

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 01/23/2023

Location Address: 2306 Fillmore St Hollywood FL 33020

Lot(s): 16 Block(s): 9 Subdivision: Hollywood Little ranches 1-26 B

Folio Number(s): 5142 16 01 3930

Zoning Classification: DH-2 Land Use Classification: Medium intensity Multi-Family

Existing Property Use: Multi-Family Sq Ft/Number of Units: 20,69/5 units

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO meeting 09/7/2022

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Construction of a new multi-family project on address.

Number of units/rooms: 40 Units/ 43 bedrooms Sq Ft: 35,105 total SF

Value of Improvement: 7,500,000 Estimated Date of Completion: April 2024

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: 2306 FILLMORE ST LLC

Address of Property Owner: 2306 FILLMORE ST HOLLYWOOD FL 33020

Telephone: 213-254-8604 Fax: _____ Email Address: dekel@h-18.com

Name of Consultant/Representative/Tenant (circle one): Agustina Maria Sklar

Address: 1421 NE 17th Street Fort Lauderdale FL Telephone: 954-608-9577

Fax: _____ Email Address: agustina.sklar@gmail.com

Date of Purchase: 2021 Is there an option to purchase the Property? Yes () No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Dekel Emuna , 98 Date: 01/23/2023

PRINT NAME: Dekel Emuna , Lior Emuna Date: 01/23/2023

Signature of Consultant/Representative: [Signature] Date: 01/23/2023

PRINT NAME: AGUSTINA SKLAR Date: _____

Signature of Tenant: N/A Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Dekel Emuna Lior Emuna to my property, which is hereby made by me or I am hereby authorizing Agustina Sklar to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 23rd day of January 2023

Notary Public
State of Florida

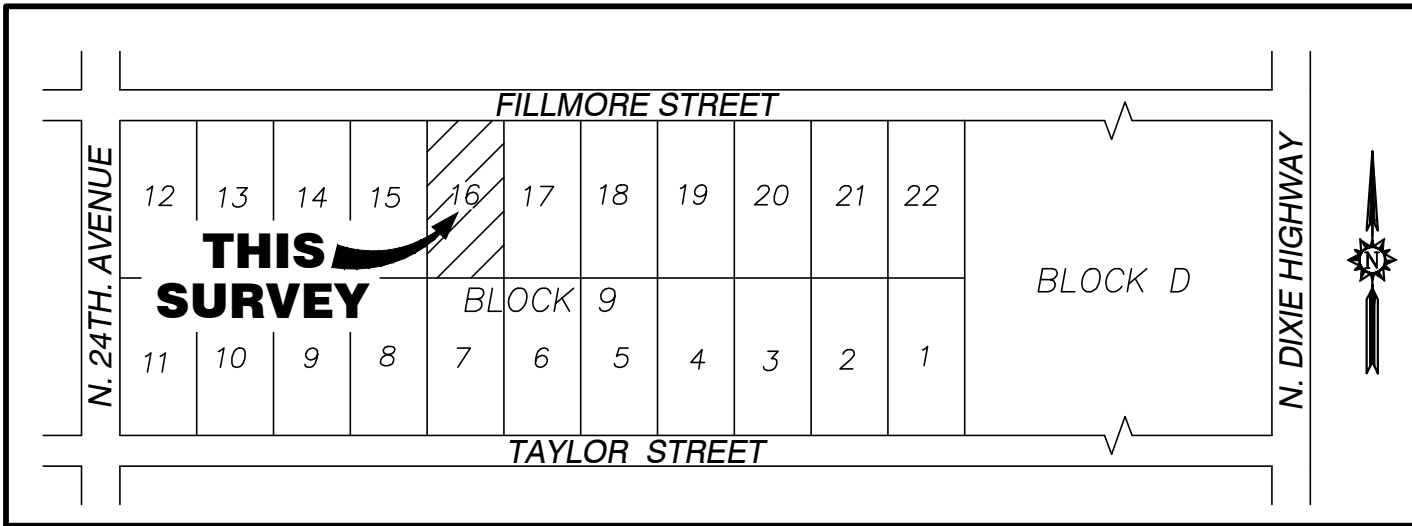
My Commission Expires: 2/20/24 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Dekel Emuna , 98
Signature of Current Owner

PRINT NAME

DEKEL EMUNA / LIOR EMUNA



LOCATION MAP
NOT TO SCALE

SNYDER INTERNATIONAL LAW GROUP
REAL ESTATE | CORPORATE | LITIGATION | IMMIGRATION LAW

**CITY OF HOLLYWOOD
OWNERSHIP & ENCUMBRANCES REPORT**

TO: CITY OF HOLLYWOOD, a municipal corporation

This will serve to certify that First American Title Insurance Company has caused to be made a search of the Public Records of Broward County, Florida, ("Public Records") as contained in the office of the Clerk of the Circuit Court of said County, from July 3, 1922 through April 6, 2021, as to the following described real property lying and being in the aforesaid County, to-wit:

Lot 16, Block 9, HOLLYWOOD LITTLE RANCHES, a subdivision, according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida.

1. **PLAT RECORDED ON JULY 3, 1922 AND IS ATTACHED HERETO AS EXHIBIT "A"**

2. **SQUARE FOOTAGE:**

The property has a total square footage of approximately 20,069 square feet, pursuant to ALTA Survey prepared by Stoner & Associates, Inc., under Project Number 20-9117.

3. **ENCUMBRANCES AFFECTING THE PROPERTY BOUNDARY NECESSARY FOR LEGAL ACCESS TO THE PROPERTY:**

None

4. **ENCUMBRANCES LYING WITHIN ON THE PROPERTY BOUNDARIES:**

None

5. **GRANTEES IN LAST DEED OF RECORD:**

DESARROLLADORES 1111, LLC, a Florida limited liability company, by virtue of that Warranty Deed recorded under Instrument Number 11697631.

6. **RECORDED MORTGAGES:**

None

7. **RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS:**

Final Order & Continuing Claim of Lien O.R. Book 22793, page 694

8. **GENERAL EXCEPTIONS:**

a. Taxes and assessments for the year 2021 and subsequent years, which are not yet due and payable.

b. Any adverse ownership claim by right of sovereignty to any portion of the lands insured hereunder, including tidelands, submerged, filled and artificially exposed lands and lands accreted to such lands or dispute as to the boundaries purportedly caused by a change in the location of any water body within or adjacent to the land.

21500 BISCAYNE BOULEVARD | SUITE 401 | AVENTURA, FL 33180
OFFICE: 786.899.2880 | FAX: 786.899.2890 | WWW.SNYDERINTL.COM

9. **SPECIAL EXCEPTIONS:**

a. Easements, dedications, restrictions, covenants and conditions as set forth in the Plat of HOLLYWOOD LITTLE RANCHES, A SUBDIVISION, recorded in Plat Book 1, page 26.

I, the undersigned, further certify that I am an attorney-at-law duly admitted to practice in the State of Florida and a member in good standing of the Florida Bar.

Respectfully submitted this 16th day of April, 2021.

Jennifer Snyder, Esquire
Print Name: Jennifer Snyder
Signature: [Signature]

Snyder International Law Group, P.A.
Firm Name: Snyder International Law Group, P.A.
Address: 21500 Biscayne Blvd., Suite 401
Aventura, FL 33180

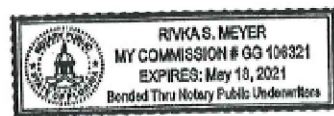
Florida Bar Number: 82712

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was sworn and subscribed before me by means of physical presence, this 16th day of April, 2021, by Jennifer Snyder, who is personally known to me.

Notary Public
Rivka Meyer
Print Name: Rivka Meyer

My Commission Expires:



21500 BISCAYNE BOULEVARD | SUITE 401 | AVENTURA, FL 33180
OFFICE: 786.899.2880 | FAX: 786.899.2890 | WWW.SNYDERINTL.COM

EASEMENTS OF RECORD:

THERE ARE NO EASEMENTS OF RECORD REFERENCED IN SCHEDULE B-II (EXCEPTIONS) OF THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT, COMPANY FILE No. 20177636KS2, COMMITMENT EFFECTIVE DATE: DECEMBER 9, 2020 AT 8:00 A.M.

FILLMORE STREET RIGHT-OF-WAY NOTE:

FOUND PROPERTY CORNER MONUMENTS ARE LOCATED 10 FEET SOUTH OF THE NORTH LINE OF, BLOCK 9, INDICATING A POSSIBLE 10 FOOT RIGHT-OF-WAY DEDICATION ALONG THE SOUTH SIDE OF FILLMORE STREET.

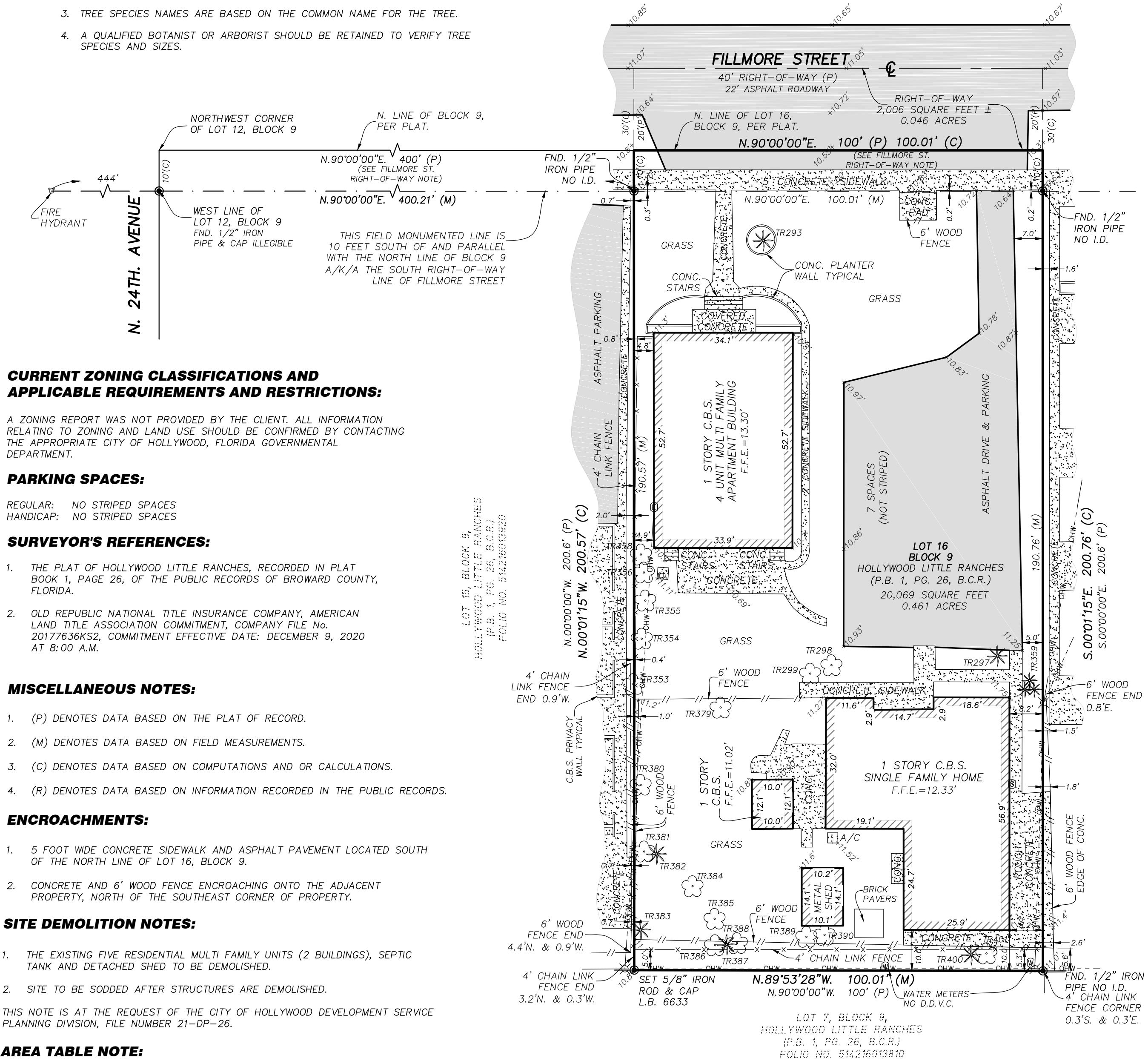
THE SURVEYOR WAS NOT ABLE TO DOCUMENT OR FIND ANY RECORDED INSTRUMENTS SHOWING A RIGHT-OF-WAY DEDICATION AND PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT, COMPANY FILE No. 20177636KS2, COMMITMENT EFFECTIVE DATE: DECEMBER 9, 2020 AT 8:00 A.M. DOES NOT LIST ANY DOCUMENTS SHOWING A RIGHT-OF-WAY DEDICATION.

SKETCH OF ALTA/NSPS LAND TITLE SURVEY

TREE TABLE			
TREE ID#	BOTANIC NAME	TRUNK DIAMETER	COMMENT
293	CHRISTMAS PALM	6"	
297	COCONUT PALM	10"	
298	NORFOLK PINE	22"	
299	UNKNOWN TREE	12"	
353	UNKNOWN TREE	8"	
354	UNKNOWN TREE	8"	
355	FICUS TREE	12"	
356	FICUS TREE	12"	
358	UNKNOWN TREE	8"	
359	ARECA PALM CLUSTER	18"	
379	UNKNOWN TREE	24"	
380	FICUS TREE	12"	
381	UNKNOWN TREE	36"	
382	CABBAGE PALM	6"	
383	SOLITARY PALM	7"	
384	UNKNOWN TREE	7"	
385	UNKNOWN TREE	18"	DEAD
386	UNKNOWN TREE	8"	
387	UNKNOWN PALM	6"	
388	GUMBO LIMBO TREE	3"	
389	UNKNOWN TREE	7"	
390	FICUS TREE	36"	
400	CABBAGE PALM	6"	
401	GUMBO LIMBO TREE	4"	

TREE NOTES:

- ONLY TREES 3 CALIPER INCHES AND LARGER WHEN MEASURED AT BREAST HEIGHT ARE SHOWN HEREON.
- HEDGES, GROUND COVER AND TREES LESS THAN 3 CALIPER INCHES ARE NOT SHOWN HEREON.
- TREE SPECIES NAMES ARE BASED ON THE COMMON NAME FOR THE TREE.
- A QUALIFIED BOTANIST OR ARBORIST SHOULD BE RETAINED TO VERIFY TREE SPECIES AND SIZES.



CURRENT ZONING CLASSIFICATIONS AND APPLICABLE REQUIREMENTS AND RESTRICTIONS:

A ZONING REPORT WAS NOT PROVIDED BY THE CLIENT. ALL INFORMATION RELATING TO ZONING AND LAND USE SHOULD BE CONFIRMED BY CONTACTING THE APPROPRIATE CITY OF HOLLYWOOD, FLORIDA GOVERNMENTAL DEPARTMENT.

PARKING SPACES:

REGULAR: NO STRIPED SPACES
HANDICAP: NO STRIPED SPACES

SURVEYOR'S REFERENCES:

- THE PLAT OF HOLLYWOOD LITTLE RANCHES, RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT, COMPANY FILE No. 20177636KS2, COMMITMENT EFFECTIVE DATE: DECEMBER 9, 2020 AT 8:00 A.M.

MISCELLANEOUS NOTES:

- (P) DENOTES DATA BASED ON THE PLAT OF RECORD.
- (M) DENOTES DATA BASED ON FIELD MEASUREMENTS.
- (C) DENOTES DATA BASED ON COMPUTATIONS AND OR CALCULATIONS.
- (R) DENOTES DATA BASED ON INFORMATION RECORDED IN THE PUBLIC RECORDS.

ENCROACHMENTS:

- 5 FOOT WIDE CONCRETE SIDEWALK AND ASPHALT PAVEMENT LOCATED SOUTH OF THE NORTH LINE OF LOT 16, BLOCK 9.
- CONCRETE AND 6' WOOD FENCE ENCROACHING ONTO THE ADJACENT PROPERTY, NORTH OF THE SOUTHEAST CORNER OF PROPERTY.

SITE DEMOLITION NOTES:

- THE EXISTING FIVE RESIDENTIAL MULTI-FAMILY UNITS (2 BUILDINGS), SEPTIC TANK AND DETACHED SHED TO BE DEMOLISHED.
- SITE TO BE SODDED AFTER STRUCTURES ARE DEMOLISHED.

THIS NOTE IS AT THE REQUEST OF THE CITY OF HOLLYWOOD DEVELOPMENT SERVICE PLANNING DIVISION, FILE NUMBER 21-DP-26.

AREA TABLE NOTE:

- RIGHT-OF-WAY AREA IS DEFINED AS THE AREA BOUNDED ON THE SOUTH BY THE S. RIGHT-OF-WAY LINE OF FILLMORE STREET, ON THE NORTH BY THE CENTERLINE OF FILLMORE STREET AND ON THE EAST AND WEST BY THE LOT SIDE LINES EXTENDED TO THE CENTERLINE OF FILLMORE STREET.
- AREA FIGURES ON FIELD MEASUREMENTS ROUNDED TO THE NEAREST SQUARE FOOT AND NEAREST ONE-HUNDREDTH OF AN ACRE.

AREA TABLE		
IDENTIFICATION	SQ. FT.	ACRES
PARCEL AREA	20,069	0.461
R/W AREA	2,006	0.046
GROSS AREA	22,075	0.507

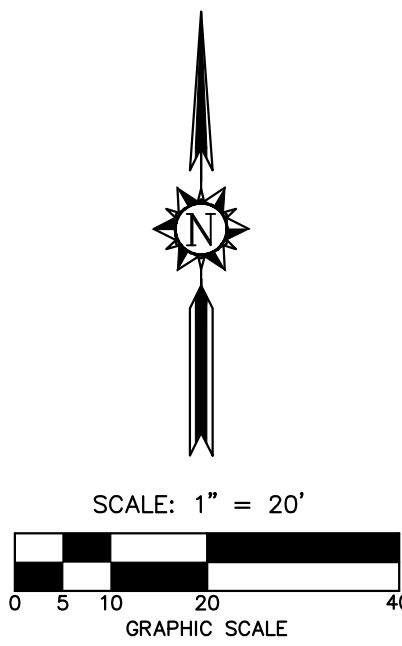
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE No. 20177636 EFFECTIVE DATE 12/9/2020 @ 8:00AM					
SCHEDULE B SECTION II EXCEPTIONS					
No.	Instrument Type	Description	Recording Data	Affects	Plotted
1	Standard Exceptions	Defects, liens, encumbrances, adverse claims or other matters	Not Available	Not Addressed	Not a Matter of Survey
2	Standard Exceptions	Facts which would be disclosed by an accurate and comprehensive survey of the premises herein described.		Not Addressed	See the attached Survey
3	Standard Exceptions	Rights or claims of parties in possession.	Not Available	Not Addressed	Not a Matter of Survey
4	Standard Exceptions	Construction, Mechanic's, Contractors' or Materialmen's lien claims	Not Available	Not Addressed	Not a Matter of Survey
5	Standard Exceptions	Easements or claims of easements not shown by the public records	Not Available	Not Addressed	Not a Matter of Survey
6	Standard Exceptions	General or special taxes and assessments required to be paid in the year 2021 and subsequent years.	Not Available	Not Addressed	Not a Matter of Survey
7	Plat	Plat of Hollywood Little Ranches	PB 1, Pg 26	Yes	See Plat of Record
8	Standard Exceptions	Any lien provided by County Ordinance or by Ch. 159, F.S.	Not Available	Not Addressed	Not a Matter of Survey
9	Standard Exceptions	Rights of tenants and/or parties in possession	Not Available	Not Addressed	Not a Matter of Survey

ABBREVIATIONS

A/C. AIR CONDITIONER
B.C.R. BROWARD COUNTY RECORDS
BLDG. BUILDING
(C) CALCULATED
C.B.S. CONCRETE BLOCK STRUCTURE
C.L. CENTER LINE
CONC. CONCRETE
D.D.C.V. DOUBLE DETECTOR CHECK VALV
EL. ELEVATION
F.F.E. FINISHED FLOOR ELEVATION
FND. FOUND
I.D. IDENTIFICATION
LB. LICENSED BUSINESS
(M) MEASURED
O.R.B. OFFICIAL RECORDS BOOK
(P) PLAT
P.B. PLAT BOOK
PG. PAGE
PT. POINT

LEGEND

BACK FLOW PREVENTER
CLEANOUT
CONCRETE POWER POLE
WOOD POWER POLE
GAS VALVE
SEWER VALVE
SEWER MANHOLE
WATER VALVE
ELECTRIC WIRE PULL BOX
WATER METER
ELECTRIC METER
SURFACE ELEVATION
PALM TREE
PALM CLUSTER
CHAIN LINK FENCE
WOOD FENCE
OVERHEAD WIRES
BREAK IN LINE SCALE



LEGAL DESCRIPTION:

LOT 16, IN BLOCK 9, HOLLYWOOD LITTLE RANCHES, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEY NOTES:

- THIS SKETCH OF BOUNDARY SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR SURVEYING ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY WAS ALSO PREPARED IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE LEGAL DESCRIPTION FOR THE PROPERTY SHOWN IS HEREON BASED ON THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT, COMPANY FILE No. 20177636KS2, COMMITMENT EFFECTIVE DATE: DECEMBER 9, 2020 AT 8:00 A.M.
- A SEARCH OF THE PUBLIC RECORDS FOR OWNERSHIP, EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS OF RECORD WAS NOT PERFORMED BY STONER & ASSOCIATES, INC. THERE MAY BE ADDITIONAL INFORMATION RECORDED IN THE PUBLIC RECORDS THAT IS NOT SHOWN HEREON.
- THE BEARINGS SHOWN HEREON ARE BASED ON N.90°00'00"E, ALONG THE NORTH LINE OF LOT 16, BLOCK 9, HOLLYWOOD LITTLE RANCHES, RECORDED IN PLAT BOOK 1, AT PAGES 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88), ESTABLISHED FROM BROWARD COUNTY ENGINEERING BENCHMARK No. 1896, ELEVATION = 9.331'.
- THE PROPERTY SHOWN HEREON HAS THE FOLLOWING FLOOD ZONE DESIGNATION:
 - NIP COMMUNITY NAME & COMMUNITY NUMBER: 125113 CITY OF HOLLYWOOD
 - COUNTY NAME: BROWARD COUNTY
 - STATE OF FLORIDA
 - MAP/PANEL NUMBER: 12011C0569
 - SUFFIX: H
 - FIRM INDEX DATE: 8/18/2014
 - FIRM PANEL EFFECTIVE/REVISED DATE: 8/18/2014
 - FLOOD ZONE: X
 - BASE FLOOD ELEVATION: N/A
- THE FLOOD ZONE INFORMATION SHOWN HEREON IS BASED UPON THE CURRENT PUBLISHED FLOOD INSURANCE RATE MAP (FIRM) ON THE DATE THIS SURVEY WAS PREPARED. THE DATA CONTAINED IN THE FIRM MAP IS SUBJECT TO CHANGE WITHOUT NOTICE. THE FLOOD ZONE BOUNDARIES (WHEN SHOWN) ARE APPROXIMATE, BASED ON DIGITAL FIRM PANEL MAP IMAGE. FOR THE LATEST FLOOD ZONE INFORMATION CONSULT THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) OR YOUR LOCAL GOVERNMENTAL BUILDING DEPARTMENT.
- CERTAIN FEATURES ARE REPRESENTED BY THE SYMBOLS REFLECTED IN THIS MAP. THE LEGEND OF FEATURES MAY HAVE BEEN ENLARGED FOR CLARITY AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE. THE SYMBOLS HAVE BEEN PLOTTED AT THE APPROXIMATE CENTER OF THE FEATURE BASED UPON THE FIELD LOCATION.
- THIS SKETCH IS INTENDED TO BE DISPLAYED AT A HORIZONTAL SCALE OF 1 INCH = 20 FEET.
- THE HORIZONTAL ACCURACY FOR WELL DEFINED IMPROVEMENTS DEPICTED ON THIS SKETCH IS ONE-TENTH (0.1' ±) OF A FOOT, PLUS OR MINUS.
- TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPE FEATURES ARE NOT SHOWN HEREON, UNLESS OTHERWISE NOTED.
- IRRIGATION FEATURES, SUCH AS SPRINKLERS, ARE NOT SHOWN HEREON.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF FENCES AND WALLS.
- SUBSURFACE FEATURES ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION, OR EXCAVATION CONTACT 811 AND/OR THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- THE EXTERIOR BUILDING DIMENSIONS SHOWN HEREON REPRESENT THE OVERALL SIZE OF THE BUILDING (FOOTPRINT). SUBSURFACE BUILDING FOOTINGS AND SUPPORTS WERE NOT LOCATED. CERTAIN ARCHITECTURAL FEATURES MAY NOT BE SHOWN ON THE SURVEY. ROOF OVERHANGS ARE NOT SHOWN UNLESS OTHERWISE NOTED. BUILDING DIMENSIONS AND BUILDING SETBACKS ARE SHOWN ROUNDED TO THE NEAREST ONE-TENTH (0.1') OF A FOOT. BEFORE DESIGN OF IMPROVEMENTS CRITICAL DIMENSIONS SHOWN BE CONFIRMED.
- THE DIMENSIONS SHOWN HEREON ARE BASED UPON U.S. SURVEY FEET AND FRACTIONAL PARTS THEREOF.
- AREA COMPUTATIONS, WHEN SHOWN IN ACRES, ARE ROUNDED TO THE NEAREST ONE-HUNDREDTH OF AN ACRE, AND WHEN SHOWN IN SQUARE FEET ARE ROUNDED TO THE NEAREST SQUARE FOOT. THE AREA FIGURES SHOWN HEREON SHOULD NOT BE UTILIZED AS THE BASIS OF PURCHASE PRICE FOR A REAL ESTATE CLOSING, WITHOUT PRIOR VERIFICATION OF THE AREA FIGURES, IN WRITING FROM THE SIGNING SURVEYOR.
- THE SURVEYOR DID NOT INSPECT THIS PROPERTY FOR ENVIRONMENTAL HAZARDS.
- THE INFORMATION DEPICTED ON THIS SKETCH OF SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED ON THE BORDER OF THE DRAWING AND CAN ONLY BE CONSIDERED VALID FOR THIS DATE AND INDICATES THE GENERAL CONDITIONS EXISTING AT THE TIME OF THE FIELD SURVEY.
- THIS SKETCH OF SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THOSE PERSONS OR ENTITIES CERTIFIED TO HEREON. ADDITIONS OR DELETIONS TO THIS SURVEY AND/OR REPORTS BY PEOPLE OR PERSONS OTHER THAN THE SIGNING PARTIES ARE PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY STONER & ASSOCIATES, INC. (S&A). S&A HAS TAKEN PRECAUTIONS TO ENSURE THE ACCURACY OF THIS DOCUMENT AND THE DATA REFLECTED HEREIN. S&A CANNOT NOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE TO THE DATA CONTAINED IN THIS DOCUMENT BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. S&A MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT S&A FOR VERIFICATION OF ACCURACY.
- PROPERTY OWNER, ADDRESS AND PARCEL IDENTIFICATION NUMBERS SHOWN HEREON ARE PER BROWARD COUNTY PROPERTY APPRAISER'S OFFICE AT THE TIME OF THE SURVEY.

CERTIFIED TO:

DESARROLLADORES 1111, LLC.; SNYDER INTERNATIONAL LAW GROUP, PA.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 8, 9, 11 (OBSERVED EVIDENCE ONLY), 13, 16, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 10, 2020.

DATE OF PLAT OR MAP: 12/22/2020
DATE OF SIGNATURE: 12/23/2020

JAMES D. STONER
PROFESSIONAL SURVEYOR AND MAPPER No. 4039
STATE OF FLORIDA
STONER AND ASSOCIATES, INC. L.B. 6633
jstoner@stonersurveyors.com

NO.	REVISION	DATE	BY:
1	ADD OWNERSHIP AND ENCUMBRANCE REPORT	4/28/21	DWS
2	ADD AMOUNT OF UNITS AND TYPE PER BLDG.	5/24/21	DWS
3	ADD FIRE HYD. & UNIT COUNT NOTE	08/05/21	JDS
4	REVISE SITE DEMOLITION NOTE	11/17/21	JDS

THE MATERIAL SHOWN HEREON IS THE PROPERTY OF STONER & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT PERMISSION OF STONER & ASSOCIATES, INC. COPYRIGHT © 2020

TEL (954) 585-0897
www.stonersurveyors.com

STONER & ASSOCIATES, Inc.
SURVEYORS - MAPPERS
Florida Licensed Surveying
and Mapping Business No. 6633
4341 S.W. 62nd AVENUE, TOWN OF DAVE, FLORIDA 33314

SKETCH OF ALTA/NSPS LAND TITLE SURVEY
LOT 16, BLOCK 9, HOLLYWOOD LITTLE RANCHES,
PLAT BOOK 1, PAGE 26, B.C.R.
2306 FILLMORE STREET, HOLLYWOOD, FL 33020

LAST DATE OF FIELD SURVEY	12/02/20
DRAWN: DWS	
CHECKED: JDS	
BOOK/PAGES: 1109/47-48	
& DATA COLLECTOR	

SEAL
NOT VALID UNLESS SEALED HERE WITH AN EMBOSSED SURVEYOR'S SEAL

PROJECT
20-9117

SHEET NO.
1 OF 1

PROPOSED 40-UNITS MULTI FAMILY DEVELOPMENT FOR:
H-18 DEVELOPMENT, LLC AT
2306 FILLMORE STREET, HOLLYWOOD FL 33020

DRAWING INDEX

ARCHITECTURE	
A-001	COVER SHEET & LOCATION
A-001	DESIGN INTENT
A-001	CONTRACT
A-003	OVERALL SITE PLAN
A-010	GROUND FLOOR PLAN
A-010	SECOND FLOOR PLAN
A-010	THIRD FLOOR PLAN
A-010	FOURTH FLOOR PLAN
A-010	ROOF PLAN
A-020	BUILDING ELEVATIONS
A-020	DETAILS
A-501	SCHEDULES AND DETAILS
CIVIL ENGINEERING	
C-001	CIVIL PLAN
C-001	PAVING, GRADING, AND DRAINAGE PLAN
C-001	SEWER, WATER, AND SLOTTION PREVENTION PLAN AND DETAILS
C-001	DETAILS
LANDSCAPE ARCHITECTURE	
L-001	DESIGN INTENT
L-001	FIRST FLOOR LANDSCAPE PLAN AND NOTES
L-001	SECOND FLOOR LANDSCAPE PLAN AND NOTES
L-001	LANDSCAPE DETAILS AND SPECIFICATIONS
L-001	IRRIGATION PLAN
L-001	IRRIGATION DETAILS AND SPECIFICATIONS

ABBREVIATIONS

[illegible]

LOCATION MAP



CITY MEETING SCHEDULE

PRE-TAC

02/06/ 2023

3D PERSPECTIVE OF PROPOSED PROJECT



OWNER

ARCHITECT

LANDSCAPE
ARCHITECT

CIVIL ENGINEER



Agustina M. Sklar

AGUSTINA MARIA SKLAR
FL. ARCHITECT REG. NO.
AR101065

AMS
ARCHITECTURE AND DESIGN
1111 N. 17TH STREET, FORT
LAUDERDALE, FLORIDA 33305
WWW.AMSARCHITECTURE.CO
AA 10106

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: N.T.S
DATE: 2/01/2021

DRAWING TITLE:
COVER SHEET

SHEET NO. **A-000**



OWNER
ARCHITECT
LANDSCAPE ARCHITECT
CIVIL ENGINEER

Agustina M. S. S. S.
ARCHITECTURE AND DESIGN
421 NE 17TH STREET, FORT
LAUDERDALE, FLORIDA 33306
WWW.AMSARCHITECTURE.COM
AA-101006

ARCHITECTURE AND DESIGN
421 NE 17TH STREET, FORT
LAUDERDALE, FLORIDA 33306
WWW.AMSARCHITECTURE.COM
AA-101006

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 HOLLYWOOD STREET
HOLLYWOOD FL

REVISIONS

SCALE: 1/4" = 1'-0"
DATE: 02/01/2021
DRAWING TITLE:
RENDERINGS

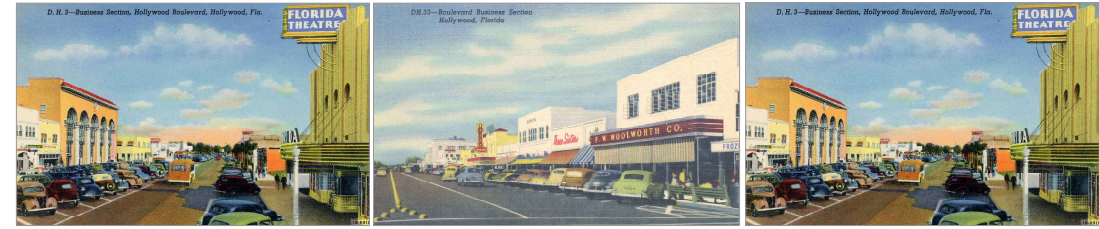
SHEET A-000.1



01 FILLMORE STREET FACADE
SCALE: 1/8"=1'-0"

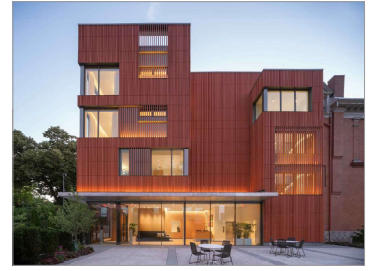
DESIGN INSPIRATION

OLD HOLLYWOOD & ART DECO STYLE OF THE TIME



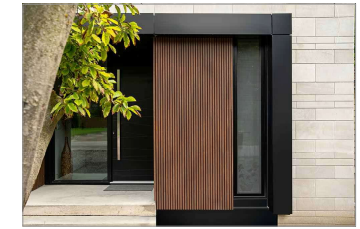
FRONT DOOR AESTHETIC

STORE FRONT VS CLASSING TEXTURE



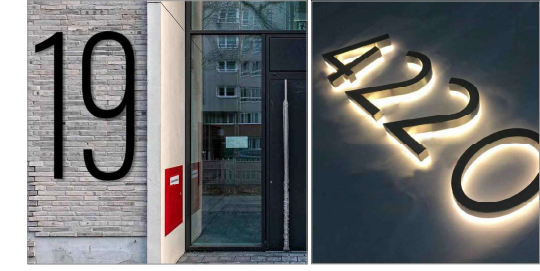
EXTERIOR WOOD PANELING

WARM TONES AND NATURAL FINISHES



ART DECO-INSPIRED SIGNAGE

EASILY RECOGNIZABLE FRONT DOOR & WAYFINDING



OWNER

ARCHITECT

LANDSCAPE ARCHITECT

CIVIL ENGINEER

AGUSTINA MARIA SALAR
FL ARCHITECT REG. NO. 40101085

AMS
ARCHITECTURE AND DESIGN
401 NE 17TH STREET, FORT LAUDERDALE, FLORIDA 33306
WWW.AMSARCHITECTURE.COM
40101085

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: N.T.S.
DATE: 2021.02.21
DRAWING TITLE:
DESIGN INTENT

SHEET NO. A-001



02 FILLMORE STREET PROFILE
SCALE: 1/8"=1'-0"



01 FILLMORE STREET CONTEXT
SCALE: 1/8"=1'-0"

OWNER

ARCHITECT

LANDSCAPE
ARCHITECT

CIVIL ENGINEER



Agustina M. Sclafaro

AGUSTINA MARIA SCLAFARO
FL ARCHITECT NO. 40101005



ARCHITECTURE AND DESIGN
401 NE 17TH STREET, FORT
LAUDERDALE, FLORIDA 33306
WWW.AMSARCHITECTURE.COM
AA-101005

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: N.T.S.
DATE: 2/01/2021

DRAWING TITLE:
STREET PROFILE
AND CONTEXT
VIEW

SHEET NO. A-002

PROJECT DATA

PROJECT NAME AND ADDRESS

2306 FILLMORE STREET HOLLYWOOD FL 33020

ZONING

ZONING: DH-2 Dixie Highway Medium Intensity Multi-Family District
LOT SIZE: 20,069 SF (461 ACRES)
MAX FAR: 1.75 X 20,069 SF = 35,120 SF
MAX HEIGHT: 4 STORIES NOT TO EXCEED 45'

OPEN SPACE: 20% OF TOTAL SITE AREA
SETBACKS: ALLOWABLE PROPOSED
FRONT: 15' 15'
REAR: 20' 20'
SIDES (INT): 10' 10'
PARKING SETBACKS: ALLOWABLE PROPOSED
FRONT: 10' 10'
INTERIOR: 5' 5'
ALLEY: 5' NA'

LEGAL DESCRIPTION

LOT 16, IN BLOCK 9, HOLLYWOOD LITTLE RANCHES, A SUBDIVISION
ACCORDING TO PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY,
FLORIDA.

HEIGHT CALCULATIONS

MAX HEIGHT ALLOWED: 4 STORIES NOT TO EXCEED 45'
HEIGHT PROVIDED: 45' TOP OF STRUCTURAL ROOF SLAB

SCOPE OF WORK

NEW CONSTRUCTION OF 4 STORY MULTIFAMILY RESIDENTIAL BUILDING WITH
ASSOCIATED OFF-STREET PARKING
ASSOCIATED MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND FIRE
SAFETY FEATURES
BUILDING AMENITIES: RECREATIONAL POOL, & ROOF RESERVABLE BBQ AREA,
LOUNGE SPACE
1.1. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES: MAXIMUM OF 0.5
1.2. ADJACENT TO RESIDENTIAL
1.3. SCENARIOS PROPOSED SHALL COMPLY WITH ZONING AND LAND DEVELOPMENT
REGULATIONS
1.4. BUILDING WOULD BE IN COMPLIANCE WITH NPFA 1, 11.10" Two-Way Radio
Communication System
1.5. THE FIRE SPRINKLER SYSTEM TO BE DESIGNED AS EXTRA HAZARD, GROUP II

FLOOR AREA RATIO

FAR: 1.75
LOT SIZE: 20,069 S.F. (461 ACRES)
MAX BUILDABLE AREA: 35,120 S.F.
GROUND FLOOR: 1,610 S.F.
(NOT DUMPSITE & ELECTRICAL ROOM)
FIRST FLOOR: 11,006 S.F.
SECOND FLOOR: 11,006 S.F.
THIRD FLOOR: 11,106 S.F.
ROOF FLOOR: 987 S.F.
FAR PROVIDED: 35,105 S.F.

PARKING CALCULATIONS

PARKING	REQUIRED	PROVIDED
34 ONE BEDROOMS, 34 X 1 = 34 PARKING SPACES REQUIRED	34	34
1 STUDIO: 1X1 = 1 PARKING SPACE REQUIRED	1	1
5 TWO BEDROOMS, 5 X 1.5 = 7.5 PARKING SPACES REQUIRED	8	9
ACCESSIBLE 2% OF TOTAL REQUIRED:	2	2 (INC IN TOTAL)
LIFTS	NA	4
GUESTS 1 GUESTS PER 10 UNITS	4	4
TOTAL REQUIRED ON SITE PARKING:	47	48

UNIT CALCULATION/COUNT

UNIT TYPE	DESCRIPTION	INTERIOR SF.	TOT # UNITS
UNIT TYPE A	ONE BEDROOM 1 BATH	728 SF	30 UNITS
UNIT TYPE B	ONE BEDROOM 1 BATH	620 SF	3 UNITS
UNIT TYPE C	TWO BEDROOM 2 BATH	865 SF	3 UNITS
UNIT TYPE D	TWO BEDROOM 2 BATH	888 SF	2 UNITS
UNIT TYPE E	STUDIO/1 BATH	480 SF	1 UNIT
UNIT TYPE F	ONE BEDROOM 1 BATH	605 SF	1 UNIT
TOTAL:			40 UNITS
AVERAGE UNIT SIZE: 733.9 SF			

FEMA FLOOD ZONE ELEVATION

BASED ON F.E.M.A. FIRM 0557N, FIRM DATE IS 8/18/2014.

FLOOD ZONE: X
FLOOD ELEVATION: 10.11
BASE FLOOD ELEVATION: 10.72
INVERT FLOOR ELEVATION: 13.57
FINISHED FLOOR ELEVATION: 13.72
GRADE LEVEL: 13.72

IF THIS PROPERTY IS LOCATED WITHIN THE FEMA FLOODPLAIN AND REQUIRES TWO (2)
APPROVED ELEVATION CERTIFICATES (EC) BEFORE THE STRUCTURE CAN BE
OCCUPIED, PLEASE BE INFORMED THAT TWO (2) ELEVATION CERTIFICATES ARE
REQUIRED DURING THE DEVELOPMENT PROCESS.
FOUNDATION ELEVATION CERTIFICATE (EC)
FINAL (AS-BUILT) ELEVATION CERTIFICATE (EC)
FINAL INSPECTION IS REQUIRED BEFORE THE STRUCTURE CAN BE OCCUPIED.

DOCUMENTATION FOR THE ENGINEERED REQUIRED FLOOD OPENINGS SHALL BE
REQUIRED WITH THE SUBMISSION OF THE FINISHED ELEVATION CERTIFICATE.
NEW ELECTRICAL OR MECHANICAL EQUIPMENT IS REQUIRED TO BE ELEVATED AT A
MINIMUM ONE (1) FOOT ABOVE THE FEMA BASE FLOOD ELEVATION.

SOIL EROSION & SEDIMENT CONTROL

- EXISTING PROPERTY DOES NOT PRESENT SIGNIFICANT SLOPES OR ADJACENT
WATER BODIES. NEVERTHELESS, THE CONTRACTOR SHALL CONDUCT OPERATIONS AS
TO AVOID ANY WATER RUNOFF OUTSIDE OF PROPERTY.
- PROVIDE SILT FENCE AROUND THE PROPERTY DURING CONSTRUCTION
OPERATIONS.
- CONTRACTOR SHALL STOCK PILE EXISTING TOP SOIL FOR FENCE.
- CONTRACTOR SHALL KEEP LAND CLEARANCE TO A MINIMUM, NO MORE
THAN 10 FEET AWAY FROM BUILDING.

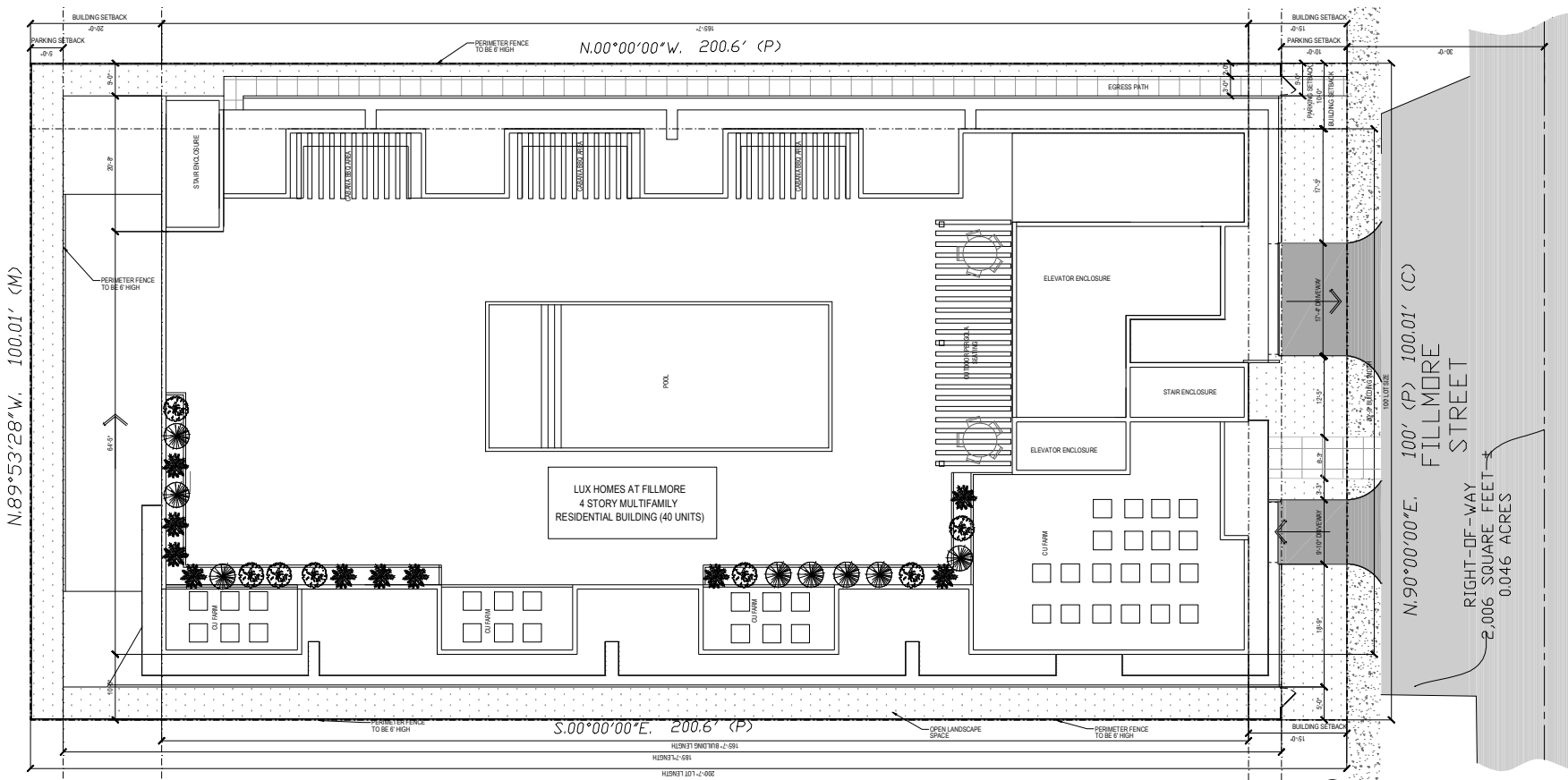
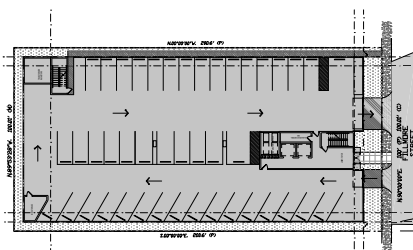
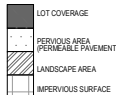
TERMITE PROTECTION NOTES

BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST
SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS
ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER
SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING
DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE
TREATMENT.

OPEN SPACE & LOT COVERAGE CALCULATIONS

LOT SIZE:	20,069 S.F. (461 ACRES)
LOT COVERAGE:	16,810 S.F. (82% OF LOT)
PERVIOUS SURFACE:	880 SF PERMEABLE PAVEMENT
LANDSCAPED AREAS:	2152 SF
IMPERVIOUS AREAS:	130 SF
TOTAL OPEN AREA:	3,459 SF 17.2% SITE AREA

LEGEND



01 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"

OWNER

ARCHITECT

LANDSCAPE ARCHITECT

CIVIL ENGINEER



AGUSTINA MARIA SCLAR
FL ARCHITECT REG. NO.
40101085



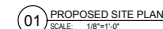
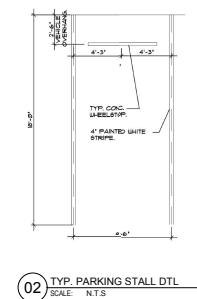
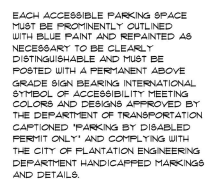
PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

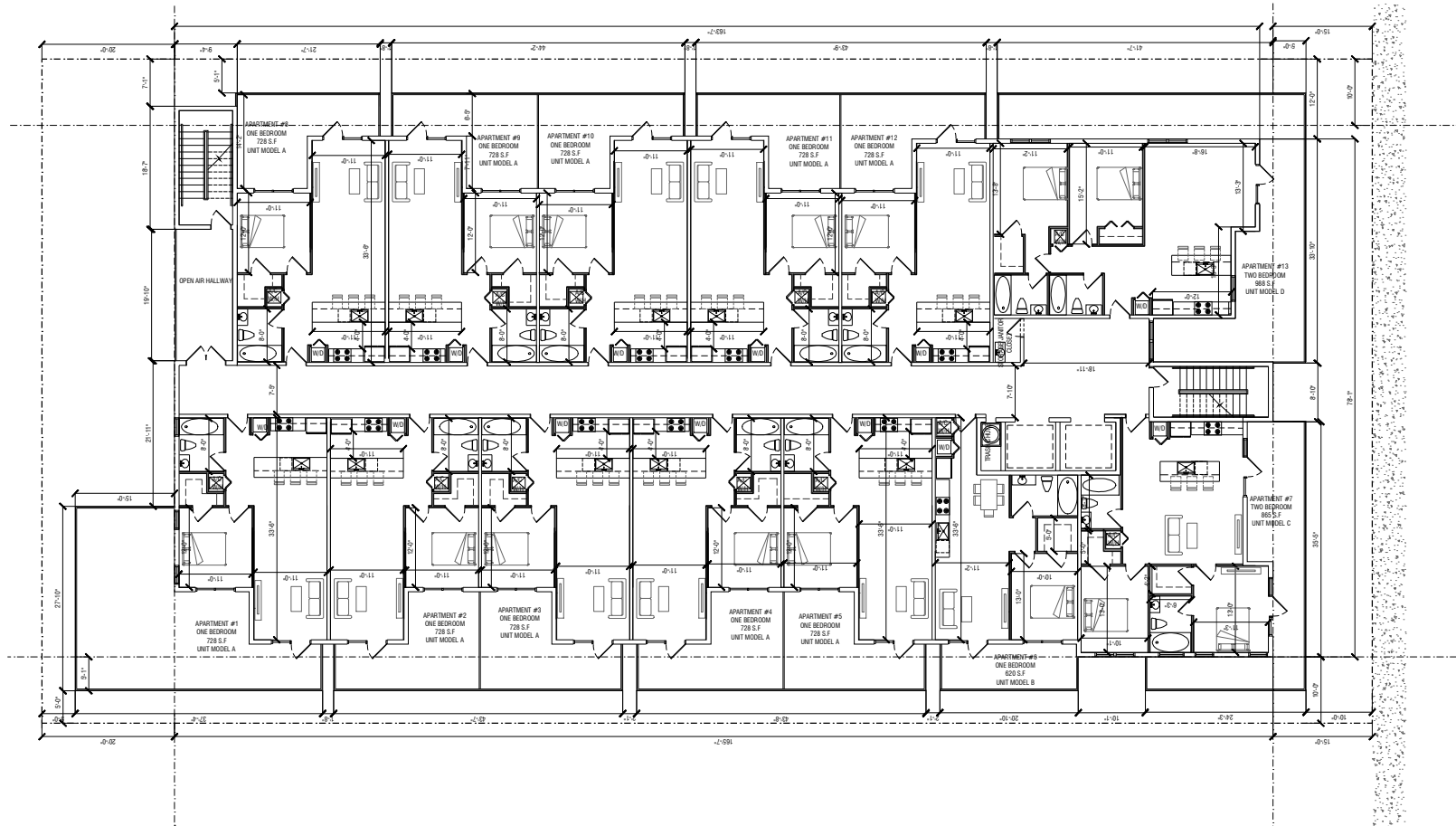
REVISIONS

SCALE: 1/8" = 1'-0"
DATE: 02/01/2021

DRAWING TITLE:
OVERALL SITE PLAN

SHEET NO. A-003





01 SECOND FLOOR
SCALE: 1/8" = 1'-0"

OWNER
ARCHITECT
LANDSCAPE ARCHITECT
CIVIL ENGINEER

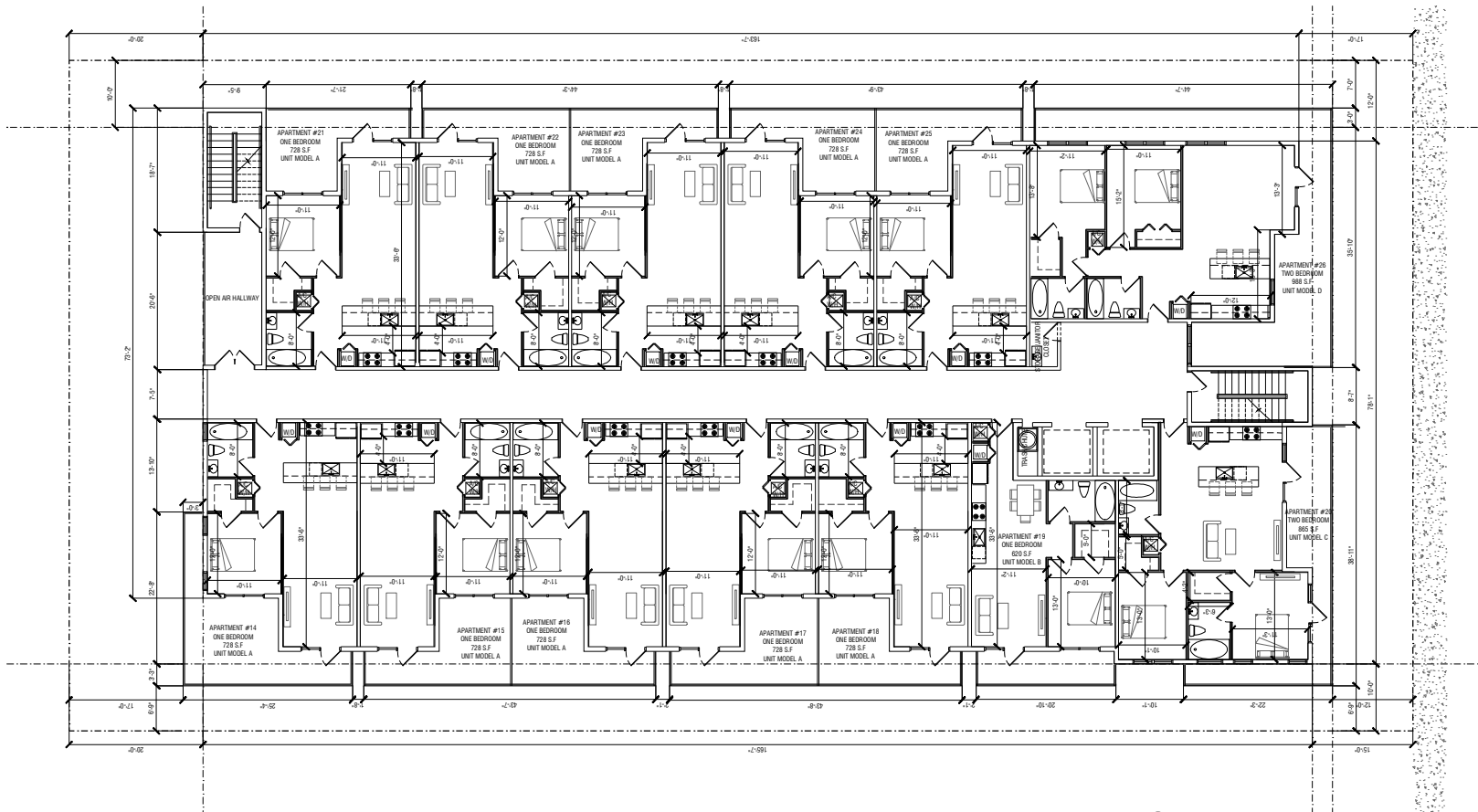


AGUSTINA MARIA SCLARI
FL ARCHITECT REG. NO. 40101066
ARCHITECTURE AND DESIGN
401 NE 17TH STREET, FORT
LAUDERDALE, FLORIDA 33301
WWW.AMSARCHITECTURE.COM
AA 101066

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: 1/8" = 1'-0"
DATE: 02/01/2021
DRAWING TITLE:
SECOND FLOOR PLAN
SHEET NO. A-102



01 THIRD FLOOR
SCALE: 1/8" = 1'-0"

OWNER
ARCHITECT
LANDSCAPE ARCHITECT
CIVIL ENGINEER

AGUSTINA MARIA DOLAR
FL ARCHITECT REG. NO. 40107085
ARTIST/DESIGNER

ARCHITECTURE AND DESIGN
401 NE 17TH STREET, FORT
LAUDERDALE, FLORIDA 33306
WWW.AMSARCHITECTURE.COM
AA-101065

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: 1/8" = 1'-0"
DATE: 02/01/2021
DRAWING TITLE:
THIRD FLOOR PLAN

SHEET NO.
A-103



Agustina M Sklar

AGUSTINA MARIA SKLAR
FL. ARCHITECT REG. NO:
AR101065



ARCHITECTURE AND DESIGN
1421 NE 17TH STREET FORT
LAUDERDALE, FLORIDA 33305
WWW.AMSARCHITECTURE.COM
AA 101065

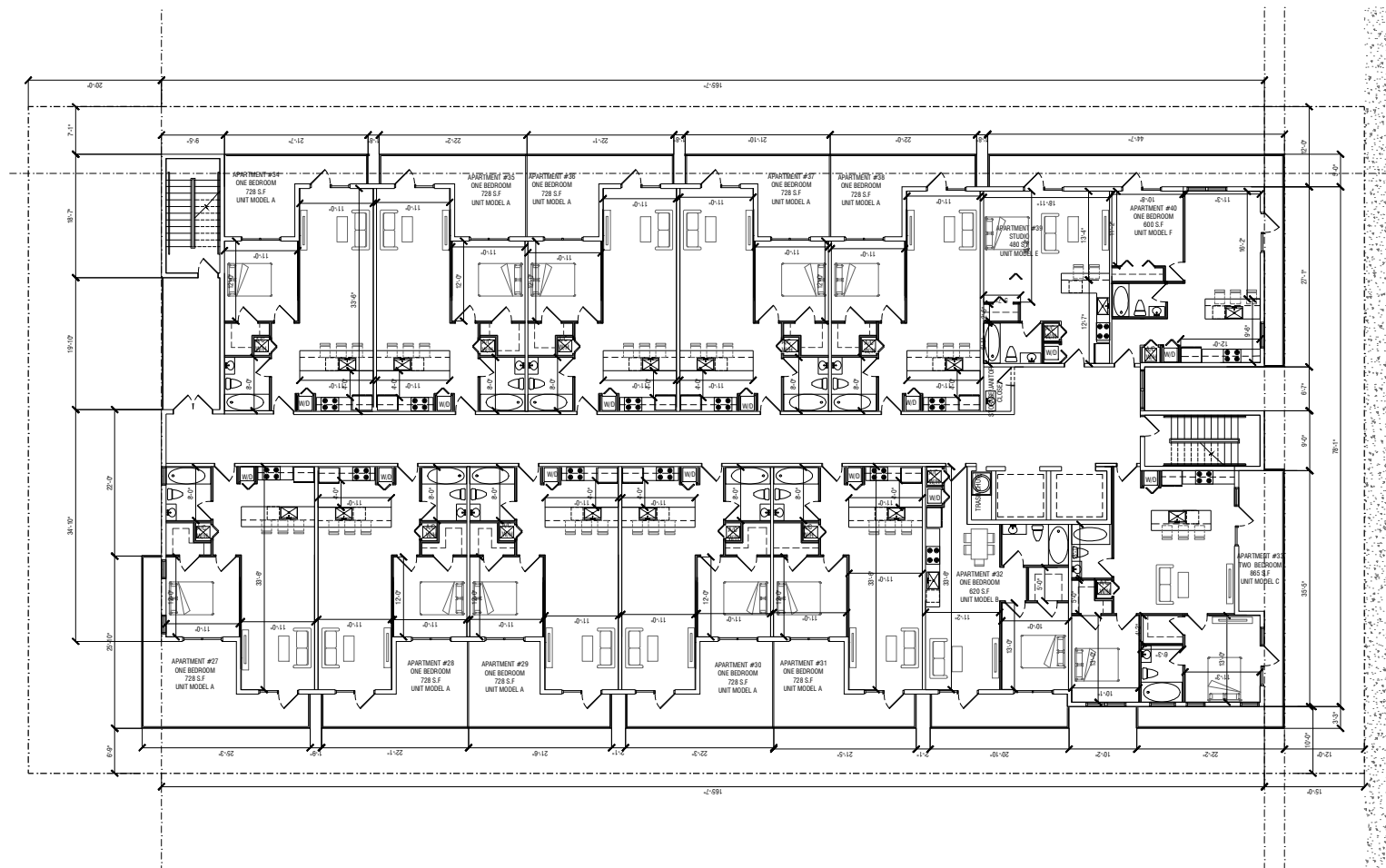
PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

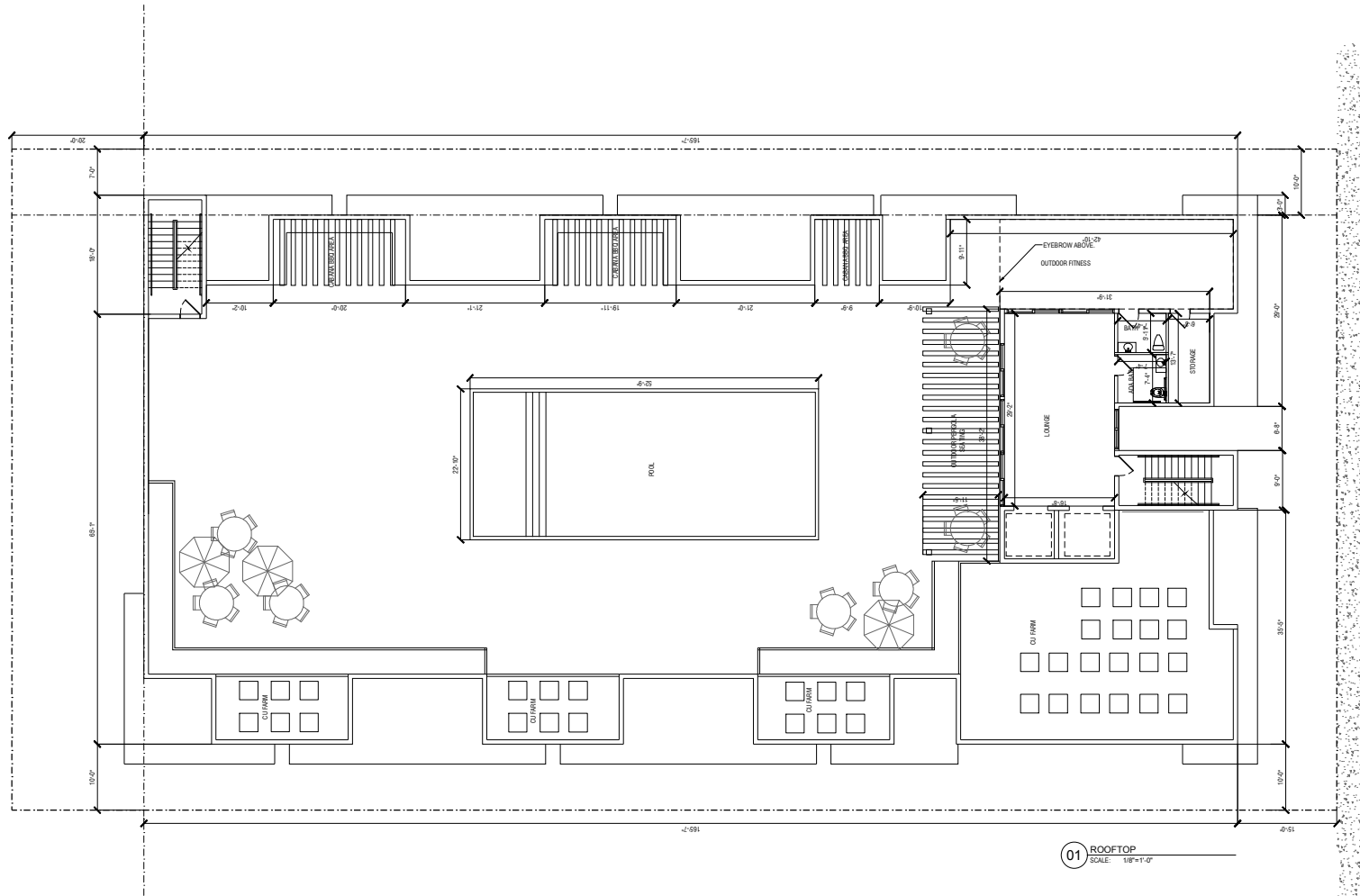
SCALE: 1/4" = 1'-0"
DATE: 02/01/2021

DRAWING TITLE:
ROOFTOP PLAN

SHEET NO. **A-104**



01 FOURTH FLOOR
SCALE: 1/8"=1'-0"



OWNER
 ARCHITECT
 LANDSCAPE ARCHITECT
 CIVIL ENGINEER



ARCHITECTURE AND DESIGN
 421 NE 17TH STREET, FORT
 LAUDERDALE, FLORIDA 33306
 WWW.AMSARCHITECTURE.COM
 AA-101065

PROPOSED 40 UNITS
 MULTI-FAMILY
 DEVELOPMENT FOR:
 2306 HOLLYWOOD STREET
 HOLLYWOOD FL

REVISIONS

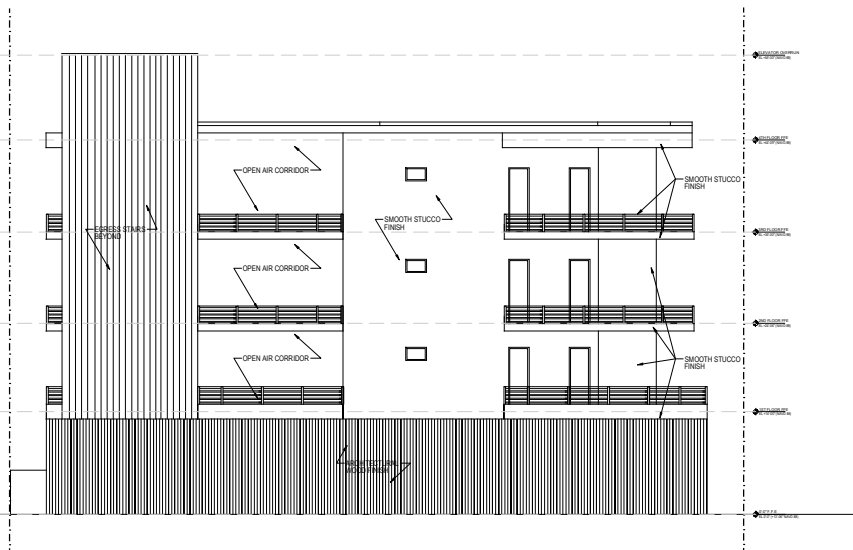
SCALE: 1/8" = 1'-0"
 DATE: 02/01/2021
 DRAWING TITLE:
 ROOFTOP PLAN
 SHEET NO. A-105

P



P

03 SIDE SETBACK ELEVATION
SCALE: 1/8"=1'-0"



02 REAR FACADE
SCALE: 1/8"=1'-0"

P



P

01 FILLMORE STREET FACADE
SCALE: 1/8"=1'-0"

OWNER

ARCHITECT

LANDSCAPE ARCHITECT

CIVIL ENGINEER



Agustina M. Salazar
AGUSTINA MARIA SALAZAR
FL ARCHITECT REG. NO.
40101066

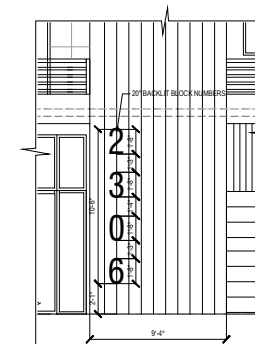


PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

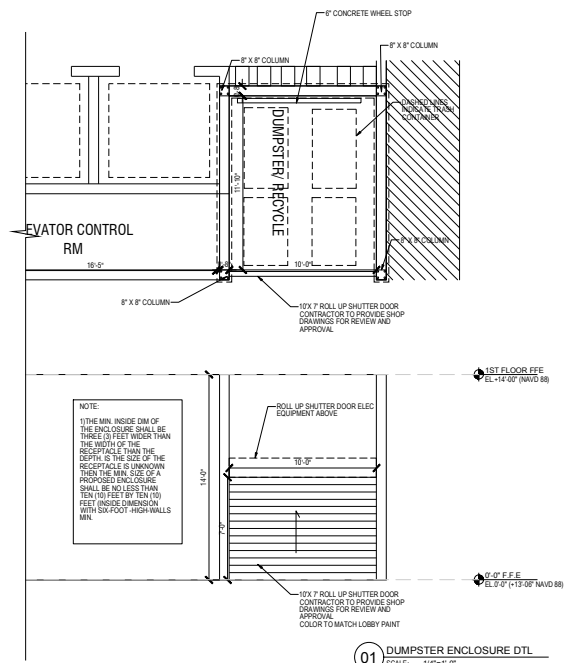
SCALE: 1/8" = 1'-0"
DATE: 02/01/2021
DRAWING TITLE:
ELEVATION

SHEET A-201

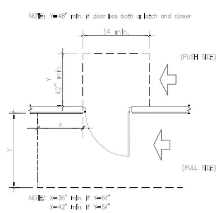


NOTE:
1) SIGNAGE SHOP DRAWING
PACKAGE SHOULD BE
SUBMITTED FOR ARCHITECT
REVIEW AND APPROVAL
PRIOR TO MANUFACTURE
2) SIGNAGE PACKAGE MUST
BE SUBMITTED UNDER
SEPARATE PERMIT

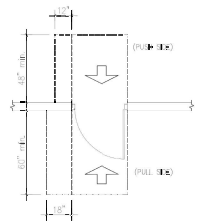
05 SIGNAGE DETAIL
SCALE: 1/4"=1'-0"



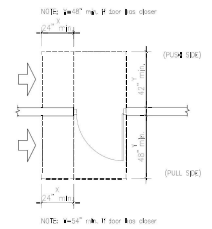
01 DUMPSTER ENCLOSURE DTL
SCALE: 1/4"=1'-0"



04 HINGE SIDE APPROACH
SCALE: N.T.S.



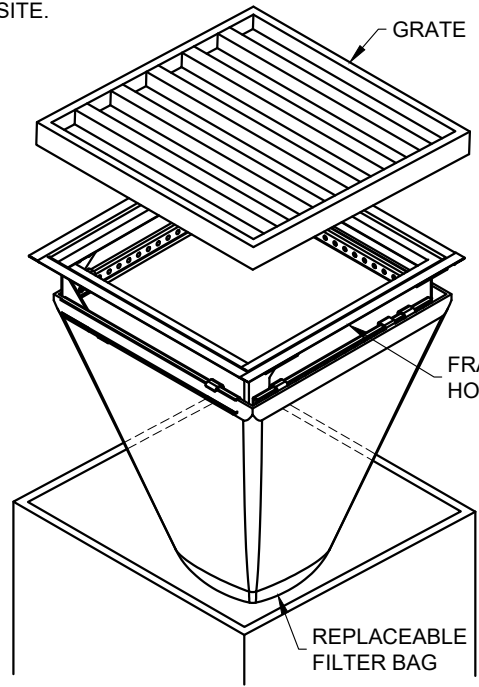
03 FRONT APPROACH
SCALE: N.T.S.



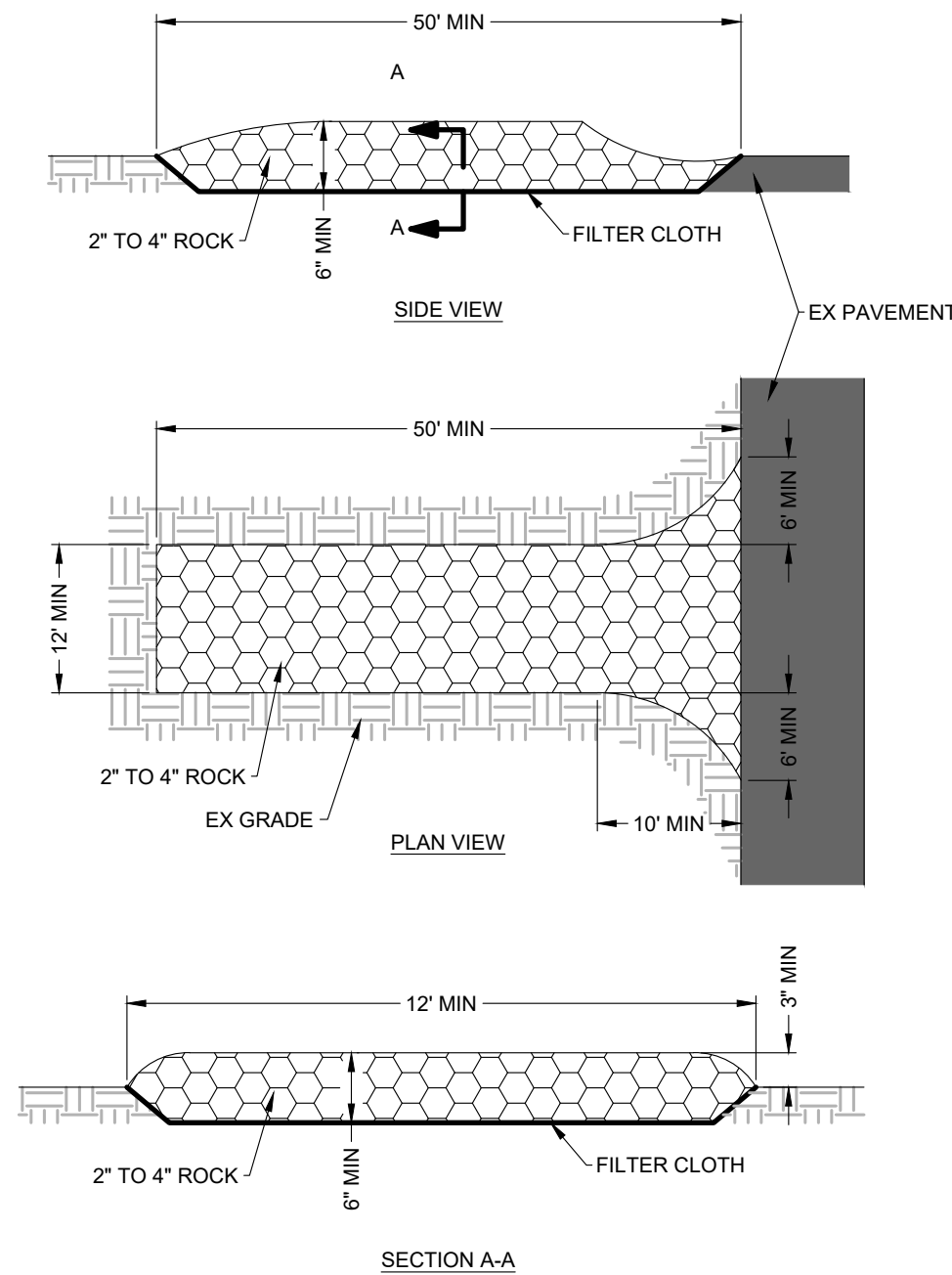
02 LATCH SIDE APPROACH
SCALE: N.T.S.

FILE: 22-0033-C-BASE.DWG | LAST SAVED: 2023-01-23 10:45:10 AM | PLOTTED: 2023-01-23 10:46:28 AM | USER: Marckley Etienne

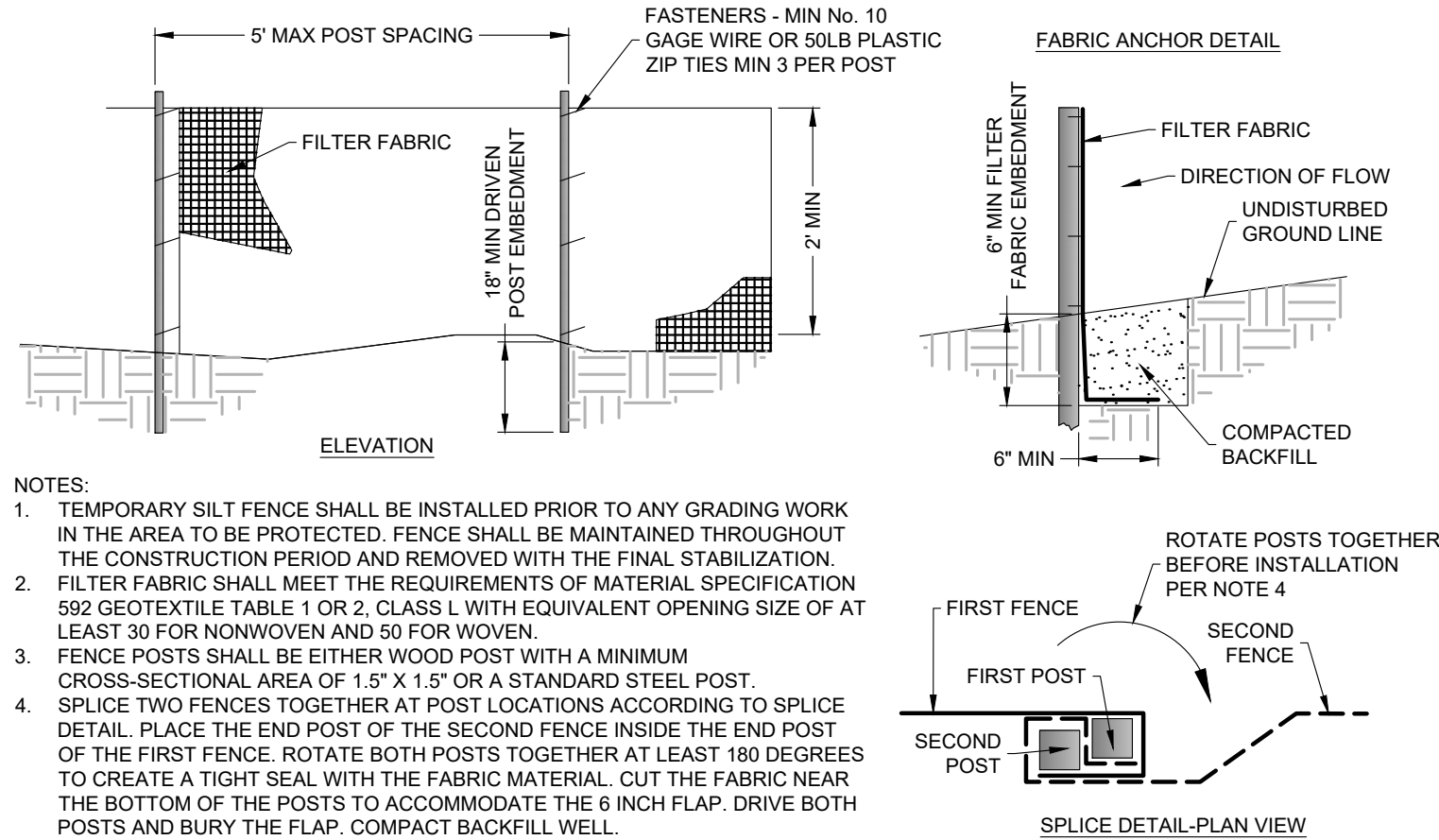
- NOTES:
- ELEVATIONS SHOWN HEREON ARE BASED ON THE 1988 NATIONAL AMERICAN VERTICAL DATUM (NAVD 1988).
 - CONTRACTOR TO PROVIDE NOT PLANS FOR WORK WITHIN CITY ROW.
 - CONTRACTOR TO REFER TO ARCHITECT AND LANDSCAPE PLANS FOR SITE AND TREE DEMO.
 - INLET PROTECTION REQUIRED FOR ANY INLETS LOCATED WITHIN 100FT OF THE PROJECT SITE.



TYPICAL INLET PROTECTION DETAIL
NOT TO SCALE

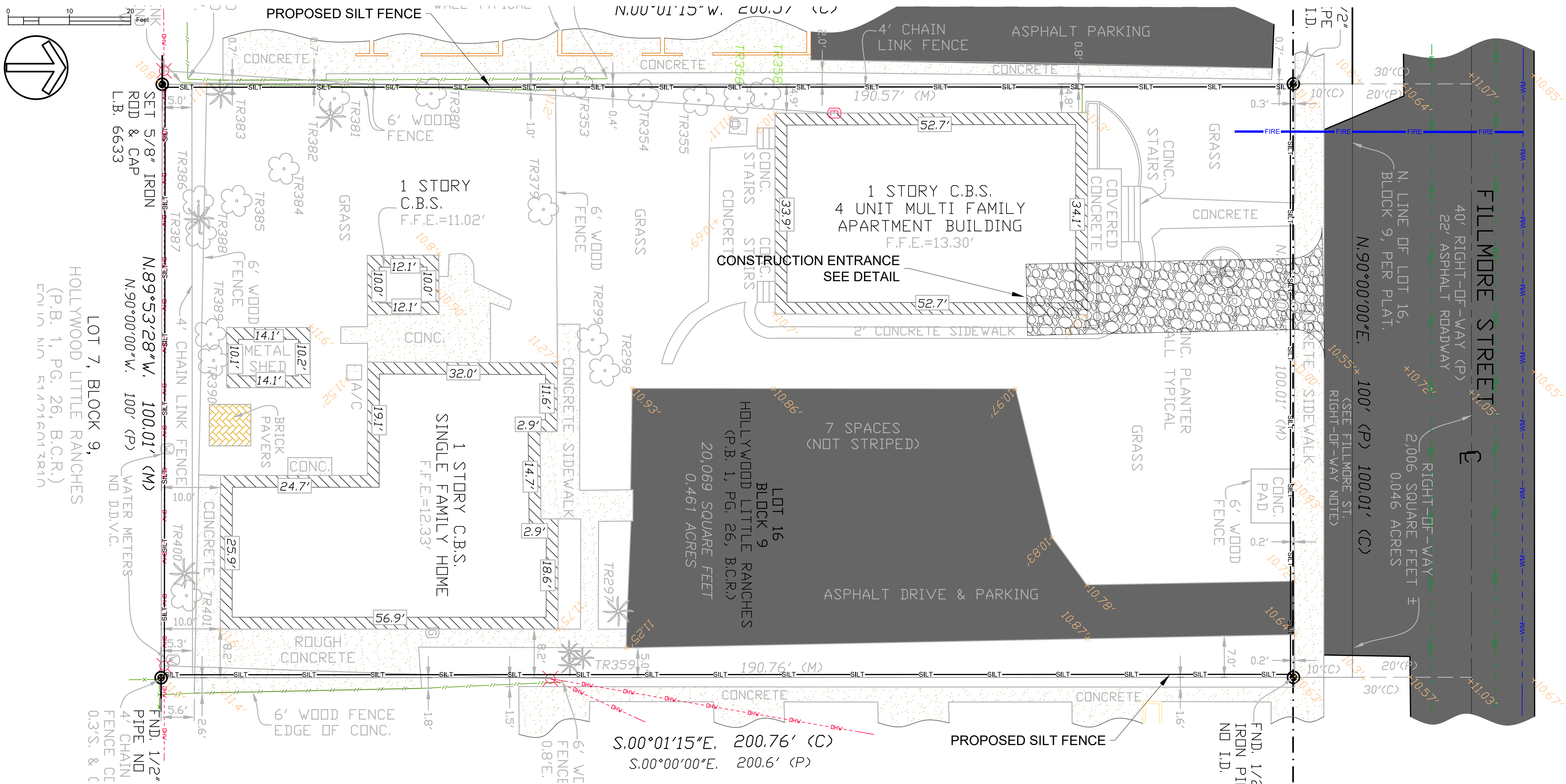


CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



TYPICAL SILT FENCE DETAIL
NOT TO SCALE

48 HOURS BEFORE DIGGING
CALL
TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER



ENGINEERING DESIGN

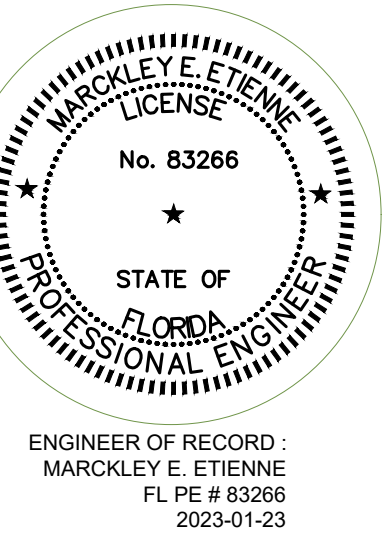
OWNER
M18 DEVELOPMENT LLC
1314 E BROWARD BLVD STE 1003
FORT LAUDERDALE, FL 33301

ARCHITECT
AMS ARCHITECTURE AND DESIGN, CORP
1421 NE 17TH STREET
FORT LAUDERDALE, FL 33305

LANDSCAPE ARCHITECT
RAHM VEDAR
4132 SW 11TH STREET
DANA BEACH, FL 33514

CIVIL ENGINEER
M ENGINEERING DESIGN LLC
207 SEMINOLE LAKES DRIVE
ROYAL PALM BEACH, FL 33411

This document has been digitally signed and sealed by
Markley Etienne, PE on 01-23-23
Printed copies of this document are not considered
signed and sealed and electronic copies should be
verified.



ARCHITECTURE AND DESIGN
1421 NE 17TH STREET FORT
LAUDERDALE, FLORIDA 33305
WWW.AMSARCHITECTURE.COM
AA 101065

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: 1" = 10'
DATE: 01/23/23

DRAWING TITLE:
DEMOLITION,
SWPPP, & EROSION
CONTROL PLAN

SHEET NO.
C-050

SHEET NO.
C-100



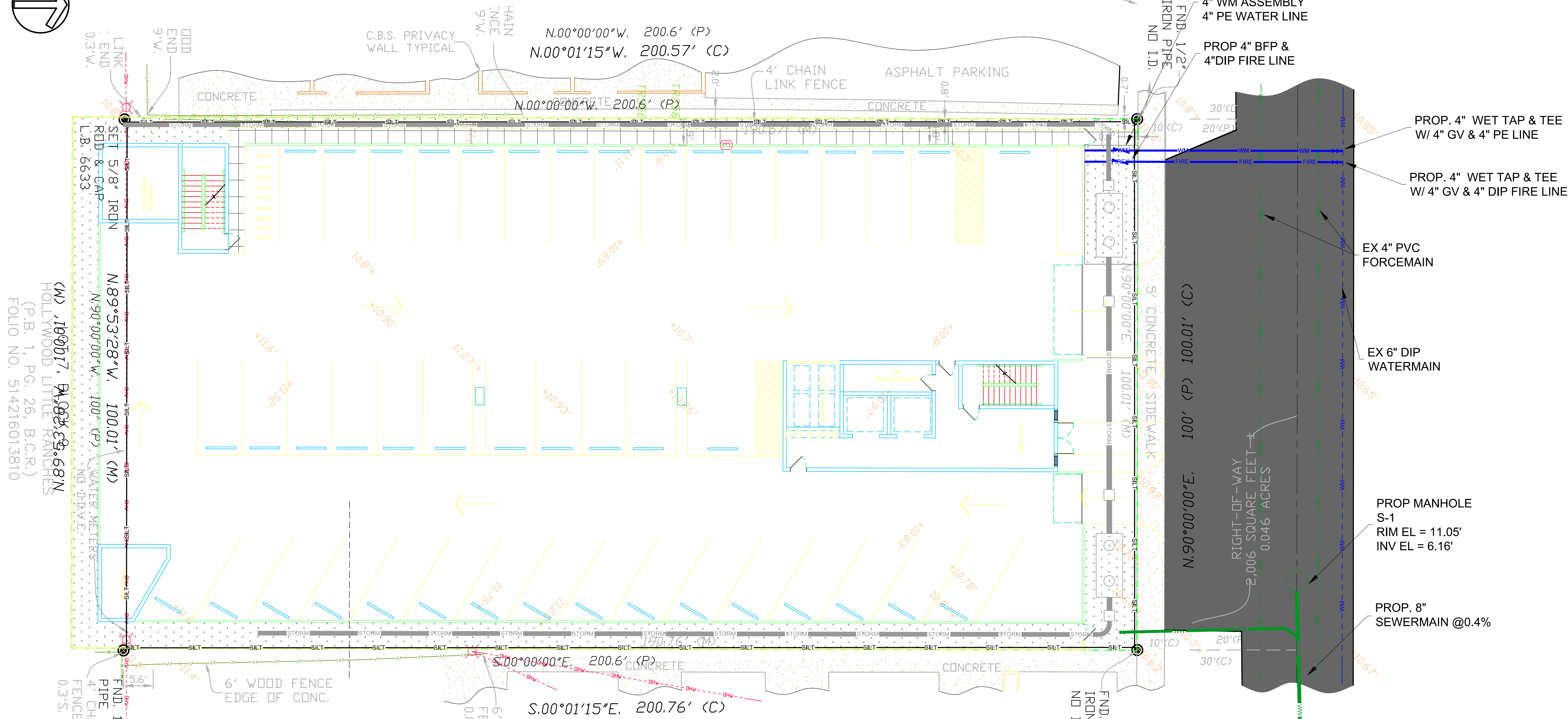
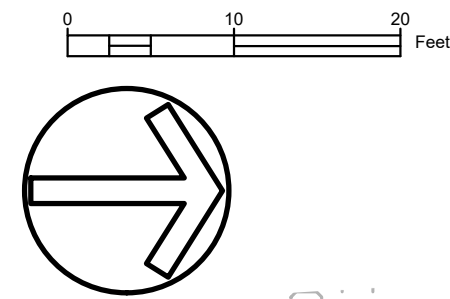
48 HOURS BEFORE DIGGING

 CALL 
TOLL FREE

811 or 1-800-432-4770

SUNSHINE STATE ONE CALL CENTER

FILE: 22-0033-C-BASE.DWG | LAST SAVED: 2023-01-23 10:45:10 AM | PLOT SCALE: 1:1 | PLOTTED: 2023-01-23 10:46:30 AM | USER: Marckley Etienne



OWNER

M18 DEVELOPMENT, LLC
1314 E BROWARD BLVD, STE 1003
FORT LAUDERDALE, FL 33301

ARCHITECT

AMS ARCHITECTURE AND DESIGN, CORP
1421 NE 17TH STREET
FORT LAUDERDALE, FL 33305

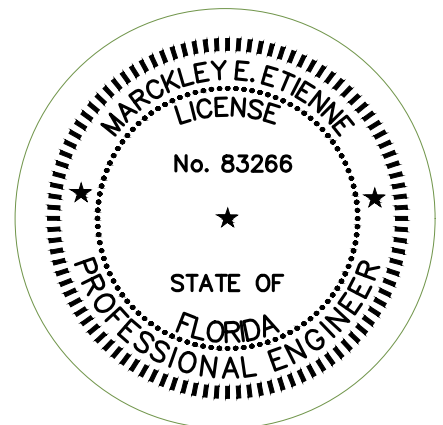
LANDSCAPE
ARCHITECT

RAHM VEDAR
4132 SW 11TH STREET
DADE BEACH, FL 33514

CIVIL ENGINEER

M ENGINEERING DESIGN, LLC
207 SEMINOLE LAKES DRIVE
ROSELAND, FL 33309

This document has been digitally signed and sealed by
Markley Etienne, P.E. on 01-23-23
Printed copies of this document are not considered
signed and sealed and electronic copies should be
verified.



ENGINEER OF RECORD:
MARKLEY E. ETIENNE
FL PE # 83266
2023-01-23



ARCHITECTURE AND DESIGN
1421 NE 17TH STREET FORT
LAUDERDALE, FLORIDA 33305
WWW.AMSARCHITECTURE.COM
AA 101065

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: 1" = 10'
DATE: 01/23/23

DRAWING TITLE:

WATER & SEWER
UTILITY PLAN

SHEET NO.

C-101

48 HOURS BEFORE DIGGING
CALL
TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER

FILE: 22-0033-C-BASE.DWG | LAST SAVED: 2023-01-23 10:45:10 AM | PLOT SCALE: 1"=10' | PLOTTED: 2023-01-23 10:46:32 AM | USER: Markley Etienne

WATER SYSTEM NOTES:

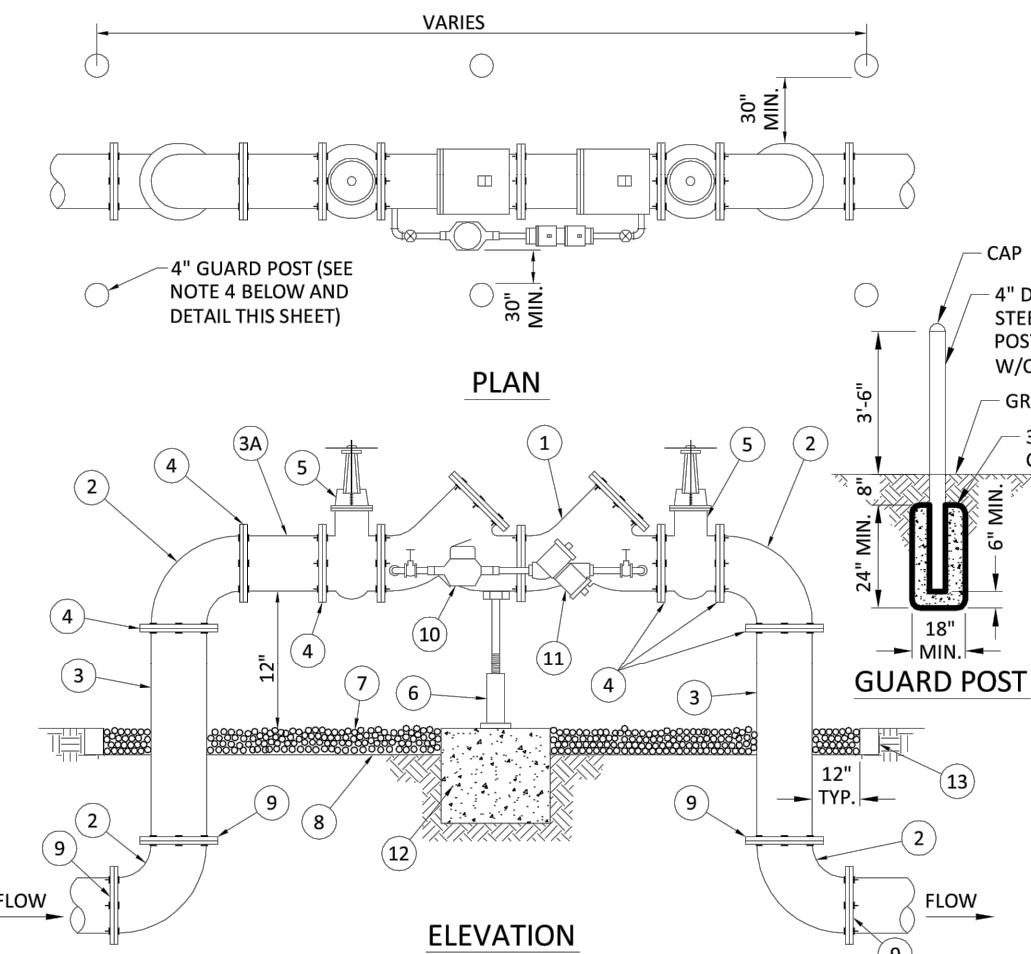
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID AND SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO. W-01
APPROVED: XXX		

WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO. W-02
APPROVED: XXX		



ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4" 6" 8" VALVE DOUBLE CHECK	7	N/A	PEA GRAVEL (4" DEEP)
2	4	4" 6" 8" BEND-90°	8	N/A	PLASTIC LINER/WEED STOP (5 MILS)
3	2	4" 6" 8" D.I.P. SPOOL PIECE	9	4	RESTRAINED JOINTS
3A	1	4" 6" 8" D.I.P. SPOOL PIECE (24" LONG)	10	1	LOW FLOW METER
4	7	4" 6" 8" FLANGE, D.I.P.	11	1	VALVE, BYPASS DOUBLE CHECK
5	2	4" 6" 8" GATE VALVE (SEE NOTE 6)	12	1	16" X16" X16" CONC. SUPPORT
6	1	SCREW JACK/ANCHORED	13	1	P.T. 2X4 LUMBER ALL AROUND

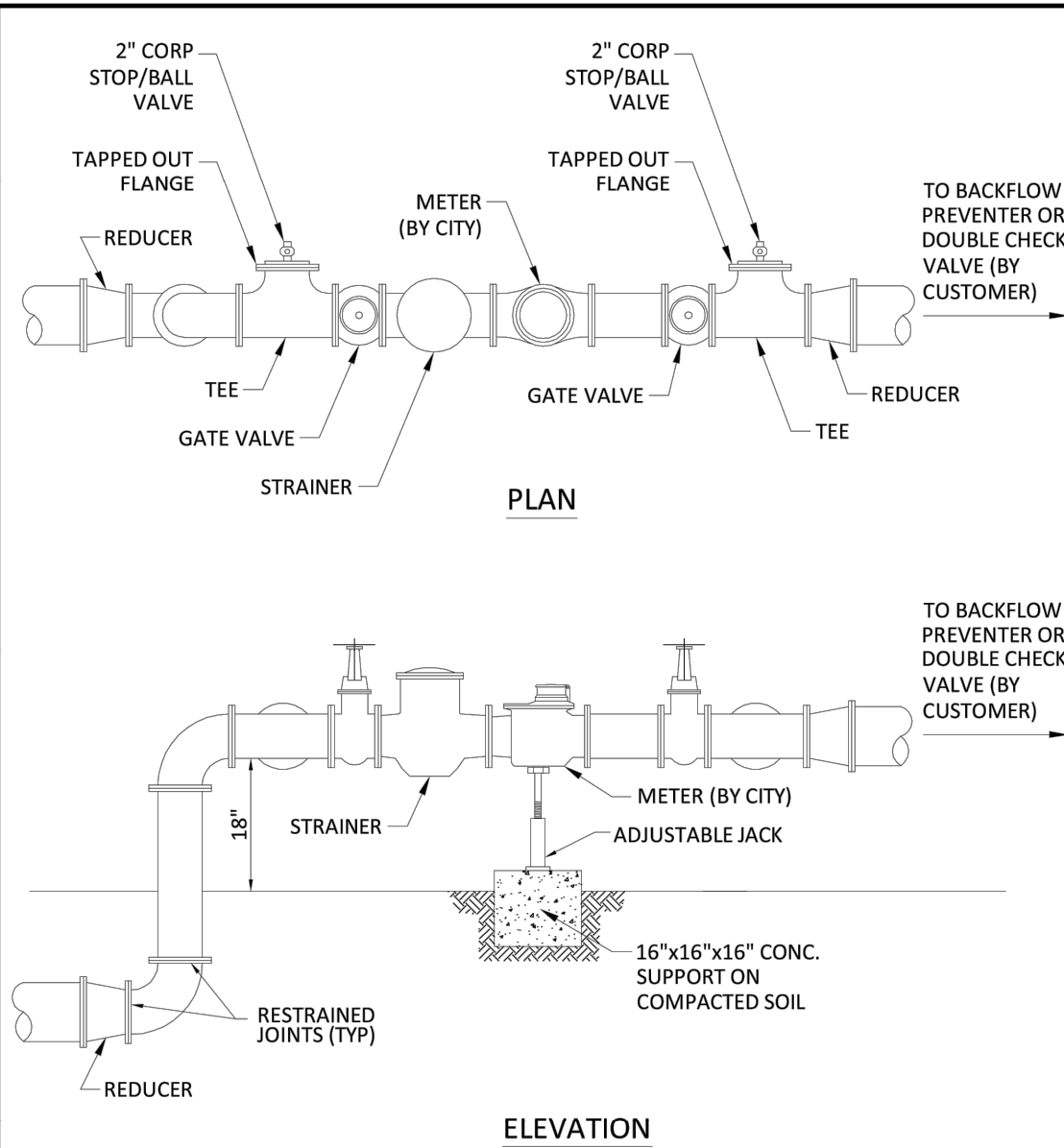
- NOTES:
- FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
 - ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
 - ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
 - PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
 - MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
 - GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)	DRAWING NO. W-03
APPROVED: XXX		

WATER METER SERVICE NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 3/4" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND PINS, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-07
APPROVED: XXX		



NOTES:

- THE WATER METER AND STRAINER IS PROVIDED BY THE CITY OF HOLLYWOOD.
- THE CITY'S RESPONSIBILITY ENDS AT THE REDUCER PRECEDING THE BACKFLOW PREVENTER.
- TAPPED OUT FLANGE SHOULD MATCH SIZE OF TEE AND STANDARD 2" CORP STOP OR BALL VALVE.

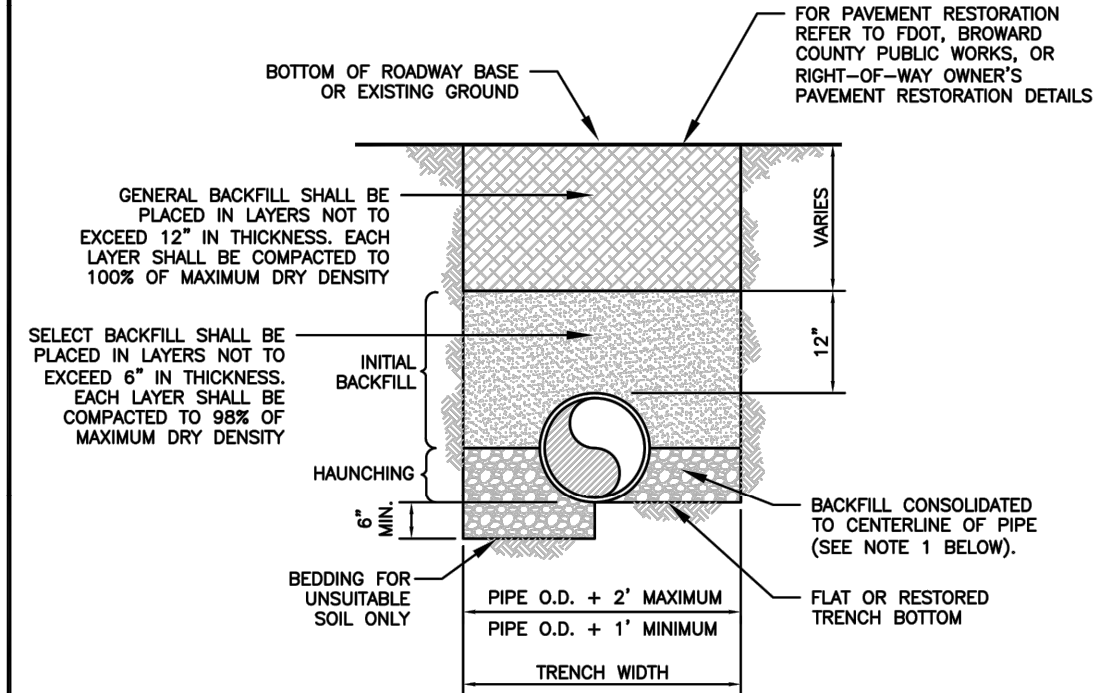
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL METER 3" DIAMETER AND LARGER	DRAWING NO. W-11
APPROVED: XXX		

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	WATER MAIN 3 ft minimum	WATER MAIN 12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft minimum
GRAVITY SANITARY SEWER (3), SANITARY SEWER FORCE MAIN, RECLAIMED WATER	WATER MAIN 10 ft preferred 6 ft minimum	WATER MAIN 12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

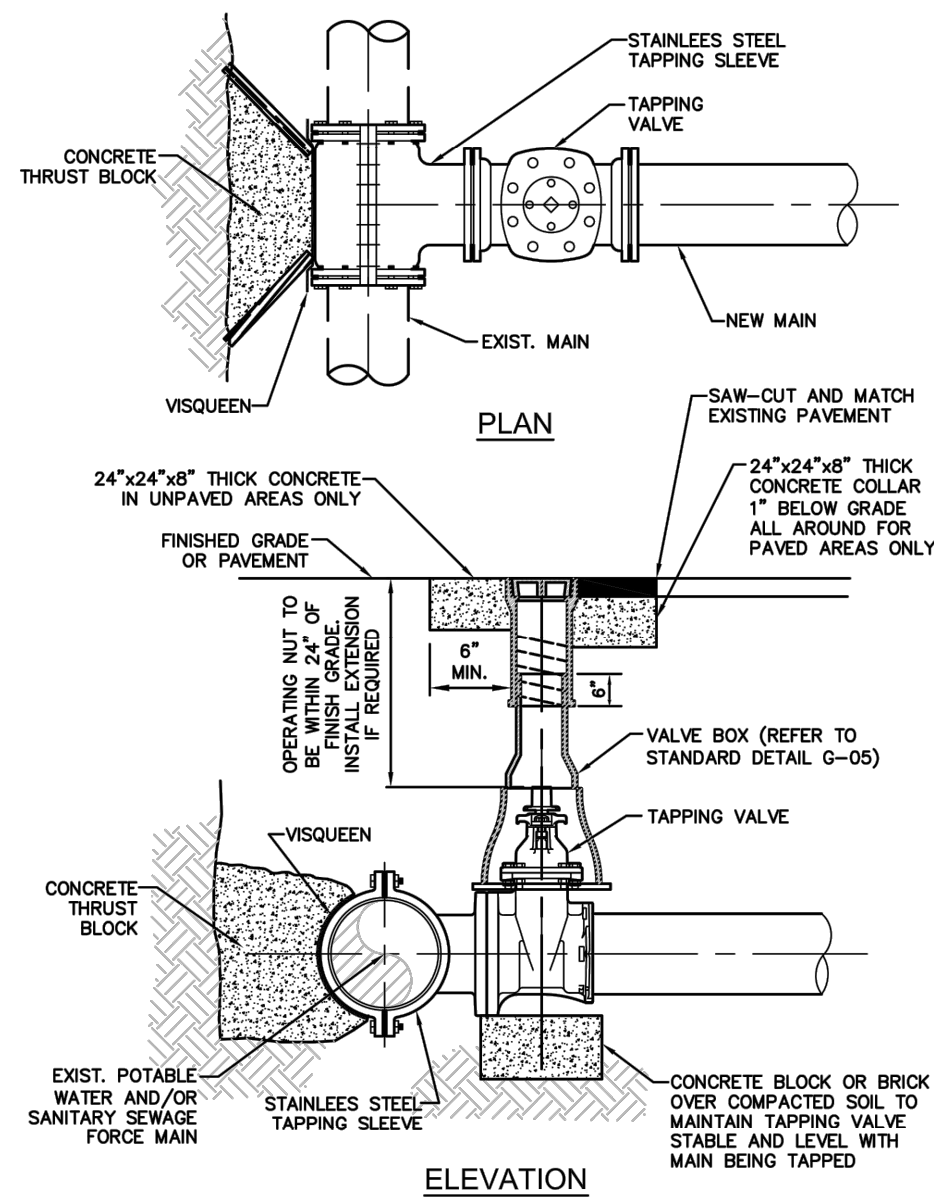
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	SEPARATION REQUIREMENTS OF F.D.E.P.	DRAWING NO. G-01.1
APPROVED: XXX		



NOTES:

- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LUMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)	DRAWING NO. G-02
APPROVED: XXX		



NOTES:

- NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
- TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.
- TEMPORARY THRUST BLOCKS TO BE INSTALLED AND REMAIN IN PLACE DURING TAPPING OPERATIONS.
- FOR SEWER FORCE MAINS, REFER TO DETAIL OF PRIVATE FORCE MAIN TIE-IN AT PROPERTY LINE.
- FOR WATER MAINS, A GATE VALVE OF SAME DIAMETER SHALL BE INSTALLED ON THE DOWNSIDE OF THE TAPPING VALVE.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL TAPPING SLEEVE AND VALVE SETTING	DRAWING NO. G-06
APPROVED: XXX		

48 HOURS BEFORE DIGGING

CALL TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER

OWNER

M18 DEVELOPMENT, LLC
1314 E BROWARD BLVD, STE 1003
FORT LAUDERDALE, FL 33301

ARCHITECT

AMS ARCHITECTURE AND DESIGN, CORP
1421 NE 17TH STREET
FORT LAUDERDALE, FL 33305

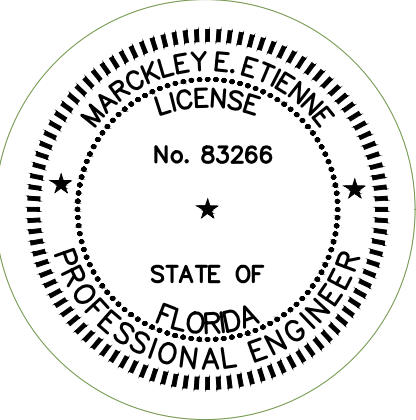
LANDSCAPE ARCHITECT

RAHM VETTER
4132 SW 11TH STREET
DEER BEACH, FL 33414

CIVIL ENGINEER

M ENGINEERING DESIGN, LLC
207 SEMINOLE LAKES DRIVE
SUNSHINE STATE ONE CALL CENTER

This document has been digitally signed and sealed by
Marcokley E. Etienne, PE on 01/23/23.
Printed copies of this document are not considered
signed and sealed and electronic copies should be
verified.



ENGINEER OF RECORD:
MARCKLEY E. ETIENNE
FL PE # 83286
2023-01-23



ARCHITECTURE AND DESIGN
1421 NE 17TH STREET FORT
LAUDERDALE, FLORIDA 33305
WWW.AMSARCHITECTURE.COM
AA 101065

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

SCALE: 1" = 10'
DATE: 01/23/23

DRAWING TITLE:

WATER & SEWER
UTILITY DETAILS

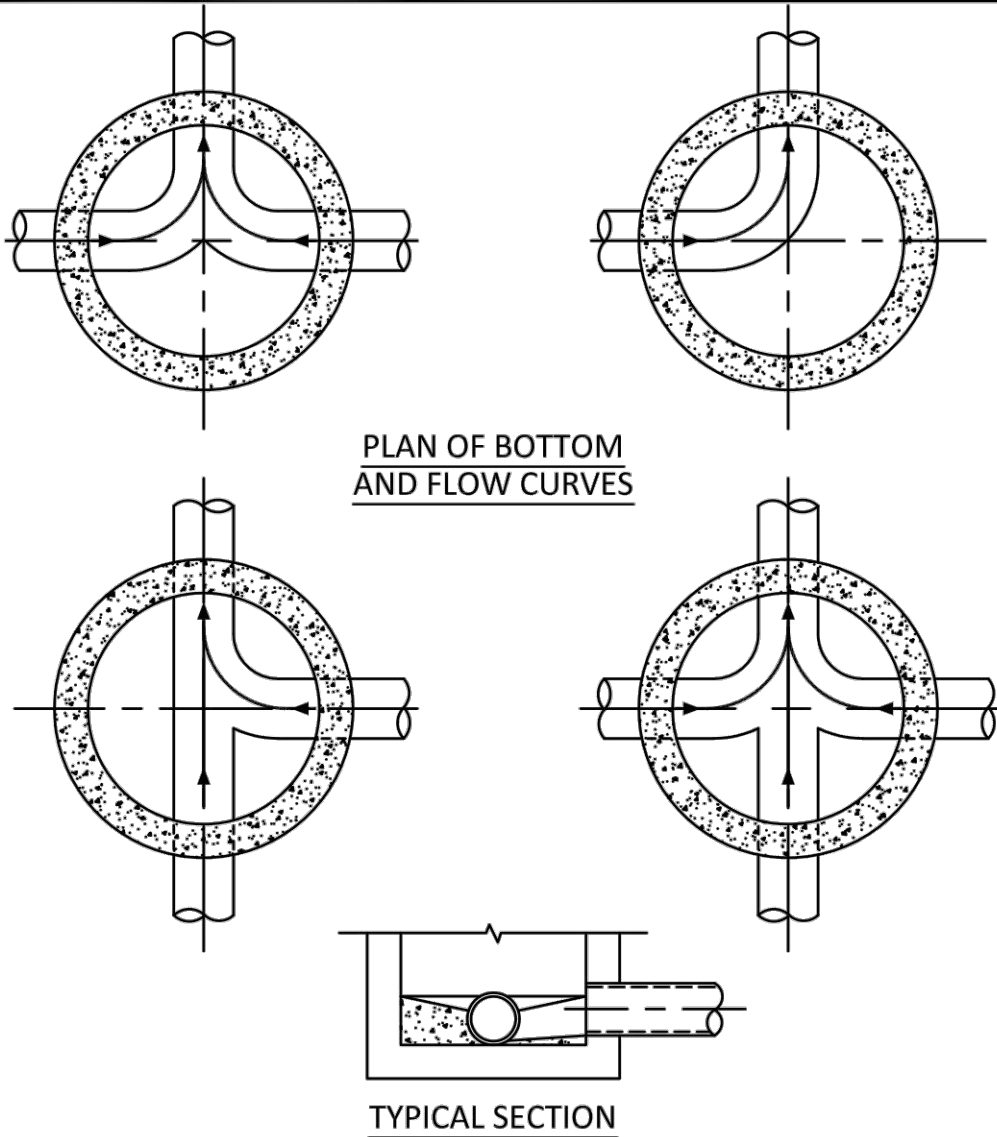
SHEET NO.

C-102

WATER SYSTEM NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 18" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

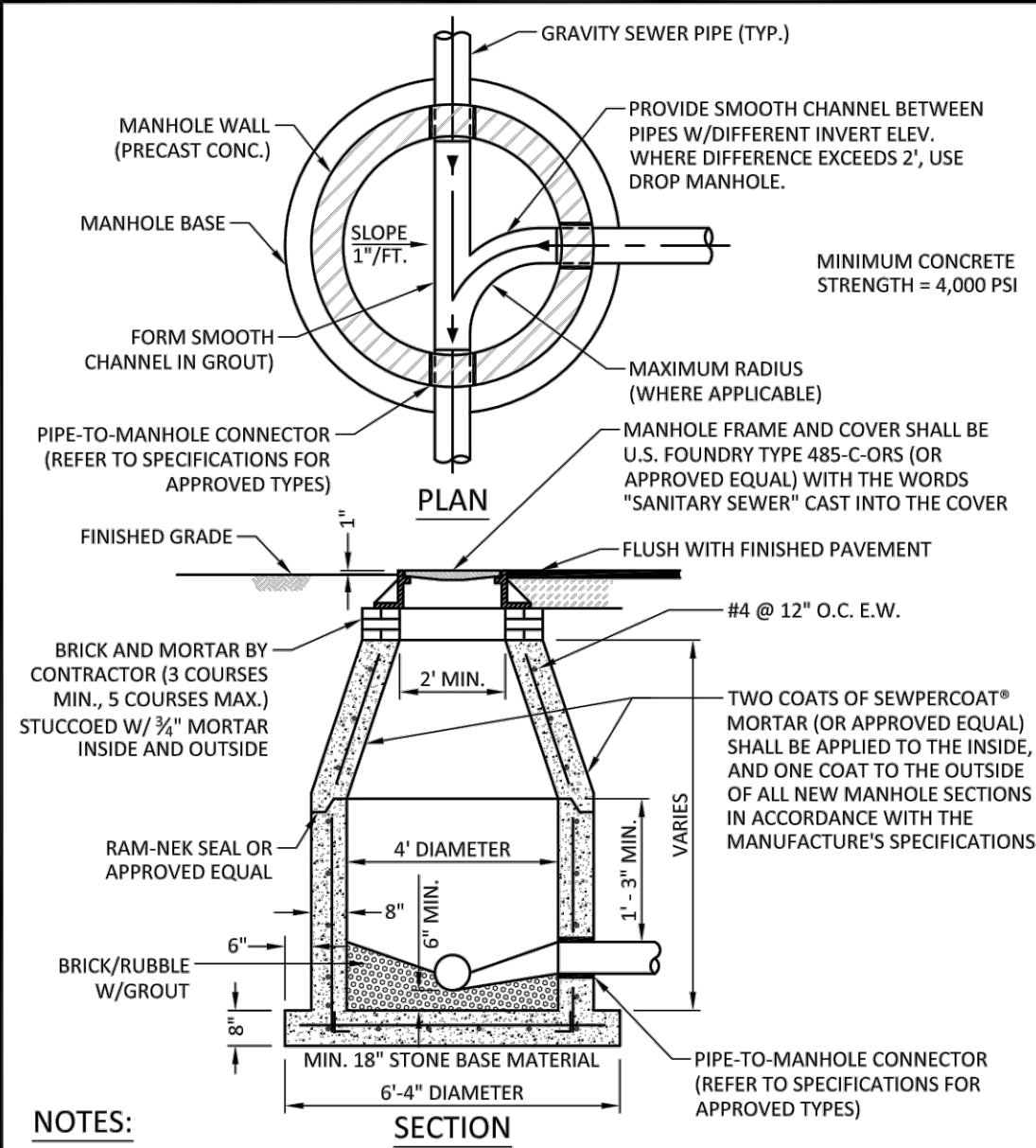
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		
APPROVED: XXX	WATER SYSTEM NOTES	DRAWING NO. W-01



NOTES:

- INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
- SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
- CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
- WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

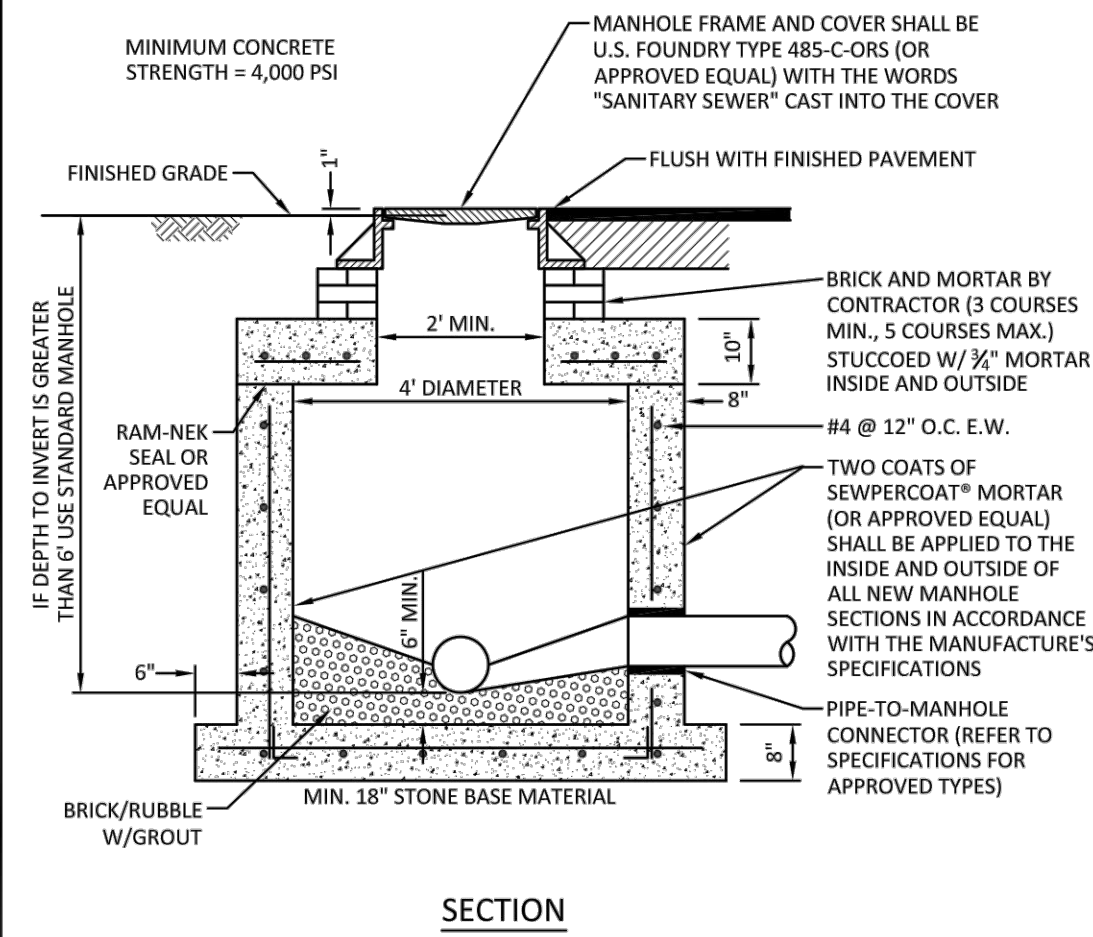
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		
APPROVED: XXX	MANHOLE FLOW PATTERNS	DRAWING NO. S-02



NOTES:

- SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
- NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

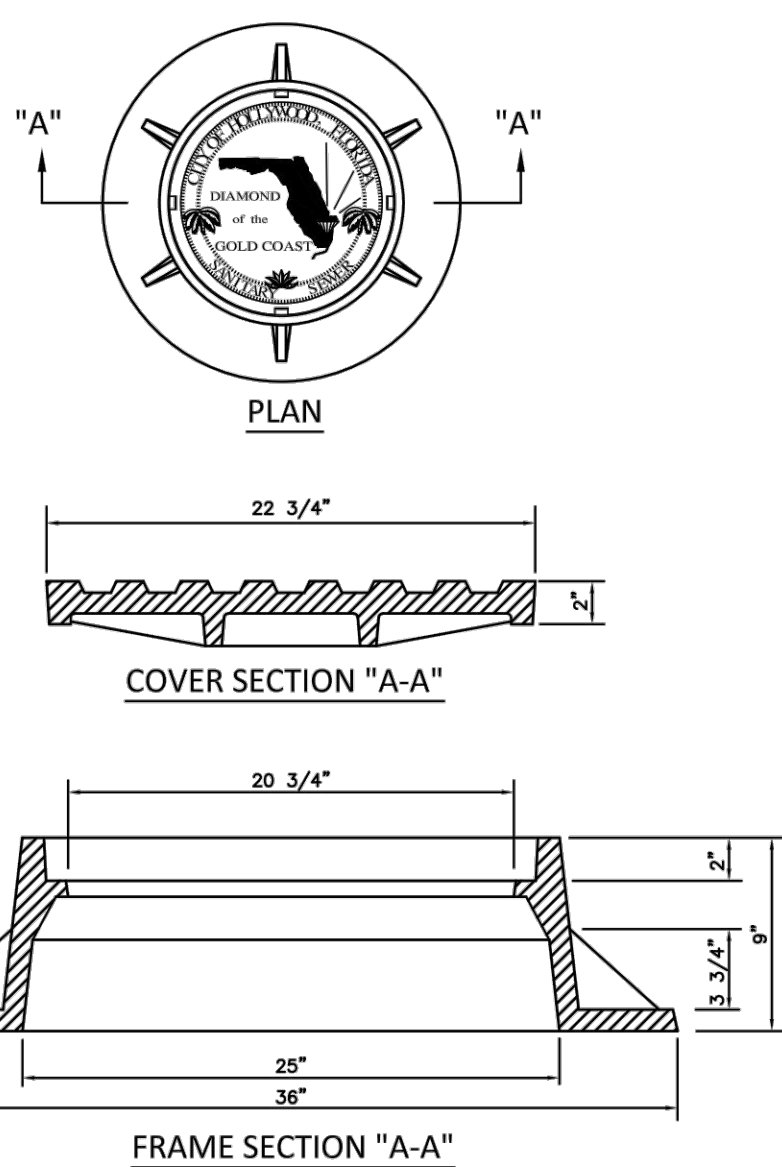
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/18/2018
DRAWN: EAM		
APPROVED: XXX	STANDARD PRECAST MANHOLE	DRAWING NO. S-03



NOTES:

- SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
- NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

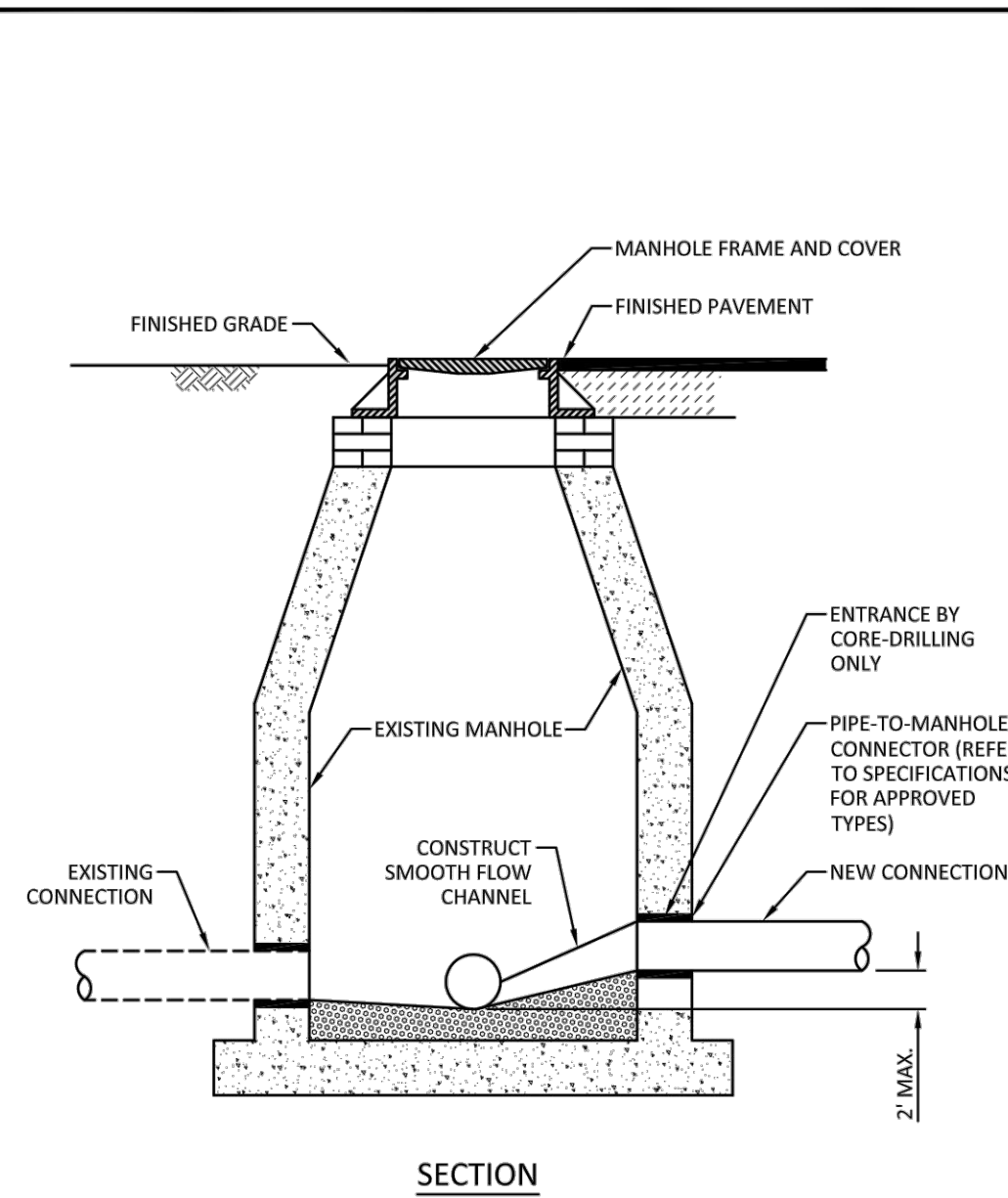
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/18/2018
DRAWN: EAM		
APPROVED: XXX	SHALLOW MANHOLE	DRAWING NO. S-05



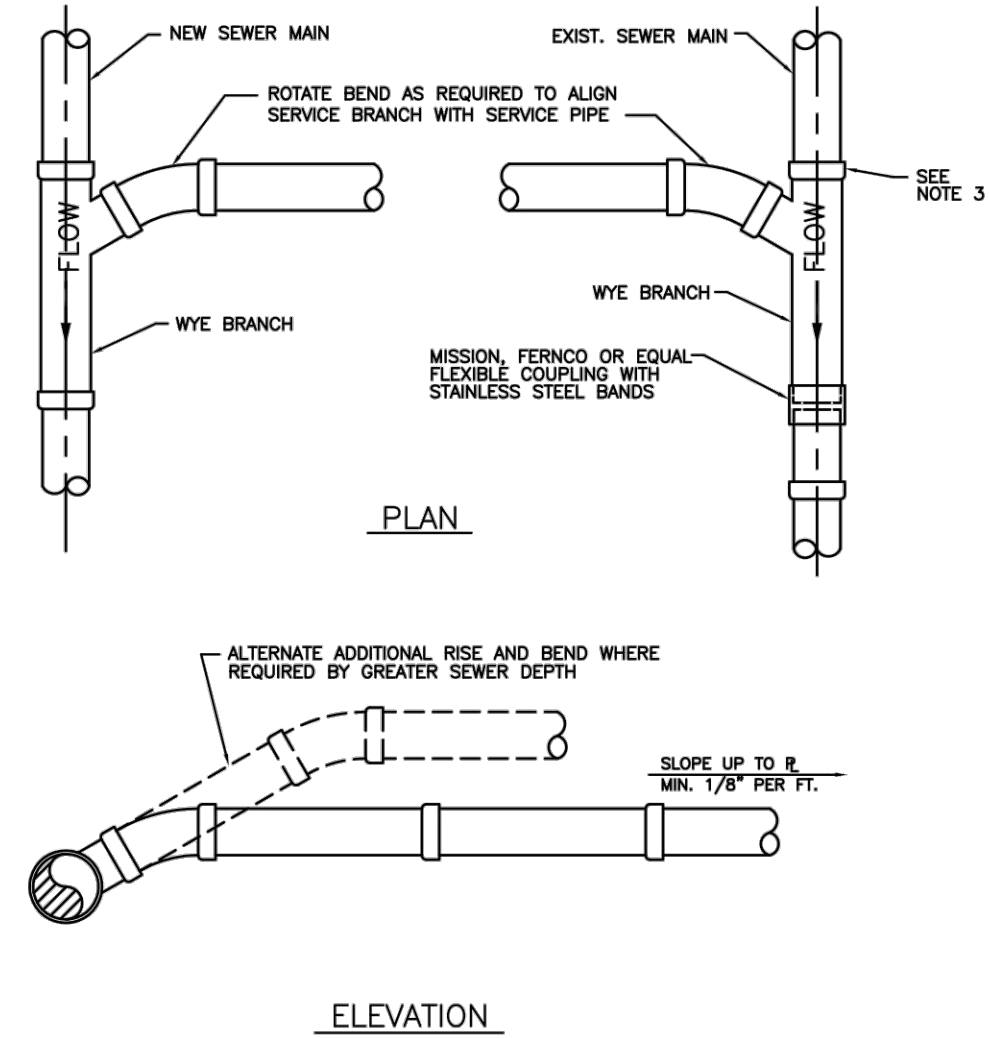
NOTES:

- LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
- ALL BEARING SURFACES TO BE MACHINED.
- MINIMUM WEIGHTS: COVER - 160 LBS, TOTAL - 400 LBS.
- MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS TYPE EL, WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		
APPROVED: XXX	MANHOLE FRAME AND COVER CITY OF HOLLYWOOD	DRAWING NO. S-06.1



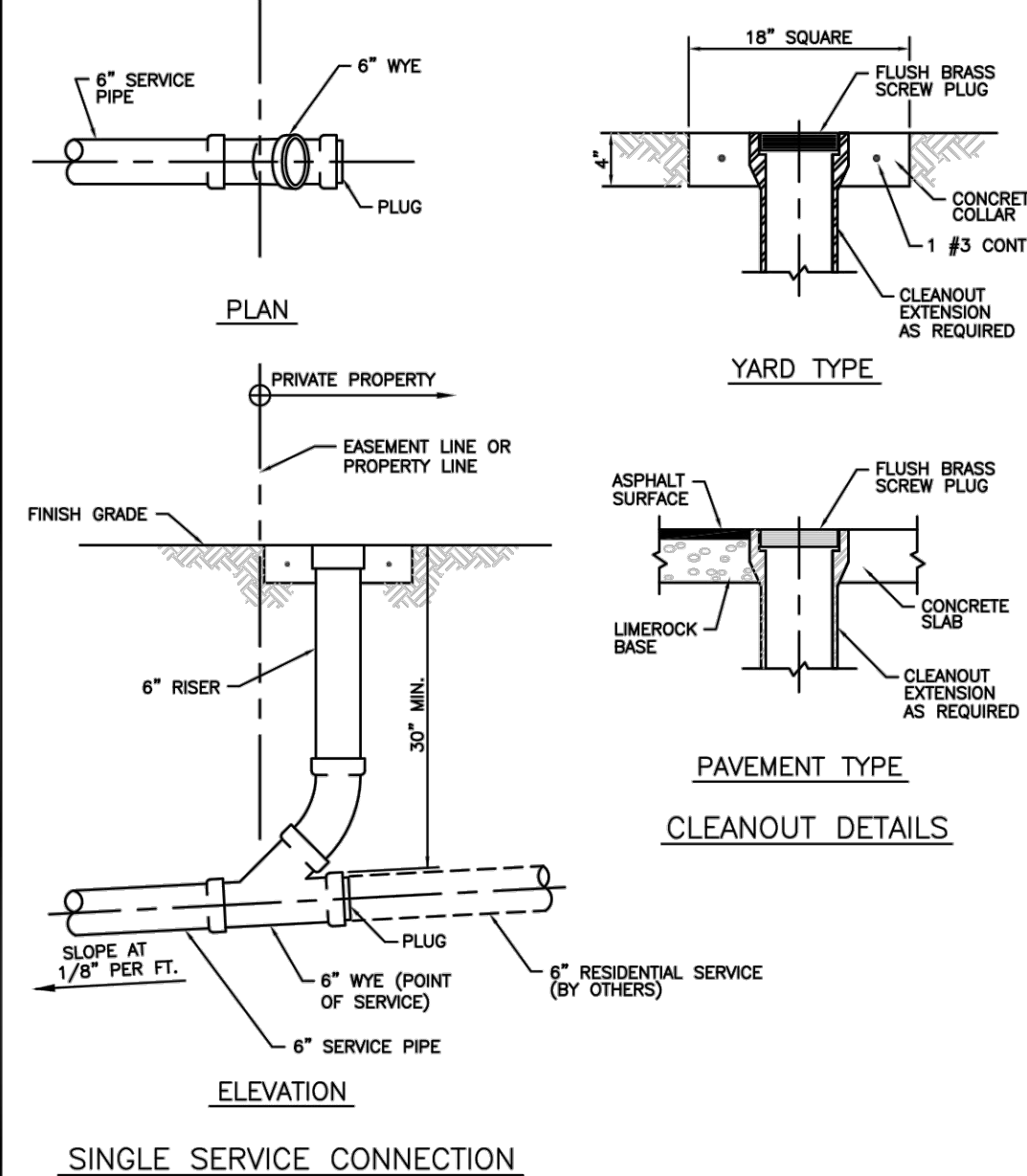
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		
APPROVED: XXX	NEW CONNECTION TO EXISTING MANHOLE	DRAWING NO. S-07



NOTES:

- SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
- USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
- WHERE BELL OF WYE AND SPRIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		
APPROVED: XXX	WYE BRANCH CONNECTION	DRAWING NO. S-09



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		
APPROVED: XXX	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12

OWNER

M18 DEVELOPMENT LLC
1314 E BROWARD BLVD STE 1003
FORT LAUDERDALE, FL 33305

ARCHITECT

AMS ARCHITECTURE AND DESIGN, CORP
1401 NE 11TH STREET
FORT LAUDERDALE, FL 33305

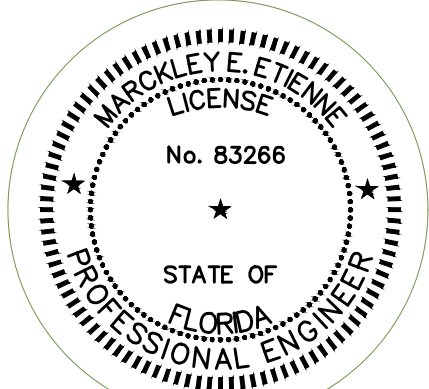
LANDSCAPE
ARCHITECT

RAHAM VEDAR
4132 SW 11TH STREET
DANA BEACH, FL 33414

CIVIL ENGINEER

M ENGINEERING DESIGN LLC
207 SEMINOLE LAKES DRIVE
Royal Palm Beach, FL 33411

This document has been digitally signed and sealed by
Markkley E. Etienne, PE on 01-23-23
Printed copies of this document are not considered
signed and sealed and electronic copies should be
verified.



ENGINEER OF RECORD:
MARKKLEY E. ETIENNE
FL PE # 83266
2023-01-23



ARCHITECTURE AND DESIGN
1421 NE 17TH STREET FORT
LAUDERDALE, FLORIDA 33305
WWW.AMSARCHITECTURE.COM
AA 101065

PROPOSED 40 UNITS
MULTI-FAMILY
DEVELOPMENT FOR:
2306 FILLMORE STREET
HOLLYWOOD FL

REVISIONS

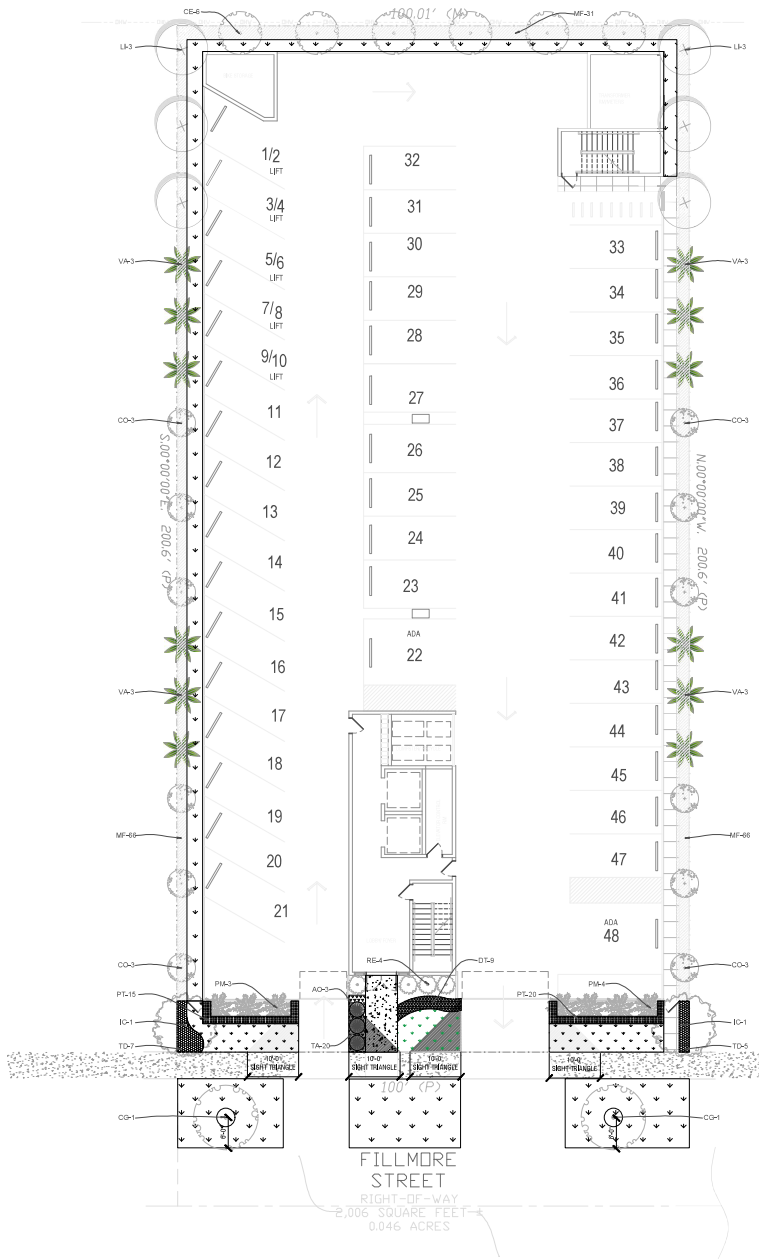
SCALE: 1" = 10'
DATE: 01/23/23

DRAWING TITLE:

WATER & SEWER
UTILITY DETAILS

SHEET NO.

C-103



City of Hollywood LANDSCAPE REQUIREMENTS

SITE CALCULATIONS AS PER SINGLE-FAMILY DISTRICT REQUIREMENTS

TOTAL LOT AREA	20,060 S.F.
TOTAL IMPERVIOUS AREA	17,142 S.F.
TOTAL PERVIOUS AREA	2,949 S.F.

SITE TREES: 1 Tree Per 1,000 S.F. Total Pervious area 2,949 S.F.
(3) TREES REQUIRED / (4) TREES PROVIDED (2) Dahoon Holly, (2) Silver Buttonwood

Perimeter Landscape: 1 Tree Per 20 L.F. Total L.F. 512 S.F.
(26) TREES REQUIRED / (26) TREES PROVIDED (12) Satin Leaf, (6) Grape Myrtle
(12) Montgomery Palm 3:1 Ratio (4), (4) Silver buttonwood

STREET TREES:
1 TREE PER 50' LINEAR FEET 100 Linear FT
(2) REQUIRED / (2) Bridal Veil PROVIDED

A minimum of 60% of required trees and 50% of required shrubs must be native species.
Total Trees Provided (32) 60% Required (19) Trees Provided (20) 62%
Total Shrubs (233) 50% Required (127) Provided (175) 69%

Mitigation Owed: 25 Caliper inches
25" Caliper inches to be paid into the tree fund,
25" / 2" = 12.5" X \$350 = \$4,375

TOTAL SOD ARE: 25%

PLANT MATERIAL SCHEDULE

SYMBOL	NUMBER	NAME	COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant
CE		Conocarpus erectus	Silver Buttonwood	12" HT. 6" SPK. MIN. 2" DBH FL-1	Yes	6	Low
IC		Ilex cassine	Dahoon holly	14" HT. 8" SPK. MIN. 2" DBH FL-1	Yes	2	Low
CO		Chrysanthemum album	Stained	14" HT. 8" SPK. MIN. 2" DBH FL-1	Yes	12	Low
LI		Lagerströmia indica "Trunkage"	Crape myrtle	14" HT. 8" SPK. MIN. 2" DBH FL-1	Yes	6	Low
CG		Ceanothus granatensis	Bridal Veil	14" HT. 8" SPK. MIN. 2" DBH FL-1	No	2	Low
VA		Valeriana areolata	Montgomery palm	14" HT. MIN. 6" CT. FL-1	No	12	Low
Shrubs and Groundcover							
RE		Rhapis excelsa	Lady Palm	24" HT X 24" SPK. 24" O.C.	No	4	Medium
MF		Myrsine fragrans	Shrimp Shrimp	36" HT. X 18" SPK. 36" O.C.	Yes	163	Low
TD		Tripasacum dactyloides	Dwarf fakahatchee grass	18" HT. X 14" SPK. 24" O.C.	Yes	12	Low
PT		Piptasacum latifolium	Variegated piptasacum	18" HT. X 18" SPK. 24" O.C.	No	35	Medium
AO		Acanthace odorata	Odonata	24" HT X 24" SPK.	No	3	Medium
DT		Dianella laevis	Flea Lily	12" HT X 12" SPK.	No	9	Medium
PM		Psychopogon macrocarpum	Macarthur palm	5" DA	No	7	Medium
TA		Trochodendron araliifolium	Jasmine Moline	4" HT X 4" SPK.	No	20	Medium
SOD		Palmetto	SODDED AREA	CONTRACTOR SHALL VERIFY QUANTITY			APPROX. 2,082 S.F.

NOTE: 2" OF SOIL SHALL BE ADDED UNDER ALL SOD

REVISION	DATE

ENVIROSCOPE
4132 SW 51 ST
Dania Beach FL 33314

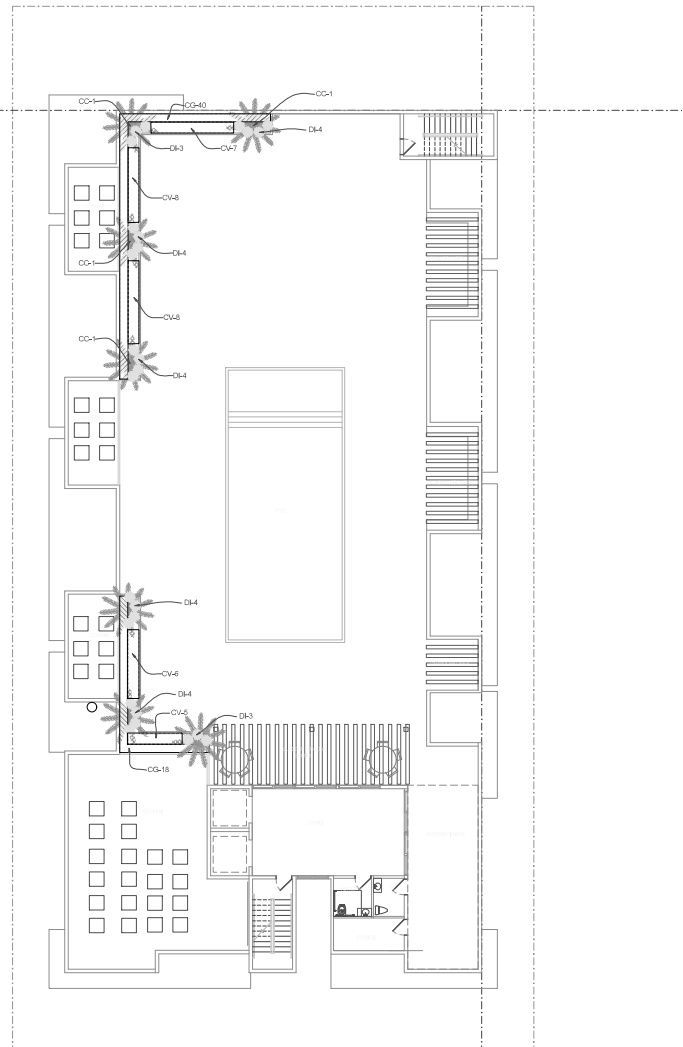
MULTI-FAMILY DEVELOPMENT
2306 FILLMORE STREET
Hollywood FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2306
DATE:	05/05/22



Hugh Johnson
Digitally signed by
Hugh Johnson
Date: 2022.12.19
10:47:54 -05'00'

L-1



LANDSCAPE ROOF PLAN

NUMBER SYMBOL	NAME	COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant
CC	Coccothrinax	Florida silver palm	6' GA	Yes	7	Low
Shrubs and Groundcover						
DI	Dieffenbachia	African Vio	15" HT. X 18" SPRL 24" O.C.	No	26	Medium
CV	codium variegatum	Magnificent Croton	18" HT X 18" Spd. 24" O.C.	No	34	Medium
CG	Clusia guttifera	Clusia	36" HT X 20" Spd.	No	58	Medium

REVISION/DATE

ENVIROSCOPE

4132 SW 51 ST
Dania Beach FL 33314

MULTI-FAMILY DEVELOPMENT

2306 FILLMORE STREET
Hollywood FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2306_
DATE:	12/19/2022

N

SCALE 3/32"=1"

Hugh Johnson

Digitally signed by Hugh Johnson

Date: 2022.12.19 10:48:33 -05'00'

L-1

GENERAL PLANTING REQUIREMENTS

1-All sizes shown for plant material on the plans are to be considered Minimum.

2-All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

3-All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees".

4-All material shall be installed as per CSI specifications. All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

5-All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well-drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications. Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 30 bedding or groundcover plants.

6-All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

7-All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

8-All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source.

9-Each system shall be installed with a rain sensor.

10-It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods.

11-Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

12-All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

13-Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

14-All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of landscape Architect

15-The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

TREE RELOCATION

1) ROOT PREPARATION

A. Trees to be root pruned with clean, sharp equipment.

1. Maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices.

2. After root pruning, backfill with good rooting medium, fertilize with organic

fertilizer to promote root growth.

3. Mulch to reduce weeds, discourage foot traffic, conserve moisture, and minimize

temperature fluctuation.

B. Root Ball Size Chart: Root ball sizes shall be according to minimum standards

set forth in Grades and Standards for Nursery Plants Part II, Palms and Trees.

Florida Department of Agriculture.

1. Trees- Minimum Ball Sizes: DBH Minimum Ball Diameter

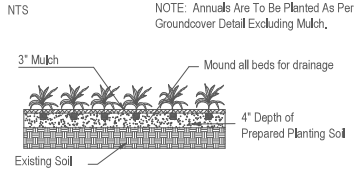
3-1/2" to 4" 28"

4" to 4-1/2" 30"

4-1/2" to 5" 32"

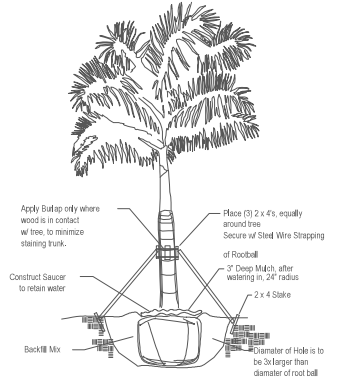
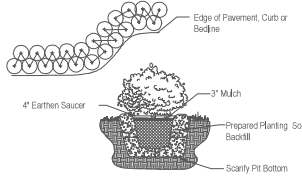
5" to 5-1/2" 34"

Larger sizes increase proportionally.



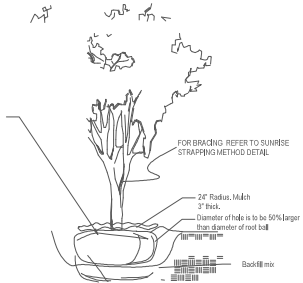
Shrub & Groundcover Planting Detail

Note: All Shrubs And Groundcover Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallel Rows Along Curved Edges.



Tree Planting Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



1. All Plants shall be Florida No. 1 or better.
2. Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
3. In the event that a certain specification is not able to be met, then contractor shall contact landscape architect to discuss alternatives.
4. Contractor shall be familiar w/ the City of Hollywood, FLORIDA landscape code and shall comply with all of its applicable requirements.
5. Contractor shall verify all quantities indicated at time of bid.
6. Contractor shall provide unit prices at time of bid.
7. All contractors working on the project shall be licensed and fully insured as required.
8. The Property Owner is responsible for replacement of all dead plant material & for maintenance of the required irrigation system.
9. Tree and palm staking shall be removed between 6 and 12 months.
10. All prohibited exotic vegetation shall be removed from the site and it shall be maintained free of exotics in perpetuity.
11. The review and approval of improvement plans does not authorize the construction of required improvements which are inconsistent w/ existing easements of record.
12. Contractor to verify underground utilities with "Sunshine State One Call of Florida" 800-432-4770.
13. Contractor to verify property lines and setbacks before construction.
14. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent.
15. All plant, trees, and palms shall be for guarantee 1 Year Warranty period begins at the time of project acceptance by the owner.
16. Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system

designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

17. Contractor shall maintain all plant material and beds must be kept weed free until accepted by owner.
18. Contractor shall maintain site in a clean fashion and shall remove any waste created by landscape installation construction.
19. All plant materials to be installed and maintained as per City of Hollywood and Broward County.
20. General/Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
21. General/Site contractor shall make certain all limerock and excessively compacted soils shall be removed from planting beds.
22. Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
23. If Landscape Contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
24. All slopes steeper than 4:1 shall be planted with native vegetation
25. No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
26. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
27. This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
28. For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
29. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.

REVISION/DATE

ENVIROSCOPE

4132 SW 51ST
Dania Beach FL 33314

MULTI-FAMILY DEVELOPMENT

2306 FILLMORE STREET
Hollywood FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2306L
DATE:	05/20/22



Hugh Johnson

Digitally signed by Hugh Johnson

Date: 2022.12.19 10:49:16 -05'00'

REVISION/DATE

ENVIROSCOPE
4132 SW 51 ST
Dania Beach FL 33314

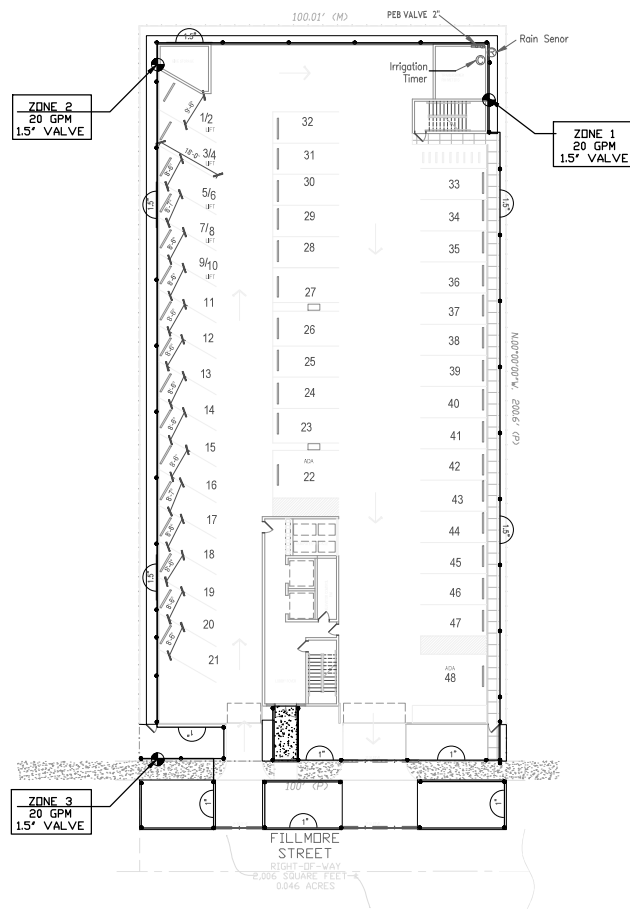
MULTI-FAMILY DEVELOPMENT
2306 FILLMORE STREET
Hollywood FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2306L
DATE:	02/02/22



Hugh Johnson
Digitally signed by
Hugh Johnson
Date: 2022.12.19
10:46:38 -05'00'

L-1



IRRIGATION LEGEND	
	2" IRRIGATION METER BY CITY FORCES AT OWNER EXPENSE
	2" PEB VALVE
	2" MASTER VALVE CONNECTION TO CONTROLLER
	WATER METER
	RAINBIRD RSD SERIES RAIN SENSOR ATTACHED TO CONTROLLER
	RainBird ESP Timer
	JUNCTION BOX W/ WATERPROOF CONNECTORS
	2" PVC MAIN SUPPLY LINE (20'-0")
	1 1/2" LATERAL LINE (20'-0")
	PIPE IN SLEEVE
	1 1/2" ELECTRIC VALVE/RAINBIRD PEB SERIES OR APPROVED EQUAL IN 10" VALVE BOX
	ZONE DESIGNATION

RAINBIRD 1800-PRS-W "U" SERIES NOZZLES	
	FULL
	THREE QUARTER
	HALF
	ONE QUARTER
	Rotor
	Bubbler
	CENTER STRIP
	PIPE SIZE
	END STRIP

IRRIGATION NOTES:

- The developer shall schedule a preconstruction meeting with the public works department planning, inspector via the engineering department inspector prior to the commencement of the irrigation work. The developer, its landscape architect, and its landscape contractor shall attend the meeting. The meeting shall be at a time and place acceptable to the inspector. The developer shall provide the landscape inspector with the contact information for its landscape architect, project manager, superintendent, and irrigation and landscape contractor at the meeting.
- Developer shall submit a complete materials list and associate catalogue cuts for all manufactured materials to be incorporated in the work to the public works department prior to start of construction. The submittal shall be in bound form.
- The work shall be constructed in accordance with the developers city approved plans, the city's irrigation and landscape standard drawings, the city approved irrigation and landscape materials list, the standard specification for public works construction, and these standards irrigation notes.
- Review and approval of the developers plans by the city does not warrant that the plans are accurate and complete. The developer is solely responsible for accuracy and completeness of its drawing.
- Irrigation plans are diagrammatic. The actual location of irrigation improvements shall be in planted areas where possible. Location of irrigation improvements are subjected to public works department approval prior to installation. Irrigation controllers shall be installed "outside" of irrigation coverage.
- All threaded fitting require Teflon tape.
- Above ground irrigation system are not permitted.
- Control wiring shall be color coded and labeled at the controller and all junctions.
- All trees and palms will have bubblers.
- Dedicated water and electrical services shall be provided for all irrigation systems and controllers. Contractor shall verify and coordinate locations of irrigation water services and irrigation controller electrical service location with other trades to ensure they correspond with irrigation water points of connection and controller location. Electrical and water feeds from private source are not allowed.
- Code Section 54.04 CONNECTION REQUIRED: (A) Where available, the owner of every lot or parcel of land within the city utility service district developed for public, commercial, office, industrial, warehousing and/or multifamily uses shall connect or cause to be connected, with the reclaimed water distribution system.

The diagram illustrates the installation of a rain sensor and a rain-actuated roof conduit. A rain sensor is mounted on a roof surface, connected to a rain-actuated roof conduit. The conduit runs along the roof edge and is connected to a rain sensor. The diagram includes a legend with the following items:

- 1. EDGE OF BUILDING
- 2. RAIN SENSOR (RAIN-SENSITIVE PIG-CON)
- 3. REMOTE ADAPTER (SLIP X FIFT)
- 4. 1/4-INCH CLASS 200 PVC PIPE
- 5. INSULATED HUB-ADAPTED PIPE JOINT (1 OF 2)
- 6. (1 OF 2) SLIP X SLIP
- 7. RY CL (SLIP X SLIP)
- 8. WIRE TO IRRIGATION CONTROLLER

The diagram shows the rain sensor connected to the rain-actuated roof conduit, which is then connected to the rain sensor. The conduit is shown running along the roof edge and is connected to the rain sensor. The diagram includes a legend with the following items:

- 1. EDGE OF BUILDING
- 2. RAIN SENSOR (RAIN-SENSITIVE PIG-CON)
- 3. REMOTE ADAPTER (SLIP X FIFT)
- 4. 1/4-INCH CLASS 200 PVC PIPE
- 5. INSULATED HUB-ADAPTED PIPE JOINT (1 OF 2)
- 6. (1 OF 2) SLIP X SLIP
- 7. RY CL (SLIP X SLIP)
- 8. WIRE TO IRRIGATION CONTROLLER

CHOOSE ONE OF THE FOLLOWING OPTIONS BY TURNING ON THE APPROPRIATE LATERALS

OPTION-NO	OPTION-NO	OPTION-NO
FINISH GRADE	OPTION-50	OPTION-50
MOTOR POP-UP SPRINKLER K&H BRND 800	OPTION-51	OPTION-51
PVC-ARMED TUB SPRING JOINT WITH 1/2" PSI PRESSURE REGULATOR	OPTION-52	OPTION-52
PIPE-SHOCK JOINT OR ELL	OPTION-53	OPTION-53
LATERAL PIPE	OPTION-54	OPTION-54

SELECT THE DESIRED BRND JOINT BY TURNING ON THE APPROPRIATE LATERALS

OPTION-NO	OPTION-NO	OPTION-NO
OPTION-50	OPTION-51	OPTION-51
ANG. ELDER TEE-T-80-SI-LEADER	OPTION-52	OPTION-52
TEE-T-80-SI-BUMBLE	OPTION-53	OPTION-53
MAN. BRND. JOINT-W/1/2" PSI	OPTION-54	OPTION-54
ANG. ELDER	OPTION-55	OPTION-55
TEE-T-80-SI-T-80-SI-LEADER	OPTION-56	OPTION-56
ANG. ELDER	OPTION-57	OPTION-57
TEE-T-80-SI-T-80-SI-LEADER	OPTION-58	OPTION-58
ANG. ELDER	OPTION-59	OPTION-59

TURN ON THE APPROPRIATE BOX, TURN OFF LATER, INSTANTLY-CLOSE

1. SPRAY GUN BODY (20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 8

[illegible]

1 Ram Bird PRS-Dial Pressure regulator
2 9V DC latching solenoid
3 Ram Bird waterproof wire connector
4 2 x 1.5 mm² cable
5 Manual valve

PGA VALVE + PRS-DIAL + TBOS-II

[illegible]

△	REVISION / DATE

ENVIROSCAPE
4132 SW 51 ST
Dania Beach FL 33314

MULTI-FAMILY DEVELOPMENT
2306 FILLMORE STREET
Hollywood FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2308
DATE:	12/8/2022

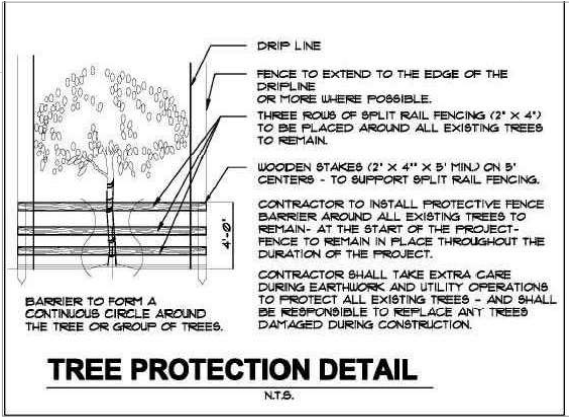


Hugh
Johnson
Digitally signed by
Hugh Johnson
Date: 2022.12.19
10:47:11-05'00'

IR-2

TREE DISPOSITION LIST Rahim Vedaee: Certified Arborist FL-9609A											
SURVEY #	KEY	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)	HEIGHT (FT)	SPREAD (FT)	CANOPY (S.F.)	CLEAR TRUNK (FT)	CONDITION (%)	DISPOSITION	MITIGATION
	1	Sabal Palm	<i>Sabal palmetto</i>	10	12	10	78.5	4	Fair	Remove	Undersize
	2	Mango	<i>Mangifera indica</i>	7	25	16	201.0		58%	Remove	7" Caliper
	3	Carrotwood	<i>Cupaniopsis anacardioides</i>							Remove	Invasive
	4	Weeping Fig	<i>Ficus benjamina</i>	24	40	25	490.6		47%	Remove	24" Caliper
	5	Brazilian pepper	<i>Schinus terebinthifolia</i>				0.0			Remove	Invasive
	6	Winnemac Tongue	<i>Alhira lehhewi</i>							Remove	Invasive
	7	Norfolk Island Pine	<i>Araucaria heterophylla</i>	19	50	18	254.3		50%	Remove	19" Caliper
	8	Coconut Palm	<i>Cocos nucifera</i>	9	30	20	314.0	18	Good	Remove	1 Palm

Total Mitigation to be 50 Caliper inches and 1 Palm



Note: All undeveloped portions of a parcel of land shall be left undisturbed or planted with ground cover or lawn as to leave no exposed soil in order to prevent dust or soil erosion.

REVISION	DATE

ENVIROSCOPE

4132 SW 51 ST
Dania Beach FL 33314

MULTI-FAMILY DEVELOPMENT

2306 FILLMORE STREET
Hollywood FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2306L
DATE:	12/19/2022

N

SCALE 3/32"=1'

Hugh Johnson

Digitally signed by Hugh Johnson
Date: 2022.12.19 10:49:58 -05'00'

L-1