

# ATTACHMENT A

## Application Package

## PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer)

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: 901 S State Road 7, Hollywood, FL 33023

Lot(s): 1,2,3 Block(s): 1,2 Subdivision: West Hollywood Villas/

Folio Number(s): 5141 24 15 0010 Redfield Acres

Zoning Classification: S-MU Land Use Classification: TOC

Existing Property Use: Vacant Office/Drive-through Bank Building Sq Ft/Number of Units: 47,577

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: Review and approval for the proposed redevelopment of the existing site into an AutoZone autoparts retail store and distribution center

Number of units/rooms: 1 Sq Ft: +/-30,000

Value of Improvement: \$735,700 Estimated Date of Completion: 12/2023

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: VRD AT HOLLYWOOD, LLC

Address of Property Owner: 8001 LBJ FREEWAY STE 400, Dallas, TX 75251

Telephone: 214-817-1124 Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant Representative Tenant (circle one): Dwayne Dickerson

Address: 14 S.E. 4th Street, Suite 36, Boca Raton, FL 33432 Telephone: 561-405-3336

Fax: \_\_\_\_\_ Email Address: ddickerson@dmblaw.com

Date of Purchase: 1/23/2017 Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_



# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION

## CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: VRD at Hollywood, LLC Bobby D Roberts Date: 5/13/22  
*manager*

PRINT NAME: Bobby DAN Roberts Date: 5/13/22

Signature of Consultant/Representative: Dwayne L Dickerson Date: 5/16/2022

PRINT NAME: Dwayne L. Dickerson, Esq Date: 5/16/22

Signature of Tenant: Wade Davis Date: 6.14.22

PRINT NAME: WADE DAVIS Date: 6.14.22

### Current Owner Power of Attorney

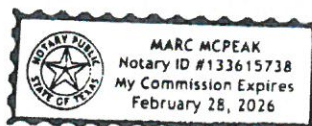
I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan and plat approval to my property, which is hereby made by me or I am hereby authorizing Dwayne L. Dickerson, Esq. to be my legal representative before the TAC and Planning (Board and/or Committee) relative to all matters concerning this application. Development Board

Sworn to and subscribed before me this 16<sup>th</sup> day of May 2022

Notary Public

State of Florida

My Commission Expires: 2/28/26 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



Bobby D Roberts  
Signature of Current Owner

Bobby DAN Roberts  
Print Name



December 28, 2021

Maxwell Kaplan, P.E.  
Thomas Engineering Group, LLC  
6300 Northwest 31 Avenue  
Fort Lauderdale, Florida 33309

*Via Email Only*

Dear Mr. Kaplan:

Re: Platting requirements for a parcel legally described as a portion of Lots 1-2, Block 1, "Redfield Acres," according to the Plat thereof, as recorded in Plat Book 16, Page 58, of the Public Records of Broward County, Florida; together with all of Lot 1 and a portion of Lot 2, Block 1, "West Hollywood Villas," according to the Plat thereof, as recorded in Plat Book 30, Page 47, of the Public Records of Broward County, Florida; together with the 15-foot vacated alley adjacent to said Lots; less portions for right-of-way purposes. This parcel is generally located on the southeast corner of Washington Street and State Road 7/U.S. 441, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would be required** by Policy 2.13.1 of the Broward County Land Use Plan for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or multi-family development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 2.8 acres), but it does not meet the specifically delineated requirement. A lot or parcel which has been specially delineated in a recorded plat is one which can be described solely by reference to a plat and one or more identifying numbers such as a block and lot number. For example, Lot 5, Block 3, of John Doe Subdivision. The description of "a portion of Lots 1-2, Block 1 and a portion of Lot 2, Block 1" are examples of parcels which are not specifically delineated.



Maxwell Kaplan  
December 28, 2021  
Page Two

Planning Council staff notes that when a specifically delineated parcel (i.e., all of Lot 1, Block 1, "West Hollywood Villas") is combined with land which has been included in a plat recorded before June 4, 1953, but not specifically delineated (i.e., a portion of Lots 1-2, Block 1, "Redfield Acres" and a portion of Lot 2, Block 1, "West Hollywood Villas") or vacated right-of-way (i.e. the 15-foot vacated alley adjacent to said Lots), Policy 2.13.1 of the Broward County Land Use Plan does not require replatting if the specifically delineated portion of the parcel constitutes the majority of the enlarged parcel; **in this case the specifically delineated portion does not constitute a majority of the enlarged parcel; therefore, replatting would be required.**

It is recommended that you contact Broward County's Urban Planning Division at 954-357-6666, regarding the platting process.

The contents of this letter are not a judgment as to whether this development proposal complies with the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the Broward County Land Use Plan, including concurrency requirements.

If you have any additional questions concerning the Broward County Land Use Plan's platting requirements, please contact Christina Evans, Planner, at your convenience.

Respectfully,



Barbara Blake Boy  
Executive Director

BBB:CME

cc/email: Dr. Wazir Ishmael, City Manager  
City of Hollywood

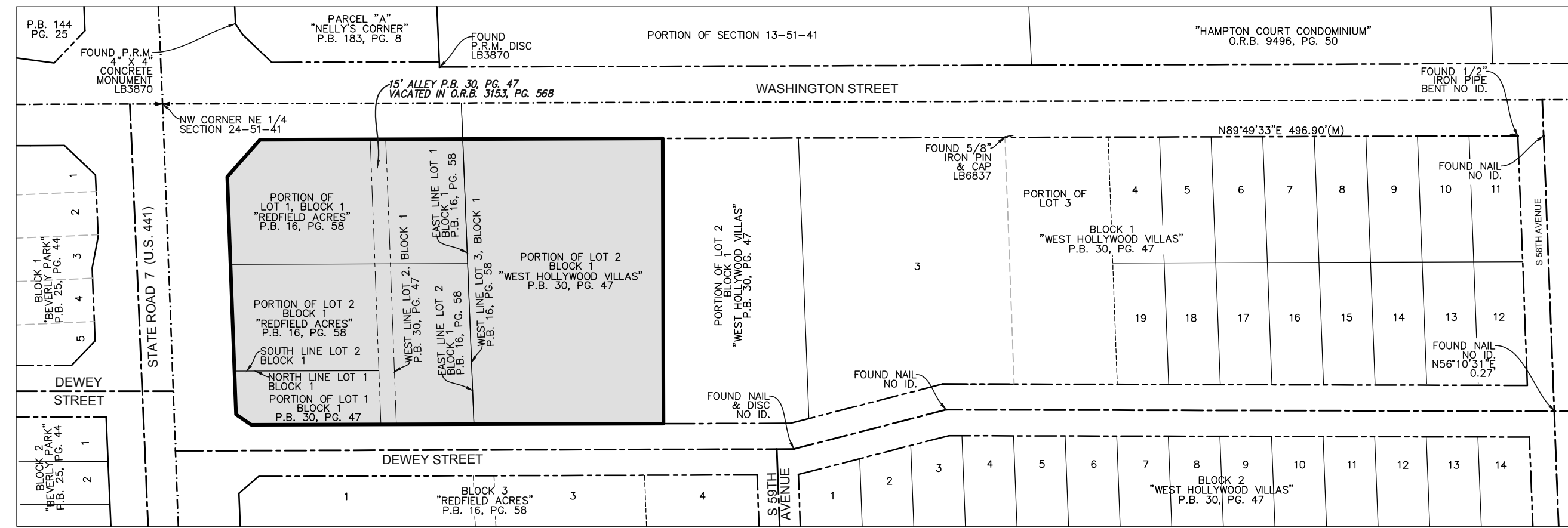
Shiv Newaldass, Director, Development Services  
City of Hollywood



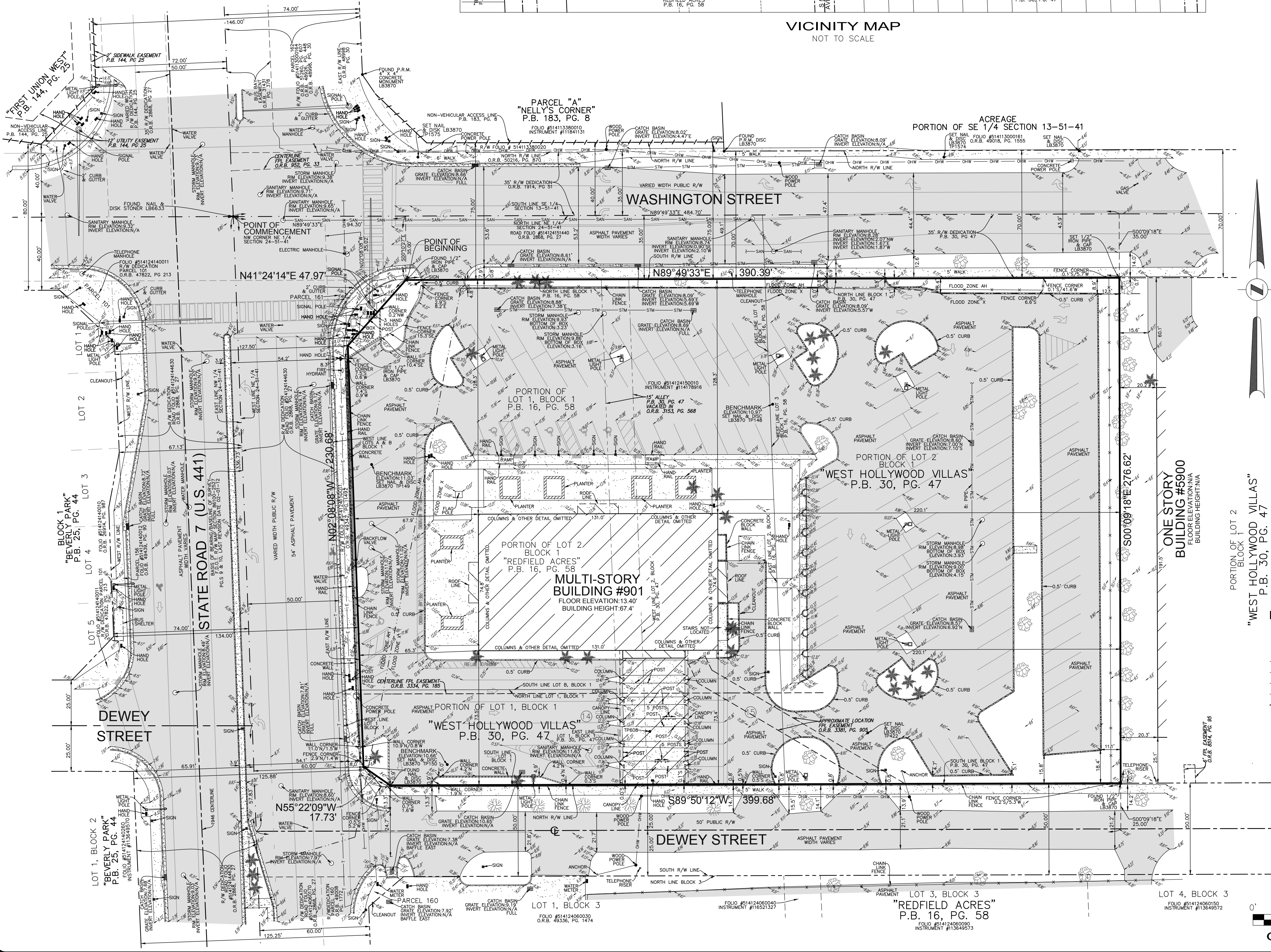
A PORTION OF LOTS 1 AND 2, BLOCK 1, AND THE ALLEY ADJACENT THERETO, "WEST HOLLYWOOD VILLAS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND A PORTION OF LOTS 1 AND 2, BLOCK 1, "REDFIELD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 58, OF SAID PUBLIC RECORDS, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 51 NORTH, RANGE 41 EAST; THENCE NORTH 89°49'33" EAST ON THE NORTH LINE OF SAID NORTHEAST 1/4 FOR 94.30 FEET; THENCE S89°49'33" EAST 127.62 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHEAST 1/4; THENCE SOUTH 89°50'12" WEST ON THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET AS SHOWN ON SAID "WEST HOLLYWOOD VILLAS" 390.39 FEET; THENCE SOUTH 00°09'18" EAST 276.62 FEET TO A POINT ON THE SOUTH LINE OF SAID BLOCK 1, 1/4 SECTION 24, TOWNSHIP 51 NORTH, RANGE 41 EAST; THENCE SOUTH 89°50'12" WEST 127.62 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTH LINE AND SAID NORTH RIGHT-OF-WAY LINE 399.68 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 7 (U.S. 441), AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, SECTION 86100-2527; THENCE ON SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 89°50'12" WEST 127.62 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTH LINE; THENCE SOUTH 89°50'12" WEST 230.68 FEET; 3) NORTH 1°42'24" EAST 47.97 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 115,134 SQUARE FEET (2.6431 ACRES), MORE OR LESS.



VICINITY MAP  
NOT TO SCALE



LOTS ONE (1) AND TWO (2) AND LOT THREE (3) LESS THE EAST 100 FEET THEREOF, IN BLOCK ONE (1) OF WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 30, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOTS ONE (1) AND TWO (2) IN BLOCK ONE (1) OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER OF SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, RUN EAST 50 FEET ALONG THE SECTION LINE, THENCE RUN SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 35 FEET TO A POINT OF BEGINNING, THENCE CONTINUE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN EASTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING, AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN WESTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING.

LESS

A PORTION OF LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 47 AND A PORTION OF LOTS 1 AND 2, BLOCK 1, PLAT OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 2277741, SECTION NO. 86100-2527 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS; THENCE NORTH 02°08'98" WEST ALONG THE EASTERLY EXISTING RIGHT OF WAY LINE FOR SAID STATE ROAD 7 (U.S. 441), A DISTANCE OF 276.70 FEET TO A POINT ON THE SOUTHERLY EXISTING RIGHT OF WAY LINE FOR WASHINGTON STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE NORTH 89°49'33" EAST ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 43.07 FEET; THENCE SOUTH 41°24'14" WEST, A DISTANCE OF 47.97 FEET; THENCE SOUTH 02°08'08" EAST, A DISTANCE OF 230.67 FEET; THENCE SOUTH 55°22'09" EAST, A DISTANCE OF 172.12 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ALSO BEING A POINT ON THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR DEWEY STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE SOUTH 89°50'12" WEST ALONG SAID SOUTH LINE AND SAID NORTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 24.22 FEET TO THE POINT OF BEGINNING.

ALSO, LESS THAT PART CONVEYED MARCH 18, 2019 IN INSTRUMENT NO. 115680475, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

- 1) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #S-312; ELEVATION: 8.60'.
- 2) FLOOD ZONE: AH/X; BASE FLOOD ELEVATION: 10'/NONE; PANEL #2011005646; COMMUNITY #125113; MAP DATE: 08/18/14.
- 3) APPROXIMATE LOCATION OF FLOOD ZONE LINE IS DEPICTED HEREON.
- 3) THIS SITE LIES IN SECTION 24, TOWNSHIP 51 SOUTH, RANGE 14 EAST, BROWARD COUNTY, FLORIDA.
- 4) BEARINGS ARE BASED ON NAD88 (1990 ADJUSTMENT) WITH AN ASSUMED MERIDIAN WITH THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET BEING N89°49'33"E.
- 5) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 6) THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: VROD AT HOLLYWOOD.
- 7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
- 8) THIS SITE CONTAINS AN EASEMENT PARKING SPACES (133 REGULAR & 6 DISABLED).
- 9) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
- 10) ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
- 11) THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE OF THE SURVEYOR AND A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 12) THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO.: 2021-5481594, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED 4/04/2022 AT 8:00 AM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B-II OF SAID COMMITMENT:  
ITEMS 1, 2, 3, 4, 5, 6, 7, & 8: STANDARD EXCEPTIONS, NOT ADDRESSED.  
ITEM 9: MORTGAGE RECORDED IN INSTRUMENT #115873157 AND MODIFICATION AGREEMENT IN INSTRUMENT #117401444 APPLY TO THIS SITE BUT ARE NOT PLOTTABLE.  
ITEM 10: FINANCING STATEMENT IN INSTRUMENT NO. 114350123 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.  
ITEM 11: RESERVATIONS CONTAINED IN DEED RECORDED IN DEED BOOK 36, PAGE 58, AS MODIFIED BY RELEASES IN BOOK 1685, PAGE 492 AND IN BOOK 1438, PAGE 472 DO NOT APPLY TO THIS SITE.  
ITEM 12: RESERVATIONS CONTAINED IN DEED RECORDED IN DEED BOOK 198, PAGE 191 AND IN DEED BOOK 49, PAGE 213, MIAMI-DADE COUNTY PUBLIC RECORDS AS MODIFIED BY RELEASE IN BOOK 1685, PAGE 137 AFFECT THE SUBJECT PROPERTY BUT ARE NOT PLOTTABLE.  
ITEM 13: RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF WEST HOLLYWOOD VILLAS AS RECORDED IN PLAT BOOK 30, PAGE 47 AS MODIFIED BY ORDINANCE IN O.R.B 3153, PAGE 588 AFFECT THE SUBJECT SITE, AND ALL PLOTTABLE ITEMS ARE DEPICTED HEREON.  
ITEM 14: EASEMENT TO FLORIDA POWER & LIGHT COMPANY IN BOOK 3334, PAGE 185, AS AFFECTED BY SUBORDINATION OF UTILITY INTERESTS IN BOOK 48108, PAGE 1085 APPLIES TO THIS SITE AS DEPICTED HEREON.  
ITEM 15: EASEMENT TO FLORIDA POWER & LIGHT COMPANY IN BOOK 3381, PAGE 905 APPLIES TO THIS SITE AS DEPICTED HEREON.  
ITEM 16: EASEMENT TO FLORIDA POWER & LIGHT COMPANY IN BOOK 8514, PAGE 95 DOES NOT APPLY TO THIS SITE.  
ITEM 17: COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN RESOLUTION NO. 10-V-66 IN BOOK 47544, PAGE 1860, AFFECTS THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE.  
ITEM 18: TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND PROVISIONS LEASE WITH THE BANK OF AMERICA, N.A. AS A RESOLUTION OF THE BOARD OF DIRECTORS OF THE BANK OF AMERICA, N.A. IN BOOK 1440, PAGE 1440 DO NOT APPLY TO THIS SITE.  
ITEM 19: TEMPORARY EASEMENT TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 49342, PAGE 1495 DOES NOT APPLY TO THIS SITE AS IT EXPIRED JULY 2018.  
ITEM 20: PLANNING AND ZONING BOARD RESOLUTION NO. 17-DP-09 IN INSTRUMENT NO. 114746286 APPLIES TO THIS SITE BUT IS NOT PLOTTABLE.  
ITEM 21: EASEMENT TO FLORIDA POWER & LIGHT COMPANY EASEMENT IN INSTRUMENT NO. 114931986 DOES NOT APPLY TO THIS SITE.  
ITEM 22: FLORIDA POWER & LIGHT COMPANY EASEMENT IN INSTRUMENT NO. 114970280 DOES NOT APPLY TO THIS SITE.  
ITEM 23: NOT REVIEWED

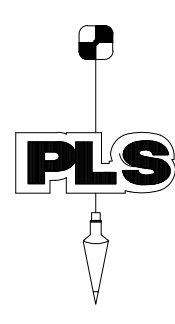
CERTIFICATION:

I HEREBY CERTIFY: THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

- ☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691  
☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274  
☐ DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290  
STATE OF FLORIDA

5			<b>VICTORY AT HOLLYWOOD SIT</b> 901 SOUTH STATE ROAD 7 HOLLYWOOD, BROWARD COUNTY FLORIDA 33023
4			
3			
2			
1			
NO.	REVISIONS	BY	

## BOUNDARY AND TOPOGRAPHIC SURVEY



**PULICE LAND SURVEYORS, INC.**

5381 NOB HILL ROAD

SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777

FAX: (954) 572-1778  
 Mail: [enquiries@judicialenquiries.org](mailto:enquiries@judicialenquiries.org)

WEBSITE: [www.pulicelandsurveyors.com](http://www.pulicelandsurveyors.com)

CERTIFICATE OF AUTHORIZATION LB#3

© 2004 Blackwell Publishing Ltd, *Journal of Internal Medicine* 255: 105–112

30'	CLIENT: VROD AT H
-----	-------------------

1/20/22 ORDER NO.:

DRAWN BY: B.E./J.S

CHECKED BY: J.F.P.

SCALE: 1" = 30'

SURVEY DATE: 7/20/22

CLIENT: VROD AT HOLLYWOOD

ORDER NO.: 69889







## PROJECT NOTES

A. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

B. WATER AND SEWER UTILITY PROVIDER FOR THIS PROJECT IS THE CITY OF HOLLYWOOD UTILITY DEPARTMENT.

## GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION UNLESS NOTED OTHERWISE IN THE PLANS. SHOULD A CONFLICT EXIST BETWEEN THE PLANS AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE MORE STRINGENT SHALL APPLY.

2. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

-RECORD SURVEY PREPARED BY LANDMARK SURVEYING & ASSO., INC., DATED 12/13/2021

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HESHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

3. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.), FLORIDA ACCESSIBILITY CODE (LATEST EDITION) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

5. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

7. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING GROUP BY THE OWNER AND OTHERS. PRIOR TO COMMENCEMENT OF ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THOMAS ENGINEERING GROUP, LLC IN WRITING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR RE-WORK FOR FAILURE TO VERIFY EXISTING CONDITIONS.

9. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR RE-WORK DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS.

10. CONTRACTOR SHALL UTILIZE THE ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY CONNECTION LOCATIONS AND ELEVATIONS. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES IN WRITING PRIOR TO COMMENCEMENT OF WORK IF THERE ARE ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ARCHITECTURAL BUILDING PLANS. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR RE-WORK AFTER COMMENCEMENT OF WORK.

11. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

12. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED. NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE. EMPLOYERS' LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (GSL). ALL CONTRACTORS MUST HAVE THEIR GCL POLICIES ENDORSED TO NAME THOMAS ENGINEERING GROUP, LLC AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH THOMAS ENGINEERING GROUP, LLC WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THOMAS ENGINEERING GROUP, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

19. THOMAS ENGINEERING GROUP, LLC WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE

ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THOMAS ENGINEERING GROUP'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THOMAS ENGINEERING GROUP, LLC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THOMAS ENGINEERING GROUP, LLC WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION. IN WRITING, BY THE CONTRACTOR. THOMAS ENGINEERING GROUP, LLC WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF THOMAS ENGINEERING GROUP, LLC NOR THE PRESENCE OF THOMAS ENGINEERING GROUP, LLC OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THOMAS ENGINEERING GROUP, LLC AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THOMAS ENGINEERING GROUP, LLC SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIABILITY INSURANCE.

22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

23. CONTRACTOR IS RESPONSIBLE FOR DESIGNING, SEQUENCING AND PROVIDING REQUIRED MAINTENANCE AND PROTECTION OF TRAFFIC (M.O.T.) FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL. VEHICULAR AND PEDESTRIAN WITHIN THE RIGHT-OF-WAY OR ON SITE. M.O.T. SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) OR OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION REQUIREMENTS. THE COST FOR M.O.T. SHALL BE INCLUDED IN THE CONTRACT PRICE.

24. CONTRACTOR SHALL CONFIRM THAT LAYOUT OF SIDEWALKS AND PARKING AREAS MEET THE APPLICABLE ADA ACCESSIBILITY REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO ADDITIONAL COMPENSATION FOR REWORK SHALL BE PROVIDED FOR FAILURE TO NOTIFY ENGINEER PRIOR TO COMMENCEMENT OF WORK OF ANY DISCREPANCIES.

25. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

26. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED) PRIOR TO CERTIFICATE OF OCCUPANCY. THESE EASEMENTS SHALL BE SKETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE CONTRACTOR.

27. CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO ENGINEER AND APPLICABLE AGENCIES FOR SCHEDULING INSPECTIONS.

28. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND APPLICABLE GOVERNMENTAL AGENCIES HAVING JURISDICTION FOR THE FOLLOWING: CATCH BASINS, FIRE HYDRANTS, VALVES, AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

29. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.

30. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

31. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION FROM THE GOVERNMENTAL AGENCY HAVING JURISDICTION.

32. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE, ALL RESTORED TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC ENGINEERING STANDARDS.

33. CONTRACTOR SHALL REMOVE ORGANICS AND/OR DELETERIOUS MATERIAL WHERE ENCOUNTERED AND REPLACE WITH SUITABLE FILL. ORGANICS MAY BE REUSED TO GRADE LANDSCAPE AREAS.

## SANITARY SEWER NOTES:

A. GENERAL:

1. COMPLY WITH THE STANDARDS, DETAILS AND SPECIFICATIONS OF THE UTILITY PROVIDER OR GOVERNMENTAL AGENCY HAVING JURISDICTION. SHOULD A CONFLICT EXIST BETWEEN THOSE REQUIREMENTS AND THESE PLANS AND NOTES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.

2. DISTANCE AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

B. MATERIALS:

1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLY(VINYL CHLORIDE) (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS. (24" SHALL BE DR-25).

2. DUCTILE IRON PIPE (DIP) SHALL BE CEMENT OR POLYUNED INSIDE AND HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C151A(21.51-86 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 52 (4'-12") SPECIFIED).

3. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.

C. INSTALLATION:

1. PIPE AND FITTINGS:

a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2221; AND THE UN-BELL PLASTICS PIPE INSTALLATIONS' RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE".

b. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-93 OR LATEST REVISION, c. BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF ENGINEER AND THE UTILITY PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

2. SERVICE:

a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE FLORIDA BUILDING CODE.

b. SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE OR AS INDICATED ON PLUMBING PLAN.

c. EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.

d. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE PAINTED RED, EXTENDING 18"MIN ABOVE GRADE.

e. CONTRACTOR SHALL ROUGH IN TRENCH TO 1 FOOT ABOVE FINISHED GRADE AND PLUG AT PROJECT COMPLETION, OUT TO BOTTOM TO FINISHED GRADE.

f. CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING AND ZONING DEPARTMENT, PLUMBING SECTION.

D. TESTING:

1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.

2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.

3. MAN-HOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE LEAKAGE ALLOWED.

4. SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER HOUR IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.

5. SANITARY SEWER SHALL BE TELEVISED AND LAMPED, PRIOR TO FINAL ACCEPTANCE. OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY. VISIBLE INFILTRATION LEAKAGE INTO MANHOLES AND SEWER PIPE SHALL NOT BE PERMITTED.

## WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN SYSTEM

A. GENERAL:

1. COMPLY WITH THE STANDARDS, DETAILS AND SPECIFICATIONS OF THE UTILITY PROVIDER OR GOVERNMENTAL AGENCY HAVING JURISDICTION. SHOULD A CONFLICT EXIST BETWEEN THOSE REQUIREMENTS AND THESE PLANS AND NOTES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.

2. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS, FOR THE WATER AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE UTILITY PROVIDER AND RELEASED TO BE PLACED IN TO SERVICE BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION OR AN ENTITY WHICH HAS RELEGATED ITS AUTHORITY.

3. BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 1" IN DIAMETER.

4. USE "DETECTO" TAPE ON ALL PVC MAINS (18" ABOVE), AND USE "NON-DETECTO" TAPE ON ALL D.I.P. MAINS (18" ABOVE).

5. A SIX (6) FOOT HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND OBSTRUCTIONS (I.E. CATCH BASINS, POWER POLES, INCLUDING TREES, & WATER MAINS, ETC.).

6. NO VALVES, METERS, FIRE HYDRANTS, CLEANOUTS, MANHOLES OR OTHER UTILITY APPURTENANCES ARE TO BE PLACED IN, OR ADJACENT TO, SIDEWALKS, CURBS, PARKING SPACES OR OTHER SUCH SITE FEATURES SO AS TO PRESENT A HAZARD OR RESTRICT THE MAINTENANCE OR OPERATION OF THE UTILITY INFRASTRUCTURE.

B. MATERIALS:

1. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE & CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND BITUMINOUS COATED OUTSIDE. WATER MAIN & EPOXY LINED & COATED. FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C151A(21.51-91 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 350 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.

2. ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSI/AWWA C900-89 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).

3. FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSI/AWWA C1104(10-93 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS. ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS.

4. VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C508-97 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.

a. GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2360-20, RESILIENT SEATED GATE VALVES SHALL BE AMERICAN 500/2500 LINE OR CLOW F-8100, CONFORMING TO ANSI/AWWA C508-97.

b. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.

c. GATE VALVES 3" OR LESS SHALL BE N800 T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.

5. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.

6. VALVE BOXES SHALL BE TYLER/UNION 461-S OR APPROVED EQUAL.

7. RETAINER GLANDS SHALL CONFORM TO ANSI/AWWA C111A(21.11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING CLOW CORPORATION MODEL F-1059 OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

8. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.

9. FIRE HYDRANTS SHALL HAVE A 5/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TIE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSI/AWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE MUELLER CENTURION OR AMERICAN DAWLING BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.

10. PIPE COLOR CODING REQUIREMENT SHALL CONFORM TO 62-555.320(21) (b), (3), F.A.C.

C. SERVICE CONNECTION:

1. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

2. CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.

3. METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-62. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING SEAL AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

4. SERVICE PIPING SHALL BE TYPE "K" DRAWN COPPER.

D. INSTALLATION:

1. GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:

a. METHOD A: A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.

b. METHOD B: A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.

c. METHOD C: A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.

2. BEDDING:

BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE ENGINEER AND UTILITY PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

3. PVC PIPE:

a. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UN-BELL PLASTIC PIPE ASSOCIATIONS GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.

b. PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER.

c. DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" ABOVE THE PIPE, COLOR SIDE UP.

4. DUCTILE PIPE:

a. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-99 OR LATEST REVISION.

b. D.I.P. SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.

c. "NON-DETECTO" TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL D.I.P. MAINS APPROXIMATELY 18" ABOVE THE MAIN COLOR SIDE UP.

5. VALVES:

a. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER, A BRASS DISK INDICATING, SIZE, TYPE, KIND & OPERATOR INSTRUCTIONS SHALL BE INSTALLED ADJACENT TO VALVE BOX.

b. MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.

c. MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO THE MAIN AS POSSIBLE. VALVES LOCATED IN NON-PAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT, WHITE REFLECTORS FOR THE WATER MAIN VALVES, GREEN REFLECTORS FOR FORCE MAIN VALVES.

d. THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.

6. SERVICE:

a. COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 30" UNDER PAVEMENT.

b. SERVICES UP TO 12" SHALL BE TYPE "K" COPPER.

c. METER STOPS SHALL HAVE 8" TO 10" COVER AS REQUIRED FOR PROPER METERBOX INSTALLATION.

d. WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2' BEYOND THE EDGE. SLEEVE DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.

e. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE, PAINTED BLUE EXTENDING 18" (MINIMUM) ABOVE GRADE UNLESS INDICATED OTHERWISE.

E. TESTING:

1. BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION, THE PRESSURE TEST SHALL NOT VARY MORE THAN ±5.0 P.S.I. DURING THE TEST.

2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY PROVIDER AND THE ENGINEER OF RECORD.

3. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSI/AWWA C651-05, 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS.

4. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1,000' MAXIMUM FOR LINES GREATER THAN 1,500' IN LENGTH. PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS OR THE AGENCY WHICH IT HAS RELEGATED ITS AUTHORITY.

5. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = S D P^{.65} \\ 148.000$$

IN WHICH:

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR  
S = LENGTH OF PIPE (LINEAR FEET)  
D = NOMINAL DIAMETER OF PIPE (INCHES)  
P = THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH)

## SEPARATION OF WATER AND SEWER MAINS

A. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF THE WASTEWATER MAIN WHENEVER POSSIBLE. WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.

ALL CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING), WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.

B. A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SLOPE LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS). A MINIMUM 6-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL OBSTRUCTIONS INCLUDING TREES.

C. ALL DIP SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE ENGINEER.

## STORM DRAINAGE:

A. GENERAL:

1. CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.

2. DISTANCES AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

3. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE GRADING ADJACENT TO BUILDINGS COMPLY WITH FBC SECTION 1804.3 AND PROVIDE POSITIVE DRAINAGE FLOW TO THE SITE DRAINAGE SYSTEM. CONTRACTOR SHALL INSTRUCT SUB-CONTRACTORS (SITE, LANDSCAPE, ETC.) OF THE SAME. SHALLOW SWALES MAY BE NEEDED IN CERTAIN INSTANCES.

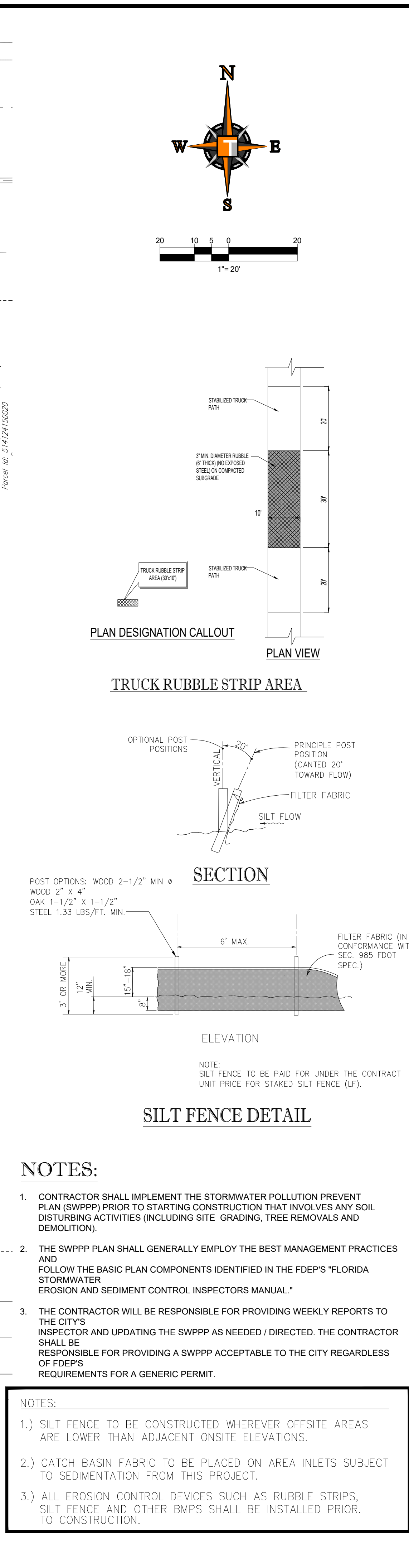
B. MATERIALS:

1. ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-294 LATEST REVISIONS. ALL PIPING TO BE NON-PERFORATED TUBING.

2. ALL YARD DRAIN BASINS ARE TO BE HIGH DENSITY POLYETHYLENE PRODUCT AND SHALL MEET ASTM LATEST MINIMUM STANDARDS.

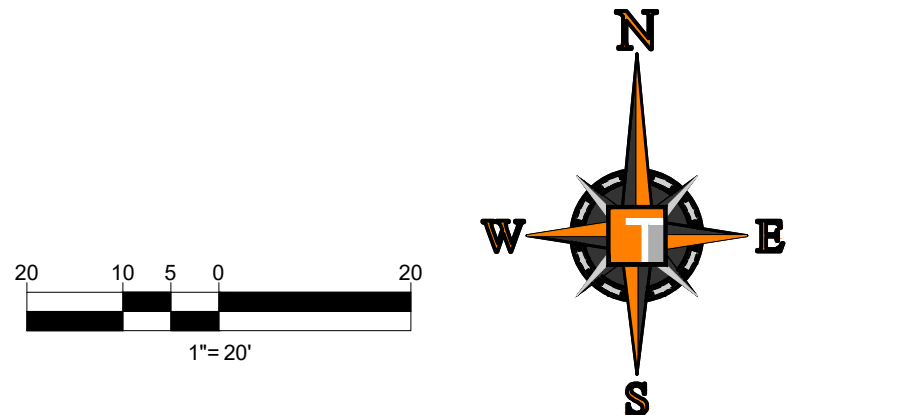
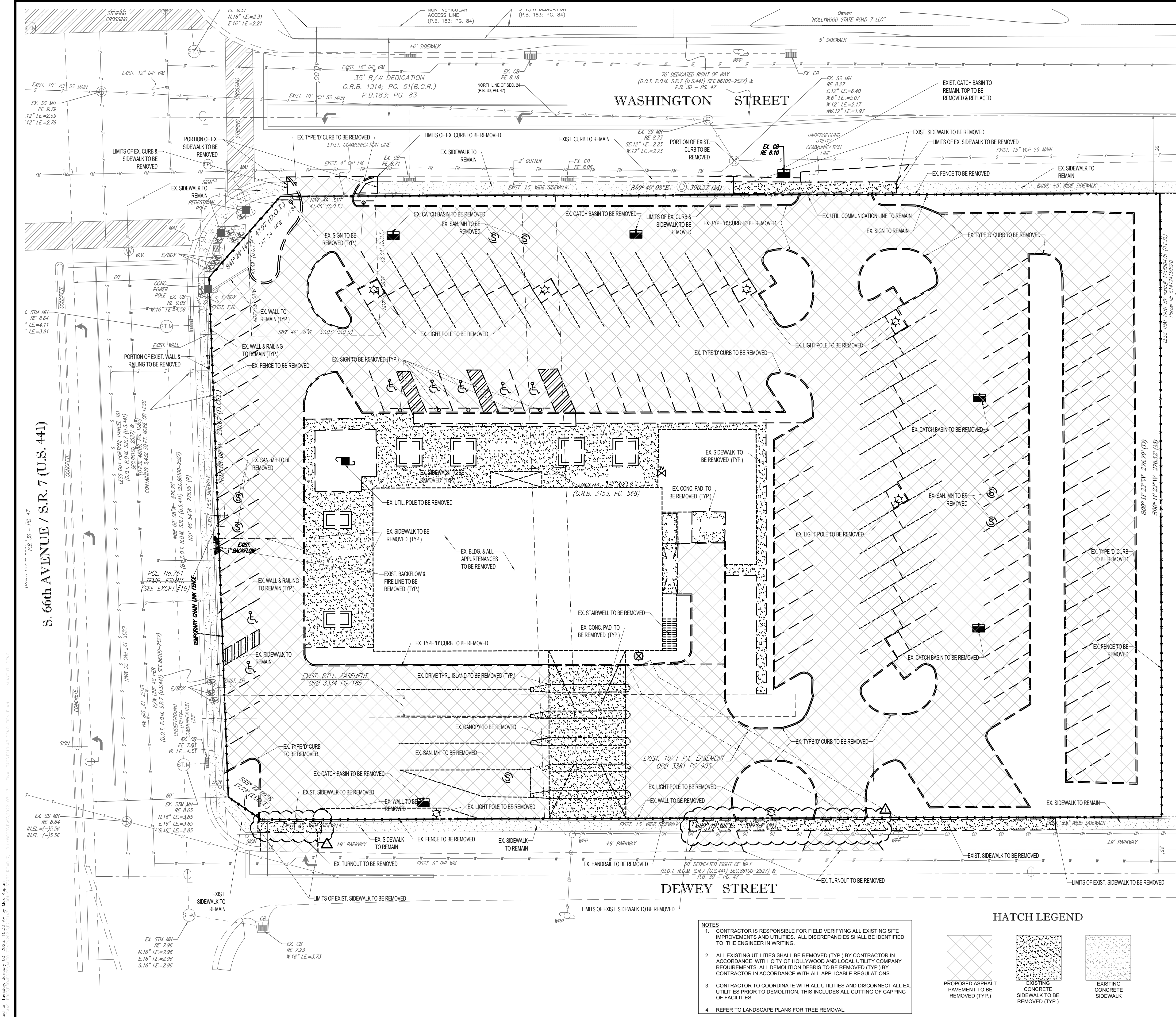
3. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C478 AND 84T UNLESS OTHERWISE NOTED IN THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICK





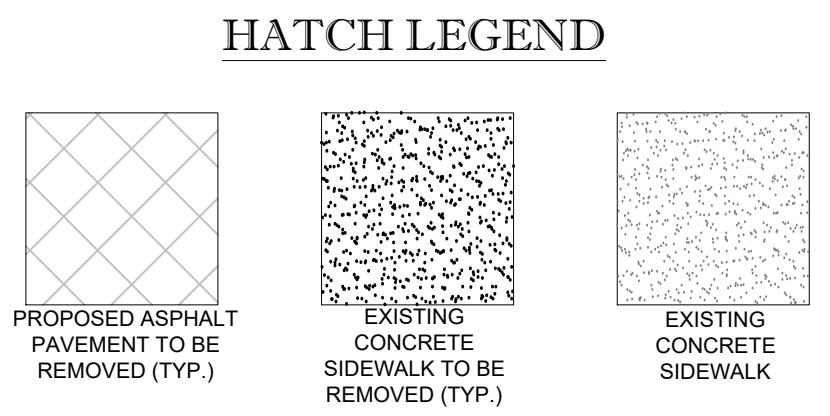
Maxwell T. Kaplan, State of Florida, Professional Engineer, License No. 83366. This item has been electronically signed and sealed by Maxwell T. Kaplan, P.E. on 1/2/2023 using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.





- DEMOLITION NOTES:**
- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:  
LANDMARK SURVEYING & ASSOC., INC.  
1435 SW 87TH AVE SUITE 201  
MIAMI, FL 33174  
DATED: 12/19/2021
  - CONTRACTOR WILL BE RESPONSIBLE TO DEVELOP A MAINTENANCE OF TRAFFIC (MOT) PLAN INCLUDING REQUIRED PHASING OF IMPROVEMENTS WHICH SHALL BE SUBMITTED TO COUNTY FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
  - THOMAS ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
  - ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF WORK.
  - PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
- A. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
- B. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
- C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- D. LOCATE/CAP ALL UTILITIES AND SERVICES TO BE DEMOLISHED, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
- E. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED (TYP.) DURING ALL DEMOLITION ACTIVITIES.
- F. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- G. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
- H. A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED (TYP.). SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED (TYP.) AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE.

- NOTES**
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
  - ALL EXISTING UTILITIES SHALL BE REMOVED (TYP.) BY CONTRACTOR IN ACCORDANCE WITH CITY OF HOLLYWOOD AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL DEMOLITION DEBRIS TO BE REMOVED (TYP.) BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - CONTRACTOR TO COORDINATE WITH ALL UTILITIES AND DISCONNECT ALL EX. UTILITIES PRIOR TO DEMOLITION. THIS INCLUDES ALL CUTTING OF CAPPING OF FACILITIES.
  - REFER TO LANDSCAPE PLANS FOR TREE REMOVAL.



**DATUM NOTE:**  
ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88)

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

4850 W. KENNEDY BLVD.  
SUITE 100  
TAMPA, FL 33609  
P: 813-379-4100  
F: 813-379-4101

REVISIONS			
REV.	DATE	COMMENT	BY
1	12/08/22	ADDRESS FINAL TAC COMMENTS	MTK

**Sunshine 811**

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

**FINAL TAC**

PROJECT No.:	FT210143
DRAWN BY:	JFV
CHECKED BY:	MTK
DATE:	10/21/2022
CAD I.D.:	F210143 DEMOLITION PLAN

PROJECT:

**AUTOZONE MEGAHUB**  
901 SOUTH STATE RD. 7

FOR

**AUTOZONE, INC.**

HOLLYWOOD FLORIDA

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
www.ThomasEngineeringGroup.com

January 3, 2023  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

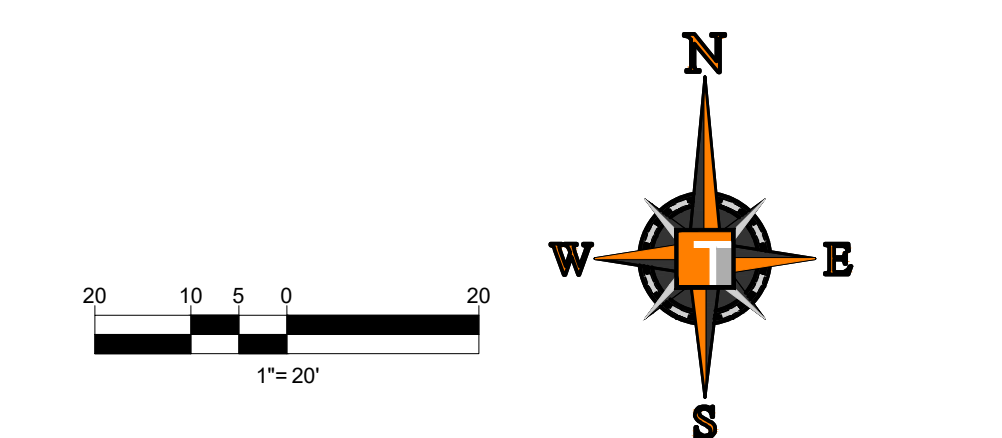
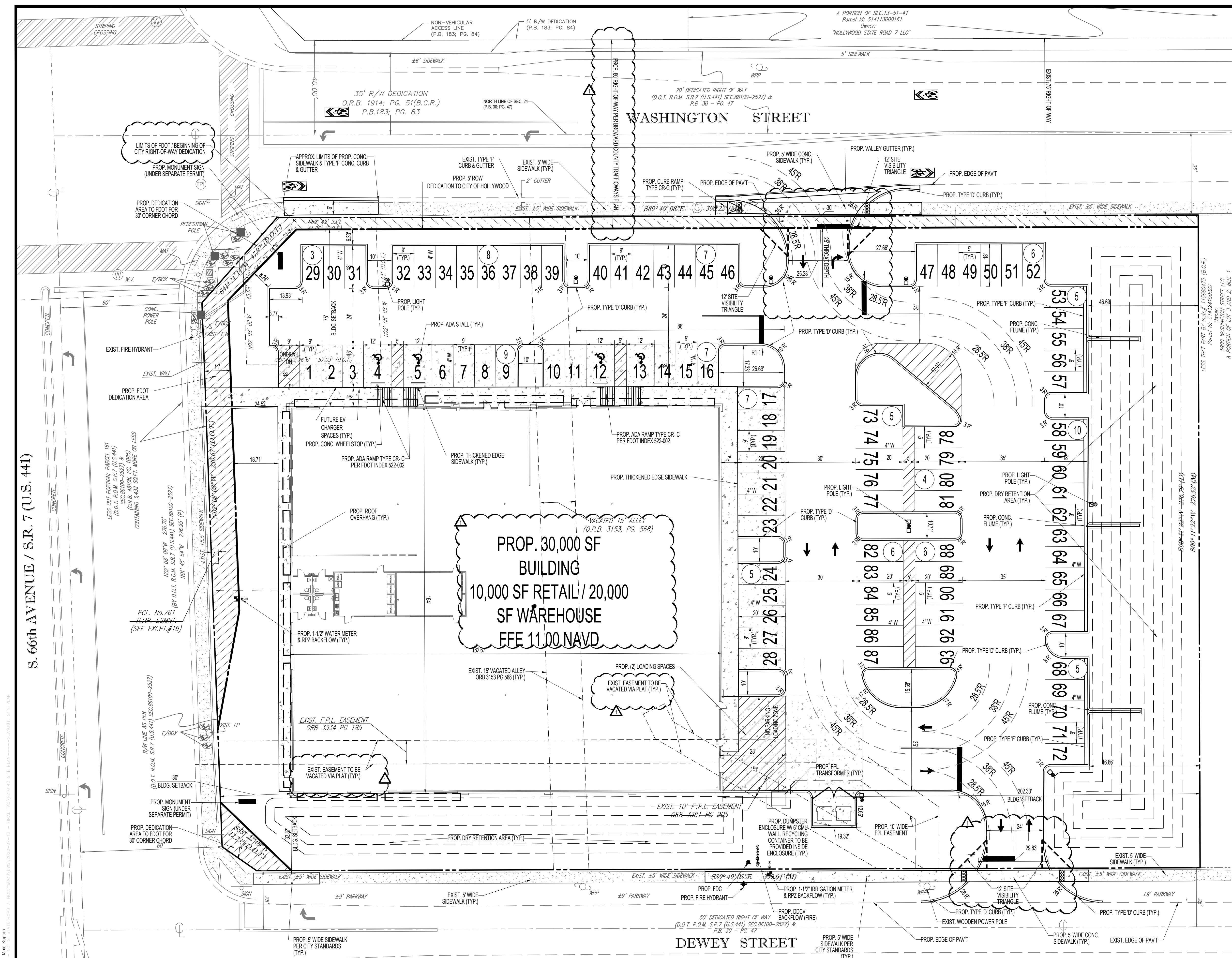
SHEET TITLE:

**DEMOLITION PLAN**

SHEET NUMBER:

**C-04**





### SITE DATA

THIS PLAN REFERENCES AN ALTA/NSIPS SURVEY BY:  
LANDMARK SURVEYING & ASSO.  
1435 SW 87 AVE., SUITE 201  
TELEPHONE: (305) 556-4002

OWNER: VRD AT HOLLYWOOD LLC  
APPLICANT: AUTOZONE, INC.  
THOMAS ENGINEERING GROUP, LLC  
901 S. STATE RD. 7  
HOLLYWOOD, FL 33023  
5141 24 15 0010  
CURRENT USE: VACANT OFFICE/BANK BUILDING  
LAND USE DESIGNATION: COMMERCIAL  
ZONING DESIGNATION: S-MU (SOUTH MIXED-USE DISTRICT)

WATER/WASTEWATER SERVICE PROVIDER: CITY OF HOLLYWOOD

TOTAL SITE AREA BREAKDOWN	115,084 SF (2.642 AC)
GROSS LOT AREA (TOTAL PARCEL)	4,375 SF (0.100 AC)
ROW DEDICATION AREAS	110,709 SF (2.542 AC)
NET AREA	
PERVIOUS	EXISTING 17,439 SF 33,756 SF
LANDSCAPE OPEN SPACE	SUBTOTAL 17,439 SF (0.40 AC) 33,756 SF (0.775 AC) (30.4%)
IMPERVIOUS	9,289 SF 30,000 SF (0.69 AC) (27.1%)
BUILDING ROOF AREA	73,280 SF 42,244 SF (0.97 AC) (38.2%)
VEHICULAR USE AREA (VUA)	10,701 SF 4,709 SF (0.11 AC) (4.3%)
SIDEWALK AND MISC. CONCRETE AREA	SUBTOTAL 93,270 SF (2.14 AC) 76,953 SF (1.77 AC) (69.6%)
TOTAL	110,709 SF (2.542 AC) 110,709 SF (2.542 AC)

BUILDING FLOOR AREA	NA	PROPOSED 30,000 SF
MAX. BLDG. HEIGHT:	64' MAX	23'
REQUIRED PARKING	REQUIRED	PROPOSED
**RETAIL		
STANDARD PARKING (8.5' X 18' MIN)	40 SPACES	62
(1 PER 250 SF) 10,000 SF		
**WAREHOUSE		
STANDARD PARKING (8.5' X 18' MIN)	20 SPACES	31
(1 PER 1,000 SF) 20,000 SF		
TOTAL:	60 SPACES	93 SPACES

HANDICAP PARKING (12' X 18')	4 SPACES	4 SPACES
(1 PER 25 STANDARD SPACES)		
LOADING SPACE (10' X 25' MIN)	2 SPACES	2 SPACES

PROPOSED SETBACKS:	REQUIRED	PROPOSED
BUILDING		
FRONT (WEST)	10' MIN/30' MAX	24.52' / 30'
REAR (EAST)	5'	202.32'
SIDE (NORTH)	0'	75'
SIDE (SOUTH)	0'	33.87'
PROPOSED LANDSCAPE BUFFERS:	REQUIRED	PROPOSED
FRONT (WEST)	5'	46.66'
REAR (EAST)	5'	6.33'
SIDE (NORTH)	5'	24.52'
SIDE (SOUTH)	5'	
INTERIOR LANDSCAPING FOR VUA	REQUIRED	PROPOSED
VEHICULAR USE AREA (VUA)	10,561 (25%)	42,244 SF
LANDSCAPED VUA		19,624 SF (46.5%)

\*FOR LOTS GREATER THAN 50' WIDE: 25% OF PAVED VUA SHALL BE USED FOR LANDSCAPING  
\*\*ASSUMED 10,000 SF RETAIL SPACE & 20,000 WAREHOUSE SPACE

**SIGNAGE COMPLIANCE NOTE:**  
ALL SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH CITY OF HOLLYWOOD ZONING REQUIREMENTS. ADDITIONALLY NOT MOUNTING BRACKETS SHALL BE VISIBLE TO THE PUBLIC.

**NOTE:**  
ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL

**NOTE:**  
FLORIDA GREEN BUILDING COALITION (FGBC) CERTIFICATION WILL BE OBTAINED FOR THE PROPOSED BUILDING

**NOTE:**  
RECYCLING TO BE PROVIDED IN THE DUMPSTER ENCLOSURE AT THIS SITE AS RECYCLING IS MANDATORY PER CITY PUBLIC WORKS DIVISION

### LEGAL DESCRIPTION:

THE FOLLOWING LEGAL DESCRIPTION HAS BEEN PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ON THE TITLE OF COMMITMENT UNDER THE FILE NO. 2021-5481596.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS ONE (1) AND TWO (2) AND LOT THREE (3) LESS THE EAST 100 FEET THEREOF, IN BLOCK ONE (1) OF WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 30, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOTS ONE (1) AND TWO (2) IN BLOCK ONE (1) OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST ONE-QUARTER OF SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, RUN EAST 50 FEET ALONG THE SECTION LINE, THENCE RUN SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 35 FEET TO A POINT OF BEGINNING, THENCE CONTINUE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN EASTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET, THENCE RUN NORTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN WESTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING.

LESS:

A PORTION OF LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 47 AND A PORTION OF LOTS 1 AND 2, BLOCK 1, PLAT OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 2.277741, SECTION NO. 86100-2527 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS; THENCE NORTH 02°08'38" WEST ALONG THE EASTERLY EXISTING RIGHT OF WAY LINE FOR SAID STATE ROAD 7 (U.S. 441), A DISTANCE OF 276.70 FEET TO A POINT ON THE SOUTHERLY EXISTING RIGHT OF WAY LINE FOR WASHINGTON STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE NORTH 89°46'33" EAST ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 43.07 FEET; THENCE SOUTH 41°24'14" WEST, A DISTANCE OF 47.97 FEET; THENCE SOUTH 02°08'38" EAST, A DISTANCE OF 230.67 FEET; THENCE SOUTH 55°22'09" EAST, A DISTANCE OF 17.73 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ALSO BEING A POINT ON THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR DEWEY STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE SOUTH 89°50'12" WEST ALONG SAID SOUTH LINE AND SAID NORTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 24.22 FEET TO THE POINT OF BEGINNING.

ALSO, LESS THAT PART CONVEYED MARCH 18, 2019 IN INSTRUMENT NO. 115680475, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- SITE PLAN NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH FDOT, BROWARD COUNTY AND/OR CITY OF HOLLYWOOD REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TOWERS, SLOPE PAVING, COLUMNS, DOOR LOCATIONS, AND UTILITY ENTRANCES.
  - ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED PER PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - ALL CURB DIMENSIONS ARE TO THE FACE OF GUTTER OF CURB UNLESS OTHERWISE NOTED.
  - ALL BUILDING DIMENSIONS ARE TO THE FACE OF STRUCTURAL CMU.
  - ALL STRIPING ON THIS PLAN IS TO BE PAINTED WITHIN 48 HOURS OF COMPLETED PAVING UNLESS OTHERWISE NOTED.
  - MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 F-C (MAXIMUM 0.5 ADJACENT TO RESIDENTIAL).
  - ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.

**FEMA NOTE:**  
THE ENTIRE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE X AND AH WITH A BASE FLOOD ELEVATION OF 5 FEET, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12511300554H.

**ADA COMPLIANCE NOTE:**  
ALL PATHWAYS SHALL BE COMPLIANT WITH THE LATEST VERSION OF THE FLORIDA ACCESSIBILITY CODE.

**NOTE:** ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATIONS. MONUMENT AND WALL SIGNAGE SHALL BE PERMITTED SEPARATELY. ALL SIGNS WHICH ARE ELECTRONICALLY ILLUMINATED BY NEON OR OTHER MEANS SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.

**DATUM NOTE:**  
ALL ELEVATIONS ARE BASED ON NORTH AMERICA VERTICAL DATUM OF 1988 (NAVD 88). CONVERSION FROM NAVD TO NGVD IS +1.51', I.E. 7.51' NGVD = 6.00' NAVD.

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

☐ PLAN CONSISTENT WITH PLAT REQUIREMENTS

☐ PUBLIC RIGHT OF WAY APPROVAL FOR PAVING, GRADING AND DRAINAGE

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

DOES NOT INCLUDE APPROVAL OF PAVEMENT MARKING & SIGNS

**THOMAS ENGINEERING GROUP**

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

125 W. INDIANTOWN RD.  
SUITE 100  
JUPITER, FL 33459  
P: 813-379-4100

4850 W. KENNEDY BLVD.  
SUITE 100  
TAMPA, FL 33609  
P: 813-203-7503

REV.	DATE	REVISIONS	BY:
1	12/08/22	ADDRESS FINAL TAC COMMENTS	MTK

**Sunshine 811**

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

**FINAL TAC**

PROJECT No.: FT210143  
DRAWN BY: JFV  
CHECKED BY: MTK  
DATE: 10/21/2022  
CAD I.D.: F210143 SITE PLAN

PROJECT:

**AUTOZONE MEGAHUB**  
901 SOUTH STATE RD. 7

FOR  
**AUTOZONE, INC.**

HOLLYWOOD FLORIDA

**THOMAS ENGINEERING GROUP**

8300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7010  
[www.ThomasEngineeringGroup.com](http://www.ThomasEngineeringGroup.com)

**MAXWELL T. KAPLAN**  
LICENSE  
No. 83366  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
January 3, 2023  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

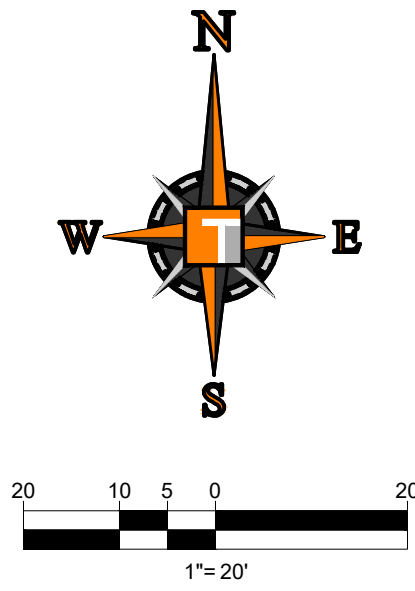
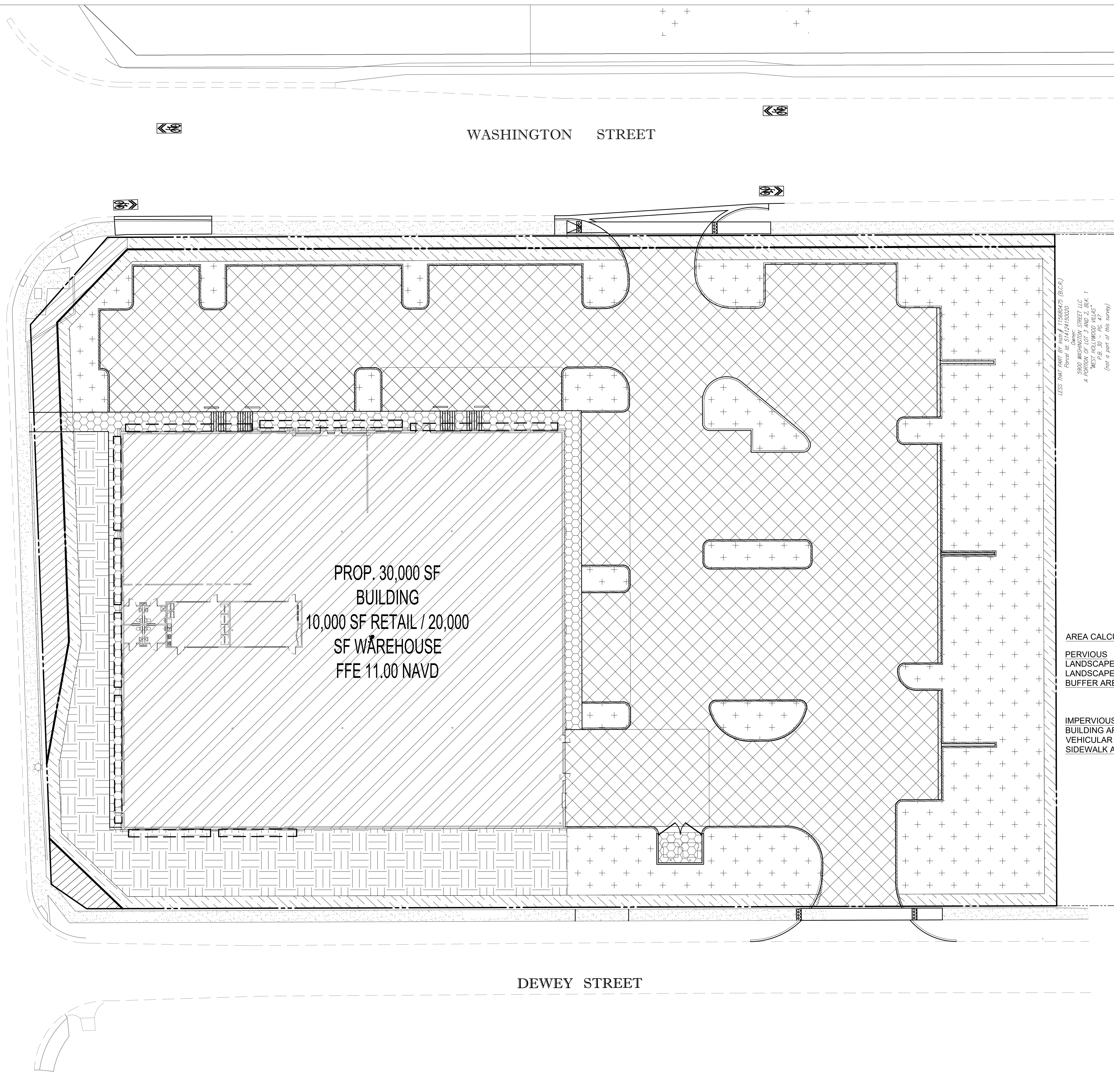
**SITE PLAN**

SHEET NUMBER:

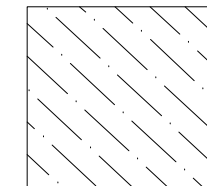
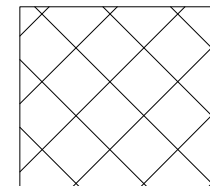
**C-05**



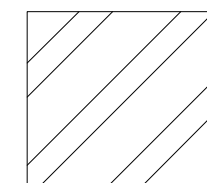
S. 66th AVENUE / S.R. 7 (U.S. 441)



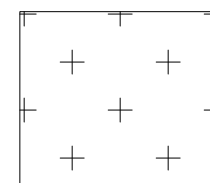
### HATCH LEGEND

LANDSCAPE  
BUFFER

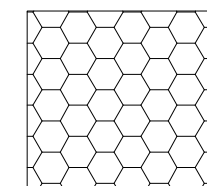
VEHICULAR USE  
AREA



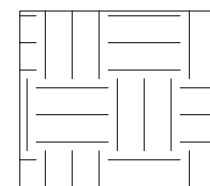
PROP. BUILD



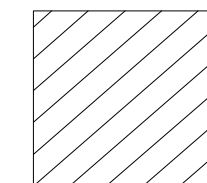
LANDSCAPE ARE  
(VUA)



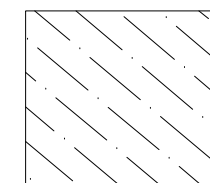
SIDEWALK & M  
CONCRETE A



LANDSCAPE ARE  
(NON-VUA)



R.O.W. DEDICATED TO FDOT



R.O.W. DEDICATION  
TO CITY OF

## AREA CALCULATIONS

PERVIOUS LANDSCAPE AREA VUA	19,624 SF (0.451 AC) (17.7%)
LANDSCAPE AREA NON-VUA	7,875 SF (0.181 AC) (7.11%)
BUFFER AREA	6,257 SF (0.144 AC) (5.65%)
TOTAL	33,756 SF (0.776 AC) (30.4%)
IMPERVIOUS BUILDING AREA	30,000 SF (0.69 AC) (27.1%)
VEHICULAR USE AREA (VUA)	42,244 SF (0.97 AC) (38.2%)
SIDEWALK AND MISC. CONCRETE AREA	4,709 SF (0.11 AC) (4.3%)
TOTAL	76,953 SF (1.77 AC) (69.6%)



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

4950 W KENNEDY BLVD  
125 W INDIANTOWN RD

SUITE 206  
11010159 EI 22159

P: 561-203-7503

COPIED OR USED FOR ANY PURPOSE WITHOUT PERMISSION

[illegible]

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

**Check positive response codes before you dig!**

FINAL TAC

PROJECT No.:	FT210143
DRAWN BY:	JFV
CHECKED BY:	MTK
DATE:	10/21/2022
CAD I.D.:	F210143 SITE PLAN EXHIBIT

PROJECT:

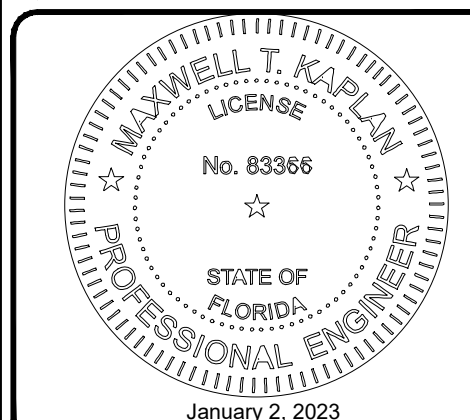
**AUTOZONE MEGAHUB**  
**901 SOUTH**  
**STATE RD. 7**

— FOR —  
AUTOZONE, INC.

HOLLYWOOD  
FLORIDA



6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
[www.ThomasEngineeringGroup.com](http://www.ThomasEngineeringGroup.com)



January 2, 2023  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

## SITE PLAN AREA EXHIBIT

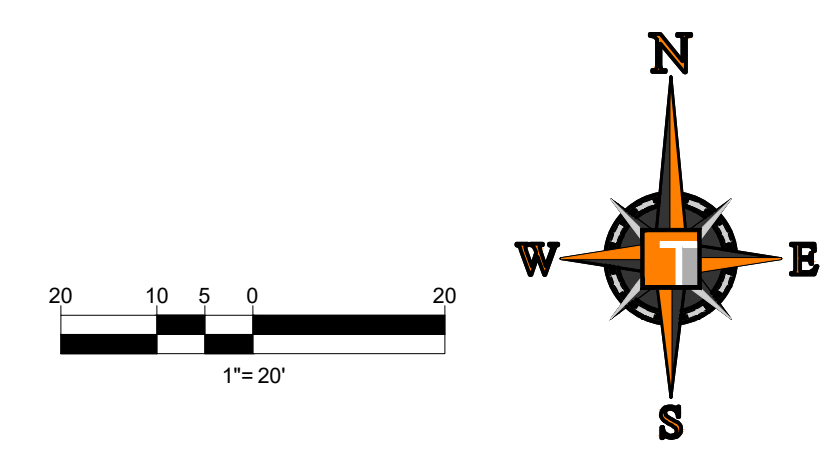
SHEET NUMBER:

**C-06**









1. ALL STRIPING & SIGNS TO MEET MUTCD & BCTED MINIMUM STANDARDS.
2. ALL MARKING TO BCTED MINIMUM STANDARDS
3. ALL MARKING, EXCEPT PARKING SPACE STRIPING TO BE THERMOPLASTIC.
4. ALL SIGNS TO BE MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS 7' ABOVE THE ADJACENT GRADE.
5. ALL SIGNS TO BE MOUNTED ON BROWARD COUNTY STANDARD SQUARE POST.
6. ALL STOP BARS SHALL BE 4' BACK FROM SIDEWALK OR CROSSWALK.

1. ALL R1-1 AND R5-1 SIGNING SHALL BE FABRICATED USING DIAMOND GRADE SHEETING AS PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARD. (CURRENT EDITION)
2. ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.

R1-1	STOP SIGN (30" x 30")
R3-5R	RIGHT-TURN ONLY (30"X 36")
DY	DOUBLE YELLOW
W	WHITE
Y	YELLOW
*	THERMOPLASTIC

WHITE	250 MILLICANDELAS
YELLOW	175 MILLICANDELAS

THE PUBLIC ROADWAY(S) INDICATED IN THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS & HIGHWAY - STATE OF FLORIDA"

ALL SIGNS MUST MEET MUTCD, BCTED, AND CITY STANDARDS.  
ALL SIGNS MUST BE MOUNTED ON BROWARD COUNTY TRAFFIC  
ENGINEERING SQUARE POSTS AND BE MOUNTED 7 FEET ABOVE  
GROUND.

PAVEMENT MARKINGS MUST MEET BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

ALL TYPE XI SIGNING SHALL BE FABRICATED USING DIAMOND GRADE SHEETING AS PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARD. (CURRENT EDITION)

ALL PAVEMENT MARKINGS AND  
SIGNING DAMAGED DURING  
CONSTRUCTION, SHALL BE  
RESTORED TO BROWARD COUNTY  
TRAFFIC ENGINEERING STANDARD.  
(CURRENT EDITION)

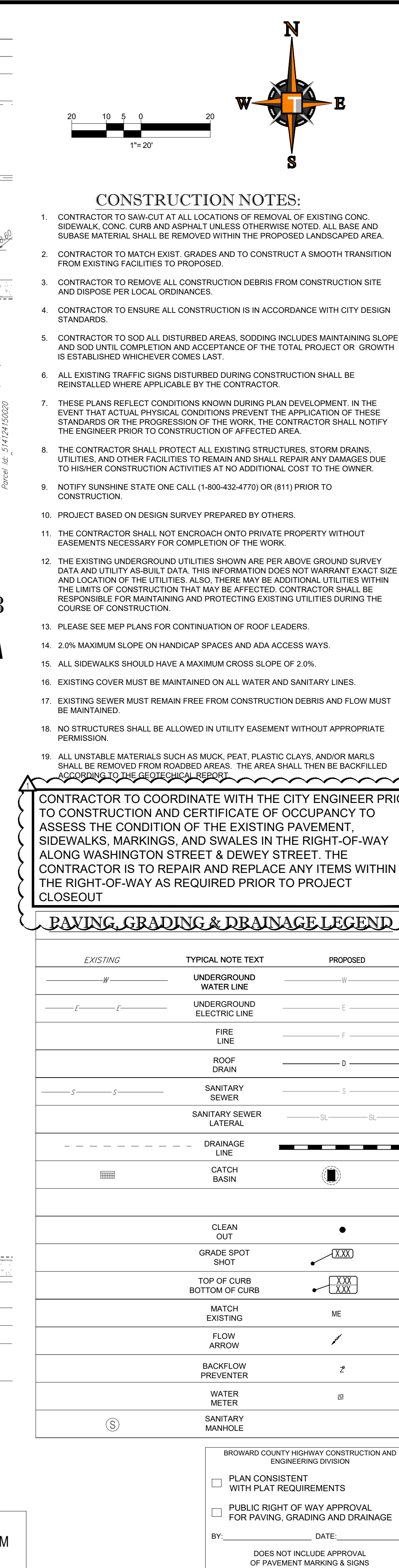
ALL STRIPING AND SIGNAGE SHALL MEET THE M.U.T.C.D. LATEST EDITION. ALL SIGNS REQUIRE A SEPARATE ZONING AND BUILDING PERMIT

1. ALL R1-1 AND R5-1 SIGNING SHALL BE FABRICATED USING DIAMOND GRADE SHEETING AS PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARD. (CURRENT EDITION)
2. ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION	
<input type="checkbox"/>	PLAN CONSISTENT WITH PLAT REQUIREMENTS
<input type="checkbox"/>	PUBLIC RIGHT OF WAY APPROVAL FOR PAVING, GRADING AND DRAINAGE
BY: _____ DATE: _____	
DOES NOT INCLUDE APPROVAL OF PAVEMENT MARKING & SIGNS	

Maxwell T. Kaplan, State of Florida, Professional Engineer, License No. 83366. This item has been electronically signed and sealed by Maxwell T. Kaplan, P.E. on 1/2/2023 using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.



[illegible]



1000 PSI conc. paving (min.) / wire mesh

Compacted Aggregate

Compacted

A

B

C

base

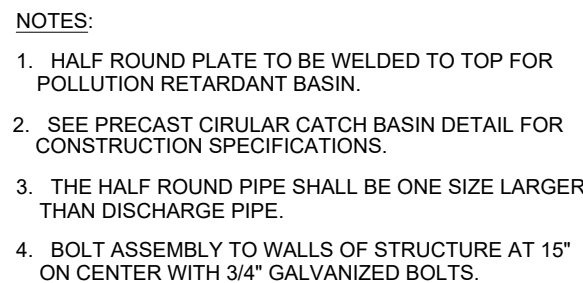
NO SCALE

SEC-C04

1	CONCRETE PAVING SECTION
---	-------------------------



## 5 TYPICAL WALK SECTION



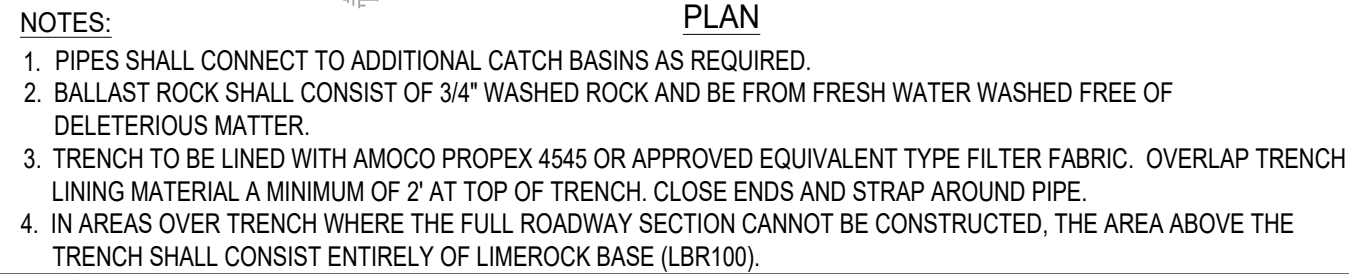
9 POLLUTION RETARDANT BAFFLE DETAIL

SCALE: NONE



## 2 ASPHALT PAVEMENT DETAIL

SCALE: NONE



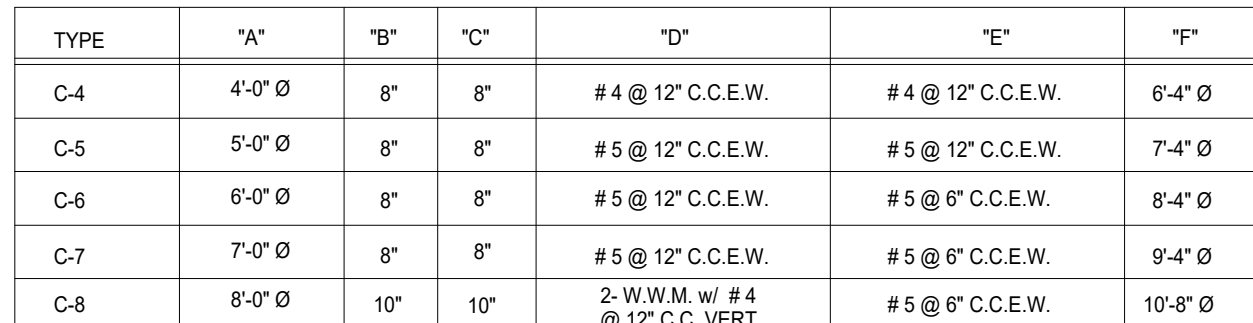
## 6 | EXFILTRATION TRENCH

SCALE: NONE



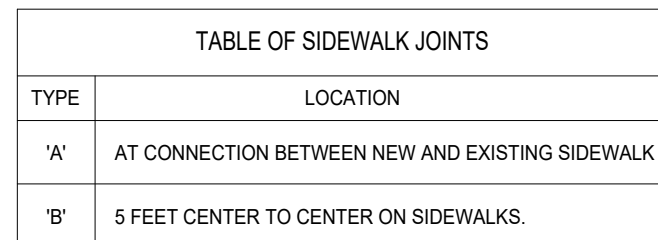
## 10 FRAME AND GRATE DETAIL

SCALE: NONE



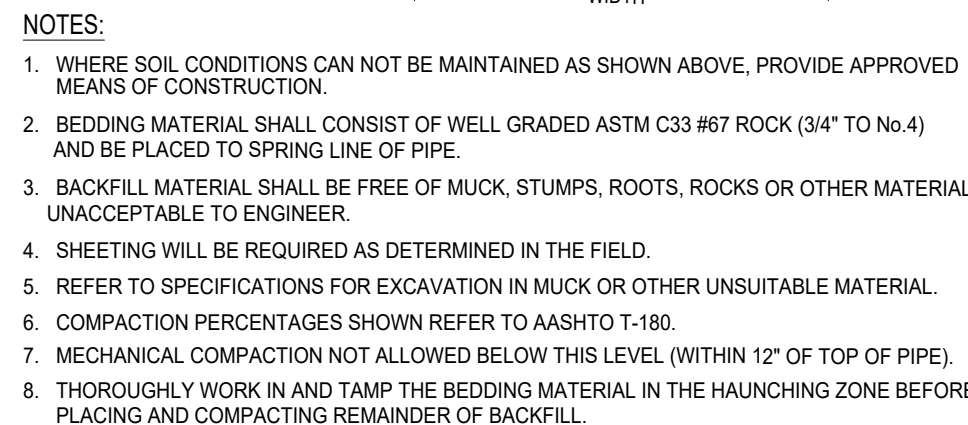
## 7 PRECAST CIRCULAR CATCH BASIN

SCALE: NONE



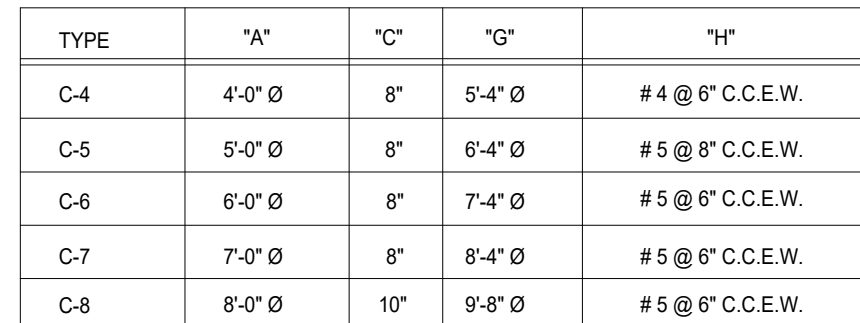
## 11 SIDEWALK DETAILS

SCALE: NONE



## TRENCH DETAIL

SCALE: NONE



8 PRECAST CONCRETE-TOP SLAB

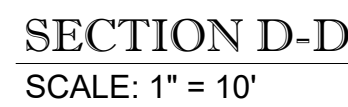
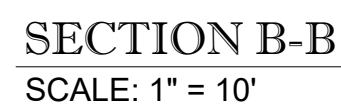
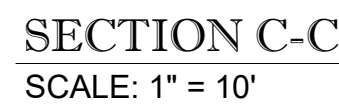
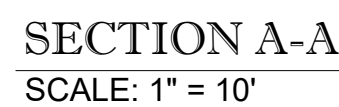
SCALE: NONE



### TYPICAL CONCRETE SIDEWALK SECTION

SCALE: NONE





## LEGEND

- (A) WEARING SURFACE - ASPHALT AREAS:  
INSTALLATION OF 2" ASPHALT CONCRETE SURFACE COURSE WHICH SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE SP-9.5 ASPHALTIC CONCRETE. AND SHALL BE CONSTRUCTED IN TWO (2) EQUAL LIFTS TACK COAT BETWEEN LIFTS.
- (B) LIME ROCK BASE :  
LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 8" THICKNESS FOR ASPHALT AREAS AND 12" THICKNESS FOR CONCRETE AREAS; AND OPENED TO A MINIMUM DRY DENSITY PER AASHTO T-160 (LBR 100). OTHER SUBSTITUTES MAY BE ALLOWED PER FDOT SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER.
- (C) SUB-BASE:  
12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-160 (MIN LBR 40). SUBGRADE SHOULD EXTEND 12" BEYOND LIME ROCK / CONCRETE LIMITS.
- (D) CONCRETE SIDEWALKS:  
4" THICK, 3,000 PSI CONCRETE @ 28 DAYS WITH FIBER MESH REINFORCEMENT AND EXPANSION JOINTS ALONG STRUCTURES AND CURBING. PROVIDE 6" THICK AT VEHICULAR CROSSING AREAS.
- (E) CONCRETE PAVEMENT:  
INSTALLATION OF 6" 4,000 PSI CONCRETE WITH WIRE MESH REINFORCEMENT.



4950 W. KENNEDY BLVD.  
SUITE 600  
TAMPA, FL 33609  
P: 813-379-4100

125 W. INDIANTOWN RD.  
SUITE 206  
JUPITER, FL 33458  
P: 561-203-7503

INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN PERMISSION OF THE COMPANY.

[illegible]

**Sunshine 811**

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

**Check positive response codes before you dig!**

FINAL TAC

PROJECT No.:	FT210143
DRAWN BY:	JFV
CHECKED BY:	MTK
DATE:	10/21/2022
CAD I.D.:	F210143 CROSS SECTIONS

PROJECT:

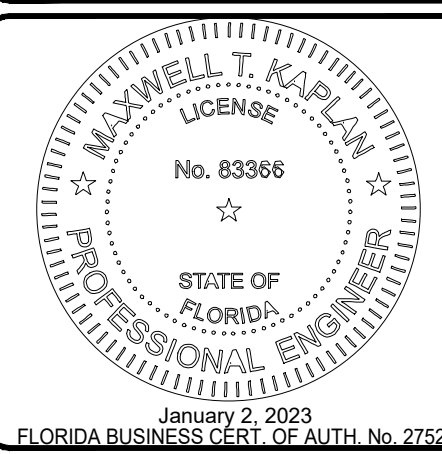
**AUTOZONE MEGAHUB**  
**901 SOUTH**  
**STATE RD. 7**

— FOR —  
**AUTOZONE, INC.**

HOLLYWOOD  
FLORIDA



6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
[www.ThomasEngineeringGroup.com](http://www.ThomasEngineeringGroup.com)



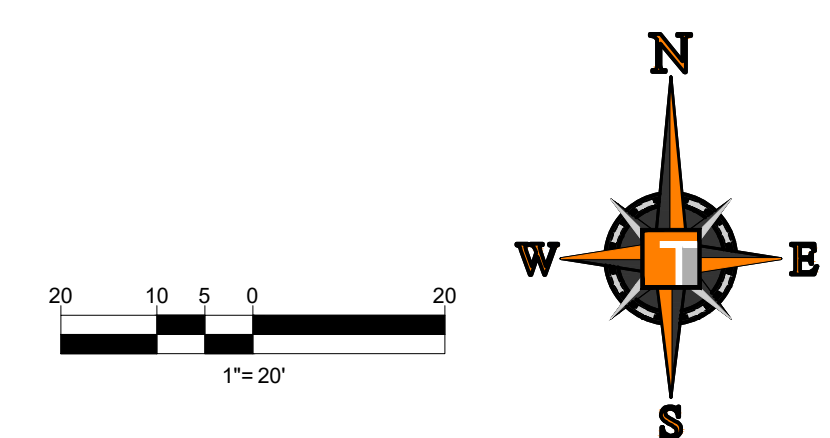
SHEET TITLE:

## CROSS SECTIONS

SHEET NUMBER

# C-11





1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
2. THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS A BASIS FOR ANY AND ALL CONSTRUCTION. THE CONTRACTOR SHALL CALL ALL UTILITIES COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL COSTS OF ANY RELOCATION OR IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES PAYEMENT, STRIPPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING.
5. CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE NEAREST AGENCY AS TO THE LOCATIONS AND SCHEDULING FOR THE TIE-IN/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
6. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO BUILDING.
7. SEE COVER SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
8. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THIS INCLUDES BUT IS NOT LIMITED TO, SLOPING, BRACING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE REGULATIONS.
9. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
10. CONTRACTOR SHALL GRAB AND REMOVE ALL UTILITY ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
11. CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT ANY LOCATION.
12. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO OBTAIN SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
13. CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH THE APPROPRIATE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS. THIS INCLUDES FEES FOR ANY AND ALL DELAYS THROUGH RESCHEDULING OF ANY RACETRACK VENDORS OR EQUIPMENT TO ACCOMMODATE.
14. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DESIGN OR FIELD LOCATION DISCREPANCIES SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER, ELECTRIC, ELECTRIC AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE NEAREST AGENCY AS TO THE LOCATION AND TIE-IN/CONNECTIONS TO THEIR FACILITIES.
16. SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
17. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH THE WORK OF ALL OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO, POWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
18. THE CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
19. 16" WORK WITHIN 16" SHALL BE OBTAINED FROM THE BROWARD COUNTY ENGINEERING AND CONSTRUCTION DIVISION. COUNTY APPROVAL AND COUNTY PERMIT TO BE OBTAINED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

EXISTING			PROPOSED	
	SANITARY SEWER LATERAL			
	UNDERGROUND WATER LINE			
	UNDERGROUND ELECTRIC LINE			
	UNDERGROUND GAS LINE			
	OVERHEAD WIRE			
	UNDERGROUND TELEPHONE LINE			
	UNDERGROUND CABLE LINE			
	UNDERGROUND RECLAIMED WATER LINE			
	STORM SEWER			
	STORM SEWER EXFILTRATION TRENCH			
	SANITARY SEWER MAIN			
	HYDRANT			
	SANITARY MANHOLE			
	STORM MANHOLE			
	CATCH BASIN			

**FIRE PROTECTION NOTE:**  
ALL UNDERGROUND FIRE MAIN WORK  
MUST BE COMPLETED BY FIRE  
PROTECTION CONTRACTOR HOLDING A  
CLASS II OR V LICENSE PER ES 633.102

SHEET TITLE:

## C-12

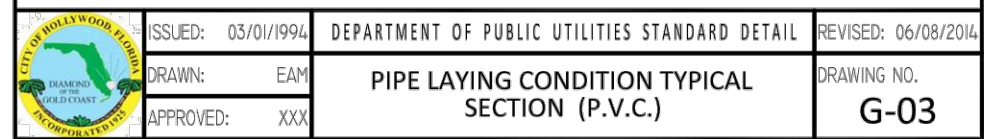
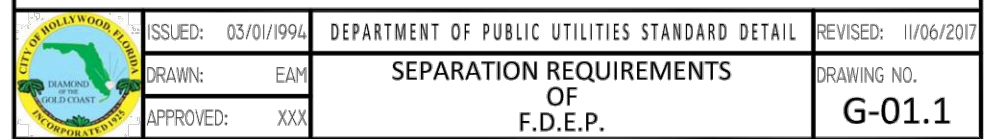
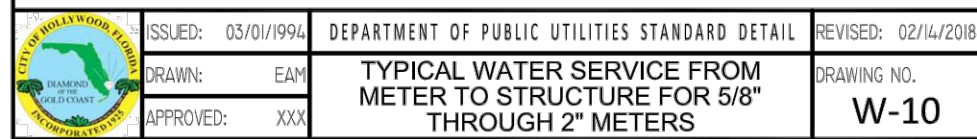
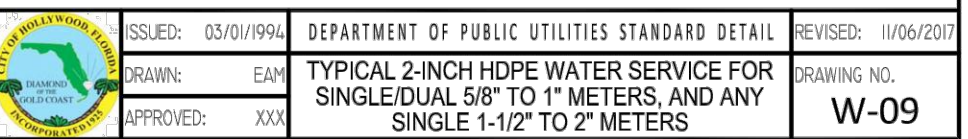
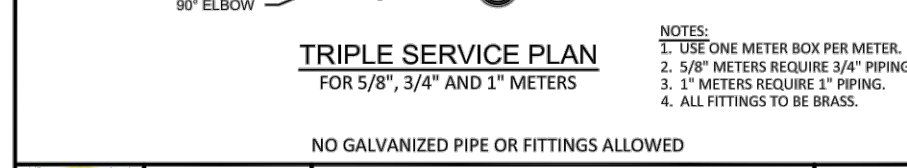
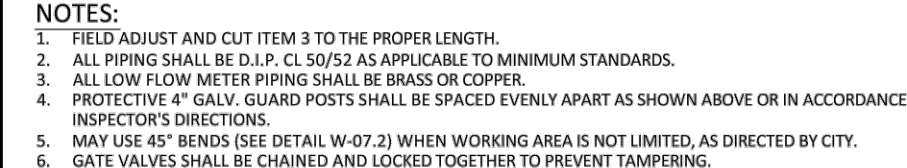


1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR EXISTING OR PROPOSED PRESSURE-ALARMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].

- [illegible]

11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C300 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PIPE/SEAL CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.

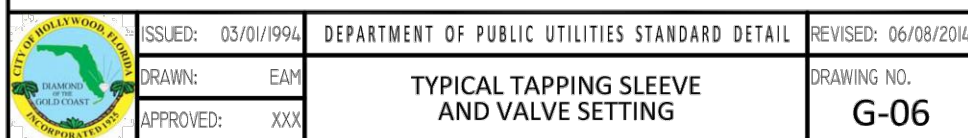
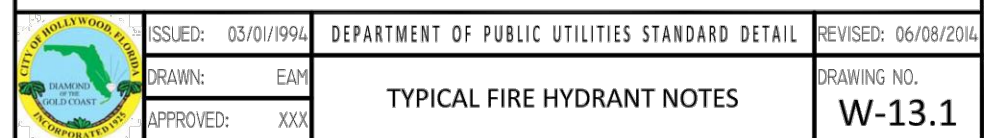
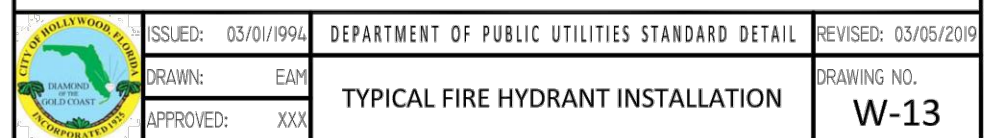
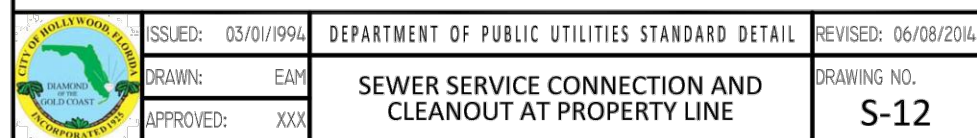
4. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN PPE. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
5. PAYMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY
6. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF FORT WORTH WATER DEPARTMENT STANDARDS.
7. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (30" DIPS 36" PVC).
8. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'-0"
9. MAXIMUM DEFLECTION PER FOOT FOR EACH JOINT SHALL BE 50% OF MANUFACTURERS RECOMMENDATION (MAXIMUM WORKER DEFLECTION SHALL BE 1/8" PER FOOT).
10. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR FOR ADDITIONAL FITTINGS USED.
11. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FLOWLOCK GLANDS MANUFACTURED TO ASTM A 568-20. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE FLOWLOCK GLANDS. THE MINIMUM TIGHTENING TORQUE SHALL BE 100 FT-LBS. FOR A MINIMUM PRESSURE OF 200 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1. AND SHALL BE E88A IRON IN MEGALONG OR APPROVED EQUIV. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF 3'-0" (3'-0" FOR 16" OR GREATER).
12. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE REQUIRED TO PROTECT THE EXCAVATION AND TO PREVENT COLLAPSE OF THE EXCAVATION. THE SHEETING OR BRACING WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND TIMING OF THE EXCAVATION, MOVEMENT, AND FOR THE IMPLEMENTATION OF ALL GOSSA AND OTHER SAFETY REQUIREMENTS.



2. SUCCESSFUL TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
3. P. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C301, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 12" THROUGH 36" (3.76 mm), FOR WATER SERVICE."
4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 1/2" OR SINGLE 1" DIAMETER METERS.
5. MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1/2" OR SINGLE 2" DIAMETER METERS.
6. FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
7. APPROVED COPERS SHALL BE USED AT THE CITY'S DISCRETION.
8. FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF CHICAGO (UNDER SEWER ACCOUNTS).
9. FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER IS TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
10. FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
  - a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE MAIN, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
  - b. FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS TO AND INCLUDING THE BALL VALVE CURB STOP.
11. THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SLOPE, WHENEVER PRACTICAL.
12. AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS INCLUDING DETECTABLE WARNING SURFACES, SIGNAGE, AND ALL OTHER IMPROVEMENTS REQUIRED OR DAMAGED DURING THE SERVICE INSTALLATION.
13. FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SOODING.

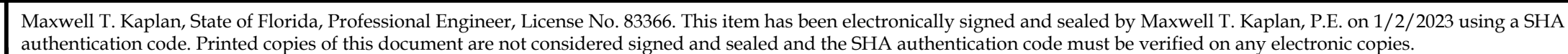


7. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN EXISTING HOT MIX ASPHALT DRIVEWAYS OR WAYS FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY ON FOOT RIGHTS-OF-WAY REFERRED TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
8. LIMEPOCK BASE MATERIAL SHALL HAVE A MINIMUM LLR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACE BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
9. LIMEPOCK BASE MATERIAL SHALL BE PLACED IN 2" MAXIMUM (GRADE MEASUREMENT) THICKNESS. IF EACH LAYER IS MORE THAN 6" DEEP, IT MUST BE COMPACTED TO A MINIMUM OF 95% RELATIVE MAXIMUM DENSITY, PER AASHTO T-99, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
10. A STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM LLR OF .40.
11. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-2 AND G-3, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" BELOW THE INSTALLED TRENCH COVER.
12. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
13. RESURFACING MATERIAL SHALL BE FOOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
14. MILL AND BUILT JOINT TO EXISTING PAVEMENT.
15. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE HLL MATERIAL FROM RAVELLING UNTIL REPLACED WITH A PERMANENT PATCH.
16. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
17. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMPOCK BASE THICKNESS SHALL BE A MINIMUM OF 12" OVER THE DRIVEWAY, OR THE EXTENT OF CATCH, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE DRIVEWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAIN BY A THICKNESS MINIMUM OF 12" ASPHALTIC CONCRETE SURFACE WHERE THESE ARE NOT THE SAME AS THE PLANS OR INDICATED BY THE CITY ENGINEER.



**C-13**

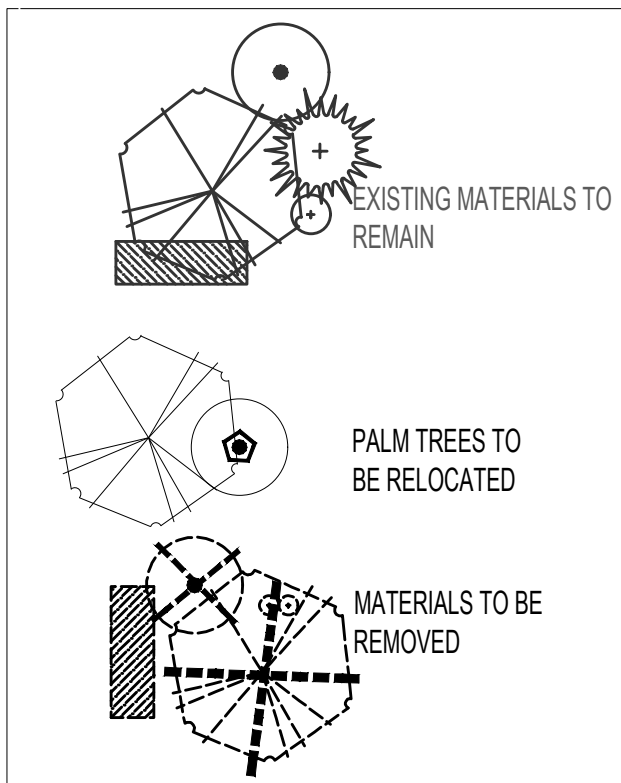
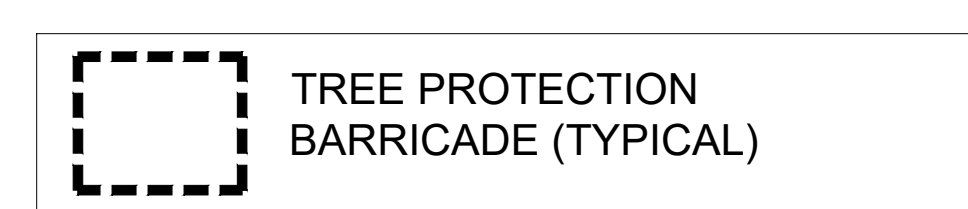
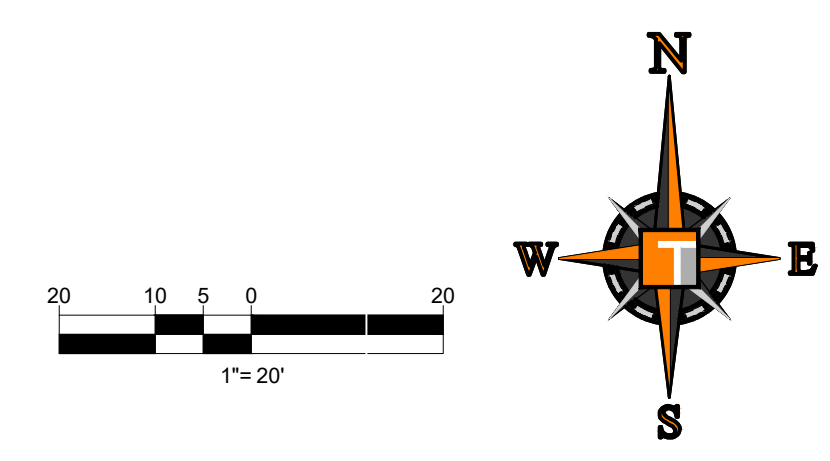
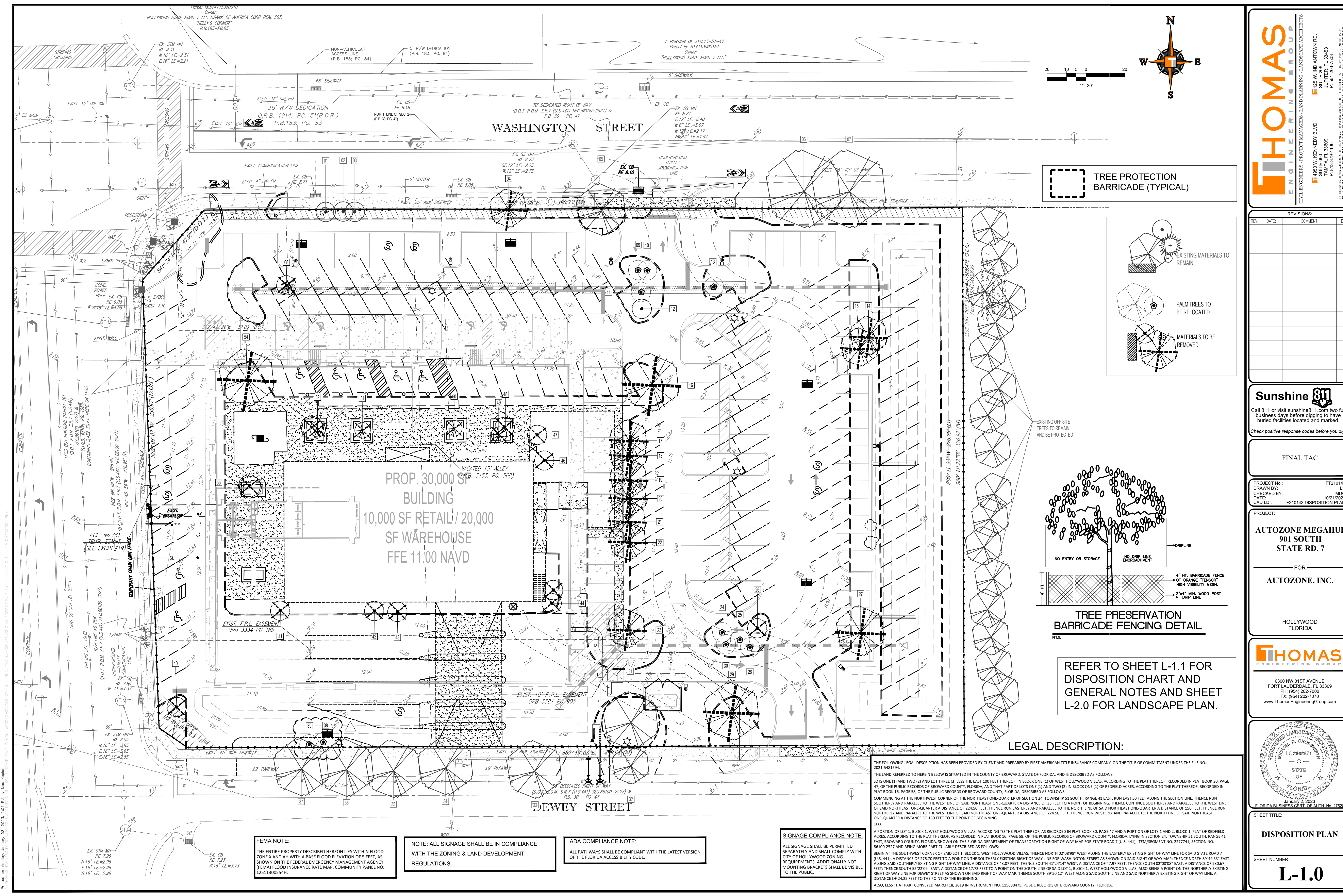




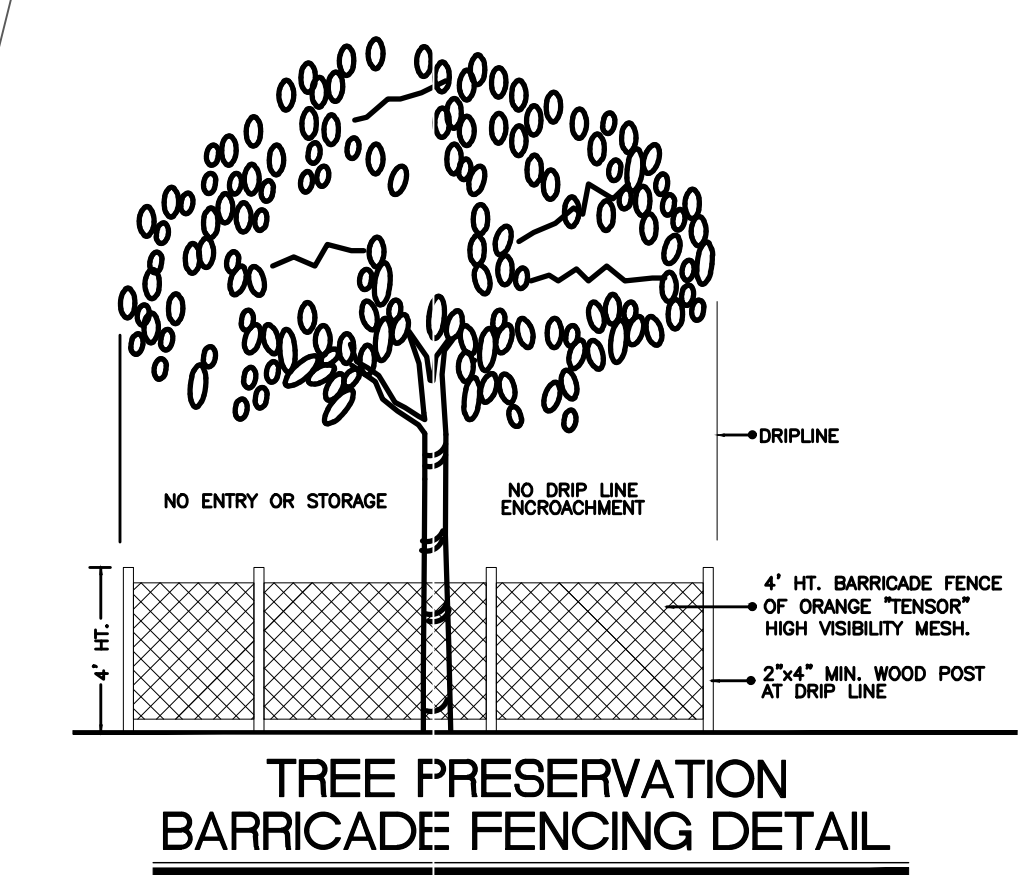








EXISTING OFF SITE TREES TO REMAIN AND BE PROTECTED



REFER TO SHEET L-1.1 FOR DISPOSITION CHART AND GENERAL NOTES AND SHEET L-2.0 FOR LANDSCAPE PLAN.

LEGAL DESCRIPTION:

THE FOLLOWING LEGAL DESCRIPTION HAS BEEN PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ON THE TITLE OF COMMITMENT UNDER THE FILE NO. 2021-5481594.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS ONE (1) AND TWO (2) AND LOT THREE (3) LESS THE EAST 100 FEET THEREOF, IN BLOCK ONE (1) OF WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 30, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOTS ONE (1) AND TWO (2) IN BLOCK ONE (1) OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER OF SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, RUN EAST 50 FEET ALONG THE SECTION LINE, THENCE RUN SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 35 FEET TO A POINT OF BEGINNING, THENCE CONTINUE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN EASTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET, THENCE RUN NORTHERLY AND PARALLEL TO THE WEST LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 224.50 FEET, THENCE RUN WESTERLY AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING.

LESS

A PORTION OF LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 47 AND A PORTION OF LOTS 1 AND 2, BLOCK 1, PLAT OF REDFIELD ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 2277741, SECTION NO. 86100-2527 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, THENCE NORTH 02°08'58" WEST ALONG THE EASTERLY EXISTING RIGHT OF WAY LINE FOR SAID STATE ROAD 7 (U.S. 441), A DISTANCE OF 276.70 FEET TO A POINT ON THE SOUTHERLY EXISTING RIGHT OF WAY LINE FOR WASHINGTON STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE NORTH 89°49'33" EAST ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 41.07 FEET; THENCE SOUTH 41°24'14" WEST, A DISTANCE OF 47.57 FEET; THENCE SOUTH 02°08'08" EAST, A DISTANCE OF 230.67 FEET; THENCE SOUTH 55°22'09" EAST, A DISTANCE OF 17.73 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 1, BLOCK 1, WEST HOLLYWOOD VILLAS, ALSO BEING A POINT ON THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR DEWEY STREET AS SHOWN ON SAID RIGHT OF WAY MAP; THENCE SOUTH 89°50'12" WEST ALONG SAID SOUTH LINE AND SAID NORTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 24.22 FEET TO THE POINT OF BEGINNING.

ALSO, LESS THAT PART CONVEYED MARCH 18, 2019 IN INSTRUMENT NO. 115680475, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**FEMA NOTE:**  
THE ENTIRE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE X AND AH WITH A BASE FLOOD ELEVATION OF 5 FEET, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12511300554H.

**NOTE:** ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATIONS.

**ADA COMPLIANCE NOTE:**  
ALL PATHWAYS SHALL BE COMPLIANT WITH THE LATEST VERSION OF THE FLORIDA ACCESSIBILITY CODE.

**SIGNAGE COMPLIANCE NOTE:**  
ALL SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH CITY OF HOLLYWOOD ZONING REQUIREMENTS. ADDITIONALLY NOT MOUNTING BRACKETS SHALL BE VISIBLE TO THE PUBLIC.

Printed on: Monday, January 02, 2023, 2:04 PM By: Max Kaplan

**THOMAS ENGINEERING GROUP**

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

125 W. INDIANTOWN RD.  
SUITE 200  
JUPITER, FL 33458  
P: 561-203-7503  
F: 561-203-7500

4850 W. KENNEDY BLVD.  
SUITE 100  
TAMPA, FL 33609  
P: 813-379-4100  
F: 813-379-4101

REVISIONS			
REV.	DATE	COMMENT	BY

**Sunshine 811**

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

**FINAL TAC**

PROJECT No.: FT210143  
DRAWN BY: LD  
CHECKED BY: MDG  
DATE: 10/21/2022  
CAD I.D.: F210143 DISPOSITION PLAN

**AUTOZONE MEGA HUB**  
901 SOUTH STATE RD. 7

FOR  
**AUTOZONE, INC.**

HOLLYWOOD FLORIDA

**THOMAS ENGINEERING GROUP**

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
[www.ThomasEngineeringGroup.com](http://www.ThomasEngineeringGroup.com)

REGISTERED LANDSCAPE ARCHITECT  
MICHAEL D. GROSSMITH  
STATE OF FLORIDA  
January 2, 2023  
FLORIDA BUSINESS CERT. OF AUTH. NO. 27592

SHEET TITLE:  
**DISPOSITION PLAN**

SHEET NUMBER:  
**L-1.0**