PLANNING DIVISION



File No. (internal use only):_

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

	APPLICATION TYPE (CHECK OF	NE):			
	Technical Advisory Committee	Historic Preservation Board			
	City Commission	Planning and Development Board			
FLORIDA	Date of Application:				
Tel: (954) 921-3471	Location Address: 2640 N. State Rd.	7			
Fax: (954) 921-3347	Lot(s): Parcel A Block(s):	Zero Subdivision: Gator 441 Land Use Classification: TOC			
	Folio Number(s): <u>5141 01 12 0010</u>				
<u> </u>	Zoning Classification: <u>C-MU</u>	Land Use Classification: <u>TOC</u>			
This application must be completed <u>in full</u> and		f Business Sq Ft/Number of Units: 1,518 sq. ft.			
submitted with all documents		ice? () Yes (\bigotimes No If yes, attach a copy of violation.			
to be placed on a Board or Committee's agenda.	Has this property been presented to the Number(s) and Resolution(s): N/A	City before? If yes, check al that apply and provide File			
	Economic Roundtable	Advisory Committee			
The applicant is responsible	City Commission	· _			
for obtaining the appropriate checklist for each type of	Explanation of Request: Taco Bell Drive-thru only restaurant				
application.	Explanation of Request.				
Applicant(s) or their authorized legal agent must be	Number of units/rooms: 0	Sq Ft: <u>1,600</u>			
present at all Board or Committee meetings.		Estimated Date of Completion:			
commutee meetings.		If Phased, Estimated Completion of Each Phase			
At least one set of the					
submitted plans for each application must be signed	Name of Current Property Owner: Taco	Bell of America/Gator 441, Inc.			
and sealed (i.e. Architect or	Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618				
Engineer).		Email Address: diana.DeCicco@yum.com			
Desuments and former sam he	Name of Consultant/Representative/Tena	ant (circle one):			
Documents and forms can be accessed on the City's website	Address: <u>14 SE 4th St. Suite 36 Boca Raton, FL 33432</u> Telephone: <u>561-405-3336</u>				
at	Fax: 561-409-2341 Email Addres	ss:_ddickerson@dmbblaw.com			
http://www.hollywoodfl.org/Do cumentCenter/Home/View/21	Date of Purchase: 9/6/22 Is the	ere an option to purchase the Property? Yes ($$) No ($\!$			
	If Yes, Attach Copy of the Contract.				
A a	List Anyone Else Who Should Receive No				
RAPA					

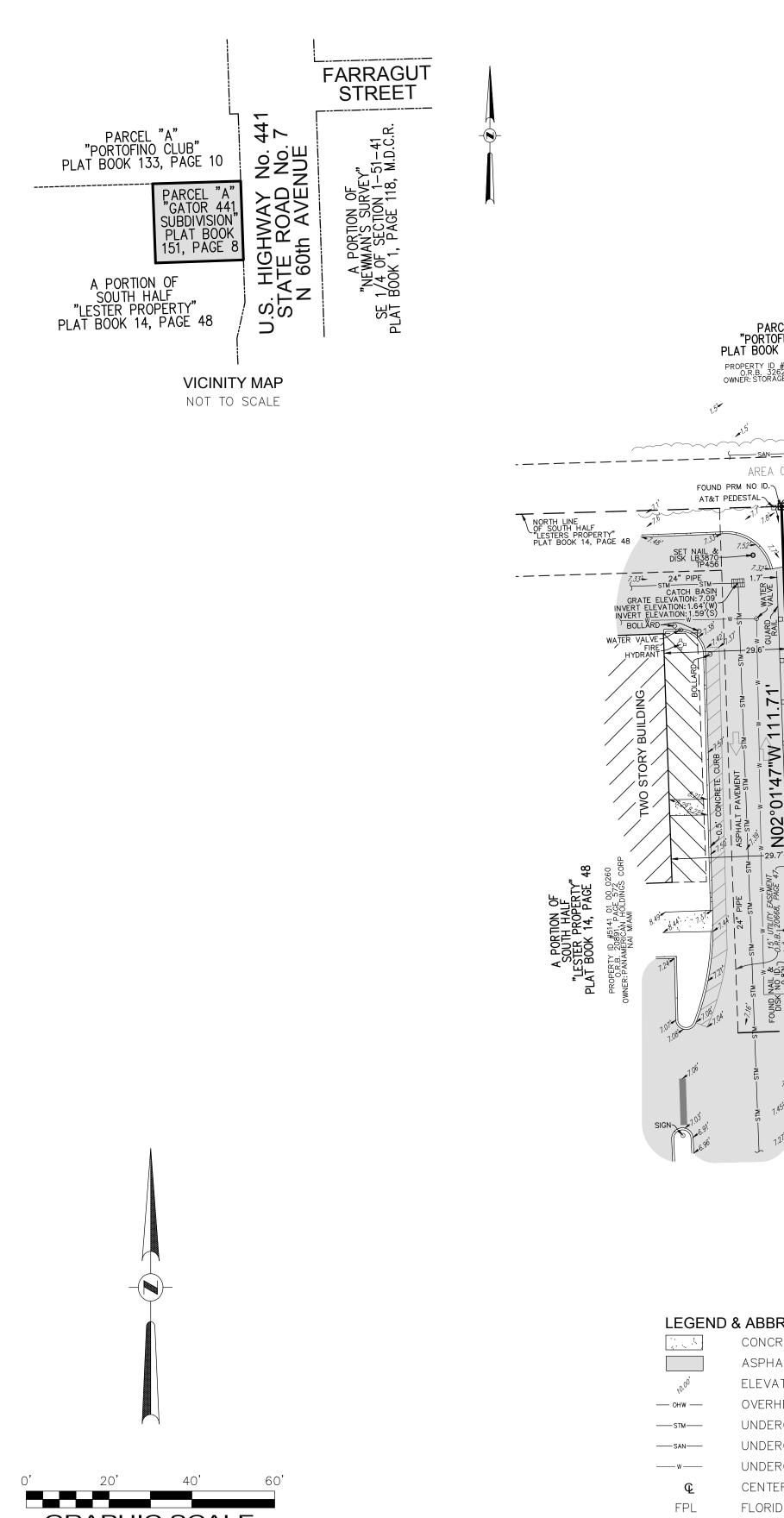


CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: 1/17/2023
PRINT NAME: Gator 441, Inc., by its President, James A. Goldsmith	Date: 1/17/2023
Signature of Consultant/Representative:	Date: 118 23
PRINT NAME: Dwayne L. Dickerson, Esq.	Date: 1118123
Signature of Tenant: N/A	Date:
PRINT NAME: N/A	Date:
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am aware <u>Site Plan Approval & Variance Requests</u> to my property, which is hereby no Dwayne L. Dickerson, Esq./Dunay, Misket & Backman to be my legal representative before the Committee) relative to all matters concerning this application.	nade by me or I am hereby authorizing
Swom to and subscribed before me this <u>17th</u> day of January, 2023 Wy Commission HH 060920 Expires 10/25/2024	Signature of Current Owner James A. Goldsmith
Notary Public	Print Name
State of Florida My Commission Expires: 10/25/24 (Check One) Personally known to me; OR	
My Commission Expires. 106 2 2 1 (Check One) _ Personally known to me, OR	

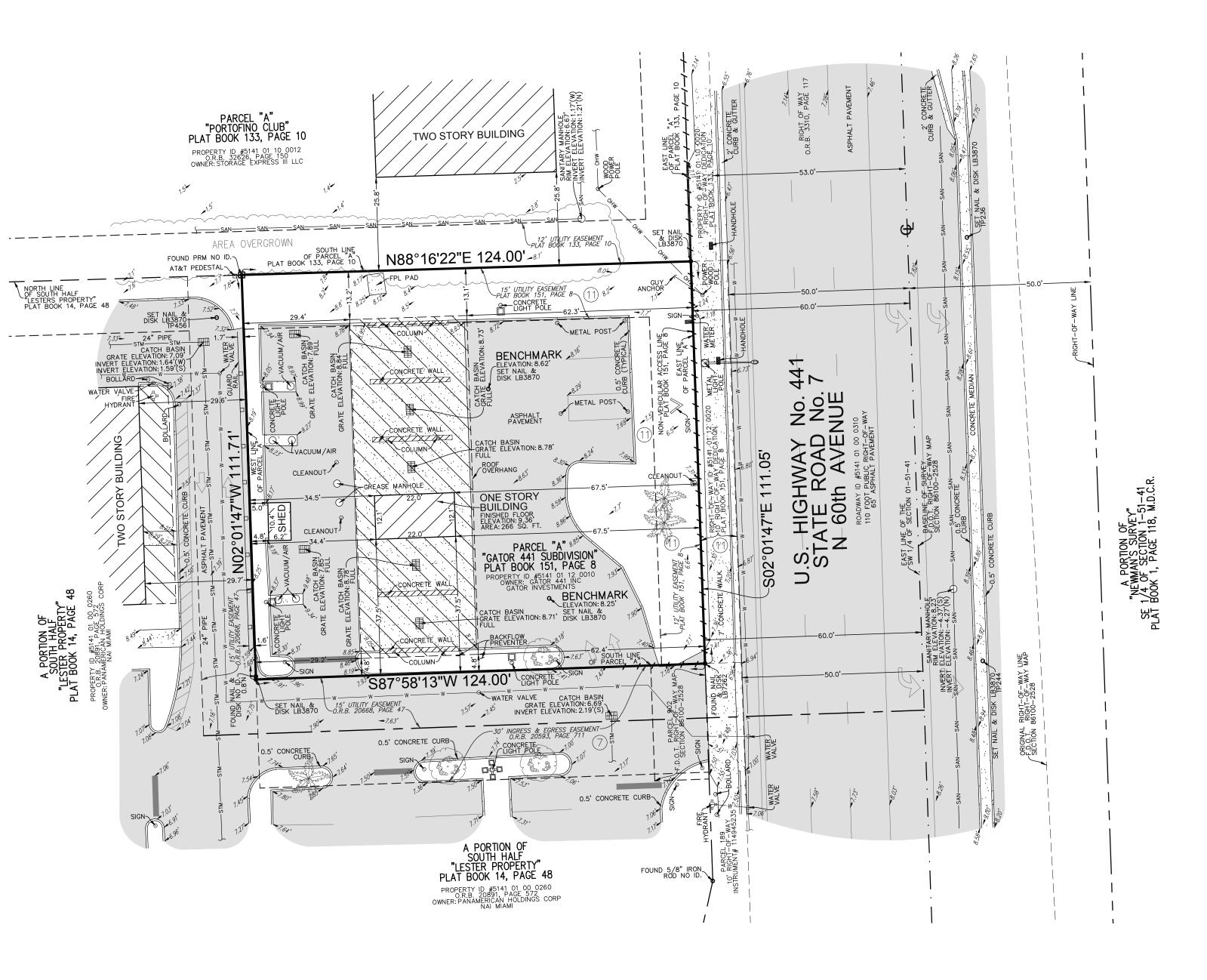


GRAPHIC SCALE 1"=20'

COPYRIGHT 2022 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.

LEGEND & ABBREVIATIONS CONCRETE

	ASPHALT PAVEMEN
10.00°	ELEVATION
— онw ——	OVERHEAD WIRES
— STM——	UNDERGROUND STO
— SAN——	UNDERGROUND SAN
— w ——	UNDERGROUND WAT
Ф <u></u>	CENTERLINE
FPL	Florida power &
LB	LICENSED BUSINESS
0.R.B.	OFFICIAL RECORDS
PRM	PERMANENT REFERE
	(BRASS DISK IN 4"
$\overline{7}$	TITLE COMMITMENT
TP	TRAVERSE POINT (F
	PALM TREE
	OAK TREE



ORM SEWER LINE NITARY SEWER LINE TER LINE

LIGHT COMPANY S BOOK

ENCE MONUMENT

" X 4" CONCRETE MONUMENT) NUMBER

FOR FIELD INFORMATION ONLY)

CERTIFICATION:

TO CKE GROUP, INC; TACO BELL OF AMERICA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ITS AFFILIATES, OR ITS SUCCESSORS AND ASSIGNS; CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 10(a), 10(b), 11(a), 13, 18, 19, & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 12/01/22.

DATE OF PLAT OR MAP: 12/01/22

□ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691 □ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274 DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290 STATE OF FLORIDA

LEGAL DESCRIPTION: (TITLE COMMITMENT) PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

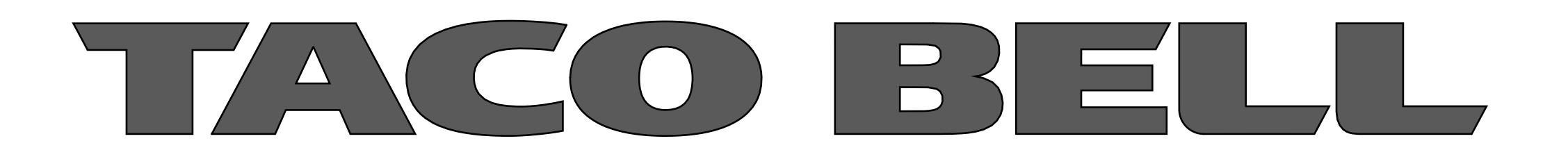
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

NOTES:

- 1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD
- COUNTY BENCHMARK #2065; ELEVATION: 13.79 FEET. 3. FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12011C0562H; COMMUNITY
- #125113; MAP DATE: 8/18/14. 4. THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY,
- FLORIDA. 5. BEARINGS ARE BASED ON KNOWN COORDINATES WITH THE NORTH LINE OF PARCEL "A"
- BEING N88°16'22"E, AS SHOWN ON SAID PLAT. 6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 7. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ± 0.07 '. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- 8. THIS SITE CONTAINS 3 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (3 REGULAR & 0 DISABLED).
- 9. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, ORDER NUMBER 10526873, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED 06/01/2022 AT 8:00 AM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B SECTION II OF SAID COMMITMENT:
 - ITEMS 1, 2, 3, 4, 5 & 6: STANDARD EXCEPTIONS, NOT ADDRESSED.
 - ITEM 7: EASEMENT AGREEMENT IN O.R.B. 16757, PAGE 231, MODIFIED BY EASEMENT MODIFICATION IN O.R.B. 20593, PAGE 711, APPLIES TO THE ADJACENT PROPERTY AS DEPICTED HEREON.
 - ITEM 8: AGREEMENT IN O.R.B. 18373, PAGE 410, APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 9: NON-EXCLUSIVE EASEMENT AGREEMENT IN O.R.B. 20668, PAGE 47, DOES NOT APPLY TO THIS SITE. ITEM 10: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN
 - PLAT BOOK 14, PAGE 48 APPLIED TO THIS SITE BUT HAS BEEN SUPERCEDED by replat.
 - ITEM 11: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 151, PAGE 8, FURTHER BEING AMENDED BY AGREEMENT FOR AMENDMENT OF NOTATION OF PLAT IN O.R.B. 22317, PAGE 782, APPLY TO THIS SITE AS DEPICTED HEREON.
 - ITEM 12: ORDINANCE NO. 2002-61 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. ITEM 13: STATEMENT PROHIBITING CONSTRUCTION LIENS IN INSTRUMENT NO. 113289089
 - APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. ITEM 14: INTEREST OF LESEE(S) TOGETHER WITH TERMS, COVENANTS, CONDITIONS,
 - RESTRICTIONS, PROVISIONS, BURDENED EASEMENTS, RIGHTS, OBLIGATIONS, AND OTHER MATTERS IN LEASE IN O.R.B. ____, PAGE ____. NOT ADDRESSED. ITEM 15: NOT ADDRESSED.
- 10. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
- 11. UTILITY LINES SHOWN PLACED IN APPROXIMATE LOCATION FROM CITY OF HOLLYWOOD UTILITY ATLAS MAP PROVIDED BY THE CLIENT.
- 12. ZONING REPORT IN TACO BELL OF AMERICA FREESTANDING SITE REPORT PROVIDED BY THE CLIENT. REQUIRED PARKING: 11 SPACES. SETBACK REQUIREMENTS: FROM
- RIGHT-OF-WAY:10.00 FEET, FROM REAR:5.00 FEET, FROM SIDE:0.00 FEET
- 13. ZONING: C-MU (T.O.C.)



5 4 3 2 1 NO .	REVIS	IONS BY	Live TACO BELL MAS	2640 NORTH HOLLYWO	TACO BELL SITE H STATE ROAD NO. 7 OOD, FLORIDA 33021 /OOD, BROWARD COUNTY;
\square		IDARY ANI Lta/nsps			
F			5381 NC SUNRISE, TELEPHONE: FAX: (9 E-MAIL: surveys@ WEBSITE: www.p	SURVEYOR B HILL ROAD FLORIDA 3335 (954) 572–1777 54) 572–1778 Pulicelandsurveyors. AUTHORIZATION LB#	1 s.com com
DRAV	WN BY: L.H.	SCALE: 1" = 20'		CLIENT: CKE G	ROUP, INC.
CHECK	KED BY: J.F.P.	SURVEY DATE: 12/01/	22	ORDER NO	: 70692



PROPOSED TACO BELL RESTAURANT

OWNER:

GATOR 441, INC. 7850 NW 146 ST., 4TH FLOOR MIAMI LAKES. FLORIDA 33016 (877) 459-9605 ÀTTN: JAMES GOLDSMITH

TENANT:

TACO BELL OF AMERICA 1 GLEN BELL WAY IRVINE, CALIFORNIA 92618

(609) 617-2185 ATTN: DIANA DECICCO

ARCHITECT:

CKE GROUP, INC. 17190 ROYAL PALM BLVD., SUITE 2 WESTON, FLORIDA 33326 (305) 558-4124 ATTN: EDUARDO L. CARCACHE, P.E.

ENGINEER:

CKE GROUP, INC. 17190 ROYAL PALM BLVD., SUITE 2 WESTON, FLORIDA 33326 (305) 558-4124 ATTN: EDUARDO L. CARCACHE, P.E.

SURVEYOR:

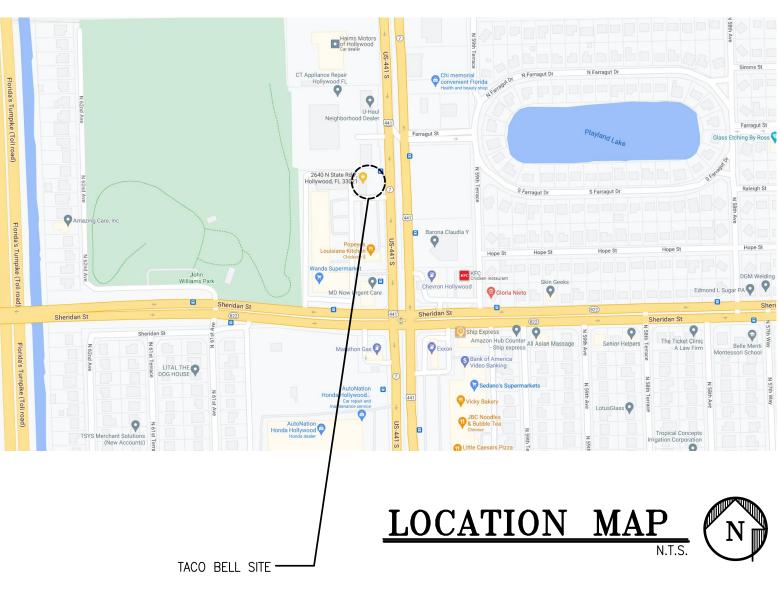
PULICE LAND SURVEYORS, INC. 5381 NOB HILL ROAD

SUNRISE, FLORIDA 33351 (954) 572–1777 ATTN: JOHN F. PULICE, P.S.M.

LANDSCAPE:

RICHARD BARTLETT LANDSCAPE, INC. 12773 W. FOREST HILL BLVD. SUITE 213 WELLINGTON, FLORIDA 33414 (561) 795–0443 ATTN: RICHARD BARTLETT

2640 N SR-7, Hollywood, FL 33021



THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION:

(TITLE COMMITMENT) PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

FOLIO # 5141 01 12 0010

ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF MINIMUM STANDARDS FOR DESIGN CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

INDEX OF DRAWINGS:

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C-5

C-6

C-7

C-8

L-1

L-2

L-3

L-4

L-5

COVER SHEET PLAT ICENSE SURVEY Ш No. 31914 SD-1 SITE DEMOLITION PLAN = ★ \star PROFE SITE PLAN STATE OF FLORIDA PAVING AND GRADING PLAN SIONAL . SITE UTILITY PLAN SITE DETAILS SITE DETAILS & SECTIONS **STORMWATER POLLUTION PREVENTION PLAN C-6A STORMWATER POLLUTION PREVENTION DETAILS & NOTES** TRASH ENCLOSURE DETAIL **PAVEMENT MARKING & SIGNAGE CE-1 SITE LIGHTING PLAN G-1.0 GREEN CHECKLIST** LANDSCAPE PLAN LANDSCAPE SPECS **EXISTING TREE DISPOSITION IRRIGATION PLAN IRRIGATION SPECS** A-1.0 FLOOR PLAN

A-4.0 EXTERIOR ELEVATIONS



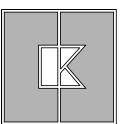
EDUARDO L. CARCACHE, PE 31914 CKE GROUP, INC. COA-4432

Eduardo L. Carcache, State of Florida, Professional Engineer, License No. 31914. This item has been digitally signed and sealed by Eduardo L. Carcache on the date

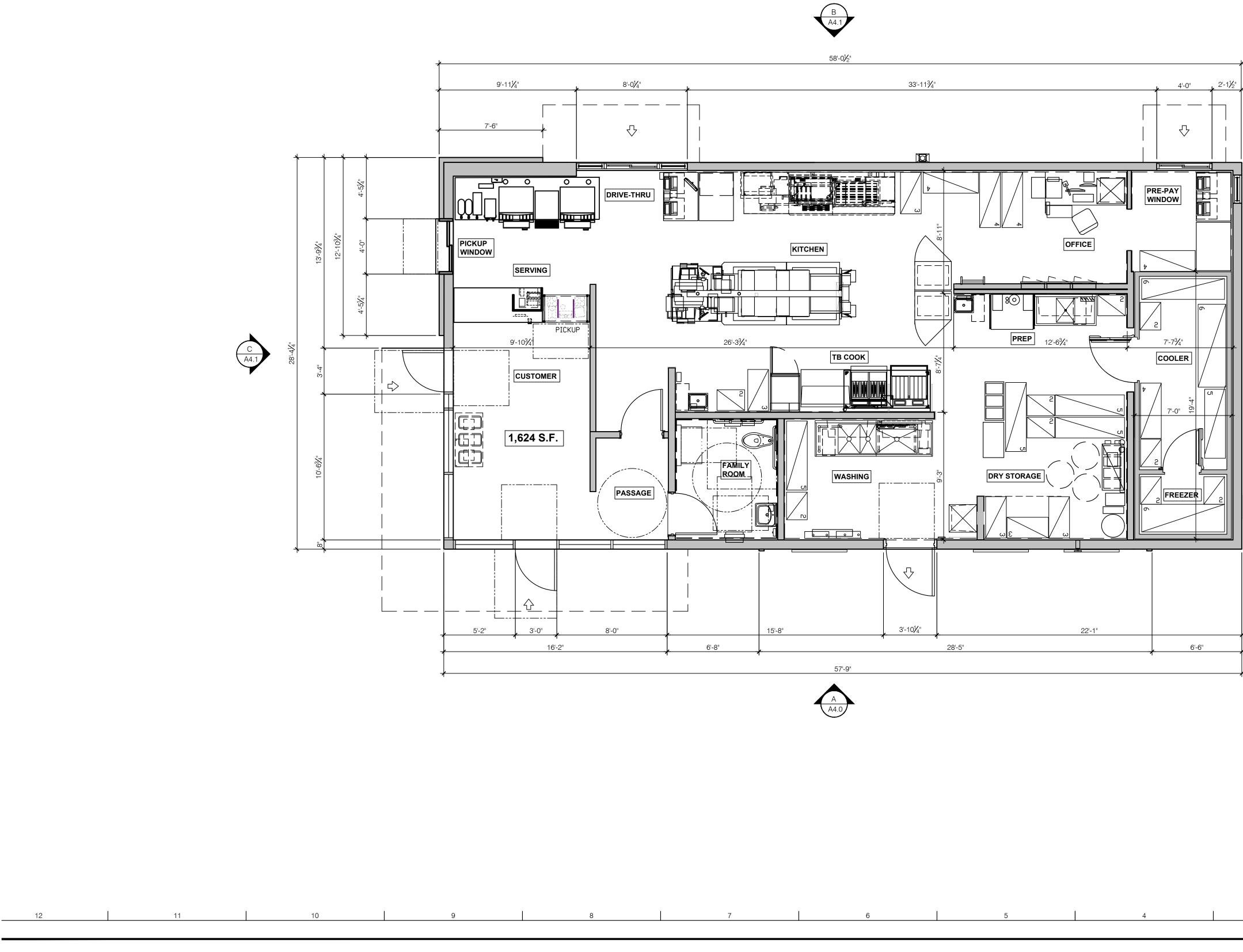
indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic

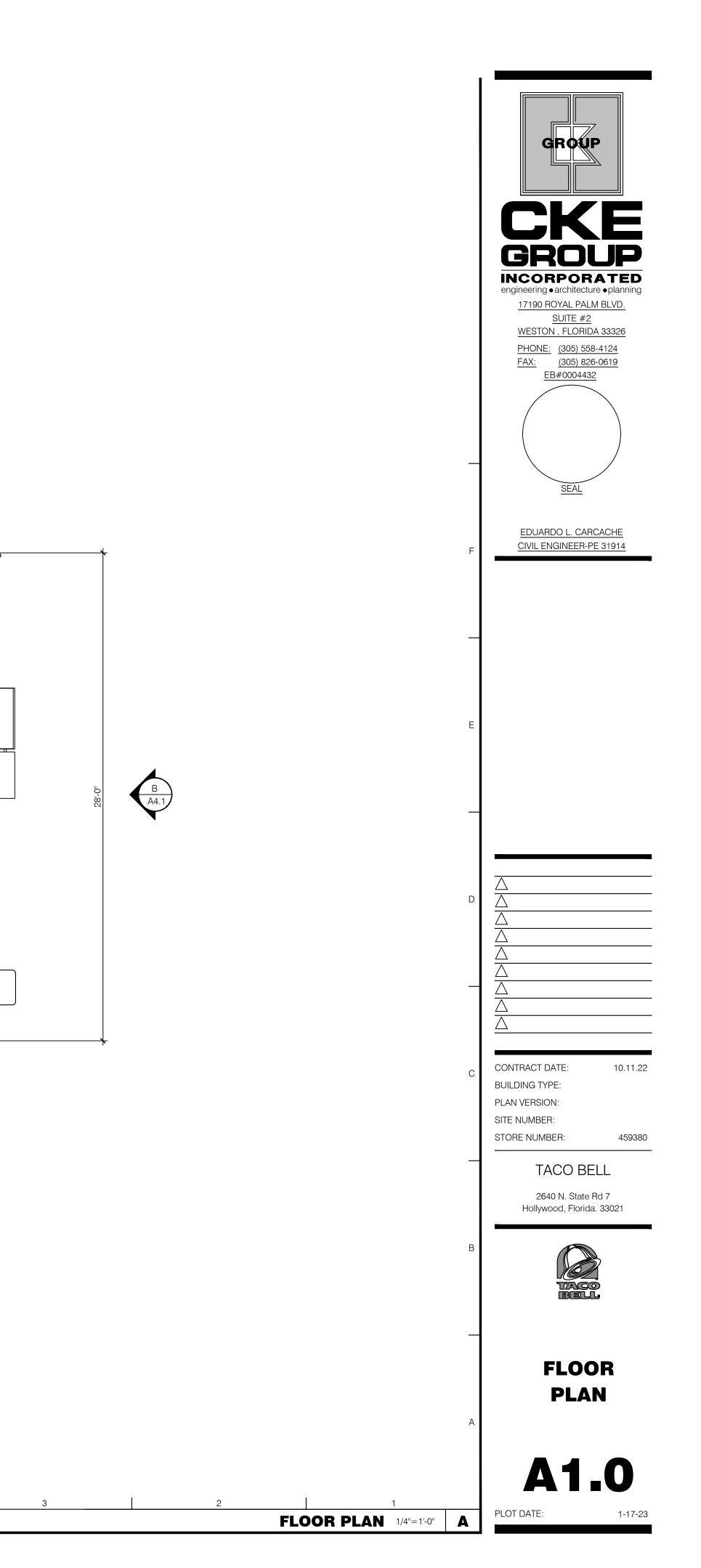
MEETING DATES: DEC 19, 2022 PACO PRELIMINARY TAC FEB 6, 2023 FINAL TAC

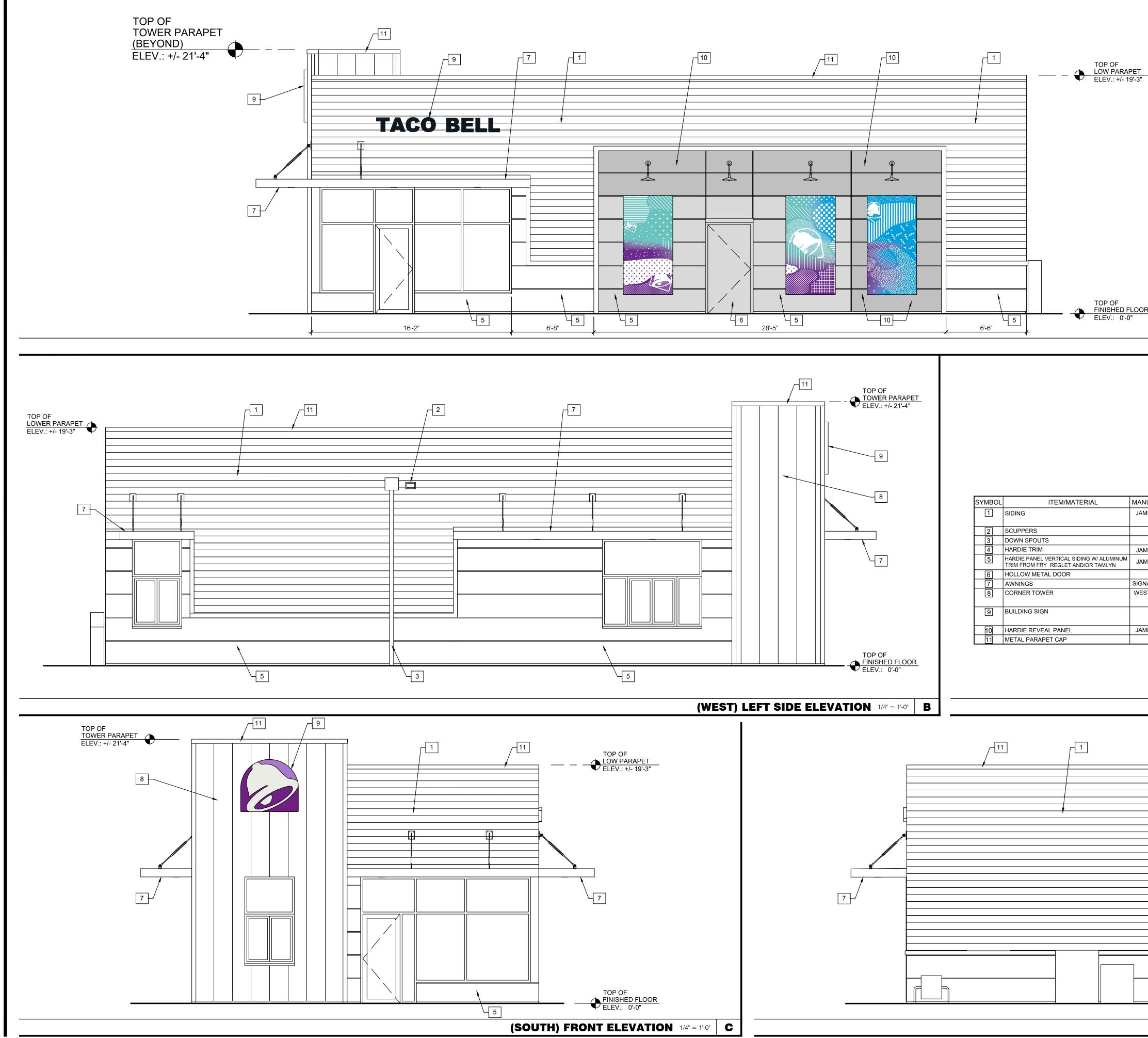




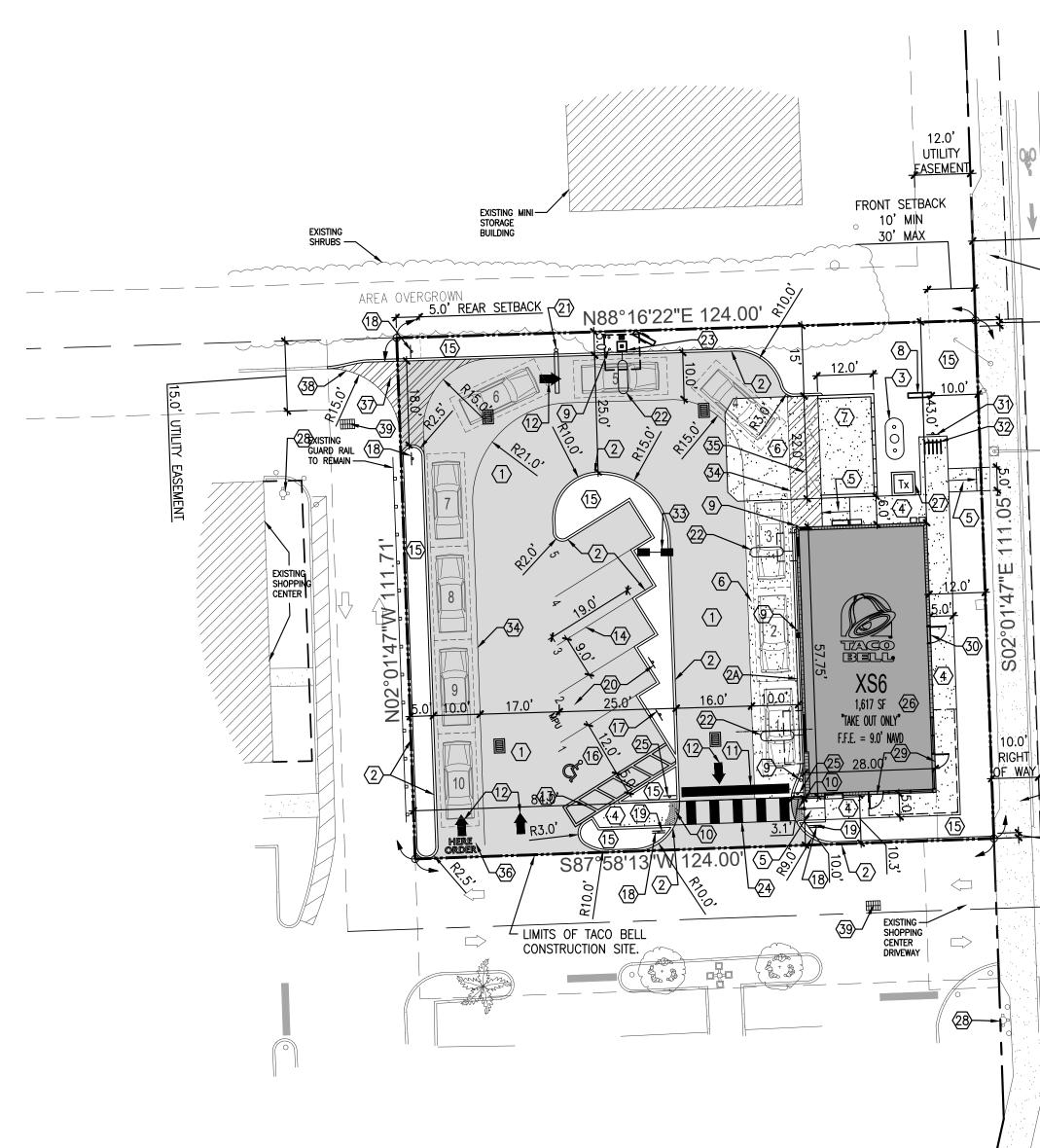








Г ;"				GROUP
				CKE GROUP INCORPORATED engineering • architecture • planning
				engineering • architecture • planning 17190 ROYAL PALM BLVD. SUITE #2 WESTON , FLORIDA 33326 PHONE: (305) 558-4124 FAX: (305) 826-0619
				<u>EB#0004432</u>
<u>OR</u>				SEAL EDUARDO L. CARCACHE
	(EAST) RI	GHT SIDE ELEVATION 1/4"	= 1'-0"	<u>CIVIL ENGINEER-PE 31914</u>
ANUFACTURER				
-	ARTISAN V-GROOVE 144"L X 8.25"W; 7" EXPOSURE COMES PRIMED FOR PAINT -	WORLDLY GRAY (SW7043), SEMI-GLOSS WORLDLY GRAY (SW7043), SEMI-GLOSS		
- AMES HARDIE AMES HARDIE	HARDIE PANEL VERTICAL	WORLDLY GRAY (SW7043), SEMI-GLOSS CYBERSPACE (SW7076), SEMI-GLOSS CYBERSPACE (SW7076), SEMI-GLOSS		
- GNAGE VENDOR ESTERN STATE	SIDING - SMOOTH - - T-GROOVE 24GA PAINTED 18" PANEL	SW PURPLE TB2603C, SEMI-GLOSS BLACK BY THE SIGNAGE VENDOR WEATHERED RUSTIC		$\frac{\underline{\Delta}}{\underline{\Delta}}$
AMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TB2603C, SEMI-GLOSS		$\frac{\bigtriangleup}{\bigtriangleup}$
	24GA GALVANIZED	CYBERSPACE (SW7076) KYNAR 500 COATING		$\frac{\Delta}{\Delta}$
	EXTERI	OR FINISH SCHEDULE 1/4"	= 1'-0"	CONTRACT DATE: 10.11.22 BUILDING TYPE:
		TOP OF TOWER PARAPET (BEYOND) ELEV.: +/- 21'-4"		PLAN VERSION: SITE NUMBER: STORE NUMBER: 459380
		ELEV.: +/- 19'-3"		TACO BELL 2640 N. State Rd 7 Hollywood, Florida. 33021
		ς.		TACO
				BELL
		7		EXTERIOR ELEVATIONS
		TOP OF FINISHED FLOOR ELEV.: 0'-0"		A4.0
	<u>↓</u> ₅] (NOR	TH) REAR ELEVATION 1/4"	= 1'-0" D	PLOT DATE: 1-17-23



SITE PLAN 1"=20'-0

	#
DRIVEWAYS & SIDEWALKS	Ġ.
NEW ASPHALT PAVEMENT: 7,103.43 SQ. FT.	
NEW CONC. DRIVEWAY (DT): 673.70 SQ. FT.	
NEW CONC. DRIVEWAY (TRASH AREA): 406.00 SQ. FT.	
NEW CONC. SIDEWALK: 837.17 SQ. FT.	¹ . ¹
NEW CONC. PAD (TRASH ENCLOSURE): 264.00 SQ. FT.	
NEW LINEAR FT OF CURB (TYPE 'D'): 664.14 FT.	

<u>SITE PLAN LEGEND</u>	
TX TRANSFORMER BOX ON PAD	
# NUMBER OF PARKING SPACE	NOTES: 1. ALL PAVEMENT MARKINGS ARE TO CO WITH THE CITY OF HOLLYWOOD BUILD
ACCESSIBLE PARKING SPACES	DEP. STANDARDS & FDOT. 2. ALL RADII AND DIMENSIONS ARE TO CURB/EDGE OF PAVEMENT.
NEW ASPHALT DRIVEWAY	 ALL SIGNAGE, CANOPIES, & DUMPSTER ENCLOSURE SHALL REQUIN SEPARATE BUILDING PERMIT.
	4. PAVEMENT MARKING MATERIAL TO BE UNLESS OTHERWISE NOTED.
NEW CONC. SIDEWALK/ DRIVEWAY	5. ALL LIGHTS AND LIGHTING SHALL BE AND ARRANGED AS NOT TO CAUSE A GLARE INTO ADJACENT PROPERTIES.

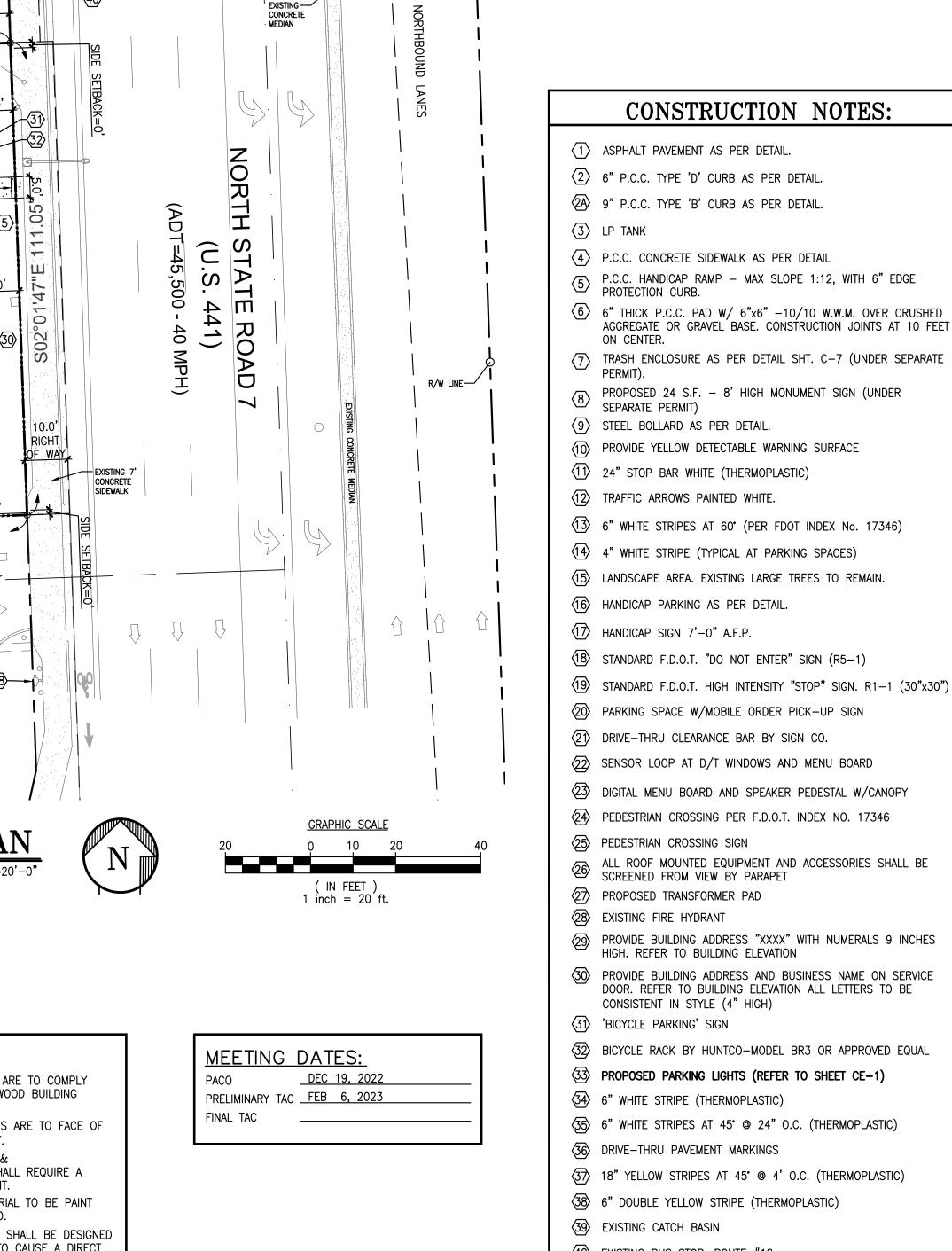
NOTES:
 ALL PAVEMENT MARKINGS ARE TO COMPLY WITH THE CITY OF HOLLYWOOD BUILDING DEP. STANDARDS & FDOT.
2. ALL RADII AND DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
 ALL SIGNAGE, CANOPIES, & DUMPSTER ENCLOSURE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
 PAVEMENT MARKING MATERIAL TO BE PAINT UNLESS OTHERWISE NOTED.
5. ALL LIGHTS AND LIGHTING SHALL BE DESIGNED AND ARRANGED AS NOT TO CAUSE A DIRECT



(PER ORDINANCE 0-2011-06)

1. ENERGY STAR APPROVED ROOFING MATERIALS.

- 2. AT LEAST 80% OF PLANTS, TREES AND GRASS PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION). LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
- 3. UTILIZE LED LIGHTS FOR OVER 90% OF PARKING LOT LIGHTING.
- 4. REFRIGERANT: ALL BUILDING HVAC & R SYSTEMS ARE FREE OF CFU'S AND HALONS. 5. REDEVELOPMENT OF EXISTING SITE - LOCATE THE BUILDING ON A SITE
- THAT HAS EXISTING HARDSCAPE OR BUILDINGS THAT MUST BE REPLACED BY THE NEW DEVELOPMENT AND HAS EXISTING UTILITY CONNECTIONS TO THE SITE.
- 6. ACCESS TO PUBLIC TRANSPORTATION THE SITE IS LOCATED WITHIN MILE OF EXISTING RAIL NODE OR 1/4 MILE OF AT LEAST 1 ACTIVE BUS STOP.
- 7. SIDEWALKS PROVIDE SIDEWALKS FOR ALL PATHS TO ADJACENT CITY STREETS THAT ARE MINIMUM 4' WIDE WITH CONCRETE OR OTHER FIRM, SLIP RESISTANT SURFACES.
- 8. REDUCE HEAT ISLAND EFFECT UTILIZE A COOL-ROOF THAT WILL HAVE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 78, WHICH REDUCES THE HEAT ISLAND EFFECT.
- 9. DURABLE EXTERIOR MATERIALS—BUILDING DESIGN SHALL INCLUDE DURABLE EXTERIOR BUILDING WALL AND WINDOW MATERIALS TO PREVENT DAMAGE FROM HIGH WINDS. THE EXTERIOR SURFACE OF A MINIMUM OF 80% OF WALLS SHALL BE CONCRETE OR BRICK MASONRY. WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING.
- 10. LOW FLOW TOILET FIXTURES. THE TOILETS SHALL HAVE A MAXIMUM WATER USE OF 1.28 GPF. URINALS SHALL HAVE A MAXIMUM WATER USE OF 0.5 GPF. CALCULATIONS MUST BE SUBMITTED WITH PLANS. SYSTEM MUST PASS ALL REQUIRED INSPECTIONS BY PLUMBING INSPECTOR.



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GRASS MEDIAN

- 4 P.C.C. CONCRETE SIDEWALK AS PER DETAIL
- 6 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10 FEET
- TRASH ENCLOSURE AS PER DETAIL SHT. C-7 (UNDER SEPARATE

- (13) 6" WHITE STRIPES AT 60" (PER FDOT INDEX No. 17346)
- (15) LANDSCAPE AREA. EXISTING LARGE TREES TO REMAIN.

- 23 DIGITAL MENU BOARD AND SPEAKER PEDESTAL W/CANOPY

- 29 PROVIDE BUILDING ADDRESS "XXXX" WITH NUMERALS 9 INCHES
- 32 BICYCLE RACK BY HUNTCO-MODEL BR3 OR APPROVED EQUAL
- $\langle \overline{35} \rangle$ 6" WHITE STRIPES AT 45" @ 24" O.C. (THERMOPLASTIC)
- (37) 18" YELLOW STRIPES AT 45" @ 4' O.C. (THERMOPLASTIC)
- (40) EXISTING BUS STOP. ROUTE #18

TOTAL SITE AR TOTAL BUILDII TOTAL VEHICL INTERIOR LAN PERIMETER LA TOTAL OPEN S 2 SETBACKS

DESCRIPTION FRONT (EAST)



LEGAL DESCRIPTION: (TITLE COMMITMENT)

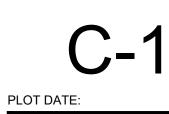
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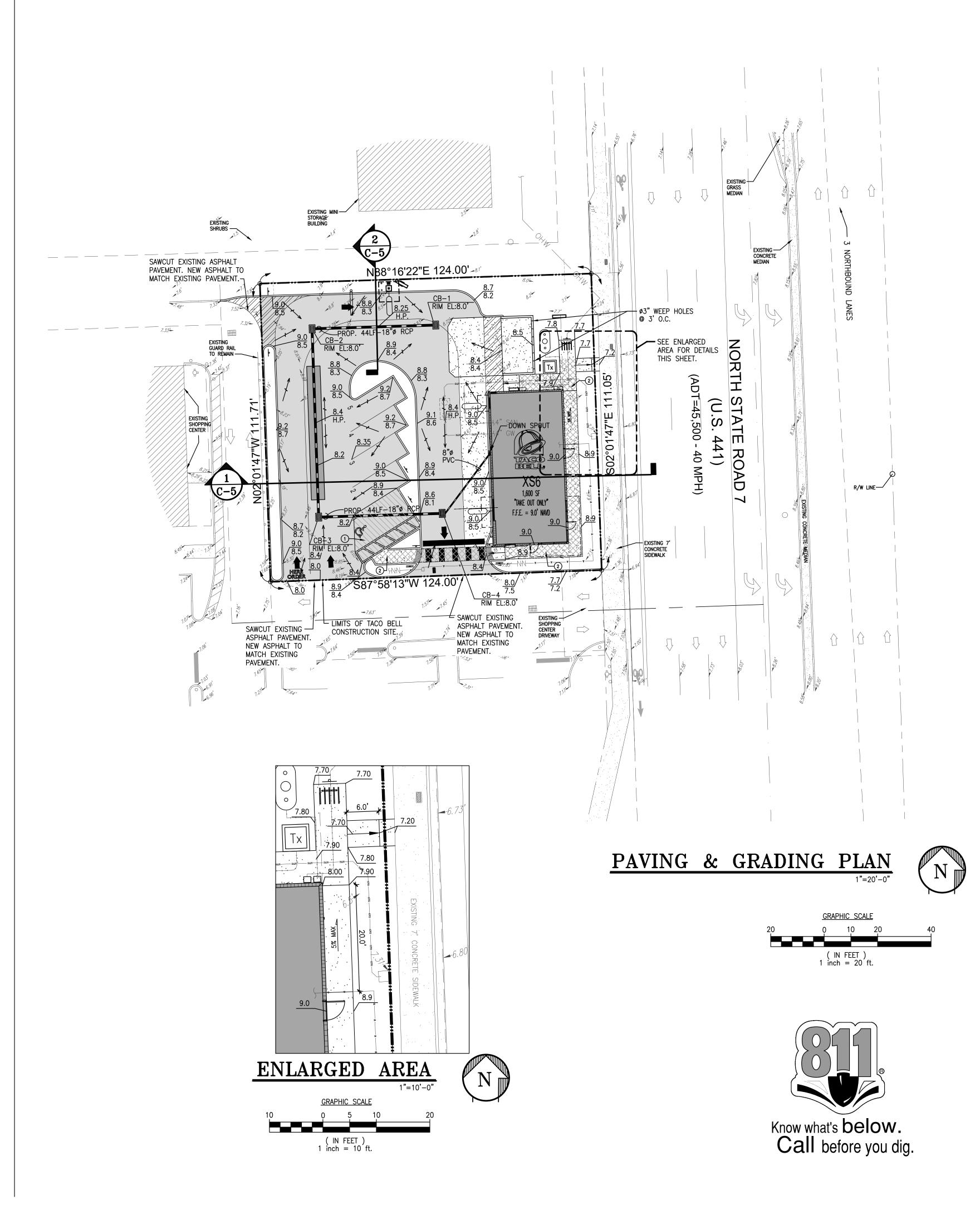
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

			<u>SITE A</u>		DE DATA			
DESCRIPTION			TACO BELL RES	ΤΔΙ ΙΡΔΝΤ ΔΤ		ΟΔΚΡΙΔ7Δ		
CURRENT ZONING		C-MU (Central N			OAK F LAZA			
CURRENT LAND			Commercial					
CURRENT USE	, 05L		Commercial					
			Commercial					
1 GENERAL INF	ORMATION							
DESCRIPTION								
NON-RESIDENTIAL		ТҮРЕ				GROSS BUILD	ING AREA	
		New Restaurar	nt			1,600 SF		
FAR			N/A					
TOTAL SITE ARE			13,811 (NET) SF		(0.317 Acres)			
TOTAL BUILDIN			1,617 SF		11.71%			
TOTAL VEHICUL			8,183 SF		59.25%			
INTERIOR LAND		•	2,909.7 SF		35.94%	of vehicular u	se area	
PERIMETER LAN		BACK AREA)			24 070			
TOTAL OPEN SF	AUE AKEA		2,909.7 SF		21.07%)		
2 SETBACKS								
NE	W RESTAURA	NT						
DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED
FRONT (EAST)	10'-0'/30'-0"	12'-0"						
REAR (WEST)	5'-0''	84'-0''						
SIDE (NORTH)	0'-0''	43'-0"						
SIDE (SOUTH)	0'-0"	10'-0"						
3 MINIMUM A								
FRONTAGE			REQUIRED PROV			IDED		
U.S. 441 (111.0	5 FT)			60%		57.75'	(52%)	
4 HEIGHTS PRC	OVIDED							
NE	W RESTAURA	NT						
DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED
HEIGHT	140'-0"	21'-4"						
5 PARKING DA	ТА							
DESCRIPTION			MINIMUM 1 P	ER 150 SF BUIL	DING AREA		REQUIRED	REQUIRED
NEW RESTAURANT, TAKE OUT		Standard parking spaces for 1,617 SF				11 sp	-	
							11 sp	
		TOTAL STAN	NDARD PARKIN	G SPACES			PROVID	ED 5 SPACES DING 1 HC
6 PROJECT SUN	MMARY							
SUMMARY OF	REQUESTS: V	ARIANCES, M	ODIFICATIONS A	ND SPECIAL EX	CEPTION			
SPECIAL EXCEP	TION							
VARIANCE					REQUIRED	PROVIDED		
		PARKING SPA	ACES		11	5	7.2.28	
		ACTIVE USE			60%	52%	C-MU (ii)	
		TRANSPAREN	ICY		50%	27.90%	TOC D-D.3.a(i	i)(c)



SITE PLAN





NOTES:

- 1. SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK.
- 2. SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY. COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
- 3. SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE.
- 4. GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING. COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.

NOTE:

CONTRACTOR TO DEMOLISH EXISTING BUILDINGS (INCLUDING FOUNDATIONS AND UNDERGROUND STRUCTURES), REMOVE ALL DEBRIS, PROVIDE CLEAN AND GRADED SITE, AND VERIFY LOCATION AND INVERT ELEVATIONS, PRIOR TO TACO BELL START CONSTRUCTION.

PROPOSED DRAINAGE SCHEDULE

W

4.0'

4.0'

PROPOSED

N/Ą

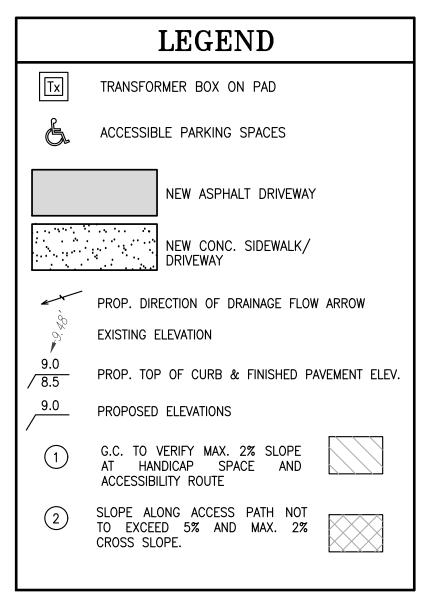
9.0'

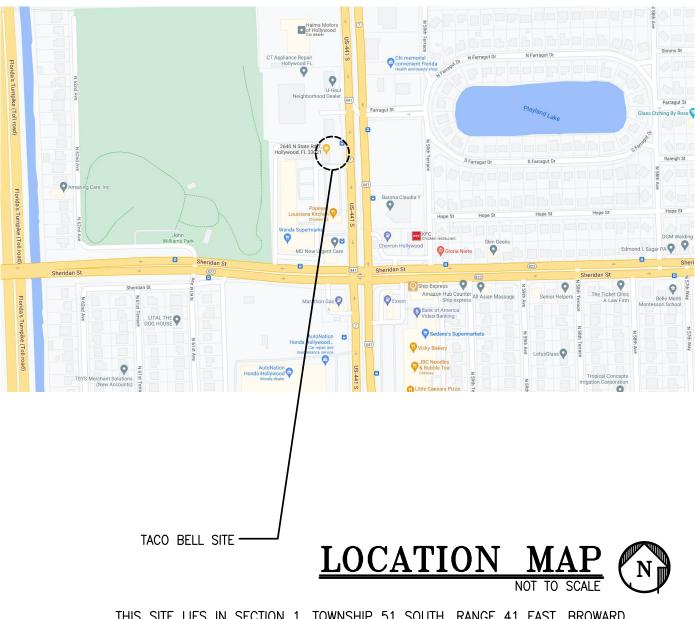
			IN	IVERT EL	EVATION	S
STRUCTURE #	TYPE	GRATE EL.	N	S	E	
CB-1	"F"-(4'x4')	8.0				
CB-2	"M"-(5'x5')	8.0		4.0'*	4.0'	
CB-3	"M"-(5'x5')	8.0	4.0'*		4.0'	
CB-4	"F"-(4'x4')	8.0			(8"RD) 4.0'	
* PROVIDE P	OLLUTION RETAR	DANT BAFFLE.				

REQUIRED FINISH FLOOR ELEVATION

1. 1 FT ABOVE FLOOD CRITERIA 2. 6 INCHES ABOVE CROWN OF ROAD 8.46'+0.5'=8.96'

REQ'D N/A-FLOOD ZONE "X"





THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION: (TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

GENERAL NOTES

- ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
- ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY THE CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT.
- STABILIZED SUBGRADE SHALL HAVE LIMEROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
- LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-478 AND 64T, AND THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
- 9. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- 10. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
- 11. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
- 12. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
- 13. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS. (LATEST EDITION)
- 14. ALL DRAINAGE SYSTEM PIPE JOINTS INCLUDING THOSE OUTSIDE THE EXFILTRATION TRENCH, TO BE WRAPPED IN FDOT APPROVED FILTER FABRIC WITH SECURING DEVICE (INDEX No. 280, FDOT DESIGN STANDARDS JANUARY 2004)
- 15. ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
- 16. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 17. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO THE MIAMI DADE COUNTY PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY THE CITY OF HOLLYWOOD OFFICIALS OF UNDERGROUND UTILITIES.
- 19. SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.



	DATE	REMARKS
CON	ITRACT DAT	E:
BUIL	DING TYPE:	XS6
PLAI	N VERSION:	
BRA	ND DESIGNE	ER: DANIEL DICKSON
SITE	NUMBER:	315998
STO	RE NUMBER	:: TB-459380
PA/F	PM:	DIANA DeCICCO
DRA	WN BY.:	AG
JOB	NO.:	

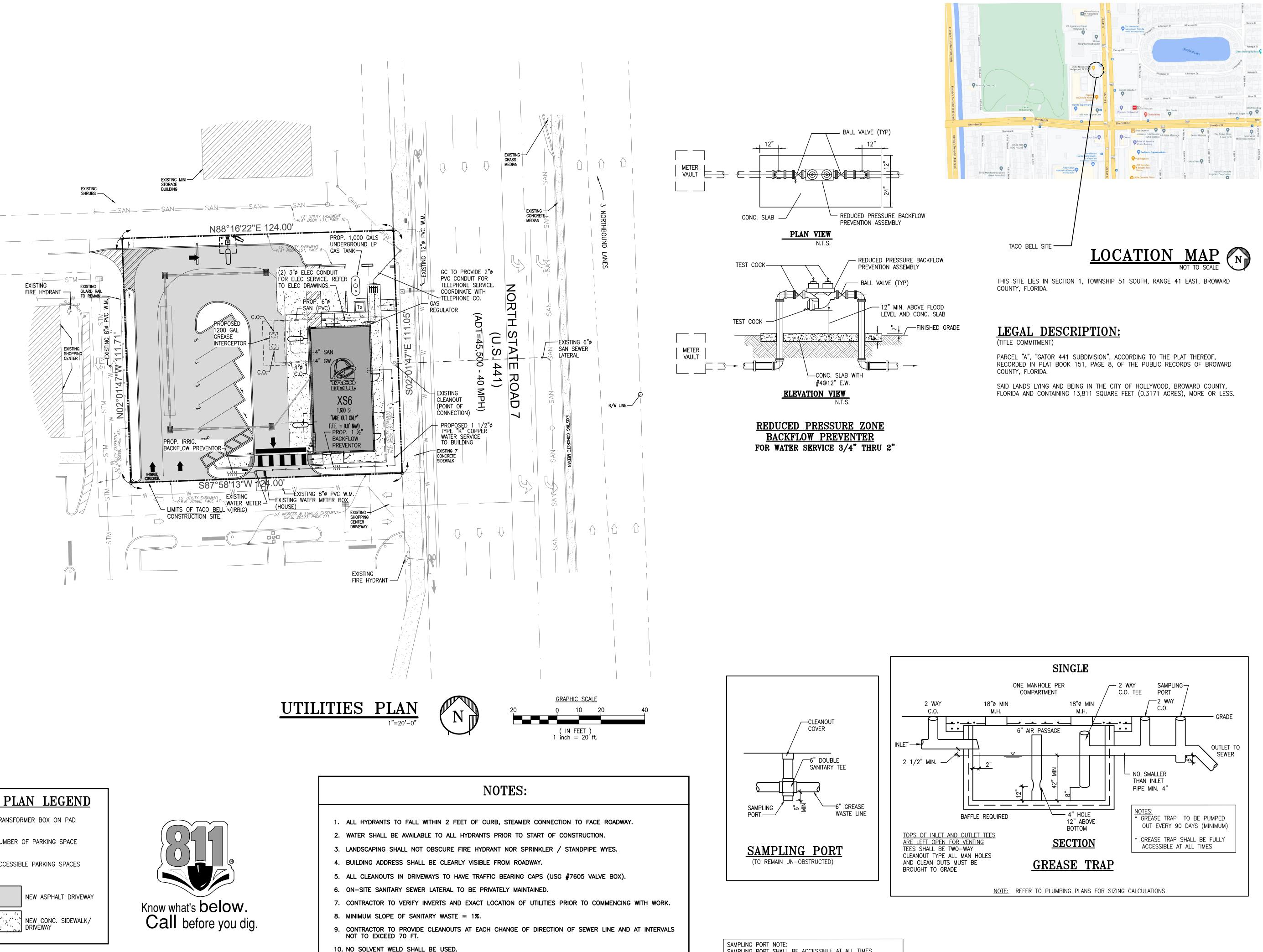
TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021

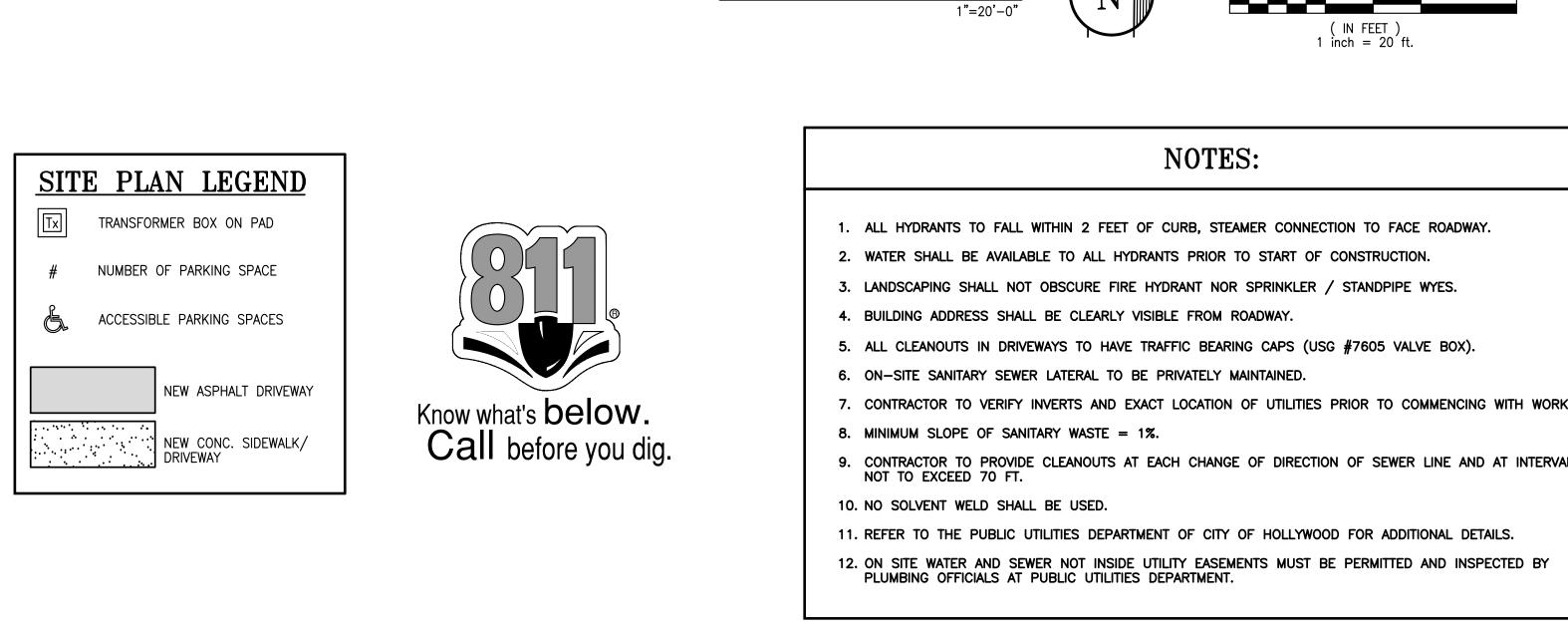


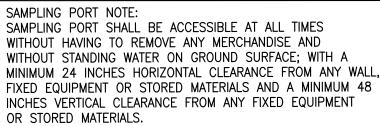
XS6

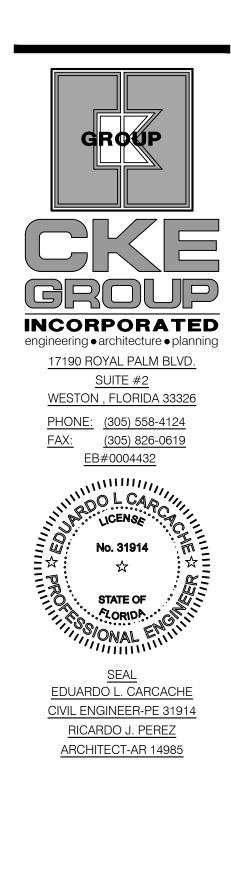
PAVING AND GRADING PLAN



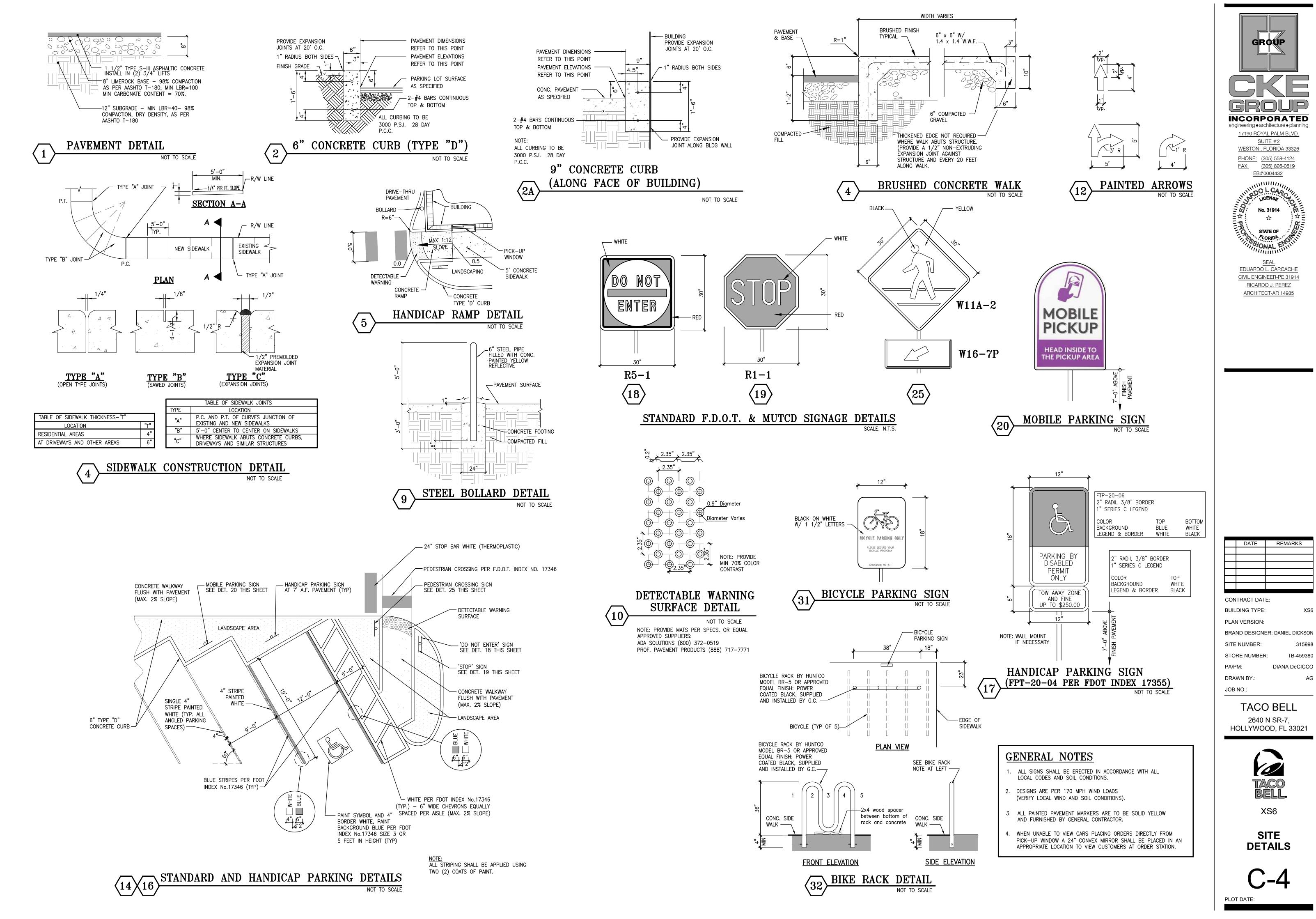


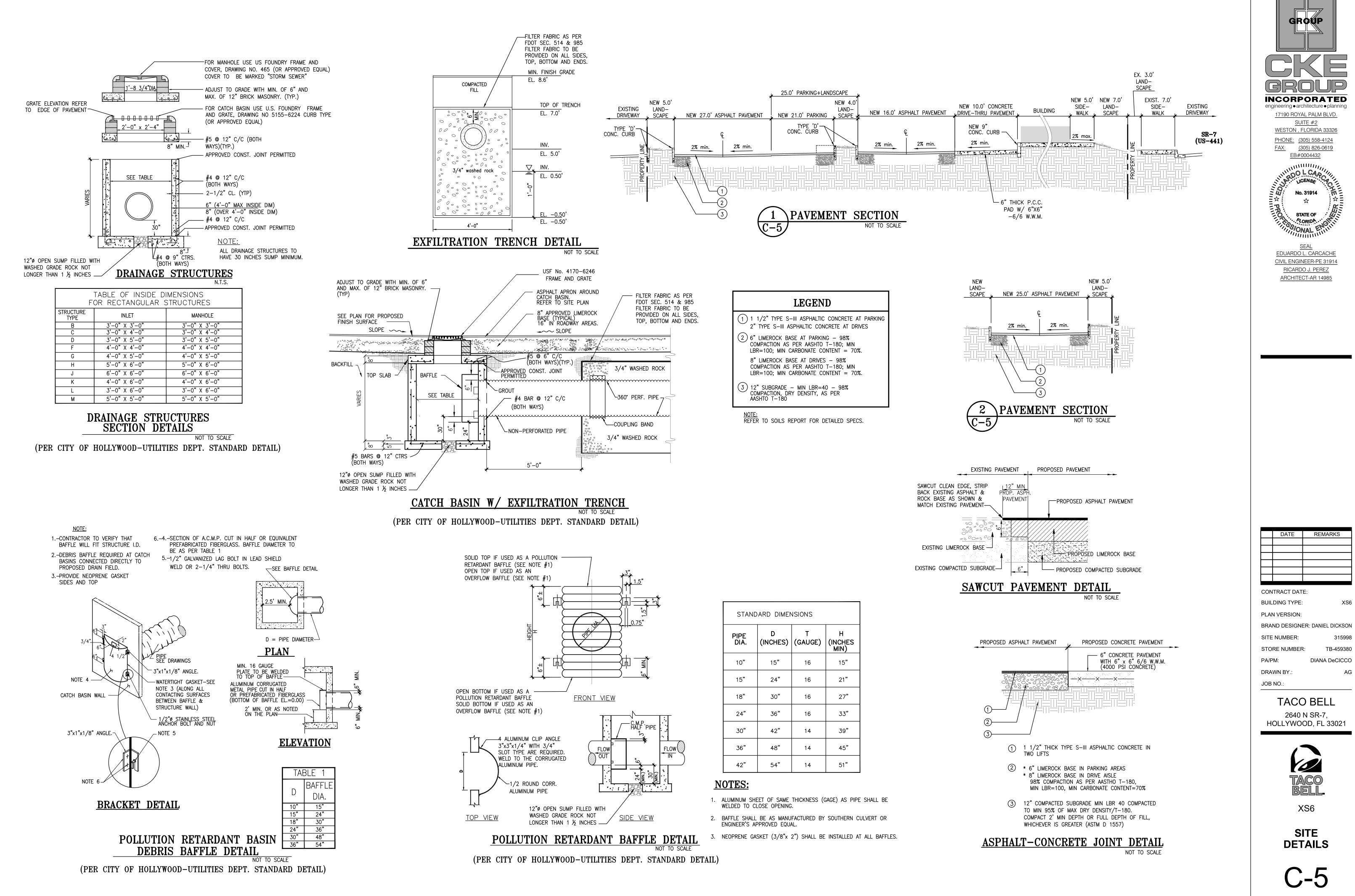




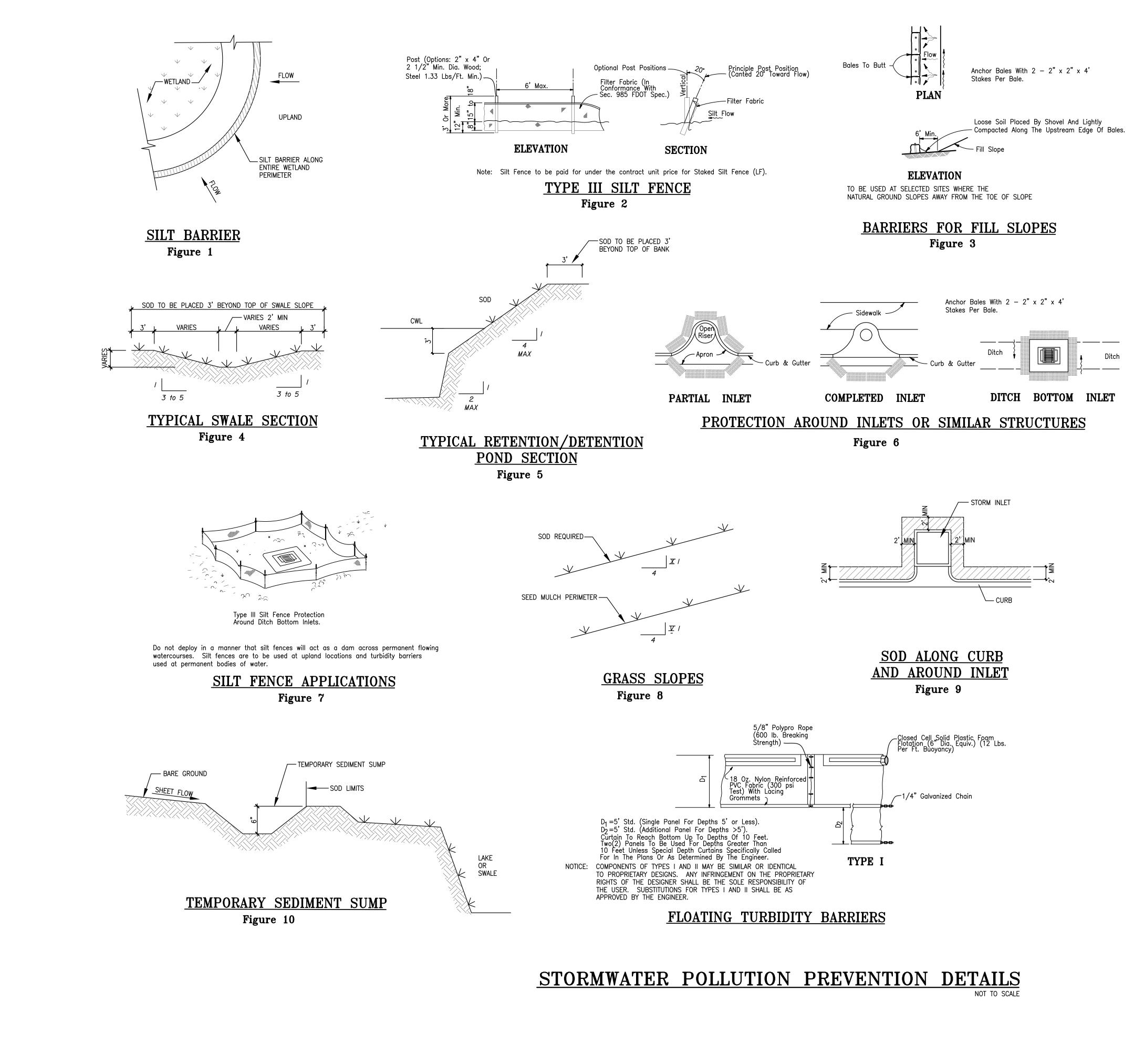








STANDARD DIMENSIONS					
PIPE DIA.	D (INCHES)	T (GAUGE)	H (INCHES MIN)		
10"	15"	16	15"		
15"	24"	16	21"		
18"	30"	16	27"		
24"	36"	16	33"		
30"	42"	14	39"		
36"	48"	14	45"		
42"	54"	14	51"		



Best Management Practices

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C.. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.

2. Protection of preserved/conserved upland habitats during construction.

3. General erosion control.

4. Protection of surface water quality during and after construction.

5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION

1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.

1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.

1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.

1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS

2.1 Barricades shall be placed around all protected (preserved) habitats including mesic and uplands during development.

2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

SECTION 3 GENERAL EROSION CONTROL

3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slop cave-ins. While the various techniaues required will be site and plan specific, they should be employed as soon as possible during construction activities.

3.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary aroundcover

3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.

3.4 All gross slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.

3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.

3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.

4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.

4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:

a. In general erosion shall be controlled at the furthest practical upstream location. b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.

4.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.

4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 5 CONTROL OF WIND EROSION

5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:

a. Bore earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction. b. As soon a practical after completion of construction, bare earth areas shall be vegetated. c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

NOTES

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION



CONTRACT DATE:					
BUILDING TYPE:	XS6				
PLAN VERSION:					
BRAND DESIGN	ER: DANIEL DICKSON				
SITE NUMBER:	315998				
STORE NUMBER	R: TB-459380				

DATE REMARKS

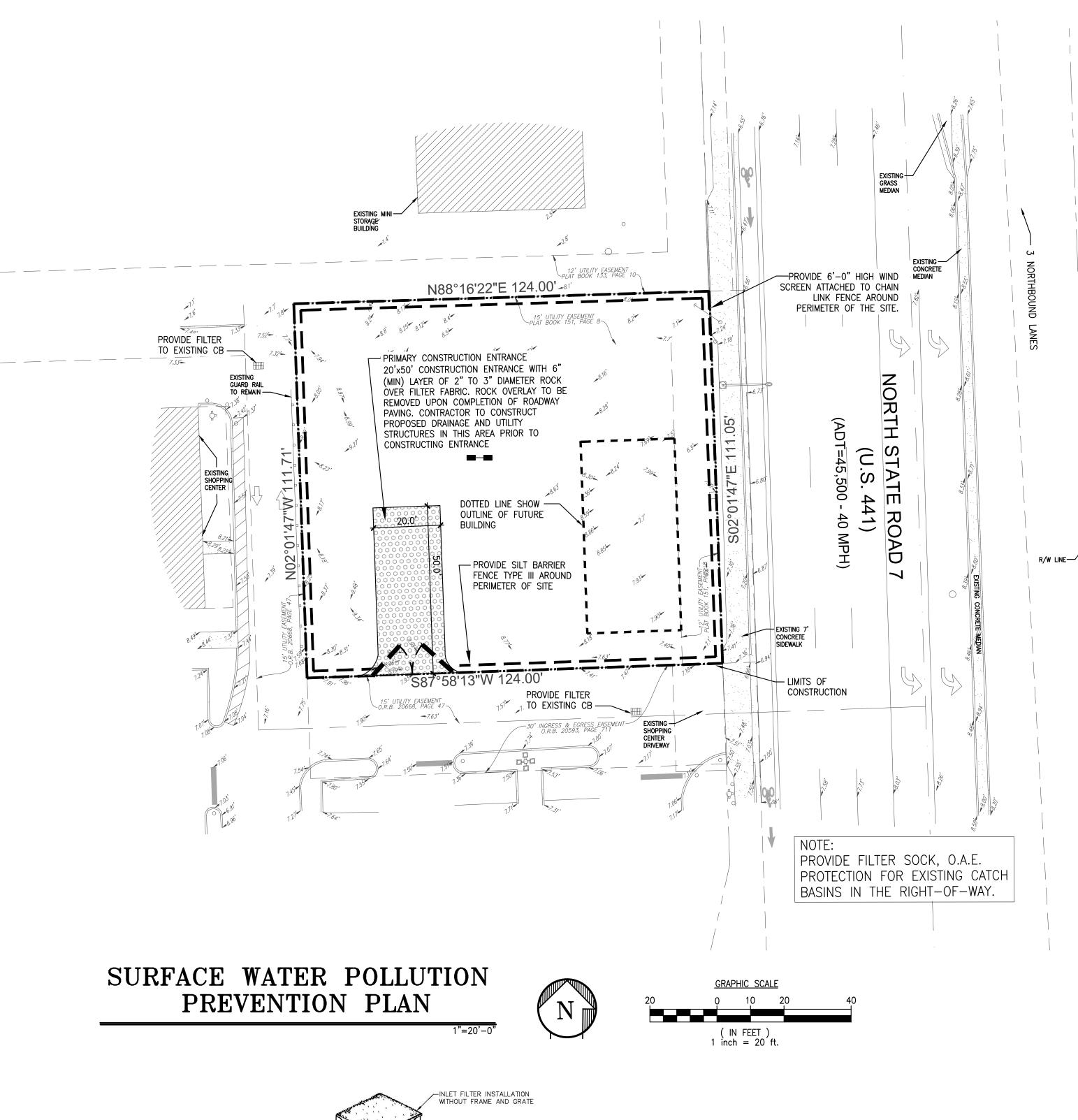
DIANA DeCICCO PA/PM: DRAWN BY. AG JOB NO.:

TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021



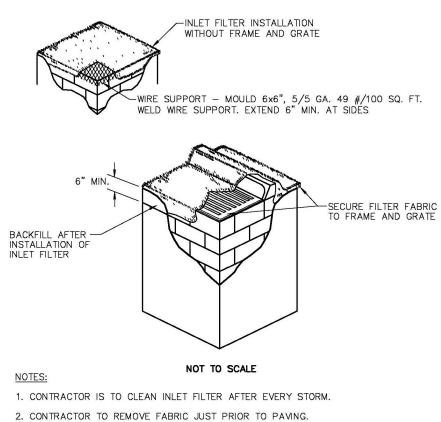
XS6





REMOVED.





A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB. STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS

INLET FILTER DETAIL

TEMPORARY ENTRANCE:

CONSTRUCTION SPECIFICATIONS: THIS AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. THE GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO APPROVED SPECIFICATIONS IF WASH ROCKS ARE USED. THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURE'S SPECIFICATIONS.

MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLAW OR MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH (5 cm) STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENTS. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. LOOK FOR SIGNS OF TRUCKS AND TRAILERED EQUIPMENT "CUTTING CORNERS" WHERE THE GRAVEL MEETS THE ROADWAY. SWEEP THE PAVED ROADS DAILY FOR SEDIMENTS AND STONES.

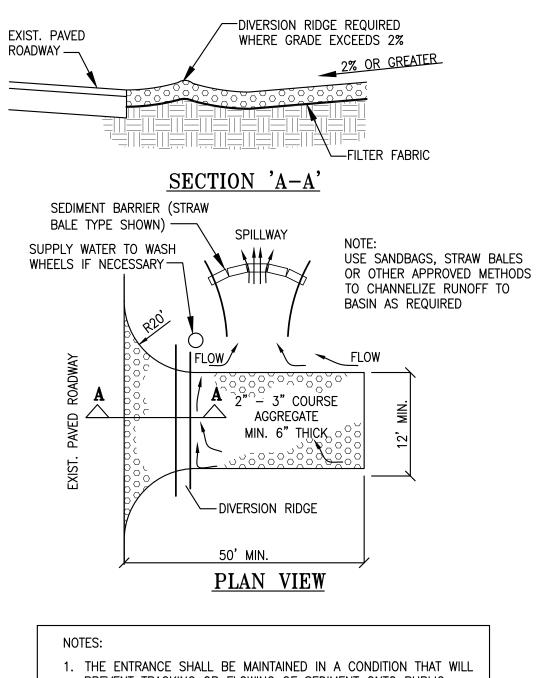
MAINTENANCE NOTES ALL MEASURES STATED ON THIS EROSION AND SEDIMENT PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING: INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE. . THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND. 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND. $^{3.}$ All maintenance operations shall be done in a timely WISE MANNER BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

NOTES:

- 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY. THIS MAY REQUIRED TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY.
- 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION SEQUENCE

- TEMPORARY CONSTRUCTION FENCE 2. SILT FENCE AND WIND SCREEN
- 3. TEMPORARY SEDIMENTATION BASIN AND RELATED SWALES
- 4. CLEAR AND GRUB 5. TEMPORARY STABILIZATION
- 6. SITE IMPROVEMENTS AND BUILDING CONSTRUCTION
- FINAL STABILIZATION
- 8. REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES



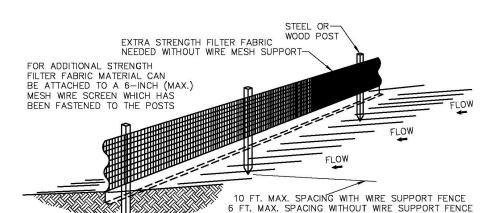
- PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY. THIS MAY REQUIRED TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY.
- 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



LEGAL DESCRIPTION: (TITLE COMMITMENT)

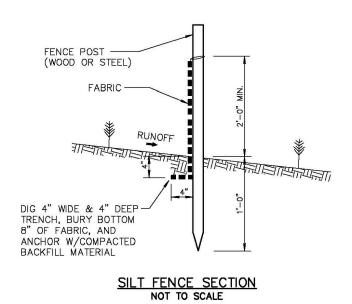
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

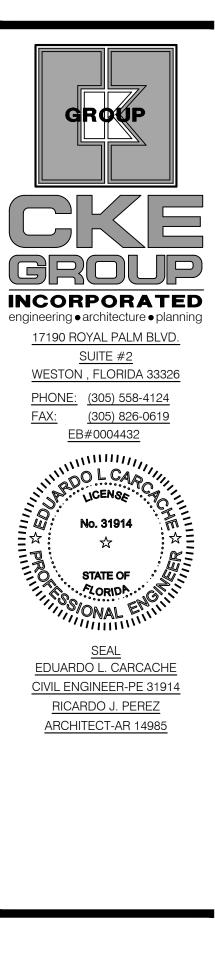
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



NOTES:

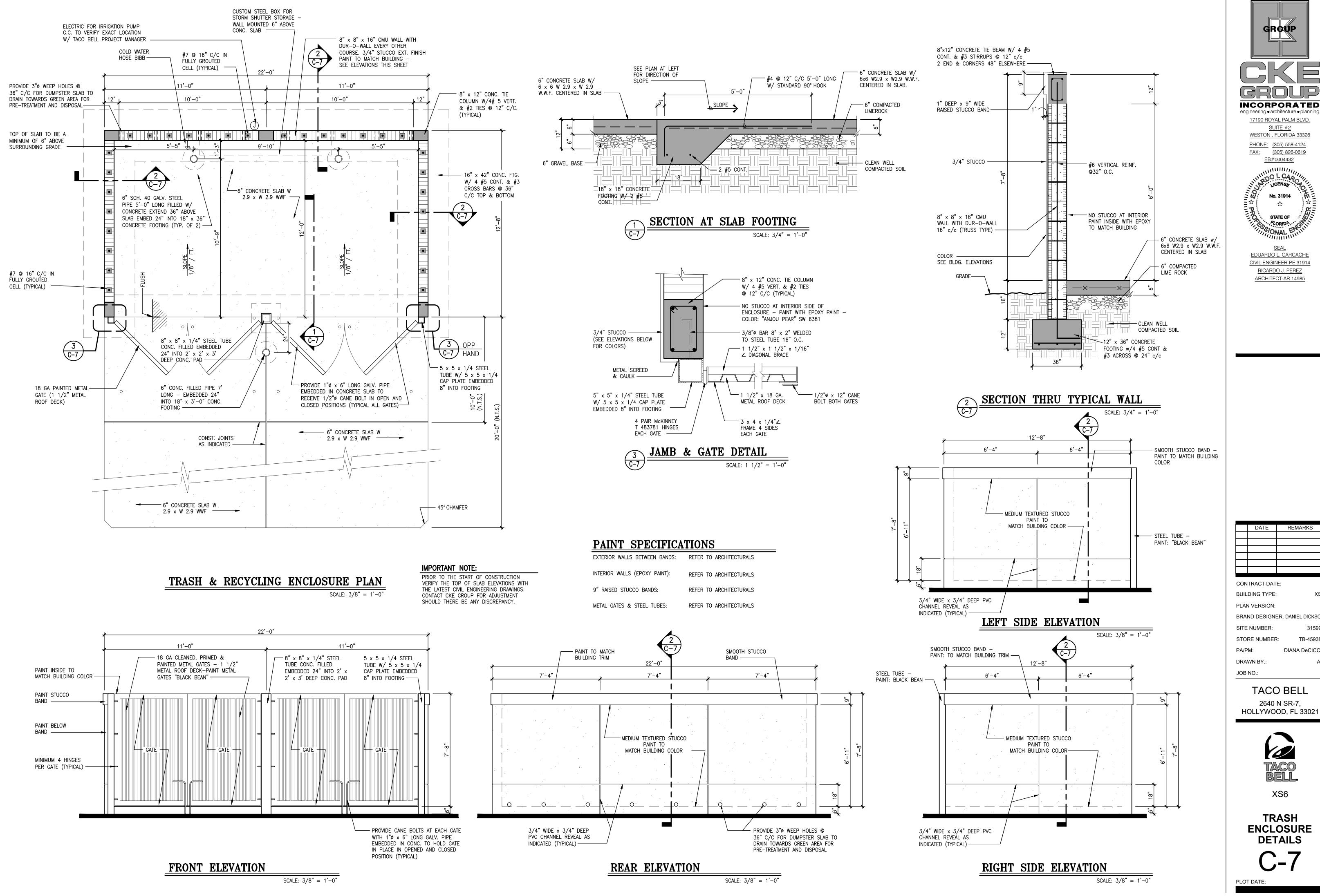
- 1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER. 5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE. 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE,
- AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGIONAL GROUND SURFACE.





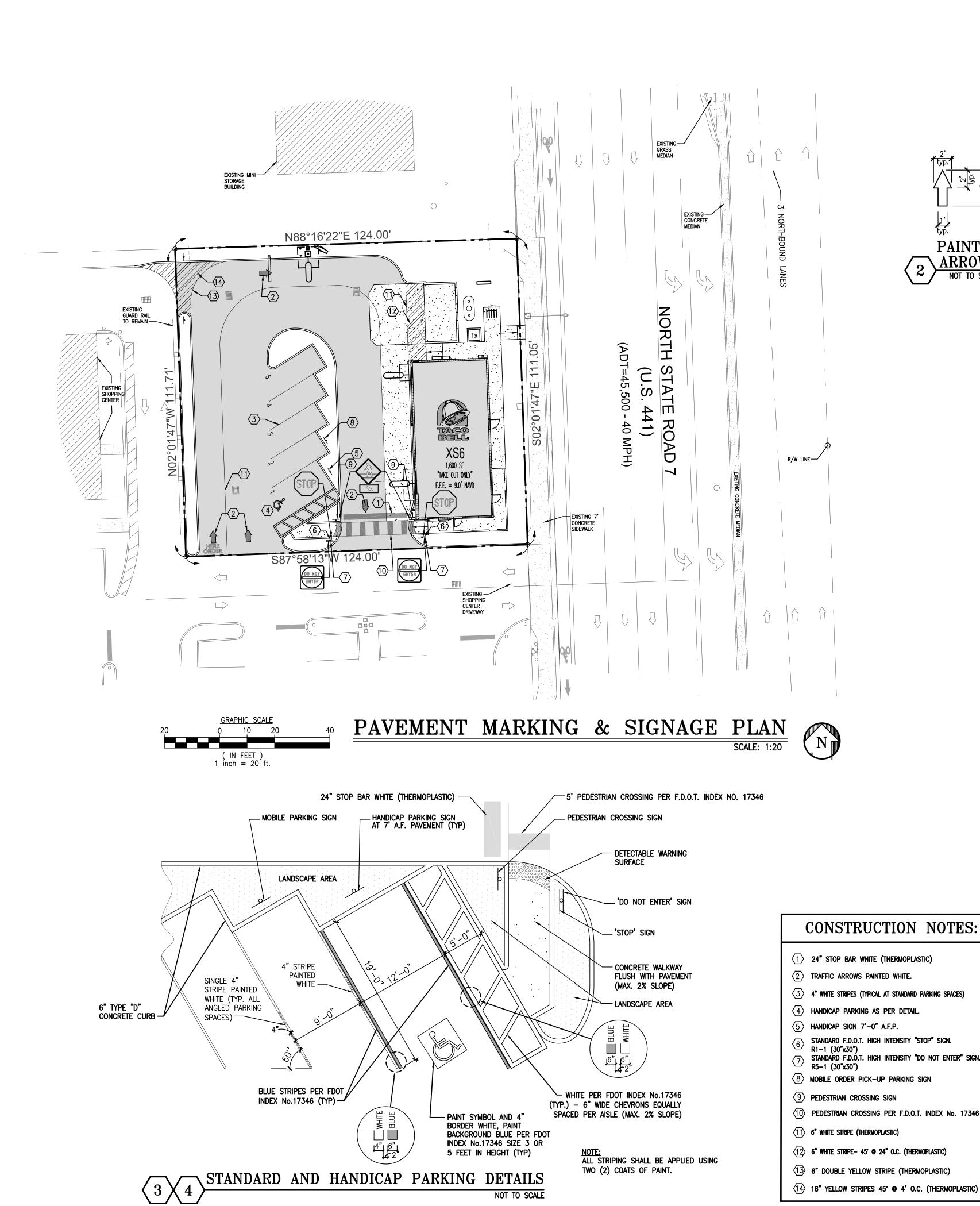


SILT FENCE INSTALLATION DETAILS



BRAND DESIGNER: DANIEL DICKSON 315998 TB-459380 DIANA DeCICCO AG HOLLYWOOD, FL 33021

XS6

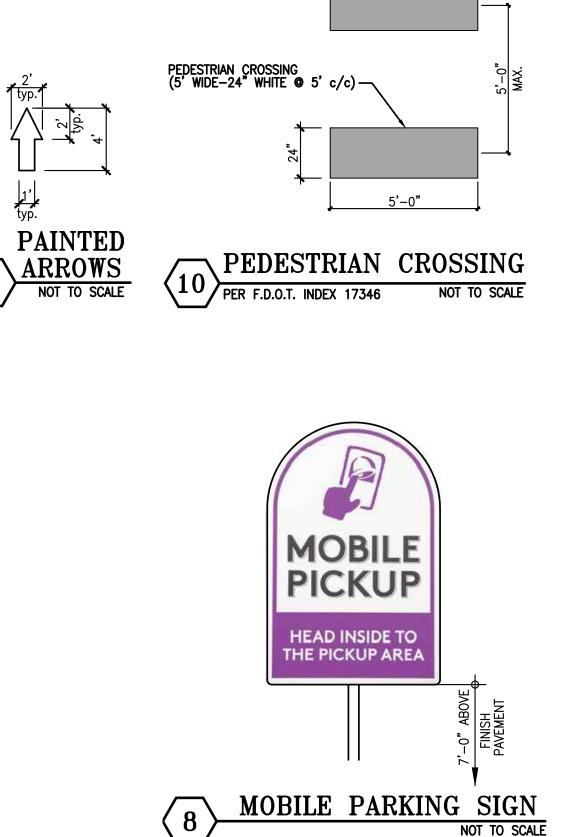


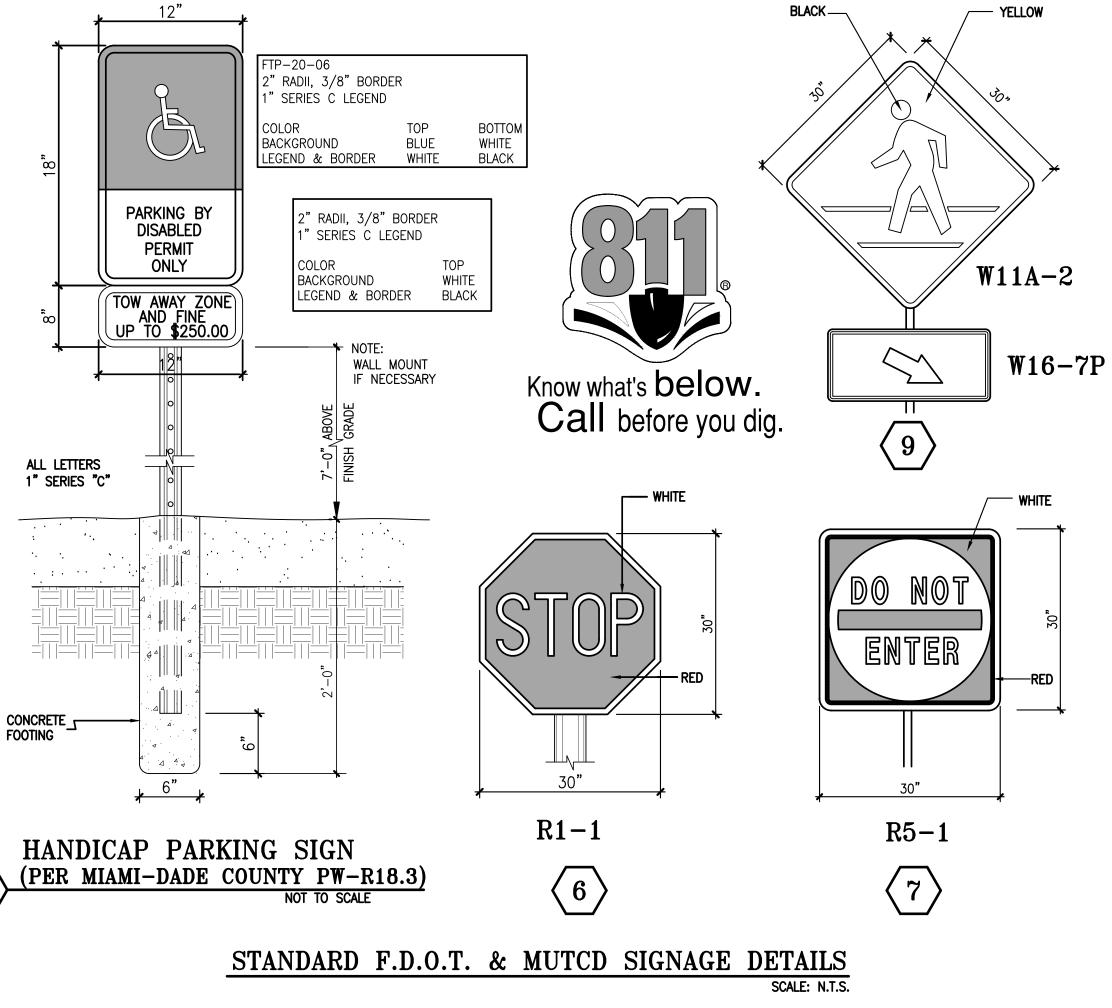
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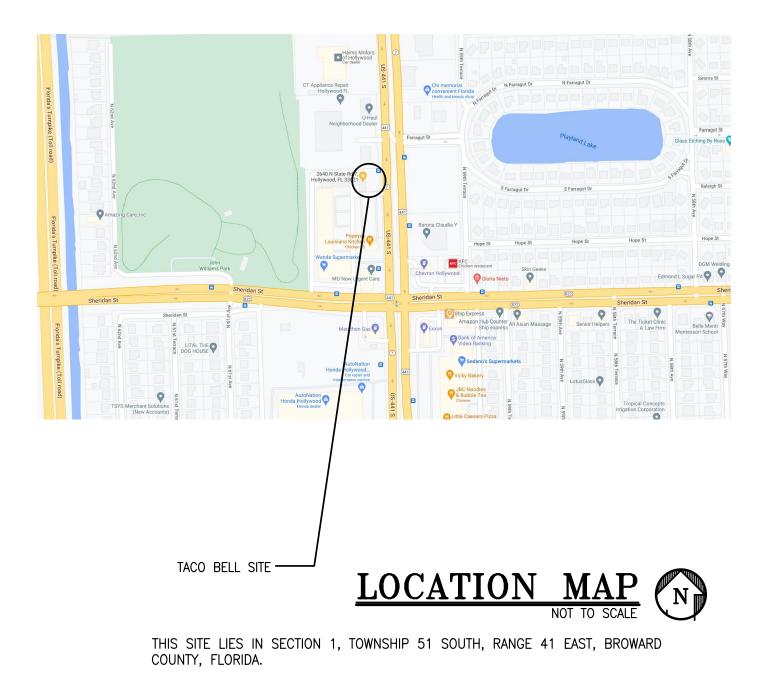
- $\langle 2 \rangle$ TRAFFIC ARROWS PAINTED WHITE.
- $\overline{3}$ 4" white stripes (typical at standard parking spaces)
- $\langle 4 \rangle$ handicap parking as per detail.
- $\langle 5 \rangle$ handicap sign 7'-0" a.f.p.
- 6 STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30") 7 STANDARD F.D.O.T. HIGH INTENSITY "DO NOT ENTER" SIGN. R5-1 (30"x30")
- $\langle 8 \rangle$ mobile order Pick-up parking sign
- (10) PEDESTRIAN CROSSING PER F.D.O.T. INDEX No. 17346

 $\left(5 \right)$

- $\langle 11 \rangle$ 6" WHITE STRIPE (THERMOPLASTIC)
- $\langle 12 \rangle$ 6" white stripe- 45" **0** 24" O.C. (Thermoplastic)
- (13) 6" DOUBLE YELLOW STRIPE (THERMOPLASTIC)
- (14) 18" YELLOW STRIPES 45" 4' O.C. (THERMOPLASTIC)





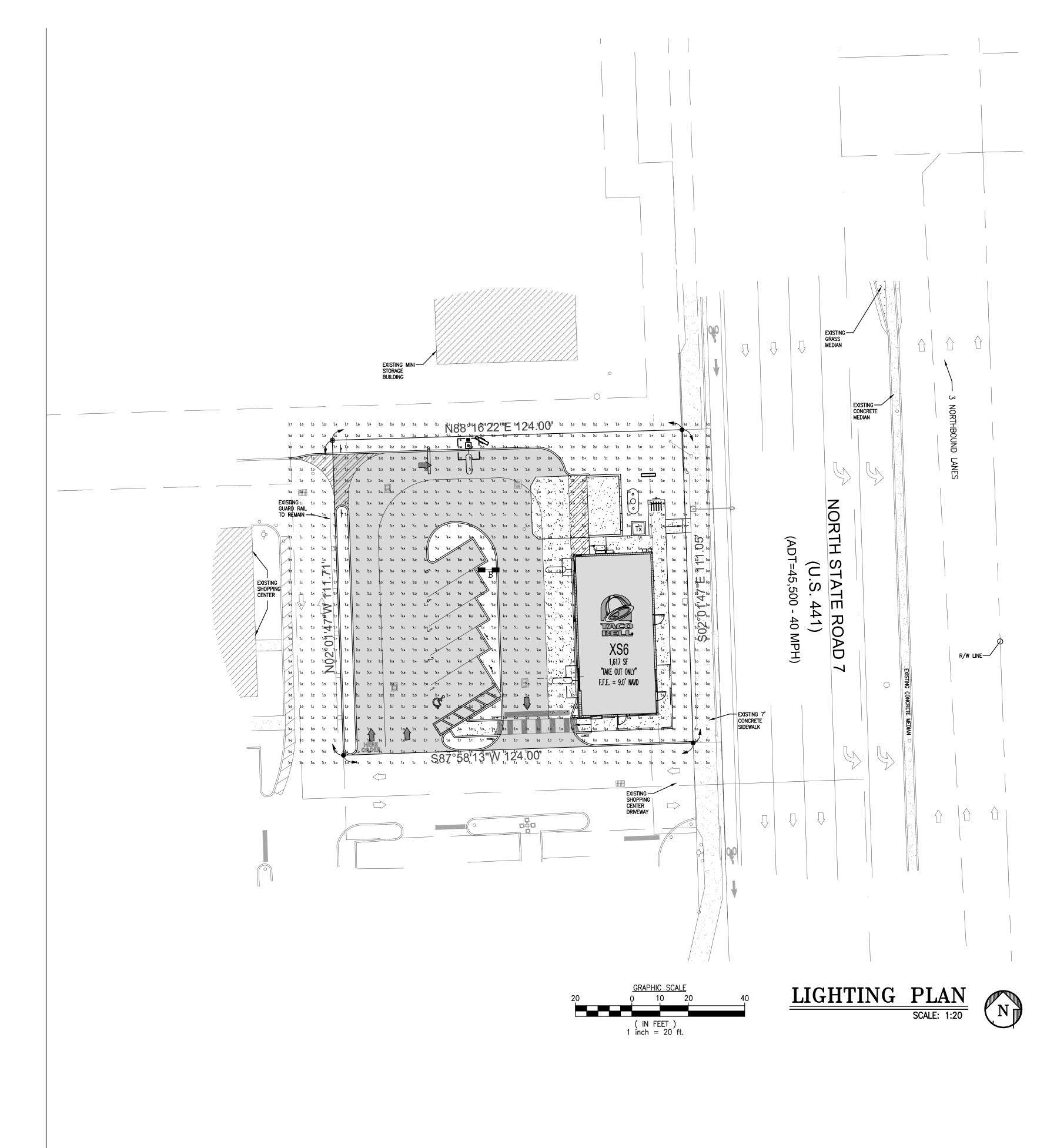


LEGAL DESCRIPTION: (TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



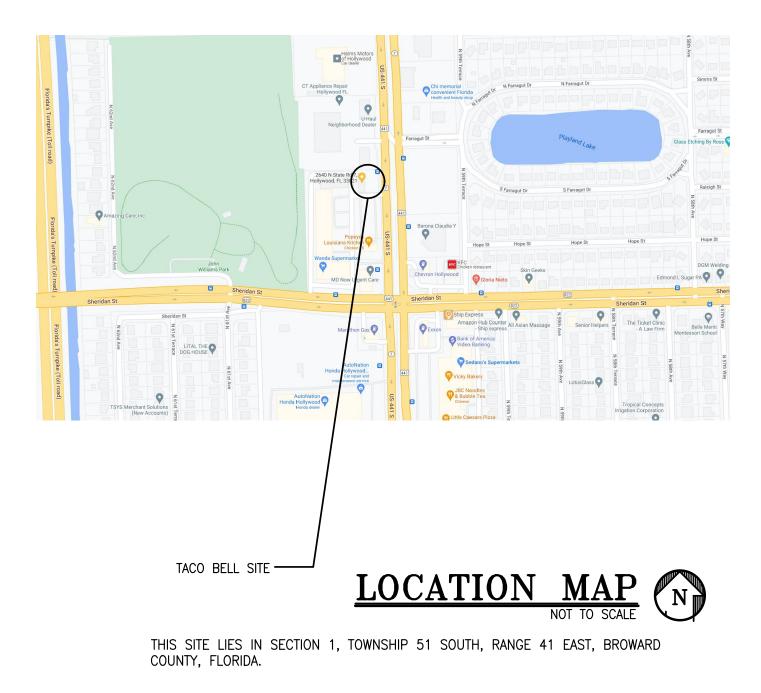
DATE	REMARKS						
CONTRACT DATE	Ξ:						
BUILDING TYPE: XS6							
PLAN VERSION:							
BRAND DESIGNE	R: DANIEL DICKSON						
SITE NUMBER: 315998							
STORE NUMBER: TB-459380							
PA/PM: DIANA DeCICCO							
DRAWN BY.:	AG						
JOB NO.:							
TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021							
TACO BELL XS6							
PAVEMENT MARKING & SIGNAGE PLAN							



Calculation	Summary														
Label			CalcTy	be	Units	Avg	Max	Min	Avg/Min	Ma	x/Min				
CALCULATIO	N POINTS	@ GRADE	Illumina	nce	Fc	2.72	10.4	0.0	N.A.	N.A	h.				
PARKING &	DRIVING S	UMMARY	Illumina	nce	Fc	4.35	9.4	1.5	2.90	6.2	:7				
Luminaire S	chedule					-									
Symbol	Qty	Label		Arrangem	ent	Description					LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	1	В		D180°		SLM-LED-30	-SIL-5W-	50-70CRI-D180)-24' POLE+2'	BASE	1.000	1.000	1.000	62474	464

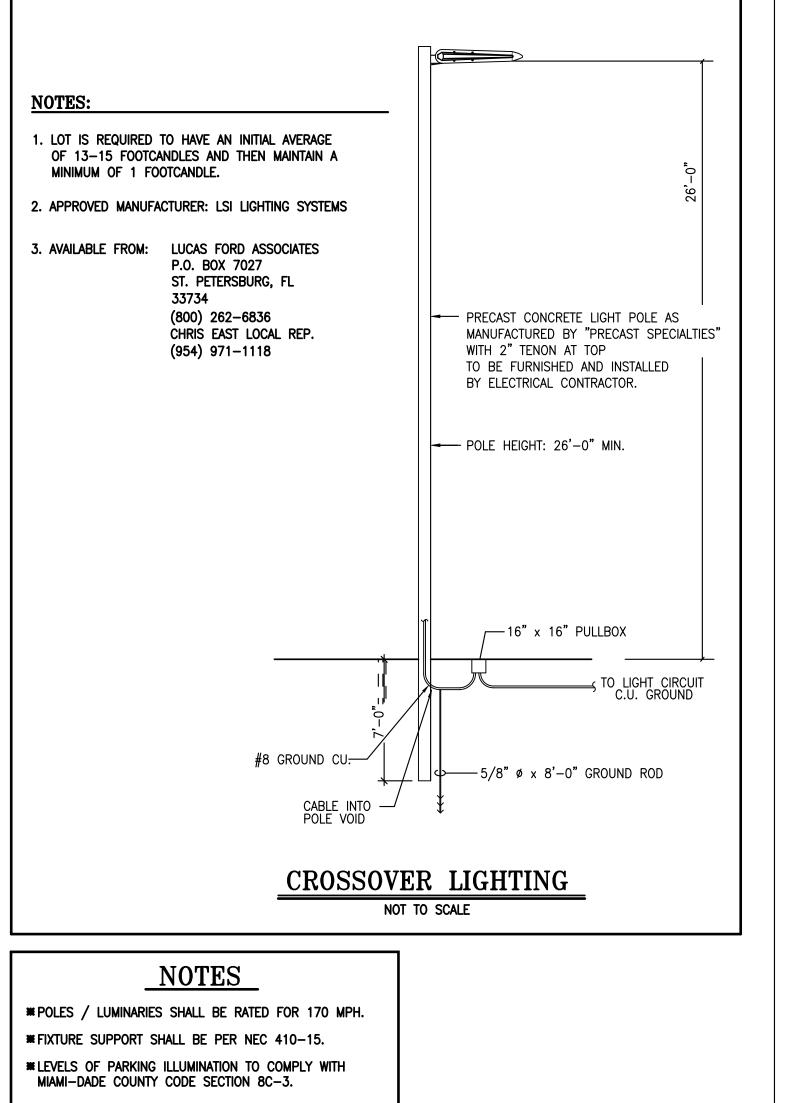






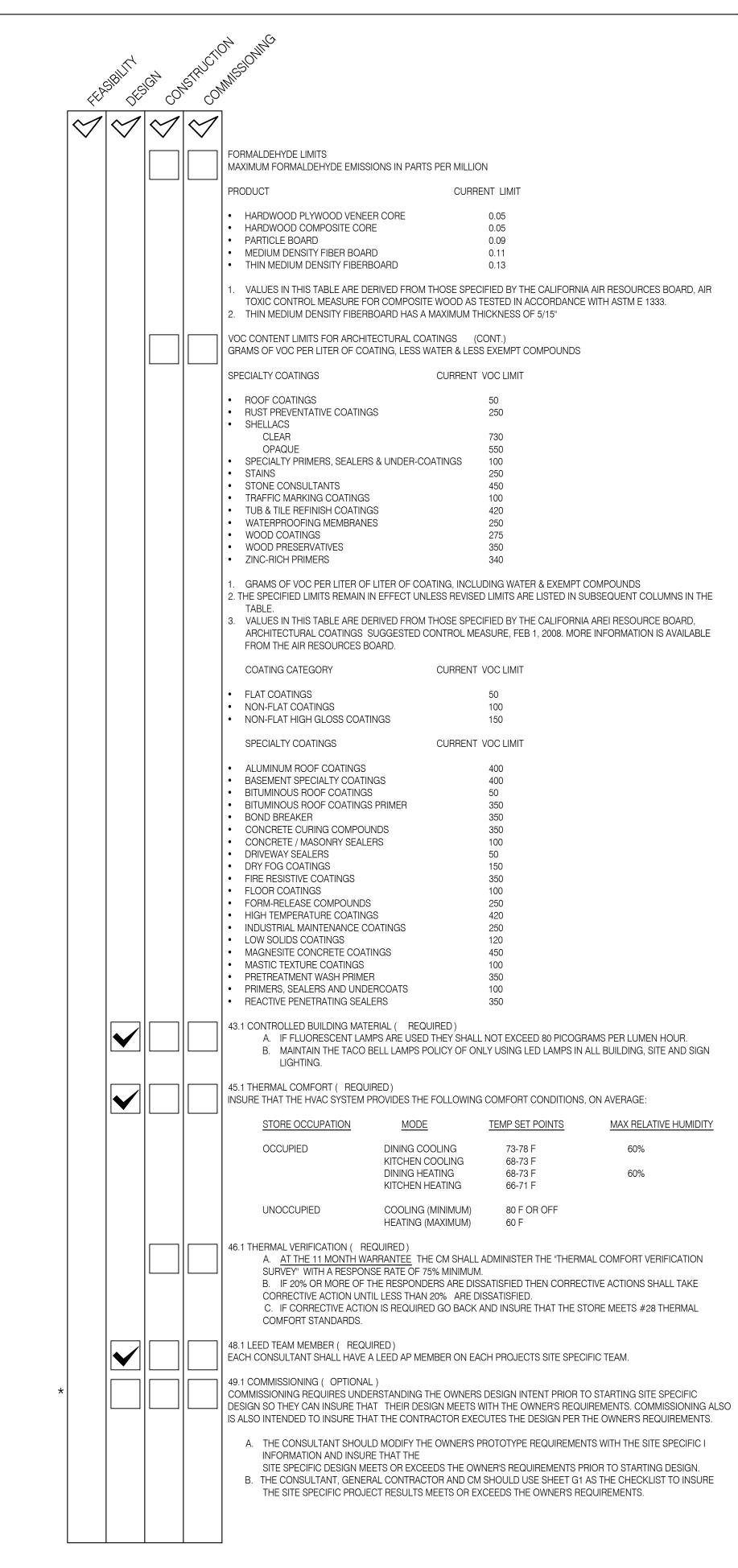
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DATE	REMARKS						
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JOB NO.:							
TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021							
HOLLYWOO	DD, FL 33021						
HOLLYWOO	DD, FL 33021						



THE CHECKLIST NUMBERS BELOW ALIGN WITH THE CREDIT NUMBERS IN THE YUM BLUELINE SYSTEM WEBSITE. FOR FURTHER DETAIL GO TO THE FOLLOWING WEB ADDRESS. NOTE: FOLLOW THE "REQUIRED" AND "OPTIONAL" DESIGNATION ON THIS SHEET RATHER THAN THE ONES ON THE YUMBLUELINE WEBSITE. THE SYSTEM HAS BEEN SETUP SO THAT IF YOU DO THE "REQUIRED" ITEMS ON THIS LIST YOUR RESTAURANT WILL MEET THE YUMBLUELINE REQUIREMENTS.

1. GO TO THE REFERENCE VERSION OF THE YUM BLUELINE WEBSITE AT: " WWW.YUMBLUELINE.COM 2. IN THE "USER" SECTION CHOOSE " GENERAL " FROM THE PULL DOWN MENU

3. IN THE "PASSWORD" SECTION TYPE IN " J212J*KLA! "

	. A		NCT	ON MAG	P = INDICATES THAT SCOPE	IS ALREADY IN THE PROTOTYPE DRAWINGS		. E ⁴	UCTI	MASSIONING
	SIBILITY DE	ich co	ATT O	MIS	* = INDICATES OPTIONAL ITE	EMS	~	ASBILLT' DESCH CO	NST O	MIS
\sim	\sim	\sim	\bigtriangledown				\sim			
	P			37.1 RECYCLING (REQUIRED)		OOM, KITCHEN AND SITE. RECYCLING SHOULD	*			1.3 CONTAMINATED SITE IF YOU ARE DEVELOP
				ACCOMMODATE PLASTIC, PAR	PER AND OIL. IRE STANDARDS" POSTED ON TH	E PLANS.YUM.COM. UNLESS APPROVED THE				1.4 LOCATION COMMITME COMMIT TO STAY IN 1
				37.2 COOKING OIL RECYCLING (REQ COLLECT COOKING OIL AND PROVIDE		RECYCLING.				1.5 PAY UTILITIES DIRECT IF SITE IS LEASED INS WILL ALLOW TACO BE
*				37.3 CARDBOARD RECYCLING (OPTIC COLLECT USED CORRUGATED CARDE	,	PARTY VENDOR FOR RECYCLING.	*			2.2 PROXIMITY TO BUS ST
				38. AIR VENTILATION (REQUIRED) 1. PROVIDE AIR VENTILATION 2. PROVIDE FRESH AIR PER Y	AND EXHAUST RATES PER YUM E UM BLUELINE.	BLUELINE.				SITE IS WITHIN 1/4 A N 3.0 BICYCLE FACILITIES (PROVIDE DEDICATED
					T SMOKING WITHIN THE RESTAU N 25 FEET OF THE RESTAURANT	RANT	*			STORAGE FOR A MIN 5.1 PARKING (OPTIONAL DO NOT EXCEED PAR
				41.1 PROTECTION OF MATERIALS (RI GC TO PROVIDE A IAQ MANAGEMENT REQUIRED FOR SITE SPECIFIC CONDI	PLAN WITH BID. START WITH THE	PROTOTYPE TEMPLATE AND MODIFY AS				7.2 WHITE ROOF (REQL PROVIDE WHITE PVC :
				A. PROTECT HVAC SYSTEM B. IMPLEMENT POLLUTION SC C. PROTECT STORED MATERI D. PROTECT INSTALLED MATE E. MAINTAIN CONSTRUCTION	URCE CONTROL MEASURES ALS RIALS					9.0 CONSTRUCTION POL A. CONSTRUCTIO B. SILT FENCING C. SITE VEHICUL D. WHEEL WASH
				42. LOW EMITTING MATERIALS (REQU FINISH MATERIALS SHALL CON ADHESIVES, SEALANTS AND CAULK REQUIREMENTS OF THE FOLLOWI OR AIR QUALITY MANAGEMENT D 1. ADHESIVES, ADHESIVE BO SHALL COMPLY WITH LOO	JIRED) IPLY WITH THIS SECTION: S. ADHESIVES, SEALANT AND NG STANDARDS UNLESS MORE S STRICT RULES APPLY: INDING PRIMERS, ADHESIVE PRIM	CAULKS USED ON THE PROJECT SHALL MEET THE STRINGENT LOCAL OR REGIONAL AIR POLLUTION MERS, SEALANTS, SEALANT PRIMERS AND CAULKS N CONTROL OR AIR QUALITY MANAGEMENT 168 VOC LIMITS.				E. COVERED LOA F. EXCAVATED SO G. STORM WATED H. TEMPORARY E I. DUST CONTRO J. EXPOSED SLO K. WEEKLY CONT
				2. AEROSOL ADHESIVES, AN	D SMALLER UNIT SIZES OF ADHE	SIVES, AND SEALANT OR CAULKING COMPOUNDS				PROVIDE PLUMBING F
					16 FLUID OUNCES) SHALL COMP	LY WITH SCAQMD. S SHALL COMPLY WITH VOC LIMITS IN SCAQMD.				ALL WATER USING EC
						NGS SHALL MEET SCAQMD REQUIREMENTS.				ALL LANDSCAFE DESIGN ALL LANDSCAPE DES PLANS.YUM.COM WE
				SHALL INCLUDE, BUT IS NOT LIMIT 1. MANUFACTURER'S PRODU	ED TO, THE FOLLOWING:	DCUMENTATION TO THE CM. DOCUMENTATION				13.1 IRRIGATION WATER (A. PROGRAMMA B. SEPARATE IRF C. PROGRAM MA
				ADHESIVE VOC LIMITS						D. HIGH-EFFICIEI E. RAIN SENSOR
					CATIONS	CURRENT VOC LIMIT		P		15.3 INTERIOR LIGHTING (THE CURRENT LIGHT
				CERAMIC TILE DRYWALL, PANEL & COVE BASE MULTI-PURPOSE		65 50 70				16.2 EXTERIOR LIGHTING THE CURRENT LIGHT
				SINGLE PLY ROOFING SPECIALTY APPLICATIONS		250 CURRENT VOC LIMIT				17.2 SIGN ILLUMINATION (THE CURRENT SIGNA
				PVC WELDING CPVC WELDING		510 490				18.1 EXHAUST HOODS(F THE CURRENT 6'-3" B/
				ABS WELDING PLASTIC CEMENT WELDING		325 250				RESTAURANT SHALL
				ADHESIVE PRIMER FOR WELDING CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADH	ESIVE	550 80 250		Р		19.1 LICENSED HVAC ENG USE A LICENSED HVA
				STRUCTURAL WOOD MEMBER ADI TOP & TRIM ADHESIVE	HESIVE	140 250		P		19.2 OPTIMIZE HVAC DESI OPTIMIZE HVAC DESI
				SUBSTRATE SPECIFIC APPLICATIO	NS	CURRENT VOC LIMIT		P		20.0 HVAC EFFICIENCY (USE THE STANDARD I
				METAL TO METAL PLASTIC FOAMS POROUS MATERIALS (EXCEPT WO	וחכ	30 50 50				RESTAURANT. 21.0 ECONOMIZER PERFC
				WOOD FIBERGLASS		30 80		P		USE A FACTORY PRO PROTOTYPE PLAN.
				SEALANT VOC LIMITS (LESS WATER AND LESS EXEMPT (OMPOUNDS IN GRAMS PER LITE	R)		P		22.1. HOT WATER EFFICIE USE THE WATER
				SEALANT		CURRENT LIMIT		P		23.1 REFRIGERANTS(RE DO NOT USED BA
				ARCHITECTURAL MARINE DECK NON MEMORANE DOOF		250 760		P		24.1 REFRIGERATION (RE
				 NON-MEMBRANE ROOF ROADWAY SINGLE PLY ROOF MEMBRANE 		300 250 450				A. USE THE CUR B. USE THE CUR C. USE THE CUR
				OTHER SEALANT PRIMER		420 CURRENT LIMIT		P		25.1 COOKING & WASHING A. USE THE CUR
				ARCHITECTURAL						B. USE THE CURI
				NON-POROUS POROUS • MODIFIED BITUMINOUS • MARINE DECK • OTHER		250 775 500 760 75		P		28.1 BASIC LIGHTING & TH A. PROVIDE PRO B. PROVIDE TEMI C. INSURE PROP D. PROVIDE LIGH
							*			E. PROVIDE LIGH 28.3 OCCUPANCY SENSO
										PROVIDE ULTRASONI
										33.1 RECYCLED CONTENT USE MATERIALS THAT
										36.1 CONSTRUCTION WAS A. THE CONTRA BLUELINE. 75% IS
										BLUELINE. 75% IS B. THE GENERA MANAGER WITH T IN THE GREEN PL

= INDICATES THAT SCOPE IS ALREADY IN THE PROTOTYPE DRAWINGS = INDICATES OPTIONAL ITEMS

DNTAMINATED SITES (OPTIONAL)

YOU ARE DEVELOPING A SITE SUCH AS A GAS STATION THAT REQUIRES REMEDIAL WORK CHECK THIS BOX.

CATION COMMITMENT (REQUIRED) DMMIT TO STAY IN THE SAME LOCATION FOR 10 YEARS OR MORE.

Y UTILITIES DIRECTLY (REQUIRED)

SITE IS LEASED INSURE THAT TACO BELL WILL PAY THE UTILITIES DIRECTLY RATHER THAN ALLOWING THE LANDLORD TO PAY THEM. THIS ILL ALLOW TACO BELL TO TRACK UTILITY EXPENSES EASILY.

ROXIMITY TO BUS STOP (OPTIONAL) ITE IS WITHIN 1/4 A MILE OF A BUS STOP

CYCLE FACILITIES (REQUIRED) ROVIDE DEDICATED BICYCLE LOCKABLE PARKING FOR A MINIMUM OF TWO BICYCLES. PROVIDE CHANGING AREA AND LOCKABLE ORAGE FOR A MINIMUM OF TWO PEOPLE. SINGLE OCCUPANCY TOILET ROOMS WILL SUFFICE AS A CHANGING AREA.

RKING (OPTIONAL) O NOT EXCEED PARKING SPACES REQUIRED BY LOCAL ZONING. SEE CREDIT 5. PROVIDE 5% PREFERRED PARKING FOR CARPOOL.

HITE ROOF (REQUIRED) ROVIDE WHITE PVC SINGLE MEMBRANE ROOF MATERIAL.

ONSTRUCTION POLLUTION CONTROL (REQUIRED) A. CONSTRUCTION POLLUTION CONTROL PLAN.

B. SILT FENCING

C. SITE VEHICULAR ACCESS D. WHEEL WASHING

E. COVERED LOADS F. EXCAVATED SOIL STORAGE

G. STORM WATER DRAIN, TRENCH AND PIT DRAIN PROTECTION

H. TEMPORARY DIVERSION DITCHES AND BERMS I. DUST CONTROL

J. EXPOSED SLOPE EROSION CONTROL K. WEEKLY CONTRACTOR INSPECTION

UILDING WATER (REQUIRED) ROVIDE PLUMBING FIXTURES AS SPECIFIED IN THE PROTOTYPE DRAWINGS, SPECIFICATIONS AND EQUIPMENT MODEL.

ROCESS WATER (REQUIRED) L WATER USING EQUIPMENT SPECIFIED IN THE PROTOTYPE EQUIPMENT SCHEDULE SHALL BE USED FOR ALL GROUND-UP RESTAURANTS.

ANDSCAPE DESIGN (REQUIRED) L LANDSCAPE DESIGNS FOR NEW GROUND-UP RESTAURANTS SHALL FOLLOW THE LANDSCAPE STANDARDS POSTED ON THE

ANS.YUM.COM WEBSITE.

RIGATION WATER (REQUIRED) SEE LANDSCAPE SPECIFICATIONS

A. PROGRAMMABLE IRRIGATION CONTROLLER. B. SEPARATE IRRIGATION ZONES C. PROGRAM MAXIMUM IRRIGATION TIMING

D. HIGH-EFFICIENCY IRRIGATION SPRINKLER HEADS E. RAIN SENSOR

TERIOR LIGHTING (REQUIRED) E CURRENT LIGHTING SPECIFICATIONS SHALL BE USED FOR ALL GROUND-UP PROTOTYPE RESTAURANTS.

(TERIOR LIGHTING (REQUIRED)

IE CURRENT LIGHTING SPECIFICATIONS SHALL BE USED FOR ALL GROUND-UP PROTOTYPE RESTAURANTS.

GN ILLUMINATION (REQUIRED) IE CURRENT SIGNAGE SPECIFICATIONS SHALL BE USED FOR ALL GROUND-UP PROTOTYPE RESTAURANTS.

KHAUST HOODS (REQUIRED) E CURRENT 6'-3" BACK SHELF HOOD DESIGN AND EQUIPMENT PLACEMENT AS SHOWN IN THE GROUND-UP PROTOTYPE

ESTAURANT SHALL BE USED. CENSED HVAC ENGINEER (REQUIRED)

SE A LICENSED HVAC ENGINEER FOR SYSTEM SITE ADAPTATION.

PTIMIZE HVAC DESIGN (REQUIRED) PTIMIZE HVAC DESIGN SYSTEM PER YUM BLUELINE STANDARDS

VAC EFFICIENCY (REQUIRED) SE THE STANDARD HIGH EFFICIENCY (MINIMUM EER 12.0) RTU AS SPECIFIED AND INSTALL PER THE CURRENT PROTOTYPE GROUND UP ESTAURANT.

CONOMIZER PERFORMANCE (REQUIRED) SE A FACTORY PROVIDED ECONOMIZER WITH DIFFERENTIAL CONTROLS INTEGRAL TO AND COMPATIBLE WITH THE RTU'S SPECIFIED IN THE

HOT WATER EFFICIENCY (REQUIRED) USE THE WATER HEATER SPECIFIED IN THE TACO BELL PROTOTYPE.

EFRIGERANTS (REQUIRED) DO NOT USED BANNED REFRIGERANTS. IF YOU USE ANY MODERN RTU YOU WILL NOT USE BANNED REFRIGERANTS

EFRIGERATION (REQUIRED) A. USE THE CURRENT SPECIFIED WALK-IN COOLER/FREEZER. SEE CREDIT 24

B. USE THE CURRENT SPECIFIED REACH-IN FREEZER. SEE CREDIT 24

C. USE THE CURRENT SPECIFIED ICE MAKERS. SEE CREDIT 24

COOKING & WASHING EQUIPMENT (REQUIRED) A. USE THE CURRENT SPECIFIED FRYER IN THE PROTOTYPE. B. USE THE CURRENT SPECIFIED 3-COMP SINK THE PROTOTYPE.

ASIC LIGHTING & THERMAL CONTROLS (REQUIRED)

A. PROVIDE PROGRAMMABLE THERMOSTATS SPECIFIED IN THE PROTOTYPE

B. PROVIDE TEMPERATURE SENSOR LOCATIONS AND SPECIFICATIONS ON PLAN C. INSURE PROPER OPERATION OF VENTILATION EQUIPMENT OPERATIONS

D. PROVIDE LIGHTING CONTROLS FOR INTERIOR ZONES

E. PROVIDE LIGHTING CONTROLS FOR EXTERIOR ZONES.

CCUPANCY SENSORS (OPTIONAL) ROVIDE ULTRASONIC/INFRARED) OCCUPANCY SENSORS FOR 25% OR MOVE OF INTERIOR LIGHTING.

ECYCLED CONTENT (REQUIRED) SE MATERIALS THAT HAVE A MINIMUM OF 10% RECYCLED MATERIALS. (NOTE: GETTING THE CALCULATIONS IN PROCESS)

ONSTRUCTION WASTE MANAGEMENT (REQUIRED) A. THE CONTRACTOR SHALL RECYCLE A MINIMUM OF 50% OF ALL CONSTRUCTION WASTE AND PROVIDE RECORDS PER YUM

BLUELINE. 75% IS PREFERRED. B. THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE CONSTRUCTION MANAGER WITH THEIR BID SUBMITTAL. THEY CAN USE THE STARTER FORM POSTED ON THE PLANS.YUM.COM WEBSITE IN THE GREEN PLAYBOOK SECTION.



	DATE	REMARKS				
CON	CONTRACT DATE:					
BUIL	DING TYPE:	XS6				
PLA	VERSION:					
BRA	BRAND DESIGNER: DANIEL DICKSON					
SITE	NUMBER:	315998				

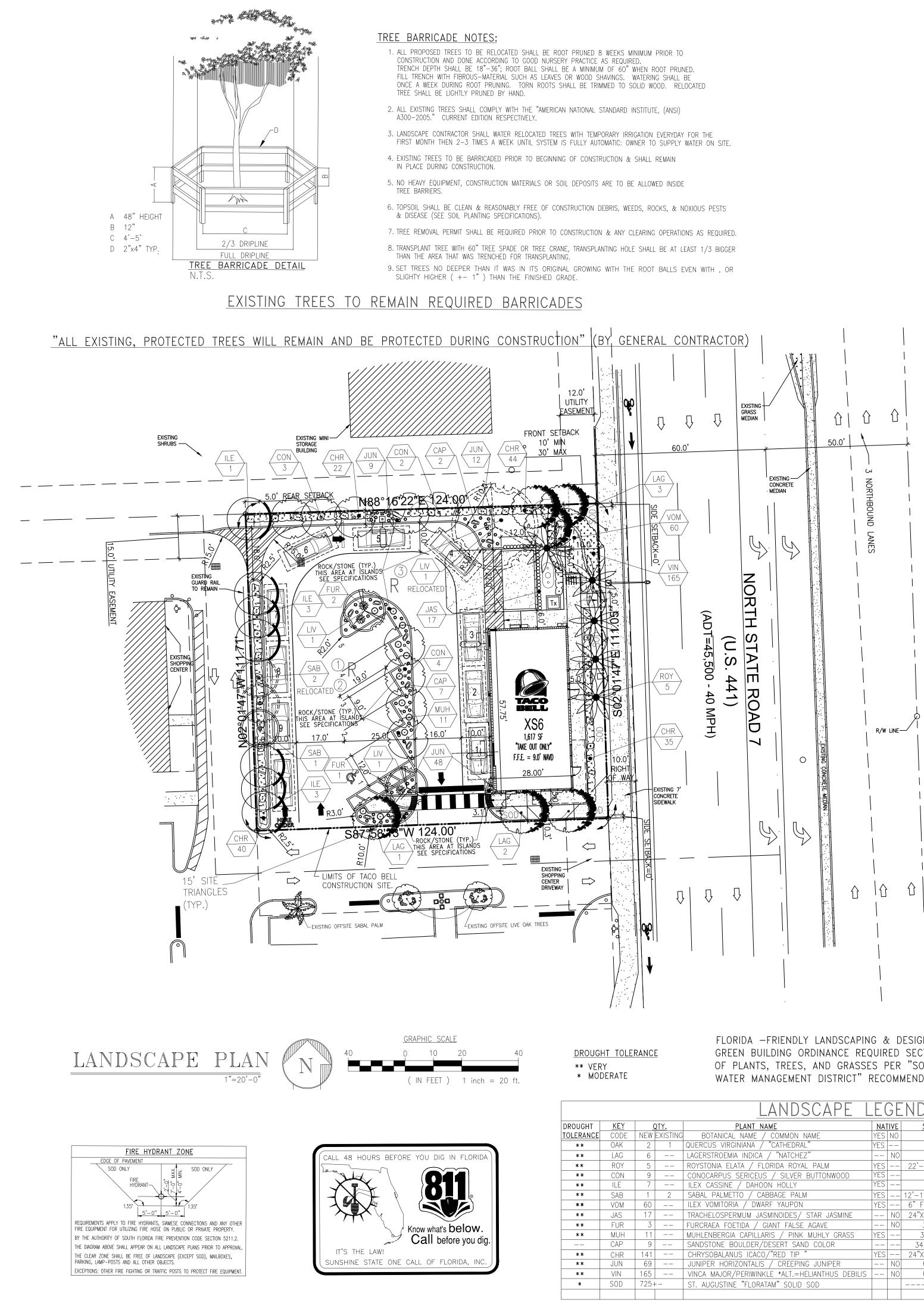
STORE NUMBER:	TB-459380
PA/PM:	DIANA DeCICCO
DRAWN BY.:	AG
JOB NO.:	

TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021



XS6

GREEN CHECKLIST SHEET



DESCRIPTION			TACO BELL RES	ΤΔΙ ΙΡΔΝΤ ΛΤ		ΟΔΚ ΡΙ Δ7Δ					
CURRENT ZONI	NG										
CURRENT LAND			C-MU (Central Mixed-Use District) Commercial								
CURRENT USE			Commercial								
1 GENERAL INF											
			1								
			TVDF								
NON-RESIDENT	IAL						GROSS BUILDI	ING AREA			
			New Restaurar	nt			1,600 SF				
AR	- ^		N/A	-	(0.217 ^)						
TOTAL SITE ARE			13,811 (NET) SF	-	(0.317 Acres)	,					
TOTAL BUILDIN			1,617 SF		11.71%						
TOTAL VEHICUL			8,183 SF		59.25%						
INTERIOR LANE PERIMETER LAN		-	2,909.7 SF		35.94%	of vehicular u	se dred				
TOTAL OPEN SF			2,909.7 SF		21.07%	,)					
			-								
2 SETBACKS			1			1					
NE	W RESTAURA	NT									
DESCRIPTION	ALLOWED	PROVIDED	DESCRIPTION	ALLOWED	PROVIDED	DESCRIPTION	ALLOWED	PROVIDED			
	MIN-MAX 10'-0'/30'-0''			MIN-MAX			MIN-MAX				
FRONT (EAST)	5'-0"	12'-0" 84'-0"					+ +				
REAR (WEST) SIDE (NORTH)	0'-0"	43'-0"					+ +				
SIDE (NORTH)	0'-0"	43°-0" 10'-0"					+ +				
		• * *					· ·				
3 MINIMUM A	CTIVE USES										
FRONTAGE				REQUIRED		PROV	/IDED				
U.S. 441 (111.0	5 FT)			60%		57.75'	(52%)				
DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED			
		21'-4"	HEIGHT	140'-0"	-	HEIGHT	140'-0"				
HEIGHT	140'-0"			I			140-0	-			
							140-0	-			
5 PARKING DA							REQUIRED	REQUIRED			
5 PARKING DA	TA		MINIMUM 1 P				REQUIRED				
5 PARKING DA	TA		MINIMUM 1 P Standard parki				REQUIRED	REQUIRED			
5 PARKING DA	TA						REQUIRED	REQUIRED			
5 PARKING DA	TA	T	Standard parki	ng spaces for 1			REQUIRED MINIMUM 11 sp 11 sp	REQUIRED MAXIMUM -			
5 PARKING DA	TA	T		ng spaces for 1			REQUIRED MINIMUM 11 sp 11 sp PROVIDE	REQUIRED MAXIMUM - - ED 5 SPACES			
5 PARKING DA	TA ANT, TAKE OU	T	Standard parki	ng spaces for 1			REQUIRED MINIMUM 11 sp 11 sp PROVIDE	REQUIRED MAXIMUM -			
5 PARKING DA	TA ANT, TAKE OU	T	Standard parki	ng spaces for 1			REQUIRED MINIMUM 11 sp 11 sp PROVIDE	REQUIRED MAXIMUM - - ED 5 SPACES			
5 PARKING DA DESCRIPTION NEW RESTAUR NEW RESTAUR SUMMARY OF	TA ANT, TAKE OU MMARY REQUESTS: V	T TOTAL STAN	Standard parki	ng spaces for 1	.,617 SF		REQUIRED MINIMUM 11 sp 11 sp PROVIDE	REQUIRED MAXIMUM - - ED 5 SPACES			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP	TA ANT, TAKE OU MMARY REQUESTS: V	T TOTAL STAN	Standard parki	ng spaces for 1	.,617 SF		REQUIRED MINIMUM 11 sp 11 sp PROVIDE	REQUIRED MAXIMUM - - ED 5 SPACES			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP	TA ANT, TAKE OU MMARY REQUESTS: V	T TOTAL STAN ARIANCES, MO	Standard parki	ng spaces for 1	.,617 SF	PROVIDED	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE	REQUIRED MAXIMUM - - ED 5 SPACES			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP	TA ANT, TAKE OU MMARY REQUESTS: V	T TOTAL STAN ARIANCES, MO PARKING SPA	Standard parki	ng spaces for 1	.,617 SF CEPTION REQUIRED 11	PROVIDED	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUI	REQUIRED MAXIMUM - - ED 5 SPACES			
5 PARKING DA DESCRIPTION NEW RESTAURA 5 PROJECT SUM 5 UMMARY OF 5 PECIAL EXCEP	TA ANT, TAKE OU MMARY REQUESTS: V	T TOTAL STAN ARIANCES, MO PARKING SPA ACTIVE USE	Standard parki	ng spaces for 1	.,617 SF CEPTION REQUIRED 11 60%	PROVIDED	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE 7.2.28 C-MU (ii)	REQUIRED MAXIMUM - ED 5 SPACES DING 1 HC			
5 PARKING DA DESCRIPTION NEW RESTAURA 5 PROJECT SUM 5 OMMARY OF 5 PECIAL EXCEP	TA ANT, TAKE OU MMARY REQUESTS: V	T TOTAL STAN ARIANCES, MO PARKING SPA	Standard parki	ng spaces for 1	.,617 SF CEPTION REQUIRED 11	PROVIDED 5 52%	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUI	REQUIRED MAXIMUM - ED 5 SPACES DING 1 HC			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP VARIANCE	TA ANT, TAKE OU MMARY REQUESTS: V	T TOTAL STAN ARIANCES, MO PARKING SPA ACTIVE USE TRANSPAREN	Standard parki	ng spaces for 1	.,617 SF CEPTION REQUIRED 11 60%	PROVIDED 5 52%	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE 7.2.28 C-MU (ii)	REQUIRED MAXIMUM - ED 5 SPACES DING 1 HC			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP VARIANCE	та алт, таке оч ммаку Requests: V. TION	T TOTAL STAN ARIANCES, MO PARKING SPA ACTIVE USE TRANSPAREN	Standard parki IDARD PARKIN DDIFICATIONS A CES	ng spaces for 1	.,617 SF CEPTION REQUIRED 11 60% 50%	PROVIDED 5 52% 27.90%	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE 7.2.28 C-MU (ii)	REQUIRED MAXIMUM - ED 5 SPACES DING 1 HC			
SPECIAL EXCEP VARIANCE <u>SE</u> THE US	TA ANT, TAKE OU MMARY REQUESTS: V. TION $E \ \ \ \ \ \ \ \ \ \ \ \ \ $	T TOTAL STAN ARIANCES, MO PARKING SPA ACTIVE USE TRANSPAREN 2 SPE ED BARRIEF	Standard parki IDARD PARKIN DDIFICATIONS A CES ICY CIFICAT N PLANTIN	ng spaces for 1	.,617 SF CEPTION REQUIRED 11 60% 50%	PROVIDED 5 52% 27.90%	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE 7.2.28 C-MU (ii)	REQUIRED MAXIMUM - ED 5 SPACES DING 1 HC			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP VARIANCE SPECIAL EXCEP THE US	TA ANT, TAKE OU MMARY REQUESTS: V. TION $E \ \ \ \ \ \ \ \ \ \ \ \ \ $	T TOTAL STAN ARIANCES, MO PARKING SPA ACTIVE USE TRANSPAREN 2 SPE ED BARRIEF	Standard parki IDARD PARKIN DDIFICATIONS A CES	ng spaces for 1	.,617 SF CEPTION REQUIRED 11 60% 50%	PROVIDED 5 52% 27.90%	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE 7.2.28 C-MU (ii)	REQUIRED MAXIMUM - ED 5 SPACES DING 1 HC			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP VARIANCE SPECIAL EXCEP THE US	TA ANT, TAKE OU MMARY REQUESTS: V. TION $E \ \ \ \ \ \ \ \ \ \ \ \ \ $	T TOTAL STAN ARIANCES, MO PARKING SPA ACTIVE USE TRANSPAREN 2 SPE ED BARRIEF	Standard parki IDARD PARKIN DDIFICATIONS A CES ICY CIFICAT N PLANTIN	ng spaces for 1	.,617 SF CEPTION REQUIRED 11 60% 50%	PROVIDED 5 52% 27.90%	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE 7.2.28 C-MU (ii)	REQUIRED MAXIMUM - ED 5 SPACES DING 1 HC			
5 PARKING DA DESCRIPTION NEW RESTAURA 6 PROJECT SUM 6 PROJECT SUM SUMMARY OF SPECIAL EXCEP VARIANCE SPECIAL EXCEP VARIANCE	TA ANT, TAKE OU MMARY REQUESTS: V. TION $E \ \ \ \ \ \ \ \ \ \ \ \ \ $	T TOTAL STAN ARIANCES, MO PARKING SPA ACTIVE USE TRANSPAREN 2 SPE ED BARRIEH D BE SURRO	Standard parki	ng spaces for 1	.,617 SF CEPTION REQUIRED 11 60% 50%	PROVIDED 5 52% 27.90% Y,ALL 1. SE	REQUIRED MINIMUM 11 sp 11 sp PROVIDE INCLUE 7.2.28 C-MU (ii) TOC D-D.3.a(ii)	REQUIRED MAXIMUM 			
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20

4

31

25

186/80%

4

31

25 (80%)

212/91%

1,945.81 1,945.81/25%

FLORIDA - FRIENDLY LANDSCAPING & DESIGN SHALL BE UTILIZED GREEN BUILDING ORDINANCE REQUIRED SECTION 3-103 80% OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).

1 TREE PER 190 S.F.

STREET TREES: 1 PER 50 L.F.

AT GRADE PARKING 1 TREE PER 20 L.F.

NATIVE/S.F.W.M. TREES 80% MIN.:

NATIVE/S.F.W.M. SHRUBS 80% MIN.:

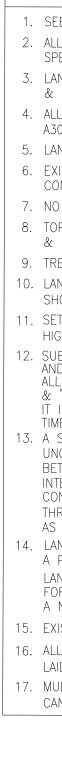
INTERIOR LANDSCAPE AREA – 25.00% OF (V.U.A.):

STREET FRONTAGE: 111.05 L.F.

TERMINAL ISLAND:

TOTAL TREES:

			LANDSCAPE L	<u> </u>	<u> </u>	END
HT	KEY	QTY.	PLANT NAME	NAT	IVE	<u>size</u>
NCE	CODE	NEW EXISTING	BOTANICAL NAME / COMMON NAME	YES	NO	D HT. X SPR., CALIPER
	OAK	2 1	QUERCUS VIRGINIANA / "CATHEDRAL"	YES		- 12'X6'-7' F.G. 2.5" CALIPER @D.B.H. 5' C.TRELOCATE (1) EXISTING
	LAG	6	lagerstroemia indica / "natchez"		NO	0 12'X6'-7' F.G. 2.5" CALIPER @D.B.H. 5' C.T. "STANDARD"
	ROY	5	ROYSTONIA ELATA / FLORIDA ROYAL PALM	YES		– 22'–24' X 18' F.G. 12.0" CAL.@D.B.H. 8' G.W., 10' C.T. MINIMUM
	CON	9	CONOCARPUS SERICEUS / SILVER BUTTONWOOD	YES		
	ILE	7	ILEX CASSINE / DAHOON HOLLY	YES		– 12'X6'–7' F.G. 2.5" CAL.@D.B.H. 5' C.T.
	SAB	1 2	SABAL PALMETTO / CABBAGE PALM	YES		– 12'–14'–16' C.T. F.G. 10' C.T. MINIMUM–RELOCATE (2) EXISTING
	VOM	60	ilex vomitoria / dwarf yaupon	YES		- 6" FULL 1 GAL. 24" O.C.
	JAS	17	TRACHELOSPERMUM JASMINOIDES/ STAR JASMINE		NO	0 24"X18" 3 GAL. 24" O.C. "TRELLIS"
	FUR	3	FURCRAEA FOETIDA / GIANT FALSE AGAVE		NO	0 30" X 30" AS SHOWN
	MUH	11	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	YES		– 30"5 GAL. 36" O.C. AS SHOWN
	CAP	9	SANDSTONE BOULDER/DESERT SAND COLOR			– 34"X26"X20" AS SHOWN (INSTALL HALF WAY INTO GROUND)
	CHR	141	CHRYSOBALANUS ICACO/"RED TIP "	YES		
	JUN	69	JUNIPER HORIZONTALIS / CREEPING JUNIPER		NO	
	VIN	165	VINCA MAJOR/PERIWINKLE *ALT.=HELIANTHUS DEBILIS		NO	0 6"1 GAL. 18"0.C. FULL POT
	SOD	725+-	ST. AUGUSTINE "FLORATAM" SOLID SOD			AS SHOWN



NOTE:

MMERCIAL GREEN BUILDING PRACTICES CORPORATED INTO PLANS

ORDINANCE 0-2011-06)

- ENERGY STAR APPROVED ROOFING MATERIALS. AT LEAST 80% OF PLANTS, TREES AND GRASS PER THE SOUTH FLORIDA NATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION). ANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. ANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
- ITILIZE LED LIGHTS FOR OVER 90% OF PARKING LOT LIGHTING. REFRIGERANT: ALL BUILDING HVAC & R SYSTEMS ARE FREE OF CFU'S AND HALONS.
- REDEVELOPMENT OF EXISTING SITE LOCATE THE BUILDING ON A SITE HAT HAS EXISTING HARDSCAPE OR BUILDINGS THAT MUST BE REPLACED BY THE NEW DEVELOPMENT AND HAS EXISTING UTILITY CONNECTIONS TO HE SITE. SCCESS TO PUBLIC TRANSPORTATION – THE SITE IS LOCATED WITHIN $rac{1}{2}$
- AILE OF EXISTING RAIL NODE OR 1/4 MILE OF AT LEAST 1 ACTIVE BUS SIDEWALKS – PROVIDE SIDEWALKS FOR ALL PATHS TO ADJACENT CITY
- STREETS THAT ARE MINIMUM 4' WIDE WITH CONCRETE OR OTHER FIRM, SLIP RESISTANT SURFACES. REDUCE HEAT ISLAND EFFECT – UTILIZE A COOL-ROOF THAT WILL HAVE
- SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 78, WHICH REDUCES THE HEAT ISLAND EFFECT. URABLE EXTERIOR MATERIALS-BUILDING DESIGN SHALL INCLUDE
- URABLE EXTERIOR BUILDING WALL AND WINDOW MATERIALS TO PREVENT DAMAGE FROM HIGH WINDS. THE EXTERIOR SURFACE OF A MINIMUM OF 80% OF WALLS SHALL BE CONCRETE OR BRICK MASONRY. WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING.
- OW FLOW TOILET FIXTURES. THE TOILETS SHALL HAVE A MAXIMUM NATER USE OF 1.28 GPF. URINALS SHALL HAVE A MAXIMUM WATER USE OF 0.5 GPF. CALCULATIONS MUST BE SUBMITTED WITH PLANS. SYSTEM JUST PASS ALL REQUIRED INSPECTIONS BY PLUMBING INSPECTOR.

GAL DESCRIPTION: COMMITMENT)

L "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD ITY, FLORIDA.

21DA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS. LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY,

MEETING I	DATES:
PACO	DEC 19, 2022
PRELIMINARY TAC	FEB 6, 2023
FINAL TAC	
FINAL TAU	

- AILS.
- R BETTER & SHALL BE INSTALLED AS
- RADES AND STANDARDS", CURRENT EDITION RESPECTIVELY. MATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE

EAS; SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED. ALL COMPLY WITH THE "AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI), A300-2005", CURRENT EDITION RESPECTIVELY.

- 5. LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE. 6. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION AS PER CITY OF HOLLYWOOD. (SEE DETAIL)
- 7. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS. 8. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- 9. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED. 10. LANDSCAPE CONTRACTOR SHALL NOT INSTALL PLANT MATERIALS WITHIN ROOTBALLS OF TREES AND OR PALMS AND SHOULD BE INSTALLED OUTSIDE ROOTBALL AREAS AS REQUIRED.
- 11. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER (+-1") THAN THE FINISHED GRADE.
- 12. SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SHOWN PRIOR TO SUBMISSION OF BIDS; REQUIRED (2) APPROVALS AS FOLLOWS: ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT
- & "CITY OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER" FOR CONSIDERATION AND REQUIRED APPROVAL;
- IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED
- 13. A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL
- BETWEEN 30" & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND
- INTERSECTIONS AS REQUIRED. TREES SHALL BE MAINTAINED WITH SIX (6') CLEAR TRUNK TO KEEP CONTINUALLY ALLOWANCE FOR CLEAR NATURAL VISUAL SURVEILLANCE TO THE SITE. SHRUBBERY SHALL NOT EXCEED THREE (3') AT MATURITY; TREES SHALL BE PLANTED 15' FROM LIGHT STANDARDS TO MAINTAIN ILLUMINATION LEVELS AS SPECIFIED.
- 14. LANDSCAPE CONTRACTOR TO CALL THE CITY OF HOLLYWOOD LANDSCAPE INSPECTOR AT (954)921-3471 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO INSTALLATION AS REQUIRED. LANDSCAPE CONTRACTOR TO CONTACT CITY LANDSCAPE INSPECTOR PRIOR TO RELOCATION OF EXISTING TREES OR PALMS
- FOR CONDITION OF EXISTING MATERIAL AND SHALL BE APPROVED UPON INSPECTION OR IF DEEMED NOT FEASIBLE ,THAN A NEW TREE/PALM SHALL BE INSTALLED IF REQUIRED.
- 15. EXISTING TREES SHALL BE PRUNED AND MAINTAINED TO HAVE 6'-8' MINIMUM CLEARANCE OVER SIDEWALKS AS REQUIRED. 16. ALL SOD TO BE HEALTHY, WEED/PEST FREE (INCLUDING FUNGUS AND DISEASE) ST. AUGUSTINE FLORATAM SOLID; LAID SMOOTH WITH TIGHT ALTERNATING/ABUTTING JOINTS WHICH CONFORM TO CURBS AND PLANTERS.

CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED 6" MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

INCORPORATED engineering earchitecture eplanning 17190 ROYAL PALM BLVD. SUITE #2 VESTON , FLORIDA 33326 HONE: (305) 558-4124 (305) 826-0619 EB#0004432 DOLCAR EDUARDO L. CARCACHE CIVIL ENGINEER-PE 31914 RICARDO J. PEREZ ARCHITECT-AR 14985 This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies. WELLINGTON, FL 33414 TEL:(561)758-7707 LANDSCAPE ARCHITECTURE LC26000352 MICHAEL E. RAWLS RLA#0001633 EMAIL-rb@richardbartlettlandscape.com PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES DLLOWING DRAWINGS ARE INSTRUMENTS (INDSCAPE ARCHITECT. THEY ARE NOT P SPECIFICATIONS BY OR DISCLOSED TO ANY PERSON, FIRM, CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN PERMISSION OF THE DESIGNER. SEAL RBL#23-01-2199 DRAŴN BY: RICK BARTLETT CHECKED: RGB/MER DATE REMARKS CONTRACT DATE: 2/26/2021 BUILDING TYPE: XS6 PLAN VERSION: FEBRUARY 2022 BRAND DESIGNER: DANIEL DICKSON SITE NUMBER: 315998 STORE NUMBER: TB-459380 PA/PM: DIANA DeCICCO DRAWN BY AG JOB NO.: CKE 1746 TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021 TACO BELL XS6 LANDSCAPE PLAN

^{17.} MULCH RINGS SHALL BE PROVIDED FOR ALL TREES PLANTED IN SOD AREAS-4' MINIMUM DIAMETER, 6' DIAMETER FOR CANOPY TREES.

PLANTING SPECIFICATIONS

PART1 - GENERAL

1.1 SUMMARY

B. The work under this section consists of furnishing all labor materials; equipment and services required to complete fine grading, planting, and necessary appurtenances as shown on drawings and described herein.

- **1.2 REFERENCES**
- C. American Nursery Standards Institute Z60.1, Standards for Nursery Stock, May 1986. D. Hortus Third, 1976 - Cornell University. (Plant
- nomenclature)
- E. National Arborist Association Standards, National Arborist Association, latest edition. F. Federal Specification FS O-F-41 - Fertilizer, Mixed.
- Commercia
- 1.3 SUBMITTALS A. Guarantee: Submit 3 copies of written guarantee, in
- the terms specified under guarantee provisions of these specifications, signed by the Contractor. **B.** Samples:
- Submit samples of each plant for Owner's Representative approval. When approved, tag and maintain as

representative samples for finally installed plant materials. Samples may be used to complete installation, provided they remain tagged until final acceptance of entire installation. Samples are to be brought to the project for Owner's Representative approval

- 2. Plants noted as "Specimen" on the plant schedule must be individually approved by the Owner's Representative. 3. Submit for approval sufficient representative
- quantities of topsoil, soil amendments, and product information on package materials and fertilizer.

LANDSCAPE PLAYBOOK JUNE 2020

Owner's Representative shall approve samples before use on the project 4. Certification: For information only, submit 2 copies of certificates of inspection as required by governmental authorities to accompany shipments. Submit manufacturers or vendors certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements

- 1.4 QUALITY ASSURANCE
- A. Furnish certificates of inspection of landscape materials, to accompany shipments, as required by governmental authorities. Comply with applicable Federal, state, county and local regulations governing landscape materials.

B. Contractor shall have at least three years experience in installing projects of similar size and be able to furnish a list of previous jobs and references if requested by the Owner's Representative. Contractor shall employ only skilled personnel and provide adequate supervision. C. Do not make substitutions. If specified landscape material is not obtainable, submit to Owner's Representative proof of non-availability and proposal for use of equivalent material. When authorized, adjustment of contract amount will be made.

1.5 DELIVERIES, STORAGE AND HANDLING A. Deliver packaged materials in containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at the site. B. Plant Materials: Deliver trees and shrubs after

preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade protect from weather and mechanical damage, and keep roots moist as follows: 1. Set balled stock on ground and cover ball with soil,

peat moss, or other acceptable material. 2. Do not remove container-grown stock from

containers until planting time. C. Damage: Protect plant material in transit and at the site. Material not properly protected and which is damaged will be rejected.

1.7 PROJECT CONDITIONS

A. Proceed with and complete the landscape work as rapidly as portions of the site become available, working within the seasonal limitations for each kind o landscape work required.

B. Cooperate with other Contractor's and trades

working in and adjacent to the landscape work areas Examine drawings, which show the development of the entire site and become familiar with the scope of other

work required. C. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Owner's Representative before planting.

D. Site Utilities:

1. Determine locations of underground utilities, especially site lighting, and perform work in a manner which will avoid possible damage. Do not permit heavy equipment such as trucks to damage utilities. Hand excavate, as required to minimize possibility of damage to underground utilities. Maintain grade stakes set by others until all parties concerned mutually agree upon

2. Coordinate work with the Irrigation Contractor and Electrical Contractor to prevent damage to underground piping or conduit and similar obstruction work located

in landscape areas. E. Protections: Do not move any equipment over existing or newly placed concrete without approval of General Contractor. Provide necessary protections such as board rolling as required.

increase size of roots or balls proportionately.

H. Ornamental and Shade Tree: Healthy, vigorous,

full-branched, and well shaped, with trunk diameter

elsewhere in specifications. surface irregularities.

until installation is complete. cost to the Owner.

1.8 WARRANTY A. Guarantee plants for one year after final acceptance.

Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and on notification by Owner's Representative. Replace plants, including trees, which have partially died thereby damaging shape, size or symmetry. Annual plants will be guaranteed for a period coinciding with their normal 2.1 PLANTS season of growth. B. Replace plants with same kind and sizes as originally planted, at no cost to the Owner. Provide one-year guarantee on replacement plants. At direction of Owner's Representative, plants may be replaced at start of next year's planting or digging season. In such cases, remove dead plants immediately. Protect irrigationsystem and any other piping, conduit or

other work during replacement. Repair any damage immediately C. Plants will be guaranteed to be true to species and variety or cultivar specified. D. Guarantee excludes replacement of plants destroyed

1.9 MAINTENANCE

by catastrophic acts of nature.

A. Until final acceptance, maintain all plantings and trees by watering, cultivating, weeding, controlling pests and diseases, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition. Rake bed areas as required.

1. Watering: As necessary to promote growth. Water will be available on site. Provide necessary hoses and other watering equipment required to complete work Watering Trees: Tree balls to be kept moistened to the depth of the tree ball

Weeding: Remove weeds and foreign grass over plant areas at least once a week. Herbicides may be used only when approved by Owner's Representative.

4. Cultivating: Cultivate bed areas to a depth of approximately three inches twice a month. Care should be taken not to damage plant roots. 5. Mowing and Edging: Mow and edge newly planted lawns weekly when growth reaches 21/2 inches. Maintain at this height weekly.

PART 2 - PRODUCTS

A. General: Plants shall be equal to well-formed No. 1 grade or better nursery stock, in accordance with requirements of applicable standards as noted hereafter, subject to Owner's Representative approval. The listed plant heights are from the top of the root ball

B. Plants shall conform to the sizes and quality notes in the plant list and/or indicated, with the exception used if approved by the Owner's Representative. Use of larger plants shall not increase the contract price. Specified sizes shall be after pruning, and plants shall C. Plants shall have normal, well-developed branches and vigorous, fibrous root systems, which shall conform to the specifications of the last edition of ANSI Z60.1, Standards for Nursery Stock published by the American

abrasions of the bark, plant diseases, and insect pests, their eggs and larva

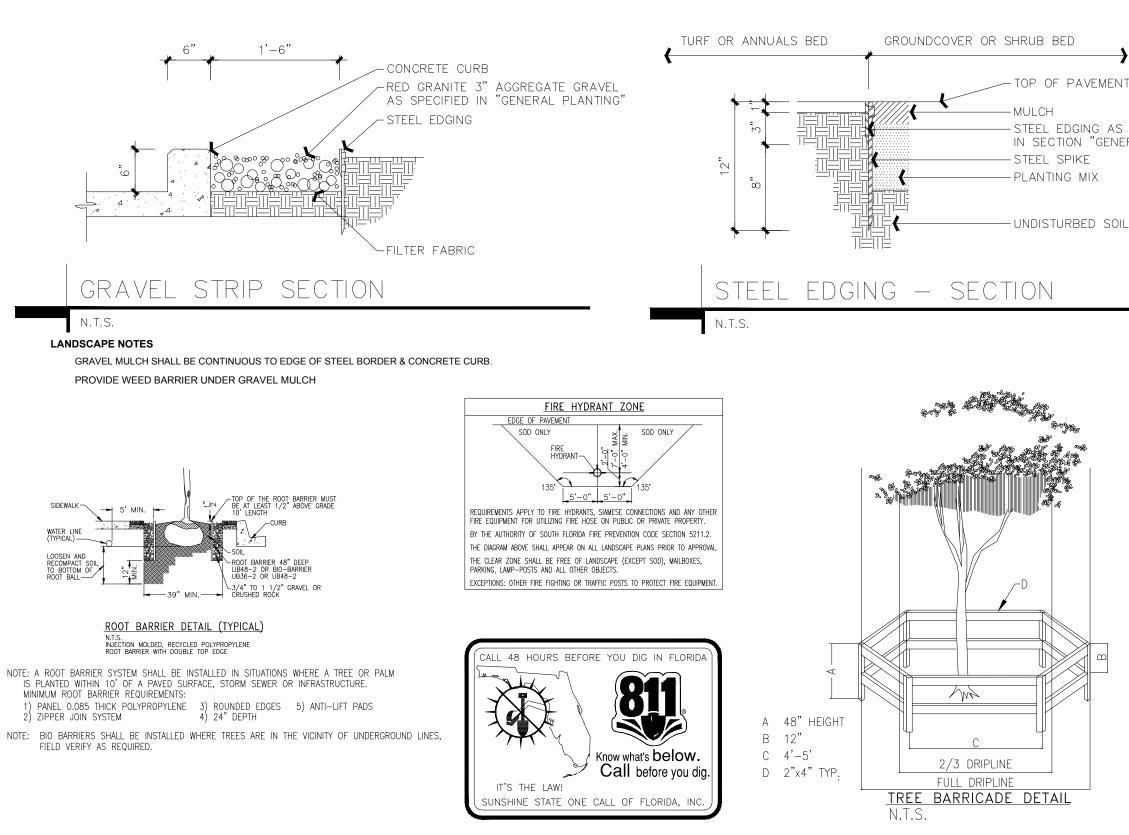
that will aversely affect the long-term survival of any plant, the Contractor shall notify the Owner's Representative before installation of the plant(s). G. Size: Provide trees and shrubs of the sizes shown or and height requirements as specified. Balls shall be firm, neat, slightly tapered and well burlapped. Trees with loose or broken balls at time of planting shall be rejected. Root Balls shall be at least 10" in diameter for each 1" of caliper measured 12" above the tree ball. Containers shall be of heavy gauge plastic and wooden boxes only. Provide trees with full rounded crowns, meeting height and spread standards after pruning. No flat sided trees or trees with open areas on any side will be acceptable. Trees shall be consistently superior in form and branching, and typical of the growth habit of their species unless otherwise specified. Caliper of the trunk shall be taken 6 inches above the ground up to and including 4-inch caliper size, and 12 inches above the ground for larger sizes. J. Multi-trunk Tree: Measure multi-trunk tree caliper as follows. Add the caliper of the largest trunk to one-half the calipers of the remaining trunks. (Example: an 8"

caliper, multi-trunk could be three trunks of 5"/4"/2" or 5"/3"/3") K. Shrub, Groundcover: Nursery grown, healthy, vigorous, and have normal habit of growth for the

M. Turf Grass Sod: Sod shall be green, actively growing, and free of weeds and foreign grasses. Sod, which is dormant, heat or drought stressed, will not be accepted. ut sod with a minimum of 3/4 inch of soil covering the roots. Deliver to the site in 12-inch squares or 12-inch wide rolls or pallets. Do not stack more than 24 hours between time of cutting and time of delivery.

2.2 SOIL PREPARATION MATERIALS A. Backfill is Compost.

B. Commercial Fertilizer: Complete fertilizer with an oraanic base, uniform in composition, dry and free flowing. Deliver



to the nominal top of the plant.

of that larger plants than those specified may be be measured with their branches in normal position.

Association of Nurserymen, Inc. (A.A.N.). D. Plants shall be healthy, vigorous and free from defects, decay, girdling roots, sunscald injuries,

E. Plants shall be hardy under climatic conditions similar to those in the locality of the project. F. If the Contractor becomes aware of any condition

scheduled. Trees and shrubs of larger size may be used if acceptable to Owner's Representative, in which case,

fertilizer to site in original unopened containers, each bearing manufacturer's guaranteed statement of analysis. Fertilizer shall contain 10% nitrogen, 10% phosphoric acid, 5% potash, unless otherwise specified or approved.

2.3 TREE STAKING MATERIALS A. 2" x 2" x 8' pine stakes.

PART 3 - EXECUTION

3.1 INSPECTION

A. Contractor must examine the sub grade upon which work is to be performed, verify sub grade elevations noted on the plans, observe the conditions under which work is to be performed, and notify the Owner's Representative of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in a manner acceptable to the Contractor and Owner's Representative.

3.2 SOIL PREPARATION

A. 1 part is Compost. 4 part select native topsoil B. Soil is at final grade. Contractor is responsible for removing excess topsoil. Excess topsoil may be distributed on site.

3.3 TREE PLANTING

A. Location: Refer to planting plans for location of trees. Stake position of trees before pits are dug and label each position. Receive approval from Owner's Representative before proceeding B. General: Excavate pit. During pit excavation, if pit

walls are glazed, roughen sides to allow for good bond with backfill. Center trees, with root flare at or above finish grade and with trunk plumb. Position trees and receives approval from Owner's Representative before removing burlap or backfilling. Remove top 1/3 of ball burlap immediately prior to backfilling pit (2 hour

maximum) and gently roughen exposed soil around ball, being careful not to damage feeder roots. C. Size of tree pits: Plant in tree pits twice the diameter of the root balls and no deeper. Root ball shall rest on undisturbed soil. Carefully settle by watering to prevent

air pockets. D. Do not lift trees by the trunk. Lift trees by the root ball only. If the contractor is observed lifting trees by the trunk, the tree willbe rejected.

3.4 STAKING

A. Refer to planting details for placement of stakes. 3.5 SPACING AND PLANTING SHRUBS AND

GROUNDCOVER A. Place plants in position on bed areas before containers or burlap have been removed. Obtain approval from Owner's Representative. Remove cans, remove top 1/3 burlap from balled and burlapped plants. Plant where located and approved, setting plants with root flares or surface of soil in container at or slightly above finish grade, and compact soil carefully around each plant ball. Water each plant thoroughly with hoses to eliminate air pockets. Carefully prune plants to remove dead or broken branches and handrake bed areas to smooth, even surfaces. Owner's Representative reserves the right to interchange or shift

3.6 PREPARING SOIL AND FINE GRADING FOR

ocations of plants prior to planting.

A. Note: During hauling operations, keep walkway and

roadway surfaces clean. Promptly remove sandy loam or other material. B. After completion of construction work in the area, prepare surface of subsoil. Finish to lines shown and arallel to proposed finished grade as approved. Remove rocks and other foreign materials 1-1/2 inches or greater in any dimensior

C. Weed removal: 1. If site has been freshly graded, water site for

minimum two weeks to encourage weed germination and growth.

2. Area scheduled for wildflowers, native grasses and buffalo grass: Totally remove all grasses and weeds unless directed otherwise by Owner's Representative. Apply a non-selective herbicide (e.g. "Roundup" or approved equal) to thoroughly exterminate existing grasses, weeds, or other vegetation (unless noted on the drawing for protection) in area scheduled to receive seeding or hydromulching for grasses or wildflowers. Area scheduled for native grasses: Use a selective herbicide or post-emergent herbicide for spot application to remove dallisgrass, crabgrass, Johnson grass, nutsedge, dandelion and other noxious weeds identified in the field by Owner's Representative. If native arasses exist on the site, verify with Owner's Representative if they are to remain or to be eliminated. D. Soil shall be loosened and pulverized to prepare an acceptable bed for sod. Pulverize soil with disc, chisel plow, tiller or other method approved by Contacting Officer, making minimum of one pass to break up clods Do not till if soil is wet. Do not penetrate soil deeper than two inches so as not to encourage weed growth. E. Fine grade, level and scarify with a weighted spike harrow, spike float drag, or by hand raking. Leave no depressions, ruts, soft spots or humps. Finish to lines or elevations shown and parallel to proposed finished grade, as approved. Maintain positive drainage on site. Remove rocks, clods, weeds, trash or debris from area to be sodded. Legally dispose off site. F. If weeds should germinate prior to seeding, re-apply

3.7 SOD PLANTING

herbicide to eradicate weeds.

A. Preparing soil: Remove rocks, weeds, and debris from area to be sodded. Work up soil to a depth of 4 inches, and break up all clods. Prepare soil for all areas as noted

B. Grading and Rolling: Carefully smooth all surfaces to be sodded. Roll area to expose soil depressions or

C. Fertilizing: Spread Turf Fertilizer (10-20-10) onto the soil evenly at the rate of ten pounds per 1,000 square feet of lawn area. Rake in lightly. Be sure soil is level and smooth before laying sod. Avoid laying sod on dry soil. D. Laying Sod: Lay first strip of sod slabs along a straight line (use a string in irregular areas). Butt joints tightly, do not overlap edges. On second strip stagger joints such as in laying bricks. Use a sharp knife to cut sod to fit curves, edges, and sprinkler heads. Lay smooth. Align with adjoining grass areas. Place top elevation of sod 1/2 inch below adjoining edging, paving, and curbs. On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at maximum 2 feet on center. Drive pegs flush with soil portion of sod. Prior to placing sod, on slopes exceeding 8 inches per foot or where indicated place wire mesh over topsoil. Securely anchor in place with wood pegs sunk firmly into the ground. E. Watering: Do not lay whole lawn before watering. When a conveniently large area has been sodded, water lightly preventing drying. Continue to lay sod and water

F. Rolling Sod: After laying all sod, roll lightly to eliminate irregularities and to form good contact between sod and soil. Avoid a very heavy roller or excessive initial watering which may cause roller marks. G. Replacement: Replace any areas of grass not showing sufficient growth at the end of three weeks per the original method of application at any additional

H. Watering: Continue irrigation regularly to keep soil evenly moist until active growth resumes. The Subcontractor shall be responsible for one top dressing of the entire field using approximately one-quarter (1/4) inch of the same sand used in

- TOP OF PAVEMENT

-STEEL EDGING AS SPECIFIED IN SECTION "GENERAL PLANTING"

distributed top dressing. J. The Subcontractor and the Owner's representative shall inspect all sod at the end of each workday

construction of the sand fill for the field. A light steel

mat shall be used to drag the entire field of uniformly

Unacceptable sod shall be removed immediately and replaced the next day. The preliminary acceptance does not guarantee final acceptance at completion of the project. Prior to final acceptance, all sod shall be checked for live nematodes. Infested sod shall be removed and replaced immediately.

8 MULCHING

A. After work of planting has been completed an approved by Owner's Representative, mulch soil in and around tree pit with 2" of shredded hardwood mulch. lightly cultivated into area. Do not disturb watering saucer, and do not cover root flare. Delay this operation until near final inspection.

3.9 CLEAN UP

A. During work, keep premises neat and orderly including organization of storage areas. Remove trash, including debris resulting from removing weeds or rocks from planting areas, preparing beds, or planting plants, from site daily as work progresses. Keep walk and driveway areas clean by sweeping or hosing.

3.10 ACCEPTANCE

A. When the above requirements of the specifications have been fulfilled, the Contractor will request Final Acceptance of the work. Areas that are not acceptable at this time shall continue under the Contractor's maintenance until the Owner's Representative gives Final Acceptance. Following is a listing of items required

for the final acceptance of the project: Warranty letter. As-builts.

Source of plant material.

IRRIGATION SCHEDULE

FOR RELOCATED AND/OR NEWLY PLANTED TREES/PALMS THE IRRIGATION SCHEDULE SHALL BE AS PER UF/IFAS PUBLICATION ENH-1061: DURING ESTABLISHMENT, TREES

SHOULD BE IRRIGATED 2-3 TIMES PER WEEK WITH 2 GALLONS PER INCH TRUNK CALIPER. ALL THIS WATER SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL. TABLE 2. IRRIGATION SCHEDULES DEPEND ON SIZE OF NURSERY STOCK AND DESIRED OBJECTIVE*.

SIZE OF	IRRIGATION SCHEDULE FOR					
NURSERY STOCK	VIGOR	SURVIVAL				
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS				
2–4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY:UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS				
GREATER THAN 4 INCH	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS	TWICE WEEKLY FOR				

WEEKLY: UNTIL ESTABLISHED 4–5 MONTHS * ESTABLISHMENT TAKES APPROXIMATELY 3 MONTHS (HARDINESS ZONES 10-11) 4 MONTHS (HARDINESS ZONES 8-9) PER INCH TRUNK CALIPER.

TREE BARRICADE NOTES: 1. ALL EXISTING TREES SHALL BE TRIMMED AND SHALL COMPLY WITH THE "AMERICAN

- NATIONAL STANDARDS INSTITUTE, (ANSI), A300-2005", CURRENT EDITION RESPECTIVELY.
- 2. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL
- REMAIN IN PLACE DURING CONSTRUCTION, IF REQUIRED SEE PLAN.

CALIPER

- 3. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED
- INSIDE TREE BARRIERS.
- 4. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS. & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- 5. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- 6. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED MINIMUM 12 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS MATERIAL SUCH AS LEAVES, OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREES SHALL BE LIGHTLY PRUNED BY HAND. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES W/ TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE.
- TRANSPLANT TREES W/ 60" TREE SPADE, AND / OR TREE CRANE. TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
- 7. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER (+- 1") THAN THE FINISHED GRADE 8. PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF
- WATER HOSE, HOLE SHOULD BE FILLED WITH A MIXTURE

MATERIAL ON SITE AS REQUIRED.

- OF GOOD TOP SOIL (SEE SPECIFICATION SHEET). 9. A TEMPORARY HOLDING AREA SHALL BE USED ON SITE DURING CONSTRUCTION
- OR UNTIL TREES CAN BE PROPERLY RELOCATED, COORDINATE WITH LANDSCAPE ARCHITECT.
- 10. LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER, FLORIDA HOLLY AND ALL EXOTIC NUISANCE
- 11. CONTRACTOR SHALL FIELD ADJUST NEW TREE LOCATIONS TO BE 15' MINIMUM FROM LIGHT STANDARDS.

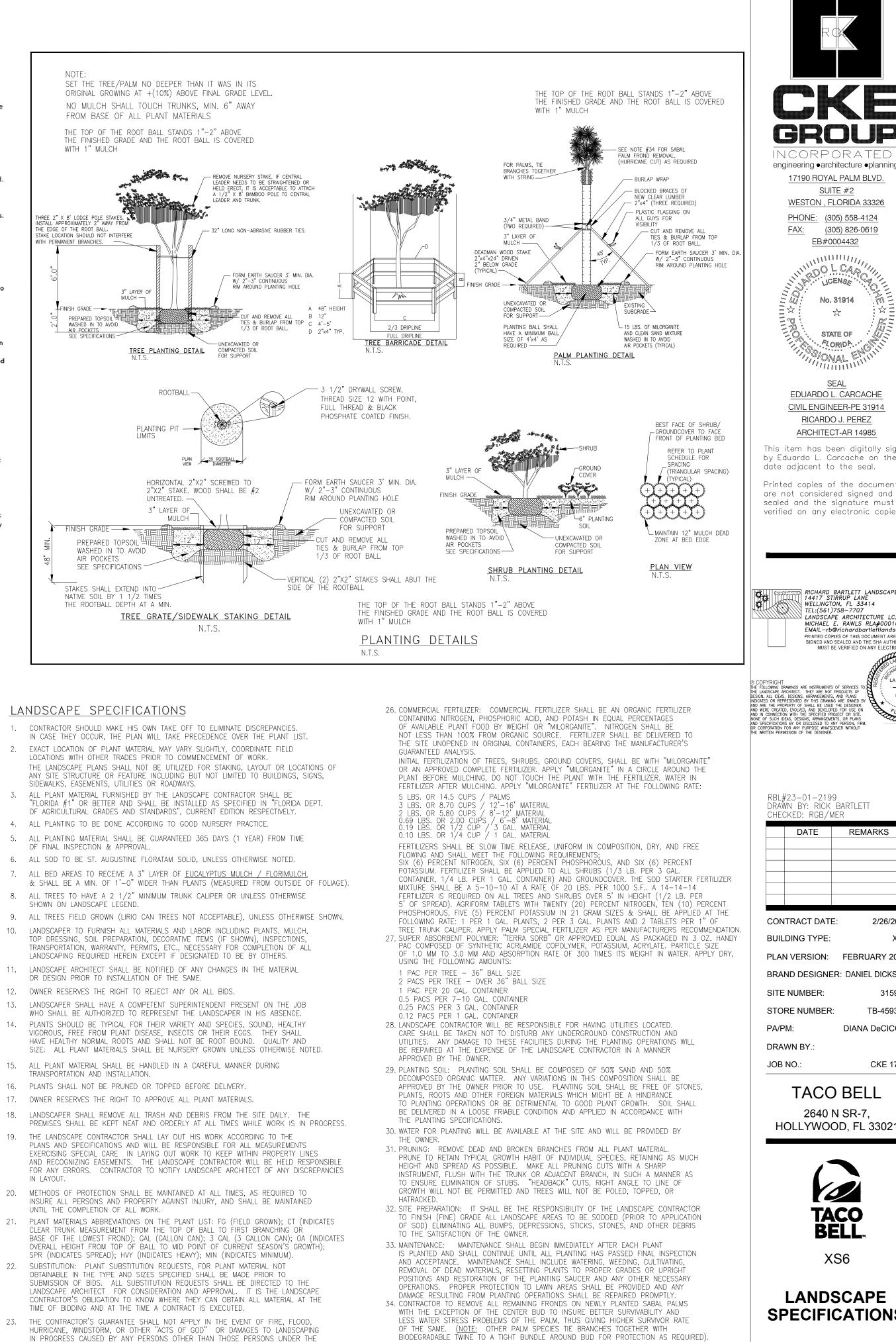
B. Refer to individual Sections 02911 - 02940 for specific installation requirements.

3.11 PROTECTION

the property and responsibility of the Contractor until final acceptance. Take adequate precautions to protect all work and materials against damage. Cooperate fully with other trades to insure a satisfactory completion.

A. All items required to complete this contract remain

WITH 1" MULCH



LANDSCAPE SPECIFICATIONS

- SIDEWALKS, EASEMENTS, UTILITIES OR ROADWAYS

- OF FINAL INSPECTION & APPROVAL.

- OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- 12. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.

- 16. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- 17. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- 19. THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT
- UNTIL THE COMPLETION OF ALL WORK.
- 22. TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.

DOMINION AND CONTROL OF THE CONTRACTOR.

INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.

- 35. ALL APPLICABLE FEDERAL, STATE, AND LOCAL PERMITS SHALL BE ATTAINED PRIOR TO ANY REMOVAL, RELOCATION, OR INSTALLATION OF PLANT MATERIALS INDICATED WITHIN THE PLANS OR PLAN DOCUMENTS. 36. A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE
- UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30" & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS.

EDUARDO L. CARCACHE CIVIL ENGINEER-PE 31914 RICARDO J. PEREZ ARCHITECT-AR 14985 This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies. RICHARD BARTLETT LANDSCAPE,INC. WELLINGTON. FL 33414 TEL:(561)758-7707 LANDSCAPE ARCHITECTURE LC26000352 MICHAEL E. RAWLS RLA#0001633 EMAIL-rb@richardbartlettlandscape.com RINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERE SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES SEAL

DRAWN BY: RICK BARTLETT

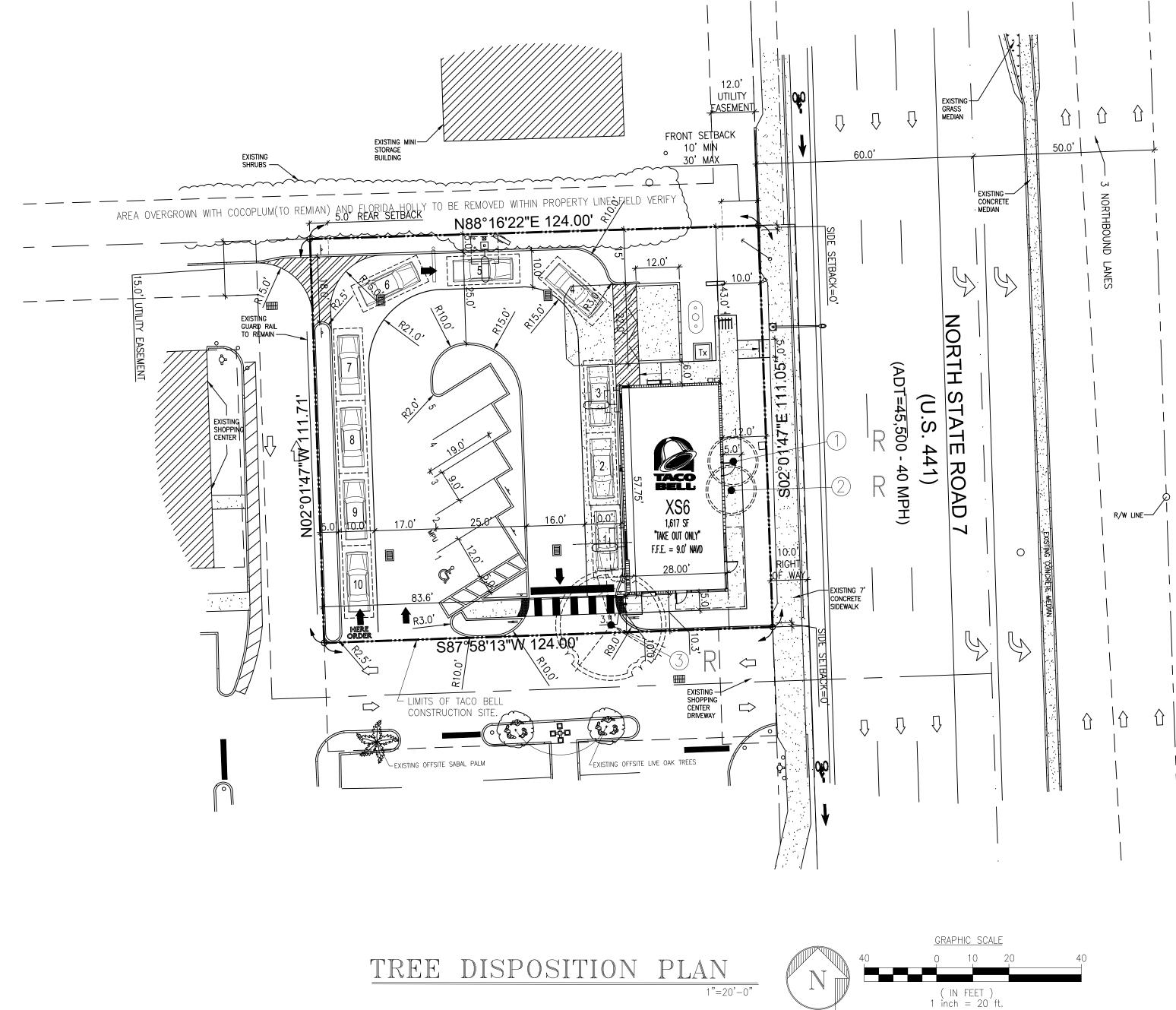
	DATE	REMARKS
CON	TRACT DAT	E: 2/26/2021
BUIL	DING TYPE:	XS6
PLA	VERSION:	FEBRUARY 2022
BRA	ND DESIGNE	ER: DANIEL DICKSON
SITE	NUMBER:	315998
sто	RE NUMBER	:: TB-459380
PA/F	'M:	DIANA DeCICCO
DRA	WN BY.:	AG
JOB	NO.:	CKE 1746

TACO BELL 2640 N SR-7. HOLLYWOOD, FL 33021

LANDSCAPE SPECIFICATIONS

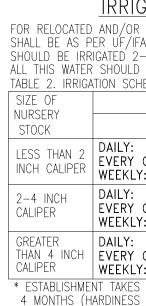


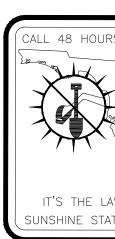
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+-1") THAN THE FINISHED GRADE.
- 25. DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE



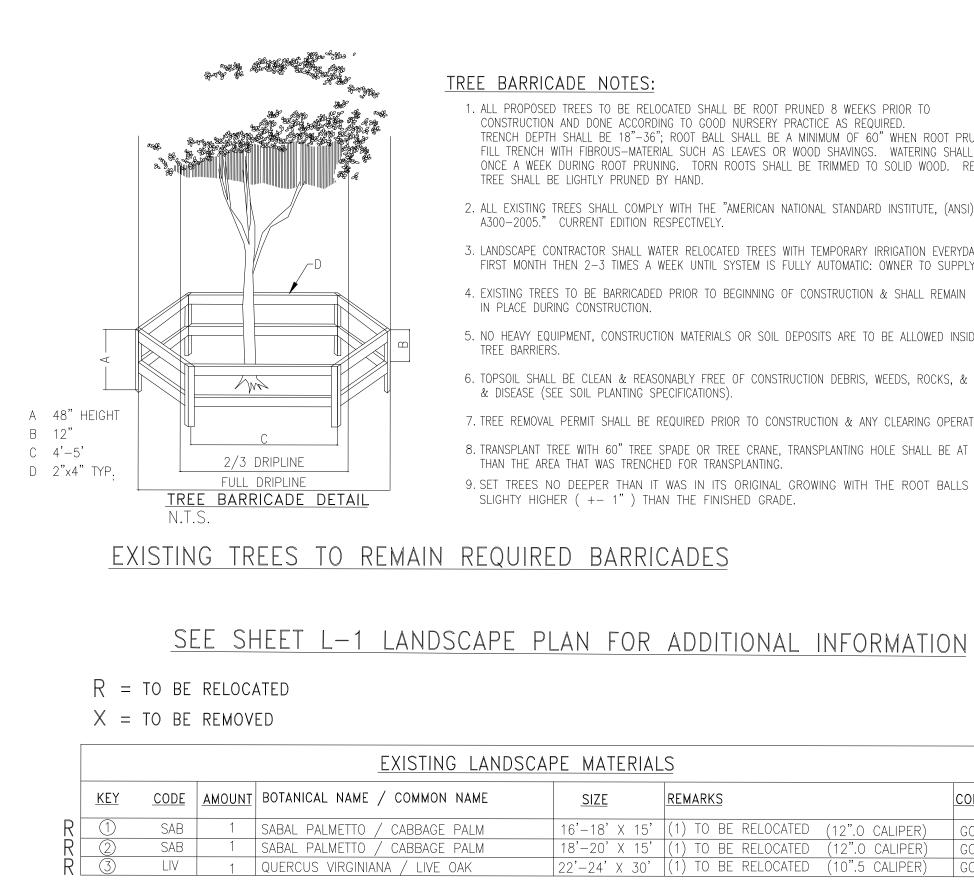
NOTE:

CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED 6" MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.





"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



IRRIGATION SCHEDULE

FOR RELOCATED AND/OR NEWLY PLANTED TREES/PALMS THE IRRIGATION SCHEDULE SHALL BE AS PER UF/IFAS PUBLICATION ENH-1061: DURING ESTABLISHMENT, TREES SHOULD BE IRRIGATED 2-3 TIMES PER WEEK WITH 2 GALLONS PER INCH TRUNK CALIPER. ALL THIS WATER SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL. TABLE 2. IRRIGATION SCHEDULES DEPEND ON SIZE OF NURSERY STOCK AND D ESIRED OBJECTIVE*.

IRRIGATION SCHEL	JULE FUR	
VIGOR	SURVIVAL	
2 WEEKS OTHER DAY: 2 MONTHS Y:UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS	
1 MONTH OTHER DAY: 3 MONTHS Y:UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS	
6 WEEKS OTHER DAY: 5 MONTHS Y:UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS	
S APPROXIMATELY 3 MONTHS S ZONES 8-9) PER INCH TE		IES 10-

CHEDULES DEPEND ON SIZE	OF NURSERY STO	CK AND	DES
IRRIGATION SCHEE	DULE FOR		
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: 2 WEEKS (OTHER DAY: 2 MONTHS L Y: UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS		
: 1 MONTH	TWICE		

VIGUR	SURVIVAL
: 2 WEEKS	TWICE
Y OTHER DAY: 2 MONTHS	WEEKLY FOR
LY:UNTIL ESTABLISHED	2-3 MONTHS
': 1 MONTH	TWICE
Y OTHER DAY: 3 MONTHS	WEEKLY FOR
LY:UNTIL ESTABLISHED	3-4 MONTHS
	THURE

-11) 4 MONTHS (HARDINESS ZONES 8–9) PER INCH TRUNK CALIPER.

RS BEFORE YOU DIG IN FLORIDA	
Know what's below.	
Call before you dig.	
AW!	
ATE ONE CALL OF FLORIDA, INC.	J

TREE BARRICADE NOTES:

IN PLACE DURING CONSTRUCTION.

& DISEASE (SEE SOIL PLANTING SPECIFICATIONS).

SIZE

REMARKS

THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.

SLIGHTY HIGHER (+– 1") THAN THE FINISHED GRADE.

TREE BARRIERS.

- 1. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE TREE SHALL BE LIGHTLY PRUNED BY HAND.
- 2. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005." CURRENT EDITION RESPECTIVELY.

4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN

5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE

- ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED

3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE

FIRST MONTH THEN 2–3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC: OWNER TO SUPPLY WATER ON SITE.

6. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS

7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.

8. TRANSPLANT TREE WITH 60" TREE SPADE OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER

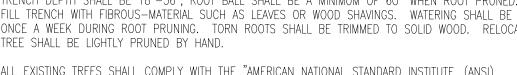
9. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR

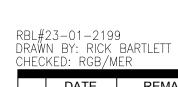
 16'-18' X 15'
 (1) TO BE RELOCATED (12".0 CALIPER)
 GOOD/70%

 18'-20' X 15'
 (1) TO BE RELOCATED (12".0 CALIPER)
 GOOD/70%

22'-24' X 30' (1) TO BE RELOCATED (10".5 CALIPER) GOOD/60%

CONDITION





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D BY THIS DRAWING ARE

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INCORPORATED

engineering •architecture •planning 17190 ROYAL PALM BLVD.

SUITE #2

VESTON . FLORIDA 33326

(305) 826-0619

PHONE: (305) 558-4124

EB#000443

"BOLCAS

, ICENS

No. 31914

☆

STATE OF ALORIDA

EDUARDO L. CARCACHE

CIVIL ENGINEER-PE 31914

RICARDO J. PEREZ

ARCHITECT-AR 14985

This item has been digitally signed

RICHARD BARTLETT LANDSCAPE, INC. 14417 STIRRUP LANE WELLINGTON, FL 33414 TEL:(561)758-7707

LANDSCAPE ARCHITECTURE LC26000352

MICHAEL E. RAWLS RLA#0001633 EMAIL-rb@richardbartlefflandscape.com PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

—★— STATE

SoF

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by Eduardo L. Carcache on the date adjacent to the seal.

Printed copies of the document

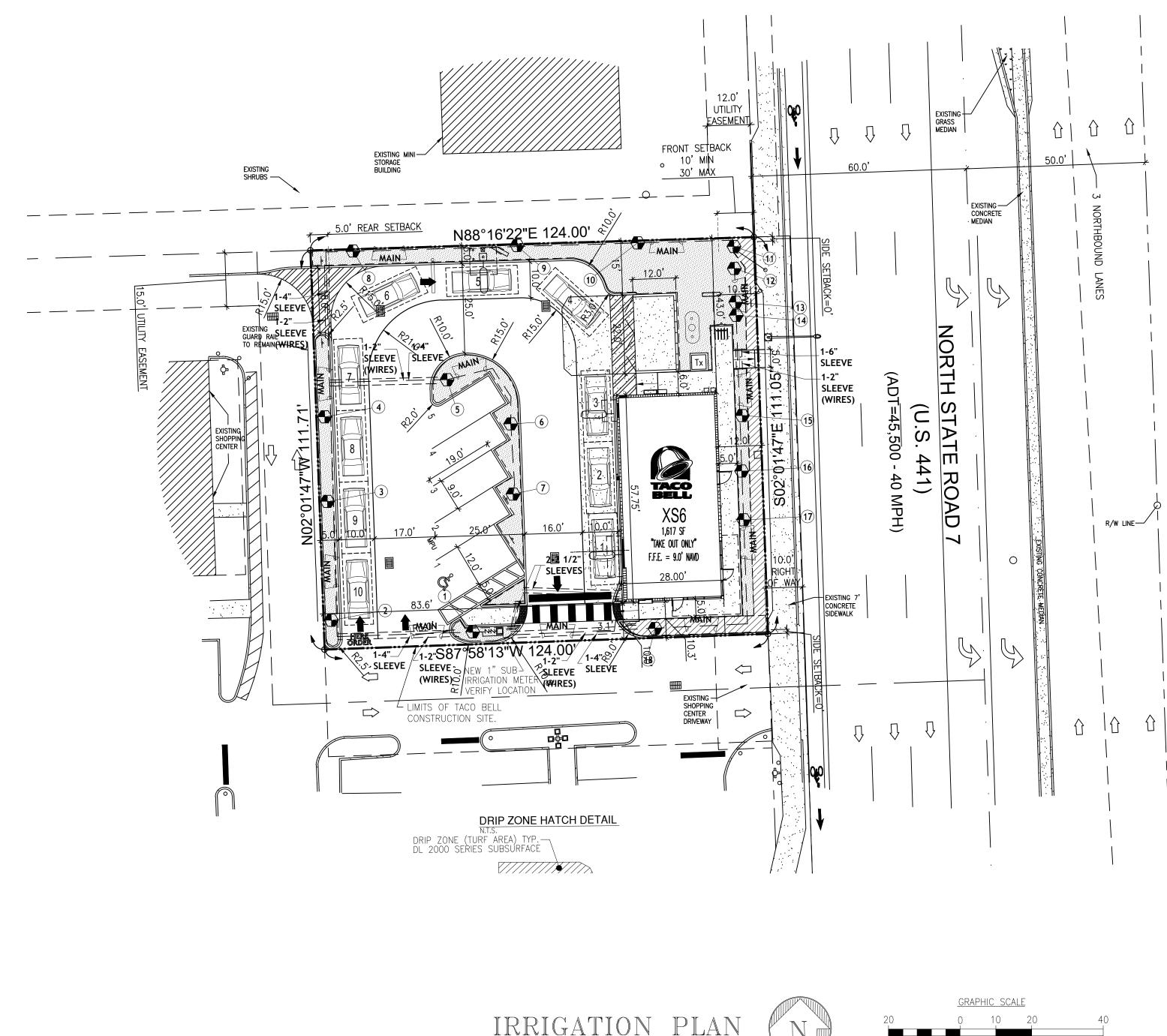
are not considered signed and sealed and the signature must be verified on any electronic copies.

FAX:

DRAWN BY: RICK BARTLETT CHECKED: RGB/MER					
DATE	REMARKS				
CONTRACT DATE	-: 2/26/2021				
BUILDING TYPE:	XS6				
PLAN VERSION:	FEBRUARY 2022				
BRAND DESIGNE	R: DANIEL DICKSON				
SITE NUMBER:	315998				
STORE NUMBER	: TB-459380				
PA/PM:	DIANA DeCICCO				
DRAWN BY .:	AG				
JOB NO.:	CKE 1746				

TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021





IRRIGATION PLAN

1"=20'-0"

(IN FEET) 1 inch = 20 ft.

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA. LEGAL DESCRIPTION:

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

ІТЕМ	MANUFAC.	MODEL NO.
4" pop-up spray head	Toro	570Z-4PCOM
12" pop-up spray head installed in season color beds only	Того	570Z-12PCOM
spray head nozzles with pressure compensation	Toro	Precision Series Nozzle:
rotor sprinkler head	Того	T5PRS
drip line	Toro	DLS2000
controllers (up to 16 zones)	Toro	Evolution EVO-40D Wit EVOM-4/12 Expansion Modules
weather sensor	Toro	Evolution EVO-SC, EVO-WS
controllers (16 to 24 zones)	Того	TMC 424E-OD
weather sensors (with tmc 424e)	Irritol	CL-Wireless
electric valves (spray and rotary zones), (drip zones)	Toro	TPVF 100, DK-EZF
	NBCO	T-113
quick coupler valve & key	Того	100-SLVLC, 100 SLK
swivel hose e11	Toro	100 MHS
backflow preventer valve	FEBCO	As Required
10" round valve box	Amtec	181104
surge protection kit	Irritol	SPD-587

NOTES:

- 1. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC.. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
- 2. GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK-UP AS REQUIRED.
- 3. WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM). CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH "FLORIDA BUILDING CODE APPENDIX (F) PART V-A-1.", INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES.
- 4. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PBC V-A-1.: PIPE SIZE (INCHES) DEPTH OF COVER (INCHES) 1/2-2 1/2 18"-24" 1/2-2 1/2 24"-30" 3-5
- 6 AND LARGER 30"-36"
- 5. ALL DRIPLINE LATERALS SHALL BE UNDER 3"-4" MULCH IN SHRUB AND BED AREAS; 4" UNDER TURF AREAS.
- 6. CONTRACTOR TO PRESSURE TEST WATER SERVICE UP TO EACH ZONE VALVE IN THE IRRIGATION SYSTEM; MAIN LINE SHALL BE LEFT EXPOSED FOR VISUAL OBSERVATION PRIOR TO BACKFILL AND REQUIRED APPROVAL BY CITY OF HOLLYWOOD;
- CALL CITY OF HOLLYWOOD FOR REQUIRED INSPECTIONS. 7. IRRIGATION CONTRACTOR TO SUPPLY AND INSTALL BUBBLERS AT ALL NEW TREE AND PALM LOCATIONS.
- 8. SEE TACO BELL GENERAL NOTES AND SPECIFICATIONS.
- 9. CONTRACTOR SHALL INSTALL DRIP IRRIGATION LAYOUT IN THE HATCHED AREAS INDICATED ON THE PLAN IN ACCORDANCE TO THE MANUFACTURES INSTALLATION MANUAL AND RECOMMENDATIONS.
- 10. THE IRRIGATION SYSTEM SHOWN IS FOR GRAPHICAL CLARITY ONLY, CONTRACTOR TO ADJUST FOR REQUIRED 100% COVERAGE.
- 11. THE MAXIMUM LENGTH OF LATERAL RUN SHALL NOT EXCEED 150 LINEAR FEET. 12. THE CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PSI PRIOR TO INSTALLATION OF THE SYSTEM.
- 13. A FINAL INSPECTION OF ALL IRRIGATION ZONES SHALL BE REQUIRED PRIOR TO A FINAL C/O.

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	IRRIGATION LEGEND
	2" SCH. 40 PVC MAIN LINE AS SHOWN
	TORO MODEL TMC 424E-OD 24 ZONE TIME CONTROLLER
Ð	TORO SERIES LOW VOLTAGE CONTROL VALVES 1" & 1 1/2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED
	1" SUB-IRRIGATION WATER METER & FEBCO BACKFLOW PREVENTER (FIELD VERIFY BY OWNER)
	TORO DRIPLINE USING GRID CONCEPT, WITH SUPPLY AND FLUSH MANIFOLDS AT EACH END TO CREATE A CLOSED-LOOP SYSTEM. 5/8" TUBE DIAMETER DL 2000 PC DRIPLINE WITH ROOTGUARD, NORMAL FLOW 0.53 GPH AND 1.02 GPH @35 PSI MINIMUM.
	TORO WEATHER SENSOR EVOLUTION EVO-SC, EVO-WS
	PIPE SIZE LEGEND PIPE SIZE GPM 3/4" 0-8 1" 9-12 1 1/4" 13-22 1 1/2" 23-30 2" 31-50

TORO DRIPLINE DL 2000-ZONES												
ZONE	1	2	3	4	5	6	7	8	9	10	11	12
# HEADS	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP
<u>G. P. M.</u>	35.00	35.00	35.00	30.00	35.00	35.00	35.00	30.00	35.00	35.00	35.00	35.00
TORO DRIPLINE DL 2000-ZONES												
				1				-				
ZONE	13	14	<u>TOF</u> 15	RO DR	IPLINE	DL 2	19	ZONES 20	21	22	23	24
<u>ZONE</u> <u># HEADS</u>	13 DRIP	14 DRIP		1				-		22	23	24

IT'S THE LAW!



Know what's **below**.

Call before you dig.

L 48 HOURS BEFORE YOU DIG IN FLORID

JNSHINE STATE ONE CALL OF FLORIDA, INC

SIZE OF	IRRIGATION SCHED	JULE FOR
NURSERY STOCK	VIGOR	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2—4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY:UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY:UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS
* ESTABLISHME	NT TAKES APPROXIMATELY 3 MONTHS	(HARDINESS ZON

* ESTABLISHMENT TAKES APPROXIMATELY 3 MONTHS (HARDINESS ZONES 10–11) 4 MONTHS (HARDINESS ZONES 8–9) PER INCH TRUNK CALIPER.

RO
GROUP
INCORPORATED engineering • architecture • planning 17190 ROYAL PALM BLVD.
<u>SUITE #2</u> WESTON , FLORIDA 33326 PHONE: (305) 558-4124
EB#0004432 EB#0004432 UCENSS No. 31914 A A
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STATE OF CORIDA.
EDUARDO L. CARCACHE CIVIL ENGINEER-PE 31914 <u>RICARDO J. PEREZ</u>
<u>ARCHITECT-AR 14985</u> This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal.
Printed copies of the document are not considered signed and sealed and the signature must be
verified on any electronic copies.
RICHARD BARTLETT LANDSCAPE,INC. 14417 STIRRUP LANE WELLINGTON, FL 33414 TEL:(561)758-7707 LANDSCAPE ARCHITECTURE LC26000352 MICHAEL E. RAWLS RLA#0001633 EMAIL-rb@richardbartleftlandscape.com
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RBL#23-01-2199
RBL#23-01-2199 DRAWN BY: RICK BARTLETT CHECKED: RGB/MER DATE REMARKS
CONTRACT DATE: 2/26/2021
BUILDING TYPE: XS6 PLAN VERSION: FEBRUARY 2022
BRAND DESIGNER: DANIEL DICKSON SITE NUMBER: 315998
STORE NUMBER: TB-459380 PA/PM: DIANA DeCICCO DRAWN BY.: AG
JOB NO.: CKE 1746
TACO BELL 2640 N SR-7, HOLLYWOOD, FL 33021
TACO
BELL. XS6
-4

IRRIGATION GENERAL NOTES

- 1. All lawn, shrub/groundcover, trees with pressure compensating bubblers and seasonal color must be zoned separately. 2. See Civil Engineering drawings or coordinate with
- the General Contractor for sleeving under pavement water meter location, and connection to electric 3. Irrigation coverage shall be 100% in the areas to
- be irrigated. The irrigation contractor shall make minor adjustments to ensure proper coverage at no additional cost to the owner. 4. No irrigation head or valve shall be within three (3')
- feet of a water utility. 5. All mainline shall be installed a minimum of three (3') feet from back of the curb (except for major
- intersections). 6. Over spray directly onto buildings, fences, pavement, or across property lines is prohibited. All piping shall be flushed of all debris prior to
- installing heads and nozzles. No wire splices will be allowed between the controller and the solenoid valves. The valve "common" wire
- shall be spliced only at the solenoid valve and within the valve boxes 9. Contractor to arrange valve boxes in a straight line and evenly spaced apart (2') and at no time closer
- than 3' from any hardscape. Stake proposed valve box locations for approval by the landscape architect before installation. 10. The irrigation contractor shall comply with all local
- and state mandated irrigation ordinances and codes, and will secure all required permits. The irrigation contractor shall pay any associated fees unless otherwise noted. All local codes shall prevail over any discrepancies herein and shall be addressed
- before any construction begins. 11. Confirm minimum static water pressure of 60 PSI at the highest elevation of the system limits, and maximum static water pressure of 90 PSI at the

LANDSCAPE PLAYBOOK | JUNE 2020

IRRIGATION SPECIFICATIONS

PART 1 - GENERAL

- 1.1 COORDINATION
- A. Coordinate to ensure that irrigation sleeving and electrical power source is in place.

1.2 OPERATION AND MAINTENANCE DATA

- A. Provide instructions for operation and maintenance of system and controls, seasonal activation and shutdown, and manufacturer's parts catalog.
- 1.3 REGULATORY REQUIREMENTS
- A. Conform to applicable code for piping and
- component requirements. PART 2 - PRODUCTS

2.1 MATERIALS - GENERAL

- A. MATERIALS:
- The materials chosen for the design of the sprinkler system have been specifically referred to by manufacturer, enabling the Owner to establish the level of quality and performance required by the system design. After award of contract and prior to beginning work, the contractor shall submit for approval three copies of the complete list of materials to be installed. Landscape architect or owner's representative will review submittals, no substitutions will be allowed.
- B. POLYVINYL CHLORIDE PIPE (PVC):
- PVC pipe manufactured in accordance with standards noted herein. Marking and Identification: Continuously and

CONTINUED FROM PAGE 29

A. Verify location of existing utilities and that they are

A. Layout and stake locations of system components.

overlap of stated manufacturers diameter.

D. Provide timely delivery and installation at job site.

A. Keep trenches free of debris, material, or

obstructions that may damage pipe.

C. Make trenches wide enough to allow 3 inches

Perform work only in the presence of a qualified

2. Do not install system components when it is obvious

in the field that obstructions, grade differences or

or static water pressure exist that might prevent

underground irriggtion sleeves.

between parallel lines.

irrigation professional.

3.4 INSTALLATION

A. GENERAL:

Route piping to avoid plants and structures. Verify

full and complete coverage with a minimum 50%

B. Protect landscaping and other features remaining as

PART 3 - EXECUTION

3.1 INSPECTION

B. ready for use.

3.2 PREPARATION

final work.

3.3 TRENCHING

permanently marked with the following information A. Class 200 SDR 21 number.

B. Sch. 40 PVC

C. Sch. 80 PVC

C. SOLVENT CEMENT:

D. COPPER TUBING:

E. COPPER PIPING:

G. WIRE:

F. COPPER PIPE FITTINGS:

H. SPRINKLER RISER:

1. Toro or Irritrol

D. Class 315 SDR 13.5 number.

E. ASTM D 2241 standard number.

F. NSF (National Sanitation Foundation) seal.

compatible with PVC pipe provided.

Seamless, type 'M' hard drawn, ASTM B 88.

ASTM D 2564 for PVC pipe and fittings.

. PVC Pipe Fitting: ASTM D 2464 and D 2466, of

the same materials as PVC pipe specified and

Hard, straight lengths of domestic manufacture only,

or so-called irrigation tubing (thin wall) allowed.

Cast brass or wrought copper, sweat-solder type.

14 gage, single copper strand minimum. Type UF with

1/64 inches insulation. Underwriters Laboratory (UL)

a National Electric Code Class II Circuit (30 volts AC or

Sprinkler heads are to be connected to the laterals by

poly flex-pipe and associated fittings by Toro or Irritrol

approved for direct underground burial when used in

ASTM B 88, Type 'L'. No copper tube of foreign extrusion,

lowest elevation of the system limits at least 7 days before beginning work. If static water pressure is outside the range stated above do not proceed until directed by the landscape architect or owner's representative. Failure to do so will result in the contractor liable for all expenses in making the system operational.

- 12. Electric power shall be provided within five feet of the controller location by general contractor. The irrigation contractor shall provide final hardwire connection to the controller.
- 13. 24 volt valve wire shall be minimum of #14 gauge, U.F. approved for direct burial, single conductor "irrigation wire." Wire splices shall include DBY connectors as manufactured by 3M Company. All eld splices shall be located in a round valve box of
- sufficient size to allow inspection. 14. The irrigation contractor is to contact appropriate authorities and locate all utilities prior to construction. 15. The proposed locations of all above-ground
- equipment including backflow preventers, controllers, and weather sensors shall be staked by the irrigation contractor for approval by the landscape architect or owner's representative before
- these items are installed. 16. All heads shall be installed a minimum of 4" from pavement edges. (6" or greater where required by local code) Final head adjustments by the irrigation
- contractor shall include the addition of check valves where needed 17. to prevent excessive low head drainage. The
- contractor shall budget for, and install check valves for up to 10% of the total number of heads when needed, with no additional cost to the owner.
- 18. All mass shrub and ground cover planting beds shall include Toro DL 2000 series drip tube with pre-
- installed pressure compensating emitters, installed in sub-surface center-fed drip tube grids set 2"

below grade. Drip tube row spacing and emitter intervals shall be as according to the manufacturer's recommendations based on soil type and slope. Individual drip tube runs shall not exceed 150 linear feet. Drip tube 2" burial depth does not include the mulch layer. Securely stake drip tubes every 18". Flush valves and air release valves shall be provided at each drip zone grid according to the manufacturer's recommendations. Toro Loc-Eze compression fittings shall be used for drip line connection. A 25 psi regulator and 150 mesh filter shall be included with each drip valve assembly. Install drip tube perpendicular to slope face. Sparsely spaced, individual shrub plantings may include Toro NGE single- outlet point source emitters according to the

manufacturer's recommendations. 19. Where required by local code, turf areas shall include Toro DL 2000 series drip tube with preinstalled pressure compensating emitters, installed in sub-surface center-fed drip tube grids set 4" below grade. Drip tube row spacing and emitter intervals shall be as according to the manufacturer's recommendations based on soil type and slope. Individual drip tube runs shall not exceed 150 linear feet. Flush valves and air release valves shall be provided at each drip zone arid according to the manufacturer's recommendations. Toro Loc-Eze compression fittings shall be used for drip line connection. A 25 psi regulator and 150 mesh filter shall be included with each drip valve assembly.

Install drip tube perpendicular to slope face.

ITEM	MANUFAC.	MODEL NO.
4" pop-up spray head	Toro	570Z-4PCOM
12" pop-up spray head installed in season color beds only	Toro	570Z-12PCOM
spray head nozzles with pressure compensation	Того	Precision Series Nozzles
rotor sprinkler head	Toro	T5PRS
drip line	Toro	DLS2000
controllers (up to 16 zones)	Того	Evolution EVO-40D With EVOM-4/12 Expansion Modules
weather sensor	Того	Evolution EVO-SC, EVO-WS
controllers (16 to 24 zones)	Того	TMC 424E-OD
weather sensors (with tmc 424e)	Irritol	CL-Wireless
electric valves (spray and rotary zones), (drip zones)	Toro	TPVF100, DK-EZF
	NBCO	T-113
quick coupler valve & key	Toro	100-SLVLC, 100 SLK
swivel hose e11	Toro	100 MHS
backflow preventer valve	FEBCO	As Required
10" round valve box	Amtec	181104
surge protection kit	Irritol	SPD-587

IRRIGATION SPECIFICATIONS

I. SWING JOINTS: O-RING SEAL TYPE

Acceptable Product: Lasco.

- complete and correct coverage without excessive overspray. Bring obstructions or differences to the
- attention of the Owner's Representative. In the event this notifications is not performed, assume full responsibility for any revision necessary.
- 3. Staking: Prior to installation, place a stake where each sprinkler is to be located. Receive approval of Owner's Representative before proceeding.
- 4. Piping Layout: Route piping around trees and shrubs in such a manner to avoid damage to plantings.
- Do not dig within balls of newly planted trees and shrubs. Hand excavate whenever possible to avoid D. COPPER PIPE AND FITTINGS ASSEMBLY: cutting of roots greater than 1 inch diameter, during construction.
- Install pipe, valves, controls, and outlets in accordance with manufacturer's instructions. C. Coordinate work which is embedded in concrete or **B. PIPE INSTALLATIONS:**
- 1. Sprinkler Mains: Install in minimum 4 inch wide masonry and routed under paved areas according to
 - on regional standards. 2. Lateral Piping: Install in minimum 4 inch wide trenches deep enough to allow for installation of sprinkler heads
 - Provide firm, uniform bearing in trenches for entire length of each pipe to prevent uneven settlement. Wedging or blocking of pipe is not permitted. Remove foreign matter and dirt from inside of pipes before
 - after layout of pipes. 4. Provide for thermal movement 5. Backfill: Hand-tamp and water-jet to prevent settling. Hand rake trenches and adjoining areas to leave grade in a good or better condition than before installation Backfill trench. Protect piping from displacement. Shrub Heads: Use 12" high pop sprinklers attached to

IRRIGATION SPECIFICATIONS

- CONTINUED FROM PAGE 30
- G. DRIP TUBE: 1. Place drip tube grids in shrub and ground cover beds 3.5 TESTING
- at 2" depth below finished grade, Not including the mulch layer. Securely stake or staple drip tubes every 2. Select row spacing, emitter interval, and flow rate
- based on the manufacturer's recommendations considering plant type, plant spacing, soil type and
- H. WIRING: 1. Provide wire from automatic sprinkler controls to valves. No conduit required for U.L. wire, except under pavement, unless otherwise noted on
- Drawings. Make wire connections with waterproof connectors according to manufacturer's recommendations, and
- only in approved value boxes. 3. Provide wire from controller to each electric valve. Provide a common neutral wire from controller to
- valves served by a particular controller. 4. Install control wiring. Provide 10 inch expansion coil at each valve to which controls are connected, and at 100 foot intervals. Bury wire beside pipe. Mark valves with neoprene valve markers.
- 5. Provide two spare valve wires, of a different jacket color, from the controller to the farthest zone valves for possible future use.
- I. AUTOMATIC SPRINKLER CONTROLLERS: Provide and install per manufacturer's recommendations.
- 2. Coordinate the exact installation location with the general contractor or owner's representative. Complete controller connection to power supply in PVC conduit in accordance with local electrical codes with watertight

- lateral piping with flexible flex pipe in seasonal color beds only. Shrub and ground cover beds shall include sub-surface drip irrigation.
- 3. Provide lightning protection (ground rod and wire) to A. Instruct Owner's personnel in operation and
 - sprinkler heads. Use operation and maintenance material as basis for demonstration.
 - keys to the owner's representative.
 - maintenance of system including adjusting of
 - B. Provide "as-built", record drawings and controller

3.7 CLEANUP

- A. Keep premises clean and neat. B. Replace and/or repair plant material, structures
- and installations by others, damaged by work of this

3.8 SYSTEM DEMONSTRATION

based on regional standards.

- B. Leave trench bottoms smooth so pipe will lay flat.
 - welding, and keep inside of piping clear during and

 - Solvent: Use solvent and procedures recommended

nearest available ground location.

defect and repeat test.

3.6 FINAL ADJUSTMENT

operating system.

coverage.

E. ELECTRICAL VALVES: 1. Provide valves in accordance with materials list and trenches with a minimum 18 to 30 inches cover based size according manufacturer's recommendations based on GPM flow rate. manufacturer's specifications.

- and valves, with a minimum of 12 to 24 inches cover

discrepancies in equipment usage, area dimensions, C. PVC PIPE AND FITTINGS ASSEMBLY:

A. Prior to backfilling, pressure test mains for a period

of 4 hours. If leaks or pressure drops occur, correct

A. After installation is complete, make final adjustment

B. Completely flush system to remove debris from lines

NOTE: Under no circumstances shall the direction

of throw come into contact with any portion of the

pressure and balance to other sections by use of flow

prevailing wind conditions or slopes to provide correct

by removing nozzles from heads on ends of lines and

of sprinkler system preparatory to Owner's

Adjust sprinklers for proper operation and

proper alignment for direction of throw.

building and/or exterior cooler/freezer box.

E. Adjust nozzling for proper coverage, considering

adjustment on top of each valve.

D. Adjust each section of spray heads for operating

Representative's final inspection.

F. SPRINKLERS: 1. General: Provide in accordance with materials list, with nozzling in accordance with "Head-To-Head" head spacing. Adjust nozzle degree and trajectory if wind conditions affect coverage. Set pop-up heads

by manufacturer to make solvent-welded joints.

2. PVC to Metal Connections: Work metal connections

4. Threaded PVC Connections: Where required, use

threaded PVC adapters into which pipe may be

connections with sand paper to remove residue from

first. Use a non-hardening pipe dope on threaded

PVC to metal joints. Use only light wrench pressure

moisture before applying solvent.

Acceptable Product: Permatex No. 2.

Clean pipe and fittings thoroughly and buff

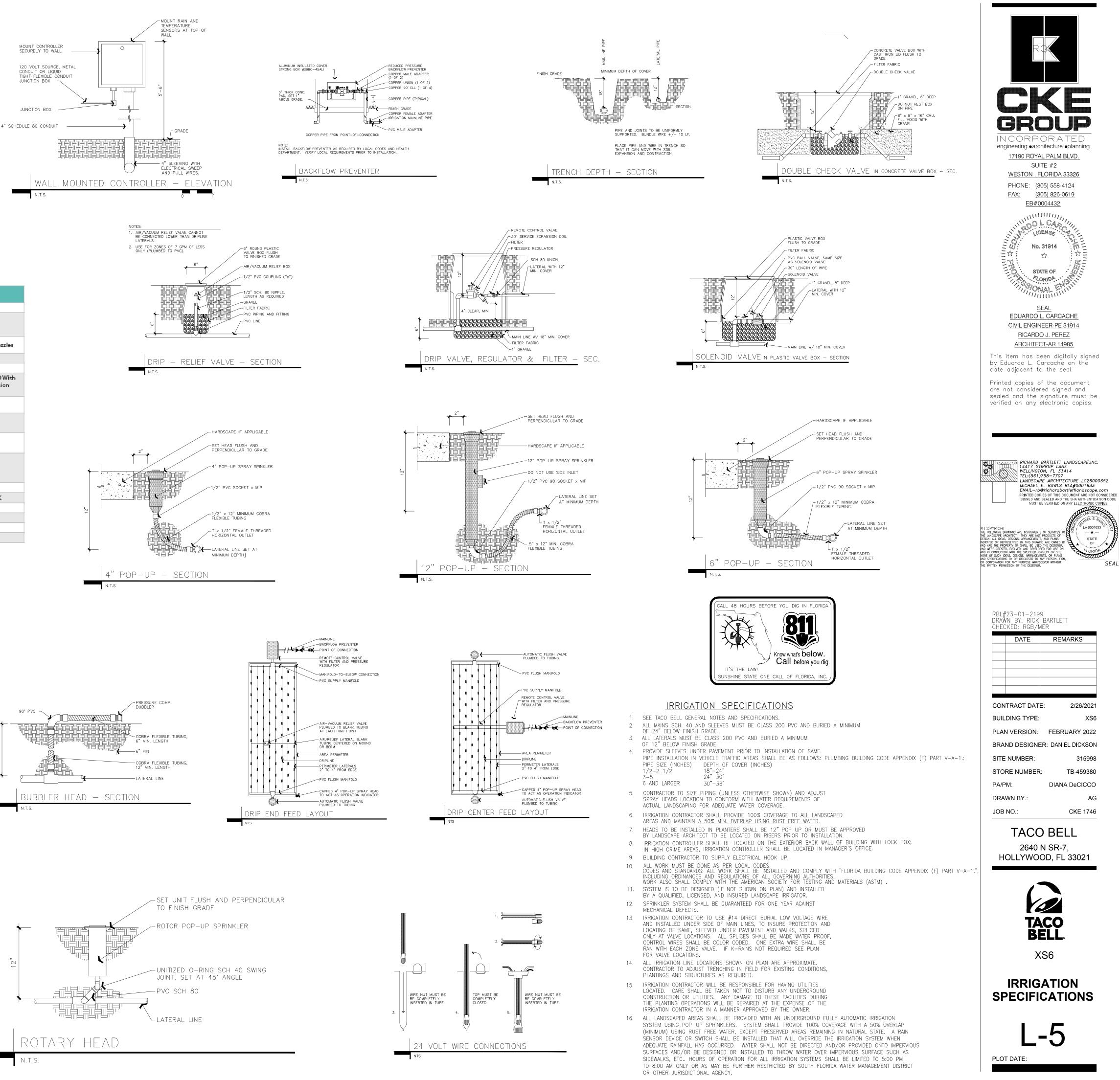
2. Flux pipe and fitting and solder connection.

valve box extensions as required.

flush with finish grade.

Thoroughly clean pipe and fittings of dirt, dust and

 Provide valves in a level position in accordance wit 3. Provide 10" round plastic valve box for spray and rotary zone valves, centered over valve, flush with finish grade, one valve per enclosure. Use 11" x 17" rectangular plastic box for drip valve zone kits. Provide



I.T.S