BE 1" THICKNESS TYPE. PROVIDE 2 EXTRA SETS FOR EACH UNIT.
6. EXTERIOR DUCT WORK SHALL BE FIBERGLASS R.A.2 EXTERIOR DUCTWORK SHALL BE INSULATED GALVANIZED STEEL.
7. ALL EQUIPMENT SHALL HAVE VIBRATION ISOLATORS.
8. SUBMIT WRITTEN GUARANTEE STATING MATERIALS AND WORKMANSHIP ARE FREE FROM DEFECTS FOR 1 YEAR AFTER FINAL ACCEPTANCE.
9. DIFFUSERS SHALL BE METALLIC, TITUS OR EQUAL.
10. INSULATE SUCTION & CONDENSATE LINES WITH 1/2" ARMAFLEX.
11. SUBMIT COMPLETE SHOP DRAWING TO ARCHITECT FOR APPROVAL.

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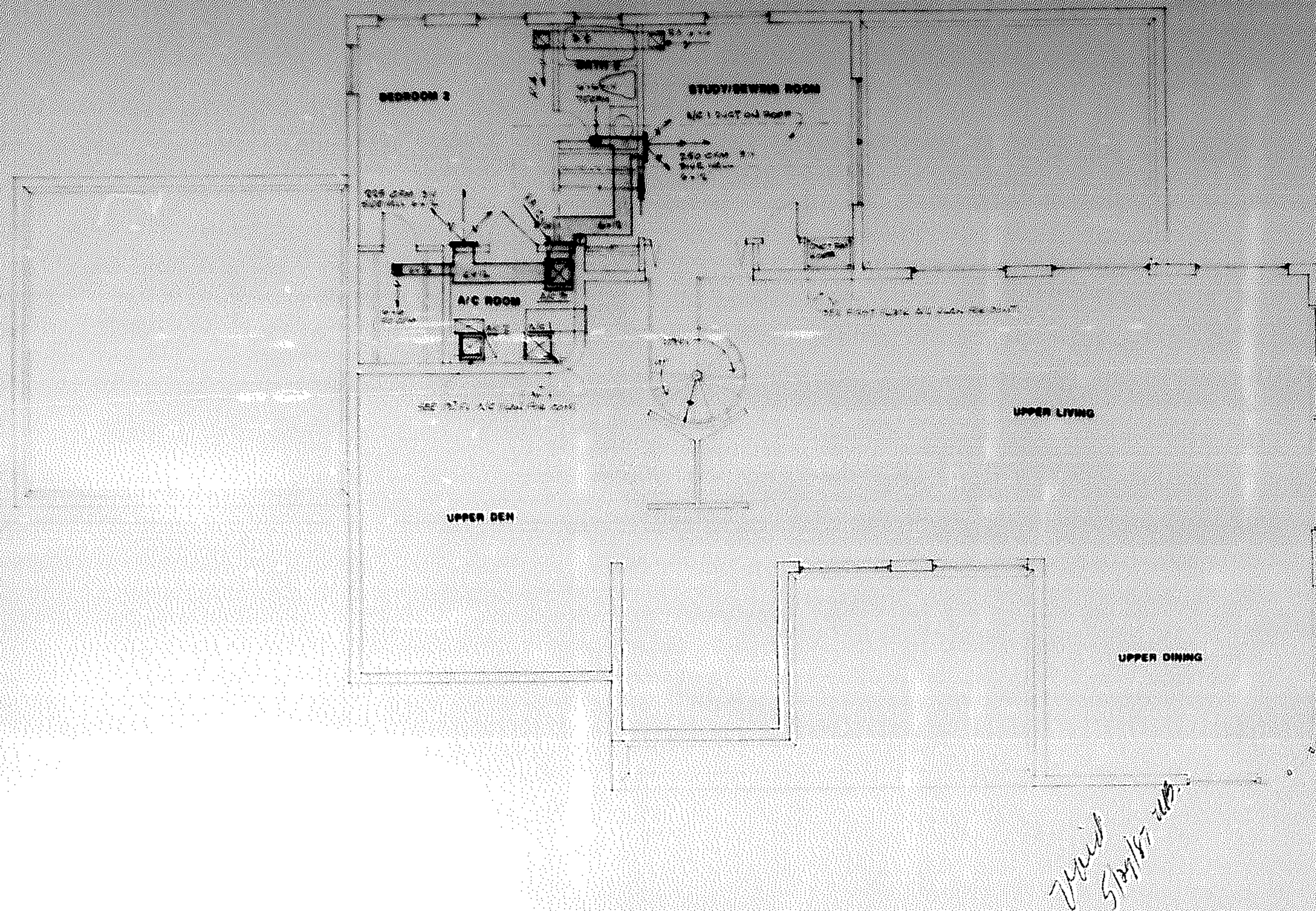
FRANK JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

300 NW 10TH AVENUE SUITE 200  
MIAMI, FLORIDA 33136  
(305) 546-7700

REFERENCE FOR  
DR. & MRS. SHELDON MAYER  
FLORIDA

STATE OF FLORIDA  
DATE 5/29/87  
COMMISSION NO. 83-087

SHEET  
AC-1  
OF 2



2 nd FLOOR A/C PLAN

SCALE : 1/4" = 1'-0"

*Final  
5/24/87*

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF FRANZ JOSEPH SHROPA, A.I.A. ARCHITECTS AND PLANNERS, INC. AND THE SAME MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF FRANZ JOSEPH SHROPA, A.I.A. ARCHITECTS AND PLANNERS, INC.

**FRANZ JOSEPH SHROPA, A.I.A.**  
**ARCHITECTS & PLANNERS, INC.**

300 N.W. 70TH AVENUE SUITE 200  
PLANTATION, FLORIDA 33317  
(305) 548-7700

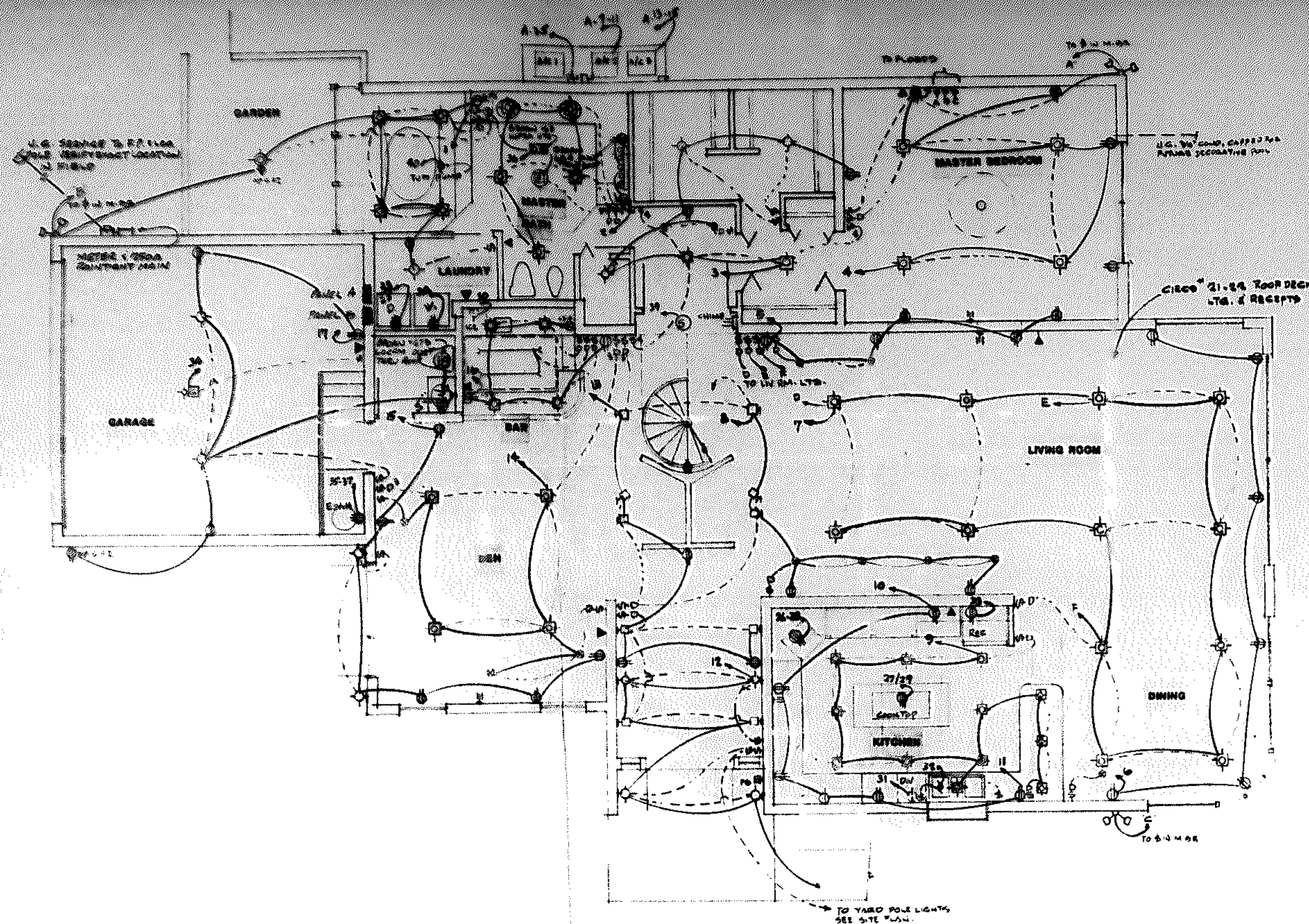
RESIDENCE FOR  
**DR. & MRS. SHELDON MAYER**  
HOLLYWOOD, FLORIDA

DATE: 5/24/87  
DRAWN BY: JJS  
REVISIONS: NO. 10-87

SHEET  
A/C-2  
OF 2

# SYMBOLS

- SMOKE DETECTOR
- WALL MTD. SENSOR Ltg. FIX.
- CEILING MTD. INCAN.
- CEILING MTD. RECESSED INCAN. DOWNLIGHT
- MOTOR
- 220V RECEPT
- 110V RECEPT
- INTERIOR FLOOR LIGHT MTD. HIGH
- INCAN. BRACKET LIGHT
- CLG MTD RECESSED ADJ. OVERALL SPOT
- SINGLE TUBE 4' FLUOR.
- PADDLE FAN
- INCANDESCENT MAKE-UP LIGHTS
- POST LIGHT
- GARAGE DOOR OPERATOR
- EXTERIOR WALL MTD. FLOOD
- SWITCH WITH DIMMER
- 3-WAY SWITCH
- DUPLEX RECEPT 1/2 TO 1
- DUPLEX RECEPT WITH GROUND FAULT INTERCEPT
- BATHROOM EXH. FAN TO EXTERIOR
- INFRA RED CLG. HEATER
- SWITCH WITH TIMER
- 3-WAY SWITCH WITH DIMMER
- TV OUTLET
- TELEPHONE
- PUSH BUTTON - DOOR BELL
- CHIMES
- SWITCHING
- CIRCUITS



1st FLOOR ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

★ 8-25-86 REVISED - CIRCUITING

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FRANZ JOSEPH SHROPA, A.I.A.  
ARCHITECTS & PLANNERS, INC.

300 N.W. 10TH AVENUE SUITE 202  
(305) 548-7700  
PLANTATION, FLORIDA 33327

RESIDENCE FOR  
DR. & MRS. SHELDON MAYER  
HOLLYWOOD, FLORIDA

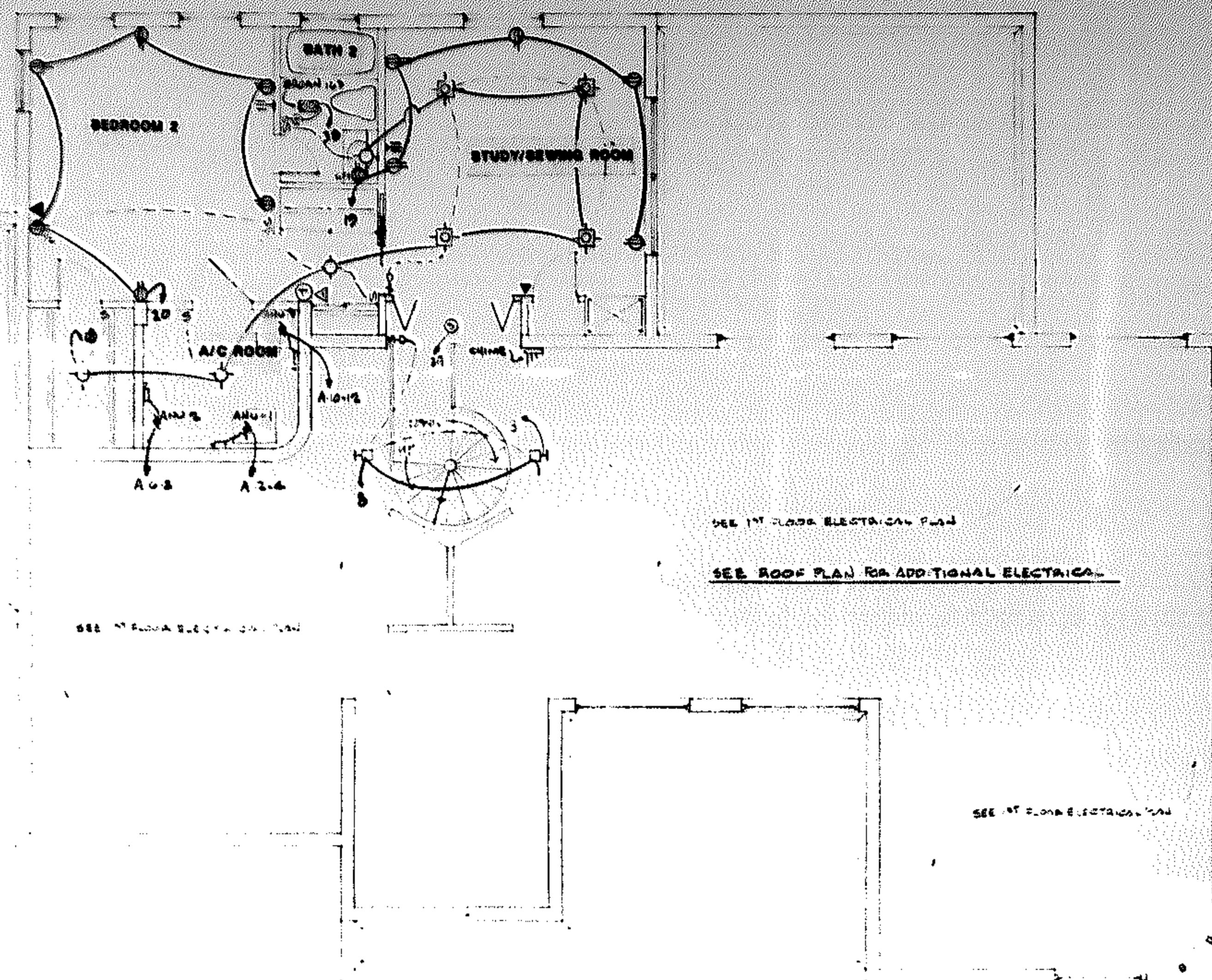
RECEIVED  
OCT 31 1986  
City of Hollywood, Fla.  
Building Dept.

RECEIVED  
OCT 31 1986  
City of Hollywood, Fla.  
Electrical Dept.

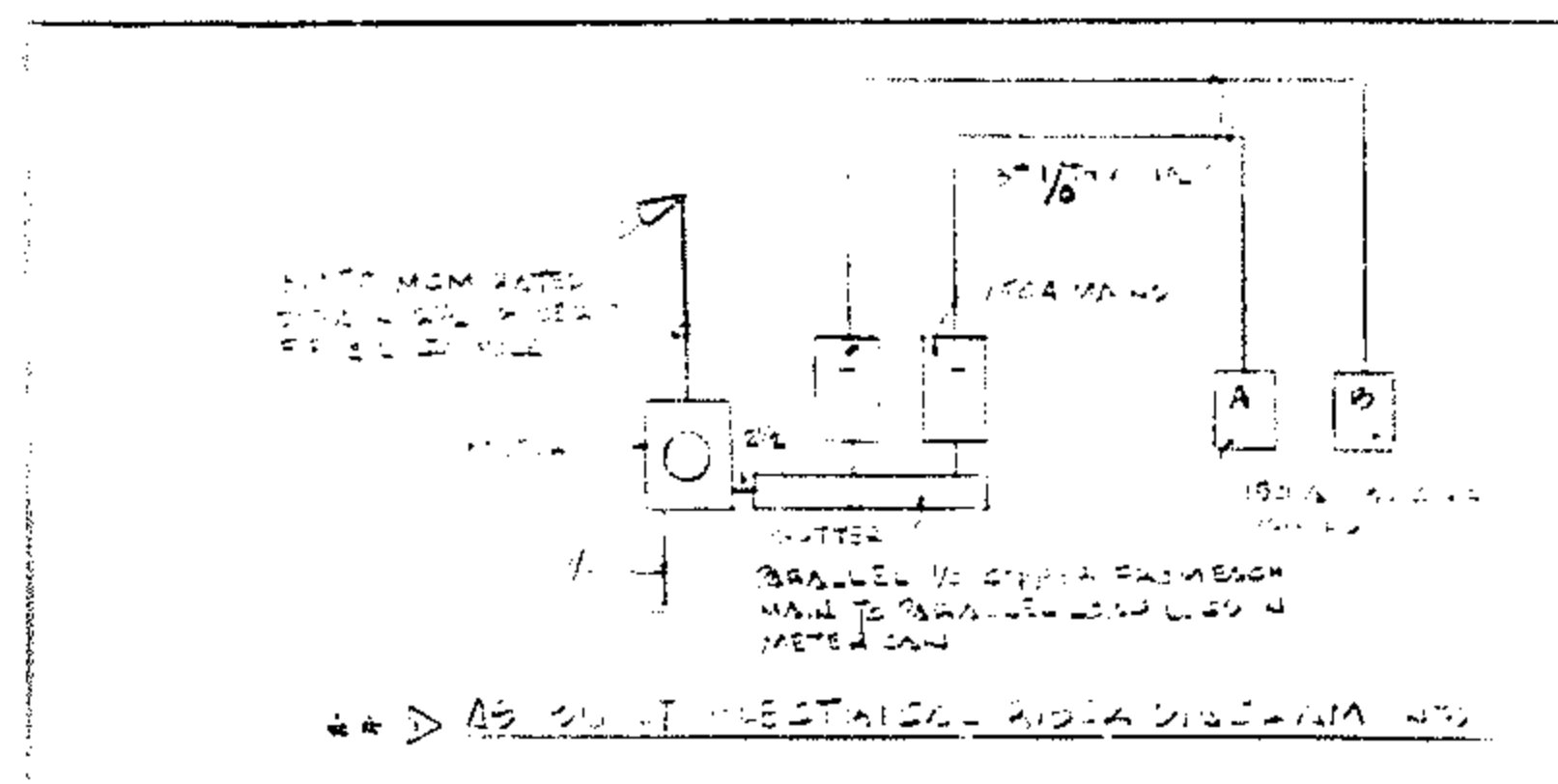
DATE AUG 1988  
DRAWN BY J.A.S.  
REGISTERED NO. 88-487

SHEET  
E-1  
of 2

## LOADS and TABULATIONS



**2nd FLOOR ELECTRICAL PLAN**      **SCALE : 1/4" = 1'-0"**



## GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY TO THE U.B.C. AND LOCAL CODES.
2. ALL CONDUCTORS SHALL BE COPPER.
3. VERIFY THE SIZE AND AMOUNTS OF ALL BREAKERS BEFORE CAPPING OR PROCEEDING WITH THE WORK.
4. VERIFY THE EXACT PLACEMENT OF LIGHTING FIXTURES W. OWNER.
5. "ROMEX" IS ACCEPTABLE.

PANEL "A" - 19A MID 1941/1942 10 SW				PANEL "B" - 19B MID 1941/1942 10 SW			
DATE	DESCRIPTION	TIME	REMARKS	DATE	DESCRIPTION	TIME	REMARKS
1	10	10:00	10:00	1	10	10:00	10:00
2	10	10:00	10:00	2	10	10:00	10:00
3	10	10:00	10:00	3	10	10:00	10:00
4	10	10:00	10:00	4	10	10:00	10:00
5	10	10:00	10:00	5	10	10:00	10:00
6	10	10:00	10:00	6	10	10:00	10:00
7	10	10:00	10:00	7	10	10:00	10:00
8	10	10:00	10:00	8	10	10:00	10:00
9	10	10:00	10:00	9	10	10:00	10:00
10	10	10:00	10:00	10	10	10:00	10:00
11	10	10:00	10:00	11	10	10:00	10:00
12	10	10:00	10:00	12	10	10:00	10:00
13	10	10:00	10:00	13	10	10:00	10:00
14	10	10:00	10:00	14	10	10:00	10:00
15	10	10:00	10:00	15	10	10:00	10:00
16	10	10:00	10:00	16	10	10:00	10:00
17	10	10:00	10:00	17	10	10:00	10:00
18	10	10:00	10:00	18	10	10:00	10:00
19	10	10:00	10:00	19	10	10:00	10:00
20	10	10:00	10:00	20	10	10:00	10:00
21	10	10:00	10:00	21	10	10:00	10:00
22	10	10:00	10:00	22	10	10:00	10:00
23	10	10:00	10:00	23	10	10:00	10:00
24	10	10:00	10:00	24	10	10:00	10:00
25	10	10:00	10:00	25	10	10:00	10:00
26	10	10:00	10:00	26	10	10:00	10:00
27	10	10:00	10:00	27	10	10:00	10:00
28	10	10:00	10:00	28	10	10:00	10:00
29	10	10:00	10:00	29	10	10:00	10:00
30	10	10:00	10:00	30	10	10:00	10:00
31	10	10:00	10:00	31	10	10:00	10:00
32	10	10:00	10:00	32	10	10:00	10:00
33	10	10:00	10:00	33	10	10:00	10:00
34	10	10:00	10:00	34	10	10:00	10:00
35	10	10:00	10:00	35	10	10:00	10:00
36	10	10:00	10:00	36	10	10:00	10:00
37	10	10:00	10:00	37	10	10:00	10:00
38	10	10:00	10:00	38	10	10:00	10:00
39	10	10:00	10:00	39	10	10:00	10:00
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95	10	10:00	10:00	95	10	10:00	10:00
96	10	10:00	10:00	96	10	10:00	10:00
97	10	10:00	10:00	97	10	10:00	10:00
98	10	10:00	10:00	98	10	10:00	10:00
99	10	10:00	10:00	99	10	10:00	10:00
100	10	10:00	10:00	100	10	10:00	10:00

PANEL "D" 50A WLO 120/240V 4P 3W							
LINE NO.	WIRE	DESCRIPTION	TERMINAL	LINE NO.	WIRE	DESCRIPTION	TERMINAL
1	40	ANALOG #1	100A	1	40	ANALOG #1	100A
2	40	ANALOG #2	100B	2	40	ANALOG #2	100B
3	40	ANALOG #3	100C	3	40	ANALOG #3	100C
4	40	ANALOG #4	100D	4	40	ANALOG #4	100D
5	40	ANALOG #5	100E	5	40	ANALOG #5	100E
6	40	ANALOG #6	100F	6	40	ANALOG #6	100F
7	40	ANALOG #7	100G	7	40	ANALOG #7	100G
8	40	ANALOG #8	100H	8	40	ANALOG #8	100H
9	40	ANALOG #9	100I	9	40	ANALOG #9	100I
10	40	ANALOG #10	100J	10	40	ANALOG #10	100J
11	40	ANALOG #11	100K	11	40	ANALOG #11	100K
12	40	ANALOG #12	100L	12	40	ANALOG #12	100L
13	40	ANALOG #13	100M	13	40	ANALOG #13	100M
14	40	ANALOG #14	100N	14	40	ANALOG #14	100N
15	40	ANALOG #15	100O	15	40	ANALOG #15	100O
16	40	ANALOG #16	100P	16	40	ANALOG #16	100P
17	40	ANALOG #17	100Q	17	40	ANALOG #17	100Q
18	40	ANALOG #18	100R	18	40	ANALOG #18	100R
19	40	ANALOG #19	100S	19	40	ANALOG #19	100S
20	40	ANALOG #20	100T	20	40	ANALOG #20	100T
21	40	ANALOG #21	100U	21	40	ANALOG #21	100U
22	40	ANALOG #22	100V	22	40	ANALOG #22	100V
23	40	ANALOG #23	100W	23	40	ANALOG #23	100W
24	40	ANALOG #24	100X	24	40	ANALOG #24	100X
25	40	ANALOG #25	100Y	25	40	ANALOG #25	100Y
26	40	ANALOG #26	100Z	26	40	ANALOG #26	100Z
27	40	ANALOG #27	100AA	27	40	ANALOG #27	100AA
28	40	ANALOG #28	100AB	28	40	ANALOG #28	100AB
29	40	ANALOG #29	100AC	29	40	ANALOG #29	100AC
30	40	ANALOG #30	100AD	30	40	ANALOG #30	100AD
31	40	ANALOG #31	100AE	31	40	ANALOG #31	100AE
32	40	ANALOG #32	100AF	32	40	ANALOG #32	100AF
33	40	ANALOG #33	100AG	33	40	ANALOG #33	100AG
34	40	ANALOG #34	100AH	34	40	ANALOG #34	100AH
35	40	ANALOG #35	100AI	35	40	ANALOG #35	100AI
36	40	ANALOG #36	100AJ	36	40	ANALOG #36	100AJ
37	40	ANALOG #37	100AK	37	40	ANALOG #37	100AK
38	40	ANALOG #38	100AL	38	40	ANALOG #38	100AL
39	40	ANALOG #39	100AM	39	40	ANALOG #39	100AM
40	40	ANALOG #40	100AN	40	40	ANALOG #40	100AN
41	40	ANALOG #41	100AO	41	40	ANALOG #41	100AO
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46	40	ANALOG #46	100AT	46	40	ANALOG #46	100AT
47	40	ANALOG #47	100AU	47	40	ANALOG #47	100AU
48	40	ANALOG #48	100AV	48	40	ANALOG #48	100AV
49	40	ANALOG #49	100AW	49	40	ANALOG #49	100AW
50	40	ANALOG #50	100AX	50	40	ANALOG #50	100AX

★★	
PANEL A	
1352 @ 3W	4176 W
	<u>4500</u>
	3676
1WT 3000 @ 100 %	9000
REMAINDER @ 95%	1987
AIR HEAT	
HEAT = 15 KW AIR @ 8.26	5200
APPLIANCES	
REFRIG.	1380
DRYER	5600
WALL OVEN	
7.6 KW @ 80%	6080
<u>6080</u>	
39,047	
39,047	
330	143,68A

<div> <div>★ ★</div> <div>PANEL "B"</div> </div>	
2078 @ 3N°	6,344
1 SMALL APPL CIRC.	1500
LAUNDRY CIRC.	1500
	<hr/> 8294
143 3000V @ 100%	3000
REMAINDER @ 95%	2182
HEAT - 3K	
HEAT 10KW - 3K 5.7%	10,000
APPLIANCES	
ICE MAKER	1200
DISHWASHER	750
JACUZZI	920
WATER HEATER	3800
DISHWASHER	1552
	<hr/> 8201.75
	6152 W
COOKTOP 6.87 @ 80% -	5496
	<hr/> 26,830 W
26,830	
220	117A

APPROVED  
SEP 15 1967  
City of Hollywood, Fla.  
Electrical Dept

THE INFORMATION HEREIN SHOWN AS  $\Delta, \Delta, \Delta, *$  REVISIONS WAS SUPPLIED  
TO THE ARCHITECT BY CARL'S ELECTRIC CO.

★ 8-25-86 REVISED - PANELS A & B

6-4 87 25 AUG 87 - AS BUILT FACIA INFO  
SCHEDULED FOR DELIVERY & CABLE ELEC

ALL DRAWINGS, AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF FRANK JOSEPH SHROPA, A.A. ARCHITECTS AND PLANNERS, INC. AND THE SAME MAY NOT BE DUPLICATED, REPRODUCED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF FRANK JOSEPH SHROPA, A.A. ARCHITECTS AND PLANNERS, INC.

**FRANZ JOSEPH SHROPA, A.I.A.**  
**ARCHITECTS & PLANNERS, INC.**

300 NW 70TH AVENUE	SUITE 205
(305) 548-7700	
PLANTATION, FLORIDA	33327

REFERENCE FOR  
DR. & MRS. SHELDON MAYER  
HOLLYWOOD FLORIDA

[illegible]

E-2

# MDP ENGINEERING, INC.

336 SW Sun Circle  
Palm City, Florida 34990

PE32563  
CA 6918

Phone: 954 243 4595

=====

October 24, 2022

Page 1 of 3

## INSPECTION REPORT

Date of Inspection: October 24, 2022

Location: 727 North Lake Drive  
Hollywood, Florida

Type of Structure: One single family residence. Two story in height. Constructed of CBS and Wood Frame.

Plans unavailable at time of inspection.

Type of foundation unknown.

A pool does not exist on property.

Purpose of Inspection: Determine structural integrity of existing residence.

Observations: Inspection of exterior walls show evidence of settlement throughout the perimeter of the building. Settlement cracks have been patched and painted with elastomeric paint to hide cracks.

Exterior windows appeared in need of repair. All windows and doors are leaking and not operating properly throughout center of residence.

October 24, 2022

Page 2 of 3

MDP ENGINEERING, INC.

Inspection Report Continued: 727 North Lake Drive  
Hollywood, Florida

**Observations Continued:** A large skylight was constructed through the center of the residence. It shows signs of leaking and cracking.

All windows and doors do not appear to be impact resistant. Hurricane shutter were not present.

Interior floor appears to be constructed from wood framing. Settlement was observed throughout the first floor interior.

Roof trusses are damaged due to water intrusion. Roof in front bedroom was sagging and in need of shoring. Roof appears to be in danger of collapse.

Second floor framing is constructed from wood trusses. Floor is sagging in different locations.

Throughout the residence, signs are shown of drywall damage due to water intrusion. Mold was observed in several locations throughout the residence.

Stair case to second floor consists of a spiral stair case. The stair case and rail are not to present code.

Electrical system appears damaged throughout the residence, both interior and exterior of residence. GFI were not observed in bathrooms and kitchens.

October 24, 2022

MDP ENGINEERING, INC.

Inspection Report Continued: 727 North Lake Drive  
Hollywood, Florida

Page 3 of 3

**Conclusion:** Due to the structural damages observed: settlement, wood rot, window and door not working, drywall damage, floor settlement and mold, along with electrical, plumbing and AC unit not working or damaged; the cost of repair will exceed replacing the structure completely.

The residence in its current condition is dangerous with portions of the roof and floor close to failure or collapse.

It is my professional opinion that the residence should be demolished and a new structure be constructed to the latest codes.

MARIO DI PIETRO, P.E.





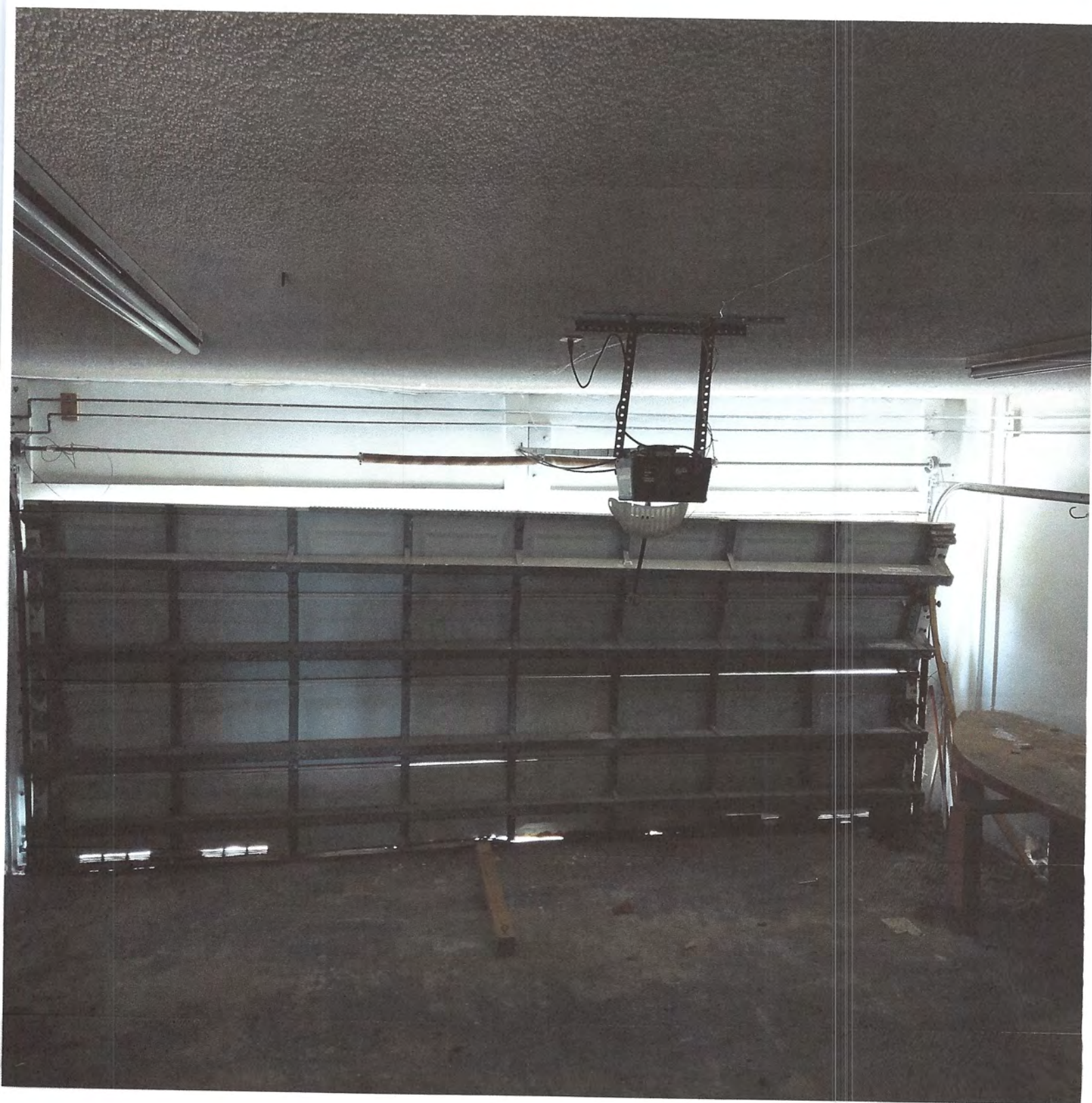
















743 N. Northlake Drive (West neighbor)



711 N. Northlake Drive (East neighbor)



Intercoastal (South neighbor)



Subject Property



727 N Northlake Drive (Subject Property)



## **GENERAL CRITERIA STATEMENT**

**Mr. Zegelbone Residence  
727 North North Lake Drive  
HOLLYWOOD, FL 33019  
December 6<sup>th</sup>, 2022**

### **Legal description:**

THE EAST 15 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 84, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**1. Architectural and Design Components. Architecture refers to the Architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new Architectural details is recommended. Design of the building shall consider aesthetics and functionality.**

The Proposed Project is a 30'-0" high, new two story single family home for Mr. Richard Zegelbone primary residence located at 727 North North Lake Drive in the City of Hollywood, Florida.

The Architectural Style is a mix of streamline / Art modern and Contemporary. The new home design will follow the city guidelines of p. 67 and 68 of the design guidelines for Historic properties and District from the city of Hollywood, Florida.

The main access to the property is by car through the back alley.

This north side of the property is fully gated. Upon arriving, parking is provided on the driveway or inside the two car garage.

The property can also be accessed on the south side (North North Lake Drive).

To enter the residence, one can either enter through the garage or use the main entry door. The main house is a large two story space for the owner to enjoy the office overlooking the pool, a master suite including bathroom and walk-in closet, a gym and a kitchen / dining area overlooking the lake

A featured staircase leading to the second floor gives access to two guest bedrooms and two guest bathrooms through a suspended walkway.

The enclosed staircase continues to a roof top garden where permanent planters, a barbeque area, garden furniture, solar panels, and jacuzzi can be found.

Balconies are provided off the bedrooms on the south side to provide a pleasant resting area overlooking the lake.

The overall building mass pays homage to Mid-Century modern Architecture while still managing to incorporate current Architectural elements. The asymmetry of the building with few vertical elements and horizontal emphasis to windows, horizontal railings and overhangs all add strong characteristics of the Mid-Century movement. All of these elements work together to create a familiar, warm yet clean modern feel.

**2. Compatibility. The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.**

The neighborhood, in which the future new home is located, is a mix of one and two-story homes. The north side of the property is Holland Park. The south side of the property is North Lake. The owner intends to replace the old and damaged wood dock with a new sustainable dock.

The Architectural styles of the community vary. The main style in the area is single family Ranch, but there are also Florida Vernacular and Spanish style buildings. The existing Architectural styles vary and so do the finishes used. These finishes include textured stucco, smooth stucco, and stone or brick veneer. In a lot of cases, there is a combination of these textures and finishes on each structure.

Windows vary in style as well, from double-hung, awning and casement. Some have fabric awnings.

Roofs also vary in styles and finishes. From hips, gables, flat and mansard with a variation of finishes ranging from asphalt shingles, Spanish tile and concrete tile.

**3. Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings.**

The new proposed design is not any taller nor has more square footage than the existing delapidated structure on the site. A massing study comparing next door owners is enclosed in the architectural package.

**4. Landscaped area should contain a variety of native and other compatible plant types and forms and be carefully integrated with the home and the paved areas. Existing mature trees and other significant plants on the site should be preserved.**

Most of the existing trees are being preserved. Refer to the existing landscape plan included in the package. The proposed landscape plans showing native species with a variety of color, height and texture all play an important part in sustainability and beauty of gardens. Where possible, hardscapes will be pervious and methods of irrigation will employ conservation practices as much as possible. Altogether, the landscape environment will soften the hard

edges, enhance the slender architectural elements and provide a visually pleasing atmosphere.

Mr. Zegelbone recently sold his company which was all about sustainability. His new home not only will ensure the design will follow the City of Hollywood design guidelines but will be an exemplary home for the neighborhood. All choices of materials and construction practices will be considered prior to construction so as to lessen the carbon footprint in the community and region.

Thank you

# LEGAL DESCRIPTION AND CERTIFICATION

THE EAST 15 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 84, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Community Number: 125113 Panel: 12011C0588 Suffix: H F.I.R.M. Date: 8/18/2014 Flood Zone: AE Field Work: 7/28/2022

**Certified To:**

K2 REAL ESTATE INVESTMENTS, LLC; HARBOR TITLE & ESCROW, INC ; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; CIVIC FINANCIAL SERVICES, LLC, ISAOA ATIMA

**Property Address:**

727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019















Survey Number: 551884

Client File Number: 2021-2661

**ABBREVIATION DESCRIPTION:**

A.E.	ANCHOR EASEMENT	F.F. EL.	FINISH FLOOR ELEVATION	O.R.B.	OFFICIAL RECORDS BOOK
A/C	AIR CONDITIONER	F.I.P.	FOUND IRON PIPE	(P)	PLAT
B.M.	BENCH MARK	F.I.R.	FOUND IRON ROD	P.B.	PLAT BOOK
B.R.	BEARING REFERENCE	F.P.K.	FOUND PARKER-KALON NAIL	P.C.	POINT OF CURVATURE
(C)	CALCULATED	(L)	LENGTH	P.C.C.	POINT OF COMPOUND CURVE
Δ	CENTRAL / DELTA ANGLE	L.A.E.	LIMITED ACCESS EASEMENT	P.O.B.	POINT OF BEGINNING
CH	CHORD	L.M.E.	LAKE MAINTENANCE EASEMENT	P.O.C.	POINT OF COMMENCEMENT
(D)	DEED / DESCRIPTION	(M)	MEASURED / FIELD VERIFIED	P.R.C.	POINT OF REVERSE CURVE
D.E.	DRAINAGE EASEMENT	M.H.	MANHOLE	P.T.	POINT OF TANGENCY
D.H.	DRILL HOLE	N&D	NAIL & DISK	R/W	RIGHT-OF-WAY
D/W	DRIVEWAY	N.R.	NOT RADIAL	(R)	RADIAL / RADIUS
E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE	S.I.R.	SET IRON ROD
F.C.M.	FOUND CONCRETE MONUMENT	O.H.L.	OVERHEAD UTILITY LINES	T.O.B.	TOP OF BANK
				U.E.	UTILITY EASEMENT

**SYMBOL DESCRIPTIONS:**

	■ CATCH BASIN		■ MISC. FENCE
	■ CENTERLINE ROAD		■ PROPERTY CORNER
	■ COVERED AREA		■ UTILITY BOX
	+ X.XX ■ EXISTING ELEVATION		■ UTILITY POLE
	■ HYDRANT		■ WATER METER
	■ MANHOLE		■ WELL
	■ METAL FENCE		■ WOOD FENCE

PAGE 1 OF 2 PAGES  
(NOT COMPLETE WITHOUT PAGE 2)

**GENERAL NOTES:**

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.G.V.D. 1929
- 9) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.



LB #7893

**SERVING FLORIDA**

6250 N. MILITARY TRAIL, SUITE 102  
WEST PALM BEACH, FL 33407  
PHONE (561) 640-4800  
STATEWIDE PHONE (800) 226-4807  
STATEWIDE FACSIMILE (800) 741-0576  
WEBSITE: <http://targetsurveying.net>

LOT 21  
BLOCK 84



**TILE WALK CROSSES THE BOUNDARY  
LINE ON SOUTHERLY SIDE OF LOT.**



**Kenneth Osborne** Digitally signed by  
Kenneth Osborne  
Date: 2022.07.29  
10:19:14 -05'00'

PAGE 2 OF 2 PAGES  
(NOT COMPLETE WITHOUT PAGE 1)

MR. RICHARD ZEGELBONE  
RESIDENCE

727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019



SOUTH ELEVATION FACING NORTH LAKE

DRAWING INDEX

A-0.0	COVER SHEET
C1	WATER AND SANITARY SEWER PLAN
C2	PAVING, GRADING AND DRAINAGE PLAN
C3	STORMWATER POLLUTION PREVENTION PLAN
LA1-01	EXISTING TREE DISPOSITION PLAN
LA1-02	GROUND FLOOR PLANTING PLAN
LA1-03	ROOF PLANTING PLAN
LA1-04	LANDSCAPE PLANTING GUIDELINES
A-1.0	PHOTOS OF STREET VIEWS AND EXISTING / PROPOSED STREET VIEWS
A-1.1	COLORED SITE PLAN WITH LANDSCAPE
A-1.2	SITE PLAN, SITE DATA AND KEYNOTES
A-1.3	SITE PLAN DETAILS
A-2.0	FIRST FLOOR PLAN
A-3.0	SECOND FLOOR PLAN
A-4.0	ROOF PLAN
A-5.0	EXTERIOR ELEVATIONS
A-5.1	EXTERIOR ELEVATIONS

APPLICABLE CODES

APPLICABLE CODES: 2020 FLORIDA BUILDING CODE - RESIDENTIAL (SIXTH EDITION)  
FLORIDA FIRE PREVENTION CODE 6TH ED., NFPA 101 LIFE SAFETY CODE,

PROFESSIONALS

OWNER:  
MR. RICHARD ZEGELBONE  
727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019

ARCHITECT:  
PASQUALE KURITZKY ARCHITECTURE, INC.  
2949 WEST CYPRESS CREEK ROAD  
2ND FLOOR  
FORT LAUDERDALE, FL 33309  
PH. (954) 332-0184

CIVIL ENGINEER:  
SHANE MUNSON, PE  
MUNSON DESIGN & CONSULTING, INC.  
PH. (954) 340-5291

LANDSCAPE ARCHITECT:  
KEN GARDNER  
GSLA DESIGN, INC.  
17670 NW 78TH AVENUE, SUITE 214  
MIAMI, FL 33015  
PH. (305) 392-1016



2949 WEST CYPRESS CREEK RD.  
2ND FLOOR  
FORT LAUDERDALE, FL 33309  
T: (954) 332-0184

AR0009686

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CHECKED PKA

HARLAN L. KURITZKY AR 0009686

DIGITAL SEAL

HISTORIC PRESERVATION BOARD:12/06/22  
HISTORIC PRESERVATION BOARD  
REVISIONS: 02/13/23

Mr. Richard Zegelbone  
Residence

727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019

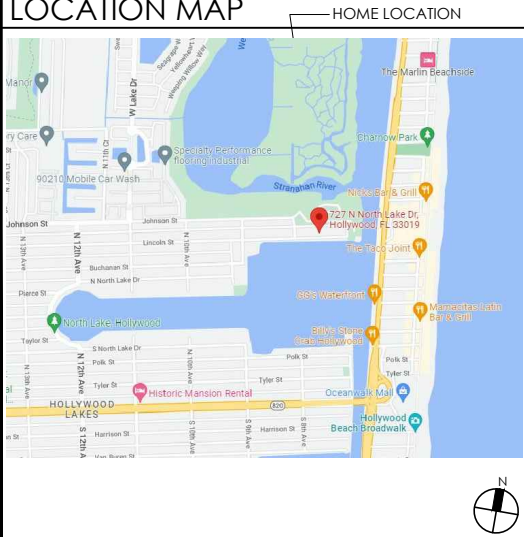
PROJECT NO. 2230

REVISIONS

ENLARGED LOCATION MAP



LOCATION MAP



COVER

A-0.0

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Residence

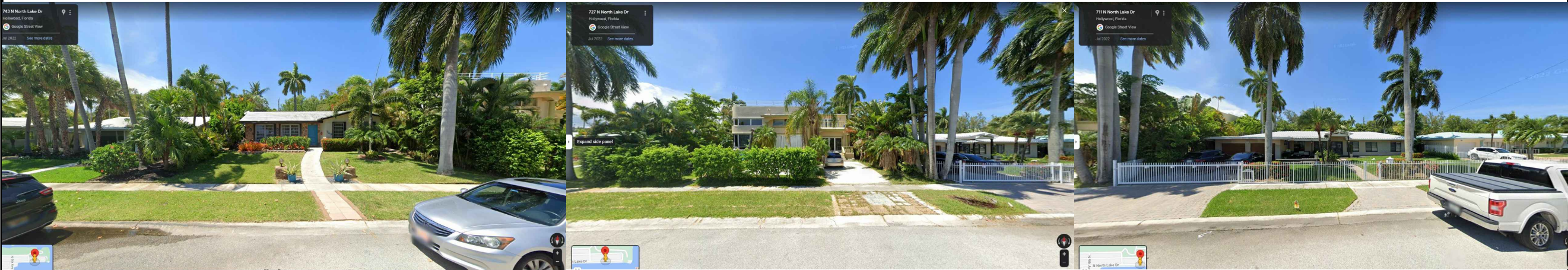
727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019  
PROJECT NO. 2230

REVISIONS

SITE PHOTOS  
EXISTING SITE VIEWS  
PROPOSED SITE VIEWS

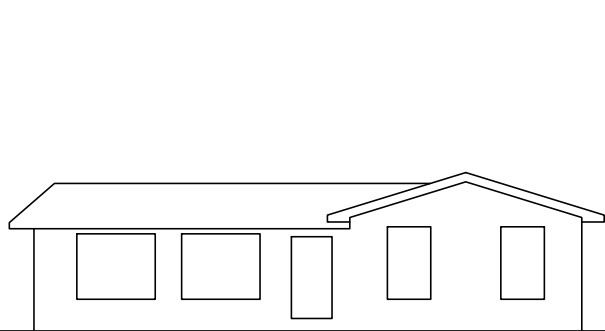
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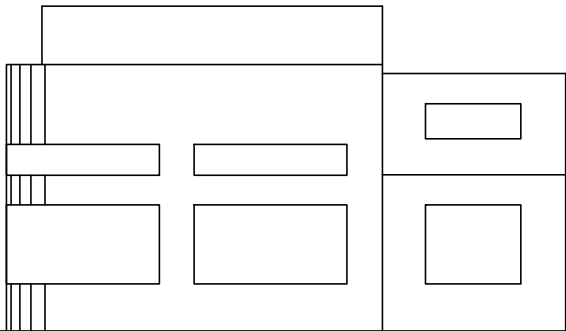


EXISTING PHOTOS OF STREET - SOUTH ELEVATION - LAKE SIDE

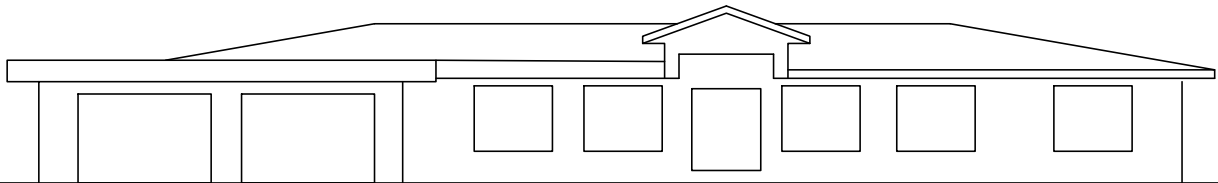
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EXISTING 743 NORTH NORTH LAKE DRIVE ELEVATION



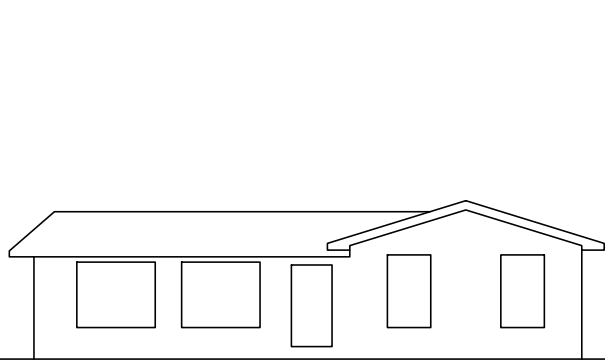
EXISTING 727 NORTH NORTH LAKE DRIVE ELEVATION



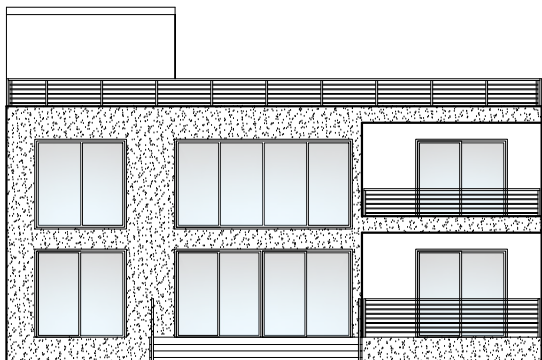
EXISTING 711 NORTH NORTH LAKE DRIVE ELEVATION

EXISTING STREET SOUTH ELEVATION - LAKE SIDE

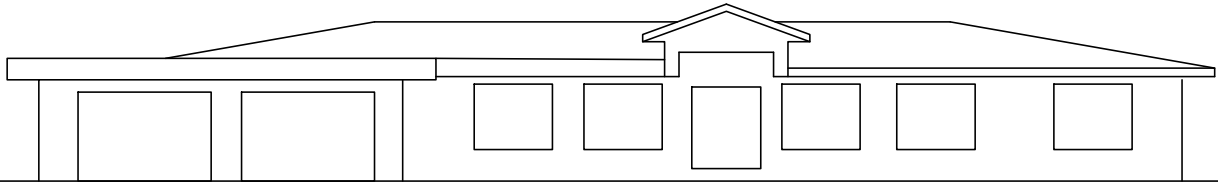
SCALE: 1/8" = 1'-0"



EXISTING 743 NORTH NORTH LAKE DRIVE ELEVATION



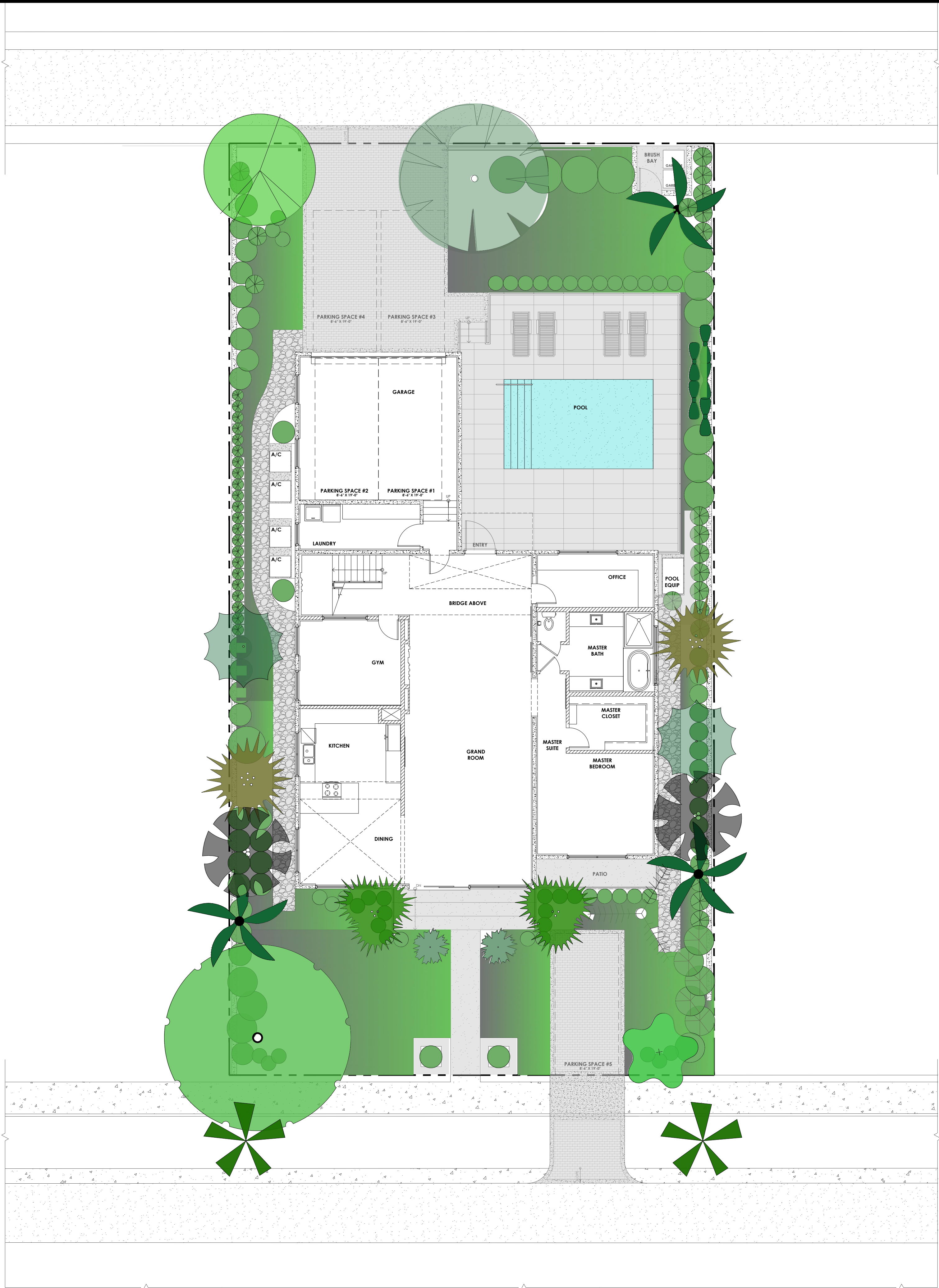
PROPOSED 727 NORTH NORTH LAKE DRIVE ELEVATION



EXISTING 711 NORTH NORTH LAKE DRIVE ELEVATION

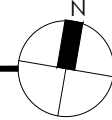
PROPOSED STREET SOUTH ELEVATION - LAKE SIDE

SCALE: 1/8" = 1'-0"



COLORED SITE PLAN WITH LANDSCAPE

SCALE: 1/8" = 1'-0"



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HISTORIC PRESERVATION BOARD:12/06/22  
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REVISIONS: 02/13/23

**Mr. Richard Zegelbone**  
**Residence**

727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019

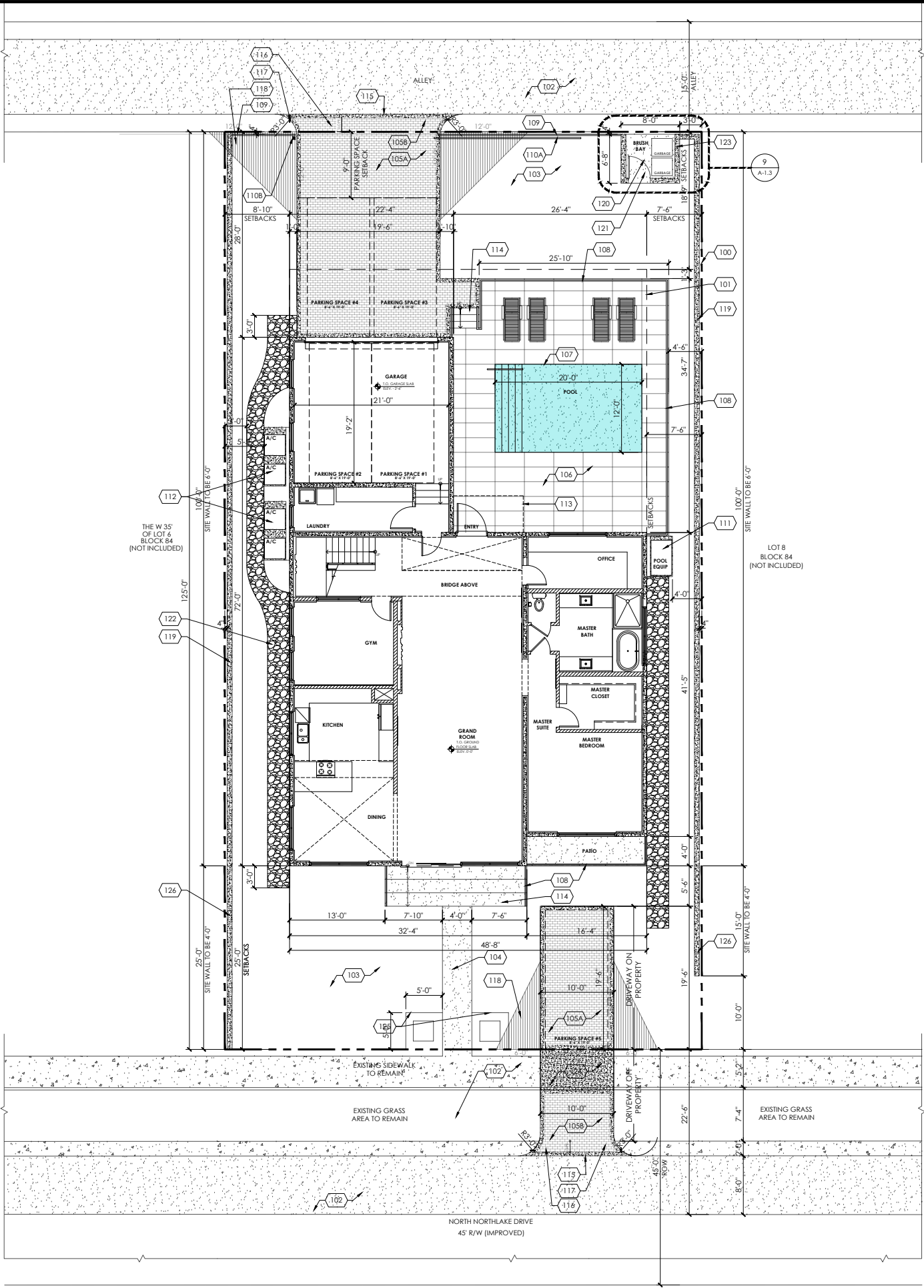
PROJECT NO. 2230

REVISIONS

**COLORED SITE PLAN WITH LANDSCAPE**

**A-1.1**

HISTORIC PRESERVATION BOARD



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**SITE INFORMATION**

<b>PROJECT ADDRESS:</b> 727 NORTH NORTH LAKE DRIVE, HOLLYWOOD, FLORIDA 33019	
<b>LEGAL DESCRIPTION:</b> THE EAST 15 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 84, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.	
<b>ZONING AND PROPERTY INFORMATION:</b> LAND USE DESIGNATION EXISTING	
LAND USE DESIGNATION PROPOSED	
ZONING DESIGNATION	RESIDENTIAL - (2) TWO STORY SINGLE FAMILY HOME
NET SITE AREA	FAMILY HOME
FEMA FLOOD ZONE	RESIDENTIAL - (2) TWO STORY SINGLE FAMILY HOME
BROWARD COUNTY 100 YEAR FLOOR ELEVATION	RS-6 8,125 S.F. (0.18 ACRES) A/E 7 FEET

<b>UTILITY AND SERVICES:</b>	
WATER PROVIDER	CITY OF HOLLYWOOD
WASTE WATER PROVIDER	CITY OF HOLLYWOOD
SOLID WASTE PROVIDER	CITY OF HOLLYWOOD
RECYCLING PROVIDER	CITY OF HOLLYWOOD

<b>SETBACK REQUIREMENTS:</b>	
EAST (SIDE) REQUIRED:	7'-6"
EAST (SIDE) PROVIDED:	7'-6"
WEST (SIDE) REQUIRED:	8'-10"
WEST (SIDE) PROVIDED:	8'-10"
SOUTH (FRONT - LAKE SIDE) REQUIRED:	25'-0"
SOUTH (FRONT - LAKE SIDE) PROVIDED:	25'-0"
NORTH (ALLEY SIDE) REQUIRED:	18'-9"
NORTH (ALLEY SIDE) PROVIDED:	28'-0"

<b>LOT COVERAGE REQUIREMENTS:</b>	
MINIMUM FLOOR AREA	1,000 S.F.
PROPOSED TOTAL FLOOR AREA	3,638 S.F.
FIRST FLOOR	UNDER A/C = 2,261 S.F. GARAGE = 478 S.F.
SECOND FLOOR	UNDER A/C = 899 S.F.
UNDER ROOF TOTAL	= 3,638 S.F.
ROOF S.F. ON TOP OF STAIRS	143 S.F. < 10% OF HOUSE S.F.

<b>BUILDING HEIGHT:</b>	
MAXIMUM BUILDING HEIGHT	30'-0"
PROVIDED BUILDING HEIGHT	30'-0" (TOP OF ROOF STAIRS)
<b>NUMBER OF STORIES:</b>	
2 STORIES	

<b>SITE AND BUILDING DATA:</b>		
NET LAND AREA	8,125 S.F.	100%
LOT COVERAGE - BUILDING FOOT PRINT	2,739 S.F.	33.7%
<b>SITE PREVIOUS DATA:</b>		
NET LAND AREA	8,125 S.F.	100%
BUILDING FOOT PRINT	2,739 S.F.	33.7%
POOL AND POOL DECK	991 S.F.	12.2%
DRIVEWAY / WALKWAYS	1,084 S.F.	13.3%
LANDSCAPED AREA (PERVIOUS)	3,311 S.F.	40.7%

<b>LANDSCAPE:</b>		
TOTAL LANDSCAPE PROVIDED	3,311 S.F.	40.7%
<b>PARKING REQUIREMENTS:</b>		
REQUIRED PARKING 2 SPACES FOR FIRST 2,000 S.F. - ONE ADDITIONAL PARKING FOR EVERY 500 S.F. WITH A CAP OF 5 MAXIMUM REQUIRED SPACES.		
TOTAL PARKING SPACES REQUIRED: 5 SPACES		
TOTAL PARKING SPACES PROVIDED: 5 SPACES (2 IN GARAGE, 2 FRONT OF GARAGE, 1 AT FRONT OF PROPERTY (LAKESIDE))		

**SITE PLAN KEYNOTES AND NOTES**

- 100 PROPERTY LINE
- 101 LINE OF SETBACKS
- 102 EXISTING ROAD / SIDEWALK TO REMAIN
- 103 NEW LANDSCAPE - REFER TO LANDSCAPE PLANS
- 104 NEW CONCRETE PATHWAY
- 105A NEW PAVERS (ON PROPERTY) - TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS - MIN. 2 3/8" PLACED OVER 1 1/2" SAND BASE AND COMPACTED SUB-BASE WITH A MINIMUM 6" CONCRETE BORDER - REFER TO DETAIL 11/A-1.3
- 105B NEW PAVERS (OFF SITE) TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS - MIN. 2 3/8" PLACED OVER 1 1/2" SAND BASE AND COMPACTED SUB-BASE WITH A MINIMUM 6" CONCRETE BORDER - REFER TO DETAIL 11/A-1.3
- 106 NEW CONCRETE POOL DECK WITH SCORE LINES
- 107 NEW POOL
- 108 NEW ALUMINUM RAILING
- 109 NEW ALUMINUM FENCE - FENCE WITHIN VISIBILITY TRIANGLE TO ALLOW CROSS VISIBILITY - PICKET SPACING MUST BE GREATER THAN 3" BUT PREVENTS THE PASSAGE OF A 4" SPHERE - REFER TO DETAIL 2/A-1.3
- 110A NEW ELECTRIC ALUMINUM PROPERTY GATE - REFER TO DETAIL 2/A-1.3 - MUST ALLOW CROSS VISIBILITY - PICKET SPACING MUST BE GREATER THAN 3" BUT PREVENTS THE PASSAGE OF A 4" SPHERE
- 110B NEW POST FOR ELECTRIC ALUMINUM GATE CLOSER
- 111 LOCATION OF POOL EQUIPMENT ON CONCRETE PAD
- 112 LOCATION OF A/C ON CONCRETE PAD
- 113 LINE OF CONCRETE EYEBROW ABOVE
- 114 CONCRETE STEPS
- 115 THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY/SIDEWALK AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
- 116 APRON TO SLOPE TOWARDS EXISTING ALLEY / ROAD.
- 117 3'-0" RADIUS FLARE ON BOTH SIDES OF DRIVEWAYS
- 118 VISIBILITY TRIANGLE - FRONT OF PROPERTY (NORTH LAKE SIDE) TRIANGLES TO BE 6'-0" X 12'-0" REAR OF PROPERTY (ALLEY SIDE) TRIANGLES TO BE 12'-0" X 12'-0"
- 119 NEW 6'-0" CONCRETE WALL FENCE - REFER TO DETAIL 1/A-1.3
- 120 NEW 3'-0" ALUMINUM GATE TO BRUSH BAY
- 121 MIN. 5" CONCRETE SLAB IN BRUSH BAY, 3000 PSI WITH FIBER MESH - REFER TO DETAIL 5/A-1.3
- 122 CRUSH CORAL ROCK (PEA ROCK) PATH
- 123 NEW 6'-0" HIGH CONCRETE WALL AT BRUSH BAY - REFER TO SECTION 5/A-1.3
- 124 SIDEWALK TO BE RESTORED PER CITY OF HOLLYWOOD STANDARDS - REFER TO DETAIL 10/A-1.3
- 125 ALUMINUM BED EDGE WITH LOW GROUND COVER
- 126 NEW 4'-0" HIGH CONCRETE WALL MAX WITHIN 25'-0" FROM PROPERTY LINE - REFER TO SITE PLAN FOR LOCATION AND SECTION 5/A-1.3

- NOTES:**
- CONTRACTOR SHALL VERIFY PLACEMENT OF NEW RESIDENCE TO ASSURE THAT IT IS WITHIN THE REQUIRED SET BACK PRIOR TO CONSTRUCTION OF THE FOUNDATION.
  - SITE EQUIPMENT: A/C AND/OR POOL EQUIPMENT TO BE INSTALLED WITH MIN. CLEARANCE FROM EACH OTHER AND FROM BUILDING EDGE AS WELL AS MAINTAINING MIN. OF 3'-0" CLEARANCE FROM PROPERTY LINE.
  - CONCRETE DRIVEWAYS ON PRIVATE PROPERTY SHALL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK.



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DRAWN **PKA**  
CHECKED **PKA**

HARLAN L. KURITZKY AR 0009686  
DIGITAL SEAL

HISTORIC PRESERVATION BOARD: 12/06/22  
HISTORIC PRESERVATION BOARD  
REVISIONS: 02/13/23

**Mr. Richard Zegelbone**  
**Residence**

727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019  
PROJECT NO. 2230

REVISIONS

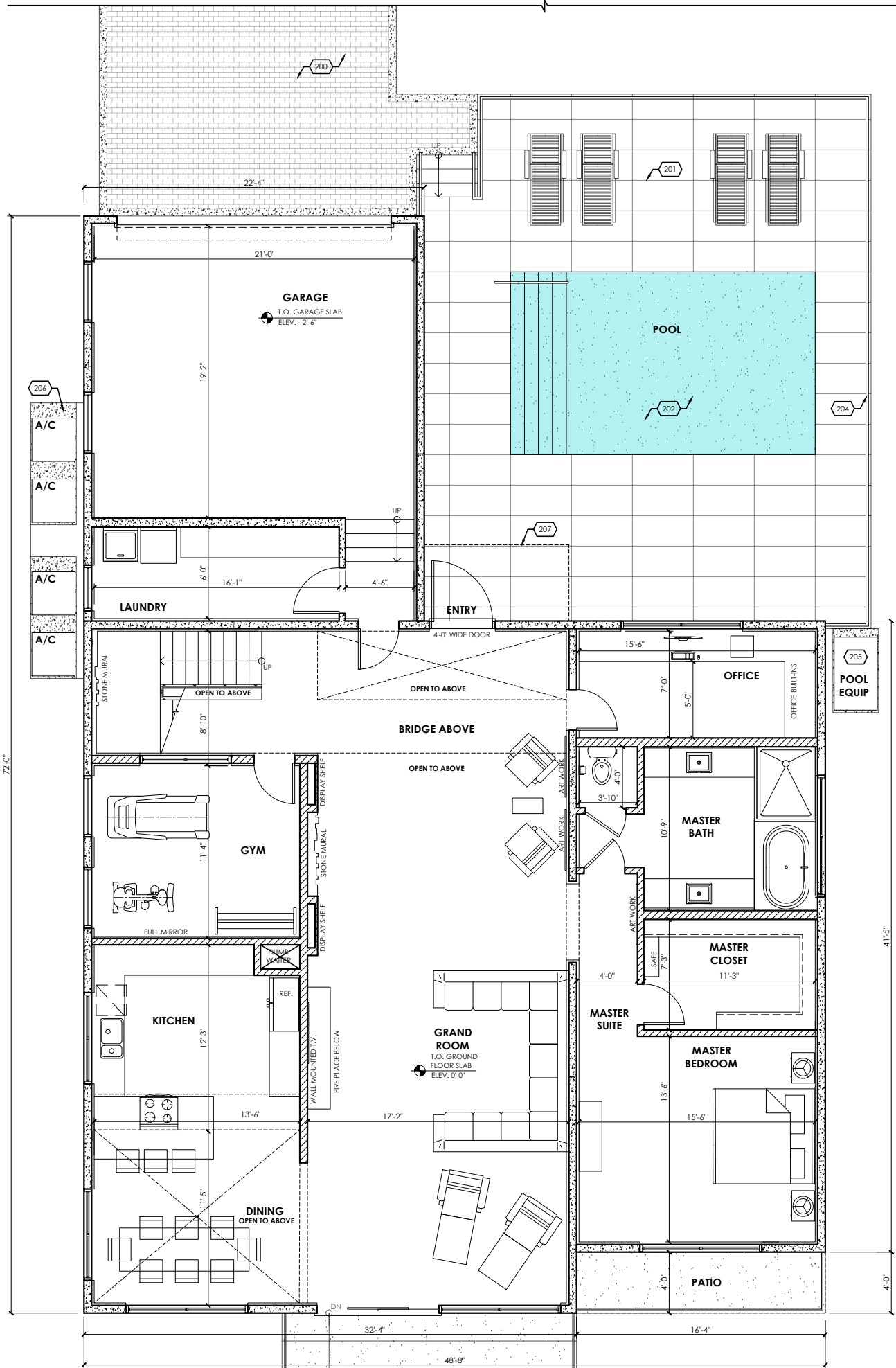
**SITE PLAN**  
**SITE DATA**  
**SITE KEYNOTES**

**A-1.2**  
HISTORIC PRESERVATION BOARD



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN KEYNOTES

- 200 NEW PAVERS (ON PROPERTY) - TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS - MIN. 2 3/8" PLACED OVER 1 1/2" SAND BASE AND COMPACTED SUB-BASE WITH A MINIMUM 6" CONCRETE BORDER - REFER TO DETAIL 11/A-1.3
- 201 CONCRETE POOL DECK WITH SCORE LINES
- 202 POOL
- 203 ALUMINUM RAILING ON TOP OF 1'-0" LOW WALL (AT ROOF TOP ONLY) -TOP OF RAILING AT 42"
- 204 ALUMINUM RAILING
- 205 LOCATION OF POOL EQUIPMENT ON CONCRETE PAD
- 206 LOCATION OF A/C ON CONCRETE PAD
- 207 LINE OF FLOOR ABOVE
- 208 ROOF TOP: SOLAR PANELS - TO BE SELECTED AT LATER DATE
- 209 ROOF TOP: JACUZZI
- 210 ROOF TOP: STEPPING STONES
- 211 ROOF TOP: ELECTRIC GRILL
- 212 ROOF TOP: WOOD DECK
- 213 ROOF TOP: OUTDOOR NON PERMANENT FURNITURE
- 214 ROOF TOP: PERMANENT CONCRETE PLANTER
- 215 ROOF TOP: 42" A.F.F PARAPET



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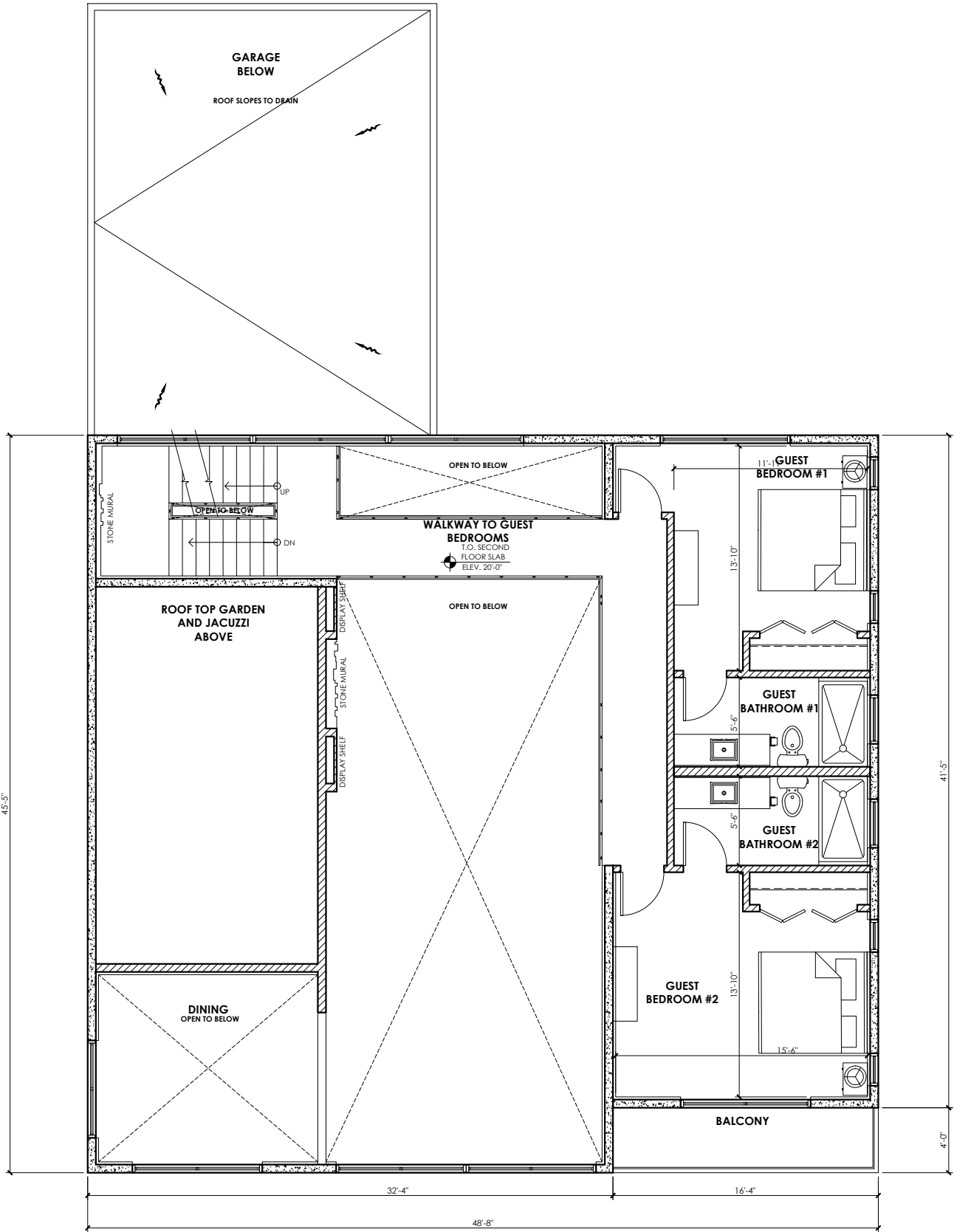
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FIRST FLOOR PLAN

A-2.0  
HISTORIC PRESERVATION BOARD



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

- 200 NEW PAVERS (ON PROPERTY) - TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS - MIN. 2 3/8" PLACED OVER 1 1/2" SAND BASE AND COMPACTED SUB-BASE WITH A MINIMUM 6" CONCRETE BORDER - REFER TO DETAIL 11/A-1.3
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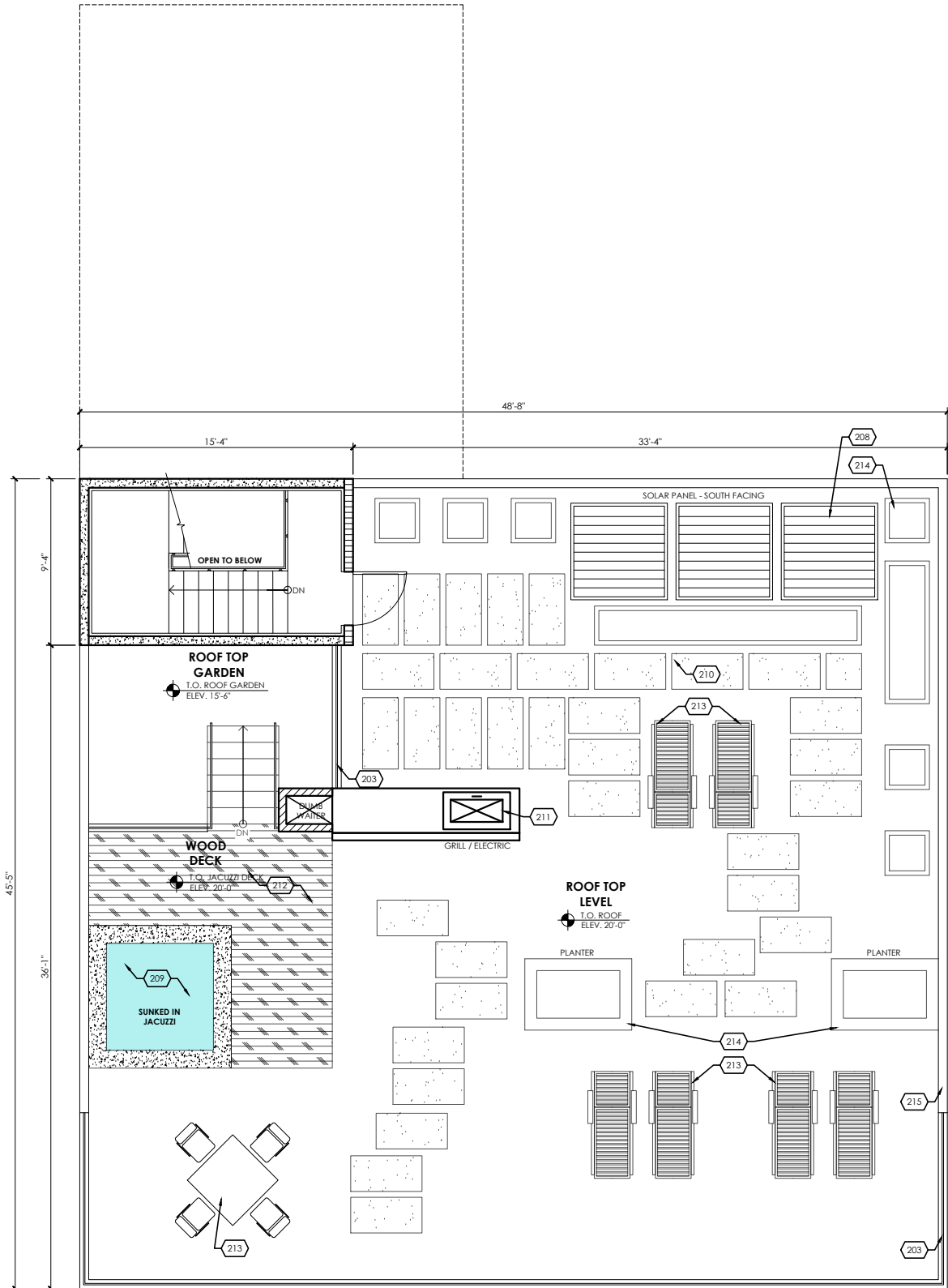
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SECOND FLOOR  
PLAN

A-3.0  
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ROOF PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

- 200 NEW PAVERS (ON PROPERTY) - TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS - MIN. 2 3/8" PLACED OVER 1 1/2" SAND BASE AND COMPACTED SUB-BASE WITH A MINIMUM 6" CONCRETE BORDER - REFER TO DETAIL 11/A-1.3
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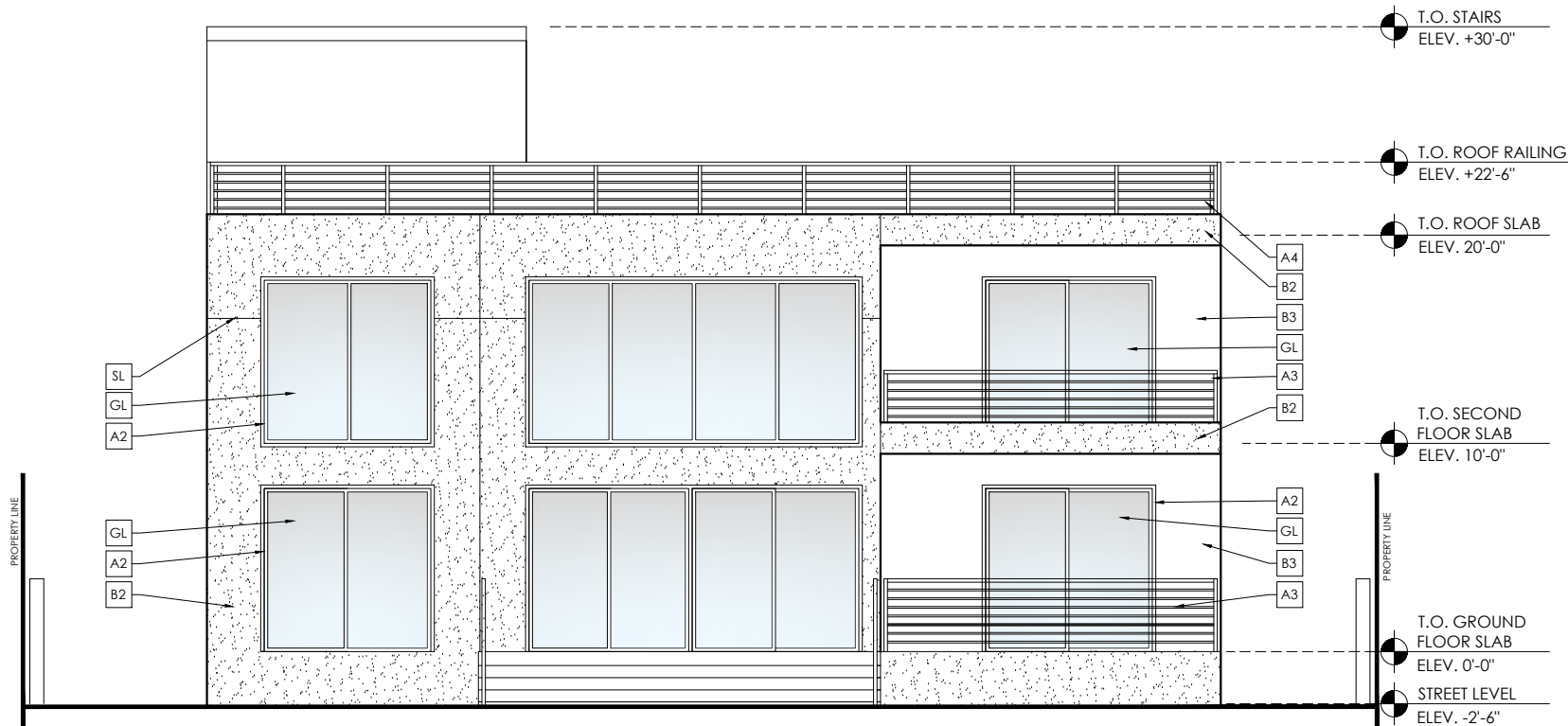
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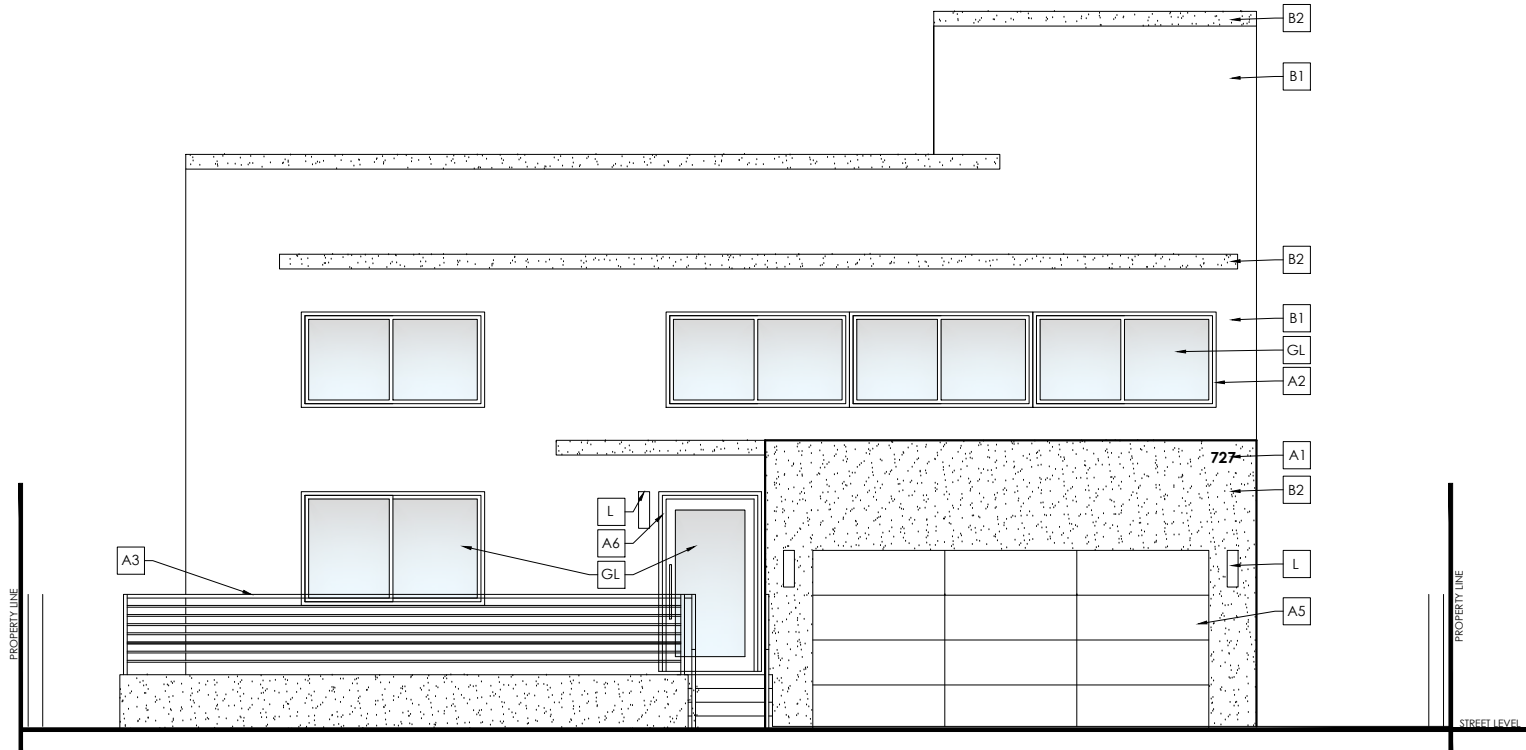
ROOF PLAN

A-4.0  
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

A1	ADDRESS NUMBERS	10" HIGH STAINLESS STEEL ADDRESS NUMBERS	
A2	WINDOW FRAMES	ALUMINUM - DARK GUN METAL	
A3	METAL RAILING	ALUMINUM POWER COATED DARK GUN METAL	
A4	METAL RAILING (ROOF LEVEL)	ALUMINUM POWER COATED LIGHT GRAY TO MATCH MAIN BUILDING COLOR	
A5	GARAGE DOOR	ALUMINUM GARAGE DOOR PANELS DARK GUN METAL	
A6	FRONT DOOR	ALUMINUM - DARK GUN METAL	
B1	STUCCO - SMOOTH BODY COLOR	LIGHT GRAY	
B2	STUCCO - TEXTURED BODY COLOR	LIGHT GRAY	
B3	STUCCO BODY COLOR	WHITE	
GL	GLAZING	LIGHT GRAY TINTED	
L	LIGHT FIXTURE	LIGHT FIXTURE TO BE SELECTED AT A LATER DATE - COLOR TO BE ALUMINUM / STAINLESS STEEL DARK GUN METAL	
SL	STUCCO LINE / EXPANSION JOINT	TO BE PAINTED PER ADJACENT WALL COLOR- EITHER B1 OR B2	

NOTE:  
REFER TO RENDERINGS FOR FULL COLOR SCHEME



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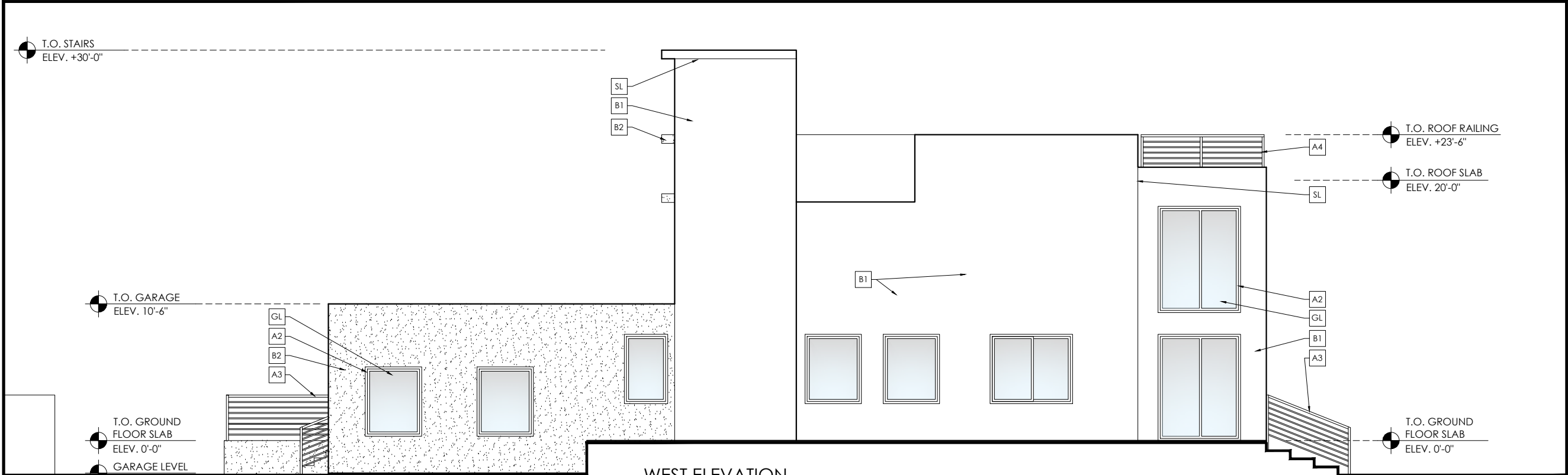
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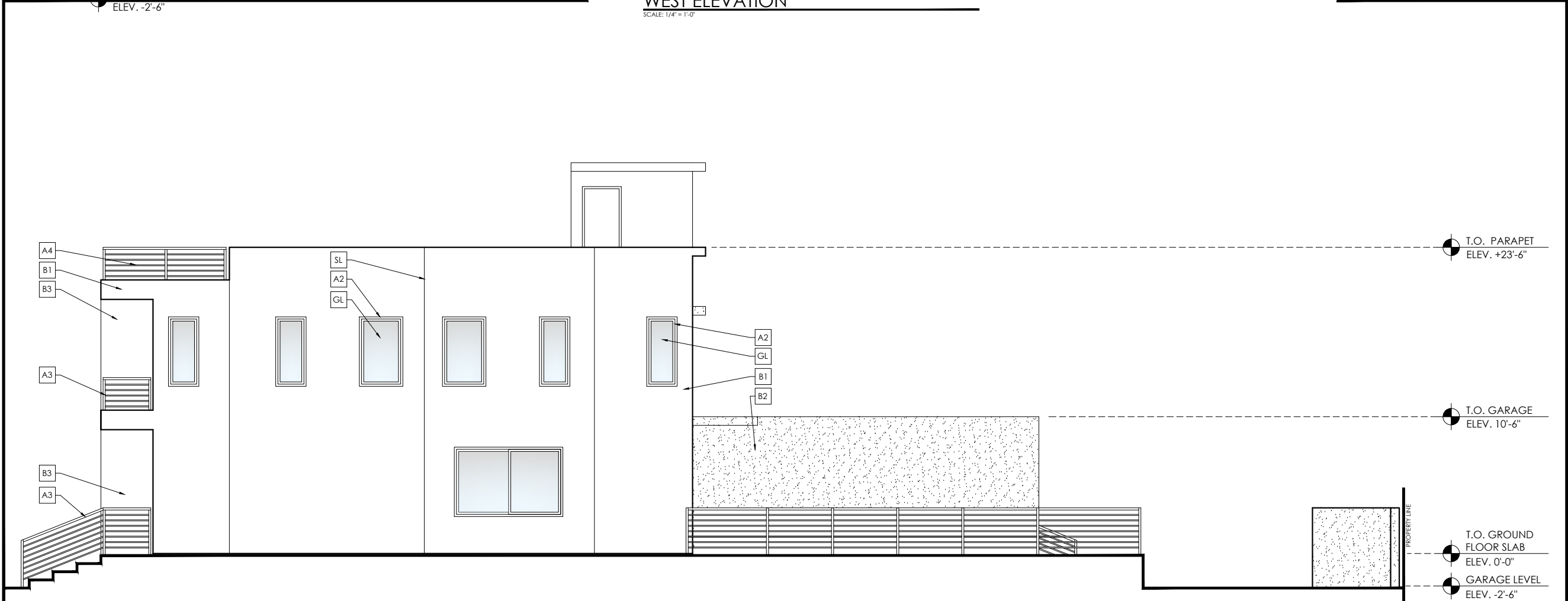
EXTERIOR  
ELEVATIONS

A-5.0


HISTORIC PRESERVATION BOARD



WEST ELEVATION  
SCALE: 1/4" = 1'-0"



EAST ELEVATION  
SCALE: 1/4" = 1'-0"



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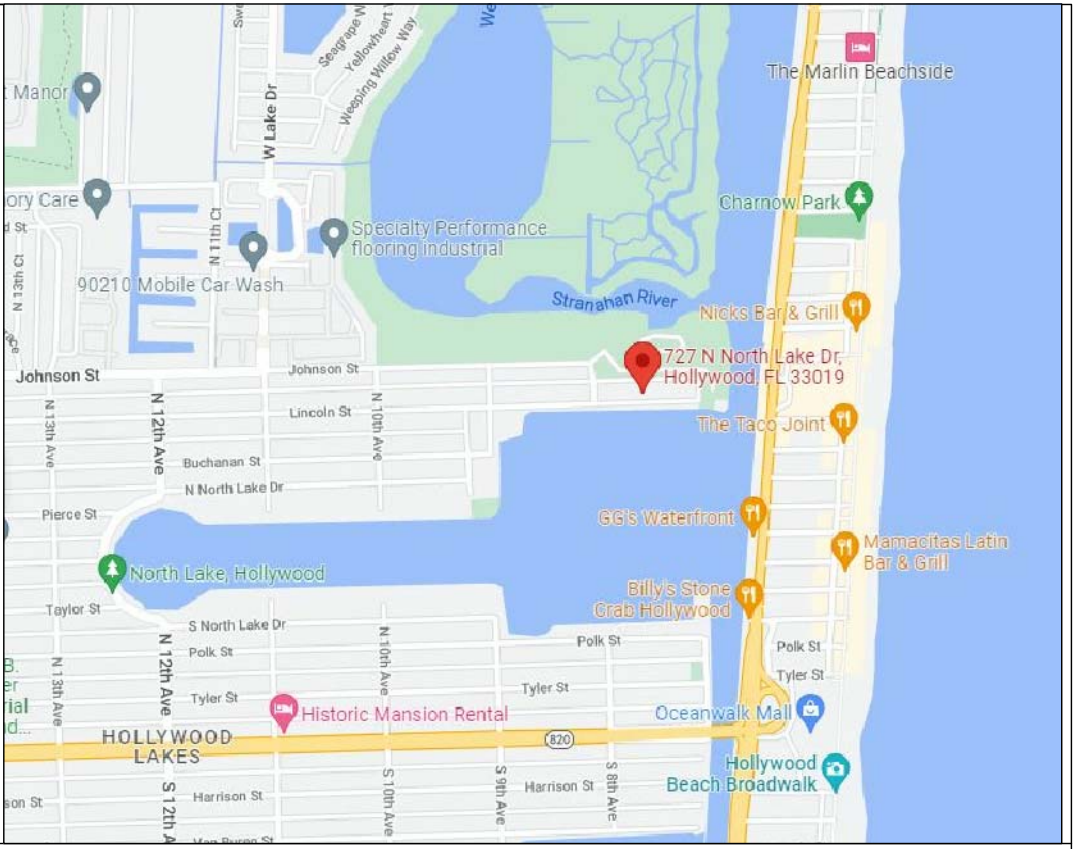
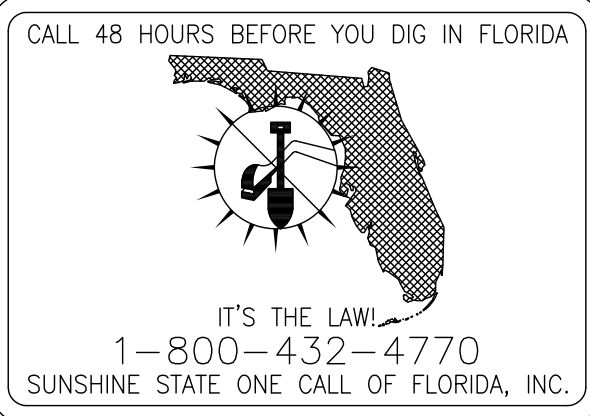
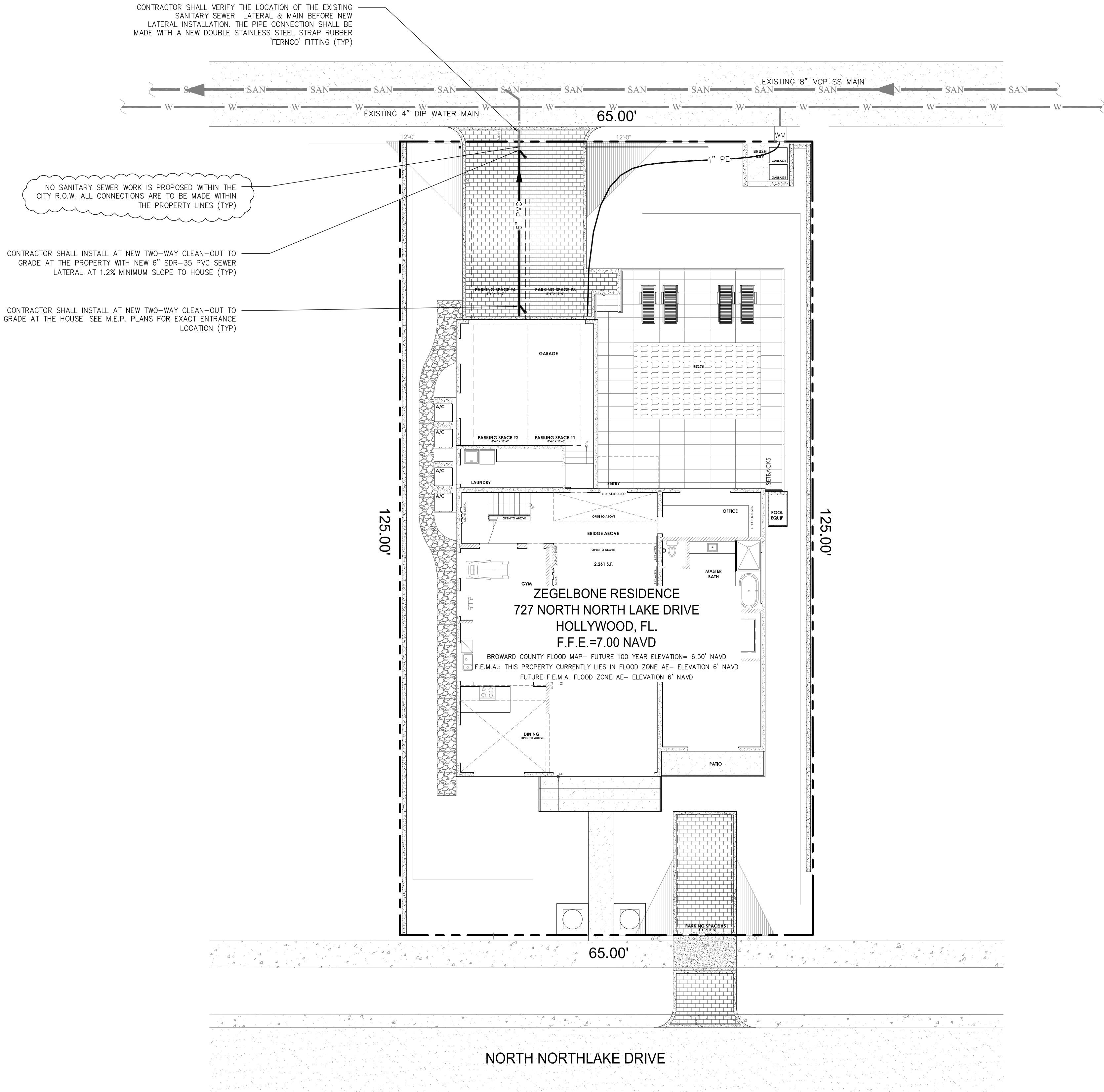
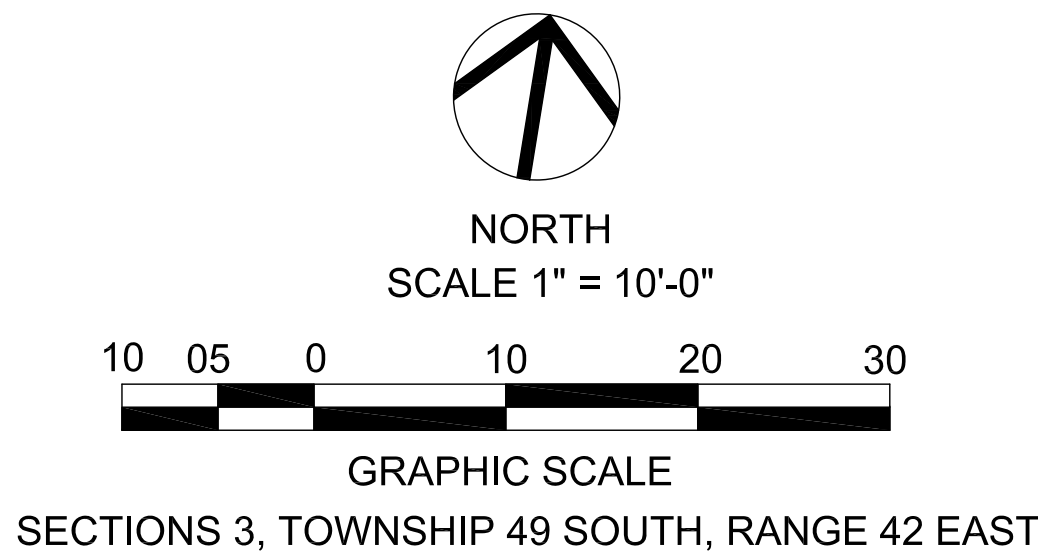
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**EXTERIOR  
ELEVATIONS**

**A-5.1**  
HISTORIC PRESERVATION BOARD



- LEGEND:
- WATER METER
  - EXISTING ELEVATION
  - PROPOSED CONCRETE
  - PROPOSED ELEVATION
  - PROPERTY LINE
  - EXISTING UTILITY MAIN
  - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
  - VALVE
  - C.O.T.G. CLEANOUT TO GRADE
  - DIRECTION OF SURFACE DRAINAGE

LEGAL DESCRIPTION:

THE EAST 15 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 84, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SITE DATA:

SITE AREA: 8,126 SQUARE FEET = 0.187 ACRES

CITY: HOLLYWOOD

BROWARD COUNTY FLOOD MAP- FUTURE 100 YEAR ELEVATION= 6.50' NAVD

F.E.M.A.: THIS PROPERTY CURRENTLY LIES IN FLOOD ZONE AE- ELEVATION 6' NAVD  
FUTURE F.E.M.A. FLOOD ZONE AE- ELEVATION 6' NAVD

BROWARD COUNTY WET SEASON WATER TABLE= 1.00' NAVD

WATER SYSTEM AUTHORITY: CITY OF HOLLYWOOD

WASTEWATER SYSTEM AUTHORITY: CITY OF HOLLYWOOD

WATER AND SEWER NOTES:

ALL SANITARY SEWER LATERALS SHALL BE SDR-35 PVC PIPE THICKNESS.

ALL SEWER PIPE FITTINGS SHALL BE SCHEDULE 40.

WATER SERVICE PIPING SHALL BE POLYETHYLENE PIPE DR-14

CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.

SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER AND SANITARY SEWER (VERTICALLY AND HORIZONTALLY).

PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW CITY OF FORT LAUDERDALE UTILITIES DEPARTMENT'S AND MDC ENGINEERING'S MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS.

ALL SANITARY SEWER LATERALS/ MAINS SHALL CROSS UNDER WATER MAIN WITH A MINIMUM OF 18" SEPARATION. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED ON CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL/MAIN AND WATER MAIN.

CLEANOUTS AND MANHOLES, TO REMAIN, ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.

CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT ANY WATER MAIN CONNECTIONS. UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE UTILITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.

W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 5' CLEAR RADIUS FROM ALL OBSTRUCTIONS.

SEWER LATERALS SHALL BE LAID AT A MINIMUM 1.2% SLOPE UNLESS NOTED OTHERWISE ON PLANS.

CONTRACTOR SHALL PROVIDE EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT AND PROJECT CLOSE-OUT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.

Phased: CITY DRC DOCUMENTS

SIGNATURE AND SEAL

Scale: 1"=10'

Job No. 2022-3900

Date 11/19/2022

Drawn by SM

Appr. by LS

Sheet No. C1

Plot Date 02/08/2023

1 of 3



WATER AND SANITARY SEWER PLAN

REVISIONS

ZEGELBONE RESIDENCE



Project Address: 727 N. NORTH LAKE DRIVE, HOLLYWOOD, FL 33009

Phased: CITY DRC DOCUMENTS

SIGNATURE AND SEAL

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Job No. 2022-3900

Date 11/19/2022

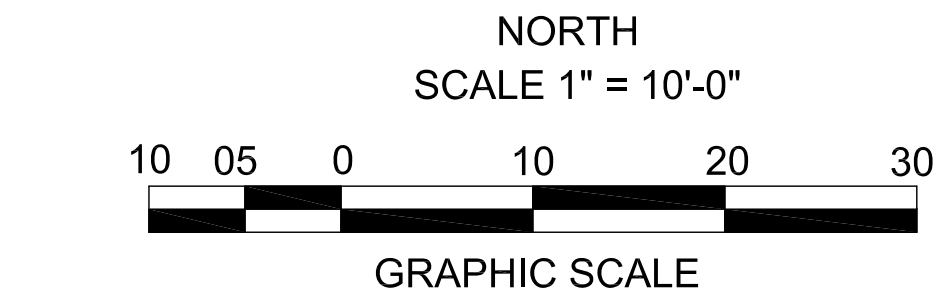
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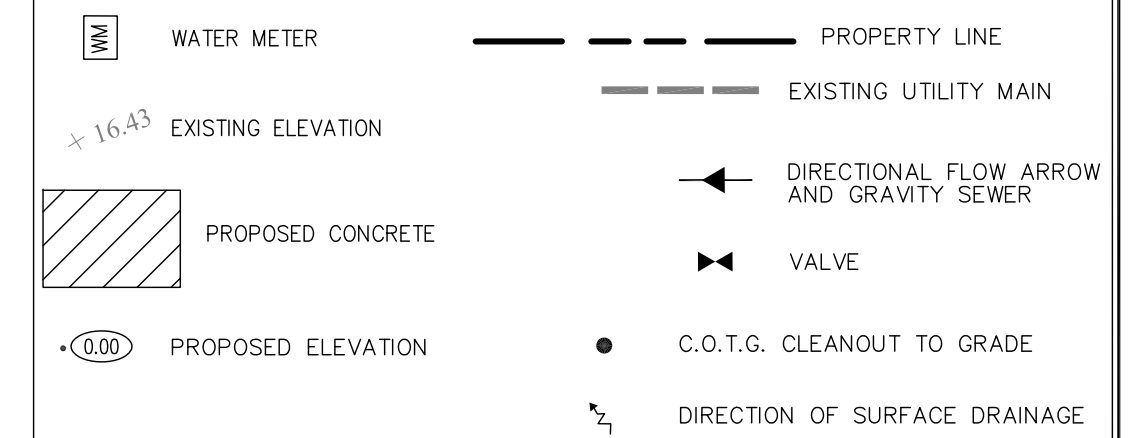
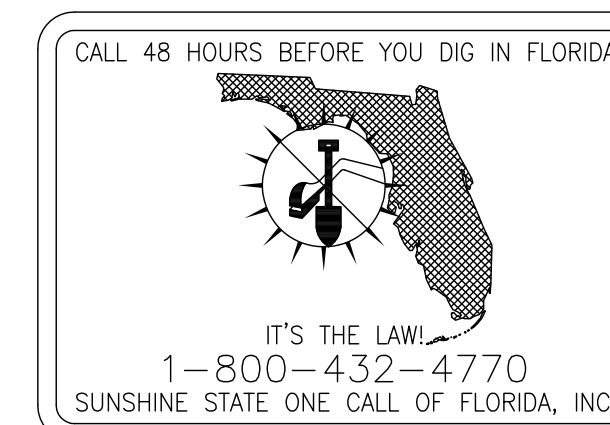
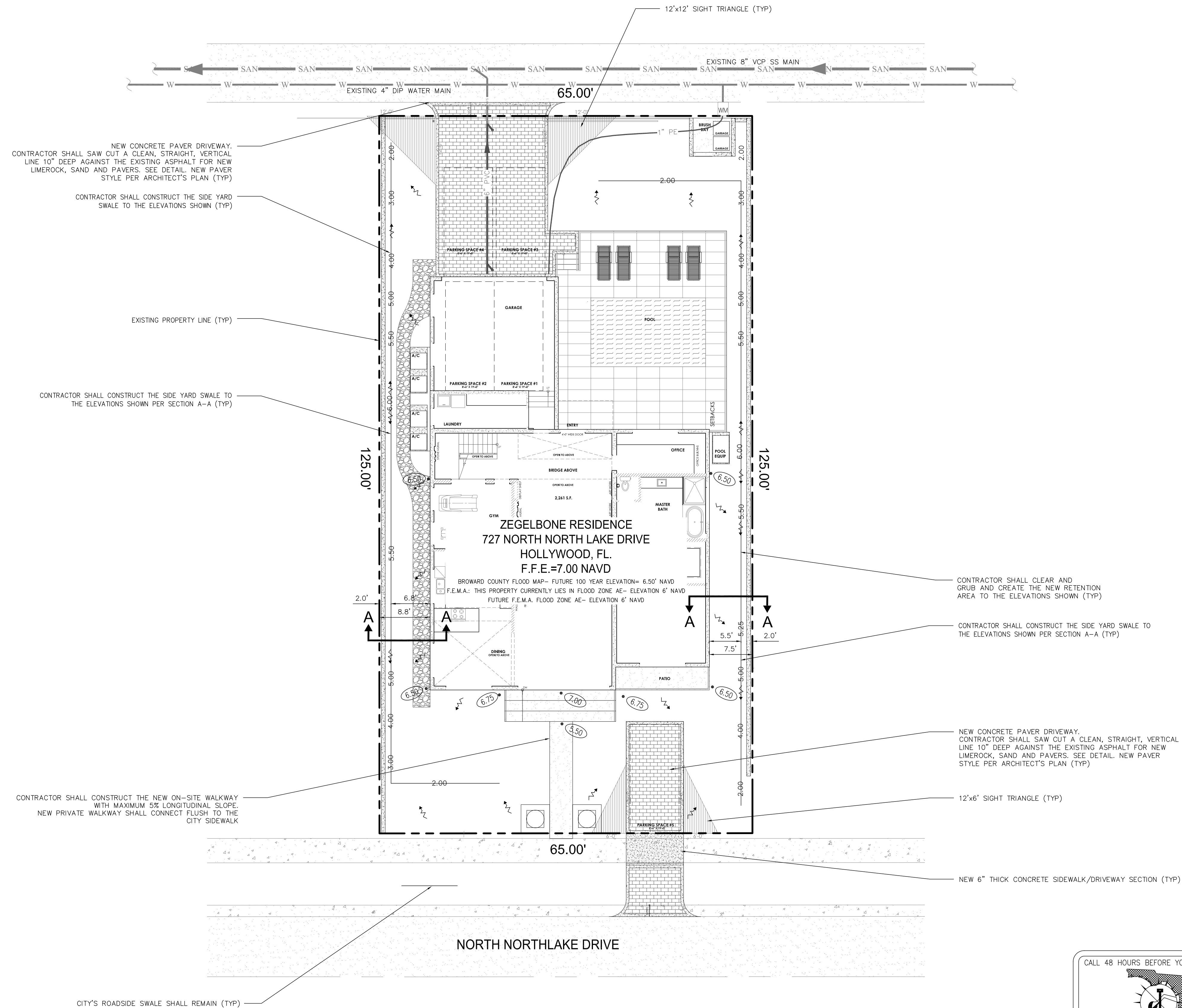
Sheet No. C1

Plot Date 02/08/2023

1 of 3



SECTIONS 3, TOWNSHIP 49 SOUTH, RANGE 42 EAST



**LEGAL DESCRIPTION:**

THE EAST 15 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 84, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

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CITY: HOLLYWOOD

BROWARD COUNTY FLOOD MAP- FUTURE 100 YEAR ELEVATION= 6.50' NAVD

F.E.M.A.: THIS PROPERTY CURRENTLY LIES IN FLOOD ZONE AE- ELEVATION 6' NAVD  
FUTURE F.E.M.A. FLOOD ZONE AE- ELEVATION 6' NAVD

BROWARD COUNTY WET SEASON WATER TABLE= 1.00' NAVD

WATER SYSTEM AUTHORITY: CITY OF HOLLYWOOD

WASTEWATER SYSTEM AUTHORITY: CITY OF HOLLYWOOD

## PAVING, GRADING AND DRAINAGE NOTES:

ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

THE CONCRETE PAVERS FOR THIS PROJECT SHALL BE 2 3/4" THICK ON A 1" SAND BASE PER  
DETAIL AND STYLE AND COLOR OF ARCHITECT/OWNER'S CHOICE

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL IN ORDER TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.

LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CURB CUTS.

ELEVATIONS SHOWN ARE THE GRADES AFTER THE SOD HAS BEEN PLACED.

CONTRACTOR SHALL PROVIDE A MAXIMUM SLOPE OF 3:1 (H:V) FOR ALL SWALES SIDE SLOPES AND A MAXIMUM SLOPE OF 2:1 (H:V) FOR PERIMETER BERM TRANSITIONS IN GRADES.

SITE UNDERGROUND CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND RAIN WATER LEADERS VERTICALLY AND HORIZONTALLY.

ALL INSPECTIONS AND CERTIFICATION REQUIREMENTS SHALL FOLLOW THE CITY'S ENGINEERING & UTILITY DEPARTMENT'S AND MOC MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS.

RAIN WATER LEADERS AND CONDENSATE LINES SHALL BE LAID AT A MINIMUM 1% SLOPE UNLESS NOTED OTHERWISE ON PLANS.



## PAVING, GRADING AND DRAINAGE PLAN

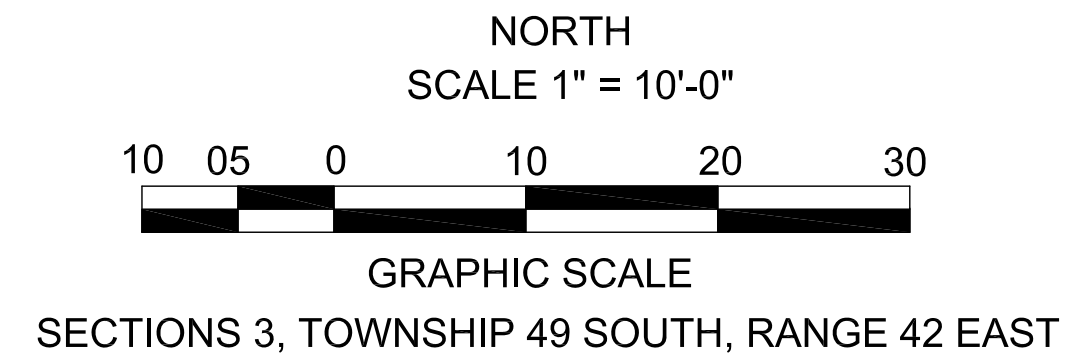


ZEGELBONE RESIDENCE

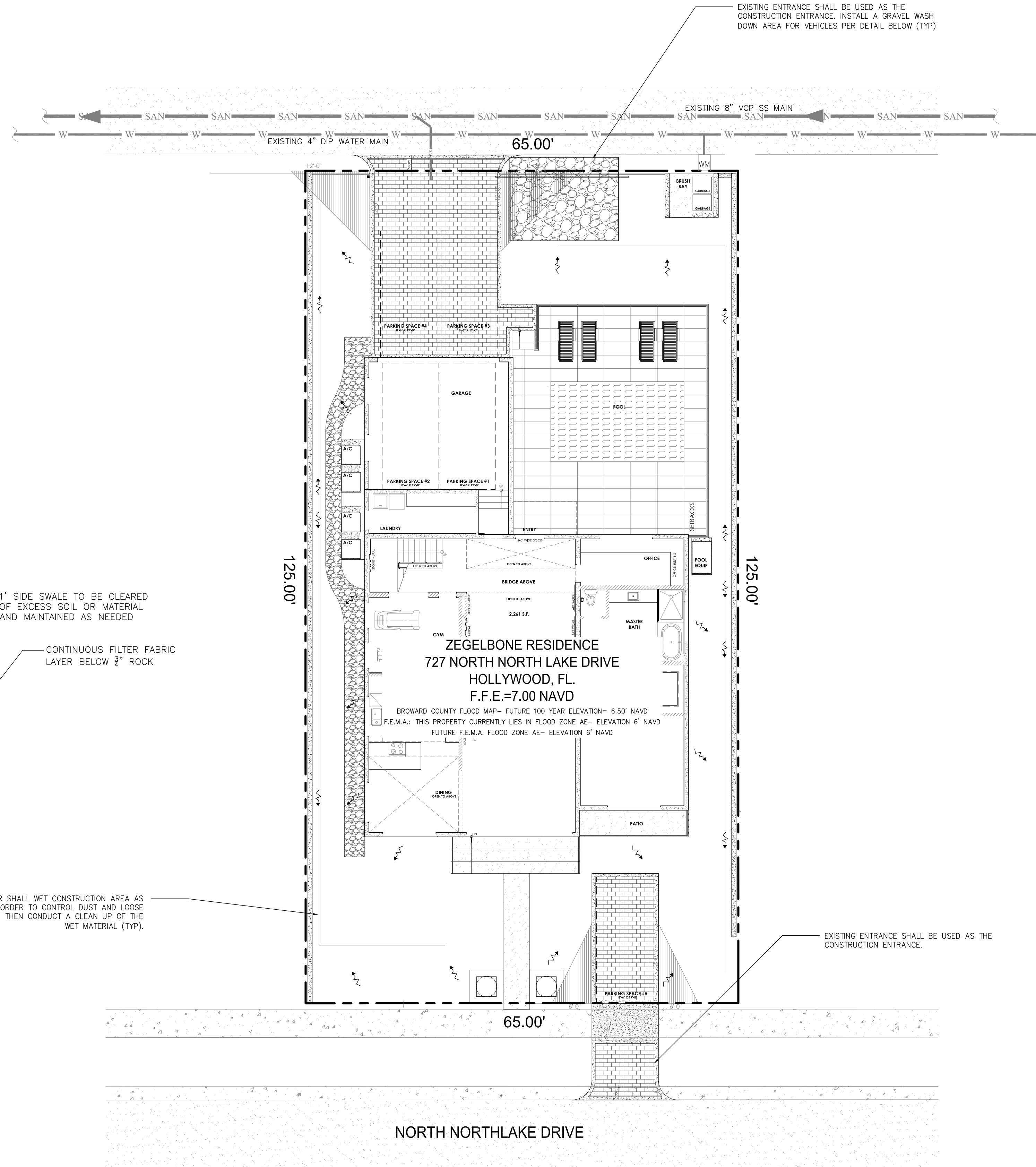
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TY DRC  
OCUMENTS

SIGNATURE AND SEAL

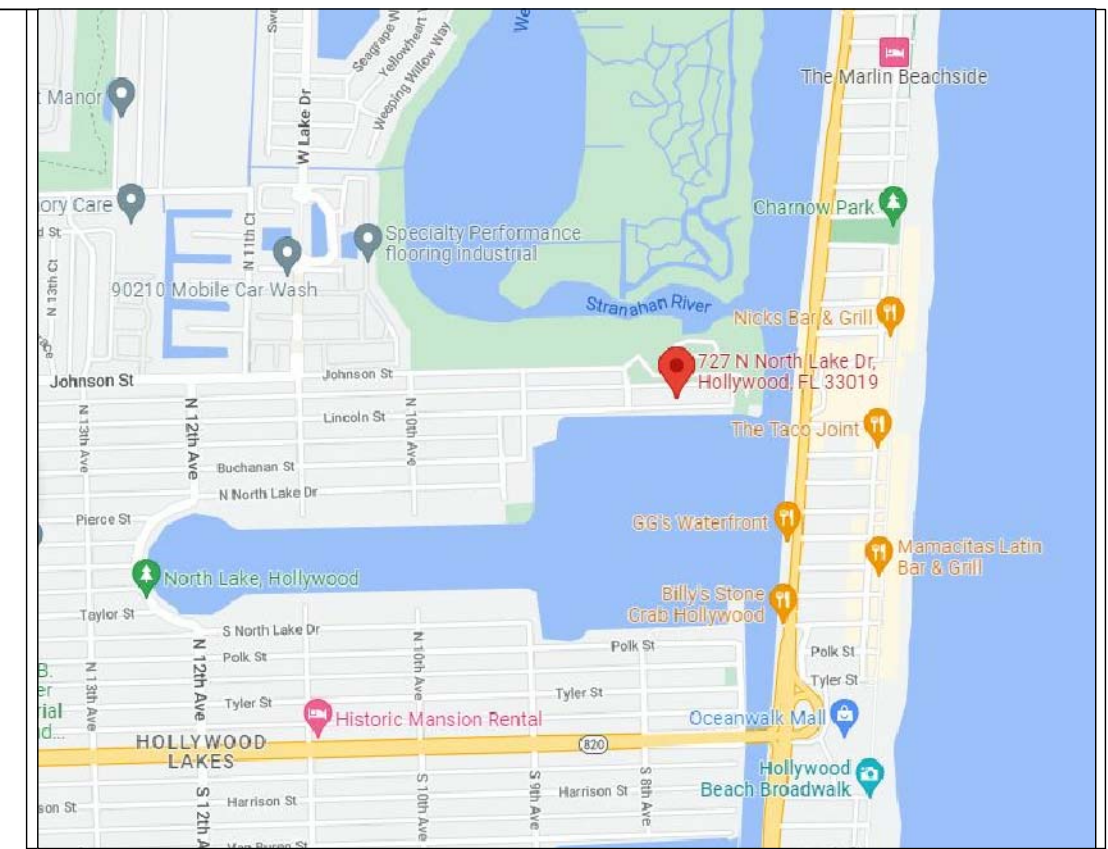
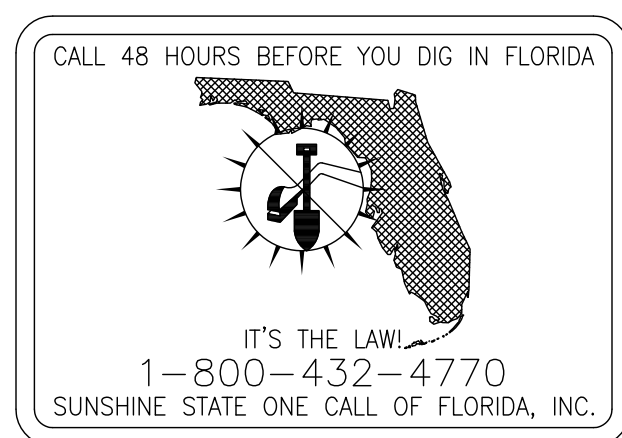
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Job No. 2022-3900 Date 1/19/2022	Sheet No.  <b>C2</b>
Drawn by SM	Plot Date 02/08/2023
Appr. by JS	2 of 3



SECTIONS 3, TOWNSHIP 49 SOUTH, RANGE 42 EAST



CONSTRUCTION ENTRANCE & SOIL TRACKING AREA  
NTS



 WATER METER
  PROPERTY LINE  
 EXISTING UTILITY MAIN  
 $+164.3$  EXISTING ELEVATION  
 PROPOSED CONCRETE  
 DIRECTIONAL FLOW ARROW  
 VALVE  
 C.O.T.G. CLEANOUT TO GRADE  
 DIRECTION OF SURFACE DRAINAGE  
 PROPOSED ELEVATION

THE EAST 15 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 84, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

## WASTEWATER SYSTEM AUTHORITY: CITY OF HOLLYWOOD

CONTRACTOR SHALL PROVIDE DAILY CLEAN UP OF ALL SEDIMENT AND PROVIDE DAILY DUST CONTROL MEASURES.



# STORMWATER POLLUTION PREVENTION PLAN



727 N. NORTH LAKE DRIVE  
HOLLYWOOD, FL. 33019

ase:  
TY DRC  
OCUMENTS

SIGNATURE AND SEAL

Scale:  $1'' = 10'$

Doc No. 022-3900	Sheet No.
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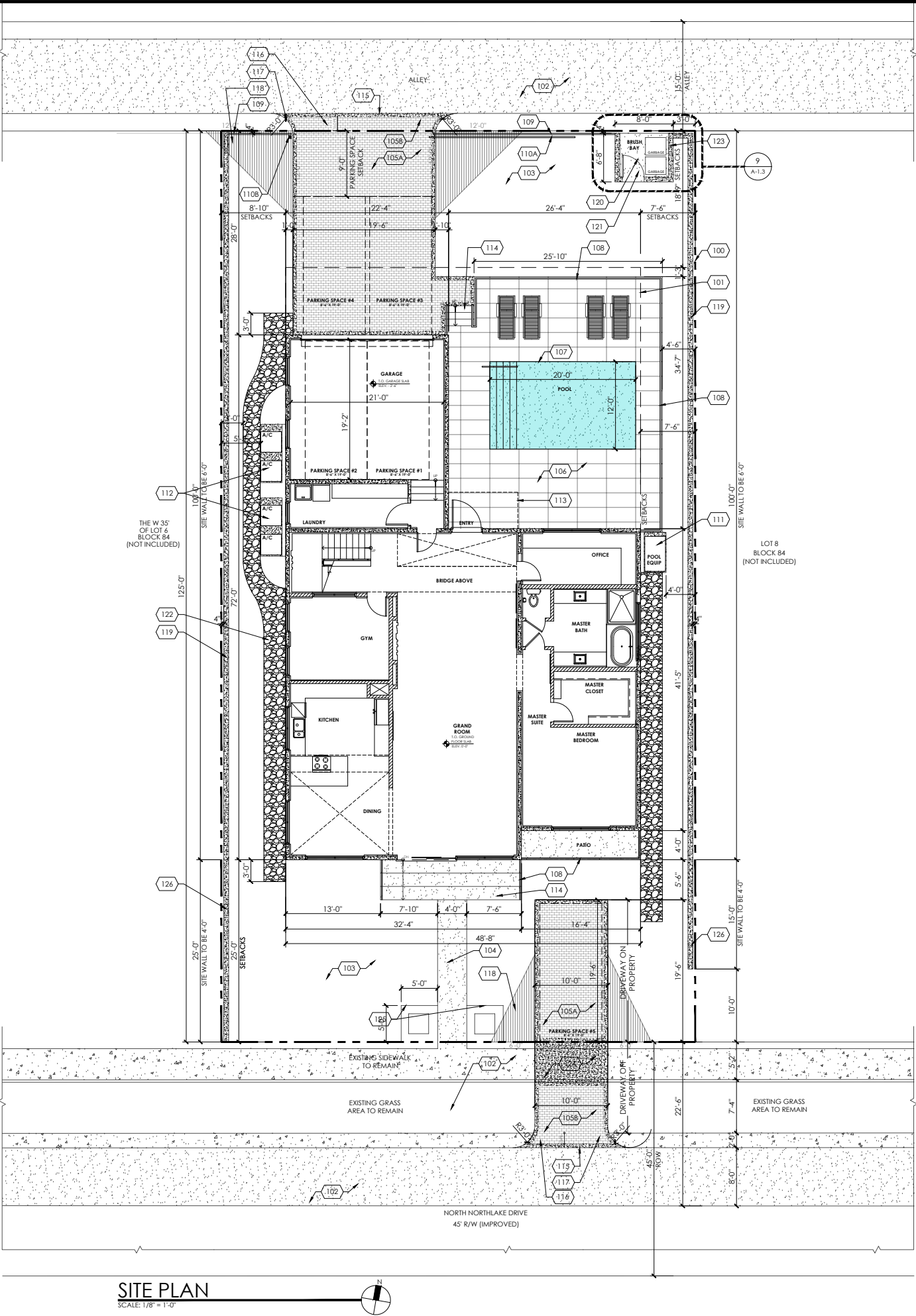
ate 1/19/2022	C3
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Drawn by SM	Plot Date 02/08/2023
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DATED: 02/08/2023

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHANE MUNSON ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED  
AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**SITE INFORMATION**

<b>PROJECT ADDRESS:</b> 727 NORTH NORTH LAKE DRIVE, HOLLYWOOD, FLORIDA 33019		
<b>LEGAL DESCRIPTION:</b> THE EAST 15 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 84, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.		
<b>ZONING AND PROPERTY INFORMATION:</b>		
LAND USE DESIGNATION EXISTING	RESIDENTIAL - (2) TWO STORY SINGLE FAMILY HOME	
LAND USE DESIGNATION PROPOSED	RESIDENTIAL - (2) TWO STORY SINGLE FAMILY HOME	
ZONING DESIGNATION	RS-6	
NET SITE AREA	8,125 S.F. (0.18 ACRES)	
FEMA FLOOD ZONE	A/E	
BROWARD COUNTY 100 YEAR FLOOR ELEVATION	7 FEET	
<b>UTILITY AND SERVICES:</b>		
WATER PROVIDER	CITY OF HOLLYWOOD	
WASTE WATER PROVIDER	CITY OF HOLLYWOOD	
SOLID WASTE PROVIDER	CITY OF HOLLYWOOD	
RECYCLING PROVIDER	CITY OF HOLLYWOOD	
<b>SETBACK REQUIREMENTS:</b>		
EAST (SIDE) REQUIRED:	7'-6"	
EAST (SIDE) PROVIDED:	7'-6"	
WEST (SIDE) REQUIRED:	8'-10"	
WEST (SIDE) PROVIDED:	8'-10"	
SOUTH (FRONT - LAKE SIDE) REQUIRED:	25'-0"	
SOUTH (FRONT - LAKE SIDE) PROVIDED:	25'-0"	
NORTH (ALLEY SIDE) REQUIRED:	18'-9"	
NORTH (ALLEY SIDE) PROVIDED:	28'-0"	
<b>LOT COVERAGE REQUIREMENTS:</b>		
MINIMUM FLOOR AREA	1,000 S.F.	
PROPOSED TOTAL FLOOR AREA	3,638 S.F.	
FIRST FLOOR	UNDER A/C = 2,261 S.F. GARAGE = 478 S.F.	
SECOND FLOOR	UNDER A/C = 899 S.F.	
UNDER ROOF TOTAL	= 3,638 S.F.	
<b>BUILDING HEIGHT:</b>		
MAXIMUM BUILDING HEIGHT	30'-0"	
PROVIDED BUILDING HEIGHT	30'-0" (TOP OF ROOF STAIRS)	
<b>NUMBER OF STORIES:</b>		
2 STORIES		
<b>SITE AND BUILDING DATA:</b>		
NET LAND AREA	8,125 S.F.	100%
LOT COVERAGE - BUILDING FOOT PRINT	2,739 S.F.	33.7%
<b>SITE PREVIOUS DATA:</b>		
NET LAND AREA	8,125 S.F.	100%
BUILDING FOOT PRINT	2,739 S.F.	33.7%
POOL AND POOL DECK	991 S.F.	12.2%
DRIVEWAY / WALKWAYS	1,084 S.F.	13.3%
LANDSCAPED AREA (PERVIOUS)	3,311 S.F.	40.7%
<b>LANDSCAPE:</b>		
TOTAL LANDSCAPE PROVIDED	3,311 S.F.	40.7%
<b>PARKING REQUIREMENTS:</b>		
REQUIRED PARKING 2 SPACES FOR FIRST 2,000 S.F. - ONE ADDITIONAL PARKING FOR EVERY 500 S.F. WITH A CAP OF 5 MAXIMUM REQUIRED SPACES.		
TOTAL PARKING SPACES REQUIRED: 5 SPACES		
TOTAL PARKING SPACES PROVIDED: 5 SPACES (2 IN GARAGE, 2 FRONT OF GARAGE, 1 AT FRONT OF PROPERTY (LAKESIDE))		

**SITE PLAN KEYNOTES AND NOTES**

- 100 PROPERTY LINE
- 101 LINE OF SETBACKS
- 102 EXISTING ROAD / SIDEWALK TO REMAIN
- 103 NEW LANDSCAPE - REFER TO LANDSCAPE PLANS
- 104 NEW CONCRETE PATHWAY
- 105A NEW PAVERS (ON PROPERTY) - TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS - MIN. 2 3/8" PLACED OVER 1 1/2" SAND BASE AND COMPACTED SUB-BASE WITH A MINIMUM 6" CONCRETE BORDER - REFER TO DETAIL 11/A-1.3
- 105B NEW PAVERS (OFF SITE) TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS - MIN. 2 3/8" PLACED OVER 1 1/2" SAND BASE AND COMPACTED SUB-BASE WITH A MINIMUM 6" CONCRETE BORDER - REFER TO DETAIL 11/A-1.3
- 106 NEW CONCRETE POOL DECK WITH SCORE LINES
- 107 NEW POOL
- 108 NEW ALUMINUM RAILING
- 109 NEW ALUMINUM FENCE - FENCE WITHIN VISIBILITY TRIANGLE TO ALLOW CROSS VISIBILITY - PICKET SPACING MUST BE GREATER THAN 3" BUT PREVENTS THE PASSAGE OF A 4" SPHERE - REFER TO DETAIL 2/A-1.3
- 110A NEW ELECTRIC ALUMINUM PROPERTY GATE - REFER TO DETAIL 2/A-1.3 - MUST ALLOW CROSS VISIBILITY - PICKET SPACING MUST BE GREATER THAN 3" BUT PREVENTS THE PASSAGE OF A 4" SPHERE
- 110B NEW POST FOR ELECTRIC ALUMINUM GATE CLOSER
- 111 LOCATION OF POOL EQUIPMENT ON CONCRETE PAD
- 112 LOCATION OF A/C ON CONCRETE PAD
- 113 LINE OF CONCRETE EYEBROW ABOVE
- 114 CONCRETE STEPS
- 115 THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY/SIDEWALK AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
- 116 APRON TO SLOPE TOWARDS EXISTING ALLEY / ROAD.
- 117 3'-0" RADIUS FLARE ON BOTH SIDES OF DRIVEWAYS
- 118 VISIBILITY TRIANGLE - FRONT OF PROPERTY (NORTH LAKE SIDE) TRIANGLES TO BE 6'-0" X 12'-0" REAR OF PROPERTY (ALLEY SIDE) TRIANGLES TO BE 12'-0" X 12'-0"
- 119 NEW 6'-0" CONCRETE WALL FENCE - REFER TO DETAIL 1/A-1.3
- 120 NEW 3'-0" ALUMINUM GATE TO BRUSH BAY
- 121 MIN. 5" CONCRETE SLAB IN BRUSH BAY, 3000 PSI WITH FIBER MESH - REFER TO DETAIL 5/A-1.3
- 122 CRUSH CORAL ROCK (PEA ROCK) PATH
- 123 NEW 6'-0" HIGH CONCRETE WALL AT BRUSH BAY - REFER TO SECTION 5/A-1.3
- 124 SIDEWALK TO BE RESTORED PER CITY OF HOLLYWOOD STANDARDS - REFER TO DETAIL 10/A-1.3
- 125 ALUMINUM BED EDGE WITH LOW GROUND COVER
- 126 NEW 4'-0" HIGH CONCRETE WALL MAX WITHIN 25'-0" FROM PROPERTY LINE - REFER TO SITE PLAN FOR LOCATION AND SECTION 5/A-1.3

- NOTES:**
- CONTRACTOR SHALL VERIFY PLACEMENT OF NEW RESIDENCE TO ASSURE THAT IT IS WITHIN THE REQUIRED SET BACK PRIOR TO CONSTRUCTION OF THE FOUNDATION.
  - SITE EQUIPMENT: A/C AND/OR POOL EQUIPMENT TO BE INSTALLED WITH MIN. CLEARANCE FROM EACH OTHER AND FROM BUILDING EDGE AS WELL AS MAINTAINING MIN. OF 3'-0" CLEARANCE FROM PROPERTY LINE.
  - CONCRETE DRIVEWAYS ON PRIVATE PROPERTY SHALL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK.

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CHECKED **PKA**

HARLAN L. KURITZKY AR 0009686  
DIGITAL SEAL

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REVISIONS: 02/10/23

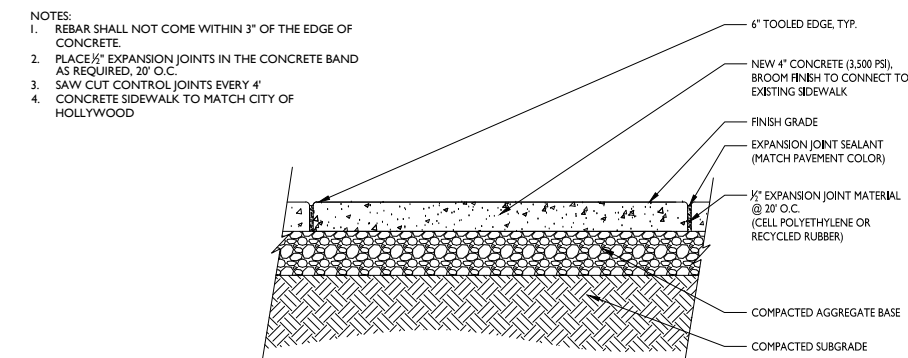
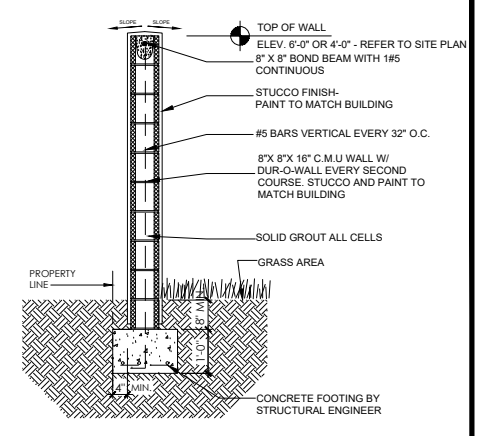
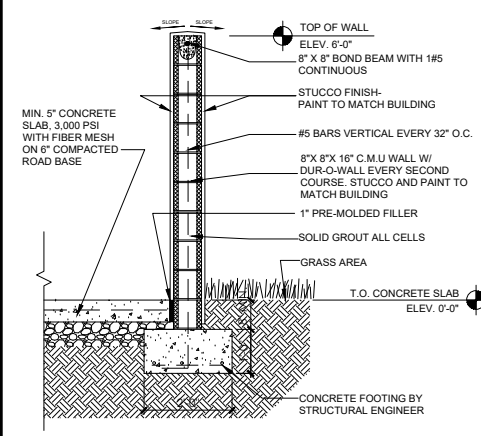
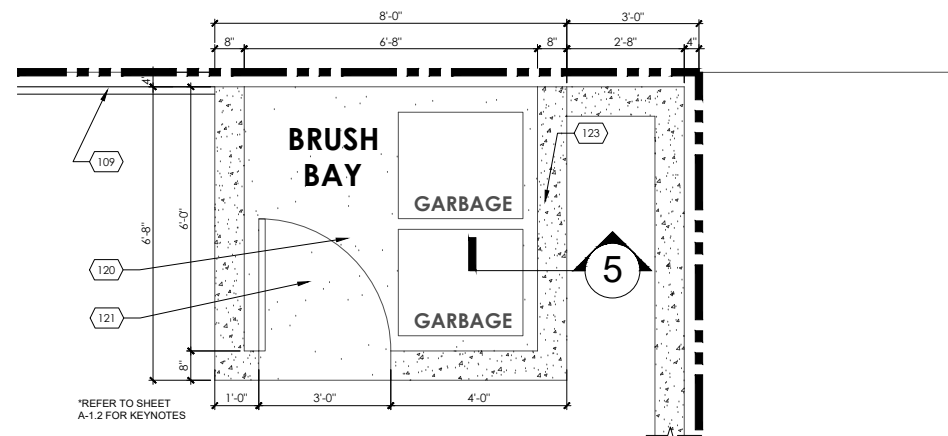
**Mr. Richard Zegelbone**  
**Residence**

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HOLLYWOOD, FL 33019  
PROJECT NO. 2230

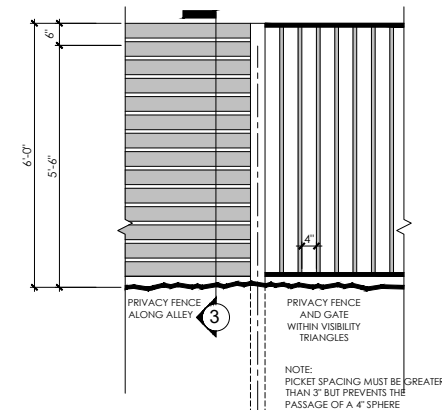
REVISIONS

**SITE PLAN**  
**SITE DATA**  
**SITE KEYNOTES**

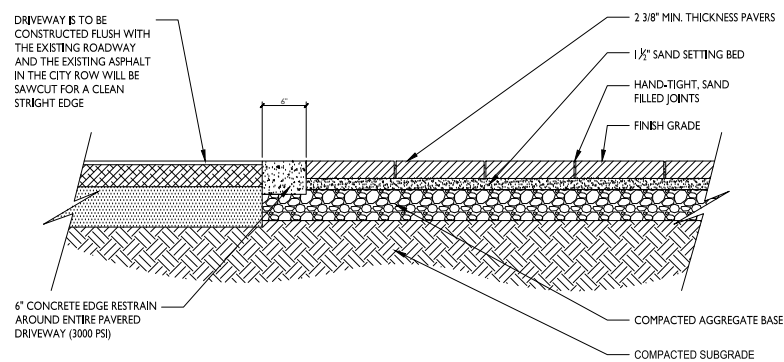
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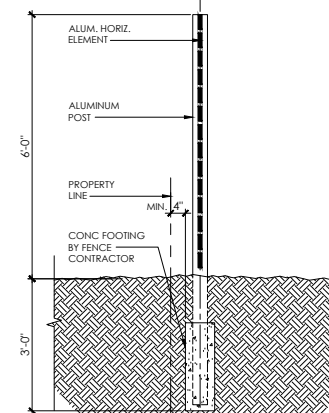
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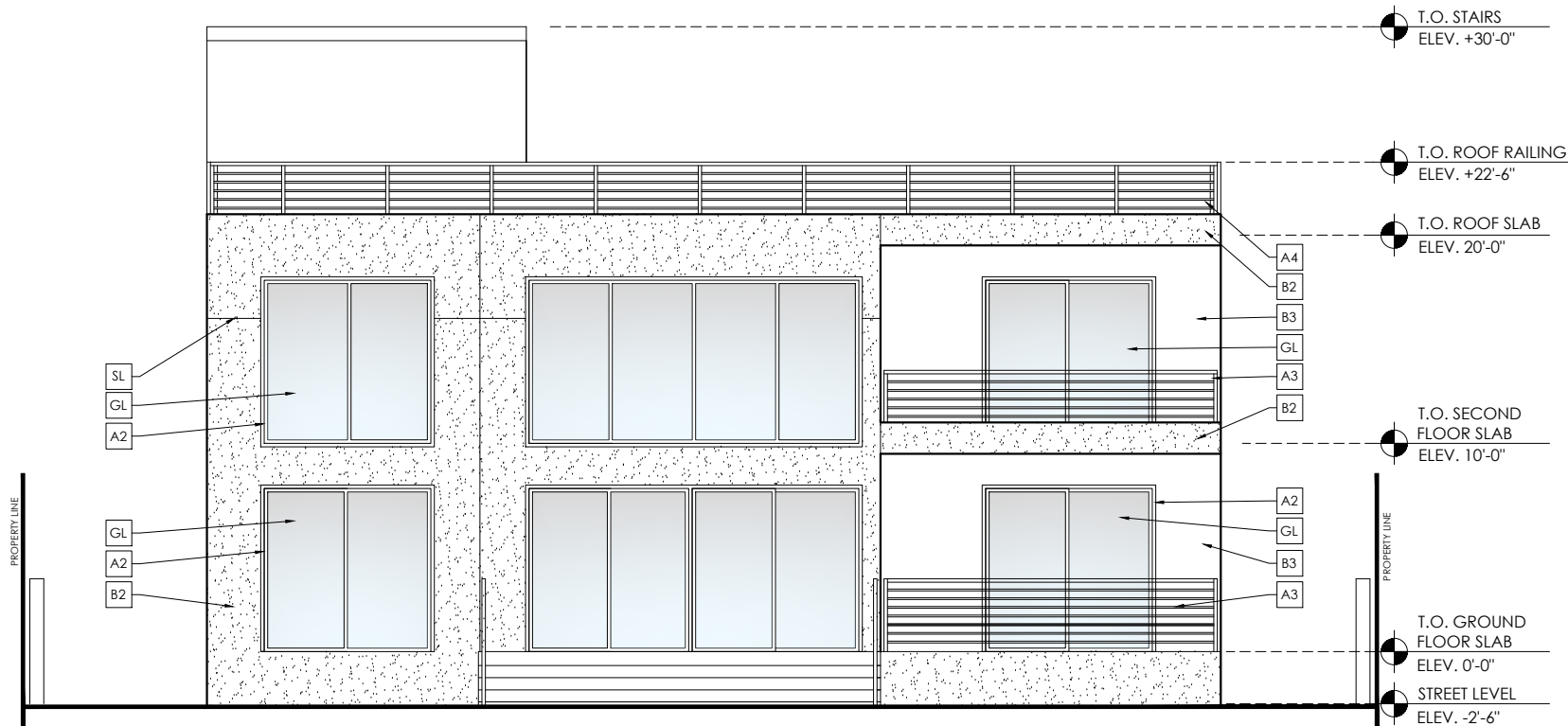
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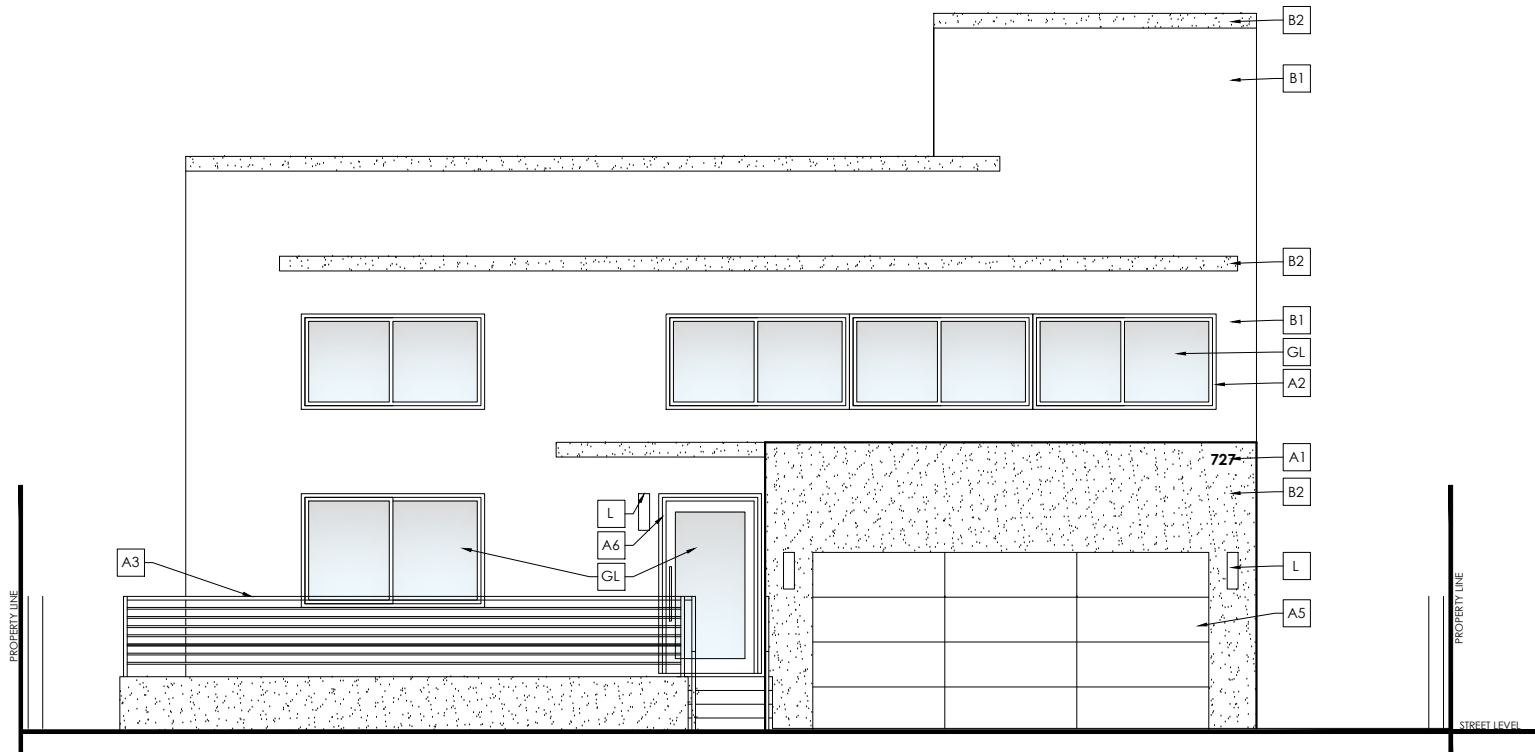


4 NOT USED  
N.T.S.



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

A1	ADDRESS NUMBERS	10" HIGH STAINLESS STEEL ADDRESS NUMBERS	
A2	WINDOW FRAMES	ALUMINUM - DARK GUN METAL	
A3	METAL RAILING	ALUMINUM POWER COATED DARK GUN METAL	
A4	METAL RAILING (ROOF LEVEL)	ALUMINUM POWER COATED LIGHT GRAY TO MATCH MAIN BUILDING COLOR	
A5	GARAGE DOOR	ALUMINUM GARAGE DOOR PANELS DARK GUN METAL	
A6	FRONT DOOR	ALUMINUM - DARK GUN METAL	
B1	STUCCO - SMOOTH BODY COLOR	LIGHT GRAY	
B2	STUCCO - TEXTURED BODY COLOR	LIGHT GRAY	
B3	STUCCO BODY COLOR	WHITE	
GL	GLAZING	LIGHT GRAY TINTED	
L	LIGHT FIXTURE	LIGHT FIXTURE TO BE SELECTED AT A LATER DATE - COLOR TO BE ALUMINUM / STAINLESS STEEL DARK GUN METAL	
SL	STUCCO LINE / EXPANSION JOINT	TO BE PAINTED PER ADJACENT WALL COLOR- EITHER B1 OR B2	

NOTE:  
REFER TO RENDERINGS FOR FULL COLOR SCHEME



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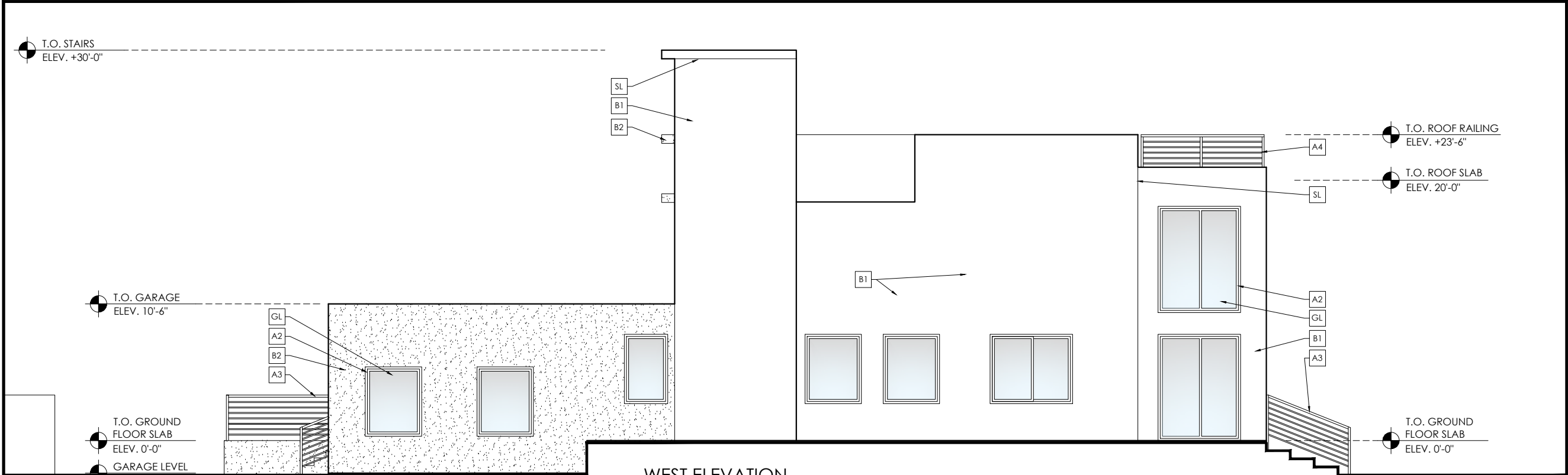
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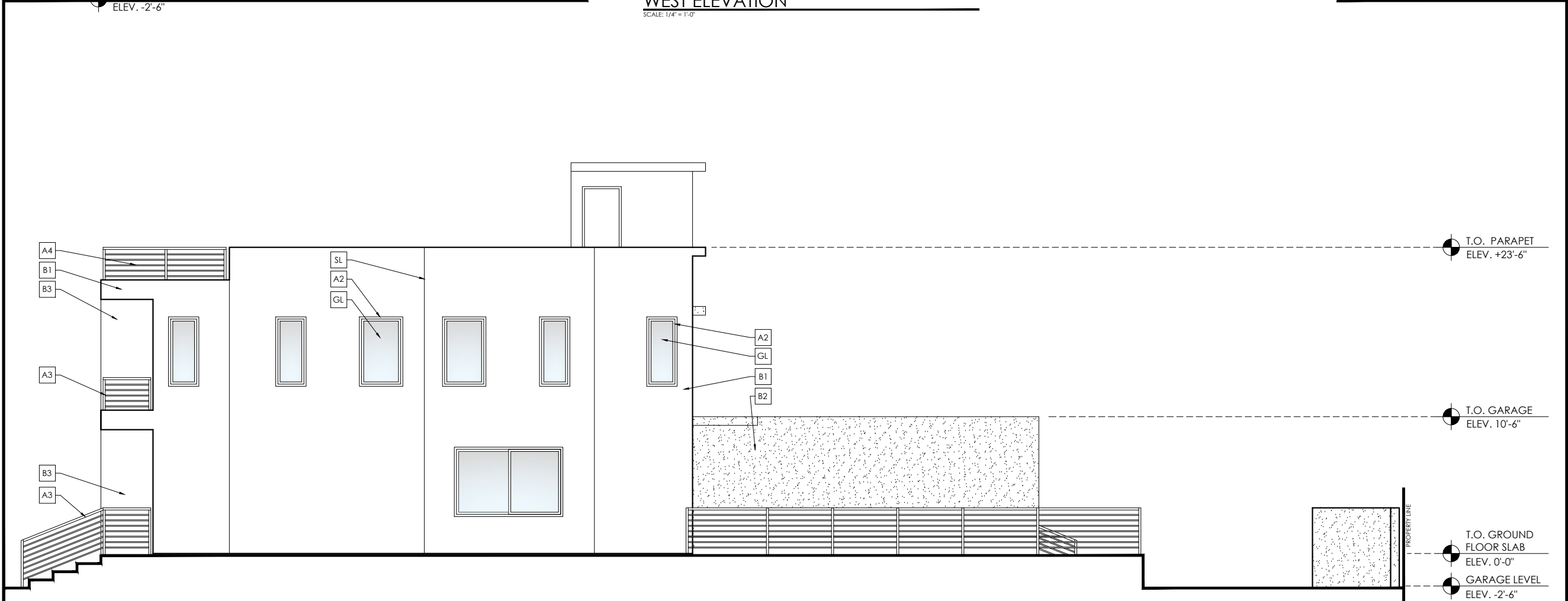
EXTERIOR  
ELEVATIONS

A-5.0


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WEST ELEVATION  
SCALE: 1/4" = 1'-0"



EAST ELEVATION  
SCALE: 1/4" = 1'-0"



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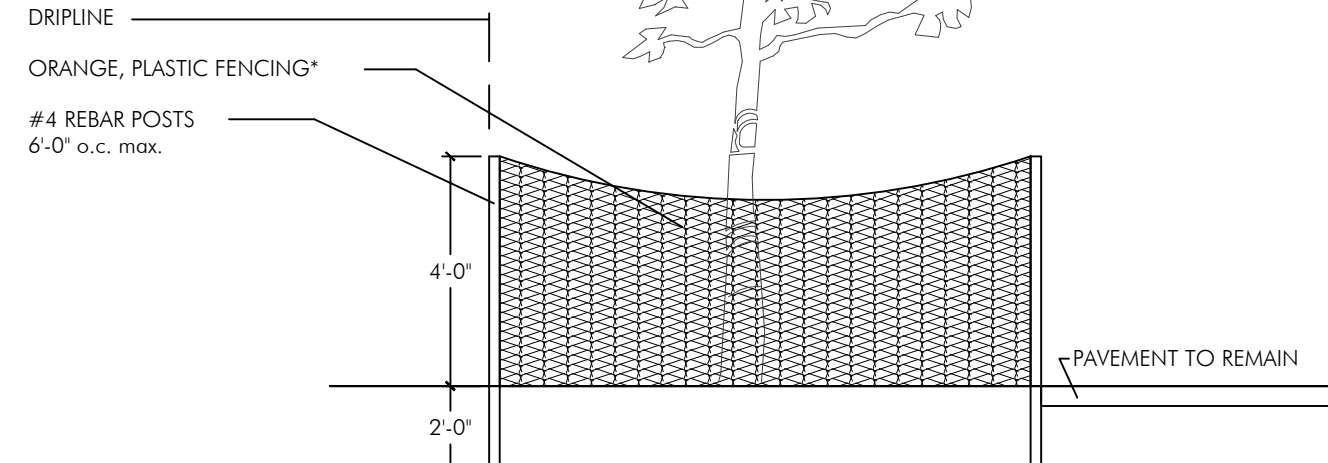
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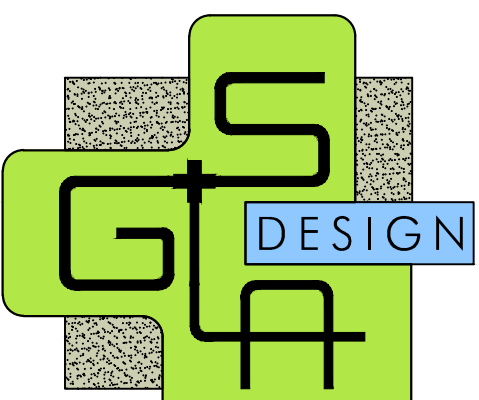
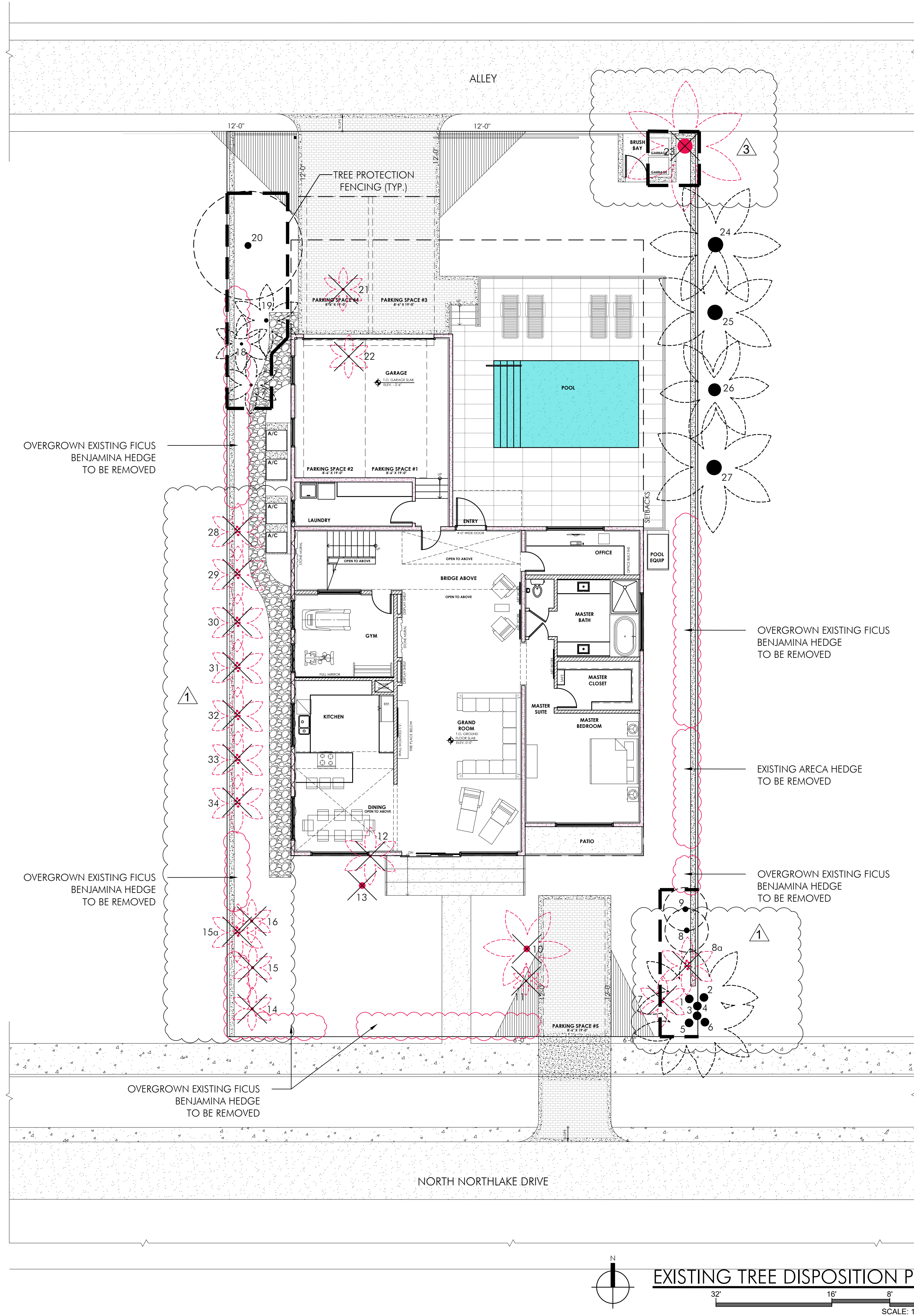
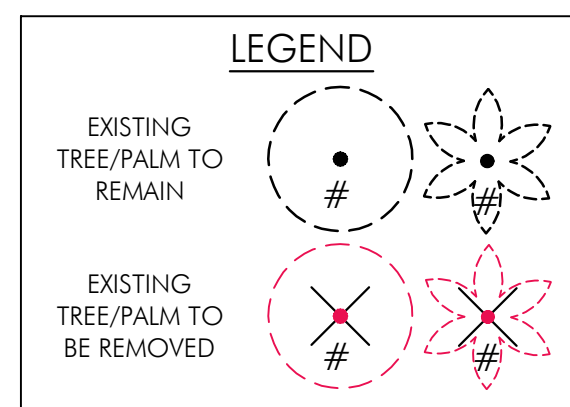
TREE LEGEND						
SYMBOL USED ON PLAN			PLANT NAME		AS MITIGATION TREES	AS CODE REQUIRED TREES
Symbol	New (Qty.)	Existing (Qty.)	Scientific	Common		
TREES						
BUAR	1		Bulnesia arborea	Verawood	1	
COER	1		Conocarpus erectus	Green Buttonwood	1	
COES	2		Conocarpus erectus "Sericeus"	Silver Buttonwood		2
GUSA	1		Guaiacum sanctum	Lignum Vitae	1	
PIDI	1		Pimenta dioica	Allspice	1	
QUVI		1	Quercus virginiana	Live Oak		1
RAMA		2	Ravenea madagascariensis	Traveler's Tree		
PALMS (NOTE: Royal Palms and Coconut Palms are counting 3:1 as trees)						
ADME		3	Adonidia merrillii	Christmas Palm		
COBO	3		Coccothrinax borhidiana	Borhid's Palm		
CONG	3		Cocos nucifera	Coconut Palm		1
DYDE	1		Dypsis decaryi	Triangle Palm		
DYCA	2		Dypsis cabadae	Cabada Palm		
PTSC	2		Ptychosperma scheffleri	Scheffleri Palm		
RORE	2	6	Roystonea regia	Royal Palm		2
SAPA	2		Sabal palmetto	Sabal Palm		
TOTAL					4	6



\*LIMITS OF TREE PROTECTION ARE TO BE ESTABLISHED BASED ON ANSI A300 ROOT MANAGEMENT STANDARDS. AS A GENERAL RULE THE TREE PROTECTION ZONE MUST EXTEND 10" PER 1" OF TREE DBH. PLACE ORANGE, PLASTIC FENCING (BY TENSAR OR OTHER APPROVED EQUAL) AROUND INDIVIDUAL TREES AND TREE CLUMPS TO REMAIN ON SITE IN ANY AREAS WITHIN THE LIMITS OF CONSTRUCTION. BARRIER SHALL BE MAINTAINED IN AN UPRIGHT POSITION AT ALL TIMES.

## TREE PROTECTION DETAIL

N.T.S.



GARDNER + SEMLER  
LANDSCAPE ARCHITECTURE  
WWW.GSLADESIGN.COM  
7670 NW 78th AVE., SUITE 214  
MIAMI, FL 33015  
305.392.1016 F 305.392.1019  
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ZEGELBONE RESIDENCE  
727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019



1	01.03.23	CITY COMMENTS
2	01.10.23	CITY COMMENTS
3	01.30.23	CITY COMMENTS
REV		

TITLE

EXISTING TREE  
DISPOSITION  
PLAN

Ken Gardiner  
East Semler

DATE

SCALE

SHEET

FL LA #1569  
FL LA #6667255

2022.12.06

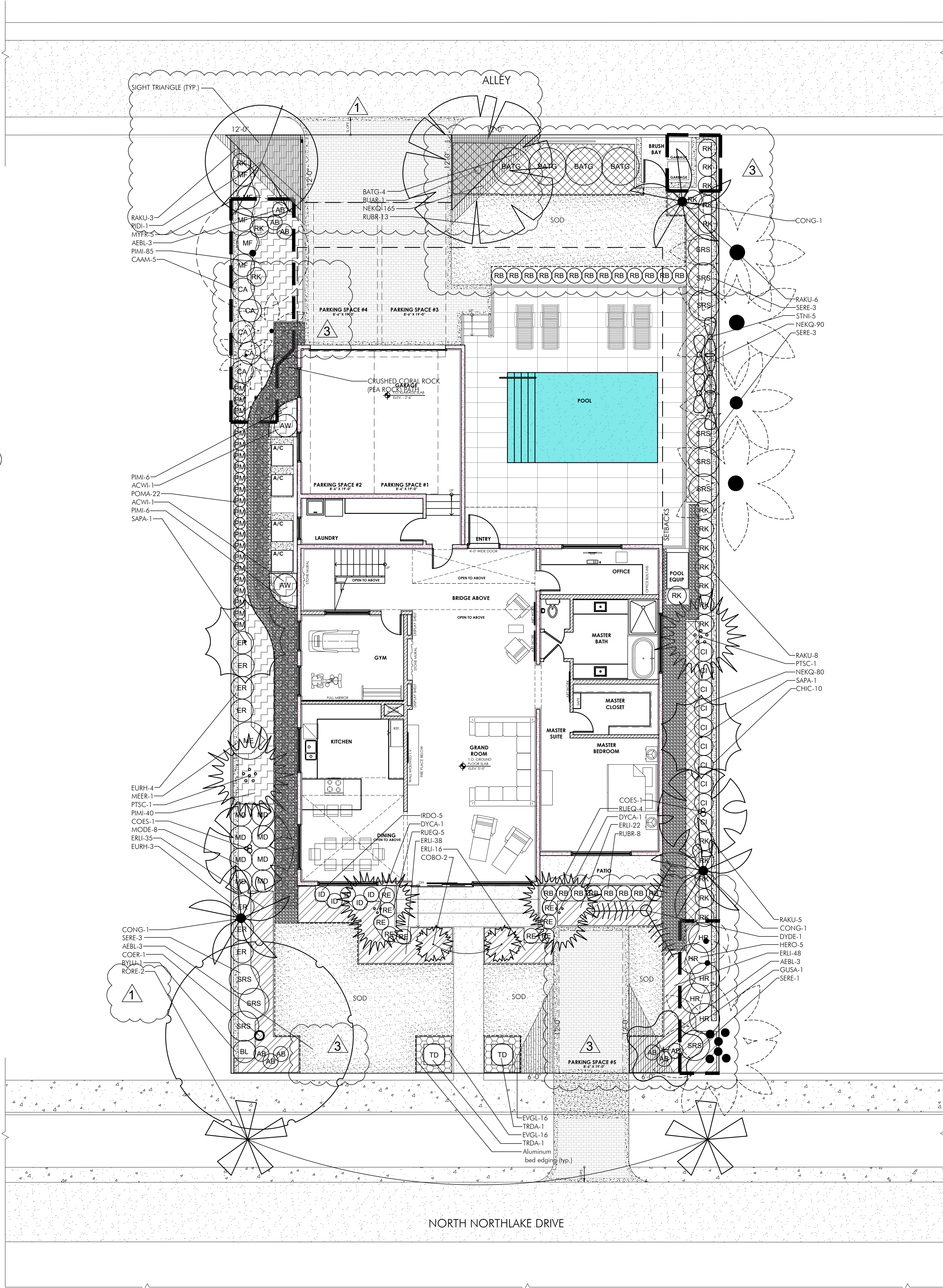
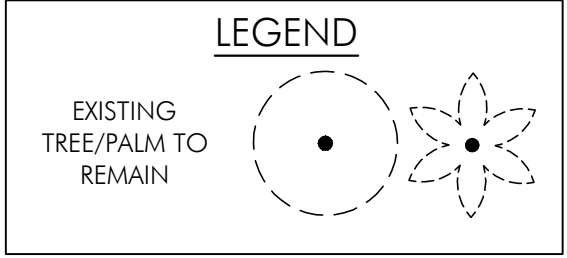
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LA1-01

TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD.

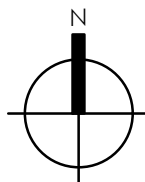
PLANT LIST				
TREES				
KEY	PLANT NAME	QTY.	UT.	SIZE
BUAR	Bulnesia arborea ...Verawood	1	ea.	14' tall x 6' spread, 3' DBH, 4' CT min.
COER	Conocarpus erectus ...Green Buttonwood	1	ea.	16' tall x 7' spread, 4' DBH, 4' CT min.
COES	Conocarpus erectus 'Sericeus' ...Silver Buttonwood	2	ea.	10' tall x 6' spread, multi-trunk w/ 1 @2' DBH, tree-form
GUSA	Guaiacum sanctum ...Lignum Vitae	1	ea.	10' tall x 5' spread, 2' DBH
PIDI	Pimenta dioica ...Allspice	1	ea.	12' tall x 5' spread, 2' DBH, 4' CT min.
PALMS				
KEY	PLANT NAME	QTY.	UT.	SIZE
DYDE	Dypsis decaryi ...Triangle palm	1	ea.	6' CW
COBO	Coccothrinax borhidiana ...Borhidia's Palm	2	ea.	3' tall OA, matching heights
CONG	Cocos nucifera "Green Malayan" ...Coconut palm	3	ea.	6' CW
DYCA	Dypsis cabadoe ...Cabadoe Palm	2	ea.	18' tall OA, 3 trunks, heads varying heights
PTSC	Psychosperma schefferi ...Scheffer's Palm	2	ea.	14' tall OA, multi-trunk, full to spread
RORE	Royaltia regia ...Royal Palm	2	ea.	24' tall OA, 10' GW, 8' CT min.
SAPA	Sabal palmetto ...Sabal Palm	2	ea.	14' tall OA, 10' GW, 8' CT min.
SHRUBS				
KEY	PLANT NAME	QTY.	UT.	SIZE
ACWI	Acalypha wilkesiana ...Copperleaf	2	ea.	36"x24", full to ground
AEBL	Aechmea blanchetiana ...Bromeliad	9	ea.	24"x18"
BATG	Bambusa textilis gracilis ...Slender Weavers Bamboo	4	ea.	8' tall OA, 10 culms min per pot, full to ground
BYLU	Byrsonima lucida ...Locustberry	1	ea.	36"x30", full to ground
CAAM	Callicarpa americana ...American Beautyberry	5	ea.	30"x30"
CHIC	Chrysobalanus icaco ...Cocoplum	10	ea.	36"x24"
EURH	Eugenia rhombea ...Red Stopper	7	ea.	36"x24", full to ground
HERO	Heliconia rostrata ...Lobster Claw	5	ea.	6' tall OA, multi-stem, full pots
IRDO	Iris domestica ...Walking Iris	5	ea.	3 gal cans, full
MEER	Megastropasma erythrolamys ...Brazilian Red Cloak	1	ea.	5' tall x 3' spread, full to ground
MODE	Monstera deliciosa ...Monstera	8	ea.	30"x30"
MYFR	Myrcianthes fragrans ...Simpson's Stopper	5	ea.	36"x24", full to ground
POMA	Podocarpus macrophyllus ...Podocarpus	22	ea.	48"x18"
RAKU	Radermachera "Kunming" ...Dwarf Tree Jasmine	22	ea.	36"x24", full to ground
RUBR	Ruellia brittoniana ...Mexican Bluebell	21	ea.	3 gal cans, full
RUEQ	Russelia equisetiformis ...Firecracker Plant	9	ea.	3 gal cans, full
SERE	Serenia repens "Silver" ...Saw Palmetto	10	ea.	36"x36", silver color
STNI	Strelitzia nicotai ...White Bird of Paradise	5	ea.	6' tall OA, 3 ppp
TRDA	Tripsacum dactyloides ...Fakahatchee Grass	2	ea.	3 gal cans, full, install 36" o.c.
GROUNDCOVERS				
ERLI	Ernodea littoralis ...Golden Creeper	159	ea.	3 gal cans, full, install 18" o.c.
EVGL	Evolvulus glomeratus ...Blue Daze	32	ea.	1 gal cans, full, install 12" o.c.
NEKQ	Nephtrolepis obliterata "Kimberly Queen" ...Boston Fern	335	ea.	1 gal cans, full, install 12" o.c.
PIMI	Pilea microphylla ...Artillery Plant	137	ea.	3 gal cans, full, install 18" o.c.
MISCELLANEOUS				
	Planting Soil 70% Silica Sand 20% Everglades Muck 10% Shredded Pinebark	100	c.y.	excavate and backfill 18" depth in all planting areas.
	Gravel Crushed Coral Rock (Pea Rock)	4.1	c.y.	3" layer over filter fabric
	SOD Empire Zoysia sod	850	s.f.	solid sod on 2" layer of lawn sand, sand and roll joints
	Shredded Melaleuca Mulch	20	c.y.	3" layer in all shrub beds

LANDSCAPE LEGEND						
Zoning District					RS	
Total Site Area (0.18 acres)					8,125 s.f.	
Pervious Area (20% of front yard(1,625 s.f.))					Required 325 s.f. Provided 1,441 s.f.	
Code	Section	Description	Requirements	Amount	Required	Provided
2.1		Perimeter Landscape	1. One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	130 l.f.	4 trees	4
2.1		Open Space	2. A minimum of 20% of the required front yard area shall be landscaped pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs.	1,625 s.f.	325 s.f.	1,441 s.f.
2.1		Open Space	3. One tree per 1,250 sq. ft. (including any fraction) of front yard area.	1,625 s.f.	2 trees	2
2.1		DRHPB	4. Single family home projects containing more than 5 dwellings shall comply with Design Review Guidelines for landscaping.	n/a	n/a	n/a
2.1		DRHPB	5. If within a Historic Preservation District, landscaping shall comply with the Historic Preservation Board review requirements.	n/a	n/a	n/a
2.1		View Triangle	6. For corner lots, a sight distance triangle must be provided - see illustration diagram (page 26).		2 at driveway	2 at driveway
2.1		Irrigation	7. Provide 100% irrigation coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the regulations of the South Florida Water Management District.		yes	yes
2.1		Others	8. Apply xeriscape principles (see Section 6).		yes	yes
2.1		Others	9. When applicable, use plant species compatible for high saline areas.		yes	yes
TOTALS						
TREES					6	6
24" SHRUBS (recommended)					25	153
MINIMUM TREE SPECIES					2	8
50% MAXIMUM OF PALMS (3:1)					9	3



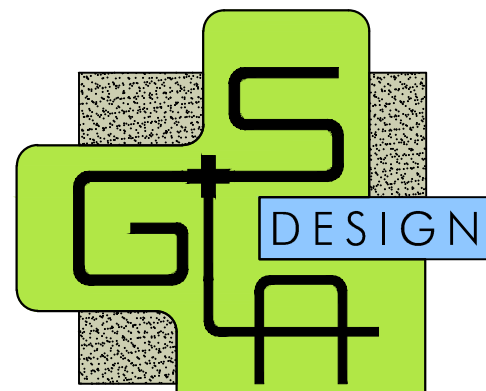
NOTES:  
-AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE WILL BE PROVIDED ON THE PERMIT SET OF PLANS.  
-PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALL OF ANY TREE.

TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD.



GROUNDFLOOR PLANTING PLAN

32' 16' 8' 0'  
SCALE: 1/8" = 1'-0"



GARDNER + SEMLER  
LANDSCAPE ARCHITECTURE  
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MIA MI, FL 33015  
P 305.392.1016 F 305.392.1019  
CORP. ID# 0000266

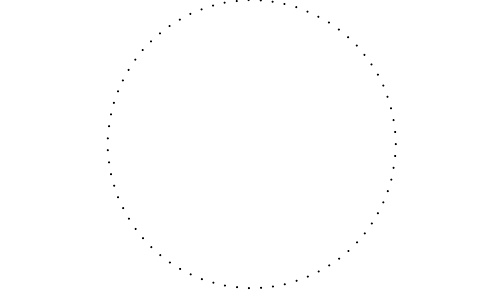
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COPYRIGHT © 2020

ZEGELBONE RESIDENCE  
727 NORTH NORTH LAKE DRIVE  
HOLLYWOOD, FL 33019



1	01.03.23	CITY COMMENTS
2	01.10.23	CITY COMMENTS
3	01.30.23	CITY COMMENTS

TITLE  
GROUNDFLOOR PLANTING PLAN



Ken Gardner  
Karl Semler  
DATE  
2022.12.06  
SCALE  
as noted  
SHEET  
LA1-02



## LANDSCAPE SPECIFICATIONS PART 1 - GENERAL

### 1.1 SCOPE

A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which are a part of this document.

### 1.2 CONTRACTOR QUALIFICATIONS

A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in County where work is performed.

### 1.3 INVESTIGATION OF UTILITIES

A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).

### 1.4 SUBSTITUTIONS

A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.

### 1.5 PLANT SIZES

A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. When plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.

### 1.6 PLANT QUALITY

A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.

B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.

C. CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.

### 1.7 PLANT QUANTITY

A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.

### 1.8 UNIT PRICES

A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.

### 1.9 SUBMITTALS

A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.

B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. Ft.) for approval by the Landscape Architect prior to delivery to the site.

### 1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC

A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.

B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.

C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.

### 1.11 MAINTENANCE PRIOR TO ACCEPTANCE

A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".

1. Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until all plant installation is complete and accepted. Maintenance shall include watering all plants, weeding, mulching, pest and disease control, lightning and repotting of eggs, repair of trunks, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant source, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.

2. Turf Areas: Begin maintenance of turf immediately following the placement of sod and continue until sod installation is complete and accepted. Maintenance shall include but not be limited to, watering, leveling, mowing, weed and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery practice.

### 3. Re-setting or straightening trees and palms:

The Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-set trees within 48 hours.

### 1.12 ACCEPTANCE OF INSTALLATION

A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice requesting such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.

### 1.13 GUARANTEE

A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.

### 1.14 REPLACEMENT

A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.

1. Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.

2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.

## PART 2 - MATERIALS

### 2.1 PLANTING SOIL

A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.

B. Soil for Sodded Areas: shall be coarse lawn sand.

### 2.2 FERTILIZER

A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal. Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for sod and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.

### 2.3 WATER

A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.

### 2.4 MULCH

A. Mulch shall be as specified on the Plant List.

### 2.5 ROOT BARRIER MATERIAL

A. Root barrier material shall be 24" deep polypropylene panels by DeepRoot or approved equal.

B. Install per details in the plans.

## PART 3 - INSTALLATION PROCEDURES

### 3.1 LAYOUT

A. Verify location of all underground utilities and obstructions prior to excavation.

### 3.2 HERBICIDE TREATMENT

A. In all areas infected with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.

### 3.3 PLANT PIT EXCAVATION AND BACKFILLING

A. Trees: See the Planting and Bracing Details and notes.

B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.

C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curb and pavements as shown in the plans.

D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.

### 3.4 WATERING

A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.

### AMOUNT OF WATER PER APPLICATION

For trees up to 5 inch caliper - 5 gallons  
From 5 to 8 inch caliper - 25 gallons  
9 inch and up caliper - 50 gallons

### FREQUENCY OF WATER

Daily for the first week  
3 times per week for weeks 2 - 5  
2 times per week for weeks 6 - 8  
1 time per week for weeks 9 - 12

B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.

C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrub, sod, and groundcover for the time specified above, after installation of each section of the planting installed.

### 3.5 FERTILIZING

A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing after planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the following rates:

1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.

2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.

3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.

4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.

### 3.6 MULCHING

A. Spread mulch two (2) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.

### 3.7 GUYING AND BRACING

A. See the details bound herewith or made part of the plans.

### 3.8 SODDING

A. Provide a blanket of lawn sand as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of soil is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing.

C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.

D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.

E. Apply fertilizer to the sod as specified in Section 3.5.

F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod.

## PLANT BED PREPARATION NOTES

1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with systemic herbicide prior to beginning soil preparation.

2. In all shrub and groundcover beds, excavate and backfill soil as described in "Plant Lists". If no specific preparation is noted, prepare soil as described below for either condition, over the entire area to be planted:

### Condition A:

If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

### Condition B:

When no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches unless otherwise stated. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.

For Trees and shrubs larger than 7 gallon. Add Diehard® transplant inoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal. Mix into top 8-10 inches of planting hole, making sure it is contact with the root ball. Add at a rate specified by manufacturer (typically 4oz. per 1 inches of trunk caliper or 7 gallon can).

### SPACING OF PLANTS (SEE PLANT SPACING DETAIL)

1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.

## PROTECTION OF PLANTS

1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.



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TOLL FREE: 1-800-356-9660  
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www.permaloc.com

MIN. 2" OVERLAP

SELECT DESIRED SIZE:

1/8" X 4" (3.2 MM X 102 MM), 0.050" (1.27 MM) THICK WITH 0.2" (5.1 MM) EXPOSED TOP LIP

SELECT DESIRED FINISH:

MF - MILL FINISH-NATURAL ALUMINUM

BL - BLACK DURAFLEX-MEETS AAMA 2603

GR - GREEN DURAFLEX-MEETS AAMA 2603

BR - BRONZE DURAFLEX-MEETS AAMA 2603

NOTES:

1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES".

2. 8'-0" (2.44 M) SECTIONS TO INCLUDE (3) 12" (305 MM) ALUMINUM STAKES.

3. 16'-0" (4.88 M) SECTIONS TO INCLUDE (5) 12" (305 MM) ALUMINUM STAKES.

4. CORNERS - CUT BASE OF EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER.

5. PERMALOC PROSLIDE AS MANUFACTURED BY PERMALOC CORPORATION.

6. DO NOT SCALE DRAWING.

7. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.

8. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

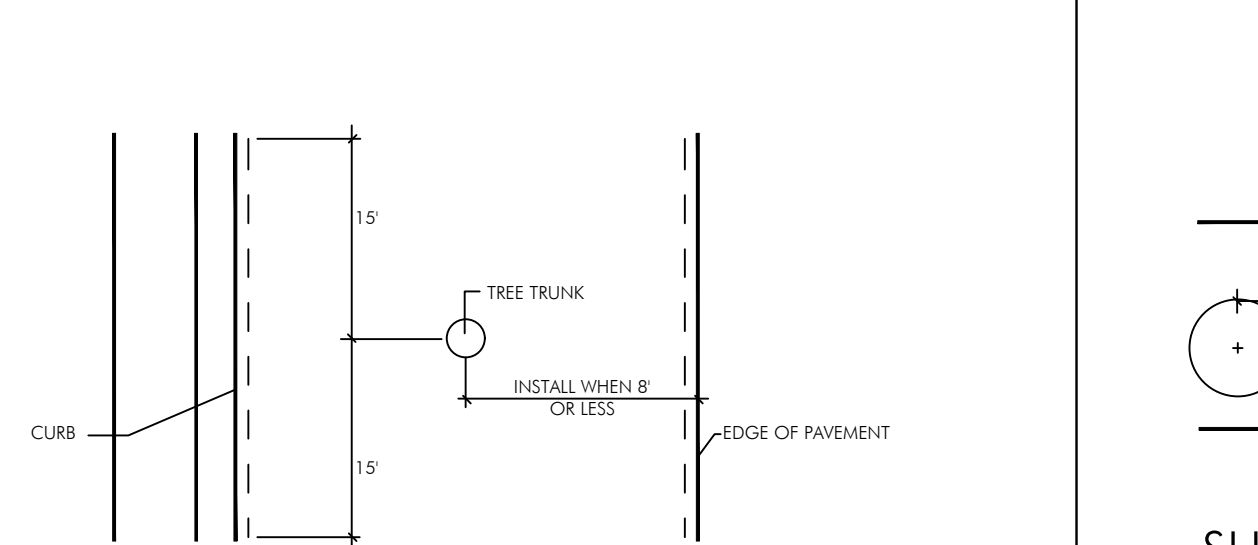
9. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 006-041.

REVISION DATE 11/25/2014

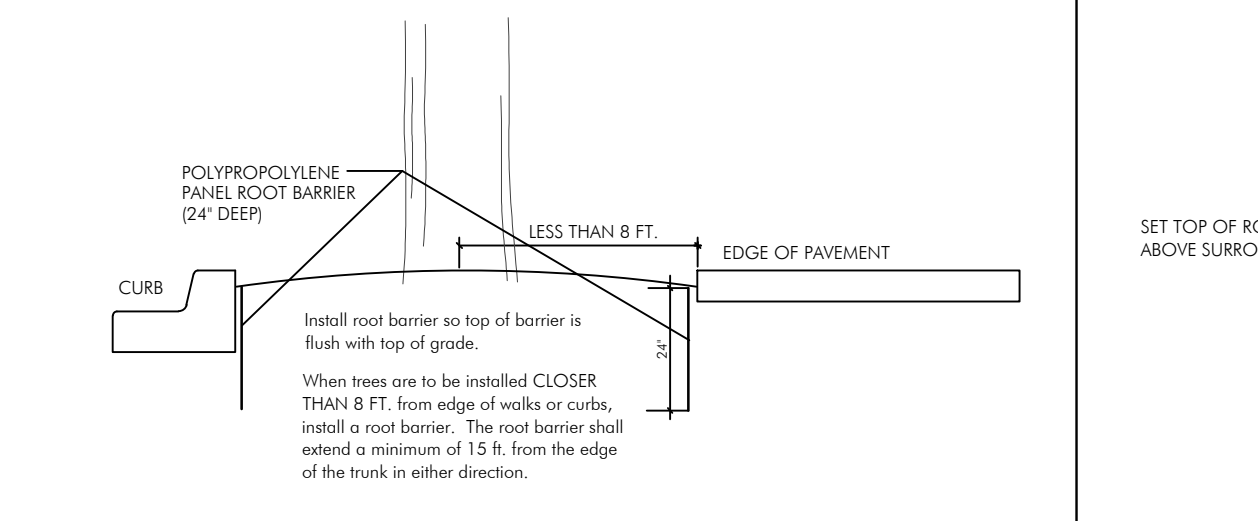
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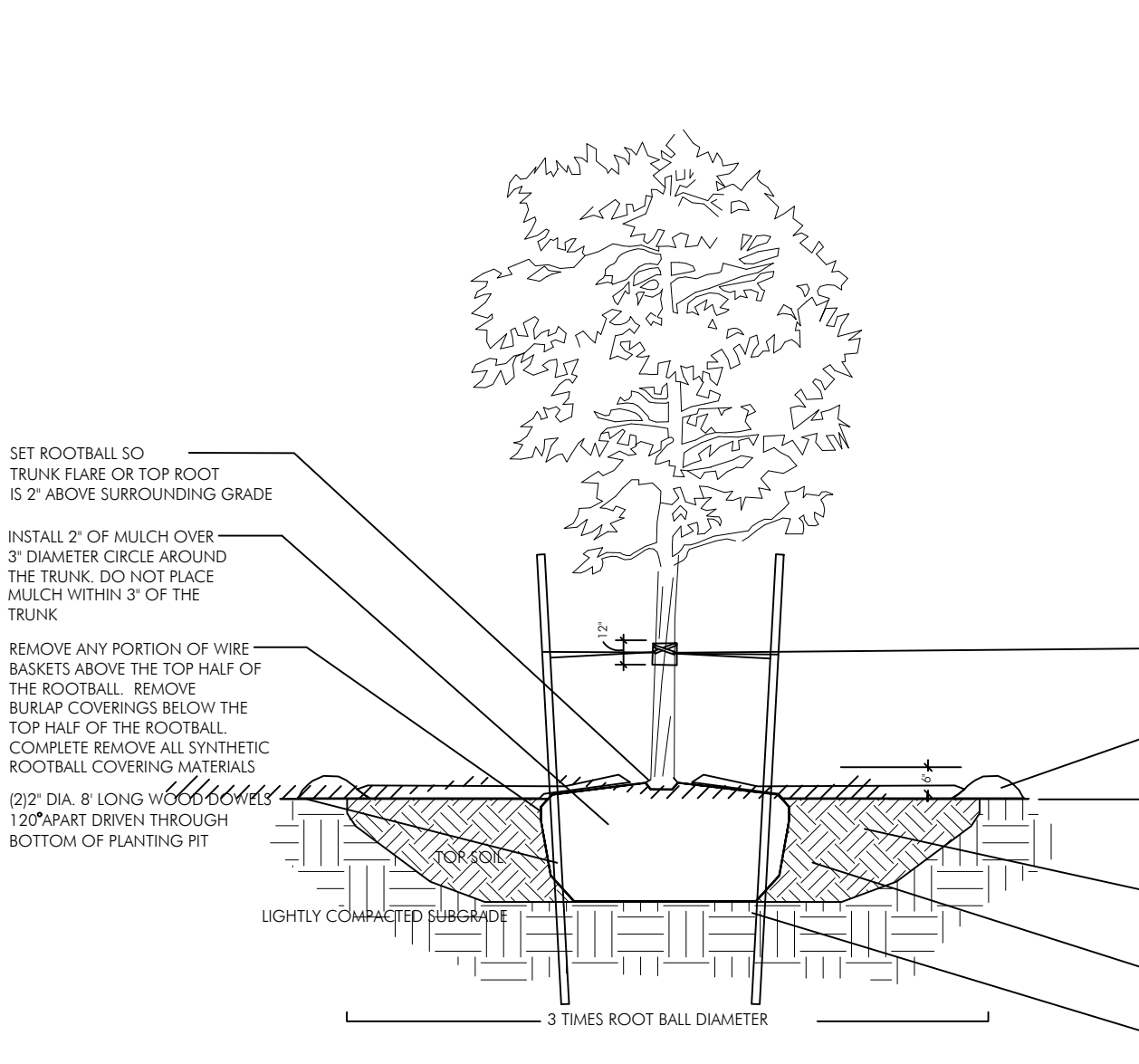


## SHRUB SPACING DIAGRAM



## SHRUB INSTALLATION DETAIL

N.T.S.

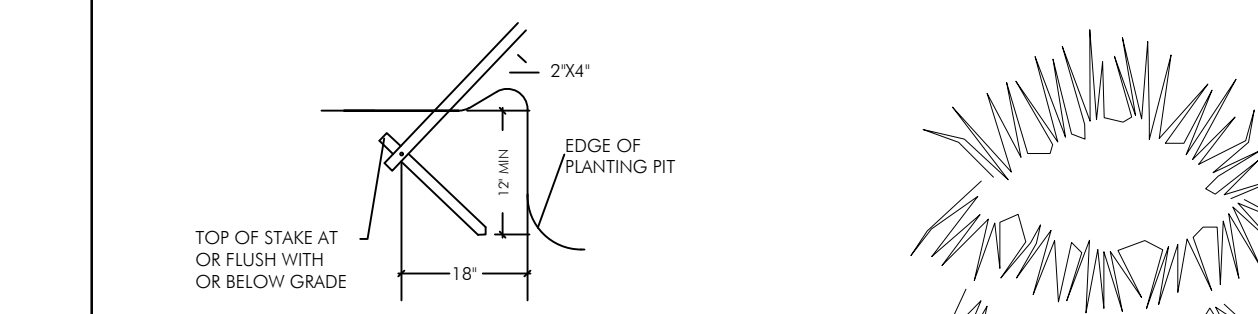


## ROOT BARRIER INSTALLATION DETAIL

N.T.S.

## PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.



## DETAIL A

N.T.S.

CURVED TRUNK LEAN ANGLE AS NOTED ON PLAN/PLANT LIST

NOTE: USE 4" X 4" STAKES PAIRS OVER 12" CALIPER PROVIDE FOUR 2X4 PINE STAKES 90° APART (EXTRA STAKE IF NECESSARY TO SUPPORT LEAN) ATTACH NYNALS TO BATTENS NO NAILS IN TREE

SET ROOTBALL SO TRUNK FLARE OR TOP ROOT IS 2" ABOVE SURROUNDING GRADE

INSTALL 2" OF MULCH OVER 3" DIAMETER CIRCLE AROUND THE TRUNK. DO NOT PLACE MULCH WITHIN 3" OF THE TRUNK.

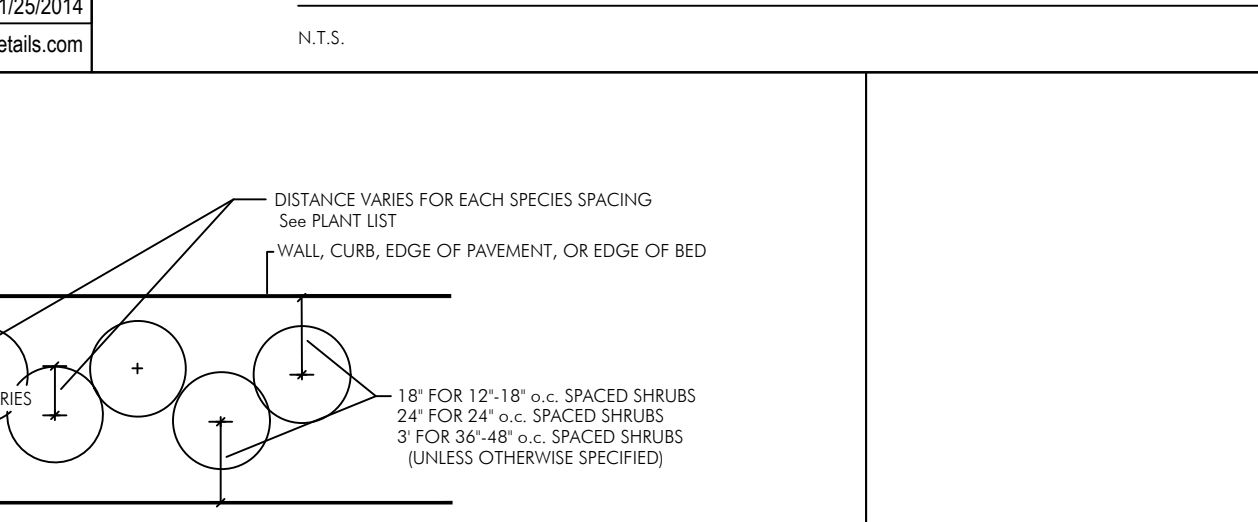
REMOVE ANY PORTION OF WIRE BASKETS OR BURLAP ABOVE THE TOP HALF OF THE ROOTBALL. FOLD BACK BURLAP COVERINGS BELOW THE TOP HALF OF THE ROOTBALL. COMPLETELY REMOVE ALL SYNTHETIC ROOTBALL COVERING MATERIALS.

DETAIL A WOOD STAKES TOP OF STAKES BELOW OR FLUSH WITH GRADE

ANGLE SURGRADE BASE AND REMOVE EXCESS SOIL TO ACHIEVE SPECIFIED LEAN ANGLE

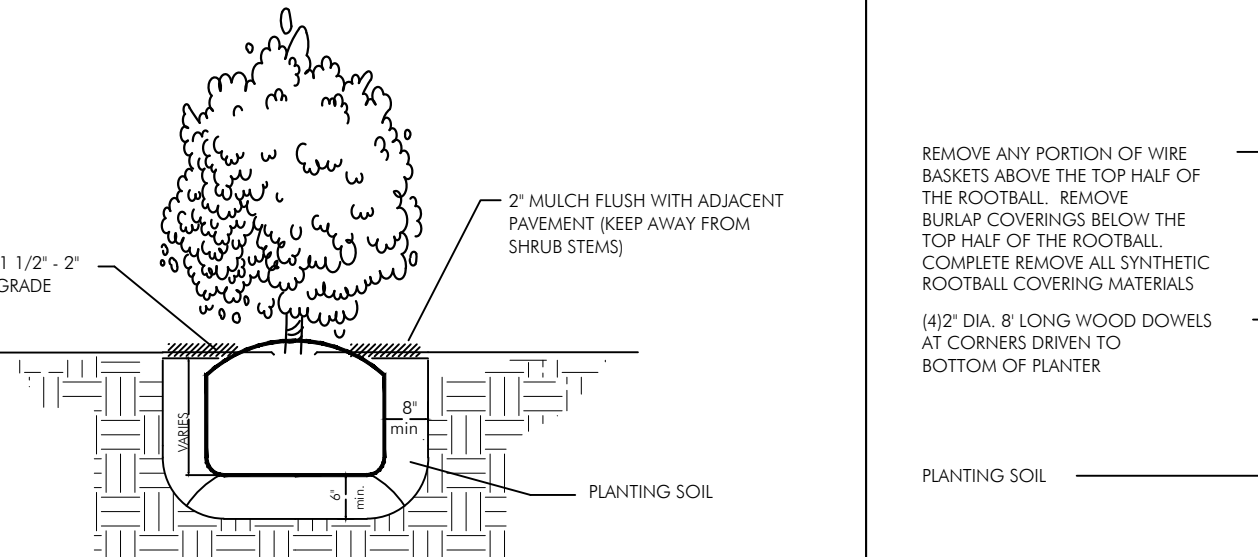
## PLANTING & BRACING DETAIL FOR LEANING/CROOKED PALMS

N.T.S.



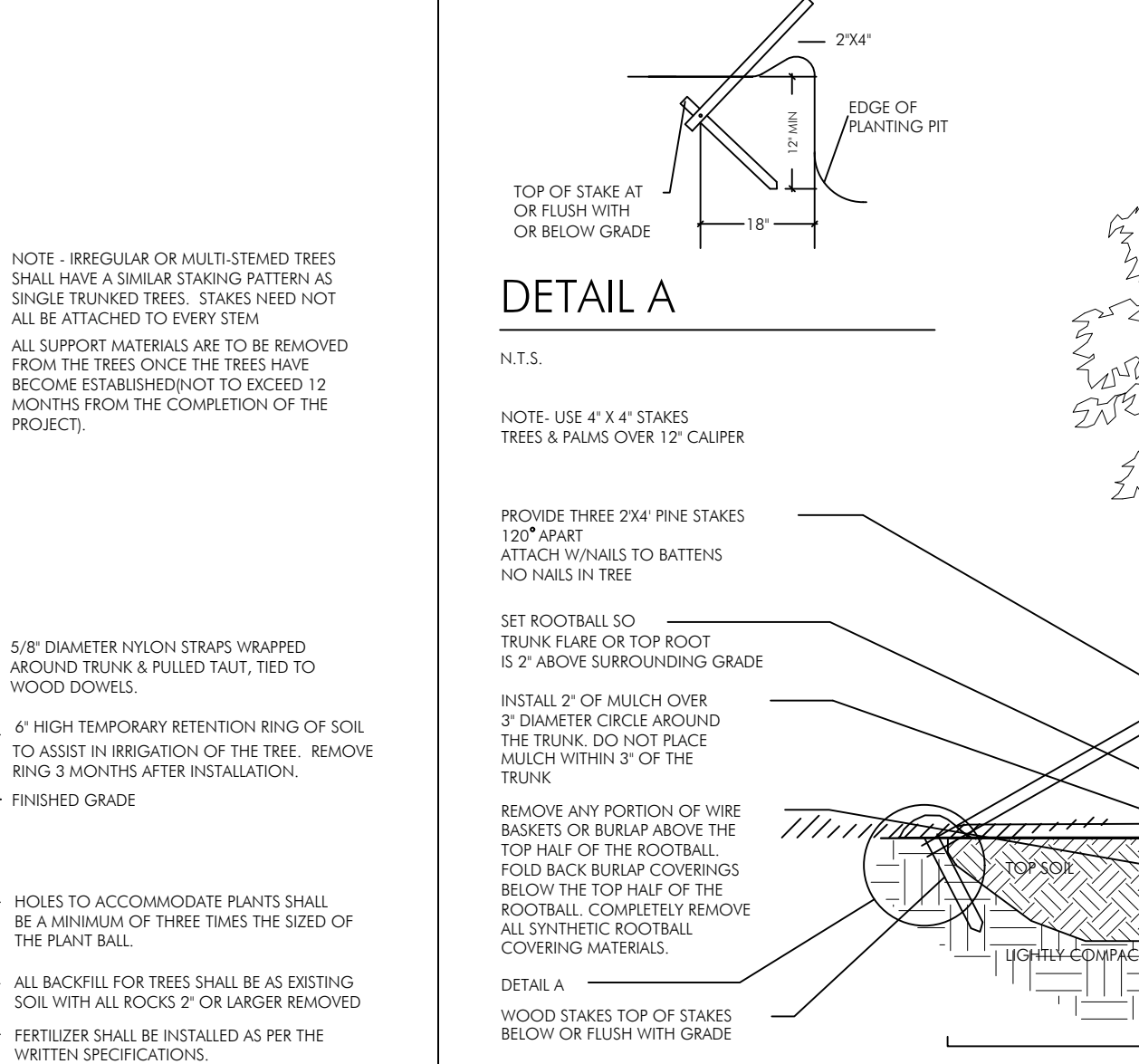
## DETAIL A

N.T.S.



## SHRUB INSTALLATION DETAIL

N.T.S.

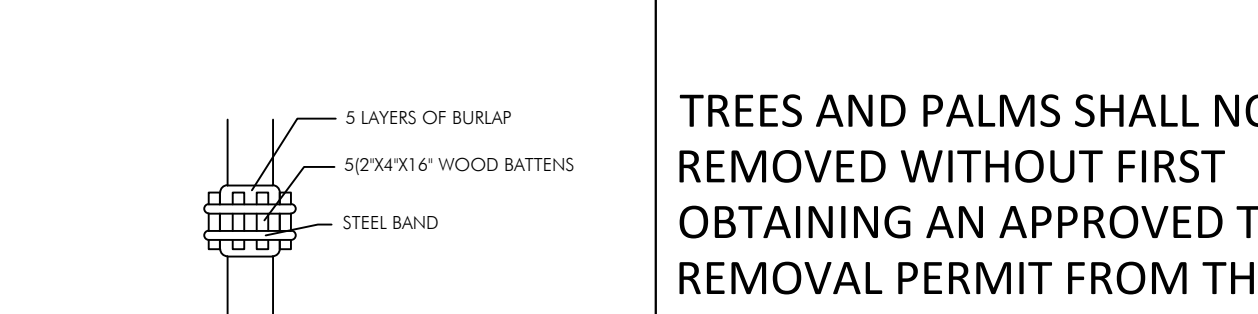


## PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.

## PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.



## DETAIL A

N.T.S.

CURVED TRUNK LEAN ANGLE AS NOTED ON PLAN/PLANT LIST

NOTE: USE 4" X 4" STAKES PAIRS OVER 12" CALIPER PROVIDE FOUR 2X4 PINE STAKES 90° APART (EXTRA STAKE IF NECESSARY TO SUPPORT LEAN) ATTACH NYNALS TO BATTENS NO NAILS IN TREE

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DETAIL A WOOD STAKES TOP OF STAKES BELOW OR FLUSH WITH GRADE

ANGLE SURGRADE BASE AND REMOVE EXCESS SOIL TO ACHIEVE SPECIFIED LEAN ANGLE

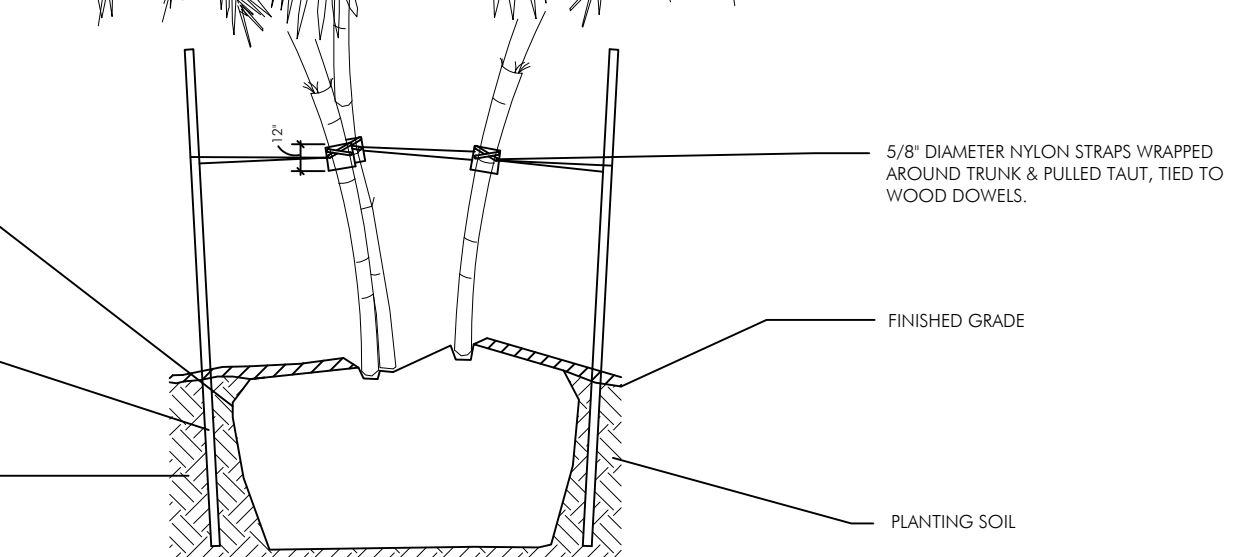
## PLANTING & BRACING DETAIL FOR LEANING/CROOKED PALMS

N.T.S.



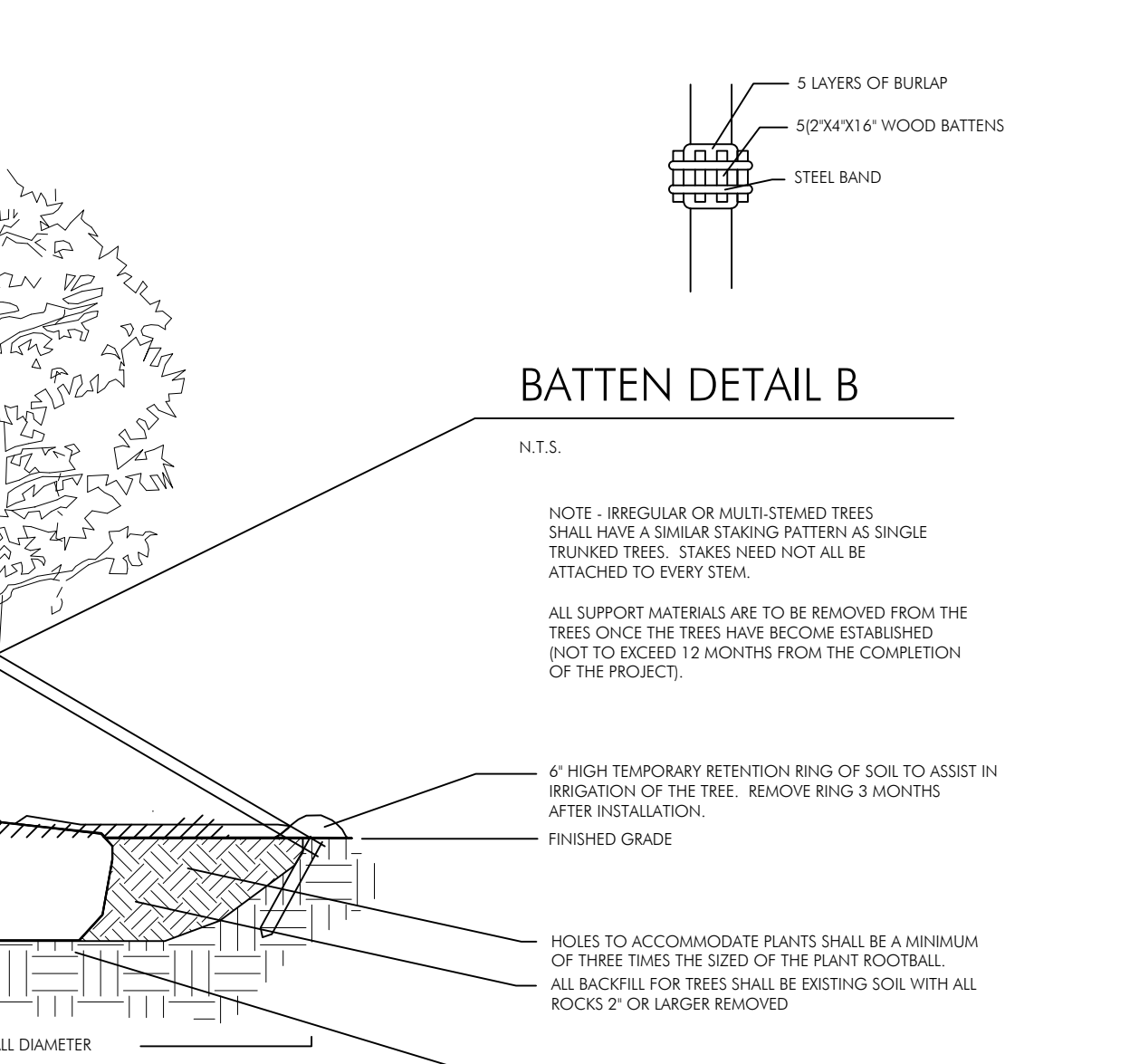
## DETAIL A

N.T.S.



## SHRUB INSTALLATION DETAIL

N.T.S.



## PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.

## PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.

## TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD.

N.T.S.

5 LAYERS OF BURLAP

5/2"x4"x1/2" WOOD BATTENS

STEEL BAND

N.T.S.

ALL SUPPORT MATERIALS ARE TO BE REMOVED FROM THE TREES ONCE THE TREES HAVE BECOME ESTABLISHED (NOT TO EXCEED 12 MONTHS FROM THE COMPLETION OF THE PROJECT).

6" HIGH TEMPORARY RETENTION RING OF SOIL TO ASSIST IN IRRIGATION OF THE TREE. REMOVE RING 3 MONTHS AFTER INSTALLATION.

HOLES TO ACCOMMODATE PLANTS SHALL BE A MINIMUM OF THREE TIMES THE SIZE OF THE PLANT ROOTBALL. ALL BACKFILL FOR TREES SHALL BE EXISTING SOIL WITH ALL ROCKS 2" OR LARGER REMOVED.

FERTILIZER SHALL BE INSTALLED AS PER THE WRITTEN SPECIFICATIONS.

FINISHED GRADE

EXISTING SUBGRADE

2"

SILICA LAWN SAND

EMPIRE ZOYSIA SOD

EXISTING SUBGRADE

2"

SOIL PREPARATION THROUGH ZOYSIA SOD AREAS

N.T.S.

N.T.S.

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