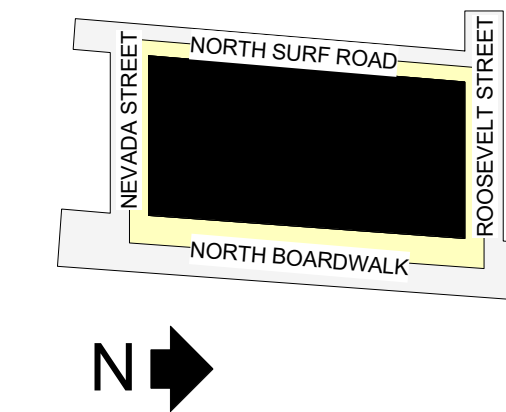
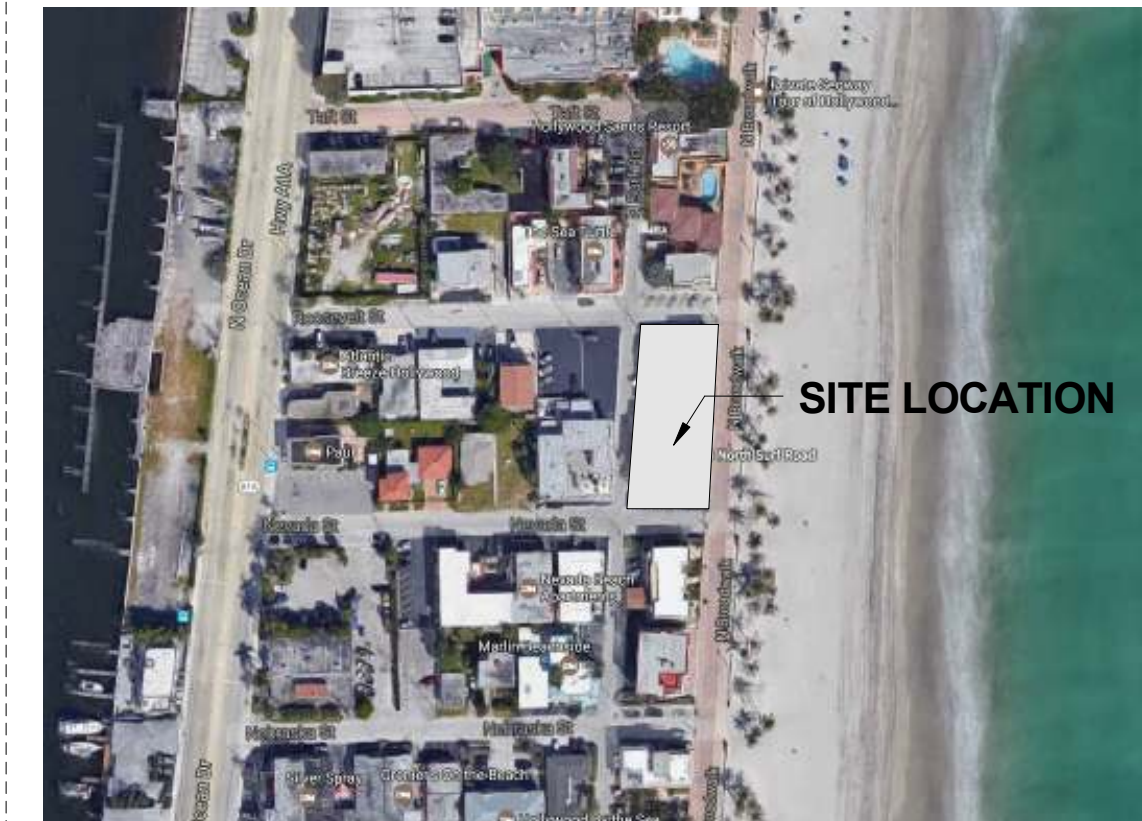


RIPTIDE HOTEL 2300 N SURF ROAD, HOLLYWOOD, FL 33019



LOCATION MAP



GENERAL DESCRIPTION

NEW CONSTRUCTION OF 4 STORY HOTEL BUILDING

PROPERTY ADDRESS

2300 NORTH SURF ROAD, HOLLYWOOD, FLORIDA 33019

MEETING DATES:

PRELIMINARY TAC: 10/17/2016
 FINAL TAC: 02/21/2017
 FINAL TAC SIGNED-OFF: 09/26/2017
 PDB: TBD

LEGAL DESCRIPTION:

Lots 1, 2, 3 and 4, Block 12 of HOLLYWOOD BEACH FIRST ADDITION, according to the Plat thereof, as recorded in Plat Book 1, Page 31, of the Public Records of Broward County, Florida. (Gross area as defined by the City of Hollywood = 21,069 square feet, or 0.4837 square feet, more or less.)

TOGETHER WITH:

Lot 16, Block 11, and Lots 3 and 4, Block 12, of HOLLYWOOD BEACH FIRST ADDITION, according to the Plat thereof, as recorded in Plat Book 1, Page 31, of the Public Records of Broward County, Florida. (Gross area as defined by the City of Hollywood = 4,108 square feet, or 0.0943 square feet, more or less.)

RKB
 ARCHITECTS PLANNERS,
 INCORPORATED
 RICHARD K. BROOKS
 REG. NO. A0002344

architecture | planning | interior design
 Sanctuary Centre, 4800 N. Federal Highway, Suite B-104
 Boca Raton, Florida 33431
 Tel: 561-750-3861 / Fax: 561-394-6802

RIPTIDE HOTEL
 2300 N SURF ROAD
 HOLLYWOOD, FL 33019

ARCHITECTS	SURVEY	LANDSCAPE ARCHITECTS	STRUCTURAL ENGINEERS	MEP ENGINEERS	CIVIL ENGINEERS
RKB ARCHITECTS & PLANNERS INC RICHARD K. BROOKS 4800 N. FEDERAL HIGHWAY BOCA RATON, FL 33431 TEL: 561-750-3661 FAX: 561-394-6802 EMAIL: RKBFLA@BELLSOUTH.NET	ACCURATE LAND SURVEYORS, INC. 1150 E. ATLANTIC BLVD. POMPANO BEACH, FL 33060 TEL: 954-782-1441 FAX: 954-782-1442	MURAKAMI LANDSCAPE ARCHITECTS 326 NE 1ST AVENUE DELRAY BEACH, FLORIDA 33444-3804 TEL: 561-276-7750 don@mlandscape.net	TBC	TBC	GGB ENGINEERING, INC. 2699 STIRLING ROAD, SUITE C-202 FORT LAUDERDALE, FLORIDA 33312 TEL: 954-986-9899
A000 COVER SHEET A004 SYMBOLS & ABBREVIATIONS A005 CODE ANALYSIS A006 AREA CALCULATIONS A060 ISOMETRIC VIEW A061 3D COLOR RENDERING A062 COLOR CHIP A082 SITE PLAN A101 GROUND LEVEL FLOOR PLAN A102 LEVEL 2 FLOOR PLAN A103 LEVEL 3 FLOOR PLAN A104 LEVEL 4 FLOOR PLAN A105 ROOF TOP FLOOR PLAN A200 ELEVATIONS A201 ELEVATIONS	1 OF 1 SURVEY	L-1 EXISTING TREE SURVEY L-2 LANDSCAPE PLAN L-3 LANDSCAPE PLAN L-4 LANDSCAPE NOTES, DETAILS & SPECIFICATIONS	S000 TBC	E000 TBC	

RIPTIDE HOTEL CONTRACTOR MUNICIPAL
 2300 North Surf Road, Hollywood, FL. 33019 TBD CITY OF HOLLYWOOD
 T. (954) 589-2220 F. (954) 589-2491
 www.riptidehotel.com

No.	Description	Date
1	PRELIMINARY TAC	10/17/2016
2	FINAL TAC	02/21/2017
3	FINAL TAC SIGNED-OFF	10/16/2017

Date
05/01/14

COVER SHEET
 Project Number
1603
 Sheet Number
A000

INTERIOR PERSPECTIVES



EXTERIOR PERSPECTIVES



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RIPTIDE HOTEL
 2300 N SURF ROAD
 HOLLYWOOD, FL 33019

Sheet

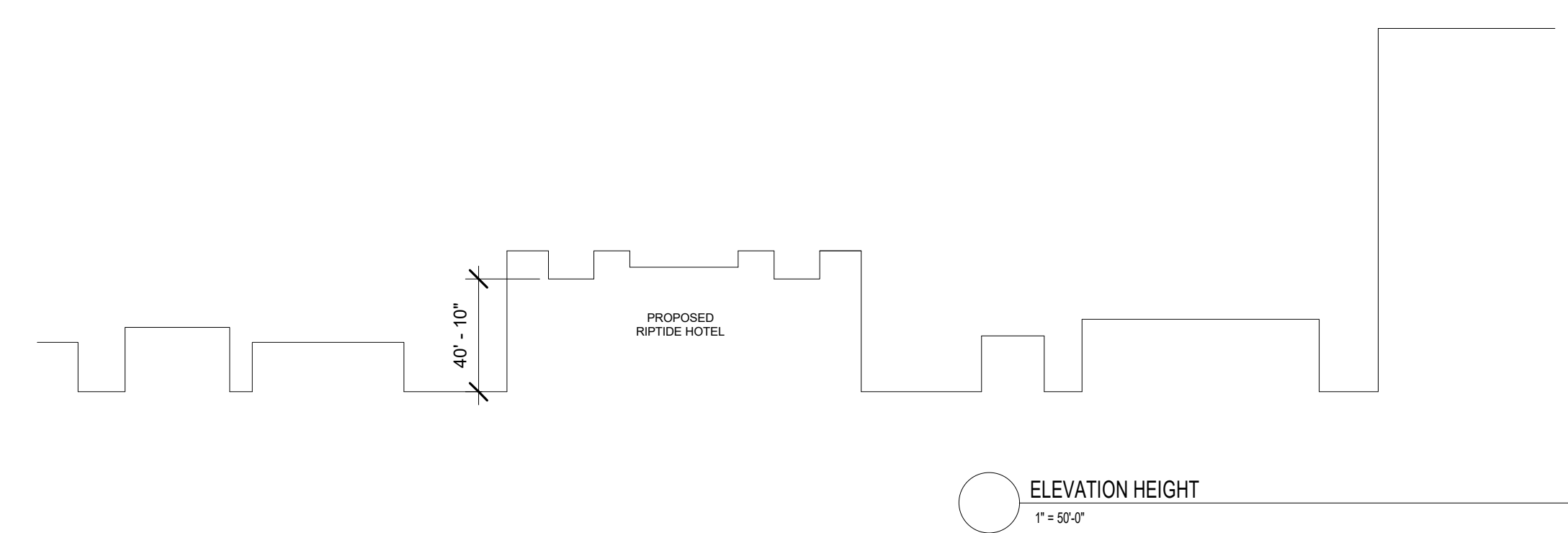
No.	Description	Date
1	FINAL TAC	02/21/2017
2	FINAL TAC SIGNED-OFF	10/16/2017

Date
 01/26/17

**3D COLOR
 RENDERING**
 Project Number
1603
 Sheet Number
A061



	SW6049 SHERWIN WILLIAMS - GORGEOUS WHITE
	SW6050 SHERWIN WILLIAMS - ABALONE SHELL
	SW6051 SHERWIN WILLIAMS - SASHAY SAND
	SW7005 SHERWIN WILLIAMS - PURE WHITE (REVEAL)
	SW7071 SHERWIN WILLIAMS - SILVER STRAND (RAILING & STOREFRONT FRAMING)

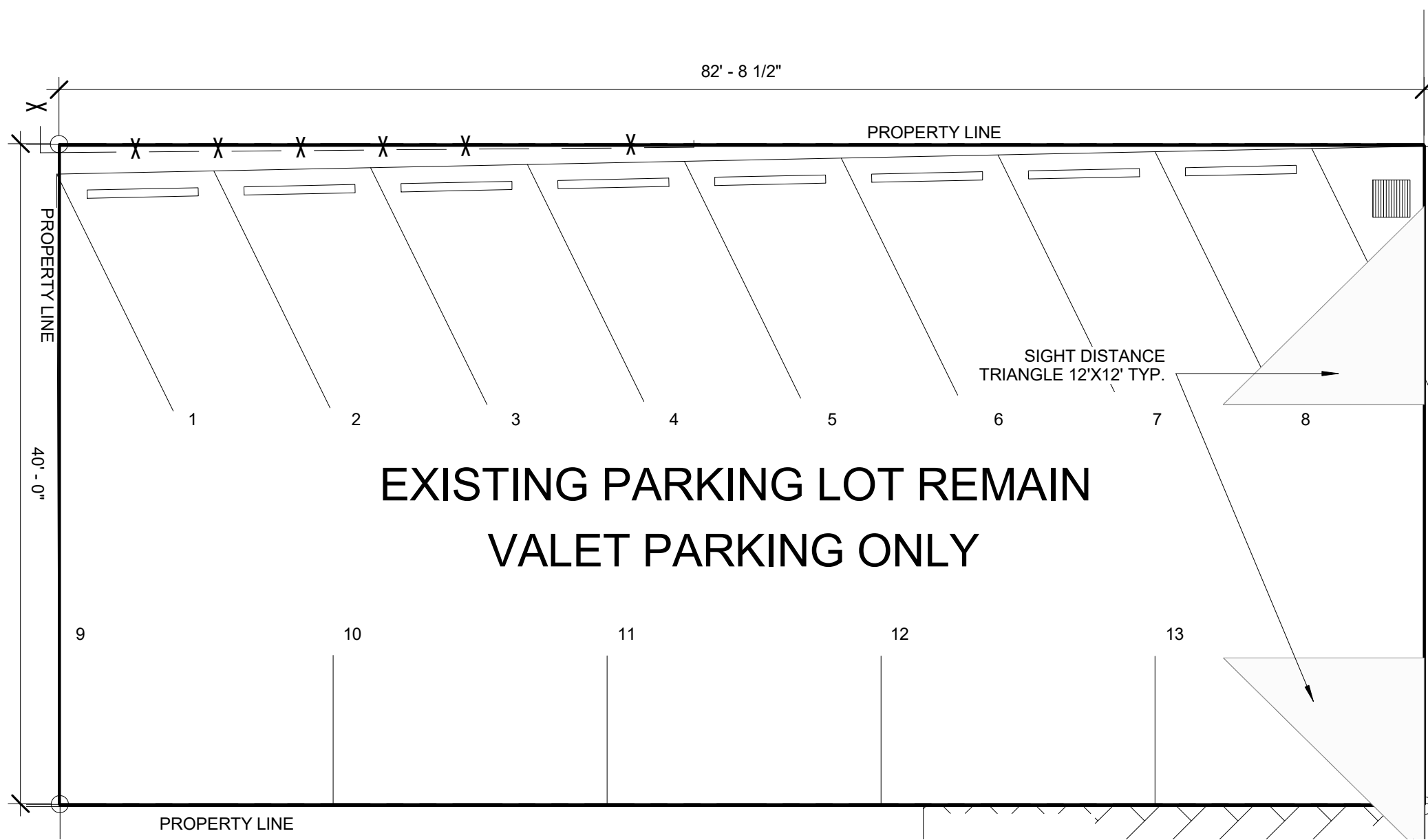


RIPTIDE HOTEL
2300 N SURF ROAD
HOLLYWOOD, FL 33019

No.	Description	Date
2	FINAL TAC SIGNED-OFF	02/21/2017
3	FINAL TAC SIGNED-OFF	10/16/2017

Date
01/26/17

Seal



NEVADA STREET

SITE DATA

LEGAL DESCRIPTION:
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PARKING:	REQUIRED	PROVIDED
UNITS - 1 PER ROOM	= 31 SPACES	13 SPACES ON-SITE
		13 SPACES OFF-SITE PARKING LOT
		25 VALET SPACES
		1 HC SELF PARKING
		26 SPACES
TOTAL	31 SPACES	

*LEASING 5 PARKING SPACES FROM CRA.

LOADING:
ACCORDING TO CRA, ROOSEVELT STREET IS DESIGNATED AS A PARKING LOADING ZONE FOR TRUCK UP TO 30 FEET.

A DROP-OFF PARKING SPACE ON SITE HAS BEEN PROVIDED.

PROPERTY ADDRESS
2300 NORTH SURF ROAD, HOLLYWOOD, FLORIDA 33019

SITE INFORMATION

EXISTING ZONING: BOARDWALK HISTORIC DISTRICT COMMERCIAL (BWK-25-HD-C)

LAND USE DESIGNATION: GENERAL BUSINESS

NET LOT AREA: 13,288.00 SQUARE FEET

GROSS LOT AREA: 21,140.00 SQUARE FEET (.45 AC)

DENSITY:

ALLOWED:	REQUESTED:
50 ROOMS PER GROSS AC	67.5 ROOMS PER GROSS AC
0.45 X 50 = 22.5 = 23 ROOMS	0.45 X 70 = 31.5 = 32 ROOMS
	REQUESTING AN ADDITIONAL 8 HOTEL ROOMS FROM THE HOTEL DENSITY POOL BASED ON HAVING A LOT GREATER THAN OR EQUAL TO 17,000 SF)

(ARTICLE 4.6.i [3F2A])

REQUIRED		PROVIDED		ARTICLE
BASE SETBACK	CROSS STREET 10 FEET SURF ROAD 5 FEET BOARD WALK 5 FEET** INTERIOR SIDE N/A	CROSS STREET 10 FEET SURF ROAD 5 FEET BOARD WALK 5 FEET INTERIOR SIDE N/A	4.6.i [3F4A]	
TOWER SETBACK	CROSS STREET 20 FEET SURF ROAD 15 FEET BOARD WALK 15 FEET INTERIOR SIDE N/A	CROSS STREET 20 FEET SURF ROAD 15 FEET BOARD WALK 15 FEET INTERIOR SIDE N/A	4.6.i [3F4B]	
HEIGHT	40 FEET	40 FEET 10 INCHES (APPROVED BY STAFFS)	4.6.i [3F5]	
31 GUEST ROOMS PROVIDED	2 ADA GUEST ROOMS	2 ADA GUEST ROOMS	TABLE 24A.2	

MATERIAL LEGEND

- PARTITIONS
- CMU WALLS
- CONCRETE WALLS
- STRUCTURAL CONCRETE WALL
- STRUCTURAL COLUMN

ALL DIMENSIONS TO BE VERIFIED IN FIELD

LEGEND

- EXISTING CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS PAVERS
- NEW PAVERS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS
- LANDSCAPE
- TRUNCATED DOMES
- PROPERTY LINE
- LINE OF REQUIRED SETBACK
- LINE OF BUILDING TOWER ABOVE

GREEN BUILDING PRACTICES
FROM CITY OF HOLLYWOOD ORDINANCE 0-2011-06

NOTE: PROJECT SHALL OBTAIN THE GREEN BUILDING CERTIFICATION.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREA.

TURTLE LIGHTING ORDINANCE:
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 "LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION" OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

SIGNAGE NOTE:
ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE ARTICLE 8 OF THE CITY'S ZONING AND LAND DEVELOPMENT REGULATIONS.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN. A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

NOTE:
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

NOTE:
DROP-OFF PARKING IS ALSO USE FOR MAIL DELIVERED. MAIL WILL BE DROP-OFF TO RECEPTION DESK AT CHECK IN LOUNGE.

FRONTAGE CALCULATIONS

40% FRONTAGE CALCULATION:	REQUIRED	PROPOSED
TOTAL FRONTAGE LENGTH IS 145.5'		
145.5' X 40% = 58.2'		
3RD FLOOR	58.2	51'-8 1/2"
4TH FLOOR	58.2	58'

25% ENCROACHMENT CALCULATIONS

	REQUIRED	PROPOSED
BASE SETBACK OF 5'-0"	1'-9"	1'-9"
TOWER SETBACK OF 15'-0" (BOARD WALK)	3'-9"	3'-9"
TOWER SETBACK OF 20'-0" (CROSS STREET)	5'-0"	5'-0"

VARIANCES DATA

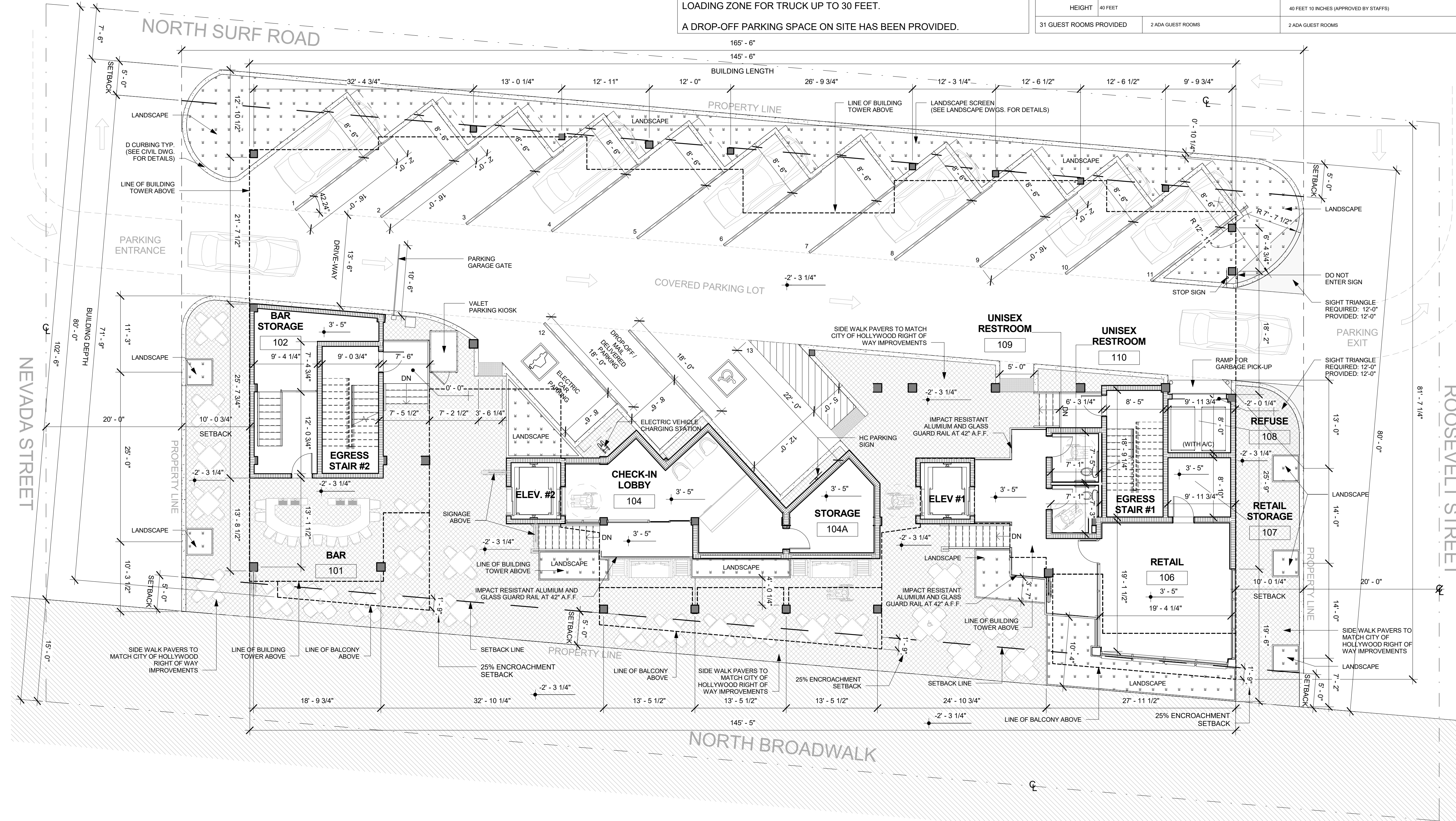
VARIANCES CRITERIA	REQUIRED	PROPOSED
PARKING LANDSCAPE SET BACK	5'-0"	10.25'

FEMA DATA

FEMA COMPLIANCE	PROPOSED	REQUIRED
FLOOD INSURANCE RATE MAP (F.I.R.M.) DESIGNATION	ZONE "VE"	ZONE "VE"
DATE OF F.I.R.M. IDENTIFICATION	-	SEPTEMBER 3, 2003
BASE FLOOD ELEVATION	ELEVATION: "VE"	ELEVATION: "VE"
FIRST HABITABLE FLOOR TOP OF SLAB ELEVATION	ELEVATION: "VE"	11'-0"
SLAB ELEVATIONS BELOW FEMA	SEE ARCHITECTURAL PLANS.	CONSTRUCTION BELOW FEMA BASE FLOOD SHALL COMPLY WITH A.S.C.E. 24-14

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT. ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL, AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 15.7' NAVD (11.5' MVD + 1.5').

BUILDING AREA	GROUND LEVEL	2,053 S.F. (15.8%)
IMPERVIOUS PAVERED AREA	GROUND LEVEL	9,512 S.F. (71.8%)
PERVIOUS AREA	GROUND LEVEL	1,673 S.F. (12.8%)
TOTAL SITE AREA	GROUND LEVEL	13,238 S.F.
LANDSCAPE AREAS	GROUND LEVEL	1350 S.F.
	LEVEL 2	0 S.F.
	LEVEL 3	460 S.F.
	LEVEL 4	0 S.F.
	ROOF LEVEL	0 S.F.
TOTAL		1810 S.F.



1 PROPOSED SITE PLAN
1/8" = 1'-0"

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REG. NO. AA002344
INCORPORATED

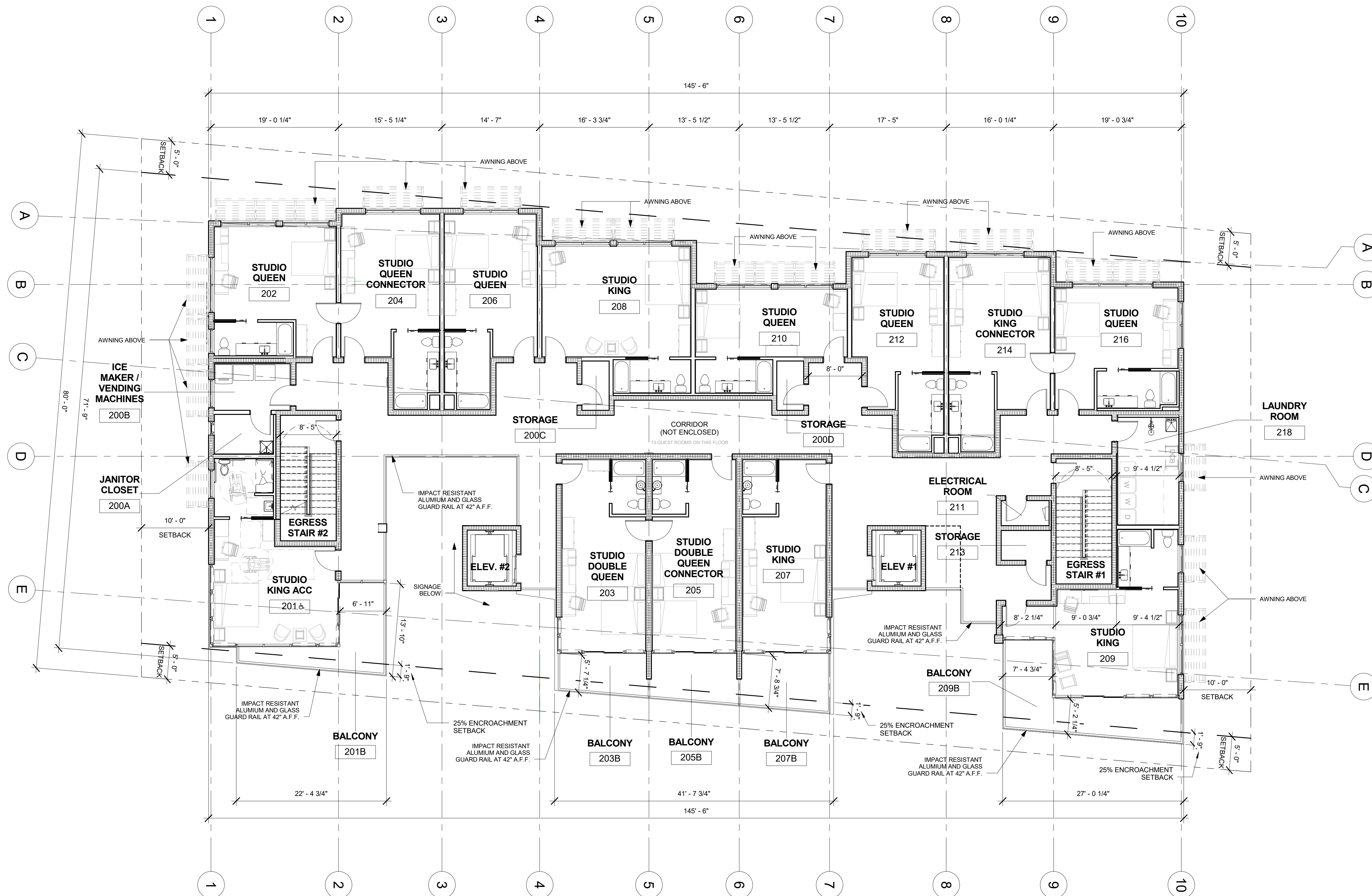
RIPTIDE HOTEL
2300 N SURF ROAD
HOLLYWOOD, FL 33019

Revision Log

No.	Date	Description
1	10/17/2016	PRELIMINARY TAC
2	02/21/2017	FINAL TAC
3	10/16/2017	FINAL TAC SIGNED-OFF

Date: 10/26/17

SITE PLAN
Project Number: 1603
Sheet Number: A082



MATERIAL LEGEND

	PARTITIONS
	CMU WALLS
	CONCRETE WALLS
	STRUCTURAL CONCRETE WALL
	STRUCTURAL COLUMN

LEGEND

	EXISTING CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS PAVERS
	NEW PAVERS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS
	LANDSCAPE
	TRUNCATED DOMES
	PROPERTY LINE
	LINE OF REQUIRED SETBACK
	LINE OF BUILDING TOWER ABOVE

FRONTAGE CALCULATIONS

40% FRONTAGE CALCULATION:
TOTAL FRONTAGE LENGTH IS 145.5'
145.5' X 40% = 58.2'

	REQUIRED	PROPOSED
3RD FLOOR	58.2'	51'-8 1/2"
4TH FLOOR	58.2'	58'

25% ENCROACHMENT CALCULATIONS

	REQUIRED	PROPOSED
BASE SETBACK OF 5'-0"	1'-9"	1'-9"
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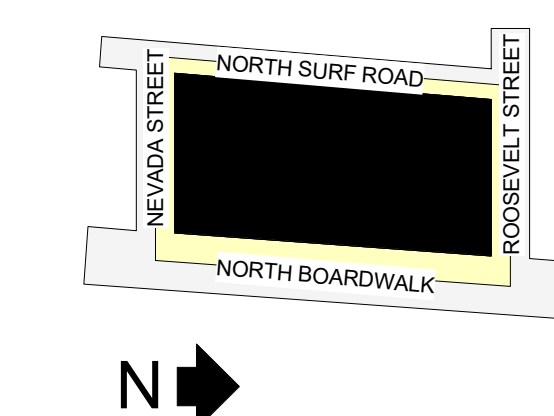
RIPTIDE HOTEL
2300 N SURF ROAD
HOLLYWOOD, FL 33019

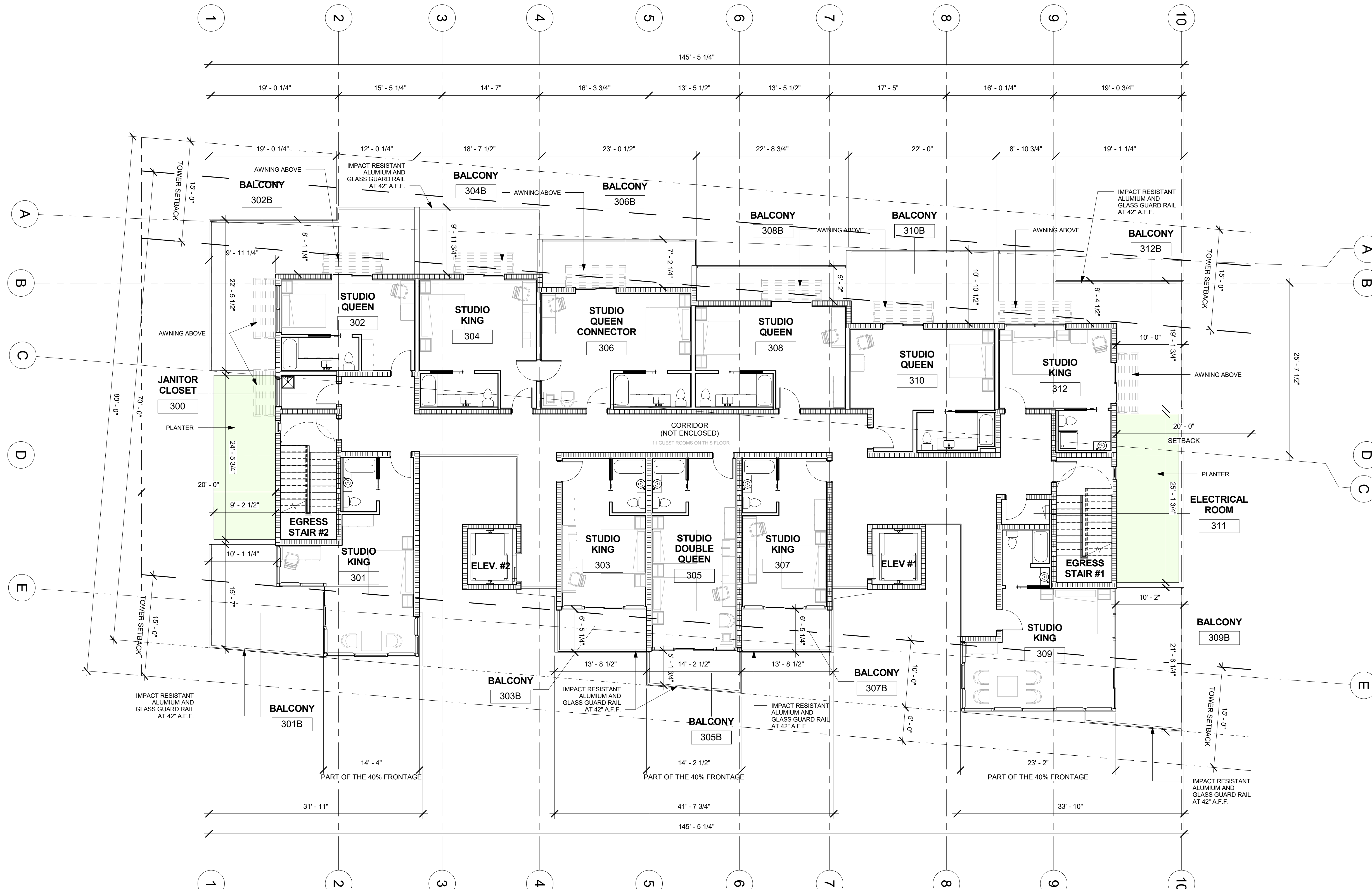
No.	Date	Description
1	10/17/2016	PRELIMINARY TAC
2	02/21/2017	FINAL TAC
3	10/16/2017	FINAL TAC SIGNED-OFF

Date: 01/26/17

LEVEL 2 FLOOR PLAN
Project Number
1603
Sheet Number
A102

1 LEVEL 2 FLOOR PLAN
1/8" = 1'-0"





MATERIAL LEGEND

	PARTITIONS
	CMU WALLS
	CONCRETE WALLS
	STRUCTURAL CONCRETE WALL
	STRUCTURAL COLUMN

LEGEND

	EXISTING CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS PAVERS
	NEW PAVERS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS
	LANDSCAPE
	TRUNCATED DOMES
	PROPERTY LINE
	LINE OF REQUIRED SETBACK
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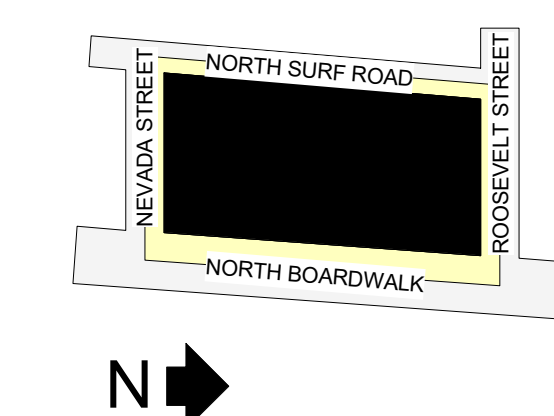
FRONTAGE CALCULATIONS

40% FRONTAGE CALCULATION: TOTAL FRONTAGE LENGTH IS 145.5'		
	REQUIRED	PROPOSED
3RD FLOOR	58.2'	51'-8 1/2"
4TH FLOOR	58.2'	58'

25% ENCROACHMENT CALCULATIONS

	REQUIRED	PROPOSED
BASE SETBACK OF 5'-0"	1'-9"	1'-9"
TOWER SETBACK OF 15'-0" (BOARD WALK)	3'-9"	3'-9"
TOWER SETBACK OF 20'-0" (CROSS STREET)	5'-0"	5'-0"

1 LEVEL 3 FLOOR PLAN
1/8" = 1'-0"



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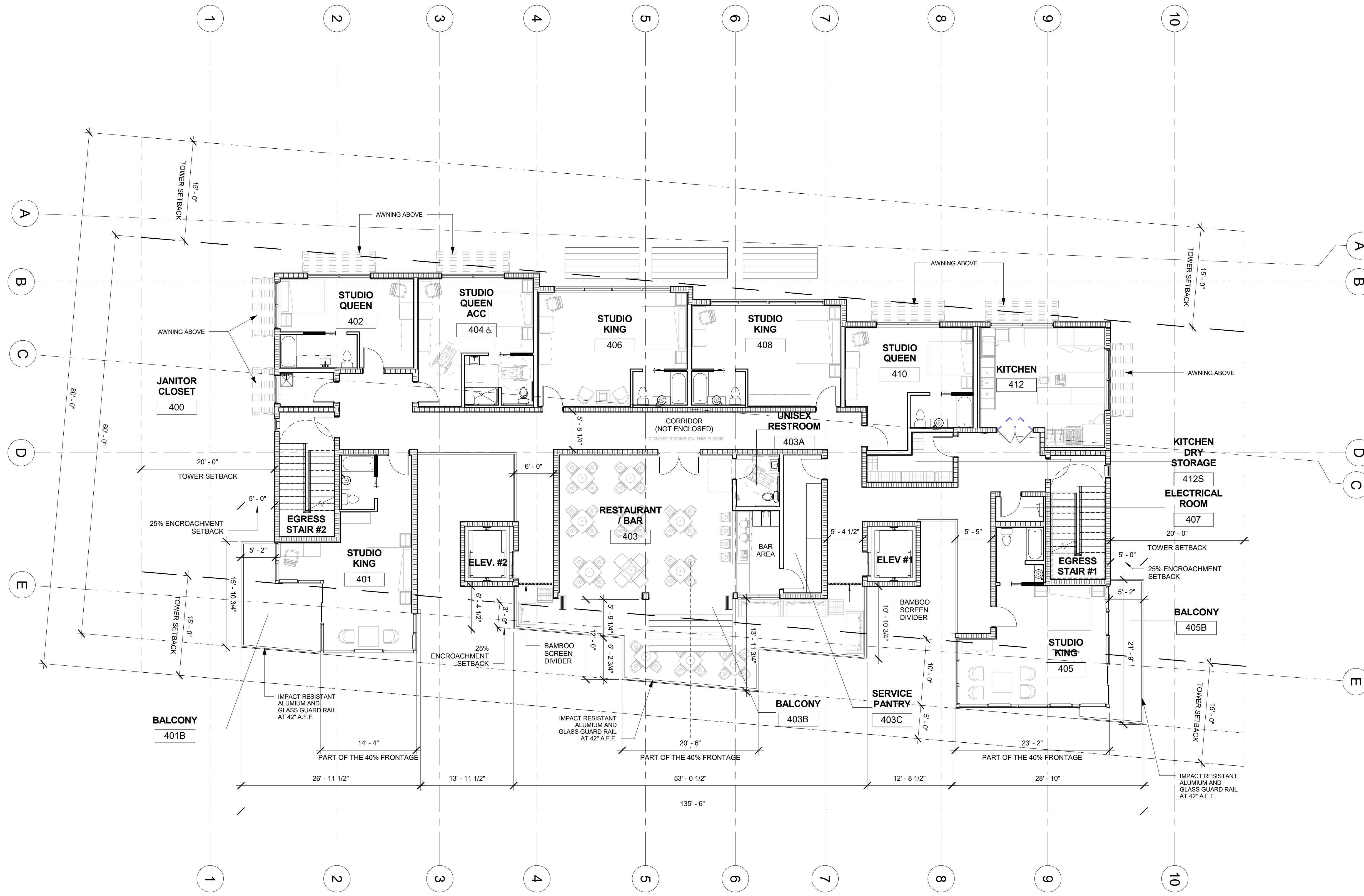
RIPTIDE HOTEL
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HOLLYWOOD, FL 33019

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1	PRELIMINARY TAC	10/17/2016
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3	FINAL TAC SIGNED-OFF	10/16/2017

Date: 01/26/17

LEVEL 3 FLOOR PLAN
Project Number
1603
Sheet Number
A103

EXHIBIT B



MATERIAL LEGEND

	PARTITIONS
	CMU WALLS
	CONCRETE WALLS
	STRUCTURAL CONCRETE WALL
	STRUCTURAL COLUMN

ALL DIMENSIONS TO BE VERIFIED IN FIELD

LEGEND

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	NEW PAVERS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS
	LANDSCAPE
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	PROPERTY LINE
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FRONTAGE CALCULATIONS

40% FRONTAGE CALCULATION:
TOTAL FRONTAGE LENGTH IS 145.5'
145.5' X 40% = 58.2'

	REQUIRED	PROPOSED
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HOLLYWOOD, FL 33019

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Date: 01/26/17

LEVEL 4 FLOOR PLAN

Project Number
1603
Sheet Number
A104

1 LEVEL 4 FLOOR PLAN
1/8" = 1'-0"

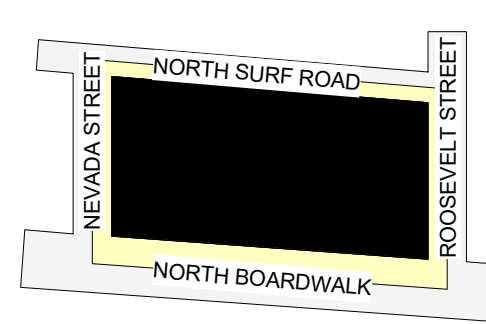
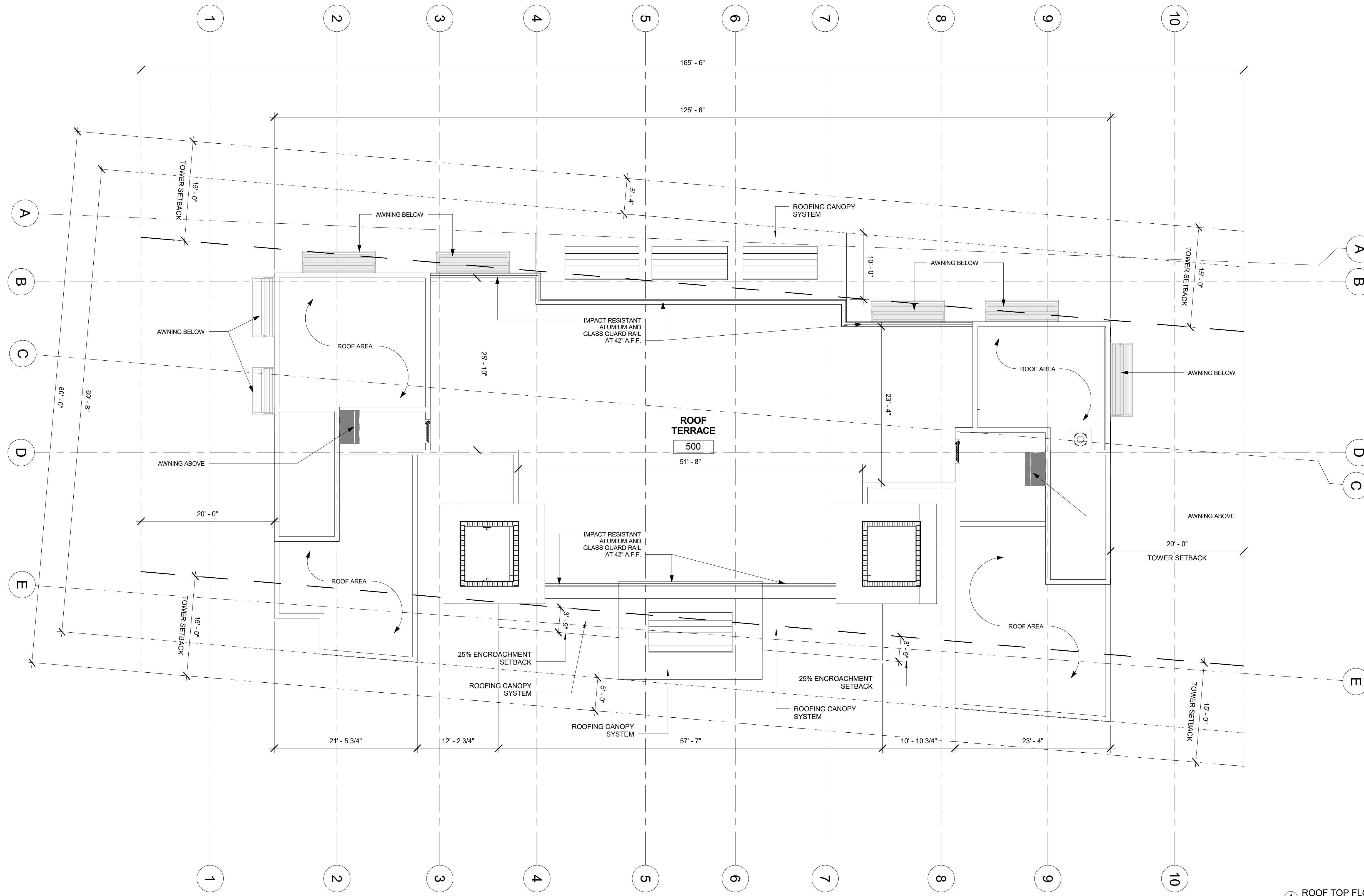


EXHIBIT B



1 ROOF TOP FLOOR PLAN
1/8" = 1'-0"

MATERIAL LEGEND

	PARTITIONS
	CMU WALLS
	CONCRETE WALLS
	STRUCTURAL CONCRETE WALL
	STRUCTURAL COLUMN

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LEGEND

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ROOF TOP FLOOR PLAN

Project Number
1603
Sheet Number
A105

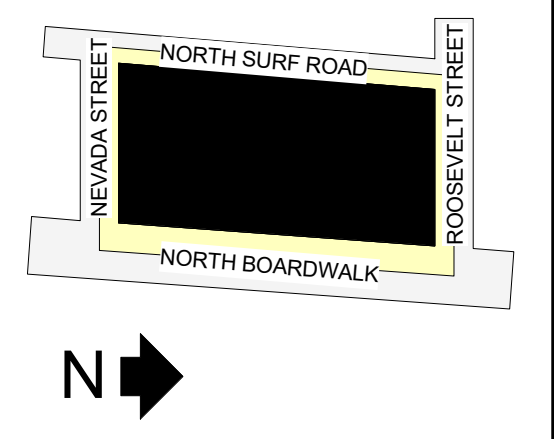
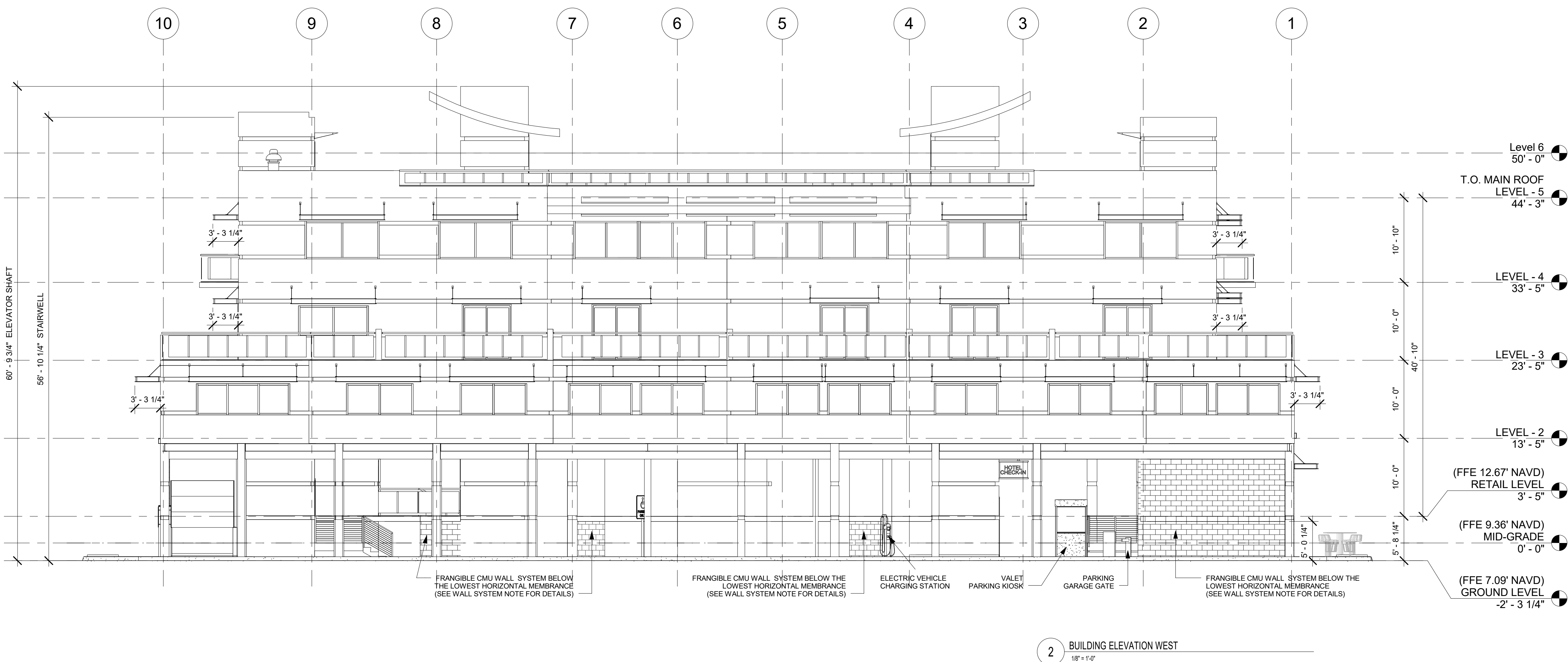
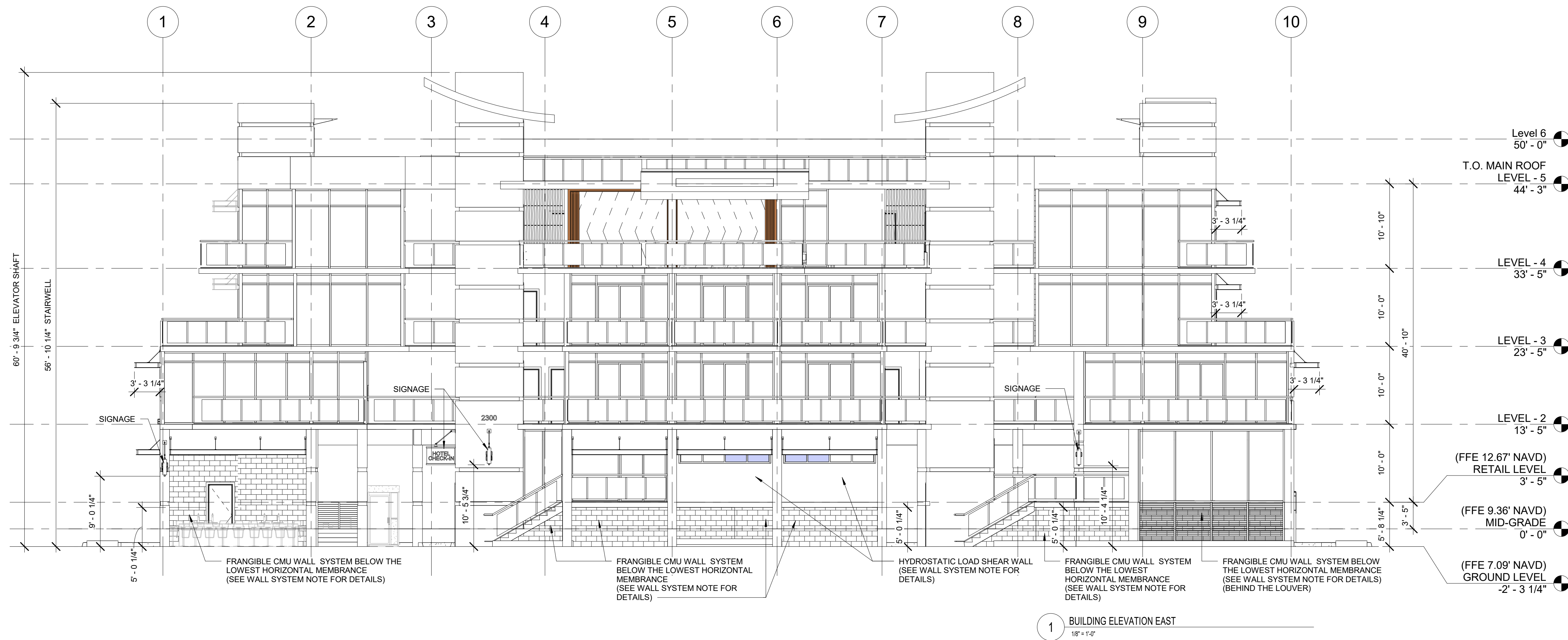


EXHIBIT B



WALL SYSTEM NOTE:
According to FEMA requirement, walls below lowest horizontal structural member (in this case is 12.0' N.A.V.D.) need to be break-away or frangible CMU wall system.

Exceptions:

1. Stairways and Stairwells;
2. Shear walls perpendicular to the shoreline;
3. Shear walls parallel to the shoreline, which are limited to maximum of 20% of the building length in the direction running parallel to the shore;
4. Shear walls parallel to the shoreline, which exceed 20 percent of the total building length (including any attached major structure) when they meet the following criteria:
 - a. A certification is provided by a Florida-registered professional engineer that certifies that the increased length of shear walls, over 20 percent, are located landward of the 100-year erosion limit;
 - b. A hydraulic analysis is provided and certified by a Florida-registered professional engineer that evaluates the potential impact of flow increase on the subject parcel and adjacent properties;
 - c. The hydraulic analysis demonstrates that although the overall shear wall coverage is more than 20 percent, the increased shear wall length will not result in substantial increase of flow velocities and drag forces on the structural components of the proposed structure and neighboring structures; and
 - d. The provisions under Section 3109.4.2 (Exception 4) do not include any low-rise building as defined in Section 1609.2.
5. Wind or sand screens constructed of fiber or wire mesh;
6. Light, open lattice partitions with individual, wooden lattice strips not greater than 3/4-inch (19 mm) thick and 3-inches (76 mm) wide;
7. Elevator shafts;
8. Small mechanical and electrical rooms; and
9. Break-away or frangible walls.

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HOLLYWOOD, FL 33019

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Date
01/26/17

ELEVATIONS

Project Number
1603

Sheet Number
A200

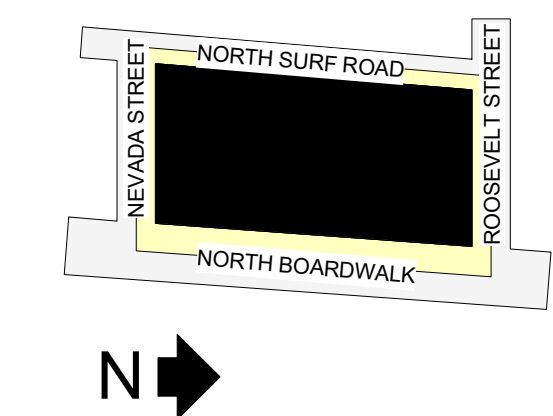
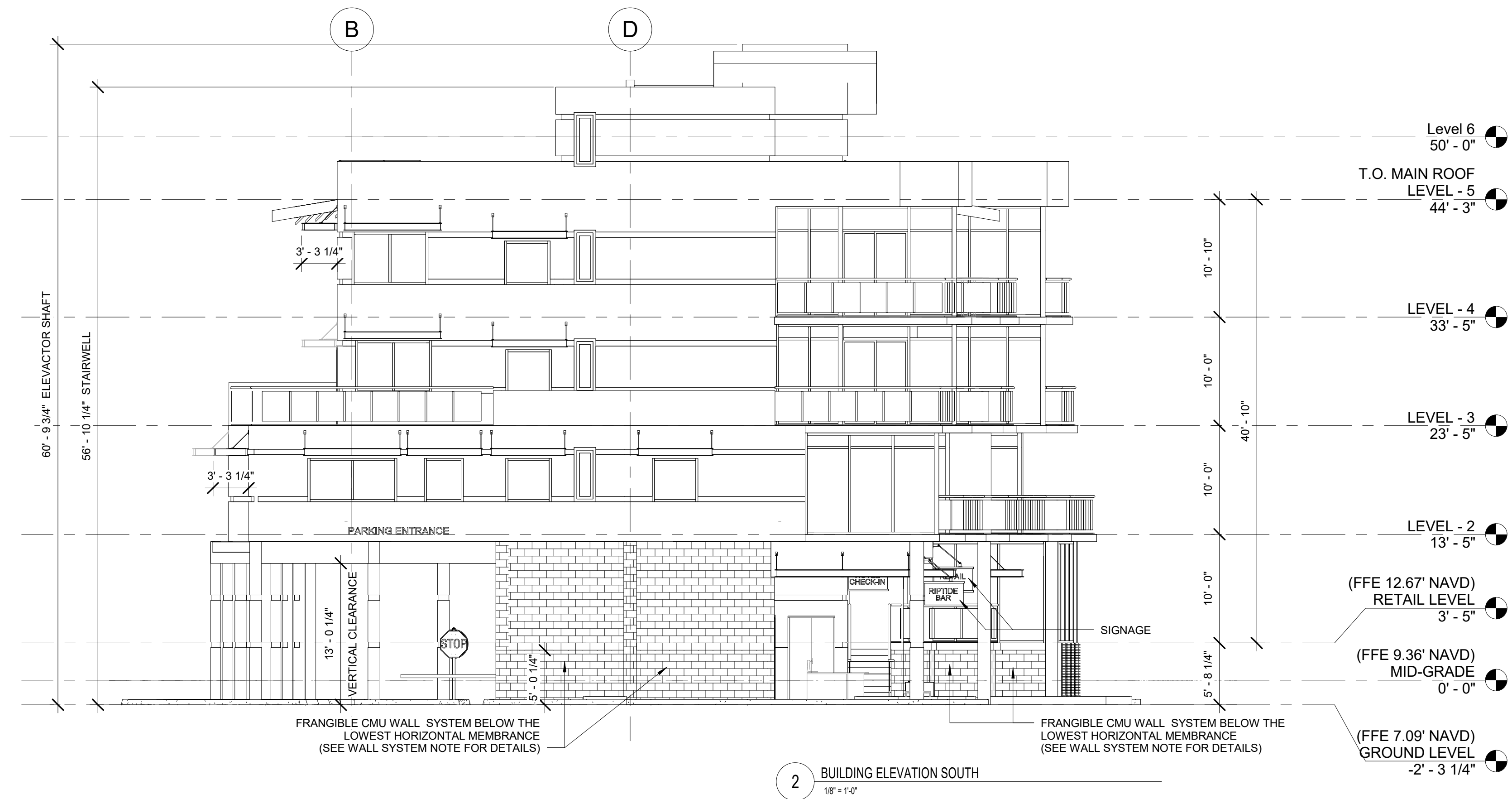
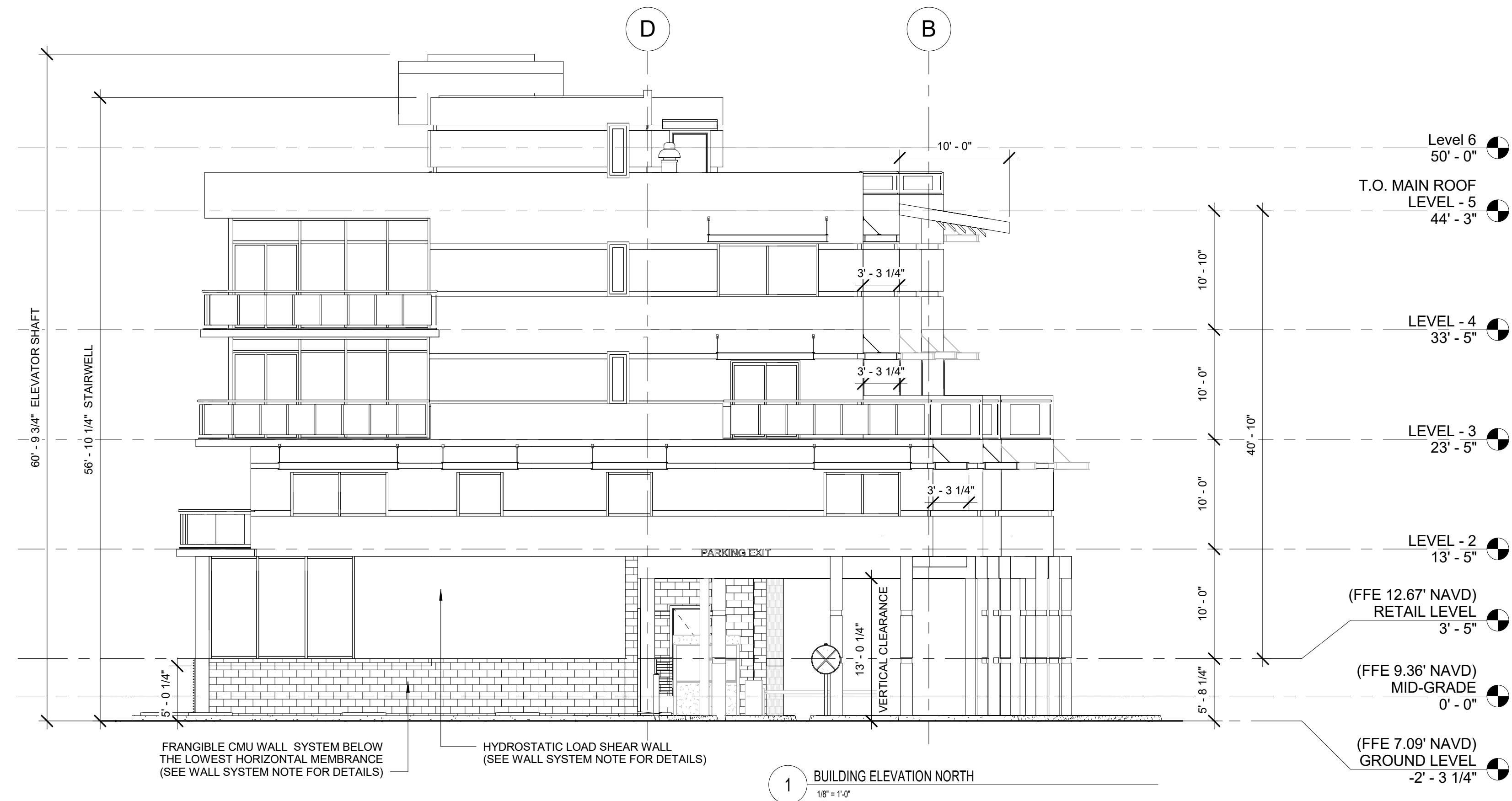


EXHIBIT B



WALL SYSTEM NOTE:

According to FEMA requirement, walls below lowest horizontal structural member (in this case is 12.0' N.A.V.D.) need to be break-away or frangible CMU wall system.

Exceptions:

- Stairways and Stairwells;
- Shear walls perpendicular to the shoreline;
- Shear walls parallel to the shoreline, which are limited to maximum of 20% of the building length in the direction running parallel to the shore;
- Shear walls parallel to the shoreline, which exceed 20 percent of the total building length (including any attached major structure) when they meet the following criteria:
 - A certification is provided by a Florida-registered professional engineer that certifies that the increased length of shear walls, over 20 percent, are located landward of the 100-year erosion limit;
 - A hydraulic analysis is provided and certified by a Florida-registered professional engineer that evaluates the potential impact of flow increase on the subject parcel and adjacent properties;
 - The hydraulic analysis demonstrates that although the overall shear wall coverage is more than 20 percent, the increased shear wall length will not result in substantial increase of flow velocities and drag forces on the structural components of the proposed structure and neighboring structures; and
 - The provisions under Section 3109.4.2 (Exception 4) do not include any low-rise building as defined in Section 1609.2.
- Wind or sand screens constructed of fiber or wire mesh; Light, open lattice partitions with individual, wooden lattice strips not greater than 3/4-inch (19 mm) thick and 3-inches (76 mm) wide;
- Elevator shafts;
- Small mechanical and electrical rooms; and
- Break-away or frangible walls.

RKB
ARCHITECTS PLANNERS,
INCORPORATED

RICHARD K. BROOKS
REG. NO. A0002344

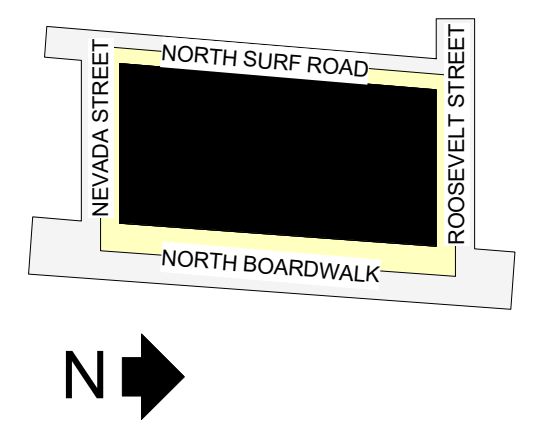
architecture | planning | interior design
Sanctuary Centre, 4800 N. Federal Highway, Suite B-104
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RIPTIDE HOTEL

2300 N SURF ROAD
HOLLYWOOD, FL 33019

No.	Description	Date
1	PRELIMINARY TAC	10/17/2016
2	FINAL TAC	02/21/2017
3	FINAL TAC SIGNED-OFF	10/16/2017

Date
05/01/14



ELEVATIONS

Project Number
1603

Sheet Number
A201

Seal

EXHIBIT B



SCALE: N.T.S.

2300 N. SURF ROAD, HOLLYWOOD, FL 33019

RIPTIDE HOTEL

COLOR SITE PLAN