

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: _____

Location Address: **335 INDIANA ST., HOLLYWOOD, FL 33019 - SEE ADDENDUM "A"**

Lot(s): **11-22** Block(s): **2** Subdivision: **HOLLYWOOD BEACH**

Folio Number(s): **514213-01-0940 (SEE ADDENDUM "A" FOR MORE INFORMATION)**

Zoning Classification: **BRT-25-C** Land Use Classification: **GBUS**

Existing Property Use: **PROVISIONAL PARKING LOT** Sq Ft/Number of Units: **36,509 SF**

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): **NO**

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: **DEVELOPING A PERMANENT SURFACE PARKING LOT FACILITY**

Number of units/rooms: **N/A** Sq Ft: **36,509 SF**

Value of Improvement: **\$350,000.00** Estimated Date of Completion: **TBD**

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: **DREAM HOLLYWOOD PROPERTIES, LLC / CARLOS HORCASITAS**
(SEE ADDENDUM "B" ENCLOSED)

Address of Property Owner: **1100 BRICKELL BAY DRIVE, #81-N, MIAMI, FL 33131**

Telephone: **786-631-1973** Fax: _____ Email Address: **CHORCASITAS@MAPLLC.COM**

Name of Consultant/Representative/Tenant (circle one): **ASTA PARKING**

Address: **725 NE 26 AVENUE, FORT LAUDERDALE, FL** Telephone: **954-564-1750**

Fax: _____ Email Address: **RICH@ASTAPARKING.COM**

Date of Purchase: **SEE ADDENDUM "C"** Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 3/21/2019

PRINT NAME: **CARLOS HORCASITAS, MEMBER/MANAGER AND PRESIDENT** Date: _____
DREAM HOLLYWOOD PROPERTIES, LLC-10003 FIELDS ROAD, INC.-100 NORTH FREDERICK AVENUE, INC.

Signature of Consultant/Representative: [Signature] Date: 3/21/19

PRINT NAME: **RICH HAESTIER, REPRESENTATIVE** Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for CONSTRUCTION OF SURFACE PARKING LOT to my property, which is hereby made by me or I am hereby authorizing **RICH HAESTIER** to be my legal representative before the **TECHNICAL ADVISORY COMMITTEE** (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 21st day of March 2019

[Signature]
Signature of Current Owner

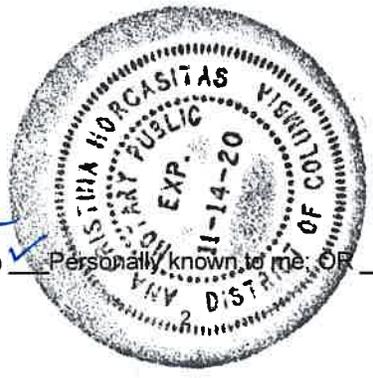
Carlos Horcasitas
Print Name MEMBER MGR/PRESIDENT

[Signature]

Notary Public

State of Florida Washington, DC

My Commission Expires: 11-14-20 (Check One) Personally known to me; OR Produced Identification _____



DREAM HOLLYWOOD PROPERTIES, LLC
1100 Brickell Bay Dr., Suite 81N
Miami, FL 33131

January 3, 2019

The City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33020

To Whom It May Concern:

Please allow this letter to serve as authorization on behalf of the owner of the real property located at 338 Buchanan St., 346 Buchanan St., 345 Indiana St., 915 N. Ocean Dr., Hollywood, FL 33019 for the following person, company, to handle contractual and permitting matters for this project with your city: PERMANENT SURFACE PARKING LOT PERMIT

0411
335 INDIANA STREET
0411

Richard Haestier
Asta Parking, Inc.
725 NE 26 St., Ft. Lauderdale, FL 33304
(954)461-9887 c, (954)564-1750 o
Rich@astaparking.com

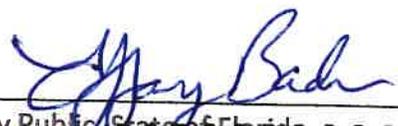
Sincerely,



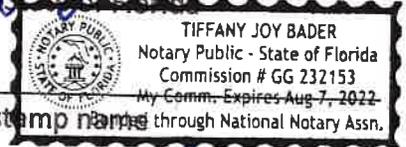
Carlos Horcasitas
Dream Hollywood Properties, LLC
1100 Brickell Bay Dr., Suite 81N
Miami, FL 33131

STATE OF FLORIDA
COUNTY OF BROWARD

Sworn to and subscribed before me this 3 day of January, 2019, by Carlos Horcasitas
Who is personally known to me or _____. Type of Identification Produced _____



Notary Public, State of Florida



Print, type or stamp name _____ through National Notary Assn.

My Commission Expires: Aug 7, 2022

PLANNING DIVISION
GENERAL APPLICATION
ADDENDUM "A"

PROJECT NAME:

- **DREAM HOLLYWOOD BEACH PARKING FACILITY**

PROJECT ADDRESS:

- **335 INDIANA STREET, HOLLYWOOD, FL 33019**
- **345 INDIANA STREET, HOLLYWOOD, FL 33019**
- **915 N. OCEAN DRIVE, HOLLYWOOD, FL 33019**
- **338-342 BUCHANAN STREET, HOLLYWOOD, FL 33019**
- **346 BUCHANAN STREET, HOLLYWOOD, FL 33019**

FOLIO NUMBERS:

- **514213-01-0940-----A/K/A 335 INDIANA STREET**
- **541213-01-0950-----A/K/A 345 INDIANA STREET**
- **514213-01-0960-----A/K/A 915 N. OCEAN DRIVE**
- **514213-01-0990-----A/K/A 338-342 BUCHANAN STREET**
- **514213-01-0970-----A/K/A 346 BUCHANAN STREET**

PLANNING DIVISION
GENERAL APPLICATION
ADDENDUM "B"

NAME OF CURRENT PROPERTY OWNER:

- **AS FOR 335 INDIANA STREET—OWNER IN FEE SIMPLE:**
DREAM HOLLYWOOD PROPERTIES, LLC
MEMBER/MANAGER: CARLOS HORCASITAS

- **AS FOR 345 INDIANA STREET—OWNER IN FEE SIMPLE:**
10003 FIELDS ROAD, INC. A MARYLAND CORPORATION (62%)
AND
100 NORTH FREDERICK AVENUE, INC. A MARYLAND CORPORATION (38%)
PRESIDENT OF BOTH CORPORATIONS: CARLOS HORCASITAS

- **AS FOR 915 N. OCEAN DRIVE—OWNER IN FEE SIMPLE:**
10003 FIELDS ROAD, INC. A MARYLAND CORPORATION (62%)
AND
100 NORTH FREDERICK AVENUE, INC. A MARYLAND CORPORATION (38%)
PRESIDENT OF BOTH CORPORATIONS: CARLOS HORCASITAS

- **AS FOR 338-342 BUCHANAN STREET—OWNER IN FEE SIMPLE:**
10003 FIELDS ROAD, INC. A MARYLAND CORPORATION (62%)
AND
100 NORTH FREDERICK AVENUE, INC. A MARYLAND CORPORATION (38%)
• PRESIDENT OF BOTH CORPORATIONS: CARLOS HORCASITAS

- **AS FOR 346 BUCHANAN STREET—OWNER IN FEE SIMPLE:**
DREAM HOLLYWOOD PROPERTIES, LLC
MEMBER/MANAGER: CARLOS HORCASITAS

PLANNING DIVISION
GENERAL APPLICATION
ADDENDUM "C"

DATE OF PURCHASE:

- **AS FOR 335 INDIANA STREET: JULY 7TH,
2015**

- **AS FOR 345 INDIANA STREET **AND**
915 N. OCEAN DRIVE **AND**
338-342 BUCHANAN STREET: APRIL 9TH,
2015**

- **AS FOR 346 BUCHANAN STREET: AUGUST
26TH, 2015**

PARKING INSTRUCTIONS

1. PARK
2. PAY BY PLATE VIA APP OR
METER
3. FAILURE TO PAY IN ADVANCE
OR EXPIRED TIME WILL
RESULT WITH A PARKING
NOTICE AND/OR BOOTING
AND/OR TOWING.

PRIVATE PROPERTY



ASTA
PARKING



SINCE 1989 / 888-764-ASTA



(P)AYMENT OPTIONS



**PAY BY
PLATE
AT
METER**

(ON THIS PROPERTY ONLY)

OR



**Download
ParkByApp**

App Store / Google Play

or go to

ParkByApp.com

OR CALL TO MAKE PAYMENT 844-320-1APP

**PRIVATE PROPERTY
ENFORCED 24 / 7**

ZONE

**FAILURE TO PAY IN ADVANCE OR EXPIRED TIME WILL RESULT WITH A PARKING NOTICE
AND/OR BOOTING AND/OR TOWING. HANDICAP VEHICLES MUST PAY.**

WARNING NOTICE

**YOU ARE ENTERING PRIVATE PROPERTY
VEHICLES IN VIOLATION OF THE PARKING
RULES ARE SUBJECT TO BEING ISSUED A
PARKING NOTICE AND OR BOOTED OR TOWED
ENFORCED 24 HOURS PER DAY
7 DAYS A WEEK**

**THIS IS NOT A MUNICIPAL
PUBLIC PARKING FACILITY**

**MUNICIPAL PAY STATIONS RECEIPTS; PARKING
PERMITS; AND/OR PAY BY PHONE ARE NOT
HONORED AT THIS FACILITY.**

**THE BOOTING & TOWING EXPENSE IS SUBJECT TO
MAXIMUM ALLOWABLE RATES.**

The parking operator, property management company and property owner is by this sign offering space for parking. You accept this offer by parking in this parking facility and must obey the posted rules and regulations. If you do not agree to these terms and conditions, please locate alternate parking. All requirements of notice and acceptance are hereby waived by the parking operator, property management company and property owner. If you park in violation of these posted rules the parking notice rate is \$50.00 per day or portion thereof. In addition, your vehicle may be be booted or towed.

By parking on this parking facility, you grant Asta Parking / ParkByApp and its agents the right to obtain registered owner information and address for the vehicle you are driving. This information is for the sole purpose of collecting unpaid parking fees and parking notice fees. Parking and Parking Notice fees uncollected by Asta Parking /ParkByApp may be referred for collection to a debt collector. All information is protected under the Title 18 U.S.C Section 2721 et. Seq., and applicable federal and state law.

SIZE 18" * 24"

font style: ARIAL BOLD

ALL WHITE REFLECTIVE

NO HOLES

.80 ALUMINUM

PROJECT:
915 N OCEAN DRIVE PARKING LOT

SITE ADDRESS: 915 N OCEAN DRIVE, HOLLYWOOD, FL 33019

FINAL TAC SUBMITTAL: APRIL 15, 2019

FINAL TAC MEETING: MAY 06, 2019

SHEET INDEX:

SURVEY

C0	SITE PLAN
C2	CONCEPTUAL PAVING, GRADING, AND DRAINAGE PLAN
LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE NOTES AND DETAILS
SOL	PHOTOMETRIC PLAN

LAND DESCRIPTION:

LOTS 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21 AND 22, BLOCK 2, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

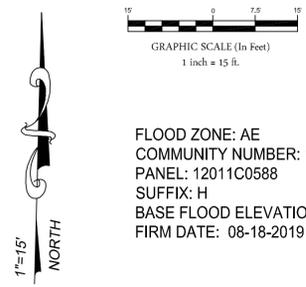


LOCATION SKETCH

N.T.S.



NORTH



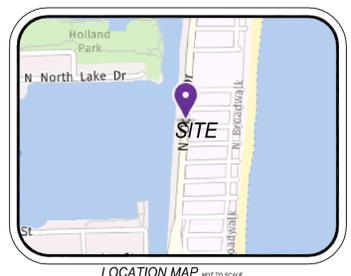
FLOOD ZONE: AE
 COMMUNITY NUMBER: 125113
 PANEL: 12011C0588
 SUFFIX: H
 BASE FLOOD ELEVATION: (6)(7)
 FIRM DATE: 08-18-2019

ALTA / NSPS SURVEY WITH TOPOGRAPHY

915 NORTH OCEAN DRIVE
 335 & 345 INDIANA STREET
 338, 342 & 346 BUCHANAN STREET
 HOLLYWOOD, FL 33019

PREPARED FOR
DREAM HOLLYWOOD PROPERTIES, LLC
 C/O CARLOS HORCASITAS, MEMBER

THE PARCELS ARE CONTIGUOUS AND CONTAIN NO GORES, GAPS OR OVERLAPS ALONG THEIR COMMON BOUNDARIES UNLESS OTHERWISE SHOWN



ABBREVIATION DESCRIPTION:

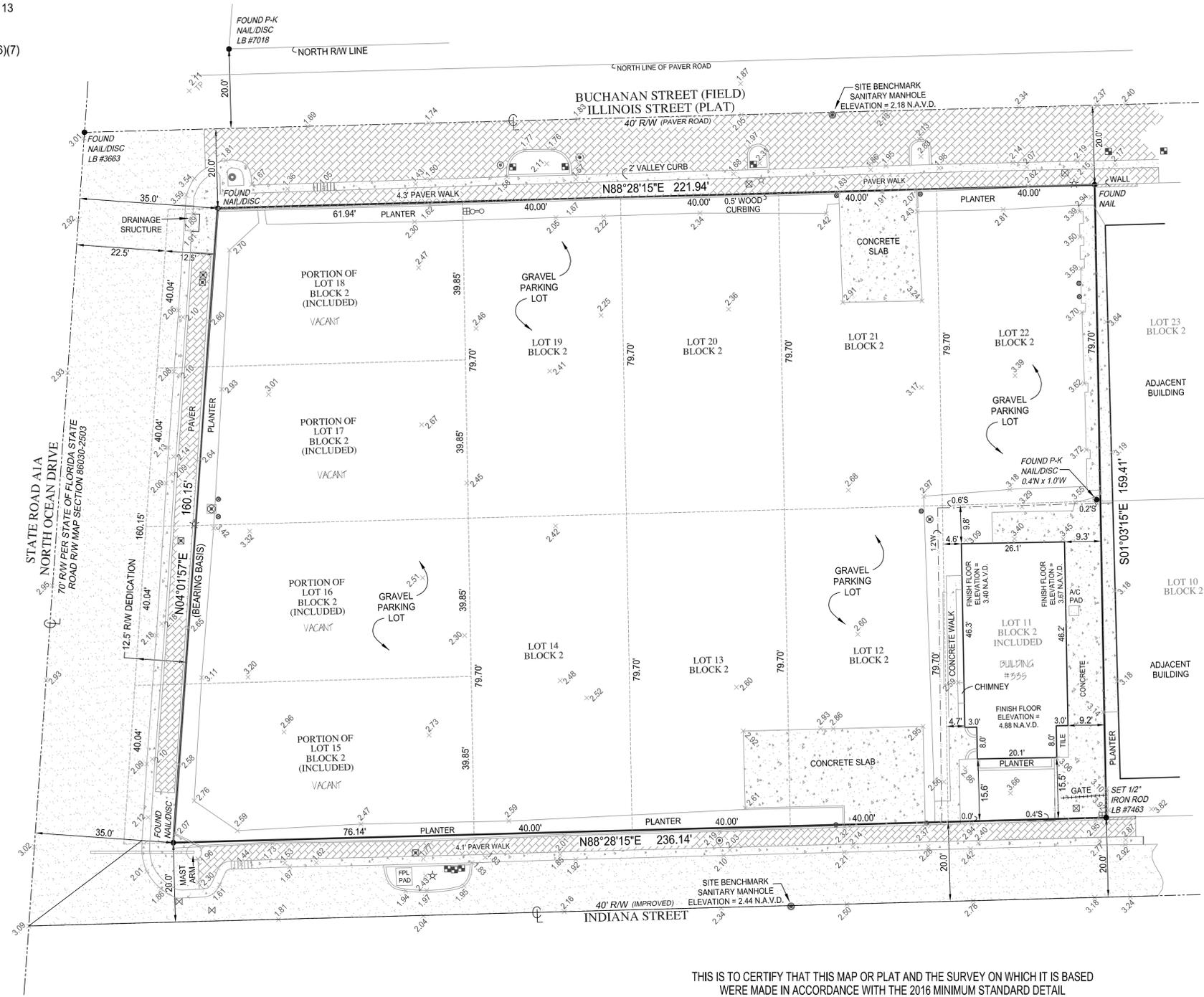
A/C	AIR CONDITIONER
C/L	CENTERLINE
I.D.	IDENTIFICATION
LB	LICENSED BUSINESS
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
O.R.B.	OFFICIAL RECORD BOOK
P.B.	PLAT BOOK
P-K	PARKER KYLON NAIL
PSM	PROFESSIONAL SURVEYOR MAPPER
R/W	RIGHT OF WAY
X	TOPOGRAPHIC ELEVATION

ORIGINAL FIELD WORK COMPLETED BY:
 TARGET SURVEYING, LLC
 SURVEY #224233
 SURVEY #224232
 SURVEY # 224229
 SURVEY # 230929
 SURVEY #230930

PROPERTY CONTAINS:
 36,509.12 SQUARE FEET OR
 0.84 ACRES MORE OR LESS

UTILITIES LEGEND

	CURB INLET
	COMMUNICATIONS BOX
	WATER VALVE
	PAY METER
	UTILITY RISER
	BOLLARD
	TRAFFIC SIGNAL BOX
	LIGHT
	ELECTRIC BOX
	WATER METER
	SANITARY MANHOLE
	STORM MANHOLE
	UNDERGROUND UTILITIES
	BACKFLOW PREVENTOR



I HAVE REVIEWED OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, SCHEDULE B- POLICY# 0F6-8350000, AGENT FILE# 15152.01, DATED SEPTEMBER 3, 2015 AT 11:48 A.M. AND HAVE DETERMINED IF THEY DIRECTLY AFFECT THE SUBJECT BOUNDARY AND ARE PLOTTED IN THE BOUNDARY OF THIS SURVEY AS FOLLOWS:

ITEM#	P.B./PAGE	PLOTTED	DESCRIPTION
8	1/27	YES	ALL PLOTTED THAT AVAILABLE
9	O.R.B./PAGE	PLOTTED	DESCRIPTION
	14022/900	NO	NEW CITY OF HOLLYWOOD ORDINANCES

LEGAL DESCRIPTION FOR ABOVE TITLE POLICY:
 LOT 19, BLOCK 2, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

I HAVE REVIEWED FIRST AMERICAN TITLE INSURANCE COMPANY, SCHEDULE B- POLICY# 5011412-0259822a, FILE# NGS-718005-CHI2, DATED APRIL 9, 2015 AT 4:24 P.M. AND HAVE DETERMINED IF THEY DIRECTLY AFFECT THE SUBJECT BOUNDARY AND ARE PLOTTED IN THE BOUNDARY OF THIS SURVEY AS FOLLOWS:

ITEM#	O.R.B./PAGE	PLOTTED	DESCRIPTION
8	10673/349	NO	CABLE EASEMENT FOR HOTEL - HOTEL DEMOLISHED
9	13844/474 (PARCEL 2)	NO	CABLE EASEMENT FOR HOTEL - HOTEL DEMOLISHED
10	16536/669 (PARCEL 1)	NO	CABLE EASEMENT FOR HOTEL - HOTEL DEMOLISHED
11	37387/36 (PARCEL 2)	NO	CABLE EASEMENT FOR HOTEL - HOTEL DEMOLISHED

LEGAL DESCRIPTION FOR ABOVE TITLE POLICY:
 PARCEL 1: LOTS 20, 21, AND 22, BLOCK 2, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2: LOTS 15, 16, 17 AND 18, BLOCK 2, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3: LOTS 12, 13 AND 14, BLOCK 2, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

I HAVE REVIEWED OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, SCHEDULE B-II- AGENT FILE# 15-0161 DREAM, DATED JULY 23, 2015 AT 11:00 P.M. AND HAVE DETERMINED IF THEY DIRECTLY AFFECT THE SUBJECT BOUNDARY AND ARE PLOTTED IN THE BOUNDARY OF THIS SURVEY AS FOLLOWS:

ITEM#	P.B./PAGE	PLOTTED	DESCRIPTION
4	1/27	YES	ALL PLOTTED THAT AVAILABLE
5	O.R.B./PAGE	PLOTTED	DESCRIPTION
	7489/390	NO	HOLLYWOOD RESOLUTION FOR NEW ORDINANCES
	14022/900	NO	CHANGES IN LAND USE DESIGNATION
	32599/1510	NO	PERPETUAL BEACH STORM DAMAGE EASEMENT
	44133/758	NO	RESOLUTION REGARDING HISTORIC DESIGNATION

LEGAL DESCRIPTION FOR ABOVE TITLE POLICY:
 LOTS 11, BLOCK 2, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS.

REVISION:
 1. UPDATED TO ALTA / ACSM SURVEY REQUIREMENTS . . . 04-10-2019

THE FIELDWORK WAS COMPLETED ON: 04-05-2019

- NOTES:**
- LEGAL DESCRIPTION PROVIDED BY CLIENT
 - NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
 - NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 - ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED
 - THE BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY PROPERTY LINE, ASSUMED TO BEAR N04°01'57"E

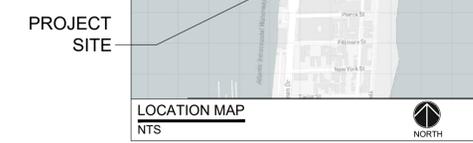
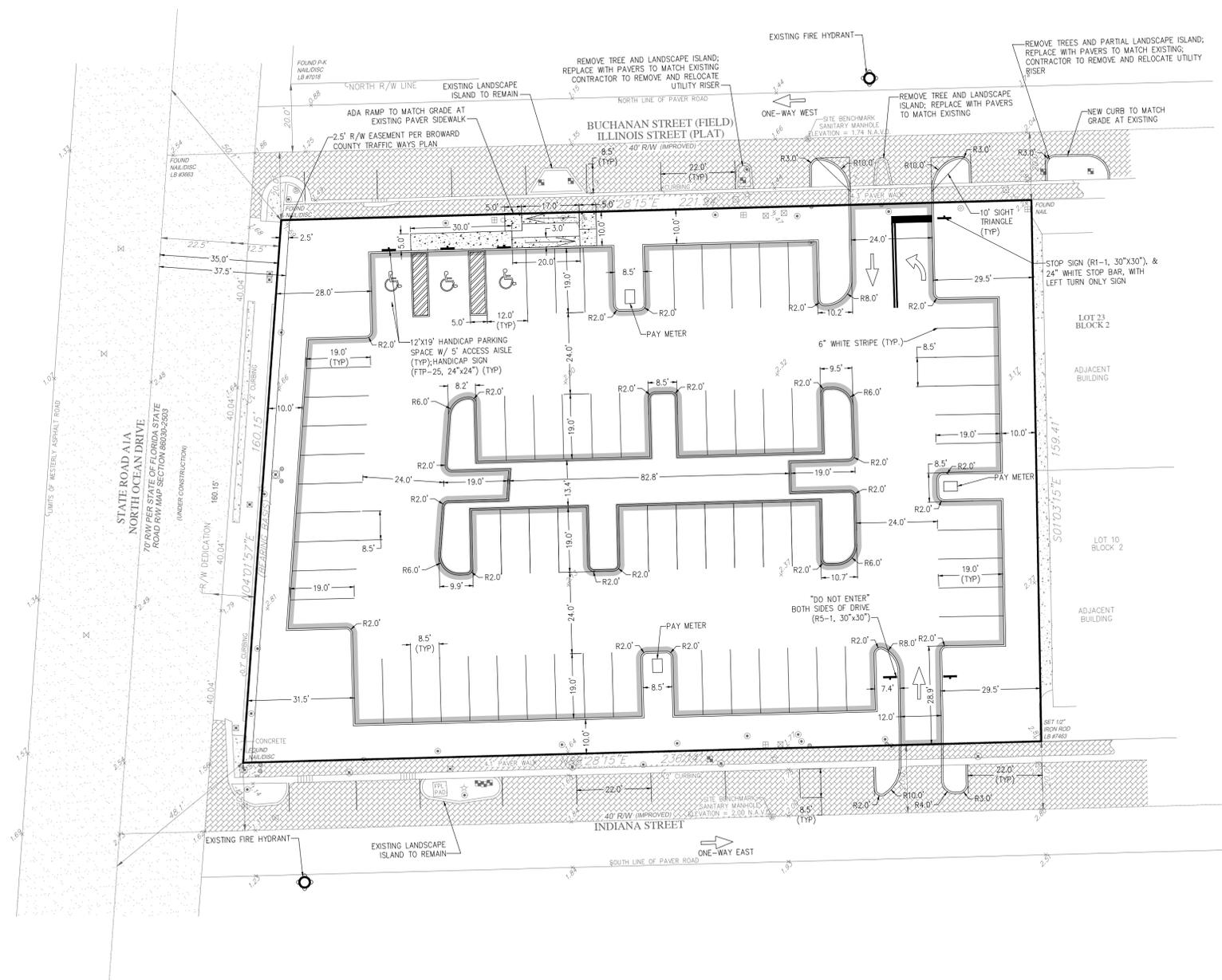
ORIGINATION BENCHMARK
 BROWARD COUNTY BRASS DISK
 "B 3103"
 N.A.V.D. 1988 ELEVATION = 3.139

Kenneth J. Osborne PSM #6415
 THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Project C-15860	Sheet
Date 04-13-2018	1 OF 1
Scale 1" = 15'	

COMPASS SURVEYING
 WWW.COMPASSSURVEYING.NET

6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE: 561.640.4800
 FAX: 561.640.0576
 LB #7463



Legal Description
 LOTS 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21 AND 22, BLOCK 2, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE PLAN INFORMATION

CURRENT USE OF PROPERTY	VACANT/RESIDENTIAL	
CURRENT LAND USE DESIGNATION	GBUS	
PROPOSED LAND USE DESIGNATION	GBUS	
CURRENT ZONING DESIGNATION	BRT-25-C	
ADJACENT ZONING DESIGNATION	BRT-25-A1A-C	
TOTAL SITE AREA	0.84 ACRES TOTAL / 36,509 S.F.	
	REQUIRED	PROVIDED
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	11,249 S.F. / 0.26 ACRES 25.0%	30.8%
TOTAL IMPERVIOUS PROPOSED	25,260 S.F. / 0.58 ACRES	69.2%
VUA AREA	24,161 S.F. / 0.55 ACRES	66.2%
OPEN SPACE PROPOSED	11,614 S.F. / 0.27 ACRES	31.8%
PARKING DATA:		
ON-SITE	INCLUDING 3 ADA SPACES	N/A 74
WATER/WASTEWATER SERV. PROVIDER		
	CITY OF HOLLYWOOD	

SETBACK TABLE

	REQUIRED	PROVIDED
FRONT YARD (WEST) - STATE ROAD A1A	10'	10'
SIDE YARD (SOUTH) - INDIANA STREET	10'	10'
SIDE YARD (NORTH) - BUCHANAN STREET	10'	10'
REAR YARD (EAST) - ADJACENT BUILDING	10'	10'



Revisions

Phase:
 DRC
 DOCUMENTS
 SEAL

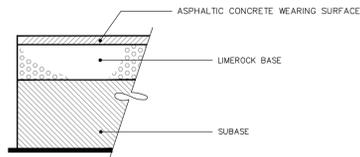


VERTICAL DATUM CONVERSION
 GRADING SHOWN UTILIZES N.A.V.D. 88

N.G.V.D. 29	↑	+	1.5'
N.A.V.D. 88	↑	+	1.5'

N.A.V.D. 88 = N.G.V.D. 29 - 1.5'
 N.G.V.D. 29 = N.A.V.D. 88 + 1.5'

Scale:	Date
1"=20'	01/11/19
Job No.	Plot Date
19-1482.00	03/14/19
Drawn by	Sheet No.
NAH	C0
Proj. Mgr.	DTR
Appr. by	DRS
	0 of 4



VEHICULAR SURFACE COURSE : 1.5" ASPHALTIC CONCRETE WEARING SURFACE, F.D.D.T. TYPE SP-12.5 SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.D.T. STANDARD SPECIFICATIONS SECTIONS 330 & 334

PRIME & TACK COAT : PRIME & TACK COAT FOR THE LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.D.T. STANDARD SPECIFICATIONS SECTION 300. APPLICATION RATES - PRIME COAT-0.25 GALLONS PER SQ. YD. TACK COAT-0.08 GALLONS PER SQ. YD.

STANDARD BASE : 8" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (ASHTO T-180). LIMEROCK BASE TO CONFORM WITH THE REQUIREMENTS OF F.D.D.T. SPECIFICATION SECTIONS 200 & 91. MINIMUM L.B.R. = 100

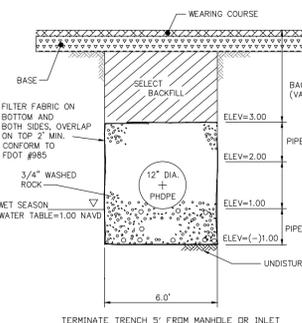
SUBBASE : 12" SUBBASE COMPACTED TO 98% OF MAXIMUM DENSITY (ASHTO T-180). MINIMUM L.B.R. = 40

GEOTRID : TENSAR BIAXIAL OR TRIAXIAL GEOTRID (G.A.E.) PLACED AT THE BOTTOM OF THE ASPHALT PAVING BASE COURSE

NOTE: 1. GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF S.D.D.

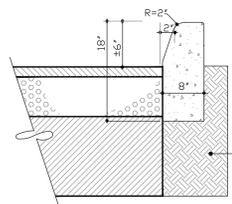
ON-SITE PAVEMENT DETAIL

N.T.S.



EXFILTRATION TRENCH DETAIL

N.T.S.



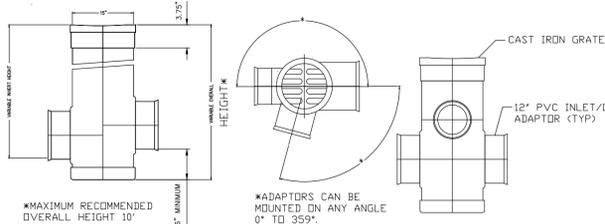
TYPE "D" CURB DETAIL

N.T.S.

SPACING OF REQUIRED ROADWAY, PARKING AREA AND UTILITY TRENCH TESTS												
F.B.V.	DENSITY		L.B.R.		THICKNESS							
	MAX. SPACING	UN. FEET	SQ. FEET	UN. FEET	SQ. FEET	UN. FEET	SQ. FEET					
COMPACTED OR STABILIZED SUBGRADE	200	10,000	200	10,000	200	10,000	300	10,000				
LIMEROCK BASE	---	---	300	10,000	---	---	300	10,000				
ASPHALT	---	---	---	---	---	---	REF.	REF.				
UTILITY TRENCH	---	---	200	---	---	---	---	---				

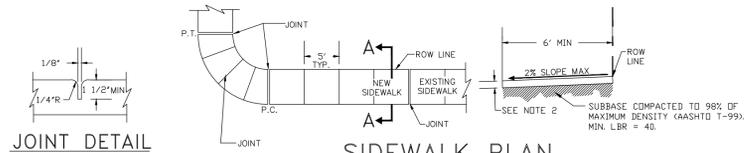
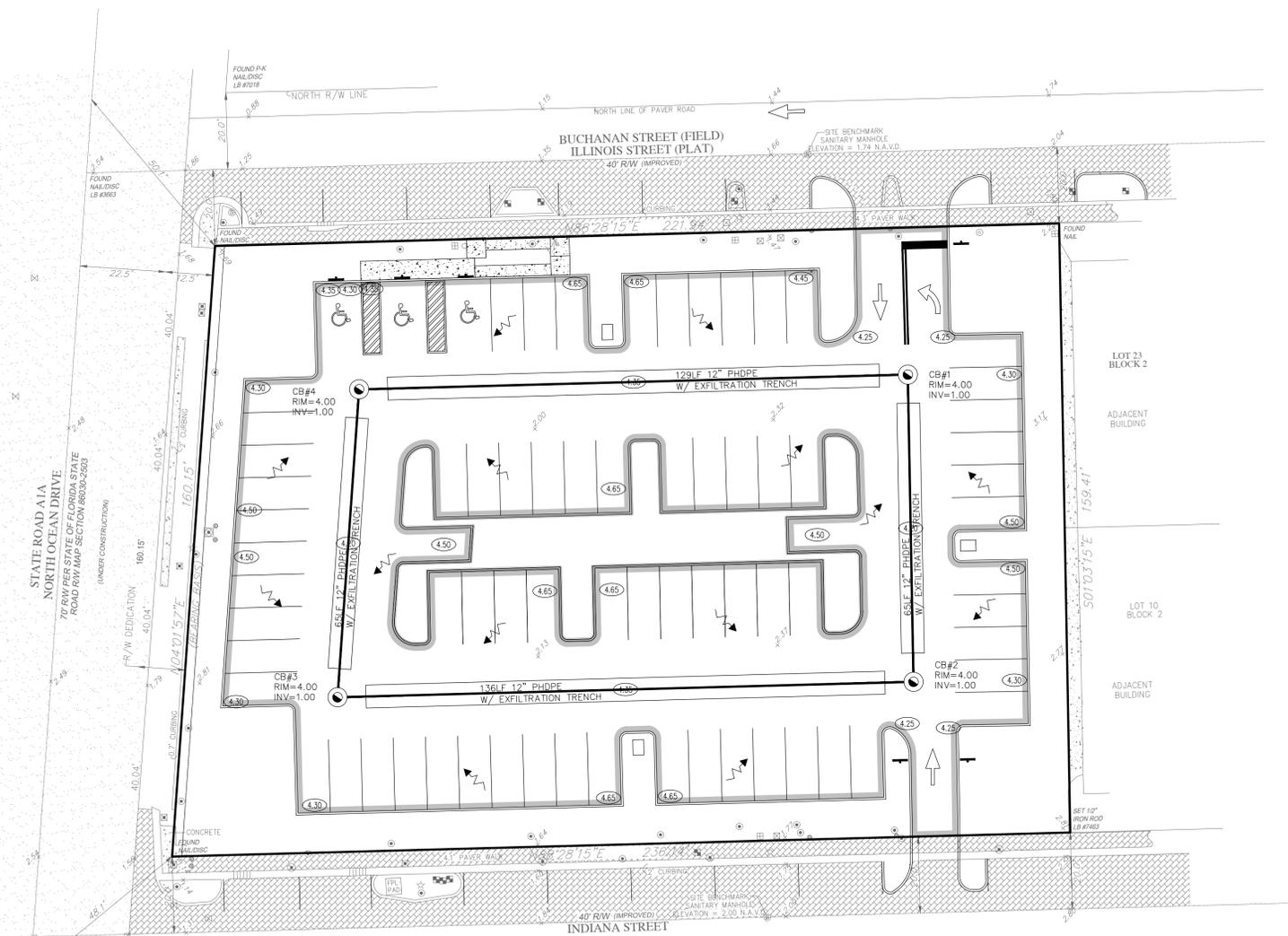
COMPACTION TEST SCHEDULE

N.T.S.



YARD DRAIN DETAIL

N.T.S.

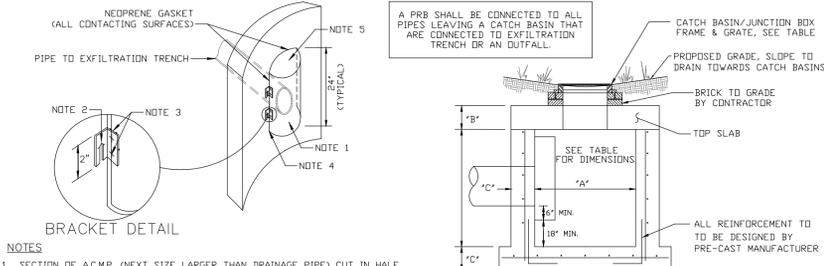


CONCRETE PAVEMENT & SIDEWALK JOINTS

TABLE OF SIDEWALK JOINTS	
P.C. AND P.T. CURVES	LOCATION
12" O.C. CENTER TO CENTER ON SIDEWALKS	JUNCTION OF EXISTING AND NEW SIDEWALKS
15" CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED.	

CONCRETE PAVEMENT & SIDEWALK DETAIL

N.T.S.

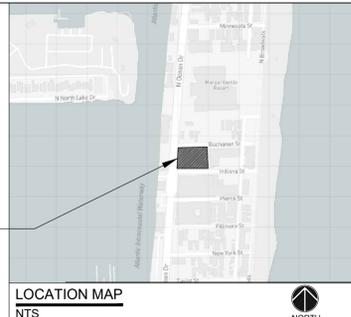


POLLUTION RETARDANT BAFFLE

N.T.S.

SUMMARY OF DRAINAGE STRUCTURES

STRUCTURES	TYPE	*A*	*B*	*C*	FRAME (U.S.F. # OR EQUAL)	GRATE (U.S.F. # OR EQUAL)
CBW	"D"	37"X49"	8"	8"		6626 STEEL
CBW	"J"	4'-0" Ø	8"	8"	4155	6209 CAST IRON
CBW 1,2,3,4	"C"	24"X37"	8"	8"	4155	6209 CAST IRON
MHR	"J"	4'-0" Ø	8"	8"	420	TYPE "C"
MHR	"C"	24"X37"	8"	8"	420	TYPE "C"
YDR						



PROJECT SITE

LOCATION MAP

N.T.S.

- LEGEND:**
- 0.00 PROPOSED ELEVATION (NAVD)
 - EXISTING ELEVATION (NAVD)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMOSE CONNECTION
 - CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST. WATER MAIN
 - EXIST. UTILITY LINE TO BE REMOVED

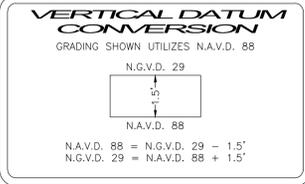
PROPERTY LIES IN FLOOD ZONE "AE," WEST SIDE OF PROPERTY ELEV 6.0 NAVD, EAST SIDE OF PROPERTY ELEV 7.0 NAVD ON FIRM MAP #12011C0588H, DATE AUGUST 18, 2014

BROWARD COUNTY 100 YEAR 3 DAY CONTOUR= ELEV. 5.50 NAVD

AVERAGE WET SEASON WATER LEVEL= ELEV. 1.00 NAVD

GRADING AND DRAINAGE NOTES:

- ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
- CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEES, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
- RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG., DRIVE WAY, PROPERTY LINE, OR ROADWAY.
- COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
- CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
- CONTRACTOR SHALL COORDINATE WITH THE ENGINEER & LANDSCAPE ARCHITECT TO FIELD ADJUST GRADING & UNDERGROUND PIPING AS REQUIRED TO PRESERVE EXISTING TREES TO REMAIN.
- CATCH BASINS LOCATED IN SWALES IN PARKING LOT SHALL BE CENTERED IN SWALE, UNLESS NOTED OTHERWISE.



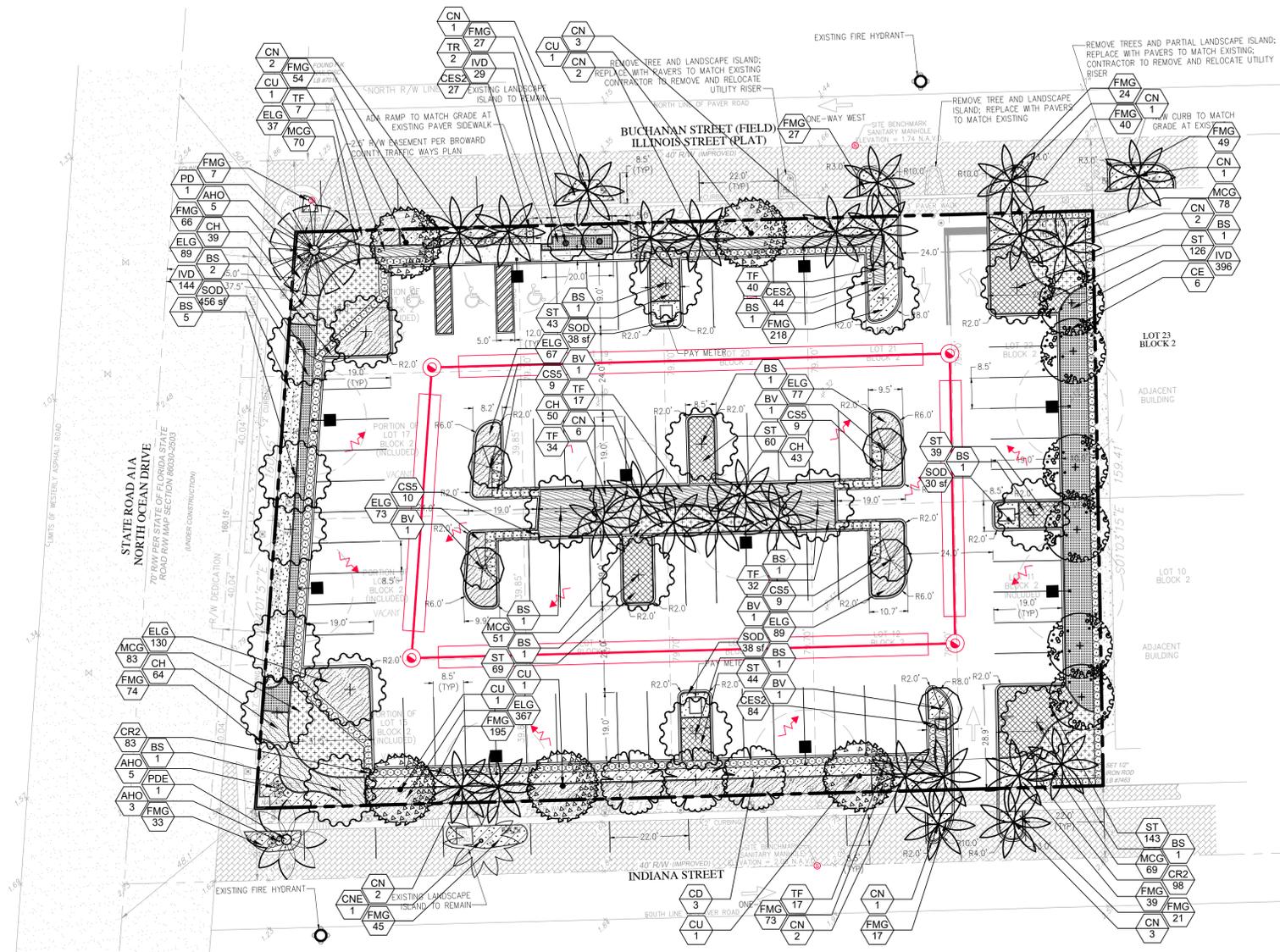
Revisions

No.	Description

Phase: DRC DOCUMENTS

SEAL

Scale: 1"=20'
Date: 01/11/19
Job No.: 19-1482.00
Plot Date: 03/14/19
Drawn by: NAH
Proj. Mgr.: DTR
Appr. by: DRS
Sheet No.: C2
3 of 4



TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
	BV	5	BULNESIA ARBOREA	VERAWOOD	FIELD GROWN / B & B	2" CAL	10' HT. X 5' SPR.	NO	HIGH	
	BS	18	BURSERIA SIMARUBA	GUMBO LIMBO	FG/BBB	5" CAL	18'-20' HT., 10' SPR.	YES	HIGH	
	CD	3	COCCOLOBA DIVERSIFOLIA	PIGEON PALM	FG/BBB	2.5" DBH	12' HT. X 5' SPR., S	YES	HIGH	
	CU	5	COCCOLOBA UVIFERA	SEA GRAPE	FG/BBB	4" CAL	14' HT. X 7' SPR., STD., 7' CT.	YES	HIGH	
	GE	6	CONOCARPUS ERECTUS	GREEN BUTTWOOD	FG/BBB	2" CAL	12' HT X 6' SPR	YES	HIGH	
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
	CNE	1	COCOS NUCIFERA	COCONUT PALM	EXISTING TO REMAIN			NO	HIGH	
	CN	26	COCOS NUCIFERA	COCONUT PALM "GREEN MALAYAN"	FG/BBB		4' CT., FL. FANCY	NO	HIGH	
	PDE	1	PHOENIX DACTYLIFERA 'MEDJOOOL'	DATE PALM	EXISTING TO REMAIN			NO	MED.	
	PD	1	PHOENIX DACTYLIFERA 'MEDJOOOL'	MEDJOOOL DATE PALM	FG/BBB		12' CT. FULL HEAD	NO	HIGH	
	TR	2	THRINAX RADIATA	FLORIDA THATCH PALM	25 GAL		7' O.A. HT.	YES	HIGH	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
	AHO	13	AECHMEA BLANCHETIANA 'HACIENDA'	BURNT ORANGE BROMELIAD	3 GAL		24" HT. MIN	NO	HIGH	
	CR2	181	CHRYSOBALANUS ICAGO 'RED TIP'	RED TIP COCOPLUM			30" HT. X 24" SPR.	YES	HIGH	
	GS5	37	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	7 GAL		38" HT. X 30" SPR.	NO	HIGH	
	CES2	155	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	3 GAL.		30" HT X 24" SPR	YES	HIGH	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
	CH	195	CHRYSOBALANUS ICAGO 'HORIZONTALIS'	HORIZONTAL COCOPLUM			16" HT X 16" SPR	YES	HIGH	24" o.c.
	FMG	1,009	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.		14" HT X 16" SPR	NO	HIGH	18" o.c.
	IVD	569	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	3 GAL.		14" HT X 16" SPR	YES	HIGH	18" o.c.
	MCG	351	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS			24" HT X 24" SPR	YES	HIGH	24" o.c.
	ST	524	SOPHORA TOMENTOSA	YELLOW NECKLACEPOD						18" o.c.
	TF	147	TRIPSACUM FLORIDANA	FLORIDA GAMMA GRASS			24" HT X 24" SPR	YES	HIGH	30" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
	ELG	929	EREGODEA LITTORALIS	GOLDEN CREEPER			12" HT. X 12" SPR	YES	HIGH	16" o.c.
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
	SOD	562 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	'FLORITAM' ST. AUGUSTINE SOD	SOD					

LANDSCAPE CALCULATIONS			
ZONING: BRT-25-C			
	CALCULATION	REQUIRED	PROVIDED
SECTION 2.2			
COMMERCIAL DISTRICTS			
PERIMETER LANDSCAPE			
1	(1) 2" CALIPER X 12' H TREE PER 50 LINEAR FEET OR PORTION THEREOF OF STREET FRONTAGE OF PROPERTY WHEREIN IMPROVEMENTS ARE PROPOSED		
	STATE ROAD A1A, NORTH OCEAN DRIVE	160 L.F. / 50	3
	BUCHANAN STREET (ILLINOIS STREET PLAT) (NORTH)	221 L.F. / 50	5
	INDIANA STREET (SOUTH)	236 L.F. / 50	5
2	FOR AT-GRADE PARKING LOTS, A PERIMETER LANDSCAPE BUFFER MUST BE INCLUDED WITHIN THE REQUIRED SETBACK AREA.		
INTERIOR LANDSCAPE FOR VEHICULAR USE AREA			
PARKING LOT			
3	TERMINAL ISLANDS SHALL BE INSTALLED AT EACH END OF ALL ROWS OF VJA PARKING SPACES AND SHALL HAVE MIN. 190 S.F. OF PERVIOUS AREA. EACH ISLAND SHALL CONTAIN AT LEAST (1) ONE TREE		
	16 TERMINAL & INT.	16	16
5	LOTS WITH A WIDTH MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VJA SHALL BE LANDSCAPED		
	23,711 SF X 25%	5,928 SF	11,849 SF
OPEN SPACE			
6	A MIN. OF 40% OF THE TOTAL SITE MUST BE LANDSCAPED OPEN SPACE INCLUDING LANDSCAPED OPEN SPACE LOCATED AT-GRADE OR AT HIGHER ELEVATIONS		
7	MINIMUM (1) TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY		
	11,849 SF / 1,000 SF	12	14
TOTAL TREES			
	TOTAL TREES REQUIRED	41	43
	MIN. 60% REQUIRED NATIVE TREES		
	41 X 60%	25	37
	MAX. 50% PERCENT OF PALMS		
	NOT COUNTING PALMS AS REQUIRED TREES, ALL ARE ABOVE CODE MINIMUMS	41 X 50%	21
			41

TREE MITIGATION			
REMOVED /PROPOSED DIAMETER INCHES		REMOVED	PROVIDED
DIAMETER INCHES		615	728
57 TREES AND 55 PALMS HAVE BEEN REMOVED FROM THE SITE			
CONTRACTOR TO MAKE SURE THAT ALL INVASIVE SPECIES ARE REMOVED FROM SITE			

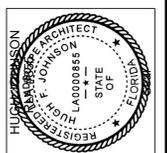
- NOTES:**
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
 - SEE SHEET LP-2 FOR LANDSCAPE DETAILS AND NOTES.
 - ALL PLANTED MATERIAL ADJACENT TO CURBING SHALL BE PLANTED 3' BACK OF SAID CURB.

KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

SCALE: 1"=20'-00"

NORTH

AAAL
Architectural Alliance Landscape
612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC000337
TEL: 954-764-8858 EMAIL: HJohnson@archall.net



Revision Dates

DRC SUBMITTAL SET
915 N OCEAN PARKING LOT
 915 NORTH OCEAN DRIVE
 HOLLYWOOD, FLORIDA 33019

Sheet Description

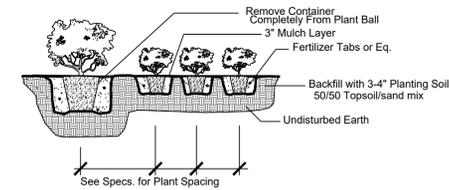
LANDSCAPE PLAN

Release Date
02-15-2019

Project Number
1904

Drawing Number
LP-1

Sheet 1 of 2



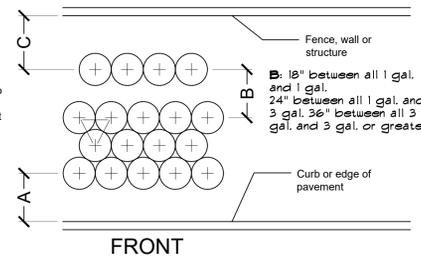
Shrub & Ground Cover Planting Detail

NTS

C: 18" for all 1 gal.
30" for all 3 gal. or greater
vines not included

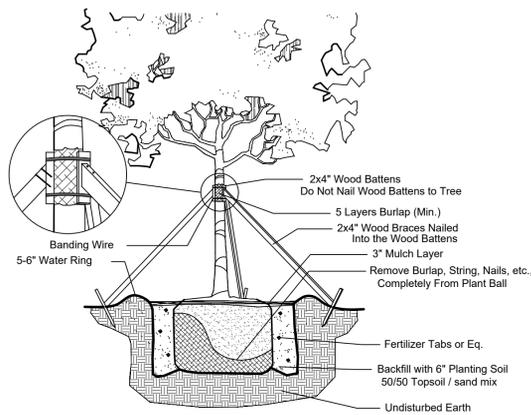
NOTE: All shrub and groundcover masses to use triangular spacing except as a singular hedge row or where noted. Refer to the plant list for individual plant spacing.

A: 14" for all 1 gal.
24" for all 3 gal. or greater



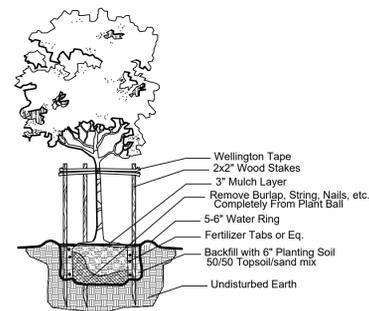
Typical Plant Spacing

NTS



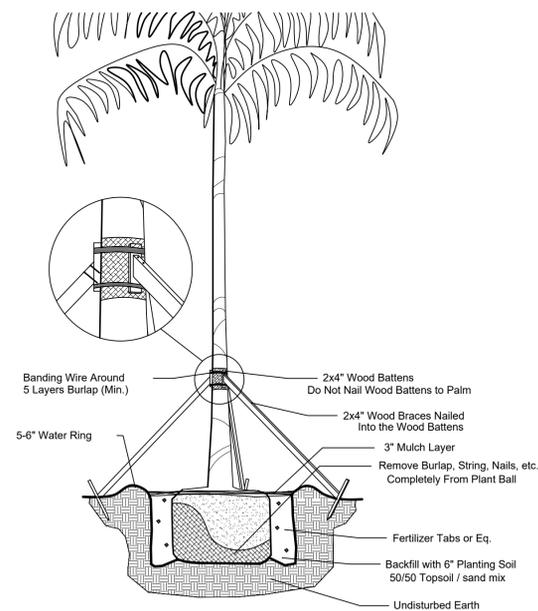
Large Tree Planting Detail

NTS



Small Tree Planting Detail

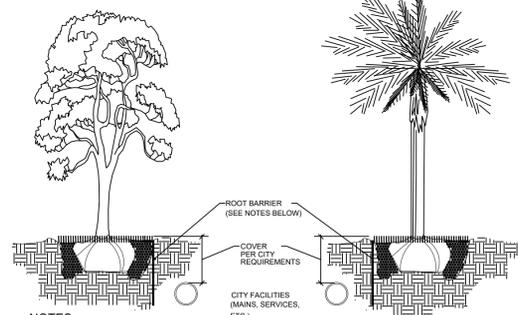
NTS



Palm Planting Detail

NTS

NOTE: PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH UTILITIES. MINIMUM CLEARANCE OF 5' FT FOR PALMS AND SMALL TREES AND 10' FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS PER CITY OF FORT LAUDERDALE REQUIREMENTS SEE TYPICAL DETAIL BELOW.



NOTES:

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 30" PANELS MANUFACTURED BY BIOBARRIER.
3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Root Barrier Detail

NTS

NOTES:

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread including trunk diameter in DBH (for SL Trees only). Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Architectural Alliance.

The plan takes precedence over the plant list.

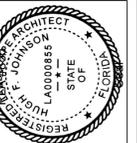
SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

NOTES:

1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
3. ALL CITY OF HOLLYWOOD LANDSCAPE NOTES TAKES PRECEDENCE OVER ARCHITECTURAL ALLIANCE LANDSCAPE NOTES.



Revision Dates

DRC SUBMITTAL SET
915 N OCEAN PARKING LOT
 915 NORTH OCEAN DRIVE
 HOLLYWOOD, FLORIDA 33019

Sheet Description
 LANDSCAPE NOTES AND DETAILS

Release Date
 02-15-2019

Project Number
 1904

Drawing Number

LP-2

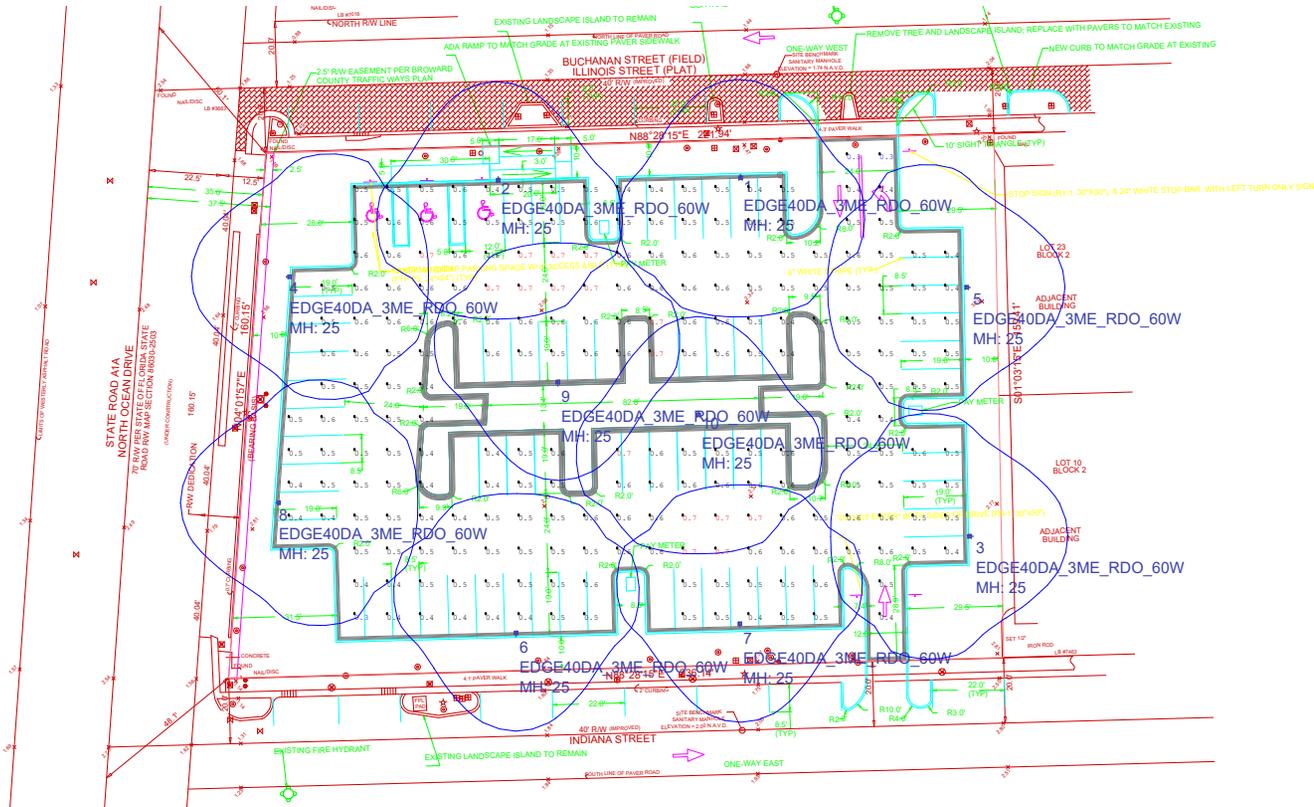
Sheet 2 of 2

Luminaire Schedule

Symbol	Label	Description	Arrangement	Lumens/Lamp	LLF	Arm	Mount Height	Qty
	EDGE40DA_3ME_RDO_60W	2-10715-6	SINGLE	2810	0.880	1	25	10

Numeric Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	0.52	0.7	0.3	1.73	2.33



Hollywood FL - Ocean Dr
 Project Number - DH_2-10715
 Prepared By: jim ww
 Operating Profile -
 Date:2019-03-14

Carmanah Technologies Inc.
 250 Bay St. Victoria, BC
 V9A 3K5
 (844) 675-5576 (toll free)

