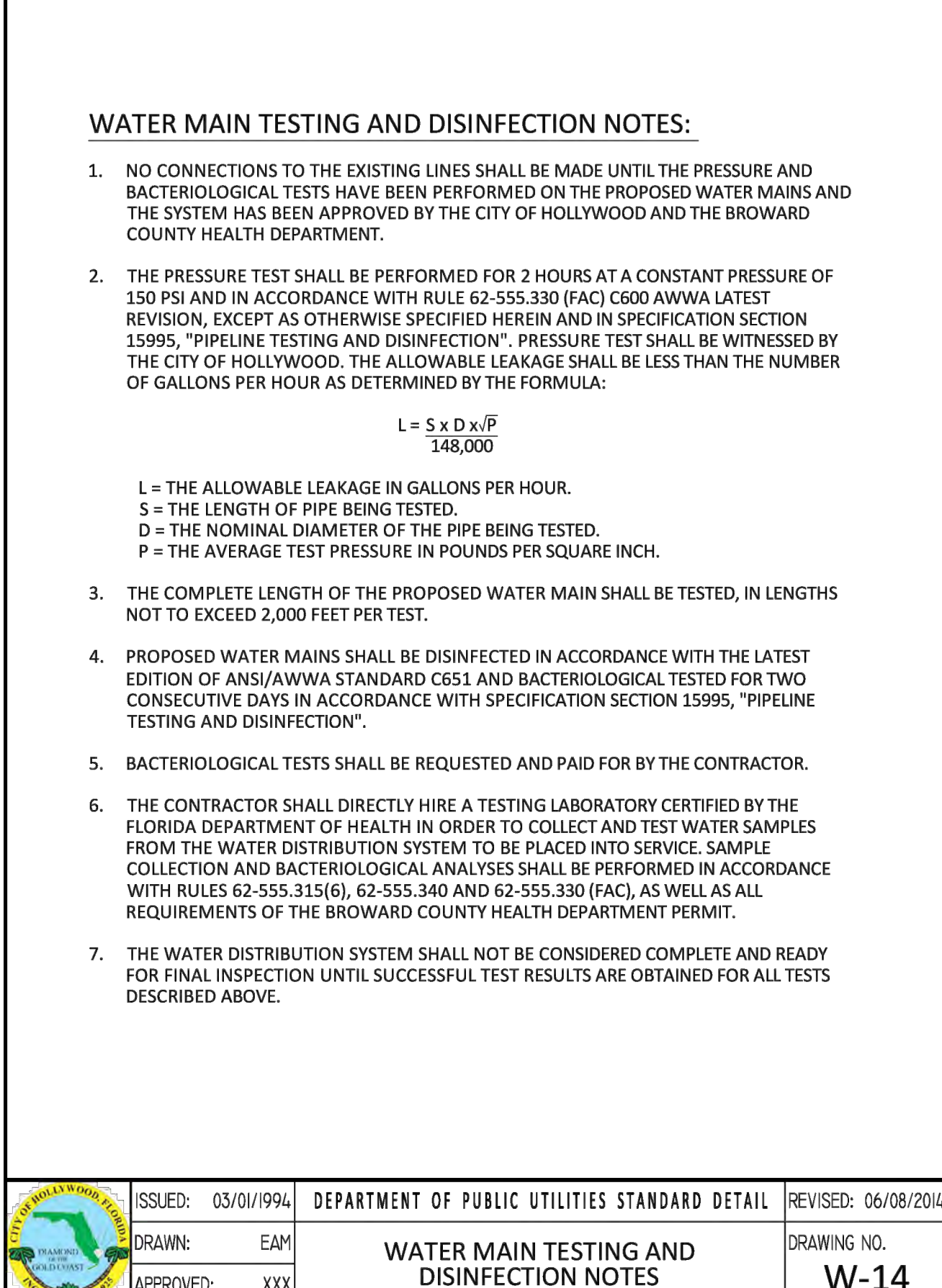
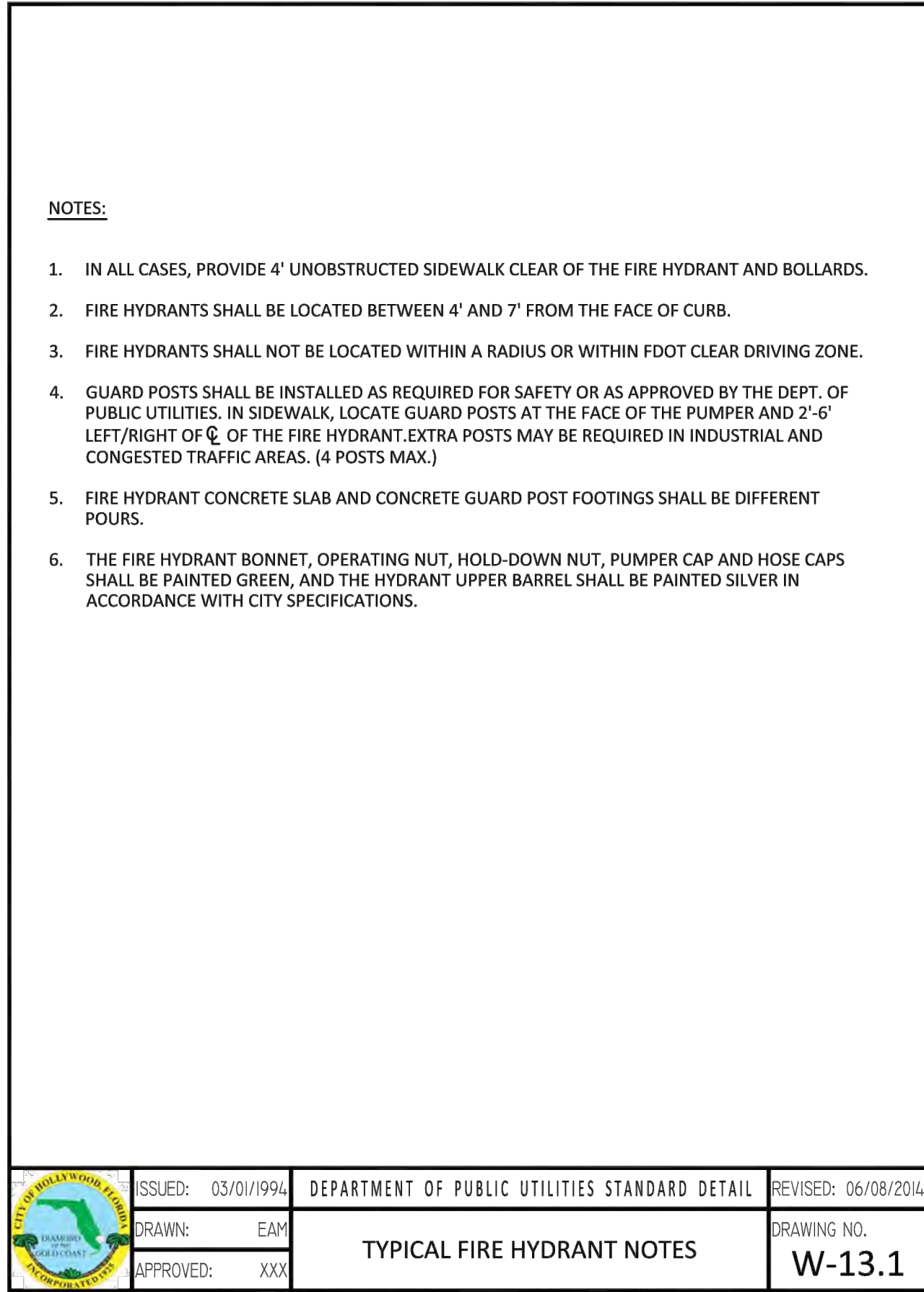
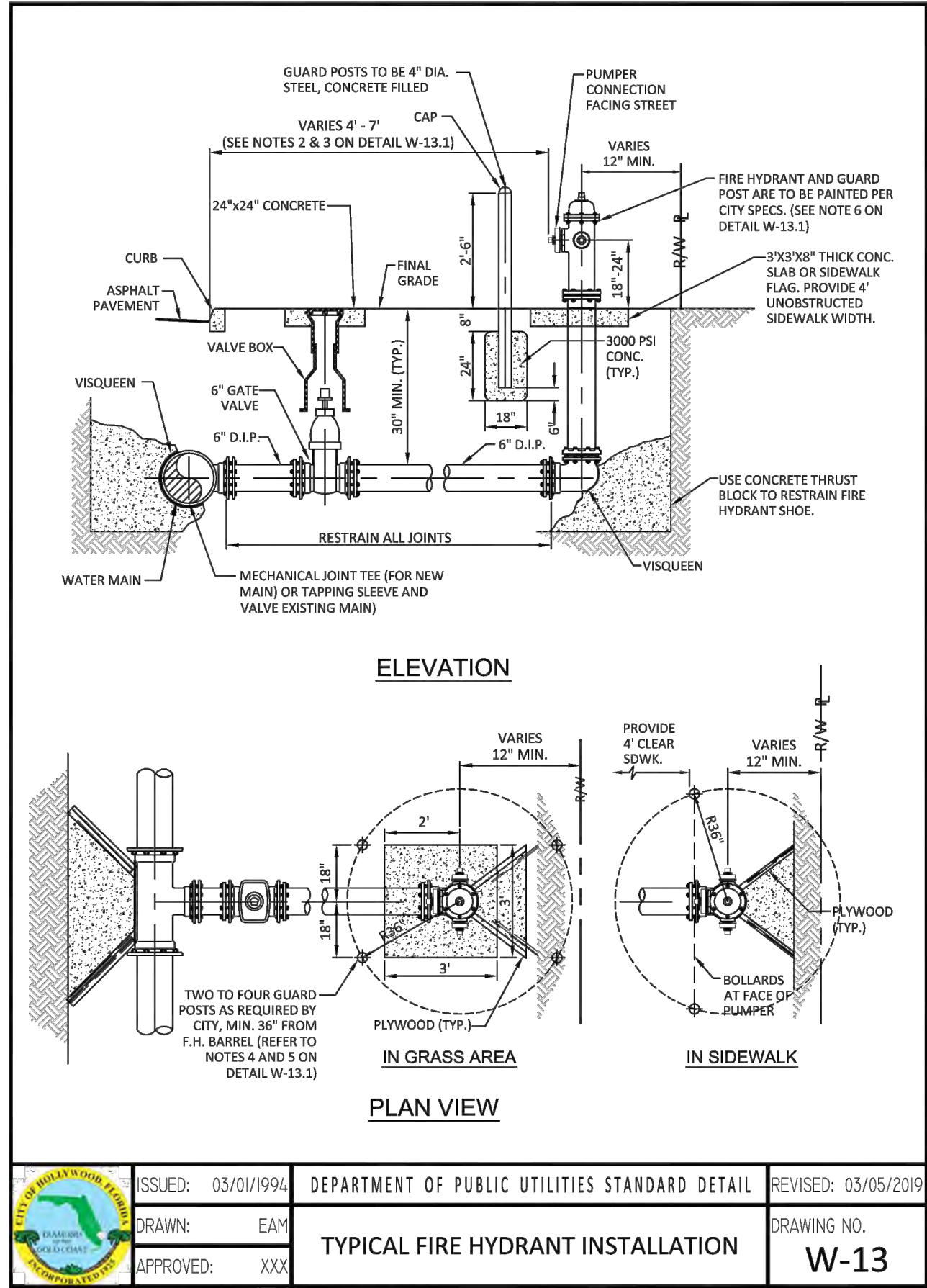
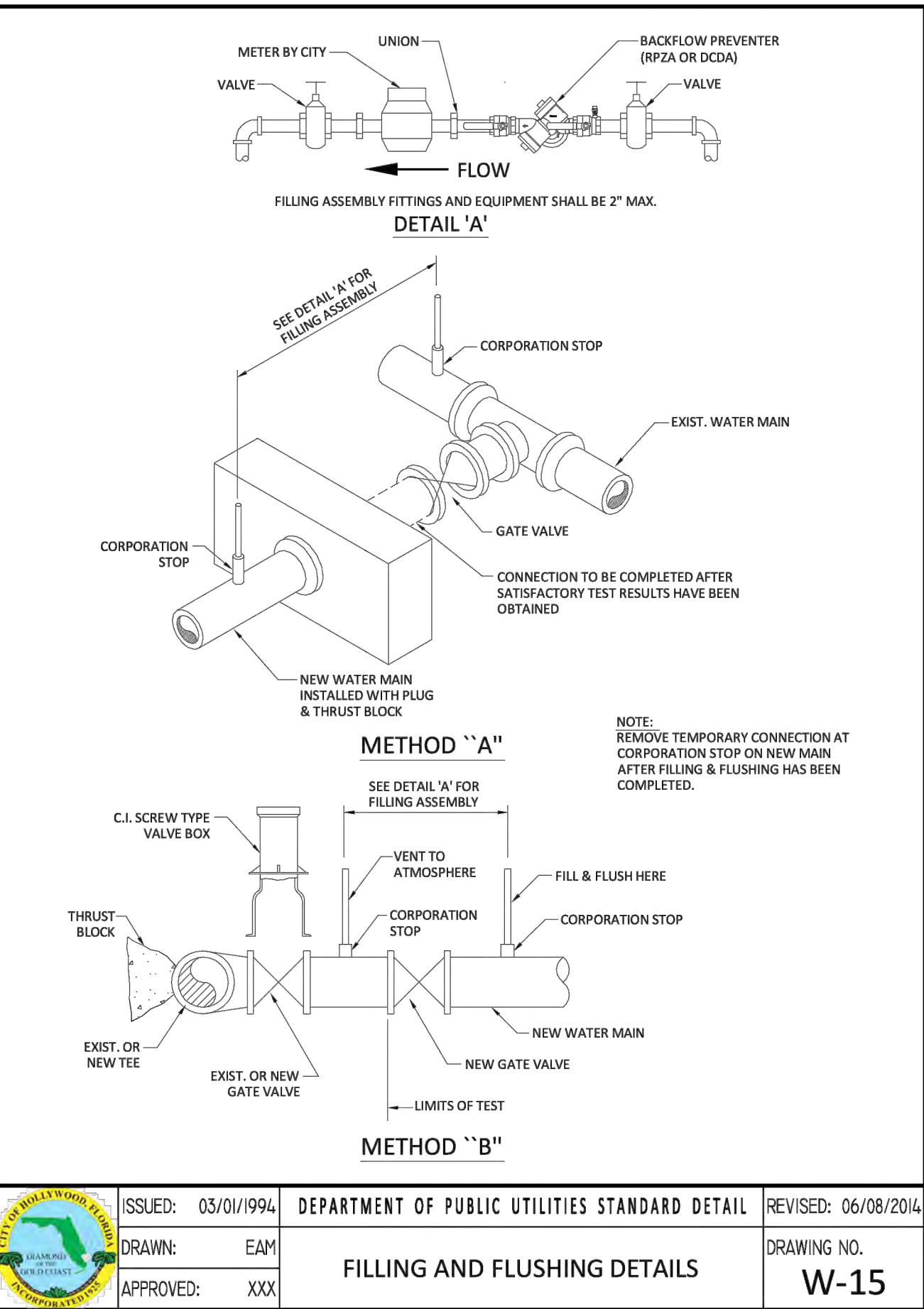
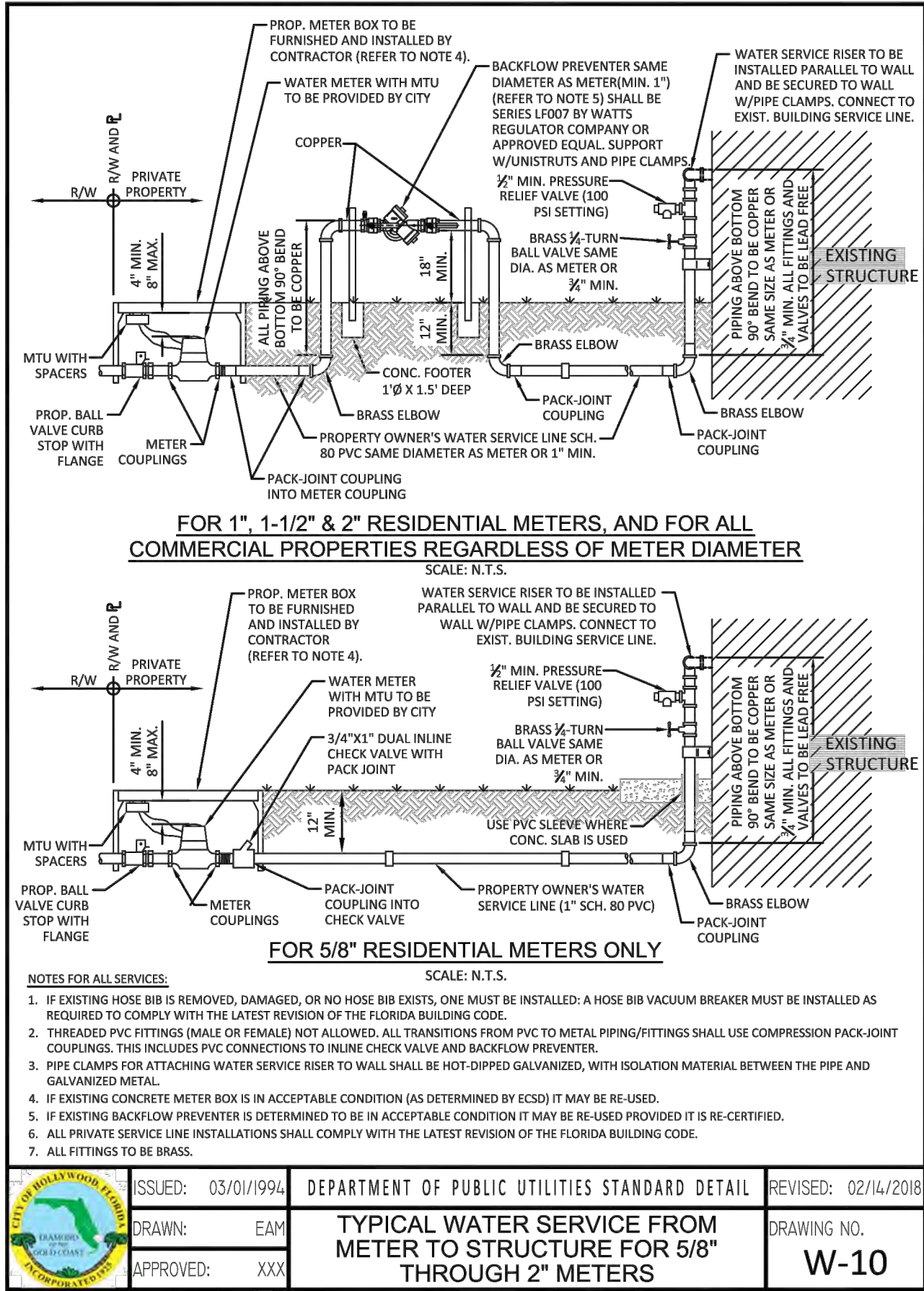






OWNER/ DEVELOPER
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KIMCO REALTY
(954) 598-1450

SURVEYOR
JAMES D. STONER, PSM
STONER SURVEYORS
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UNIVERSAL ENGINEERING SCIENCES
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GIOVANNI CONDE
BROWARD COUNTY ENVIRONMENTAL
PERMITTING DIVISION
1 NORTH UNIVERSITY DRIVE, MAIL BOX 201
PLANTATION, FLORIDA 33324-2038
(954) 519-1473

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HOLLYWOOD, FLORIDA 33022
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HOLLYWOOD, FLORIDA 33020
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GEORGE O'BRIEN
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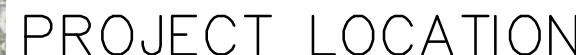
CITY OF HOLLYWOOD BUILDING DIVISION
2600 HOLLYWOOD BOULEVARD | ROOM 320
HOLLYWOOD, FLORIDA 33020
(954) 921-3335

CITY OF HOLLYWOOD PLANNING DIVISION
2600 HOLLYWOOD BOULEVARD | ROOM 3150
HOLLYWOOD, FLORIDA 33020
(954) 921-3471

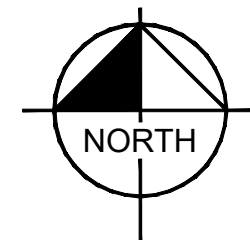
PRELIMINARY TAC MEETING DATE: 7/15/24
FINAL TAC MEETING DATE: 10/7/24
PLANNING & DEVELOPMENT BOARD MEETING DATE: TBD
CITY COMMISSION MEETING DATE: TBD

LOCATED IN

CITY OF HOLLYWOOD, FL
SECTION 4, TOWNSHIP 51 S, RANGE 42 E



VICINITY
N.T.S.



PREPARED BY:

Kimley»»Horn

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COVER SHEET

OAKWOOD EAST MULTI FAMILY PROJECT

SHEET NUMBER
C-000



SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBANCE BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.

-

ALL PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 98.1 OF THE STANDARD SPECIFICATIONS.

SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIGHWAYS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

THE STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.

ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

MEASURES INTENDED TO TRAP DEMOLITION NOTES:

- INDIVIDUAL SUBDIVISION
- WITHIN 30 DAYS AFTER FINAL
- PROTECTED FROM SEDIMENT
- N INDEX NUMBER104 OF
- OFF OR DEWATERING

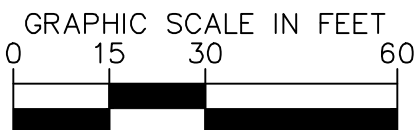


TATION CONTROL OPERATION TIME SCHEDULE	
SPECIFIC PROJECT SCHEDULE	

SEQUENCE OF CONSTRUCTION NOTE:

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND

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	SILT FENCE
	PROPERTY LINE
	TURBIDITY BARRIER
	PROPOSED CONSTRUCTION FENCE WITH FABRIC
	INLET PROTECTION
	SURFACE WATER FLOW DIRECTION
	CONSTRUCTION ENTRANCE
	CONSTRUCTION GATE
	RUMBLE PAD

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN A LAY DOWN DISTURBING ACTIVITY AND SHALL BE MADE AVAILABLE TO THE PUBLIC PRIOR TO ANY LAY DOWN DISTURBING ACTIVITY.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM ENTERING OR FLOATING ON TO ADJACENT RESIDENTIAL AREAS.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS AFTER GRADE IS REACHED ON AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH PLASTIC OR EQUIVALENT MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. SEDIMENT CONTROL STRUCTURES SHALL BE CONSTRUCTED ON ALL STEEP HILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONVEYANCE.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER SYSTEMS THAT ARE NOT DESIGNED OR EQUIPPED TO HANDLE CONSTRUCTION RUN OFF SHALL BE PROTECTED SO THAT SEDIMENT AND TRASH CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT OF THE WATERCOURSE. TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO PROTECT THE ROAD SURFACE FROM SEDIMENT BY TRACKING ONLY TO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED AFTER THE SEDIMENT HAS BEEN REMOVED. SEDIMENT DISPOSAL PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBER 10 OF D.O.T. ROADWAY AND TRAFFIC DESIGN SPECIFICATIONS AND ANY PERMITS.
15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DRAINAGE ACTIVITIES.
16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
17. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
18. NO TO BE POSTED ON SITE.
19. DEWATERING ACTIVITIES:
 - A. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - B. CONTRACTOR SHALL OBTAIN A DISCHARGE SURFICIAL USE PERMIT KNOWN AS A "NOTICED GENERAL PERMIT FOR SHORT TERM CONSTRUCTION DE-WATERING".
 - C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA.
 - D. NO TO BE DISCLOSED. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER.

ACREAGE SUMMARY	
TOTAL PROJECT AREA	2.42
ON-SITE DISTURBED AREA	2.42
OFF-SITE DISTURBED AREA	0.15
TOTAL DISTURBED AREA	2.42
IMPERVIOUS AREA AT COMPLETION	0.602
PERVIOUS / SEEDDED AREA AT COMPLETION / POND AREA	0.433

SEDIMENT BASIN NOTES:

SEDIMENT BASINS SHALL BE LOCATED TO INTERCEPT THE LARGEST POSSIBLE AMOUNT OF RUNOFF FROM THE DISTURBED AREA. AS CONSTRUCTION SEQUENCING AND PHASING PROGRESSES, SEDIMENT BASIN SIZES AND LOCATIONS SHALL BE ADJUSTED APPROPRIATELY.

CONTRACTOR TO PROVIDE BASIN AREA "A" BASED ON DISTURBED AREA AND EXCAVATED BASIN DEPTH "D" OF THE CALCULATION BELOW:

$$\frac{2.57}{\text{DISTURBED AREA}} (\text{ACRES}) \times (3,600 \text{ G/ACRE}) / \frac{2}{\text{BASIN DEPTH "D" (FEET)}} = \text{MINIMUM BASIN AREA "A" (SF)}$$

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

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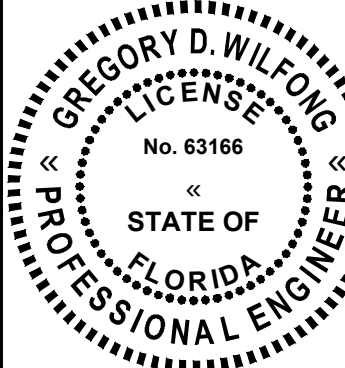
THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

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1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCOMPASS THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND ADVERTISING ANY EXISTING UTILITIES THAT MAY BE ENCOUNTERED DURING DEMOLITION. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PROPOSAL. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION SHALL BE STOPPED AND THE APPROPRIATE AGENCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. IF ANY ITEM IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THIS DEMOLITION PLAN. DEMOLITION ACTIVITIES SHALL BE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
6. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO DEMOLITION TO ENSURE SERVICES HAVE BEEN DISCONNECTED.
7. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
8. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. ALL DEBRIS SHALL BE PROPERLY STORED OR MATERIALS SHALL BE TRACKED ON TO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
9. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
10. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS.
11. TREE SITE AND IMPROVEMENTS PLANS FOR LIMITS AND GRADING OF RESURFACING DRIVWAYS.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING TO BE REMOVED IS IDENTICAL TO THE DEMOLITION DOES NOT IMPACT SITE LIGHTING OF THE REMAINDER OF THE DEVELOPMENT.

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PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 75106



KHA PROJECT 147507129	DATE 8/25/2025	SCALE AS SHOWN	DESIGNED BY SH	DRAWN BY SH	CHECKED BY
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EROSION CONTROL PLAN PHASE II

OAKWOOD EAST MULTI FAMILY PROJECT

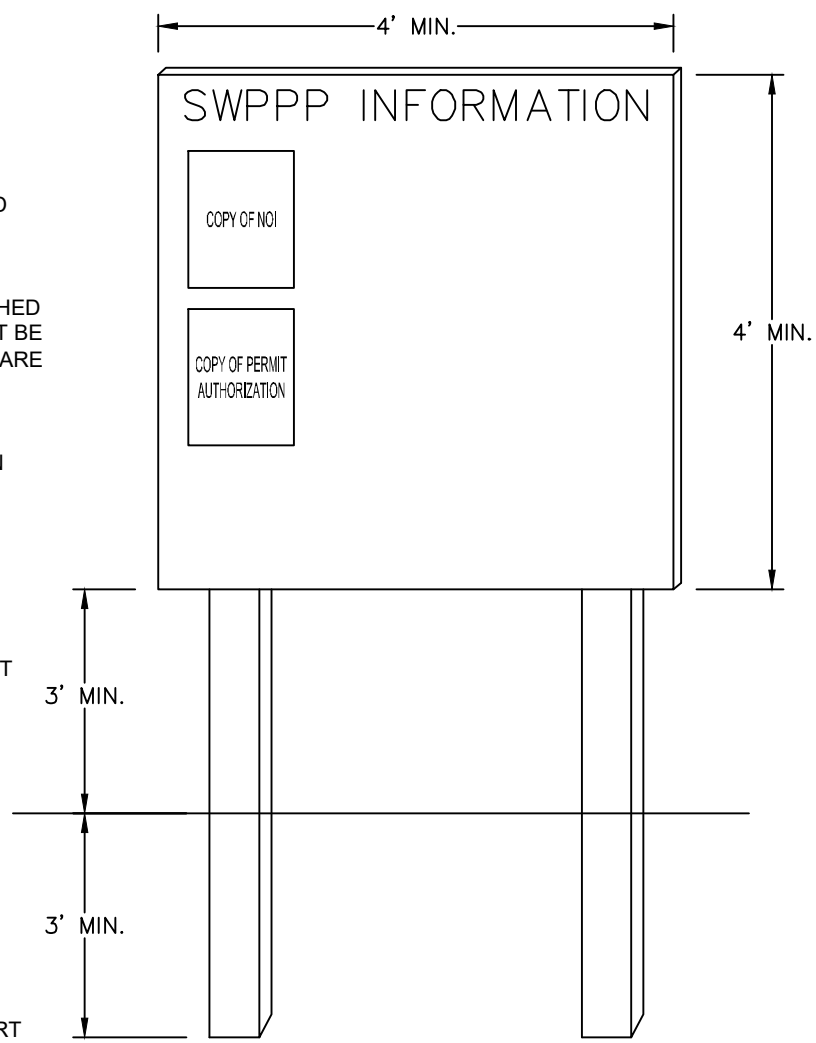
**OAKWOOD EAST
MULTI FAMILY
PROJECT**

SHEET NUMBER
C-051

Plotted By: Tyros, Danny Sheet Set: OAKWOOD EAST MULTI FAMILY PROJECT Layout: C-052 EROSION CONTROL DETAILS August 25, 2025 12:37:06pm K:\VRB-LIDEV\147507129 - Oakwood East Towers\CAD\PlanSheets\C-52 EROSION CONTROL DETAILS.dwg
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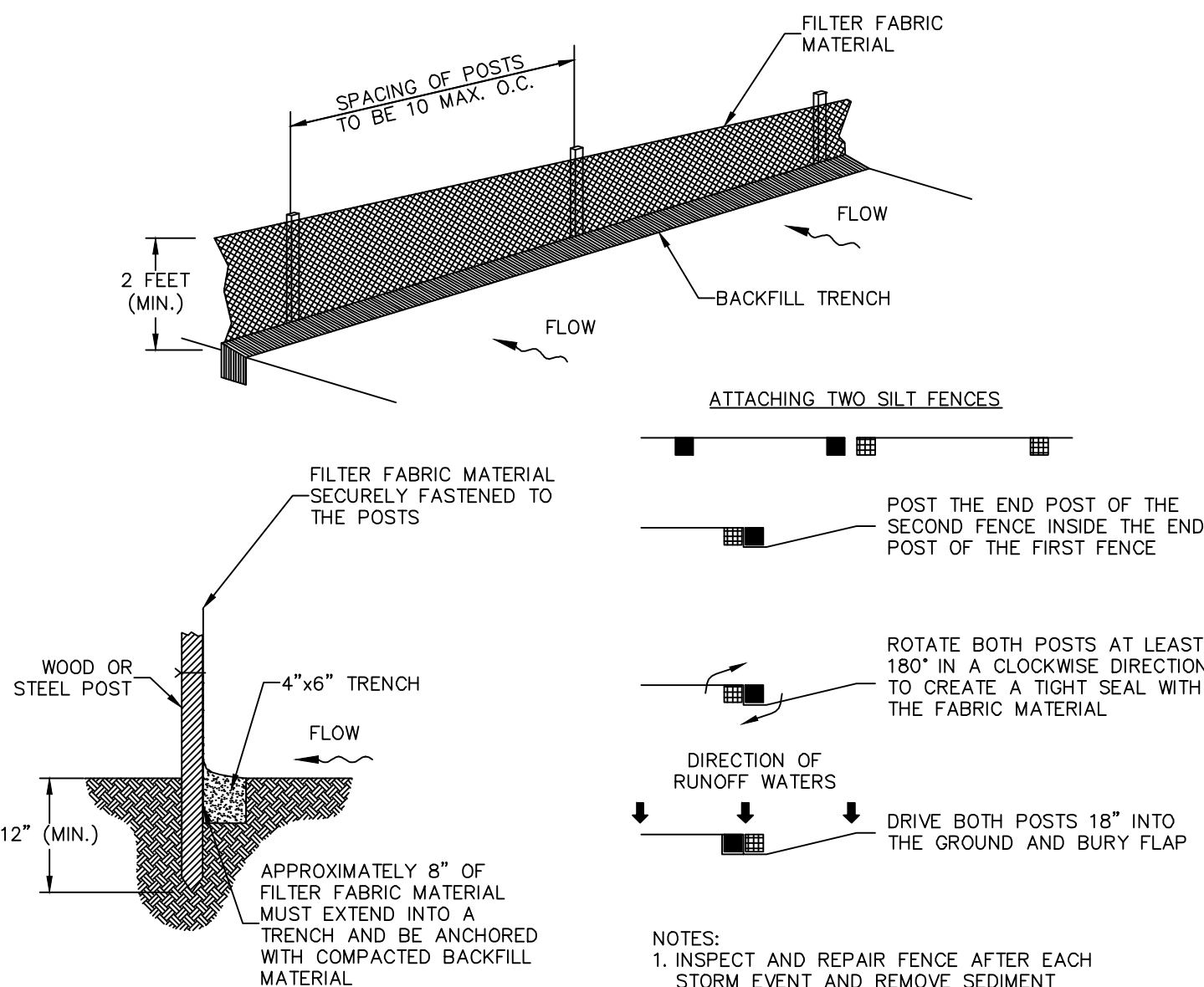
EROSION CONTROL NOTES

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN THE "FLORIDA EROSION AND SEDIMENT CONTROL MANUAL" AND COUNTY PERMITS.
15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
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18. NOI TO BE POSTED ON SITE.



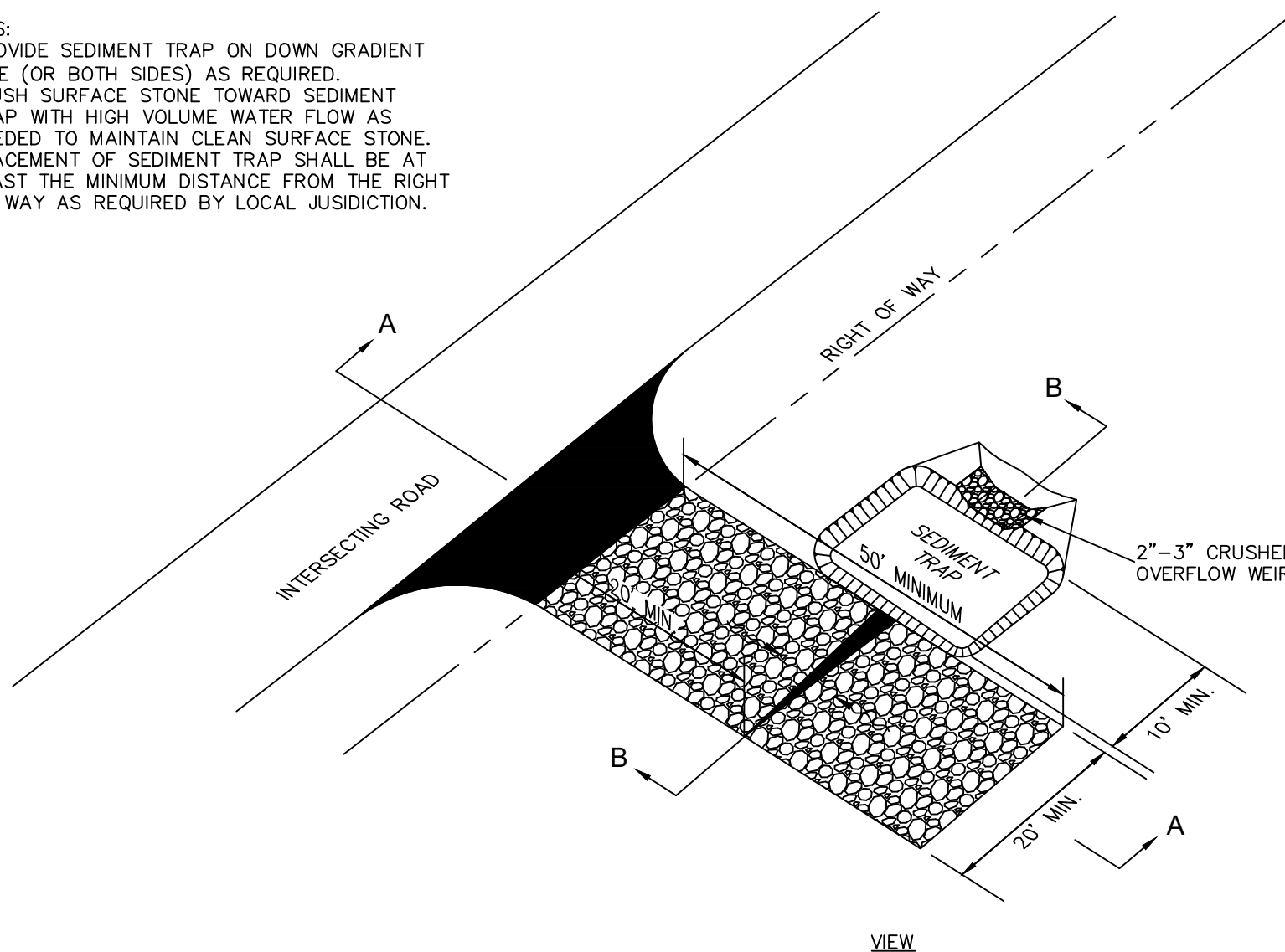
SWPPP INFORMATION SIGN
N.T.S

- NOTES:
1. "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
 2. SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
 3. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 4. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 5. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
 6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

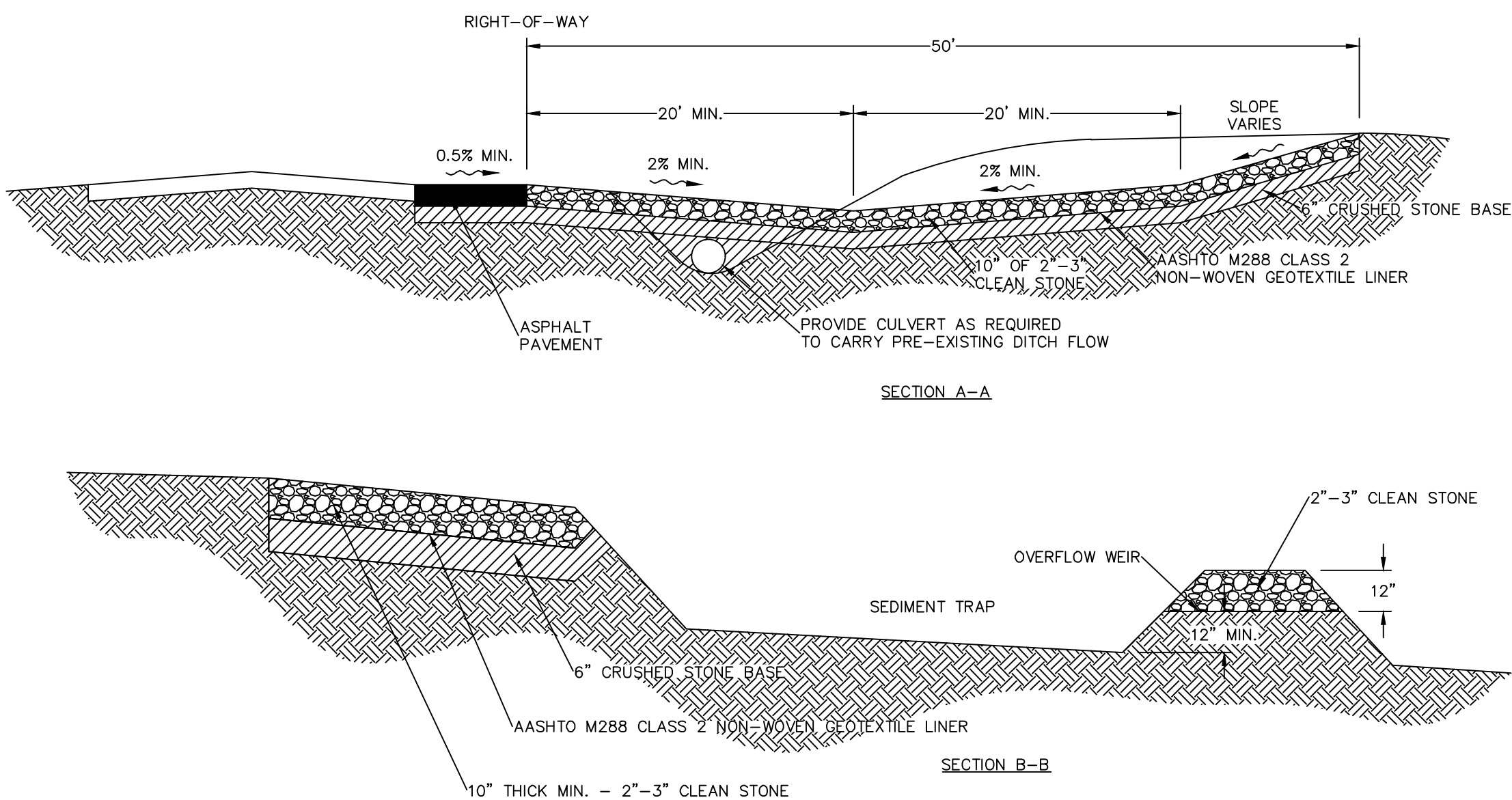


SILT FENCE INSTALLATION
N.T.S

- NOTES:
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
 2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
 3. PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JURISDICTION.

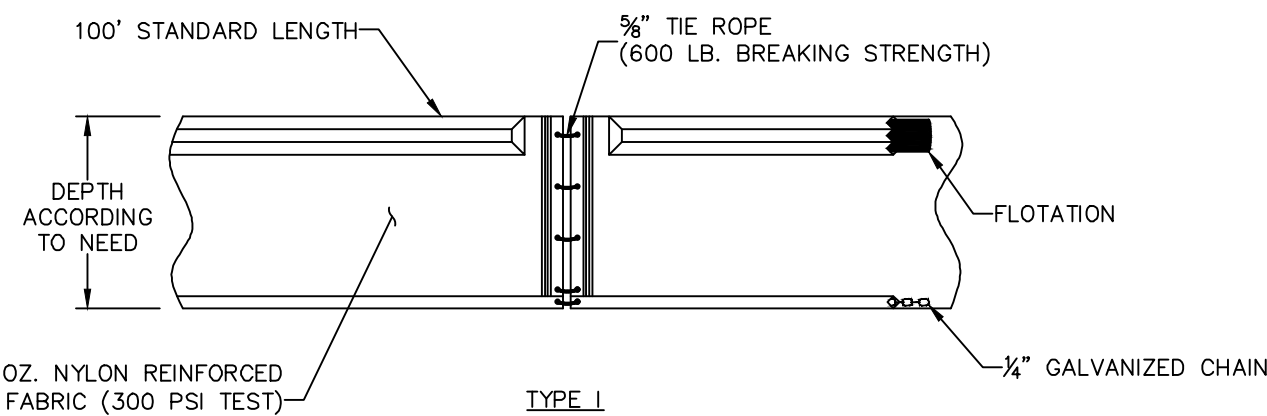


RUMBLE PAD
N.T.S

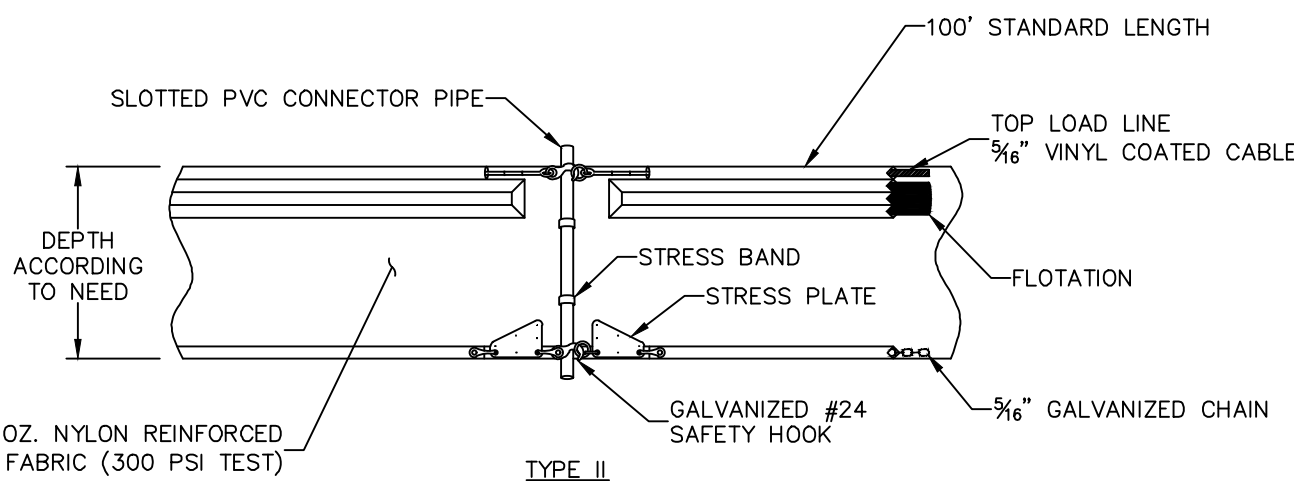


CONSTRUCTION EXIT
N.T.S

TYPE I DOT
FOR WATERS WITH LOW CURRENTS (NO MORE THAN ONE FOOT PER SECOND) AND LIGHT WINDS. LAKES, PONDS, SMALL STREAMS, MARSHES, FLEXIBLE TOP FLOTATION SECTION WITH ENCAPSULATED EPS FOAM FLOTATION LOGS (6"x6"x4")



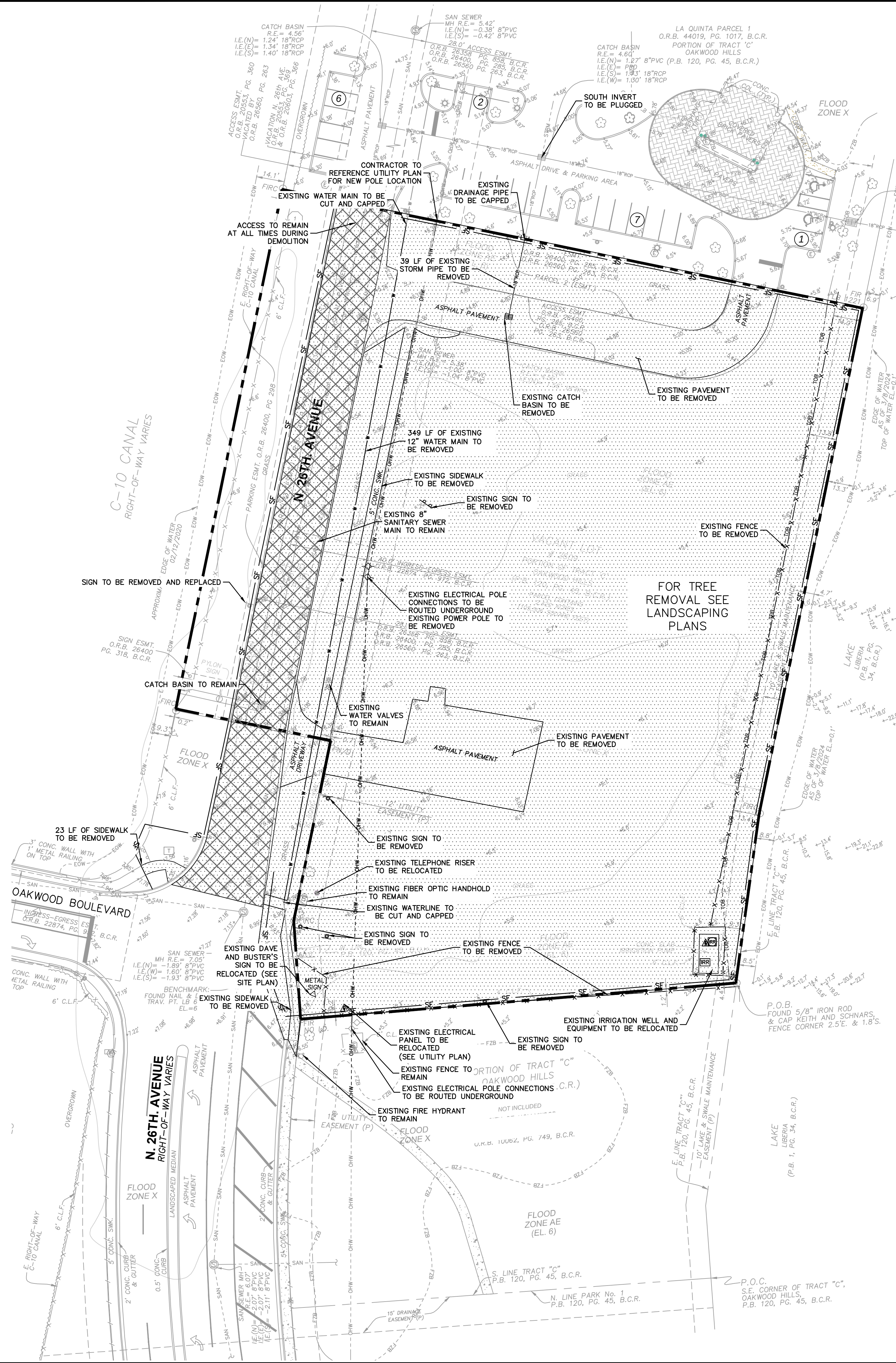
TYPE II DOT
FOR HIGHER CURRENT WATERS (UP TO FIVE FEET PER SECOND); DEEPER LAKES, STREAMS, INTERCOASTAL AND TIDAL AREAS. INCLUDES AN ENCAPSULATED STEEL LOAD CABLE ALONG TOP OF BARRIER AND 8"x8"x4" FLOTATION LOGS. WEAR STRESS POINTS ARE REINFORCED WITH SHIELDS.



FLOATING TURBIDITY BARRIERS
N.T.S

KHA PROJECT 147507129		DATE 8/25/2025		SCALE AS SHOWN		DESIGNED BY SHB		DRAWN BY SHB		CHECKED BY GOW	
KIMLEY»Horn		© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 WWW.KIMLEY-HORN.COM		8/22/2025		CITY OF HOLLYWOOD PLANNING REVISIONS		REVISIONS		BY DATE	
GREGORY D. WILFONG PROFESSIONAL ENGINEER No. 63166 STATE OF FLORIDA		8/25/2025		OAKWOOD EAST MULTI FAMILY PROJECT		EROSION CONTROL DETAILS		FLORIDA		CITY OF HOLLYWOOD	
SHEET NUMBER C-052											

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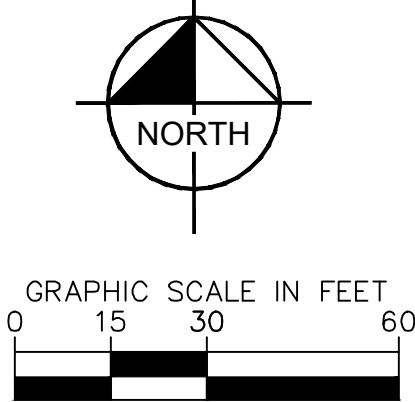
UTILITY LEGEND	
	PROPERTY LINE
	UTILITY EASEMENT
	WATER MAIN (WM)
	SANITARY MAIN
	OVERHEAD ELECTRIC
	GAS
	EXISTING STORM PIPE
	PROPOSED CONSTRUCTION FENCE WITH FABRIC
	FDC
	GATE VALVE
	90° BEND
	45° BEND
	22.5° BEND
	11.25° BEND
	TEE
	TRANSFORMER
	EXISTING SEWER MANHOLE
	AREA TO BE DEMOLISHED AND CLEARED. DEMOLITION INCLUDES BUT IS NOT LIMITED TO PAVEMENT, SUBBASE, UTILITIES, STORM DRAINAGE, CONDUIT, LIGHT POLES, AND TREES UNLESS OTHER SPECIFIED.
	MILLED AND RESURFACED

DEMOLITION NOTES:

1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
6. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO DEMOLITION TO ENSURE SERVICES HAVE BEEN DISCONNECTED.
7. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
8. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
9. DE-WATERING SHOULD BE ANTICIPATED AND INCLUDED.
10. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
11. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS.
12. SEE SITE AND IMPROVEMENTS PLANS FOR LIMITS AND GRADING OF RESURFACED DRIVEWAYS AND ENTRANCES.
13. SEE LANDSCAPE PLAN FOR TREE REMOVAL/RELOCATION AND TREE PROTECTION.
14. SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.

(ALTERNATE NOTES)

15. INGRESS AND EGRESS, AS WELL AS SUFFICIENT PARKING SHALL BE MAINTAINED, TWENTY-FOUR HOURS A DAY, SEVEN DAYS A WEEK, THROUGHOUT ALL PHASES OF CONSTRUCTION.
16. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING TO REMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING OF THE REMAINDER OF THE DEVELOPMENT.
17. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DEMOLISHING ALL EXISTING IRRIGATION. THE CONTRACTOR SHALL ASSURE THAT THE INTEGRITY OF THE IRRIGATION SYSTEM FOR THE REMAINING DEVELOPMENT IS MAINTAINED.



OAKWOOD EAST MULTI FAMILY PROJECT		DEMOLITION PLAN		KHA PROJECT 147507129	
CITY OF HOLLYWOOD		FLORIDA		DATE 8/25/2025	
SHEET NUMBER C-100		DESIGNED BY SHB		SCALE AS SHOWN	
CITY OF HOLLYWOOD PLANNING REVISIONS		REVISIONS		DRAWN BY SHB	
CITY OF HOLLYWOOD PLANNING REVISIONS		REVISIONS		CHECKED BY GDW	
9/22/2023 SHB		DATE		BY	
No.		DATE		BY	

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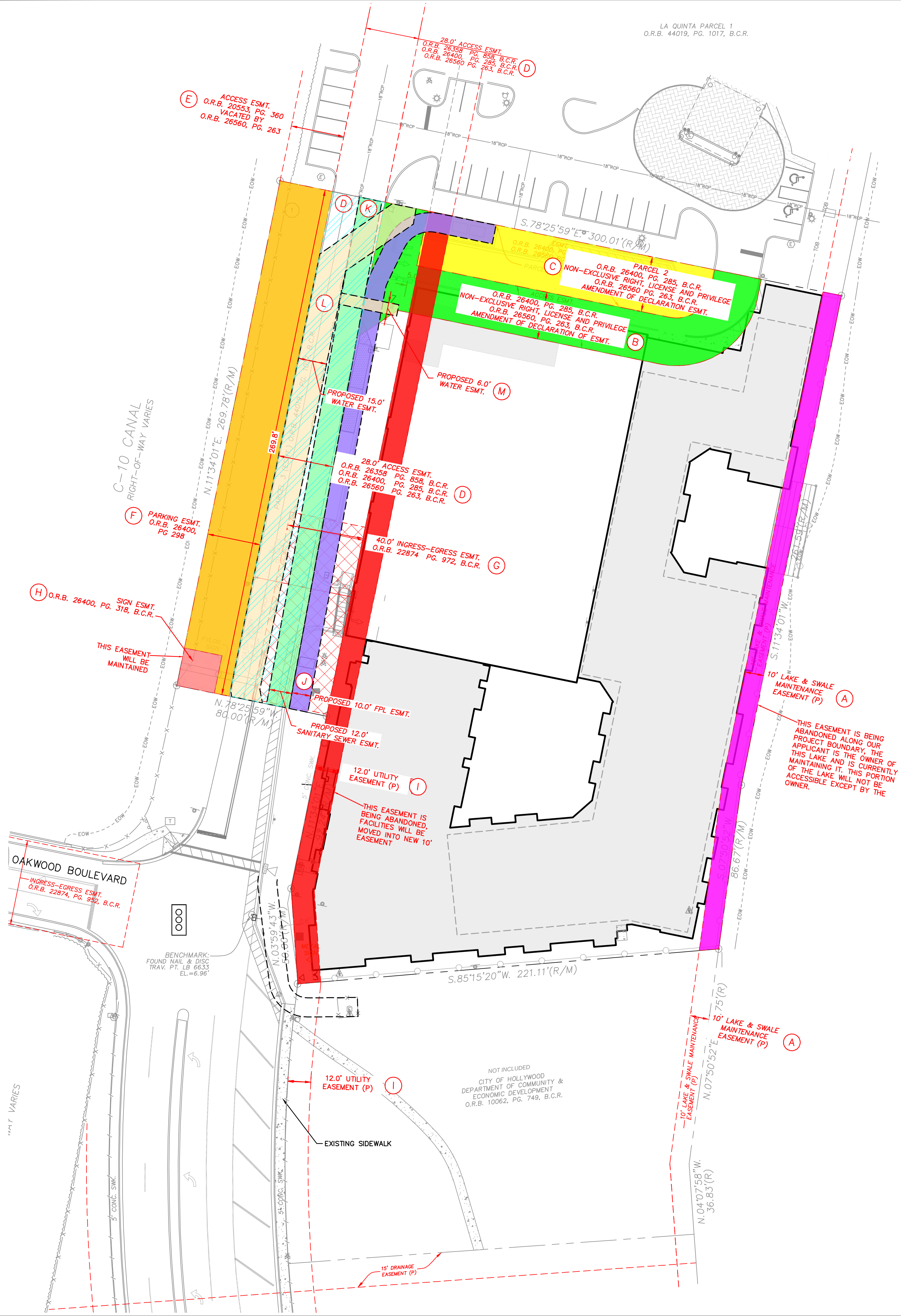
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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

8/25/2025

GREGORY D. WILFONG
No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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Plotted By: tyres, Denny Sheet Set: OAKWOOD EAST MULTI FAMILY PROJECT Layout: C-150 EXISTING AND PROPOSED EASEMENTS August 25, 2025 12:37:33pm K: VRRB LDEV: 147507129 - Oakwood East Towers CAD: PlanSheets\C-150 EXISTING AND PROPOSED EASEMENTS.dwg
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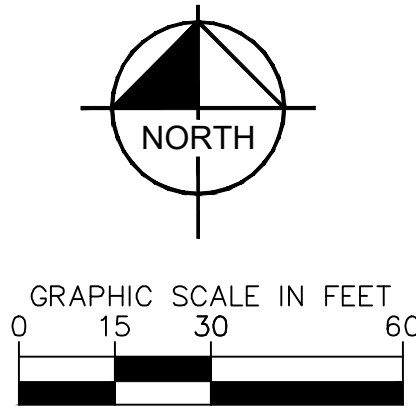


EASEMENT AND OTHER INSTRUMENTS LEGEND

- (A) EXISTING 10' LAKE @ SWALE MAINTENANCE EASEMENT TO BE ABANDONED BY SEPARATE APPLICATION
- (B) EXISTING INSTRUMENT TO REMAIN. THE INSTRUMENT ALLOWS FOR BUILDING AND IMPROVEMENTS TO ENCROACH WITHIN THE INSTRUMENT.
- (C) EXISTING PARCEL 2 INSTRUMENT TO REMAIN. THIS INSTRUMENT ALLOWS FOR MODIFICATIONS AND IMPROVEMENT TO BE WITHIN THE INSTRUMENT.
- (D) EXISTING 28' WIDE ACCESS EASEMENT TO REMAIN
- (E) EXISTING ACCESS EASEMENT TO REMAIN
- (F) EXISTING PARKING EASEMENT TO REMAIN (THIS OVERLAPS ACCESS EASMENT ITEM E)
- (G) EXISTING 40' INGRESS-EGRESS EASEMENT TO REMAIN
- (H) EXISTING SIGN EASEMENT TO REMAIN
- (I) EXISTING 12' UTILITY EASMENT TO BE ABANDONED BY SEPARATE APPLICATION
- (J) PROPOSED 10' FPL EASEMENT
- (K) PROPOSED 12' SANITARY SEWER EASMENT
- (L) PROPOSED 15' WATER EASMENT
- (M) PROPOSED 6' WATER EASEMENT

LEGEND

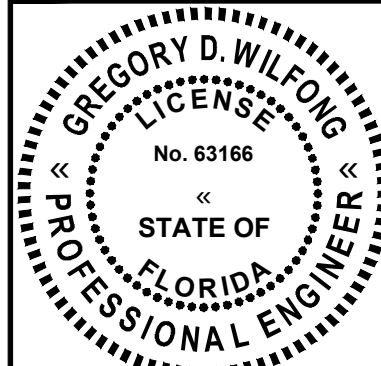
- PROPERTY LINE
- == PROPOSED CURB & GUTTER
- - - EXISTING EASEMENTS



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8/25/2025



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KHA PROJECT
147507129
DATE
8/25/2025
SCALE AS SHOWN
DESIGNED BY SHB
DRAWN BY SHB
CHECKED BY GDW

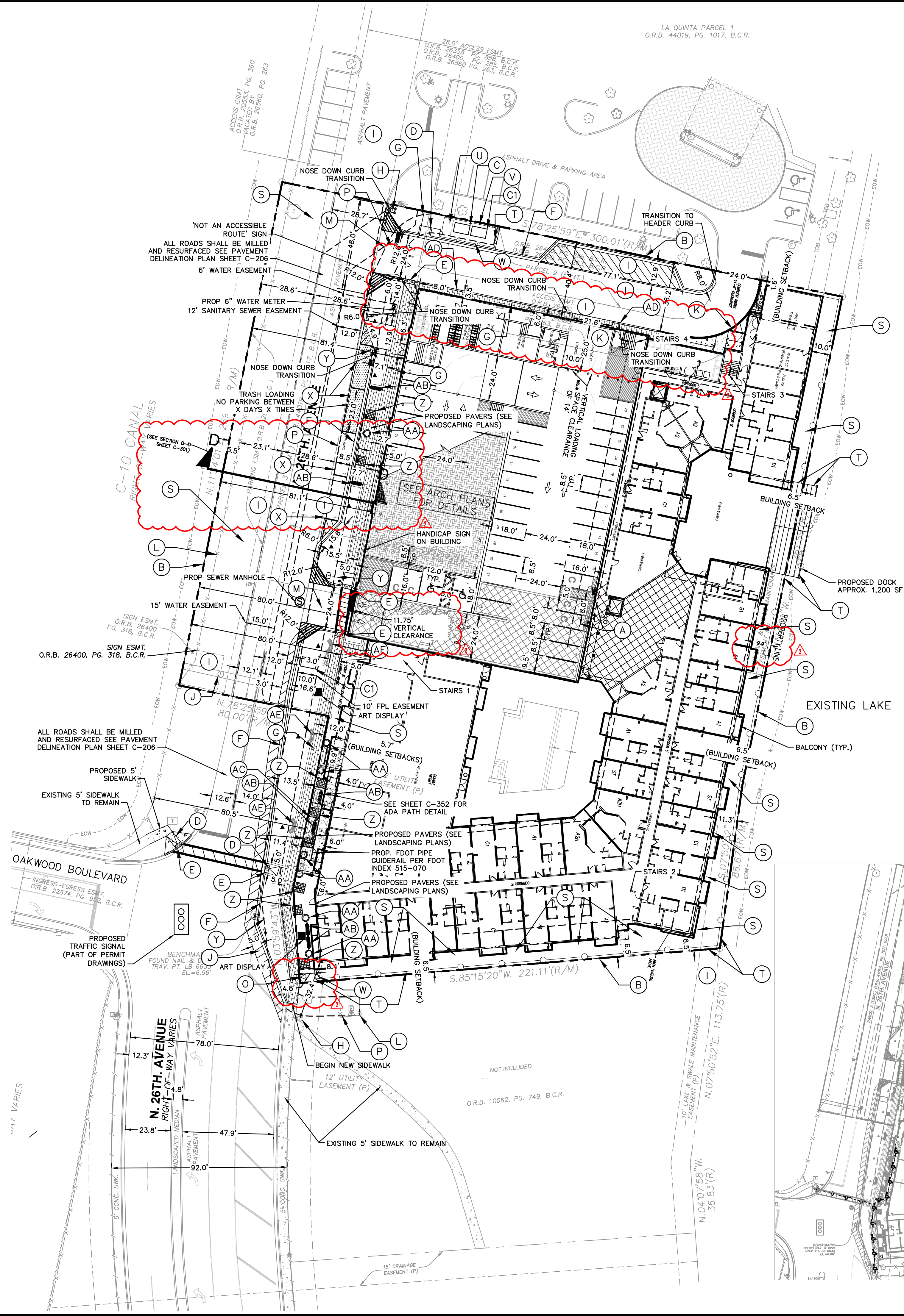
EXISTING AND PROPOSED
EASEMENTS/INSTRUMENTS

OAKWOOD EAST
MULTI FAMILY
PROJECT

CITY OF HOLLYWOOD FLORIDA

SHEET NUMBER
C-150

NO.	REVISIONS	DATE	BY
1	8/22/2025 SHB		
2	CITY OF HOLLYWOOD PLANNING REVISIONS		



(A)	ACCESSIBLE PARKING SPACE (TYP.) SEE C-201 FOR DETAIL WITH WALL-MOUNTED ADA SIGN
(B)	PROPERTY LINE
(C) (C1)	CONCRETE TRANSFORMER PAD, TRANSFORMER AND SWITCH CABINET. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
(D)	FDOT CURB RAMP TYPE C-R-E INDEX 522-002 (SEE SHEET C-201 FOR DETAIL.)
(E)	DETECTABLE WARNING PER FDOT INDEX 522-002 (SEE SHEET C-201)
(F)	6" TYPE 1" CURB AND GUTTER (SEE DETAIL C-26 ON SHEET C-202)
(G)	STANDARD DUTY CONCRETE SIDEWALK (5' MIN) (SEE SHEET C-202 AND SHEET C-206)
(H)	PROPOSED OR EXISTING FIRE HYDRANTS
(I)	EXISTING EASEMENTS (SEE SHEET C-150)
(J)	EXISTING PYLON SIGN TO REMAIN
(K)	LOADING AREA (SEE ARCH. PLANS)
(L)	SWITCH TO REMAIN
(M)	ASPHALT DRIVEWAY (SEE SHEET C-202, DETAIL C-20)
(N)	FDOT CURB RAMP TYPE C-R-C INDEX 522-002 (SEE SHEET C-201 FOR DETAIL.)
(O)	RELOCATED DAVE AND BUSTER'S SIGN
(P)	PROPOSED 10' FPL EASEMENT (SEE UTILITY PLAN SHEET C-400)
(Q)	PROPOSED 15' WATER LINE EASEMENT (SEE UTILITY PLAN SHEET C-400)
(R)	PROPOSED 12' SANITARY SEWER EASEMENT (SEE UTILITY PLAN SHEET C-400)

[illegible]
$$\frac{\text{ADA PATH}}{1'' = 60'}$$

	PROPERTY LINE
	PROPOSED CURB & GUTTER
	EXISTING EASEMENTS (SEE FIELD PLAN SHEET C-150 FOR MORE)
	PROPOSED SIDEWALK
	FIELD - 12'X24, 1 5/8" SHELLBOARD - 8'X12, 1 5/8" SHELLBOARD (SEE LANDSCAPING PLAN L-3)
	VISIBILITY TRIANGLE (12'X12')
	PROPOSED UPLIGHTS (SEE L)
	PROPOSED 4' BLACK ALUMINUM (SEE LANDSCAPING PLAN L-3)
	PROPOSED LIGHTPOLE

NOTE: FOR PAVEMENT TYPES SEE PAVEMENT
DELINEATION PLAN SHEET C-206

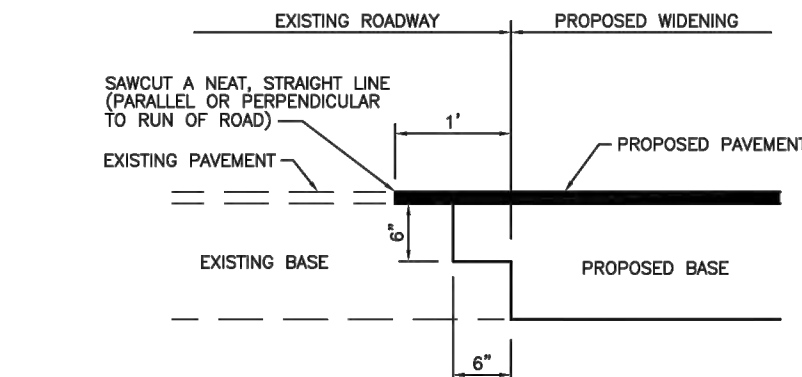
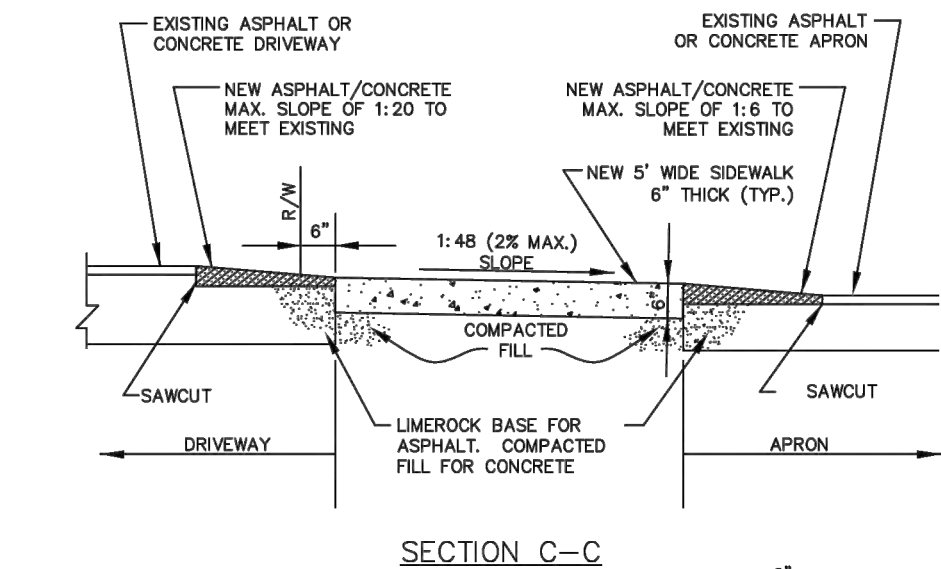
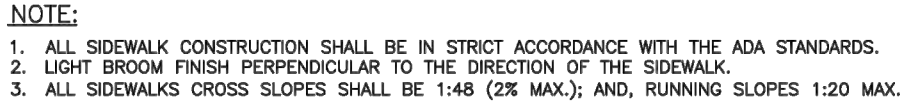
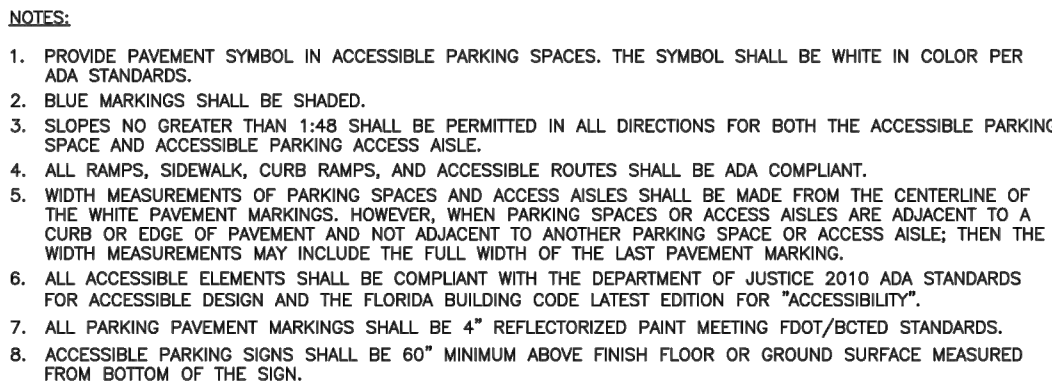
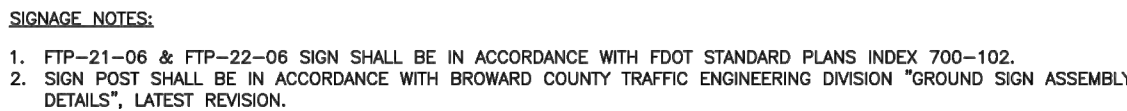
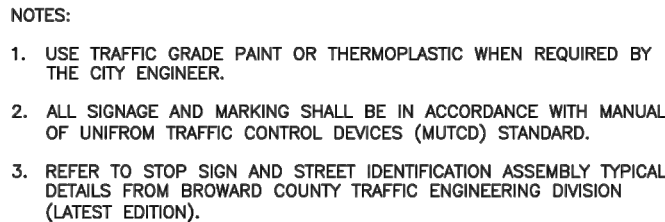
OFF-STREET PARKING			
Required	Multifamily ST, 180 @ 1 sp/du 178 units 178 units 178 units	# of units or SF 178 units 107 units 107 units	# Spaces 178 153 sp 153 sp
	TOTAL REQUIRED	280 units	331 sp
Provided			(8 ADA sp)
	PARKING GARAGE	ADA	Standard
	Level 1	2	(31 sp)/2
	Level 2	2	59 sp
	Level 3	1	71 sp
	Level 4	1	71 sp
	Level 5	1	71 sp
	Level 6	1	36 sp
	Sub-Total	8	339 sp
	TOTAL PARKING GARAGE		347 sp
	TOTAL COMPACT SPACES (included in Total Pkg. Garage)	16 sp	
	SURFACE PARKING	0	(4)
	TOTAL SURFACE PARKING	1	(4 sp)
	TOTAL PKG. PROVIDED		351 sp 
	LOADING SPACES	2 sp	
	BICYCLE PARKING	42 sp	

Note: Min provided ADA spaces meet ADA Standards for Accessible

DEVELOPMENT SUMMARY - UNIT MIX					
Unit Types		Gross Area	Total Units	% of Totals	LEASABLE AREA (NRSF)
STUDIO	ST	480 sf	23 units	8.2%	11,040 sf
	STM	448 sf	7 units	2.5%	3,136 sf
	Sub-total		30 units	10.7%	14,176 sf
1 BD	A1	720 sf	67 units	23.9%	48,240 sf
	A1M	672 sf	13 units	4.6%	8,736 sf
	A2	826 sf	45 units	16.1%	37,170 sf
	A2H	775 sf	16 units	5.7%	12,400 sf
	A3	836 sf	7 units	2.5%	5,852 sf
	Sub-total		148 units	52.9%	112,398 sf
2 BD	B1	900 sf	23 units	8.2%	20,700 sf
	C1	1,080 sf	63 units	22.5%	68,040 sf
	C2	1,012 sf	7 units	2.5%	7,084 sf
	D1M	1,006 sf	1 units	0.4%	1,006 sf
	Sub-total		94 units	33.2%	95,824 sf
3 BD	D1	1,350 sf	8 units	2.9%	10,800 sf
	Sub-total		8 units	2.9%	10,800 sf
TOTAL UNITS			280 units	100%	233,198 sf
Gross Average Unit Area					833 sf

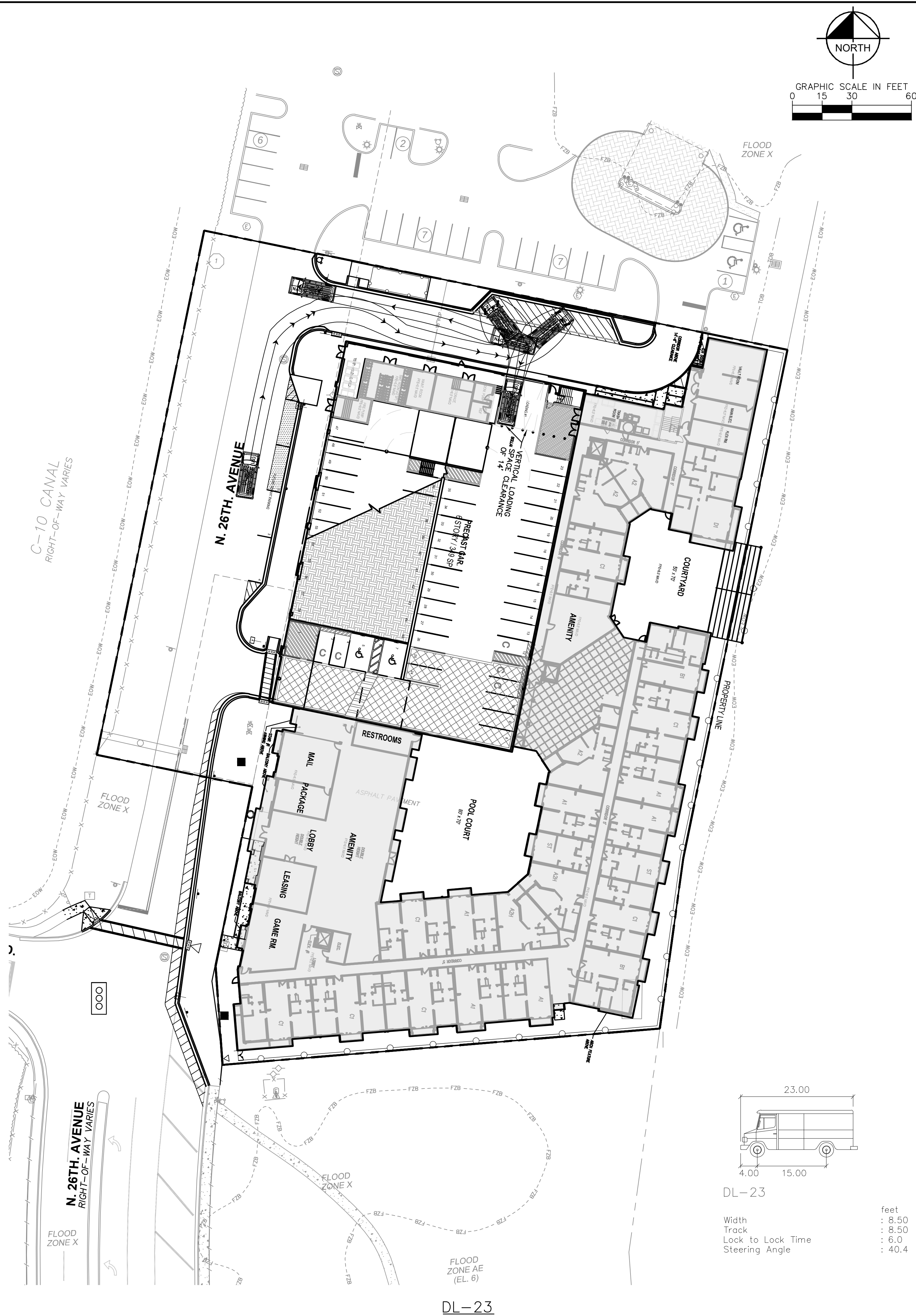
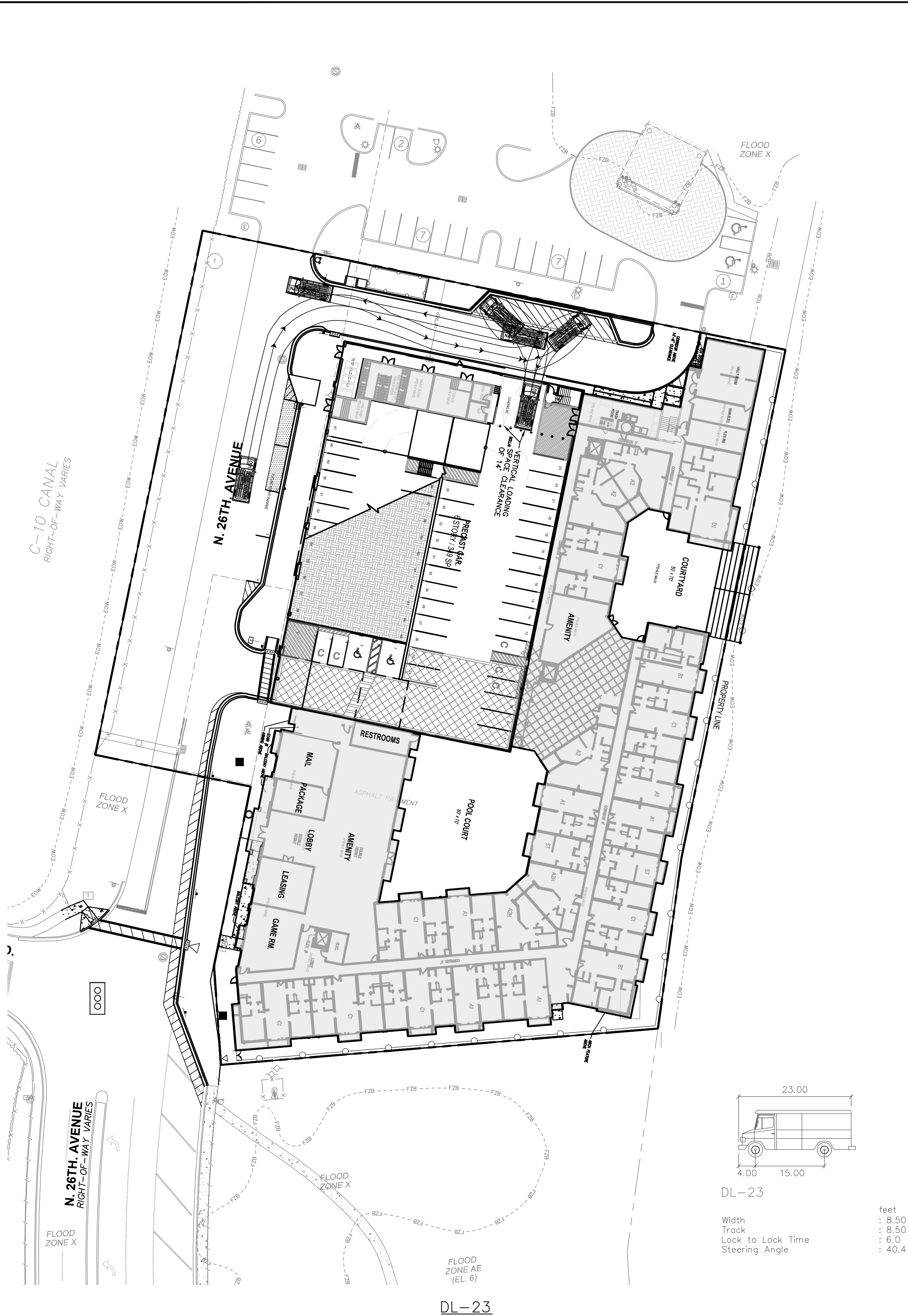
A PARCEL OF LAND BEING A PORTION OF TRACT 'C', OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND A PORTION OF VACATED N. 26th. AVENUE AS RECORDED IN OFFICIAL RECORDS BOOK 20603, PAGE 366 OF SAID PUBLIC RECORDS. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT C; THENCE N.04°07'58"W., ALONG THE EAST LINE OF SAID TRACT C; A DISTANCE OF 36.83 FEET; THENCE N.07°50'52"E.; ALONG SAID EAST LINE, A DISTANCE OF 113.75 FEET, TO THE POINT OF BEGINNING. (THE HEREIN DESCRIBED COURSE AND DISTANCES ARE IDENTICAL TO THE COURSE AND DISTANCES SET FORTH ON THE PLAT MAP OF SAID EASEMENT.) THENCE S.03°59'10"W., ALONG SAID EAST LINE, A DISTANCE OF 92.24 FEET, (THE PREVIOUS TWO COURSE BEING COINCIDENT WITH THE WEST LINE OF SAID TRACT C); THENCE N.78°25'59"W., A DISTANCE OF 80.00 FEET, TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE N.11°34'10"E., ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 269.78 FEET; THENCE S.78°25'59"E., A DISTANCE OF 113.75 FEET, TO THE POINT OF BEGINNING OF THE EAST LINE OF SAID TRACT C; THENCE S.11°33'30"W., A DISTANCE OF 261.59 FEET; THENCE N.04°07'58"W., A DISTANCE OF 36.83 FEET, (THE PREVIOUS TWO COURSE BEING COINCIDENT WITH THE SAID EAST LINE OF TRACT C) TO THE POINT OF BEGINNING.



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Printed By: Tracy, Danny Sheet Set: OKAWOOD EAST FAMILY PROJECT Layout: C-203 VEHICLE TURN PLAN Turn Plan.dwg K:\VRB\DEVELOPMENT\OKAWOOD RESIDENTIAL\TOWERS\CAD Plans\Schedules\C-203 VEHICLE TURN PLAN.dwg



OAKWOOD EAST MULTI FAMILY PROJECT	SHEET NUMBER C-203
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FLORIDA
CITY OF HOLLYWOOD

VEHICLE TURN PLAN

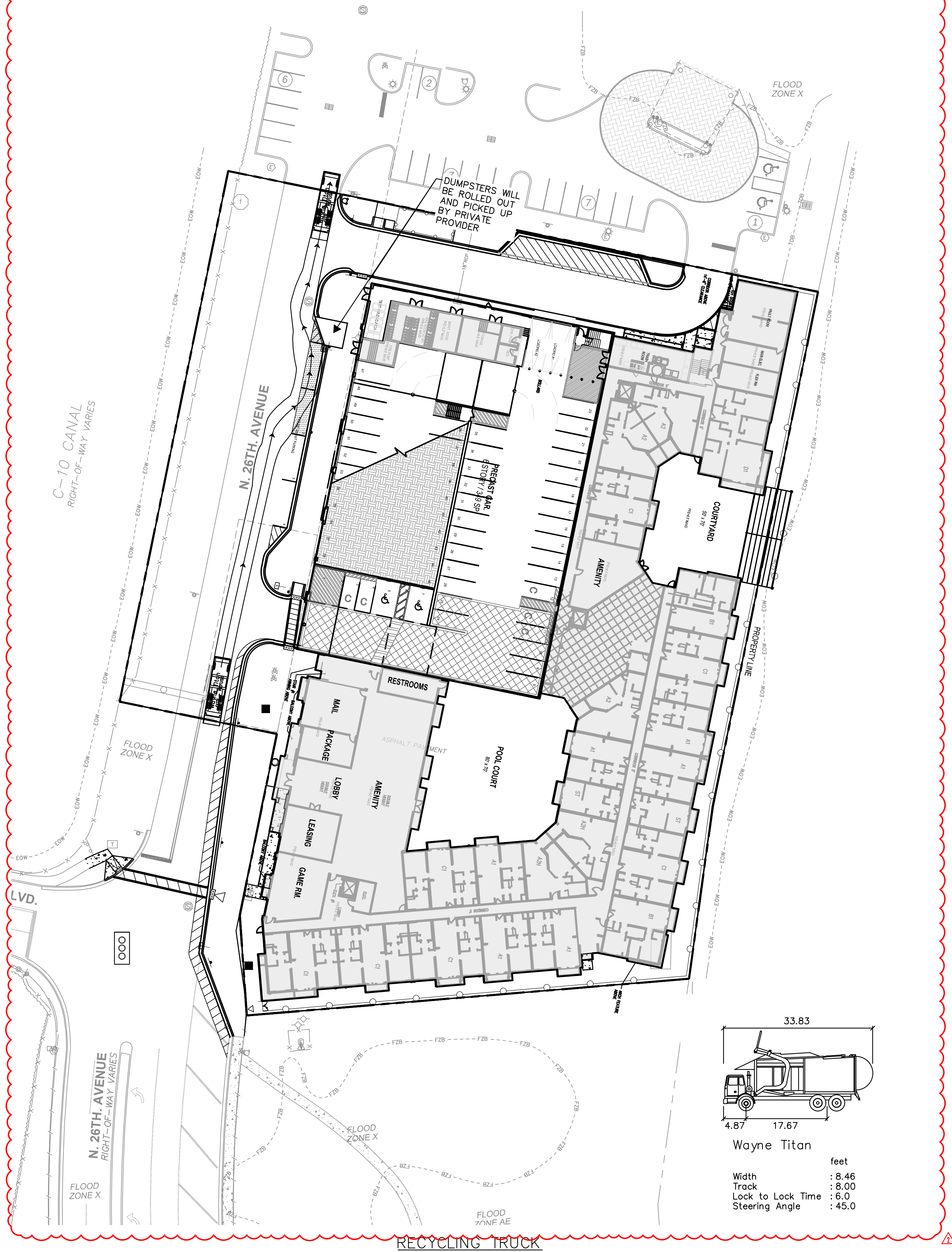
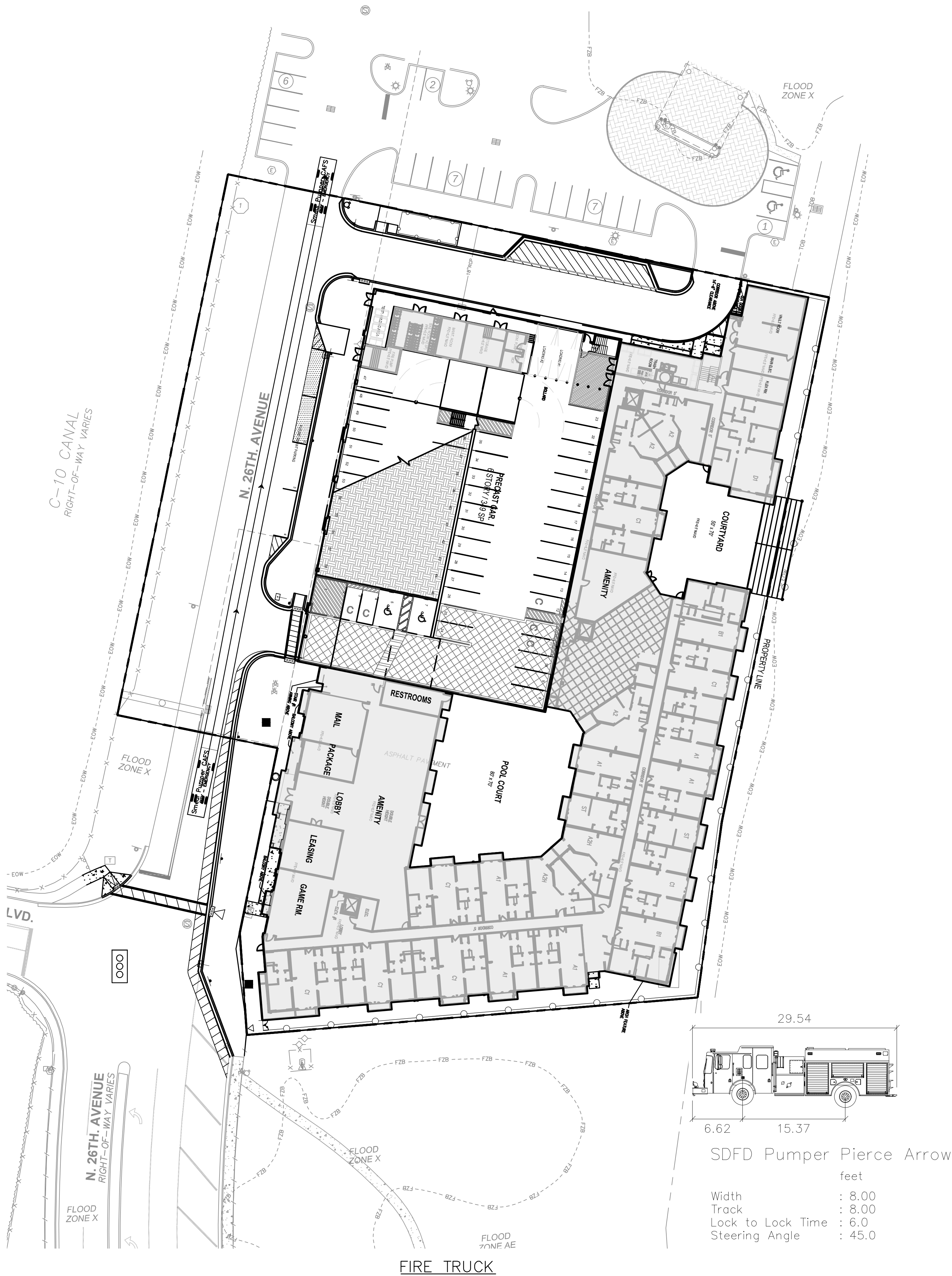
KHA PROJECT	DATE
147507129	8/25/2025
SCALE AS SHOWN	
DESIGNED BY SH	
DRAWN BY SH	
CHECKED BY GD	

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	CITY OF HOLLYWOOD	PLANNING REVISIONS	8/22/2025	SHB
No.	REVISIONS		DATE	BY

Plotted By: Tyres, Denny Sheet Set: OAKWOOD EAST MULTI FAMILY PROJECT Layout: C-204 VEHICLE TURN PLAN August 25, 2025 03:42:22pm K:\VRB-LDEV\147507129 - Oakwood Real Towers\CAD\PlanSheets\C-203 VEHICLE TURN PLAN.dwg
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OAKWOOD EAST MULTI FAMILY PROJECT	FLORIDA CITY OF HOLLYWOOD	VEHICLE TURN PLAN	KHA PROJECT 147507129 DATE 8/25/2025 SCALE AS SHOWN DESIGNED BY SHB DRAWN BY SHB CHECKED BY GDW	GREGORY D. WILFONG No. 63166 STATE OF FLORIDA PROFESSIONAL ENGINEER	8/25/2025	Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106	CITY OF HOLLYWOOD PLANNING REVISIONS 8/22/2023 SHB	No.	REVISIONS	BY	DATE

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SITE LEGEND

- (A) "STOP" SIGN (SEE SHEET C-201)
- (B) "NO PARKING FIRE LANE" SIGN 60" O.C. (SEE SHEET C-201)
- (C) PROPERTY LINE
- (D) STOP BAR (SEE SHEET C-201)
- (E) PAINTED DIRECTIONAL ARROW (TYP.) (SEE SHEET C-201)
- (F) FIRE LANE STRIPING 3' TO 5' WIDE (SEE SHEET C-201)
- (G) ACCESSIBLE PARKING SPACE (TYP.) (SEE SHEET C-201 FOR DETAIL WITH ADA SIGN)
- (H) PARKING SPACE STRIPING (SEE DETAIL ON SHEET C-201)
- (I) INTERNAL PEDESTRIAN CROSSWALK WITH 12" WIDE WHITE STRIPING PERPENDICULAR TO DIRECTION OF TRAFFIC (SEE SHEET C-201)
- (J) FLUSH SIDEWALK
- (K) LOADING AREA (6" YELLOW 45° STRIPING)
- (L) CONCRETE PARKING DECK (SEE ARCH. PLANS)
- (M) 45 DEGREE YELLOW STRIPING (6")
- (N) DOUBLE YELLOW LINE
- (O) PARALLEL PARKING SPACE (SEE DETAIL ON SHEET C-201)
- (P) "NO PARKING X TIME TO X TIME" SIGN WITH ARROW (MUTCD R7-2)

MAIL DELIVERY NOTE

MAIL DELIVERY WILL BE INSIDE STORE

SITE LIGHTING CONFORMANCE NOTE

THE SIGHT LIGHTING OF THE SITE SHALL CONFORM TO THE SITE LIGHTING CRITERIA ESTABLISHED BY THE CITY OF HOLLYWOOD. THIS CONSISTS OF WELL DIRECTED LED LIGHTING WITH MAX FOOT CANDLE LEVEL AT ALL PROPERTY LINES = 0.5 (ADJACENT TO RESIDENTIAL).

GREEN ORDINANCE NOTE

FLORIDA GREEN BUILDING COALITION (FGBC) COMMERCIAL CERTIFICATION WILL BE PURSUED FOR THIS PROJECT.

MECHANICAL EQUIPMENT NOTE

ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.

SITE PLAN APPROVAL NOTE

CHANGES TO THE DESIGN OF THE SITE PLAN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

ADA NOTE

ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS ALONG ALL SIDEWALKS AND ADA PATHS

NOTES:
-ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.

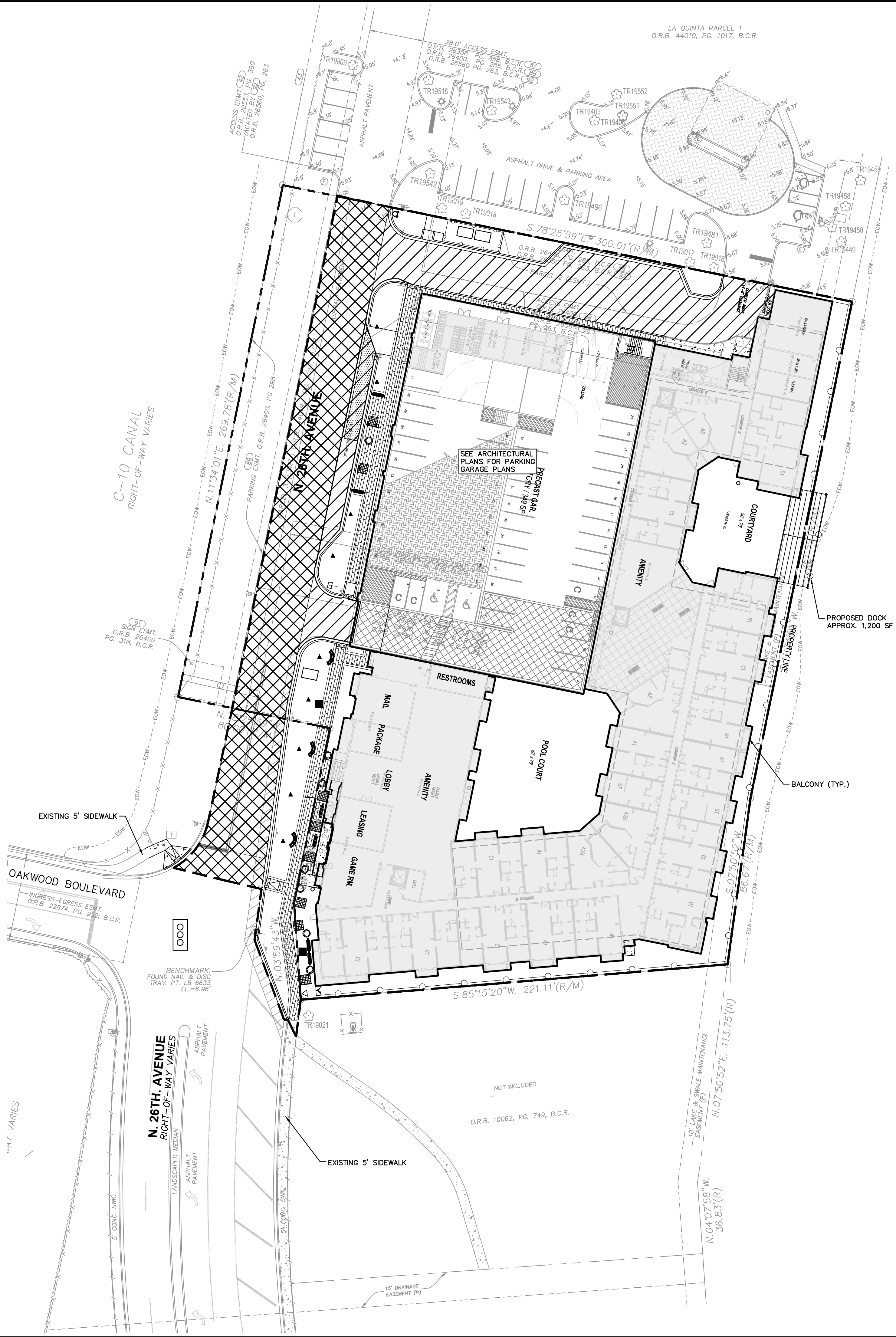
SIGNAGE NOTE:
-ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE OAKWOOD SIGN REGULATIONS

LEGEND

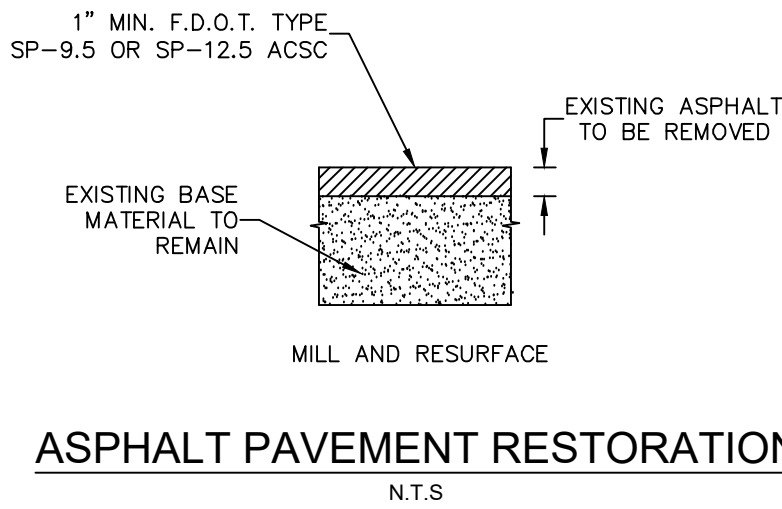
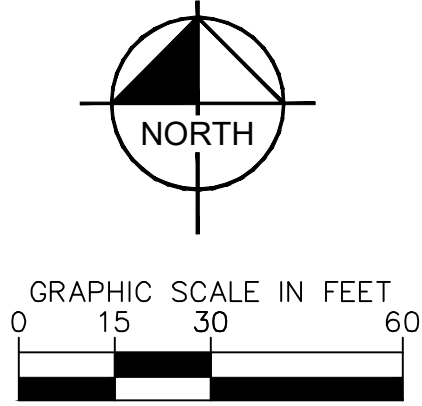
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- EXISTING EASEMENTS
- PROPOSED SIDEWALK (SEE DETAIL C-23, C-24 AND C-25 ON SHEET C-202)
- FIELD - 12X24, 1 5/8" SHELLOCK SERIES PAVERS
BOARDER - 8X12, 1 5/8" SHELLOCK SERIES PAVERS
(SEE LANDSCAPING PLAN L-350)

KHA PROJECT 147507129		DATE 8/25/2025		SCALE AS SHOWN		DESIGNED BY SHB		DRAWN BY SHB		CHECKED BY GDW	
OAKWOOD EAST MULTI FAMILY PROJECT		FLORIDA		PAVEMENT MARKING AND SIGNAGE PLAN		KIMLEY-HORN		CITY OF HOLLYWOOD PLANNING REVISIONS		8/22/2025 SHB	
SHEET NUMBER C-205		CITY OF HOLLYWOOD		PAVEMENT MARKING AND SIGNAGE PLAN		KIMLEY-HORN		CITY OF HOLLYWOOD PLANNING REVISIONS		8/22/2025 SHB	
BY		DATE		REVISIONS		No.		BY		DATE	

Plotted By: Tjones, Danny, Sheet: Oakwood East Multi Family Project - Layout C-206 Pavement Delineation Plan - August 25, 2025, 12:38:45pm - K:\URB_LDEV\147507129 - Oakwood East Multi Family Project - Layout C-206 Pavement Delineation Plan.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, it is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- LEGEND**
- STANDARD DUTY ASPHALT (SEE SHEET C-350 FOR DETAIL)
 - MILLING AND RESURFACING (SEE SHEET C-201 FOR DETAIL)
 - STANDARD CONCRETE (SEE SHEET C-202 FOR DETAIL)
 - LIMITS OF PAVEMENT WORK
 - FIELD - 12X24, 1 5/8" SHELLOCK SERIES PAVERS
BOARDER - 8X12, 1 5/8" SHELLOCK SERIES PAVERS
(SEE LANDSCAPING PLAN L-350)



OAKWOOD EAST MULTI FAMILY PROJECT		PAVEMENT DELINATION PLAN		KHA PROJECT 147507129		8/25/2025		8/25/2025		Kimley»»Horn		© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 WWW.KIMLEY-HORN.COM		CITY OF HOLLYWOOD PLANNING REVISIONS		8/22/2025 SHB	
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CITY OF HOLLYWOOD		FLORIDA		SCALE AS SHOWN		DATE		8/2									