

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

**CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES**

APPLICATION TYPE:

- ☒ Technical Advisory Committee
☐ City Commission

☐ Variance/Special Exception Requested

- ☐ Administrative Approvals
☐ Historic Preservation Board
☐ Planning and Development Board

PROPERTY INFORMATION

Location Address: 1942 Taylor Street, Hollywood, FL 33020

Lot(s): 25 & 26 Block(s): 22 Subdivision: _____

Folio Number(s): 514215014010 & 514215014000

ND-3

Zoning Classification: ND-3 Land Use Classification: Residential

Existing Property Use: Residential Sq Ft/Number of Units: 18 units

Is the request the result of a violation notice? ☐ Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File/Resolution/Ordinance No.: _____

DEVELOPMENT PROPOSAL

Explanation of Request: Multi Family Dwelling

Phased Project: Yes / No ☒ Number of Phases: _____

Project	Proposal
Units/rooms (# of units)	18 units (Area: 15,363 S.F.)
Proposed Non-Residential Uses	S.F.
Open Space (% and SQ.FT.)	13% (Area: 1,362 S.F.)
Parking (# of spaces)	29 spaces (Area: 4,500 S.F.)
Height (# of stories)	4 Stories (46 FT.)
Gross Floor Area (SQ. FT)	35,791

Name of Current Property Owner: Miguel Insignares

Address of Property Owner: 334 Poinciana Island Dr., Sunny Isles Beach, FL

Telephone: (305) 216-0461 Email Address: thespecialistinc2002@yahoo.com

Applicant Miguel Insignares ☐ Consultant ☒ Representative ☐ Tenant (check one)

Address: 334 Poinciana Island Dr., Sunny Isles E Telephone: (305) 216-0461

Email Address: 334 Poinciana Island Dr., Sunny Isles Beach, FL

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes ☐ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Miguel Insigmar Date: 04/01/2024

PRINT NAME: Miguel Insigmar Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

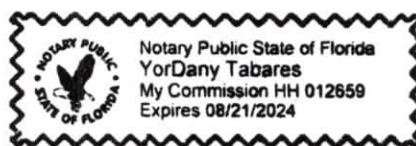
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for LEONARDO MORALES to my property, which is hereby made by me or I am hereby authorizing LEONARDO MORALES to be my legal representative before the Hollywood (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 1st day of April 2024

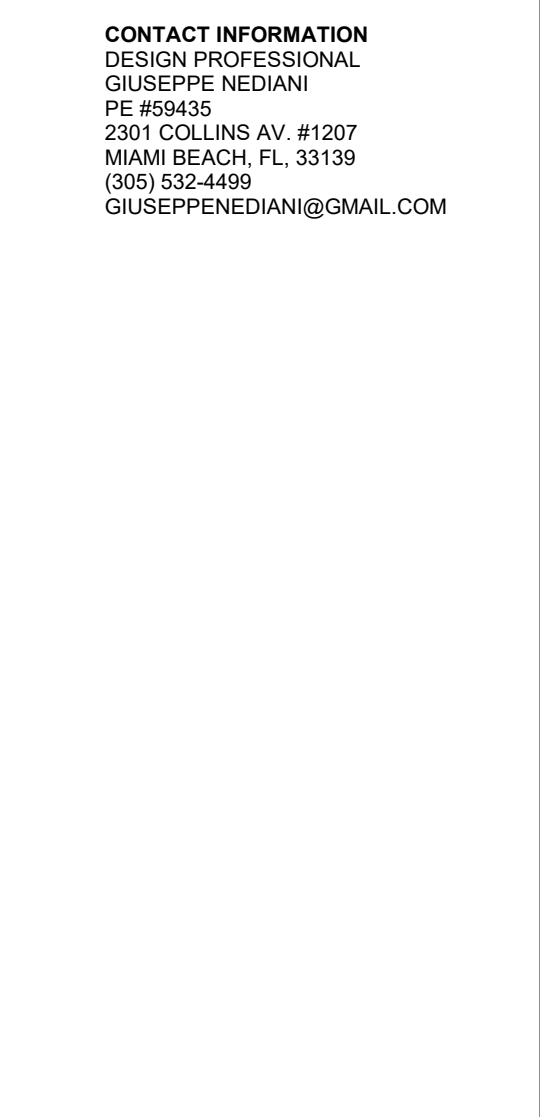
YORDANY TABARES
Notary Public
State of Florida



My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____

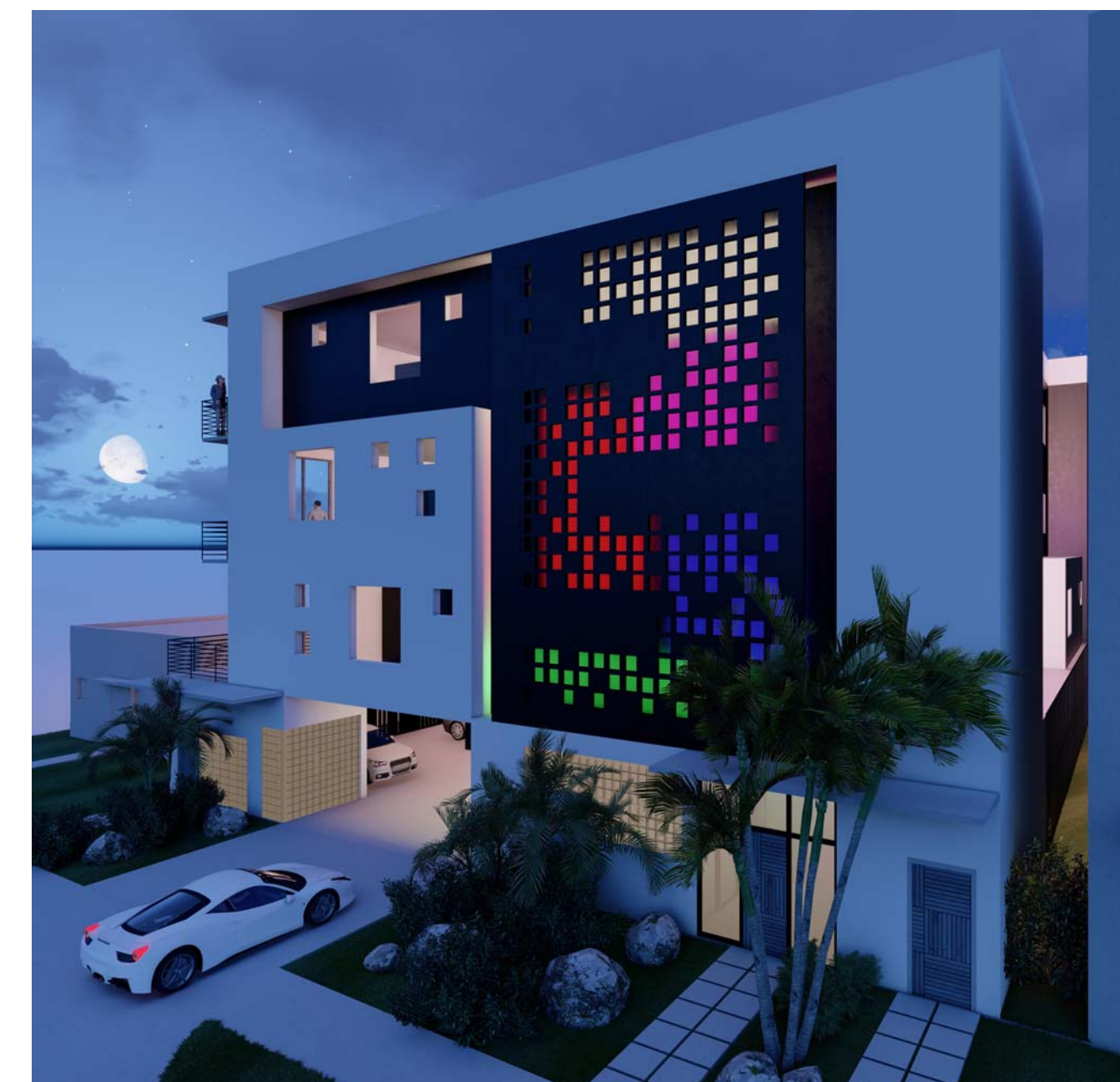
Miguel Insigmar
Signature of Current Owner

Miguel Insigmar
Print Name

[illegible]

COVER SHEET

A000



A000	COVER SHEET
A000a	SURVEY
A001	NOTES
A002	GENERAL NOTES
A003	PROJECT DATA
A100	SITE PLAN
A101	GROUND FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD LEVEL PLAN
A104	FOURTH LEVEL PLAN
A200	EAST ELEVATION
A200a	EAST ELEVATION RENDERING
A201	NORTH ELEVATION
A201a	NORTH ELEVATION RENDERING
A202	WEST ELEVATION
A202a	WEST ELEVATION RENDERING
A203	SOUTH ELEVATION
A203a	SOUTH ELEVATION RENDERING
A204	CONTEXT ELEVATION
A205	CONTEXT RENDERINGS
C-1	SITE PLAN
C-2	DETAILS/SECTIONS
C-3	DETAILS/SECTION
C-4	STANDARD DETAILS & PUBLIC NOTES
C-5	STANDARD DETAILS & PUBLIC NOTES
LA-T1	EXISTING TREE DISPOSITION
LAPL-1	PLANTING PLAN
LAPL-2	PLANTING DETAIL AND NOTES

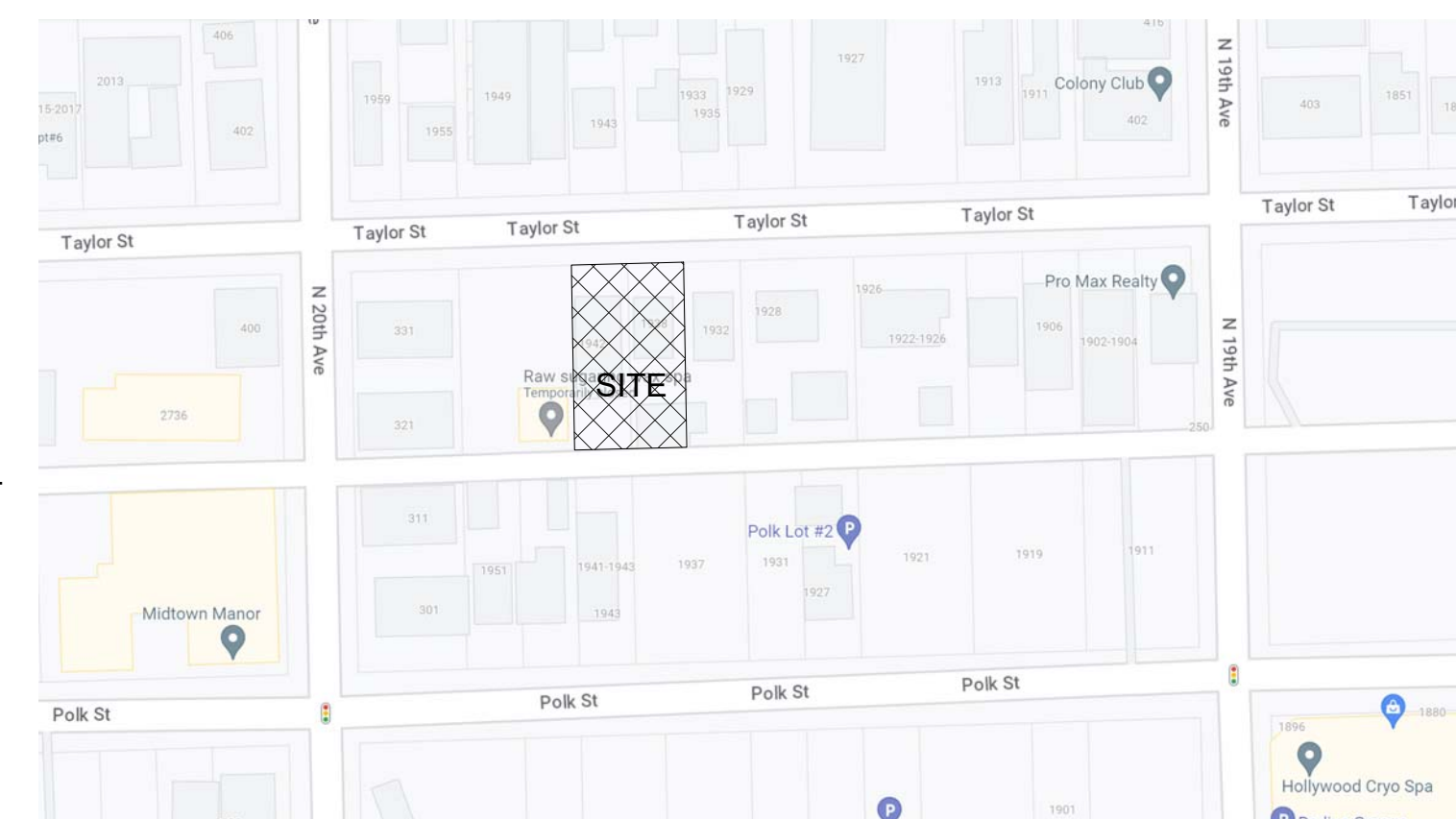
LA-T1 EXISTING TREE DISPOSITION
LAPL-1 PLANTING PLAN
LAPL-2 PLANTING DETAIL AND NOTES



P.A.C.O - JUNE 20, 2023
PRELIMINARY TAC - DECEMBER 18, 2023
FINAL TAC -

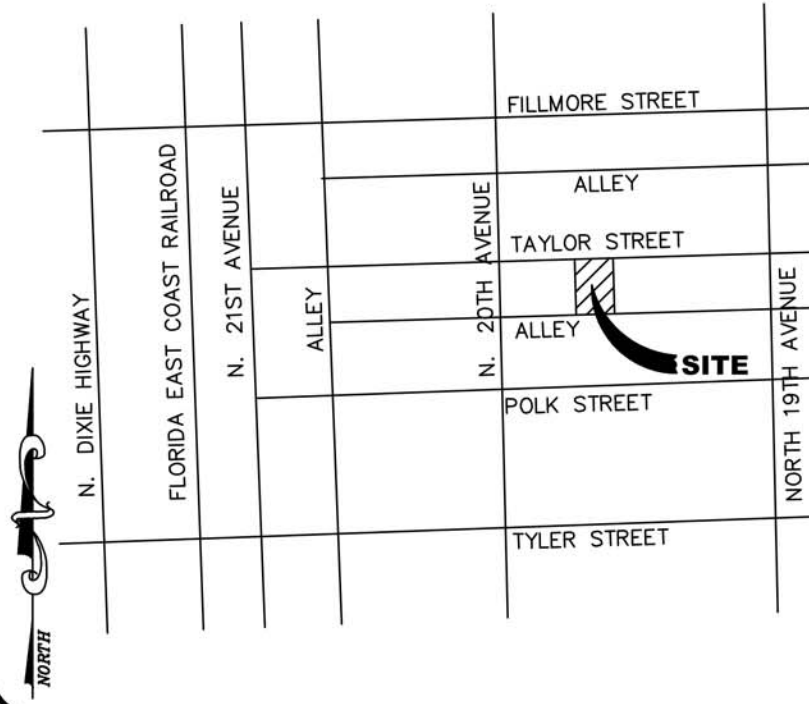
OWNER COMPANY ADDRESS	MIGUEL INSIGNARES THE SPECIALIST INC. 334 POINCIANA ISLAND DR. SUNNY ISLES BEACH, FL 33160 (305) 216-0461 THESPECIALISTINC2002@YAHOO.COM
PHONE EMAIL	
DESIGNER COMPANY ADDRESS	GIUSEPPE NEDIANI ENGINEERING CORP. 2301 COLLINS AV. MIAMI BEACH, FL 33139 (305) 532-4499 GIUSEPPENEDIANI@GMAIL.COM
PHONE EMAIL	

LANDSCAPE **ECOPLAN, INC.**
ADDRESS 310 SOUTHEAST 18TH STREET
 FT. LAUDERDALE, FL 33316
PHONE (954) 524-3722
EMAIL JOHN@ECOPPLAN-INC.COM

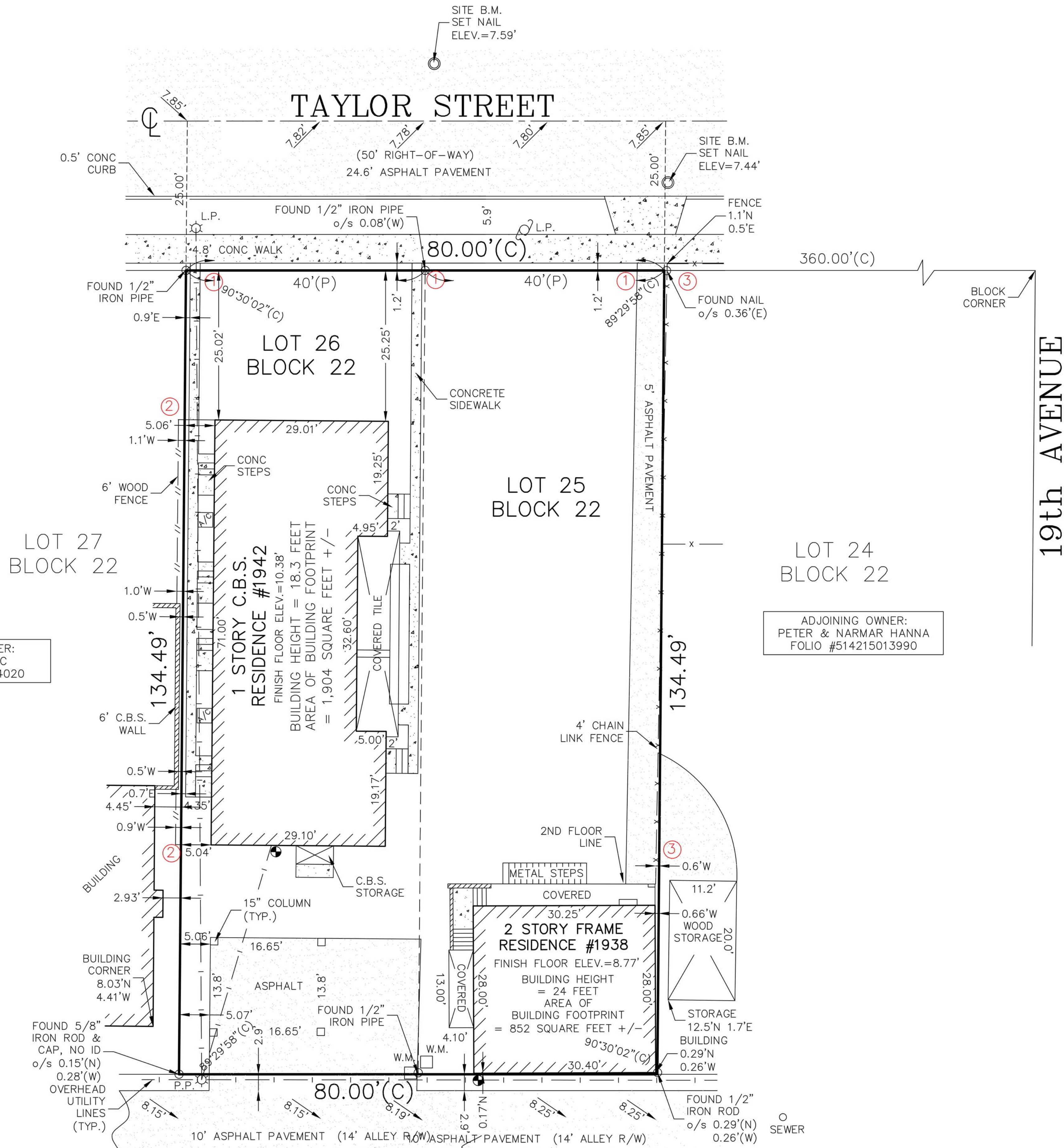


LOCATION MAP



VICINITY MAP:
NOT TO SCALE

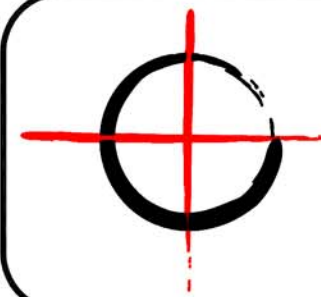
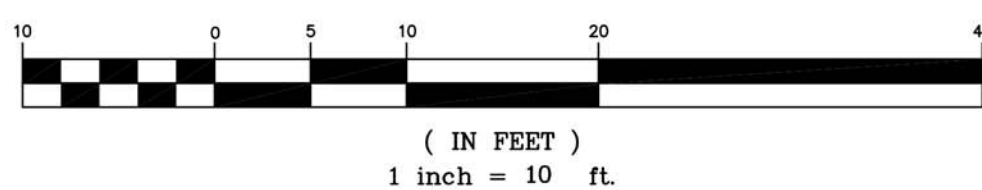
ALTA/NSPS LAND TITLE SURVEY



LEGEND:

B.C.R.	=	BROWARD COUNTY RECORDS
C	=	CALCULATED MEASUREMENT
℄	=	CENTERLINE
C.B.	=	CATCH BASIN
C.B.S.	=	CONCRETE BLOCK STRUCTURE
C.L.F.	=	CHAIN LINK FENCE
C.O.	=	CLEAN OUT
CONC.	=	CONCRETE
C.L.P.	=	CONCRETE LIGHT POLE
C.P.P.	=	CONCRETE POWER POLE
C.R.	=	CABLE RISER
D	=	DEED MEASUREMENT
E.S.	=	ELECTRIC SERVICE
F.P.L.	=	FLORIDA POWER & LIGHT
G.A.	=	GUY ANCHOR
G.V.	=	GATE VALVE
L.P.	=	LIGHT POLE
M	=	MEASURED
M.C.	=	METAL COVER
M-D.C.R.	=	MIAMI-DADE COUNTY RECORDS
M.H.	=	MANHOLE
M.W.	=	MONITORING WELL
NAVD	=	NORTH AMERICAN VERTICAL DATUM
NGVD	=	NATIONAL GEODETIC VERTICAL DATUM
O.R.B.	=	OFFICIAL RECORDS BOOK
P	=	PLAT MEASUREMENT
P.B.	=	PLAT BOOK
P.E.	=	POOL EQUIPMENT
P.O.B.	=	POINT OF BEGINNING
P.O.C.	=	POINT OF COMMENCEMENT
P.P.	=	POWER POLE
TYP.	=	TYPICAL
W.M.	=	WATER METER
o/s	=	OFFSET
A/C	=	AIR CONDITIONING UNIT
⊕	=	HANDI-CAPPED PARKING
⚡	=	FIRE HYDRANT
⚡	=	UTILITY POLE
→	=	LOCATION OF INGRESS/EGRESS
⊙	=	LOCATION OF BUILDING HEIGHT MEASUREMENT
①	=	ENCROACHMENT REFERENCE

GRAPHIC SCALE



PINNELL SURVEY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
5300 WEST HILLSBORO BOULEVARD, SUITE 215-A
COCONUT CREEK, FLORIDA 33073
PHONE: (954)418-4940 FAX: (954)418-4941
LICENSED BUSINESS #6857

PROJECT ADDRESS: 1938 & 1942 TAYLOR STREET
HOLLYWOOD, FLORIDA 33020

LEGAL DESCRIPTION:

PARCEL 1: LOT 25, BLOCK 22, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2: LOT 26, BLOCK 22, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ENCROACHMENT NOTES:

- ① - CONCRETE AND ASPHALT PAVEMENT CROSS OVER THE NORTHERLY PROPERTY LINE.
- ② - 6 FOOT WOOD FENCE CROSSES OVER THE WESTERLY PROPERTY LINE.
- ③ - ASPHALT PAVEMENT AND 4 FOOT CHAIN LINK FENCE CROSSES OVER THE EASTERLY PROPERTY LINE.

SCHEDULE "B" TITLE NOTES:

THE PROPERTY SHOWN HEREON WAS SURVEYED BASED ON COKER AND FEINER OWNERSHIP AND ENCUMBRANCE REPORT DATED AUGUST 17, 2023.

ENCUMBRANCES:

ITEM 1:
MATTERS AS CONTAINED ON THE PLAT OF HOLLYWOOD, RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

ITEM 2:
THAT CERTAIN CROSS COLLATERAL AGREEMENT IN FAVOR OF GREGORY KORCHMAR AND VICKY KORCHMAR AND RAM RELOCATION, INC. RECORDED ON OCTOBER 16, 2017 AT INSTRUMENT NO. 114663131 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THIS ITEM AFFECTS THE SUBJECT PROPERTY WITH NOTHING TO PLOT.

ITEM 3:
THAT CERTAIN CLAIM OF LIEN IN FAVOR OF THE CITY OF HOLLYWOOD RECORDED AT INSTRUMENT NO. 115567006. THIS ITEM AFFECTS THE SUBJECT PROPERTY WITH NOTHING TO PLOT.

GENERAL NOTES:

- 1) TYPE OF SURVEY: BOUNDARY
- 2) IF THIS SURVEY HAS BEEN REVISED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS VERSIONS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE NULL & VOID.
- 3) THE BROWARD COUNTY TAX I.D. NUMBERS FOR THE PROPERTY SHOWN HEREON ARE 514215014010 AND 514215014000. BOTH ARE CURRENTLY OWNED BY MEC INVESTMENT INC.
- 4) THE AREA OF THE PROPERTY SHOWN HEREON IS 10,759 SQUARE FEET (0.2470 ACRES) MORE OR LESS.
- 5) THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, UNLESS IT HAS BEEN ELECTRONICALLY SIGNED AND SEALED.
- 6) ALL ELEVATIONS SHOWN HEREON, ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- 7) BY GRAPHIC PLOTTING ONLY, THE PROPERTY SHOWN HEREON IS LOCATED WITHIN A FLOOD ZONE "X(0.220)" WITH NO BASE FLOOD ELEVATION DETERMINED, AS SHOWN ON F.I.R.M. MAP 125113-0569-H, BEARING A MAP REVISION DATE OF 08/18/14.
- 8) REFERENCE BENCHMARK ELEVATION DATUM WAS CONVERTED FROM NGVD 1929 TO NAVD 1988 USING CORPSCON 6.0.1.
- 9) REFERENCE BENCHMARK: CITY OF HOLLYWOOD B.M. @ 19TH AVENUE AND TAYLOR STREET ELEVATION=9.24' NGVD 1929 ELEVATION 7.64' NAVD 1988.
- 10) UNDERGROUND IMPROVEMENTS AND UTILITIES ARE NOT LOCATED.
- 11) UNLESS OTHERWISE NOTED, ALL FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
- 12) FENCE AND WALL OWNERSHIP IS NOT DETERMINED.
- 13) THIS DRAWING IS THE PROPERTY OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, WHOLE OR IN PART WITHOUT WRITTEN PERMISSION & AUTHORIZATION FROM PINNELL SURVEY, INC.
- 14) DATE FIELDWORK PERFORMED: 04/04/17 (FIELD BOOK 556 PAGES 14 & 15)
- 15) DRAWN BY: Q.D.J. CHECKED BY: J.P.

CERTIFICATION:

TO:

MEC INVESTMENT INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 7(B)(1), 7(C), 8(LOCATION OF SUBSTANTIAL FEATURES PER VISIBLE, ABOVE-GROUND, ON-SITE OBSERVATION; NO LANDSCAPED AREAS ARE LOCATED), 9, 13 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 4, 2017 AND UPDATED ON OCTOBER 6, 2023.

JASON H. PINNELL
PROFESSIONAL SURVEYOR & MAPPER
LICENSE NO. 5734 - STATE OF FLORIDA

THE SEAL APPEARING ON THIS DOCUMENT WAS
APPROVED BY JASON H. PINNELL, P.S.M. #0734

REVISIONS:

REVISION	DATE	CHECKED BY

PROJECT NAME: MEC INVESTMENT INC.

JOB NO.: 23-1704

GENERAL CONSTRUCTION NOTES		ABBREVIATIONS		TO COMPLY W NOA AND LOCAL CODE REQUIREMENTS	
1. GENERAL 1.1. The following specifications are minimum requirements to supplement the drawings. 1.2. This set of plans has been prepared to comply with the applicable minimum building codes. All work and materials shall be in accordance with applicable national and local codes (including high-velocity hurricane zone code requirements), conventional guidelines, and the requirements of local utility companies. 1.3. All work shall be performed in the best and most professional manner by craftsmen skilled in their respective trades. 1.4. These plans may be used only under such conditions in which all applicable safety laws, rules, and regulations are being observed. Compliance with such safety laws, rules, and regulations is the sole responsibility of the Contractor. 1.5. The Architect shall be provided with all drawings and/or samples of materials for critical items prior to construction. The Architect shall be consulted for the items shown in the drawings. Substitutions shall be permitted only upon written consent of the Architect. 1.6. Written dimensions take precedence over scaled dimensions. Larger scale details take precedence over smaller scale details. 1.7. The Contractor shall field verify all conditions and dimensions prior to submitting bid or starting any work and shall be responsible for all work coordination and materials including those furnished by the sub-contractors. The Architect shall be notified of any and all discrepancies. 1.8. The Contractor shall be responsible for all permits, fees, approvals, insurance, and taxes necessary to the construction of the project. 1.9. Provide separate permits as required by the Municipality issuing the General Building Permit. (City of Sunny Isles Beach) 1.10. Design was based on a survey prepared by a registered land surveyor and furnished by the owner. Accuracy of survey data is the Owner's responsibility. 1.11. General Contractor shall verify with all utility companies the location of all existing above and below ground utilities (gas, electric, phone, water, sewer, etc.) and state and in the field of all utilities known and encountered prior to proceeding with any demolition / excavation work. The Contractor shall bear all expense of repair and/or replacement of utilities or any other existing property damaged by construction with the execution of this work. Reversing of damaged property shall be to original condition or better. Owner shall not authorize any improvements and/or demolition work until permit is secured from agencies having jurisdiction. 1.12. General Contractor shall furnish a complete set of drawings and addendums to all subcontractors on the job (electrical, mechanical, plumbing, interior partitions etc.) and coordinate their work. Any discrepancy, error, inconsistency or omission in the drawings shall be notified to the Architect in writing before proceeding with the affected work. Failure to do so will be entirely the responsibility of the General Contractor. Any costs arising to correct the discrepancy and/or conflict shall be borne by the responsible party. The means of correcting any inconsistency shall be approved by the Architect prior to implementation of the solution. In such case the Architect shall prepare a revision in accordance with the change. 1.13. General Contractor shall coordinate all trades before placing any concrete. 1.14. Scaffolding and removal of forms shall be performed by the General Contractor in a safe manner, in accordance to local and federal codes, and the established acceptable practices. This work is the responsibility of the General Contractor. 1.15. General Contractor shall coordinate the thickness of partitions to accommodate mechanical, plumbing, and electrical work. Architect to be notified and consulted on any discrepancy, error, inconsistency, or omission. Dimensions shown on plans are nominal. 1.16. Lumber used for joists, rafters, columns, beams, and/or other structural members shall be a stress grade not less than 1000 p.s.i. nominal extreme fiber stress in bending. EDR approval is required. 1.17. Lumber used for studs in interior non-bearing partitions Lumber used for studs in interior non-bearing partitions shall be a stress grade not less than 225 p.s.i. nominal extreme fiber stress in bending (typical of door openings). 1.18. General Contractor shall provide continuous sealant at perimeter of all exterior openings to prevent water penetration and air leakage in accordance with the South Florida Building Code. GC shall provide caulk on interior side of all exterior openings. 1.19. For standard construction details not shown on the drawings, General Contractor shall consult the Architect and/or proceed in accordance with the applicable codes and established good standard building practices. 1.20. The Architect makes no guarantee or warranty for products, names by trade names, material, manufacturer or other reference in these documents. 1.21. Construction shall proceed in accordance with the official drawings provided by the building official having jurisdiction. No deviation of the approved set of drawings will be made in the field without the expressed written consent of the Architect and building official. Approval from the building official to be obtained by the Contractor before proceeding with any work. 1.22. A full-scale complete set of drawings shall be kept on site at all times and shall be available for reference to all contractors, subcontractors and others on the job. Any revision during construction shall be reported to the Architect for approval and documented on the drawing set. 1.23. All doors should be removed from premises, and all areas shall be left in broom clean conditions at all times. 1.24. The Contractor shall be responsible for and shall replace or remedy any faulty, improper or inferior material, or workmanship, or any damage which occurs within four (4) years after the completion and acceptance of the work by the Owner and issuance of a county certificate of completion. 1.25. Contractor shall submit Elevator Certificate of Flood Plain Administration upon placement of the lowest floor and prior final building inspection. 1.26. Contractor shall employ an active integrated Mosquito Management Program utilizing Best Practices during the entire term the permit is in effect. 2. SITE WORK 2.1. The Contractor shall be responsible for compliance with all setback and easement requirements. 2.2. The Contractor is cautioned to verify any existing conditions which may be below ground or a part of the previous structure which shall interfere with the construction as indicated in the drawings and documents. No additional compensation will be approved by the owner due to field conditions which are not noted on the drawings, but which could have been observed or determined by site visitation and verification. 2.3. Electrical power, telephone, CATV, water and sewer shall be run underground. The Contractor shall install fiber optic and cable television conduit in coordination with the utility companies. 2.4. The Contractor shall remove all construction debris and provide and install clean fill as shown on the site plan leaving the site uniform and freely graded. 2.5. The base for exterior paved surfaces shall be in accordance with the architectural and landscape drawings. Refer to details for installation of pavers. Exterior pavement shall slope uniformly at 1/8" per foot away from doors or as noted in plans. 2.6. All uncovered pavers and stones shall be thoroughly embedded in the ground to prevent dislodging by wind. 2.7. The Contractor is responsible for the demolition, clearing, grubbing, grading, and preparation for work for all areas identified for work on the Demolition Plan. 2.8. The contractor shall be responsible for the complete security of the site while job is in progress and until job is complete. 2.9. The Contractor is responsible for the disposal of all demolished elements including but not limited to existing house, concrete, patios, foundations, septic tank and leach field. 2.10. Refer to demolition and site plan for the relocation of existing trees, and other existing site elements. 2.11. When applicable, provide separate permit for septic tank with certified Pollution Control Agency. 2.12. Construction forces must have wind access. 3. CONCRETE 3.1. All materials shall comply with local and state building codes if more stringent than the following provisions. 3.2. Structural shall be worked together with Architectural, Air Conditioning, Mechanical and Electrical drawings to locate depressed slabs, drains, outlets, recesses, openings, registers, sills, etc. Discrepancies shall be consulted with the Architect before proceeding with the work. 3.3. Concrete slabs on fill shall be poured on 15 mil. polyethylene vapor barrier. 3.4. All concrete work shall be in accordance with A.C.I. 301 unless otherwise noted. 3.5. Concrete slabs shall be free of grooves and depressions. Exterior slabs shall be light brown finish, interior slabs shall be steel trowel finish unless noted otherwise. 3.6. Concrete shall be placed according to best practices described in ACI 302.1-R-04.8.1 3.7. Admixtures shall not be permitted without written consent from the Structural Engineer of record. Form work shall be clean and free from defects. 3.8. Plication, support, and secure reinforcement against displacement. Support with metal chairs, runners, bolsters, spacers and hangers as required. 3.9. Set and butt into work anchorage devices and other embedded items required for work attached or supported by cast in place concrete. 3.10 Minimum coverage for reinforcing shall conform to A.C.I. 318-89-7.7. 3.11 Consolidate concrete per ACI 318-89-5.10.9 3.12 These notes and specifications are supplemented by specific structural notes in the structural drawings. 3.13 Contractor to provide finish sample for exposed board finish and smooth concrete finish for Architect's approval. 4. MASONRY 4.1. All work shall be in accordance with applicable national and local codes and conventional guidelines, including the latest supplemental "Hurricane" code requirements for Miami-Dade County. 4.2. The Contractor shall be responsible for quality control of masonry construction, which shall be plumb and square, and the contractor shall maintain full-time continuous supervision of masonry work, including (but not limited to) chisel setting, block laying, bar setting, and grouting. 4.3. Concrete masonry units for load bearing walls shall conform to A.S.T.M. C-90. All other masonry units shall conform to A.S.T.M. C-120. 4.4. Concrete filled cells shall be as marked on the drawings and on both sides of each opening. Filled cells shall have inspection openings at the base of masonry units. 4.5. Provide special shapes as required for lintels, corners, jambs, sash, control joints, headers and bond beams. 4.6. Mortar shall be type M or S per A.S.T.M. C-270. 4.7. Lay out walls in advance for accurate spacing of surface bond patterns with uniform joint width and for accurately location openings, movement type joints, returns and offsets. 4.8. Install embedded flashing and weep holes at shelf angles, lintels, ledges and other obstructions to the downward flow of water. 4.9. Install vertical and horizontal reinforcing per structural notes and per wall section notes. Vertical reinforcing steel shall have a minimum clearance of 1/4" from masonry. 4.10. These notes and specifications are supplemented by specific structural notes in the structural drawings. Notify Architect of any discrepancies between Structural and Architectural sets. 5. METALS 5.1. Submit shop drawings and sectional samples for all railing and decorative brackets. Finish to be painted. (Color by Architect.) 5.2. Threshold @ exterior doors to be by door manufacturer. 5.3. Provide galvanized metal studs @ 24" O.C. maximum at all interior non-bearing partitions as noted on drawings. Metal studs to be 25 gauge minimum unless otherwise noted, with a minimum thickness of 0.0179". 5.4. Provide double (back to back) 20-gauge galvanized metal studs @ 16" O.C. maximum at all interior non-bearing partitions of kitchens, closets, or walls supporting plumbing fixtures, cabinetry, or other equipment. Provide minimum 2x4 horizontal wood blocking, as noted on drawings and recommended by manufacturer, and securely fasten blocking between studs. 5.5. Align metal stud runner tracks accurately to the partition layout at both floor and ceiling. Secure studs to structural elements at all locations. Provide additional framing and blocking as requires to support wallboard at openings and studs and also to anchor equipment, shelving fixtures and fittings shown on plan. 5.6. Consult drawings for partition-to-partition, partition-to-structure and other general details. 6. WOOD AND PLASTIC 6.1. If applicable, submit roof truss shop drawings, sealed by an engineer registered in Florida, for review prior to fabrication. 6.2. Consult structural notes on drawings for required information, calculations and certifications, loading requirements, and nailing sizes and spacings. 6.3. Lumber, including pressure treated, shall be thoroughly seasoned and free from warp that cannot be corrected by bridging and nailing. Wood shall be installed with the narrow grain to the nailing surface. 6.4. Wood at exterior locations shall be pressure treated. Wood in contact with any concrete, masonry, or lath, shall be pressure treated and shall be provided with a foam gasket unless otherwise noted. 6.5. Interior wood door jambs shall be of solid rabbeted construction. 6.6. Ceiling, and trim shall be pop, Century or Cypress wood, unless otherwise noted on the drawings. All wood ceilings shall have 6" tongue and groove construction and all disboard walls shall be constructed of 6" German drop siding. All exterior wood ceilings shall receive a 1/2" quarter round pressure treated trim at wall connections unless otherwise noted. Interior wall siding, ceiling, trim, and door and window casings shall be poplar, paint grade. On exterior of wood walls 2" x 4" wood trim shall surround all windows and doors as well as serve as cornerboards. 6.7. Submit exterior trim samples for approval. Contractor to comply with PS 20 American Softwood Lumber Standard. 6.8. Submit shop drawings of all cabinetry. 6.9. Fabricate all wood trim and casing to profiles and details shown. 6.10. Condition fresh carpentry to average prevailing humidity condition in installation areas prior to installation. 6.11. Install plants, level true and in alignment with adjacent materials. 6.12. Score and cut to fit adjoining work. Mitre corners and cope at returns unless noted otherwise. 7. THERMAL AND MOISTURE PROTECTION 7.1. Deliver coating materials to project site in manufacturer's unopened buckets or containers with labels intact. Handle and store materials at project site to prevent water damage, staining, or other physical damage. Comply with manufacturer's recommendations for job site storage, handling, and protection. 7.2. See Architects' specifications in project binder. 7.3. Conform to profiles and sizes shown on the drawings and comply with most current version of "Architectural Sheet Metal Manual" for the following: 7.3.1. Metal Flashing and Counter flashing Metal Flashing and Counter flashing 7.3.2. Metal Valleys Metal Valleys 7.3.3. Dry Flashing Dry Flashing 7.3.4. Limited Flashing Limited Flashing 7.3.5. Elastic Sheet Flashing Elastic Sheet Flashing 7.4. Coat backsheet of sheet metal with 15 mil. sulfur free bituminous coating where required to separate metals from corrosive substrates, including cement materials, wood, or other absorbent materials. 7.5. Anchor work with non-corrosive fasteners, adhesives, setting compounds as recommended by manufacturer of each material. Provide for thermal expansion and building movement. 7.6. Seal moving joints with elastomeric silicone joint sealants unless otherwise noted. Provide paintable modified silicone as required. 7.7. Clean all metals of soldering flux and/or other corrosive substances. Waterfall and waterproofing performance of flashing and sheet metal work is required. Perform ASTM E1105 Procedure B (cyclic pressure) at end of each type of opening listed on the exterior aperture schedule. 7.8. Provide continuous rubber waterproof membrane at all walls around garage, retaining walls, master bathroom shower and garage roof deck. Install per manufacturer's specifications and apply telephone per The Council of North America standards. Coordinate with plumbing drawings and provide integral drains. 7.9. Roof covering system must be submitted for city approval prior to installation being Miami-Dade County product approval acceptance number equal to GAF conventional built-in roofing system for concrete decks NOA # 03040014 or equivalent. For deck area waterproofing NOA # 02051502 approval or equivalent. 7.10. Flood openings to be located 1" from the lowest adjacent grade red to building. Opening shall not be less than 3" in any direction in the plane of the wall. 7.11 Insulation materials, facings, vapor retarders shall have a flame-spread classification of not greater than 25 and smoke developed index not greater than 450 as per ASTM-E-84 or UL-723. TBOR 302.10.		8. DOORS AND WINDOWS 8.1. Doors, Windows, and railings shall conform to applicable local and national codes and be installed according to manufacturer's specifications. 8.2. Unless otherwise noted, interior doors shall be solid hard wood for finish, panelized or bouvered, as shown on the drawings and door schedule (Refer to Interior Drawings). 8.3. Doors connecting living areas with garage areas shall be 20 minute fire rated per FBC 302.5.1 through 302.5.4. 8.4. Exterior doors and doors to the bathrooms, laundry room and storage closets shall have thresholds and vinyl weatherstripping installed into the door jambs. 8.5. Doors and Windows shall be indicated in door and window schedules. Contractor shall provide a Mock-up of one Door and Window Shop Drawing. 8.6. Door handles shall be uniformly installed at 3'-4" from the bottom of the door, unless otherwise noted. 8.7. Jamb and spacer around windows and exterior doors shall be caulked with polyurethane sealant. Caulking work shall be completed before finish coat of paint is applied. 8.8. Windows shall be left clean, tight and weatherproof. 8.9. Burglar intrusion prevention: At single exterior exit swinging doors to have a lock to be key operated from the exterior with an auxiliary dead bolt with hard bolt and insert. Hinges on the exterior swinging doors shall have non-removable hinge pins. 8.10. If applicable, exterior hinged shutters shall be wood, operable and of bouvered design. Color and design to be approved by the Architect. (Refer to Shutter DB.) 8.11. For garage door details, see specifications section 06.36.13 8.12. To include a door, window, and cabinet hardware allowance for both interior and exterior doors. (To be selected by Interior Designer & Architect.) 8.13. Contractor to protect and maintain the finish of all cabinetry, doors, and windows throughout the entire course of construction and final inspections. 8.14. Verify all field conditions and dimensions to ensure that openings are properly sized, square and plumb. Report unsuitable conditions to the General Contractor. 8.15. Every closed door latch shall be such that children can open the door from inside the closed. Every bathroom door lock shall be designed to permit the opening of the locked door from the outside in case of an emergency. 9. FINISHES 9.1. Gypsum Wall Board (G.W.B.) material shall be 5/8" for walls and ceilings. All G.W.B. at bathrooms and garages shall be moisture resistant "Green Board", unless noted otherwise. 9.2. Floor finish clearances shall allow for various material installation. 9.3. Contractor to furnish all plaster from one manufacturer. 9.4. To install, apply, and cure materials in accordance with the Red Book, U.S. Gypsum Lathing and Plaster Handbook. 9.5. The finished tolerance for stucco applications shall be a maximum deviation from true plane 1/8" in 10'-0" as measured by straight edge placed at any location on any stucco surface. 9.6. Contractor to provide a 4" O.P. x 4" P.C. on site sample of finished stucco showing color, texture, and workmanship for Architect's review prior to commencing with the work. 9.7. Contractor to warranty the stucco against check cracking, crazing and delamination for a period of four years from final date of acceptance. 9.8. Protect Windows, doors and other elements of the work from stucco application. Expansion joints to be located as per the drawings. Contractor to clean and remove plaster and protective masking from expansion joints and adjacent surfaces. 9.9. Exterior stucco finish shall consist of a scratch coat and 2 smooth steel trowel finish coats with 12 hours drying interval. All corners shall be applied against wood rulers. Test samples shall be made for approval by the Architect prior to execution of the work. 9.10. Install G.W.B. in maximum practical lengths to span walls with a minimum number of end butt joints. 9.11. Space of drywall screws not more than 16" o.c. 9.12. Install metal beads at exposed edges, doors, and corners of G.W.B. finish. Fasten securely. Secure wall board to supporting members by the Architect. 9.13. Cut level, square, and tight openings for all fixtures and fittings so that the wall board edges will be concealed by level, square face plates. 9.14. Reinforce all wallboard joints and interior corners with joint tape in joint compound, (except where green board and cement backer board are used). Fill all joints, fastener heads, cracks and other depressions with joint compound. 9.15. Provide a Level 5 finish for all gypsum board walls unless otherwise noted. Refer to Gypsum Association GA 214 Quick Reference Guide. 9.16. Use water resistant "green board" for both areas, except in shower areas and where cement backer board is to be used as a substrate for ceramic tile. 9.17. Room finish schedule shall be per room finish schedule. All wall and floor tile, stone, marble, and mosaic finishes to be approved by owner & supplied by contractor. Contractor shall be responsible for all tile, stone, marble and mosaic installations, cutting and fitting, field measuring, adhesives, and cement and mortar. 9.18. All bathroom accessories shall be approved by the owner. Shower shall be tiled to the ceiling, unless otherwise noted. Floor tile shall have a slip-skip finish in bathrooms. 9.19. Wood surfaces to be painted shall be free from defects, including knots and sap streaks. Defects shall be filled, sealed with Bordo brand filler and sanded smooth as required to remove visible blemishes. Handrails shall be sanded smooth. 9.20. Paint colors shall be selected by the Architect. A minimum of four test samples of an area no less than 4 sq. ft. shall be produced and approved prior to the execution of the work. 9.21. Primer and paint shall be supplied along with necessary thinners and cleansers. Bathroom paint shall have M-1 Mildew Additive at a ratio per the manufacturer's specifications. 9.22 Wall and ceiling finishes shall have a flame-spread classification of not greater than 200 and smoke-developed index not greater than 450 as per ASTM-E-84 or UL-723. All finishes will be detailed in Division 1 of the architectural specifications. 9.23. Doors, window frames, sliding boards, and trims shall be painted or stained per the finish schedule for Architect's selection prior to installation. All distribution devices shall be spray painted the color of the adjacent wall or ceiling surface. Wood cabinets shall be hand finished prior to installation. All exterior wood to be stained. All interior wood to be painted except millwork or unless otherwise noted on the drawings. (Refer to Interior drawings). 9.24. All paint & stain shall be the highest quality "Benjamin Moore" products unless otherwise noted. 9.25. All bathroom accessories, faucets, plumbing fixtures and decorative light fixtures not yet specified will be selected by the Architect/Interior Designer at a later date and installed by the General Contractor. 9.26. Contractor to provide necessary blocking, backing shelves, framing for light fixtures, electrical units, A/C equipment, drapery or ceiling tracks, plumbing equipment, counters, shelves, handrails, railings and all other items requiring the same. 9.27. All surfaces of masonry walls and wood fences shall be finished in the same manner, with the same materials on both sides to have an equal or better quality appearance when seen from adjoining properties. 10. SPECIALTIES 10.1. Actual bids and not allowances (except where noted), shall be submitted for the specified items following: 10.2. Cabinets shall have concealed hinges. Samples shall be submitted for approval. Cabinets shall be 36" high unless otherwise noted. 10.3. Countertop and back splash at kitchen and bar top shall be CounterTop and back splash at kitchen and bar top shall be selected by architect and interior designer. Countertop at bar sink and around kitchen sink and at bathroom vanities shall be made at no additional cost to the owner. The Architect shall be notified of such modifications prior to the execution of work. 10.4. Countertops and back splashes to be provided by the owner as indicated on drawings. Contractor to provide installation of all countertops and back splashes and to supply all necessary materials for installation. 10.5. Built-in cabinets for which shop drawings are to be built-in cabinets (for which shop drawings are to be provided) shall include the following: kitchen cabinets, built-in wall units and wet bar built in cabinets. 10.6. The security, TV cable, fiber optic, cable, telephone and stereo systems are not detailed in this contract but the contractor shall provide an allowance for each item and submit a description of each. 10.7. All terms protection shall be provided in accordance with state, local and county codes. See specification section 31.31.16 for treatment for further information. 10.7. Street wall address numbers to be in contrasting color from finish background. Min. of high and 1/2" stroke width per number. Color finish test and final size to be approved by Owner. 11. EQUIPMENT 11.1. Not used in this set 12. FURNISHINGS 12.1. Furnishings are to be selected, provided, and installed by Owner. See Interior Dwg's. for room finish schedule and built-in cabinetry/shelving to be provided by Contractor. 13. SPECIAL CONSTRUCTION 13.1. General Contractor to coordinate work of pool subcontractor with the work of the other trades. Comply with governing codes and regulations, supplemented by an experienced state certified pool with a minimum of five years' experience installation and repairs in the pool industry. 13.2. Contractor to submit samples of pool finish and the grout to Architect for approval. All equipment and shop drawings shall be submitted for Architect's approval. 14. CONVEYING EQUIPMENT 14.1. Elevator to comply with Max Grablin Act, FBC 303.1, and any other applicable portions of EBC chapter 30 Elevators and Conveying Systems. 21. FIRE SUPPRESSION 21.1. Where fire protection systems are required, they shall be installed in compliance with standards per FBC Section 901. 22. PLUMBING 22.1. All plumbing fixtures, faucets and fixture fittings shall be in compliance with standards as per FBCR Section P2701. 23. HEATING, VENTILATION AND AIR CONDITIONING 23.1. The following specifications are minimum requirements to supplement the documents. 23.2. Drawings indicate location of equipment, runs, and outlets diagrammatically. Changes made due to site conditions shall be made at no additional cost to the owner. The Architect shall be notified of such modifications prior to the execution of work. 23.3. Contractors shall coordinate their work with the work of other trades prior to execution of their work. 23.4. Contractors shall obtain the appropriate inspector's acceptance of their work. 23.5. Contractor shall install complete water service, distribution, waste disposal and drainage systems. 23.6. Contractor shall provide and install heaters, fixtures, and faucets specified in the schedule and include the necessary hardware for their proper use. 23.7. Contractor shall provide necessary sleeves, pipe connections and clean-outs for connection to future municipal sewer system to 60' outside of exterior walls. 23.8. Refer to schedules for future types, specifications, and locations. 23.9. Contractor shall provide and install A.C. equipment as specified in the schedule and air distribution and piping as shown in the drawings. 23.10. Locations of all pipes and registers shall be verified with the Architect prior to installation. 23.11. Air distribution devices shall be aluminum construction with opposed blade damper and equalizing grid TTUTS or equal with adjustable louvers. 23.12. Thermostats shall have a sub-base with heat-off-cool and fan switches. 23.13 Air conditioning grilles shall be painted to match adjacent surfaces unless noted otherwise. 23.14. Interior of duct boots to be painted flat black. All labor, equipment and materials shall be warranted for four years after the acceptance of work. 23.15. Air exhaust and intake openings which terminate at outdoors shall be protected with corrosion resistant screens, louvers or grilles with openings between 1/2" and 1/2" per FBCR 303.6. 26. ELECTRICAL 26.1. The following specifications are minimum requirements to supplement the documents. 26.2. Drawings indicate location of equipment, runs, and outlets diagrammatically. Changes made due to site conditions shall be made at no additional cost to the owner. The Architect shall be notified of such modifications prior to the execution of work. 26.3. Contractors shall coordinate their work with the work of other trades prior to execution of their work. 26.4. Contractor to coordinate & provide allowance for Lutron Contractor to coordinate & provide allowance for Lutron Lighting System. 26.5. Contractors shall obtain the appropriate inspector's acceptance of their work. 26.6. Contractor shall provide and install complete electrical service of the proper capacity according to the documents. 26.7. Contractor shall provide relays as required for the thermostat control, shall provide empty circuits and buses for the telephone and fiber optic cables, and shall provide wiring to the appropriate locations. Provide pull strings for all future work. 26.8. Service work including ordering and repairing equipment shall conform to the requirements of the local electric utility. Panel boards shall be of the circuit breaker type. All electric work shall be grounded. All on site electrical service shall be located underground and coordinated with existing Florida Power and Light service and lines. New service shall be connected to meter located on drawings. 26.9. Switches, outlets, and plates shall be specified by the Architect. Switches shall be blank rocker type. 26.10. Locations of all electrical switches, outlets, telephone and TV jacks shall be marked for verification by the Architect prior to installation. 26.11. Contractor to install paddle fans at locations indicated on the plans. 26.12. Alarms and Detectors: Refer to electrical sheets for all carbon monoxide and smoke alarms.			
APPLICABLE BUILDING CODES		SCOPE OF WORK		NEW FOUR STORY MULTI-FAMILY DEVELOPMENT W/ NEW SITE WORK & LANDSCAPING	
SYMBOL LEGEND		DETAILS MARKS		NOTE: DRIVEWAY, WINDOWS & DOORS, ROOFING & WATERPROOFING, RAILINGS & FENCE, STAIRS AND ANY SPECIALITY TO BE PART OF THIS PERMIT AND GC SHALL OBTAIN THE REQUIRE PERMITS FROM THE BUILDING DEPARTMENT	
Room name		SECTION DETAILS		PLAN DETAILS	
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WINDOW TAG					

A002

LOCATION MAP

SITE

GREEN BUILDING CERTIFICATION

LOT COVERAGE:	N/A	N/A
FAR:	3.00	1.84
A/G AREA:	32,277 SQ.FT.	19,887 SQ.FT.
PROPOSED NO. OF UNITS:	UNLIMITED	18 UNITS
NUMBER OF FLOORS:	10	4
BUILDING HEIGHT:	140 FEET	46 FEET

<u>BUILDING INFORMATION</u>	<u>PROVIDED</u>
TYPE OF CONSTRUCTION	TBD
SPRINKLER (REQUIRED)	YES
FIRE ALARM (REQUIRED)	YES

<u>PARKING CALCULATION</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
MIN. REQ. PER UNIT (1) PARKING SPACE PER UNIT UNITS EXCEEDING ONE BEDROOM INCLUDING DENS (1.5) PARKING PER UNIT		
1 BEDROOM UNITS (10 CT)	10	9
2 BEDROOM UNITS (8 CT)	12	16
GUESTS: 1 PER EVERY 10	2	2
HANDICAPPED SPACE	0	1
TOTAL	=24 SPACES	=28 SPACES
LOADING:		
RESIDENTIAL 1 FOR (60-100 UNITS)	NOT REQ.	0 SPACE

<u>SETBACKS</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
FRONTAGE AT TAYLOR (NORTH)	15'-0"	15'-0"
SIDE INTERIOR (EAST)	0'-0"	10'-0"
SIDE INTERIOR (WEST)	0'-0"	4'-0"
REAR (SOUTH)	5'-0"	5'-0"

AT-GRADE PARKING LOT AND VEHICULAR USE AREAS SETBACK REQUIREMENTS		
FRONTAGE AT TAYLOR (NORTH)	15'-0"	15'-0"
SIDE INTERIOR (EAST)	0'-0"	0'-0"
SIDE INTERIOR (WEST)	0'-0"	4'-0"
REAR (SOUTH)	5'-0"	5'-0"

LOCATION	UNIT #	UNIT TYPE	AREA		NET AREA	
			AC	TERRACE/BALCONY	AC	BALCONY
2ND FLOOR	201	2/2	970	385	5,115	1,135
	202	2/2	959	375		
	203	2/2	867	375		
	204	1/1	759			
	205	1/1	800			
	206	1/1	760			
3RD FLOOR	301	2/2	972	99	5,118	198
	302	2/2	1023	51		
	303	2/2	962	48		
	304	1/1	729			
	305	1/1	707			
	306	1/1	725			
4TH FLOOR	401	2/2	857	150	4,904	249
	402	2/2	1025	51		
	403	1/1	870	48		
	404	1/1	738			
	405	1/1	707			
	406	1/1	707			
TOTAL NET AREA					15,137	1,582

<u>MIN. DWELLING UNIT SIZE</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
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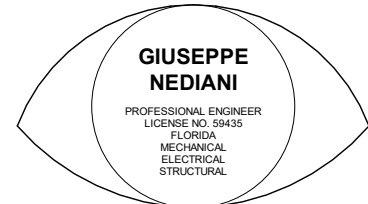
PER UNIT	300 SQ.FT.	707 SQ.FT. (MIN.)
CUMULATIVE AVERAGE	500 SQ.FT.	841 SQ.FT.

<u>LANDSCAPE</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
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IMPERVIOUS AREA	N/A	9,362 SQ.FT. (87.0%)
PARKING, SIDEWALKS & DRIVES		
PERVIOUS AREA		
LANDSCAPING AREAS (TOTAL)	1,178 SQ.FT. (10.9%) MIN	1,362 SQ.FT. (13.0%)
FRONT YARDS	1,200 SQ.FT. (11.2%) MIN	1,200 SQ.FT. (11.2%)
LANDSCAPE BUFFERS	N/A	N/A
OPEN AREA		13,045 SQ.FT.
VEHICULAR AREA		7,853 SQ.FT.
GROSS BUILDING AREA		
	FIRST FLOOR	INTERIOR
	SECOND FLOOR	8,437 SQ.FT.
	THIRD FLOOR	7,512 SQ.FT.
	FOURTH FLOOR	6,575 SQ.FT.
	ROOF	6,575 SQ.FT.
		6,692 SQ.FT.
	TOTAL	35,791 SQ.FT.

	SPACE	AREA		GROSS AREA		AREA FAR
		AC	NON AC	AC	NON AC	
1ST FL	LOBBY	90		141	8,296	505
	TRASH ROOM		79			
	STAIR WELLS		251			
	ELEVATORS	51				
	PUMP ROOM		113			
	GARAGE		7,853			
2ND FL	CORRIDOR	954		6,126	1,386	6,377
	UNITS	5,121				
	STAIRWELLS		251			
	ELEVATOR	51				
	BALCONIES		1,135			
3RD FL	CORRIDOR	954		6,126	449	6,377
	UNITS	5,121				
	STAIRWELLS		251			
	ELEVATOR	51				
	BALCONIES		198			
4TH FL	CORRIDOR	954		6,126	449	6,377
	UNITS	5,121				
	STAIRWELLS		251			
	ELEVATOR	51				
	BALCONIES		198			
ROOF	STAIRWELLS		251		6,692	251
	ELEVATOR					
	ROOF AREA		6,441			
				18,519	17,272	
TOTAL GROSS AREA				35,791 SF		
TOTAL FAR AREA						19,887 (1.84)

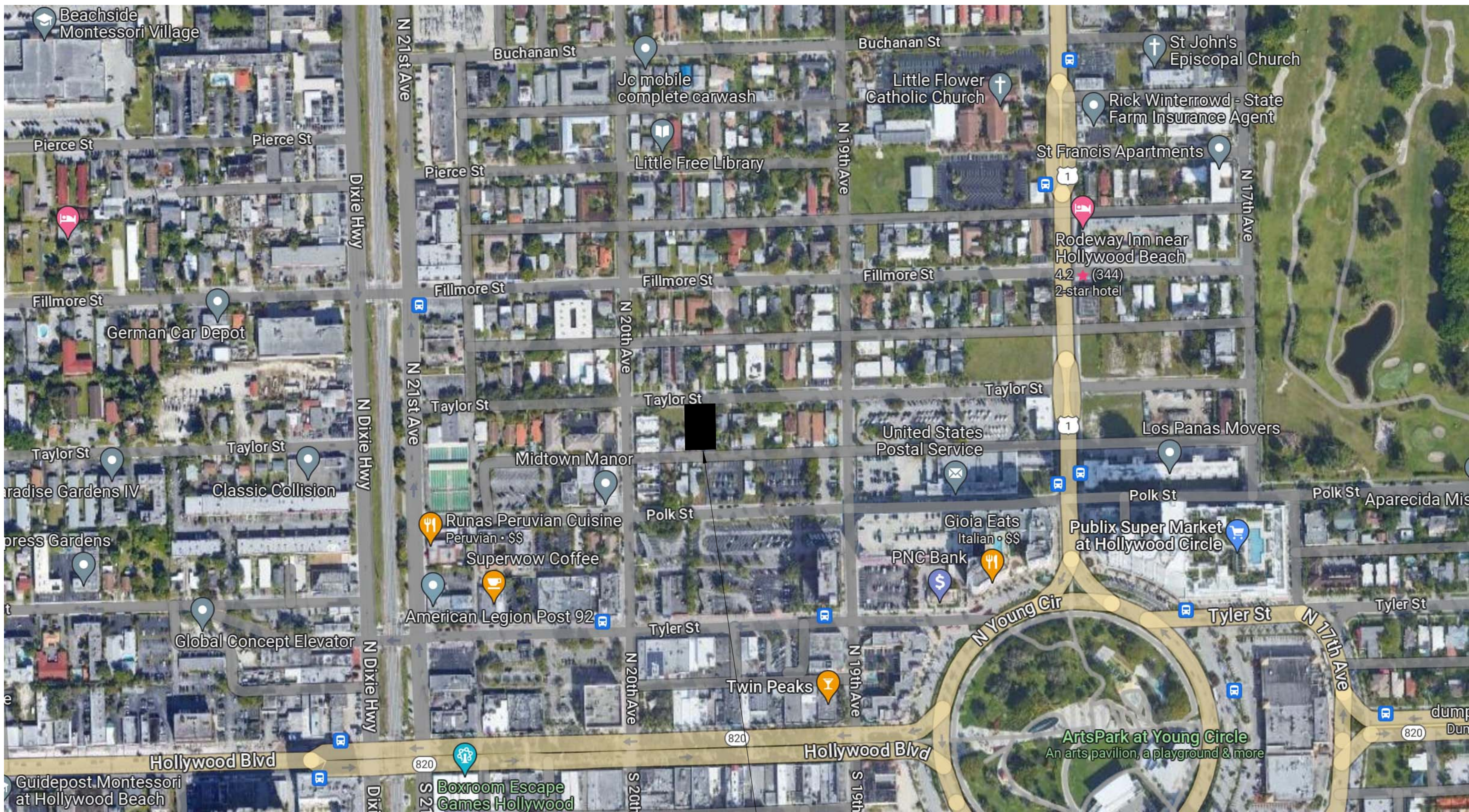
PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



CONTACT INFORMATION
DESIGN PROFESSIONAL
GIUSEPPE NEDIANI
PE #59435
2301 COLLINS AV. #1207
MIAMI BEACH, FL, 33139
(305) 532-4499
GIUSEPPENEDIANI@GMAIL.COM

[illegible]SEAL / SIGNATURE / DATESHEET TITLE

PROJECT DATA

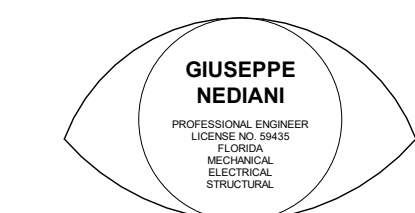
SHEET NUMBER

LOCATION MAP

GREEN BUILDING CERTIFICATION

LEED GREEN BUILDING CERTIFICATION SHALL BE OBTAINED FOR THIS PROJECT.

PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



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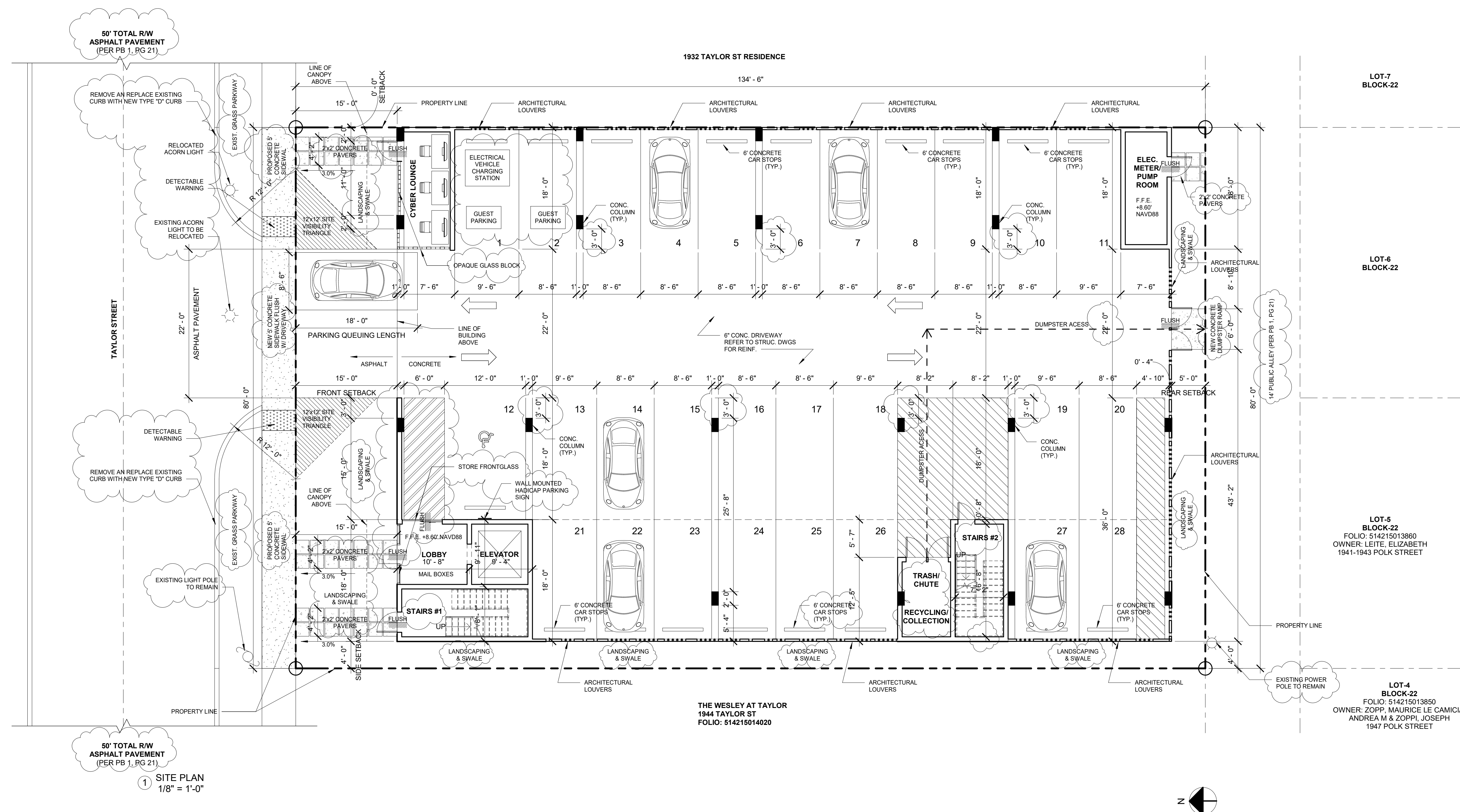
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SHEET TITLE

SITE PLAN

SHEET NUMBER

A100



SITE PLAN NOTES:

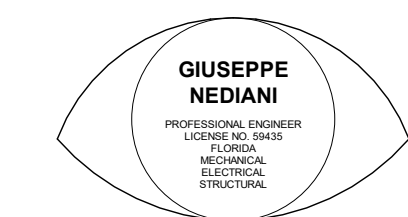
1. PROVIDE SOIL TREATMENT FOR TERMITES PROTECTION, TYP. FOR ENTIRE SITE.
2. SIDE YARDS LOW RETENTION WALLS WITH SMOOTH STUCCO FINISH PAINTED. COORDINATE SITE GRADE CHANGE TRANSITION REFER TO LANDSCAPE & STRUCTURAL DRAWINGS FOR RETAINING WALL DETAILS.
3. REFER TO LANDSCAPING DWGS FOR PLANTING. REFER TO CIVIL DWGS FOR GRADING.
4. FLOOD ELEVATION 8.6' N.A.V.D.
5. DURING CONSTRUCTION GC TO PREVENT ANY VEHICLE TRACKING ON ROADWAYS BY CREATING WASH DOWN AREAS ON SITE AS REQUIRED. ALL NEAR BY STORM DRAIN CATCH BASINS TO BE PROTECTED WITH FILTER FABRIC. PORTABLE TOILET TO BE 5' FROM PROPERTY LINES AND TO NOT BE NEAR ANY CATCH BASINS OR BODY OF WATER.
6. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
7. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
8. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS AER REQUIRED FOR EACH SIGN.

9. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
10. 36" OF ACTIVE USE PROVIDED AT GROUND LEVEL (45%).
11. NO GARAGE ENTRY DOOR SHALL BE USED TO ALLOW FOR QUEUING.
12. TANDEM SPACES SHALL COUNT TOWARDS A SINGLE UNIT.
13. MOT PLANS TO BE PROVIDED AT TIME OF PERMIT.
14. FOR UTILITIES WORK WITHIN RIGHT-OF-WAY, ROW PERMIT WILL BE REQUIRED AT THE TIME OF PERMIT.
15. ALL OUTSIDE AGENCY PERMITS ARE REQUIRED AT THE TIME OF CITY BUILDING PERMIT REVIEW.
16. IMPACT PAYMENT FEES (INCLUSIVE OF PARK PAYMENT FEE) TO BE MADE AT TIME OF CITY BUILDING PERMIT ISSUANCE.
17. COORDINATION WITH BUILDING DEPARTMENT SHALL OCCUR DURING PERMITTING TO ENSURE ADEQUATE VENTILATION IS PROVIDED FOR THE PARKING GARAGE.
18. ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

<u>PARKING SPACES TYPE</u>	<u>COUNT</u>
TANDEM SPACES	8 (16 SINGLE)
SINGLE SPACES	9
ADA SPACES	1
GUEST SPACES	2
TOTAL	28



PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



CONTACT INFORMATION
DESIGN PROFESSIONAL
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PE #59435
2301 COLLINS AV. #1207
MIAMI BEACH, FL, 33139
(305) 532-4499
GIUSEPPENEDIANI@GMAIL.COM

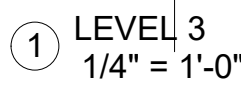
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SEAL / SIGNATURE / DATE

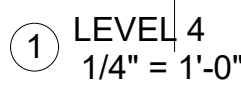
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SECOND LEVEL PLAN

SHEET NUMBER
A102

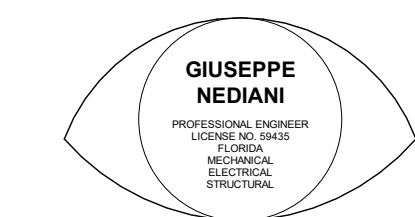


A103



A104

PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



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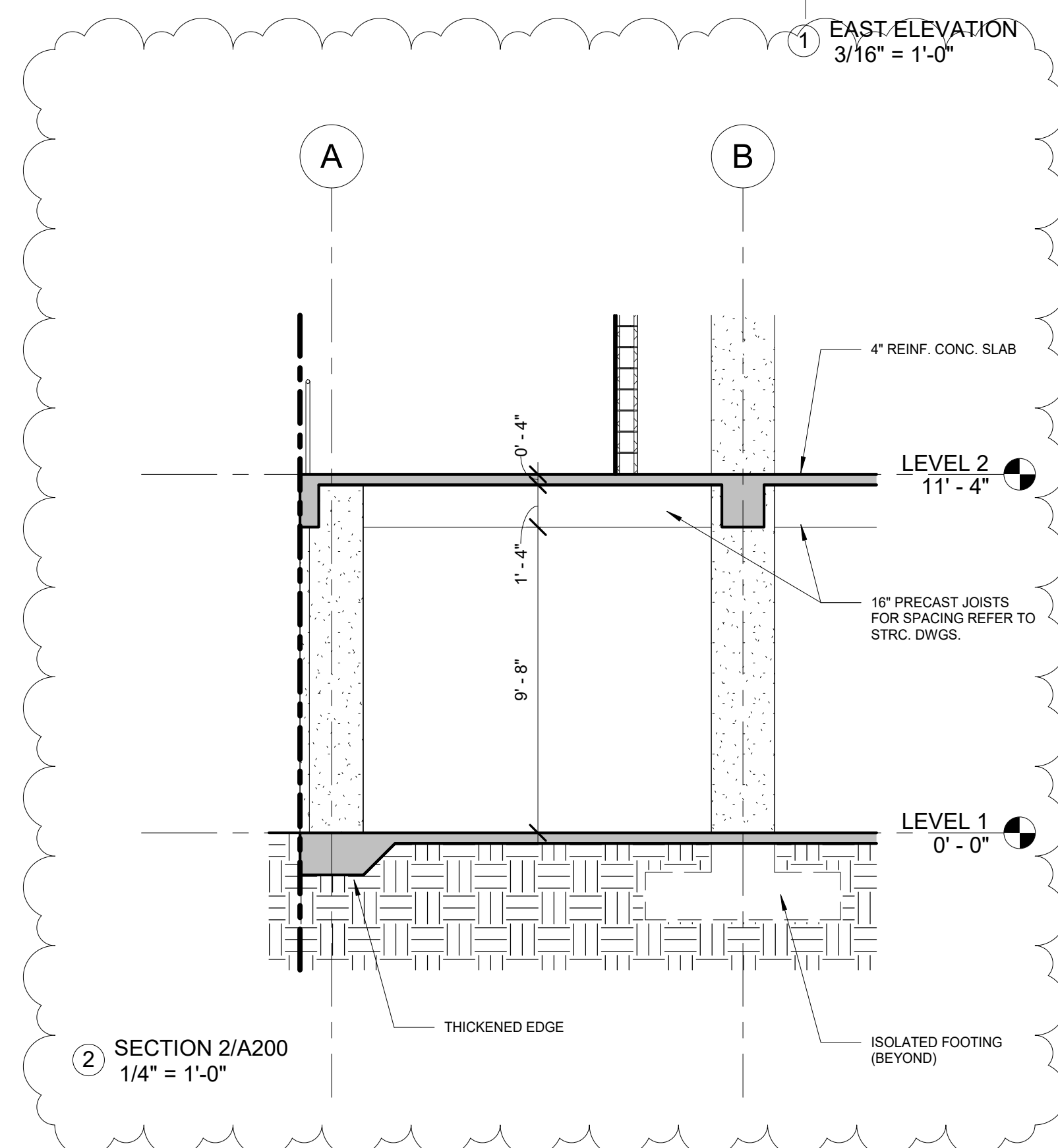
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SHEET TITLE

EAST ELEVATION

SHEET NUMBER

A200

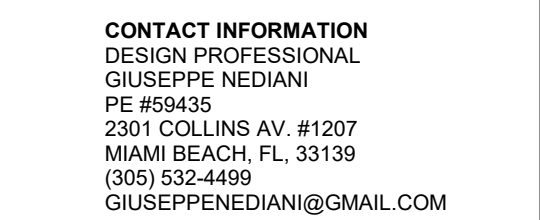


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EAST ELEVATION RENDERING

SHEET NUMBER
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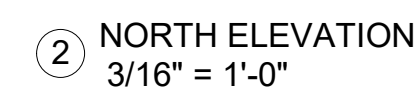
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SHEET TITLE

NORTH ELEVATION

SHEET NUMBER

A201



② NORTH ELEVATION
3/16" = 1'-0"

PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



**GIUSEPPE
NEDIANI**

PROFESSIONAL ENGINEER
LICENSE NO. 3860
FLORIDA
ELECTRICAL
ENGINEERING

CONTACT INFORMATION
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 (305) 532-4409
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SEAL / SIGNATURE / DATE

SHEET TITLE

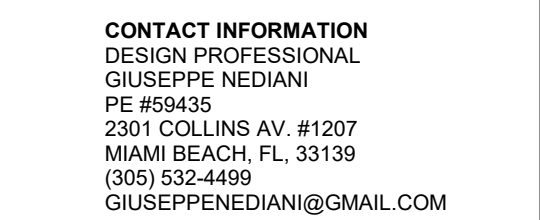
NORTH ELEVATION
RENDERING

SHEET TITLE

NORTH ELEVATION
RENDERING

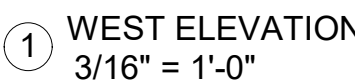
SHEET NUMBER
A201a

SHEET NUMBER
A201a


[illegible]

WEST ELEVATION

A202



① WEST ELEVATION
3/16" = 1'-0"

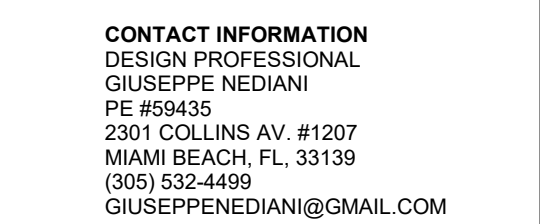


**GIUSEPPE
NEDIANI**
PROFESSIONAL ENGINEER
LICENSE NO. 59435
FLORIDA
MECHANICAL
ELECTRICAL
STRUCTURAL

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SHEET NUMBER

A202a

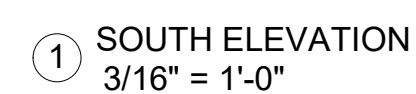
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SHEET TITLE

SOUTH ELEVATION

SHEET NUMBER

SHEET NUMBER
A203



PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



**GIUSEPPE
NEDIANI**

PROFESSIONAL ENGINEER
LICENSE NO. 3860
FLORIDA
ELECTRICAL
REPAIRING

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 GIUSEPPENEDIANI@GMAIL.COM

[illegible]

SEAL / SIGNATURE / DATE


SHEET TITLE

SOUTH ELEVATION
RENDERING

SHEET NUMBER

A203a

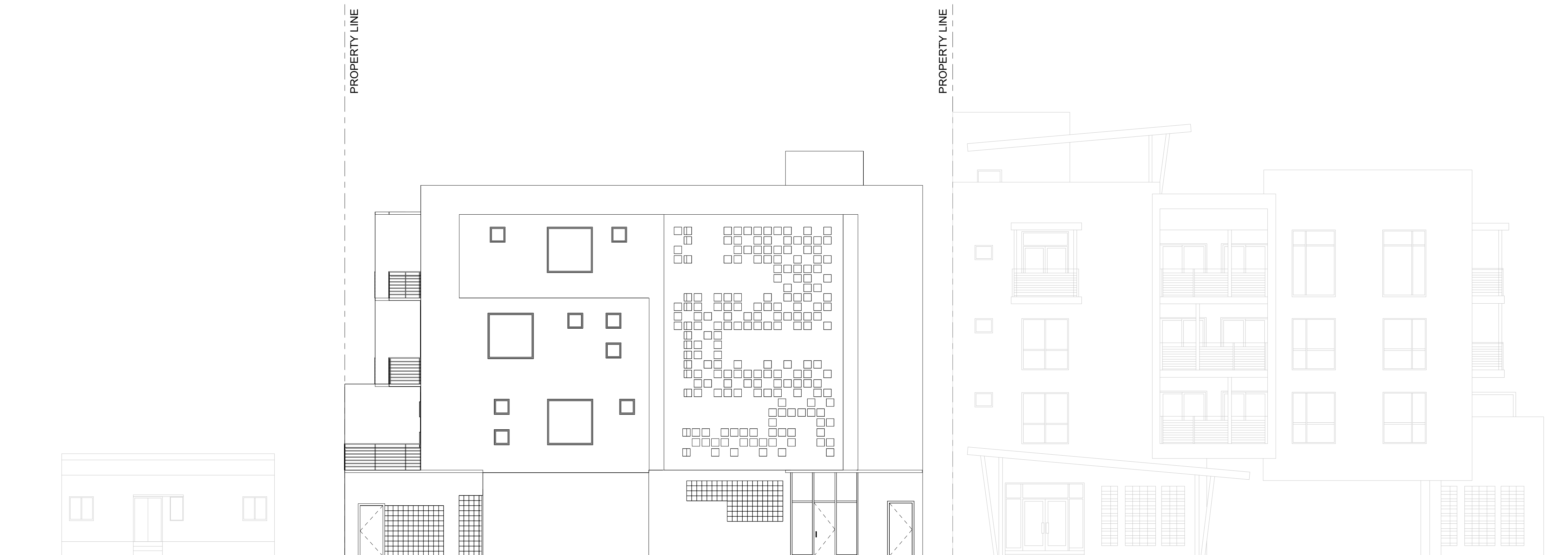




**GIUSEPPE
NEDIANI**
PROFESSIONAL ENGINEER
LICENSE NO. 55455
FLORIDA
MECHANICAL
ELECTRICAL
STRUCTURAL

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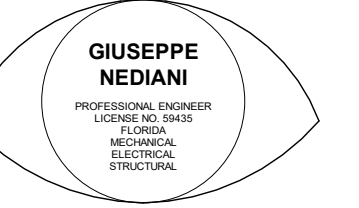
A204



① CONTEXT
1/8" = 1'-0"



PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



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GIUSEPPENEDIANI@GMAIL.COM

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SEAL / SIGNATURE / DATE

SHEET TITLE

CONTEXT RENDERINGS

SHEET NUMBER

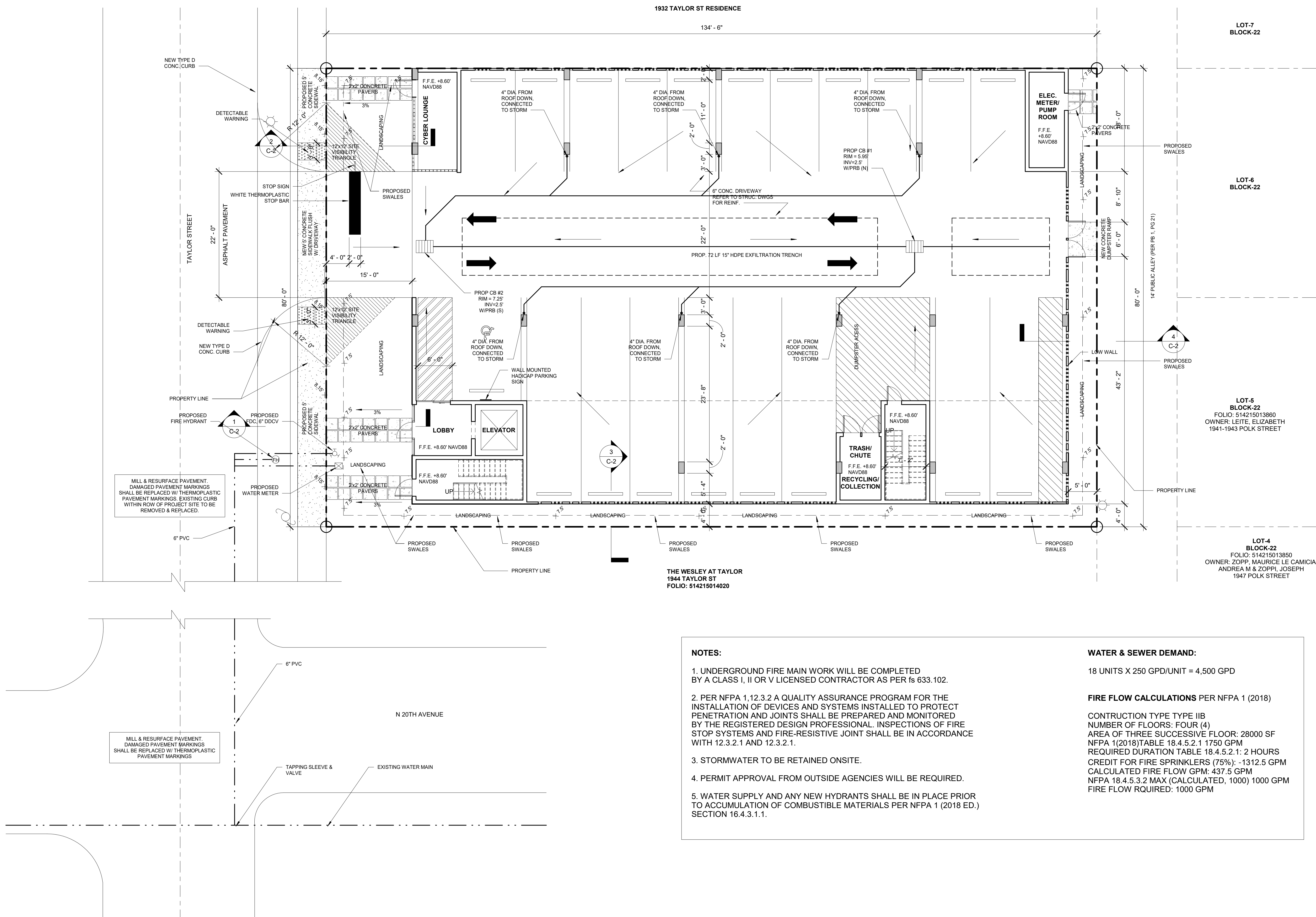
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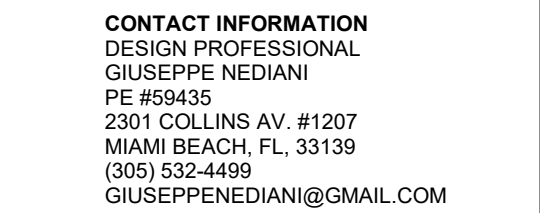
**GIUSEPPE
NEDIANI**
PROFESSIONAL ENGINEER
LICENSE NO. 59435
FLORIDA
MECHANICAL
ELECTRICAL
STRUCTURAL

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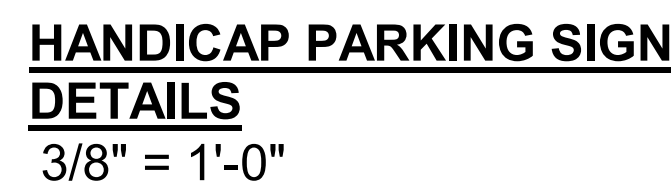
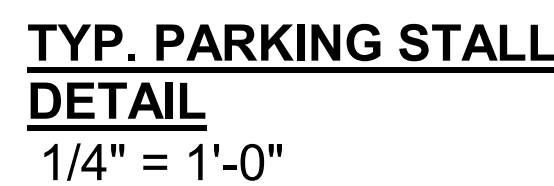
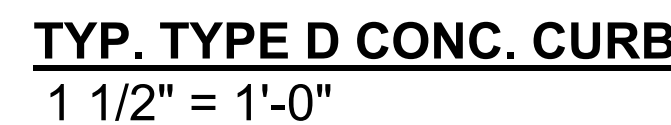
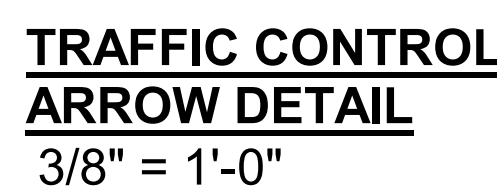
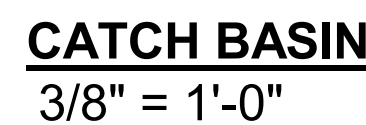
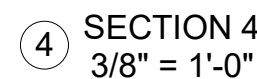
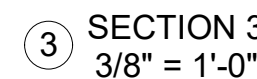
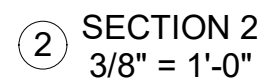
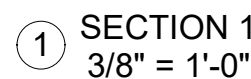
C-1



① SITE PLAN
1/8" = 1'-0"

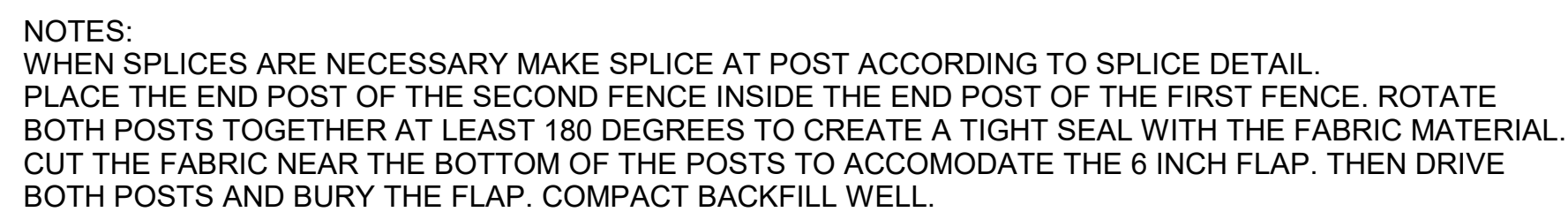
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C-2



WHITE HANDICAPPED LOGO
ON BLUE BACKGROUND W/
BLACK LETTERS 1-1/2" HIGH
ON WHITE TO READ:
PARKING BY DISABLED PERMIT ONLY
TOW AWAY ZONE
FINE UP TO \$250.00

TYP. STOP SIGN DETAIL
3/8" = 1'-0"



SPLICE DETAIL-PLAN VIEW

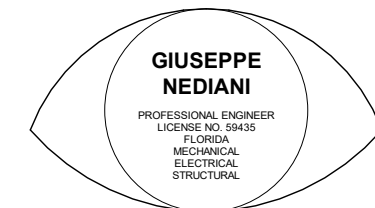
STORMWATER POLLUTION PREVENTION DETAILS



BACKFLOW PREVENTER

- NOTE:**
1. THE ASSEMBLY MUST BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCE OF 18" MINIMUM TO 30" MAXIMUM, FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
 2. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE ON THE APPROVED LIST OF FOUNDATION FOR CROSS CONNECTION AND HYDRAULIC RESEARCH CONTROL OF THE UNIVERSITY OF SOUTHERN CALIFORNIA. CONTRACTOR TO PROVIDE MANUFACTURERS CERTIFICATION OF U.S.C. APPROVAL.
 3. ALL BACKFLOW PREVENTION ASSEMBLIES 3" AND SMALLER SHALL BE FACTORY ASSEMBLED INCLUDING SHUT OFF VALVE AS REQUIRED BY U.S.C. FOUNDATION FOR CROSS CONNECTION CONTROL STANDARDS. ON DEVICES.
 4. BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY CITY OF NORTH MIAMI BEACH PUBLIC UTILITIES. LOCATIONS INSIDE BUILDING OR WITH OTHERWISE RESTRICTED ACCESS WILL NOT BE APPROVED.
 5. GUARDPOSTS OR PROTECTIVE ENCLOSURE MAY BE REQUIRED DEPENDING ON SITE CONDITIONS.
 6. INSTALL PIPE SUPPORTS AS NEEDED.
 7. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE BRASS OR COPPER.
 8. ALL EXPOSED METALLIC THREADS SHALL BE PAINTED WITH BITUMASTIC PAINT. ALL OUTLETS SHALL BE PLUGGED WITH BRASS.

PROJECT ADDRESS:
1942 Taylor St,
Hollywood, FL 33020



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[illegible]

3229 NE 169TH ST, NORTH
MIAMI BEACH, FL 33160

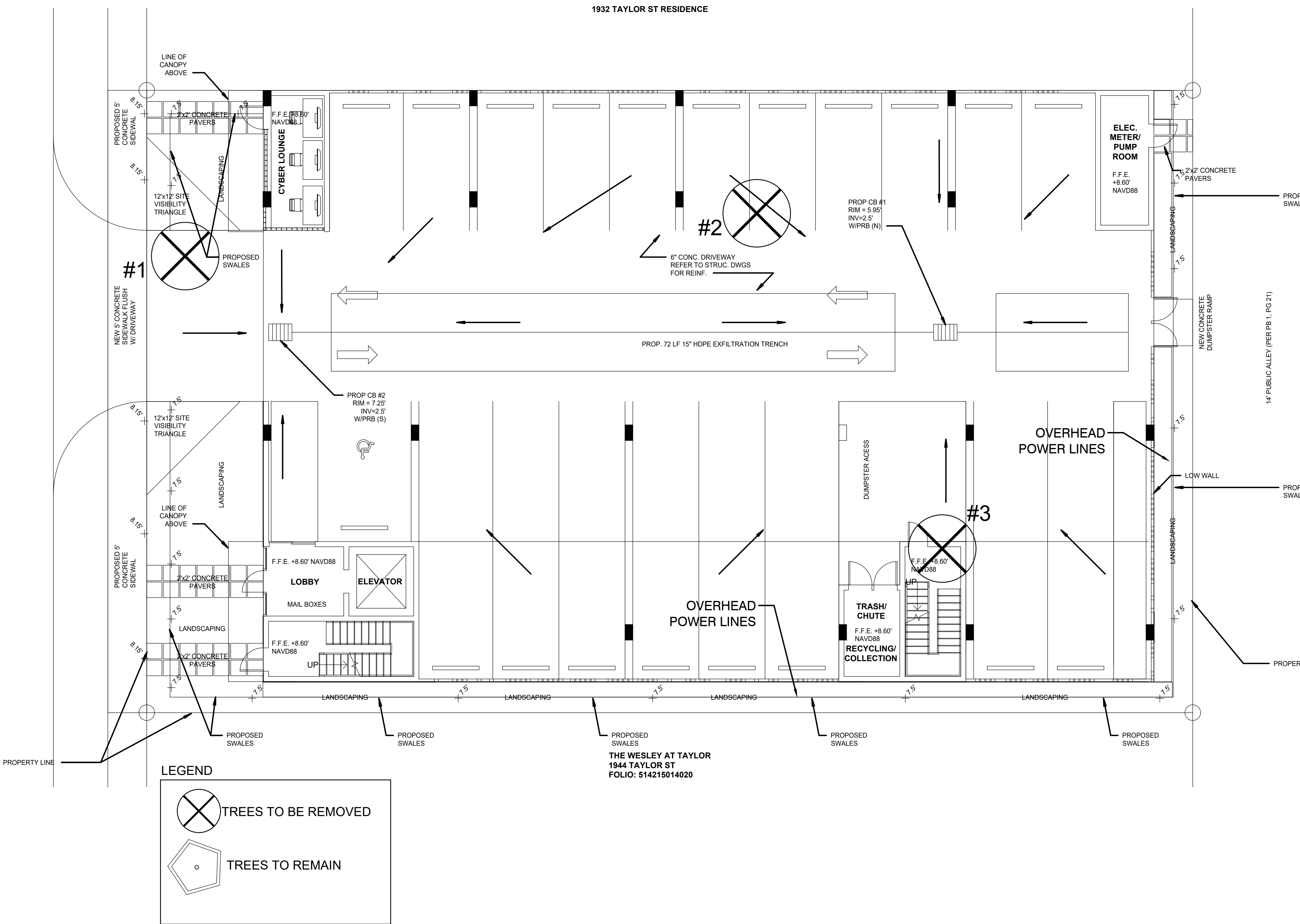
SEAL / SIGNATURE / DATE

SHEET TITLE

DETAILS SECTIONS

SHEET NUMBER

C-3



Reproduction Method
Trunk Formula Technique

Client name **ECOplan** Date **3/28/24** Case # **1**
Phone **(954)524-3722** E-mail **john@ecoplan-inc.com**
Address **1942 Taylor St.**

Subject tree **Black Olive (Bucida buceras)**

1. Trunk diameter* (D)	18	@ 4.5'	
2. Cross-sectional area (line 1) ² × 0.7854			254.47 in ²
3. Condition rating			57 %
Health	57		
Structure	55		
Form	55		
4. Functional limitations	N/A		100 %
5. External limitations	Species Rating (2016 ratings)		80 %

Replacement tree **Black Olive (Bucida buceras)**

6. Trunk diameter* (D)	3"	@	
7. Cross-sectional area (line 6) ² × 0.7854			7.1 in ²
8. Replacement tree cost Source: plant ant (145, 150, 295)			\$ 196.67

Calculations

9. Unit tree cost (line 8 / line 7 or RPAC)	\$ 27.70
10. Basic reproduction cost (line 2 × line 9)	\$ 7,048.82
11. Depreciated reproduction cost* (line 10 × line 3 × line 4 × line 5)	\$ 3,214.26

Additional costs

Cleanup	\$
Replacement tree installation planting/bracing	\$ 500.00
Aftercare	\$
12. Total additional costs	\$ 500.00
13. Total reproduction cost (line 11 + line 12)	\$ 3,714.26
14. Rounded	\$ 3,700.00

* Diameter and cross-sectional area may be replaced with plant area, volume, or height as appropriate.
^ Apply depreciation if it is appropriate for the assignment.

Council of Tree & Landscape Appraisers (CTLA). 2019. *Guide for Plant Appraisal, 10th Edition*. International Society of Arboriculture, Atlanta, GA.
Revised in 2019. Current as of October 2020.

3/28/2024 1942 Taylor St. Hollywood, FL

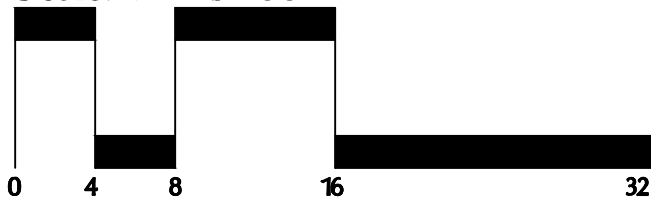
TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WIDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	HEALTH CONDITION	HEALTH CONDITION %	CTLA 10TH EDITION APPRAISAL (\$)	RELOCATION CANDIDATE (Y/N)	OBSERVATIONS
1	Black Olive	<i>Bucida buceras</i>	37.1	38	18		Fair	57%	\$ 3,700.00	Y	Poor structure, compacted root zone, water sprouts, minor deadwood, mechanical root zone damage
2	Mango	<i>Mangifera indica</i>	33.4	46	26.25		Fair	54%		N	Poor structure, deadwood, canopy dieback, mechanical root zone damage, galls
3	Sabal Palm	<i>Sabal palmetto</i>	16	8	16	12	Good	65%		Y	

*I certify that all statements of fact in this appraisal are true, complete and correct to the best of my knowledge and belief and that they are made in good faith.

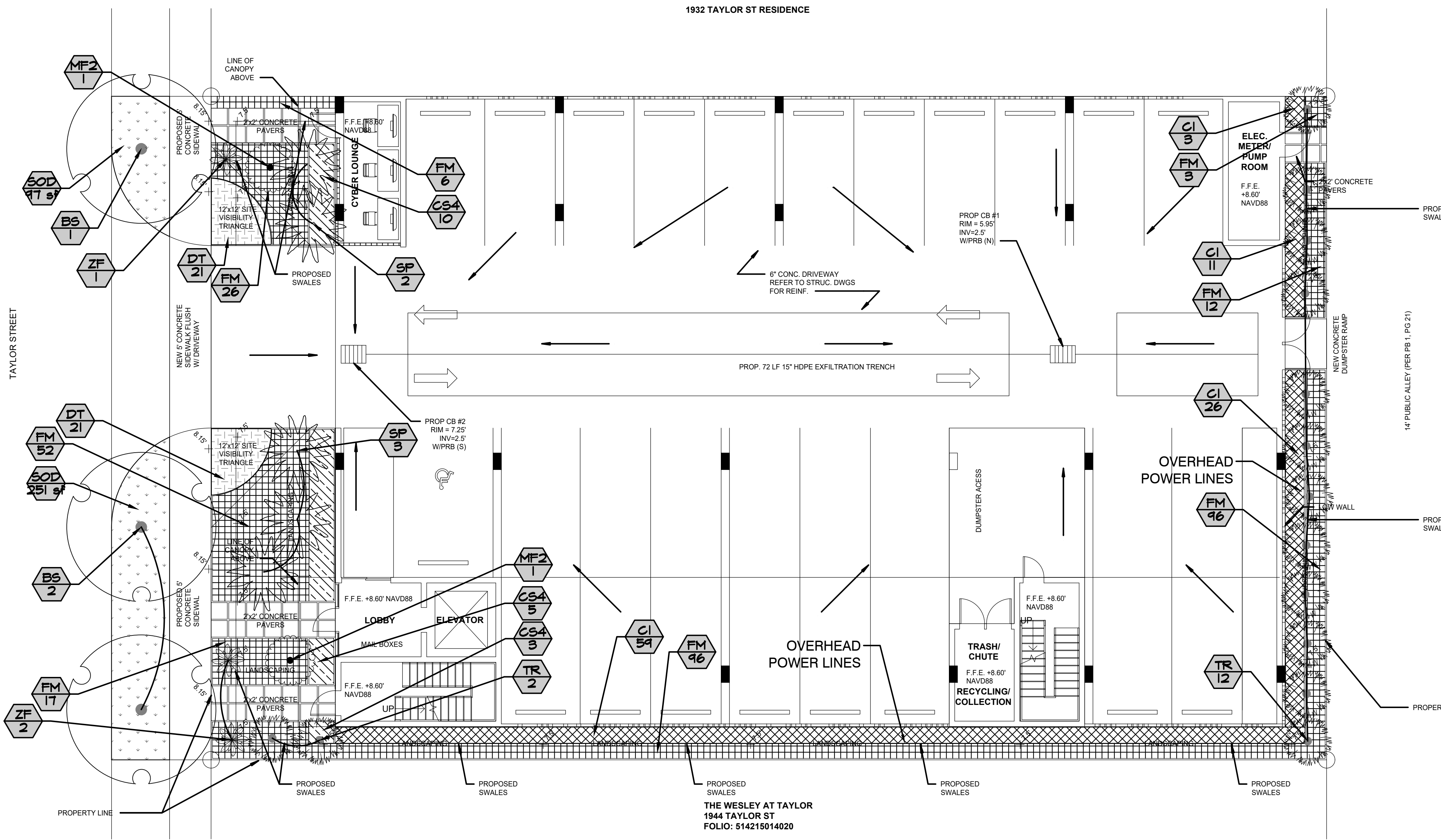
Mark C. Williams FL-5221 AM, ISA Certified Arborist Municipal Specialist (Treemendous Consulting Group LLC)

DRAFT

Scale: 1" = 8'-00"



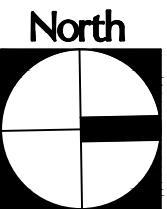
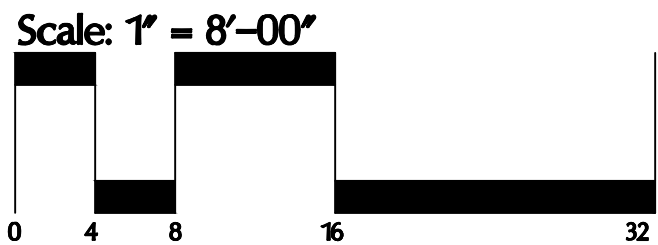
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LA-T1



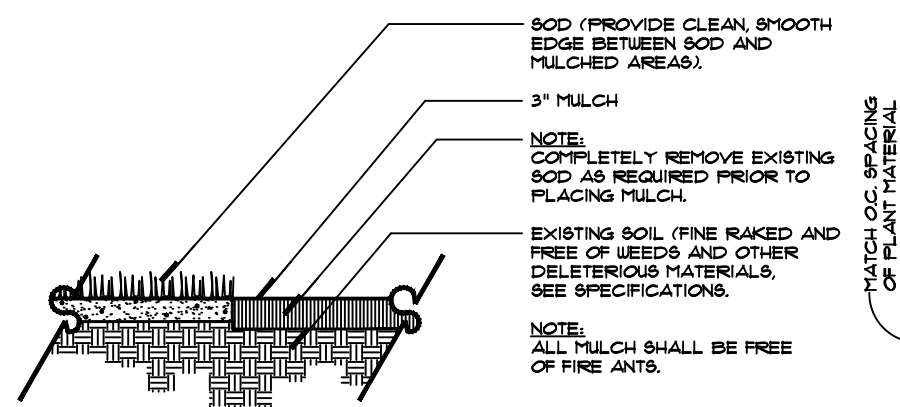
	Required	Provided
Perimeter Landscape		
Roadfront	1 tree per 30' lf	80/30 = 3 trees
Alley	1 tree per 20'	80/20=4 (overhead util)
Open Space		
	1 tree per 1000sf open	1381/1000=1 tree
	>60% native trees	60% 100%

PLANT SCHEDULE

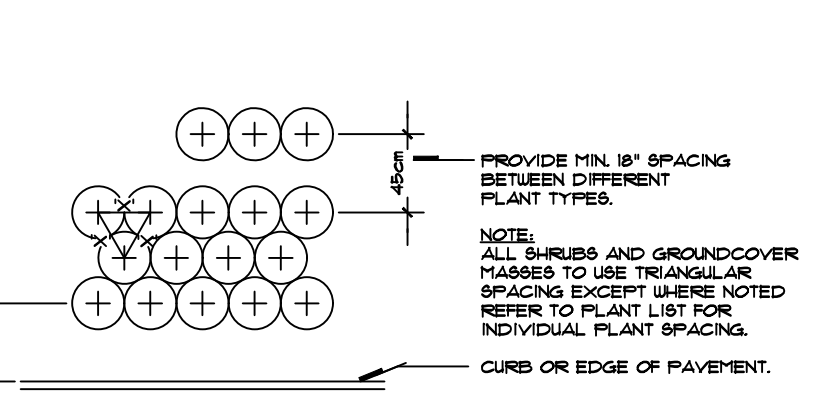
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	CALIPER	
TREES								
	BS	3	Bursera simaruba	Gumbo Limbo	B & B	14' HT, 6' SPR, 6' CT	2" CAL MIN	
PALM TREES								
	SP	5	Sabal palmetto	Cabbage Palmetto	B & B	8'-12' CT, VARY HEIGHTS	HEAVY SPECIMEN	
	TR	14	Thrinax radiata	Florida Thatch Palm	---			
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	NATIVE	
SHRUBS								
	MF2	2	Myrcianthes fragrans	Simpson's Stopper	25 gal.	8' HT, Standard		
	ZF	3	Zamia furfuracea	Cardboard Palm	15 gal	36" HT x 42" SPR		
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	SPACING
SHRUB AREAS								
	CI	99	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	3 gal.	24" HT x 24" SPR	24" O.C.	24" o.c.
	CS4	35	Clusia guttifera	Small-Leaf Clusia	3 gal.	30" HT x 24" W	24" O.C.	24" o.c.
	FM	212	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal.	18" X 18"		24" o.c.
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	NATIVE	SPACING
GROUND COVERS								
	DT	42	Dianella tasmanica	Blueberry Flax Lily	1 gal	12"X15"		18" o.c.



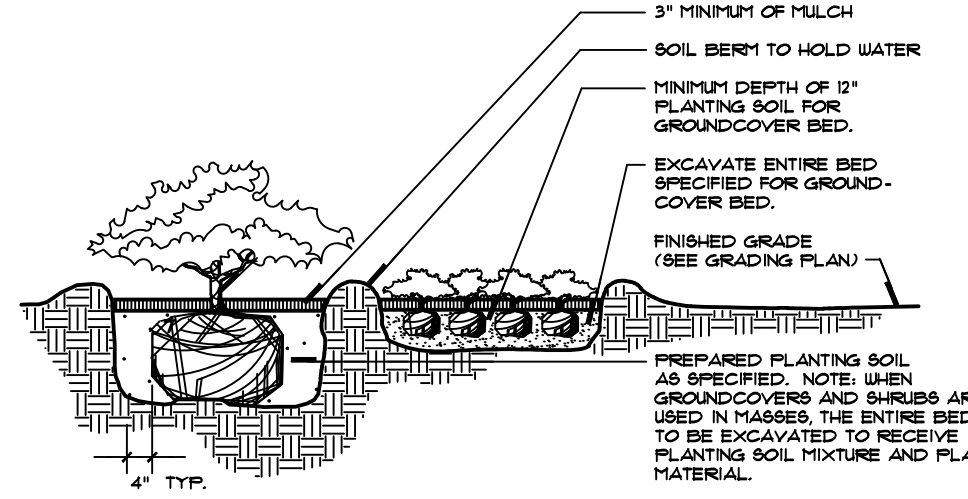
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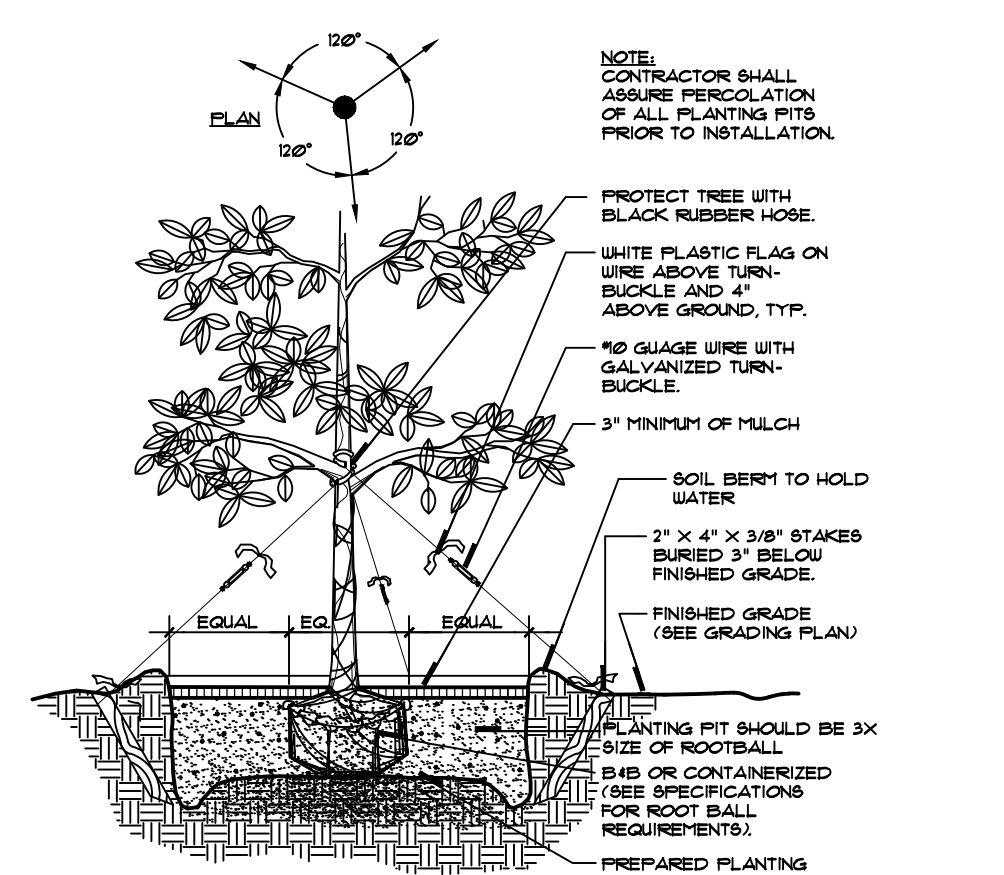
1 GRASS / MULCH EDGE DETAIL
PLAN SCALE: NTS



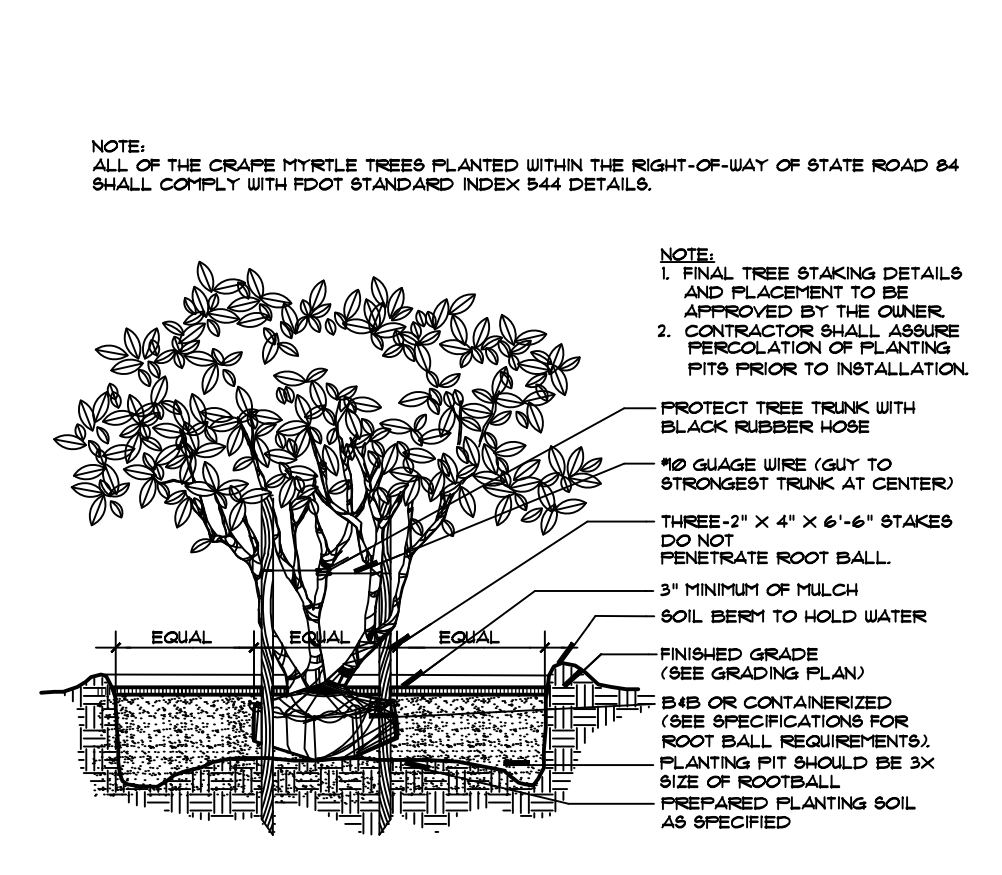
2 SHRUB AND GROUNDCOVER LAYOUT
SECTION SCALE: NTS



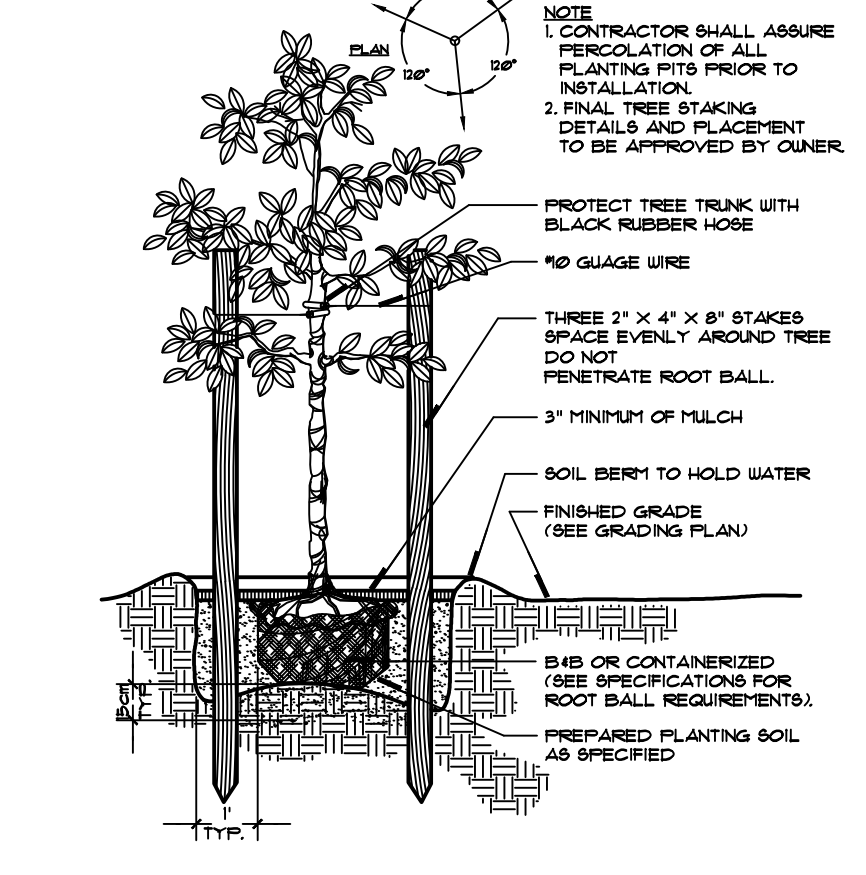
3 SHRUB / GROUNDCOVER PLANTING
SECTION SCALE: NTS



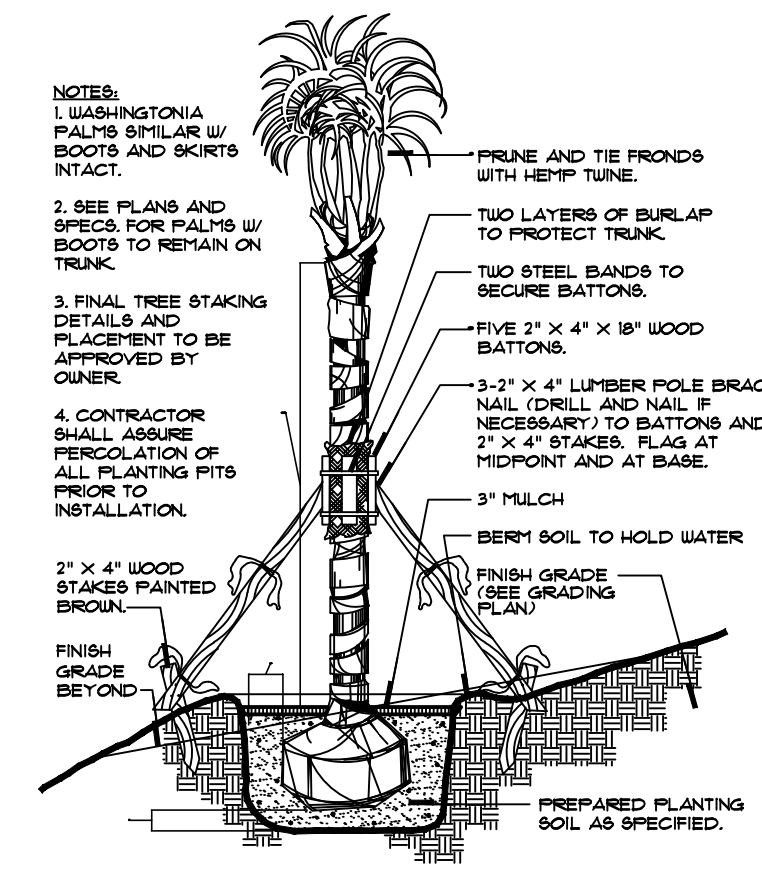
4 LARGE TREE PLANTING DETAIL
SECTION SCALE: NTS



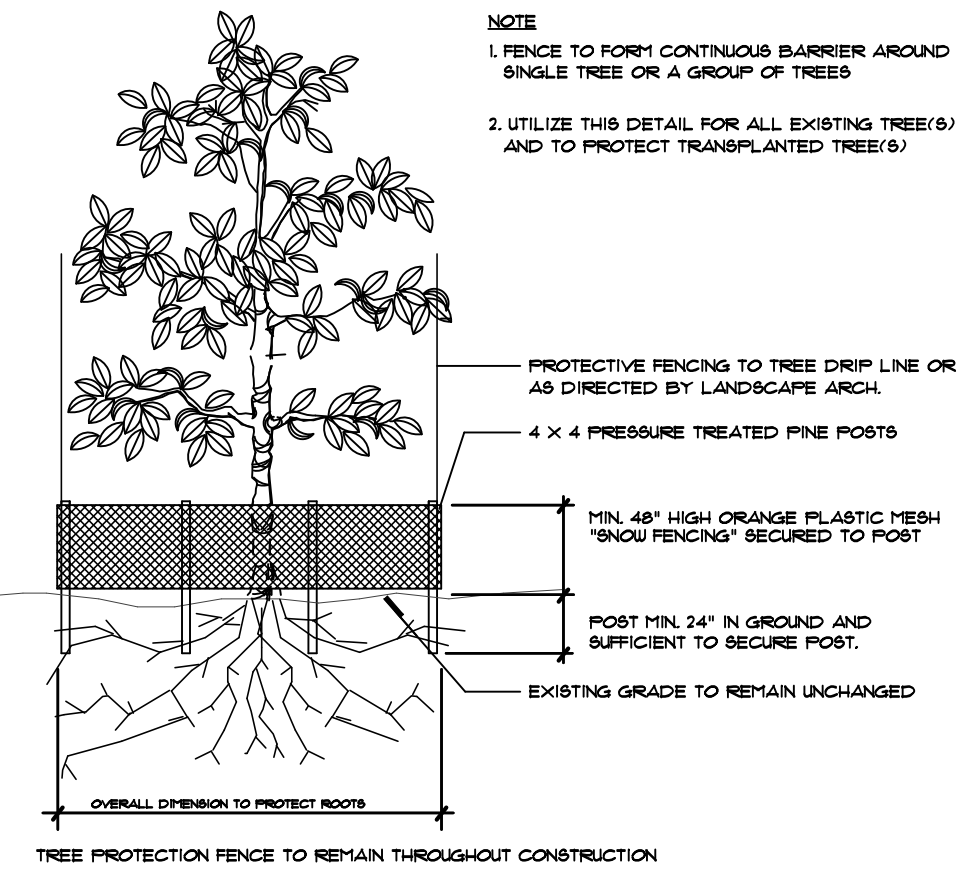
5 SMALL ORNAMENTAL TREE DETAIL
SECTION SCALE: NTS



6 SMALL TREE PLANTING DETAIL
SECTION SCALE: NTS



7 PALM DETAIL
SECTION SCALE: NTS

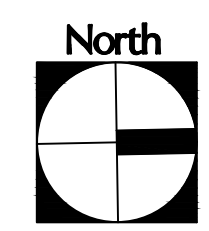
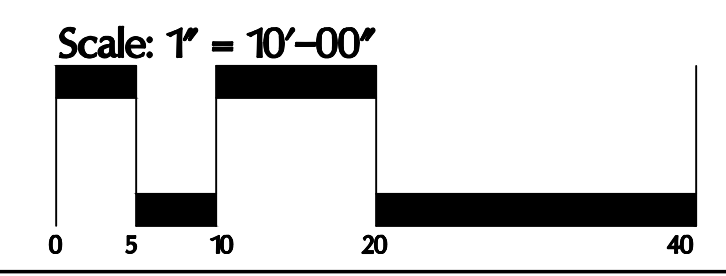


8 TREE PROTECTION FENCE
SECTION SCALE: NTS

LANDSCAPE NOTES

- THE WORK CONSISTS OF THE COMPLETE PLANT MATERIAL INSTALLATION ON THE DRAWINGS AND AS HEREIN SPECIFIED. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIAL SPECIFIED; THE FURNISHING OF LABOR, EQUIPMENT, APPLIANCES AND ALL MATERIALS CALLED FOR; AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE LANDSCAPE INSTALLATION ON THESE PLANS. FURTHER, THE WORK SHALL INCLUDE THE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL ACCEPTANCE BY THE OWNER, AND THE FULFILLING OF ALL GUARANTEE PROVISIONS AS HEREIN SPECIFIED.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- IN THE EVENT OF VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLANS, THE PLANS SHALL CONTROL.
- PLANT MATERIALS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE JOB SITE PRIOR TO INSTALLATION. WHEN INSPECTION WORK DOES NOT COMPLY WITH THE REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 48 HOURS AND REPLACE WITH ACCEPTABLE MATERIALS.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT PRESENT AN ORDERLY AND REASONABLE NEAT OR WORKMANLIKE APPEARANCE, PROVIDED SUCH ITEMS CAN BE PROPERLY INSTALLED IN AN ORDERLY WAY BY TYPICAL INSTALLATION METHODS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3\"/>
- ALL TREES 6' TALL OR LARGER SHALL BE STAKED AND GUYED WITH VERTICAL 2\"/>
- PLANTING SOIL FOR ALL PLANT MATERIALS SHALL CONSIST OF TWO (2) PARTS OF TOPSOIL WITH ONE (1) PART PEAT MOSS AND .9 kg FERTILIZER PER CUBIC METER, WELL MIXED.
- ALL PLANT MATERIALS SHALL BE WATERED BY THE CONTRACTOR THOROUGHLY WHEN PLANTED AND DURING THE PLANTING TIME PERIOD UP TO FINAL ACCEPTANCE BY OWNER.

- PROVIDE NEW TOPSOIL FOR TURF IN ALL SODDED AND SEEDED AREAS. TOPSOIL SHALL BE FERTILE, BLACK IN COLOR, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 3 cm IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO SOD GROWTH. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 10 cm. DO NOT OBTAIN FROM Bogs OR MARSHES. THE CONTRACTOR SHALL PROVIDE A SOILS TEST REPORT SHOWING pH AND NUTRIENTS: - pH SHALL BE 5.5 TO 6.0. IF NOT THEN USE THE APPROPRIATE SOIL AMENDMENTS TO REACH 5.5 TO 6.0.
- CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT OR DISCREPANCY IN PLANS PRIOR TO PERFORMING ANY WORK IN THE AFFECTED AREA.
- CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE PREMISES ALL SURPLUS AND DISCARDED MATERIALS AND RUBBISH FROM HIS CONSTRUCTION.
- ALL SHRUBS, GROUNDCOVERS, AND SOD SHALL BE GUARANTEED FROM NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY OWNER. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE BY OWNER.
- FINAL INSPECTION WILL NOT TAKE PLACE UNTIL ALL MATERIALS ARE PLANTED/INSTALLED CORRECTLY. CONTRACTOR WILL REQUEST A FINAL INSPECTION BY WRITTEN LETTER TO OWNER.
- UPON NOTICE OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME MAINTENANCE AND THE GUARANTEE/ WARRANTY PERIOD BEGINS.
- ALL SODDED AREAS SHALL BE HAND WATERED UNTIL TURF IS ESTABLISHED.
- CONTRACTOR TO NOTIFY/VERIFY WITH LANDSCAPE ARCHITECT, THE AVAILABILITY (QUANTITY & QUALITY PRESCRIBED IN THE DRAWINGS) OF ALL PLANT MATERIAL SPECIFIED AT THE TIME OF THE BID.
- CONTRACTOR INSTALLING THE PLANT MATERIAL AT THE SITE WILL BE RESPONSIBLE FOR MAINTAINING THE CONDITION AND HEALTH OF THE MATERIAL (AS DOCUMENTED IN THE PHOTOGRAPHS AT THE TIME OF INSPECTION) FROM THE TIME OF INSTALLATION TO THE TIME OF TURNING OVER THE PROJECT TO THE OWNER OR OPERATOR. IF THE CONTRACTOR FAILS TO MAINTAIN THE MATERIAL AS SPECIFIED, THAT PLANT MATERIAL WILL BE REJECTED.
- REPLACE EXISTING SOD WHERE DAMAGED BY CONSTRUCTION ACTIVITIES.
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREES.



PREPARED BY:
ECOPLAN
ECOLOGICAL / ENVIRONMENTAL AND PLANNING
LAND USE ANALYSIS LANDSCAPE ARCHITECTURE
370 SOUTHCAST 10TH STREET
SUITE 200
95424-0222 www.ecoplan-h.com

DRC
SUBMITTAL

1942 Taylor Street
HOLLYWOOD, FL 33020

PLANTING
DETAILS AND
NOTES

DATE: 3/28/2024
PROJECT #: 2404
DRAWN BY: jh
CHECKED BY: jh
SCALE:
REVISIONS:
SEAL:
SHEET NUMBER:
LAPL-2



February 26, 2024

Miguel Insignares
MEC Investments, Inc.
334 Poinciana Island Drive
Sunny Isles Beach, Florida 33160

Via Email Only

Dear Mr. Insignares:

Re: Platting requirements for a parcel legally described as Lots 25 and 26, Block 22, "Hollywood," according to the Plat thereof, as recorded in Plat Book 1, Page 21, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Taylor Street, between North 19 Avenue and North 20 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.25 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Miguel Insignares
February 26, 2024
Page Two

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Dawn Teetsel at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:DBT

cc/email: George R. Keller, Jr., CPPT, City Manager
City of Hollywood

Andria Wingett, Director, Development Services
City of Hollywood



This Instrument Prepared by:

Rod A. Feiner, Esq.
Coker & Feiner
1404 S. Andrews Ave.
Ft. Lauderdale, FL 33316
Phone: (954) 761-3636

Folio No: 5142 1501 4000
5142 1501 4010

DECLARATION OF UNITY OF TITLE

KNOW ALL MEN BY THESE PRESENTS, that pursuant to the ordinances of the City of Hollywood pertaining to zoning, the issuance of building permits and regulating building construction activities, the undersigned, being the fee owner(s) of the following described real property situated in the City of Hollywood, County of Broward and State of Florida, do hereby make the following declaration of conditions, limitations and restrictions on said lands, hereinafter to be known and referred to as a DECLARATION OF UNITY OF TITLE, as to the following particulars:

1. The undersigned is the owner in fee simple of the properties described as follows:

Parcel 1: Lots 25, Block 22, HOLLYWOOD, according to the Plat thereof, as recorded in Plat Book 1, Page 21 of the Public Records of Broward County, Florida.

Parcel 2: Lot 26, Block 22, HOLLYWOOD, according to the Plat thereof, as recorded in Plat Book 1, Page 21 of the Public Records of Broward County, Florida.
2. The aforesaid plot or combination of separate lots, plots, parcels, acreage or portions thereof shall hereafter be regarded and is hereby declared to be unified under one title as an indivisible building site (hereinafter referred to as "Property").
3. The said Property, for the purpose of building, zoning and other applicable codes and regulations, shall henceforth be considered as one parcel of land and that no portion shall be sold, assigned, transferred, conveyed or devised except in its entirety as one plot or parcel of land, with the sole exception being that if the Property is developed as a condominium then the condominium units may be sold, transferred, devised or assigned subject to being part of a condominium and subject to the declaration of condominium pursuant to which they are established; provided, however, that recordation of a mortgage on any portion of the Property shall not be deemed to be in contravention of this Declaration.

4. The undersigned further agrees that this Declaration of Unity of Title shall constitute a covenant to run with the land, as provided by law, and shall be binding upon the undersigned, their successors and assigns, and all parties claiming under them until such time as the same may be released in writing under the approval of the City Manager of the City of Hollywood or his designee.
5. The undersigned also agrees that this instrument shall be recorded in the Public Records of Broward County.

IN WITNESSS WHEREOF, the said property owner has signed and sealed these presents this ____ day of March, 2024.

WITNESSES

OWNER(S)

Signature

MEC INVESTMENT INC., a Florida corporation

Printed Name

By: Miguel Insignares
Its: President

Signature

Printed Name

STATE OF FLORIDA :)
 :) SS
COUNTY OF BROWARD :)

The foregoing instrument was acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of March, 2024, by Miguel Insignares, as the President of MEC Investment Inc., a Florida corporation ☐ who is personally known to me or ☐ who has produced _____ as identification and who did not take an oath.

Signature of Notary Public

(SEAL)

Print, type or stamp name of Notary and
Commission No.

TECHNICAL ADVISORY COMMITTEE REPORT

March 30, 2024

Miguel Insignares
334 Poinciana Island Dr Sunny
Isles Beach, Florida

FILE NUMBER: 23-DP-97

SUBJECT: Preliminary Site Plan review for an 18-unit residential development
Owner/Applicant: MEC INVESTMENTS INC
Address/Location: 1942 Taylor St
Net Size of Property: 10,759 sq. ft. (0.25 acres)
Land Use: Regional Activity Center (RAC)
Zoning: North Downtown High Intensity Mixed-Use District (ND-3)
Present Use of Land: Residential
Year Built: 1925 - 1954

SITE DATA

ADJACENT LAND USE

North: Regional Activity Center (RAC)
South: Regional Activity Center (RAC)
East: Regional Activity Center (RAC)
West: Regional Activity Center (RAC)

ADJACENT ZONING

North: North Downtown High Intensity Mixed-Use District (ND-3)
South: North Downtown High Intensity Mixed-Use District (ND-3)
East: North Downtown High Intensity Mixed-Use District (ND-3)
West: North Downtown High Intensity Mixed-Use District (ND-3)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED)

A. APPLICATION SUBMITTAL

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Application Form:
 - a. The project address should be the same as what is indicated on the Alta Survey. Indicate both addresses on the application. **New application form provided.**
 - b. Put the correct date of the Preliminary TAC meeting date on the cover sheet. **New application form provided.**
 - c. Indicate the date of the ALTA Survey. Must be within 30 days of O&E Report. **New application form provided.**
2. Ownership & Encumbrance Report (O&E):

- a. The O&E for 1942 Taylor Street needs to be dated prior ALTA Survey. Provide the date on the Alta Survey. **Refer to O&E report.**
 - b. Indicate the report was searched from the time of platting or 1953 (earliest of the two). **Refer to O&E report.**
 - c. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated. **Refer to engineering comments.**
 - d. Indicate the listed encumbrances are abutting the property boundary necessary for legal access to the property. **Refer to O&E report.**
 - e. Ensure O&E addresses the requirements on the TAC submittal checklist:
<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>
N o t e d .
3. Alta Survey:
- a. Alta survey shall be based on and dated after O&E. It shall make reference of the O&E report. **A000a, under Certification states that it was updated October 6, 2023. Under Schedule "B" Title Notes it references O&E report dated August 17, 2023.**
 - b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated. **Refer to Engineering comments.**
4. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Plat determination letter shall be for all properties in this project. **Platting letter provided.**
5. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date. **Refer to A000, dates updated.**
6. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).
- a. Royal Poinciana Civic Association

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information. **Public Outreach performed.**

7. Additional comments may be forthcoming. **Noted.**
8. Provide written responses to all comments with next submittal. **Provided.**

B. ZONING

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Indicate past, current, and future meeting dates as they happen (in addition to submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date. **Refer to A000, dates updated.**
2. Site Plan:
 - a. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval. **Refer to A100 notes, note added.**
 - b. Clearly indicate the property line, with a darker line weight. **Refer to A100, line weight increased.**
 - c. Dimension all balcony setbacks to all property lines. Per Sec. 4.6.B.3.a.(9)(i), balconies may encroach a maximum of 75% into the required setback. **Side setbacks are zero lot lines; refer to A102, A103 & A104.**
 - d. Indicate columns are at least 3ft from the entrance to a parking space for both sides of parking lot. **Refer to A100, dimensions added.**
 - e. Indicate concrete car stops (6ft long) for parking spaces on the site plan. **Refer to A100, car stops added.**
 - f. All walkways and green areas shall be labeled. **Refer to A100, walkways & green areas labeled.**
 - g. Label the guest parking spaces, handicap and electric vehicle charging stations. **Refer to A100, spaces labeled.**
 - h. Parking space 1 requires an additional foot due to it being located adjacent to a wall or obstruction. **Parking space 1 width is 9'-6", which is sufficient for solid obstruction such as walls as per local ordinance.**
 - i. Indicate on-site plan and renderings a minimum of 40% ground level active use. **Refer to A100 notes, 36' of active use provided (45%).**
 - j. Proving the minimum queuing length of 18 ft at the entrance of the parking garage. **Refer to A100 notes, no garage entry door shall be used to allow for queuing.**
3. Site calculations:
 - a. Per Sec. 4.6.B.3.a.(7), include the minimum required and provided dwelling unit sizes and cumulative averages. Provide a breakdown of all units per floor, including balcony area. **Refer to A003, Net Area, breakdown provided.**

- b. Include the provided FAR as a ratio, not just the overall provided square footage. **Refer to A003, FAR analysis, ratio included.**
 - c. The common areas: corridors, stairs, elevators, gym, all shall be counted towards FAR. **Refer to A003, FAR analysis, breakdown provided.**
 - d. Tandem spaces can only be counted toward one unit, ensure tandem spaces are called out on parking statistics table. **Refer to A003, parking calculation table, note added.**
 - e. Provide VUA calculation. Please see section 4.6(3)(d)(3) of the code. **Refer to A003, parking calculation table added.**
4. Work with the City's Landscape Architect to ensure that all landscape requirements are met. **Refer to Landscaping comments.**

C. ARCHITECTURE AND URBAN DESIGN

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

- 1. Provide a rendering of all the sides. **Refer to A000, A200a, A201a, A202a, A203a & A205.**
- 2. Provide a note: All changes to the design will require Planning review and may be subject to Board approval. **Refer to A100 notes, note added.**
- 3. Indicate and demonstrate access to the dumpster on site plan. Label dumpster pad/ramp that provides access. **Refer to A100, path lines added.**
- 4. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage. **Refer to A100 notes, note added.**

D. SIGNAGE

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

- 1. Provide the following note: "All signage shall be in compliance with the Zoning and Land Development regulations". **Refer to A100 notes, note added.**
- 2. Provide note on Site Plan: "All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign." **Refer to A100 notes, note added.**

E. LIGHTING

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

- 1. Provide note on Site Plan: "Maximum foot candle level at all property lines maximum 0.5 if adjacent to residential". **Refer to A100 notes, note added.**

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

- 1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen

in a note on the site plan and provide green registration documentation with next submittal.
Refer to A003, Green Building Cert., LEED certification started.

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces. Recommend to locate the charging stations on the visitor parking spaces.
Refer to A100, parking space 1 to be EV station.
2. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices. **Refer to A003, Green Building Cert.**

G. ENGINEERING

Azita Behmardi, Deputy Director (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

- 1) For the survey, please update information under “General Notes”, i.e. Item 1 states that survey is a Boundary survey and confirm the actual field work date. **Refer to ALTA survey title, upper middle title.**
- 2) Provide plat determination letter from the Broward County Planning Council. **Provided.**
- 3) Please provide a Unity of Title. **Provided.**
- 4) Provide site plan for the project with the following information:
 - a. Dimension and label all features of the existing right-of-way and show limits of the rights-of-way on both sides of Taylor Street. **Refer to A100.**
 - b. Include and show all surrounding elements as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks etc. **Refer to A100.**
 - c. Provide dimension for column setback from drive aisle on the east side of the parking area, minimum 3’ is required. **Refer to A100.**
 - d. Please provide dimensions to show the electric meter/pump room will not encroach into the required drive aisle. Reduce this size of this room. Provide clear space dimension in drive aisle (minimum 22 feet.) **Refer to A100, 22’ achieved.**
 - e. Indicate and label property line on all sides of the site. **Refer to A100.**
 - f. Demonstrate that perimeter wall footing/wall does not encroach into adjacent property or ROW. i.e. provide wall cross-section or show setback. **Refer to A200, Section 2/A200 added.**
 - g. Provide dimensions for all setbacks, applicant has a door exiting to the west that may require a landing/walkway all walkways are to be setback a minimum of 3 feet from the side property lines. Please ensure this requirement is met. **Refer to A100, door removed.**
 - h. Identify all material types proposed (i.e. apron, parking lot, sidewalk, and walkways, etc.) **Refer to A100, all materials called out.**
 - i. Please number and label each stairwell on site plan. **Refer to A100, stairs numbered.**
 - j. Identify the vertical clearance and opening of the garage on the site plan and elevations. **Refer to A200, Section 2/A200**

- 5) Please provide a detectable warning at the driveway, a spec/detail for the proposed FDOT detectable warnings is to be provided in the plans. Refer to A100, detectable warning added, refer to civil for specs.
- 6) Sheet A-100, the vehicle queueing space entering the garage is in conflict with parking Stall 1, vehicle queueing space shall not overlap into the parking backout space. Refer to A100 , previous parking stall 1 replaced with cyber lounge.
- 7) Please indicate on plans if a garage door/gate is being proposed. If so, please show the type of gate being proposed and how it operates, i.e. keypad, fod, barcode scanner, etc. will be in place to allow entrance and exit from the parking garage. If not, indicate on plans that no garage door/gate is being proposed. Refer to A100 notes, no garage door shall be installed.
- 8) Please dimension the length and width of all proposed walkways and ramps. (i.e., front concrete walkway.) Refer to A100, dimensions added.
- 9) Parking stalls 1, 21 and 29 shall be 9.5' width as there is obstruction on one side. Refer to A100, current parking stall 1, 11, 21, 26 & 27 are 9.5' (29 has been removed).
- 10) Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan stating ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan. Provide a detail for the proposed ramps showing how they achieve ADA compliance. Refer to A100, elevation changes & ramp slopes added. For note refer to site plan notes.
- 11) Please provide a parking table showing the number of tandem spaces, regular spaces, ADA spaces and guest spaces. Ensure guest spaces are labeled on site plan and pavement markings are provided to identify guest spaces provided. Refer to A100.
- 12) Please identify the location of the ADA signage, please consider wall mounting the signage to not encroach into the clear space of the parking stall. Refer to A100, ADA signage added.
- 13) All non-vehicular areas shall be stripped and clearly identified. This stripping shall not be the same stripping as the ADA accessible aisle. Please show on plan. (i.e. next to Stalls 21/29 and trash area.). Refer to A100, ADA stripping pattern changed.
- 14) Provide civil plans for the proposed project. Indicate items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details. Show location of existing water and sewer mains on plans and show the project is planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width asphalt pavement mill and resurface is required for all adjacent road / alley to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set. In this case, coordination will be required with the City CRA. Refer to civil plans.
- 15) Add note on civil and site plans for full road width pavement mill and resurfacing will be required for all streets / roadway adjacent to the project site. Refer to civil plans.

- 16) Please provide a pavement marking and signage plan for all onsite and off-site pavement markings. All pavement marking and signage within City rights-of-way requires review and stamped approved plans by Broward County Traffic Engineering Division. BCTED approval required at the time of permitting. **Refer to civil plans.**
- 17) Please include all applicable Standard City of Hollywood details:
<https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>
Refer to civil plans.
- 18) Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Continued coordination will be required. **Noted.**
- 19) For utilities work within City rights-of-way, ROW permit will be required at the time of permit.
Refer to A100 notes, note added.
- 20) MOT plans required at the time of City Building Permit review. **Refer to A100 notes, note added.**
- 21) All outside agency permits are required at the time of City building permit review. **Refer to A100 notes, note added.**
- 22) This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance. **Refer to A100 notes, note added.**

More comments may follow upon review of the requested information.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

-no landscape plan submitted on set.

1. Satellite images show existing trees/palms. **Refer to Landscaping drawings.**
2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. **Refer to Landscaping drawings.**
3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. Palms must be 8' CT min. **Refer to Landscaping drawings.**
4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)
Refer to Landscaping drawings.
5. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4. **Refer to Landscaping drawings.**

6. Label all sides of property whether there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines. **Refer to Landscaping drawings.**

7. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.' **Refer to Landscaping drawings.**

8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening. **Refer to Landscaping drawings.**

9. Add note: All landscaping shall be warranted for 1 year after final inspection. **Refer to Landscaping drawings.**

10. Provide site requirements as per project zoning. RAC requirements **Refer to Landscaping drawings.**

11. Add note: 100% irrigation coverage shall be provided. **Refer to Landscaping drawings.**

More comments may follow upon review of the requested information.

I. UTILITIES

Alicia Verea-Feria, Floodplain Development Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed Water, Fire, Sewer, and Drainage for initial review. **Refer to civil drawings, C-1.**
2. Show Water and Sewer demand calculations on proposed utilities plans. **Refer to civil drawings, C-1.**
3. Include the City's latest applicable standard Water and Sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices> . **Refer to civil drawings, C-4 & C-5.**
4. This site resides currently within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) = 8.6' NAVD88 shall comply with the **greatest** of the following three (3) conditions, as applicable. **Refer to civil drawings, C-1.**
 - a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.
 - b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link: <https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR
 - c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following

link: <https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>. Floodproofing may need to be considered.

5. Indicate FFE for all enclosed areas on the ground floor. **Refer to civil drawings, C-1.**
6. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades. **Refer to civil drawings, C-2.**
7. Ensure all stormwater is retained onsite. **Refer to civil drawings, C-1 notes.**
8. Indicate how roof drainage will be collected and connected to the on-site drainage system. **Refer to civil drawings, C-1.**
9. Provide preliminary drainage calculations. **Refer to civil drawings, C-1.**
10. Submit Erosion Control Plan. **Refer to civil drawings, C-3.**
11. Permit approval from outside agencies will be required. **Refer to civil drawings, C-1 notes.**
12. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features. **Noted.**
13. Additional comments may follow upon further review of requested items. **Noted.**

J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. No comments received. **Noted.**

K. FIRE

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshall (mhofle@hollywoodfl.org) 954-967-4404

1 - Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department. **Noted.**

2 - Water supply shall meet the requirements of NFPA 1 (2018 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will

need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template. **Refer to civil drawings, C-1.**

3 - Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1. --- Provide a note on the plans. **Refer to civil drawings, C-1 notes.**

4 - Provide civil drawings for the underground fire main. --- Provide such including the location of the fire department connection, DDCV, and size and type of the fire line from the water supply. --- Check with our water department for city requirements in addition to fire.

Ensure on the plans that there is a fire hydrant within 100 feet of fire department connections as required by NFPA 14 (2016 Ed.) Section 6.4.5.4 --- "Fire department connections shall be located not more than 100 ft (30.5 m) from the nearest fire hydrant connected to an approved water supply." **Refer to civil drawings, C-1.**

5 - Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102. **Refer to civil drawings, C-1 notes.**

L. PUBLIC WORKS

Annalie Holmes, Public Works Director (aholmes@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4207

1. According to Sheet no.: A100, the dumpster enclosure outlined as "Trash Chute" is approved. Simply make a note, recycling collection is also required per the code. We do not want to the applicant or property owner assuming trash ONLY. We are requesting "Recycling" on the plans and labeled along with "Trash" reflecting the necessary requirement for both materials. **Refer to A100, notes added.**

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application required. **Refer to A100, Site plan notes.**

N. COMMUNITY DEVELOPMENT

Ryon R. Coote, Community Development Manager (RCoote@hollywoodfl.org) 954-924-2958

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. There's an existing Acorn Street Light within the frontage of the property along Taylor Street. If the Acorn Street Light is in conflict with the new proposed development, the applicant shall be responsible for the relocation or replacement of the street light.

Refer to A100, Acorn light relocated.

2. Please develop additional renderings with alternative views of the proposed development. Renderings shall depict existing and proposed conditions, i.g., adjacent buildings, ROW elements, proposed landscape, etc. **Refer to A000, A200a, A201a, A202a, A203a & A205.**

3. The proposed architecture of the building appears to be flat with almost no articulation. The CRA would like to recommend adjusting the massing of the building and/or incorporating additional architectural elements to help improve the architecture of all four elevations. **Facades modified, refer to A000, A200a, A201a, A202a, A203a & A205.**

O. ECONOMIC DEVELOPMENT

Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954- 924-2922

1. Application is substantially compliant. **Noted.**

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500 Doreen

Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

Application is substantially compliant. Noted.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980 Susan

Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

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Refer to A100, Acorn light relocated.

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R. PARKING

Angela Kelsheimer, Parking Manager (akeisheimer@hollywoodfl.org) 954-921-3548

1. No comments received. **Noted.**

S. ADDITIONAL COMMENTS

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming. **Noted.**

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Reginald White Planning
Administrator

C: Miguel Insignares; Miguel Insignares <thespecialistinc2002@yahoo.com>