

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: _____

Location Address: 2640 N. State Rd. 7

Lot(s): Parcel A Block(s): _____ Subdivision: Gator 441

Folio Number(s): 5141 01 12 0010

Zoning Classification: C-MU Land Use Classification: TOC

Existing Property Use: Car Wash Facility-Out of Business Sq Ft/Number of Units: 1,518 sq. ft.

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: _____ Estimated Date of Completion: _____

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: _____ Email Address: diana.DeCicco@yum.com

Name of Consultant/Representative/Tenant (circle one): Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 1/17/2023

PRINT NAME: Gator 441, Inc., by its President, James A. Goldsmith

Date: 1/17/2023

Signature of Consultant/Representative: _____

Date: 1/18/23

PRINT NAME: Dwayne L. Dickerson, Esq.

Date: 1/18/23

Signature of Tenant: N/A

Date: _____

PRINT NAME: N/A

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval & Variance Requests to my property, which is hereby made by me or I am hereby authorizing Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman to be my legal representative before the TAC & P&D (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 17th day of January, 2023



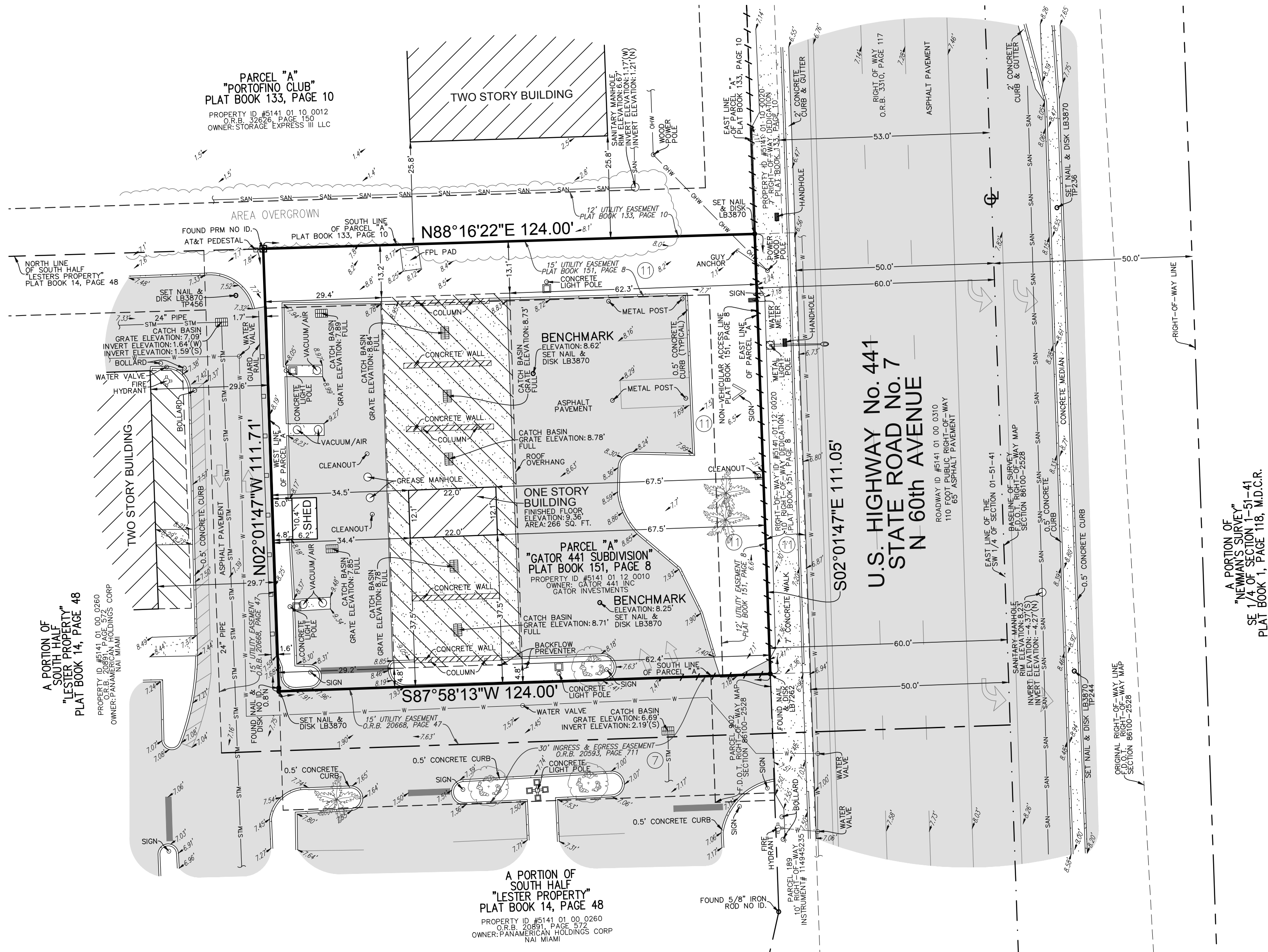
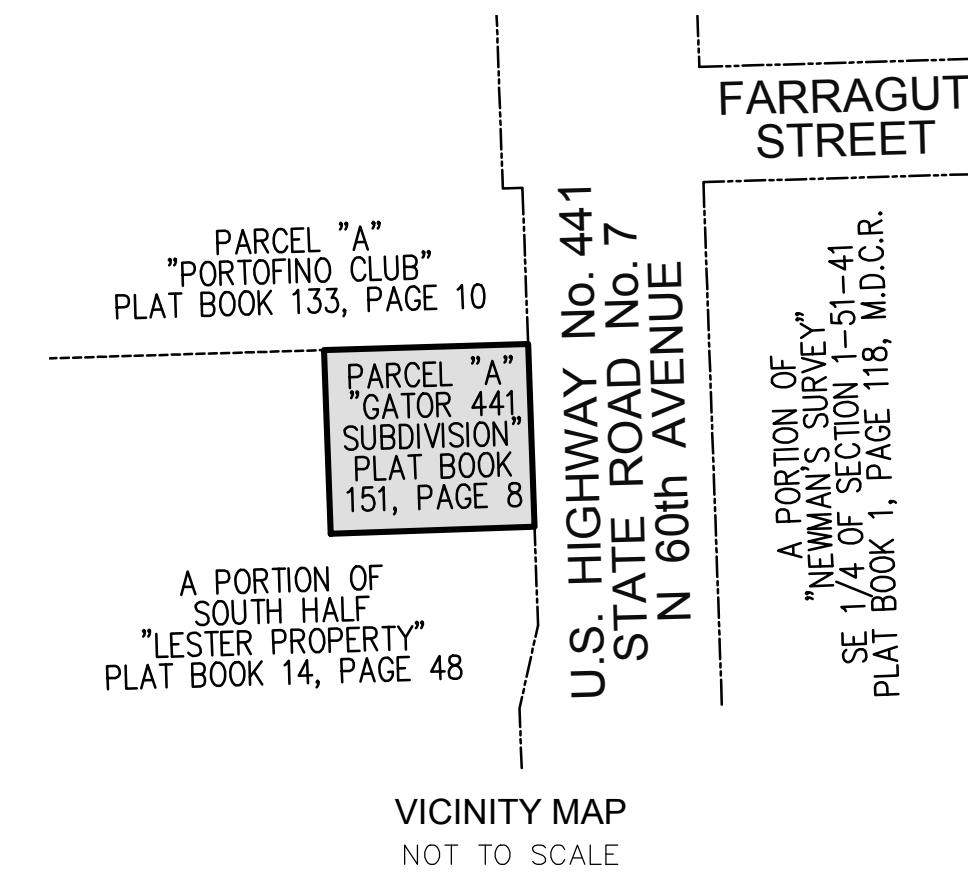
Notary Public
State of Florida

Signature of Current Owner

James A. Goldsmith

Print Name

My Commission Expires: 10/25/24 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



CERTIFICATION:

TO CKE GROUP, INC.; TACO BELL OF AMERICA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ITS AFFILIATES, OR ITS SUCCESSORS AND ASSIGNS; CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 10(a), 10(b), 11(a), 13, 18, 19, & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 12/01/22.

DATE OF PLAT OR MAP: 12/01/22

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691

VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274

DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290

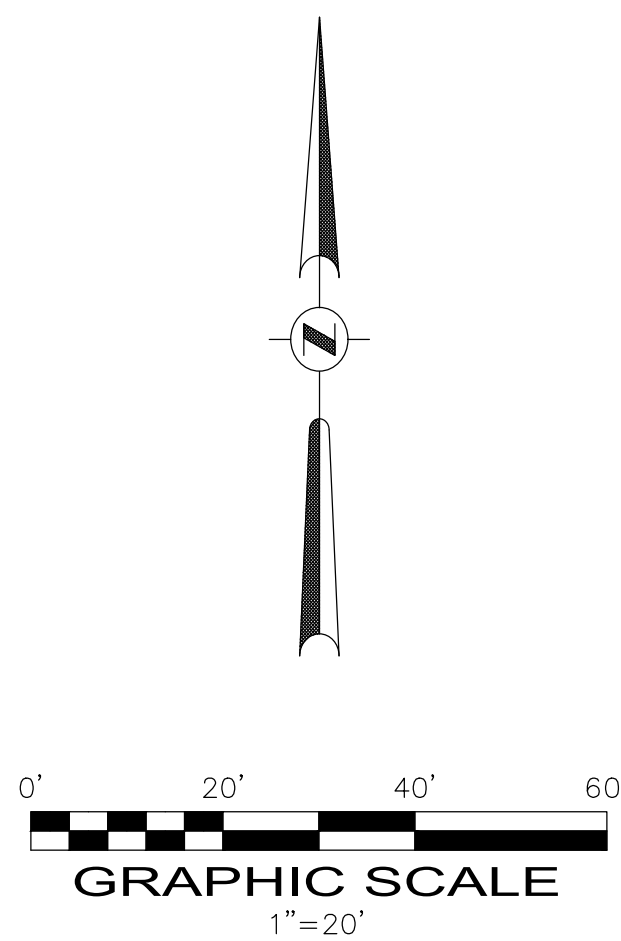
STATE OF FLORIDA

LEGAL DESCRIPTION: (TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

- NOTES:
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #2065; ELEVATION: 13.79 FEET.
 - FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12011C0562H; COMMUNITY #125113; MAP DATE: 8/18/14.
 - THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
 - BEARINGS ARE BASED ON KNOWN COORDINATES WITH THE NORTH LINE OF PARCEL "A" BEING N88°16'22"E, AS SHOWN ON SAID PLAT.
 - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
 - THIS SITE CONTAINS 3 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (3 REGULAR & 0 DISABLED).
 - THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, ORDER NUMBER 10526873, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED 06/01/2022 AT 8:00 AM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B SECTION II OF SAID COMMITMENT:
 - ITEMS 1, 2, 3, 4, 5 & 6: STANDARD EXCEPTIONS, NOT ADDRESSED.
 - ITEM 7: EASEMENT AGREEMENT IN O.R.B. 16757, PAGE 231, MODIFIED BY EASEMENT MODIFICATION IN O.R.B. 20593, PAGE 711, APPLIES TO THE ADJACENT PROPERTY AS DEPICTED HEREON.
 - ITEM 8: AGREEMENT IN O.R.B. 18373, PAGE 410, APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 9: NON-EXCLUSIVE EASEMENT AGREEMENT IN O.R.B. 20668, PAGE 47, DOES NOT APPLY TO THIS SITE.
 - ITEM 10: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 14, PAGE 48 APPLIED TO THIS SITE BUT HAS BEEN SUPERCEDED BY REPLAT.
 - ITEM 11: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 151, PAGE 8, FURTHER BEING AMENDED BY AGREEMENT FOR AMENDMENT OF NOTATION OF PLAT IN O.R.B. 22317, PAGE 782, APPLY TO THIS SITE AS DEPICTED HEREON.
 - ITEM 12: ORDINANCE NO. 2002-61 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 13: STATEMENT PROHIBITING CONSTRUCTION LIENS IN INSTRUMENT NO. 113289089 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 14: INTEREST OF LESEE(S) TOGETHER WITH TERMS, COVENANTS, CONDITIONS, RESTRICTIONS, PROVISIONS, BURDENED EASEMENTS, RIGHTS, OBLIGATIONS, AND OTHER MATTERS IN LEASE IN O.R.B. _____, PAGE _____, NOT ADDRESSED.
 - ITEM 15: NOT ADDRESSED.
 - ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
 - UTILITY LINES SHOWN PLACED IN APPROXIMATE LOCATION FROM CITY OF HOLLYWOOD UTILITY ATLAS MAP PROVIDED BY THE CLIENT.
 - ZONING REPORT IN TACO BELL OF AMERICA FREESTANDING SITE REPORT PROVIDED BY THE CLIENT. REQUIRED PARKING: 11 SPACES. SETBACK REQUIREMENTS: FROM RIGHT-OF-WAY: 10.00 FEET, FROM REAR: 5.00 FEET, FROM SIDE: 0.00 FEET
 - ZONING: C-MU (T.O.C.)



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ALL RIGHTS RESERVED. NO PART OF THIS SURVEY
MAY BE REPRODUCED, IN ANY FORM OR BY ANY
MEANS, WITHOUT PERMISSION IN WRITING FROM AN
OFFICER OF PULICE LAND SURVEYORS, INC.

5		
4		
3		
2		
1		
NO.	REVISIONS	BY

PROPOSED TACO BELL SITE

2640 NORTH STATE ROAD NO. 7
HOLLYWOOD, FLORIDA 33021
(CITY OF HOLLYWOOD, BROWARD COUNTY)

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

PLS

DRAWN BY: L.H.

CHECKED BY: J.F.P.

SCALE: 1" = 20'

SURVEY DATE: 12/01/22

CLIENT: CKE GROUP, INC.

ORDER NO.: 70692

TACO BELL

PROPOSED TACO BELL RESTAURANT

2640 N SR-7,
Hollywood, FL 33021

OWNER:

GATOR 441, INC.
7850 NW 146 ST., 4TH FLOOR
MIAMI LAKES, FLORIDA 33016
(877) 459-9605
ATTN: JAMES GOLDSMITH

TENANT:

TACO BELL OF AMERICA
1 GLEN BELL WAY
IRVINE, CALIFORNIA 92618
(609) 617-2185
ATTN: DIANA DECICCO

ARCHITECT:

CKE GROUP, INC.
17190 ROYAL PALM BLVD., SUITE 2
WESTON, FLORIDA 33326
(305) 558-4124
ATTN: EDUARDO L. CARCACHE, P.E.

ENGINEER:

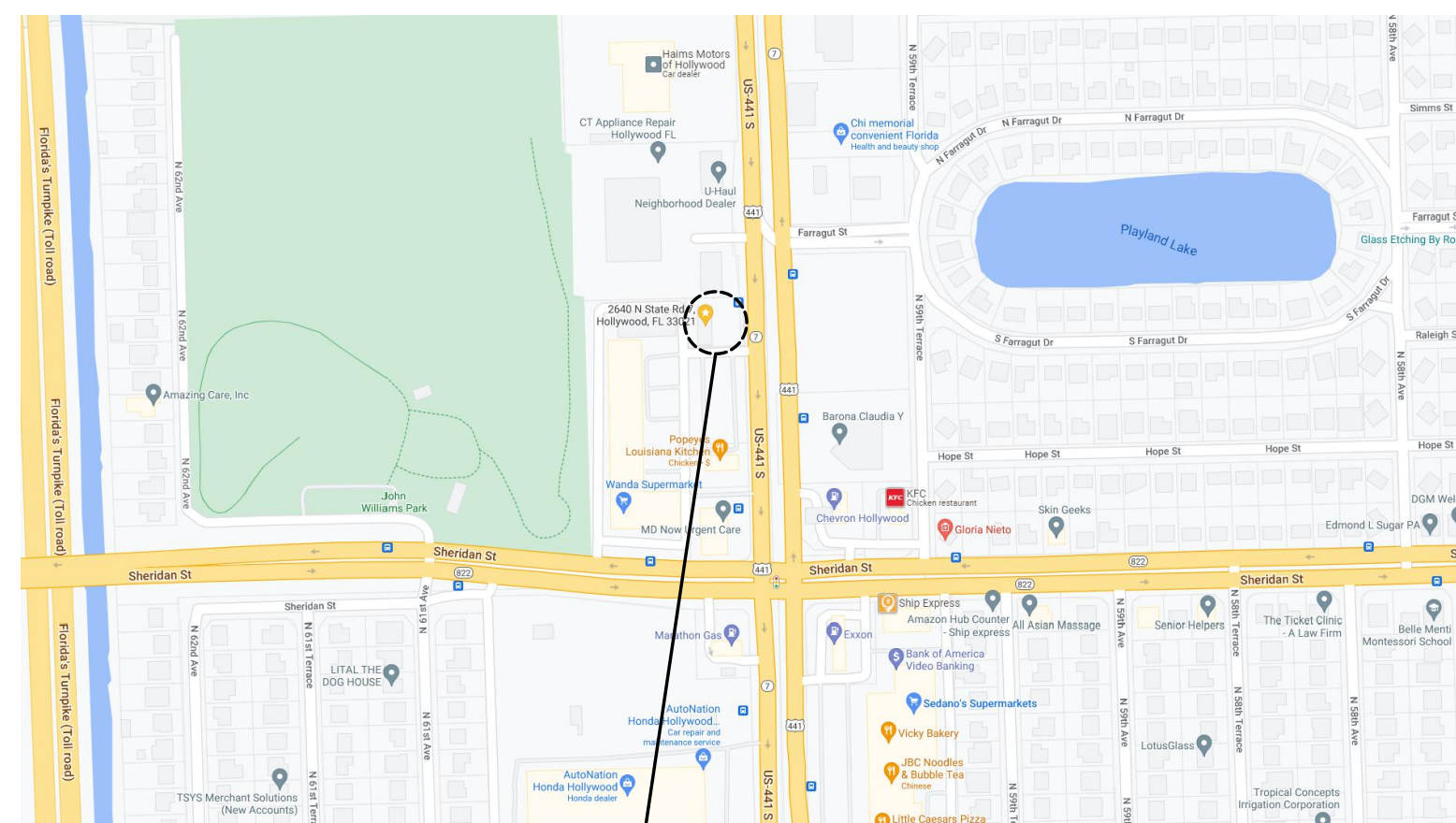
CKE GROUP, INC.
17190 ROYAL PALM BLVD., SUITE 2
WESTON, FLORIDA 33326
(305) 558-4124
ATTN: EDUARDO L. CARCACHE, P.E.

SURVEYOR:

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
(954) 572-1777
ATTN: JOHN F. PULICE, P.S.M.

LANDSCAPE:

RICHARD BARTLETT LANDSCAPE, INC.
12773 W. FOREST HILL BLVD. SUITE 213
WELLINGTON, FLORIDA 33414
(561) 795-0443
ATTN: RICHARD BARTLETT



LOCATION MAP



TACO BELL SITE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

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(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

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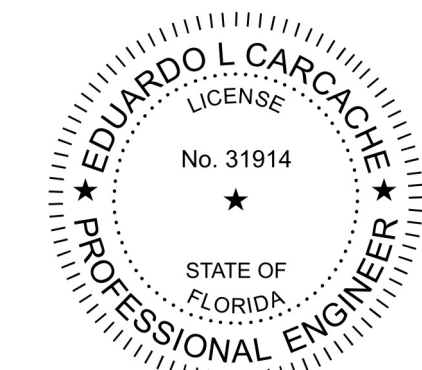
FOLIO # 5141 01 12 0010

INDEX OF DRAWINGS:

- COVER SHEET
- PLAT
- SURVEY
- SD-1 SITE DEMOLITION PLAN
- C-1 SITE PLAN
- C-2 PAVING AND GRADING PLAN
- C-3 SITE UTILITY PLAN
- C-4 SITE DETAILS
- C-5 SITE DETAILS & SECTIONS
- C-6 STORMWATER POLLUTION PREVENTION PLAN
- C-6A STORMWATER POLLUTION PREVENTION DETAILS & NOTES
- C-7 TRASH ENCLOSURE DETAIL
- C-8 PAVEMENT MARKING & SIGNAGE
- CE-1 SITE LIGHTING PLAN
- G-1.0 GREEN CHECKLIST
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE SPECS
- L-3 EXISTING TREE DISPOSITION
- L-4 IRRIGATION PLAN
- L-5 IRRIGATION SPECS
- A-1.0 FLOOR PLAN
- A-4.0 EXTERIOR ELEVATIONS

ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



EDUARDO L. CARCACHE, PE 31914
CKE GROUP, INC. COA-4432

Eduardo L. Carcache, State of Florida,
Professional Engineer, License No. 31914.

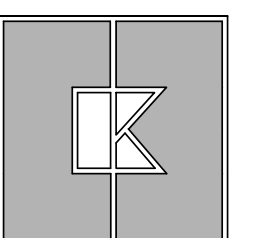
This item has been digitally signed and sealed by Eduardo L. Carcache on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

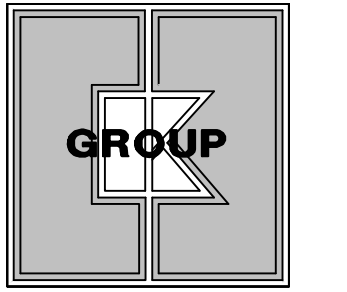
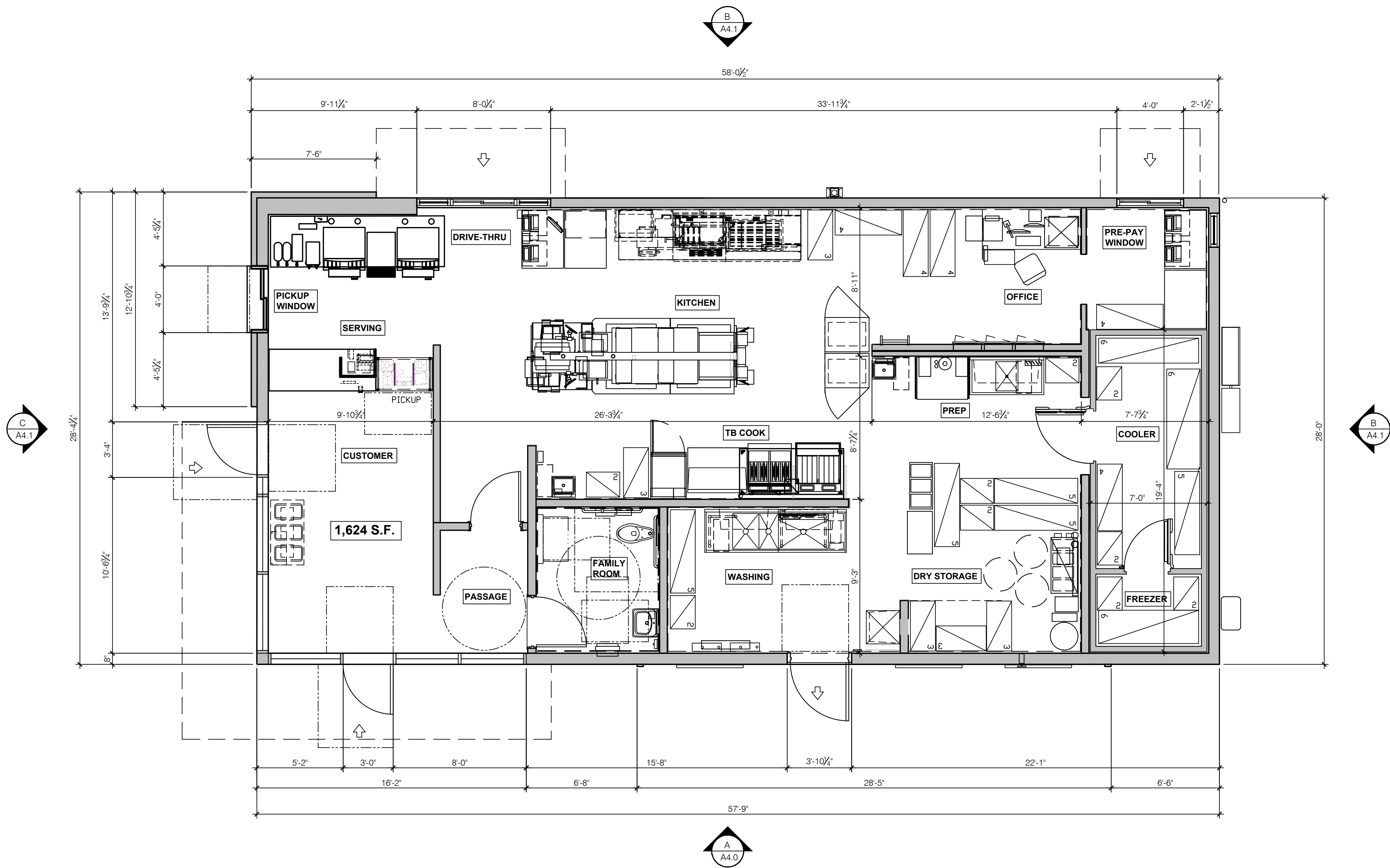
MEETING DATES:

PACO DEC 19, 2022
PRELIMINARY TAC FEB 6, 2023
FINAL TAC

CKE GROUP
INCORPORATED
engineering • architecture • planning



V:\Taco Bell\hollywood - 2640 N. State Rd 7 - 33021\A4.0\A4.0.dwg, 1/17/2023 4:44:23 PM



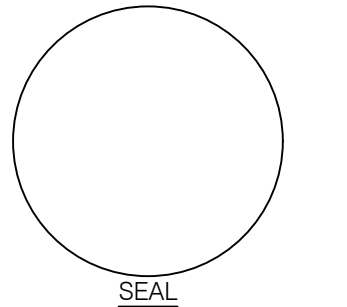
CKE GROUP
INCORPORATED

engineering • architecture • planning

17190 ROYAL PALM BLVD.
SUITE #2
WESTON, FLORIDA 33326

PHONE: (305) 558-4124
FAX: (305) 826-0619

EB#0004432



EDUARDO L. CARCHACHE
CIVIL ENGINEER-PE 31914

F

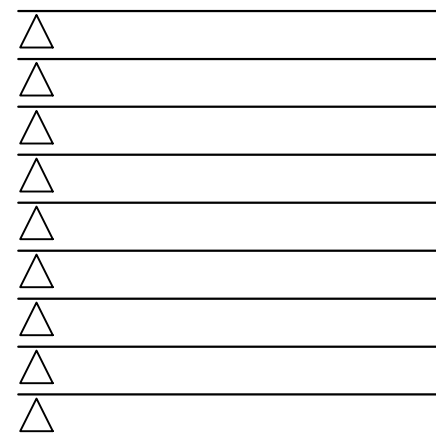
E

D

C

B

A



CONTRACT DATE: 10.11.22
BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:
STORE NUMBER: 459380

TACO BELL

2640 N. State Rd 7
Hollywood, Florida, 33021



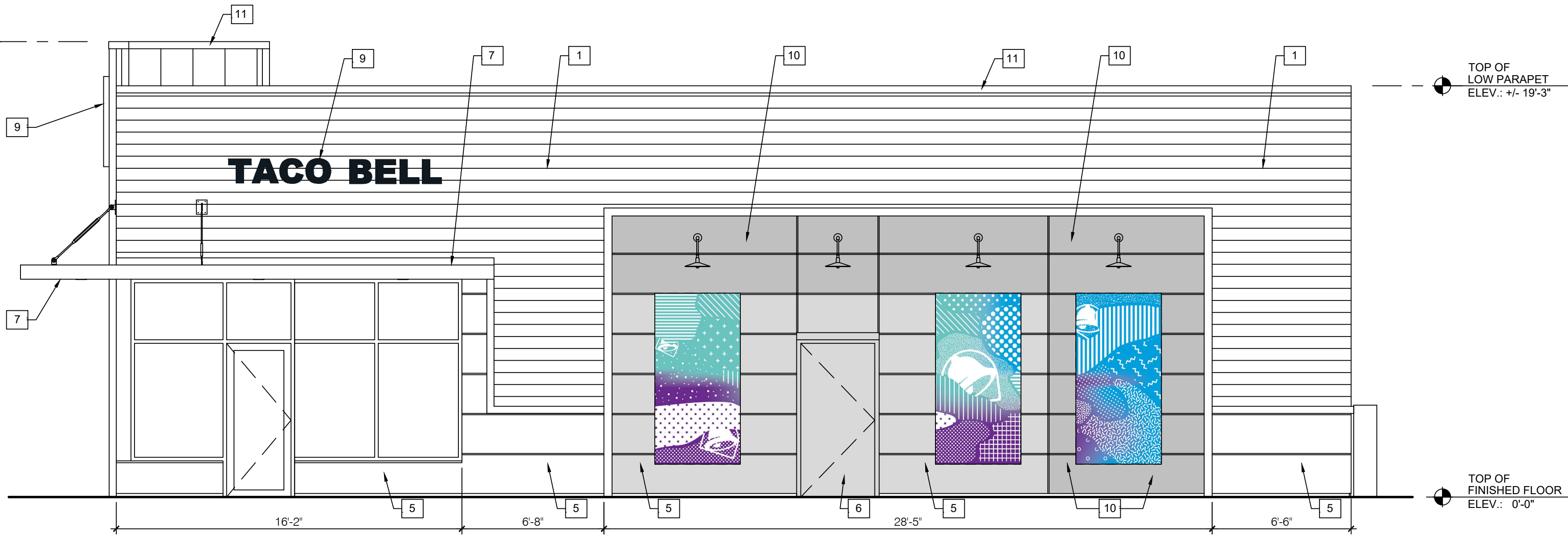
FLOOR PLAN

A1.0

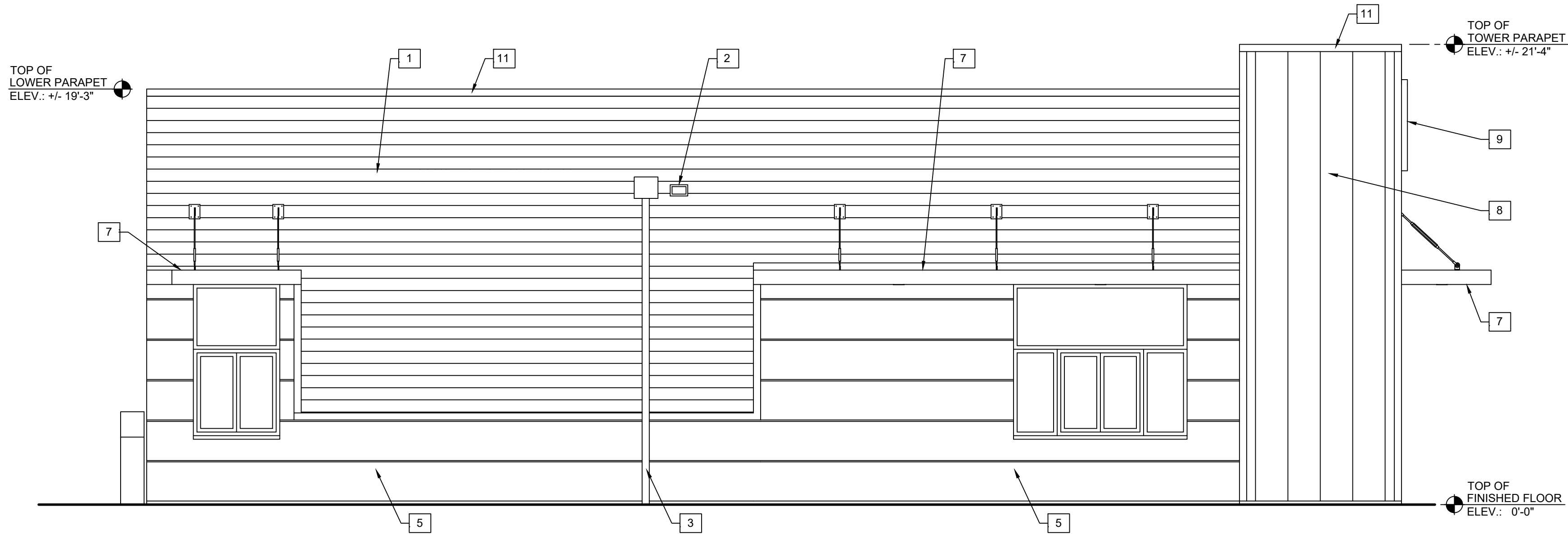
PLOT DATE: 1-17-23

FLOOR PLAN 1/4"=1'-0" **A**

TOP OF
TOWER PARAPET
(BEYOND)
ELEV.: +/- 21'-4"



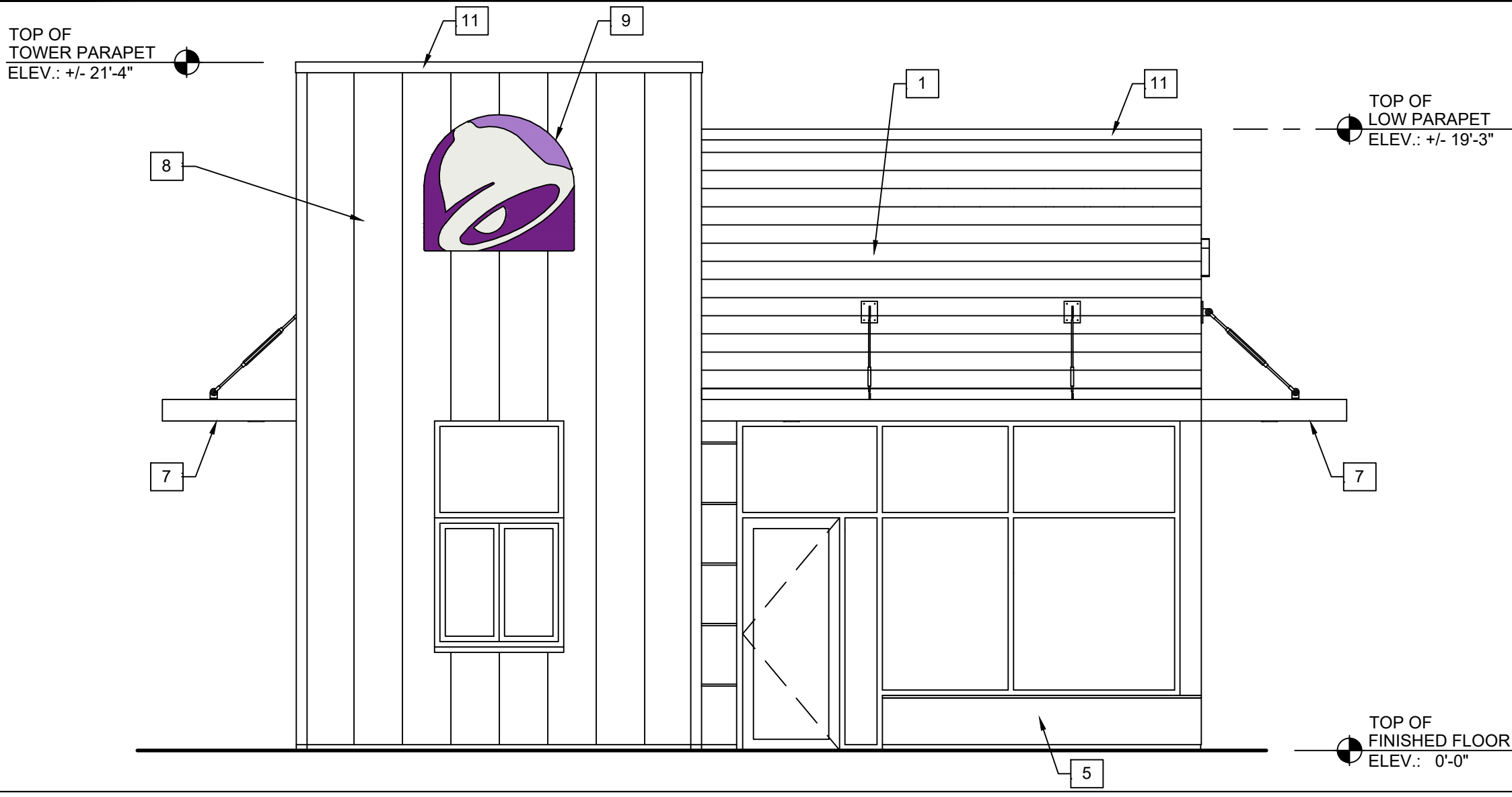
(EAST) RIGHT SIDE ELEVATION 1/4" = 1'-0" A



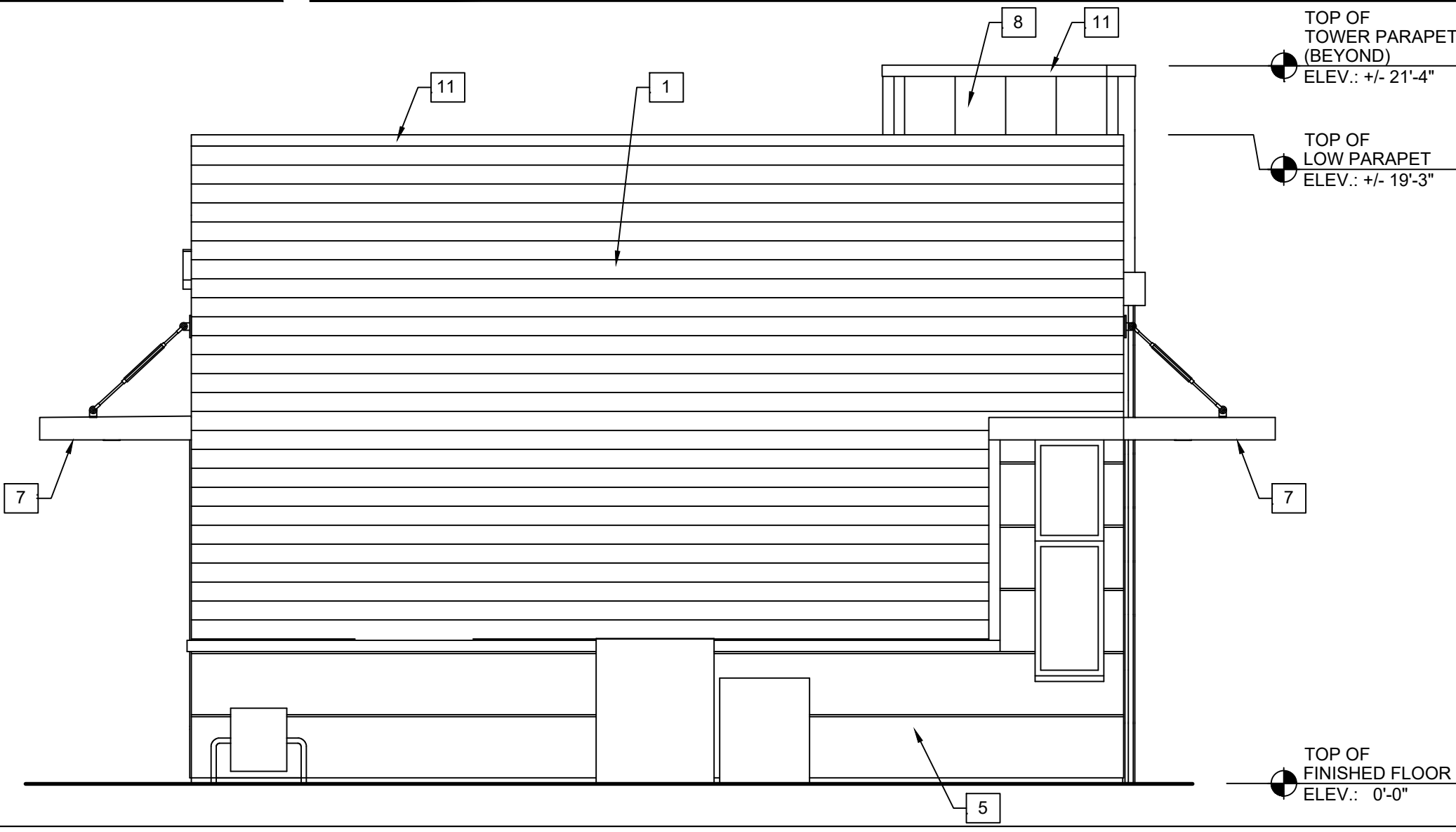
(WEST) LEFT SIDE ELEVATION 1/4" = 1'-0" B

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 144"L X 6.25"W, 17" EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5"	CYBERSPACE (SW7076), SEMI-GLOSS
5	HARDIE PANEL VERTICAL SIDING W/ ALUMINUM TRIM FROM FRY REGLET AND/OR TAMLYN	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING - SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS
6	HOLLOW METAL DOOR	-	-	SW PURPLE TB2603C, SEMI-GLOSS
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24GA PAINTED 18" PANEL	WEATHERED RUSTIC
9	BUILDING SIGN	-	-	-
10	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TB2603C, SEMI-GLOSS
11	METAL PARAPET CAP	-	24GA GALVANIZED	CYBERSPACE (SW7076) KYNAR 500 COATING

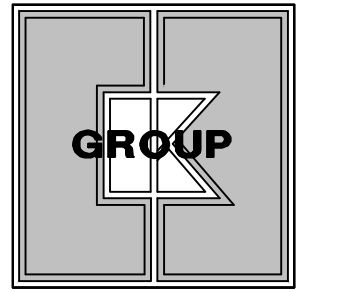
EXTERIOR FINISH SCHEDULE 1/4" = 1'-0" 1



(SOUTH) FRONT ELEVATION 1/4" = 1'-0" C

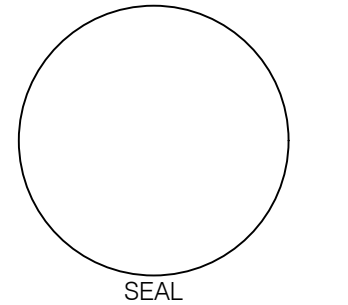


(NORTH) REAR ELEVATION 1/4" = 1'-0" D

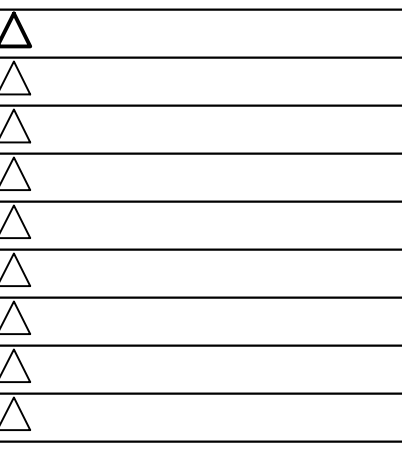


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EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914



CONTRACT DATE: 10.11.22
BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:
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TACO BELL

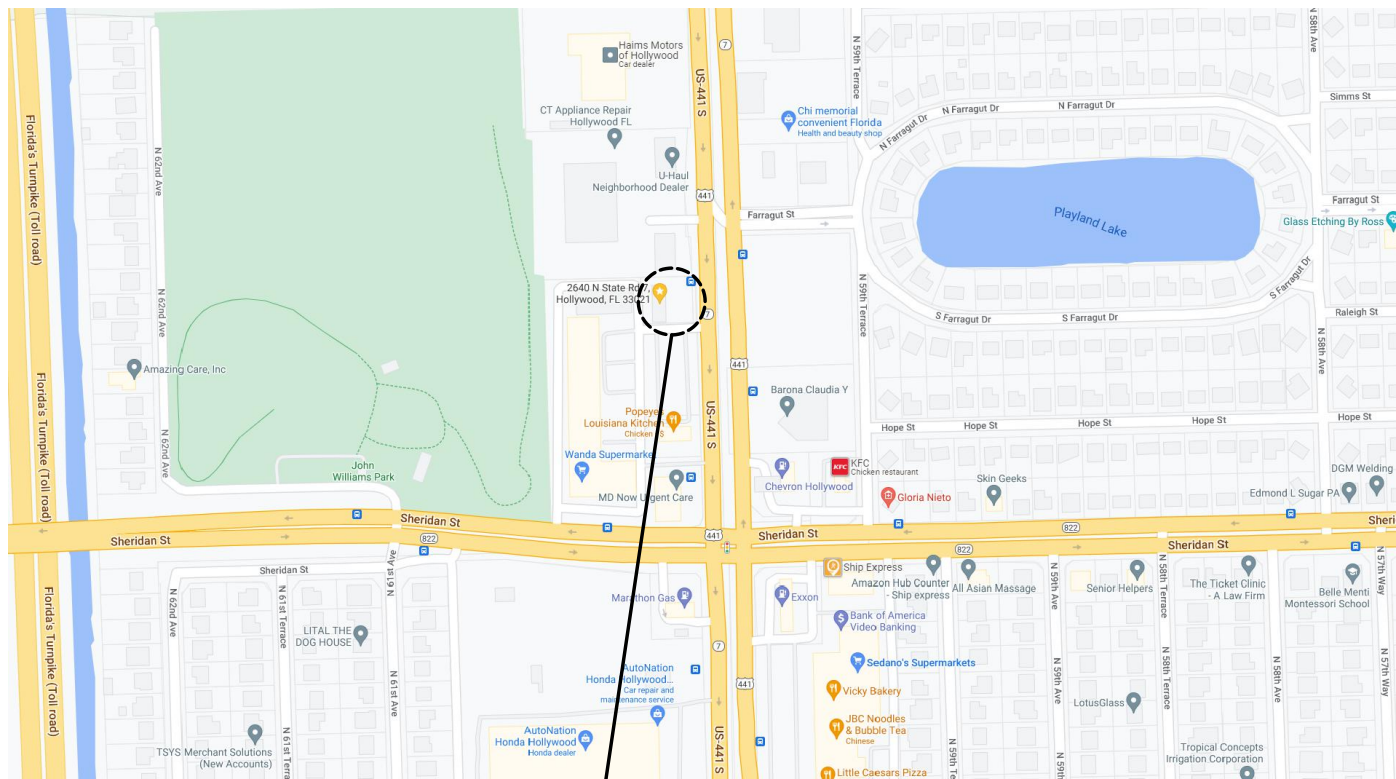
2640 N. State Rd 7
Hollywood, Florida. 33021



**EXTERIOR
ELEVATIONS**

A4.0

PLOT DATE: 1-17-23



TACO BELL SITE

LOCATION MAP

NOT TO SCALE



THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

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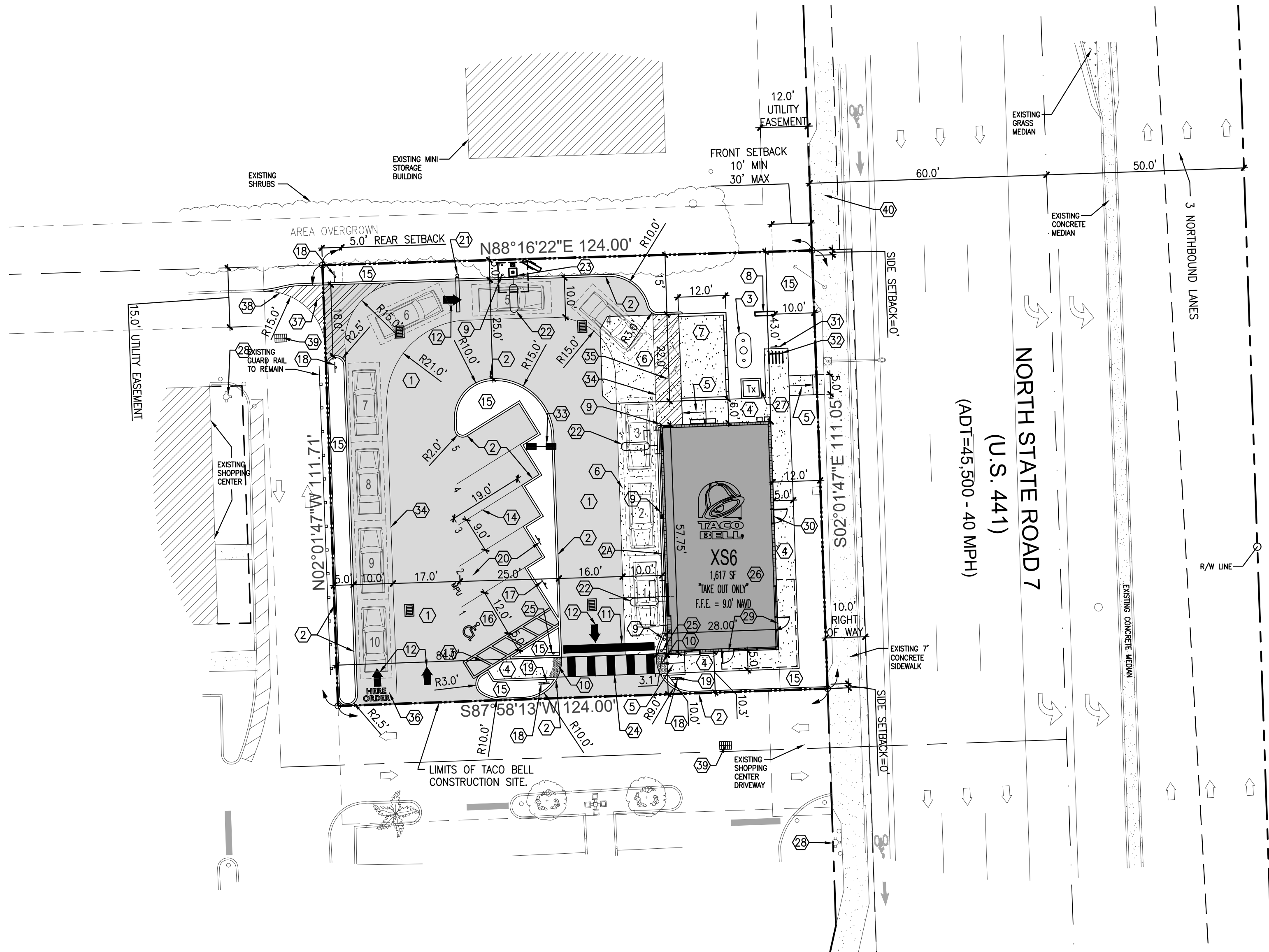
COMMERCIAL GREEN BUILDING PRACTICES INCORPORATED INTO PLANS

(PER ORDINANCE 0-2011-06)

- ENERGY STAR APPROVED ROOFING MATERIALS.
- AT LEAST 80% OF PLANTS, TREES AND GRASS PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION), LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
- UTILIZE LED LIGHTS FOR OVER 90% OF PARKING LOT LIGHTING.
- REFRIGERANT: ALL BUILDING HVAC & R SYSTEMS ARE FREE OF CFU'S AND HALONS.
- REDEVELOPMENT OF EXISTING SITE - LOCATE THE BUILDING ON A SITE THAT HAS EXISTING HARDSCAPE OR BUILDINGS THAT MUST BE REPLACED BY THE NEW DEVELOPMENT AND HAS EXISTING UTILITY CONNECTIONS TO THE SITE.
- ACCESS TO PUBLIC TRANSPORTATION - THE SITE IS LOCATED WITHIN 1/2 MILE OF EXISTING RAIL NODE OR 1/4 MILE OF AT LEAST 1 ACTIVE BUS STOP.
- SIDEWALKS - PROVIDE SIDEWALKS FOR ALL PATHS TO ADJACENT CITY STREETS THAT ARE MINIMUM 4' WIDE WITH CONCRETE OR OTHER FIRM, SLIP RESISTANT SURFACES.
- REDUCE HEAT ISLAND EFFECT - UTILIZE A COOL-ROOF THAT WILL HAVE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 78, WHICH REDUCES THE HEAT ISLAND EFFECT.
- DURABLE EXTERIOR MATERIALS-BUILDING DESIGN SHALL INCLUDE DURABLE EXTERIOR BUILDING WALL AND WINDOW MATERIALS TO PREVENT DAMAGE FROM HIGH WINDS. THE EXTERIOR SURFACE OF A MINIMUM OF 80% OF WALLS SHALL BE CONCRETE OR BRICK MASONRY. WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING.
- LOW FLOW TOILET FIXTURES. THE TOILETS SHALL HAVE A MAXIMUM WATER USE OF 1.28 GPF. URINALS SHALL HAVE A MAXIMUM WATER USE OF 0.5 GPF. CALCULATIONS MUST BE SUBMITTED WITH PLANS. SYSTEM MUST PASS ALL REQUIRED INSPECTIONS BY PLUMBING INSPECTOR.

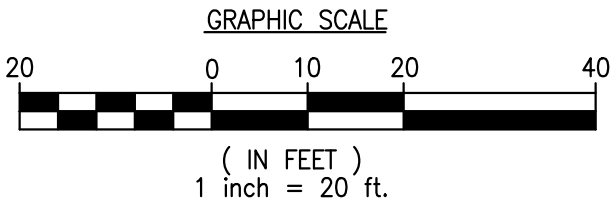
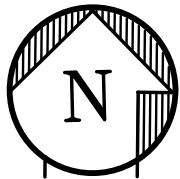
CONSTRUCTION NOTES:

- ASPHALT PAVEMENT AS PER DETAIL.
- 6" P.C.C. TYPE 'D' CURB AS PER DETAIL.
- 9" P.C.C. TYPE 'B' CURB AS PER DETAIL.
- LP TANK
- P.C.C. CONCRETE SIDEWALK AS PER DETAIL
- P.C.C. HANDICAP RAMP - MAX SLOPE 1:12, WITH 6" EDGE PROTECTION CURB.
- 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10 FEET ON CENTER.
- TRASH ENCLOSURE AS PER DETAIL SHT. C-7 (UNDER SEPARATE PERMIT).
- PROPOSED 24 S.F. - 8' HIGH MONUMENT SIGN (UNDER SEPARATE PERMIT)
- STEEL BOLLARD AS PER DETAIL.
- PROVIDE YELLOW DETECTABLE WARNING SURFACE
- 24" STOP BAR WHITE (THERMOPLASTIC)
- TRAFFIC ARROWS PAINTED WHITE.
- 6" WHITE STRIPES AT 60" (PER FDOT INDEX No. 17346)
- 4" WHITE STRIPE (TYPICAL AT PARKING SPACES)
- LANDSCAPE AREA. EXISTING LARGE TREES TO REMAIN.
- HANDICAP PARKING AS PER DETAIL.
- HANDICAP SIGN 7'-0" A.F.P.
- STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- PARKING SPACE W/MOBILE ORDER PICK-UP SIGN
- DRIVE-THRU CLEARANCE BAR BY SIGN CO.
- SENSOR LOOP AT D/T WINDOWS AND MENU BOARD
- DIGITAL MENU BOARD AND SPEAKER PEDESTAL W/CANOPY
- PEDESTRIAN CROSSING PER F.D.O.T. INDEX NO. 17346
- PEDESTRIAN CROSSING SIGN
- ALL ROOF MOUNTED EQUIPMENT AND ACCESSORIES SHALL BE SCREENED FROM VIEW BY PARAPET
- PROPOSED TRANSFORMER PAD
- EXISTING FIRE HYDRANT
- PROVIDE BUILDING ADDRESS "XXXX" WITH NUMERALS 9 INCHES HIGH. REFER TO BUILDING ELEVATION
- PROVIDE BUILDING ADDRESS AND BUSINESS NAME ON SERVICE DOOR. REFER TO BUILDING ELEVATION ALL LETTERS TO BE CONSISTENT IN STYLE (4" HIGH)
- 'BICYCLE PARKING' SIGN
- BICYCLE RACK BY HUNTCO-MODEL BR3 OR APPROVED EQUAL
- PROPOSED PARKING LIGHTS (REFER TO SHEET CE-1)
- 6" WHITE STRIPE (THERMOPLASTIC)
- 6" WHITE STRIPES AT 45' @ 24" O.C. (THERMOPLASTIC)
- DRIVE-THRU PAVEMENT MARKINGS
- 18" YELLOW STRIPES AT 45' @ 4' O.C. (THERMOPLASTIC)
- 6" DOUBLE YELLOW STRIPE (THERMOPLASTIC)
- EXISTING CATCH BASIN
- EXISTING BUS STOP. ROUTE #18



SITE PLAN

1"=20'-0"



SITE PLAN LEGEND

- Transformer box on pad
- Number of parking space
- Accessible parking spaces
- New asphalt driveway
- New conc. sidewalk/driveway

DRIVEWAYS & SIDEWALKS

NEW ASPHALT PAVEMENT:	7,103.43 SQ. FT.
NEW CONC. DRIVEWAY (DT):	673.70 SQ. FT.
NEW CONC. DRIVEWAY (TRASH AREA):	406.00 SQ. FT.
NEW CONC. SIDEWALK:	837.17 SQ. FT.
NEW CONC. PAD (TRASH ENCLOSURE):	264.00 SQ. FT.
NEW LINEAR FT OF CURB (TYPE 'D'):	664.14 FT.

NOTES:

- ALL PAVEMENT MARKINGS ARE TO COMPLY WITH THE CITY OF HOLLYWOOD BUILDING DEP. STANDARDS & FDOT.
- ALL RADI AND DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
- ALL SIGNAGE, CANOPIES, & DUMPSTER ENCLOSURE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
- PAVEMENT MARKING MATERIAL TO BE PAINT UNLESS OTHERWISE NOTED.
- ALL LIGHTS AND LIGHTING SHALL BE DESIGNED AND ARRANGED AS NOT TO CAUSE A DIRECT GLARE INTO ADJACENT PROPERTIES.

MEETING DATES:

PACO	DEC 19, 2022
PRELIMINARY TAC	FEB 6, 2023
FINAL TAC	

SITE AND CODE DATA

DESCRIPTION	TACO BELL RESTAURANT AT THE SHERIDAN OAK PLAZA	
CURRENT ZONING	C-MU (Central Mixed-Use District)	
CURRENT LAND USE	Commercial	
CURRENT USE	Commercial	

1 GENERAL INFORMATION

DESCRIPTION	TYPE	GROSS BUILDING AREA
NON-RESIDENTIAL	New Restaurant	1,600 SF
FAR	N/A	
TOTAL SITE AREA	13,811 (NET) SF	(0.317 Acres)
TOTAL BUILDING	1,617 SF	11.71%
TOTAL VEHICULAR USE AREA	8,183 SF	59.25%
INTERIOR LANDSCAPE AREA (MINUS PERIMETER LANDSCAPE SET BACK AREA)	2,909.7 SF	35.94% of vehicular use area
TOTAL OPEN SPACE AREA	2,909.7 SF	21.07%

2 SETBACKS

NEW RESTAURANT								
DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED
FRONT (EAST)	10'-0"/30'-0"	12'-0"						
REAR (WEST)	5'-0"	84'-0"						
SIDE (NORTH)	0'-0"	43'-0"						
SIDE (SOUTH)	0'-0"	10'-0"						

3 MINIMUM ACTIVE USES

FRONTAGE	REQUIRED	PROVIDED
U.S. 441 (111.05 FT)	60%	57.75' (52%)

4 HEIGHTS PROVIDED

NEW RESTAURANT								
DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED
HEIGHT	140'-0"	21'-4"						

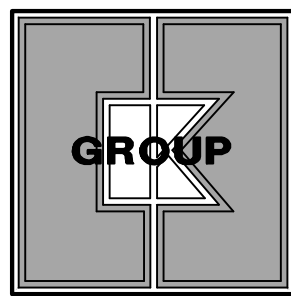
5 PARKING DATA

DESCRIPTION	MINIMUM 1 PER 150 SF BUILDING AREA	REQUIRED MINIMUM	REQUIRED MAXIMUM
NEW RESTAURANT, TAKE OUT	Standard parking spaces for 1,617 SF	11 sp	-
		11 sp	-
TOTAL STANDARD PARKING SPACES		PROVIDED 5 SPACES INCLUDING 1 HC	

6 PROJECT SUMMARY

SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS AND SPECIAL EXCEPTION

SPECIAL EXCEPTION	REQUIRED	PROVIDED	
VARIANCE			
PARKING SPACES	11	5	7.2.28
ACTIVE USE	60%	52%	C-MU (ii)
TRANSPARENCY	50%	27.90%	TOC D-D.3.a(ii)(c)



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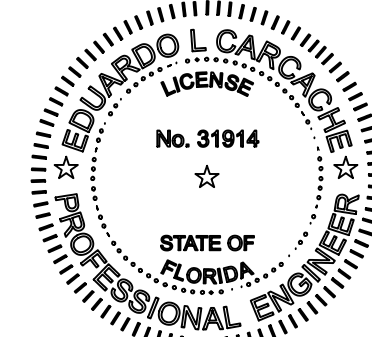
SUITE #2

WESTON, FLORIDA 33326

PHONE: (305) 558-4124

FAX: (305) 826-0619

EB#0004432



SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
RICARDO J. PEREZ
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE:

BUILDING TYPE: XS6

PLAN VERSION:

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315998

STORE NUMBER: TB-459380

PA/PM: DIANA DECICCO

DRAWN BY: AG

JOB NO.:

TACO BELL

2640 N SR-7,
HOLLYWOOD, FL 33021

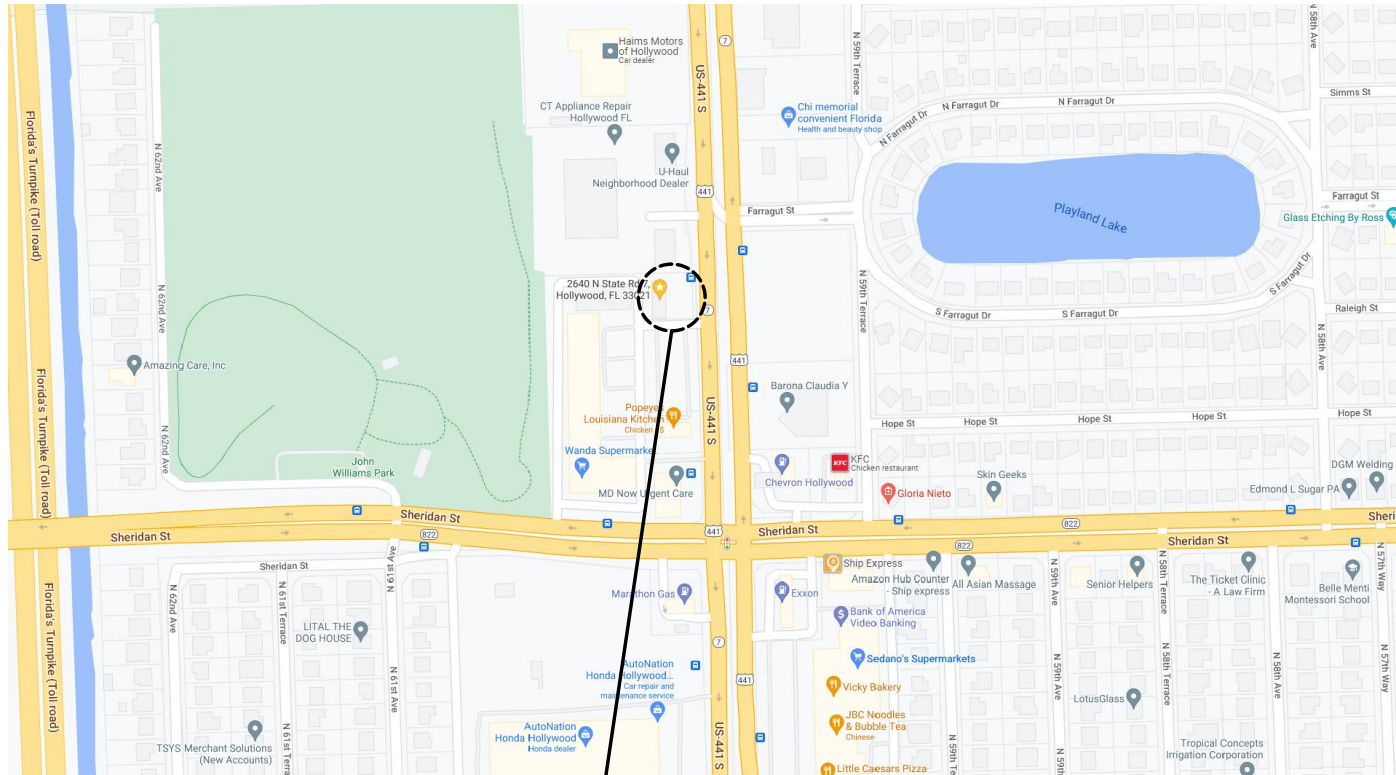


XS6

SITE PLAN

C-1

PLOT DATE:



TACO BELL SITE

LOCATION MAP

NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION:

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

NOTES:

1. SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK.
2. SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY. COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
3. SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE.
4. GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING. COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.

NOTE:

CONTRACTOR TO DEMOLISH EXISTING BUILDINGS (INCLUDING FOUNDATIONS AND UNDERGROUND STRUCTURES), REMOVE ALL DEBRIS, PROVIDE CLEAN AND GRADED SITE, AND VERIFY LOCATION AND INVERT ELEVATIONS, PRIOR TO TACO BELL START CONSTRUCTION.

PROPOSED DRAINAGE SCHEDULE

			INVERT ELEVATIONS			
STRUCTURE #	TYPE	GRATE EL.	N	S	E	W
CB-1	"F"-(4'x4')	8.0				4.0'
CB-2	"M"-(5'x5')	8.0		4.0*	4.0'	
CB-3	"M"-(5'x5')	8.0	4.0*		4.0'	
CB-4	"F"-(4'x4')	8.0			(8"RD) 4.0'	4.0'

* PROVIDE POLLUTION RETARDANT BAFFLE.

REQUIRED FINISH FLOOR ELEVATION

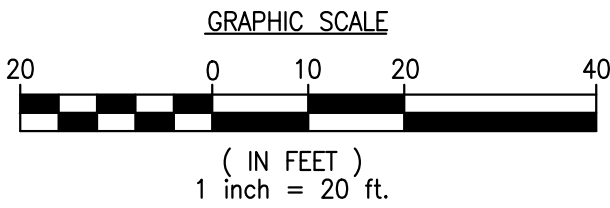
	REQ'D	PROPOSED
1. 1 FT ABOVE FLOOD CRITERIA	N/A-FLOOD ZONE "X"	N/A
2. 6 INCHES ABOVE CROWN OF ROAD	8.46'+0.5'=8.96'	9.0'

LEGEND

- TRANSFORMER BOX ON PAD
- ACCESSIBLE PARKING SPACES
- NEW ASPHALT DRIVEWAY
- NEW CONC. SIDEWALK/ DRIVEWAY
- PROP. DIRECTION OF DRAINAGE FLOW ARROW
- EXISTING ELEVATION
- PROP. TOP OF CURB & FINISHED PAVEMENT ELEV.
- PROPOSED ELEVATIONS
- G.C. TO VERIFY MAX. 2% SLOPE AT HANDICAP SPACE AND ACCESSIBILITY ROUTE
- SLOPE ALONG ACCESS PATH NOT TO EXCEED 5% AND MAX. 2% CROSS SLOPE.

PAVING & GRADING PLAN

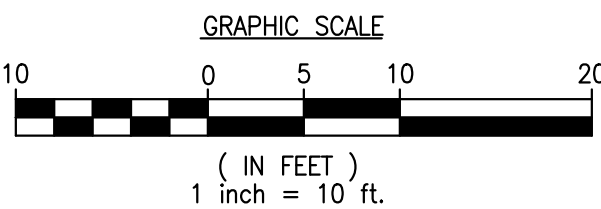
1"=20'-0"



Know what's below.
Call before you dig.

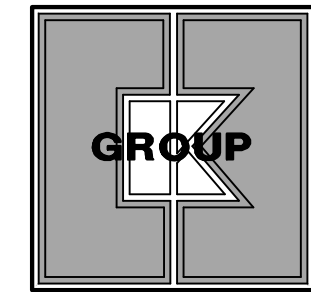
ENLARGED AREA

1"=10'-0"



GENERAL NOTES

1. ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
2. ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY THE CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT.
3. STABILIZED SUBGRADE SHALL HAVE LIMEROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
4. LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
6. PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
8. PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-478 AND 647, AND THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
9. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
10. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
11. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
12. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
13. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS. (LATEST EDITION)
14. ALL DRAINAGE SYSTEM PIPE JOINTS INCLUDING THOSE OUTSIDE THE EXFILTRATION TRENCH, TO BE WRAPPED IN FOOT APPROVED FILTER FABRIC WITH SECURING DEVICE (INDEX No. 280, FOOT DESIGN STANDARDS JANUARY 2004)
15. ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
16. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
17. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO THE MIAMI DADE COUNTY PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY THE CITY OF HOLLYWOOD OFFICIALS OF UNDERGROUND UTILITIES.
19. SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.



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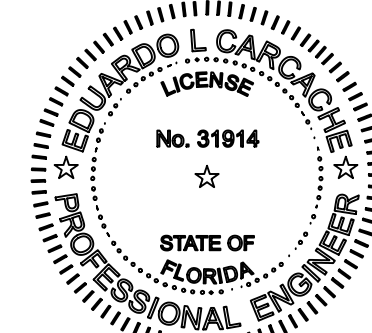
SUITE #2

WESTON, FLORIDA 33326

PHONE: (305) 558-4124

FAX: (305) 826-0619

EB#0004432



SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
RICARDO J. PEREZ
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE:

BUILDING TYPE: XS6

PLAN VERSION:

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315998

STORE NUMBER: TB-459380

PA/PM: DIANA DECICCO

DRAWN BY.: AG

JOB NO.:

TACO BELL

2640 N SR-7,
HOLLYWOOD, FL 33021

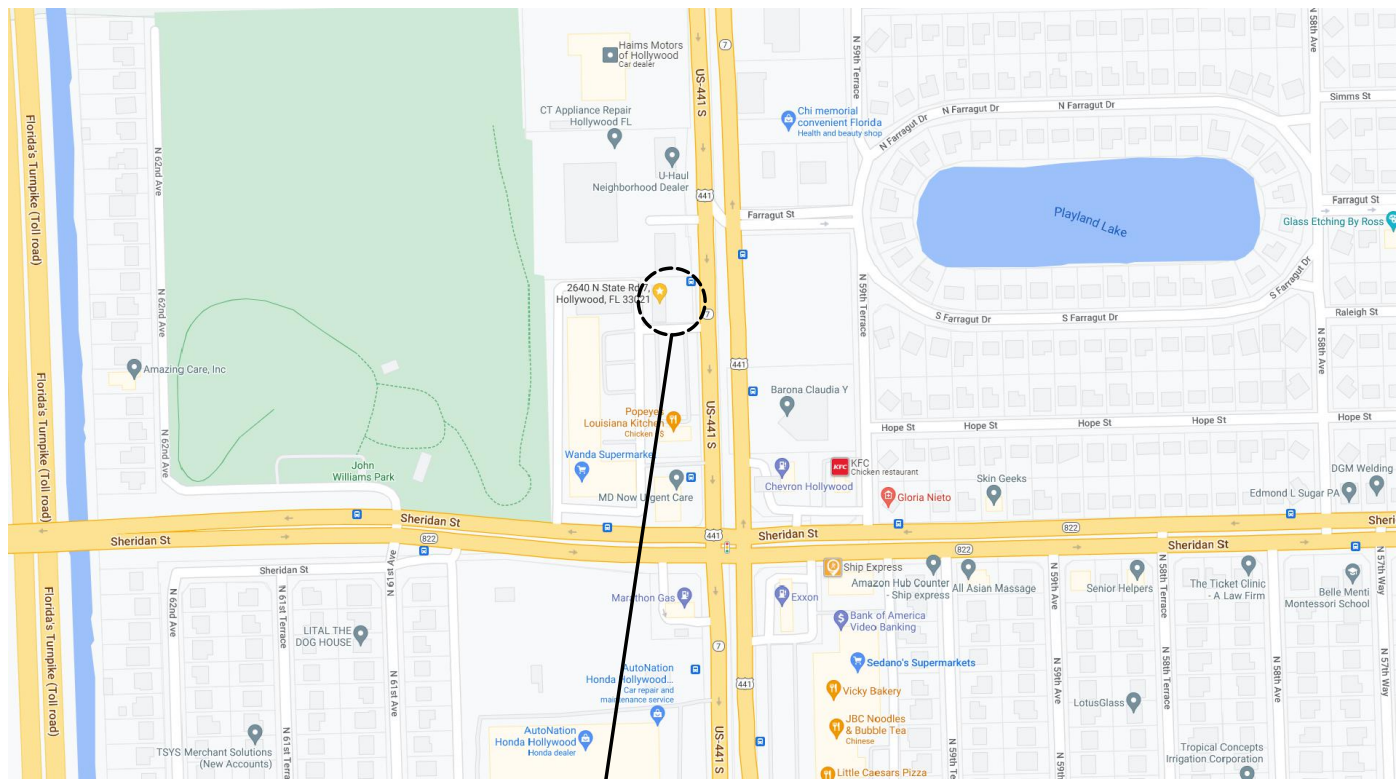


XS6

**PAVING AND
GRADING PLAN**

C-2

PLOT DATE:



LOCATION MAP
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION:
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

DATE	REMARKS

CONTRACT DATE: _____
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BRAND DESIGNER: DANIEL DICKSON
SITE NUMBER: 315998
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TACO BELL
2640 N SR-7,
HOLLYWOOD, FL 33021

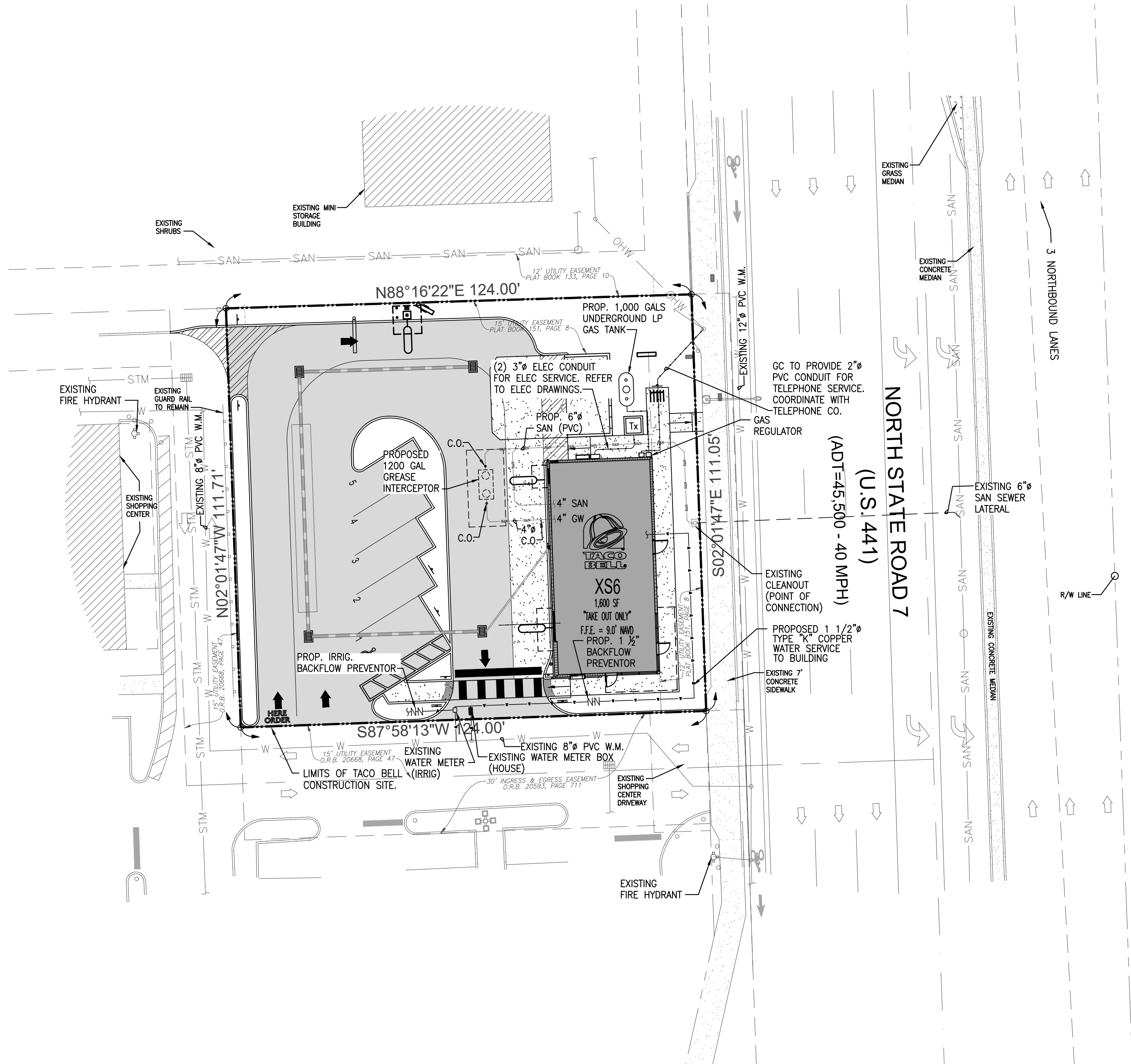


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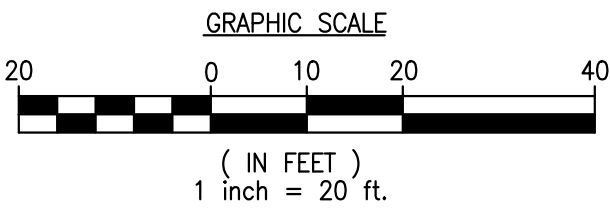
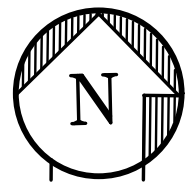
UTILITIES PLAN

C-3

PLOT DATE: _____

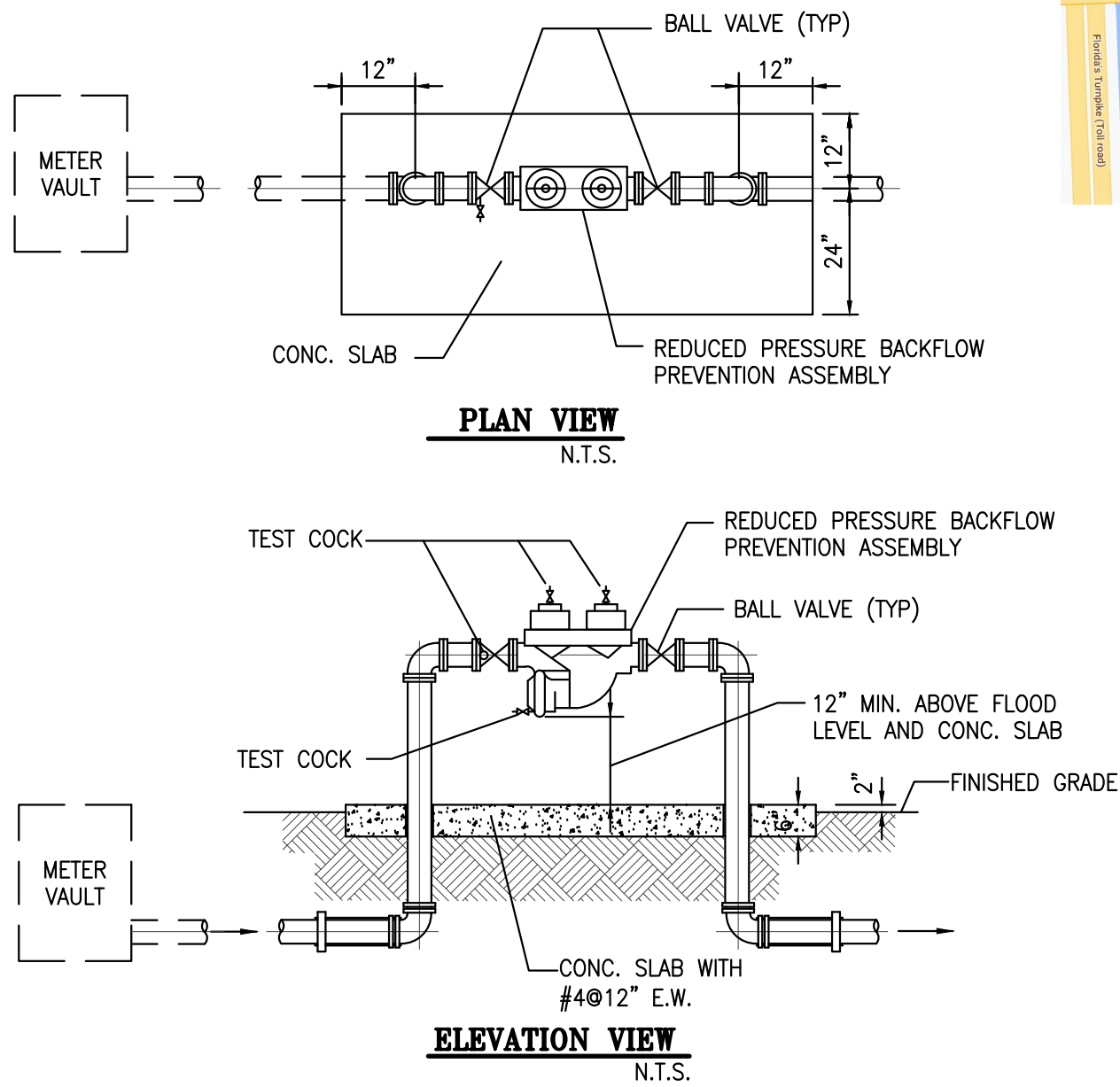


UTILITIES PLAN
1"=20'-0"

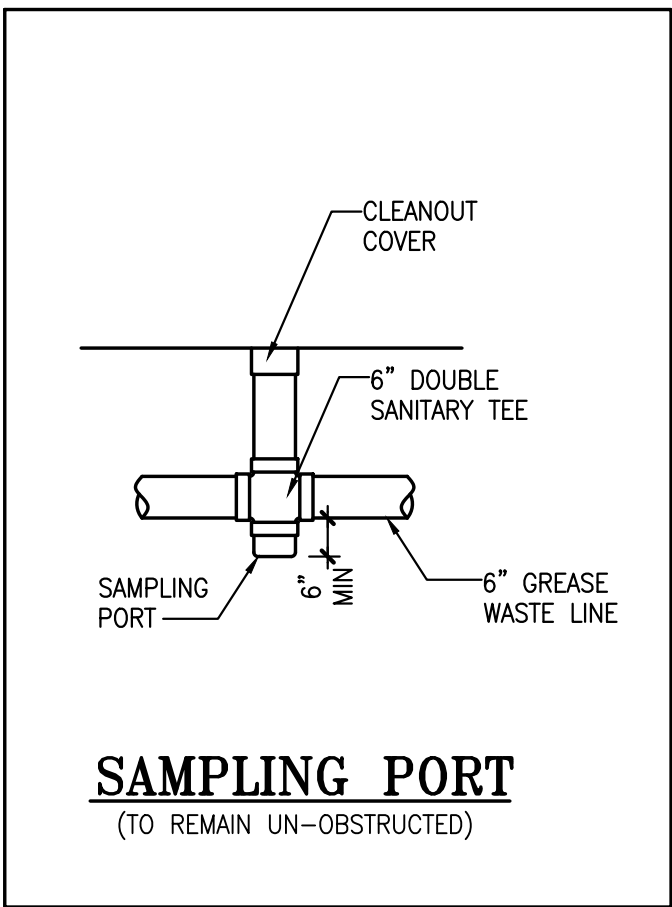


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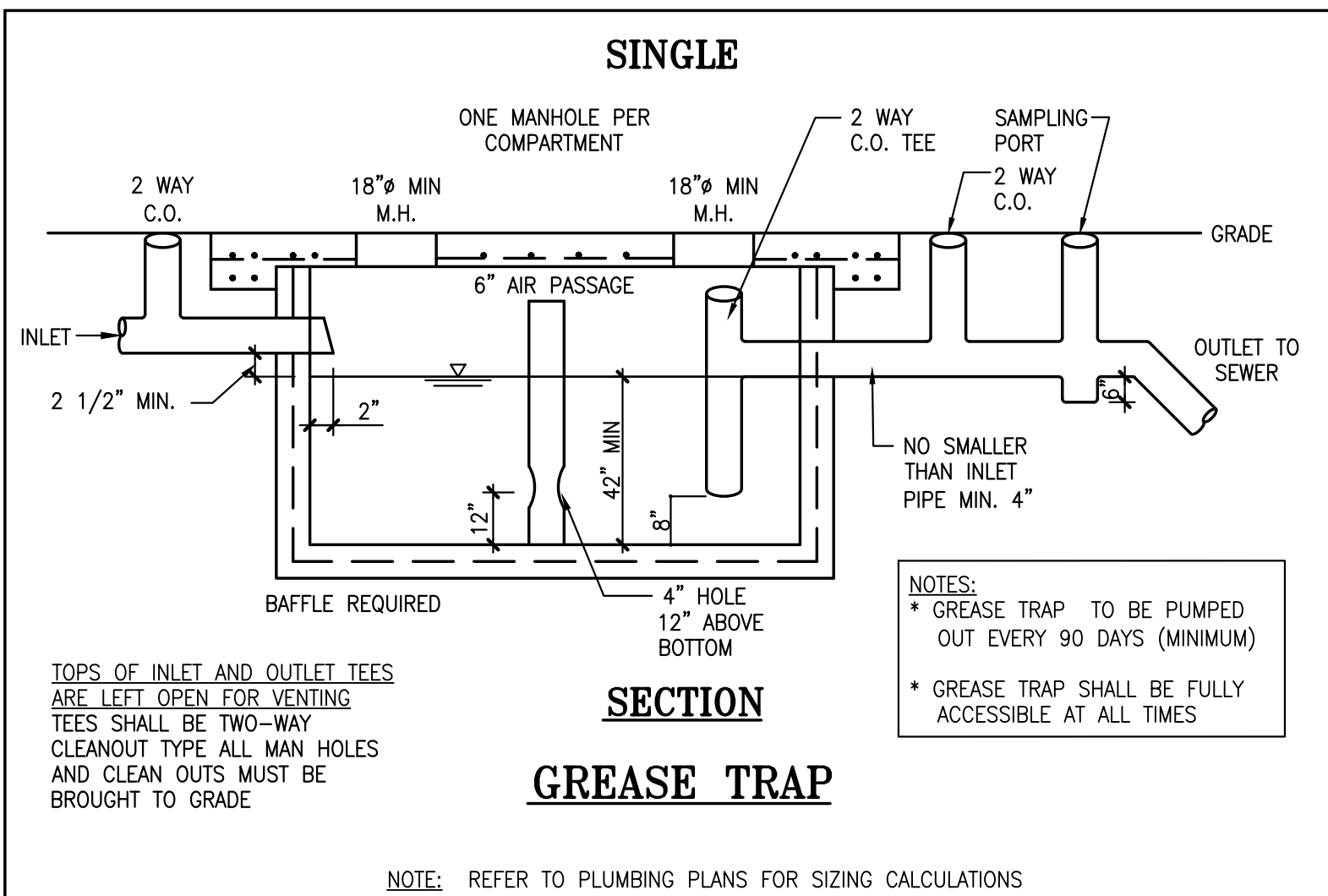
- ALL HYDRANTS TO FALL WITHIN 2 FEET OF CURB, STEAMER CONNECTION TO FACE ROADWAY.
- WATER SHALL BE AVAILABLE TO ALL HYDRANTS PRIOR TO START OF CONSTRUCTION.
- LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
- BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
- ALL CLEANOUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USG #7605 VALVE BOX).
- ON-SITE SANITARY SEWER LATERAL TO BE PRIVATELY MAINTAINED.
- CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
- MINIMUM SLOPE OF SANITARY WASTE = 1%.
- CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70 FT.
- NO SOLVENT WELD SHALL BE USED.
- REFER TO THE PUBLIC UTILITIES DEPARTMENT OF CITY OF HOLLYWOOD FOR ADDITIONAL DETAILS.
- ON SITE WATER AND SEWER NOT INSIDE UTILITY EASEMENTS MUST BE PERMITTED AND INSPECTED BY PLUMBING OFFICIALS AT PUBLIC UTILITIES DEPARTMENT.



**REDUCED PRESSURE ZONE
BACKFLOW PREVENTER
FOR WATER SERVICE 3/4\"**



SAMPLING PORT NOTE:
SAMPLING PORT SHALL BE ACCESSIBLE AT ALL TIMES WITHOUT HAVING TO REMOVE ANY MERCHANDISE AND WITHOUT STANDING WATER ON GROUND SURFACE; WITH A MINIMUM 24 INCHES HORIZONTAL CLEARANCE FROM ANY WALL, FIXED EQUIPMENT OR STORED MATERIALS AND A MINIMUM 48 INCHES VERTICAL CLEARANCE FROM ANY FIXED EQUIPMENT OR STORED MATERIALS.

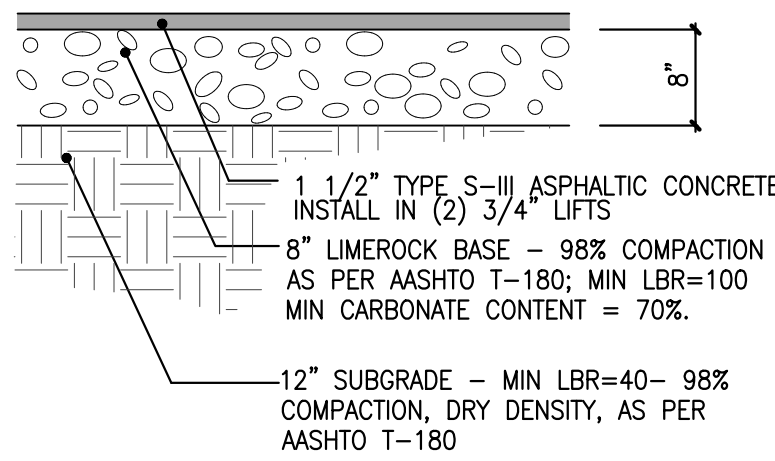


SITE PLAN LEGEND

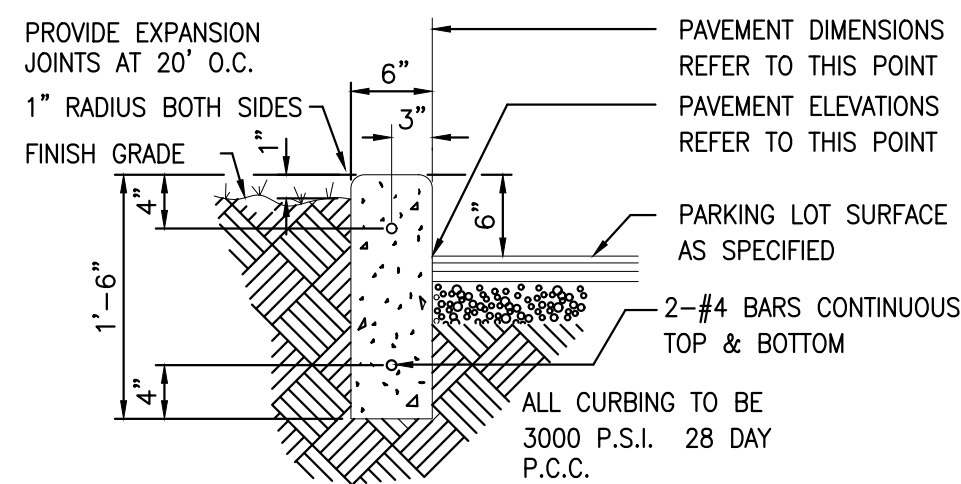
- TRANSFORMER BOX ON PAD
- NUMBER OF PARKING SPACE
- ACCESSIBLE PARKING SPACES
- NEW ASPHALT DRIVEWAY
- NEW CONC. SIDEWALK/ DRIVEWAY



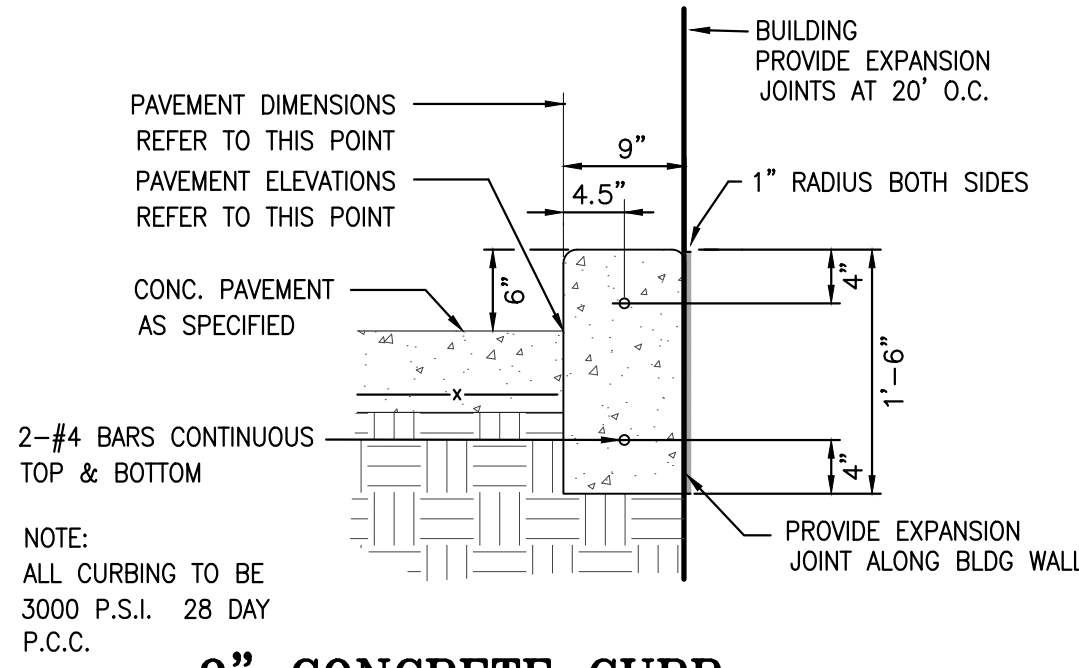
Know what's below.
Call before you dig.



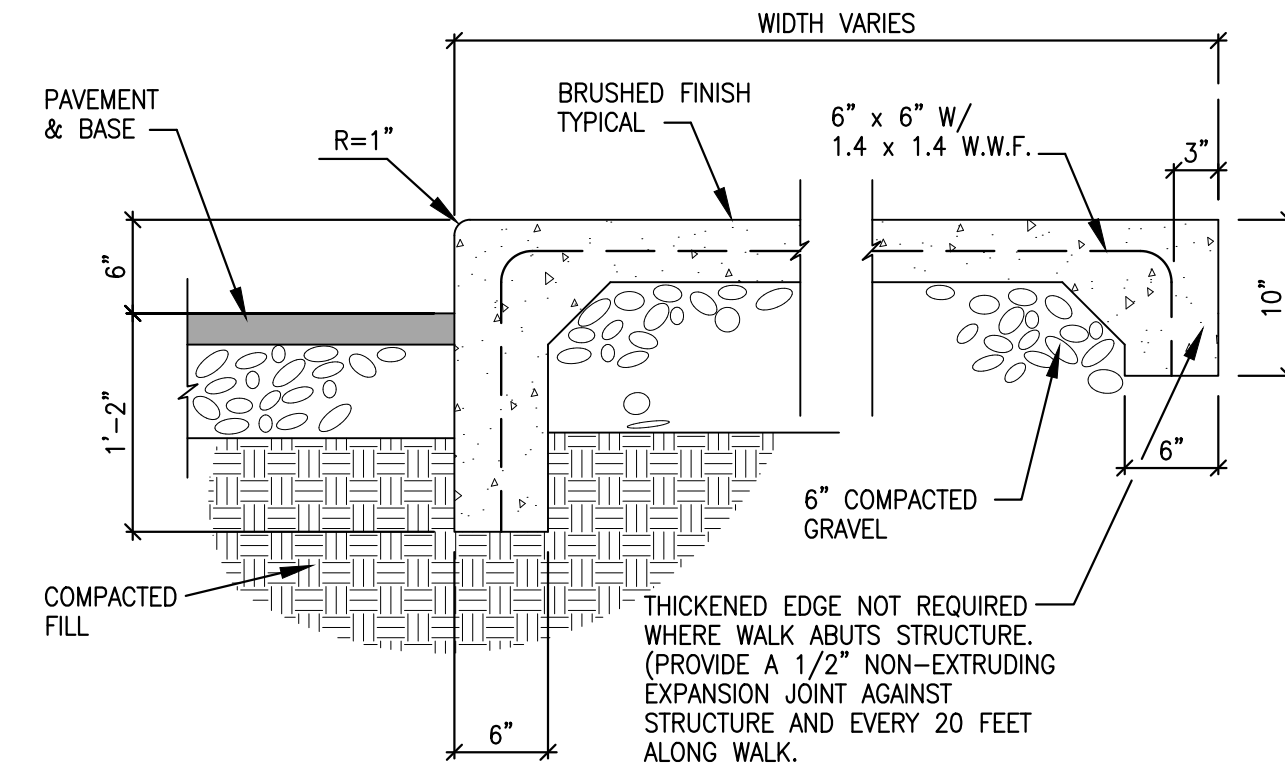
1 PAVEMENT DETAIL
NOT TO SCALE



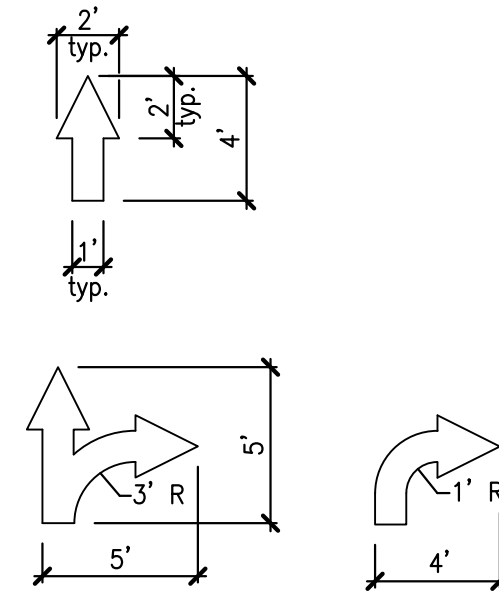
2 6" CONCRETE CURB (TYPE "D")
NOT TO SCALE



3 9" CONCRETE CURB
(ALONG FACE OF BUILDING)
NOT TO SCALE



4 BRUSHED CONCRETE WALK
NOT TO SCALE



12 PAINTED ARROWS
NOT TO SCALE

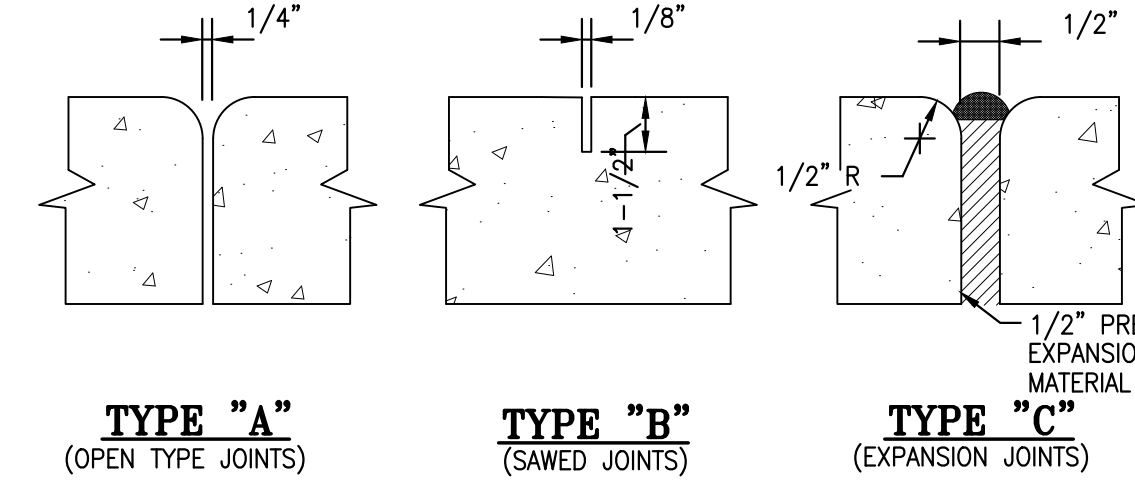
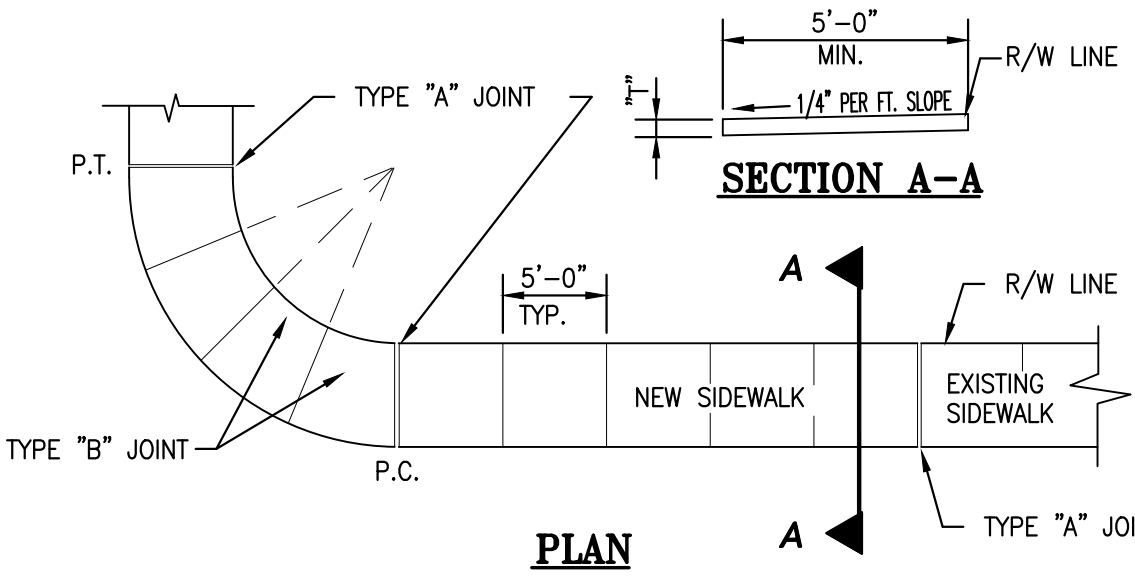
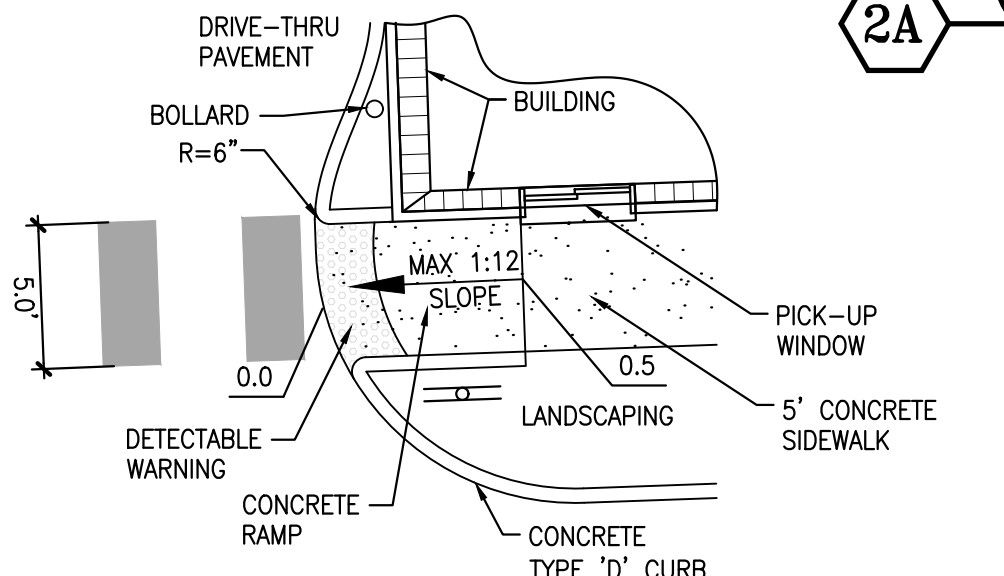


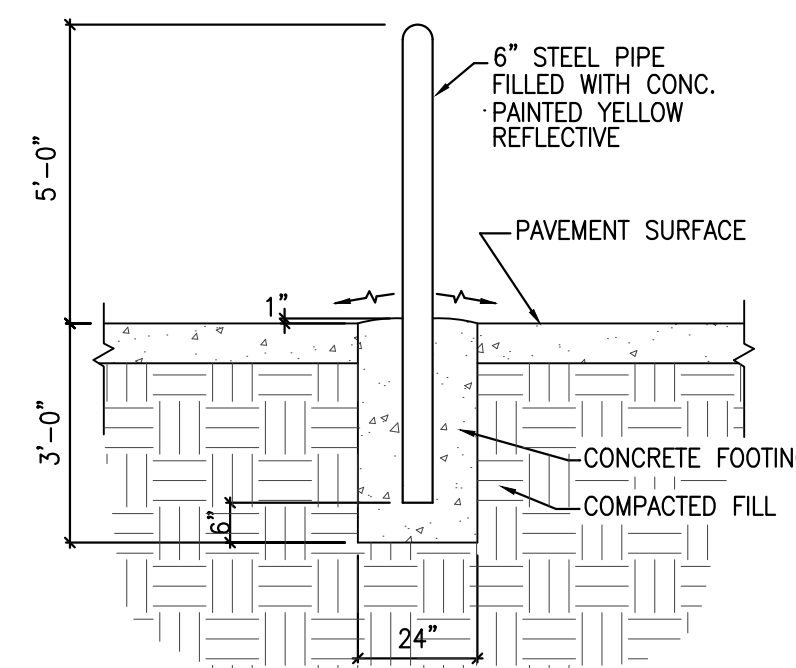
TABLE OF SIDEWALK THICKNESS—"T"	
LOCATION	"T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES

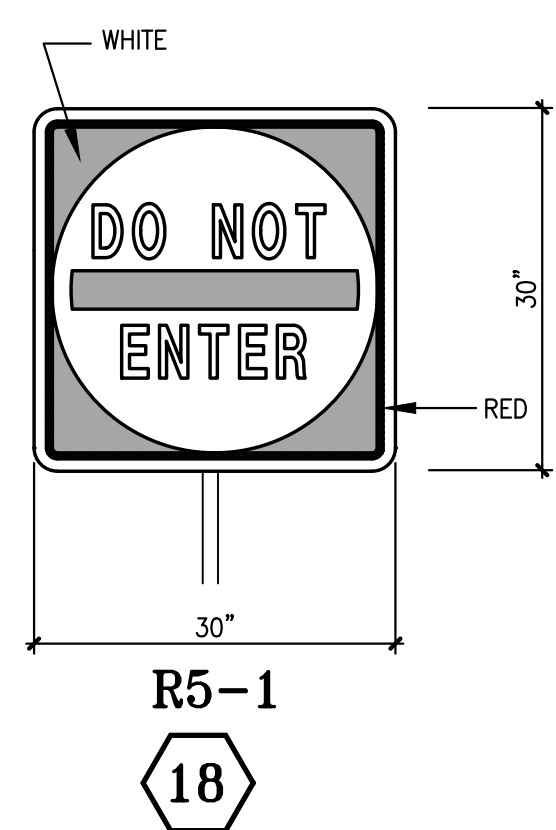
4 SIDEWALK CONSTRUCTION DETAIL
NOT TO SCALE



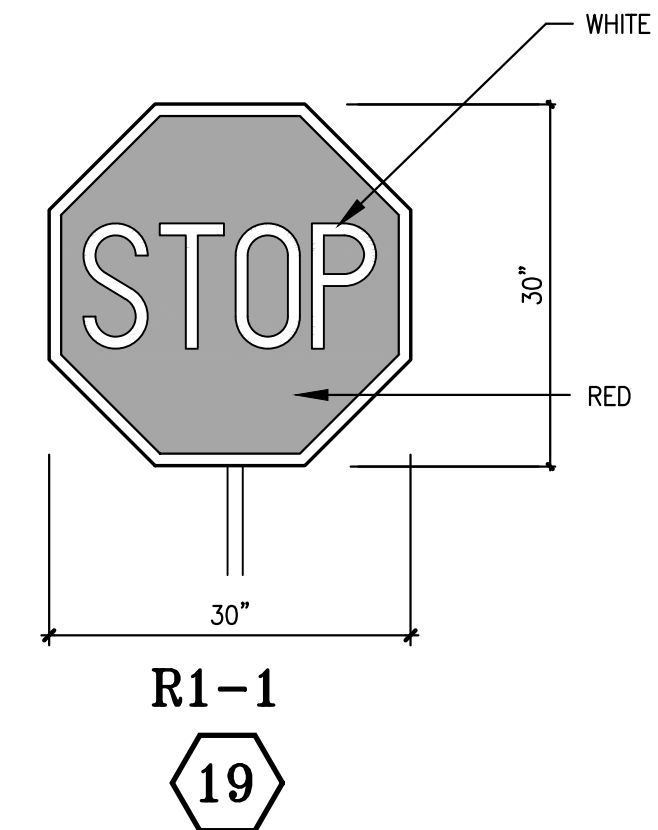
5 HANDICAP RAMP DETAIL
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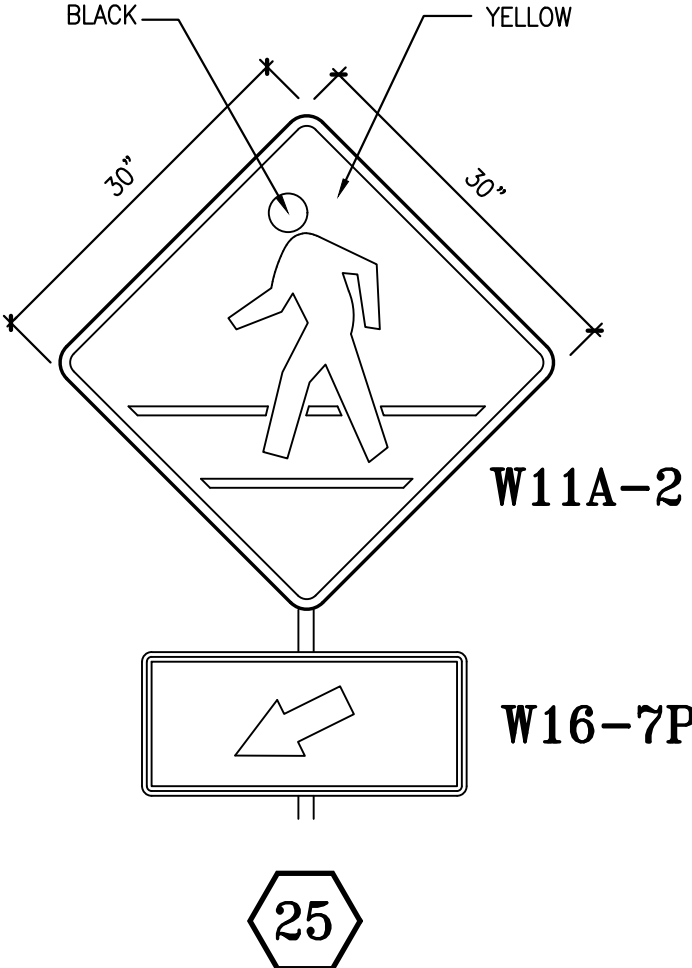
9 STEEL BOLLARD DETAIL
NOT TO SCALE



18



19

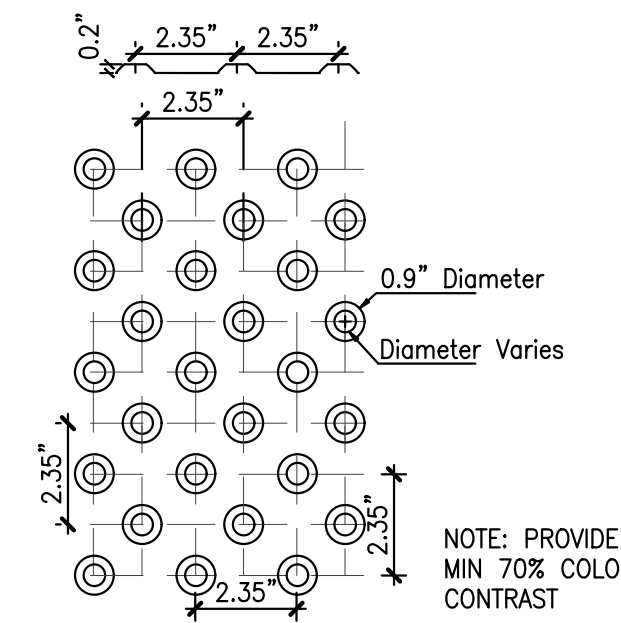


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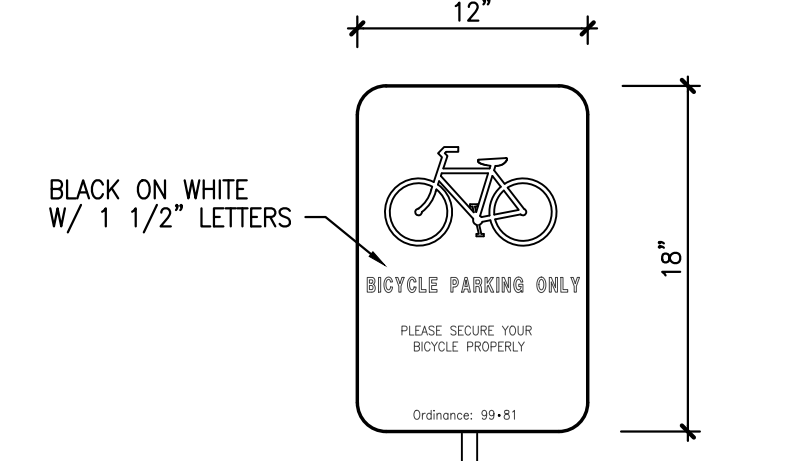


20 MOBILE PARKING SIGN
NOT TO SCALE

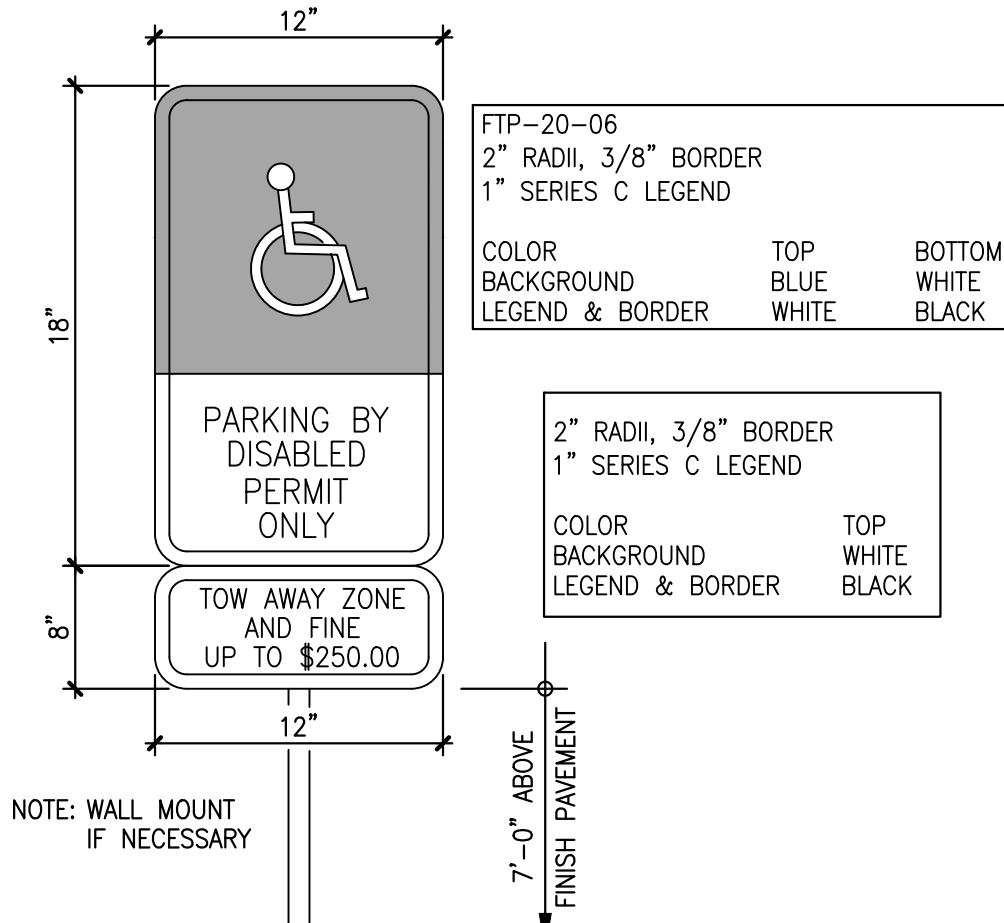
STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS
SCALE: N.T.S.



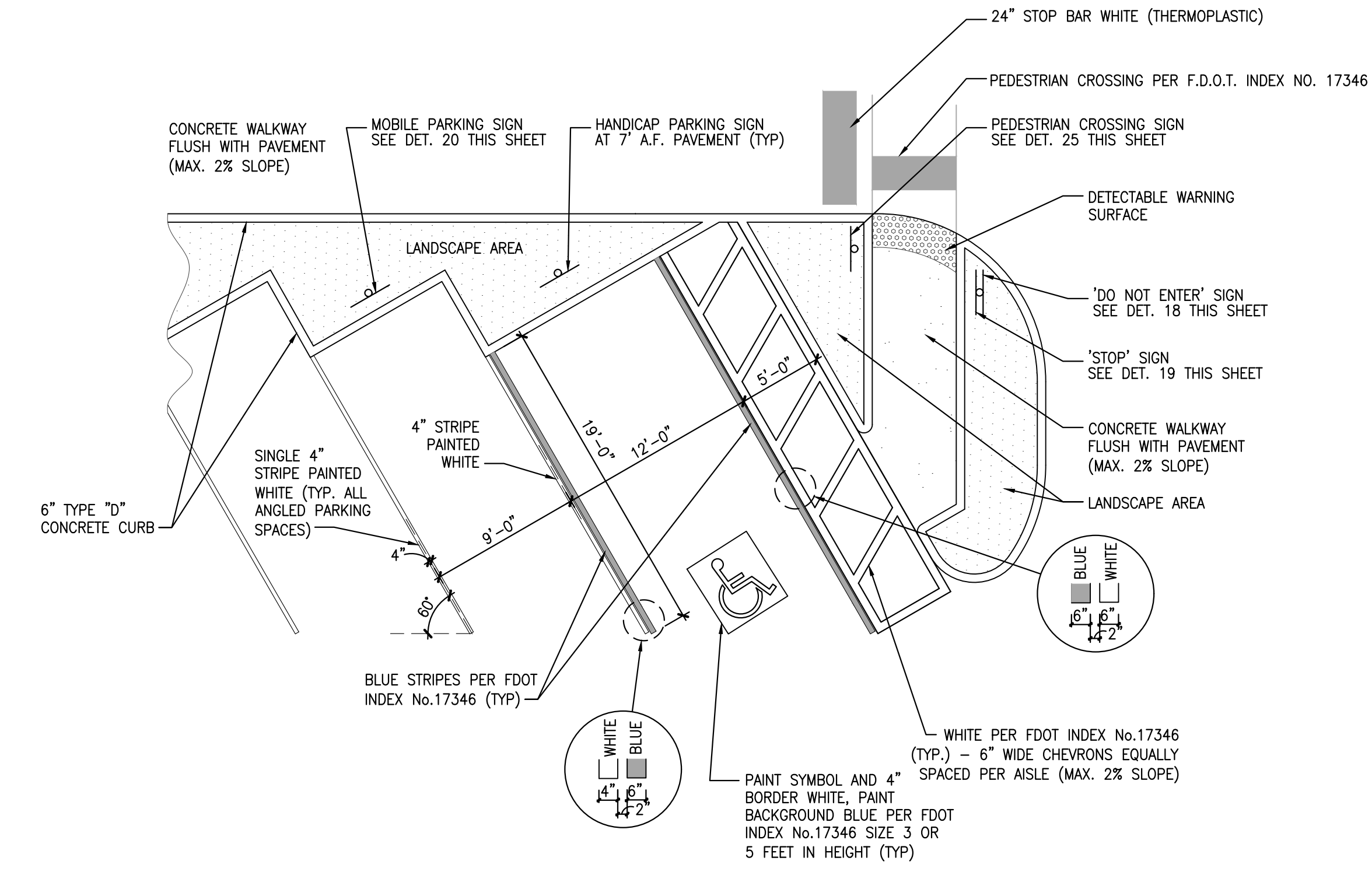
10 DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE
NOTE: PROVIDE MATS PER SPECS. OR EQUAL APPROVED SUPPLIERS:
ADA SOLUTIONS (800) 372-0519
PROF. PAVEMENT PRODUCTS (888) 717-7771



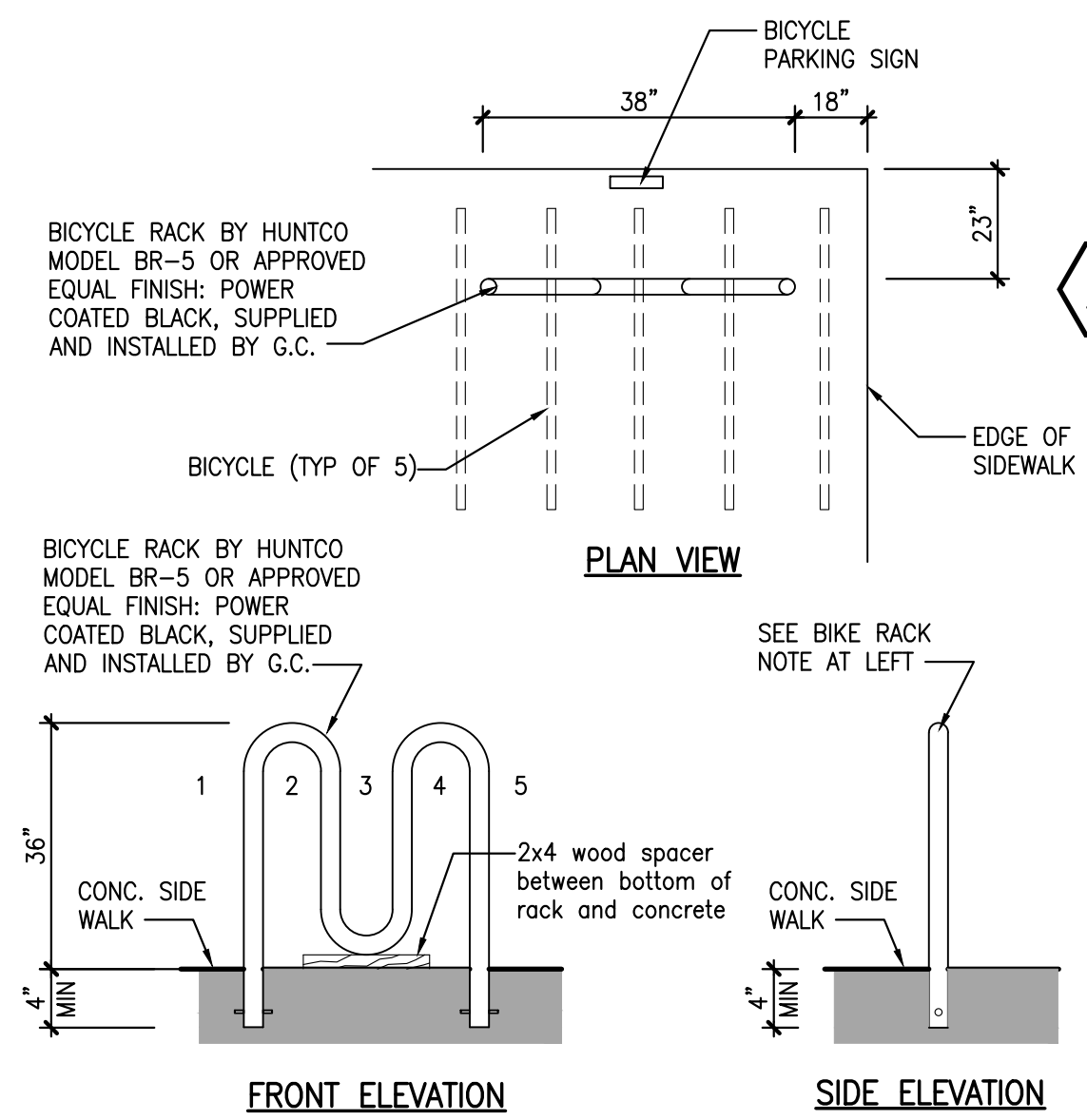
31 BICYCLE PARKING SIGN
NOT TO SCALE



17 HANDICAP PARKING SIGN
(FPT-20-04 PER FDOT INDEX 17355)
NOT TO SCALE



14 STANDARD AND HANDICAP PARKING DETAILS
NOT TO SCALE



32 BIKE RACK DETAIL
NOT TO SCALE

- GENERAL NOTES**
- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
 - DESIGNS ARE PER 170 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).
 - ALL PAINTED PAVEMENT MARKERS ARE TO BE SOLID YELLOW AND FURNISHED BY GENERAL CONTRACTOR.
 - WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.

GROUP

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17190 ROYAL PALM BLVD.
SUITE #2
WESTON, FLORIDA 33326

PHONE: (305) 558-4124
FAX: (305) 826-0619
EB#0004432

EDUARDO L. CARGACHE
LICENSE
No. 31914
STATE OF FLORIDA
PROFESSIONAL ENGINEER

SEAL
EDUARDO L. CARGACHE
CIVIL ENGINEER-PE 31914
RICARDO J. PEREZ
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE: _____
BUILDING TYPE: _____ XS6
PLAN VERSION: _____
BRAND DESIGNER: DANIEL DICKSON
SITE NUMBER: 315998
STORE NUMBER: TB-459380
PA/PM: DIANA DECICCO
DRAWN BY: AG
JOB NO.: _____

TACO BELL
2640 N SR-7,
HOLLYWOOD, FL 33021

TACO BELL

XS6

SITE DETAILS

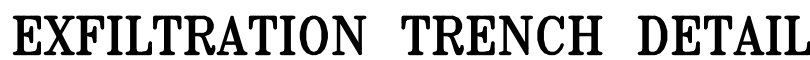
C-4

PLOT DATE: _____



DRAINAGE STRUCTURES SECTION DETAILS

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

- NOTE**



NOT TO SCALE

NOT TO SCALE

D

NOT TO SCALE

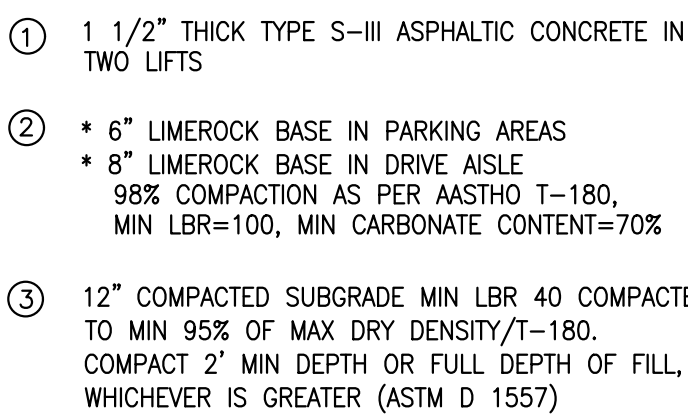
NOT TO SCALE

STANDARD DIMENSIONS

1. ALUMINUM SHEET OF SAME THICKNESS (GAGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING.
2. BAFFLE SHALL BE AS MANUFACTURED BY SOUTHERN CULVERT OR ENGINEER'S APPROVED EQUAL.
3. NEOPRENE GASKET (3/8"x 2") SHALL BE INSTALLED AT ALL BAFFLES



NOT TO SCALE



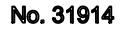
NOT TO SCALE

SUITE #2

WESTON, FLORIDA 33326

PHONE: (005) 555 4124

EB#0004432



SEAL

BUILDING TYPE: X

BRAND DESIGNER: DANIEL DICKSON

STORE NUMBER: TR 4500

1991 M. DRAFT BOOK

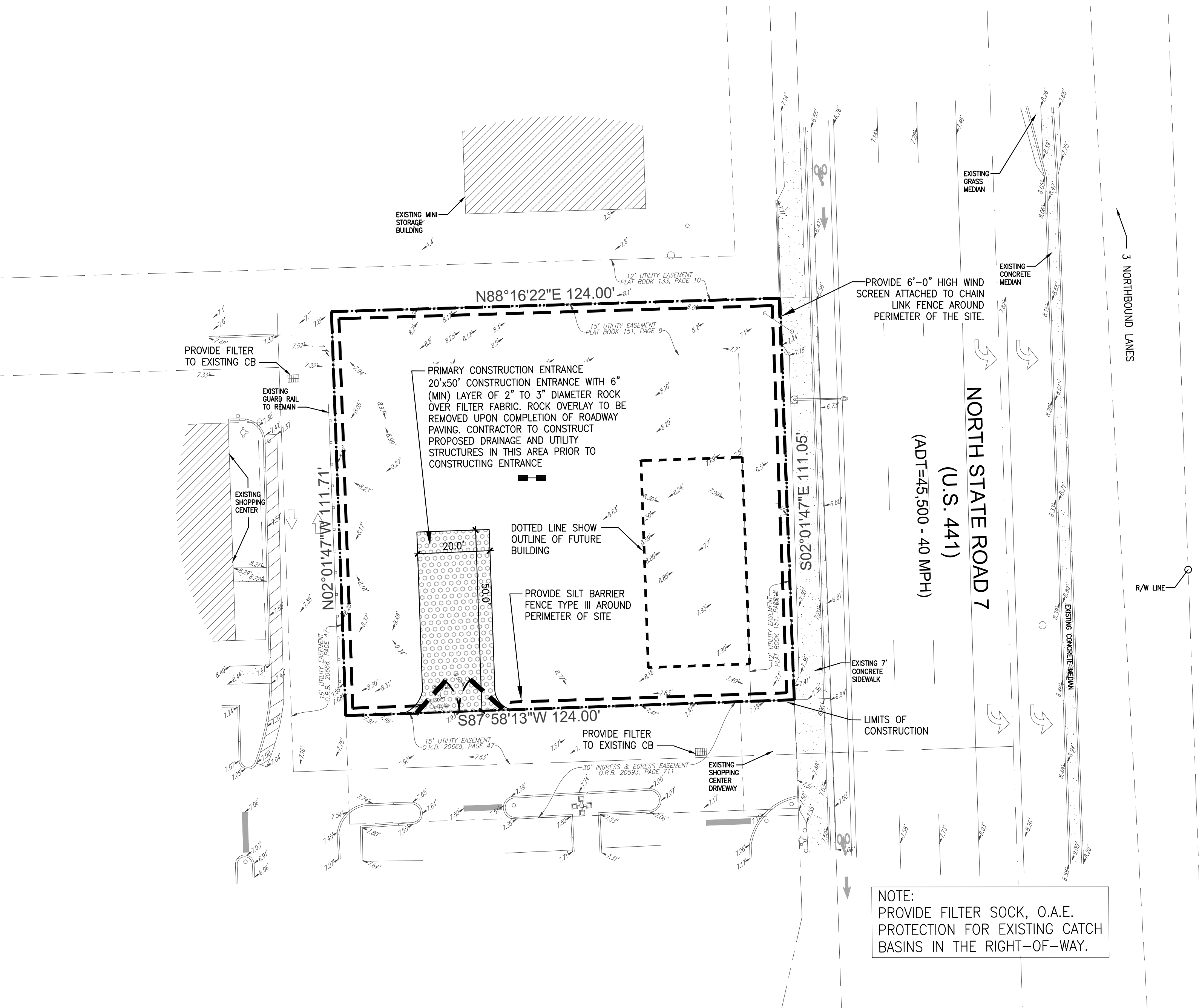
JOB NO.: _____

1700 DELL

[REDACTED]

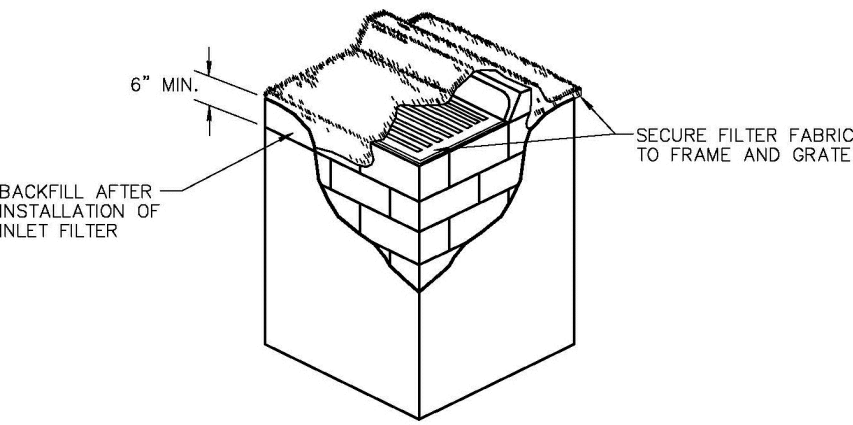
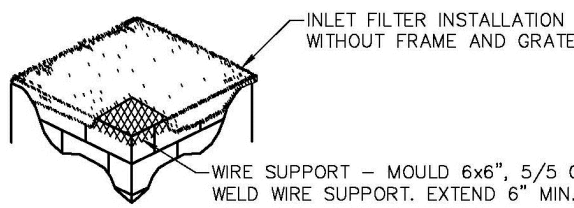
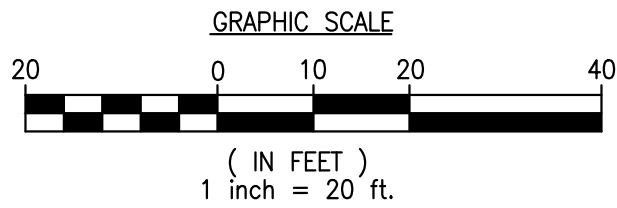
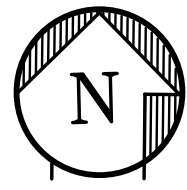


[REDACTED]



SURFACE WATER POLLUTION PREVENTION PLAN

1"=20'-0"



- NOTES:
- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 - CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL

N.T.S.

TEMPORARY ENTRANCE:

CONSTRUCTION SPECIFICATIONS:
THIS AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. THE GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO APPROVED SPECIFICATIONS IF WASH ROCKS ARE USED. THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURE'S SPECIFICATIONS.

MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLAW OR MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH (5 cm) STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENTS. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. LOOK FOR SIGNS OF TRUCKS AND TRAILERED EQUIPMENT "CUTTING CORNERS" WHERE THE GRAVEL MEETS THE ROADWAY. SWEEP THE PAVED ROADS DAILY FOR SEDIMENTS AND STONES.

MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

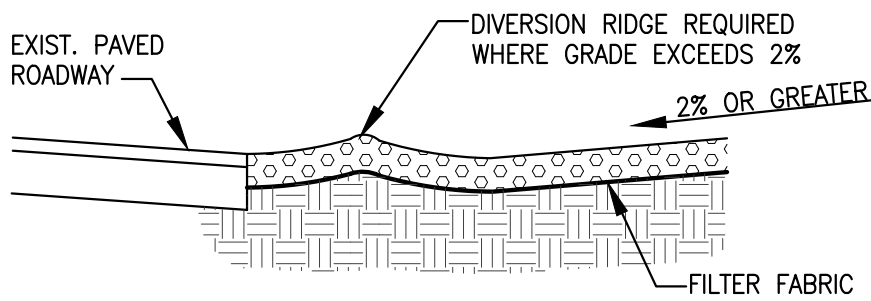
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY WISE MANNER BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

NOTES:

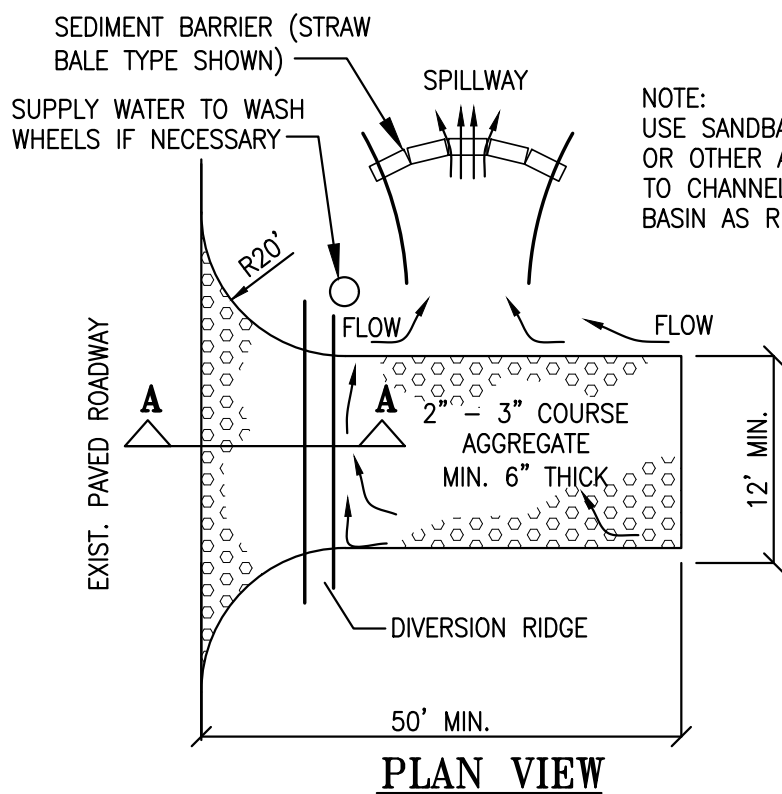
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY. THIS MAY REQUIRED TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION SEQUENCE

- TEMPORARY CONSTRUCTION FENCE
- SILT FENCE AND WIND SCREEN
- TEMPORARY SEDIMENTATION BASIN AND RELATED SWALES
- CLEAR AND GRUB
- TEMPORARY STABILIZATION
- SITE IMPROVEMENTS AND BUILDING CONSTRUCTION
- FINAL STABILIZATION
- REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES



SECTION 'A-A'

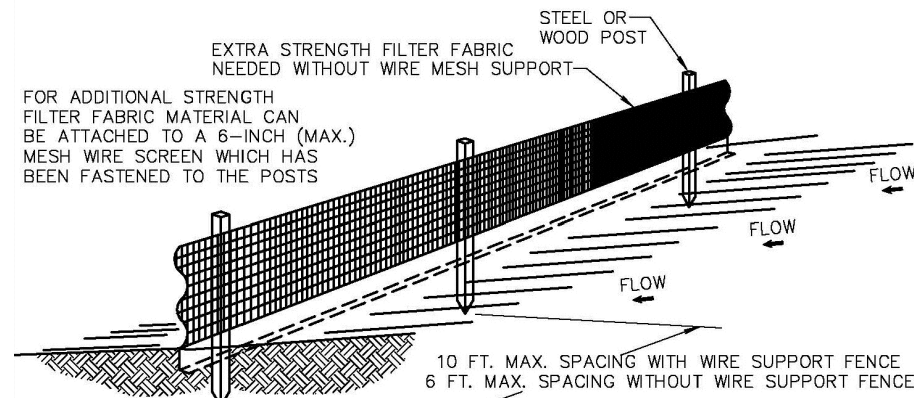


PLAN VIEW

NOTES:

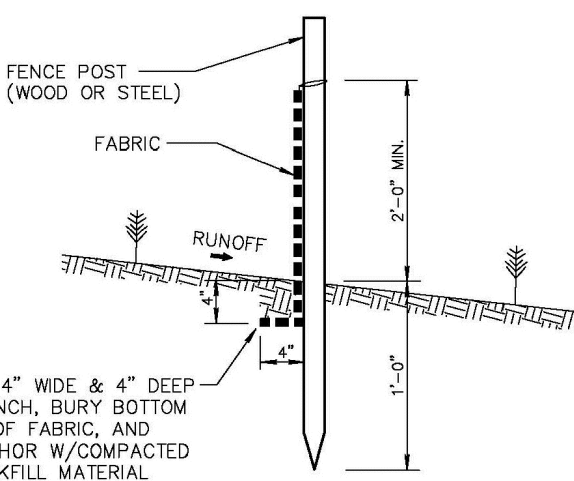
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TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



NOTES:

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.

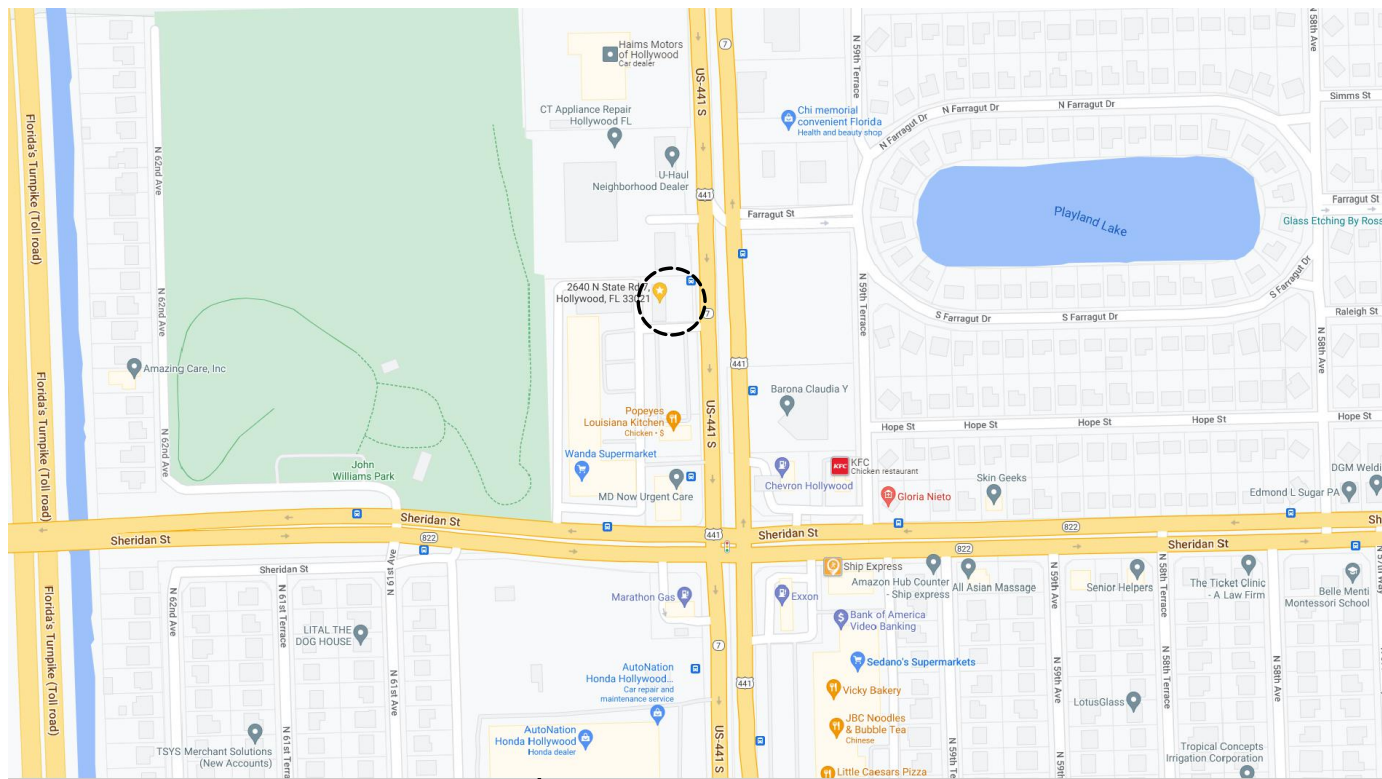


SILT FENCE SECTION

NOT TO SCALE

SILT FENCE INSTALLATION DETAILS

N.T.S.



TACO BELL SITE

LOCATION MAP

NOT TO SCALE



THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION:

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

CKE GROUP INCORPORATED
engineering • architecture • planning
17190 ROYAL PALM BLVD.
SUITE #2
WESTON, FLORIDA 33326
PHONE: (305) 558-4124
FAX: (305) 826-0619
EB#0004432

SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
RICARDO J. PEREZ
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE: _____
BUILDING TYPE: _____ XS6
PLAN VERSION: _____
BRAND DESIGNER: DANIEL DICKSON
SITE NUMBER: 315998
STORE NUMBER: TB-459380
P/A/P/M: DIANA DeCICCO
DRAWN BY: AG
JOB NO.: _____

TACO BELL
2640 N SR-7,
HOLLYWOOD, FL 33021



SURFACE WATER POLLUTION PREVENTION PLAN

C-6

PLOT DATE: _____



SECTION AT SLAB FOOTING

3 JAMB & GATE DETAIL

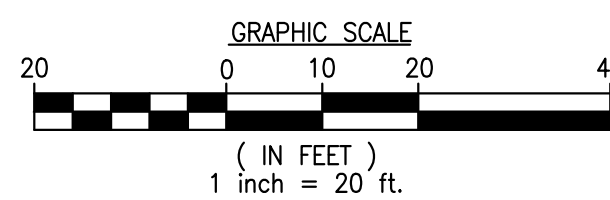
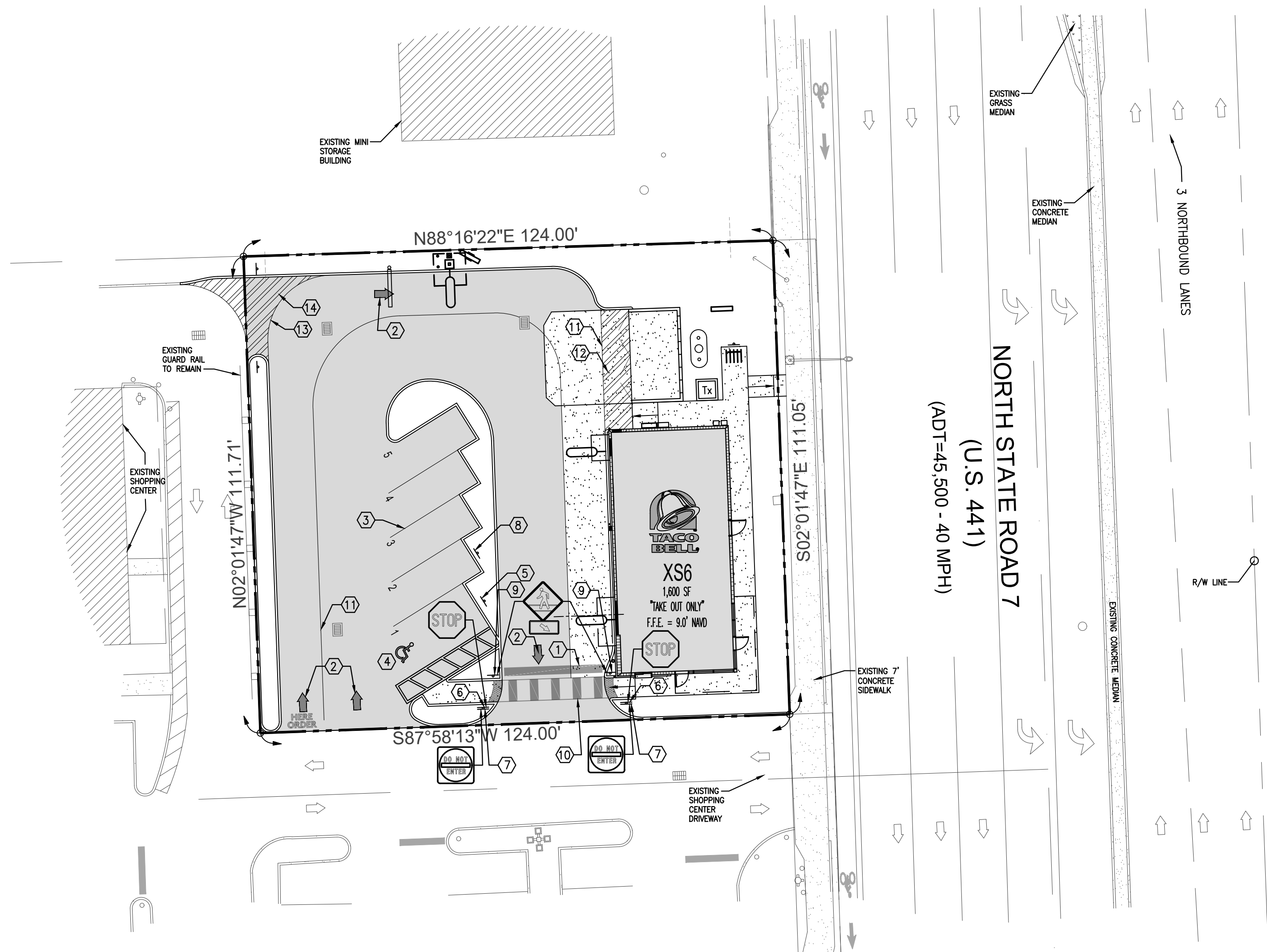
REAR ELEVATION

2 SECTION THRU TYPICAL WALL

LEFT SIDE ELEVATION

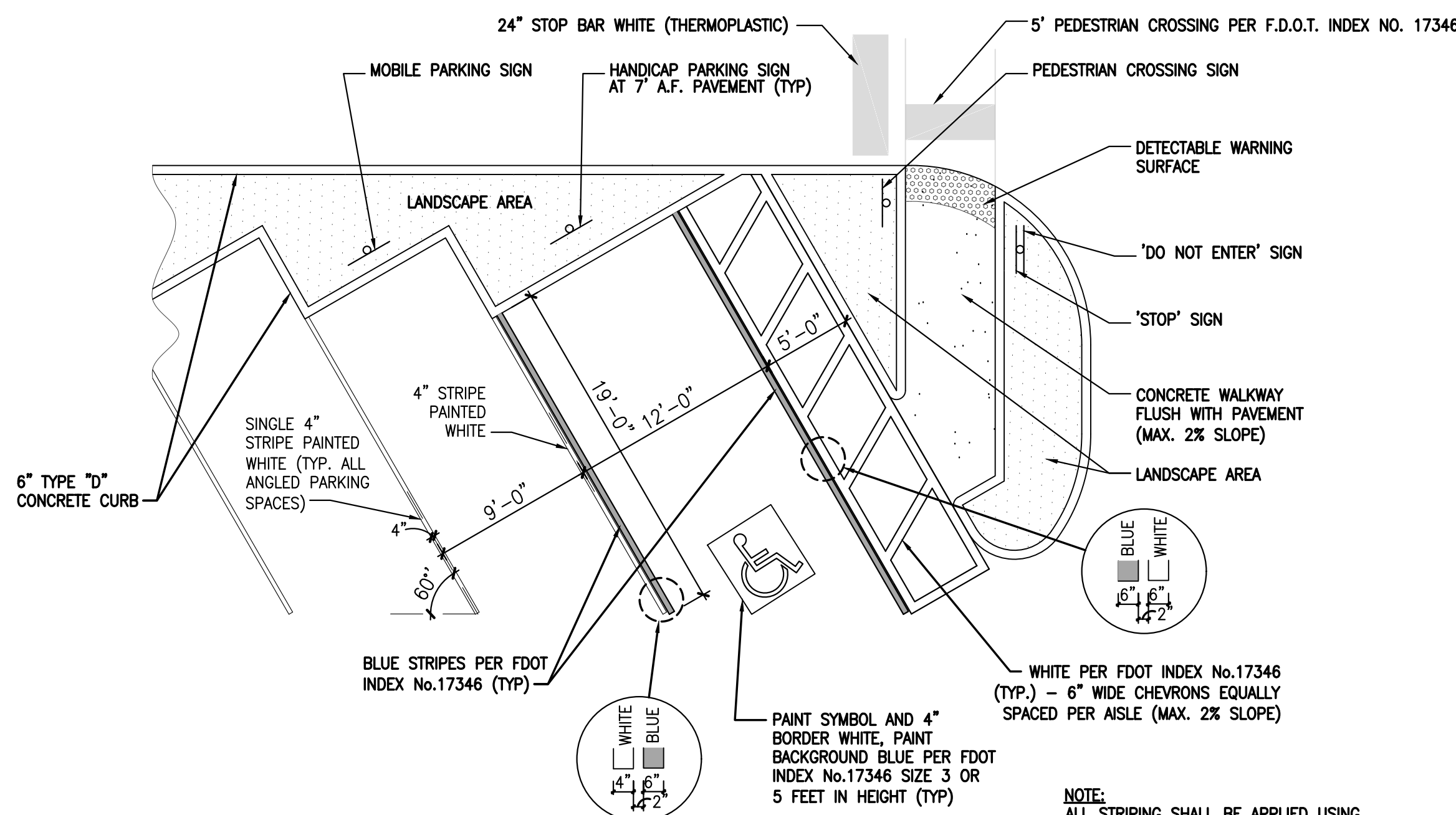
RIGHT SIDE ELEVATION

PLOT DATE: _____



PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1:20

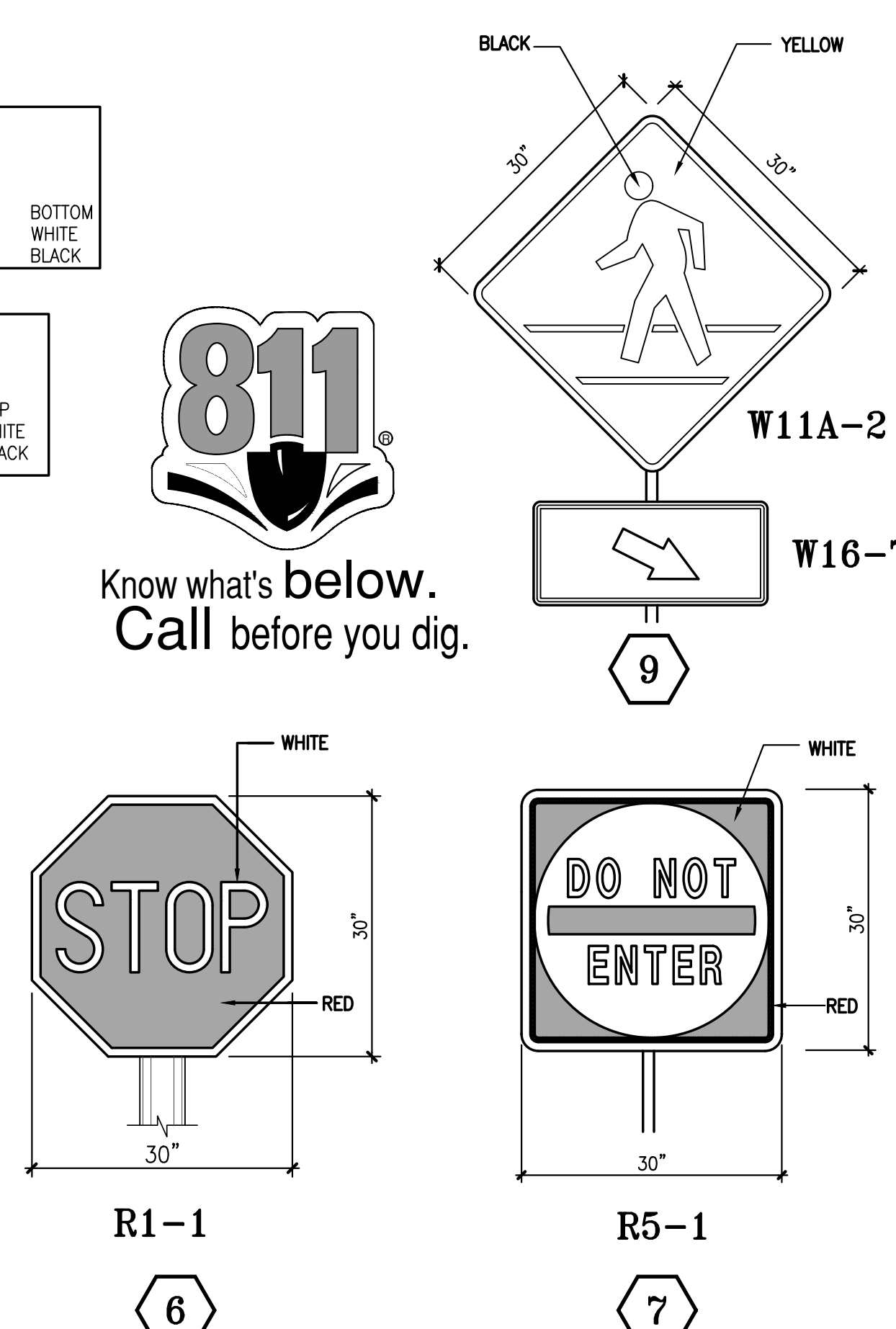
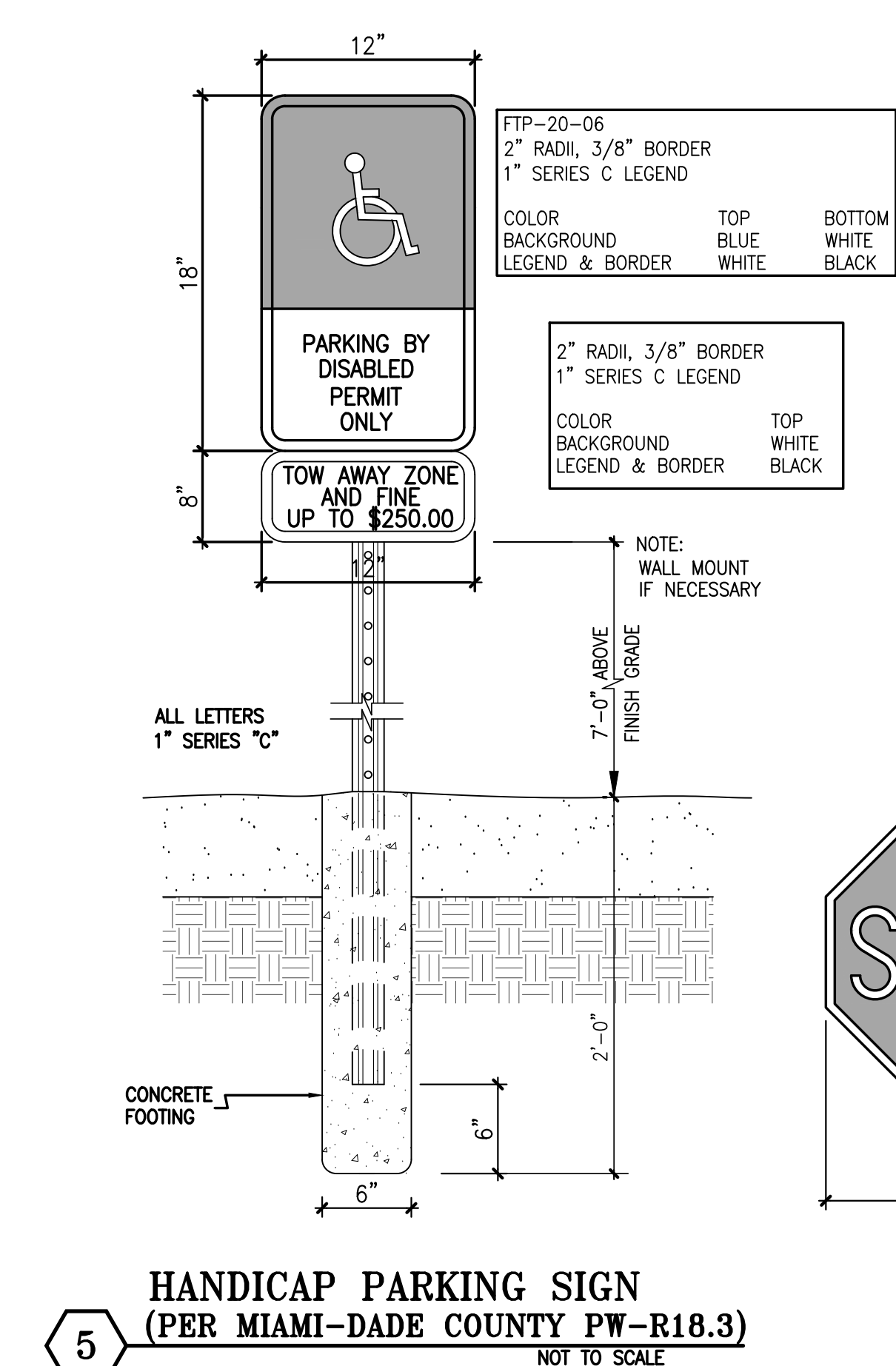
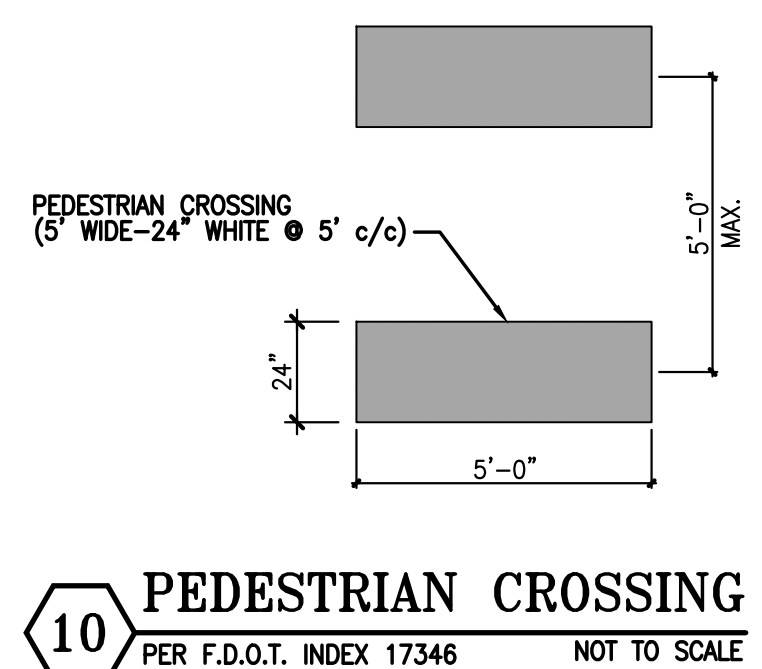
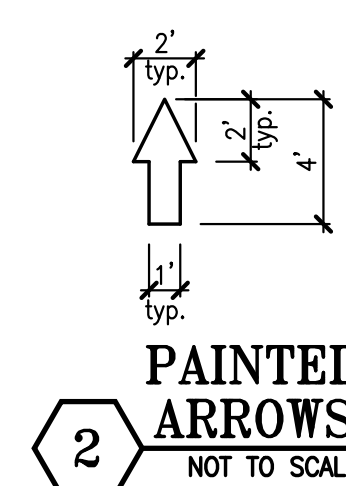


3 4 STANDARD AND HANDICAP PARKING DETAILS

NOT TO SCALE

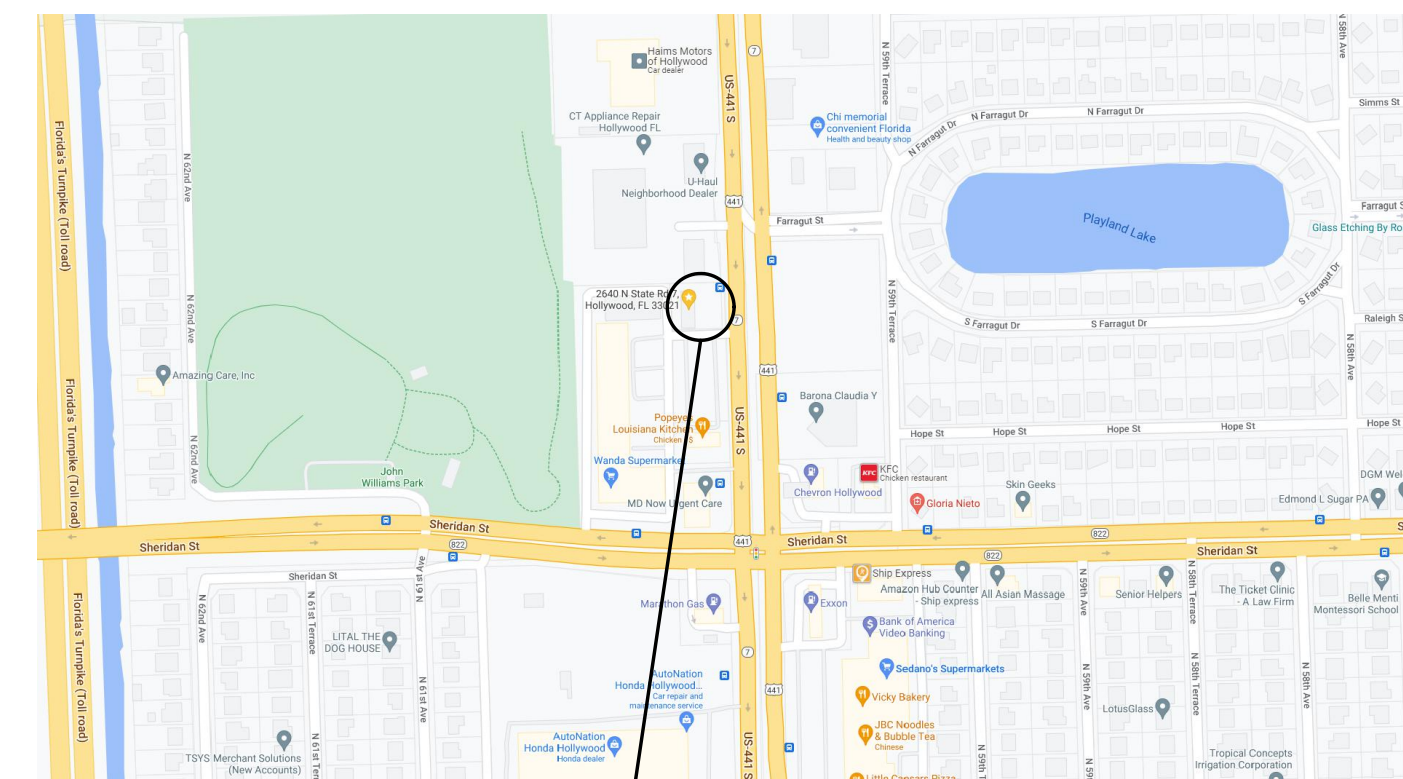
CONSTRUCTION NOTES:

- 24" STOP BAR WHITE (THERMOPLASTIC)
- TRAFFIC ARROWS PAINTED WHITE.
- 4" WHITE STRIPES (TYPICAL AT STANDARD PARKING SPACES)
- HANDICAP PARKING AS PER DETAIL.
- HANDICAP SIGN 7'-0" A.F.P.
- STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- STANDARD F.D.O.T. HIGH INTENSITY "DO NOT ENTER" SIGN. R5-1 (30"x30")
- MOBILE ORDER PICK-UP PARKING SIGN
- PEDESTRIAN CROSSING SIGN
- PEDESTRIAN CROSSING PER F.D.O.T. INDEX No. 17346
- 6" WHITE STRIPE (THERMOPLASTIC)
- 6" WHITE STRIPE- 45' @ 24" O.C. (THERMOPLASTIC)
- 6" DOUBLE YELLOW STRIPE (THERMOPLASTIC)
- 18" YELLOW STRIPES 45' @ 4" O.C. (THERMOPLASTIC)



STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS

SCALE: N.T.S.



LOCATION MAP

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION:

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

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17190 ROYAL PALM BLVD.
SUITE #2
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EB#0004432

SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
RICARDO J. PEREZ
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE: _____
BUILDING TYPE: XS6
PLAN VERSION: _____
BRAND DESIGNER: DANIEL DICKSON
SITE NUMBER: 315998
STORE NUMBER: TB-459380
PA/PM: DIANA DeCICCO
DRAWN BY: AG
JOB NO.: _____

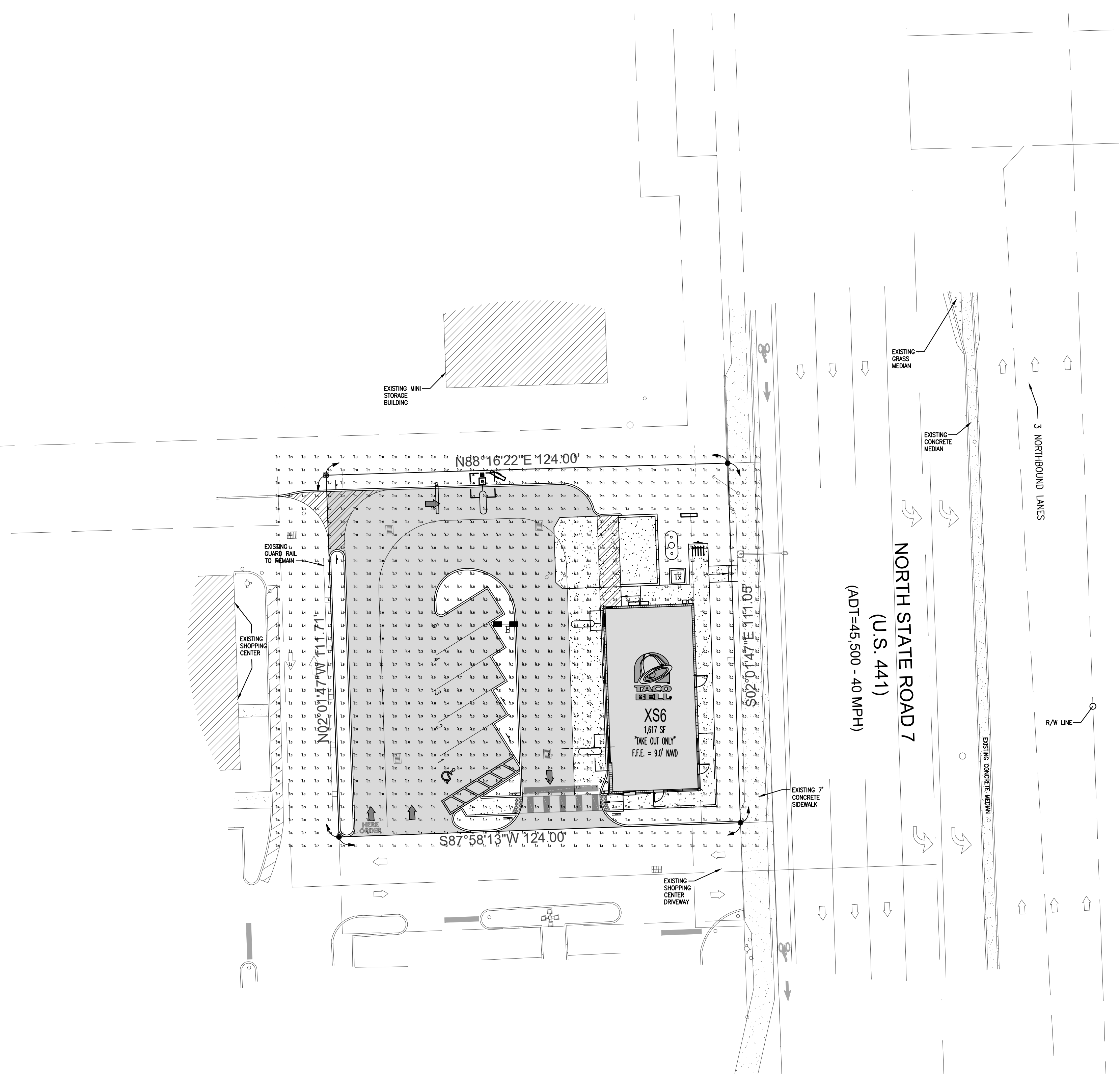
TACO BELL
2640 N SR-7,
HOLLYWOOD, FL 33021



PAVEMENT MARKING & SIGNAGE PLAN

C-8

PLOT DATE: _____

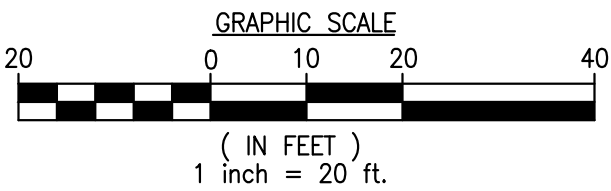


Know what's below.
Call before you dig.



LIGHTING PLAN

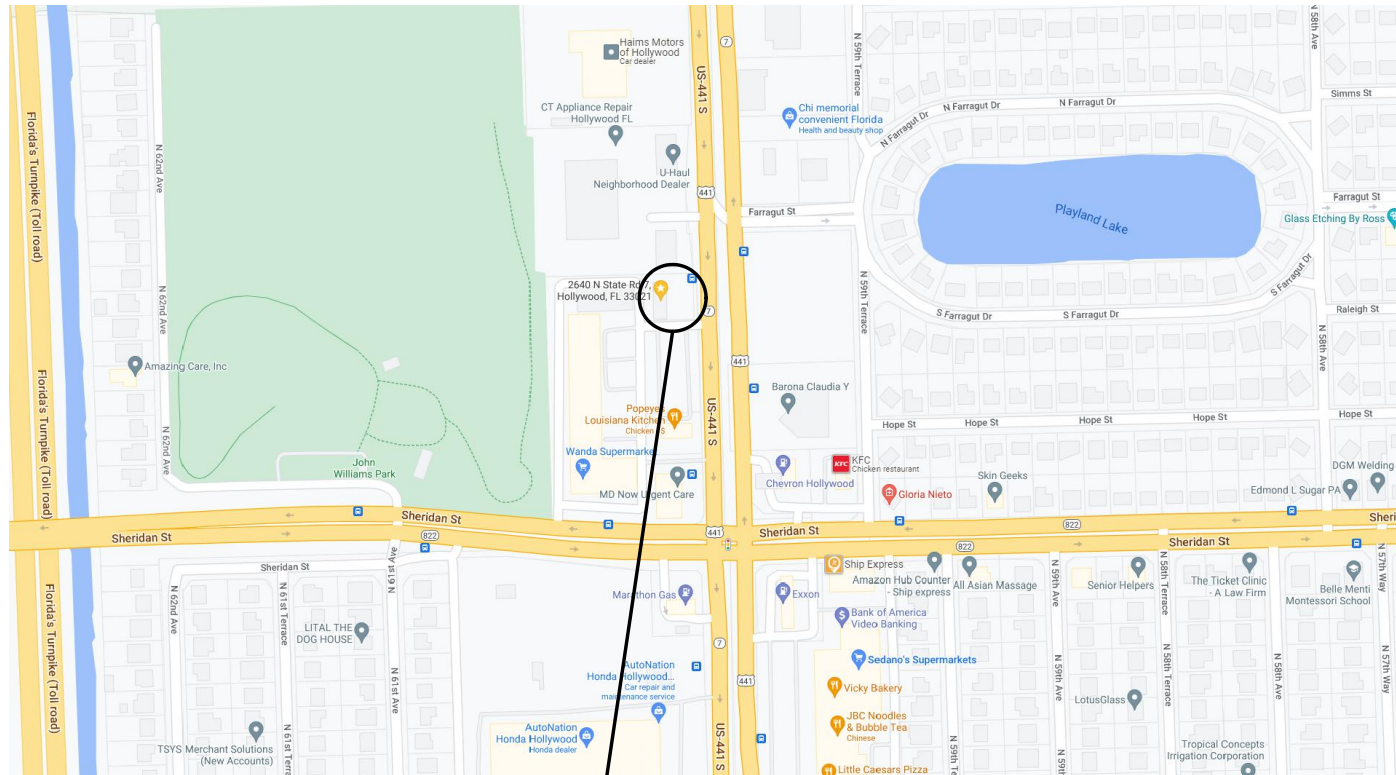
SCALE: 1:20



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCULATION POINTS @ GRADE	Illuminance	Fc	2.72	10.4	0.0	N.A.	N.A.
PARKING & DRIVING SUMMARY	Illuminance	Fc	4.35	9.4	1.5	2.90	6.27

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF
	1	B	D180°	SLM-LED-30L-SIL-SW-50-70CRI-D180-24' POLE+2' BASE	1.000	1.000	1.000

Arr. Lum. Lumens	Arr. Watts
62474	464



TACO BELL SITE

LOCATION MAP

NOT TO SCALE



THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION:

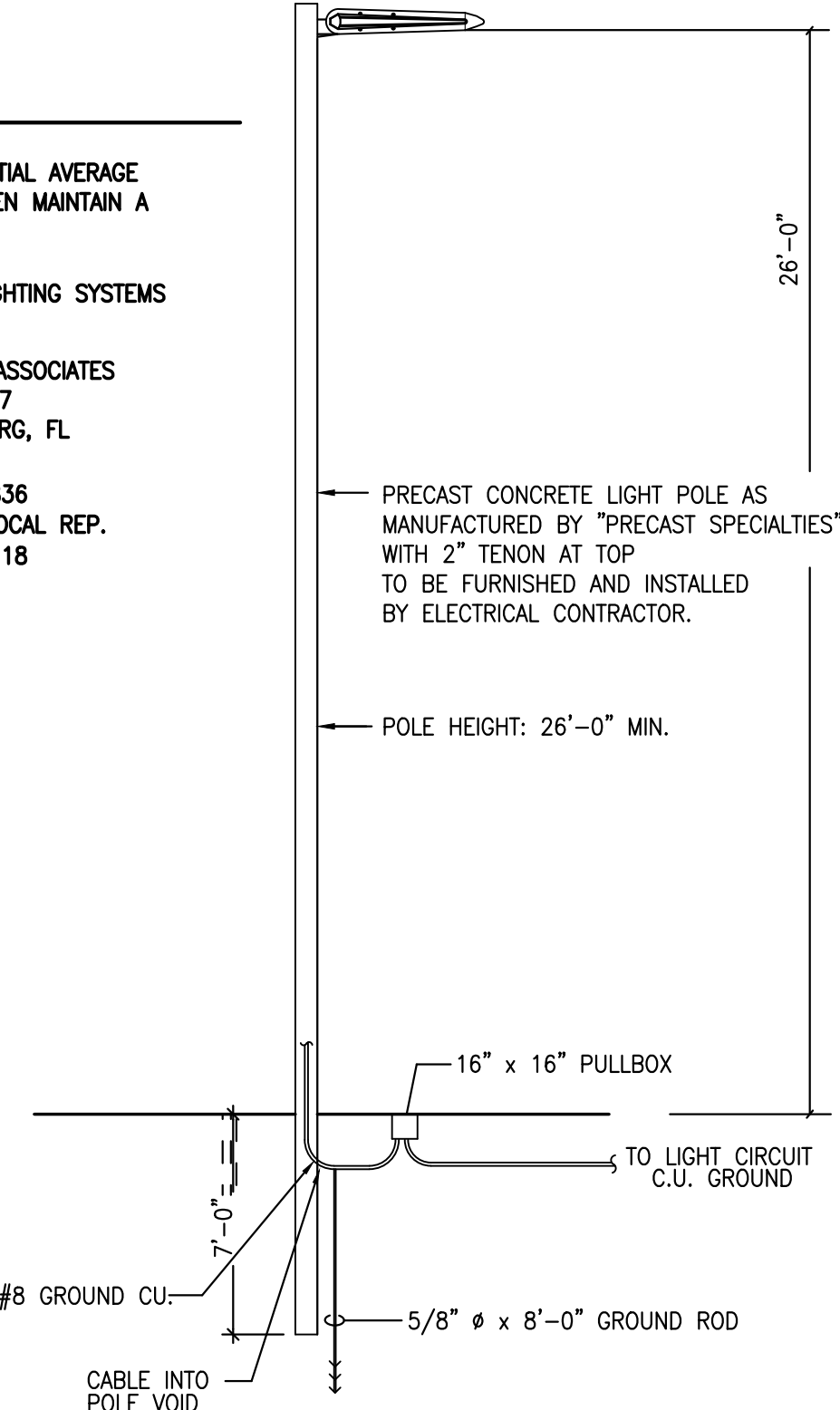
(TITLE COMMITMENT)

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SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

NOTES:

- LOT IS REQUIRED TO HAVE AN INITIAL AVERAGE OF 13-15 FOOTCANDLES AND THEN MAINTAIN A MINIMUM OF 1 FOOTCANDLE.
- APPROVED MANUFACTURER: LSI LIGHTING SYSTEMS
- AVAILABLE FROM: LUCAS FORD ASSOCIATES
P.O. BOX 7027
ST. PETERSBURG, FL 33734
(800) 262-6836
CHRIS EAST LOCAL REP.
(954) 971-1118

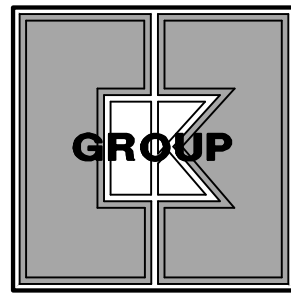


CROSSOVER LIGHTING

NOT TO SCALE

NOTES

- POLES / LUMINARIES SHALL BE RATED FOR 170 MPH.
- FIXTURE SUPPORT SHALL BE PER NEC 410-15.
- LEVELS OF PARKING ILLUMINATION TO COMPLY WITH MIAMI-DADE COUNTY CODE SECTION 8C-3.



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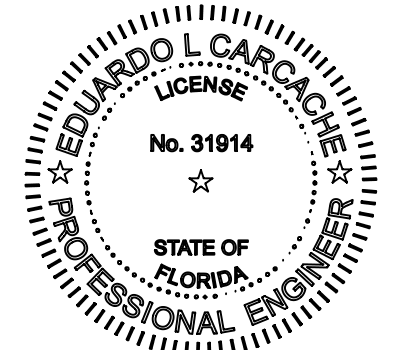
SUITE #2

WESTON, FLORIDA 33326

PHONE: (305) 558-4124

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EB#0004432



SEAL

EDUARDO L. CARCACHE

CIVIL ENGINEER-PE 31914

RICARDO J. PEREZ

ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE:

BUILDING TYPE: XS6

PLAN VERSION:

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315998

STORE NUMBER: TB-459380

PA/PM: DIANA DeCICCO

DRAWN BY: AG

JOB NO.:

TACO BELL

2640 N SR-7,
HOLLYWOOD, FL 33021



XS6

LIGHTING PLAN

CE-1

PLOT DATE:

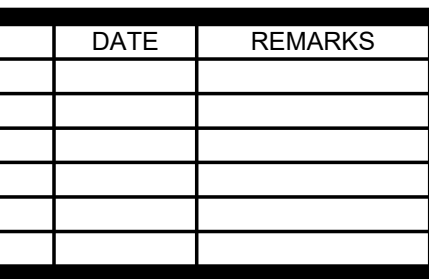
1. GO TO THE REFERENCE VERSION OF THE YUM BLUELINE WEBSITE AT: " WWW.YUMBLUELINE.COM "
2. IN THE "USER" SECTION CHOOSE " GENERAL " FROM THE PULL DOWN MENU
3. IN THE "PASSWORD" SECTION TYPE IN " J212J*KLA! "

P = INDICATES THAT SCOPE IS ALREADY IN THE PROTOTYPE DRAWINGS

* = INDICATES OPTIONAL ITEMS

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* = INDICATES OPTIONAL ITEMS

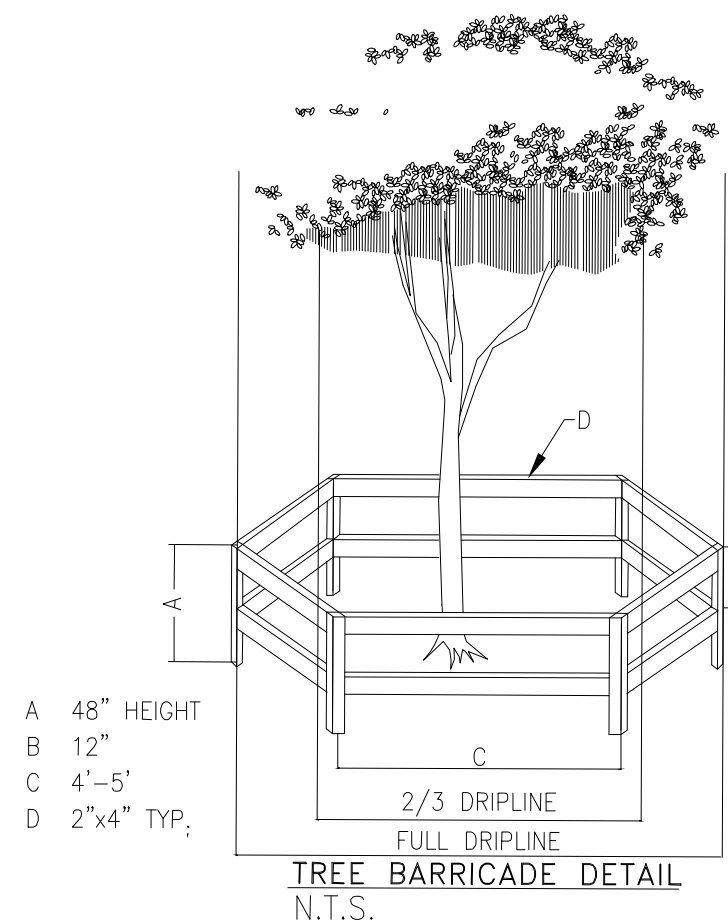


TACO BELL
2640 N SR-7,
HOLLYWOOD, FL 33021



G1.0

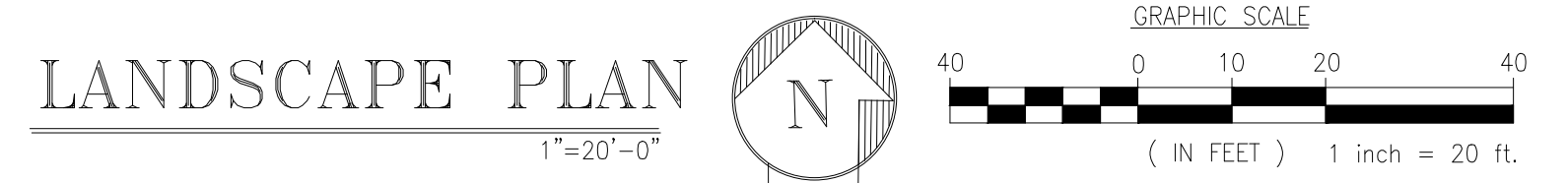
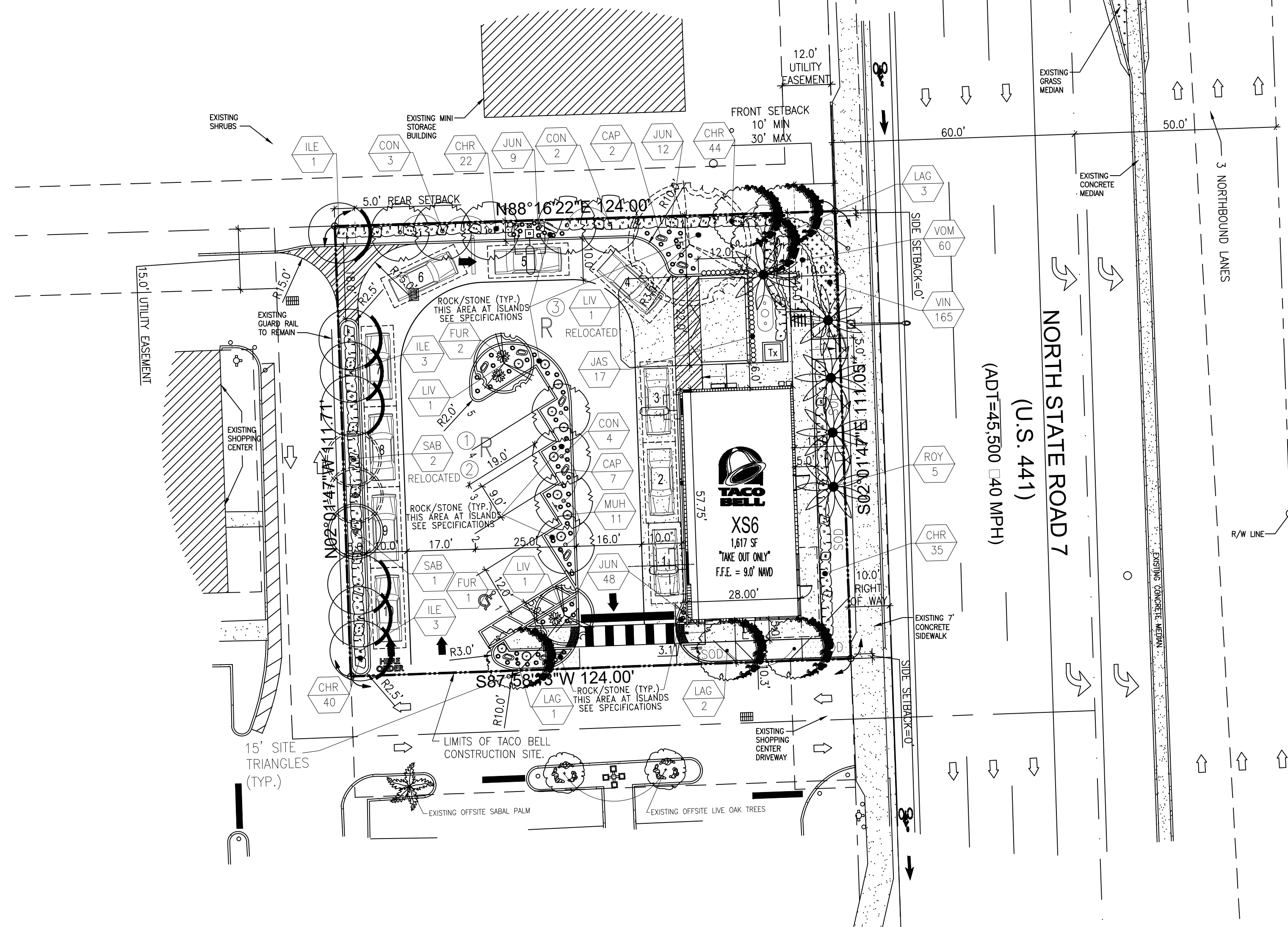
PLOT DATE:



- TREE BARRICADE NOTES:**
1. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS MINIMUM PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
 2. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005." CURRENT EDITION RESPECTIVELY.
 3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE.
 4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
 5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
 6. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
 7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
 8. TRANSPLANT TREE WITH 60" TREE SPADE OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
 9. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER (+ - 1") THAN THE FINISHED GRADE.

EXISTING TREES TO REMAIN REQUIRED BARRICADES

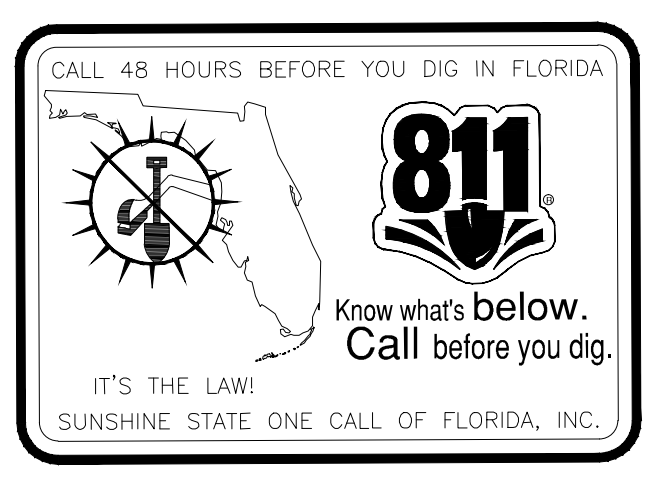
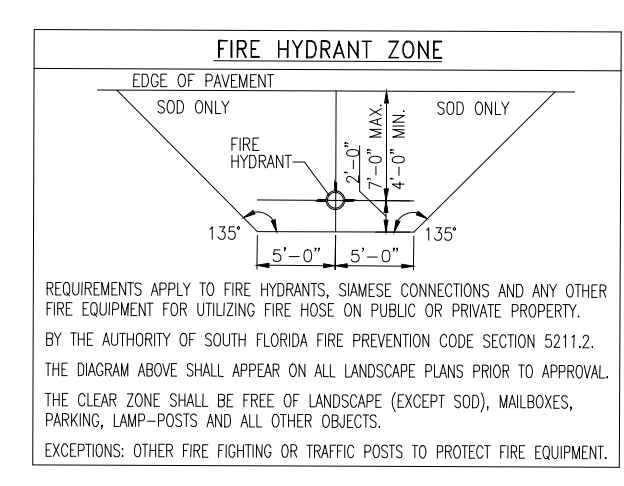
"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



DROUGHT TOLERANCE
** VERY
* MODERATE

FLORIDA -FRIENDLY LANDSCAPING & DESIGN SHALL BE UTILIZED GREEN BUILDING ORDINANCE REQUIRED SECTION 3-103 80% OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).

LANDSCAPE LEGEND					
DROUGHT TOLERANCE	KEY	QTY.	PLANT NAME	NATIVE	SIZE
	CODE	NEW EXISTING	BOTANICAL NAME / COMMON NAME	YES NO	HT. X SPR., CALIPER
**	OAK	2 1	QUERCUS VIRGINIANA / "CATHEDRAL"	YES	12"x6"-7" F.G. 2.5" CALIPER @D.B.H. 5' C.T.-RELOCATE (1) EXISTING
**	LAG	6 --	LAGERSTROEMIA INDICA / "NATCHEZ"	-- NO	12"x6"-7" F.G. 2.5" CALIPER @D.B.H. 5' C.T. "STANDARD"
**	ROY	5 --	ROYSTONIA ELATA / FLORIDA ROYAL PALM	YES	22"-24" X 18" F.G. 12.0" CAL @D.B.H. 8' G.W., 10' C.T. MINIMUM
**	CON	9 --	CONOCARPUS SERICEUS / SILVER BUTTWOOD	YES	12"x6"-7" F.G. 2.5" CAL @D.B.H. 5' C.T. MIN "STANDARD"
**	ILE	7 --	ILEX CASSINE / DAHOON HOLLY	YES	12"x6"-7" F.G. 2.5" CAL @D.B.H. 5' C.T.
**	SAB	1 2	SABAL PALMETTO / CABBAGE PALM	YES	12"-14"-16" C.T. F.G. 10' C.T. MINIMUM-RELOCATE (2) EXISTING
**	VOM	60 --	ILEX VOMITORIA / DWARF YAUPOIN	YES	6" FULL 1 GAL 24" O.C.
**	JAS	17 --	TRACHELOSPERMUM JASMINOIDES/ STAR JASMINE	-- NO	24"x18" 3 GAL 24" O.C. "TRELIS"
**	FUR	3 --	FURCRAEA FOETIDA / GIANT FALSE AGAVE	-- NO	30" X 30" AS SHOWN
**	MUH	11 --	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	YES	30" 5 GAL. 36" O.C. AS SHOWN
--	CAP	9 --	SANDSTONE BOULDER/DESERT SAND COLOR	--	34"x26"x20" AS SHOWN (INSTALL HALF WAY INTO GROUND)
**	CHR	141 --	CHRYSOBALANUS ICACO/"RED TIP"	YES	24"x18" 3 GAL 24" O.C. FULL TO BASE
**	JUN	69 --	JUNIPER HORIZONTALIS / CREEPING JUNIPER	-- NO	6" 1 GAL 18" O.C. FULL POT
**	VIN	165 --	VINCA MAJOR/PERIWINKLE *ALT.=HELIANTHUS DEBILIS	-- NO	6" 1 GAL 18" O.C. FULL POT
*	SOD	725 --	ST. AUGUSTINE "FLORATAM" SOLID SOD	--	AS SHOWN



SITE AND CODE DATA								
DESCRIPTION			TACO BELL RESTAURANT AT THE SHERIDAN OAK PLAZA					
CURRENT ZONING			C-MU (Central Mixed-Use District)					
CURRENT LAND USE			Commercial					
CURRENT USE			Commercial					
1 GENERAL INFORMATION								
DESCRIPTION			TYPE			GROSS BUILDING AREA		
NON-RESIDENTIAL			New Restaurant			1,600 SF		
FAR			N/A					
TOTAL SITE AREA			13,811 (NET) SF			(0.317 Acres)		
TOTAL BUILDING			1,617 SF			11.71%		
TOTAL VEHICULAR USE AREA			8,183 SF			59.25%		
INTERIOR LANDSCAPE AREA (MINUS PERIMETER LANDSCAPE SET BACK AREA)			2,909.7 SF			35.94% of vehicular use area		
TOTAL OPEN SPACE AREA			2,909.7 SF			21.07%		
2 SETBACKS								
NEW RESTAURANT								
DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED
FRONT (EAST)	10'-0"/30'-0"	12'-0"						
REAR (WEST)	5'-0"	84'-0"						
SIDE (NORTH)	0'-0"	43'-0"						
SIDE (SOUTH)	0'-0"	10'-0"						
3 MINIMUM ACTIVE USES								
FRONTAGE			REQUIRED			PROVIDED		
U.S. 441 (111.05 FT)			60%			57.75' (52%)		
4 HEIGHTS PROVIDED								
NEW RESTAURANT								
DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED
HEIGHT	140'-0"	21'-4"	HEIGHT	140'-0"	-	HEIGHT	140'-0"	-
5 PARKING DATA								
DESCRIPTION			MINIMUM 1 PER 150 SF BUILDING AREA			REQUIRED MINIMUM		REQUIRED MAXIMUM
NEW RESTAURANT, TAKE OUT			Standard parking spaces for 1,617 SF			11 sp		-
TOTAL STANDARD PARKING SPACES						11 sp		-
						PROVIDED 5 SPACES INCLUDING 1 HC		
6 PROJECT SUMMARY								
SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS AND SPECIAL EXCEPTION								
SPECIAL EXCEPTION					REQUIRED	PROVIDED		
VARIANCE								
		PARKING SPACES			11	5	7.2.28	
		ACTIVE USE			60%	52%	C-MU (ii)	
		TRANSPARENCY			50%	27.90%	TOC D-D.3.a(ii)(c)	

SEE L-2 SPECIFICATIONS:

THE USE OF A WEED BARRIER IN PLANTING BEDS IS MANDATORY. ALL PLANTING BEDS TO BE SURROUNDED BY EDGING.

LANDSCAPE DATA		
DESCRIPTION	REQUIRED	PROVIDED
1 TREE PER 1,000 S.F. PERVIOUS AREA: (2,909.70 S.F.)	3	3
PERIMETER BUFFER: 1 TREE PER 20 L.F. (398.76)	20	20
1 TREE PER 190 S.F. TERMINAL ISLAND:	2	2
STREET TREES: 1 PER 50 L.F.		
STREET FRONTAGE: 111.05 L.F.	2	2
AT GRADE PARKING 1 TREE PER 20 L.F.	4	4
INTERIOR LANDSCAPE AREA - 25.00% OF (V.U.A.):	1,945.81	1,945.81/25%
TOTAL TREES:	31	31
NATIVE/S.F.W.M. TREES 80% MIN.:	25	25 (80%)
NATIVE/S.F.W.M. SHRUBS 80% MIN.:	186/80%	212/91%

1. SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
2. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
3. LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS; SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.
4. ALL EXISTING TREES SHALL BE TRIMMED AND SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI) A300-2005", CURRENT EDITION RESPECTIVELY.
5. LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
6. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION AS PER CITY OF HOLLYWOOD. (SEE DETAIL)
7. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
8. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
9. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
10. LANDSCAPE CONTRACTOR SHALL NOT INSTALL PLANT MATERIALS WITHIN ROOTBALLS OF TREES AND OR PALMS AND SHOULD BE INSTALLED OUTSIDE ROOTBALL AREAS AS REQUIRED.
11. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER (+ - 1") THAN THE FINISHED GRADE.
12. SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SHOWN PRIOR TO SUBMISSION OF BIDS; REQUIRED (2) APPROVALS AS FOLLOWS: ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT & "CITY OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER" FOR CONSIDERATION AND REQUIRED APPROVAL; IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
13. A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30" & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED. TREES SHALL BE MAINTAINED WITH SIX (6") CLEAR TRUNK TO KEEP CONTINUALLY ALLOWANCE FOR CLEAR NATURAL VISUAL SURVEILLANCE TO THE SITE. SHRUBBERY SHALL NOT EXCEED THREE (3') AT MATURITY; TREES SHALL BE PLANTED 15' FROM LIGHT STANDARDS TO MAINTAIN ILLUMINATION LEVELS AS SPECIFIED.
14. LANDSCAPE CONTRACTOR TO CALL THE CITY OF HOLLYWOOD LANDSCAPE INSPECTOR AT (954)921-3471 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO INSTALLATION AS REQUIRED. LANDSCAPE CONTRACTOR TO CONTACT CITY LANDSCAPE INSPECTOR PRIOR TO RELOCATION OF EXISTING TREES OR PALMS FOR CONDITION OF EXISTING MATERIAL AND SHALL BE APPROVED UPON INSPECTION OR IF DEEMED NOT FEASIBLE, THAN A NEW TREE/PALM SHALL BE INSTALLED IF REQUIRED.
15. EXISTING TREES SHALL BE PRUNED AND MAINTAINED TO HAVE 6"-8" MINIMUM CLEARANCE OVER SIDEWALKS AS REQUIRED.
16. ALL SOD TO BE HEALTHY, WEED/PEST FREE (INCLUDING FUNGUS AND DISEASE) ST. AUGUSTINE FLORATAM SOLID; LAID SMOOTH WITH TIGHT ALTERNATING/ABUTTING JOINTS WHICH CONFORM TO CURBS AND PLANTERS.
17. MULCH RINGS SHALL BE PROVIDED FOR ALL TREES PLANTED IN SOD AREAS-4" MINIMUM DIAMETER, 6" DIAMETER FOR CANOPY TREES.

NOTE:

CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED 6" MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

COMMERCIAL GREEN BUILDING PRACTICES INCORPORATED INTO PLANS

(PER ORDINANCE 0-2011-06)

1. ENERGY STAR APPROVED ROOFING MATERIALS.
2. AT LEAST 80% OF PLANTS, TREES AND GRASS PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION). LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
3. UTILIZE LED LIGHTS FOR OVER 90% OF PARKING LOT LIGHTING.
4. REFRIGERANT: ALL BUILDING HVAC & R SYSTEMS ARE FREE OF CFU'S AND HALONS.
5. REDEVELOPMENT OF EXISTING SITE - LOCATE THE BUILDING ON A SITE THAT HAS EXISTING HARDCAPE OR BUILDINGS THAT MUST BE REPLACED BY THE NEW DEVELOPMENT AND HAS EXISTING UTILITY CONNECTIONS TO THE SITE.
6. ACCESS TO PUBLIC TRANSPORTATION - THE SITE IS LOCATED WITHIN ¼ MILE OF EXISTING RAIL NODE OR ¼ MILE OF AT LEAST 1 ACTIVE BUS STOP.
7. SIDEWALKS - PROVIDE SIDEWALKS FOR ALL PATHS TO ADJACENT CITY STREETS THAT ARE MINIMUM 4" WIDE WITH CONCRETE OR OTHER FIRM, SLIP RESISTANT SURFACES.
8. REDUCE HEAT ISLAND EFFECT - UTILIZE A COOL-ROOF THAT WILL HAVE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 78, WHICH REDUCES THE HEAT ISLAND EFFECT.
9. DURABLE EXTERIOR MATERIALS-BUILDING DESIGN SHALL INCLUDE DURABLE EXTERIOR BUILDING WALL AND WINDOW MATERIALS TO PREVENT DAMAGE FROM HIGH WINDS. THE EXTERIOR SURFACE OF A MINIMUM OF 80% OF WALLS SHALL BE CONCRETE OR BRICK MASONRY. WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING.
10. LOW FLOW TOILET FIXTURES: THE TOILETS SHALL HAVE A MAXIMUM WATER USE OF 1.28 GPF. URINALS SHALL HAVE A MAXIMUM WATER USE OF 0.5 GPF. CALCULATIONS MUST BE SUBMITTED WITH PLANS. SYSTEM MUST PASS ALL REQUIRED INSPECTIONS BY PLUMBING INSPECTOR.

LEGAL DESCRIPTION:
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAD LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

MEETING DATES:

PACO DEC 19, 2022
PRELIMINARY TAC FEB 6, 2023
FINAL TAC

engineering • architecture • planning

17190 ROYAL PALM BLVD.
SUITE #2
WESTON, FLORIDA 33326
PHONE: (305) 558-4124
FAX: (305) 826-0619
EB#0004432

SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER PE 31914
RICARDO J. PEREZ
ARCHITECT AR 14985

This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal.

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RICHARD BARTLETT LANDSCAPE, INC.
14417 STARBUK LANE
WELLINGTON, FL 33414
TEL: (561) 758-7707
LANDSCAPE ARCHITECTURE LC26000352
EMAIL: rb@richardbartlettlandscape.com
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RBL#23-01-2199
DRAWN BY: RICK BARTLETT
CHECKED: RGB/MER

DATE	REMARKS

CONTRACT DATE: 2/26/2021
BUILDING TYPE: S6
PLAN VERSION: FEBRUARY 2022
BRAND DESIGNER: DANIEL DICKSON
SITE NUMBER: 315998
STORE NUMBER: TB 459380
PAP/PM: DIANA D. CICCO
DRAWN BY: AG
JOB NO.: CKE 1746

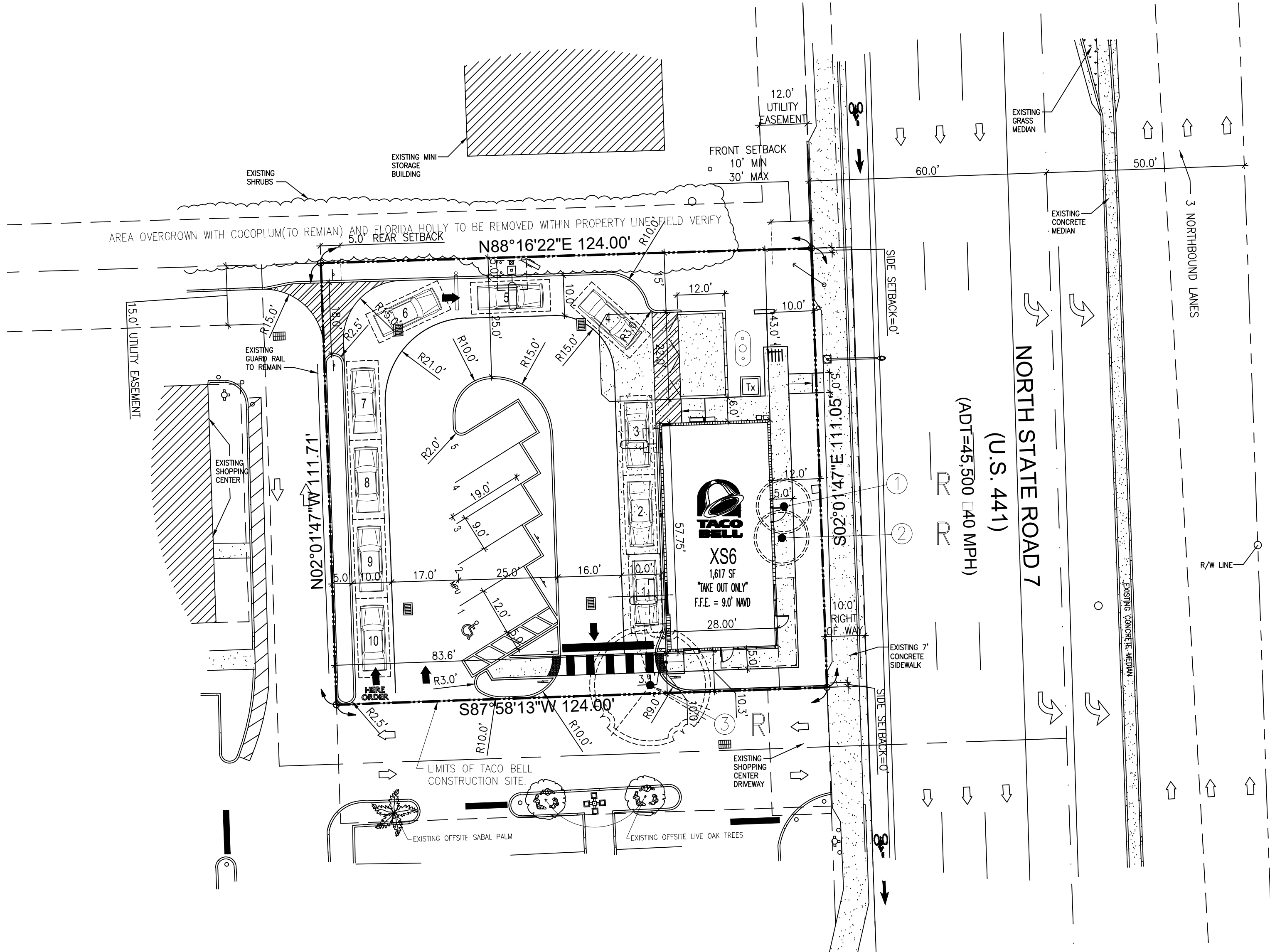
TACO BELL
2640 N SR 17,
HOLLYWOOD, FL 33021

S6

LANDSCAPE PLAN

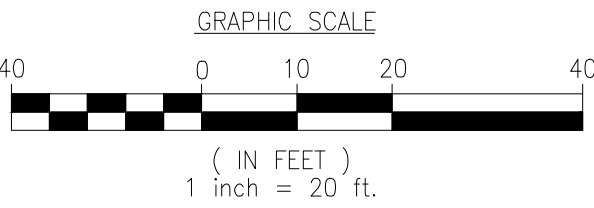
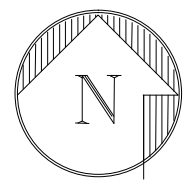
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PLOT DATE:



TREE DISPOSITION PLAN

1"=20'-0"



NOTE:

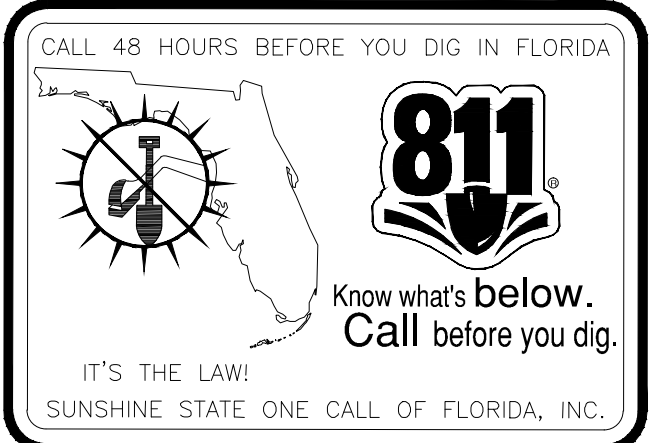
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LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

IRRIGATION SCHEDULE

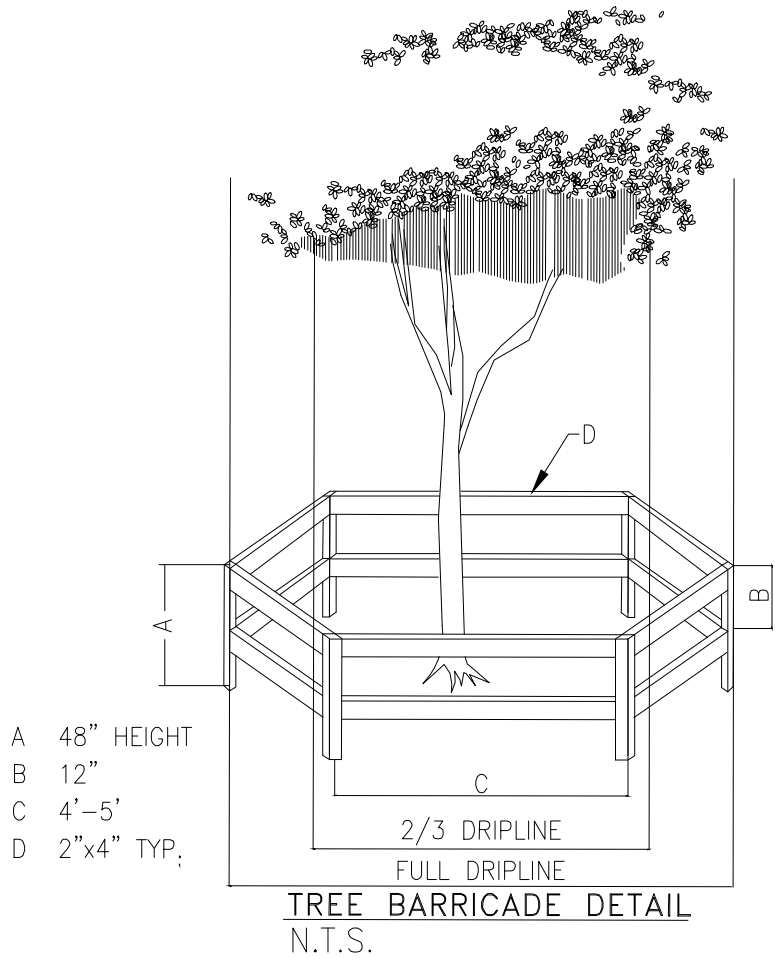
FOR RELOCATED AND/OR NEWLY PLANTED TREES/PALMS THE IRRIGATION SCHEDULE SHALL BE AS PER UF/IFAS PUBLICATION ENH-1061; DURING ESTABLISHMENT, TREES SHOULD BE IRRIGATED 2-3 TIMES PER WEEK WITH 2 GALLONS PER INCH TRUNK CALIPER. ALL THIS WATER SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL.
TABLE 2. IRRIGATION SCHEDULES DEPEND ON SIZE OF NURSERY STOCK AND DESIRED OBJECTIVE*.

SIZE OF NURSERY STOCK	IRRIGATION SCHEDULE FOR	
	VIGOR	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY:UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY:UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY:UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS

* ESTABLISHMENT TAKES APPROXIMATELY 3 MONTHS (HARDINESS ZONES 10-11) 4 MONTHS (HARDINESS ZONES 8-9) PER INCH TRUNK CALIPER.



"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



TREE BARRICADE NOTES:

1. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
2. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005." CURRENT EDITION RESPECTIVELY.
3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE.
4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
6. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
8. TRANSPLANT TREE WITH 60" TREE SPADE OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
9. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER (+- 1") THAN THE FINISHED GRADE.

EXISTING TREES TO REMAIN REQUIRED BARRICADES

SEE SHEET L-1 LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

R = TO BE RELOCATED
X = TO BE REMOVED

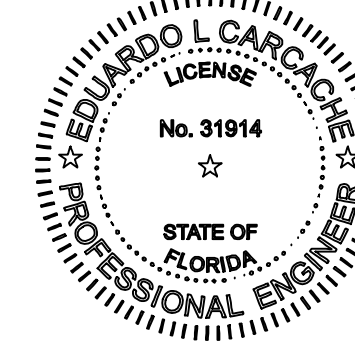
EXISTING LANDSCAPE MATERIALS

KEY	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	CONDITION
①	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18' X 15'	(1) TO BE RELOCATED (12".0 CALIPER)	GOOD/70%
②	SAB	1	SABAL PALMETTO / CABBAGE PALM	18'-20' X 15'	(1) TO BE RELOCATED (12".0 CALIPER)	GOOD/70%
③	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22'-24' X 30'	(1) TO BE RELOCATED (10".5 CALIPER)	GOOD/60%



17190 ROYAL PALM BLVD.

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WESTON, FLORIDA 33326
PHONE: (305) 558-4124
FAX: (305) 826-0619
FB#0004432



SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
RICARDO J. PEREZ
ARCHITECT-AR 14985

This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal.

Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

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WELLINGTON, FL 33414
TELL 561/758-7707
LANDSCAPE ARCHITECTURE LC28000352
MICHAEL E. PAWLS PLA#0001633
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RBL#23-01-2199
DRAWN BY: RICK BARTLETT
CHECKED: RGB/MER

DATE	REMARKS

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BUILDING TYPE: S6
PLAN VERSION: FEBRUARY 2022
BRAND DESIGNER: DANIEL DICKSON
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STORE NUMBER: TB 459380
PA/PM: DIANA D. CICCIO
DRAWN BY.: AG
JOB NO.: CKE NO. 1746

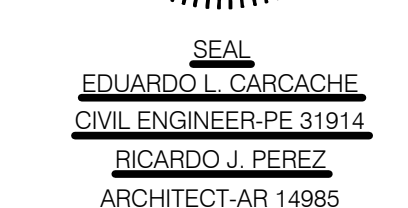
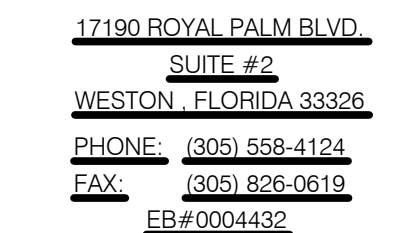
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HOLLYWOOD, FL 33021



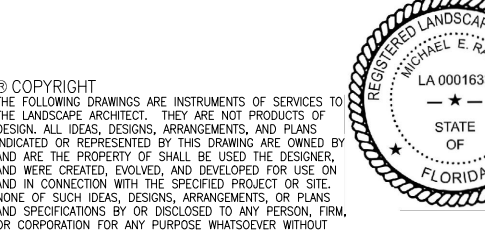
S6

TREE
DISPOSITION
PLAN
L3

PLOT DATE:



Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

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BUILDING TYPE: S6
PLAN VERSION: FEBRUARY 2022
BRAND DESIGNER: DANIEL DICKSON
SITE NUMBER: 315998
STORE NUMBER: TB 459380
PA/PM: DIANA D. CICCIO
DRAWN BY.: AG
JOB NO.: CKE 1746



IRRIGATION PLAN

PLOT DATE: _____



ITEM	MANUFAC.	MODEL NO.
4" pop-up spray head	Toro	570Z-4P-.COM
12" pop-up spray head installed in season color beds only	Toro	570Z-12P-.COM
spray head nozzles with pressure compensation	Toro	Precision Series Nozzles
rotor sprinkler head	Toro	T5PRS
drip line	Toro	DLS2000
controllers (up to 16 zones)	Toro	Evolution EVO-40D With EVOM-4/12 Expansion Modules
weather sensor	Toro	Evolution EVO-5C, EVO-WS
controllers (16 to 24 zones)	Toro	TMC 424E-OD
weather sensors (with tmc 424e)	Irritol	CL-Wireless
electric valves (spray and rotary zones), (drip zones)	Toro	TPVF100, DK-EZF
	NBCO	T-113
quick coupler valve & key	Toro	100-SLVL, 100 SLK
swivel hose e11	Toro	100 MHS
backflow preventer valve	FEBCO	As Required
10" round valve box	Amtec	181104
surge protection kit	Irritol	SPD-587

1. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DEIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC.. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
2. GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK-UP AS REQUIRED.

WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) CODES AND STANDARDS. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH FLORIDA BUILDING CODE APPENDIX (F) PART V-A-1 INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES.
4. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PBC V-A-1-1:

PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2-2 1/2	18"-24"
3-5	24"-30"
6 AND LARGER	30"-36"
5. ALL DRIPLINE LATERALS SHALL BE UNDER 3"-4" MULCH IN SHRUB AND BED AREAS; 4" UNDER TURF AREAS.
6. CONTRACTOR TO PRESSURE TEST WATER SERVICE UP TO EACH ZONE VALVE IN THE IRRIGATION SYSTEM; MAIN LINE SHALL BE LEFT EXPOSED FOR VISUAL OBSERVATION PRIOR TO BACKFILL AND REQUIRED APPROVAL BY CITY OF HOLLYWOOD; CALL CITY OF HOLLYWOOD FOR REQUIRED INSPECTIONS.
7. IRRIGATION CONTRACTOR TO SUPPLY AND INSTALL BUBBLERS AT ALL NEW TREE AND PALM LOCATIONS.
8. SEE TACO BELL GENERAL NOTES AND SPECIFICATIONS.
9. CONTRACTOR SHALL INSTALL Drip IRRIGATION LAYOUT IN THE HATCHED AREAS INDICATED ON THE PLAN IN ACCORDANCE TO THE MANUFACTURES INSTALLATION MANUAL AND RECOMMENDATIONS.
10. THE IRRIGATION SYSTEM SHOWN IS FOR GRAPHICAL CLARITY ONLY, CONTRACTOR TO ADJUST FOR REQUIRED 100% COVERAGE.
11. THE MAXIMUM LENGTH OF LATERAL RUN SHALL NOT EXCEED 150 LINEAR FEET.
12. THE CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PSI PRIOR TO INSTALLATION OF THE SYSTEM.
13. A FINAL INSPECTION OF ALL IRRIGATION ZONES SHALL BE REQUIRED PRIOR TO A FINAL C/O.

TORO DRIPLINE DL 2000-ZONES													
ZONE	13	14	15	16	17	18	19	20	21	22	23	24	
# HEADS	DRIIP	DRIIP	DRIIP	DRIIP	DRIIP	DRIIP	---	---	---	---	---	---	
G. P. M.	35.00	35.00	30.00	35.00	35.00	35.00	---	---	---	---	---	---	



IRRIGATION SCHEDULE FOR		
SIZE OF NURSERY STOCK	WIGOR	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 5 MONTHS

* ESTABLISHMENT TIME (APPROXIMATELY 3 MONTHS FOR TREES IN ZONES 10-11)
4 MONTHS (HARDNESS ZONES 8-9) PER INCH TRUNK CALIPER.

IRRIGATION | GENERAL NOTES

1. All lawn, shrub/groundcover, trees with pressure compensating bubblers and seasonal color must be zoned separately.
2. See Civil Engineering drawings or coordinate with the General Contractor for sleeving under pavement, water meter location, and connection to electric power.
3. Irrigation coverage shall be 100% in the areas to be irrigated. The irrigation contractor shall make minor adjustments to ensure proper coverage at no additional cost to the owner.
4. No irrigation head or valve shall be within three (3') feet of a water utility.
5. All mainline shall be installed a minimum of three (3') feet from back of the curb (except for major intersections).
6. Over spray directly onto buildings, fences, pavement, or across property lines is prohibited.
7. All piping shall be flushed of oil debris prior to installing heads and nozzles.
8. No wire splices will be allowed between the controller and the solenoid valves. The valve "common" wire shall be spliced only at the solenoid valve and within the valve boxes.
9. Contractor to arrange valve boxes in a straight line and evenly spaced apart (2') and at no time closer than 3' from any hardscape. Stake proposed valve box locations for approval by the landscape architect before installation.
10. The irrigation contractor shall comply with all local and state mandated irrigation ordinances and codes, and will secure all required permits. The irrigation contractor shall pay any associated fees unless otherwise noted. All local codes shall prevail over any discrepancies herein and shall be addressed before any construction begins.
11. Confirm minimum static water pressure of 40 PSI at the highest elevation of the system limits, and maximum static water pressure of 90 PSI at the

lowest elevation of the system limits at least 7 days before beginning work. If static water pressure is outside the range stated above do not proceed until directed by the landscape architect or owner's representative. Failure to do so will result in the contractor liable for all expenses in making the system operational.

12. Electric power shall be provided within five feet of the controller location by general contractor. The irrigation contractor shall provide final hose/cable connection to the controller.

13. 24 volt wire shall be minimum of #14 gauge, UL approved for direct burial, single conductor "irrigation wire". Wire splices shall include DDT single-solder joints manufactured by 3M Company. All field splices shall be located in a round valve box of sufficient size to allow inspection.

14. The irrigation contractor is to contact appropriate authorities and locate all utilities prior to construction.

15. The proposed locations of all above-ground equipment including backflow preventers, controllers, and weather sensors shall be noted by the irrigation contractor for approval by the landscape architect or owner's representative before these items are installed.

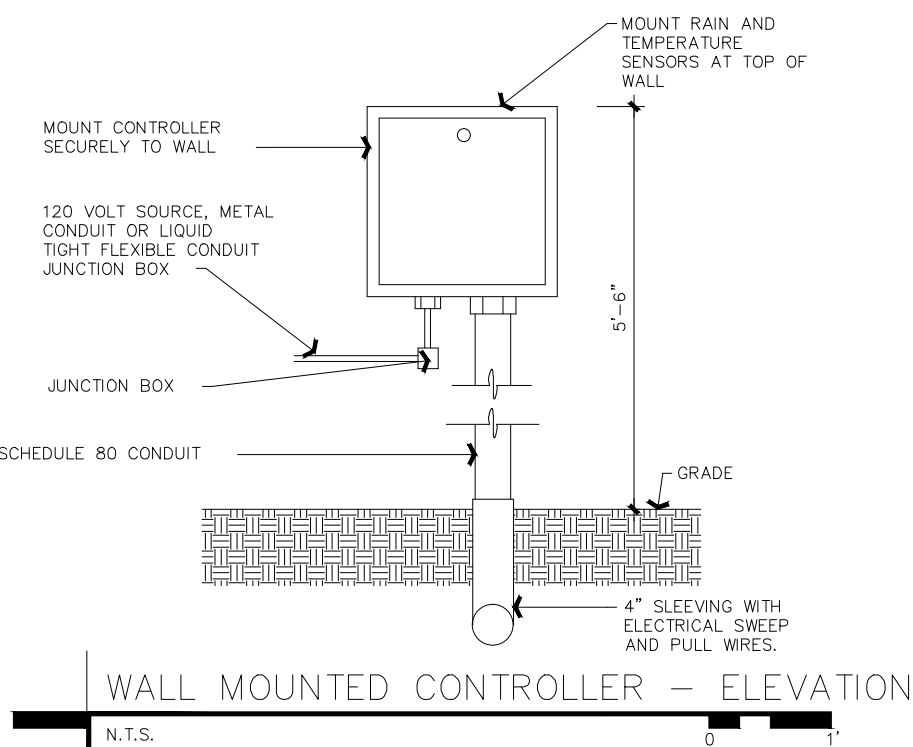
16. All heads shall be installed a minimum of 4" from pavement edges, (6" or greater where required by local code). Final head adjustments by the irrigation contractor shall include the addition of check valves where needed.

17. To prevent excessive low head drainage, the contractor shall budget for, and install check valves for up to 10% of the total number of heads when needed, with no additional cost to the owner.

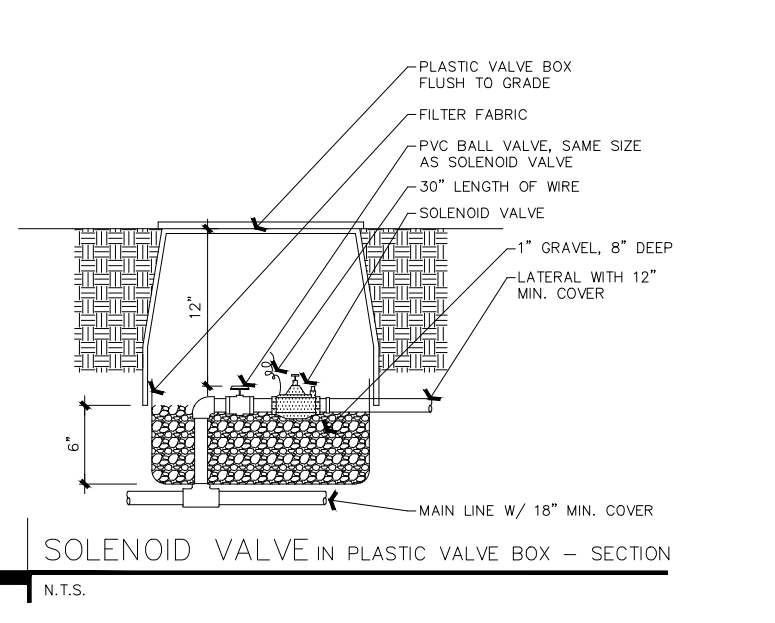
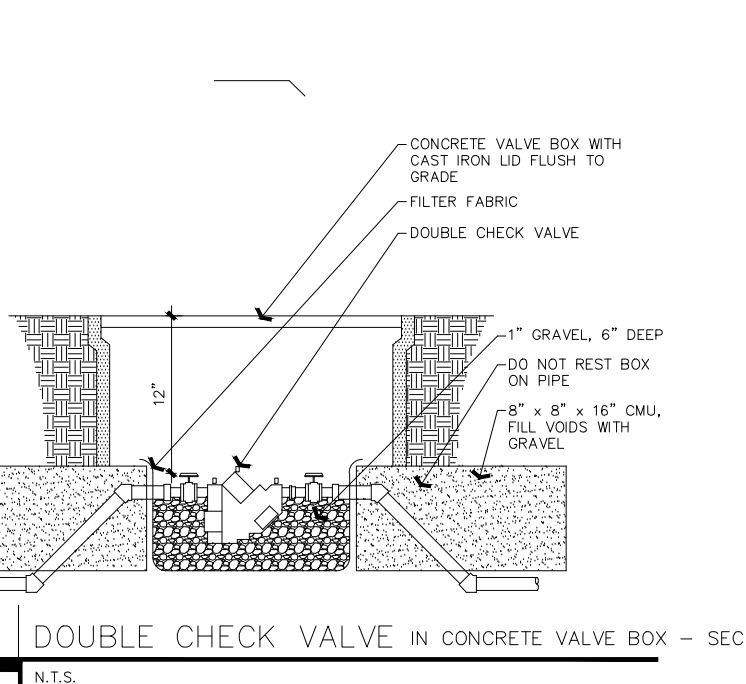
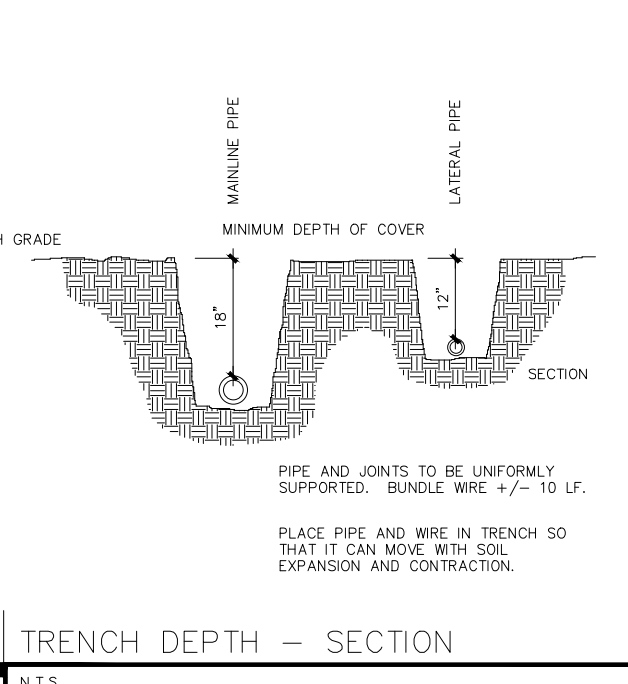
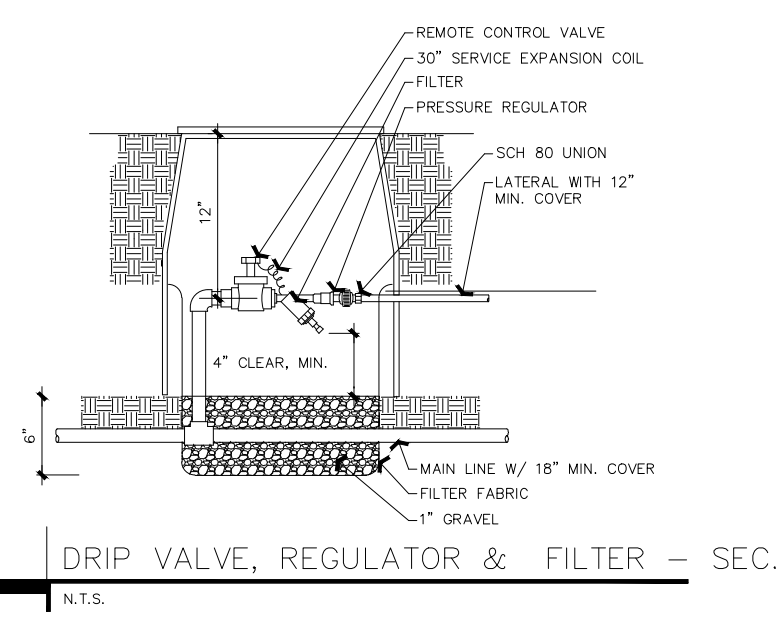
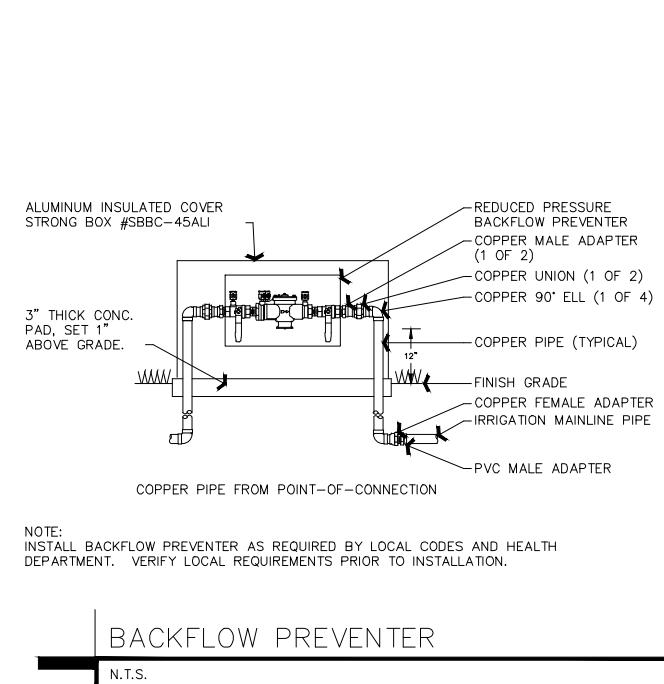
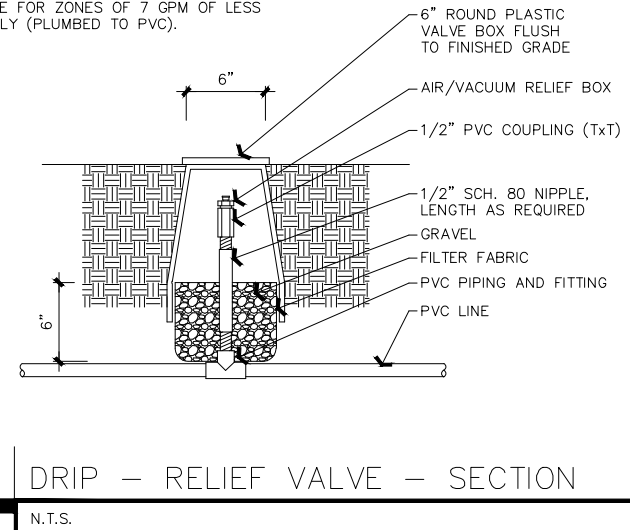
18. All mass shrub and ground cover planting beds shall include Toro DL2000 series drip tube with pre-installed pressure compensating emitters, installed in sub-surface center-fed drip tube grids set 2"

below grade. Drip tube row spacing and emitter intervals shall be as according to the manufacturer's recommendations based on soil type and slope. Individual drip tube runs shall not exceed 150 linear feet. Drip tube 2" burial depth does not include the mulch layer. Securely stake drip tubes every 18". Flush valves and air release valves shall be provided at each drip zone grid according to the manufacturer's recommendations.

19. Where required by local code, turf areas shall include Toro DL2000 series drip tube with pre-installed pressure compensating emitters, installed in sub-surface center-fed drip tube grids set 4" below grade. Drip tube row spacing and emitter intervals shall be as according to the manufacturer's recommendations based on soil type and slope. Individual drip tube runs shall not exceed 150 linear feet. Flush valves and air release valves shall be provided at each drip zone grid according to the manufacturer's recommendations. Toro Loc-Fee compression fittings shall be used for drip line connection. A 25 psi regulator and 150 mesh filter shall be included with each drip valve assembly.



- NOTES:
1. AIR/VACUUM RELIEF VALVE CANNOT BE LOWER THAN DRIPLINE LATERALS.
 2. USE FOR ZONES OF 7 GPM OR LESS ONLY (PLUMBED TO P.O.C.).



IRRIGATION | SPECIFICATIONS

PART 1 - GENERAL

1.1 COORDINATION

- A. Coordinate to ensure that irrigation sleeving and electrical power source is in place.

1.2 OPERATION AND MAINTENANCE DATA

- A. Provide instructions for operation and maintenance of system and controls, seasonal activation and shutdown, and manufacturer's parts catalog.

1.3 REGULATORY REQUIREMENTS

- A. Conform to applicable code for piping and component requirements.

PART 2 - PRODUCTS

2.1 MATERIALS - GENERAL

- A. MATERIALS:
 - The materials chosen for the design of the sprinkler system have been specifically referred to by manufacturer, enabling the Owner to establish the level of quality and performance required by the system design. After award of contract and prior to beginning work, the contractor shall submit for approval three copies of the complete list of materials to be installed. Landscape architect or owner's representative will review submittals; no substitutions will be allowed.

B. POLYVINYL CHLORIDE PIPE (PVC):

- PVC pipe manufactured in accordance with standards noted herein.
- Marking and Identification: Continuously and permanently marked with the following information:
 - A. Class 200 SDR 21 number.

- B. Sch. 40 PVC
- C. Sch. 80 PVC
- D. Class 200 SDR 11.5 number.
- E. ASTM D 2241 standard number.
- F. NSF (National Sanitation Foundation) seal.
- I. PVC Pipe Fitting: ASTM D 2444 and D 2446, of the same materials as PVC pipe specified and compatible with PVC pipe provided.

C. SOLVENT CEMENT:

- ASTM D 2544 for PVC pipe and fittings.

D. COPPER TUBING:

- Seamless, type "M" hard drawn, ASTM B 88.

E. COPPER PIPING:

- Hard, straight lengths of domestic manufacture only, ASTM B 88, Type "L". No copper tube of foreign extrusion, or so-called irrigation tubing (thin wall) allowed.

F. COPPER PIPE FITTINGS:

- Cast brass or wrought copper, sweat-solder type.

G. WIRE:

- 14 gage, single copper strand minimum, Type UF with 1/64 inches insulation. Underwriters Laboratory (UL) approved for direct underground burial when used in a National Electric Code Class I Circuit (30 volts AC or less).

H. SPRINKLER RISER:

- Sprinkler heads are to be connected to the laterals by poly flex-pipe and associated fittings by Toro or Irritrol.
1. Toro or Irritrol

I. SWING JOINTS: O-RING SEAL TYPE

- Acceptable Product: Leaco.

ITEM	MANUFAC.	MODEL NO.
4" pop-up spray head	Toro	570Z-4P- COM
12" pop-up spray head installed in season color beds only	Toro	570Z-12P- COM
spray head nozzles with pressure compensation	Toro	Precision Series Nozzles
rotor sprinkler head	Toro	TSPRS
drip line	Toro	DL52000
controllers (up to 16 zones)	Toro	Evolution EVO-400 With EVO-4712 Expansion Modules
weather sensor	Toro	Evolution EVO-SC, EVO-WS
controllers (16 to 24 zones)	Toro	TMC 424E-OD
weather sensors (with tmc 424e)	Irritrol	CL-Wireless
electric valves (spray and rotary zones), (drip zones)	Toro	TPVF 100, DK-EZF
quick coupler valve & key	NBCO	T-113
swirl hose e11	Toro	100-SLVLC, 100 SLK
backflow preventer valve	FEBCO	As Required
10" round valve box	Amtec	181104
surge protection kit	Irritrol	SPD-587

IRRIGATION | SPECIFICATIONS

CONTINUED FROM PAGE 29

PART 3 - EXECUTION

3.1 INSPECTION

- A. Verify location of existing utilities and that they are ready for use.

3.2 PREPARATION

- A. Layout and stake locations of system components. Route piping to avoid plants and structures. Verify full and complete coverage with a minimum 50% overlap of spaced manufacturers diameter.
- B. Protect landscaping and other features remaining as final work.
- C. Coordinate work which is embedded in concrete or masonry and routed under paved areas according to underground irrigation sleeves.
- D. Provide timely delivery and installation at job site.

3.3 TRENCHING

- A. Keep trenches free of debris, material, or obstruction that may damage pipe.
- B. Leave trench bottoms smooth so pipe will lay flat.
- C. Make trenches wide enough to allow 1/2 inches between parallel lines.

3.4 INSTALLATION

- A. GENERAL:
 - 1. Perform work only in the presence of a qualified irrigation professional.
 - 2. Do not install system components when it is obvious in the field that obstructions, grade differences or discrepancies in equipment usage, area dimensions, or static water pressure exist that might prevent

- complete and correct coverage without excessive overspray. Bring obstructions or differences to the attention of the Owner's Representative. In the event this installation is not performed, assume full responsibility for any revision necessary.
3. Staking: Prior to installation, place a stake where each sprinkler is to be located. Receive approval of Owner's Representative before proceeding.
4. Piping Layout: Route piping around trees and shrubs in such a manner to avoid damage to plantings. Do not dig within balls of newly planted trees and shrubs. Hand excavate whenever possible to avoid cutting of roots greater than 1 inch diameter, during construction.
5. Install pipe, valves, controls, and outlets in accordance with manufacturer's instructions.

B. PIPE INSTALLATIONS:

1. Sprinkler Mains: Install in minimum 4 inch wide trenches with a minimum 18 to 30 inches cover based on regional standards.
2. Lateral Piping: Install in minimum 4 inch wide trenches deep enough to allow for installation of sprinkler heads and valves, with a minimum of 12 to 24 inches cover based on regional standards.
3. Provide firm, uniform bedding in trenches for entire length of each pipe to prevent uneven settlement. Wedging or blocking of piping is not permitted. Remove foreign matter and dirt from inside of pipes before welding, and keep inside of piping clear during and after layout of pipes.
4. Provide for thermal movement.
5. Backfill: Hand-tamp and water-jet to prevent settling. Hand rake trenches and adjoining areas to leave grade in a good better condition then before installation. Backfill trench. Protect piping from displacement.

C. PVC PIPE AND FITTINGS ASSEMBLY:

1. Solvent: Use solvent and procedures recommended

- by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.

- PVC to Metal Connections: Work metal connections first. Use a non-hardening pipe dope on threaded PVC to metal joints. Use only light wrench pressure.
3. Acceptable Product: Remarco No. 2.
4. Threaded PVC Connections: Where required, use threaded PVC adapters into which pipe may be welded.

D. COPPER PIPE AND FITTINGS ASSEMBLY:

1. Clean pipe and fittings thoroughly and buff connections with sand paper to remove residue from pipe.
2. Flux pipe and fitting and solder connection.

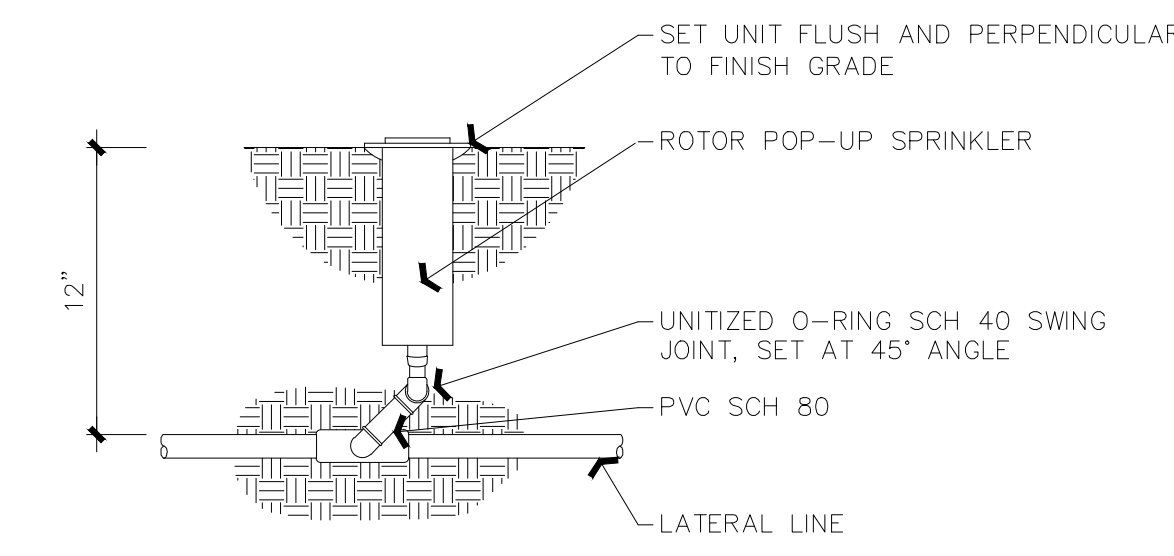
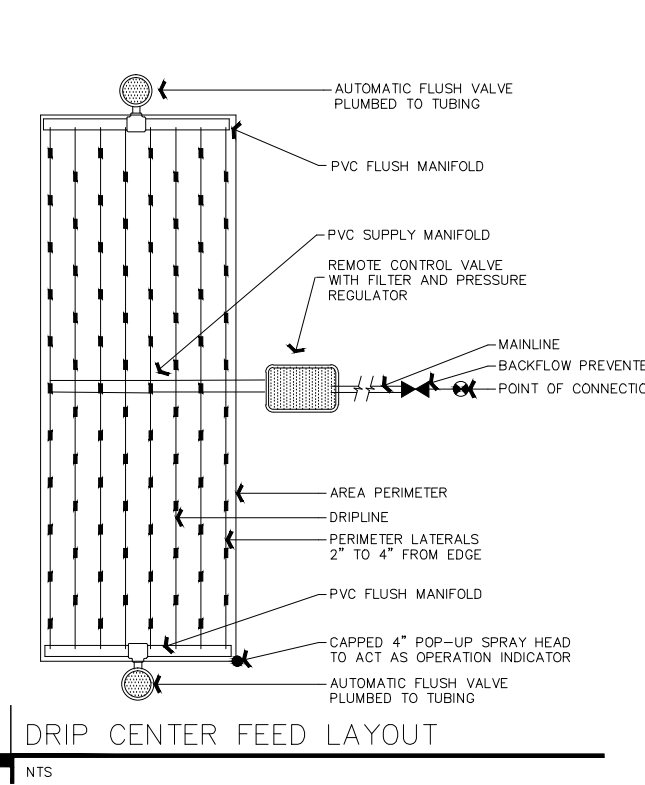
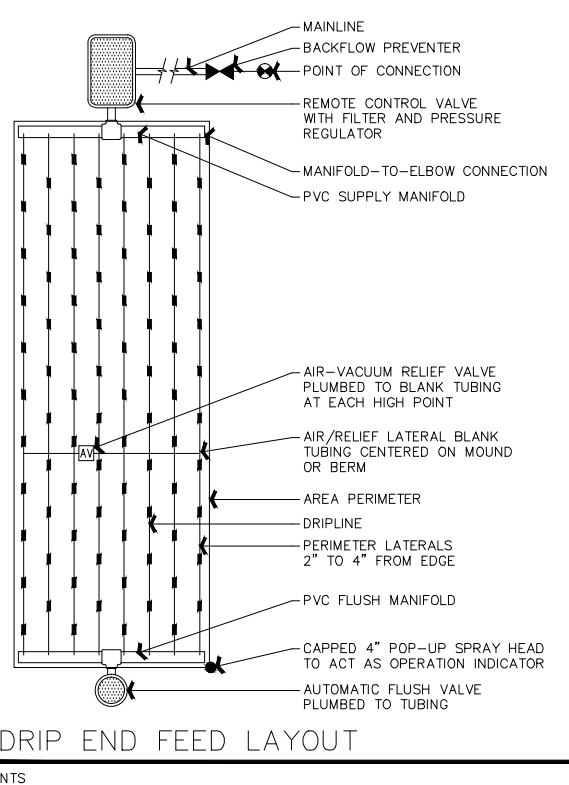
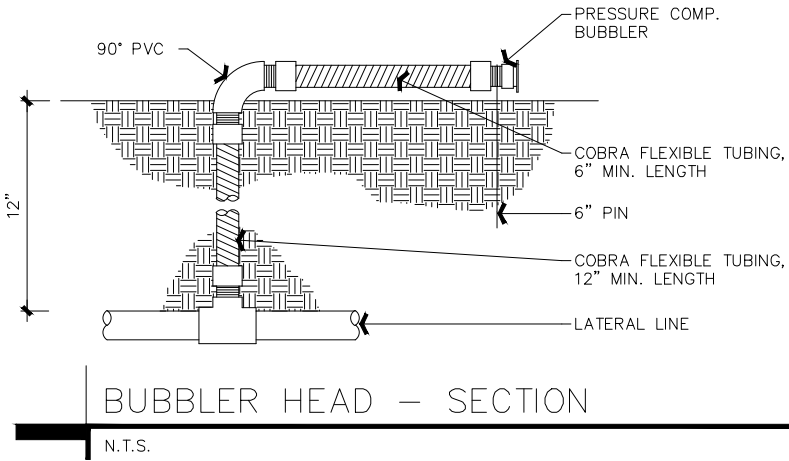
E. ELECTRICAL VALVES:

1. Provide valves in accordance with materials list and size according manufacturer's recommendations based on 60/40 flow rate.
2. Provide valves in a level position in accordance with manufacturer's specifications.
3. Provide 10" round plastic valve box for spray and rotary zone valves, centered over valve, flush with finish grade, one valve per enclosure. Use 1" x 1" rectangular plastic box for drip valve zone fits. Provide valve box extensions as required.

F. SPRINKLERS:

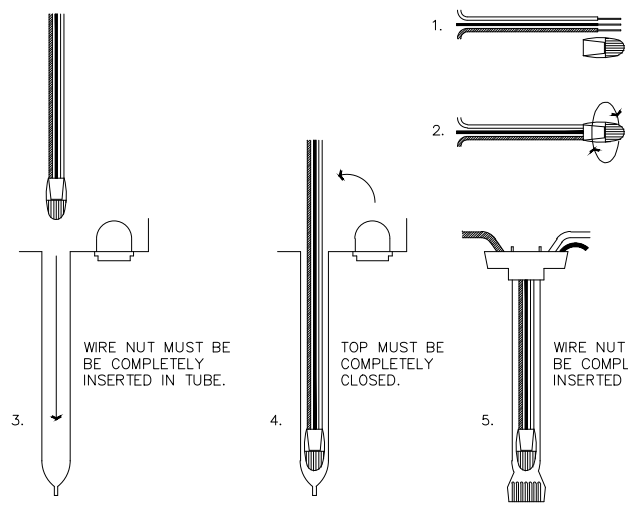
1. General: Provide in accordance with materials list, with nozzling in accordance with "Head-to-Head" head spacing. Adjust nozzle degree and trajectory if wind conditions affect coverage. Set pop-up heads flush with finish grade.
2. Shrub Heads: Use 12" high pop sprinklers attached to lateral piping with flexible flex pipe in seasonal color beds only. Shrub and ground cover beds shall include sub-surface drip irrigation.

- A. Instruct Owner's personnel in operation and maintenance of system including adjusting of sprinkler heads. Use operation and maintenance material as basis for demonstration.
8. Provide "as-built", record drawings and controller keys to the owner's representative.



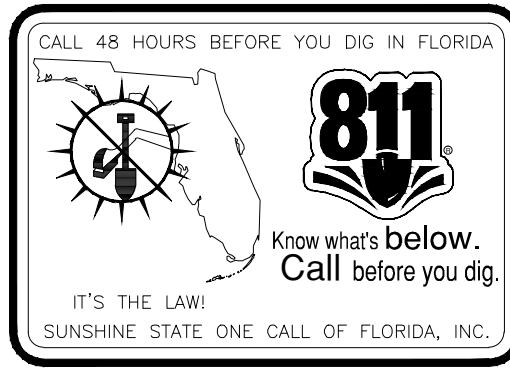
ROTARY HEAD

N.T.S.



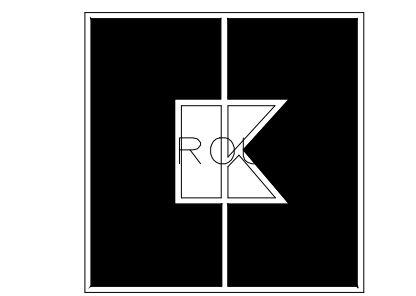
24 VOLT WIRE CONNECTIONS

N.T.S.



IRRIGATION SPECIFICATIONS

1. SEE TACO BELL GENERAL NOTES AND SPECIFICATIONS.
2. ALL MAINS SCH. 40 AND SLEEVES MUST BE CLASS 200 PVC AND BURIED A MINIMUM OF 24" BELOW FINISH GRADE.
3. ALL LATERALS MUST BE CLASS 200 PVC AND BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
4. PROVIDE SLEEVES UNDER PAVEMENT PRIOR TO INSTALLATION OF SAME. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PLUMBING BUILDING CODE APPENDIX (F) PART V-A-1.1. PIPE SIZE (INCHES) DEPTH OF COVER (INCHES)
 - 1/2-2 1/2 18"
 - 3-5 24"-30"
 - 6 AND LARGER 30"-36"
5. CONTRACTOR TO SIZE PIPING (UNLESS OTHERWISE SHOWN) AND ADJUST SPRAY HEADS LOCATION TO COMPLY WITH WATER REQUIREMENTS OF ACTUAL LANDSCAPING FOR ADEQUATE WATER COVERAGE.
6. IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS AND MAINTAIN A 50% MIN. OVERLAP USING RUST FREE WATER.
7. HEADS TO BE INSTALLED IN PLANTERS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.
8. IRRIGATION CONTRACTOR SHALL BE LOCATED ON THE EXTERIOR BACK WALL OF BUILDING WITH LOCK BOX; IN HIGH CRIME AREAS, IRRIGATION CONTRACTOR SHALL BE LOCATED IN MANAGER'S OFFICE.
9. BUILDING CONTRACTOR TO SUPPLY ELECTRICAL HOOK UP.
10. ALL WORK MUST BE DONE AS PER LOCAL CODES.
11. CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH "FLORIDA BUILDING CODE APPENDIX (F) PART V-A-1.1," INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES. WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
12. SYSTEM IS TO BE DESIGNED (IF NOT SHOWN ON PLAN) AND INSTALLED BY A QUALIFIED, LICENSED AND INSURED LANDSCAPE IRRIGATOR.
13. SPRINKLER SYSTEM SHALL BE GUARANTEED FOR ONE YEAR AGAINST MECHANICAL DEFECTS.
14. IRRIGATION CONTRACTOR TO USE #14 DIRECT BURIAL LOW VOLTAGE WIRE AND INSTALLED UNDER SIDE OF MAIN LINES, TO INSURE PROTECTION AND LOCATING OF SAME. SLEEVES UNDER PAVEMENT AND WALKS, SPRICED ONLY AT VALVE LOCATIONS. ALL SPLICES SHALL BE MADE WATER PROOF. CONTROL WIRES SHALL BE COLOR CODED. ONE EXTRA WIRE SHALL BE RAN WITH EACH ZONE VALVE. IF K-RAINS NOT REQUIRED SEE PLAN FOR VALVE LOCATIONS.
15. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION OR UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANNING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE IRRIGATION CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
16. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.



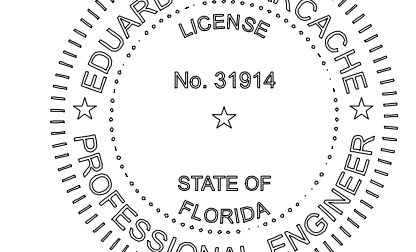
engineering • architecture • planning

17190 ROYAL PALM BLVD.

SUITE #2
WESTON, FLORIDA 33326

PHONE: (305) 558-4124
FAX: (305) 826-0619

EB#000432

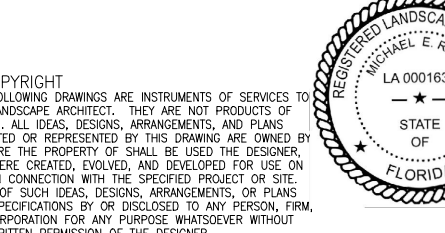


SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
RICARDO J. PEREZ
ARCHITECT-AR 14985

This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal.

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RICHARD BARTLETT LANDSCAPE, INC.
14417 STORUP LANE
WELLINGTON, FL 33414
TEL: (561) 758-7707
EMAIL: rbarb@bartlettlandscape.com
MICHAEL E. RAWLS PLAD001633
LANDSCAPE ARCHITECTURE LC26000332
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SEAL

RB1423-01-2199
DRAWN BY: RICK BARTLETT
CHECKED: RGB/MER

DATE	REMARKS

CONTRACT DATE: 2/26/2021

BUILDING TYPE: S6

PLAN VERSION: FEBRUARY 2022

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315998

STORE NUMBER: TB459380

PA/PM: DIANA D. CICCIO

DRAWN BY: AG

JOB NO.: CKE 1746

TACO BELL
2640 N SR.7,
HOLLYWOOD, FL 33021



S6

IRRIGATION SPECIFICATIONS

L5

PL07 DATE: